

DISCIPLINE	COMPANY	REPRESENTATIVE	ADDRESS	PHONE NO.
CIVIL:	TOWER ENGINEERING	FREDERICK HERB, P.E.	326 TRYON RD., RALEIGH, NC 27603	919.661.6351
ARCHITECT:	NOT APPLICABLE			
SITE LIGHTING:	NOT APPLICABLE			

DISCIPLINE:	REGION	REPRESENTATIVE	ADDRESS	PHONE NO.
AREA CONST. MANAGER:	RALEIGH	STEVE KELLETT	6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD	864.494.2491

## PROJECT CONTACTS

STATE SITE CODE: 32-0044  
STREET ADDRESS: 409 W FRANKLIN STREET  
CITY, STATE: CHAPEL HILL, NC 27516

MCDONALD'S SITE AREA: 0.59 AC.  
 DISTURBED AREA: 190 SQ. FT.  
 ZONED: TC-2 (TOWN CENTER 2)  
 PARCEL ID: 9788168237  
 EXISTING STALL COUNT: 37 STALLS  
 PROPOSED STALL COUNT: 37 STALLS (NO CHANGE)

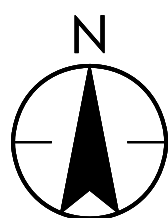
BUILDING CODE EDITION:	2018 NC BUILDING CODE
MECHANICAL CODE EDITION:	2018 NC MECHANICAL CODE
ELECTRICAL CODE EDITION:	2017 NATIONAL ELECTRIC CODE
PLUMBING CODE EDITION:	2018 NC PLUMBING CODE
ENERGY CODE EDITION:	2018 NC ENERGY CONSERVATION CODE

COMPANY: CHAPEL HILL BUILDING & DEVELOPMENT  
STREET ADDRESS: 405 MARTIN LUTHER KING JR. BLVD.  
CITY, STATE: CHAPEL HILL, NC 27514  
PHONE NO.: 919-968-2718

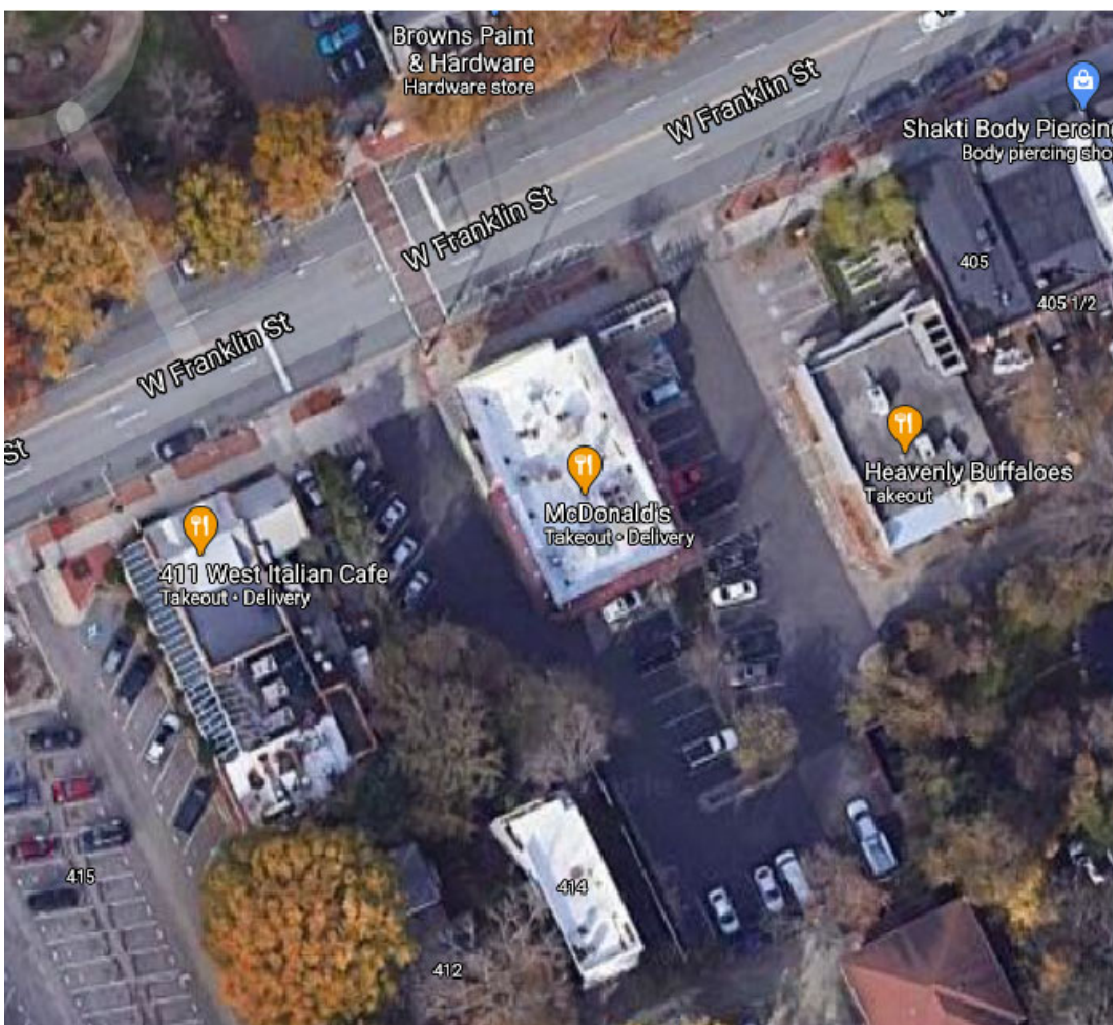
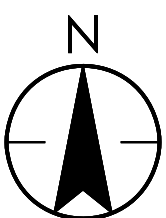
COMPANY: CHAPEL HILL PLANNING DEPARTMENT  
STREET ADDRESS: 405 MARTIN LUTHER KING JR. BLVD  
CITY, STATE: CHAPEL HILL, NC 27514  
PHONE NO.: 919-968-2743

- EXISTING McDONALD'S RESTAURANT SITE TO UNDERGO ADDITION OF WALK-UP ORDER WINDOW AND SCREENING WALL.

SCALE N.T.S.



