



QUESTIONS?
Call or email us!

Town of Chapel Hill
Planning Department
919-969-5040
planning@townofchapelhill.org

Chapel Hill Historic District Certificate of Appropriateness Application	Project:	21-042
Project Description: Renovation of existing brick veneer two story home. Removal of non original porch and later addition. Removal of 2-story brick veneer ell to rear of main house volume. Removal of non-original deck. Two-story wood frame addition, side porch additions, and entry portico renovation. Re-build side porch which was previously modified and enclosed. Add low landscape walls & picket fence. Reduce size of existing parking and driveway. Add garden house at rear of property.	Permit:	
	STAFF REVIEW	
	☒ Application complete and accepted	
	☐ Application not complete and returned with a notation of deficiencies	
	BY:	Anya Grahm, 6/14/2021
	DATE:	
Instructions: Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred) Deadlines: Applications are due by the close of business 30 calendar days prior to the scheduled meeting date. Note: Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.		

A: Property Information			
Property Address: 214 Glenburnie Street		Parcel ID Number: 9788696531	
Property Owner(s): Benjamin Gildin & Vickie Segar		Email: benjamin.gildin@gmail.com	
Property Owner Address: 206 Glen Haven Drive			
City: Chapel Hill	State: NC	Zip: 27516	Phone: 617-519-6068
Historic District: ☐ Cameron-McCauley ☒ Franklin-Rosemary ☐ Gimghoul			Zoning District: R-1

B: Applicant Information		
Applicant: Cari Filer		Role (owner, architect, other): Architect
Address (if different from above): 976 Martin Luther King, Jr. Blvd., Suite 400-F		
City: Chapel Hill	State: NC	Zip: 27514



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Email: cari@carifilerstudio.com

Phone: 919-442-8525

C. Application Type (*check all boxes that apply*)

☐ **Minor Work** Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See [Design Guidelines](#) (p. 69) for a list of minor works.

☒ **Historic District Commission Review** Includes all exterior changes to structures and features other than minor works

☐ **Site-work only (walkways, fencing, walls, etc.)** ☐ **After-the-fact application** (for unauthorized work already performed).

☐ **Restoration or alteration** ☐ **Demolition or moving of a site feature.**

☒ **New construction or additions** ☐ **Request for review of new application after previous denial**

☐ **Sign**

D. Basic information about size, scale, and lot placement.

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the [Orange County Real Estate Data](#) website. Information about lot placement can be found on the [Chapel Hill](#) and [Orange County Interactive GIS](#) portals.

Zoning District:	Minimum setbacks			Maximum heights			Lot size
R-1	Street	Interior	Solar	Primary	Secondary		42,094.3 SF
Required by zoning	28'-0"	14'-0"	17'-0"	29'-0"	40'-0"		
Proposed	67'-7"	32'-11"	17'-2"	22'-1"	30'-6"		
	Existing	Change +/-	Total	Total Floor Area Ratio			
Floor Area (main structure)	3,209 SF	+3,521 SF	6,730 SF	Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	67 SF	+172 SF	6,730 SF	0.06	0.15	Existing	Proposed
Impervious Surface Area (ISA)	10,542 SF	+1,448 SF	11,990 SF	-	-	0.25	0.29
New Land Disturbance			-				



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E: Applicable Design Guidelines

The Town’s [Design Guidelines for the Chapel Hill Historic Districts](#) are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in [Section 3.6.2\(e\)\(4\)](#) of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)

Section/Page	Topic	Brief description of the applicable aspect of your proposal
Please see attached supplementary documents		



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F. Checklist of Application Materials

Attach the required elements in the order indicated.	ATTACHED? TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
1. Written description of physical changes proposed. Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.	☒	☐	☐	☐	☐
2. History, context, and character information. Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include: ☒ Current property information for the lot and all structures, including Building Sketches and Building Details, from Orange County Real Estate Data. ☒ The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see West Chapel Hill, for Franklin-Rosemary see Chapel Hill Historic District, for Gimghoul see Gimghoul. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.)	☒	☐	☐	☐	☐
3. Justification of appropriateness. Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type “not applicable”. A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings. B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings. C. Exterior construction materials, including texture and pattern. D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials. E. Roof shapes, forms, and materials. F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration. G. General form and proportions of buildings and structures. H. Appurtenant fixtures and other features such as lighting. I. Structural conditions and soundness.	☒		☐	☐	☐



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J. Architectural scale.					
4. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.	☒	☐	☐	☐	☐
5. Site Plan Set showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.) ☐ Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks. ☒ Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work. ☒ Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.	☒		☐	☐	☐
6. Elevation Drawings showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes. ☒ Elevation drawings showing all proposed changes above current grade from front, back, and both sides. ☒ Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs). ☒ Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)	☒	☐	☐	☐	☐
7. Information about context (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the Orange County Real Estate Data website; information about lot placement can be found on the Chapel Hill and Orange County GIS portals. For each of the nearest adjacent and opposite properties, provide: ☒ The height of each building (if an estimate, indicate that). ☒ The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient). ☒ The size of each lot (net land area in square feet). ☒ The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from Orange County Real Estate Data ; indicate any corrections for accuracy you believe necessary and your basis for doing so.	☒	☐	☐	☐	☐
8. Demolition/Relocation Information (required only if demolition or relocation of a feature is proposed).	☐	☐	☐	☐	☐



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☒ Provide a written description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. ☐ Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted. ☐ If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer. ☒ As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay. ☐ Provide any records about the structure to be demolished.					
9. Mailing notification fee per Planning & Sustainability Fee Schedule . For a list of addresses, please refer to the Town's Development Notification Tool .	☒		☐	☐	☐
10. Certificate of Appropriateness fee per Planning & Sustainability Fee Schedule	☒		☐	☐	☐



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G: Applicant signature

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

Cari Filer

June 11, 2021

Applicant (printed name)

Signature

Date

DocuSigned by:

6/11/2021

Property Owner

Signature

Date

(if different from above)



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Certificate of Appropriateness Supplemental Requirements

***In addition to [Residential](#) Zoning OR [Administrative](#) Zoning Compliance Permit Requirements**

Certificate of Appropriateness applications are subject to review and approval by the Historic District Commission as well as by Town staff. For assistance with this application, please contact the Chapel Hill Planning Department.

