

Rosemary/Columbia Hotel

110 West Rosemary Street

ZONING COMPLIANCE PERMIT
CHAPEL HILL, NORTH CAROLINA

4-21-2026 REVISED LAYOUT - ZCP SUBMITTAL

PROJECT DATA:

EXISTING PARCEL AREAS

PARCEL A:	108 WEST ROSEMARY STREET 9788-37-0680 KW RC PROPERTIES LLC 3,624.9 SF TC-2-CZD	
PARCEL B:	114 WEST ROSEMARY STREET 9788-37-0549 KW RC PROPERTIES LLC 7,249.8 SF TC-2-CZD	
PARCEL C:	208 PRITCHARD AVENUE 9788-27-9667 KW RC PROPERTIES LLC 15,262.3 SF TC-2-CZD and R-3	
PARCEL D:	N/A (NO STREET FRONTAGE) 9788-27-9700 KW RC PROPERTIES LLC 4,527.3 SF TC-2-CZD	
PARCEL E:	205 NORTH COLUMBIA STREET 9788-37-0721 KW RC PROPERTIES LLC 9,320.0 SF TC-2-CZD	
PARCEL F:	205 NORTH COLUMBIA STREET 9788-37-0647 KW RC PROPERTIES LLC 9,166.9 SF TC-2-CZD	POCKET PARK PARCEL W ROSEMARY STREET 9788-37-0577 TOWN OF CHAPEL HILL 8,180 SF
PARCEL G:	110 WEST ROSEMARY STREET 9788-37-0535 TOWN OF CHAPEL HILL 7,846.75 SF TC-2-CZD	HISTORIC TOWN HALL PARCEL N COLUMBIA STREET 9788-37-1539 TOWN OF CHAPEL HILL 8,956 SF

TOTAL PRIVATE OWNERSHIP AREA:	49,151.2 SF / 1.13 AC
TOTAL TOWN AREA:	7,846.75 SF / 0.18 AC
TOTAL PARCEL NET AREA:	56,998 SF / 1.31 AC
TOTAL PARCEL GROSS AREA:	62,698 SF / 1.44 AC

POST-DEVELOPMENT HOTEL PARCEL AREA	48,110.69 / 1.10 AC
POST-DEVELOPMENT TOWN PARCEL AREA	8,887.26 / 0.20 AC
TOTAL POST-DEVELOPMENT PARCEL AREA	56,997.95 / 1.31 AC

PROJECT AREA:	1.37 AC INCLUDES TOWN LAND TO BE DEVELOPED
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LAND USE:	
EXISTING	VACANT COMMERCIAL, CONVERTED RESIDENCES, AND ONE SINGLE FAMILY RESIDENTIAL
PROPOSED	HOTEL

ZONING:	TC-2-CZD
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ALLOWABLE FAR FOR PROPOSED ZONE:	1.97 MAX.
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EXISTING BUILDINGS:	- 1,250 SF ONE STORY BRICK BUILDING TO BE REMOVED - 1,689 SF TWO STORY WOOD FRAME HOUSE TO BE REMOVED - 2,939 SF TOTAL SQUARE FOOTAGE TO BE REMOVED
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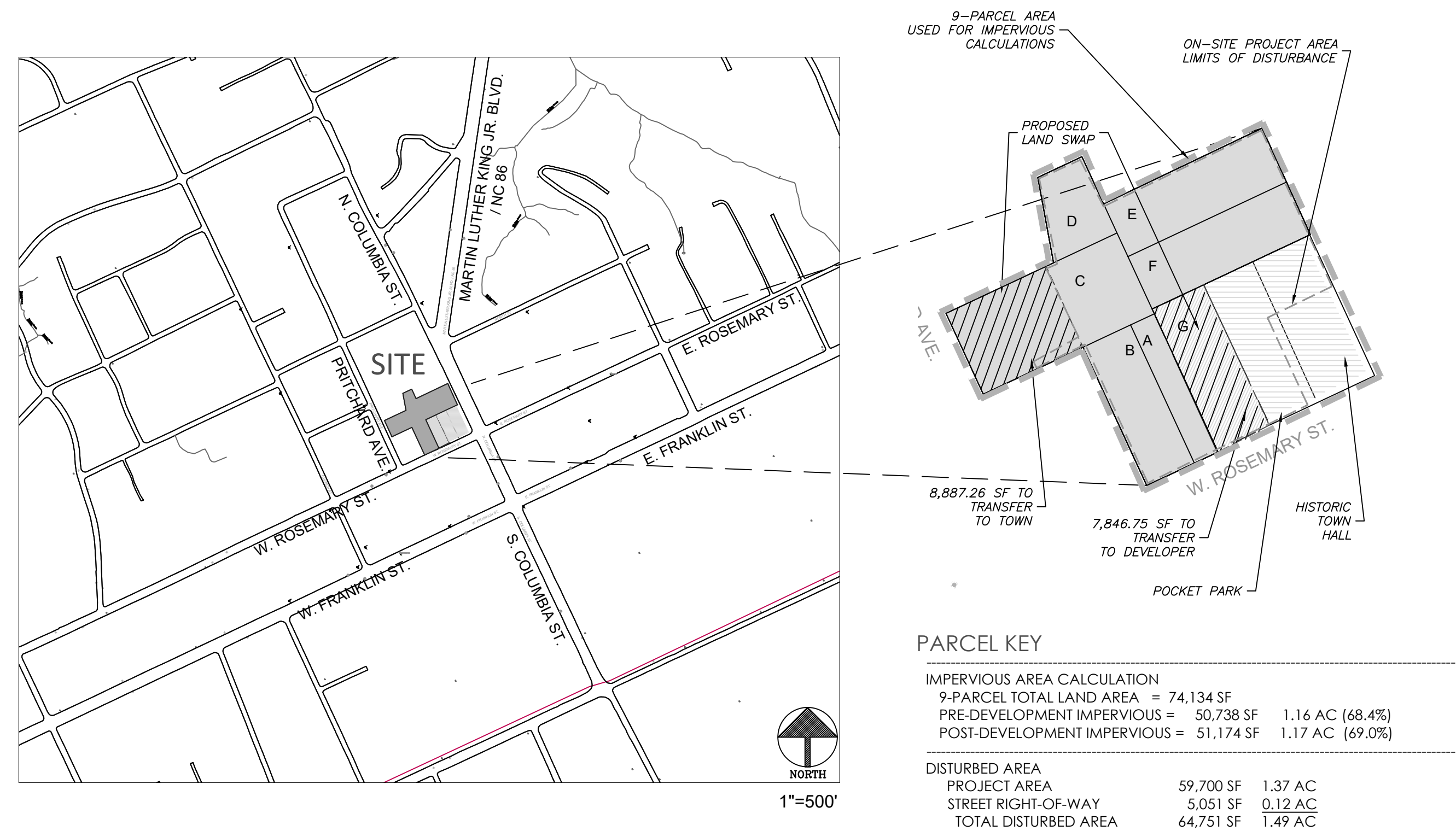
PROPOSED BUILDINGS:	1,800 SF BUILDING TO REMAIN, TO BE DEEDED TO TOWN (LOCATED ON PARCEL C)
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HOTEL:	90,540 SF TOTAL, EXCLUDING GARAGE PARKING 147 ROOMS
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BUILDING HEIGHT:	5 STORIES PLUS PARTIAL LOWER LEVEL ACCESSED FROM NORTH DRIVEWAY
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VEHICULAR PARKING:	
REQUIRED	N/A (TOWN CENTER DISTRICT)
MAXIMUM	132 (0.9 PER LODGING UNIT - 147 X 0.9)
PROPOSED	36 SPACES ON-SITE + 1 ADA SPACE AND 1 LOADING SPACE AT HISTORIC TOWN HALL 5 STANDARD SURFACE SPACES WEST DRIVEWAY 2 VAN ACCESSIBLE SPACES STRUCTURED PARKING 27 STANDARD SPACES STRUCTURED PARKING 2 CHARGING SPACES (VALET)

BICYCLE PARKING:	
REQUIRED	10 (1 PER 15 LODGING UNITS 149 / 15)
PROPOSED	10 SPACES 3 LOOPS (6 SPACES) IN PROTECTED PARKING DECK, 1 LOOP (2 SPACES) NEAR LOBBY ENTRY ON COLUMBIA ST., AND 2 BIKE TO BORROW SPACES IN THE LOBBY + SPACE ALLOCATED IN PARK FOR FUTURE BIKE SHARE STATION



LIST OF SHEETS:

- C-0.0 COVER SHEET
- C-0.1 AREA MAP
- C-1.0 EXISTING CONDITIONS PLAN
- C-1.1 CONSTRUCTION CONDITIONS
- C-1.2 CONSTRUCTION MANAGEMENT PLAN
- C-1.3 LANDSCAPE PROTECTION PLAN
- C-1.4 PEDESTRIAN DETOUR PLAN
- C-2.0 SITE PLAN
- C-2.1 SITE SIGNAGE PLAN
- C-2.2 SITE SIGNAGE DETAILS
- C-2.3 FIRE PROTECTION PLAN
- C-3.0 GRADING & STORMWATER PLAN
- C-4.0 EROSION CONTROL PLAN PH 1
- C-4.1 EROSION CONTROL PLAN PH 2
- C-4.2 EROSION CONTROL DETAILS
- C-4.3 EROSION CONTROL DETAILS
- C-5.0 UTILITY PLAN
- C-5.1 UTILITY PROFILE
- C-6.0 LIGHTING PLAN
- C-7.0 LANDSCAPE PLAN
- C-8.0 SITE DETAILS
- C-8.1 SITE DETAILS
- C-8.2 SITE DETAILS
- C-8.3 SITE DETAILS
- C-8.4 SITE DETAILS
- C-8.5 SITE DETAILS
- C-8.6 SITE DETAILS

CONTRACT PURCHASER / CLIENT:

SMART OLYMPIA CAROLINA LLC
20600 CHAGRIN BOULEVARD, SUITE 705
SHAKER HEIGHTS, OH 44122
216-533-0500
CONTACT: ED SMALL

APPLICANT / CONSULTANT:

LANDSCAPE ARCHITECT / LAND PLANNER:
THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27713
919-682-0368
CONTACT: WENDI RAMSDEN

CIVIL ENGINEER:
THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27713
919-682-0368
CONTACT: PRESTON ROYSTER

RESOURCE CONSERVATION NOTES

- STREAM BUFFERS:**
THERE ARE NO MAPPED STREAMS ON SITE.
- FLOODPLAIN PROTECTION:**
THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAP 3710978800K EFFECTIVE 11-17-17.
- STEEP SLOPE PROTECTION:**
THERE ARE 2,173 SF OF STEEP SLOPES ON SITE - ALL ARE CONSTRUCTED (NOT NATURAL) SLOPES
- WETLANDS:**
THERE ARE NO MAPPED WETLANDS ONSITE.

PROJECT NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY BALLANTINE ASSOCIATES, PA DATED AUGUST 26, 2019
- SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS

TOWN OF CHAPEL HILL NOTES

1. P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA LICENSED PROFESSIONAL ENGINEER, THAT ANY REQUIRED STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
2. AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND ANY STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.

THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27713 • 919.682.0368
www.thomasandhutton.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # F-0871

NC BOARD OF LANDSCAPE ARCHITECTS
LIC # C-104

Project:

**Rosemary/
Columbia
Hotel**

110 W. Rosemary St.

Orange County,
North Carolina

PIN:
9788-37-0680
9788-37-0549
9788-27-9667
9788-27-9700
9788-37-0721
9788-37-0647



PRELIMINARY - DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Drawn	WLR, MTC
Checked	WLR, CNH
Date	5-9-2022
Revisions	4-20-2023 Site Revisions 4-24-2024 OWASA revisions 9-19-2024 Site Revisions 9-11-2025 Final ZCP Plans 4-28-2026 ZCP Resubmittal

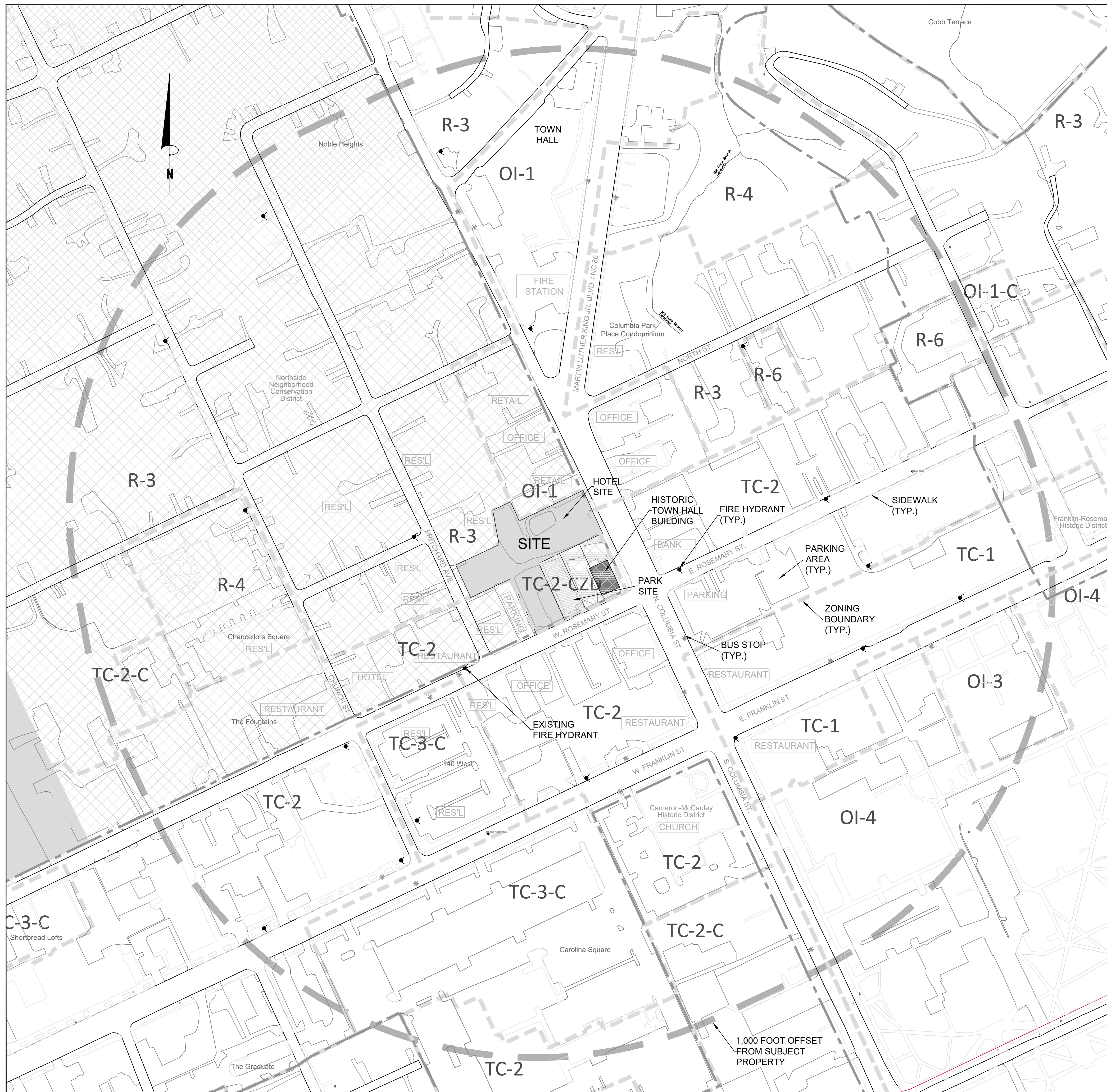
Zoning Compliance Permit

Sheet Title:

COVER SHEET

Sheet Number

C-0.0



LEGEND

FIRE HYDRANT	
ZONING BOUNDARY	
EXISTING ZONING	OI-4
NCD BOUNDARY	
NORTHSIDE NEIGHBORHOOD	
LAND USE	COMM'L

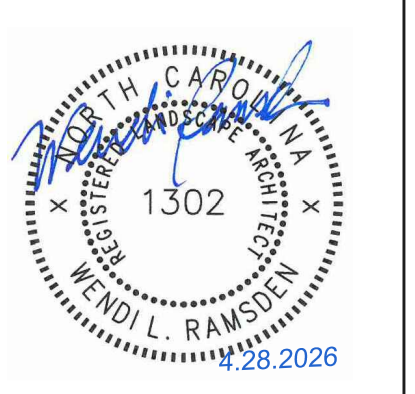
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C-0.1
AREA MAP
1" = 120'-0"



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 Hotel**
 110 W. Rosemary St.
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Sheet Title:
AREA MAP
Sheet Number:
C-0.1

PROJECT LIMITATIONS PER CONDITIONAL ZONING APPROVAL

MAXIMUM FLOOR AREA: 92,500 SF
MAXIMUM # GUEST ROOMS: 135
MAXIMUM IMPERVIOUS SURFACE: 53,727 SF
MAXIMUM LAND DISTURBANCE: 63,200 SF
MAXIMUM BUILDING HEIGHT AT STREET - COLUMBIA FRONTAGE: 42'
MAXIMUM BUILDING HEIGHT AT STREET - W ROSEMARY FRONTAGE: 53'
MAXIMUM SECONDARY BUILDING HEIGHT: 65'
ZCP FILING DATE: NO LATER THAN NOVEMBER 17, 2023

SPECIAL CONDITIONS OF CONDITIONAL ZONING APPROVAL

- 1. BIKESHARE: AS LONG AS A BIKESHARE HUB NETWORK OPERATES IN THE DOWNTOWN AREA, THE DEVELOPER WILL ALLOW INSTALLATION AND MAINTENANCE OF A BIKESHARE HUB IN A LOCATION TO BE COORDINATED WITH THE TOWN.
2. WATER LINE: THE DEVELOPER SHALL RUN A WATERLINE TO THE HISTORIC TOWN HALL BUILDING TO MAINTAIN THE PARK'S LANDSCAPING.
3. RECOMBINATION: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE MULTIPLE PROPERTIES SHALL BE RECOMBINED INTO ONE PARCEL.
4. LAND SWAP: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT THE PROPOSED LAND SWAP BETWEEN THE DEVELOPER AND THE TOWN SHALL OCCUR AS OUTLINED IN THE MAY 19,2019 COUNCIL MEETING.
5. EMPLOYING LOCAL RESIDENTS: THE DEVELOPER WILL CONTINUE TO MEET WITH LOCAL AGENCIES THAT PROMOTE EMPLOYMENT INCLUDING EMPOWERMENT INC, THE JACKSON CENTER, AND EL CENTRO, TO PROVIDE OUTREACH TO LOCAL RESIDENTS SUCH AS NEIGHBORHOOD LIST SERVES, VIRTUAL AND PHYSICAL JOB BOARDS AND HOSTING JOB FAIRS FOR LOCAL CITIZENS AT LOCATIONS SUCH AS THE JACKSON CENTER, MIDWAY BUSINESS CENTER, AND HARGRAVES CENTER - FOR THE PURPOSE OF IDENTIFYING POTENTIAL EMPLOYEES DURING THE CONSTRUCTION OF THE HOTEL AS WELL AS PERMANENT HOTEL EMPLOYEES.
6. OFF-SITE CONSTRUCTION EASEMENTS: PRIOR TO ANY DEVELOPMENT ASSOCIATED LAND DISTURBANCE ON ABUTTING PROPERTIES, THE DEVELOPER SHALL PROVIDE DOCUMENTATION OF APPROVAL FROM THE AFFECTED PROPERTY OWNER(S). [LUMO 5.8.1]
7. PHASING PLAN: IF PHASING OF THE PROJECT IS PROPOSED, THEN THE APPLICANT SHALL PROVIDE A PHASING PLAN AS PART OF THE ZONING COMPLIANCE PERMIT. THE PHASING PLAN SHALL ALSO DETAIL WHICH PUBLIC IMPROVEMENTS AND STORMWATER MANAGEMENT STRUCTURES WILL BE COMPLETED IN EACH PHASE PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY. CONSTRUCTION FOR ANY PHASE SHALL NOT BEGIN UNTIL ALL PUBLIC IMPROVEMENTS IN PREVIOUS PHASES HAVE BEEN COMPLETED, AND A NOTE TO THIS EFFECT SHALL BE PROVIDED ON THE FINAL PLANS. [LUMO 4.5.3]
8. NORTH CAROLINA DEPARTMENT OF TRANSPORTATION: PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT PLANS FOR ANY IMPROVEMENTS TO STATE-MAINTAINED ROADS OR IN ASSOCIATED RIGHTS-OF-WAY SHALL BE APPROVED BY NCDOT.
9. NEW STREET NAMES AND NUMBERS: THE NAME OF THE DEVELOPMENT AND ITS STREETS AND HOUSE/BUILDING NUMBERS SHALL BE APPROVED BY THE TOWN MANAGER PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT.

SOLID WASTE STIPULATIONS

- 1. CONSTRUCTION WASTE: CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED. ALL HAULERS OF CONSTRUCTION WASTE CONTAINING REGULATED RECYCLABLE MATERIALS MUST BE PROPERLY LICENSED WITH ORANGE COUNTY SOLID WASTE. THE DEVELOPER SHALL PROVIDE THE NAME OF THE PERMITTED WASTE DISPOSAL FACILITY TO WHICH ANY LAND CLEARING OR DEMOLITION WASTE WILL BE DELIVERED. [ORANGE COUNTY SOLID WASTE]
2. DECONSTRUCTION ASSESSMENT: FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR LARGER A DECONSTRUCTION ASSESSMENT SHALL BE CONDUCTED BY OCCSW STAFF PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT PURSUANT TO THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO). PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE DEVELOPER SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE HELD AT THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT ENFORCEMENT OFFICIALS.

CONDITIONS PRIOR TO ANY LAND DISTURBING ACTIVITIES

- 1. AT LEAST ONE PERSON FROM THE CONTRACTOR'S FIRM WILL BE REQUIRED TO ATTEND THE TOWN'S TREE PROTECTION SEMINAR AND INSPECTION REVIEW. CONTACT ADAM NICHOLSON AT 919-969-5006 TO ARRANGE.
2. TREE PROTECTION FENCING: TREE PROTECTION FENCING WILL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITIES.
3. DEMOLITION PLAN: PRIOR TO BEGINNING ANY PROPOSED DEMOLITION ACTIVITY, THE DEVELOPER MUST OBTAIN DEMOLITION PERMITS FROM BOTH THE PLANNING AND INSPECTION DEPARTMENTS. WHILE THE DEMOLITION COMPONENT MAY BE SUBMITTED TO PLANNING IN TANDEM WITH THE ZONING COMPLIANCE PERMIT FOR NEW CONSTRUCTION, A SEPARATE STAND-ALONE PERMIT SHALL BE ISSUED PRIOR TO AN INSPECTION'S DEMOLITION PERMIT. FURTHER, PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT FOR ALL EXISTING STRUCTURES 500 SQUARE FEET OR LARGER, ORANGE COUNTY SOLID WASTE STAFF SHALL CONDUCT A DECONSTRUCTION ASSESSMENT PURSUANT TO THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO).
4. EROSION CONTROL BOND: IF ONE ACRE OR MORE IS TO BE UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THE PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. [TOWN CODE 5-98]

REQUIREMENTS RELATED TO EROSION CONTROL MEASURES

- 1. AN EROSION CONTROL PERMIT APPROVAL FROM NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY IS IS REQUIRED PRIOR TO LAND DISTURBING ACTIVITIES ON THIS PROJECT.
2. SEDIMENT CONTROL: THE DEVELOPER SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SEDIMENTS ON ADJACENT ROADWAYS. [TOWN CODE 5-86]
3. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE DEVELOPER SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES DAILY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS ANDY ANY NECESSARY REPAIRS. [ORANGE COUNTY EROSION CONTROL]
4. EROSION CONTROL: THE DEVELOPER SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE. [TOWN CODE 5-98]
5. THE PROPOSED STORMWATER CONTROL MEASURES FOR THE SITE SHALL BE DESIGNED TO MEET THE CURRENT NORTH CAROLINA DIVISION OF ENVIRONMENTAL QUALITY DESIGN MANUAL AND TOWN OF CHAPEL HILL PUBLIC WORKS ENGINEERING DESIGN MANUAL. [LUMO 5.4.3]

CONDITIONS DURING CONSTRUCTION

- 1. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DEVELOPMENT IS PROHIBITED. [TOWN CODE, ARTICLE 9]
2. PRIOR TO ANY LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT THE CHAPEL HILL ENGINEERING DIVISION AT 919-968-2833 AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
5. EXISTING IMPROVEMENTS NOT DESIGNATED FOR DEMOLITION (SIDEWALKS, CURB & GUTTER, PAVEMENTS, TREES, PROPERTY CORNERS, ETC) WILL BE PROTECTED DURING CONSTRUCTION. IF DAMAGED BY THE CONTRACTOR, ANY DAMAGE WILL BE REPAIRED BY THE CONTRACTOR AT NO COST TO THE OWNER.
6. FIRE DEPARTMENT CONNECTIONS AND STANDPIPES: WHEN THE BUILDING BEING CONSTRUCTED REQUIRES STANDPIPES, A TEMPORARY STANDPIPE CONNECTION WILL BE CONSTRUCTED WITH READY FIRE DEPARTMENT ACCESS WHEN THE BUILDING IS NOT MORE THAN 40 FEET IN HEIGHT. SUCH STANDPIPES SHALL PROVIDE USABLE CONNECTIONS ADJACENT TO THE STAIRS AND SHALL CONTINUE WITH BUILDING PROGRESSION ALWAYS BEING NOT MORE THAN ONE FLOOR BELOW THE HIGHEST FLOOR OF THE BUILDING. [NC FPC 912 AND NC FPC 2018 3313]
7. ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE. 2018 NCFE CHAPTER 33.
8. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFE SECTION 3304.5.
9. HYDRANTS ACTIVE: THE DEVELOPER WILL PROVIDE ACTIVE FIRE HYDRANT COVERAGE, ACCEPTABLE TO THE FIRE DEPARTMENT, FOR ANY AREAS WHERE COMBUSTIBLE CONSTRUCTION MATERIAL WILL BE STORED OR INSTALLED, PRIOR TO HAVING SUCH MATERIALS DELIVERED TO THE SITE. ALL REQUIRED FIRE HYDRANTS MUST BE INSTALLED, ACTIVE, AND ACCESSIBLE FOR FIRE DEPARTMENT USE PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIALS ON SITE. FIRE PROTECTION SYSTEMS SHALL BE INSTALLED ACCORDING TO TOWN ORDINANCE, THE NC FIRE CODE, AND NFPA 13. [NC FPC 2018 SECTION 501.1 & 3313]
10. FIREFIGHTING ACCESS DURING CONSTRUCTION: VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED TO ALL CONSTRUCTION OR DEMOLITION SITES INCLUDING VEHICLE ACCESS TO WITHIN 100 FEET OF TEMPORARY OR PERMANENT FIRE DEPARTMENT CONNECTIONS AND HYDRANTS. VEHICLE ACCESS SHALL BE PROVIDED BY EITHER TEMPORARY OR PERMANENT ROADS CAPABLE OF SUPPORTING VEHICLE LOADING UNDER ALL WEATHER CONDITIONS. [NC FPC 2018 SECTION 3310.1]
11.CURB BUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED - CROSS SLOPES LIMITED TO MAXIMUM 2%. CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
12.PROVIDE A TIRE WASH FOR TRUCKS ON SITE BEFORE THEY EXIT ONTO MAIN ROADS.
13.PROVIDE ON-SITE PARKING FOR INSPECTORS AT EACH BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.
14.COMPLIANCE WITH THE TOWN OF CHAPEL HILL NOISE ORDINANCE IS MANDATORY. (CODE OF ORDINANCES, MISCELLANEOUS PROVISIONS AND OFFENSES, ARTICLE III. NOISE.)
15.RETAINING WALLS OVER 5' HIGH SHALL BE PERMITTED SEPARATELY FROM THE BUILDING AND MUST BE SIGNED BY A DESIGN PROFESSIONAL.

REQUIREMENTS PRIOR TO WORK IN A PUBLIC RIGHT OF WAY

- 1. DRIVEWAY PERMIT: THE DEVELOPER MUST OBTAIN AN APPROVED DRIVEWAY PERMIT AND/OR ENCROACHMENT AGREEMENT(S) PRIOR TO BEGINNING ANY PROPOSED WORK WITHIN THE NCDOT RIGHT-OF-WAY. AS A CONDITION OF THE PERMIT, THE PERMITTEE SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF STIPULATED IMPROVEMENTS IN ACCORDANCE WITH NCDOT REQUIREMENTS. AN APPROVED PERMIT WILL BE ISSUED UPON RECEIPT OF APPROVED ROADWAY AND SIGNAL CONSTRUCTION PLANS, INSPECTION FEES, AND ANY NECESSARY PERFORMANCE AND INDEMNITY BONDS.
2. PAVEMENT MARKINGS: ANY PAVEMENT MARKINGS PROPOSED WITHIN THE PUBLIC STREET RIGHTS-OF-WAY SHALL BE LONG LIFE THERMOPLASTIC. PAVEMENT MARKERS SHALL BE INSTALLED IF THEY PREVIOUSLY EXISTING ON THE ROADWAYS.
3. ENGINEERING CONSTRUCTION PERMIT FROM THE TOWN ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY WORK INTHE RIGHT-OF-WAY.
4. THE CONTRACTOR IS REQUIRED TO COORDINATE ANY SIDEWALK CLOSURES WITH THE DALE MAY AT THE TOWN OF CHAPEL HILL ENGINEERING DIVISION (919-969-5096) TO ENSURE COORDINATION WITH OTHER DOWNTOWN SITES UNDER CONSTRUCTION.

CONDITIONS RELATED TO FIRE CODE

- 1.GATES AND BARRICADES: WHERE REQUIRED OR AUTHORIZED BY THE FIRE CODE OFFICIAL AND PERMANENT OR TEMPORARY (CONSTRUCTION), ANY GATES ACROSS FIRE APPARATUS ROADS SHALL BE A MINIMUM WIDTH OF 20 FEET, BE OF SWINGING OR SLIDING TYPE, HAVE EMERGENCY MEANS OF OPERATION, SHALL BE OPENABLE BY EITHER FORCEIBLE ENTRY OR KEVED, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200. [NC FPC 2018, 503.5, 503.6, D103.5]
2.GRADE AND APPROACH: FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE UNLESS APPROVED BY THE FIRE CHIEF, AND ALL APPROACH AND DEPARTURE ANGLES SHALL BE WITHIN THE LIMITS ESTABLISHED BASED ON THE FIRE DEPARTMENTS' APPARATUS. [NC FPC 2018, 503.5, 503.6, D103.2]
3. FIRE COMMAND CENTER: WHERE REQUIRED IN THE NORTH CAROLINA FIRE PROTECTION CODE AND IN ALL HIGH RISE BUILDINGS, A FIRE COMMAND CENTER MUST BE CONSTRUCTED IN ACCORDANCE WITH SECTION 508, NC FPC 2018.
4. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS: ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. [NC FPC 2018 SECTION 510.1]
5. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFE SECTION 3304.5
6. AERIALS: WHERE A BUILDING EXCEEDS 30 FEET IN HEIGHT OR 3 STORIES ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS, OVERHEAD POWER AND UTILITY LINES SHALL NOT BE ALLOWED WITHIN THE AERIAL APPARATUS ACCESS ROADWAY AND THE ROADWAY SHALL HAVE AN UNOBSTRUCTED WIDTH OF 26 FEET EXCLUSIVE OF THE SHOULDERS. AT LEAST ONE OF THE APPARATUS ACCESS ROADWAYS SHALL BE LOCATED WITHIN A MINIMUM OF 15 FEET AND A MAXIMUM OF 30 FEET FROM ONE COMPLETE SIDE OF THE BUILDINGS. [NC FPC 2018 D105.1, D105.2, D105.3, D105.4]
7. FIRE APPARATUS ACCESS ROADS: ANY FIRE APPARATUS ACCESS ROADS (ANY PUBLIC/PRIVATE STREET, PARKING LOT ACCESS, FIRE LANES, AND ACCESS ROADWAYS) USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL-WEATHER AND DESIGNED TO CARRY THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 80,000 LBS. STRUCTURES EXCEEDING 30 FEET IN HEIGHT SHALL BE PROVIDED WITH AN AERIAL APPARATUS ACCESS ROAD 26 FEET IN WIDTH IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF, AND SHALL PROVIDE AT LEAS ONE OF THE REQUIRED ACCESS ROADS TO BE LOCATED NOT LESS THAN 15 FEET AND NOT MORE THAN 30 FEET FROM THE STRUCTURE PARALLEL TO ONE ENTIRE SIDE OF THE STRUCTURE [NC FPC 2018 502.1, 503.1.1, 503.2.1, D102.1 SECOND ACCESS DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]
8. BUILDING HEIGHT: BUILDINGS EXCEEDING 30 FEET OR THREE STORIES IN HEIGHT MUST HAVE AT LEAST TWO MEANS OF FIRE APPARATUS ACCESS SEPARATED BY AT LEAST ON HALF OF THE DIAGONAL DISTANCE OF THE BUILDING . [NC FPC 2018 D104.1, D104.3 DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]
9. AUTOMATED FIRE SPRINKLER SYSTEM REQUIRED: AN AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA STANDARD #13 AND TOWN CODE 7-56 IS REQUIRED TO BE INSTALLED IN NON-RESIDENTIAL CONSTRUCTION.
10.FIRE DEPARTMENT CONNECTIONS, LOCATIONS: ANY REQUIRED FDCs FOR ANY BUILDINGS SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR CURRENT, APPROVED EDITION OF NFPA 13, 13D, 13R, OR 14 OF THE NC FPC 2018 AND TOWN CODE 7-38 FOR LOCATION. FDCs SHALL BE INSTALLED WITHIN 100 FEET OF A HYDRANT UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL, AND SHALL NOT BE OBSTRUCTED OR HINDERED BY PARKING OR LANDSCAPING. FDCs SHALL BE EQUIPPED WITH NATIONAL STANDARD THREAD (NST) AND BE A 2.5" SIAMSE.
11.FIRE DEPARTMENT CONNECTIONS, INSTALLATION; A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDCS UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. THE FDCS WHERE REQUIRED MUST BE PHYSICALLY PROTECTED FROM IMPACTS BY AN APPROVED BARRIER. [NC FPC 2018 912.1, 912.2, 912.2.1,312]

CONDITIONS PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY

- 1. ACCESSIBILITY REQUIREMENTS: PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PROVIDE THE MINIMUM REQUIRED HANDICAPPED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT AND ASSOCIATED CODES AND STANDARDS. [LUMO 5.9.5]
2. REPAIR/REPLACEMENT OF DAMAGED STORMWATER INFRASTRUCTURE: EXISTING STORMWATER INFRASTRUCTURE THAT IS DAMAGED AS A RESULT OF THE PROJECT DEMOLITION OR CONSTRUCTION MUST BE REPAIRED OR REPLACED, AS SPECIFIED BY THE STORMWATER MANAGEMENT ENGINEER, PRIOR TO REQUESTING A CERTIFICATE OF OCCUPANCY. [TOWN OF CHAPEL HILL DESIGN MANUAL]
3. IRRIGATION: IF PERMANENT IRRIGATION IS PROPOSED TO SUPPORT LANDSCAPING, AN IRRIGATION PLAN SHALL BE SUBMITTED WHICH INCLUDES THE USE OF SMART TECHNOLOGIES TO CONSERVE WATER AND ENERGY.
4. REPAIRS IN PUBLIC RIGHTS-OF-WAY: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL REPAIR ALL DAMAGE FOR WORK IN THE PUBLIC RIGHT OF WAY RELATED TO THE CONSTRUCTION OF THIS PROJECT, WHICH MAY INCLUDE PAVEMENT MILLING AND OVERLAY. THE DESIGN MUST BE REVIEWED AND APPROVED BY NCDOT (WHERE APPLICABLE) AND THE TOWN MANAGER PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT. [TOWN CODE 6.1]
5. NO CERTIFICATES OF OCCUPANCY SHALL BE ISSUED UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS ARE COMPLETE.
6. AS-BUILT PLANS: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE DEVELOPER SHALL PROVIDE TO THE TOWN CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHALL BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88. [TOWN DESIGN MANUAL CHAPTER 10]
7. TRAFFIC SIGNS: THE DEVELOPER SHALL BE RESPONSIBLE FOR PLACEMENT AND MAINTENANCE OF TEMPORARY REGULATORY SIGNS BEFORE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY
8. FIRE SPRINKLERS: THE DEVELOPER SHALL INSTALL SPRINKLERS UNDER THE NORTH CAROLINA FIRE PROTECTION CODE (NC FPC) PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. FIRE ACCESS: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, FIRE ACCESS SHALL BE REVIEWED AND APPROVED BY THE TOWN OF CHAPEL HILL.
10. KEY BOX: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX MOUNTED ON THE ADDRESS SIDE OF THE BUILDING NEAR THE MAIN ENTRANCE, SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY AND/OR FIRE PROTECTION NEEDS. [NC FPC 506]
11. PREMISE IDENTIFICATION: APPROVED BUILDING ADDRESS NUMBERS , PLACED IN A POSITION ACCEPTABLE TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. [NC FPC 2018, 505.1]
12. FIRE APPARATUS ACCESS FOR CHAPEL HILL FIRE DEPARTMENT: ALL FIRE DEPARTMENT ACCESS DETERMINATIONS SHALL BE BASED UPON CHAPEL HILL FIRE DEPARTMENT APPARATUS SPECIFICATIONS AND FIELD VERIFICATION. ALL PROPOSED FIRE DEPARTMENT ACCESS DESIGNS SHALL BE REVIEWED AND SHALL ALSO PASS FIELD INSPECTION.
13. FIRE LANE: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, ANY FIRE LANE SHALL BE MARKED AND SIGNED IN ACCORDANCE WITH TOWN STANDARDS PER THE ASSOCIATED PLANS APPROVED IN THE ZONING COMPLIANCE PERMIT.
14. THE PROJECT IS REQUIRED TO HAVE ELECTRIC VEHICLE (EV) CHARGING STATIONS SERVING 3% OF ALL PARKING SPACES (2 TOTAL SPACES). A TOTAL OF 20% OF ALL PARKING SPACES MUST BE MADE "EV READY" FOR FUTURE CHARGING STATIONS - WHICH INCLUDES THE INSTALLATION OF DEDICATED ELECTRICAL CIRCUITS AND UNDERGROUND CONDUITS (34 SPACES).
15. UTILITY EASEMENTS: PRIOR TO THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, THE DEVELOPER WILL RECORD ALL PROPOSED PUBLIC WATER AND SANITARY SEWER EASEMENTS LOCATED AS SHOWN IN THIS SET OF PLANS.



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Orange County, North Carolina

PIN: 9788-37-0680
9788-37-0549
9788-27-9667
9788-27-9700
9788-37-0721
9788-37-0647



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Table with columns: Drawn, Checked, Date, Revisions. Includes entries for WLR, MTO, WLR, CHN, 5-9-2022, and various site revisions from 4-20-2023 to 4-28-2026.

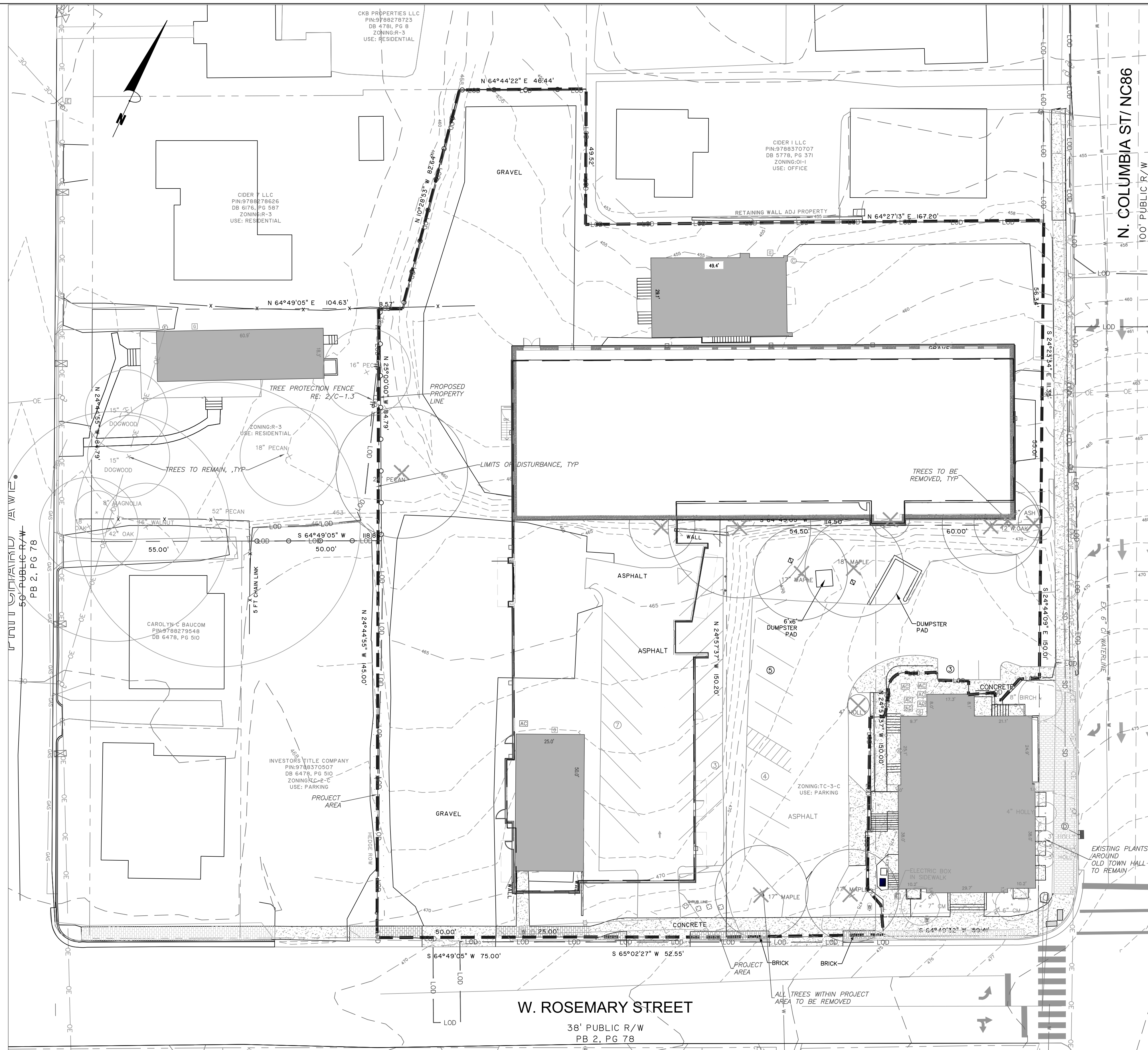
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Sheet Title:

CONSTRUCTION CONDITIONS

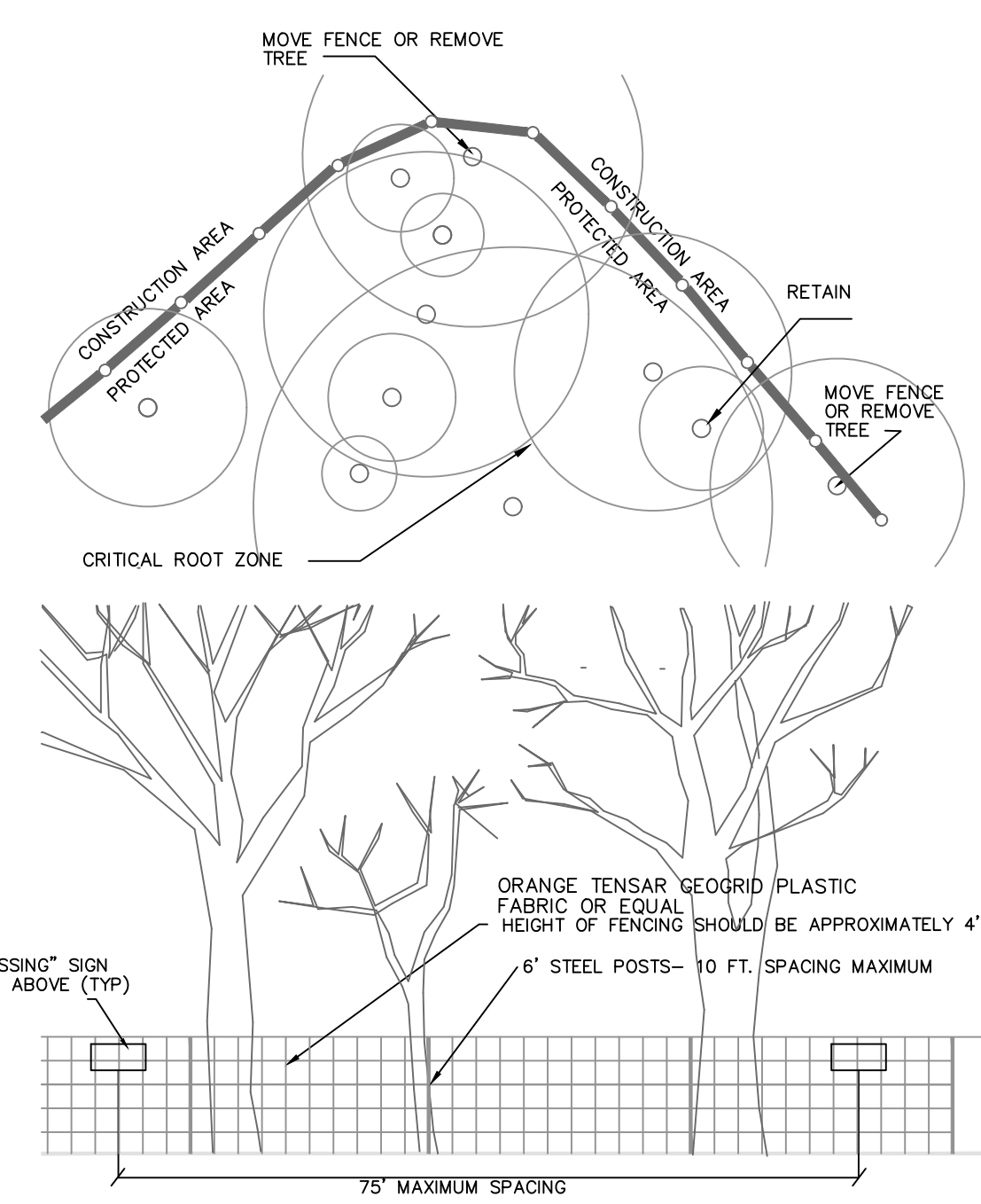
Sheet Number

C-1.1



LEGEND

Water Valve	⊗
Yard Inlet	⊕
Curb Inlet/Catch Basin	⊖
Mail Box	⊗
Traffic Signal Box	⊕
Electric Transformer	⊖
Electric Junction Box	⊗
Gas Meter	⊕
Sanitary Sewer Manhole	⊖
Storm Sewer Manhole	⊗
Telephone Manhole	⊕
Electric Manhole	⊖
Sign	⊗
Telephone Pedestal	⊕
Fire Hydrant	⊖
Fire Department Connection	⊗
Post Indicator Valve	⊕
Water Manhole	⊖
Water Meter	⊗
Hot Box	⊕
Utility Pole	⊖
Gas Wire	⊗
Light Pole	⊕
Sewer/Cleanout	⊖
Flared End Section	⊗
Gas Valve	⊕
Existing Iron Pipe (3/4" unless noted)	⊖
1/2" Rebar	⊗
1/2" Iron Pipe Set	⊕
Existing PK Nail	⊖
PK Nail Set	⊗
Computed Point	⊕
Concrete Monument	⊖
Tree Line	⊗
Fence	X
Underground Electric	UE
Underground Telephone	UT
Gas Line	GAS
Water Line	W
Overhead Utilities	OU
Storm Sewer	S
Sanitary Sewer	SS
Guard Rail	GR
Steep Slopes	⊗



- NOTES:**
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
 2. TREES TO BE REMOVED WITHIN THE TREE PROTECTION AREA (BECAUSE >20% OF ROOT ZONE IS DISTURBED) WILL BE FELLED TOWARD THE CLEARED CONSTRUCTION AREA.
 3. ROOT PRUNE TREES TO REMAIN, WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 4. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 5. THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
 6. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 7. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 8. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MAXIMUM SPACING OF 75' ON CENTER, TO READ "TREE PROTECTION AREAS - NO TRESPASSING WITHIN FENCE".