## SCALE N.T.S.



1. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND DESIGNER OF RECORD IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN AND CHANGES APPROVED.
2. THIS PLAN HAS BEEN REVIEWED BY THE AUTHORITY HAVING JURISDICTION AND/OR ITS AUTHORIZED REPRESENTATIVE, BUT SUCH CHECKING AND/OR APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. MCDONALDS CONSTRUCTION MANAGER & THE AUTHORITY HAVING JURISDICTION SHALL BE INFORMED IN WRITING OF ANY CHANGES MADE DURING CONSTRUCTION PRIOR TO EXECUTION OF SAID CHANGE.
3. ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE AUTHORITY HAVING JURISDICTION(S) PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE APPROPRIATE PROFESSIONAL(S) PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
4. THE LOCATION OF EXISTING UTILITIES SHOWN HEREIN IS AN APPROXIMATION OF THEIR ACTUAL LOCATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO ASSUME ALL LIABILITY FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO PHYSICALLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
5. THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION OPERATIONS UNTIL ALL APPLICABLE UTILITY COMPANIES, COUNTY AND CITY AGENCIES HAVE BEEN NOTIFIED AND GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD.
6. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE APPROPRIATE AGENCIES, UTILITIES OR COMPANIES TO PROVIDE TEMPORARY ELECTRIC POWER, WATER SUPPLY AND SANITARY FACILITIES DURING DURATION OF CONSTRUCTION ACTIVITIES. ASSOCIATED COSTS SHALL BE INCIDENTAL TO PROJECT.
7. ALL WORK SHALL BE PER OSHA AND APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
8. THE CONTRACTOR SHALL SECURE ALL REQUIRED ENCROACHMENT AND/OR OTHER PERMITS FROM ALL GOVERNING AGENCIES BEFORE THE COMMENCEMENT OF WORK. CONTRACTOR SHALL MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES. STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES SHALL NOT BE CLOSED OR OBSTRUCTED WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION; ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS SHALL BE PROVIDED IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
9. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE FOR THE OWNER, ARCHITECT, OR ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY EXCEPT FOR THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
10. ALL GRADING TO BE IN ACCORDANCE WITH LOCAL ADOPTED CODES AND ASTM D1557.
11. THE SITE SHALL BE EITHER UNIFORMLY GRADED BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, BETWEEN SUCH POINTS AND EXISTING FINISHED GRADES, OR CONFORM POINTS; SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. IT SHALL COMPLY WITH THE GEOTECHNICAL'S REPORT COMPACTION REQUIREMENTS AND BE SLOPED TO DIRECT WATER AWAY FROM THE BUILDING AND TO PREVENT PONDING.
12. ALL GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION, KEPT FREE FROM TRASH AND WEEDS AND EMPLOYEE SEDIMENTATION CONTROL SYSTEMS. PRIOR TO COMPLETION OF THE PROJECT THE CONTRACTOR SHALL RESTORE ALL GRADED AREAS TO THEIR SPECIFIED TOLERANCES.
13. PRIOR TO PLACING AGGREGATE BASE OR PAVEMENT, THE SUBGRADE SHALL BE TREATED WITH A SOILS STERILIZATION TYPE WEED KILLER (EPA-REGISTERED) AND TERMITE CONTROL WHERE REQUIRED.
14. CONTRACTOR IS RESPONSIBLE FOR RESETTling EXISTING MONITORING WELLS, MANHOLES, CLEAN-OUTS AND ANY OTHER STRUCTURE TO FINISH GRADE AS NECESSARY.
15. ALL NEW ASPHALT PAVING AND CONCRETE WORK SHALL MATCH THE EXISTING GRADES AT LIMITS OF WORK. SLOPE AWAY FROM BUILDINGS.
16. REPLACE EXISTING ASPHALT PAVING AND/OR CONCRETE AS REQUIRED DUE TO NEW CONSTRUCTION INSTALL NEW PAVING PER PLAN AND/OR MCDONALD'S SPECIFICATIONS.
17. EXISTING ASPHALT PAVING AND/OR CONCRETE SHALL BE CUT TO A NEAT, STRAIGHT LINE (WHEN APPLICABLE). ALL EXPOSED VERTICAL SURFACES SHALL BE TACKED COATED BELOW FINISH GRADE LINE WITH ASPHALT EMULSION PRIOR TO PAVING.
18. ALL NEW CONCRETE PAVING SHALL BE SEALED. JOINT SEALANT SHALL BE APPLIED TO ALL EXPANSIONS AND ISOLATION JOINTS; AND CONTROL JOINTS IN DRIVE SLABS.
19. 'SAW-CUTTING' TO CREATE CONTROL JOINTS SHALL BE DONE WITHIN 1 TO 4 HOURS (PENDING TEMPERATURE) AFTER THE HARDENING SUFFICIENTLY, TO PREVENT RAVELING OR DISLODGING OF AGGREGATES, OF THE CONCRETE.
20. UNLESS OTHERWISE NOTED, ALL CURBS SHALL HAVE A 6" CURB FACE.
21. ASPHALT PRIME COAT SHALL BE APPLIED TO THE COMPACTED AGGREGATE BASE PRIOR TO PLACING ALPHATIC CONCRETE. THE RATE OF APPLICATION SHALL BETWEEN 0.2 AND 0.5 GALLONS PER SQUARE YARD.
22. ASPHALT TACK COAT SHALL BE APPLIED BELOW FINISHED GRADE TO ALL VERTICAL SURFACES IN CONTACT WITH THE ASPHALT PAVEMENT AND TO THE SURFACE OF THE BASE COURSE WITH FINISH COURSE PLACED ON DIFFERENT DAYS. TACK COAT SHALL BE APPLIED AT A RATE BETWEEN 0.05 AND 0.015 GALLONS PER SQUARE YARD.
23. SEAL COAT SHALL BE APPLIED TO ALL NEW ASPHALTIC PAVEMENT PER MANUFACTURER SPECIFICATIONS AND MCDONALDS PROJECT MANUAL.

[illegible]

## GENERAL

1. CONTRACTOR IS TO CONDUCT A FIELD REVIEW AND BE FAMILIAR WITH ALL EXISTING AND PROPOSED UTILITIES AND SUBSURFACE FEATURES PRIOR TO START OF WORK. SEE ARCHITECTURAL, SITE AND CIVIL PLANS.
2. ALL MATERIALS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED AS SHOWN IN THE DETAILS AND AS DESCRIBED IN THE SPECIFICATIONS, EXCEPT AS NOTED OTHERWISE.
3. ALL UTILITIES, EXISTING IRRIGATION AND NON-IMPACTED LANDSCAPING SHALL BE PRESERVED AND PROTECTED IN PLACE. EXISTING REMOTE CONTROL VALVES SERVICING ADJACENT AREAS MUST REMAIN IN OPERATION DURING THE COURSE OF THE PROJECT. SHOULD THERE BE ANY DISRUPTION IN WATER SERVICE AS RESULT OF THIS WORK AND PLANTS IN ADJACENT AREAS DIE, THE CONTRACTOR WILL BE RESPONSIBLE TO REPLACE PLANTS IN LIKE KIND. THEREFORE THE CONTRACTOR MAY BE REQUIRED TO HOOK UP TEMPORARY IRRIGATION OR HAND WATER FOR THE DURATION UNTIL PERMANENT REPAIRS CAN BE MADE.
4. THE CONTRACTOR IS REQUIRED TO VERIFY AND PROVIDE THE QUANTITY OF MATERIALS SHOWN ON THE LANDSCAPE PLANS. QUANTITIES IN THE LANDSCAPE LEGENDS ARE MERELY A GUIDE FOR ESTIMATING. THEREFORE QUANTITIES SHOWN ON THE LANDSCAPE PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN THE LEGENDS.
5. CONTRACTOR SHALL CONFIRM IF CITY CERTIFICATION OF THE LANDSCAPE INSTALLATION IS REQUIRED, CONTRACTOR TO CONTACT THE AUTHORITY UNDER JURISDICTION 48 HOURS PRIOR TO COMPLETION OF INSTALLATION WORK TO ARRANGE FOR THE REQUIRED SITE REVIEW AS PART OF THIS CERTIFICATION. ALL WORK TO BE PER PLANS AND ANY MODIFICATIONS SHALL BE APPROVED BY MCDONALDS CONSTRUCTION MANAGER PRIOR TO IMPLEMENTATION.
6. ALL CONSTRUCTION WASTE TO BE RECYCLED AS APPROPRIATE.
7. OBTAIN ALL MATERIALS LOCALLY (WITHIN 50 MILES) AS POSSIBLE.
8. REFER TO ARCHITECTURAL AND CIVIL PLANS FOR DESCRIPTIONS OF ELEMENTS NOT IDENTIFIED ON THIS PLAN.
9. PERMANENTLY SEED AND MULCH CUT SLOPES AS EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED DESIRABLE AND PRACTICAL.
10. UNLESS REQUIRED WITHIN A SHORTER TIME FRAME BY THE AUTHORITY UNDER JURISDICTION, SLOPES THAT ERODE EASILY OR THAT WILL NOT BE GRADED FOR A PERIOD OF 14 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED AS WORK PROGRESSES WITH VEGETATION OR OTHER ACCEPTABLE MEANS UNLESS OTHERWISE SPECIFIED HEREIN THE CONSTRUCTION DOCUMENTS.