Please submit *all* materials listed on this sheet. The Historic District Commission meets on the second Tuesday of each month at 6:30 pm. For confirmation of a meeting date and the placement of your request on the agenda, please call the Planning Department. **Applications are due one month in advance of meeting.**

Application Process:

1. Historic District Commission Review of Certificate of Appropriateness (COA) Supplemental materials
2. Staff review of Residential / Administrative Zoning Compliance Permit (ZCP) materials

****COA (step 1) and ZCP (step 2) materials may be submitted simultaneously or separately.**

Required Application Materials

(In addition to [Residential](#) Zoning Compliance Permit or [Administrative](#) Zoning Compliance Permit Requirements)

An Electronic copy of each document is required in addition to paper copies.

Provide a single set of the following materials:

- | | |
|--|--|
| | 1. Application Form. Either Residential Zoning Compliance or Administrative Zoning Compliance. |
| | 2. Recorded plat or deed verifying property's current ownership |
| | 3. Recorded plat of easements, right-of-way, and dedications, if applicable |
| | 4. Mailing List of Property Owners , applicable within 100 feet of property boundaries
The Town will prepare a formal notice to be mailed to surrounding property owners about the application. You may find it helpful to discuss the proposed changes with your neighbors in person so you can address their concerns both in your planning and presentation. |
| | 5. Mailing notification fee. The fee per address can be found on the Planning Department's Fee Schedule . |
| | 6. Certificate of Appropriateness fee per Planning Department's Fee Schedule |
| | 7. Reduced Site Plan Set (reduced to 8.5" x 11") |
| | 8. Building Elevations (label building height from top of roof to finished grade line) |
| | 9. Floor Plan, only if accessory apartment, duplex, or commercial application. |

(Continued)



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10. Written Description

Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- b) The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite buildings;
- c) The exterior construction materials, including textures and patterns;
- d) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- e) The roof shape, form, and materials;
- f) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- g) The general form and proportion of the buildings;
- h) The accessory fixture and other features (including lighting fixtures, hardware, awnings, etc.);
- i) The architectural scale in relation to existing structures and surrounding buildings; and
- j) Structural conditions and soundness.

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact. The visual description must include dimensions. For new buildings and major additions, the visual description must include the interior floor plan.

11. Information Regarding Surrounding Properties

For new construction or large projects, the applicant is required to provide information on:

- The height of the nearest adjacent and opposite buildings;
- The setback and placement of the nearest adjacent and opposite buildings;
- The scale of the nearest adjacent and opposite buildings, including percentage of lot coverage.

12. Demolition Information (if applicable)

Provide a description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons, and/or families associate with the property.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 114

Chapel Hill Historic District Boundary Increase and
Additional Documentation
Orange County, North Carolina

208 Glenburnie – House – c. 2012

NC - Building

This two-story, side-gabled house is five bays wide and double-pile with fiber cement siding, vinyl windows, and a shed-roofed dormer with molded brackets centered on the façade. The paneled door has three-light-over-one-panel sidelights and a five-light transom. It is sheltered by a three-bay-wide, shed-roofed porch supported by square columns with brackets at the roofline. There is a one-story, hip-roofed wing on the left (north) elevation and a one-story gabled hyphen on the right (south) elevation connects to a one-and-a-half-story, side-gabled garage wing. The two-car garage has carriage-style overhead doors, a shed-roofed dormer on the façade, and a partially inset, flat-roofed porch at the rear (east). There is a stone wall at the sidewalk and a pea gravel circular driveway in front of the house. An earlier house stood on this site until at least 2010.

211 Glenburnie

See entry for 612 North Street.

