

7/SD-2.0
TRAFFIC CONTROL PLAN NOTES
SCALE: NTS

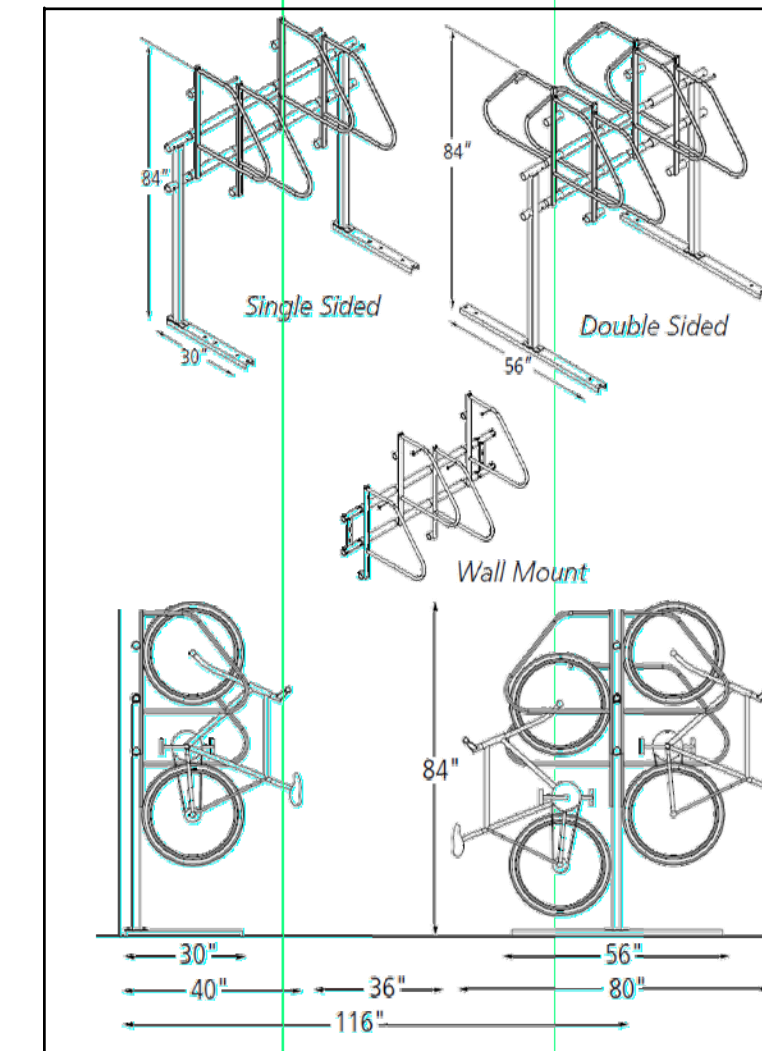
- CONSTRUCTION ASSOCIATED WITH THE PUREFOY ROAD APARTMENT PROJECT WILL OCCUR WITHIN THE PUREFOY ROAD RIGHT-OF-WAY. A TEMPORARY LANE CLOSURE MAY BE NEEDED FOR CONSTRUCTION AT DIFFERENT TIMES.
- AT ALL TIMES DURING THE PROJECT, REQUIRED WORK ZONE SIGNAGE SHALL BE IN PLACE PER CURRENT NCDOT AND TOWN OF CHAPEL HILL STANDARDS.
- DURING TEMPORARY LANE CLOSURES, ADDITIONAL SIGNAGE SHALL BE PLACED PER CURRENT NCDOT AND TOWN OF CHAPEL HILL STANDARDS.
- ALL SIGNAGE SHALL COMPLY WITH THE LATEST MUTCO REQUIREMENTS AND NCDOT AND TOWN OF CHAPEL HILL.
- TEMPORARY LANE CLOSURES REQUIRE A PERMIT FROM THE TOWN OF CHAPEL HILL, AND ARE ALLOWED ONLY DURING DAYLIGHT HOURS. CONTACT THE TOWN ENGINEERING DEPARTMENT AT 919-969-5096 FOR EACH PERMIT AT LEAST 5 DAYS IN ADVANCE. A 72-HOUR NOTICE IS REQUIRED (SAME DEPARTMENT) PRIOR TO ACTUAL CLOSURE.
- CONTRACTOR TO MAINTAIN TWO WAY TRAFFIC AND ENSURE ONE OPEN LANE AT ALL TIMES.

