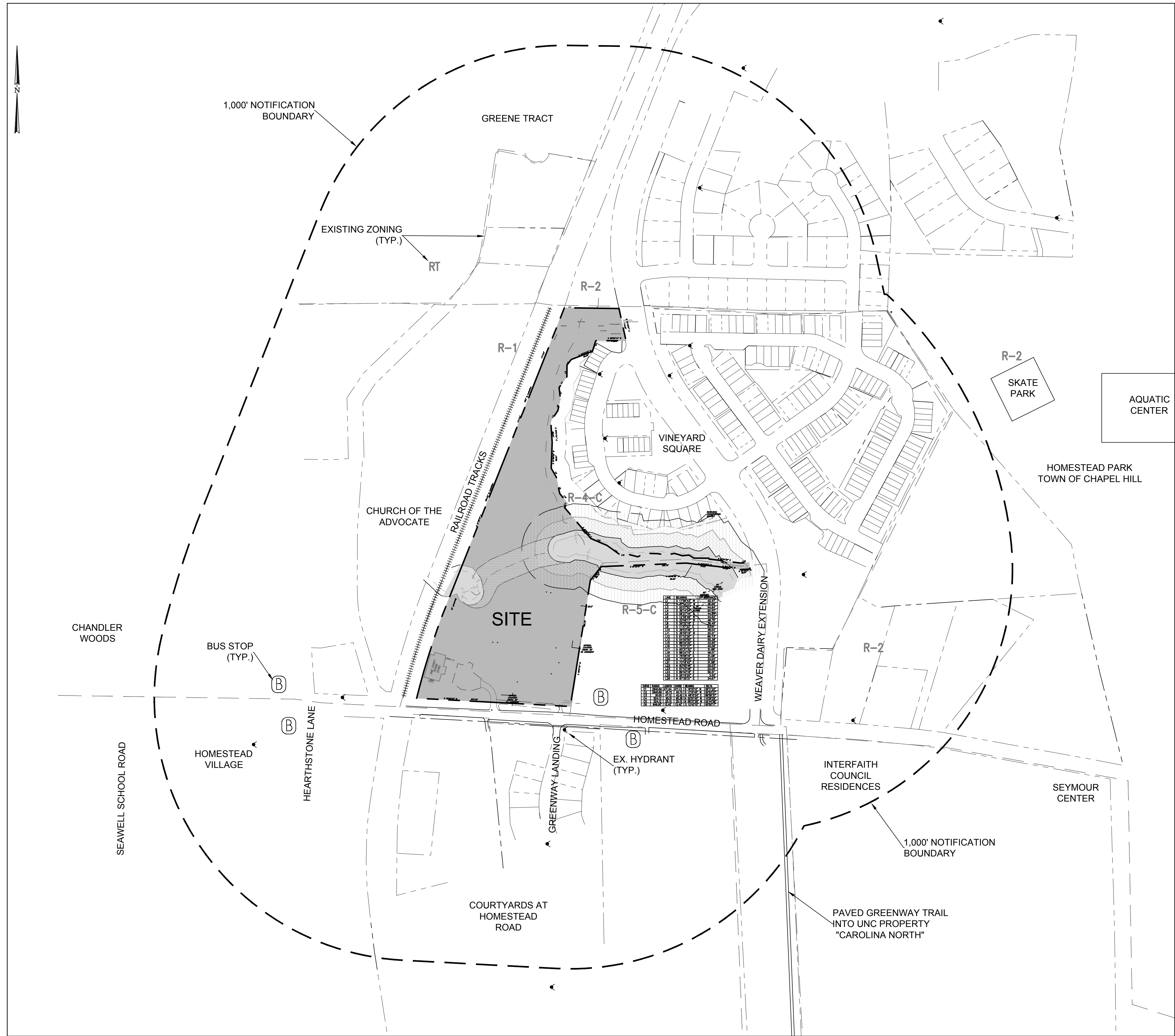


HOMESTEAD ROAD HOUSING DEVELOPMENT

2200 HOMESTEAD ROAD, CHAPEL HILL, NC



SITE DATA

PIN:	9870-91-2947
OWNER:	TOWN OF CHAPEL HILL
ENVIRONMENTAL CONSTRAINTS:	JORDAN BUFFER RESOURCE CONSERVATION DISTRICT
TOTAL PARCEL LAND AREA:	541,157.56 SF / 12.42 AC (NET)
HOMESTEAD FRONTAGE:	586.43 LF, RIGHT OF WAY WIDTH 75' 586.43 x 37.5 = 21,991.125
WEAVER DAIRY EXT FRONTAGE:	113.20 LF (NORTH) + 25.15 LF (SOUTH), RIGHT OF WAY WIDTH: 100' 138.35 X 50' = 6,917.5
GROSS LAND AREA:	570,066 SF / 13.09 AC
EXISTING ZONING:	R-4-C
PROPOSED ZONING:	R-SS-CZD
PROPOSED LAND DISTURBANCE:	464,882 sf / 10.26 AC
EXISTING IMPERVIOUS ON-SITE:	18,442 SF / 0.34 AC
PROPOSED IMPERVIOUS ON-SITE:	222,603 SF 5.11 AC
PROPOSED USE TOWNHOMES:	0-10 UNITS X 3 BEDROOM 16 UNITS X 2 BEDROOM 0-20 X 1 BEDROOM 54 X 1 BEDROOM 18 X 2 BEDROOM 12 UNITS X 3 BEDROOM 6 UNITS X 4 BEDROOM 115 - 126 UNITS
APARTMENTS:	
DUPLEXES:	

TOTAL SQUARE FOOTAGE PROPOSED: 181,575 sf

FLOOR AREA RATIO

DISTRICT AREA FAR: 1.10 X 443,592 SF = 487,951 SF
RCD STREAMSIDE: 0.01 X 86,014 ON THIS SITE = 860 SF
RCD MANAGED: 0.019 X 18,239 SF ON THIS SITE = 346 SF
RCD UPLAND: 1.10 X 22,215 SF IN THIS AREA = 24,436 SF

TOTAL ALLOWED FLOOR AREA: 513,593 SF
TOTAL PROPOSED FLOOR AREA: 181,575 SF

PARKING

MINIMUM REQUIRED:	1 SPACE PER 1 BDRM = 54x1 = 54 1.4 / 2 BDRM = 34x1.4 = 48 1.75 / 3 BDRM = 22x1.75 = 39 2 / 4 BDRM = 6x2 = 12 MINIMUM 153 SPACES
MAXIMUM ALLOWED:	1.25 / 1 BDRM = 74x1.25 = 93 1.75 / 2 BDRM = 34x1.75 = 60 2.25 / 3 BDRM = 22x2.25 = 50 2.5 / 4 BDRM = 6x2.5 = 15 MAXIMUM 227 SPACES

PROVIDED: 164 STANDARD SPACES
2 COMPACT SPACES
3 VAN SPACES
+ 6 ADA SPACES
175 SPACES TOTAL

SPACES SERVED BY EV CHARGING STATIONS:
REQUIRED: 3% = 5.25 SPACES
PROVIDED: 3.4% = 6 SPACES
NOTE: 35 SPACES MUST BE EV-STATION- READY WITH CONDUIT
INSTALLED DURING SITE CONSTRUCTION

BICYCLE PARKING

REQUIRED:	MAX. 126 UNITS 1 SPACE PER 4 UNITS = 32 SPACES Residential: 10% short term = 3-4 (OUTSIDE) 90% long term = 28-29 (PROTECTED)
PROVIDED:	4 SPACES (2 LOOPS) OUTSIDE - 1 loop at basketball court 1 loop at middle apartment area 50 PROTECTED SPACES IN OUTDOOR PROTECTED AREAS AND WITHIN BUILDINGS 9 loops / 18 spaces in locked facilities adjacent to apartment buildings 3 loops / 6 spaces at common shelter 26 4'x6' lockable porch closets at townhomes

LIST OF SHEETS

CZ-0.0	COVER & AREA MAP
CZ-1.0	EXISTING CONDITIONS
CZ-1.1	CONSTRUCTION MANAGEMENT PLAN
CZ-2.0	SITE LAYOUT PLAN
CZ-3.0	GRADING AND STORMWATER PLAN
CZ-4.0	reserved for erosion control
CZ-5.0	UTILITY PLAN
CZ-6.0	PRELIMINARY LIGHTING PLAN
CZ-7.0	LANDSCAPE PLAN
CZ-7.1	LANDSCAPE CALCS AND TREESAVE PLAN
CZ-8.0	SITE DETAILS
CZ-8.1	SITE DETAILS
PD-001	TYPICAL TOWNHOME ELEVATIONS
PD-002	4-BEDROOM DUPLEX ELEVATIONS
PD-003	3-BEDROOM DUPLEX ELEVATIONS
PD-004	CASA BUILDING A ELEVATIONS
PD-005	CASA BUILDING B ELEVATIONS
PD-006	CASA BUILDING C ELEVATIONS



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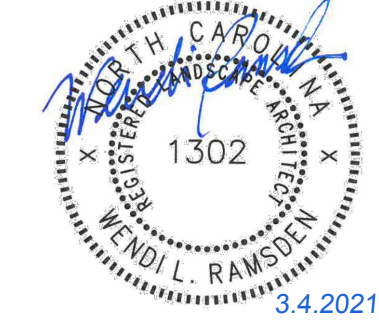


Project:

2200
Homestead
Road

Chapel Hill
North Carolina

PIN: 9870912947



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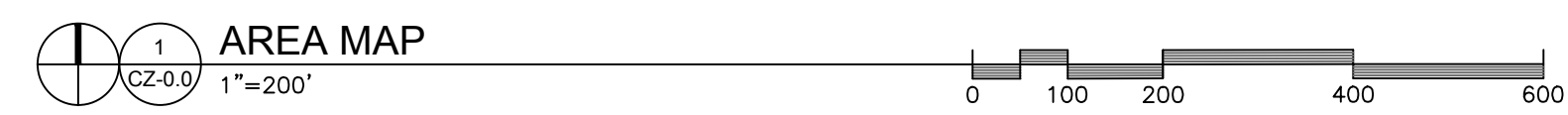
Conditional Zoning Plan