## PLANTING

11. SET PLANTS IN PITS OR BEDS, PARTLY FILLED WITH PREPARED PLANT MIX, AT A MINIMUM DEPTH OF 6 INCHES UNDER EACH PLANT. REMOVE BURLAP, ROPES AND WIRES FROM THE ROOT BALL.
12. MINIMUM SETBACKS DISTANCES FOR TREE PLANTING SHALL BE PER AUTHORITY UNDER JURISDICTION AND TAKE INTO ACCOUNT CLEAR SIGHT LINES FOR VEHICLES ENTERING OR EXITING THE SITE.
13. ALL SURFACE AND SUB-SURFACE DRAINAGE STRUCTURES SHALL BE MAINTAINED.
14. CONTRACTOR TO IDENTIFY EXISTING PAVED AREAS BEING CONVERTED INTO PLANTING BEDS AND NEW PLANTER BED SURROUNDED BY PAVEMENT OR STRUCTURES AND SHALL DECOMPACT SOILS AS APPLICABLE. EXCAVATE PLANTER BED TO A MINIMUM DEPTH OF 16". REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE CONTAMINATED SUBSOIL. SOIL SHALL BE DISCARDED OFF - SITE. UNIFORMLY FILL PLANTERS WITH NATIVE SOIL OR COMPATIBLE TOPSOIL TO WITHIN 1-1/2" OF TOP OF CURB. COMPACT TO 85%. REPLACE AND CONDITION SOIL PER GEOTECHNICAL REPORT.
15. EXISTING LANDSCAPING TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. TREES TO REMAIN SHALL BE PROTECTED PER ISA OR AGENCY REQUIREMENTS. GRADING AND TRENCHING WITHIN DRIPLINES OF EXISTING PLANTS SHALL BE LIMITED AND DONE MANUALLY. GRADING/TRENCHING WITHIN THE DRIPLINE OF TREES SHALL BE WORKED ON UNDER THE SUPERVISION OF AN ARBORIST. BEYOND DRIPLINE, NO ROOTS LARGER THAN 1"  $\varnothing$  SHALL BE CUT WITHOUT ARBORIST SUPERVISION AND APPROVAL.
16. IF THERE ARE EXISTING LANDSCAPE AREAS TO REMAIN: SURFACE IN THESE AREAS TO BE CLEANED FREE OF WEEDS, LITTER, DEBRIS, ETC. REPLACE DEAD, DAMAGED, OR MISSING PLANTS WITH SPECIMENS OF SIMILAR MATERIAL.
17. NO LANDSCAPING OF ANY TYPE SHALL BE PLACED WITHIN THREE (3) FEET OF ANY FIRE HYDRANT, FIRE SUPPRESSION SYSTEM CONTROL VALVE, OR ANY TYPE OF FIRE RELATED CONTROL DEVICE. PLANTS SHALL BE SELECTED FOR THIS AREA THAT WILL NOT ENCRUCH UPON THIS THREE (3) FOOT RADIUS.
18. SYMBOL FOR GROUNDCOVER IS SCHEMATIC AND IS NOT SHOWN UNDER SHRUBS AND TREES FOR CLARITY. CONTRACTOR TO INSTALL UNDER SHRUBS AND TREES TO FILL ENTIRE PLANTER BED. QUANTITY IN LEGEND IS A GUIDE AND SHALL BE VERIFIED/DETERMINED BY GENERAL CONTRACTOR.
19. SEE MCDONALD'S PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