2 TREE PROTECTION FENCING
C-1.3 NTS

CANOPY COVERAGE WITHIN PROJECT AREA: 10,492 SF
CANOPY AREA TO BE REMOVED: 10,087 SF

3 TREE COVERAGE CALCULATION
C-1.3 NTS

1 EXISTING CONDITIONS - LANDSCAPE PROTECTION PLAN
C-1.3 1" = 20'

1. ALL SPECIMEN AND RARE TREES WERE SURVEYED AND ARE SHOWN.
2. THERE ARE NO SIGNIFICANT TREE STANDS IN THE PROJECT AREA.
3. TREES ARE DRAWN TO SIZE REPRESENTING THE CRITICAL ROOT ZONE.
4. A PRE-CONSTRUCTION MEETING WITH THE TOWN'S URBAN FORESTER IS REQUIRED PRIOR TO STARTING ANY WORK ON SITE.
5. THE DEVELOPER SHALL DESIGNATE A LANDSCAPE PROTECTION SUPERVISOR WHO HAS COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
6. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. AT LEAST ONE IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS, INCLUDING BUT NOT LIMITED TO: DURING CLEARING AND GRUBBING, DURING ANY EXCAVATION GRADING TRENCHING OR MOVING OF SOIL, DURING REMOVAL INSTALLATION OR MAINTENANCE OF LANDSCAPE ELEMENTS AND TREE PROTECTION FENCING, OR DURING DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.

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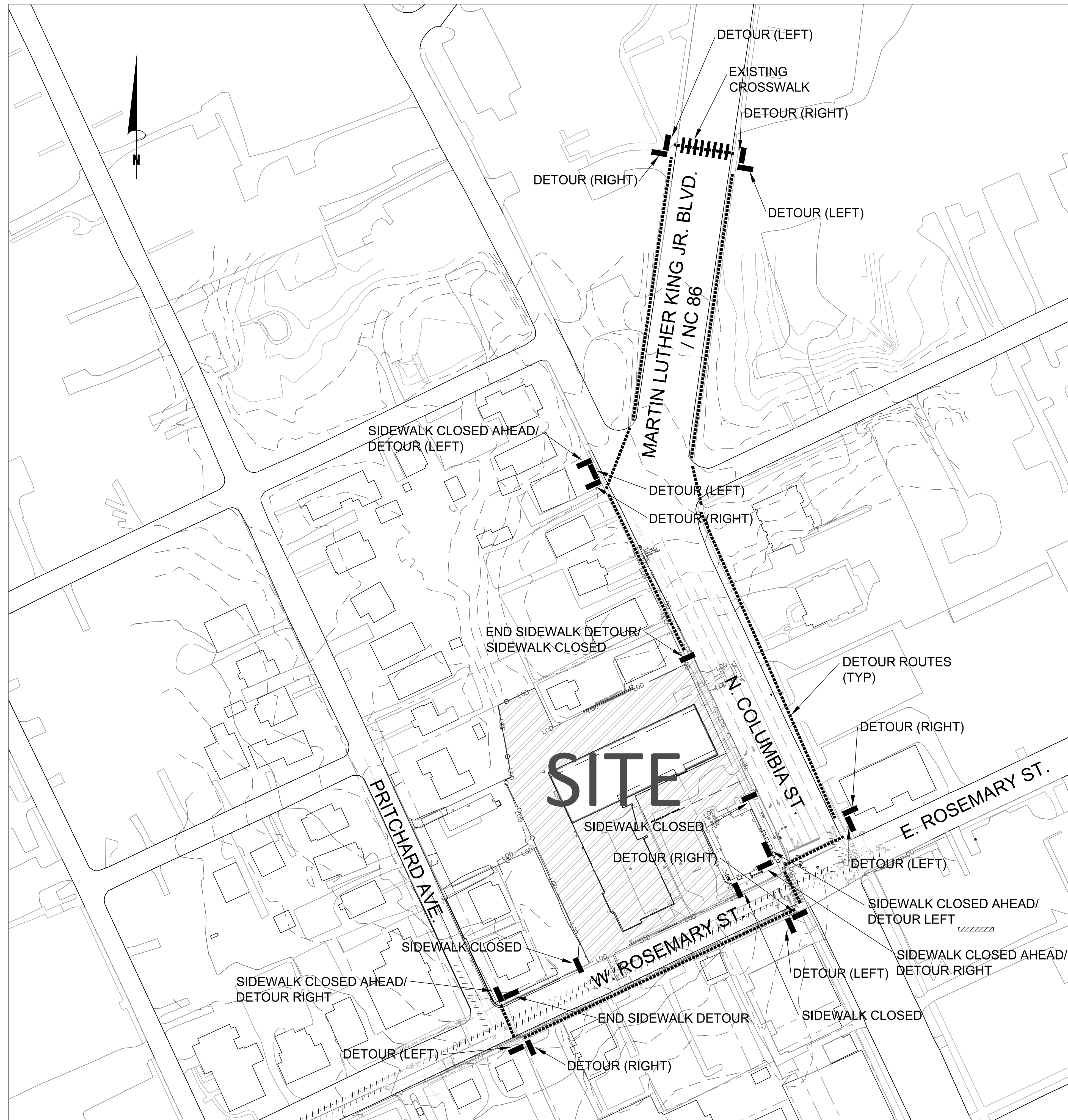
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Sheet Title:

LANDSCAPE PROTECTION PLAN

Sheet Number

C-1.3



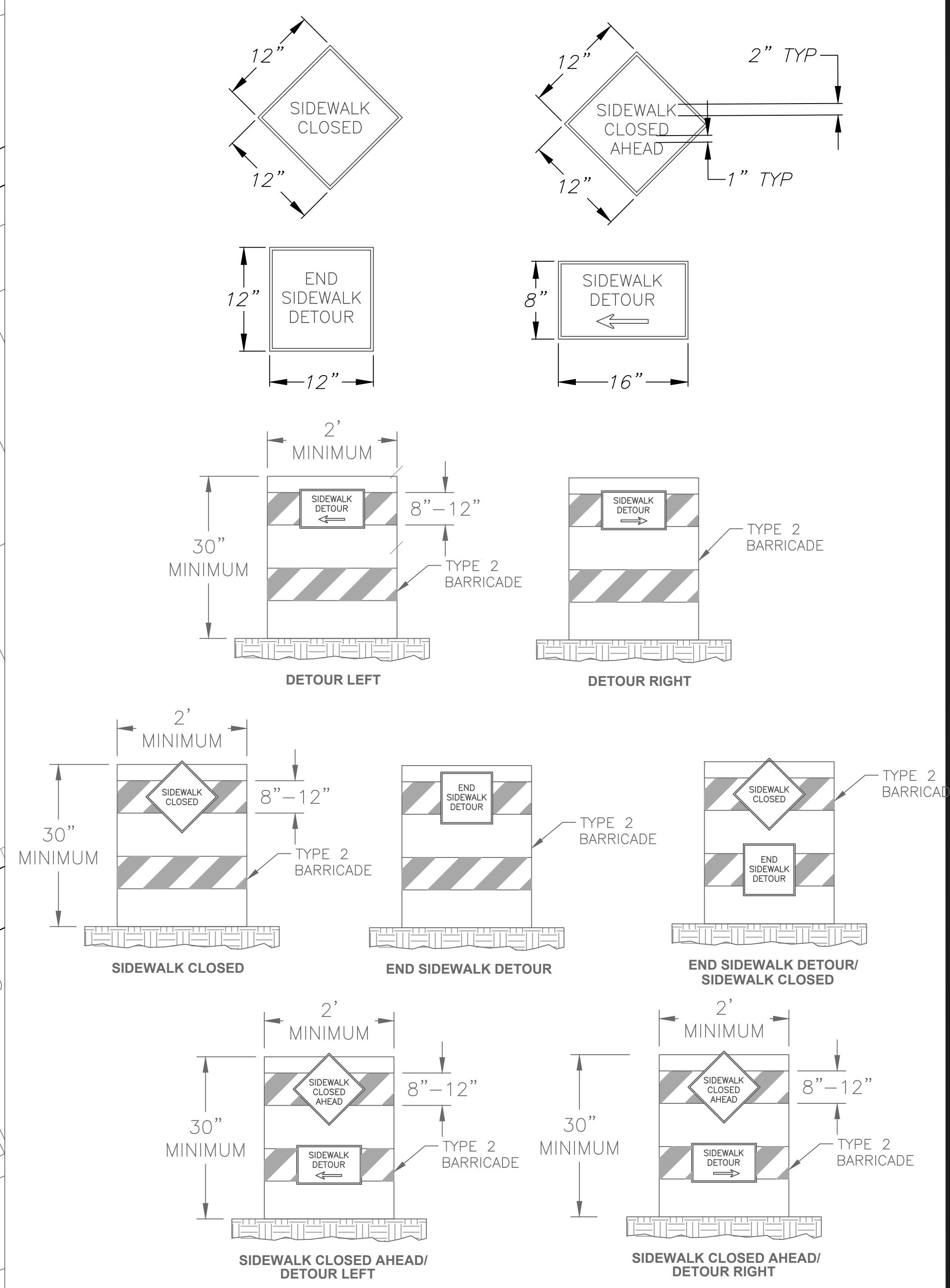
1 PEDESTRIAN DETOUR PLAN
C-1.4 1" = 60'



TRAFFIC/PEDESTRIAN CONTROL NOTES

- SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CLOSURE OF SIDEWALKS DURING THE PROJECT.
- CONSTRUCTION REQUIRING TEMPORARY SIDEWALK CLOSURES REQUIRES TOWN APPROVAL.
- PRIOR TO ANY SIDEWALK CLOSURES, IT WILL BE NECESSARY TO CONTACT DALE MAY AT 919-969-5096, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK.
- COORDINATE ANY SIDEWALK CLOSURES WITH OTHER DOWNTOWN PROJECTS UNDER CONSTRUCTION. COORDINATE THROUGH DALE MAY - CHAPEL HILL ENGINEERING DEPT.

2 SIDEWALK CLOSURE NOTES
C-1.4 NOT TO SCALE

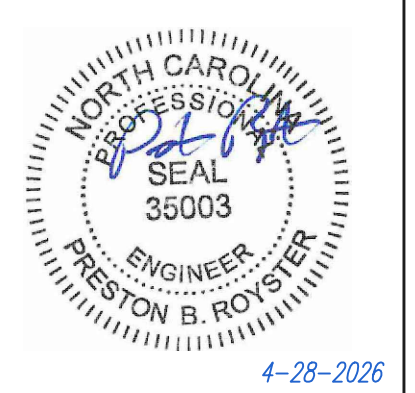


2 SIDEWALK CLOSURE SIGNAGE
C-1.4 NOT TO SCALE

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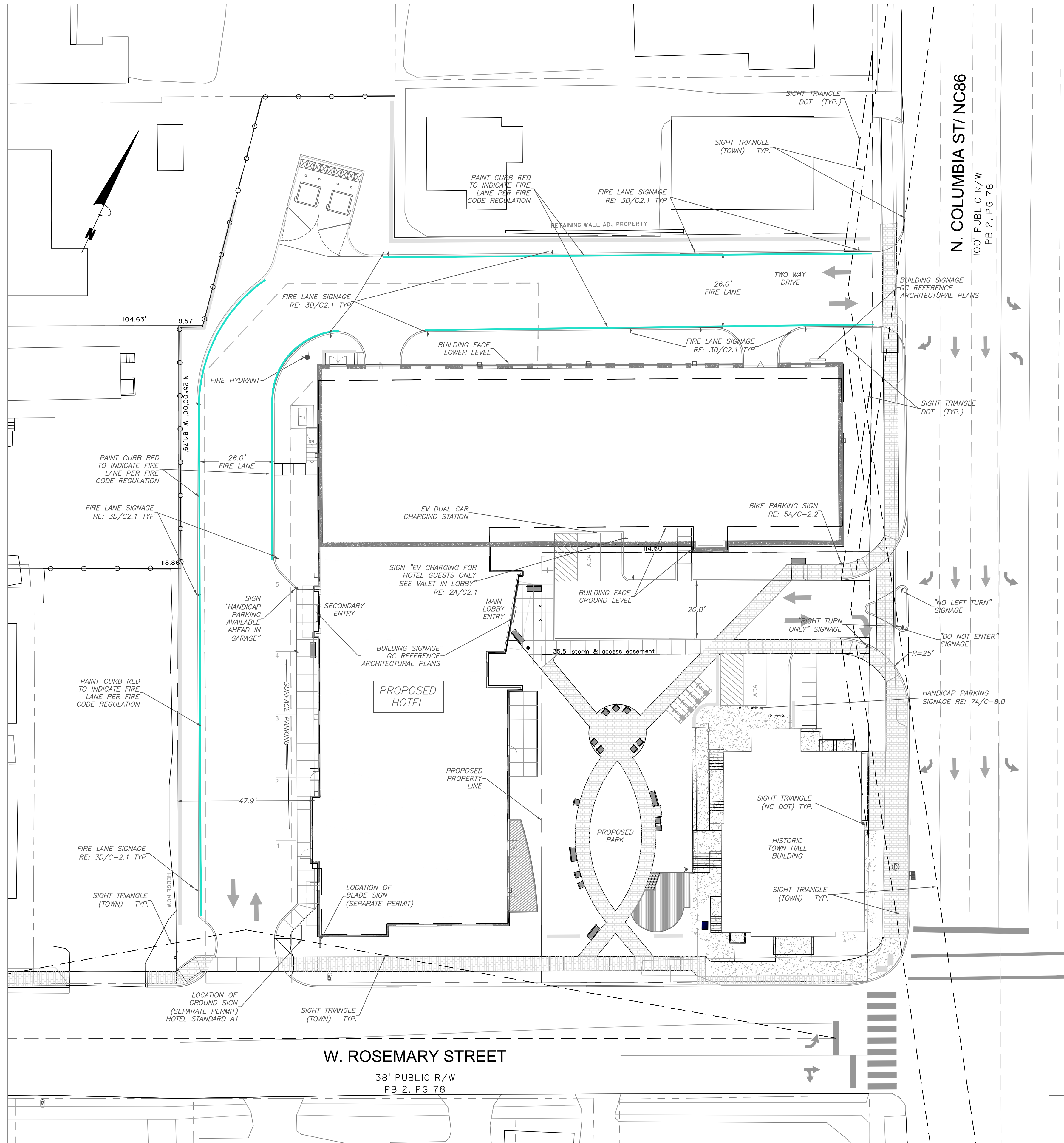
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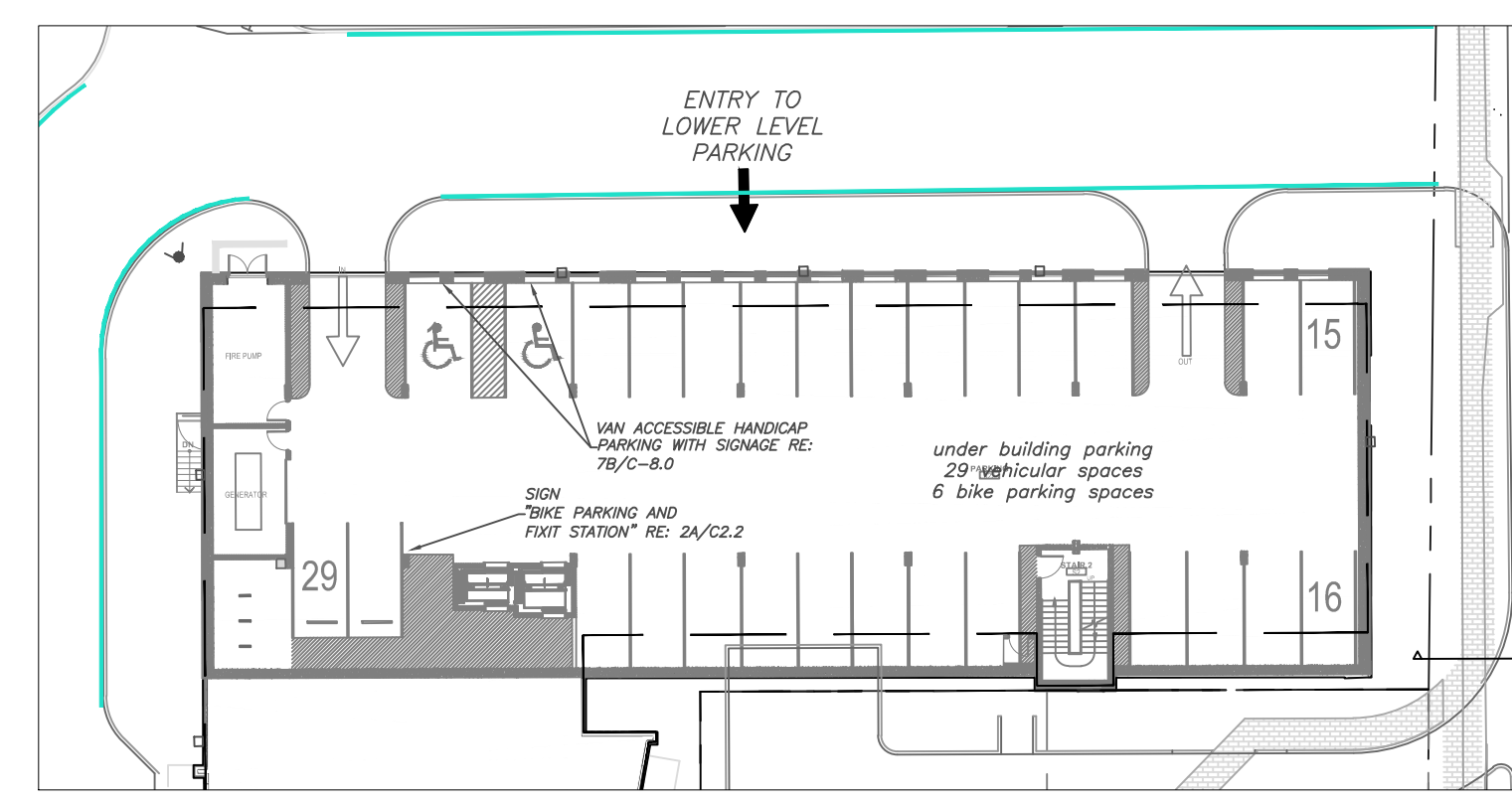
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Sheet Title:
**PEDESTRIAN
DETOUR PLAN**

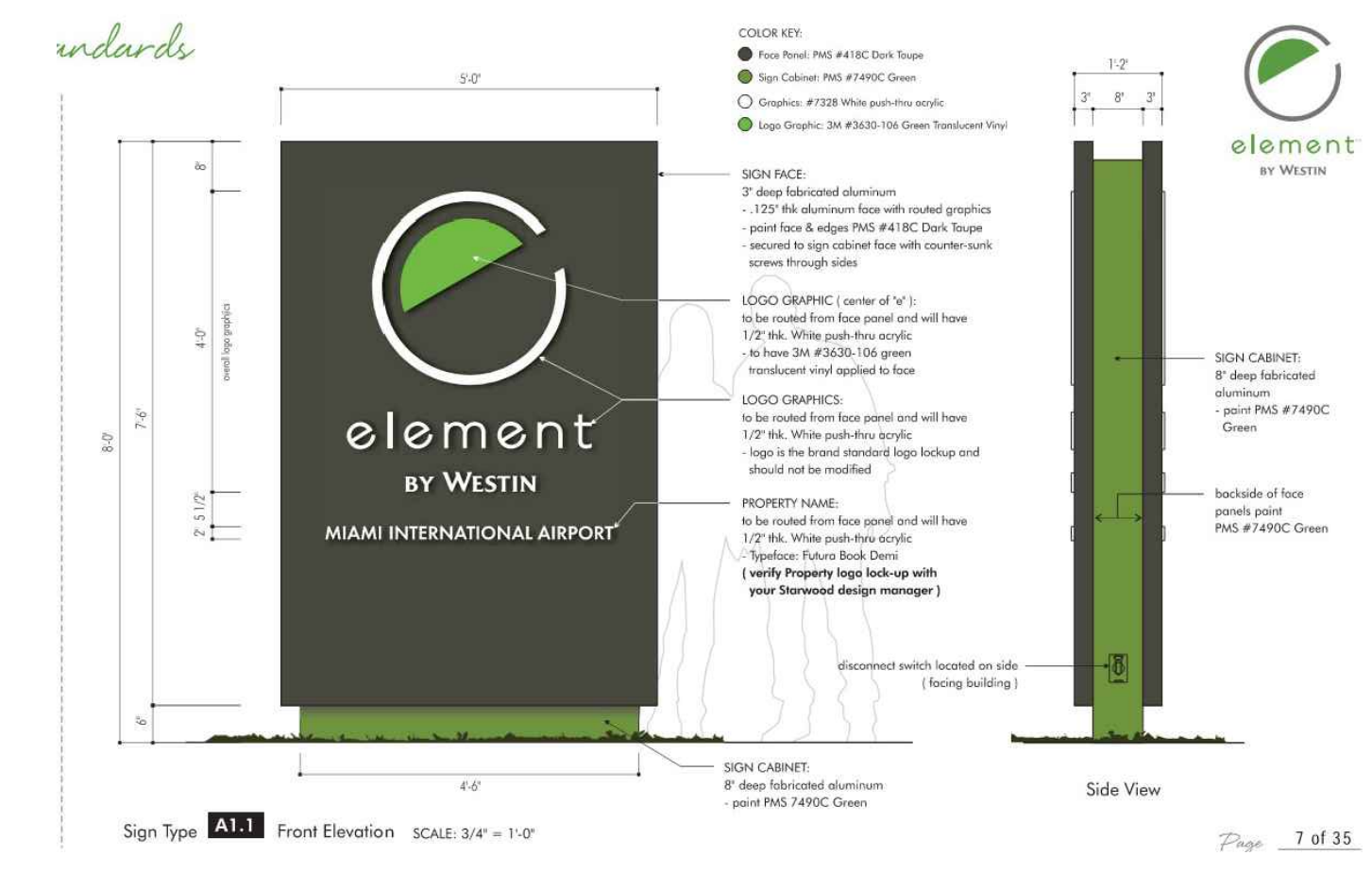
Sheet Number:
C-1.4



1 SITE SIGNAGE PLAN
C-2.1 1" = 20'



2 LOWER LEVEL UNDERGROUND PARKING LAYOUT
C-2.1 1" = 30'



3 A1 - GROUND MOUNTED HOTEL IDENTIFICATION SIGN
C-2.1

CONFIRM SIGNAGE DETAILS WITH HOTEL PRIOR TO INSTALLATION

SIGNAGE NOTES:

- SIGNS REQUIRE A SEPARATE PERMIT
- GENERAL CONTRACTOR IS TO REFERENCE THE LATEST ELEMENT WESTERN SIGNAGE STANDARDS PRIOR TO ORDERING SIGNS.
- GENERAL CONTRACTOR IS TO HAVE ALL COPY AND SIGNAGE PLANS APPROVED BY DEVELOPER PRIOR TO ORDERING SIGNS.
- NO SIGNAGE SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES.

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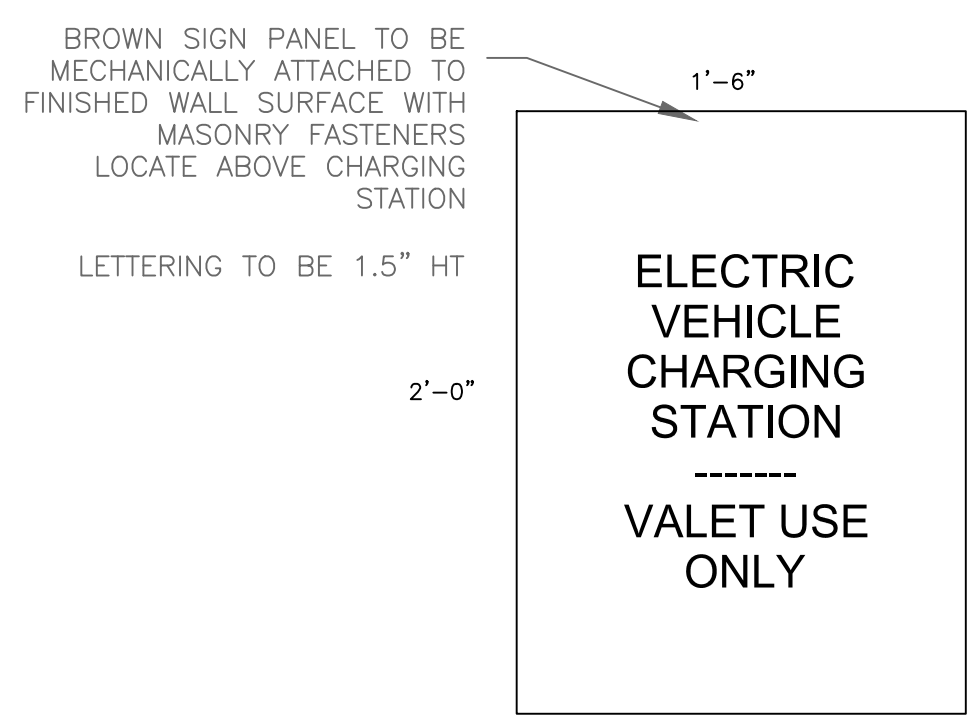
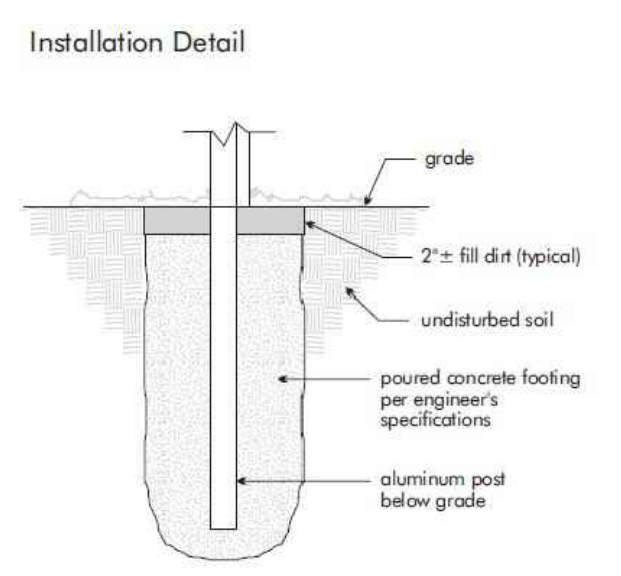
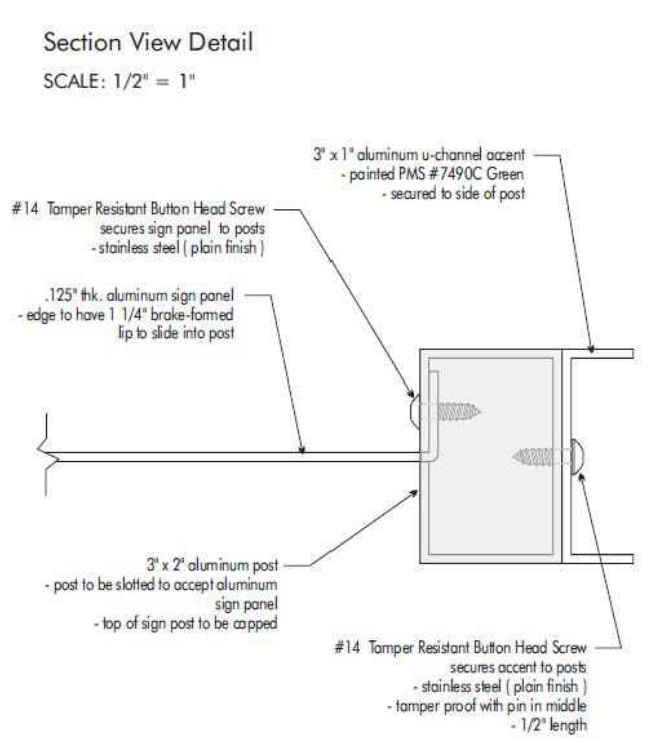
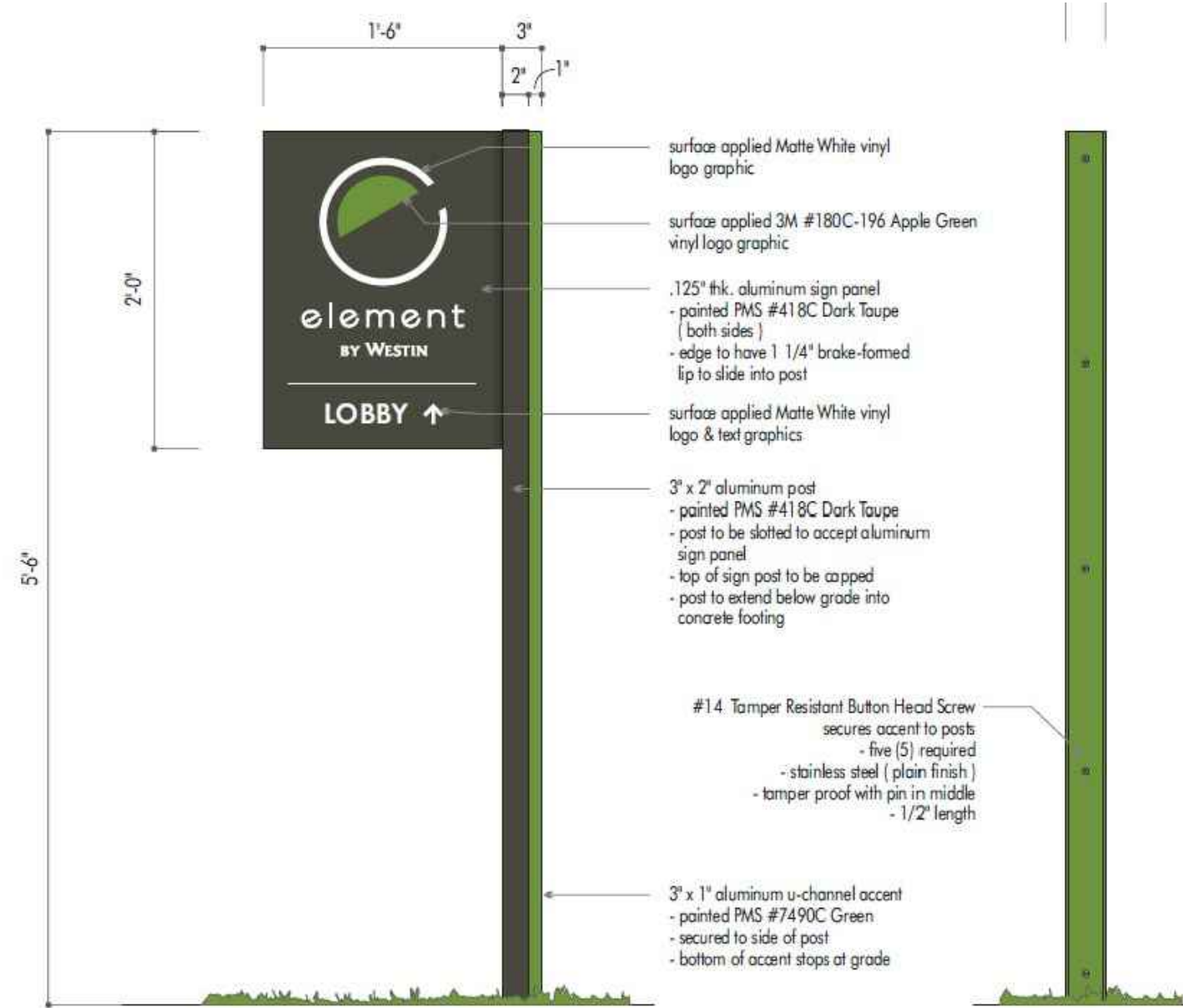
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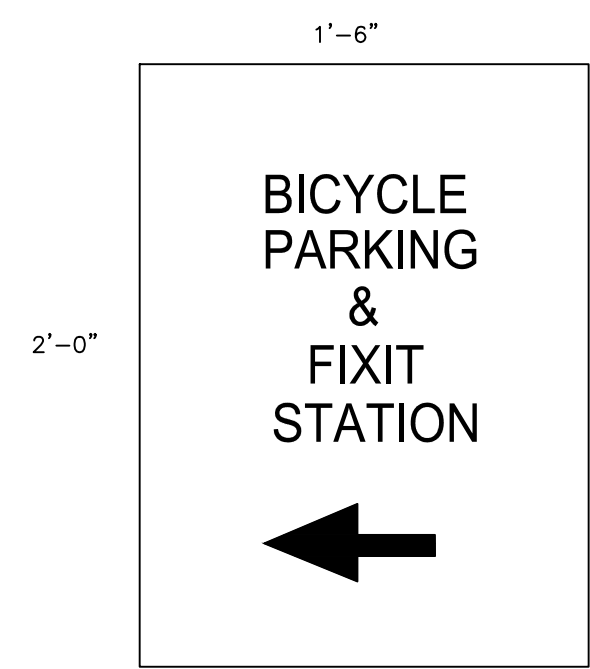
SITE SIGNAGE PLAN

Sheet Number
C-2.1

NOTE: ALL SITE SIGNAGE TO COMPLY WITH CURRENT HOTEL EXTERIOR SIGNAGE STANDARD SPECIFICATIONS
BASIS OF DESIGN IS element BY WESTIN SIGNAGE STANDARDS 2.0 2015



2A EV CHARGING STATION SIGNAGE



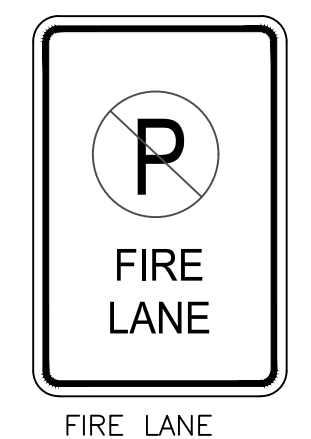
2A BIKE PARKING AND FIXIT STATION SIGNAGE

Plan View



1 STANDARD SITE SIGN POLE DETAIL
C-2.2 no scale

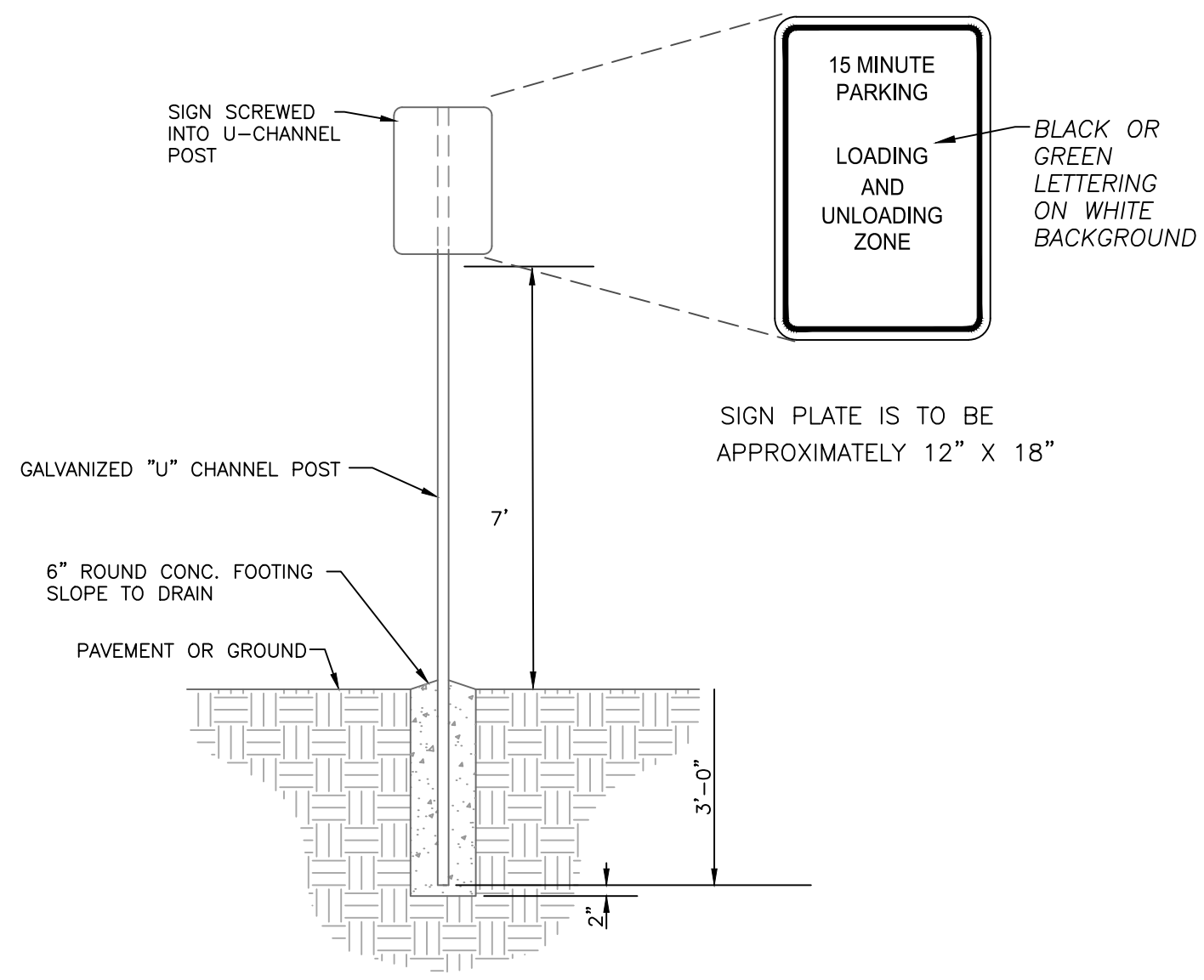
2 HOTEL STANDARD SIGNAGE
C-2.2 no scale



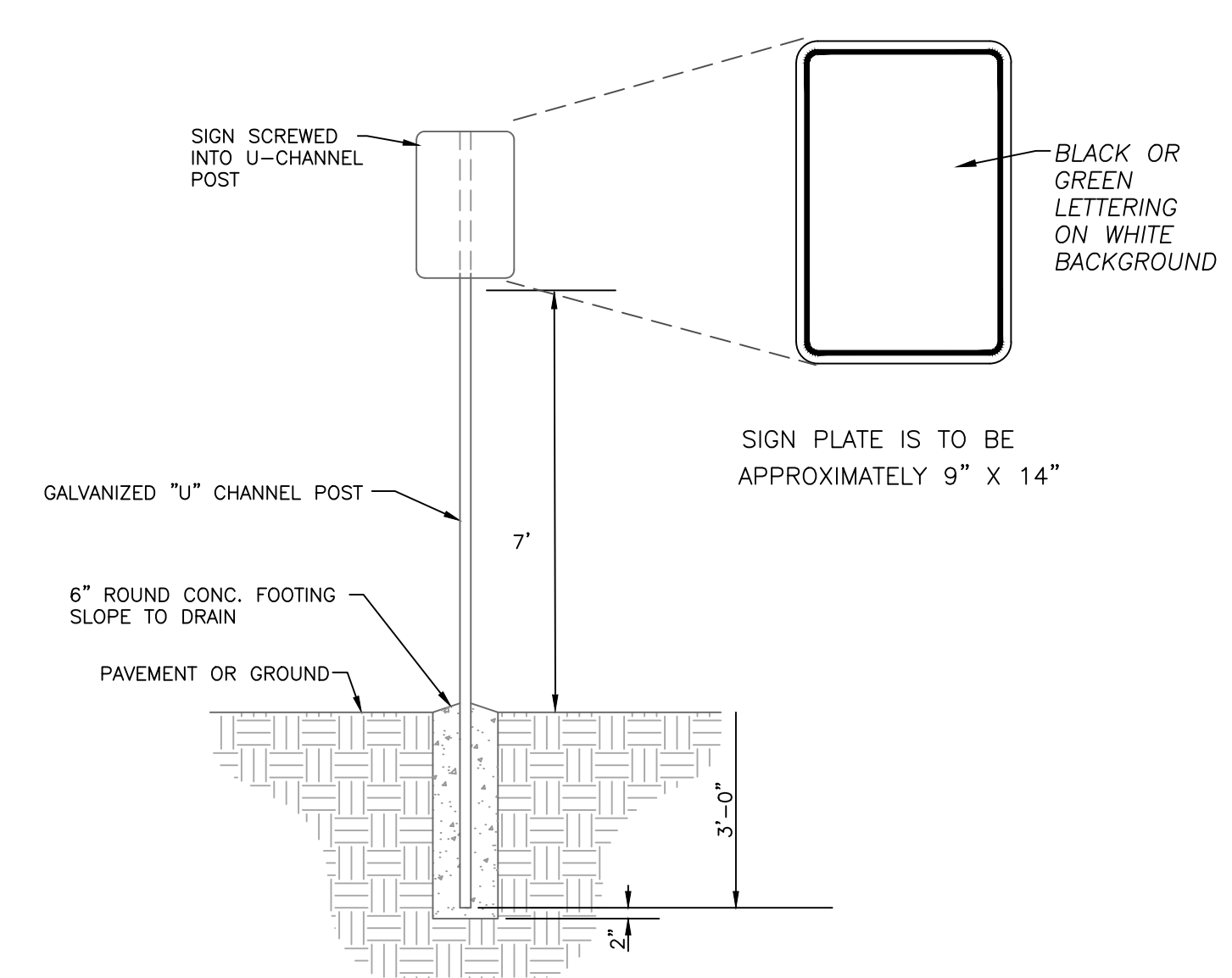
12" X 18" STANDARD SIGN TO BE AFFIXED TO 18" X 24" BROWN SIGN PANEL PER HOTEL STANDARDS
MECHANICALLY ATTACH TO STANDARD ELEMENT SIGN POLE AS SHOWN IN DETAIL 1
GC TO CONFIRM POLE AND SIGNAGE SIZE WITH DEVELOPER

3D PARKING LANE SIGNAGE

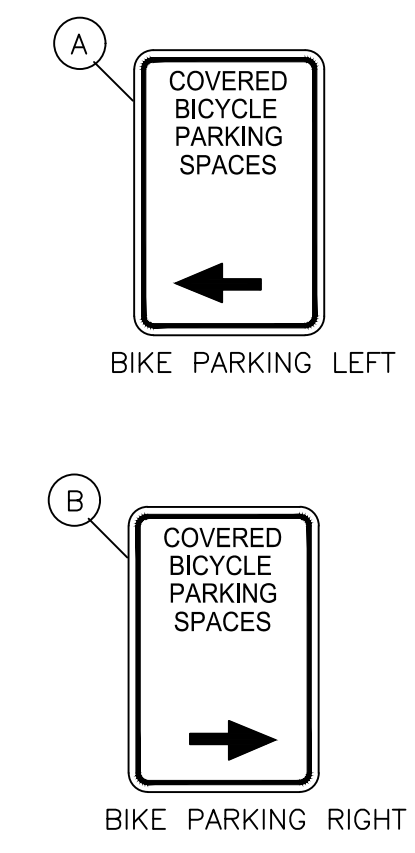
3 REQUIRED SIGNAGE ON HOTEL SIGN PLATE
C-2.2 no scale



4 SIGN DETAILS FOR INSTALLATION ON TOWN OWNED LAND - LOADING
C-2.2 no scale



5 SIGN DETAIL COVERED BIKE PARKING
C-2.2 no scale



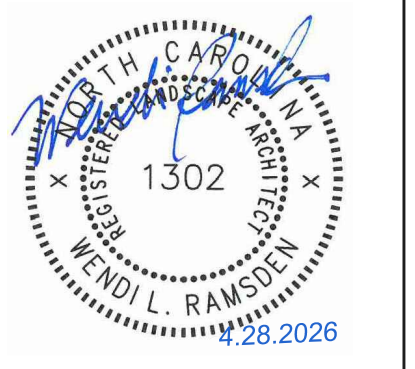
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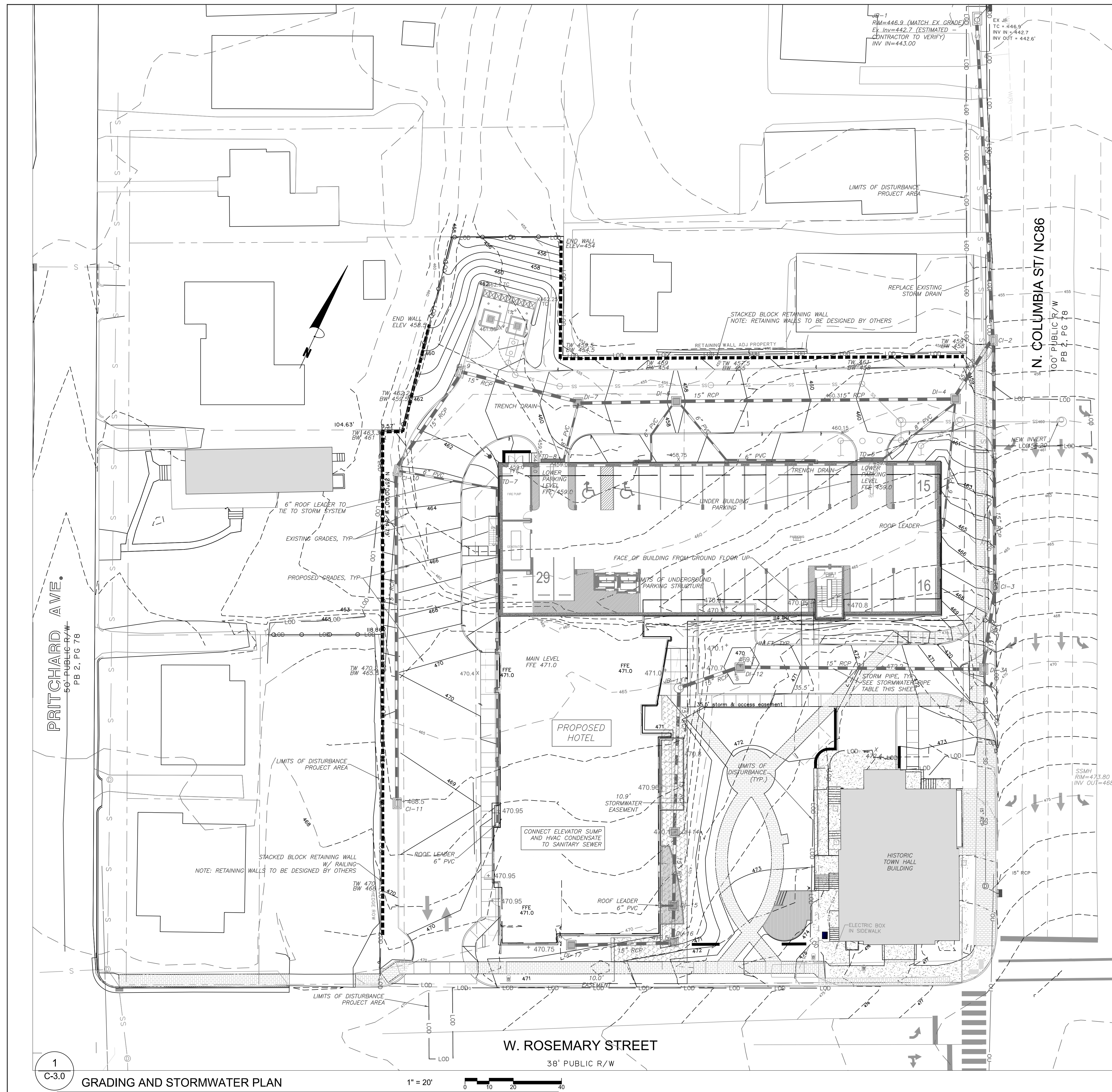
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Sheet Title:

SITE SIGNAGE DETAILS
Sheet Number
C-2.2



GRADING NOTES

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
12. DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

STORMWATER NOTES

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.