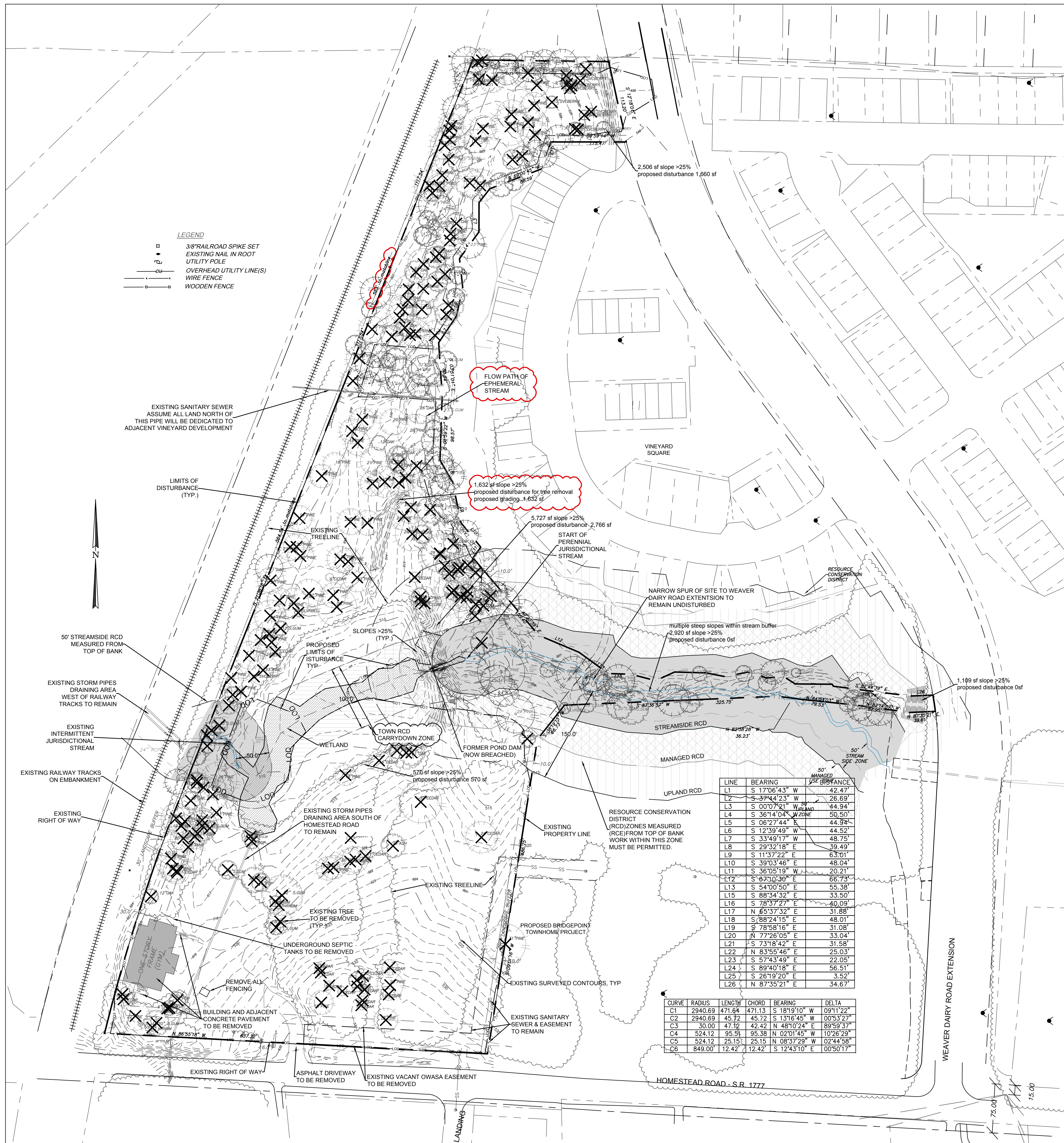
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COVER &
AREA MAP

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CZ-0.0



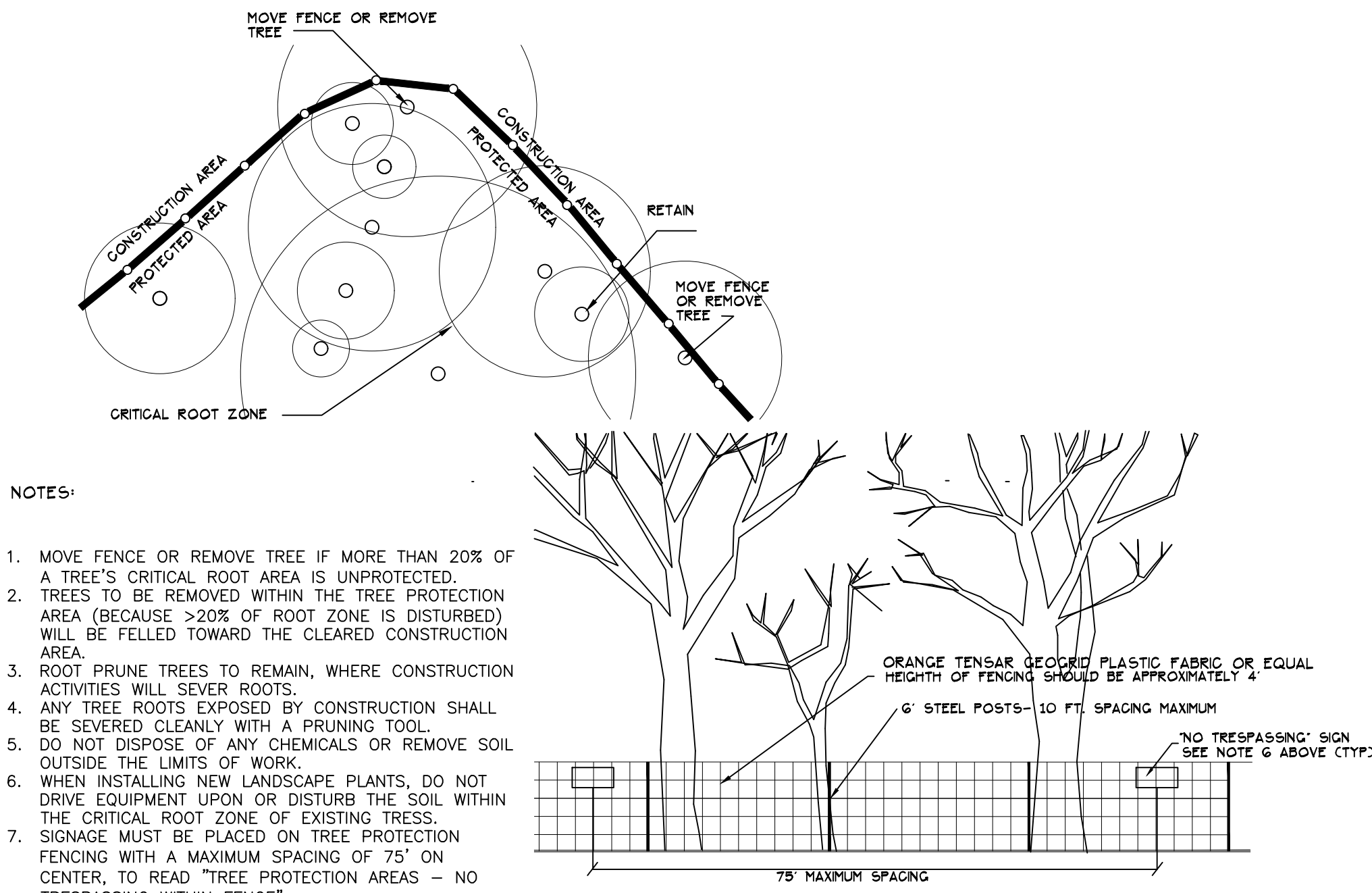


1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION. SEE SITE PLAN SHEET C101 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
2. UTILITIES: SEE UTILITY PLAN CZ-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
3. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
4. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
5. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
6. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
7. ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
8. ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
9. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY SPECIFICATIONS AND STANDARDS.
10. A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY OCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING CONVENIENCE STORE AND 2 STORY STRUCTURE. CONTACT OCSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT.
11. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
12. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
13. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
14. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
15. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
16. ASBESTOS ABATEMENT REPORT MAY BE REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
17. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS. 2018 NC FIRE CODE SECTION 105.6.17 #5.
18. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17 #7.
19. TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006

DEMOLITION NOTES

1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT. SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

EROSION CONTROL NOTES



TREE PROTECTION FENCING

NTS

slope >25%
total area on site of slope >25% = 13,894 sf
total proposed disturbance = 6,058 sf (43.6%)

STEEP SLOPES ANALYSIS

NTS



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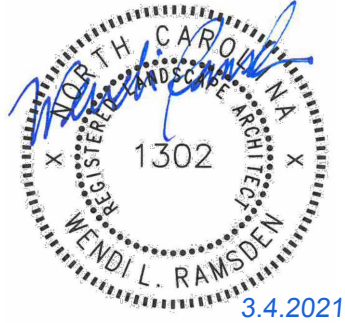


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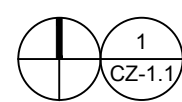
Conditional Zoning Plan

Sheet Title:

EXISTING
CONDITIONS &
DEMOLITION

Sheet Number

CZ-1.0



CONSTRUCTION MANAGEMENT PLAN

1
CZ-1.1
1"=50'

EXISTING SANITARY SEWER
ASSUME ALL LAND NORTH OF
THIS PIPE WILL BE DEDICATED TO
ADJACENT VINEYARD DEVELOPMENT

FLOW PATH
OF EPHEMERAL
STREAM

EXISTING TREELINE

START OF
PERENNIAL
JURISDICTIONAL
STREAM

NARROW SPUR OF
SITE TO WEAVER
DAIRY ROAD
EXTENSION, TO
REMAIN UNDISTURBED

R-4-C

LIMITS OF
DISTURBANCE
(TYP.)