8/SD-2.0
FRONT YARD PARKING CALCULATIONS
SCALE: NTS

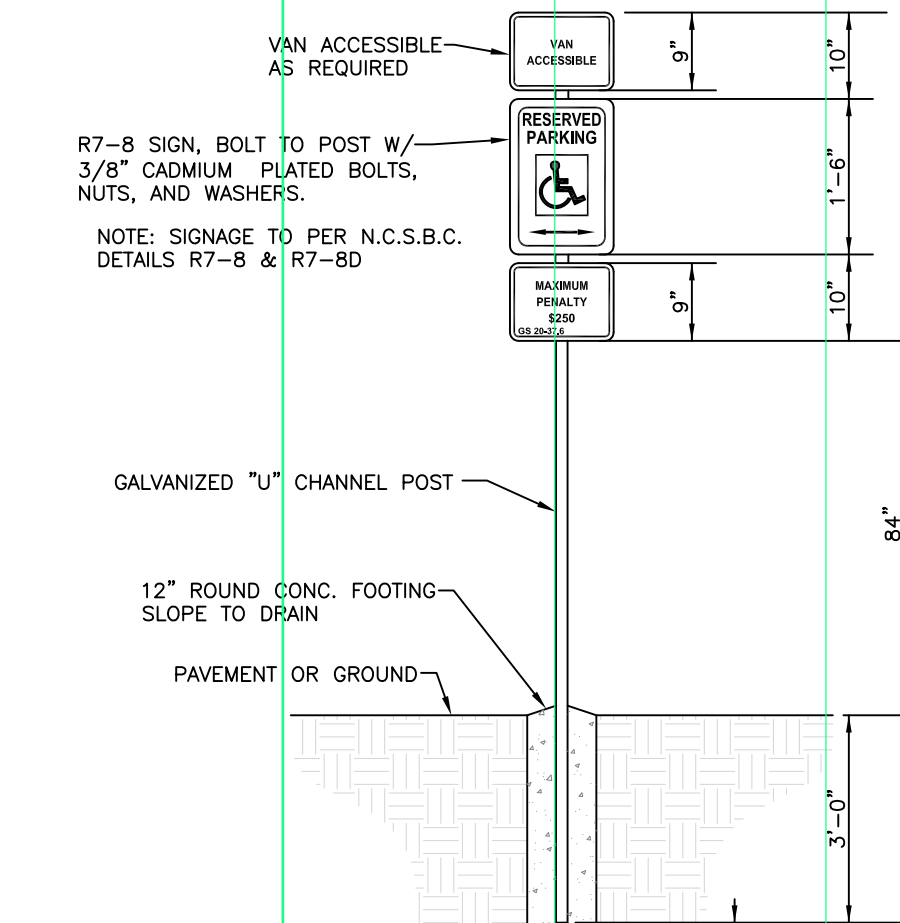
FRONT YARD PARKING CALCULATIONS
PER LUMO SEC. 5.9.9.C. PARKING AND DRIVE AREAS SHALL BE LIMITED TO 40 PERCENT OF THE FRONT YARD AREA OF ANY ZONING LOT.
AND PER APPENDIX B. - NEIGHBORHOOD CONSERVATION DISTRICTS, DIVISION 5. - MASON FARM / WHITEHEAD CIRCLE NCD. SEC. 5.3 MAXIMUM PERCENT OF FRONT YARD USED FOR PARKING SHALL BE 25%.
TOTAL FRONT YARD AREA MEASURED BETWEEN THE STREET AND A LINE DRAWN PARALLEL TO THE STREET FROM THE POINT OF THE STRUCTURE THAT IS CLOSEST TO THE STREET = 15,551 SF
TOTAL DRIVEWAY AND PARKING AREA WITHIN FRONT YARD = 2,276 SF
2,276 SF / 15,551 SF = 14.64% PARKING AND DRIVEWAY WITHIN FRONT YARD