STORMWATER PIPE TABLE
* Back of Curb / **Top of Frame/Grate

PIPE SEGMENT	UPSTREAM RIM	INVERT DOWN.	INVERT UPSTRM	LENGTH (FT)	DIA. (IN.)	SLOPE (%)	PIPE MATERIAL	O-RING/GASKETT
1 TO 2	456.7*	443.00	447.00	133	15	3.01%	CONC	YES
2 TO 4	459.15**	449.20	450.00	30	15	2.68%	CONC	YES
6 TO 4	457.95**	450.20	452.50	113	15	2.04%	CONC	YES
7 TO 6	459.5**	452.70	453.80	38	15	2.89%	CONC	YES
8 TO 7	459*	454.00	456.50	24	8	10.42%	PVC	YES
9 TO 7	462.4*	454.70	455.70	48	15	2.08%	CONC	YES
9 TO 10	463.2*	455.90	456.90	45	15	2.22%	CONC	YES
10 TO 11	468.5*	457.10	460.15	134	15	2.28%	CONC	YES
4 TO 5	458.9**	454.00	456.90	38	8	7.63%	PVC	
2 TO 3	466.0*	451.00	458.00	102	15	6.86%	CONC	YES
3 TO 3A	469.85*	462.70	463.05	33	15	1.05%	CONC	YES
3A TO 12	469.70**	463.15	464.25	98	15	1.12%	CONC	YES
12 TO 13	470.10**	464.45	464.70	23	15	1.09%	CONC	YES
13 TO 14	470.10**	464.90	465.50	56	15	1.07%	CONC	YES
14 TO 15	470.00**	465.70	466.00	27	15	1.11%	CONC	YES
15 TO 16	470.90**	466.20	466.35	12	15	1.25%	CONC	YES
16 TO 17	470.00**	466.35	466.95	39	15	1.54%	CONC	YES

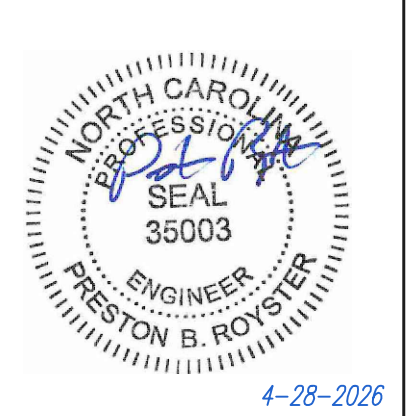
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LIC # F-0871
NC BOARD OF LANDSCAPE ARCHITECTS
LIC # C-104

Project:
Rosemary/Columbia Hotel

110 W. Rosemary St.
Orange County, North Carolina

PIN:
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9788-37-0549
9788-27-9667
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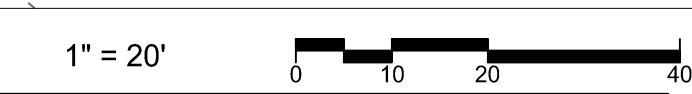
PRELIMINARY-DO NOT USE FOR CONSTRUCTION

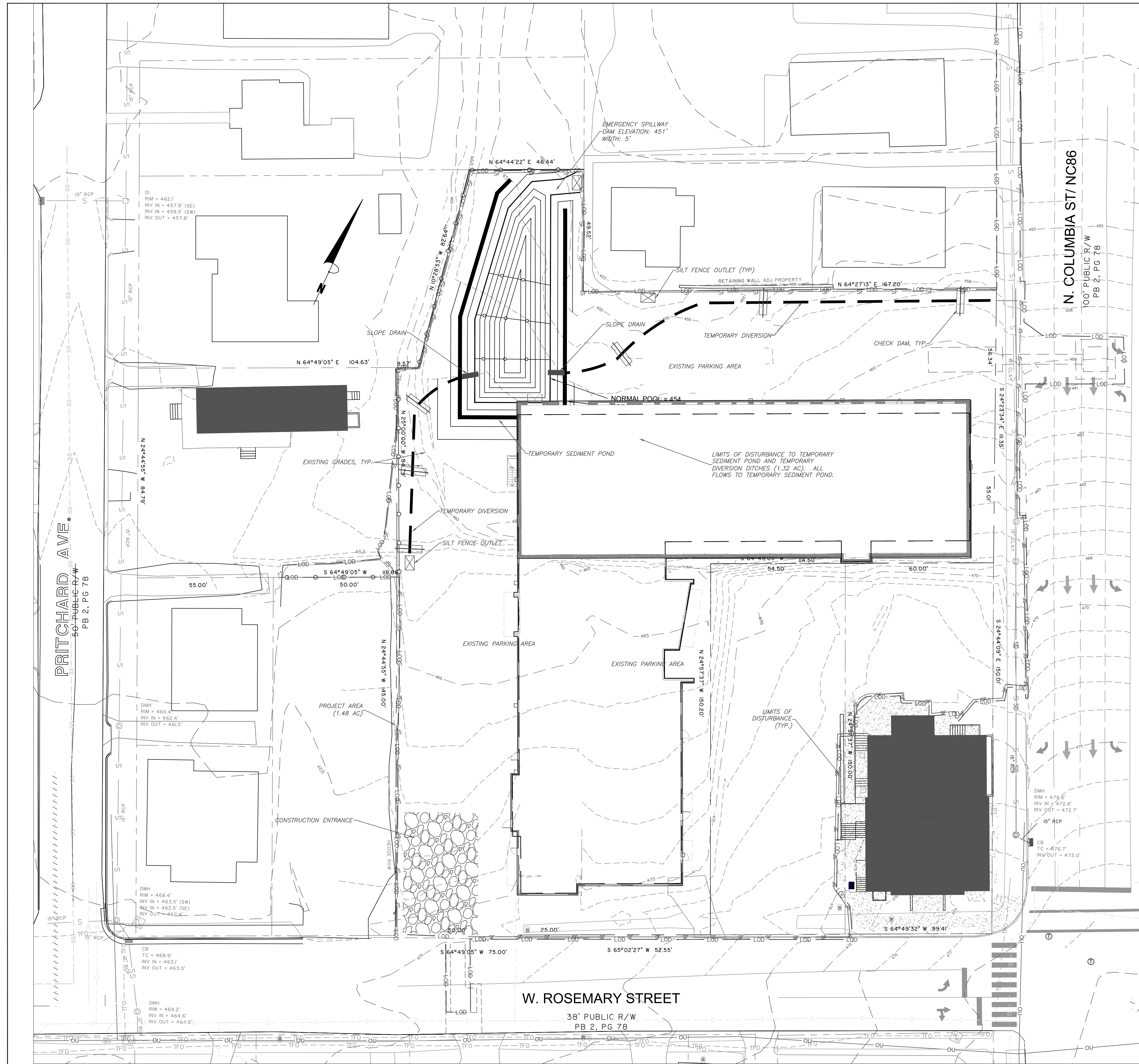
Job Number: 1963
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Checked: WLR, CNH
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Zoning Compliance Permit

Sheet Title:
GRADING AND STORMWATER PLAN

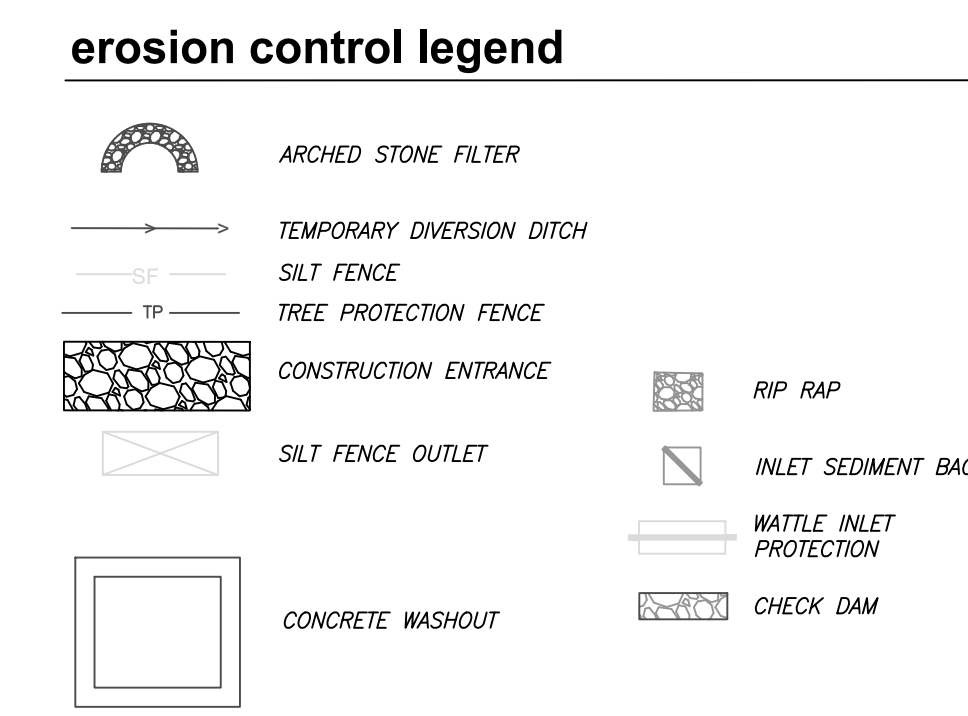
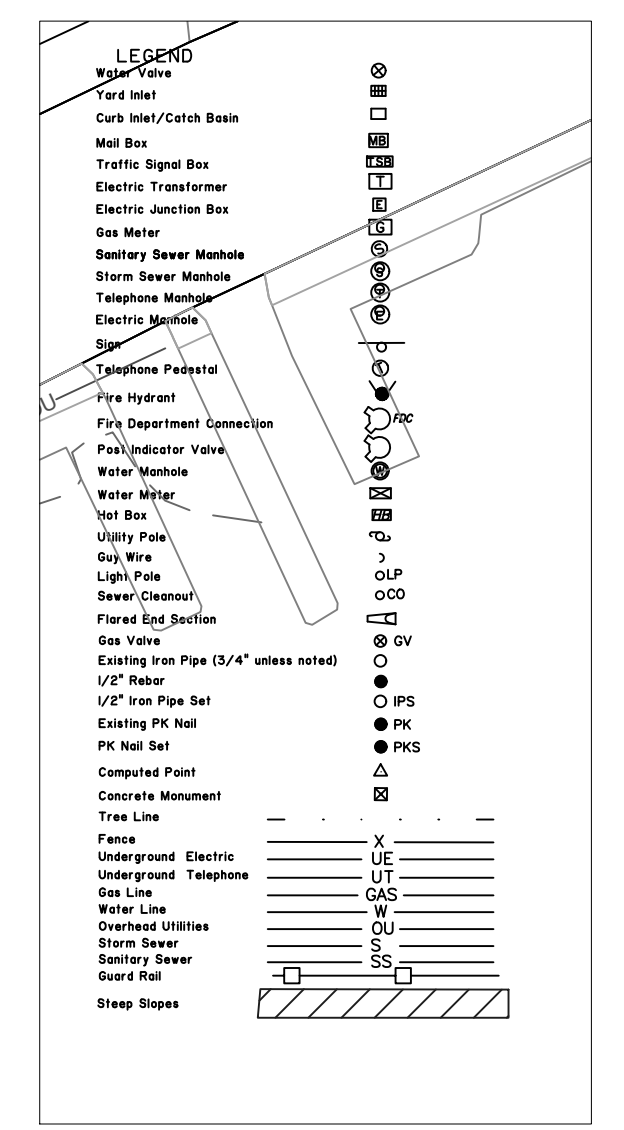
Sheet Number
C-3.0





1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

2
C-4.0 EROSION CONTROL NOTES
N.T.S.



1
C-4.0 EROSION CONTROL PLAN - PHASE 1
1" = 20'

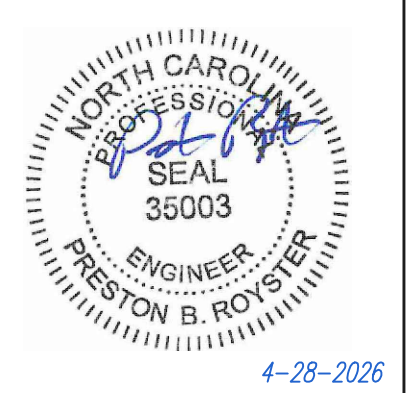
DISTURBED AREA = 64,574 (1.48 AC)

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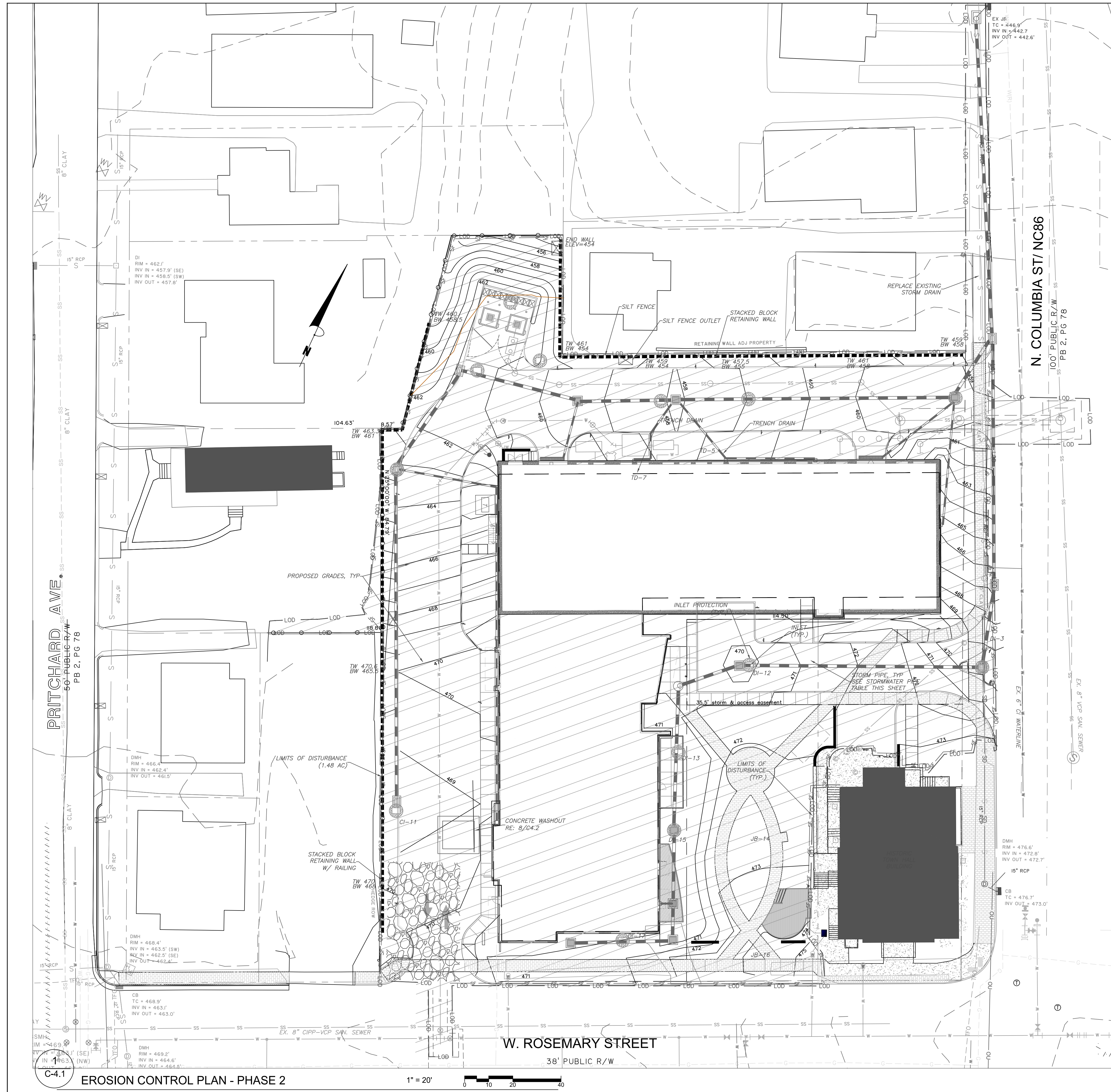
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Sheet Title:
EROSION CONTROL PLAN - PHASE 1

Sheet Number
C-4.0



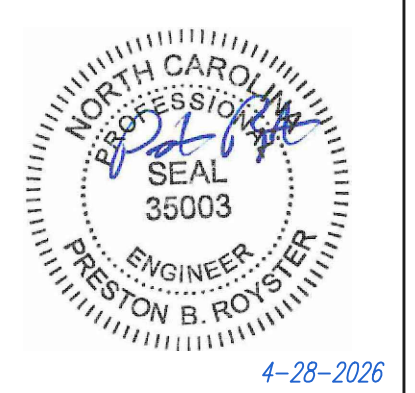
erosion control legend

- | | | | |
|--|---------------------------|--|-------------------------|
| | ARCHED STONE FILTER | | INLET PROTECTION |
| | TEMPORARY DIVERSION DITCH | | RIP RAP |
| | SILT FENCE | | INLET SEDIMENT BAG |
| | TREE PROTECTION FENCE | | WATTLE INLET PROTECTION |
| | CONSTRUCTION ENTRANCE | | CHECK DAM |
| | SILT FENCE OUTLET | | |
| | CONCRETE WASHOUT | | |

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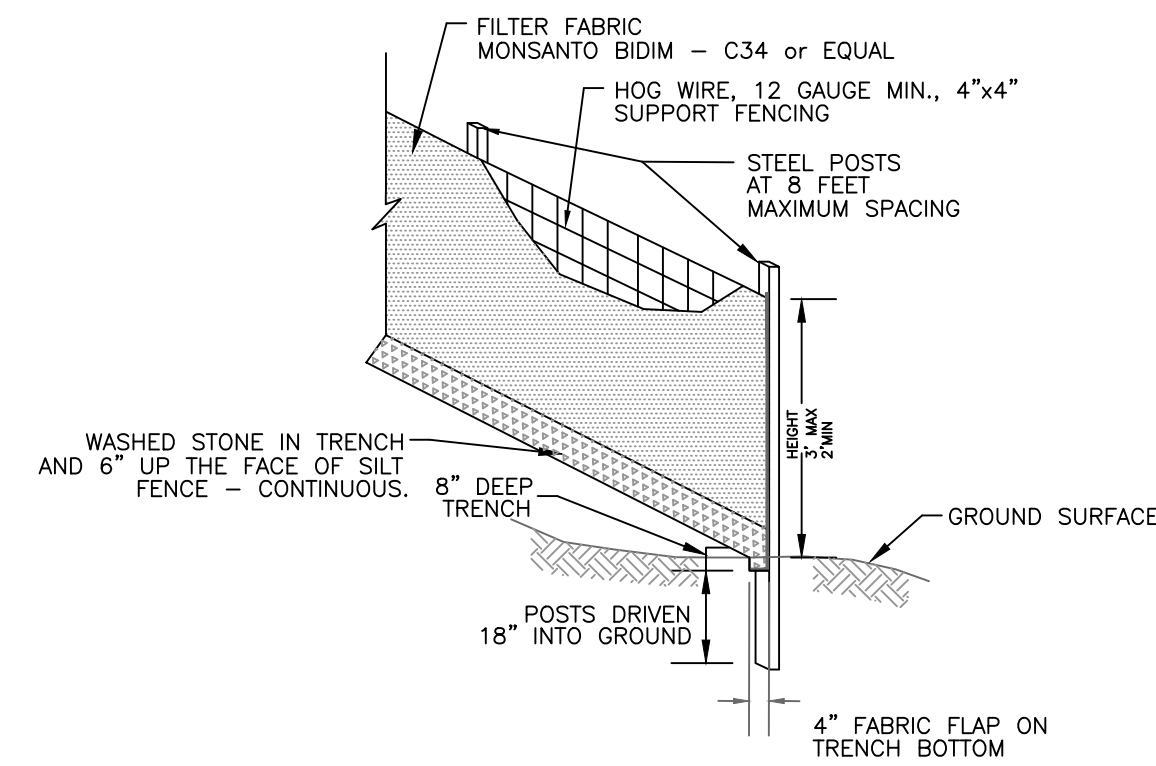
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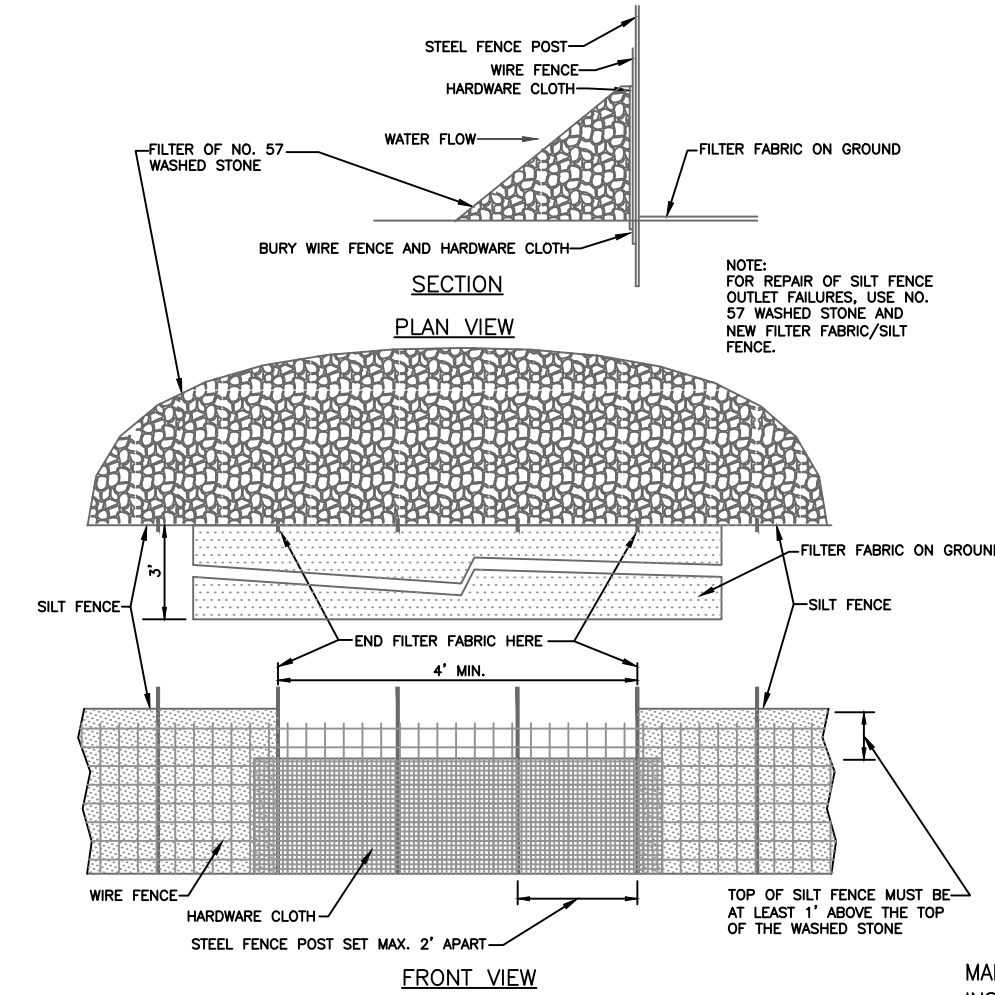
**EROSION
 CONTROL PLAN
 - PHASE 2**

Sheet Number:
C-4.1



- MAINTENANCE**
1. INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 4. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

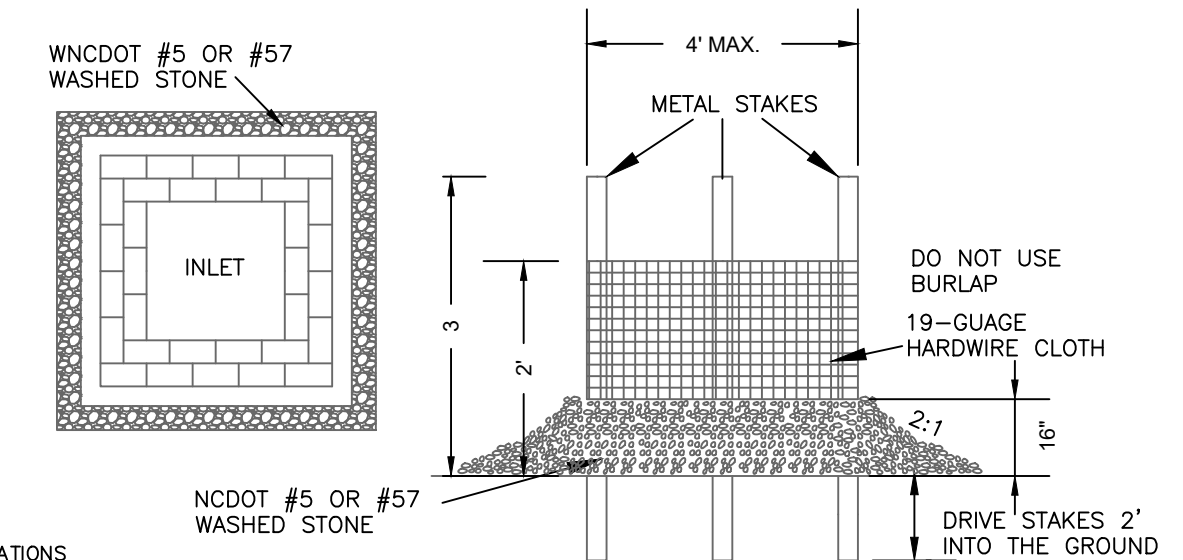
1 SILT FENCING
C4.2 no scale



- MAINTENANCE:**
- INSPECT AT LEAST WEEKLY AND AFTER 1/2" RAIN OR MORE. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADOQUATE STORAGE FOR THE NEXT RAIN.

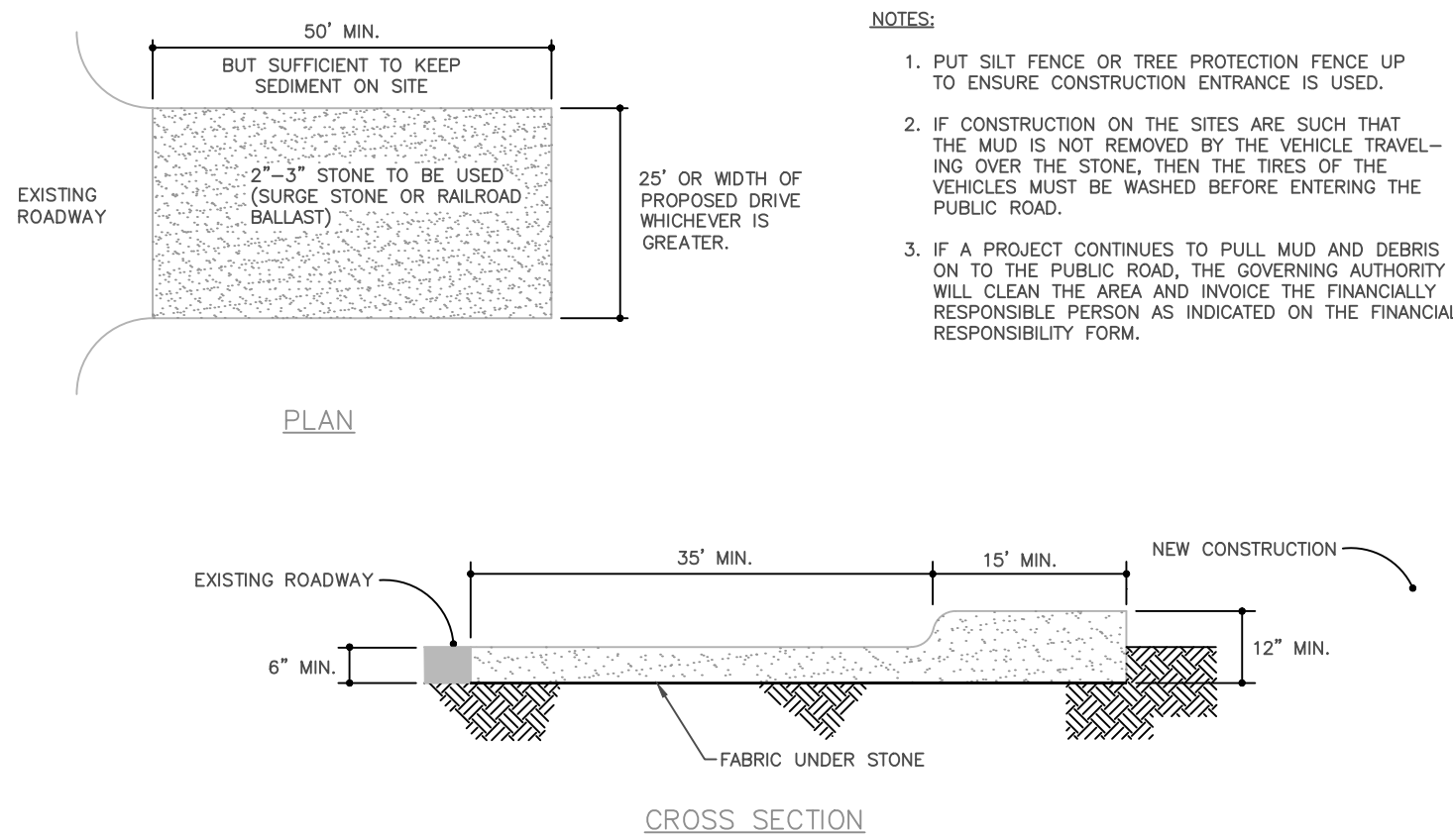
2 SILT FENCE OUTLET
C4.2 no scale

MAINTENANCE NOTES:
INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.



- CONSTRUCTION SPECIFICATIONS**
1. Uniformly grade a shallow depression approaching the inlet.
 2. Drive 5-foot steel posts 2 feet into the ground surrounding the inlet. Space posts evenly around the perimeter of the inlet, a maximum of 4 feet apart.
 3. Surround the posts with wire mesh hardware cloth. Secure the wire mesh to the steel posts at the top, middle, and bottom. Placing a 2-foot flap of the wire mesh under the gravel for anchoring is recommended.
 4. Place clean gravel (NC DOT #5 or #57 stone) on a 2:1 slope with a height of 16 inches around the wire, and smooth to an even grade.
 5. Once the contributing drainage area has been stabilized, remove accumulated sediment, and establish final grading elevations.
 6. Compact the area properly and stabilize it with groundcover.

3 INLET PROTECTION
C4.2 no scale



- NOTES:**
1. PUT SILT FENCE OR TREE PROTECTION FENCE UP TO ENSURE CONSTRUCTION ENTRANCE IS USED.
 2. IF CONSTRUCTION ON THE SITES ARE SUCH THAT THE MUD IS NOT REMOVED BY THE VEHICLE TRAVELING OVER THE STONE, THEN THE TIRES OF THE VEHICLES MUST BE WASHED BEFORE ENTERING THE PUBLIC ROAD.
 3. IF A PROJECT CONTINUES TO PULL MUD AND DEBRIS ON TO THE PUBLIC ROAD, THE GOVERNING AUTHORITY WILL CLEAN THE AREA AND INVOICE THE FINANCIALLY RESPONSIBLE PERSON AS INDICATED ON THE FINANCIAL RESPONSIBILITY FORM.

4 TEMPORARY CONSTRUCTION ENTRANCE
C4.2 no scale

Ground Stabilization*		
Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	7 days for slopes greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HWQ Zones)

* "Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable" (Section 11.B(2)(b))

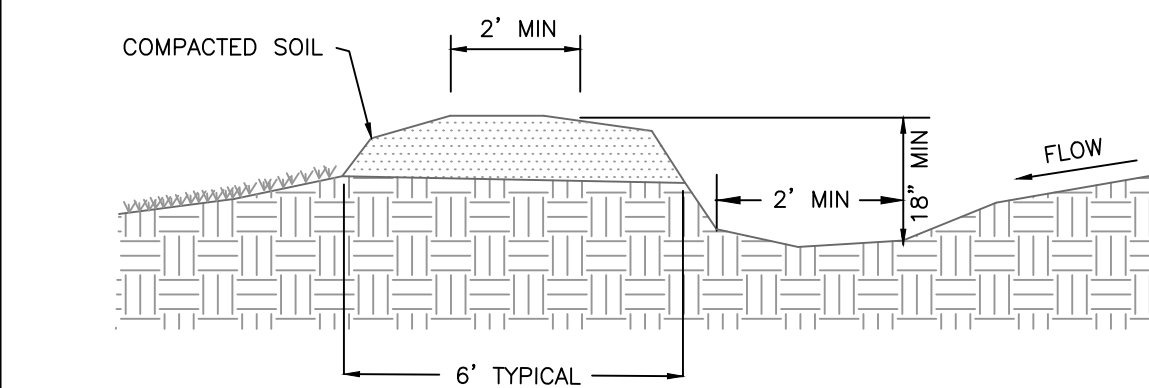
5 SEEDING SCHEDULE
C4.2 no scale

WINTER/EARLY SPRING TEMPORARY COVER	JANUARY 1 - MAY 1			
Ground Agricultural Limestone	2000 lbs/acre			
10-10-10 Fertilizer	750 lbs/acre			
Rye Grain Seed	20 lbs/acre			
Kobe Lespedeza Seed (if temporary cover goes beyond June 1)	20 lbs/acre			
Straw Mulch (anchored with asphalt, netting, or anchoring tool)	4000 lbs/acre			
SUMMER TEMPORARY COVER	MAY 1 - AUGUST 15			
Ground Agricultural Limestone	2000 lbs/acre			
10-10-10 Fertilizer	750 lbs/acre			
German Millet Seed	40 lbs/acre			
Straw Mulch (anchored with asphalt, netting, or anchoring tool)	4000 lbs/acre			
FALL TEMPORARY COVER	AUGUST 15 - DECEMBER 30			
Ground Agricultural Limestone	2000 lbs/acre			
10-10-10 Fertilizer	1000 lbs/acre			
Rye Grain Seed	120 lbs/acre			
Kobe Lespedeza Seed (if temporary cover goes beyond June 15)	50 lbs/acre			
To be seeded in late February or early March				
Straw Mulch (anchored with asphalt, netting, or anchoring tool)	4000 lbs/acre			
SUMMER PERMANENT COVER	APRIL 1 - AUGUST 15			
GRASS	PLANTING DATE ¹	SEEDS ²	SPRIGS ³	STOLONES
BERMUDAGRASS	APRIL-JULY	1-2	.75	
BERMUDAGRASS (HYBRID)	APRIL-JULY		.75	
CENTIOGRASS	MARCH-JULY	25-50	.75	

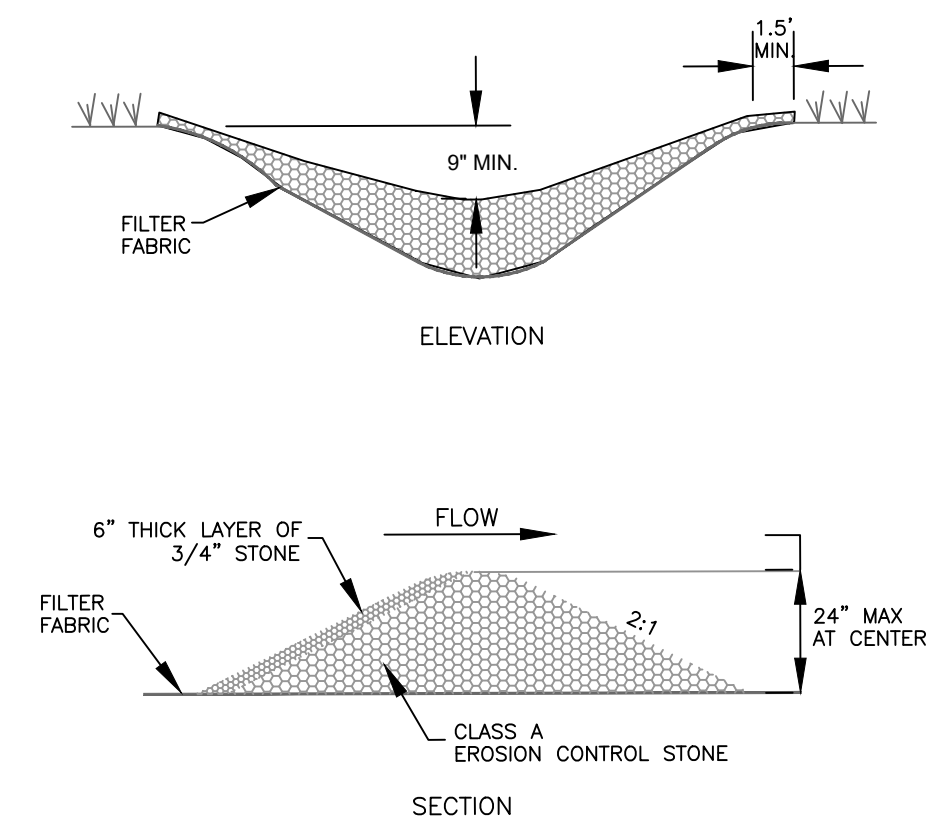
1. OPTIMUM DATE OF PLANTING. SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.
2. POUNDS PER 1000 SQ.FT.
3. BUSHELS PER 1000 SQ.FT.

Seedbed Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.