CARRY DOWN
RCD AREA

FORMER POND DAM
(NOW BREACHED)

EXISTING STORM PIPES DRAINING AREA
WEST OF RAILWAY TRACKS
TO REMAIN

EXISTING
INTERMITTENT
JURISDICTIONAL
STREAM

EXISTING RAILWAY TRACKS
ON EMBANKMENT

EXISTING PROPERTY LINE

WETLAND

EXISTING STORM PIPES DRAINING AREA
SOUTH OF HOMESTEAD ROAD - TO REMAIN
PROTECT DURING CONSTRUCTION

RESOURCE CONSERVATION DISTRICT
(RCD) ZONES MEASURED FROM TOP OF BANK
WORK WITHIN THIS ZONE MUST BE PERMITTED.

EXISTING PROPERTY LINE

APPROX.
LOCATION
OWASA 30'
SS EASEMENT

PROPOSED BRIDGEPOINT
TOWNHOME PROJECT

EXISTING SANITARY SEWER TO REMAIN

TIRE WASH STATION

PROPOSED LOCATION FOR
WATER MAIN TO SERVICE THE PROJECT
REFER TO UTILITY PLAN SHEET CZ-5.0

INITIAL LOCATION FOR
CONSTRUCTION TRAILER

MAIN CONSTRUCTION PARKING

GRAVEL CONSTRUCTION
ENTRANCE RE:2/CZ-1.1

EXISTING VACANT OWASA EASEMENT
TO BE REMOVED

APPROX.
LOCATION
OWASA 30'
SS EASEMENT

ASPHALT DRIVEWAY
TO BE REMOVED
WHEN EAST SIDE OF
SITE IS GRADED

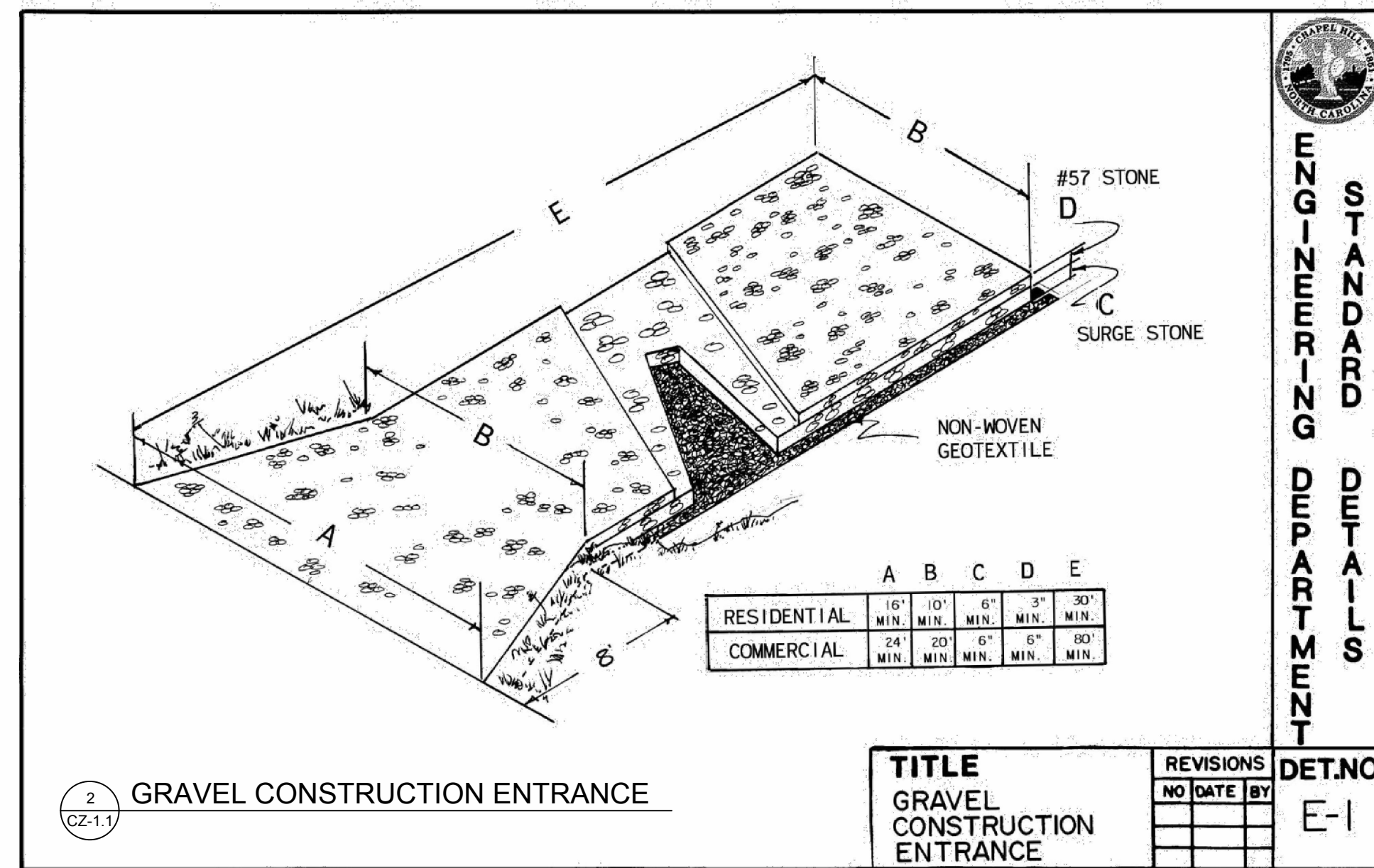
REMOVE ALL FENCING

INITIAL PHASE CONSTRUCTION
PARKING IN EXISTING GRAVEL LOT

UNDERGROUND SEPTIC TANKS TO BE REMOVED

Figure spaces

CONSTRUCTION SIGNAGE RE: 3/CZ-1.1 TO
BE INSTALLED AT PROJECT ENTRY VISIBLE FROM THE STREET



- NOTES:
- AT A MINIMUM, THE SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
 - SIGN IS TO BE A MAXIMUM OF 4' X 8'
 - SIGN IS TO BE REMOVED AT PROJECT COMPLETION
 - THE SIGN WILL NEED A SEPARATE PERMIT THROUGH TOWN OF CHAPEL HILL PLANNING DEPARTMENT

DARK SIGN WITH
WHITE LETTERING

BOLT SIGN TO
POSTS



4"x4" PRESSURE
TREATED POSTS
DIRECT BURIED

MINIMUM LETTER
HEIGHT: 4"

CONSTRUCTION SIGNAGE

CONSTRUCTION STAGING NOTES

- EXISTING GRAVEL PARKING IS TO BE LEFT INTACT FOR CONSTRUCTION WORKERS UNTIL WORK IS DONE IN EACH AREA AND GRAVEL NEEDS TO BE REMOVED.
- NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
- CURB AND GUTTER AND AT LEAST THE FIRST LIFT OF ASPHALT MUST BE LAID DOWN AHEAD OF BUILDING CONSTRUCTION.
- ON-SITE PARKING FOR INSPECTORS WILL BE PROVIDED AT EACH BUILDING FOR THE DURATION OF EACH PHASE OF BUILDING CONSTRUCTION.
- THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFIES CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS.
- MATERIAL STORAGE, PARKING, CONSTRUCTION TRAIL, AND TOILET FACILITIES MUST BE LOCATED OUTSIDE OF RCD ZONES, AND LOCATED SO THAT DRAINAGE FROM THESE SPACES DO NOT DIRECTLY DRAIN INTO THE RCD.

CONSTRUCTION MANAGEMENT NOTES

- PROJECT CONSTRUCTION WILL BE PHASED. THE MAJORITY OF THE SITE WORK WILL BE COMPLETED FIRST IN ORDER TO PROVIDE BUILDING PADS FOR VERTICAL CONSTRUCTION.
- BUILDING CONSTRUCTION WILL NOT BEGIN UNTIL THE UTILITY MAINS ARE INSTALLED AND THE FIRST LAYER OF PAVEMENT IS COMPLETE.
- A CONSTRUCTION TRAILER WILL BE INSTALLED AT THE SITE AND LOCATED APPROXIMATELY IN THE AREA OF THE PROPOSED APARTMENT BUILDINGS. THE CONSTRUCTION TRAILER MAY BE RELOCATED WITHIN THE SITE AS BUILDING CONSTRUCTION IS PERMITTED AND STARTED.
- CONSTRUCTION PARKING WILL BE ALLOWED ON SITE INITIALLY IN GRAVEL AREAS AND LATER IN PROPOSED FUTURE PARKING AREAS. AS BUILDING CONSTRUCTION BEGINS, THERE WILL BE A PARKING SPACE ALLOCATED FOR AN INSPECTOR AT EACH BUILDING.
- CONSTRUCTION TOILETS MAY NOT BE LOCATED IN RCD AREAS.
- CONSTRUCTION MATERIALS MAY BE STORED IN MULTIPLE AREAS ON SITE. CONSTRUCTION MATERIAL STORAGE WILL NOT BE ALLOWED IN RCD ZONES.

CONSTRUCTION PHASING NOTES

TRAFFIC/PEDESTRIAN CONTROL NOTES

- ANY CONSTRUCTION REQUIRING TEMPORARY LANE CLOSURES ON PUBLIC STREETS NEED TOWN APPROVAL. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
- ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
- PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-968-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.

FIRE PROTECTION NOTES

- CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
- ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
- ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYED, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.