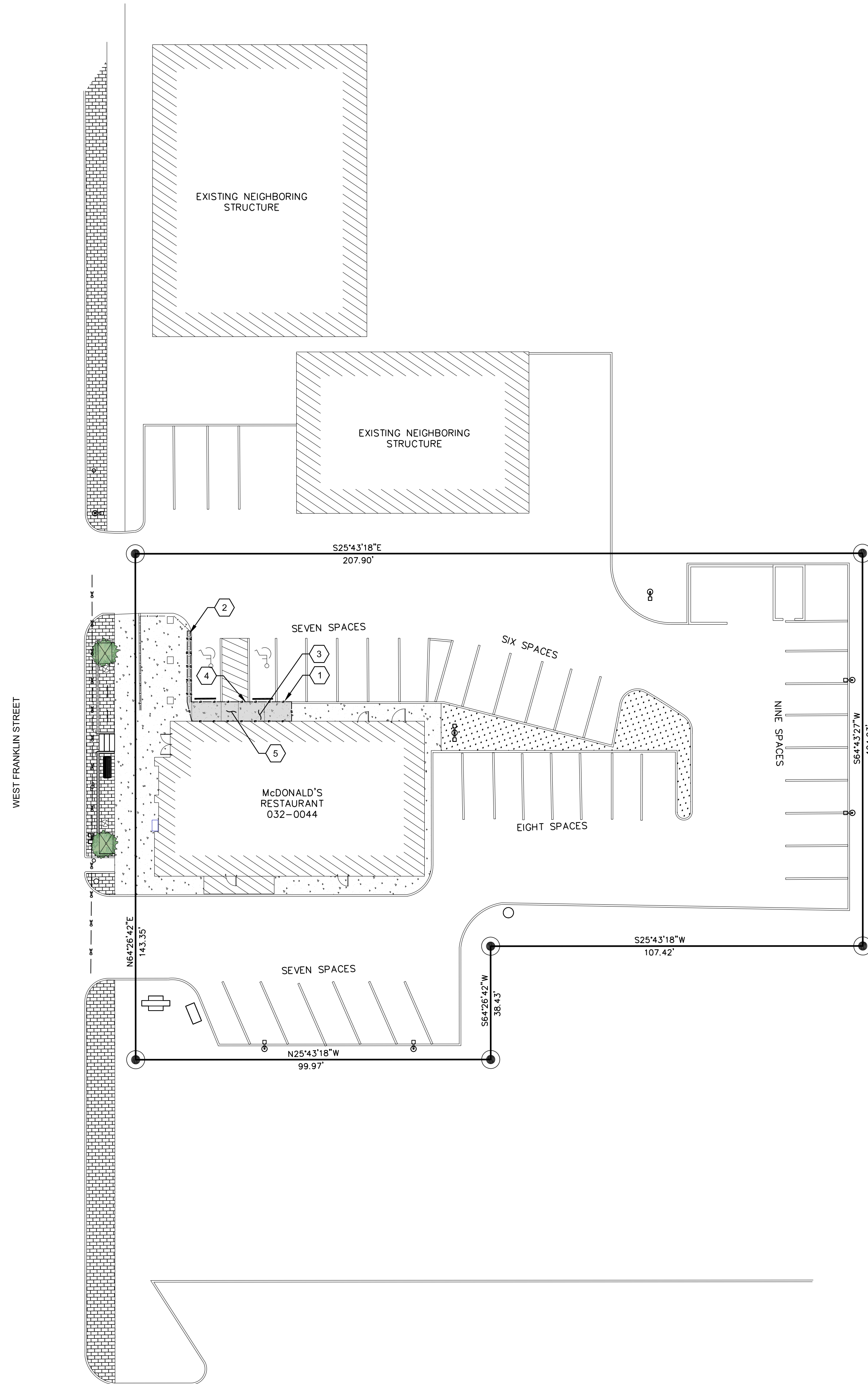
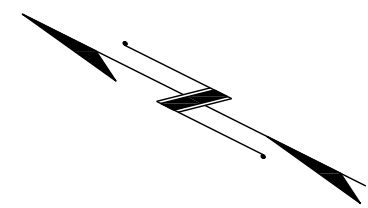


IF YOU DIG IN  
NORTH CAROLINA...  
CALL US FIRST!  
1-800-632-4949  
NORTH CAROLINA ONE CALL  
IT'S THE LAW

SHEET NO.	TITLE		DRAWN BY	TEP PID NO.	REVIEWED BY	DATE ISSUED	DATE	REV	DATE	DESCRIPTION
	CHAPEL HILL, NC									
C-1	DESCRIPTION		SITE ADDRESS	SITE ID	PWC	04/16/21	0	04/19/21	FIRST ISSUE	DESCRIPTION
	WALK-UP ORDER WINDOW ADDITION									
COVER SHEET			409 WEST FRANKLIN STREET, CHAPEL HILL, NC		32		52-0044			



- ① LIMITS OF DISTURBANCE ARE APPROXIMATE. SITE CONTRACTOR TO MODIFY LIMITS OF DISTURBANCE AS REQUIRED TO ENSURE SMOOTH TRANSITIONS AND PROPER DRAINAGE.
- ② REMOVE EXISTING GUARDRAIL ADJACENT TO ACCESSIBLE PARKING (TYP. WITHIN LIMITS OF DISTURBANCE)
- ③ EXTERIOR WALKWAY TO BE REMOVED ALONG BUILDING (TYP. WITHIN LIMITS OF DISTURBANCE)
- ④ REMOVE CURBING OR CURB & GUTTER (TYP. WITHIN LIMITS OF DISTURBANCE)
- ⑤ PROTECT EXISTING UNDERGROUND UTILITIES AND UTILITY SERVICES TO REMAIN - CONTRACTOR TO COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AS REQUIRED TO ENSURE PROPER SHUT DOWN TO DEMOLITION WORK



	PROPERTY LEASE CORNER		DEMO KEY NOTE
	PROPERTY LINE		DRIVE THRU DIRECTIONAL ARROW
	SETBACK LINE		"DRIVE THRU" WITH DIRECTIONAL ARROW
	EASEMENT		TRAFFIC LOT FLOW ARROW
	FINISH FLOOR ELEVATION		CANOPY WITH COD AND DETECTOR LOOP
	TELEPHONE LINE		OPO MENU BOARD
	WATER LINE		GREASE TRAP
	OVERHEAD UTILITIES		WOOD/TREE LINE
	UNDERGROUND ELECTRICAL		SILT FENCE OR TREE PROTECTION (WHERE APPLICABLE)
	SANITARY SEWER		LIMITS OF DISTURBANCE
	ROOF DRAIN		INLET PORTECTION. SEE DETAIL SHEETS FOR METHODS
	RIGHT OF WAY		TREE PORTECTION. SEE DETAIL SHEETS FOR METHODS
	SANITARY SEWER MANHOLE		
	TRANSFORMER		
	INLET		
	POWER POLE		
	WATER VALVE		
	SIGN		
	BOLLARD		
	POLE MOUNTED AREA LIGHT		
	FIRE HYDRANT		
	ACCESSIBLE STALL		
	FLAG POLE		

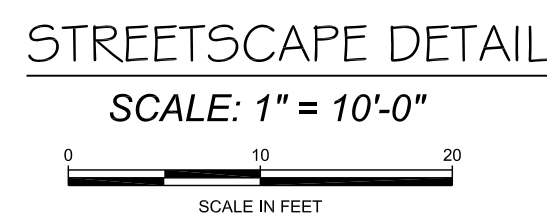
A horizontal scale bar with a black and white alternating pattern. It is labeled "SCALE IN FEET" below the bar. The bar has numerical markings at 0, 20, and 40.

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE A LOCALITY MAP BE RESPONSIBLE FOR ANY DAMAGE OR EXTRA COMPENSATION. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT **NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811** FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT RESCINDMENT OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
8. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
9. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
10. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
11. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL SHOWN IN TITLE BLOCK.
12. G.C. TO PROTECT ALL OFF-SITE PAVING/CURBING FROM CHIPPING OR BREAKING DURING ALL DEMOLITION WORK, PATCH/REPAIR ANY EXISTING ITEMS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION AT NO COST TO THE OWNER.