214 Glenburnie – House – c. 1936

C - Building

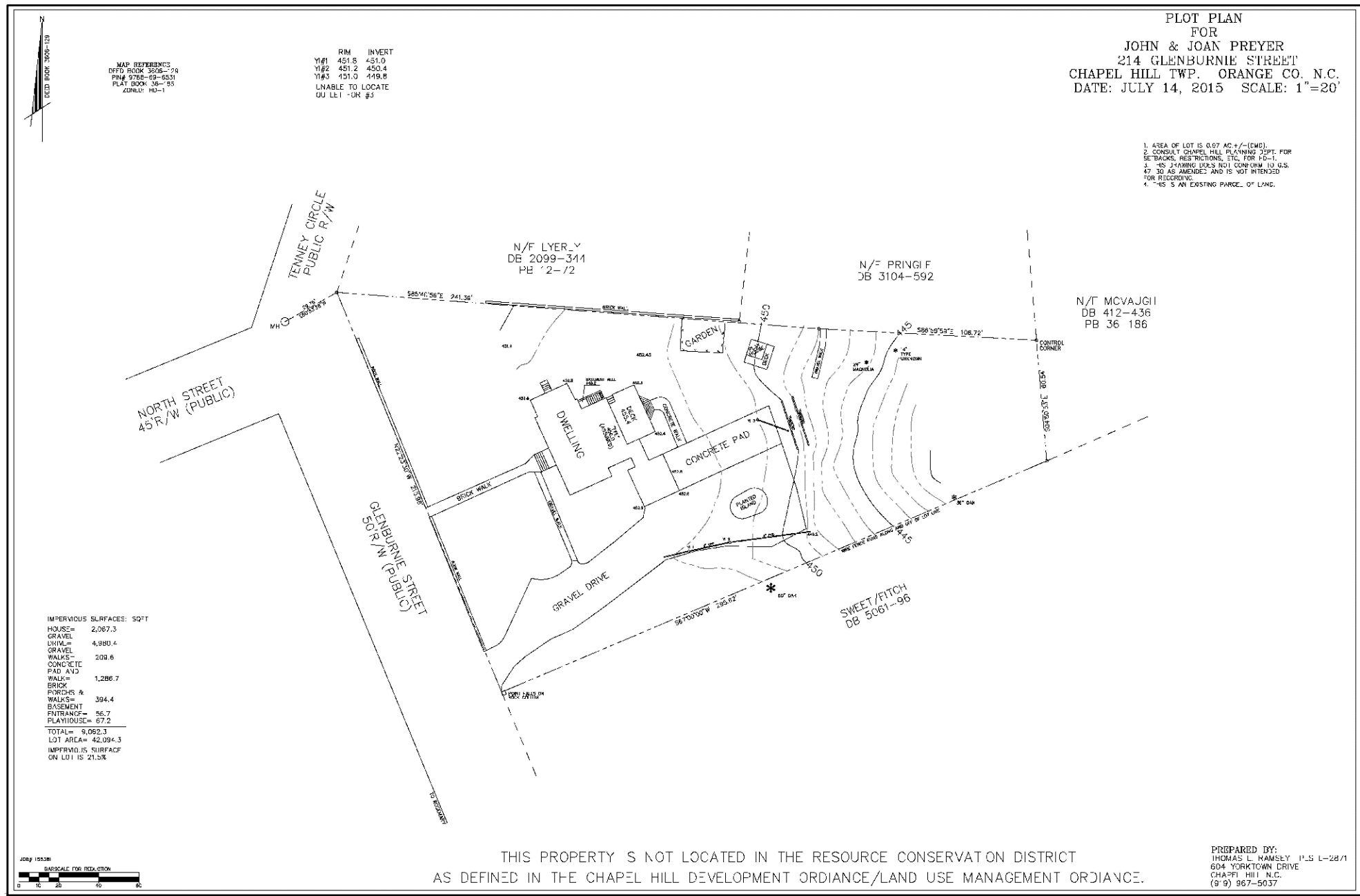
This two-story, side-gabled, Colonial Revival-style house is five bays wide and double-pile with a brick veneer, partial cornice returns, and an exterior brick chimney on the left (north) elevation. It has six-over-six wood-sash windows throughout with cast stone sills and soldier-course lintels. Centered on the façade, the six-panel door has eight-light-over-one-panel side-lights, a three-part transom, and a classical surround with a pediment supported by pilasters. A one-story, hip-roofed wing on the left elevation was constructed after 1949, likely as a porch, and is enclosed with vinyl windows on a weatherboard-covered knee wall. In the left gable end, four-light casement windows with two-light transoms flank the chimney. A two-story, gabled brick wing projects from the rear (east) and from it, extending to the south, a one-story gabled frame hyphen connects to a one-story, side-gabled garage with plain weatherboards, garage doors on the east elevation, and six-light casement windows on the west and south elevations. County tax records date the building to 1936 and Sanborn maps confirm that the house was constructed between 1932 and 1949.

Henderson Street

210 Henderson – House – c. 1917

C – Building

This two-story, side-gabled, Colonial Revival-style house is three bays wide and double-pile with a stone foundation, wood shingles, six-over-six wood-sash windows, paired on the first-floor façade, and an interior stone chimney. The six-panel door, centered on the façade, has a classical surround with broken pediment supported by fluted pilasters. It is accessed by an uncovered brick stoop with a later brick ramp and metal railing that extends the full width of the façade, connecting the driveway, front entrance, and left (north) side porch. A one-story enclosed porch on the left elevation is supported by grouped columns and enclosed with vinyl six-over-six windows on the left elevation and four-over-four windows and a fifteen-light French door on the façade. On the right (south) elevation, a one-story, side-gabled wing has wood shingles throughout, a fifteen-light French door with five-light sidelights on the



SURVEY

'ROCKS' EASEMENT

NORTH STREET
45°R/W (PUBLIC)

TENNEY CIRCLE
PUBLIC R/W

GLENBURNIE STREET

N/F LYERLY
DB 2099-344
PB 12-72

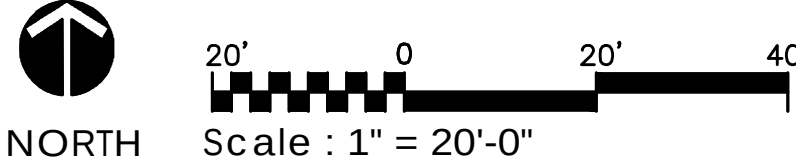
N/F PRINGLE
DB 3104-592

N/F MCVAUGH
DB 412-436
PB 36-186

SITE NOTES:

- Property is located at 214 Glenburnie St., Chapel Hill, NC. Net land Area = 42,253 s.f./ .97 ac. PIN 9788-69-6531. Zoning - R-1 / HD-1
- The base map is from topographic survey of property by Tom L. Ramsey PLS L-2871 Chapel Hill, NC dated July 14, 2014
- Easements - as shown on survey. This property is not located in the Resource Conservation District as defined in the Chapel Hill Development Ordinance/Land Use Management Ordinance.
- Topography shown on the property from survey. Contours shown are 1' intervals. Topography on adjoining property is from GIS data and is not survey quality and is at 2 ft. contour intervals.
- Existing significant trees shown from Survey. Not all site utilities and landscape features are not survey quality. Contractor to confirm all site measurements.
- Underground electrical & water service utilities were not marked in the field at the time of subject survey.
- The finished floor elevation of the main house is assumed to be 456.0'

LEGEND - Site Work	
Existing	Proposed
Property Line and Setback Line	---
Existing Contour	---
Proposed Contour	---
Existing Significant Tree Not Surveyed	○ 8" Elm
Stormwater Drainage direction	→
Silt Fence	---
Site Access	---
Limits of Construction	---
Staging Area	---
Sanitary Sewer	---
Water - meter	---
Pipe (Storm Drain)	---
Roof Leader Downspout Drain	---
Electric	---
Gas	---
Proposed Deck Addition	---
Existing Feature or Spot Elevation (in Italics)	× 389.5
Proposed Feature or Grade (Normal font)	+ 389.0