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Conditional Zoning Plan

Sheet Title:

CONSTRUCTION
MANAGEMENT
PLAN

Sheet Number

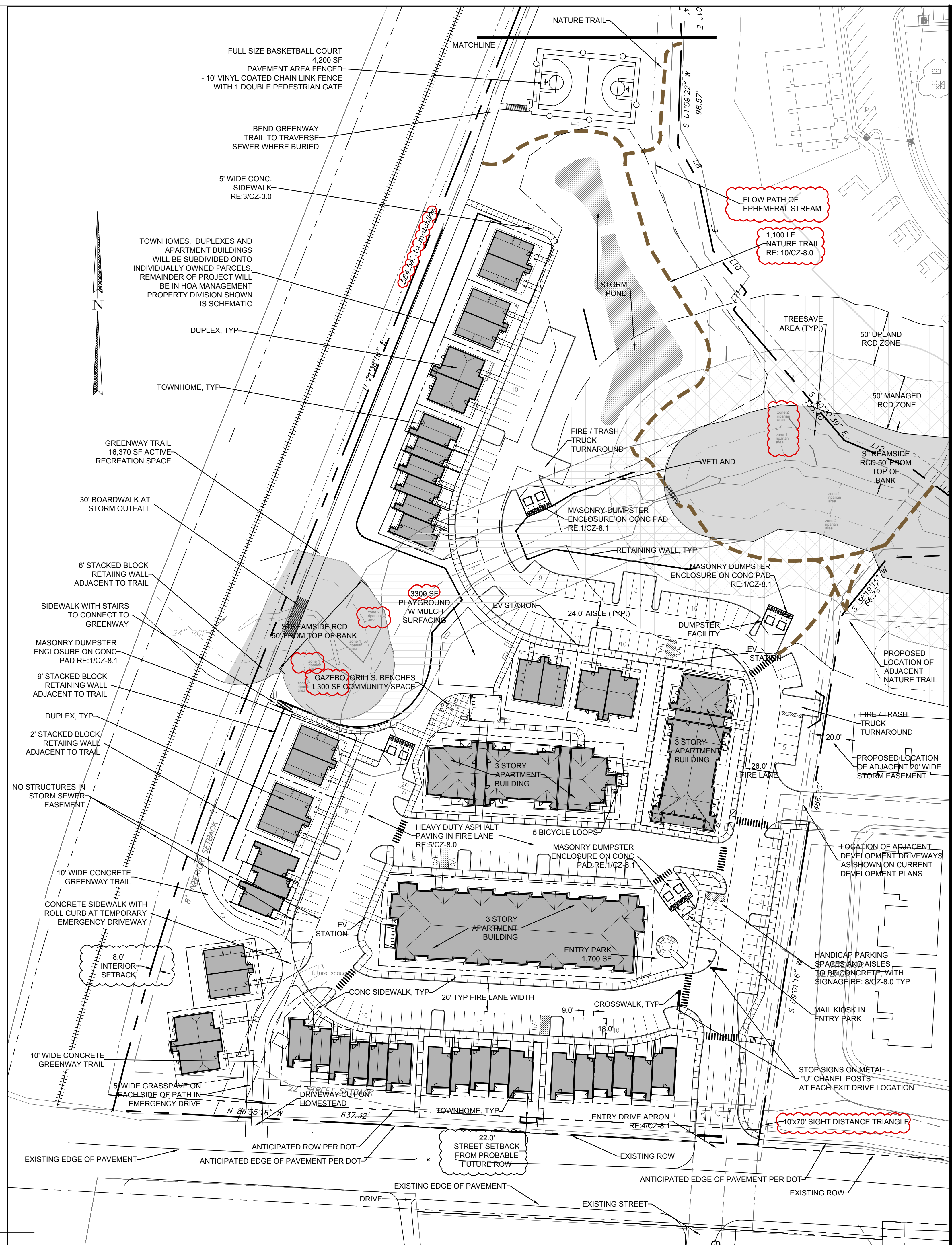
CZ-1.1



- 3 SITE LAYOUT NOTES
CZ-2

ACTIVE RECREATION SPACE PROVIDED:	
GREENWAY TRAIL	16,370 SF
PLAYGROUND	3,300 SF
BASKETBALL COURT	4,200 SF
NATURE TRAIL	4,400 SF
PICNIC SHELTER	<u>1,300 SF</u> (supports playground use)
TOTAL:	29,570 SF

4 RECREATION SPACE CALCULATIONS
CZ-2



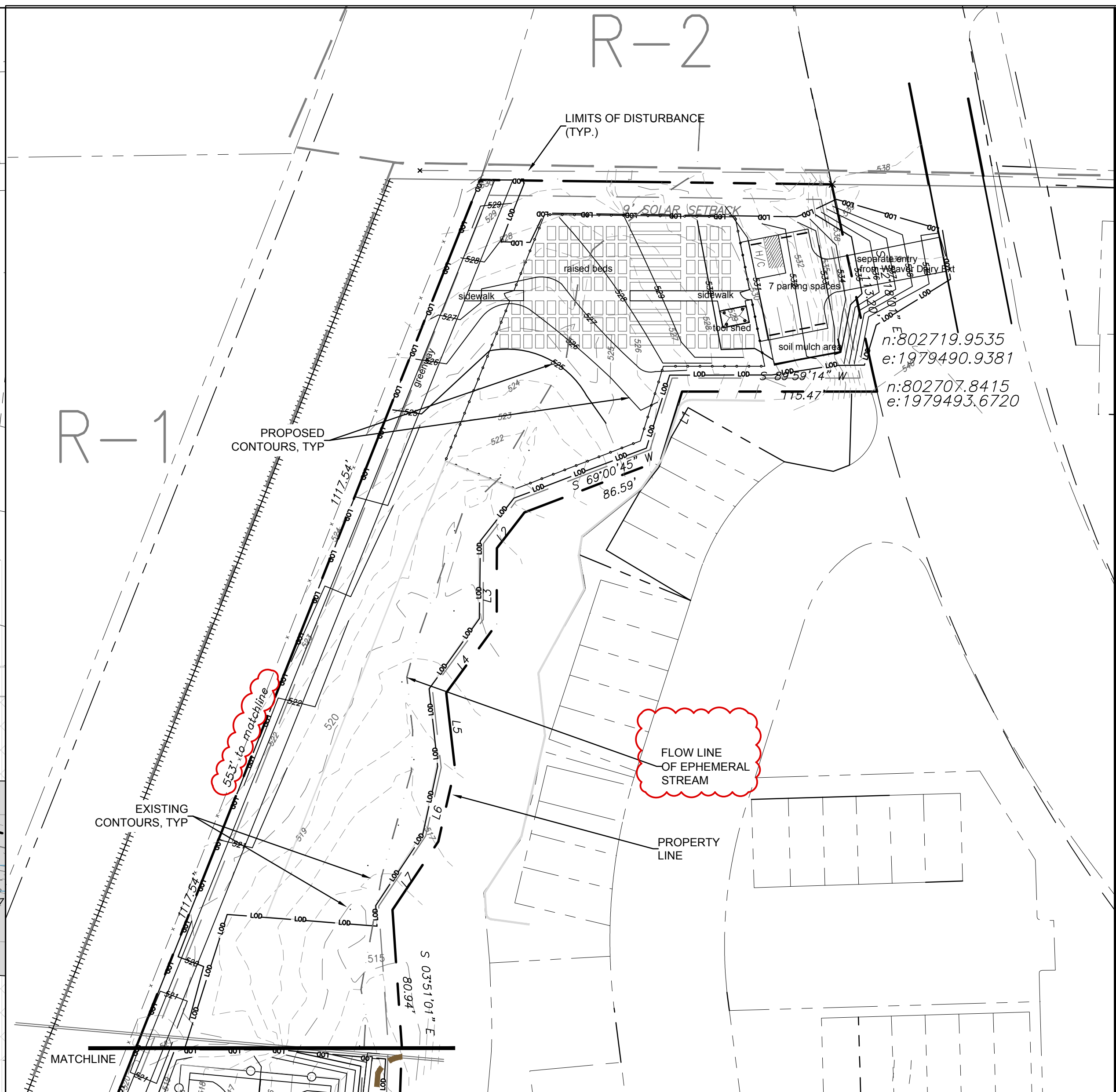
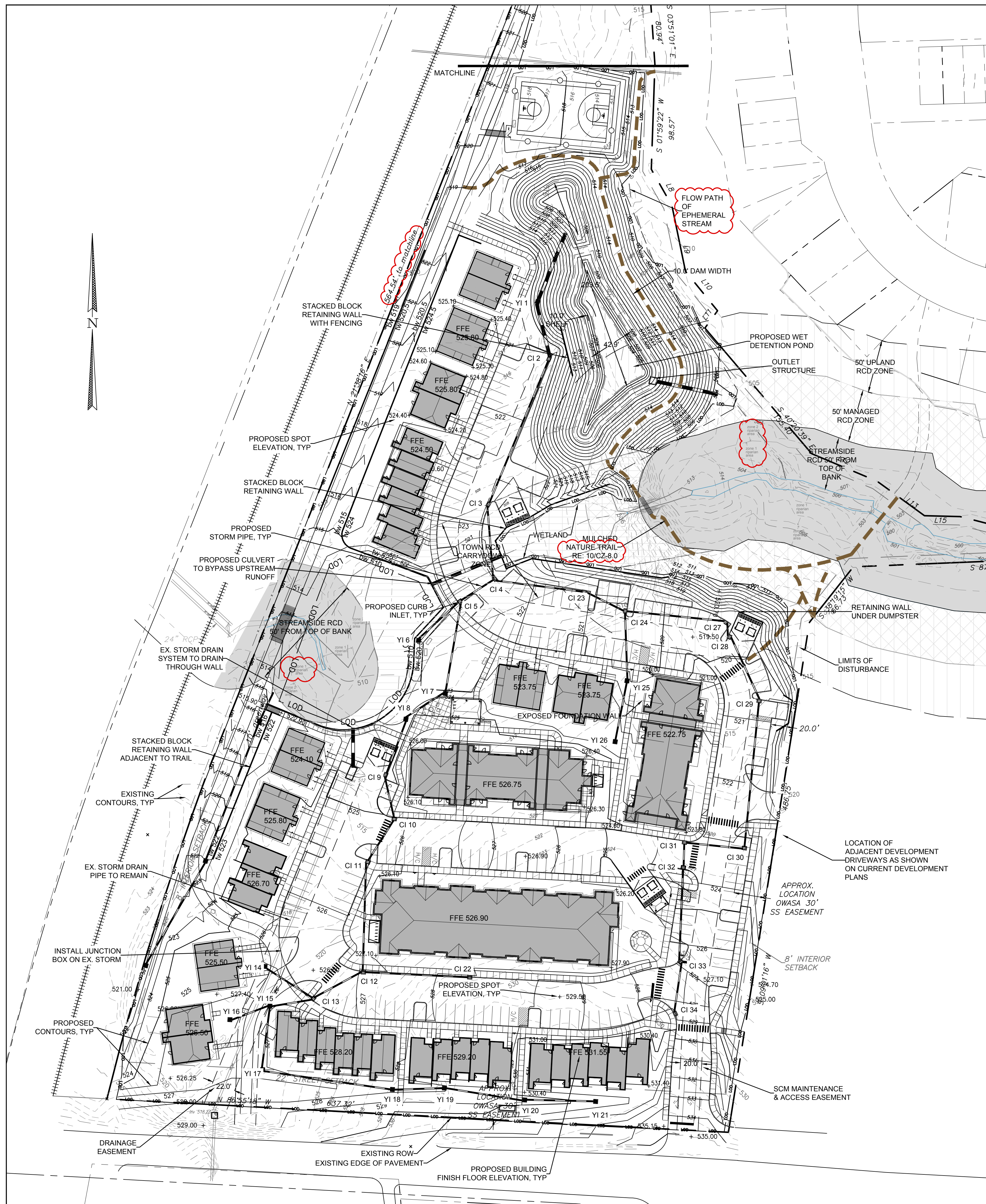
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SITE LAYOUT PLAN