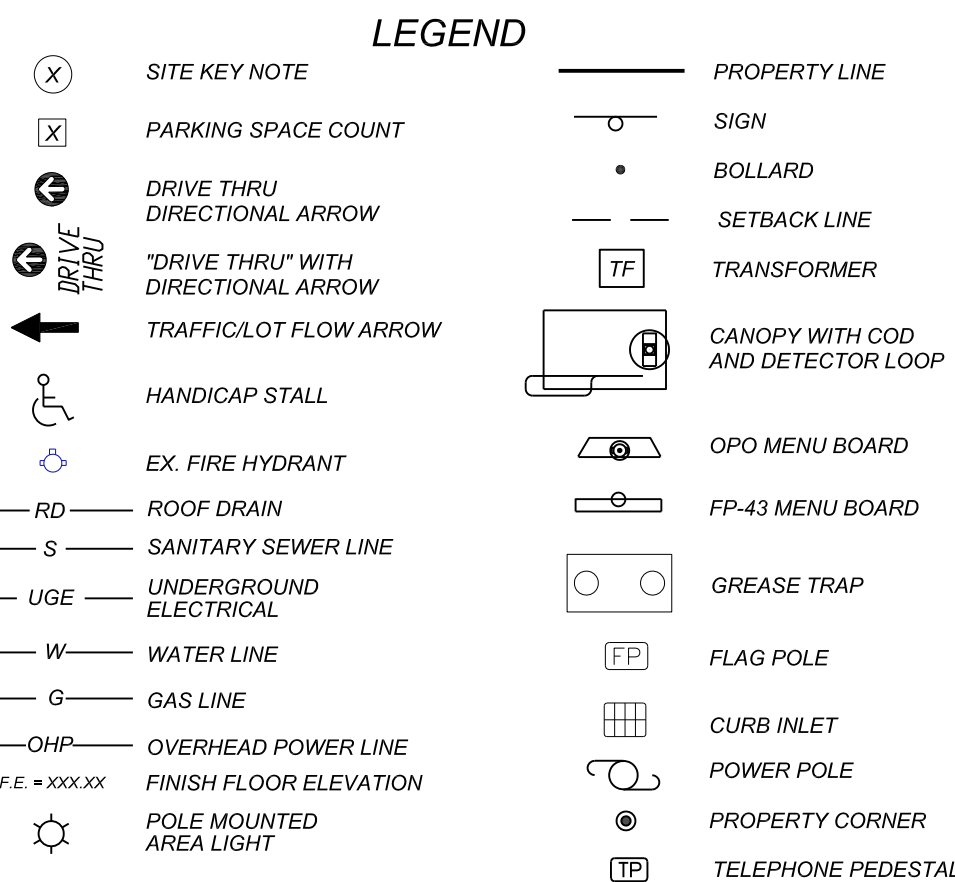
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TOTAL SPACES  37	2	HANDICAP SPACES	9'	X	19'	@	90 *		
	7	SPACES	9'	X	19'	@	60 *		
	28	SPACES	9'	X	19'	@	90 *		
STREET ADDRESS 409 W FRANKLIN STREET									
CITY CHAPEL HILL					STATE NORTH CAROLINA				
COUNTY ORANGE									
PARCEL ID 9788168237					LOCATION CODE NUMBER 32-0044				
TEP PID TBD					FEMA MAP NUMBER 3710978800K				
FLOOD ZONE X					FEMA MAP DATE NOVEMBER 17, 2017				

SHEET NO.	TITLE	DRAWN BY	TEP PID NO.	REVIEWED BY	DATE ISSUED	SITE ID	SITE ADDRESS	REV	DATE	DESCRIPTION
C-2	CHAPEL HILL, NC DESCRIPTION WALK-UP ORDER WINDOW ADDITION		-	PWC	04/16/21	32-0044	409 WEST FRANKLIN STREET, CHAPEL HILL, NC	0	04/19/21	FIRST ISSUE
EXISTING CONDITIONS/ DEMO SITE PLAN										





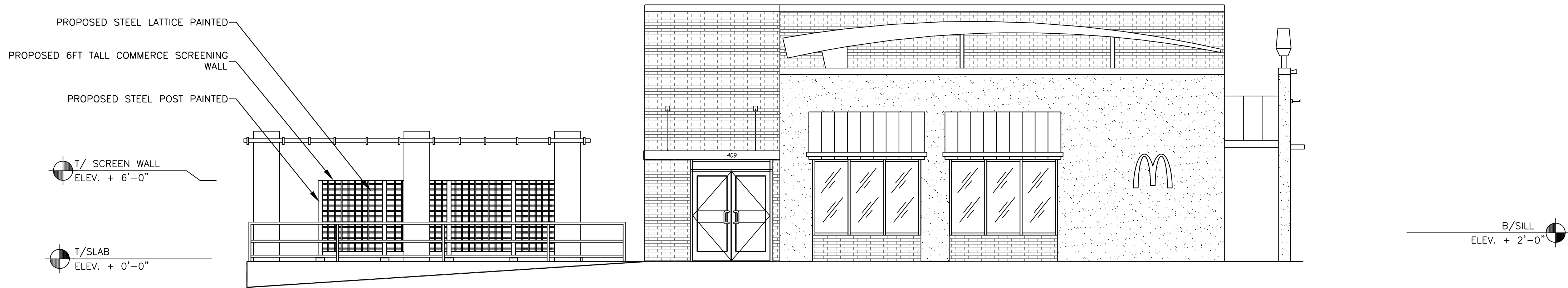
PROJECT INFORMATION	
ZONING	CHAPEL HILL: ZONED TC-2 (TOWN CENTER 2)
PARKING	VEHICLE PARKING: NO CHANGE TO EXISTING PARKING; 37 PARKING SPACES PROVIDED
SETBACKS	0 FT FRONT 25 FT REAR 25 FT SIDE



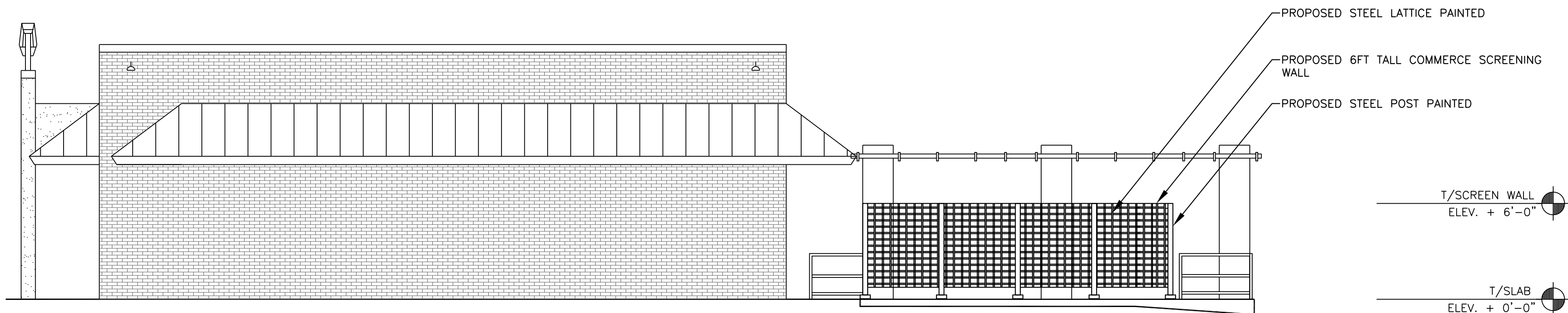
PARKING INFORMATION						
TOTAL SPACES  37	2	HANDICAP SPACES	8'	X	19'	@ 90°
	7	SPACES	8'	X	19'	@ 60°
	28	SPACES	8'	X	19'	@ 90°
STREET ADDRESS						
409 W FRANKLIN STREET						
CITY			STATE			
CHAPEL HILL			NORTH CAROLINA			
COUNTY ORANGE						
PARCEL ID 9788168237			LOCATION CODE NUMBER 32-0044			
TEP PID TBD			FEMA MAP NUMBER 3710978800K			
FLOOD ZONE X			FEMA MAP DATE NOVEMBER 17, 2017			