2/SD-2.0
SITE LAYOUT PLAN NOTES

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAYOUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-80 MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE DEMOLITION PLAN SHEET SD-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- APPROVED BUILDING ADDRESS NUMBERS, PLACED IN ACCEPTABLE POSITION TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. NO FPC 2012, 505.1 (FIRE). ADDRESS NUMBERS MUST BE A MINIMUM OF 6 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- CONTRACTOR SHALL INSTALL CONTINUOUS FENCING AT THE LIMITS OF DISTURBANCE PRIOR TO ANY DEMOLITION OR SITE WORK.
- DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2018 EDITION, SECTION 3304.
- ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 33 OF THE NC FPC.
- WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX, MOUNTED ON THE ADDRESS SIDE OF THE BUILDING, NEAR THE MAIN ENTRANCE, SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY AND/OR FIRE PROTECTION NEEDS. NC FPC 2018 EDITION, SECTION 506 (FIRE).
- PRIOR TO BEGINNING WORK IN THE PUBLIC RIGHT-OF-WAY THE APPLICANT MUST CONTACT THE ENGINEERING DIVISION TO APPLY FOR AN ENGINEERING CONSTRUCTION PERMIT AND TO SCHEDULE A PRECONSTRUCTION CONFERENCE.



3/SD-2.0
BIKE RACK DETAIL
NTS



4/SD-2.0
ADA SIGNAGE
NTS

- COMPLIANCE WITH THE TOWN NOISE ORDINANCE IS REQUIRED DURING CONSTRUCTION OF THIS PROJECT.
- AN ENGINEERING CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY. CONTACT LARRY TUCKER (TOWN ENGINEERING AND DESIGN SERVICES DIVISION, (919-969-5084) TO APPLY FOR THE PERMIT.
- THERE WILL BE NO CONSTRUCTION TRAILER ON SITE.
- CONSTRUCTION PERSONNEL AND CONSTRUCTION EQUIPMENT PARKING WILL BE WITHIN THE PROPERTY LIMITS. PERSONNEL PARKING SHALL BE FIRST LOCATED WEST OF PROPOSED BLDG. #2 WITHIN EXISTING GRAVEL DRIVEWAY. AS CONSTRUCTION PROGRESSES PERSONNEL PARKING SHALL SHIFT TO REAR PARKING AREA WHILE THE FRONT PARKING AREA, DRIVEWAY CONNECTION AND NEW SIDEWALK ARE BEING CONSTRUCTED. ADDITIONAL OFF-SITE PARKING ARRANGEMENTS SHALL BE COORDINATED WITH THE TOWN IF DETERMINED TO BE NEEDED DURING CONSTRUCTION.
- STAGING FOR CONSTRUCTION MATERIALS SHALL BE FIRST LOCATED WEST OF PROPOSED BLDG. #2 WITHIN THE EXISTING GRAVEL DRIVEWAY AREA. AS CONSTRUCTION PROGRESSES STAGING FOR CONSTRUCTION MATERIALS SHALL SHIFT TO REAR PARKING AREA WHILE THE FRONT PARKING AREA, DRIVEWAY CONNECTION AND NEW SIDEWALK ARE BEING CONSTRUCTED.
- EMERGENCY VEHICLE ACCESS WILL BE FROM ADJACENT ROW (PUREFOY ROAD). CONTRACTOR SHALL ENSURE ACCEPTABLE EMERGENCY VEHICLE ACCESS AT ALL TIMES DURING CONSTRUCTION.
- DELIVERY TRUCKS SHALL DELIVER FROM ADJACENT ROW (PUREFOY ROAD).
- CONTRACTOR TO PROVIDE CONSTRUCTION SIGNAGE AS NECESSARY ALONG PUREFOY ROAD PER LATEST NCDOT STANDARDS.
- FOR TEMPORARY LANE CLOSURES REFERENCE NOTES 5&6, 7/SD-2.0 TRAFFIC CONTROL PLAN NOTES.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE DESIGNATED ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE DESIGNATED FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL PROVIDE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2018 EDITION, SECTION 3304.
- A PERMIT FOR LANE AND SIDEWALK CLOSURES MUST BE OBTAINED FROM THE TOWN PUBLIC WORKS DEPARTMENT, TRAFFIC ENGINEERING PRIOR TO 10 BUSINESS DAYS OF THE CLOSURE. PLEASE CONTACT JERRY NEVILLE OR KUMAR NEPPALLI AT 919-969-5100.