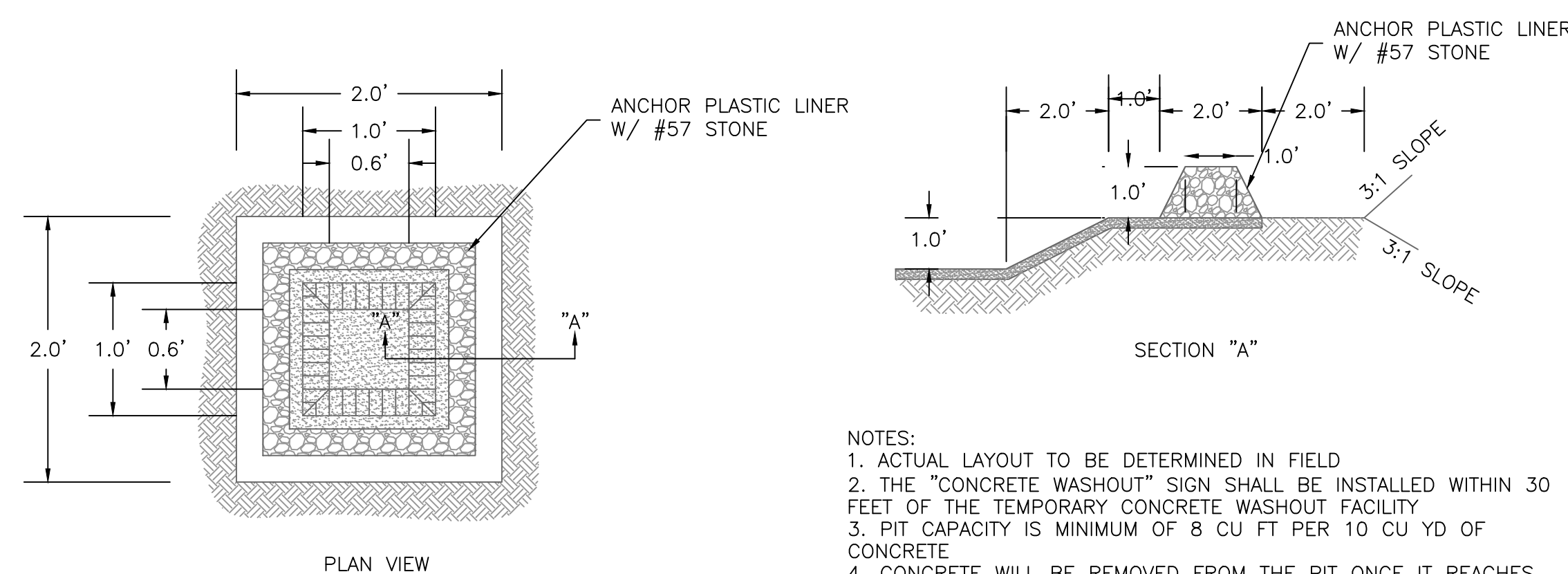
Seed Temporary cover to stabilize temporary sedimentation control measures and other accomplished, if planting season is not suitable for installation of permanent cover. Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date. Overseed areas with poor to no seed germination. Soil tests may be necessary to determine the cause of a failed



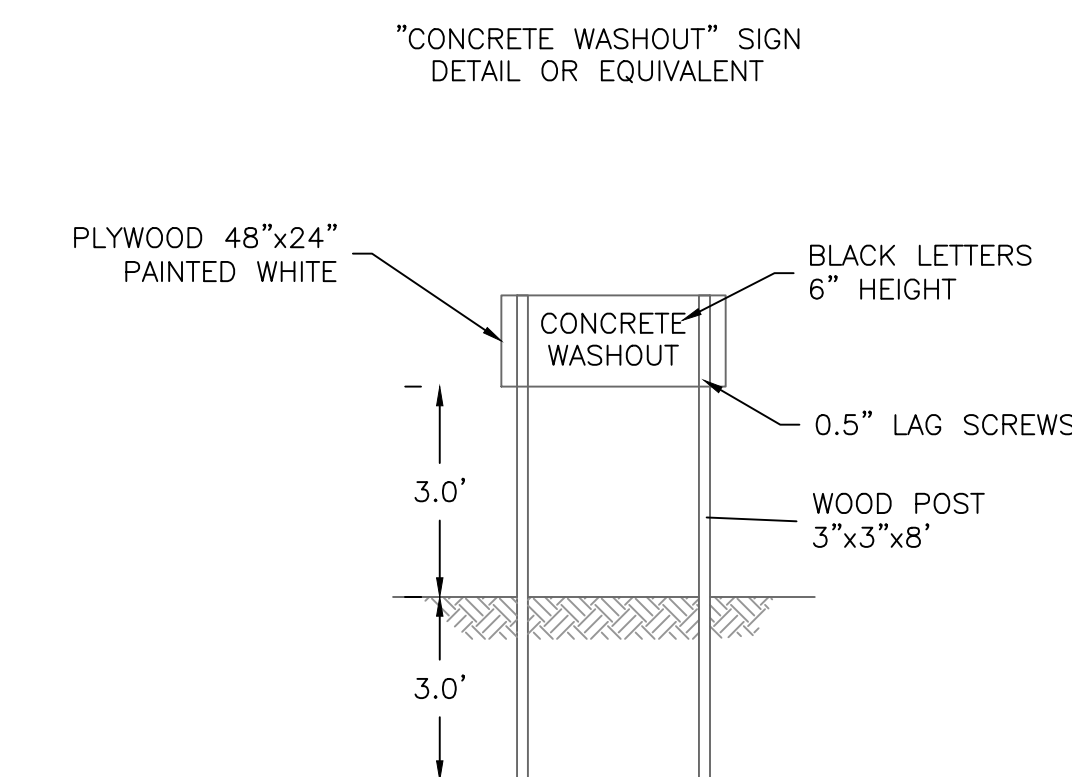
6 TEMPORARY DIVERSION DITCH
C4.2 no scale



7 CHECK DAM
C4.2 no scale



- NOTES:**
1. ACTUAL LAYOUT TO BE DETERMINED IN FIELD
 2. THE "CONCRETE WASHOUT" SIGN SHALL BE INSTALLED WITHIN 30 FEET OF THE TEMPORARY CONCRETE WASHOUT FACILITY
 3. PIT CAPACITY IS MINIMUM OF 8 CU FT PER 10 CU YD OF CONCRETE
 4. CONCRETE WILL BE REMOVED FROM THE PIT ONCE IT REACHES HALF FULL.
 5. CONTRACTOR TO COORDINATE WITH USAGE CONTRACTING OFFICER FOR PROPER DISPOSAL OF CONCRETE



8 CONCRETE WASHOUT
C4.2 no scale

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Zoning Compliance Permit

Sheet Title:

EROSION CONTROL DETAILS

Sheet Number

C-4.2

Project:

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Zoning Compliance Permit

Sheet Title:

**EROSION
 CONTROL
 DETAILS**

Sheet Number

C-4.3

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HCW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. -7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HCW Zones
(d) Slopes 3:1 to 4:1	14	-10 days for Falls Lake Watershed -7 days for perimeter dikes, swales, ditches, perimeter slopes and HCW Zones unless there is zero slope
(e) Areas with slopes flatter than 4:1	14	-10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Roller erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Roller erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the NC DWR List of Approved PAMS/Flocculants.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the NC DWR List of Approved PAMS/Flocculants and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of the site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials on-site.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING EFFECTIVE: 04/01/19

1 CONSTRUCTION SEQUENCE

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands on-site or off-site (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event ≥ 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item 2)(g) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.
- Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- Anticipated bypasses and unanticipated bypasses.
- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1)(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Unanticipated bypasses (40 CFR 122.41(m)(3))	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass. Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(d) Noncompliance with the conditions of this permit that may endanger health or the environment (40 CFR 122.41(i)(7))	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times; and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent recurrence of the noncompliance. [40 CFR 122.41(i)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.



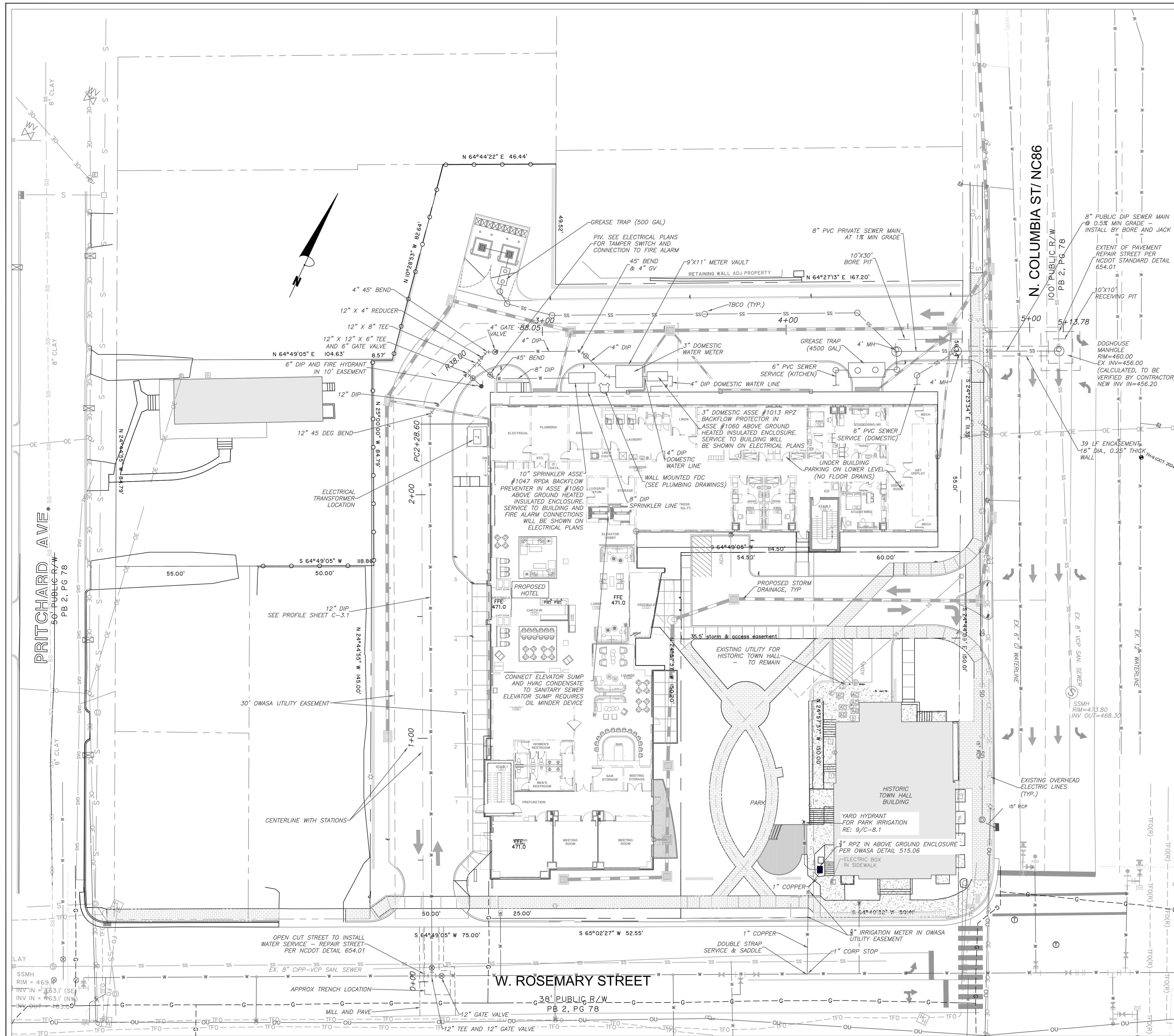
PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items.
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item 2)(c) and (d) of this permit.
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sized, designed and maintained dewatering tanks, weir tanks, and filtration systems.
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above.
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING EFFECTIVE: 04/01/19



UTILITY NOTES

- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- ALL GREASE TRAPS ARE TO BE TRAFFIC BEARING (H-20 RATED, MIN.)

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE HOTEL.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY NEW UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
 LIC # F-0871

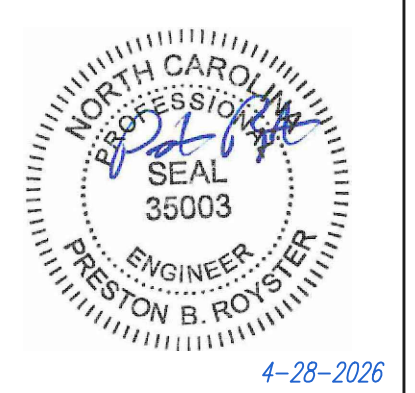
NC BOARD OF LANDSCAPE ARCHITECTS
 LIC # C-104

Project:

**Rosemary/
Columbia
Hotel**

110 W. Rosemary St.
 Orange County,
 North Carolina

PIN:
 9788-37-0680
 9788-37-0549
 9788-27-9667
 9788-27-9700
 9788-37-0721
 9788-37-0647



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Drawn	WLR, MTO
Checked	WLR, CMH
Date	5-9-2022
Revisions	4-20-2023 Site Revisions
	4-24-2024 OWASA revisions
	9-19-2024 Site Revisions
	9-11-2025 Final ZCP Plans
	4-28-2026 ZCP Resubmittal

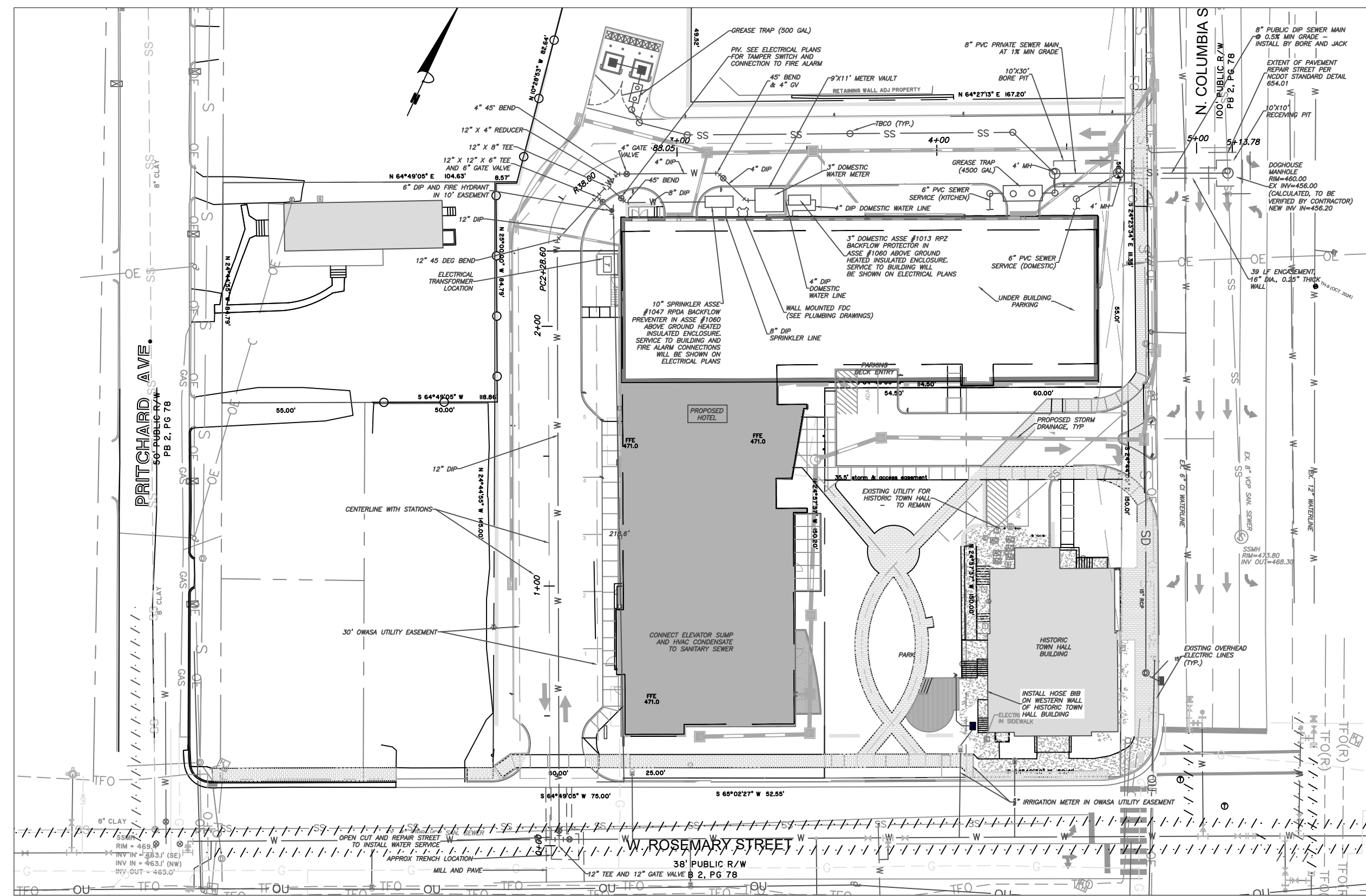
Zoning Compliance Permit

Sheet Title:

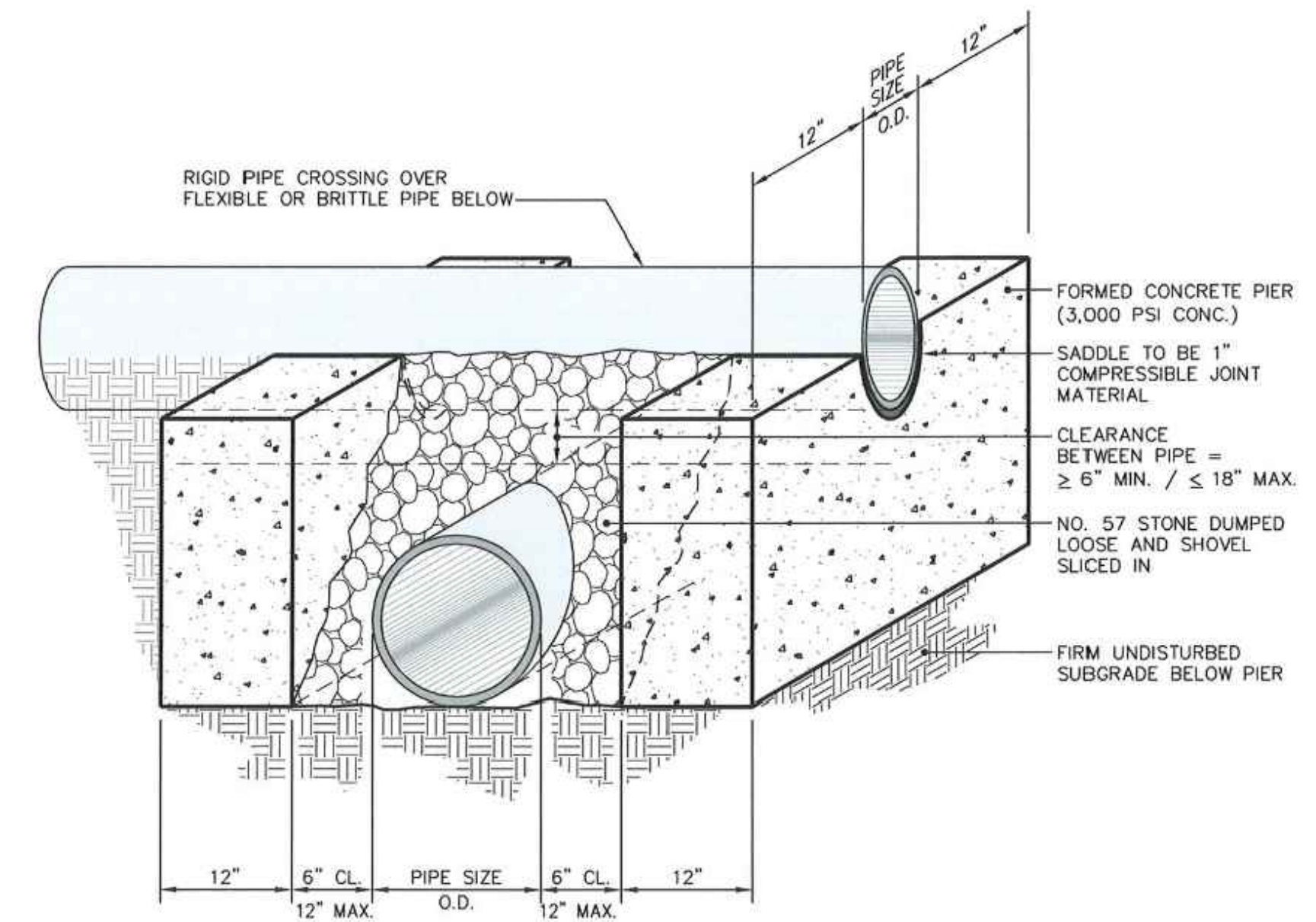
UTILITY PLAN

Sheet Number
C-5.0

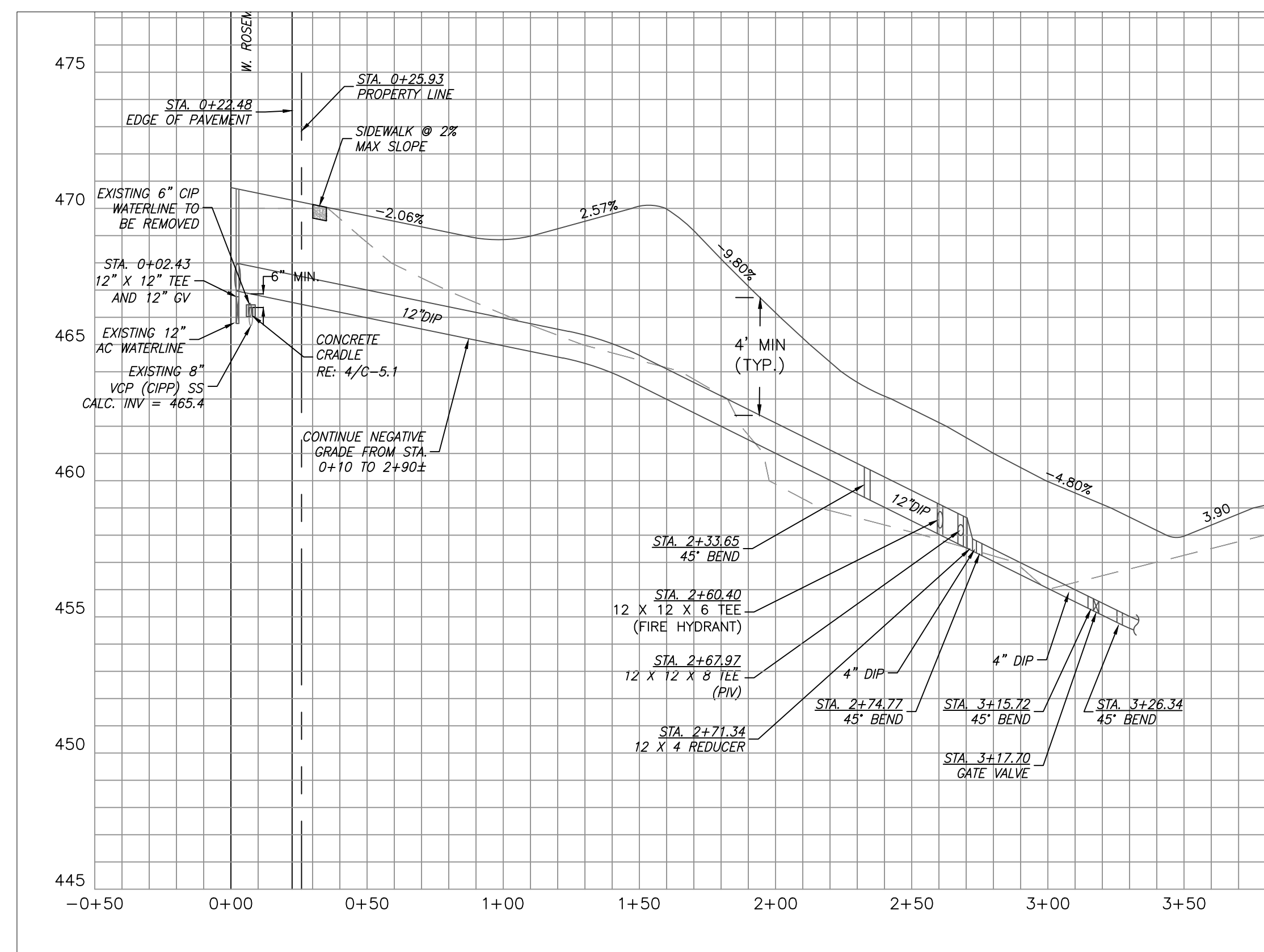




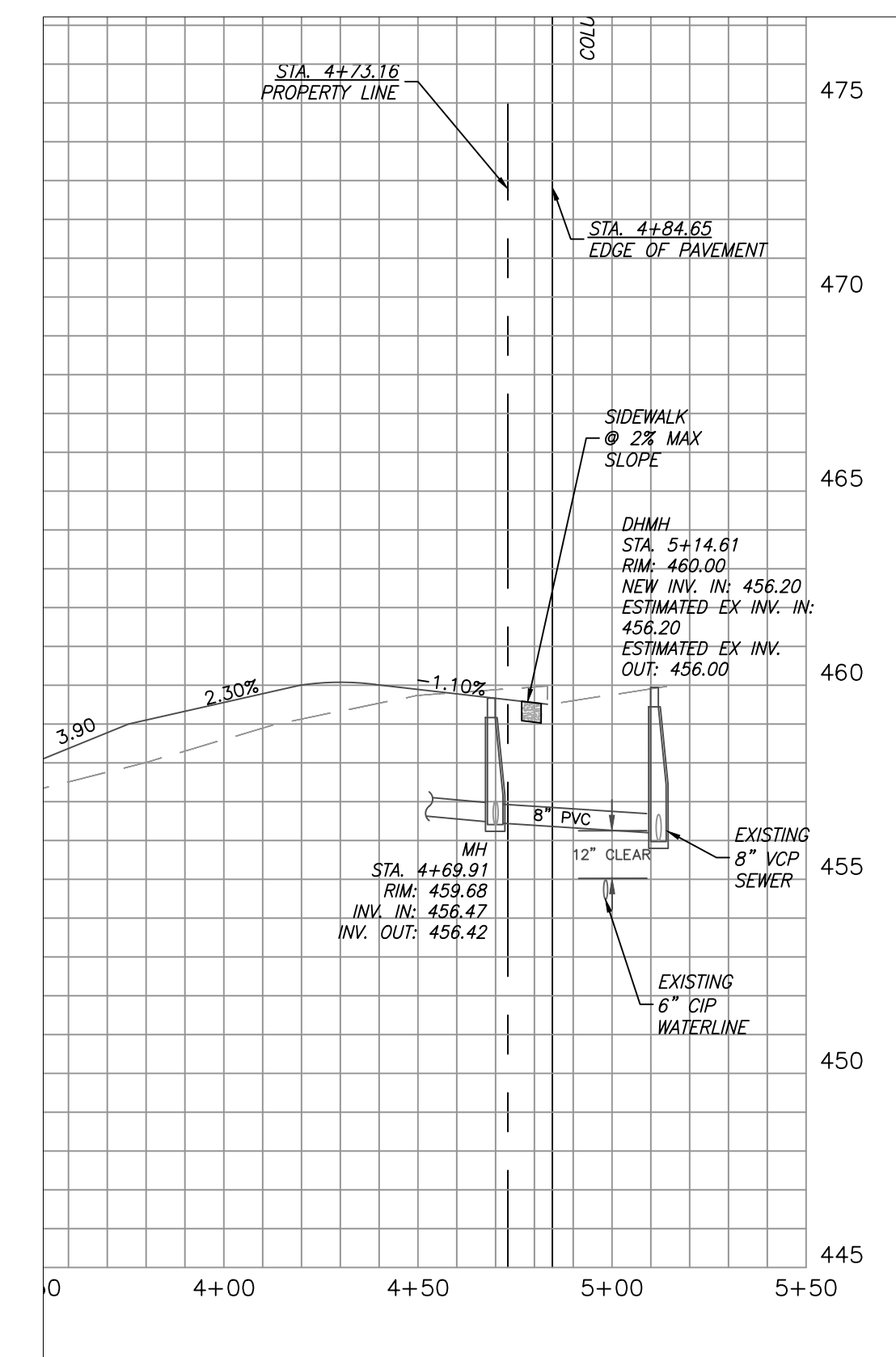
1 UTILITY PLAN
C-5.1 1" = 40'



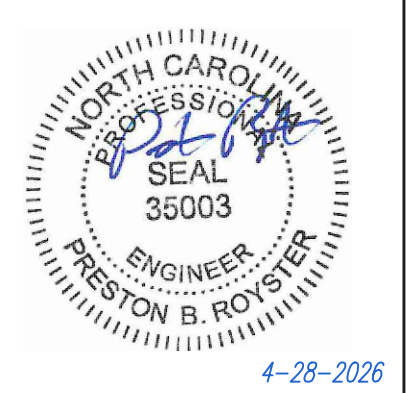
4 CONCRETE CRADLE
C-5.1 NTS



2 WATER PROFILE
C-5.1 1" = 40' (HORIZ)
1" = 4' (VERT)



3 SEWER PROFILE
C-5.1 1" = 40' (HORIZ)
1" = 4' (VERT)



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

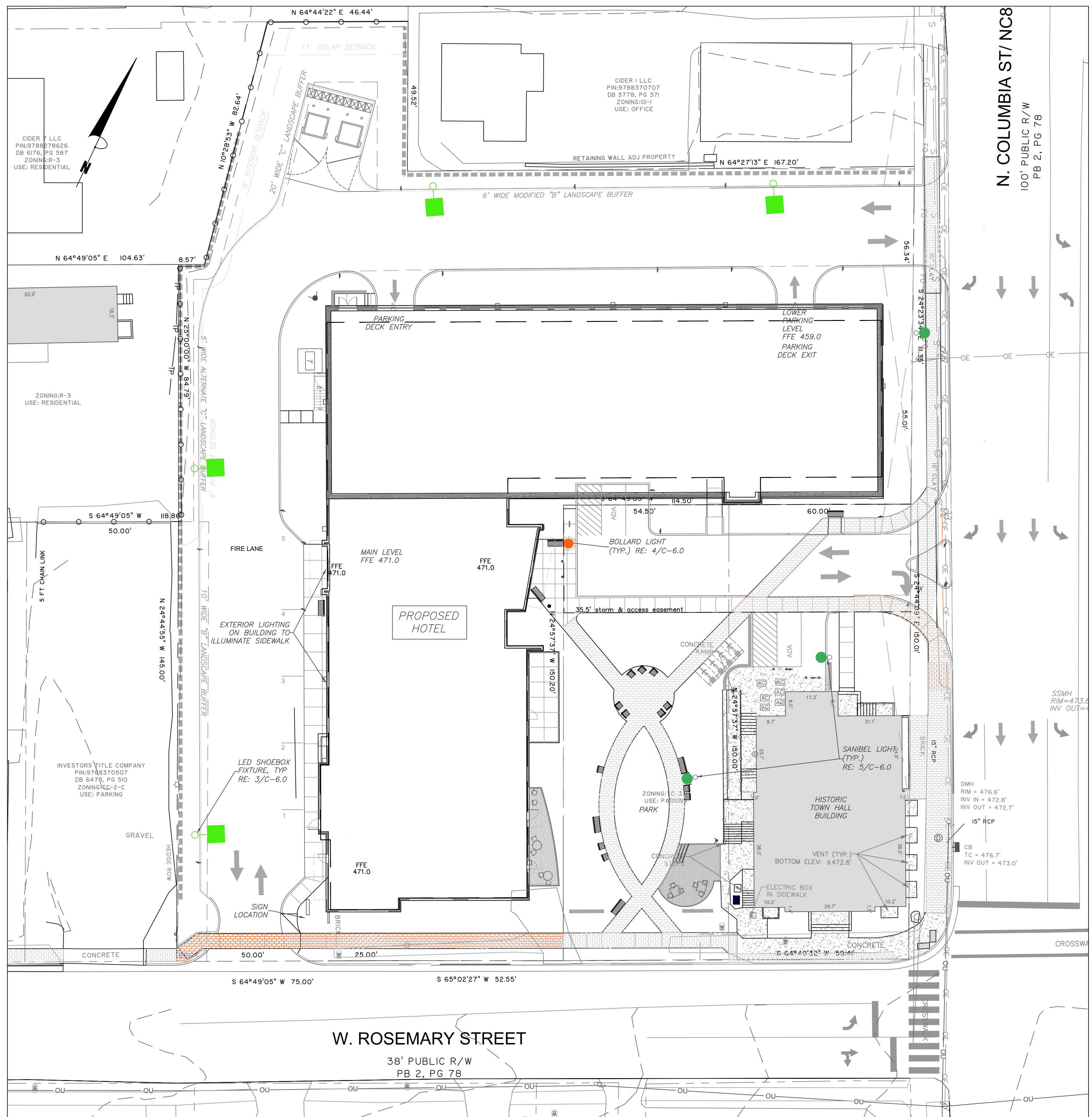
Drawn	WLR, MTC
Checked	WLR, CMH
Date	5-9-2022
Revisions	4-20-2023 Site Revisions
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	9-19-2024 Site Revisions
	9-11-2025 Final ZCP Plans
	4-28-2026 ZCP Resubmittal

Zoning Compliance Permit

Sheet Title:

UTILITY PLAN

Sheet Number
C-5.1



LIGHTING CONDUIT

LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.

1. CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
2. ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
3. ALL JOINTS ARE TO BE GLUED.
4. ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
5. ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
7. TO COMPLY WITH NESC; ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE ENCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
8. IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
9. PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
10. DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
11. CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

LIGHTING NOTES

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES:

1. CONTRACTOR IS TO COORDINATE PARKING LOT LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
2. ABOVE GROUND PEDESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY FOR THE 25' PARKING LOT LIGHTS.
3. CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
4. CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

2 LIGHTING NOTES

C-6.0



Duke Energy LED shoebox fixture pic

LED SHOEBOX

- LEASED FROM DUKE ENERGY
- 25' POLE
- COLOR:BLACK
- PROVIDE 2" PVC CONDUIT UNDER PAVEMENT & UNDER HEAVILY LANDSCAPED AREAS
- CUT-OFF STYLE
- LIGHT COLOR TO BE 3000 K

LED SQUARE BOLLARD

- MANUFACTURER:KIM
- MODEL: PAVILLION
- 42" HEIGHT
- LED
- COLOR:BLACK
- LIGHT COLOR: 3000 K

3 LED SHOEBOX FIXTURE

C-6.0



LED (Light Emitting Diode)	70 150 watts
Mounting heights	15', 20', 25'
Colors	Black Green

LED SANIBEL DROP FIXTURE

- LEASED FROM DUKE ENERGY
- COLOR:DARK GREEN
- 15' POLE TYPE 'C' ALUMINUM
- PROVIDE ON ROSEMARY STREET AT PARK AND IN FRONT OF COLUMBIA WING AT STREET

5 LED ROSEMARY STREET FIXTURE SANIBEL FIXTURE

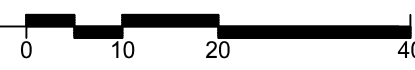
C-6.0

1 LIGHTING PLAN

C-6.0

1" = 20'

FOR REFERENCE ONLY
SEE DUKE ENERGY LIGHTING PLANS FOR LAYOUT
AND FOOTCANDLE CALCULATIONS



LEGEND

- LED SHOEBOX FIXTURE RE: 3/C-6.0
- LED BOLLARD LIGHT RE: 4/C-6.0
- SANIBEL LIGHT RE: 5/C-6.0

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # F-0871
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:

**Rosemary/
Columbia
Hotel**

110 W. Rosemary St.
Orange County,
North Carolina

PIN:
9788-37-0680
9788-37-0549
9788-27-9667
9788-27-9700
9788-37-0721
9788-37-0647

PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

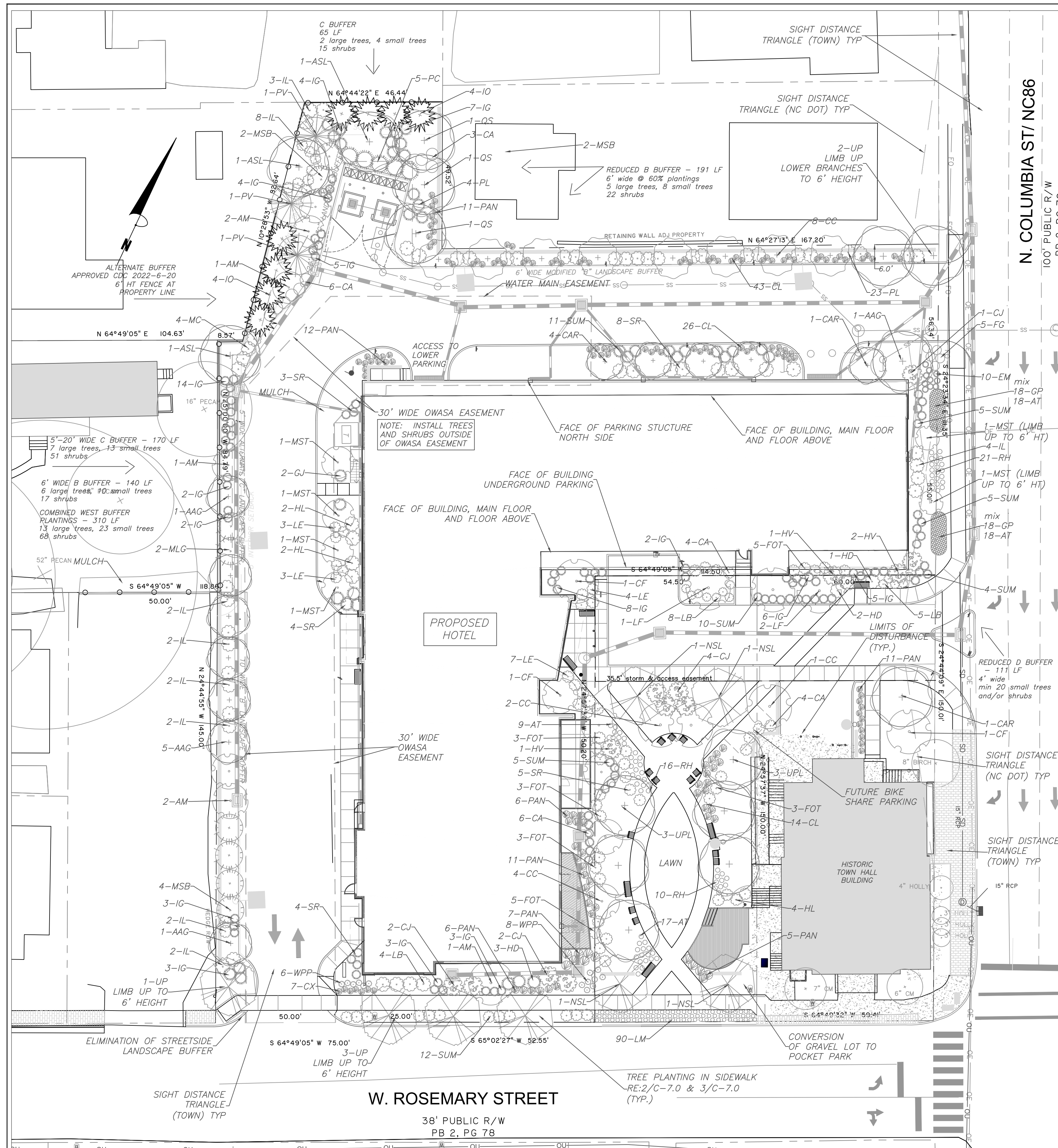
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Zoning Compliance Permit

Sheet Title:

**LIGHTING
PLAN**

Sheet Number
C-6.0



2 ROOT PATH STREET TREE PLANTING DETAIL
C-7.0

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION.
- CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED UP TO 7' ABOVE FINISHED GRADE.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, UNDERSTORY TREES UNDER 1" IN CALIPER, VINES, AND DEAD PLANT MATERIAL. EXISTING TREES LARGER THAN 1" SHALL BE LIMBED UP TO 6' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

PLANTING NOTES

QTY	EVGN	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS	
CANOPY TREES								
8	N	AAG	Acer rubrum 'JFS-KW78' PP25301	Armstrong Gold Maple	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
3	N	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
6	N	CAR	Carpinus betulus fastigiata	Upright Hornbeam	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
4	N	NSL	Nyssa sylvatica	Black gum	4" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
3	Y	PV	Pinus virginiana	Virginia Pine	2" cal.	12' ht.	AS SHOWN	
3	N	QS	Quercus shumardii	Shumard Oak	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
6	N	UP	Ulmus americana 'Princeton'	Princeton American Elm	2.5" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
6	N	UPL	Ulmus americana 'Princeton'	Princeton American Elm	4" CAL.	AS SHOWN	SINGLE TRUNK & LEADER	
39								
UNDERSTORY TREES								
7	N	AM	Amerlanchier arborea	Serviceberry	1" cal.	8' HT.	AS SHOWN	
15	N	CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' HT.	AS SHOWN	
3	N	CF	Cornus florida	Dogwood	1" cal.	8' HT.	AS SHOWN	
4	N	HV	Hamamelis virginiana 'Harvest Moon'	Harvest Moon Witch Haze	1" cal.	8' HT.	AS SHOWN	
8	Y	IO	Ilex opaca	American Holly	1" cal.	8' O.C.	SINGLE TRUNK & LEADER	
3	N	LF	Lagerstroemia fauri 'Townhouse'	Townhouse Crape Myrtle	8" HT.	AS SHOWN	MULTI STEM, MATCHING	
4	N	MC	Myrica cerifera	Eastern Waxmyrtle	8" HT.	AS SHOWN	FULL	
2	Y	MLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	10' O.C.	FULL AND MATCHING
6	Y	MSB	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
6	N	MST	Magnolia stellata 'Royal Star'	Royal Star Magnolia	1.5" cal.	8' ht.	AS SHOWN	FULL
58								
SHRUBS								
23	N	CA	Callicarpa americana	American Beautyberry	24" ht.	4' o.c.	FULL AND MATCHING	
9	Y	CJ	Camellia x 'Taylor's Perfection'	Taylor's Perfection Camellia	24" ht.	5' o.c.	FULL AND MATCHING	
5	N	FG	Fothergilla gardenii	Dwarf Fothergilla	12" ht.	3' o.c.	FULL AND MATCHING	
22	N	FOT	Fothergilla major 'Mount Airy'	Mount Airy Fothergilla	18" ht.	4' o.c.	FULL AND MATCHING	
2	Y	GJ	Gardenia jasminoides 'Chuck Hayes'	Cape Jasmine	18" ht.	4' o.c.	FULL AND MATCHING	
6	Y	HD	Hypericum densiflorum	Bushy St Johns Wort	15" ht.	4' o.c.	FULL AND MATCHING	
8	Y	HL	Hydrangea paniculata 'Jane'	Little Lime Hardy Hydrang	24" ht.	5' o.c.	FULL AND MATCHING	
64	Y	IG	Ilex glabra	Inkberry Holly	15" HT.	36" o.c.	FULL AND MATCHING	
27	Y	IL	Illicium parvifolia	Anise	24" ht.	4' o.c.	FULL AND MATCHING	
17	N	LB	Lindera bezoin	Spicebush	24" ht.	4' o.c.	FULL AND MATCHING	
17	Y	LE	Loropetalum chinense 'Emerald'	Emerald Loropetalum	15" HT.	36" o.c.	FULL AND MATCHING	
27	Y	PL	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	18" ht.	4' o.c.	FULL AND MATCHING	
52	N	SUM	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	12" HT.	4' o.c.	FULL AND MATCHING	
24	Y	SR	Sarcococca rustica	Sweetbox	18" HT.	36" o.c.	FULL AND MATCHING	
15	N	WPP	Weigela florida 'Plangen'	Pink Poppet Weigela	12" HT.	36" o.c.	FULL AND MATCHING	
295								
GROUND COVER								
62	N	AT	Asclepias tuberosa	Butterfly Weed	1 gal	2' o.c.	FULL AND MATCHING	
7	Y	CX	Carex	Carex	1 gal	2' o.c.	FULL AND MATCHING	
83	S	CL	Chasmanthium latifolium	River Oats	1/2 gal	2' o.c.	FULL AND MATCHING	
10	Y	EM	Euphorbia amygdaloides	Wood Spurge	1 gal	2' o.c.	FULL AND MATCHING	
36	N	GP	Gaillardia pulchella	Blanket Flower	1 gal	2' o.c.	FULL AND MATCHING	
90	Y	LIR	Liriope muscari	Liriope	1 gal	2' o.c.	FULL AND MATCHING	
58	S	PAN	Panicum virgatum	Switchgrass	1 gal	2' o.c.	FULL AND MATCHING	
47	N	RH	Rudbeckia hirta	Black Eyed Susan	1 gal	2' o.c.	FULL AND MATCHING	