SHEET NO.	TITLE	DRAWN BY	TEP PID NO.	REVIEWED BY	DATE ISSUED	SITE ID	SITE ADDRESS	REV	DATE	FIRST ISSUE	DESCRIPTION
C-3	CHAPEL HILL, NC RECEPTION WALK-UP ORDER WINDOW ADDITION	-	-	PNC	04/16/21		409 WEST FRANKLIN STREET, CHAPEL HILL, NC	0	04/19/21		

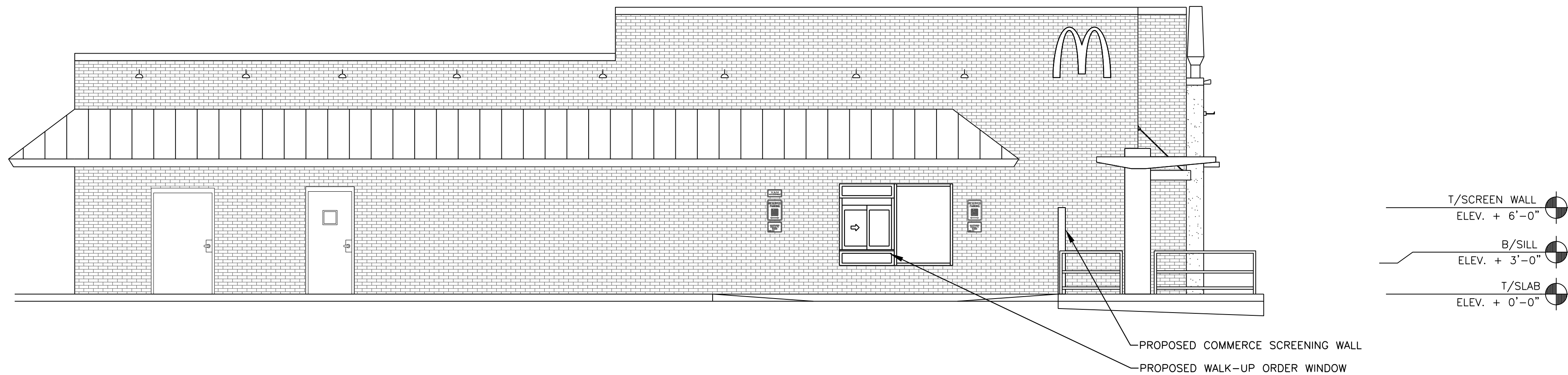




1 FRONT ELEVATION  
C4.0 3/16" = 1'-0"



2 REAR ELEVATION  
C4.0 3/16" = 1'-0"



3 SIDE ELEVATION  
C4.0 3/16" = 1'-0"

STREET ADDRESS	
409 W FRANKLIN STREET	
CITY CHAPEL HILL	STATE NORTH CAROLINA
COUNTY ORANGE	
PARCEL ID 9788168237	LOCATION CODE NUMBER 32-0044
TEP PID TBD	FEMA MAP NUMBER 3710978800K
FLOOD ZONE X	FEMA MAP DATE NOVEMBER 17, 2017

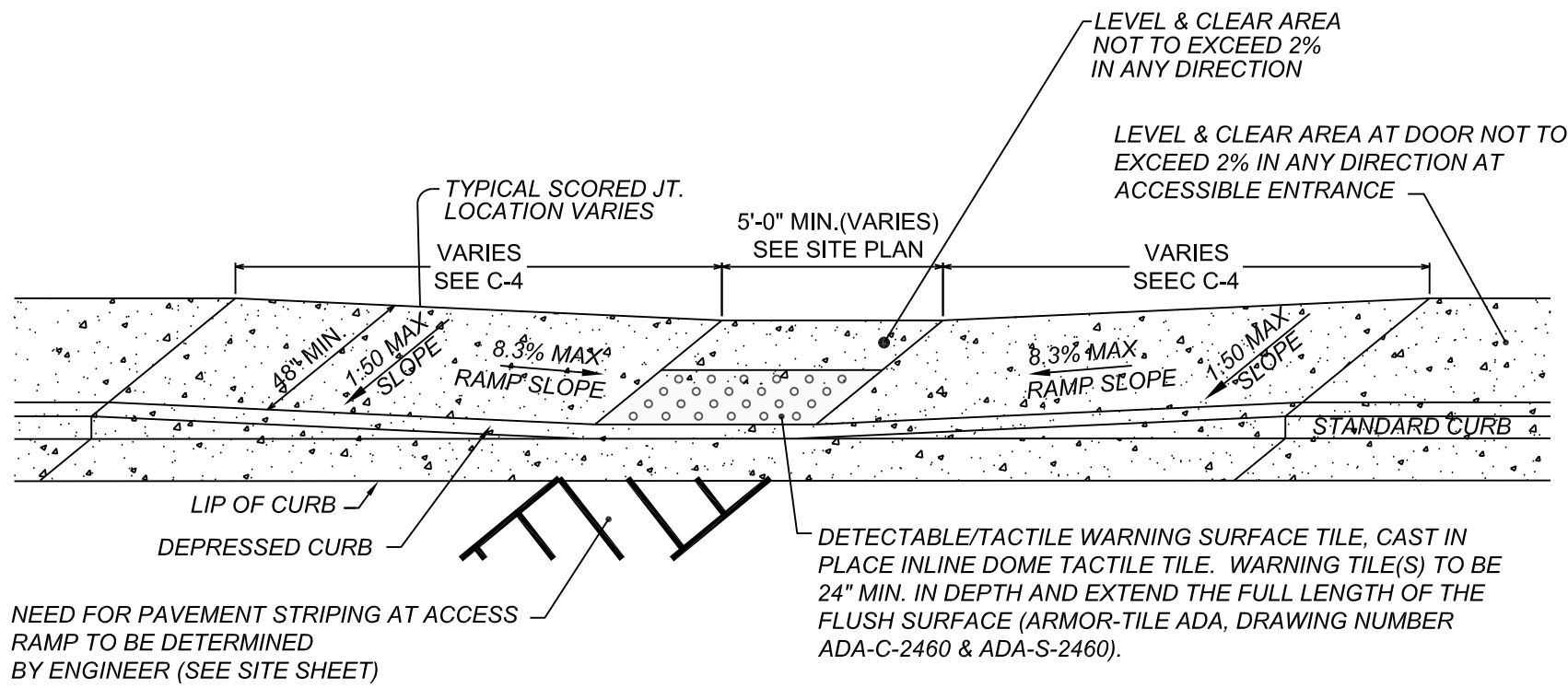
REV	DATE	DESCRIPTION
0	04/19/21	FIRST ISSUE