5/SD-2.0
CONSTRUCTION MANAGEMENT PLAN NOTES

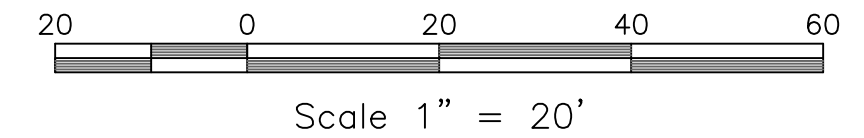
- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT / ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

6/SD-2.0
CONSTRUCTION WASTE NOTES

NOTES:
PRODUCT: ULTRA SPACE SAVER (SINGLE SIDED)
FINISH: BLACK POWDER COATED
INSTALLATION: FLOOR MOUNTED
SPACING: PER MFG RECOMMENDATIONS
AMERICAN BICYCLE SECURITY COMPANY
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VENTURA, CA 93006
PH: (800) 245-3723
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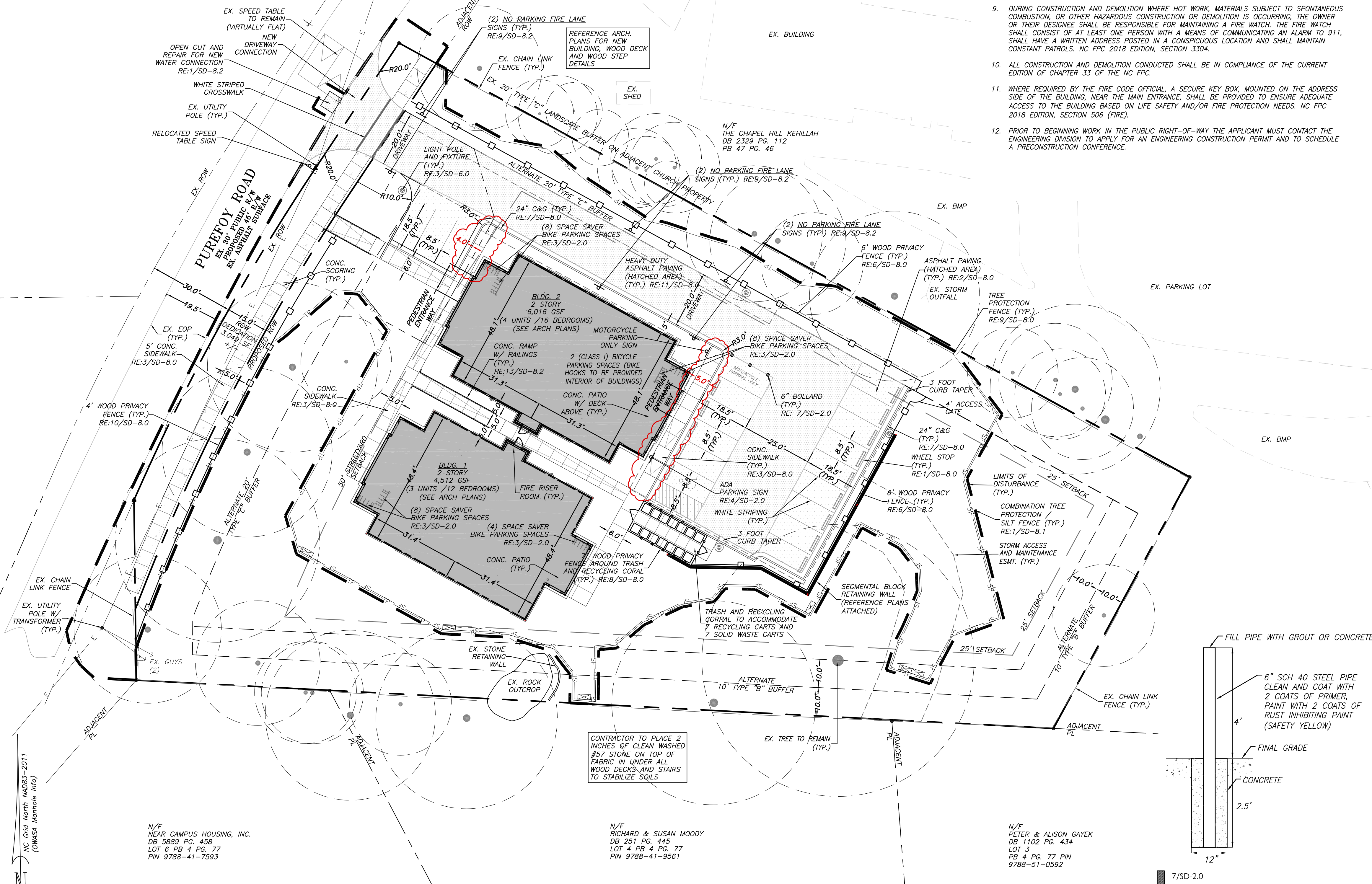
- GENERAL NOTES:
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
 - NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
 - ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
 - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT (N.C.D.O.T.)