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2510 MERIDIAN PARKWAY, SUITE 100
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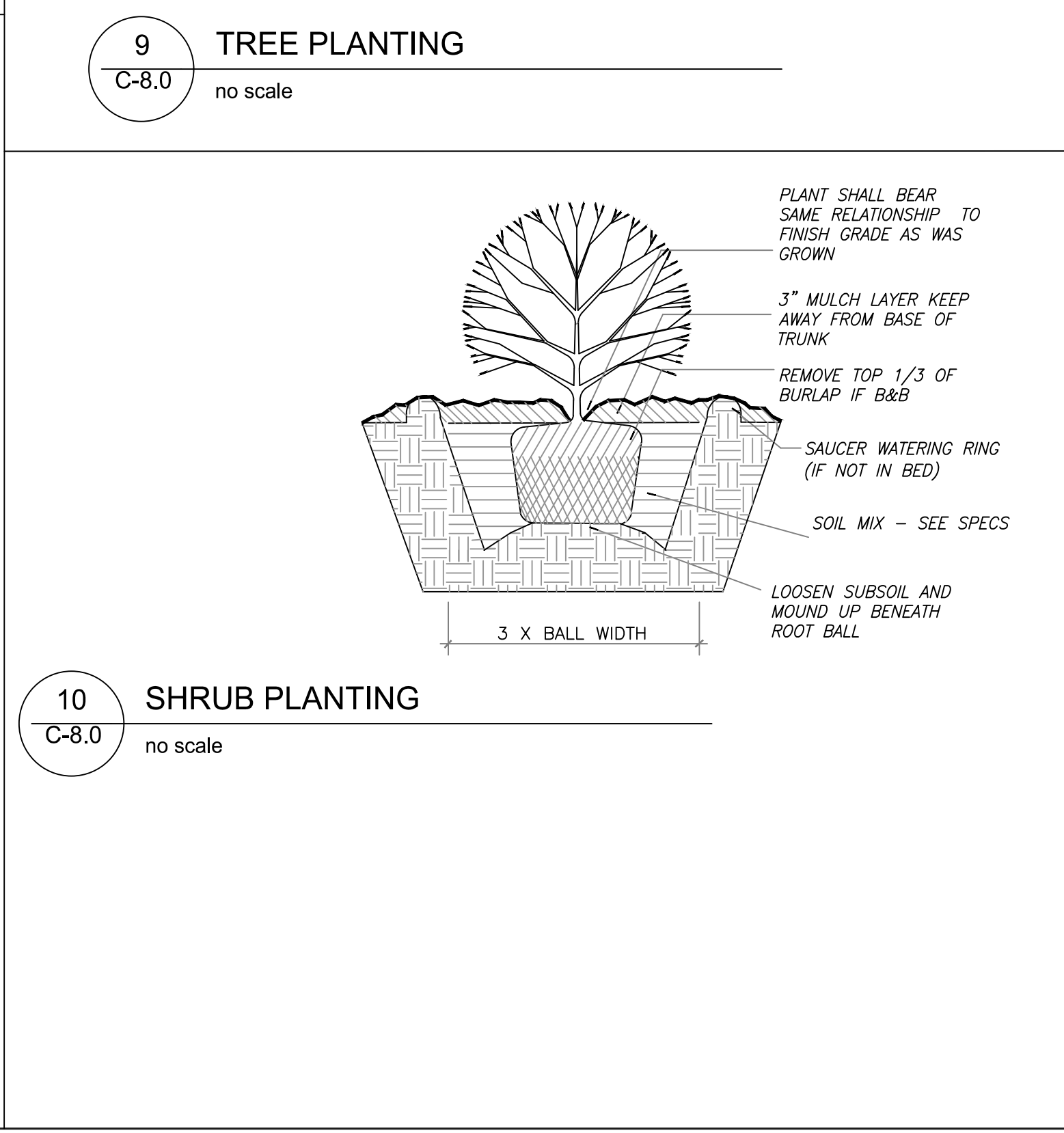
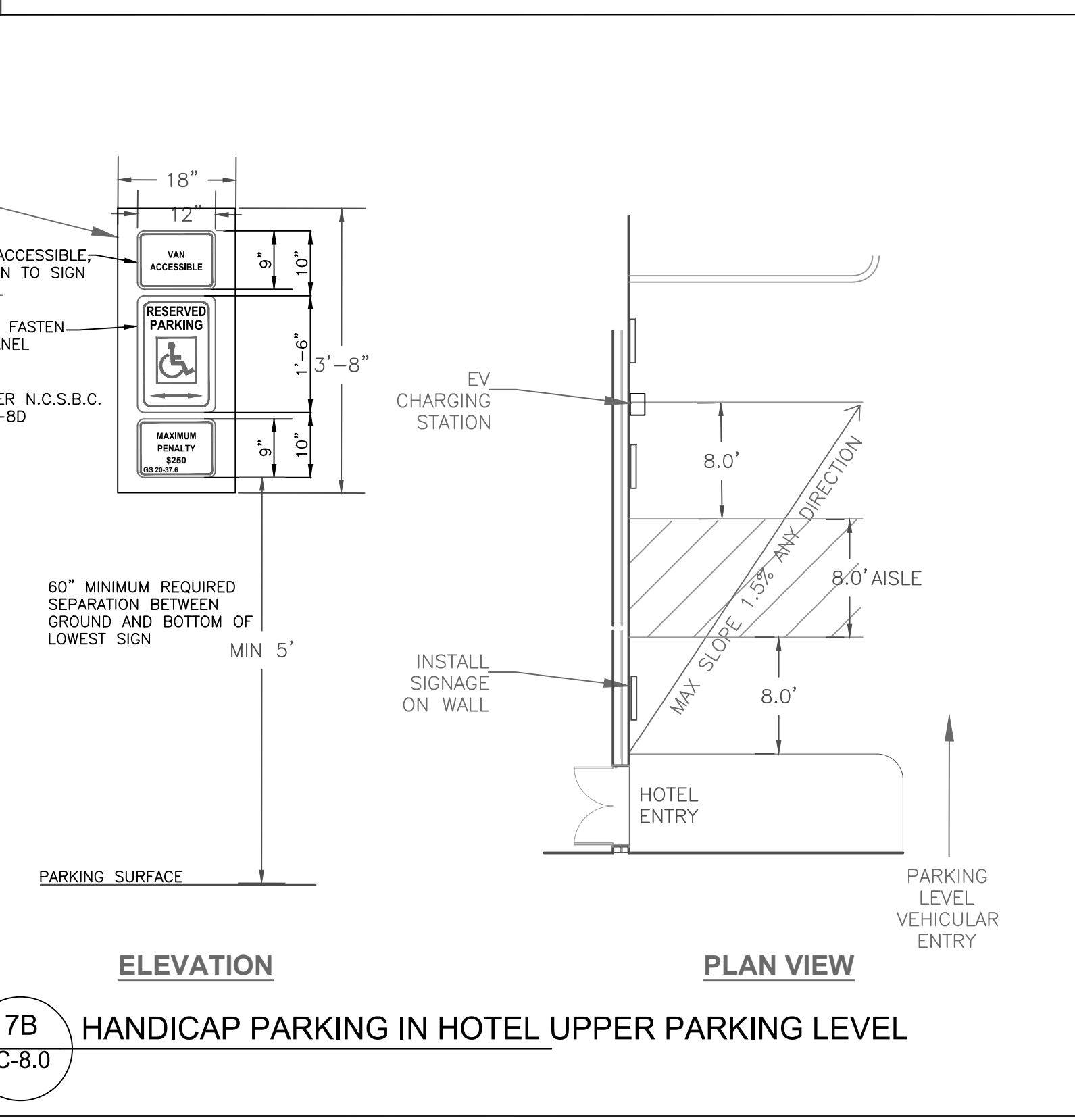
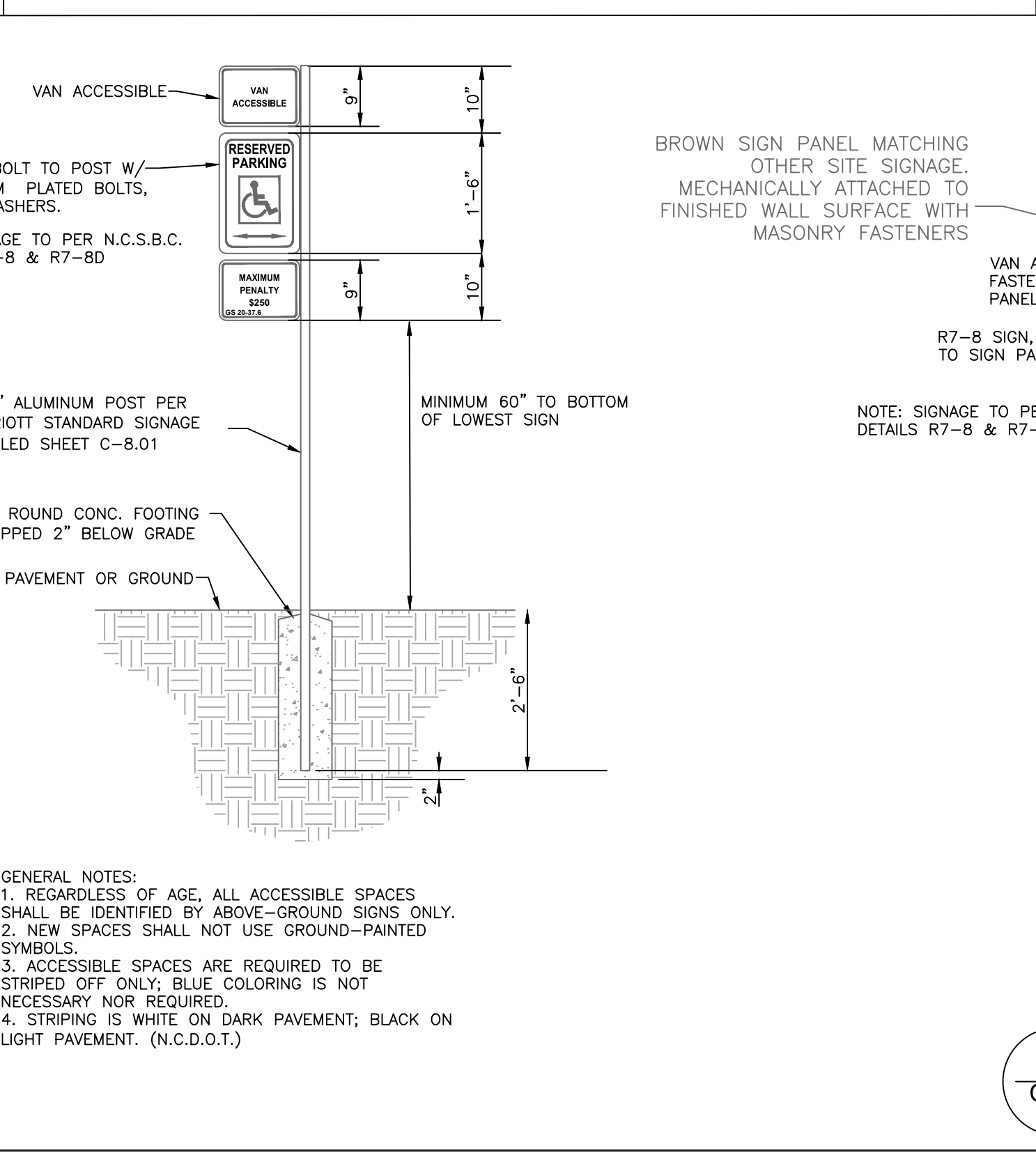
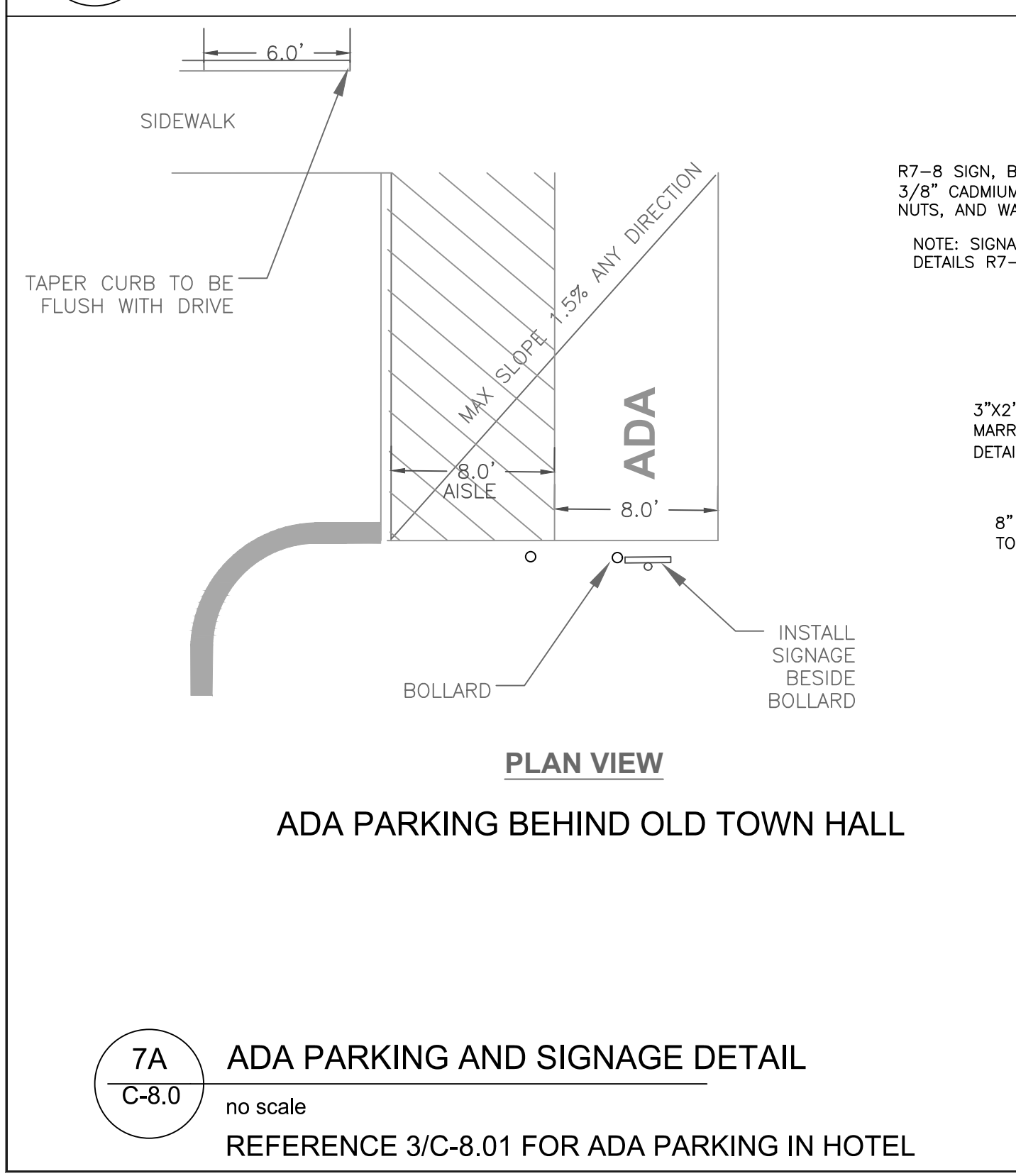
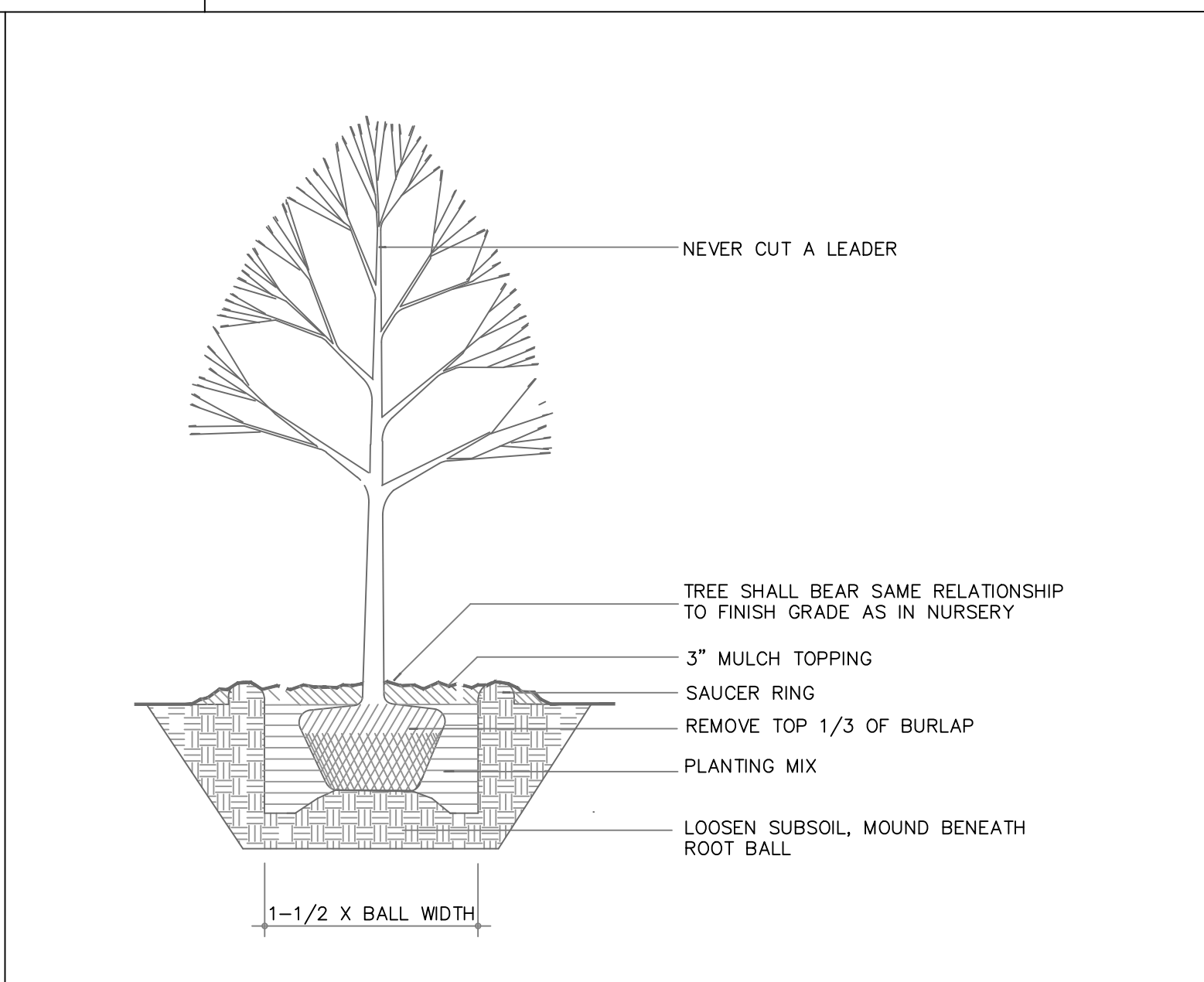
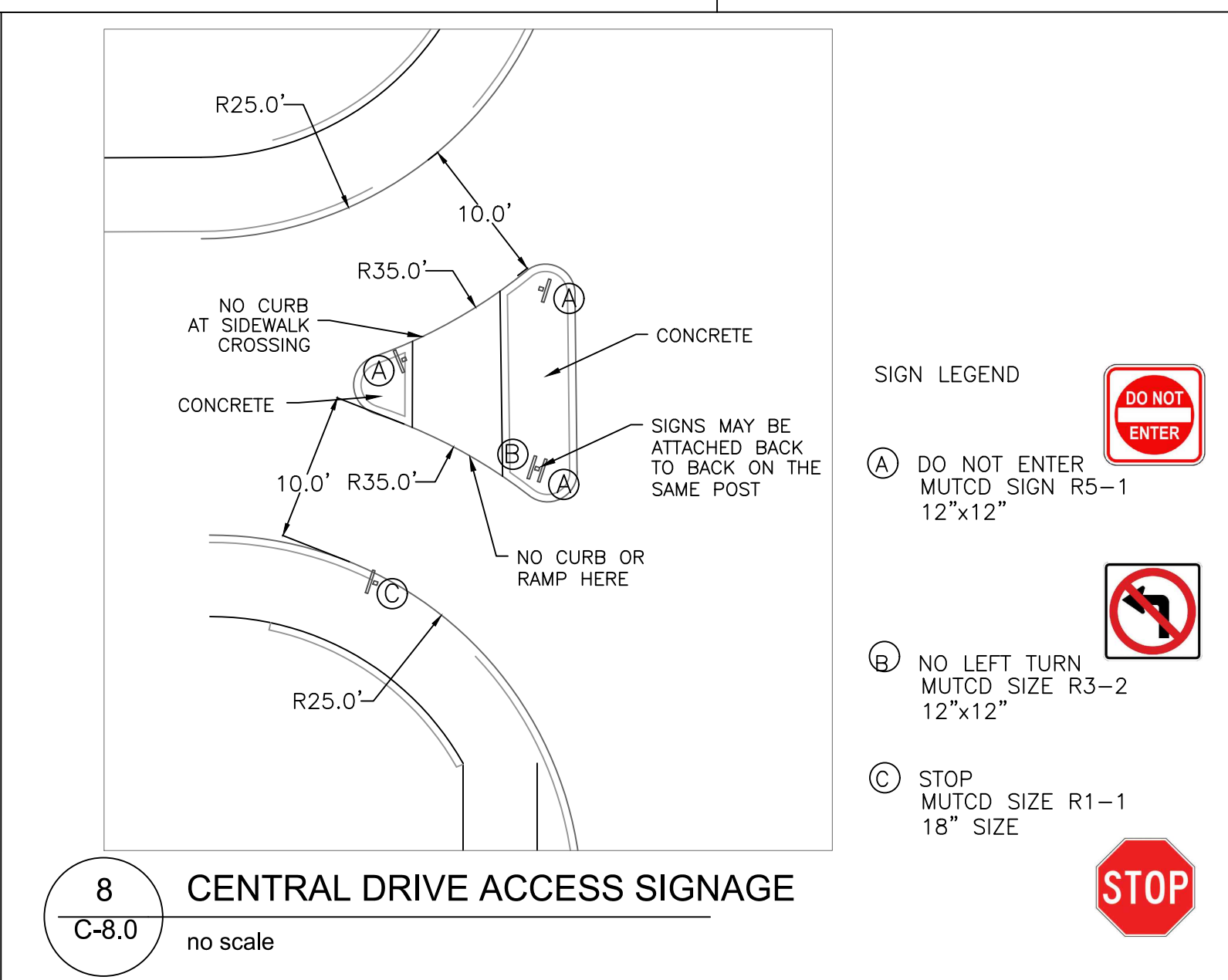
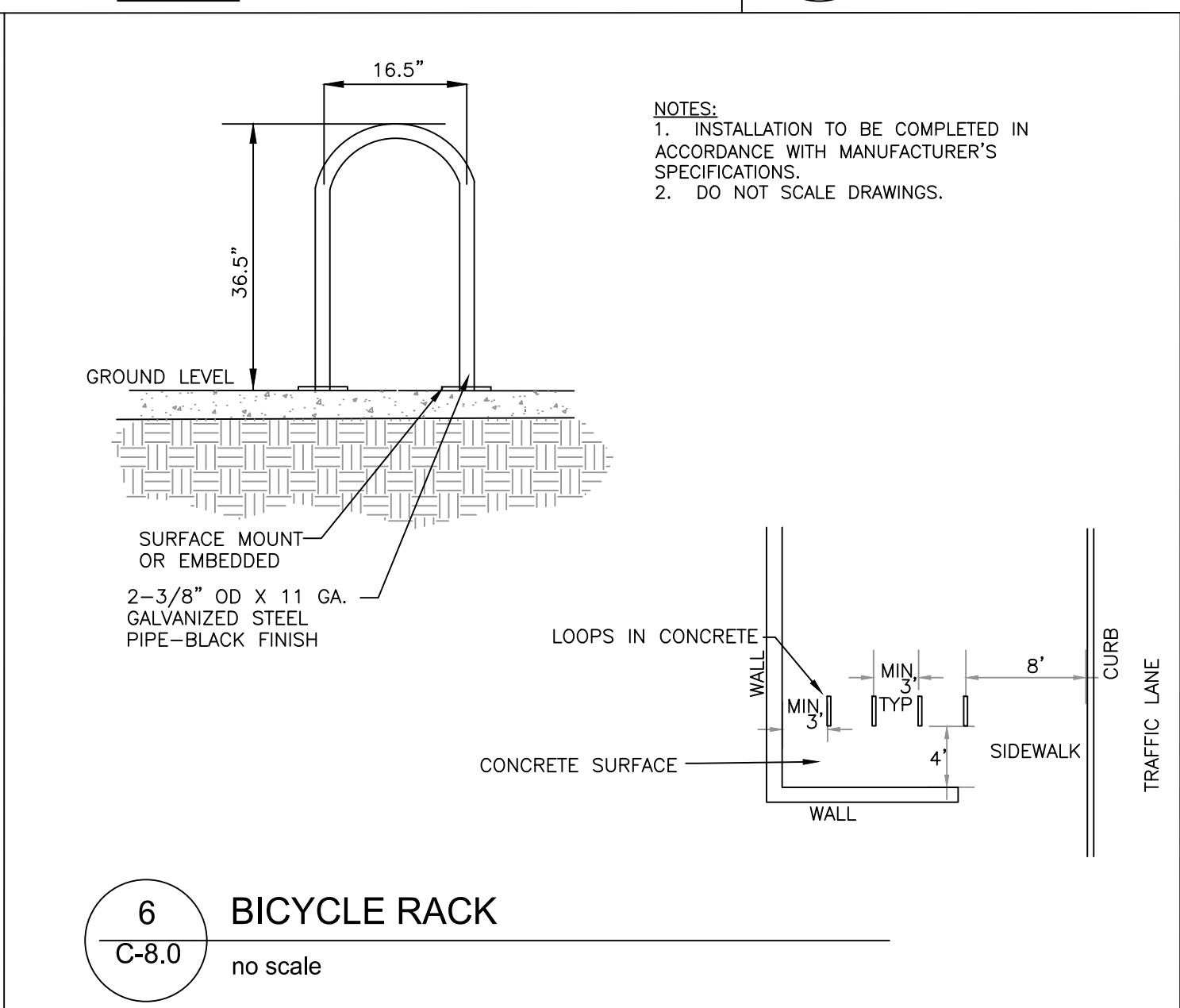
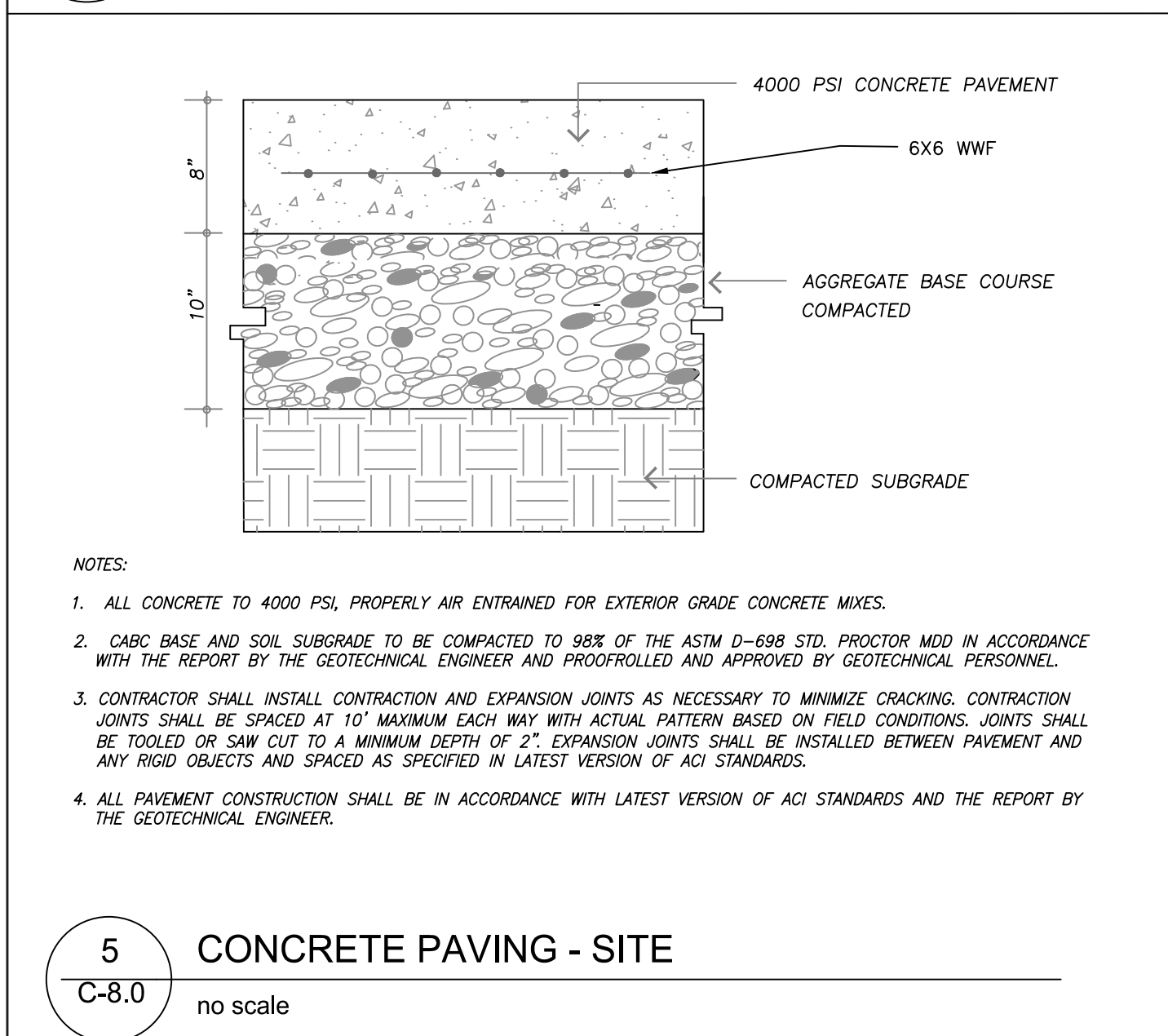
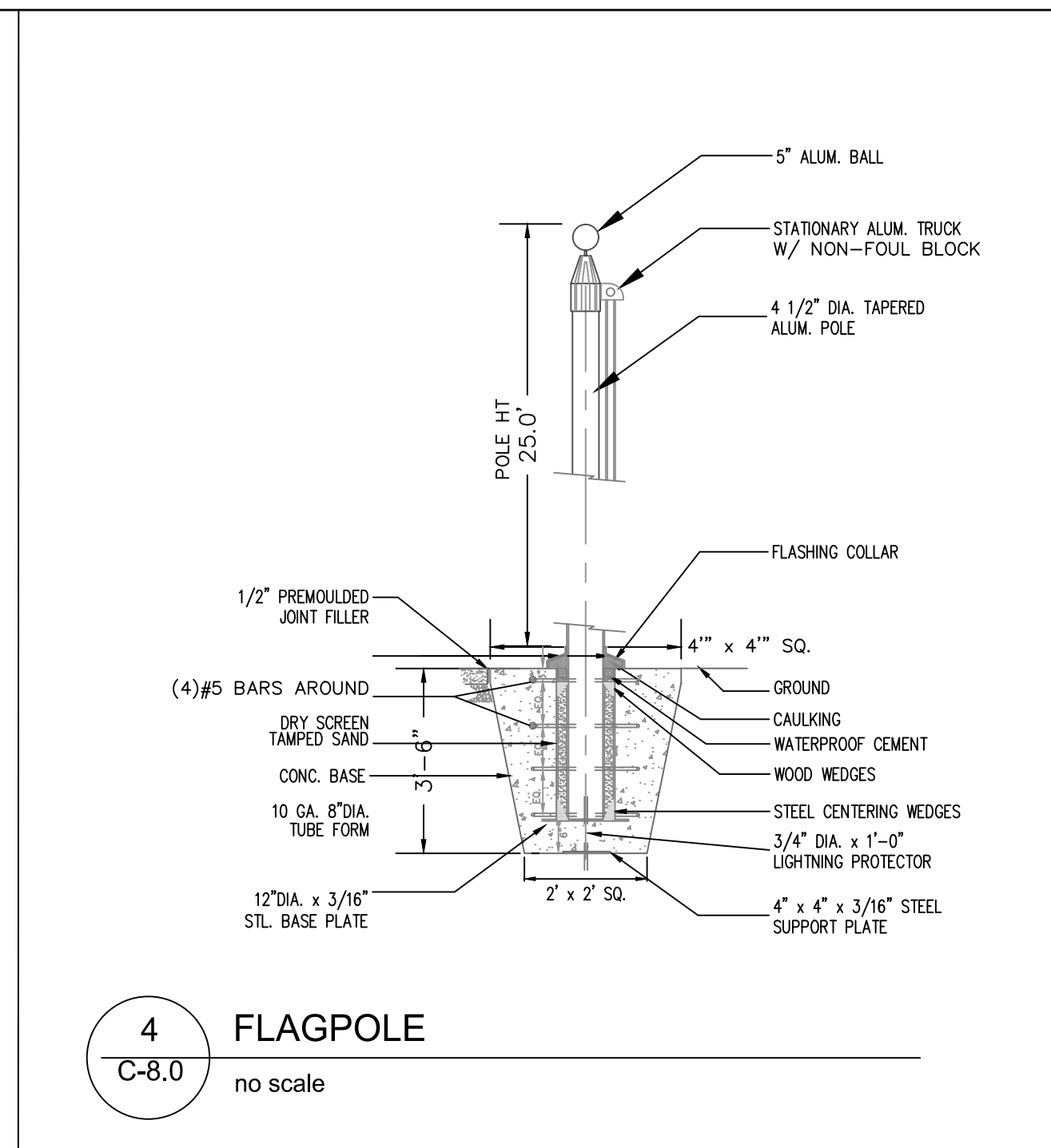
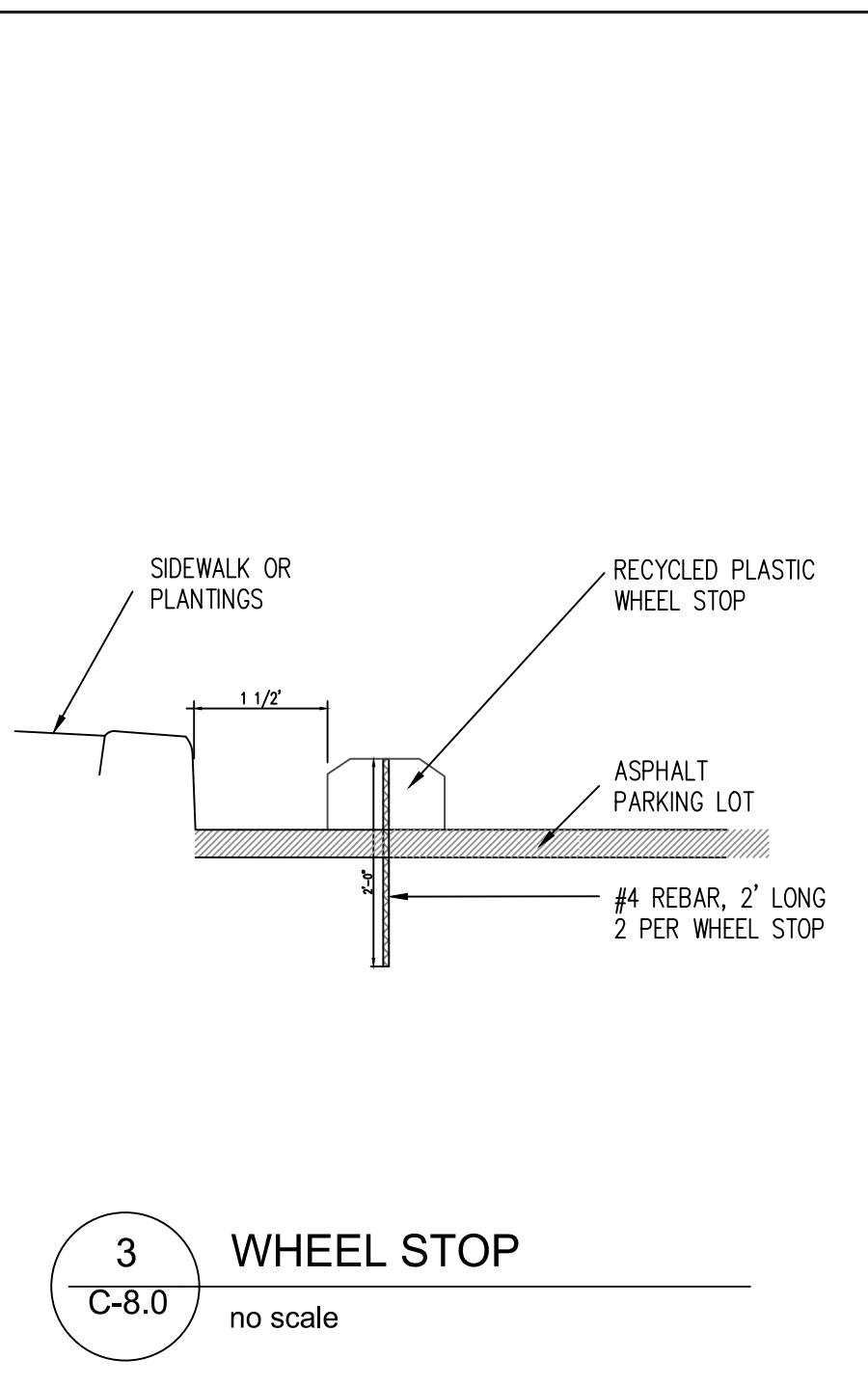
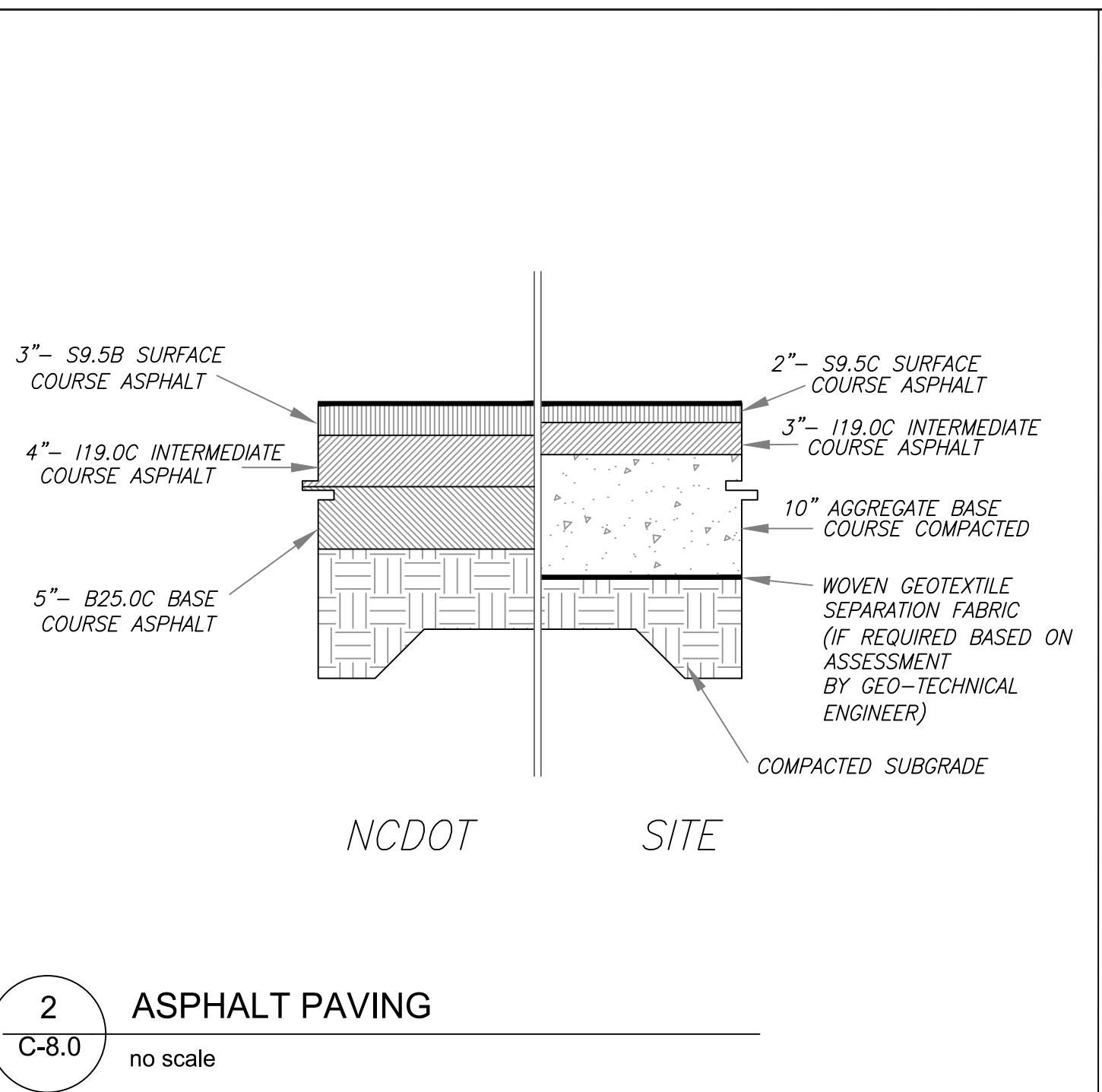
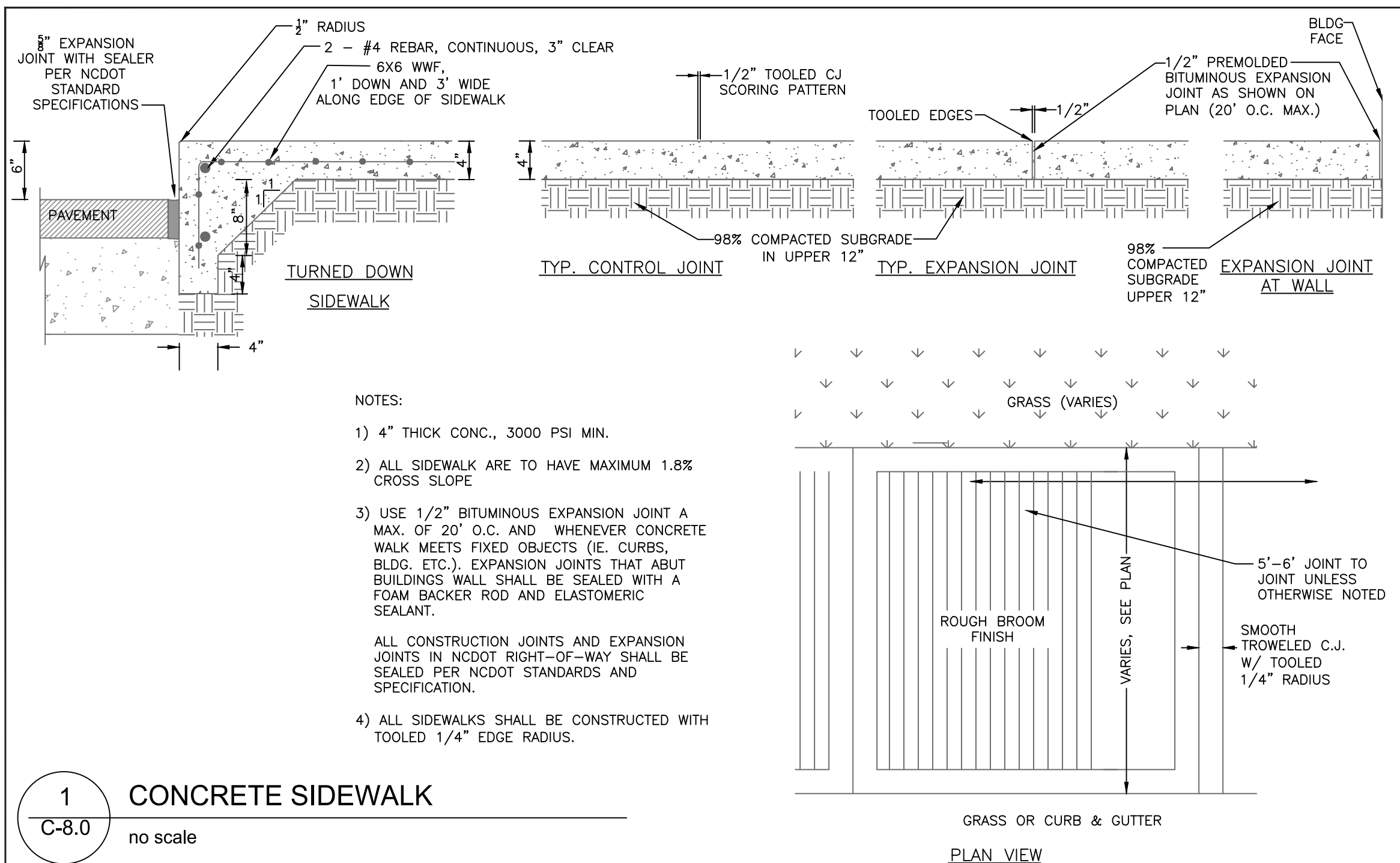
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LANDSCAPE PLAN

Sheet Number

C-7.0

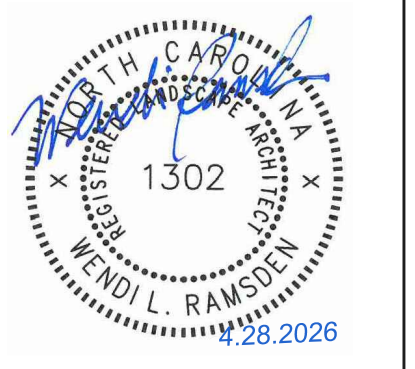


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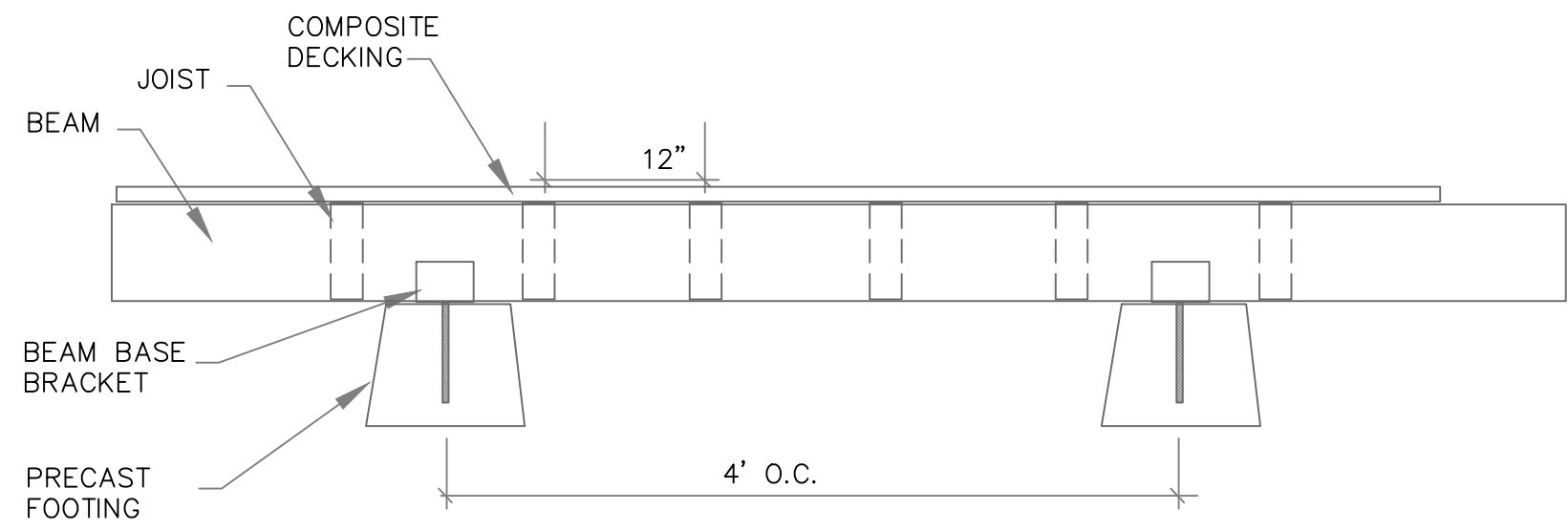
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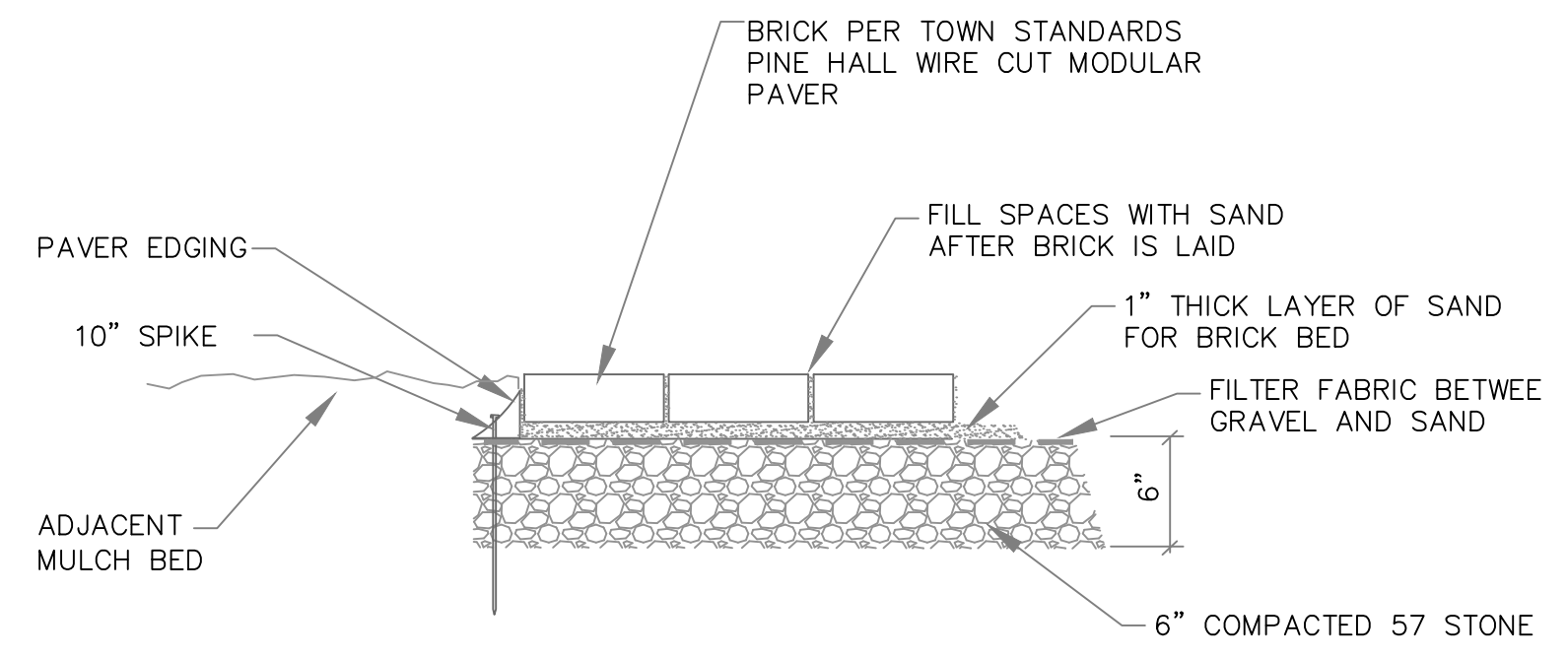
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C-8.0