Swanson + Associates, PA
landscape architect

100 East Carr Street
Carrboro, NC 27510
david@swansonlandscapearchitecture.com
919.929.9000

Renovation and Addition for
Gildin-Segar Residence

Vickie Segar and Ben Gildin
214 Glenburnie Street
Chapel Hill, NC

P.I.N. 9788-69-6531
MAP REFERENCE
DEED BOOK 3606-129
PLAT BOOK 36-186
CHAPEL HILL TOWNSHIP
ORANGE COUNTY NORTH CAROLINA

revisions
1. June 22, 2021

date June 10, 2021

Sheet Name
Existing
Conditions Plan

FOR REVIEW L-1.0

Renovation and Addition for

Gildin-Segar Residence

Vickie Segar and Ben Gildin
214 Glenburnie Street
Chapel Hill, NC

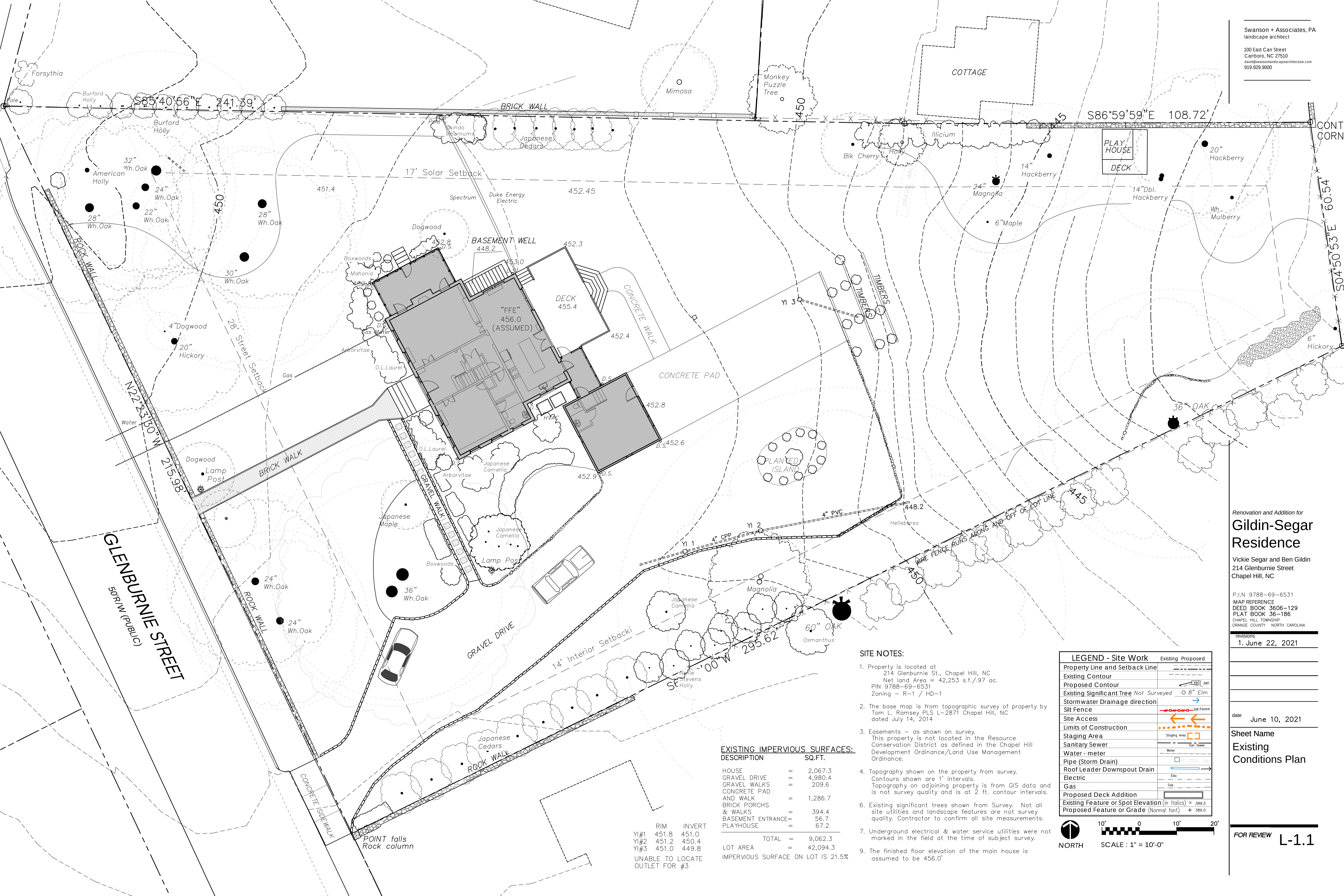
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PLAT BOOK 36-186
CHAPEL HILL TOWNSHIP
ORANGE COUNTY NORTH CAROLINA

REVISIONS
1. June 22, 2021

date June 10, 2021

Sheet Name
Existing
Conditions Plan

FOR REVIEW L-1.1



SITE NOTES:

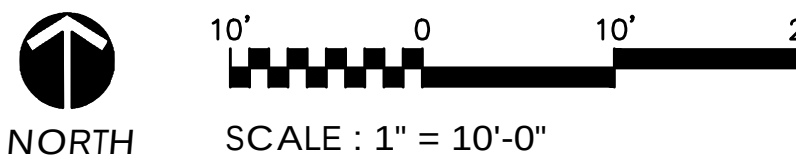
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- The base map is from topographic survey of property by Tom L. Ramsey PLS L-2871 Chapel Hill, NC dated July 14, 2014.
- Easements - as shown on survey. This property is not located in the Resource Conservation District as defined in the Chapel Hill Development Ordinance/Land Use Management Ordinance.
- Topography shown on the property from survey. Contours shown are 1' intervals. Topography on adjoining property is from GIS data and is not survey quality and is at 2 ft. contour intervals.
- Existing significant trees shown from Survey. Not all site utilities and landscape features are not survey quality. Contractor to confirm all site measurements.
- Underground electrical & water service utilities were not marked in the field at the time of subject survey.
- The finished floor elevation of the main house is assumed to be 456.0'