1/SD-2.0
SITE LAYOUT PLAN
SCALE: 1" = 20'



NCFPC SECTION 510. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS. 510.1.

7/SD-2.0
6" BOLLARD
NTS
REFERENCE SD-0.0 COVER SHEET FOR ON-SITE AND OFF-SITE LAND DISTURBANCE CALCULATIONS.





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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC# C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC# C-104

Project
PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

Job Number 1642

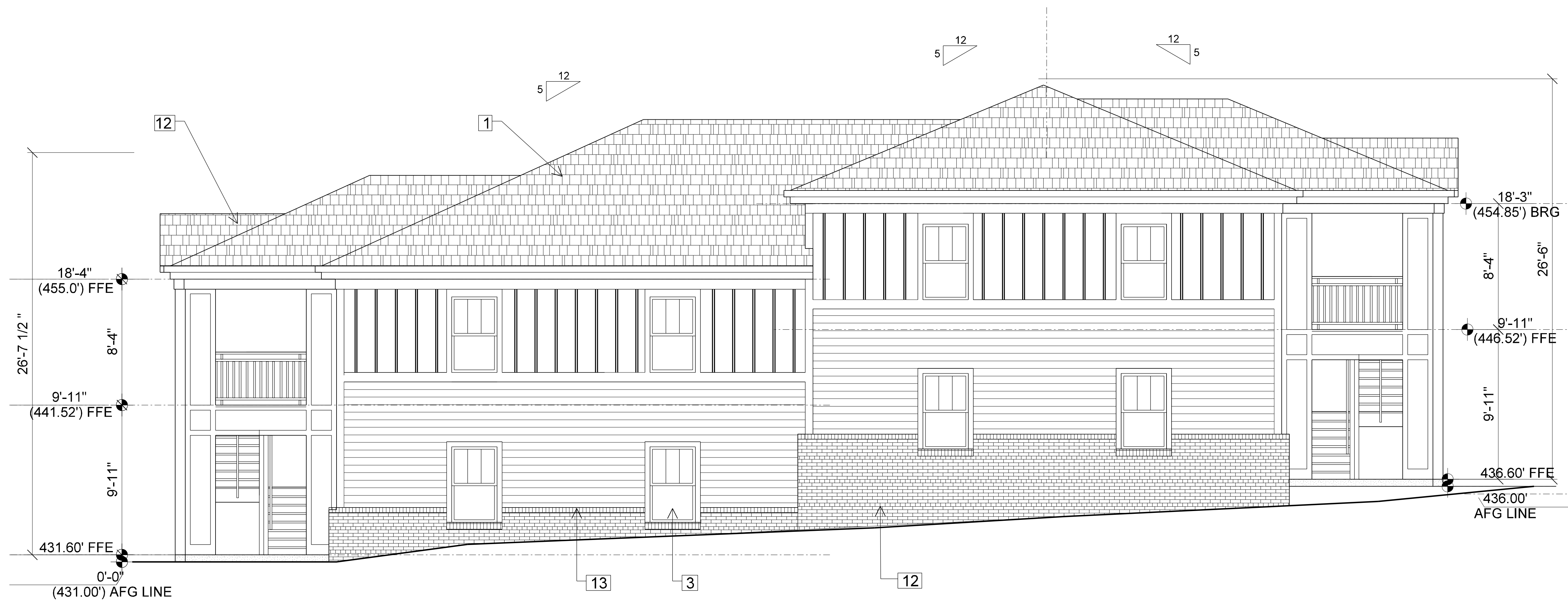
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| Checked | PBR, AJP |
| Date | 4/18/2019 |
| Revisions | 1. 6/3/2019 |
| | 2. 7/23/2019 OWASA |
| | 3. 9/4/2019 COMMENTS |
| | 4. 10/14/2019 COMMENTS |
| | 5. 11/20/2019 PHASING |
| | 6. 1/2/2020 COMMENTS |
| | 7. 1/24/2020 COMMENTS |
| | 8. 8/28/2020 BUILDING |