**TOWER ENGINEERING PROFESSIONALS**  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # P1403

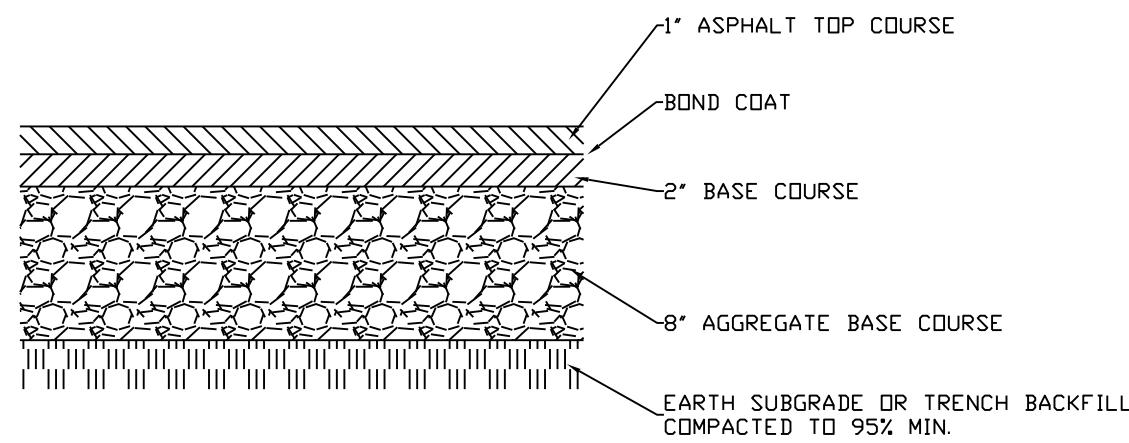


PREPARED FOR:  
**McDonald's USA, LLC**  
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SHEET NO.	TITLE	DRAWN BY TEP PID NO. -	REVIEWED BY PWC	DATE ISSUED 04/16/21	SITE ADDRESS 409 WEST FRANKLIN STREET, CHAPEL HILL, NC 32-0044
C-4	CHAPEL HILL, NC WALK-UP ORDER WINDOW ADDITION				
ELEVATIONS					

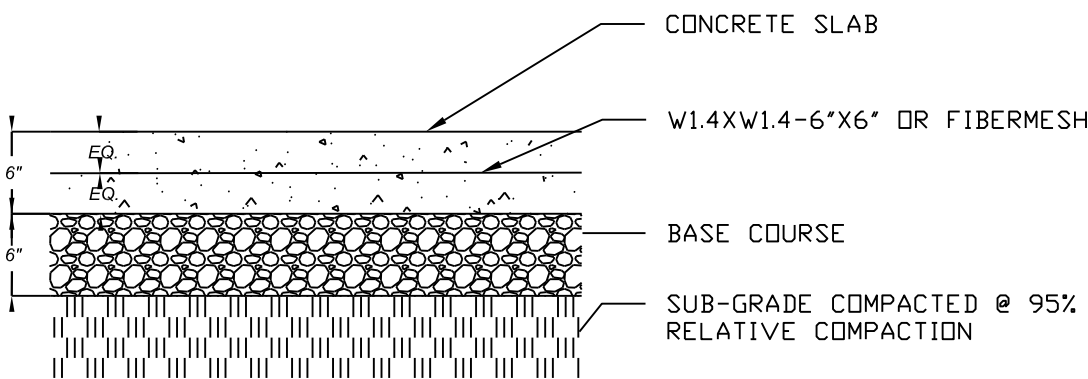


ACCESSIBLE RAMP DETAIL



DETAIL REPRESENTS MCDONALD'S STANDARD MINIMUM DESIGN. DESIGN SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL PROFESSIONAL PRIOR TO PLACEMENT OF ANY PAVING MATERIALS. ADDITIONAL THICKNESS OF ASPHALT AND/OR BASE MAY BE REQUIRED.

ASPHALT PAVING DETAIL



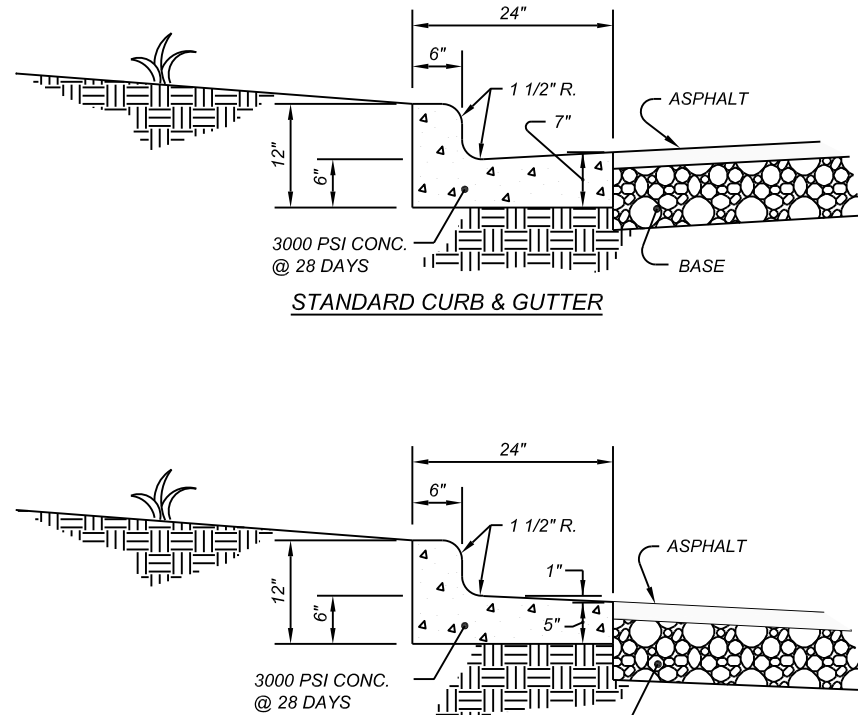
\*MATCH DEPTH OF EXISTING ADJACENT AGGREGATE BASE UNDER CONCRETE DRIVE SLAB.

\*CONCRETE TO BE A MIN. OF 3500 PSI AT 28 DAYS. PROVIDE EXPANSION JOINTS EVERY 100' LENGTH AND SAW CUT CONTROL JOINTS IN CONCRETE SLAB NOT TO EXCEED 10' IN LENGTH.

\*FIBERMESH MAY BE USED AS REINFORCING IN LIEU OF STEEL REINFORCING. FIBRILLATED POLYPROPYLENE FIBERS ENGINEERED AND DESIGNED FOR USE IN CONCRETE PAVEMENT COMPLYING WITH ASTM C 1116, TYPE III, 3" LONG OR ASTM A820, DEFORMED MINIMUM 1.5 INCHES LONG AND ASPECT RATIO OF 45 TO 50.

NOTE: DETAIL REPRESENTS MCDONALD'S STANDARD MINIMUM DESIGN. DESIGN SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL PROFESSIONAL PRIOR TO PLACEMENT OF ANY PAVING MATERIALS. ADDITIONAL THICKNESS OF ASPHALT AND/OR BASE MAY BE REQUIRED.