Sheet Number

CZ-2.0



2 CZ-3 1"=50'

0 25 50 100 200

GRADING AND STORM DRAINAGE PLAN - NORTH

1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NC DOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. SW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.

3 CZ-3

GRADING AND STORM DRAINAGE NOTES

RCD ZONE	TOTAL AREA ON SITE	PROPOSED DISTURBANCE SF	%	ALLOWED BY ORDINANCE	PROPOSED IMPERVIOUS SF	%	ALLOWED BY ORDINANCE
streamside	86,014 SF	22,551 SF	26.2%	20 %	8,345 SF	9.7 %	10 %
managed	22,242 SF	8,860 SF	39.5 %	40 %	84 SF	0.4 %	20 %
upland	27,138 SF	22,992 SF	84.7 %	40 %	6,743 SF	30.35 %	20 %

THESE CALCULATIONS INCLUDE THE CARRY DOWN ZONE AS STREAMSIDE RCD.

4 CZ-3

RESOURCE CONSERVATION DISTRICT CALCULATIONS

1 CZ-3 1"=50'

0 25 50 100 200

GRADING AND STORM DRAINAGE PLAN



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LIC # C-104



Project:

2200
Homestead
Road

Chapel Hill
North Carolina

PIN: 9870912947



PRELIMINARY-DO NOT
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CJT Job Number: 1748

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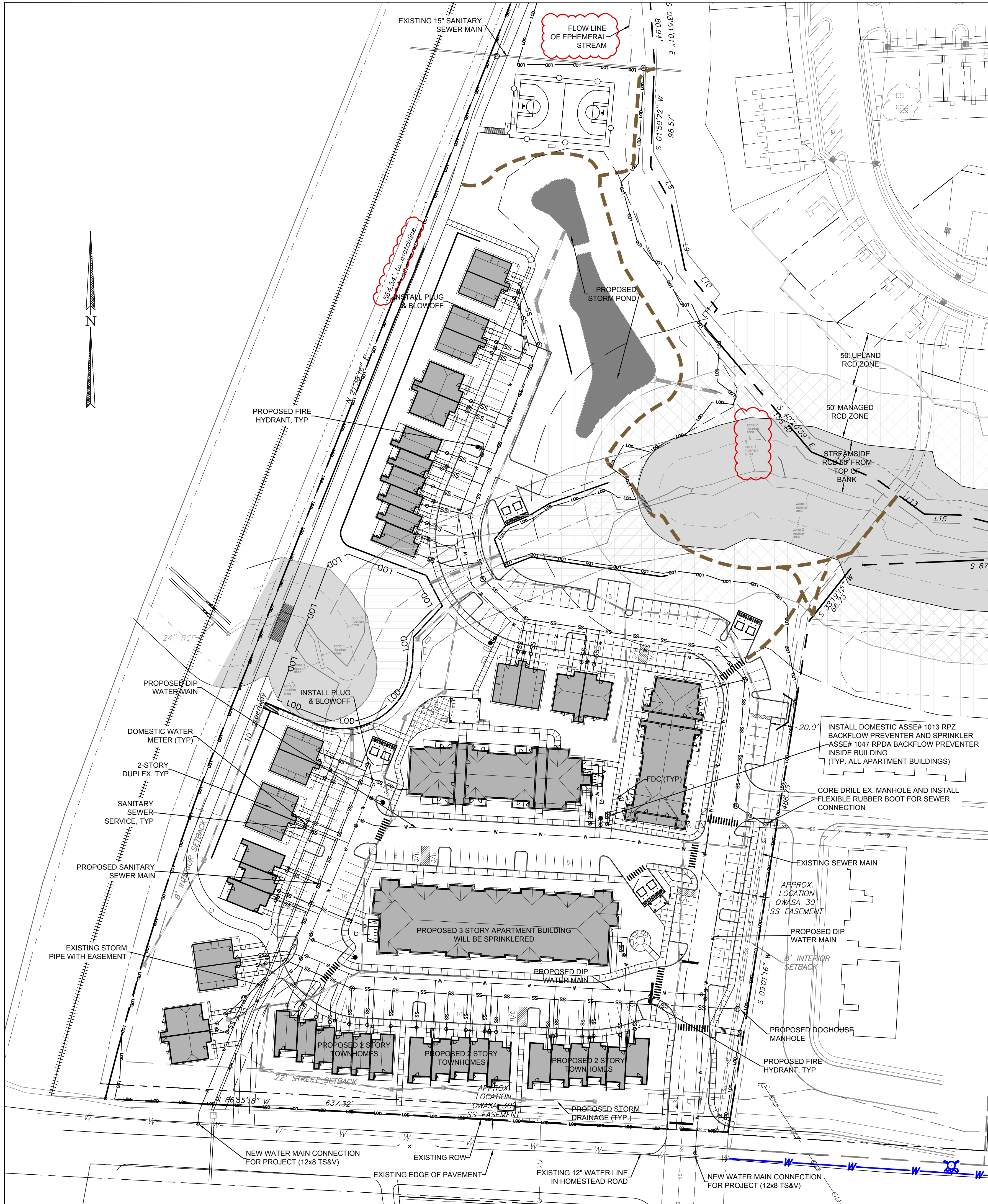
Conditional Zoning Plan

Sheet Title:

GRADING AND
STORM
DRAINAGE PLAN

Sheet Number

CZ-3.0



1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE OWASA STANDARDS AND SPECIFICATIONS.
4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
9. PROVIDE 10'-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS

SANITARY SEWER:

1. BACKWATER VALVES SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

1. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
2. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
3. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
4. MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
5. ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
6. A FIRE HYDRANT IS REQUIRED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION (FDC).
7. WATER LINES WILL CONNECT TO THE WATER MAIN ON THE NORTH SIDE OF HOMESTEAD ROAD. CONSTRUCTION METHOD WILL BE OPEN CUT THE SHORT DISTANCE TO THE MAIN. ANY UTILITY CONNECTIONS REQUIRED TO THE SOUTH SIDE OF HOMESTEAD WILL BE BORED.

2 UTILITY NOTES
CZ-5

1 UTILITY PLAN
CZ-5 1"=50'



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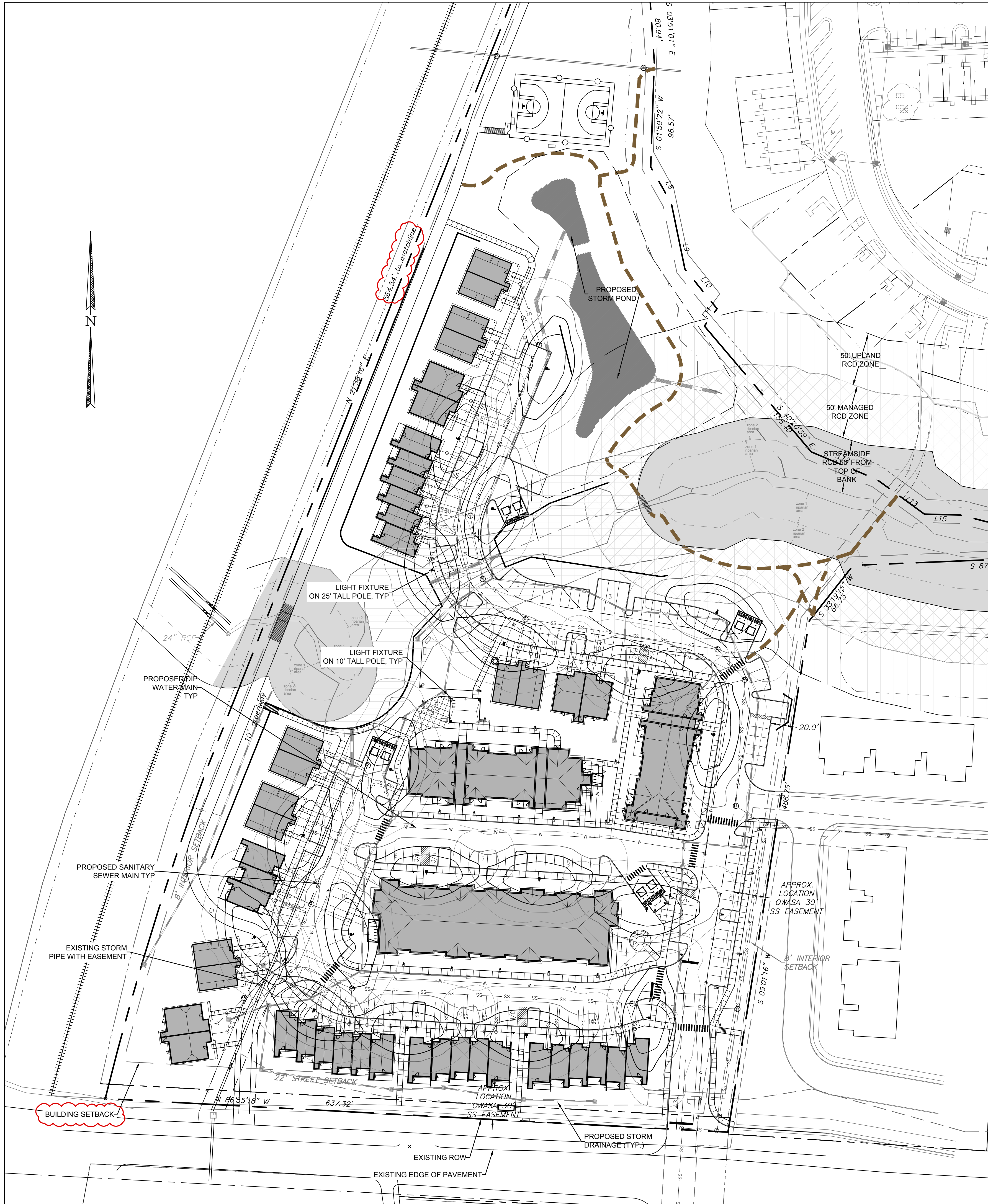
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Sheet Title:

UTILITY PLAN

Sheet Number

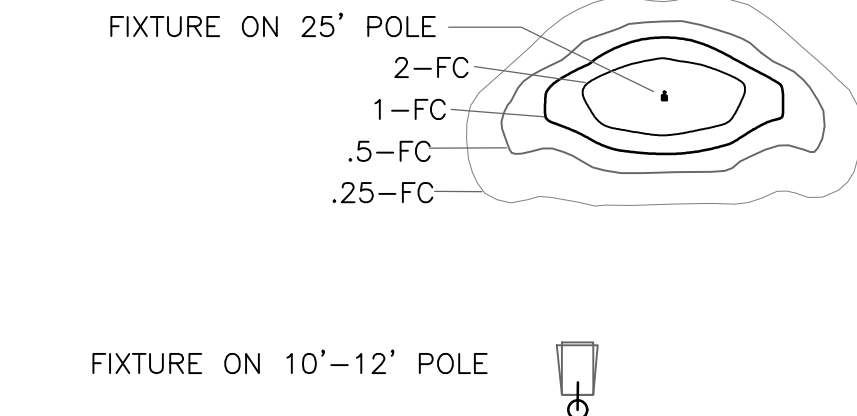
CZ-5.0



1. CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES/POLES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
2. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
3. ALL ELECTRICAL CONDUIT SHALL BE FURNISHED BY THE CONTRACTOR. LIGHT POLES AND FIXTURES TO BE FURNISHED BY DUKE ENERGY AND LOCATIONS COORDINATED BY THE CONTRACTOR.
4. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
5. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
6. ALL JOINTS ARE TO BE SOLVENT WELDED.
7. LIGHTS MUST BE LOCATED AT LEAST 10' FROM EXISTING AND PROPOSED CANOPY TREES.

2 LIGHTING NOTES

LIGHTING KEY



1 LIGHTING PLAN

1"=50'

0 25 50 100 200



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Conditional Zoning Plan

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LIGHTING PLAN

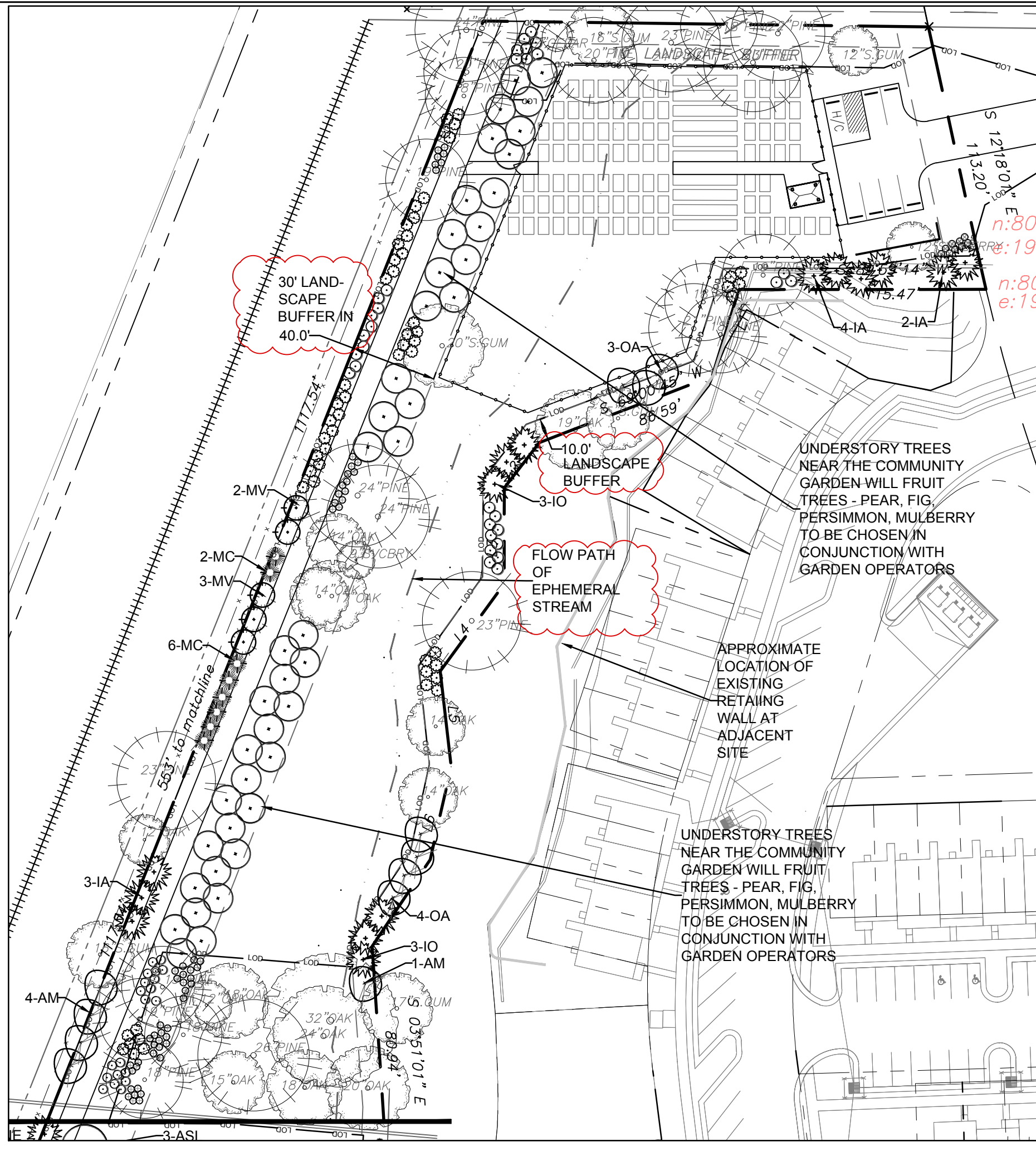
Sheet Number

CZ-6.0

1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELV WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
7. IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION.
8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
15. LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
16. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
17. THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, TREES LARGER THAN 1" CAL SHALL BE LIMBED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

3 PLANTING NOTES

CZ-7



LANDSCAPE PLAN - NORTH SITE

1"=50'