FINAL PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title
SITE LAYOUT PLAN

Sheet Number
SD-2.0

- 1 FIBERGLASS-REINFORCED ARCHITECTURAL ANTI-FUNGAL ASPHALT SHINGLES, 30-YEAR WARRANTY
- 2 PREFIN SEAMLESS METAL GUTTER OR DOWNSPOUT, TYP.
- 3 INSULATED VINYL WINDOW
- 4 INSULATED DOOR
- 5 PARGED FOUNDATION - PAINTED
- 6 CEMENTITIOUS LAP SIDING, 6" EXPOSURE
- 7 CEMENTITIOUS BOARD AND BATTEN SIDING
- 8 CEMENTITIOUS TRIM, TYP. AT CORNER BOARDS, PANELS, WINDOW AND DOOR SURROUNDS, TYP.
- 9 CEMENTITIOUS VENTED SOFFIT AND FASCIA
- 10 PREFINISHED PVC COATED ALUMINUM COIL WRAPPED WOOD FASCIA AND / OR TRIM
- 11 PREFINISHED PVC BALCONY RAIL
- 12 LINE OF BUILDING BEYOND



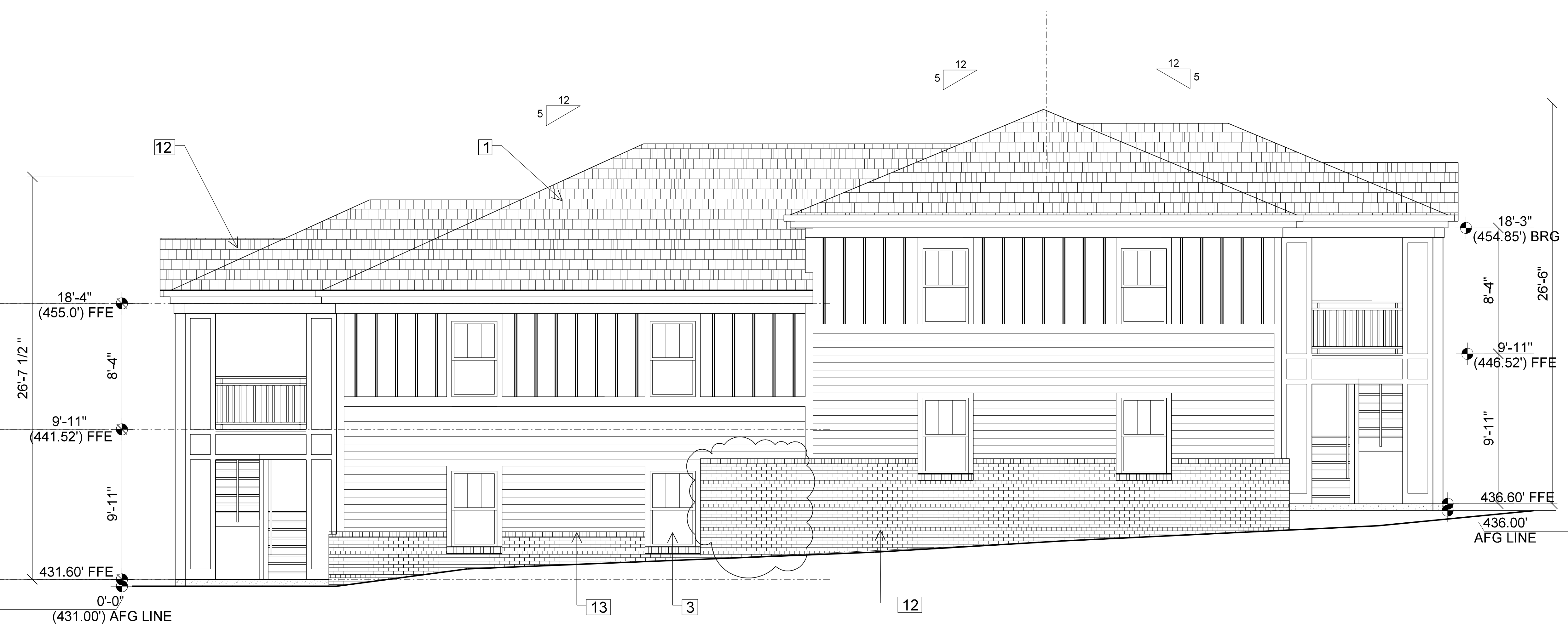
Key Notes

3

North Elevation – APPROVED

Scale: 1/4" = 1'-0"

2



North Elevation – CONSTRUCTED

Scale: 1/4" = 1'-0"

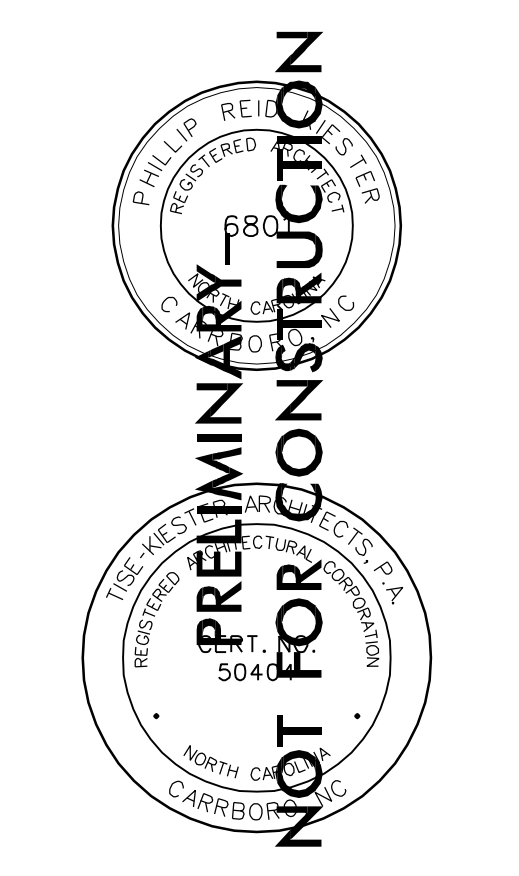
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Purefoy Road Apartments

Chapel Hill, NC

- Job Number: 0000
- Date: 05.19.21
- Revisions:



Exterior Elevations
 Sheet

A3.1

DATES \$FILES