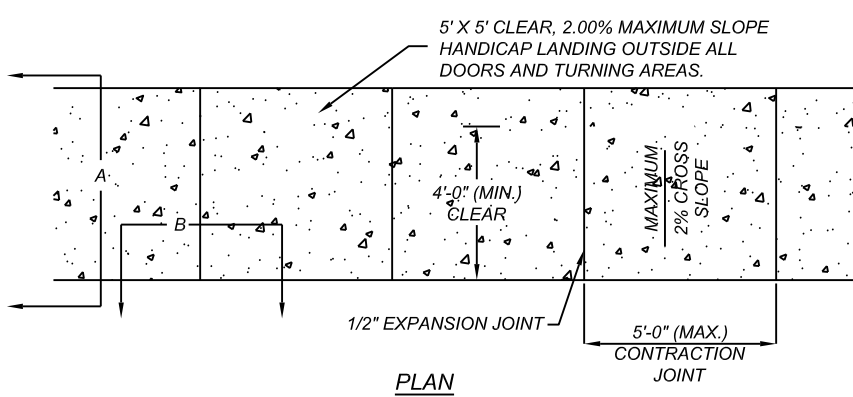
CONCRETE PAVING



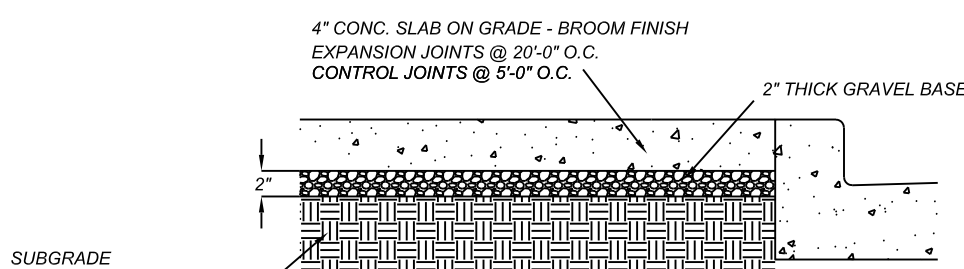
NOTES:

1. SCORE CURB / VALLEY GUTTER AT 15' O.C.
2. PROVIDE 1/2" EXPANSION JOINTS AT 90' O.C.
3. CONTRACTION JOINTS SHALL BE SPACED AT 10' INTERVALS. (A 15' SPACING WILL BE ALLOWED WHEN A MACHINE IS USED.)
4. FINISH ALL CONCRETE WITH CURING COMPOUND.

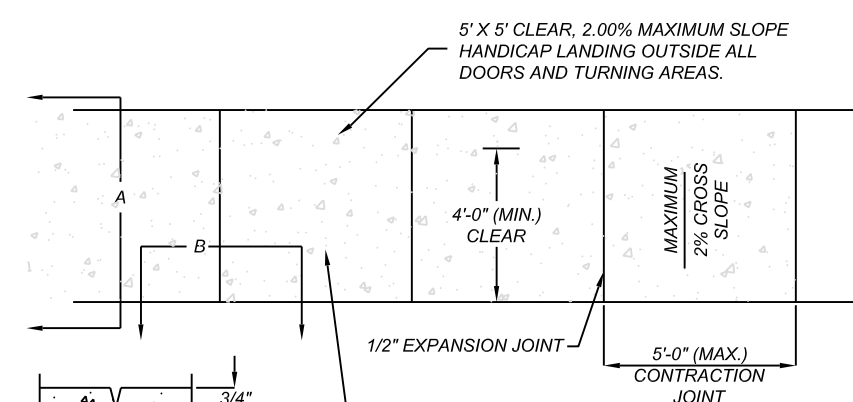
2'-0" STANDARD CURB AND GUTTER



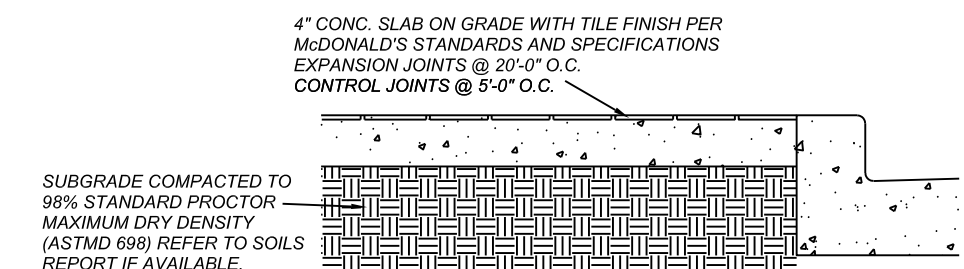
SECTION B-B CONTRACTION JOINT



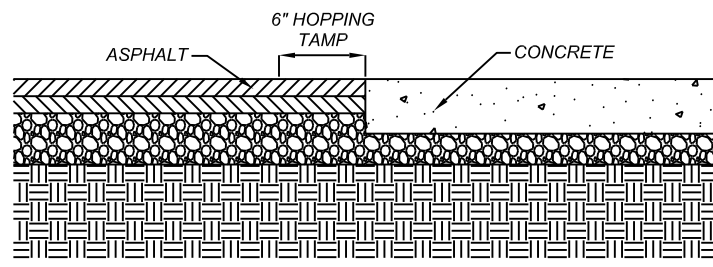
CONCRETE SIDEWALK



4" CONC. SLAB ON GRADE WITH TILE FINISH PER MCDONALD'S STANDARDS AND SPECIFICATIONS EXPANSION JOINTS @ 20'-0" O.C. CONTROL JOINTS @ 5'-0" O.C.



McDONALD'S CONCRETE SIDEWALK

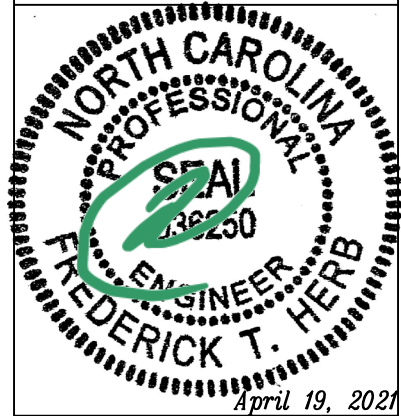


NOTE: CONTRACTOR SHALL USE HOPPING TAMP ADJACENT TO CONCRETE.

ASPHALT/CONCRETE TRANSITION

SHEET NO.	TITLE	DATE	REV	DESCRIPTION
0	04/19/21	0	04/19/21	FIRST ISSUE

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**CHapel Hill, NC**  
DESCRIPTION: WALK-UP ORDER WINDOW ADDITION  
SITE ADDRESS: 409 WEST FRANKLIN STREET, CHAPEL HILL, NC  
SHEET NO.: C-5  
DATE ISSUED: 04/16/21  
REVIEWED BY: PWC  
DRAWN BY: TEP  
TITLE: CHAPEL HILL, NC  
DESCRIPTION: WALK-UP ORDER WINDOW ADDITION  
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