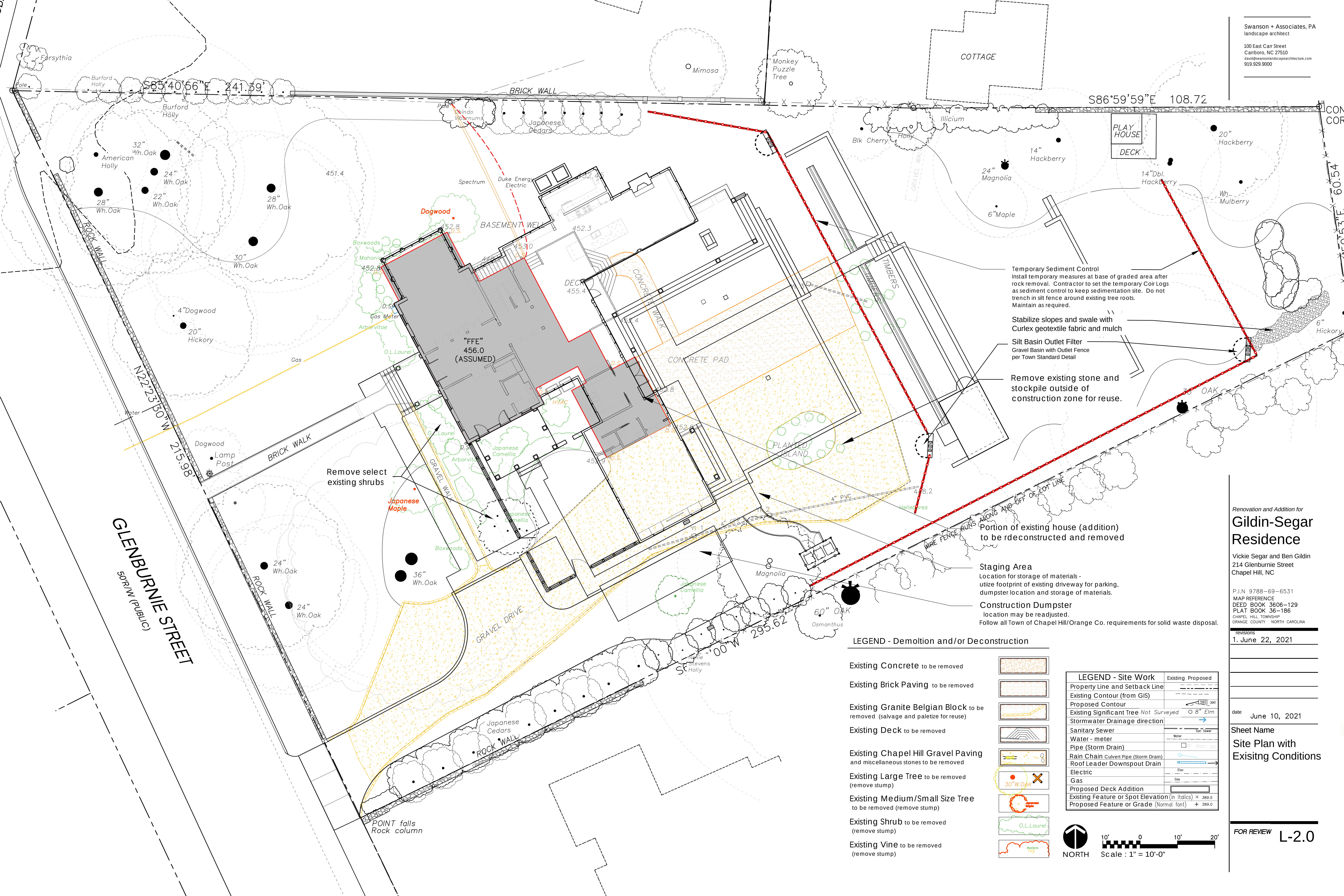
EXISTING IMPERVIOUS SURFACES:

DESCRIPTION	SQ.FT.
HOUSE	= 2,067.3
GRAVEL DRIVE	= 4,980.4
GRAVEL WALKS	= 209.6
CONCRETE PAD AND WALK	= 1,286.7
BRICK PORCHS & WALKS	= 394.4
BASEMENT ENTRANCE	= 56.7
PLAYHOUSE	= 67.2
TOTAL	= 9,062.3
LOT AREA	= 42,094.3
IMPERVIOUS SURFACE ON LOT IS 21.5%	

	RIM	INVERT
YI#1	451.8	451.0
YI#2	451.2	450.4
YI#3	451.0	449.8
UNABLE TO LOCATE OUTLET FOR #3		

LEGEND - Site Work	
Existing	Proposed
Property Line and Setback Line	---
Existing Contour	---
Proposed Contour	---
Existing Significant Tree Not Surveyed	○ 8" Elm
Stormwater Drainage direction	→
Silt Fence	--- Silt Fence
Site Access	→
Limits of Construction	---
Staging Area	---
Sanitary Sewer	---
Water - meter	---
Pipe (Storm Drain)	---
Roof Leader Downspout Drain	---
Electric	---
Gas	---
Proposed Deck Addition	---
Existing Feature or Spot Elevation (in Italics) × 389.5	---
Proposed Feature or Grade (Normal font) + 389.0	---





Swanson + Associates, PA
landscape architect

100 East Carr Street
Carrboro, NC 27510
david@swansonlandscapearchitecture.com
919.929.9000

- Temporary Sediment Control
Install temporary measures at base of graded area after rock removal. Contractor to set the temporary Coir Logs as sediment control to keep sedimentation site. Do not trench in silt fence around existing tree roots. Maintain as required.
- Stabilize slopes and swale with Curlex geotextile fabric and mulch
- Silt Basin Outlet Filter
Gravel Basin with Outlet Fence per Town Standard Detail
- Remove existing stone and stockpile outside of construction zone for reuse.
- Staging Area
Location for storage of materials - utilize footprint of existing driveway for parking, dumpster location and storage of materials.
- Construction Dumpster
location may be readjusted. Follow all Town of Chapel Hill/Orange Co. requirements for solid waste disposal.