0 25 50 100

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
CANOPY TREES						
14	AF	Acer freemanii	Freeman Maple	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
5	AR	Acer rubrum 'Autumn Glory'	Autumn Glory Maple	2.5" CAL.		SINGLE TRUNK & LEADER
23	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	2.5" CAL.		SINGLE TRUNK & LEADER
15	BN	Betula nigra 'heritage'	Heritage River Birch	3" CAL total	14' ht.	AS SHOWN 3 TRUNK MINIMUM
6	MG	Magnolia grandifolia	Southern Magnolia	2.5" CAL.		
16	NS	Nyssa sylvatica	Black gum	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
33	PV	Pinus virginiana	Virginia Pine	2" cal.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
8	PS	Prunus sargentii	Sargent Cherry	2" cal.		AS SHOWN SINGLE TRUNK & LEADER
8	QS	Quercus shumardii	Shumard Oak	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
3	QV	Quercus virginiana	Live Oak	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
5	TD	Taxodium distichum	Bald Cypress	2.5" CAL.	12' ht.	AS SHOWN SINGLE TRUNK & LEADER
10	UP	Ulmus americana 'Princeton'	Princeton American Elm	2.5" CAL.	14' ht.	AS SHOWN SINGLE TRUNK & LEADER
146						
UNDERSTORY TREES						
26	AM	Amerlanchier arborea	Serviceberry	1" cal.	8' HT.	AS SHOWN MULTI-TRUNK
15	CC	Cercis canadensis 'Hearts of Gold'	Hearts of Gold Redbud	1" cal.	8' HT.	AS SHOWN SINGLE TRUNK & LEADER
28	CF	Cornus florida	Dogwood	1" cal.	8' HT.	AS SHOWN
10	CV	Chionanthus virginiana	Fringetree	1" cal.	8' HT.	AS SHOWN
30	IA	Ilex x attenuata 'Fosteri'	Foster Holly	8' HT.	AS SHOWN	
18	INS	Ilex Nellie Stevens	Nellie Stevens Holly	8' ht.	AS SHOWN	
16	IO	Ilex opaca	American Holly	1" cal.	6' HT.	8' O.C. SINGLE TRUNK & LEADER
28	JV	Juniperus virginiana	Eastern Redcedar	8' HT.	AS SHOWN	FULL AND MATCHING
7	LI	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	8-10' HT.	AS SHOWN	MULTI-TRUNK
57	MC	Myrica cerifera	Eastern Waxmyrtle	8' HT.	AS SHOWN	FULL
6	MLG	Magnolia grandiflora 'Little Gem'	Little Gem Magnolia	1.5" cal.	8' ht.	10' O.C. FULL AND MATCHING
22	MV	Magnolia virginiana	Sweetbay Magnolia	1.5" cal.	8' ht.	AS SHOWN FULL
18	OA	Oxydendron arboreum	Sourwood	1.5" cal.	8' HT.	AS SHOWN FULL
27	TGG	Thuja x Green Giant	Green Giant Arborvitae	1.5" cal.	8' HT.	AS SHOWN FULL
42		Fig, pear, persimmon, mulberry trees for planting near community garden		8' ht.	12' O.C.	FULL
350						
SHRUBS						
CI		Camellia japonica	Camellia	24" ht.		5' o.c. FULL AND MATCHING
CHF		Cephalotaxus harringtonia 'Fastigiate'	Upright Plum Yew	24" ht		5' o.c. FULL AND MATCHING
DG		Deutzia gracilis	Slender Deutzia	24" ht		4' o.c. FULL
GJ		Gardenia jasminoides	Gardenia	24" ht		5' o.c. FULL AND MATCHING
HQ		Hydrangea quercifolia	Oakleaf Hydrangea	24" ht		5' o.c. FULL AND MATCHING
ICC		Ilex cornuta 'carissa'	Carissa Holly	15" HT.		30" O.C. FULL AND MATCHING
IG		Ilex glabra	Inkberry Holly	15" HT.		36" O.C. FULL AND MATCHING
IL		Illicium parvifolia	Anise	24" ht		4' o.c. FULL AND MATCHING
IVN		Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	24" ht		4' o.c. FULL AND MATCHING
JC		Juniperus chinensis 'Sea Green'	Sea Green Juniper	18" HT.		36" O.C. FULL AND MATCHING
LE		Loropetalum chinense 'Emerald'	Emerald Loropetalum	15" HT.		36" O.C. FULL AND MATCHING
LOR		Loropetalum chinense	Loropetalum	24" ht		42" O.C. FULL AND MATCHING
PEN		Pennisetum	Fountain Grass	1 gal		36" O.C. FULL AND MATCHING
PC		Prunus caroliniana 'Otto Luyke'	Otto Luyke	18" HT.		36" O.C. FULL AND MATCHING
SR		Sarcococca rustica	Sweetbox	18" HT.		36" O.C. FULL AND MATCHING
WS		Weigela 'Florida Variegata'	Variegated Weigela	18" HT.		36" O.C. FULL AND MATCHING
0						
GROUND COVER						
AR		LAWN/Fescue	3 var improved seed mix			SEED

3 PLANT LIST

CZ-7



LANDSCAPE PLAN

1"=50'

0 25 50 100 200



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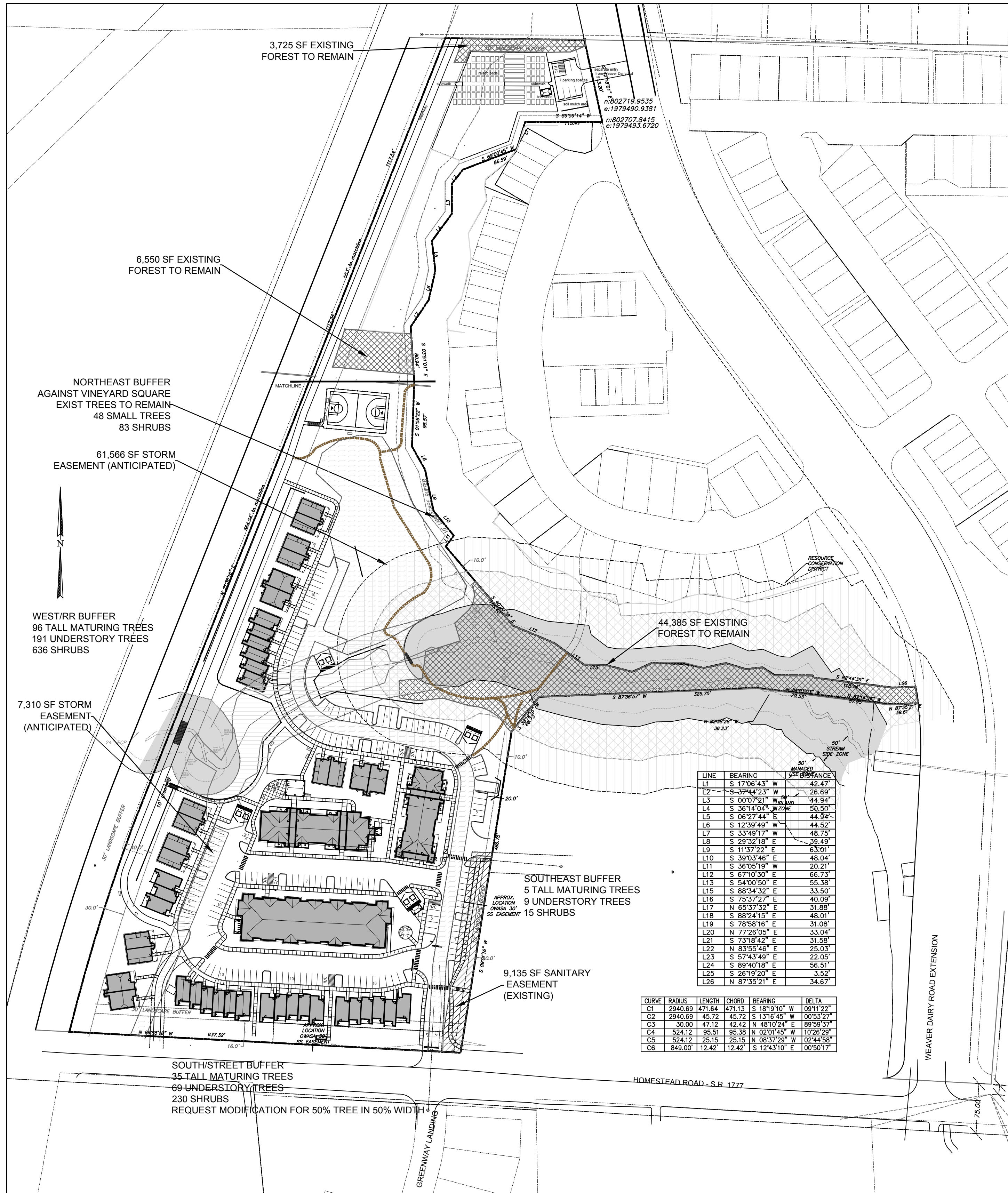
Conditional Zoning Plan

Sheet Title:

LANDSCAPE PLAN

Sheet Number

CZ-7.0



2 TREE COVERAGE SUMMARY

TREE COVERAGE CALCULATIONS

NET LAND AREA: 541,157 SF
LESS ANTICIPATED STORM EASEMENT 68,876 SF
LESS EXISTING UTILITY EASEMENTS 9,135 SF (private water and sewer)
LESS ANTICIPATED LAND TO PUBLIC ROW 11,055 SF
NET SITE SIZE 452,091 SF

REQUIRED TREE COVERAGE 30% OF SITE = 135,627 SF

PROVIDED TREE COVERAGE:

RETAINED CANOPY COVERAGE: 54,660 SF
162 NEW CANOPY TREES X 500 SF = 81,000 SF CREDIT
TOTAL TREE COVERAGE = 135,660 SF = 30%

# Required per 100'	Required Plantings:	Existing Plantings	Plantings Provided
---------------------	---------------------	--------------------	--------------------

West Buffer "D" - against railway tracks

30' Wide	6 Large Tree	= 95.4	96 Large Trees	- 0	= 96 Large Trees
1589 LF	12 Small Tree	= 190.7	191 Small Trees	- 0	= 191 Small Trees
(Internal)	40 Shrubs	= 635.6	636 Shrubs	- 0	= 636 Shrubs

South Buffer "D" - Homestead Frontage

Modification request to reduce buffer to 50% requirement due to shifting right of way

Plant half of:

30' Wide	6 Large Tree	= 34.5	18 Large Trees	- 0	= 18 Large Trees
574 LF	12 Small Tree	= 68.9	35 Small Trees	- 0	= 35 Small Trees
(External)	40 Shrubs	= 229.6	115 Shrubs	- 0	= 115 Shrubs

Southeast Buffer "B" - Adjacent to Bridgepoint

Modification request to plant nothing - to be installed on adjacent parcel

Plant none of:

0 Wide	4 Large Tree	= 6.3	7 Large Trees	- 0	= 7 Large Trees
313 LF	7 Small Tree	= 11.0	11 Small Trees	- 0	= 11 Small Trees
(Internal)	12 Shrubs	= 18.8	19 Shrubs	- 0	= 19 Shrubs

Midwest Buffer "B" - Adjacent to Bridgepoint

Entire buffer width will be planted on project parcel

10' Wide	4 Large Tree	= 3.7	4 Large Trees	- 0	= 8 Large Trees
181 LF	7 Small Tree	= 6.4	7 Small Trees	- 0	= 13 Small Trees
(Internal)	12 Shrubs	= 10.9	11 Shrubs	- 0	= 22 Shrubs

Northeast Buffer "B" - Adjacent to Vineyard Square

10' Wide	4 Large Tree	= 27.4	28 Large Trees	- 28	= 0 Large Trees
1036 LF	7 Small Tree	= 47.9	48 Small Trees	- 0	= 48 Small Trees
(Internal)	12 Shrubs	= 82.1	83 Shrubs	- 0	= 83 Shrubs