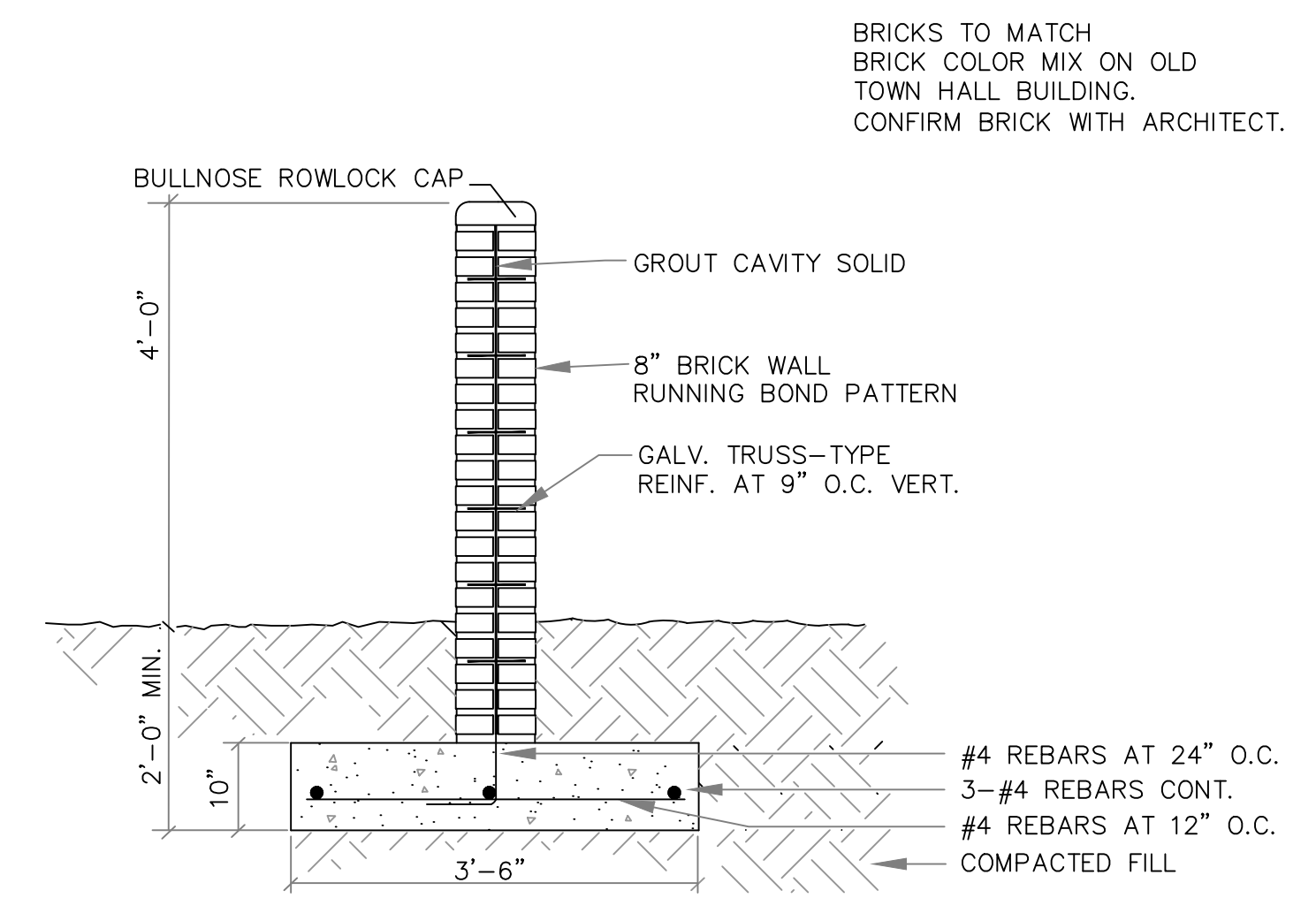


-CONCRETE PRECAST FOOTINGS
-WOOD/PLASTIC COMPOSITE LUMBER FOR BEAMS, JOISTS, AND DECKING
-INTEGRATED COLOR

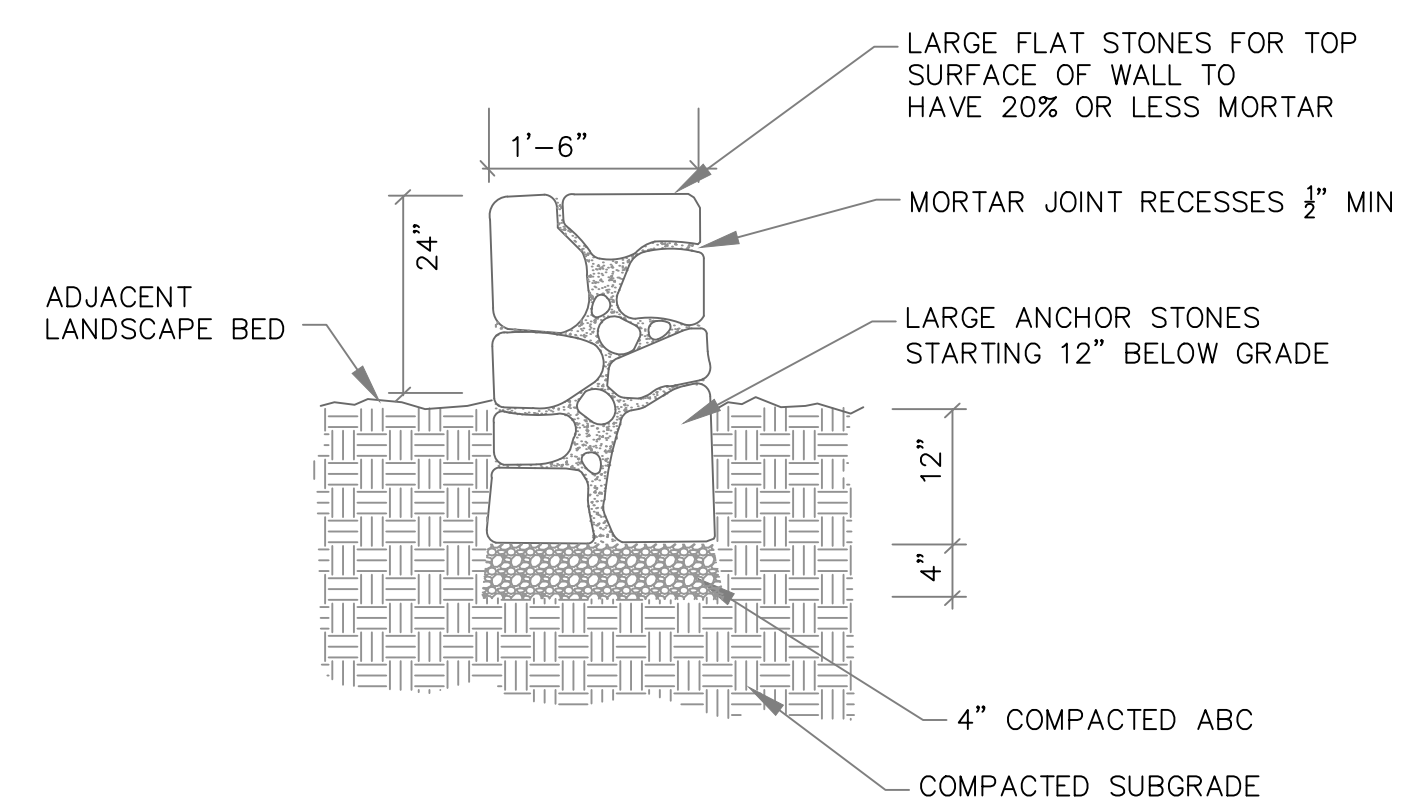
1 DECKING
C-8.1 no scale



2 PARK PATHWAYS
C-8.1 no scale



3 SCREEN WALL
C-8.1 no scale



4 FREESTANDING STONE WALL
C-8.1 no scale



landscape forms glide bench



landscape forms americana chair



landscape forms standard colors

BASIS OF DESIGN:
LANDSCAPE FORMS GLIDE ARMLESS BENCH 75" LENGTH
LANDSCAPE FORMS AMERICANA CHAIR 37.5" DEEP X 33.5" WIDE
COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURER'S STANDARD COLORS

5 PARK FURNITURE
C-8.1 no scale



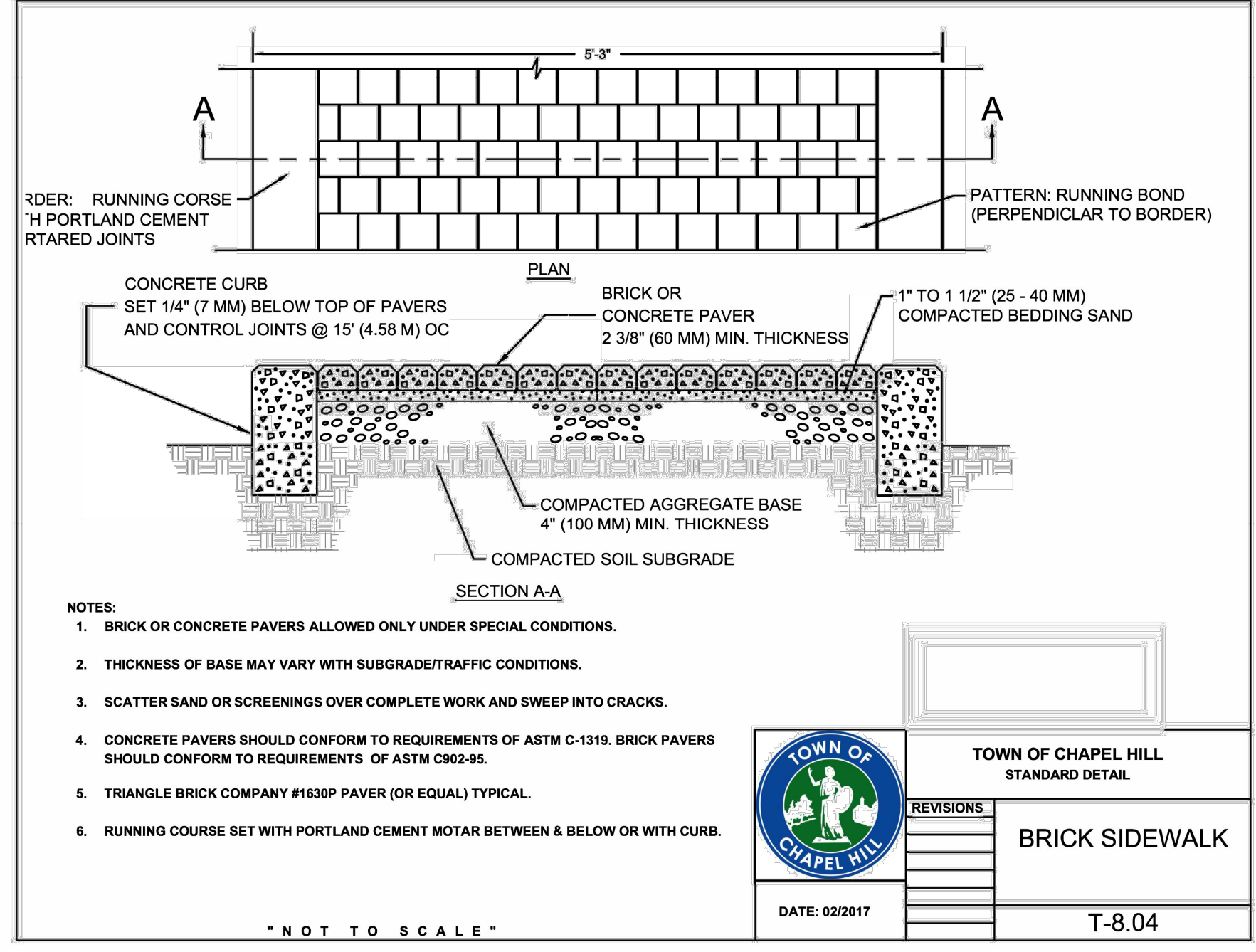
dumor table chairs



dumor standard colors

BASIS OF DESIGN:
DUMOR ARMLESS CHAIR MODEL 483
DUMOR 30" DIAM TABLE MODEL 484
COLOR TO BE CHOSEN BY OWNER FROM MANUFACTURER'S STANDARD COLORS

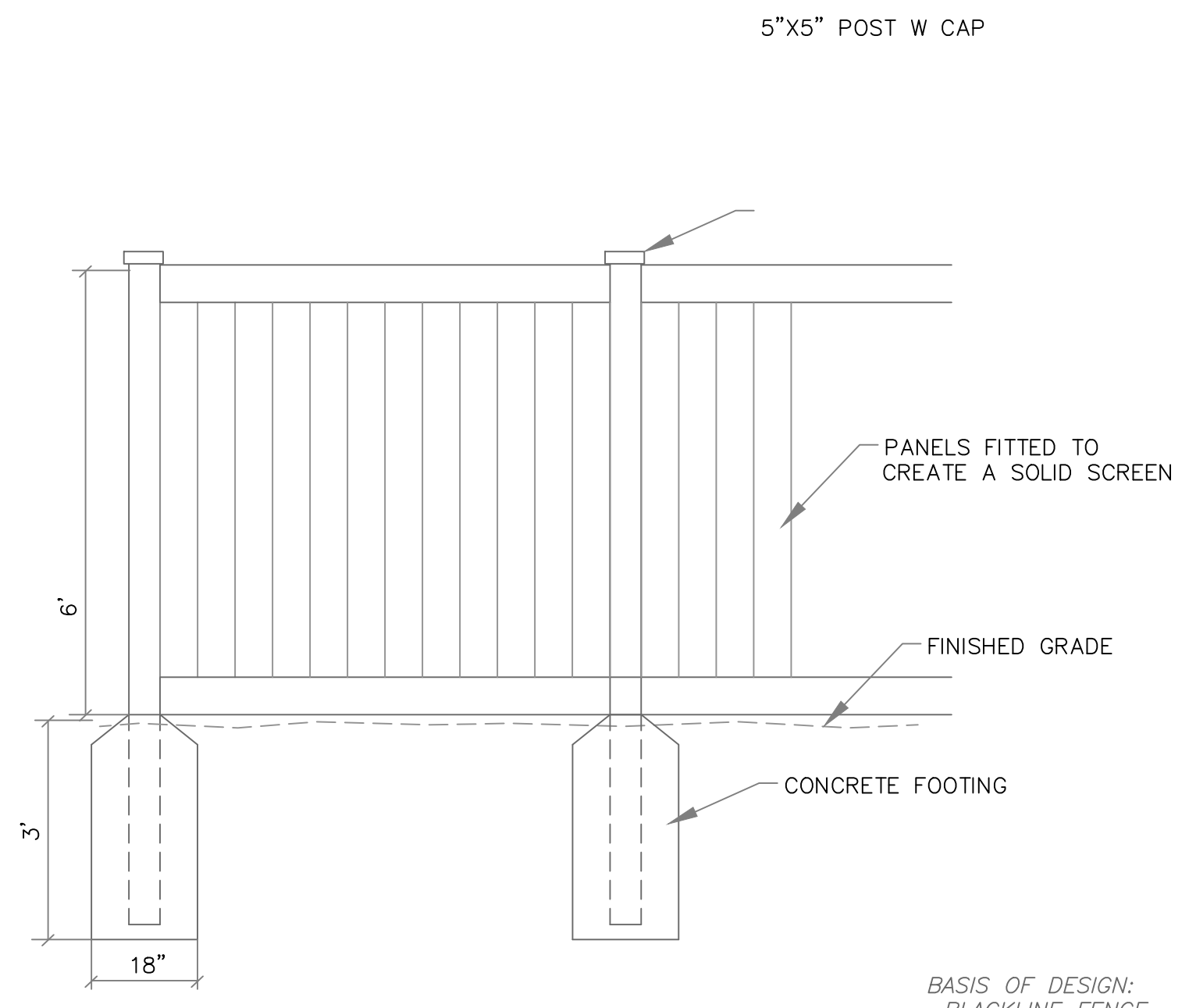
6 DECK FURNITURE
C-8.1 no scale



- NOTES:
- BRICK OR CONCRETE PAVERS ALLOWED ONLY UNDER SPECIAL CONDITIONS.
 - THICKNESS OF BASE MAY VARY WITH SUBGRADE/TRAFFIC CONDITIONS.
 - SCATTER SAND OR SCREENINGS OVER COMPLETE WORK AND SWEEP INTO CRACKS.
 - CONCRETE PAVERS SHOULD CONFORM TO REQUIREMENTS OF ASTM C-1319. BRICK PAVERS SHOULD CONFORM TO REQUIREMENTS OF ASTM C802-95.
 - TRIANGLE BRICK COMPANY #1830P PAVER (OR EQUAL) TYPICAL.
 - RUNNING COURSE SET WITH PORTLAND CEMENT MOTAR BETWEEN & BELOW OR WITH CURB.

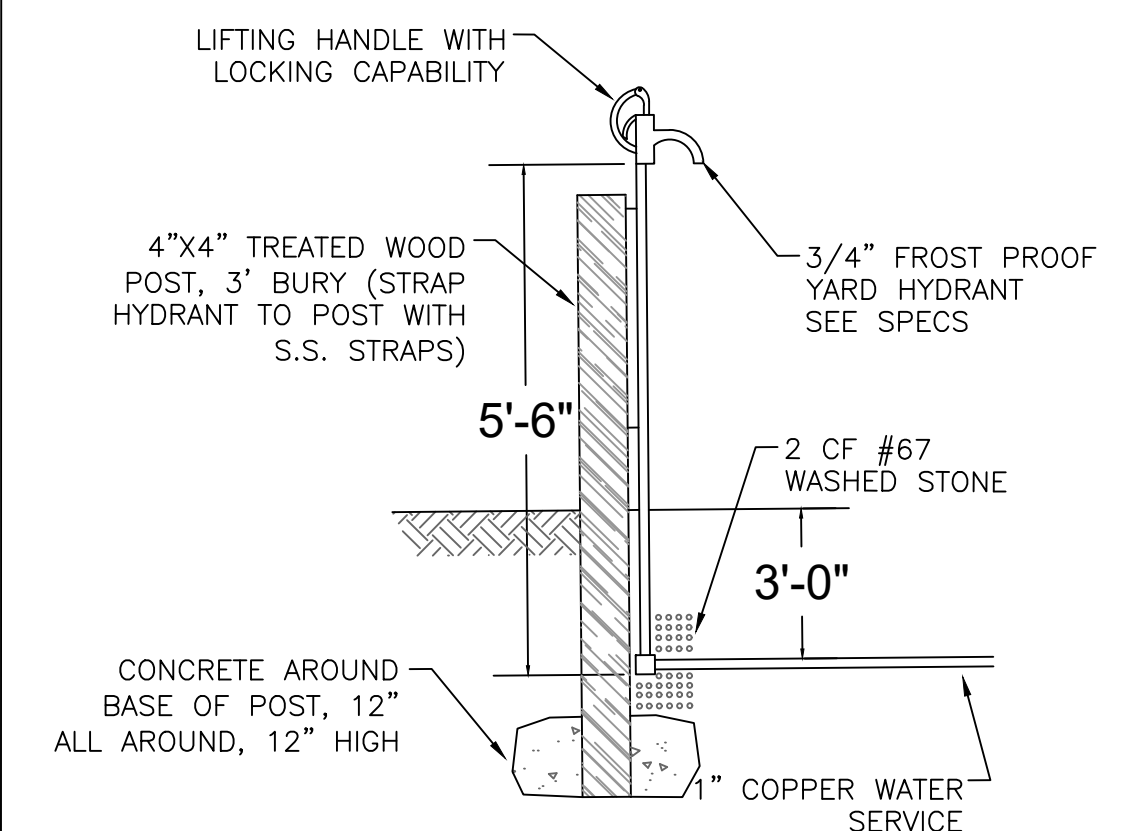
TOWN OF CHAPEL HILL
STANDARD DETAIL
BRICK SIDEWALK
T-8.04
DATE: 02/2017

7 BRICK SIDEWALK IN RIGHT OF WAY
C-8.1 no scale



BASIS OF DESIGN:
-BLACKLINE FENCE
-6" HEIGHT
-VINYL SOLID FENCE

8 PERIMETER FENCE
C-8.1 no scale



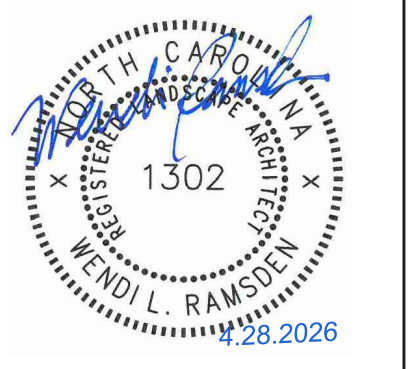
9 YARD HYDRANT
C-8.1 no scale

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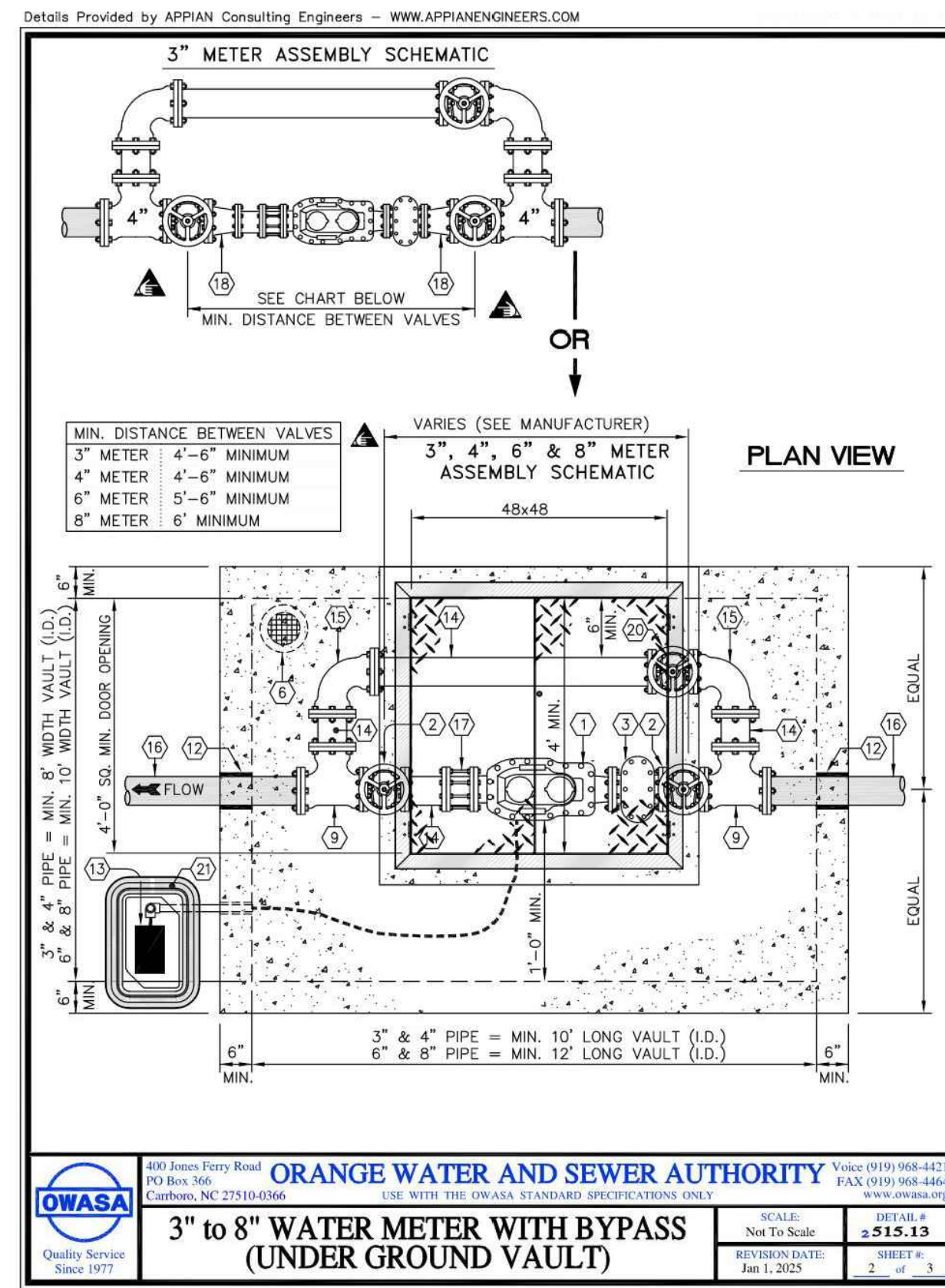
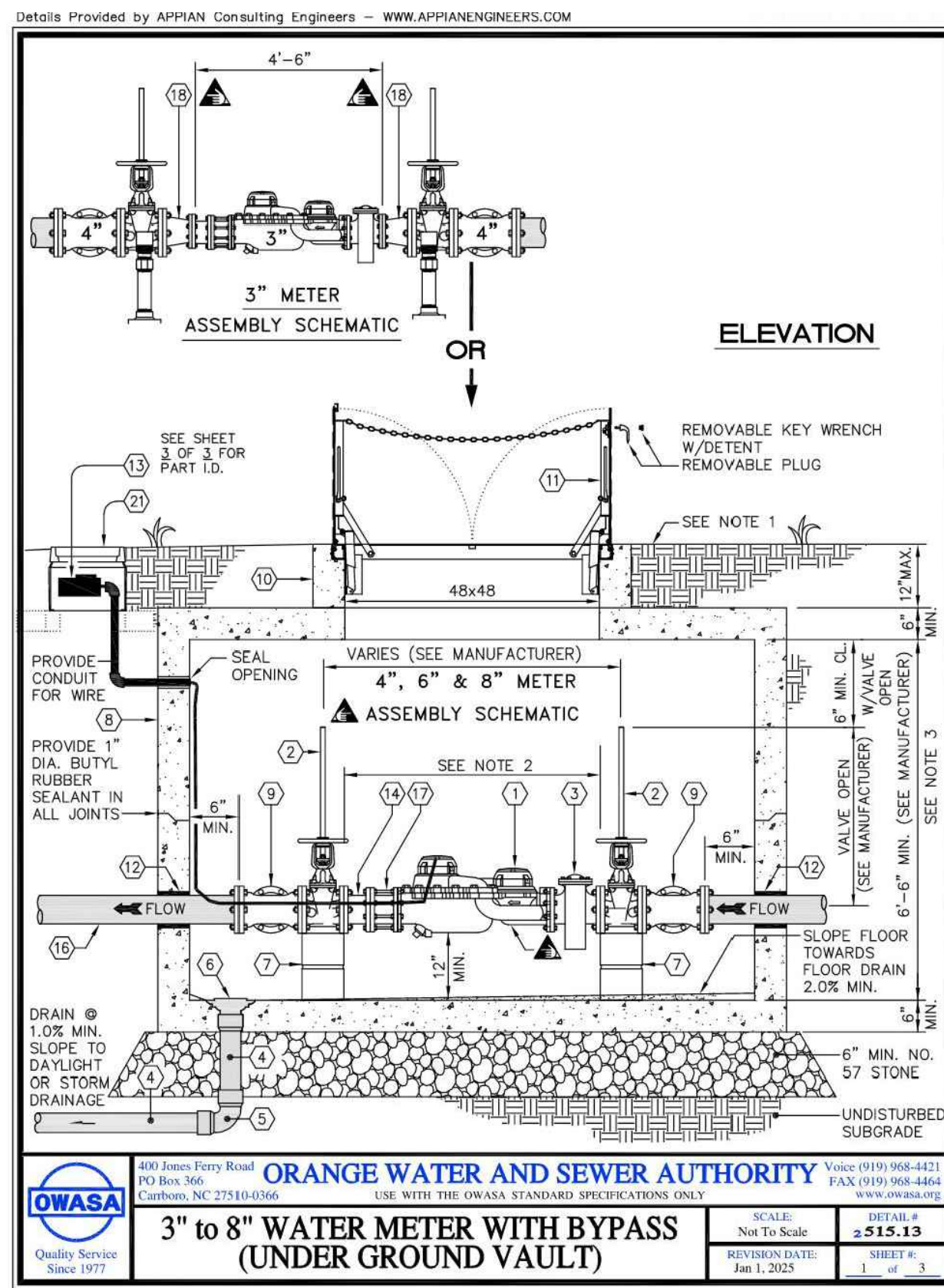
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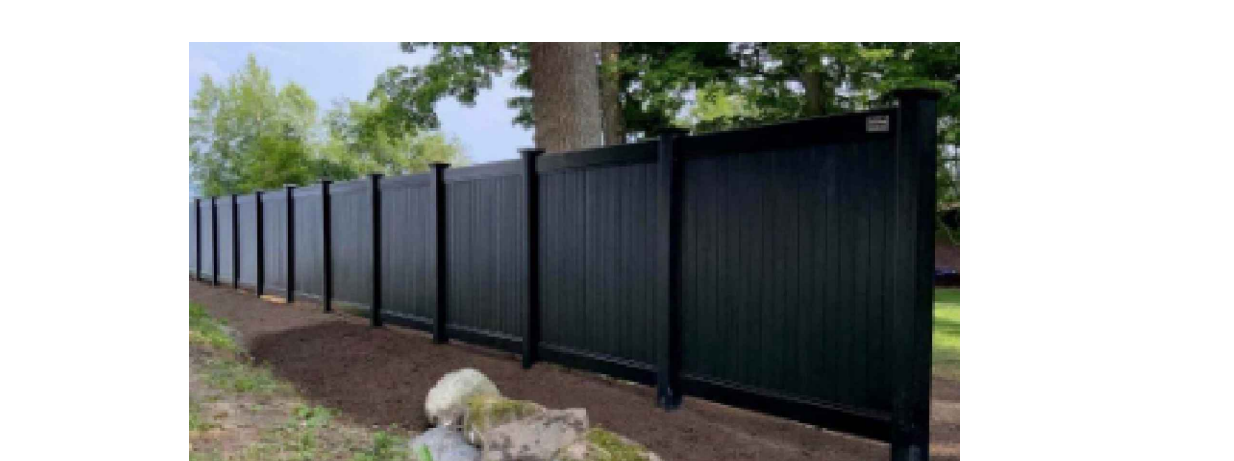
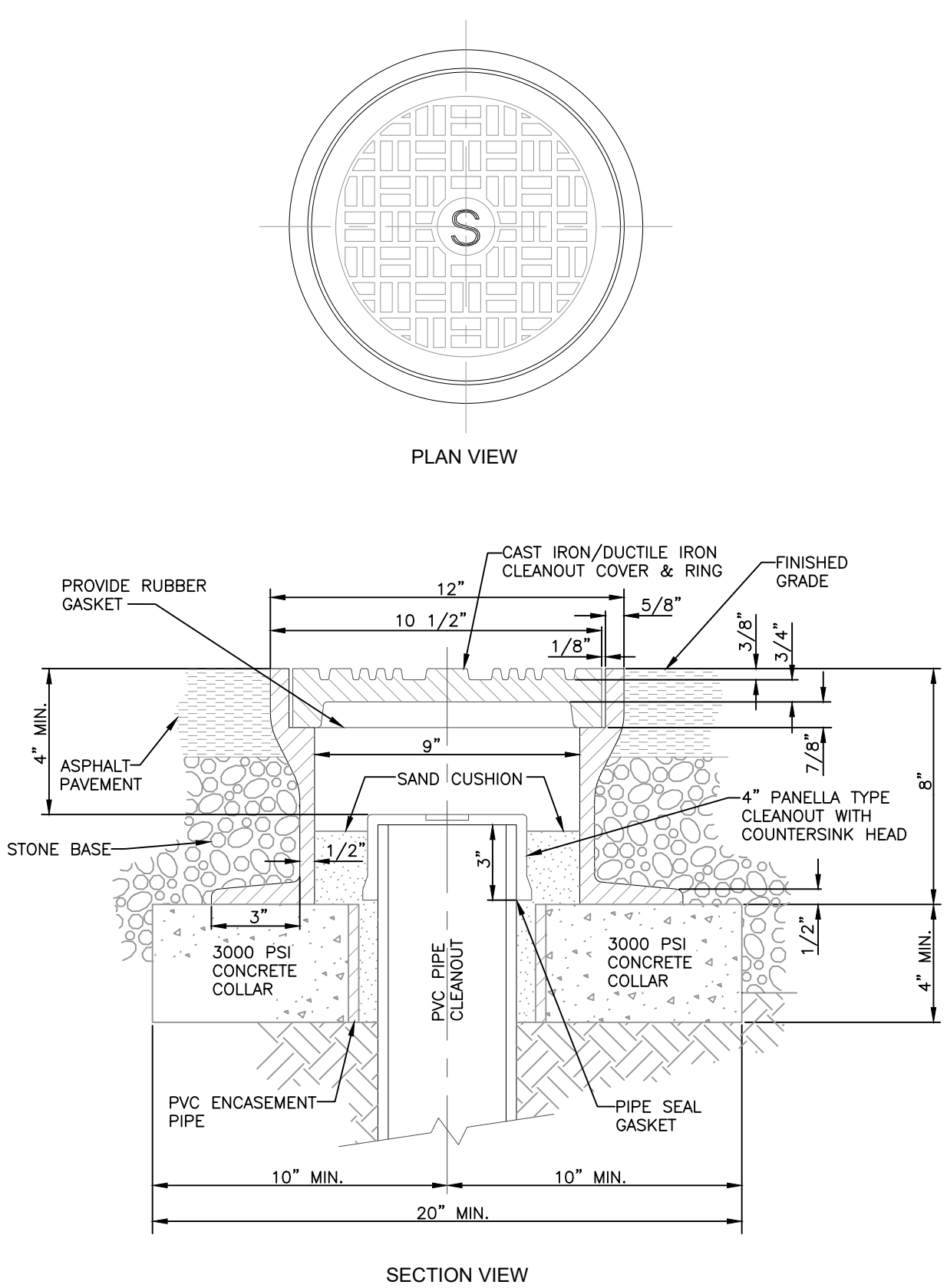
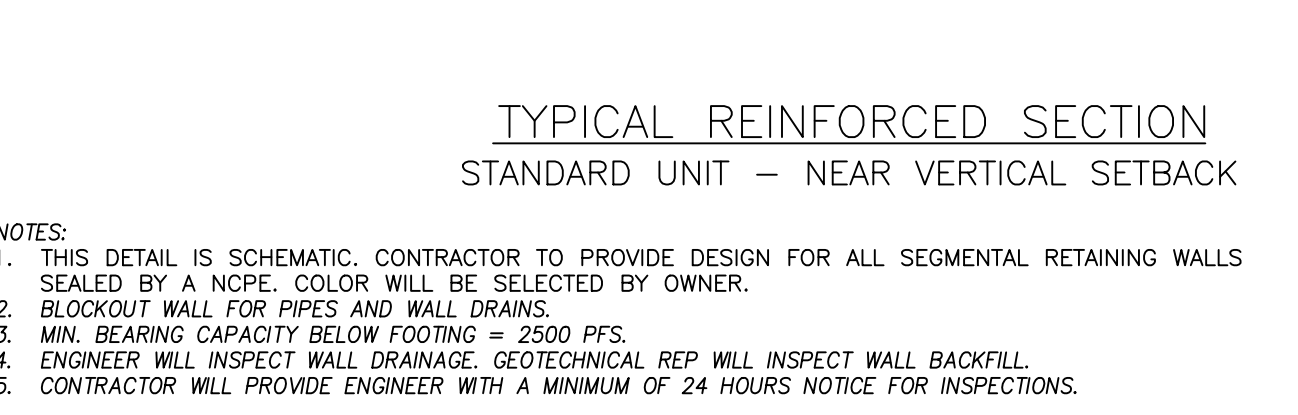
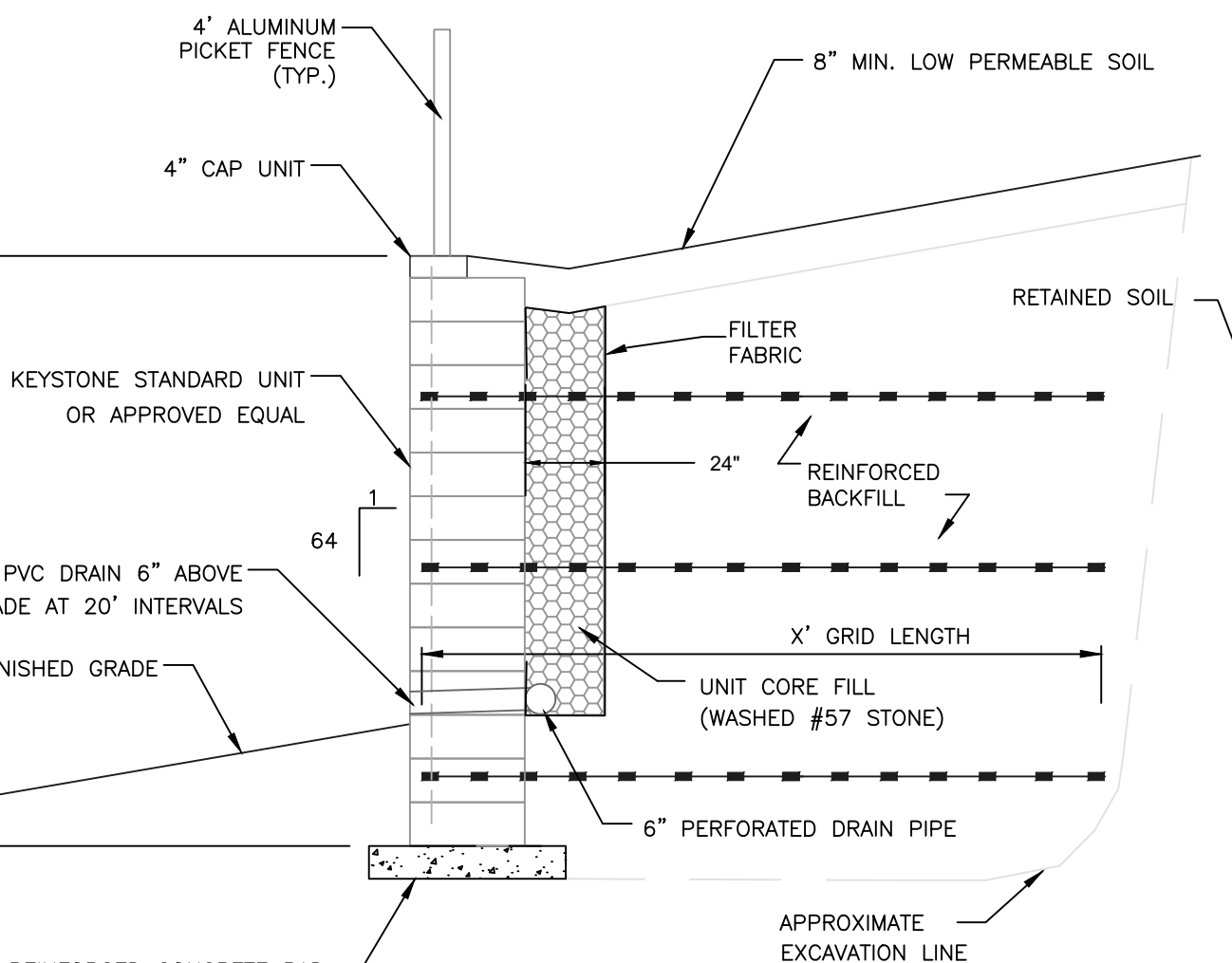
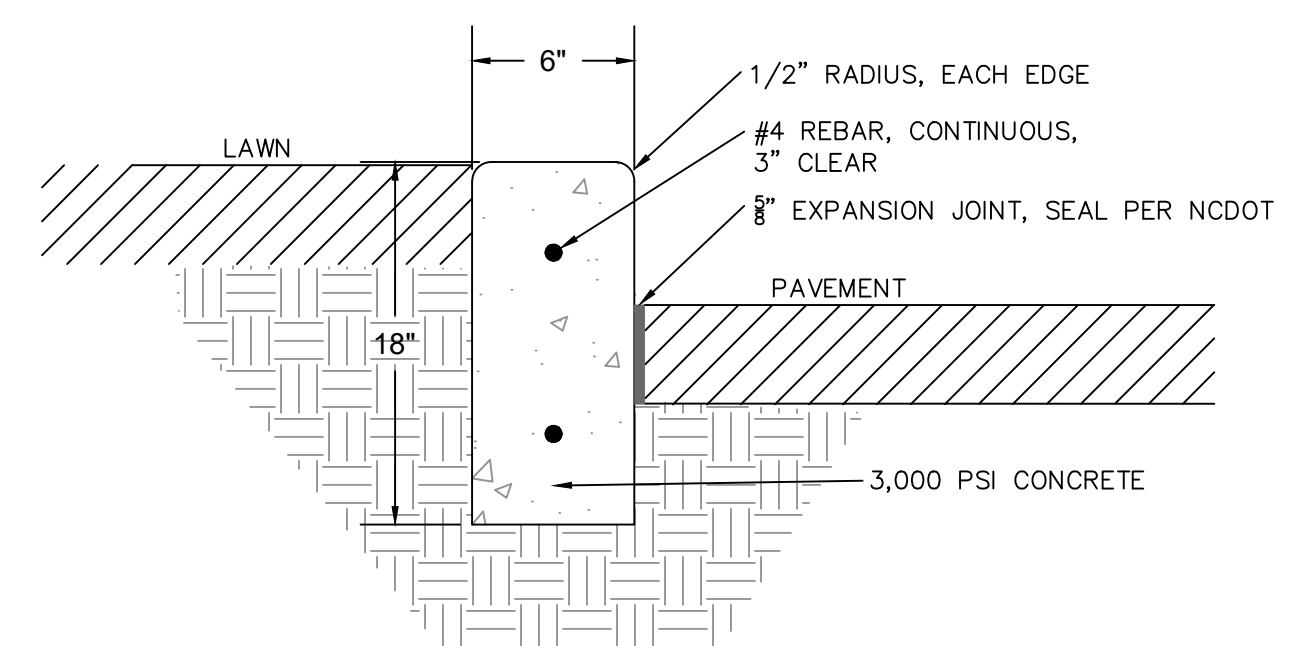
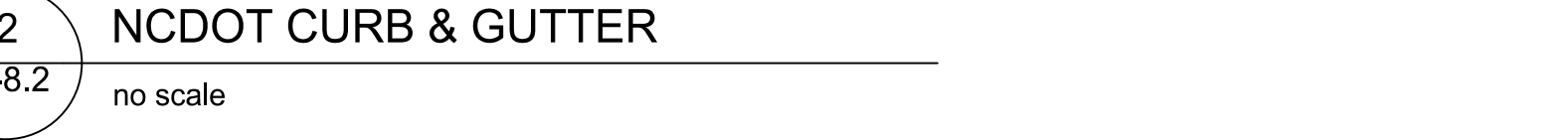
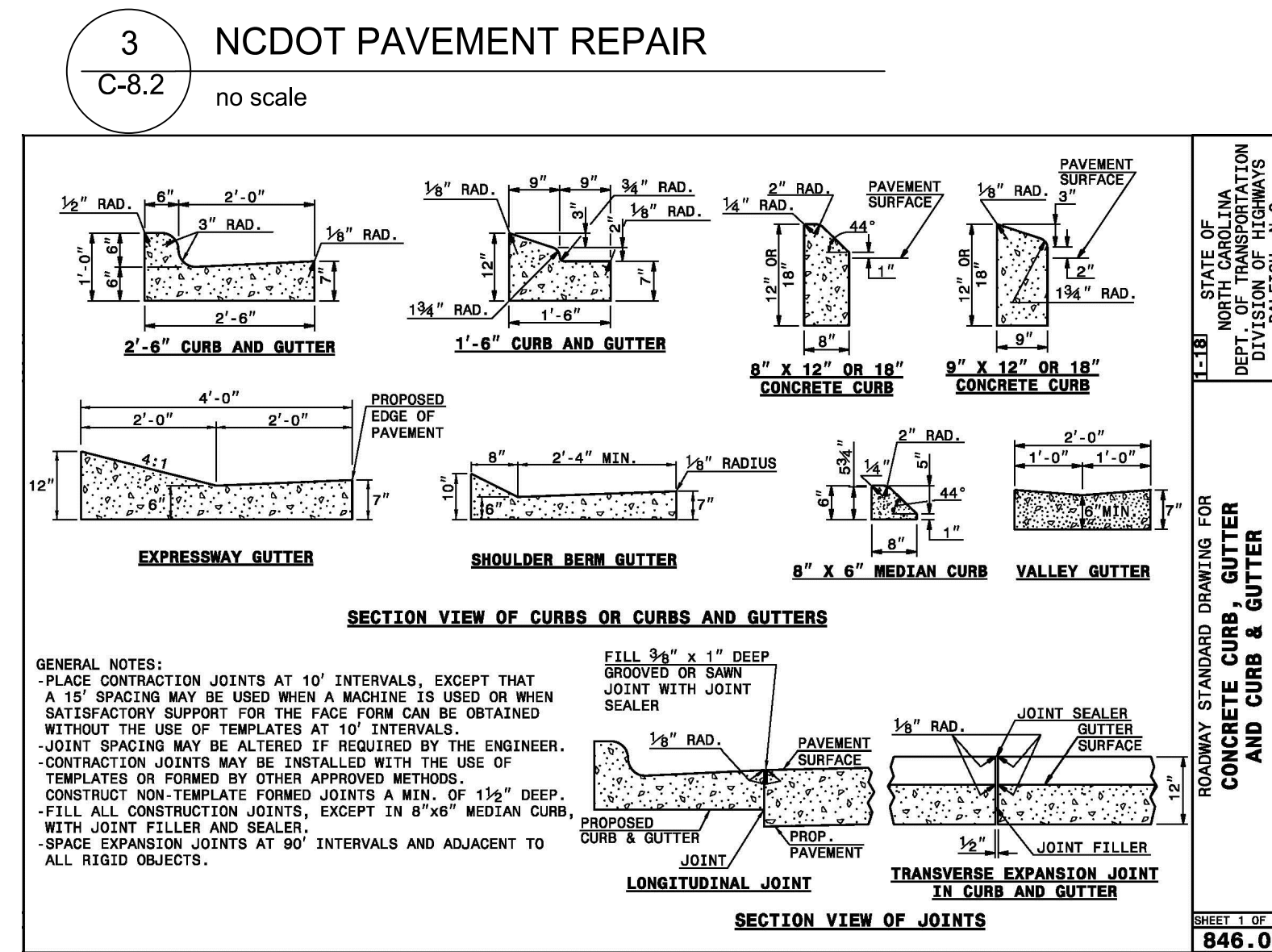
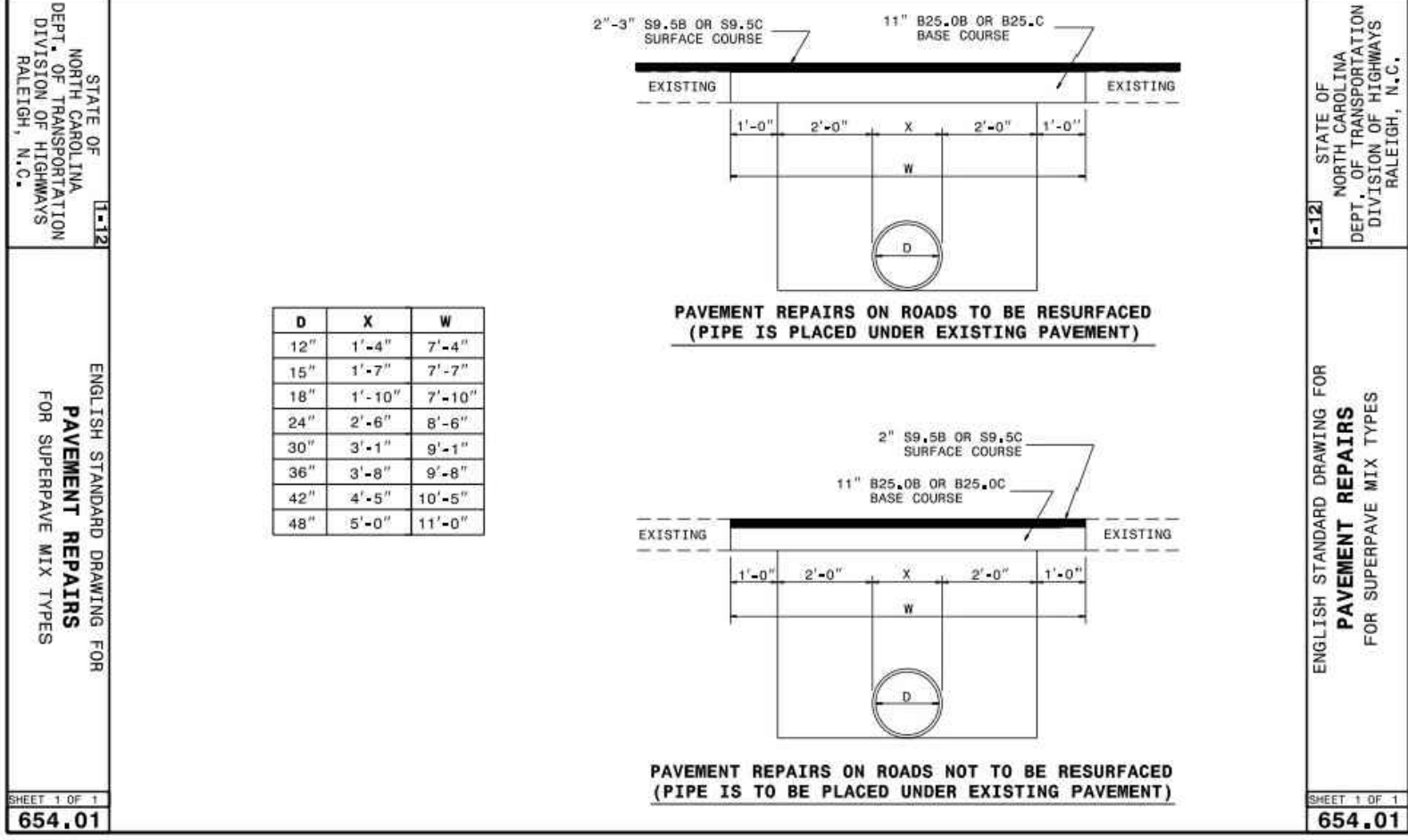