LEGEND - Demolition and/or Deconstruction

- Existing Concrete to be removed
- Existing Brick Paving to be removed
- Existing Granite Belgian Block to be removed (salvage and palletize for reuse)
- Existing Deck to be removed
- Existing Chapel Hill Gravel Paving and miscellaneous stones to be removed
- Existing Large Tree to be removed (remove stump)
- Existing Medium/Small Size Tree to be removed (remove stump)
- Existing Shrub to be removed (remove stump)
- Existing Vine to be removed (remove stump)

LEGEND - Site Work	
Property Line and Setback Line	Existing Proposed
Existing Contour (from GIS)	
Proposed Contour	
Existing Significant Tree Not Surveyed	8" Elm
Stormwater Drainage direction	
Sanitary Sewer	San Sewer
Water - meter	Water
Pipe (Storm Drain)	
Rain Chain Culvert Pipe (Storm Drain)	
Roof Leader Downspout Drain	
Electric	Elec
Gas	Gas
Proposed Deck Addition	
Existing Feature or Spot Elevation (in Italics)	389.5
Proposed Feature or Grade (Normal font)	+ 389.0

Scale : 1" = 10'-0"

Renovation and Addition for
Gildin-Segar Residence
Vickie Segar and Ben Gildin
214 Glenburnie Street
Chapel Hill, NC

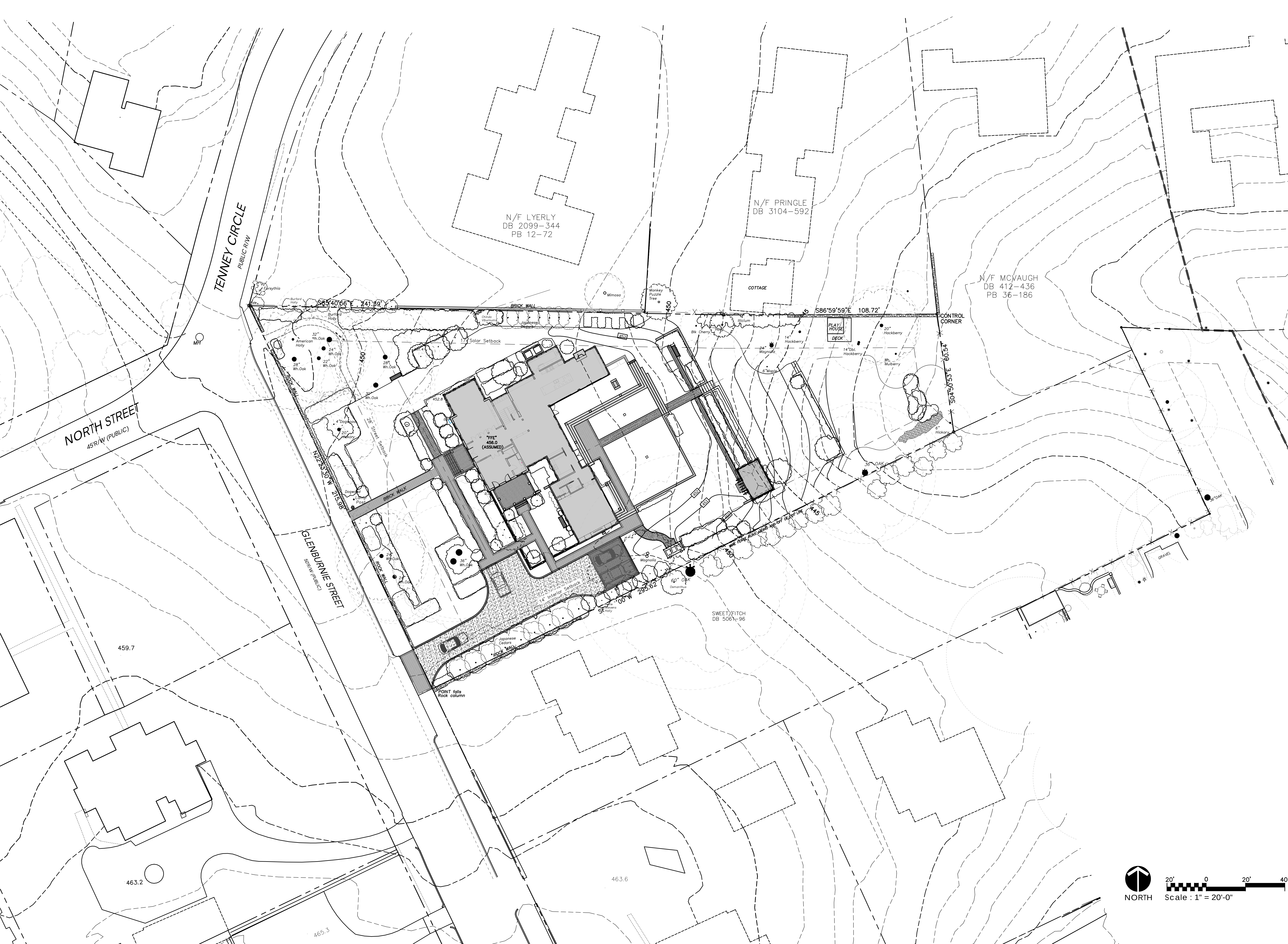
P.I.N 9788-69-6531
MAP REFERENCE
DEED BOOK 3606-129
PLAT BOOK 36-186
CHAPEL HILL TOWNSHIP
ORANGE COUNTY NORTH CAROLINA

revisions
1. June 22, 2021

date
June 10, 2021

Sheet Name
Site Plan with Existing Conditions

FOR REVIEW
L-2.0



Swanson + Associates, PA
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Renovation and Addition for
**Gildin-Segar
Residence**

Vickie Segar and Ben Gildin
214 Glenburnie Street
Chapel Hill, NC

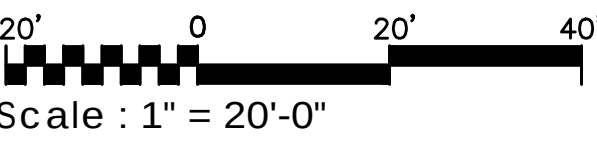
P.L.N. 9788-69-6531
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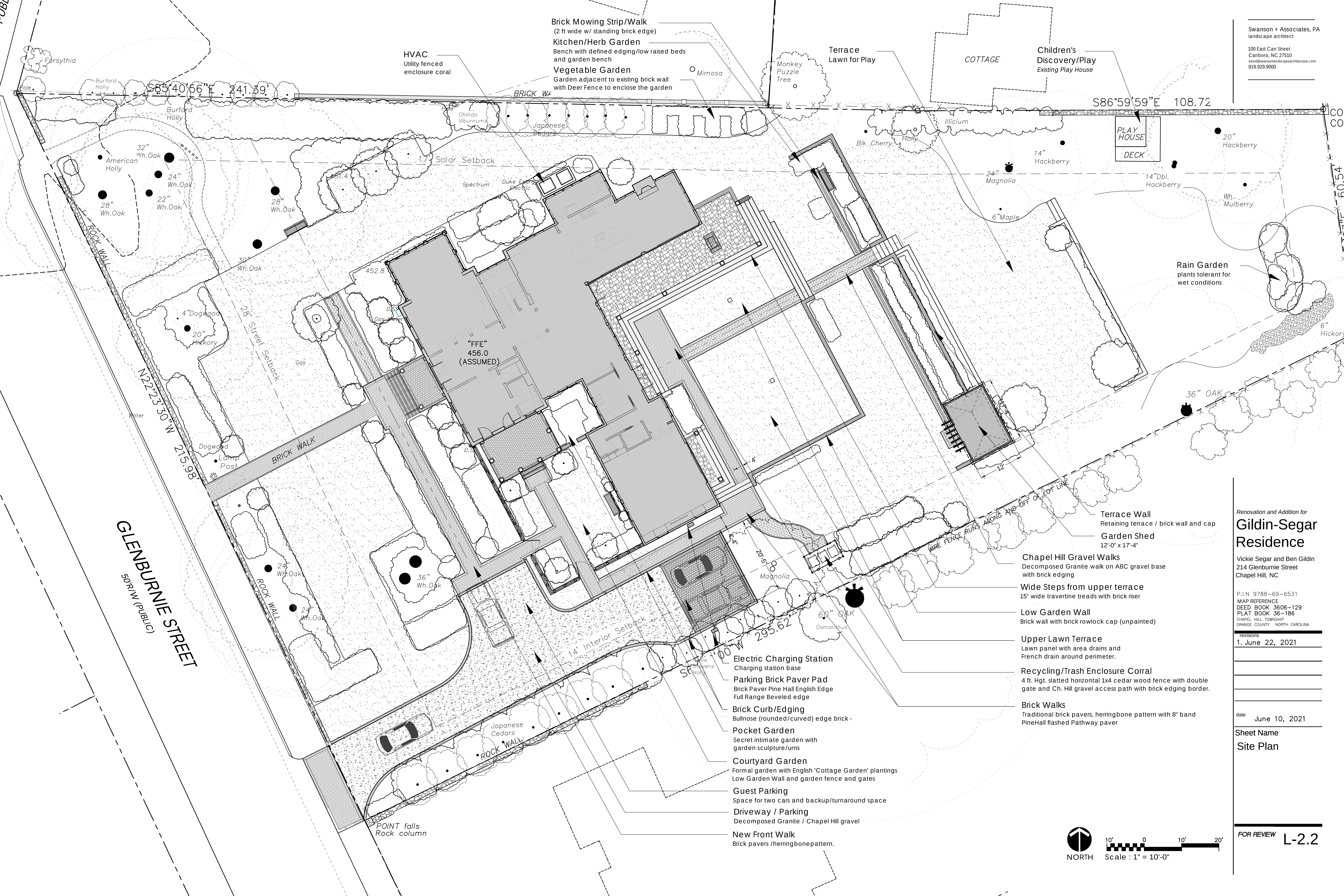
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Sheet Name
Site Plan

FOR REVIEW L-2.1





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S86°59'59"E 108.72

S85°40'56"E 241.39

GLENBURNIE STREET
50' R/W (PUBLIC)
N22°23'30"W 215.98

Renovation and Addition for Gildin-Segar Residence

Vickie Segar and Ben Gildin
214 Glenburnie Street
Chapel Hill, NC

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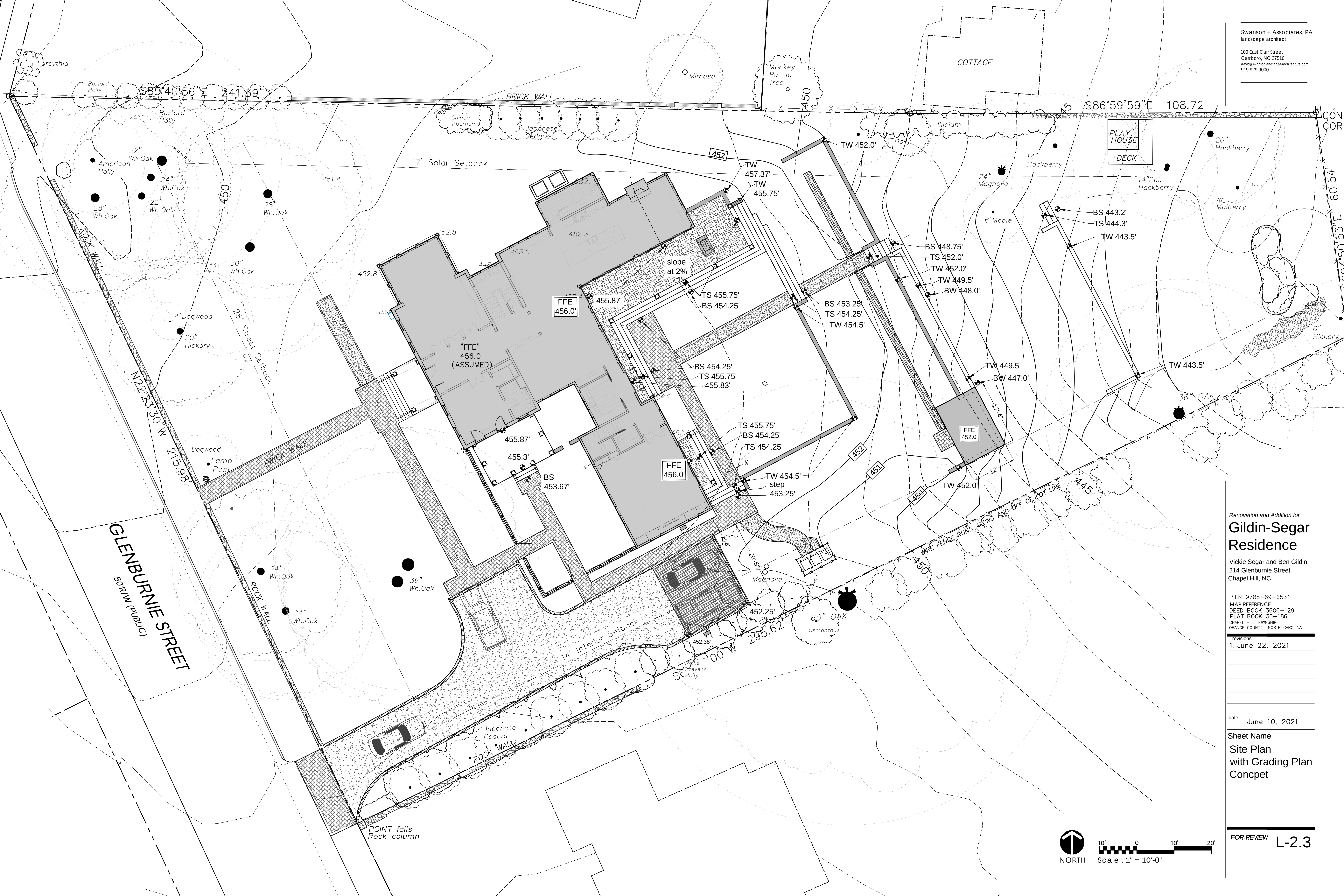
date June 10, 2021