Details Provided by APPIAN Consulting Engineers - WWW.APPIANENGINEERS.COM 10/17/2023 - 11:47:39 AM

PART	MANUFACTURER MODEL / Cat. No.
1 COMPOUND METER OR TURBINE METER	TO BE APPROVED BY OWASA
2 OS&Y D.I. GATE VALVE WITH RESILIENT SEATS	TO BE APPROVED BY OWASA
3 STRAINER	TO BE APPROVED BY OWASA
4 DIP CLASS 350	SIZE & TYPE DETERMINED BY NC PE.
5 DIP CLASS 350	SIZE & TYPE DETERMINED BY NC PE.
6 FLOOR DRAIN WITH STRAINER	SIZE & TYPE DETERMINED BY NC PE BASED ON SIZE OF WATER MAIN.
7 MORTARED MASONRY BLOCK PIPE SUPPORTS (MINIMUM 4 REQUIRED)	TO BE APPROVED BY OWASA
8 PRECAST CONCRETE UTILITY VAULT BOX, MIN. 4,000 PSI @ 28 DAYS. VERIFY FITTINGS WILL FIT INSIDE BOX BEFORE ORDERING.	STAY-RIGHT PRECAST VAULT, H20 LOAD RATING (OR APPROVED EQUIVALENT)
9 DIP FLANGED TEE	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
10 4'-0" MIN. WIDTH (I.D.) x 4'-0" LONG (I.D.) RISER. SEE SHEET 2 of 3 FOR MINIMUM LENGTH.	STAY-RIGHT PRECAST VAULT, H20 LOAD RATING (OR APPROVED EQUIVALENT)
11 4' WIDE x 4' LONG DOOR CAST INTO RISER (DRAIN TO OUTSIDE). SEE SHEET 2 of 3 FOR MINIMUM LENGTH.	BILCO OR HALIDAY PRODUCTS DOUBLE LEAF ACCESS DOOR. USE H20 LOADING IN ALL AREAS. DRAIN TO OUTSIDE (OR APPROVED EQUAL)
12 WALL SLEEVE WITH LINK SEAL (OR APPROVED EQUIVALENT)	TO BE APPROVED BY OWASA
13 REMOTE METER READOUT (IN GALLONS) ELECTRONIC ERT	TO BE APPROVED BY OWASA
14 DIP FLANGE x FLANGE SPOOL PIPE OR THREADED END FOR FLANGE. VERIFY LENGTH.	AMERICAN CAST IRON PIPE, U.S. PIPE & FOUNDRY
15 DIP FLANGED 90° ELBOW (SHORT RADIUS)	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
16 4", 6" OR 8" DIP FLANGED x PE PIPE (USE 1 FULL LENGTH JOINT PIPE)	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
17 FLANGED ADAPTOR	UNIFLANGE (TO BE APPROVED BY OWASA)
18 DIP FLANGED 4"x3" REDUCER	AMERICAN CAST IRON PIPE, UNION-TYLER PIPE CO., or U.S. PIPE & FOUNDRY
19	
20 OS&Y GATE VALVE WITH RESILIENT SEATS	DRILL STEM FOR SEALING IN CLOSED POSITION (TO BE APPROVED BY OWASA).
21 METER BOX	COR SYSTEMS CORP. / WADA-118-12C MID-STATES PLASTICS, INC. / MSBC 1118-12

NOTES:
 1. Ensure positive surface grade away from box.
 2. 3" Meter to use 4" OS&Y DI valves and (2) 4"x3" DI flanged reducers with section of 3" flanged DI pipe and 3" DI flanged coupling adaptor.
 3. For vaults less than 6'-6" high see detail 515.14.

400 Jones Ferry Road, PO Box 366, Durham, NC 27710-0366
ORANGE WATER AND SEWER AUTHORITY
 USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY
 SCALE: Not To Scale
 SHEET: 3 of 3
 REVISION DATE: Jan 1, 2023



BASIS OF DESIGN:
 -BLACKLINE FENCE
 -6' HEIGHT
 -VINYL SOLID FENCE



THOMAS & HUTTON
 2510 MERIDIAN PARKWAY, SUITE 100
 DURHAM, NC 27713 • 919.482.0368
 www.thomasandhutton.com

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 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:

Rosemary/ Columbia Hotel

110 W. Rosemary St.
 Orange County, North Carolina

PIN:
 9788-37-0680
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 9788-27-9667
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PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1963

Drawn: WLR/MTC
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 Date: 5-9-2022
 Revisions:
 4-24-2024 Site Revisions
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 9-11-2025 Final ZCP Plans
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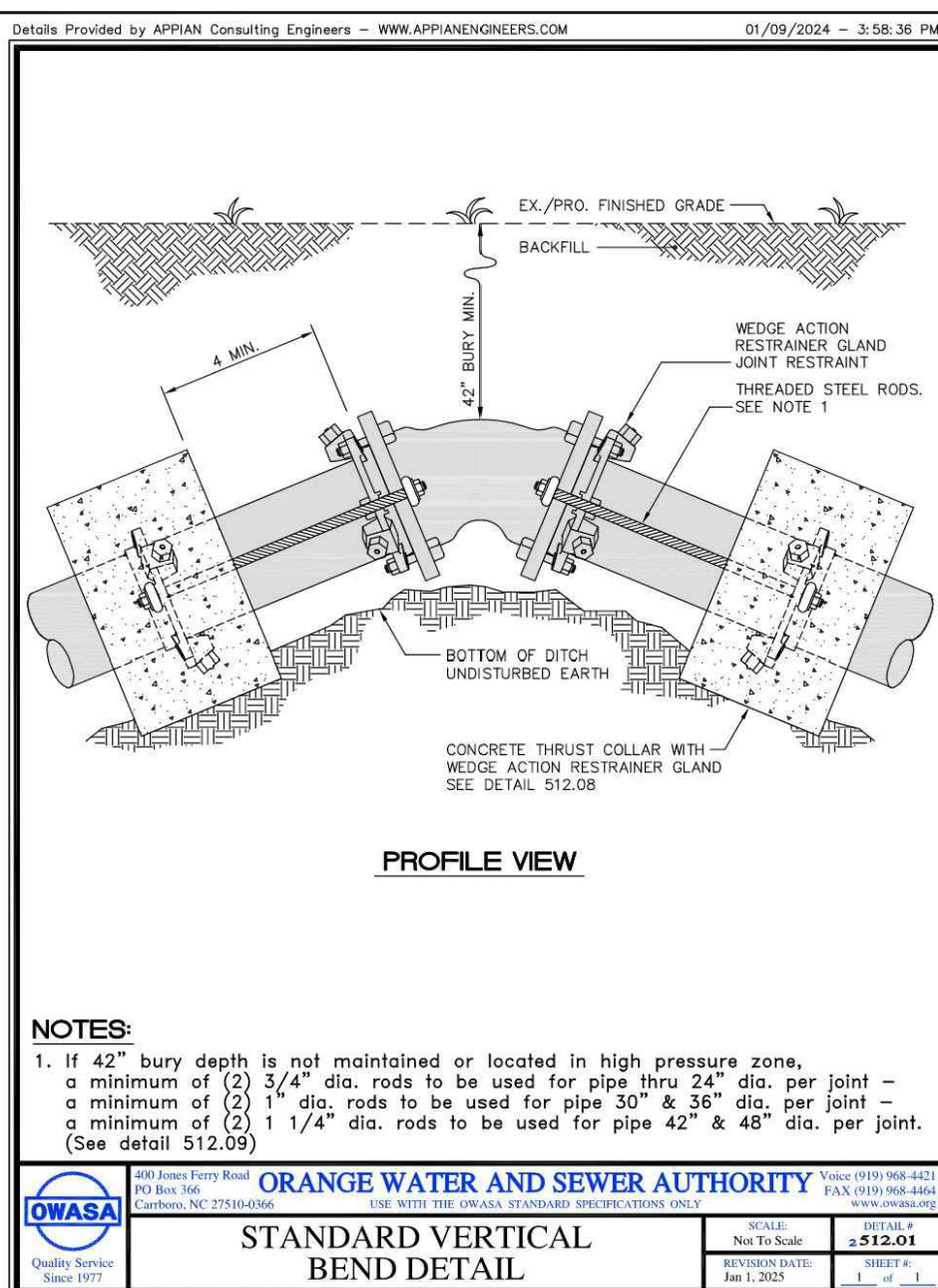
Zoning Compliance Permit

Sheet Title:

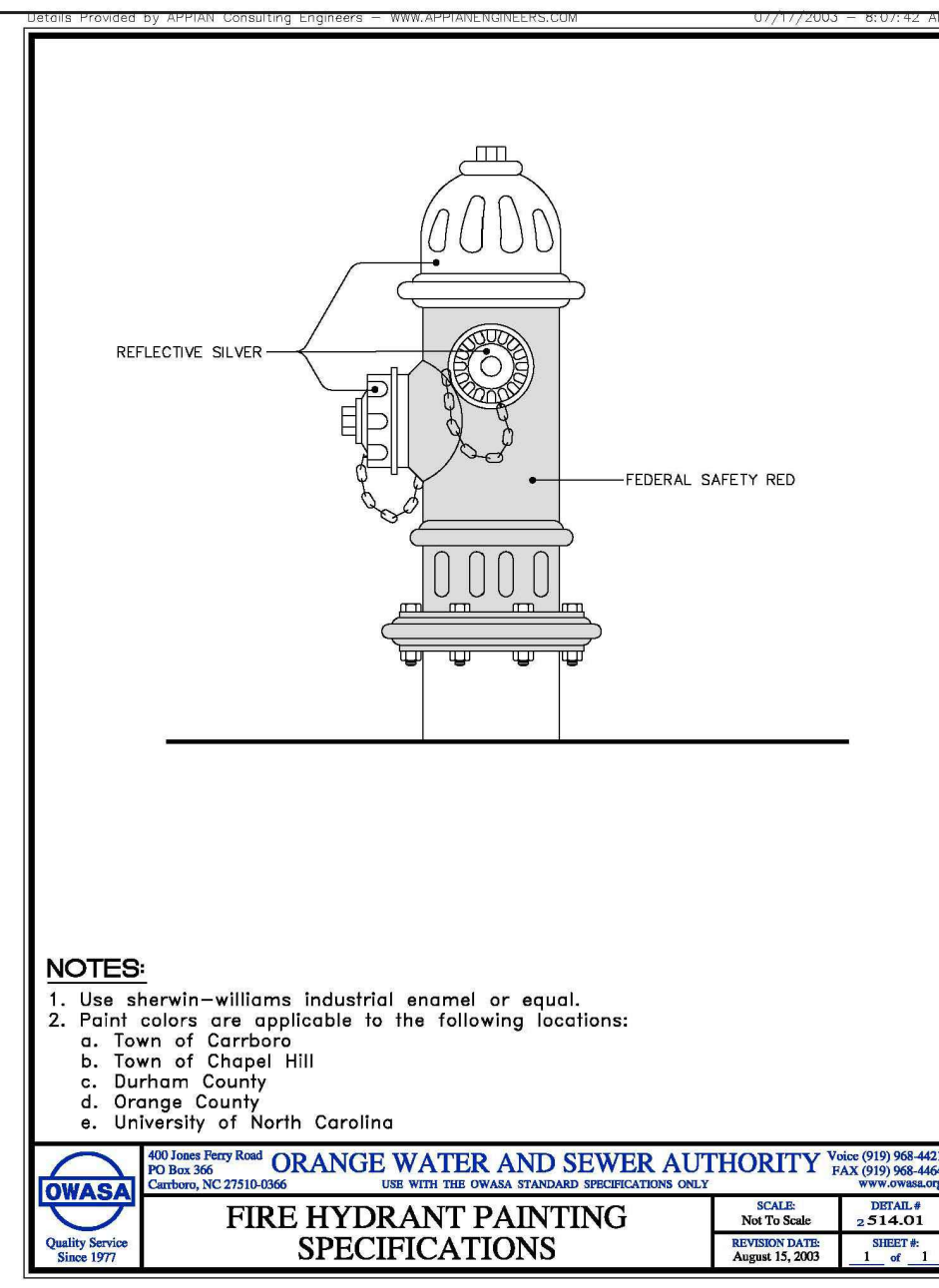
SITE DETAILS

Sheet Number

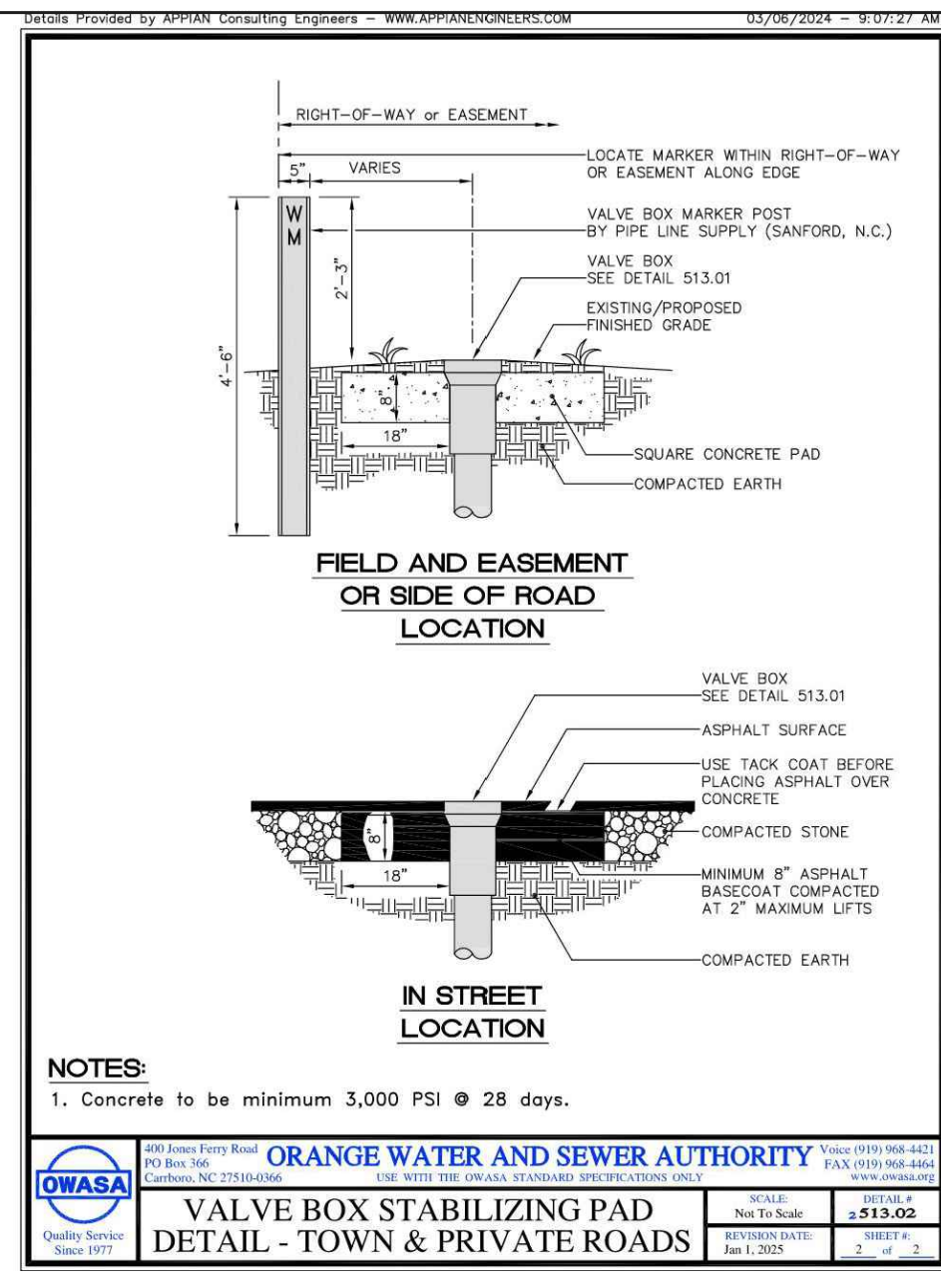
C-8.2



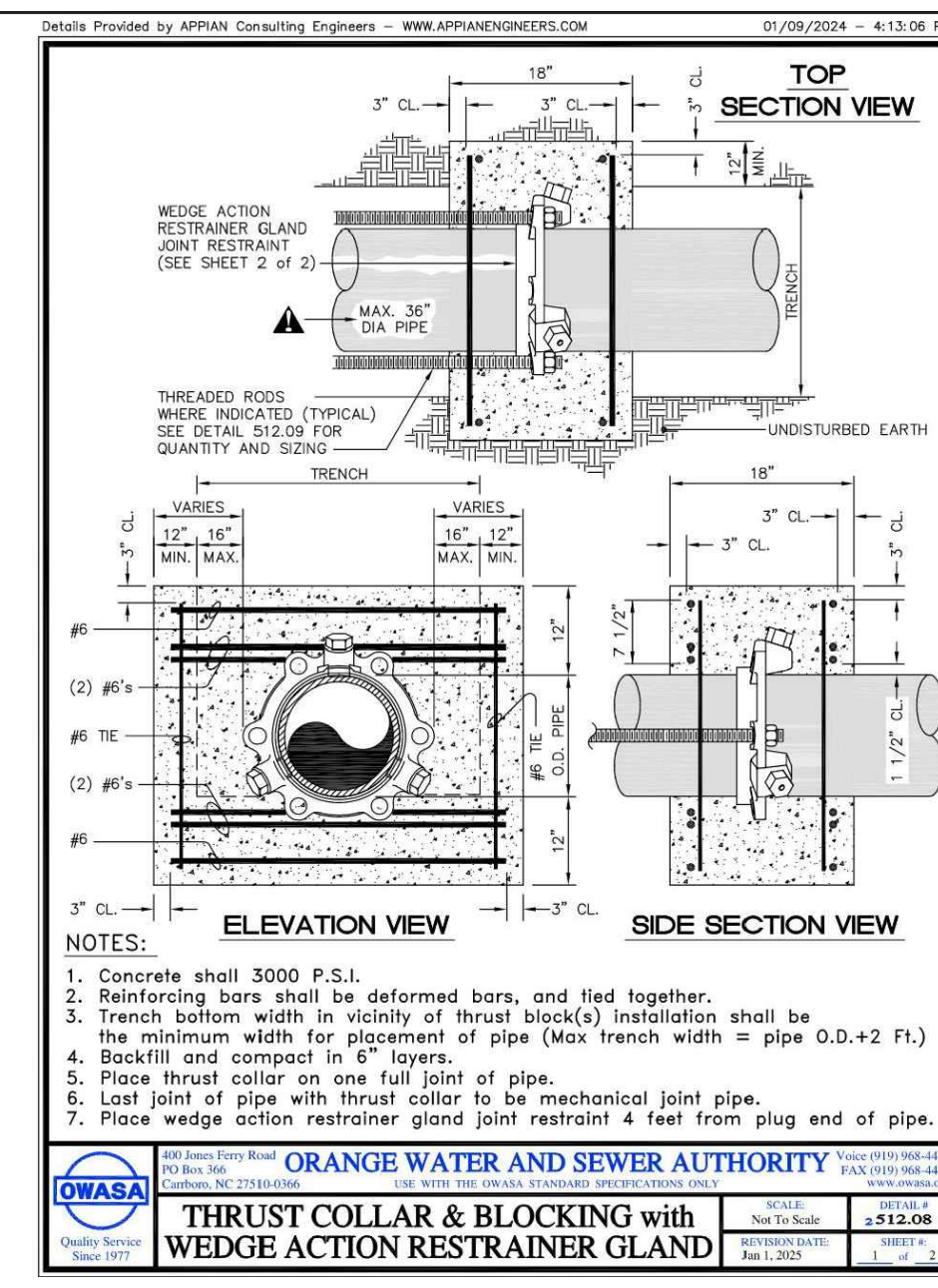
1 VERTICAL BENDS
C-8.3 no scale



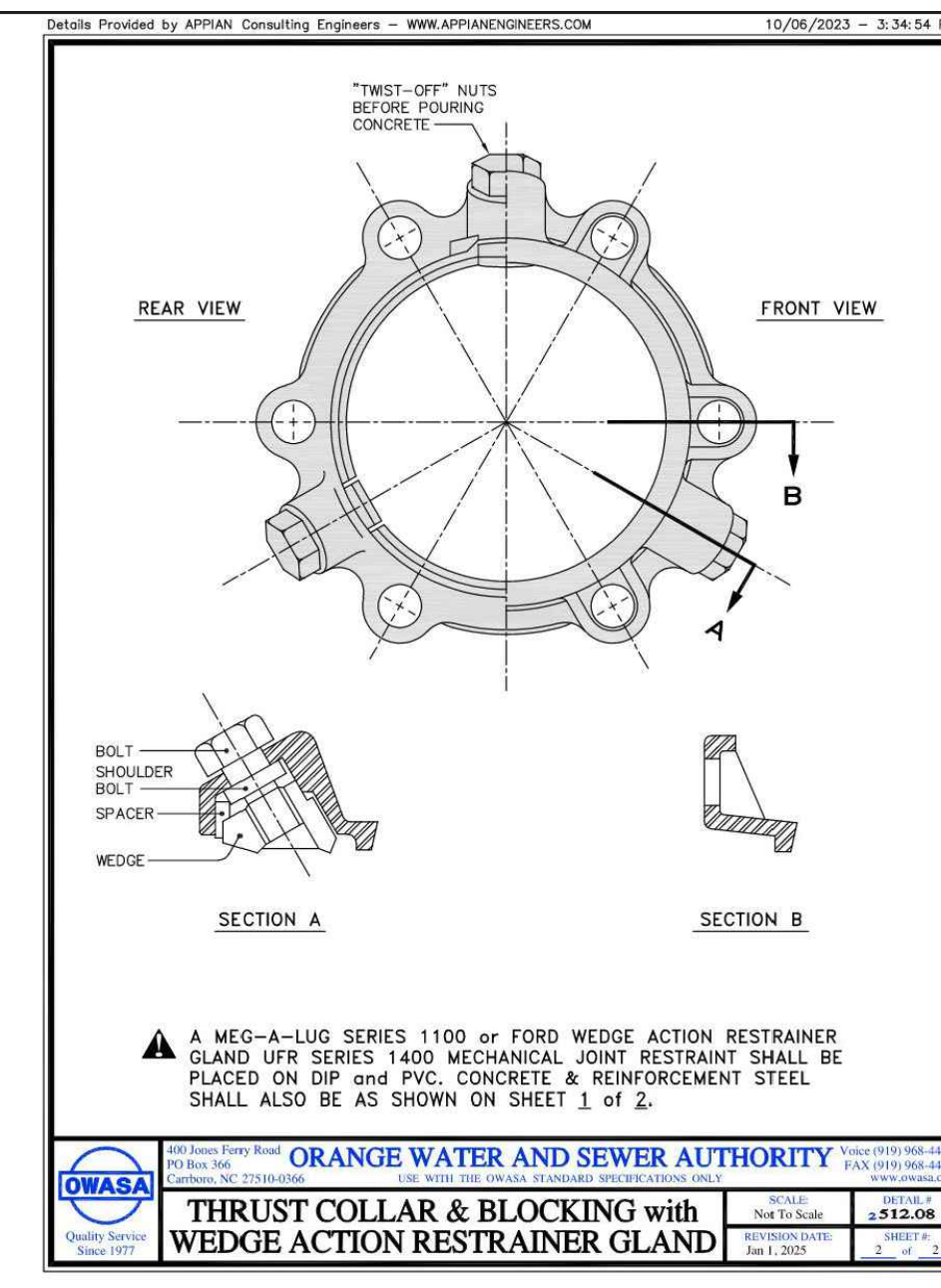
2 HYDRANT PAINTING
C-8.3 no scale



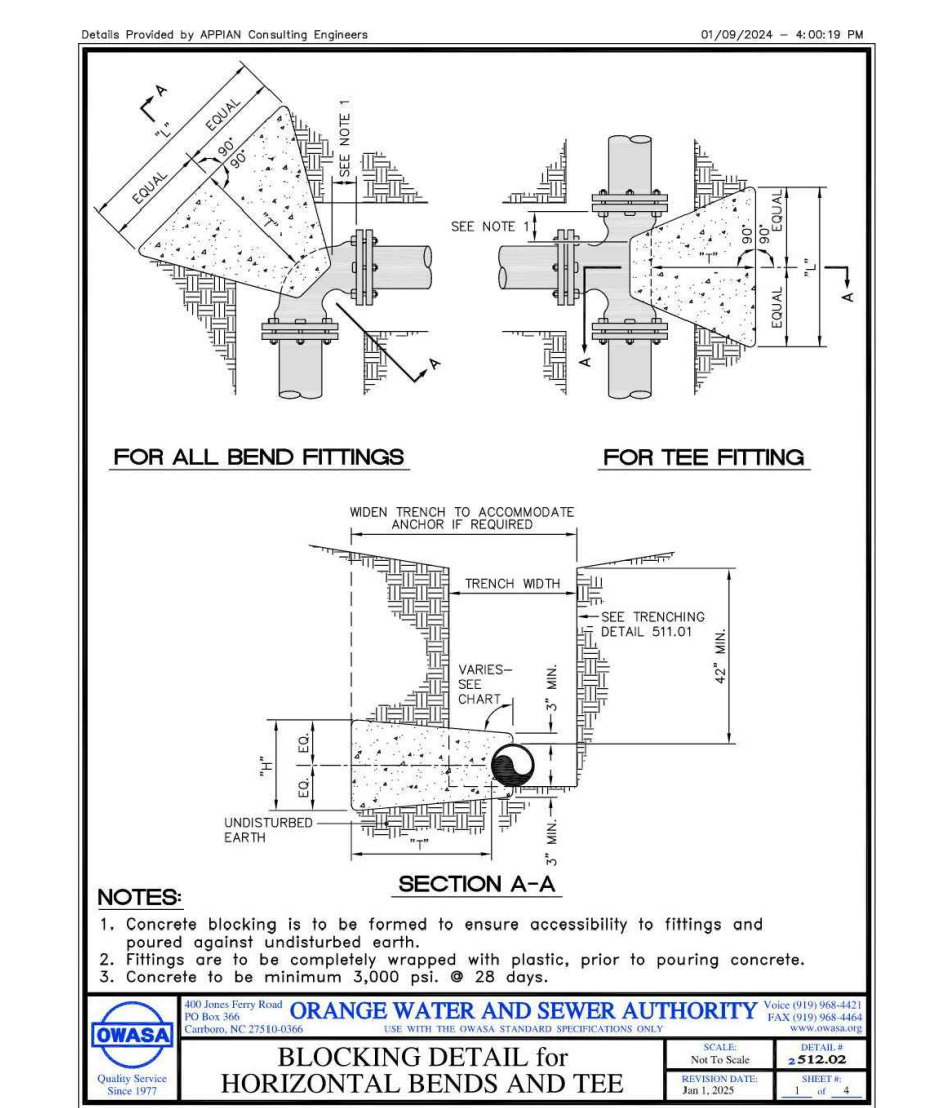
3 VALVE BOX PAD
C-8.3 no scale



4 THRUST COLLAR
C-8.3 no scale



4 THRUST COLLAR
C-8.3 no scale



6 BLOCKING (1 OF 4)
C-8.3 no scale

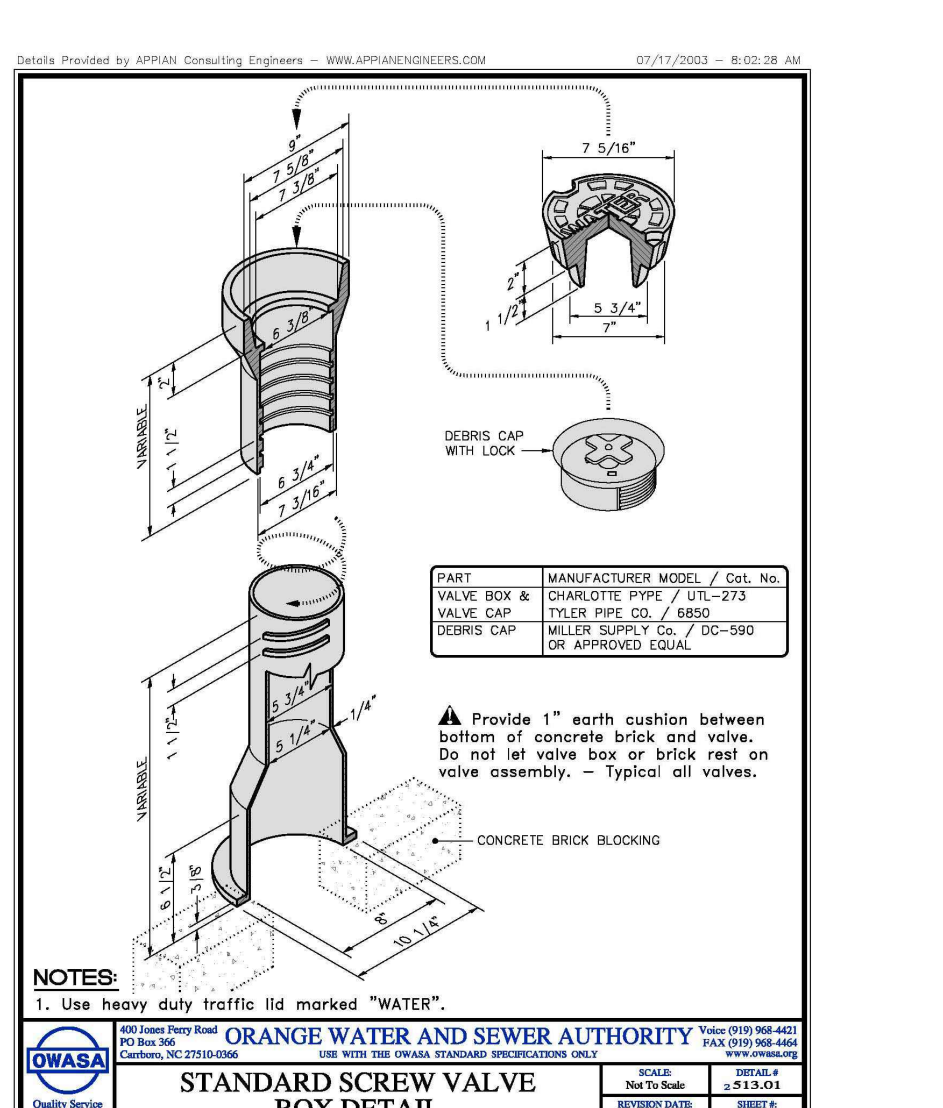
TEST PRESSURE = 150 P.S.I.

TYPE FITTING	"L"	"W"	"H"	VOLUME CONCRETE CU. YD.
11 1/4"	1.00	1.00	1.50	0.08
22 1/2"	1.00	1.00	1.50	0.08
45"	1.00	1.00	1.50	0.08
90"	1.00	1.00	1.50	0.08
TEE / PLUG	1.00	1.50	2.00	0.15
11 1/4"	1.00	1.00	2.50	0.09
22 1/2"	1.00	1.00	2.50	0.09
45"	1.00	1.00	2.50	0.09
90"	1.00	1.00	2.50	0.09
TEE / PLUG	1.00	1.50	3.00	0.23
11 1/4"	2.00	2.00	2.50	0.23
22 1/2"	2.00	2.00	2.50	0.23
45"	2.00	2.00	2.50	0.23
90"	2.00	2.00	2.50	0.23
TEE / PLUG	2.00	2.50	3.00	0.53
11 1/4"	2.00	2.00	3.00	0.28
22 1/2"	2.00	2.00	3.00	0.28
45"	2.00	2.00	3.00	0.28
90"	2.00	2.00	3.00	0.28
TEE / PLUG	2.00	2.50	3.50	0.84
11 1/4"	4.00	4.00	3.00	0.38
22 1/2"	4.00	4.00	3.00	0.38
45"	4.00	4.00	3.00	0.38
90"	4.00	4.00	3.00	0.38
TEE / PLUG	4.00	4.50	3.50	1.32

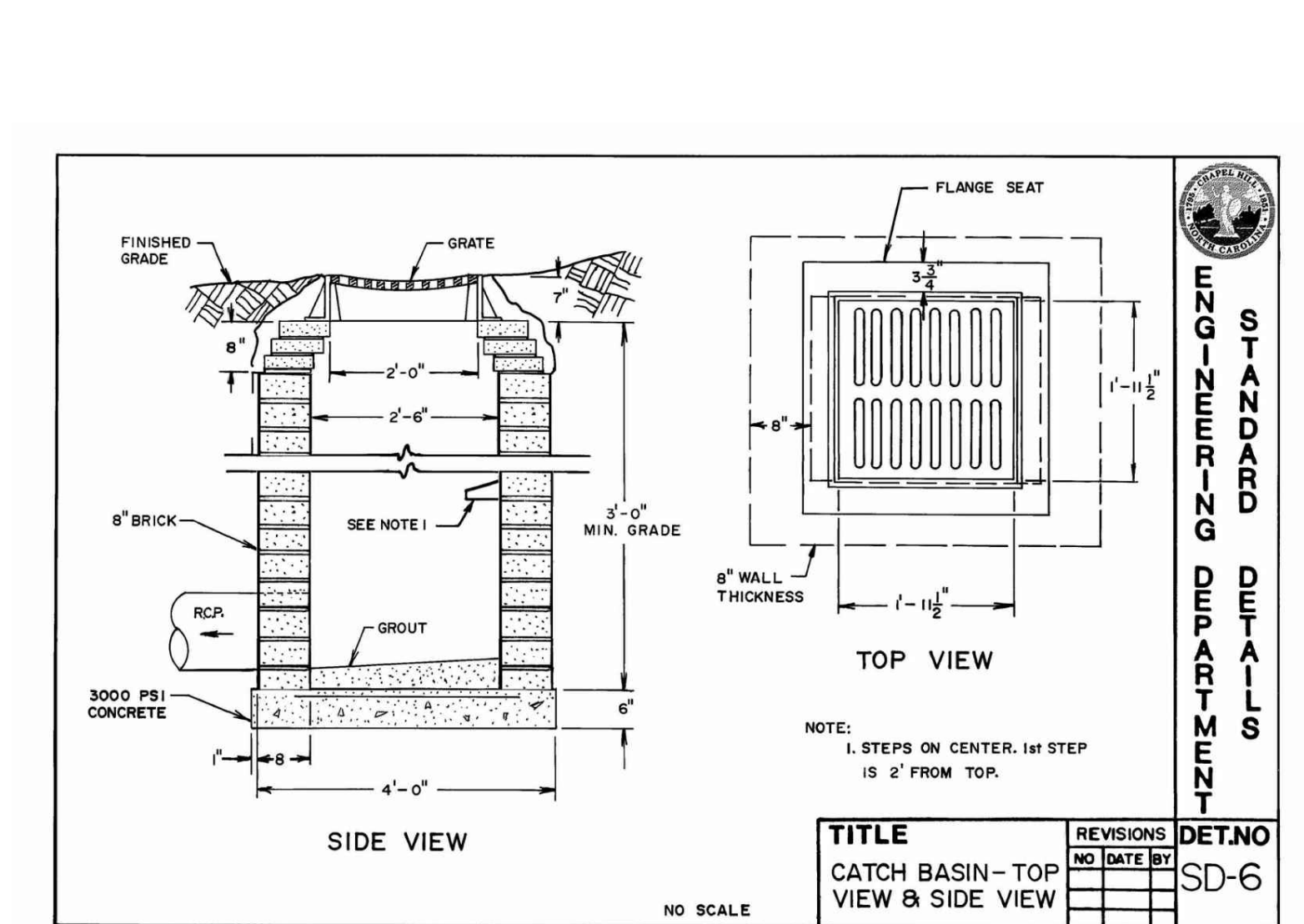
CHART NOTES:
1. If blocking excavation is in lightly compacted fill areas, or in areas where boulders or stumps have been removed, blocking size must be re-sized for the specific location/circumstance by a NC licensed Professional Engineer.
2. Blocking sizes shown in these tables assume the following:
a. Blocking is constructed in residual soils as shown in detail
b. Soil bearing pressure = 2,000 psf
c. Velocity of flow = 15 fps
3. This detail not applicable to reducing bends.
4. Neither the weight of the concrete blocking nor friction between concrete blocking and soil was added into blocking size computation. Therefore, blocking size is conservative.

ORANGE WATER AND SEWER AUTHORITY
400 South First Street, Durham, NC 27701-9944
Phone: (919) 968-4422 Fax: (919) 968-4444
www.owasa.org
City of Durham, NC 27701
OWASA
No. To Scale: **\$13.00**
Date: August 15, 2022
Sheet: 1 of 1

7 BLOCKING (2 OF 4)
C-8.3 no scale



5 VALVE BOX
C-8.3 no scale



9 DROP INLET
C-8.3 no scale

TEST PRESSURE = 200 P.S.I.

TYPE FITTING	"L"	"W"	"H"	VOLUME CONCRETE CU. YD.
11 1/4"	1.00	1.00	1.00	0.04
22 1/2"	1.00	1.00	1.00	0.06
45"	1.00	1.00	1.00	0.06
90"	1.00	1.50	2.50	0.15
TEE / PLUG	1.00	1.50	2.00	0.12
11 1/4"	1.00	1.00	2.50	0.09
22 1/2"	1.00	1.00	2.50	0.09
45"	1.00	1.00	2.50	0.09
90"	1.00	1.00	2.50	0.09
TEE / PLUG	1.00	1.50	3.00	0.23
11 1/4"	1.50	1.50	2.50	0.15
22 1/2"	1.50	1.50	2.50	0.15
45"	1.50	1.50	2.50	0.15
90"	1.50	1.50	2.50	0.15
TEE / PLUG	1.50	2.00	3.00	0.33
11 1/4"	2.00	2.00	2.50	0.28
22 1/2"	2.00	2.00	2.50	0.28
45"	2.00	2.00	2.50	0.28
90"	2.00	2.00	2.50	0.28
TEE / PLUG	2.00	2.50	3.00	0.84
11 1/4"	4.00	4.00	3.00	0.42
22 1/2"	4.00	4.00	3.00	0.42
45"	4.00	4.00	3.00	0.42
90"	4.00	4.00	3.00	0.42
TEE / PLUG	4.00	4.50	3.50	1.72

CHART NOTES:
1. If blocking excavation is in lightly compacted fill areas, or in areas where boulders or stumps have been removed, blocking size must be re-sized for the specific location/circumstance by a NC licensed Professional Engineer.
2. Blocking sizes shown in these tables assume the following:
a. Blocking is constructed in residual soils as shown in detail
b. Soil bearing pressure = 2,000 psf
c. Velocity of flow = 15 fps
3. This detail not applicable to reducing bends.
4. Neither the weight of the concrete blocking nor friction between concrete blocking and soil was added into blocking size computation. Therefore, blocking size is conservative.

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OWASA
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Sheet: 1 of 1

10 BLOCKING (3 OF 4)
C-8.3 no scale

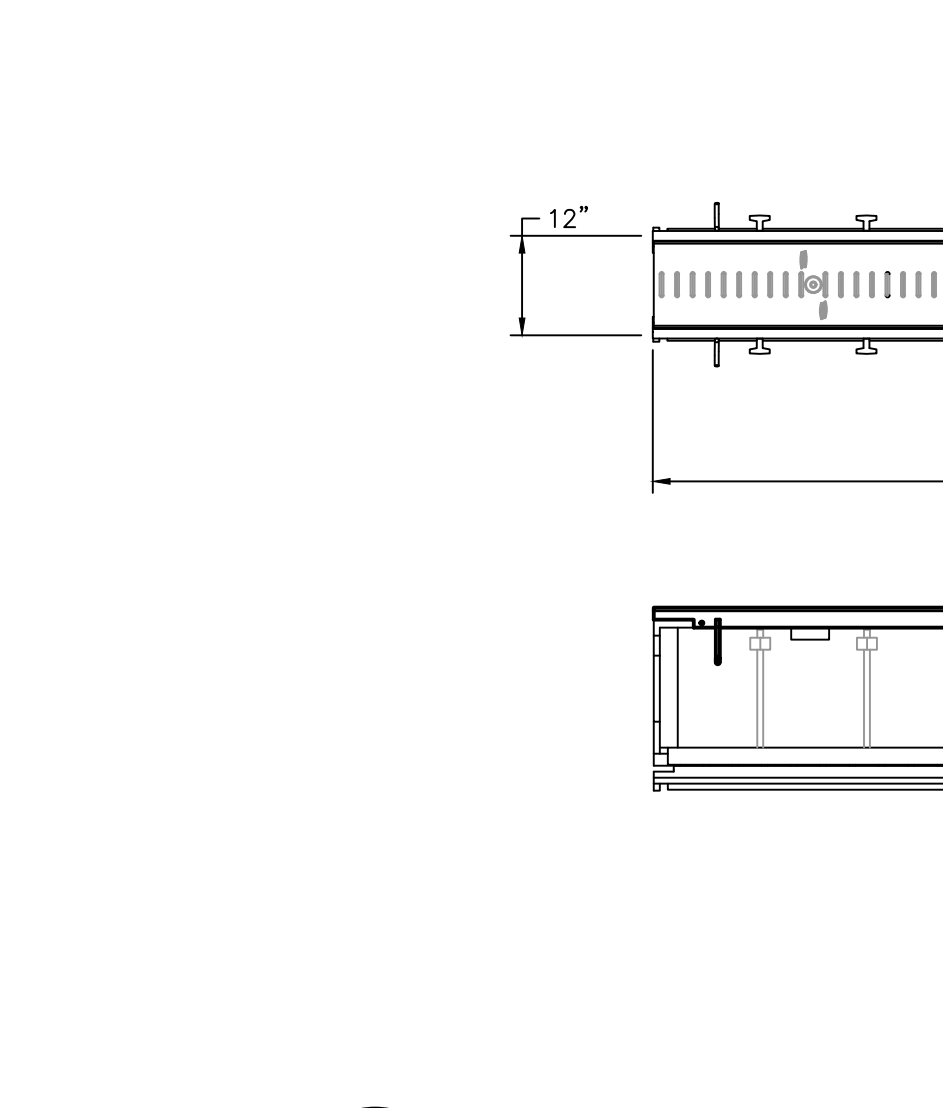
TEST PRESSURE = 250 P.S.I.

TYPE FITTING	"L"	"W"	"H"	VOLUME CONCRETE CU. YD.
11 1/4"	1.00	1.00	1.00	0.04
22 1/2"	1.00	1.00	1.00	0.06
45"	1.00	1.00	1.00	0.06
90"	1.00	1.50	2.50	0.15
TEE / PLUG	1.00	1.50	2.00	0.12
11 1/4"	1.00	1.00	2.50	0.09
22 1/2"	1.00	1.00	2.50	0.09
45"	1.00	1.00	2.50	0.09
90"	1.00	1.00	2.50	0.09
TEE / PLUG	1.00	1.50	3.00	0.23
11 1/4"	1.50	1.50	2.50	0.15
22 1/2"	1.50	1.50	2.50	0.15
45"	1.50	1.50	2.50	0.15
90"	1.50	1.50	2.50	0.15
TEE / PLUG	1.50	2.00	3.00	0.33
11 1/4"	2.00	2.00	2.50	0.28
22 1/2"	2.00	2.00	2.50	0.28
45"	2.00	2.00	2.50	0.28
90"	2.00	2.00	2.50	0.28
TEE / PLUG	2.00	2.50	3.00	0.84
11 1/4"	4.00	4.00	3.00	0.42
22 1/2"	4.00	4.00	3.00	0.42
45"	4.00	4.00	3.00	0.42
90"	4.00	4.00	3.00	0.42
TEE / PLUG	4.00	4.50	3.50	1.72

CHART NOTES:
1. If blocking excavation is in lightly compacted fill areas, or in areas where boulders or stumps have been removed, blocking size must be re-sized for the specific location/circumstance by a NC licensed Professional Engineer.
2. Blocking sizes shown in these tables assume the following:
a. Blocking is constructed in residual soils as shown in detail
b. Soil bearing pressure = 2,000 psf
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3. This detail not applicable to reducing bends.
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Sheet: 1 of 1

11 BLOCKING (4 OF 4)
C-8.3 no scale



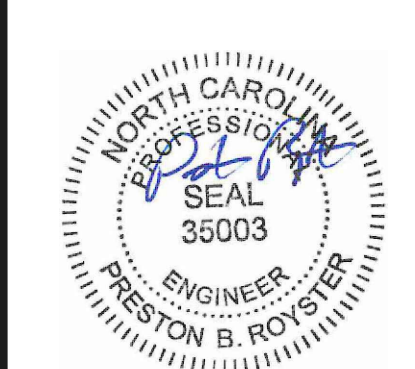
12 TRENCH DRAIN
C-8.3 no scale

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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # F-0871
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:
Rosemary/ Columbia Hotel
110 W. Rosemary St.
Orange County, North Carolina

PIN:
9788-37-0680
9788-37-0549
9788-27-9667
9788-27-9700
9788-37-0721
9788-37-0647



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

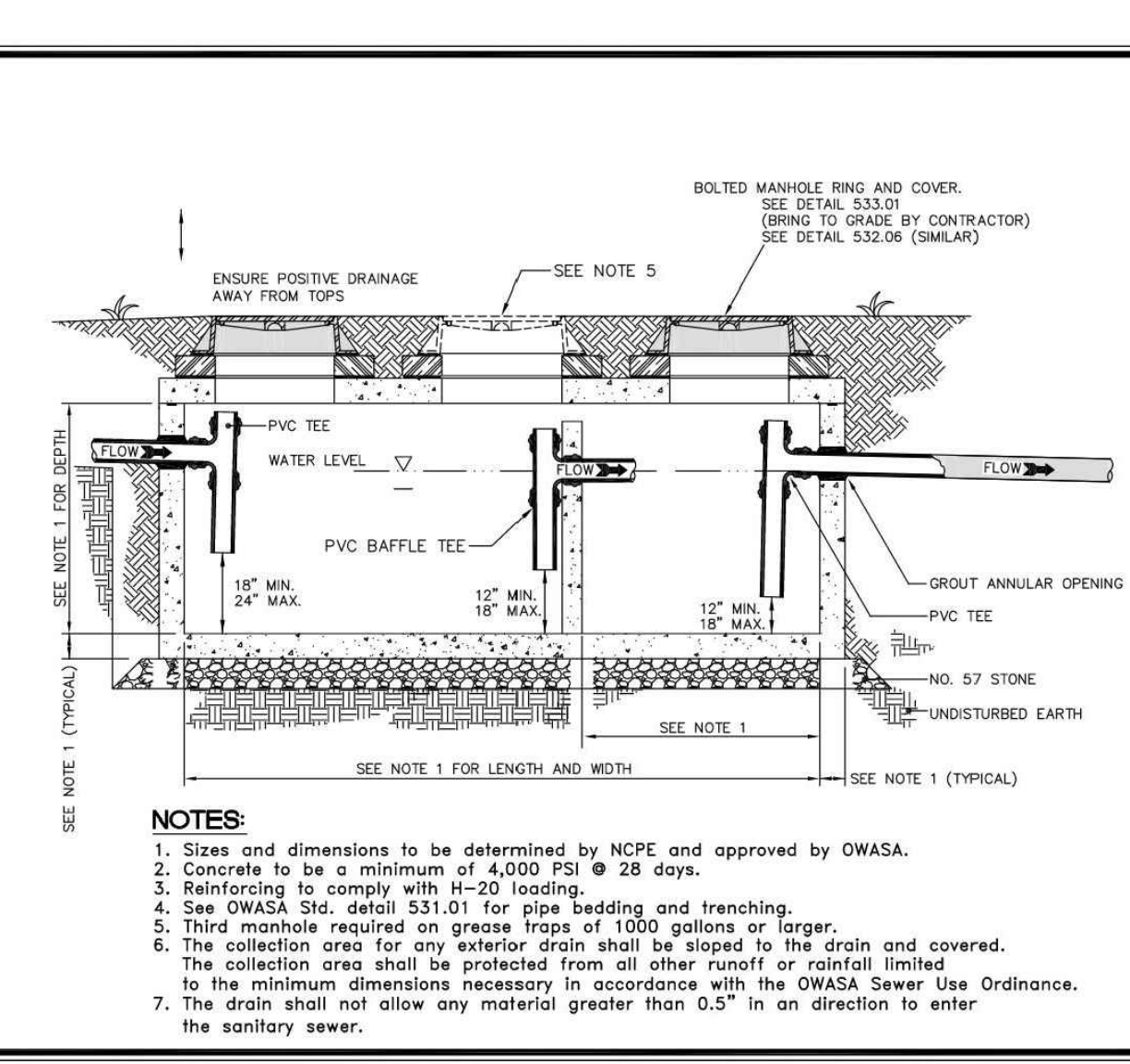
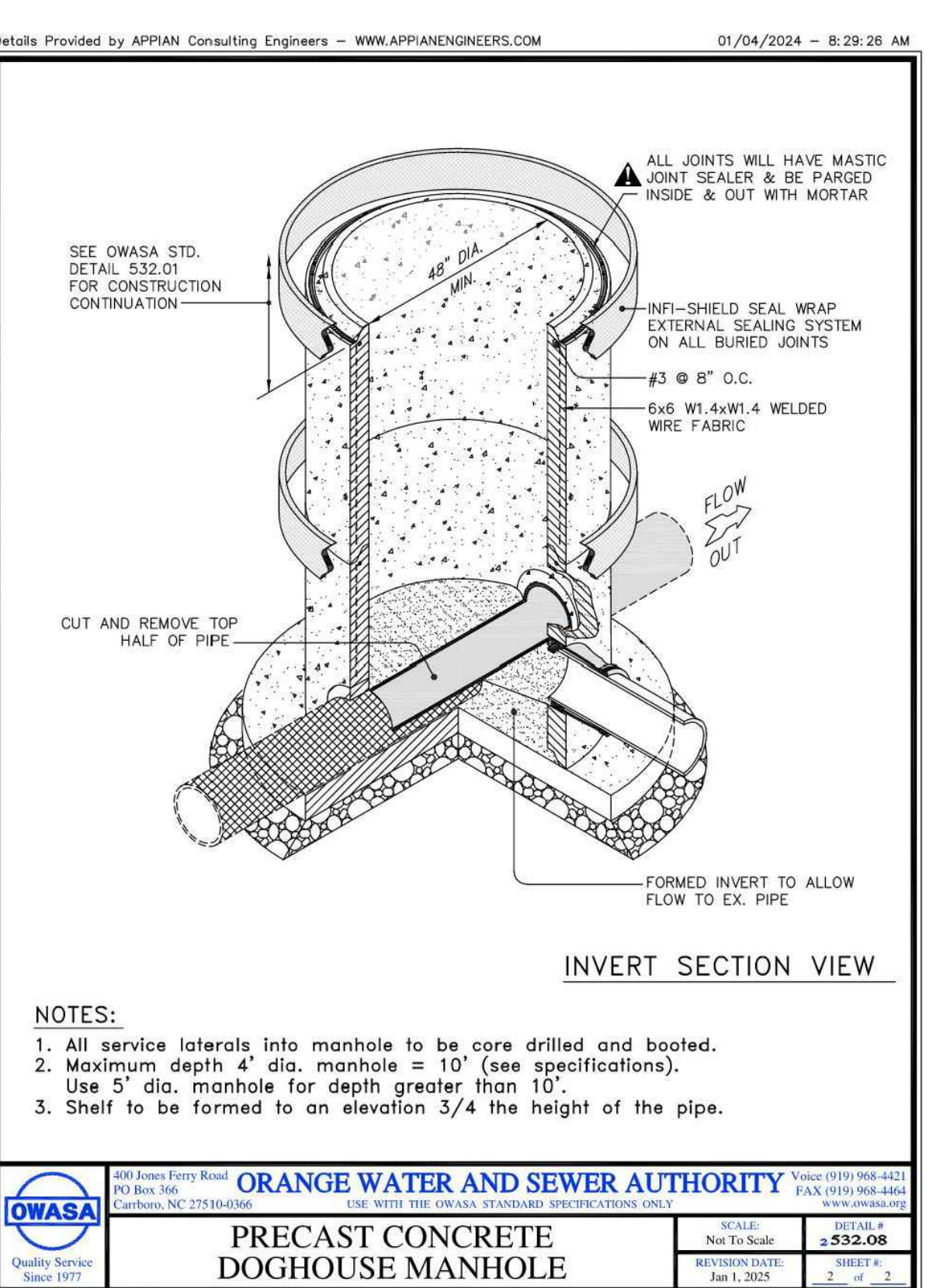
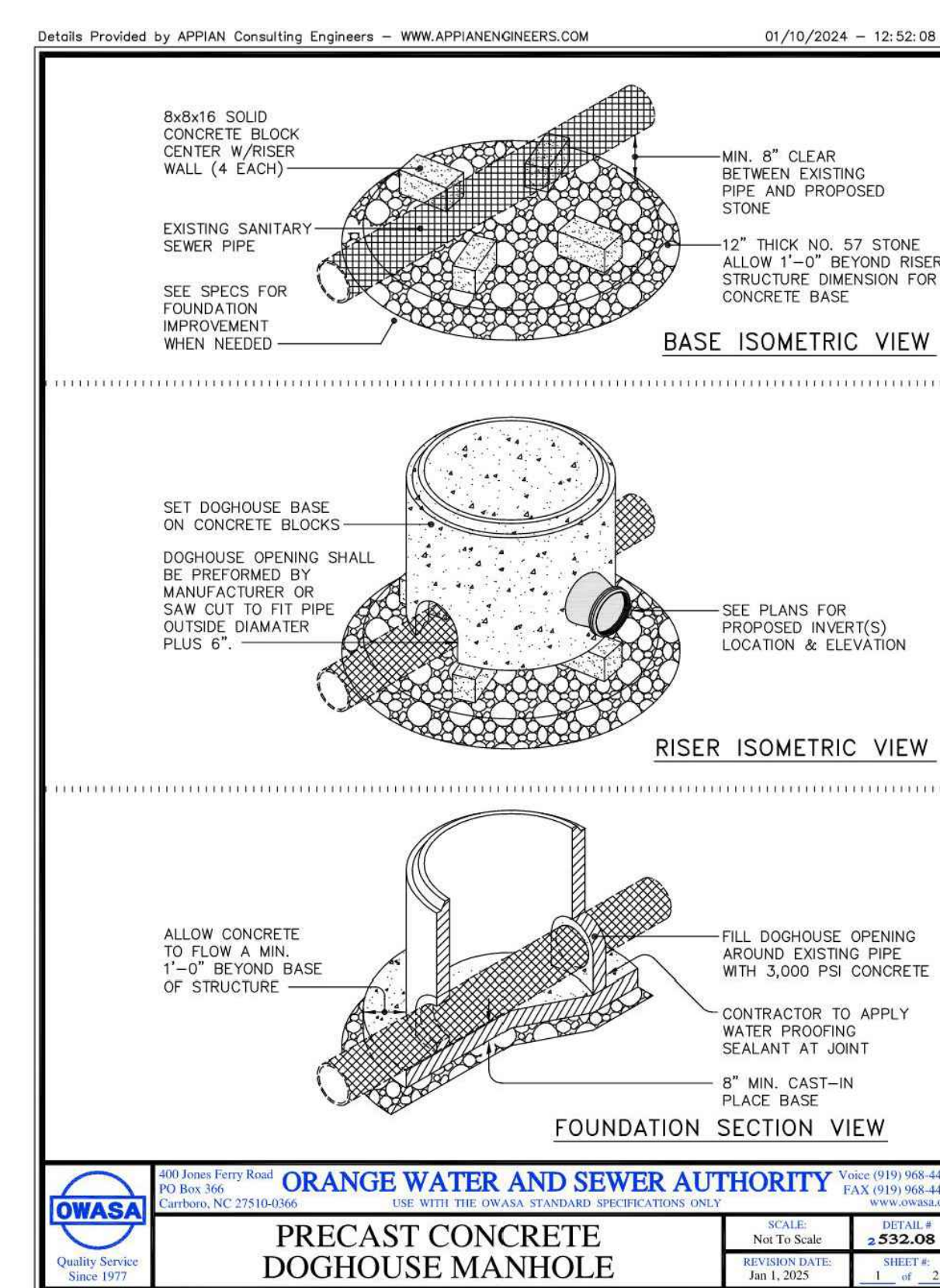
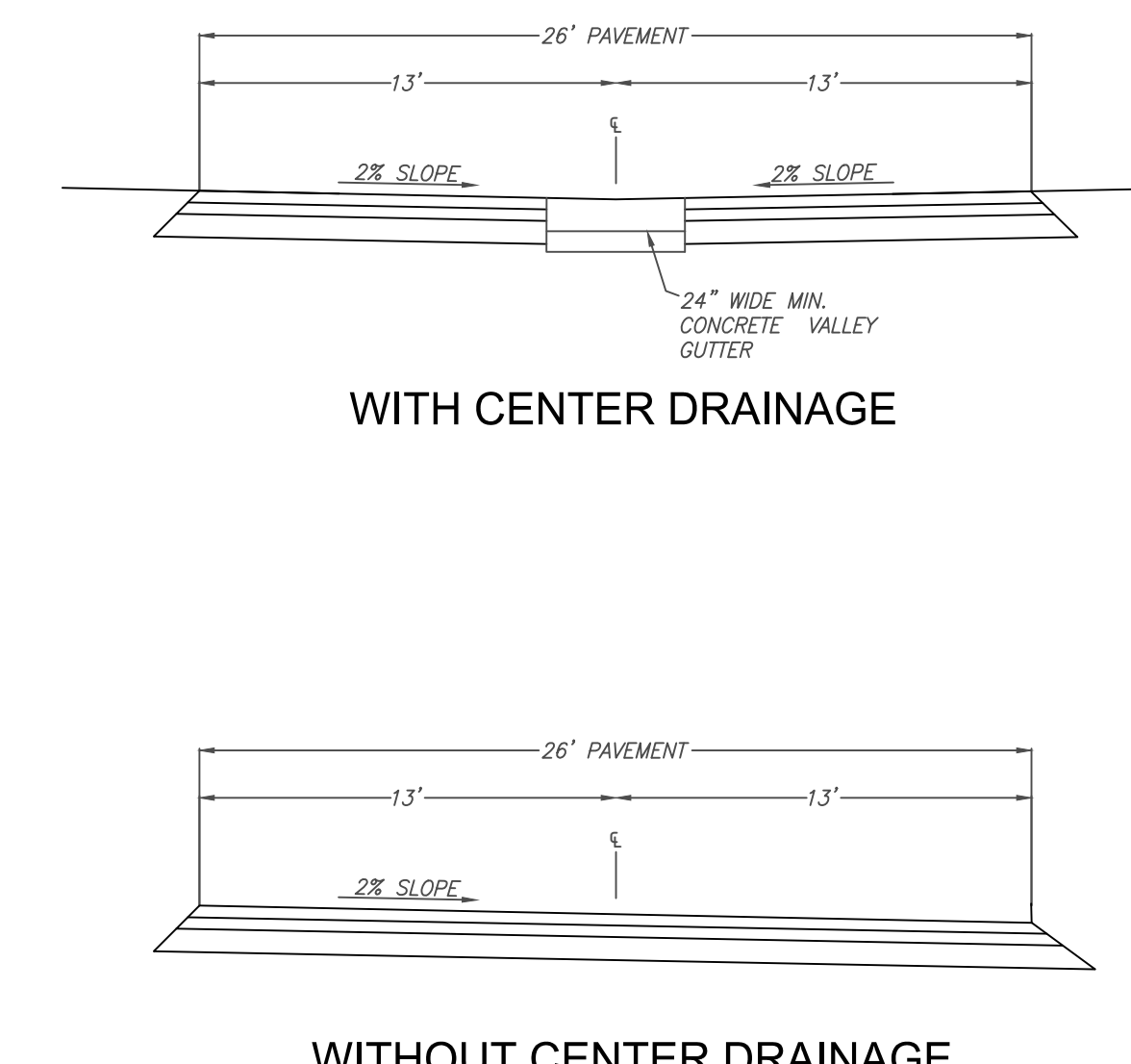
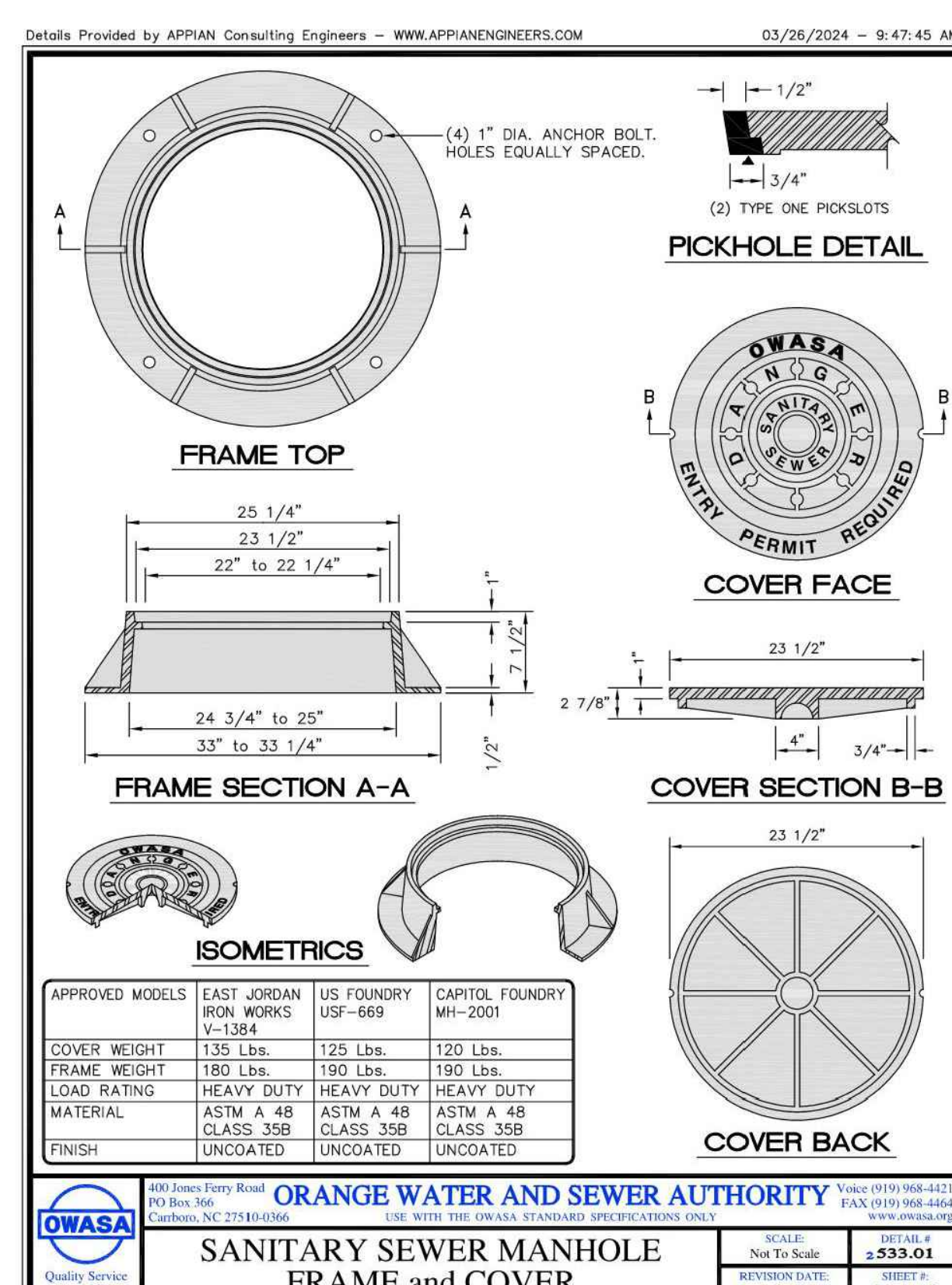
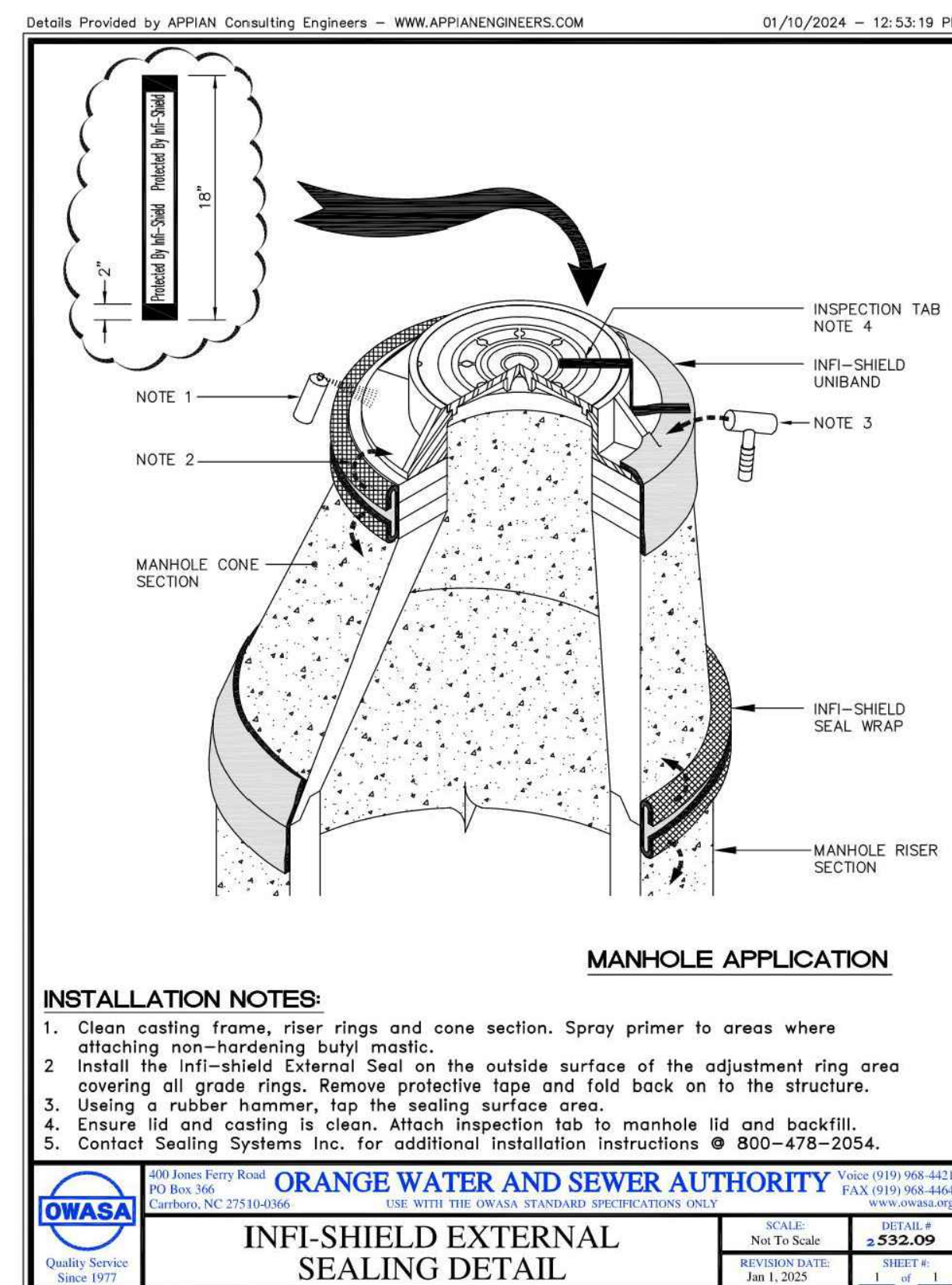
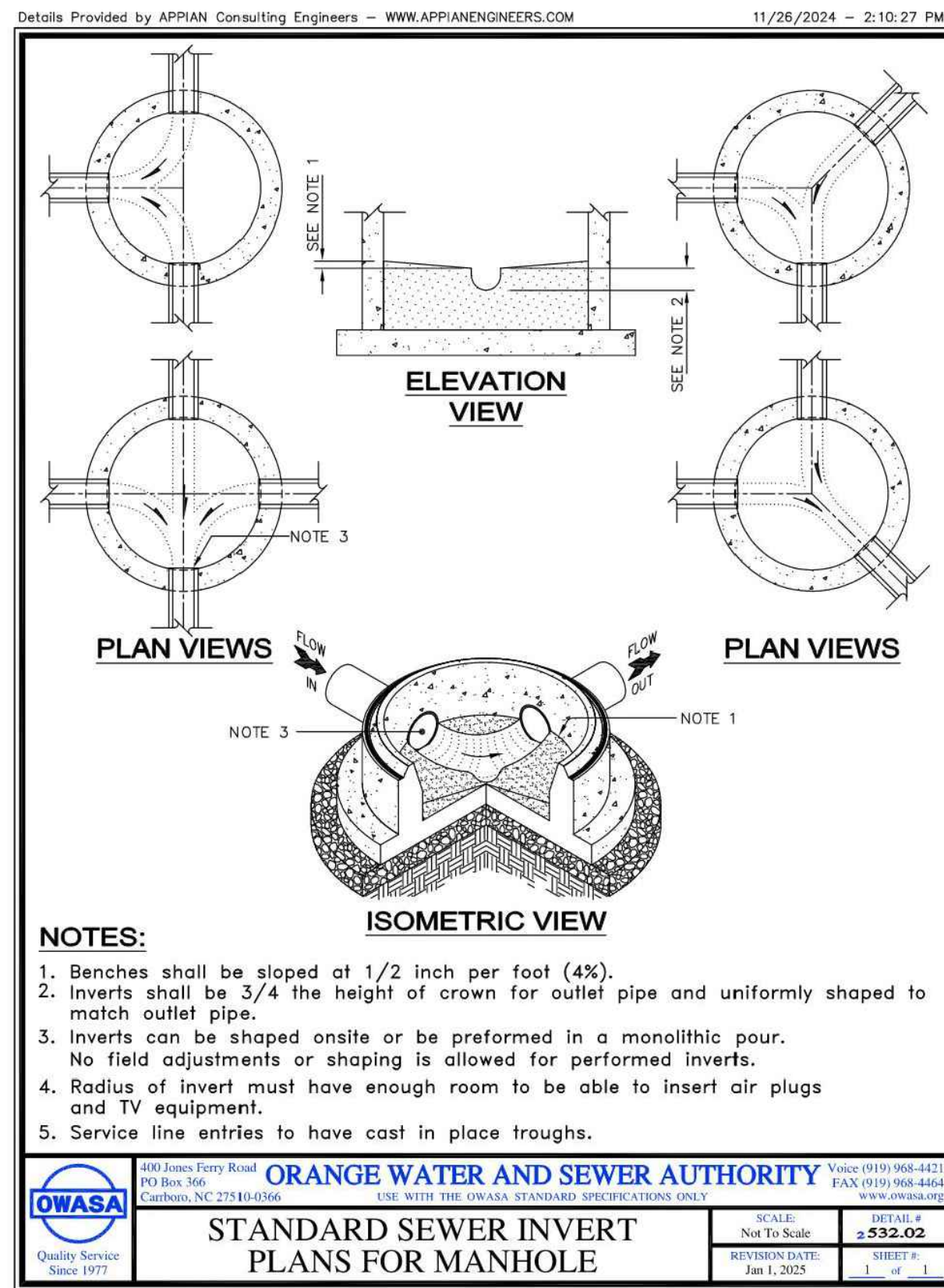
Job Number: 1963

Drawn | WLR, MTC
Checked | WLR, CNH
Date | 5-9-2022
Revisions | 4-20-2023 Site Revisions
4-24-2024 OWASA revisions
9-19-2024 Site Revisions
9-11-2025 Final ZCP Plans
4-28-2026 ZCP Resubmittal

Zoning Compliance Permit

Sheet Title:
SITE DETAILS

Sheet Number
C-8.3



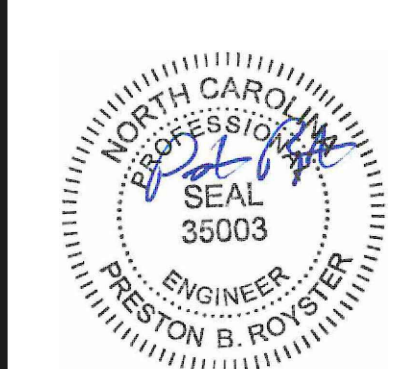
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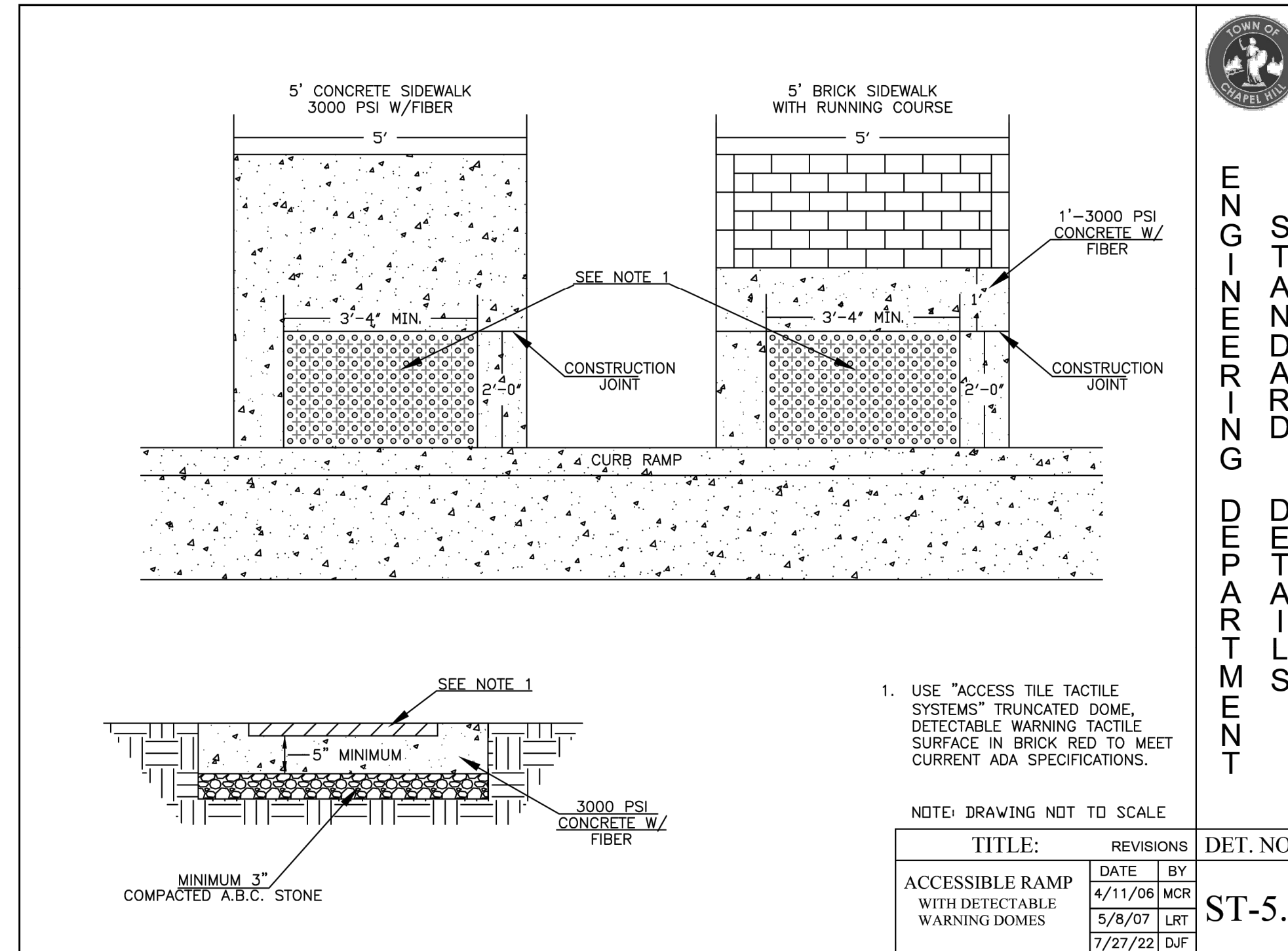


PRELIMINARY-DO NOT USE FOR CONSTRUCTION
 Job Number: 1963

Drawn: WLR, MTC
 Checked: WLR, CMH
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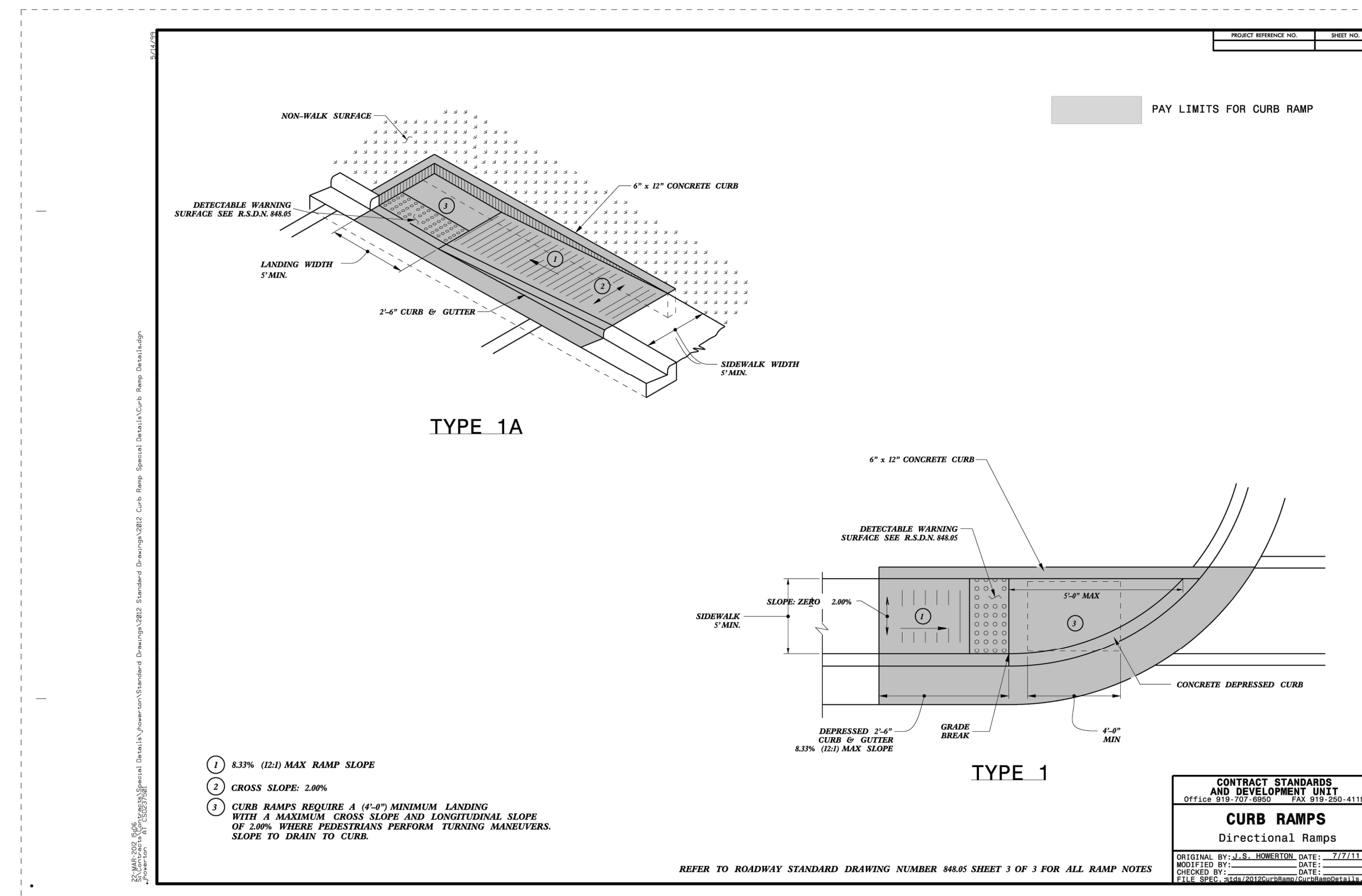
Zoning Compliance Permit
 Sheet Title:

SITE DETAILS
 Sheet Number
C-8.4

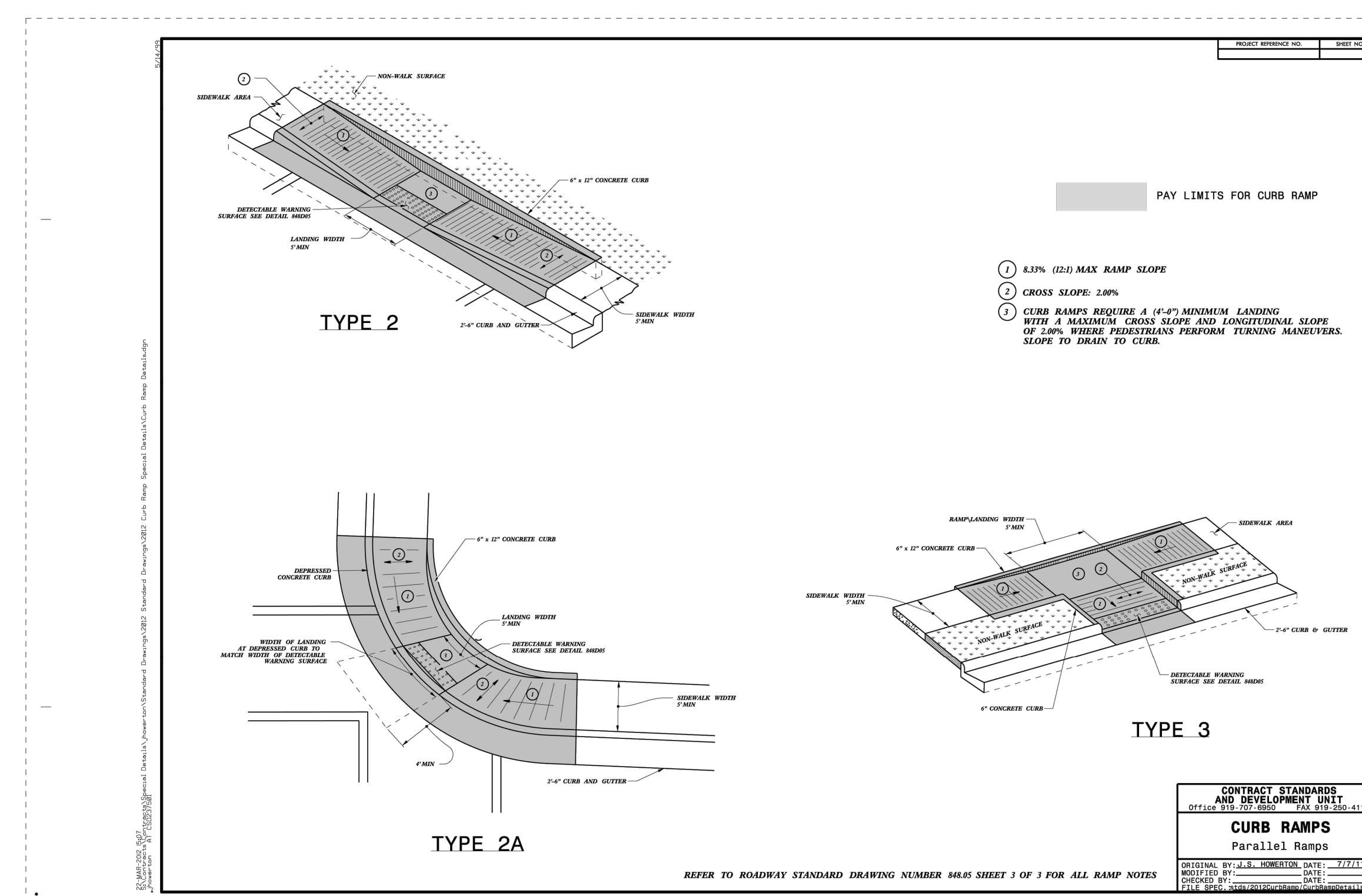


STANDARD
ENGINEERING
DEPARTMENT
DETAILS

1 TOWN CURB RAMP DETAILS
C-8.6 no scale



2 NCDOT CURB RAMP DETAILS
C-8.6 no scale



Project:

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Columbia
Hotel

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Zoning Compliance Permit

Sheet Title:

SITE DETAILS

Sheet Number

C-8.6