Sheet Name
Site Plan

FOR REVIEW
L-2.2



10' 0 10' 20'
Scale : 1" = 10'-0"

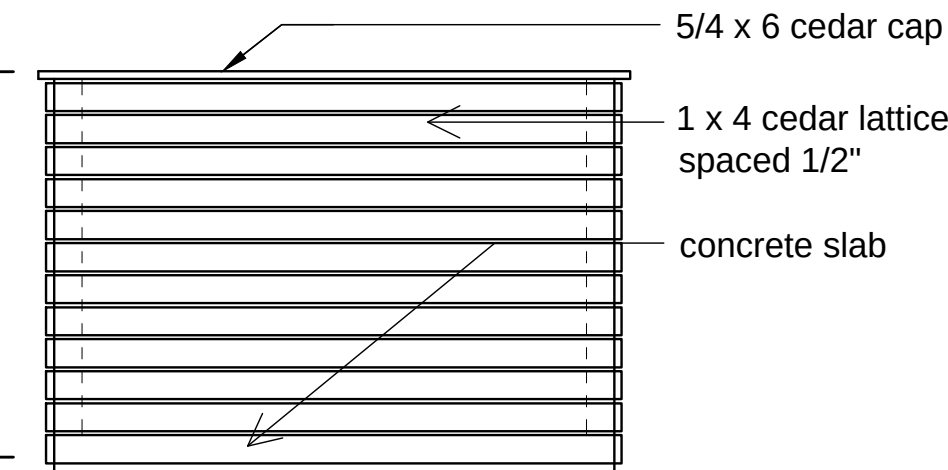




Travertine Steps Type #1
6" riser thickness and 15" wide travertine treads



Trash/Recycling Cart Enclosure Fence



5/4 x 6 cedar cap

1 x 4 cedar lattice
spaced 1/2"

concrete slab

Renovation and Addition for Gildin-Segar Residence

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REVISIONS
1. June 22, 2021

date June 10, 2021

Sheet Name
Site Plan
with Grading Plan
Concept
and Site Section

FOR REVIEW L-2.4

10' 0' 10' 20'
Scale : 1" = 10'-0"

Site Plan

Pocket Garden
Secret intimate garden with low garden wall and garden sculpture/urns

Courtyard Garden
Formal garden with English 'Cottage Garden' plantings. Low Garden Wall and garden fence and gates

Driveway Paving surface
Decomposed Granite / Chapel Hill gravel

Parking Brick Paver Pad
Brick Paver Pine Hall English Edge
Full Range Beveled edge

Brick Curb/Edging
Bullnose (rounded/curved) edge brick

Brick Curb/Edging
Bullnose (rowlock) edge brick

Garden Shed
12'-0" x 17'-4"

Steps Treads #1 from upper terrace
6-1/2" Riser, 15" wide travertine treads

Low Garden Wall
Brick wall with brick rowlock cap (unpainted)

Upper Lawn Terrace
Lawn panel with area drains and French drain around perimeter.

Brick Walks
Traditional brick pavers, herringbone pattern
PineHall flashed Pathway paver with 8" band

Recycling/Trash Enclosure Corral
4 ft. Hgt. slatted horizontal 1x4 cedar wood fence with double gate and concrete floor.
Ch. Hill gravel access path with brick edging border.

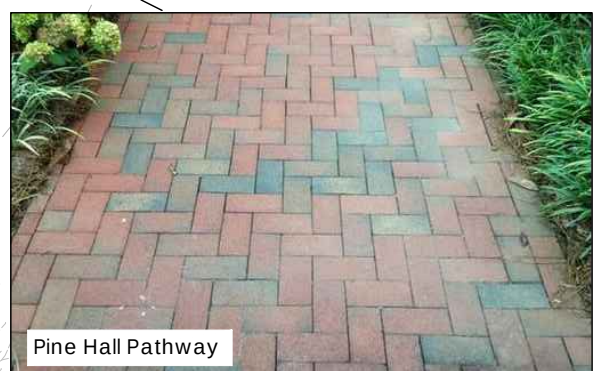
Electric Charging Station
Charging station base

Terrace

Lawn for Play

Garden Terrace Wall

Retaining terrace / brick wall and cap



Brick Paving

Site Section