3 BUFFER CALCULATION SUMMARY

Parking Lot Shading

Lot	Paved Area	# Required per 2000 Sf	Required Plantings:	Plantings Provided
South	14,625 SF	1 Canopy Tree	7.4	8 Large Trees
West	10,100 SF	1 Canopy Tree	5.1	6 Large Trees
Middle	11,555 SF	1 Canopy Tree	5.8	6 Large Trees
East	21,255 SF	1 Canopy Tree	10.7	11 Large Trees
Northwest	23,720 SF	1 Canopy Tree	11.9	12 Large Trees

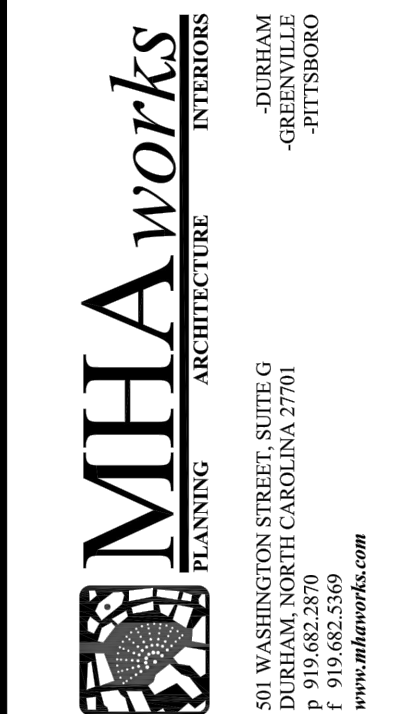
4 PARKING LOT CALCULATION SUMMARY



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Conditional Zoning Plan

Sheet Title:

LANDSCAPE PLAN

Sheet Number

CZ-7.1

Diagram illustrating the cross-section of a 18" curb and gutter. The diagram shows the following components and dimensions:

- FINISHED GRADE**: The top surface of the curb.
- BACKFILL**: The material behind the curb.
- ADJACENT PAVEMENT**: The surface adjacent to the gutter.
- CAST-IN-PLACE CONCRETE 3000 PSI**: The concrete layer forming the gutter.
- STONE BASE MATERIAL**: The material filling the gutter.
- COMPACTED SUBGRADE**: The base layer beneath the concrete.

Dimensions:

- Curb width: 6"
- Gutter width: 6"
- Total width: 12"
- Curb height: 18"
- Radius: 3" R
- Vertical face: 1"

18" CURB AND GUTTER

1 ON SITE CURB & GUTTER
CZ-8.0
no scale

3"- TYPE 9-9.5 B SURFACE COURSE
PLACED IN TWO LAYERS

8" AGGREGATE BASE
COURSE COMPACTED

COMPACTED SUBGRADE

4 STANDARD ASPHALT PAVING
CZ-8.0 no scale

Diagram illustrating the cross-section of a 30" Curb and Gutter assembly. The assembly consists of the following layers and components:

- FINISHED GRADE**: The top surface of the curb and gutter.
- BACKFILL**: The material behind the curb.
- ADJACENT PAVEMENT**: The surface adjacent to the curb.
- CAST-IN-PLACE CONCRETE 3000 PSI**: The concrete curb structure.
- STONE BASE MATERIAL**: The base material beneath the concrete curb.
- COMPACTED SUBGRADE**: The base material beneath the stone base material.

Dimensions and details shown in the diagram:

- 3" R**: Radius of the curb top.
- 1"**: Thickness of the concrete curb top.
- 6"**: Width of the curb base.
- 6"**: Width of the curb top.
- 24"**: Width of the gutter.
- 30" CURB AND GUTTER**: Total width of the assembly.

2 OFF SITE CURB & GUTTER
CZ-8.0
no scale

2"- S9.5C SURFACE COURSE ASPHALT

3"- I19.0C INTERMEDIATE COURSE ASPHALT

10" AGGREGATE BASE COURSE COMPACTED

WOVEN GEOTEXTILE SEPARATION FABRIC (IF REQUIRED BASED ON ASSESSMENT BY GEO-TECHNICAL ENGINEER)

COMPACTED SUBGRADE

5 HEAVY DUTY ASPHALT PAVING
CZ-8.0 no scale

3 CONCRETE SIDEWALK
CZ-8.0
no scale

6"

6"

4000 PSI CONCRETE PAVEMENT

AGGREGATE BASE COURSE
COMPACTED

COMPACTED SUBGRADE

6 HEAVY DUTY CONCRETE PAVING
CZ-8.0 no scale

The diagrams illustrate three types of pavement joints:

- TYP. CONTROL JOINT:** Shows a cross-section of a pavement slab with a vertical joint. A 1/2" tooled joint scoring pattern is indicated on the top surface. The subgrade is labeled as 98% compacted subgrade in the upper 12".
- TYP. EXPANSION JOINT:** Shows a cross-section of a pavement slab with a vertical joint. A 1/2" tooled joint is indicated on the top surface. The subgrade is labeled as 98% compacted subgrade in the upper 12".
- EXPANSION JOINT AT WALL:** Shows a cross-section of a pavement slab with a vertical joint. A 1/2" pre-molded bituminous expansion joint is shown on the plan. The subgrade is labeled as 98% compacted subgrade in the upper 12". The joint is located at the wall of a building (BLDG. FACE).

7 WHEELSTOP
CZ-8.0 no scale

A cross-sectional diagram of a concrete wheel stop. The diagram shows a concrete structure on an asphalt parking lot. Labels include: SIDEWALK OR PLANTINGS, 2' (width of the concrete structure), CONCRETE WHEEL STOP, ASPHALT PARKING LOT, and #4 REBAR, 2' LONG 2 PER WHEEL STOP. A vertical line indicates the rebar placement.

8 ADA PARKING LAYOUT AND SIGNAGE
CZ-8.0 no scale

PLAN VIEW

9 EXTERIOR BICYCLE PARKING
CZ-8.0 no scale

10 NATURE TRAIL PROFILE
CZ-8.0 no scale

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Chapel Hill
North Carolina

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CJT Job Number: 1748

Drawn	WLR, PBR, MTC
Checked	WLR, PBR
Date	10-29-20
Revisions	CZ RESUBMITTAL 2-5-21
	CZ RESUBMITTAL 3-4-21

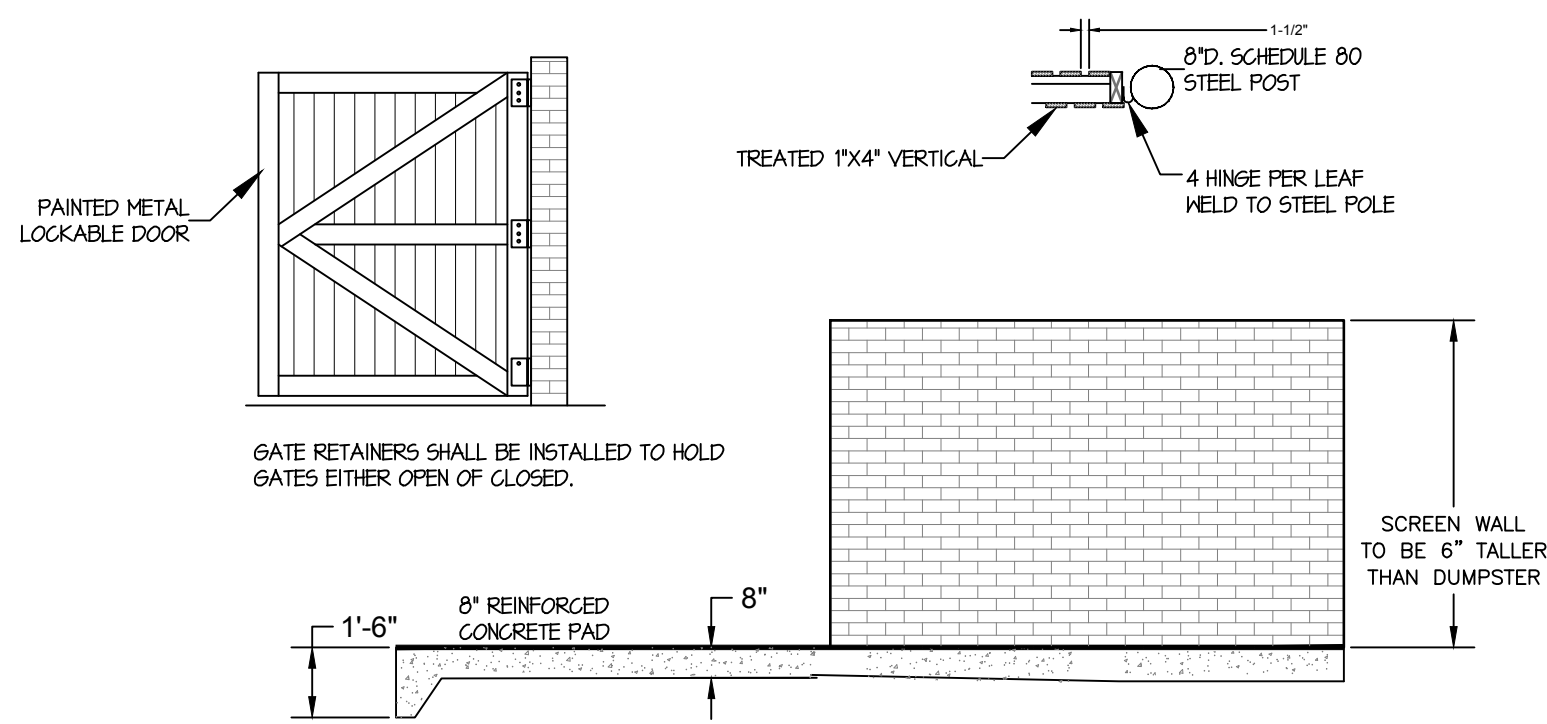
Conditional Zoning Plan

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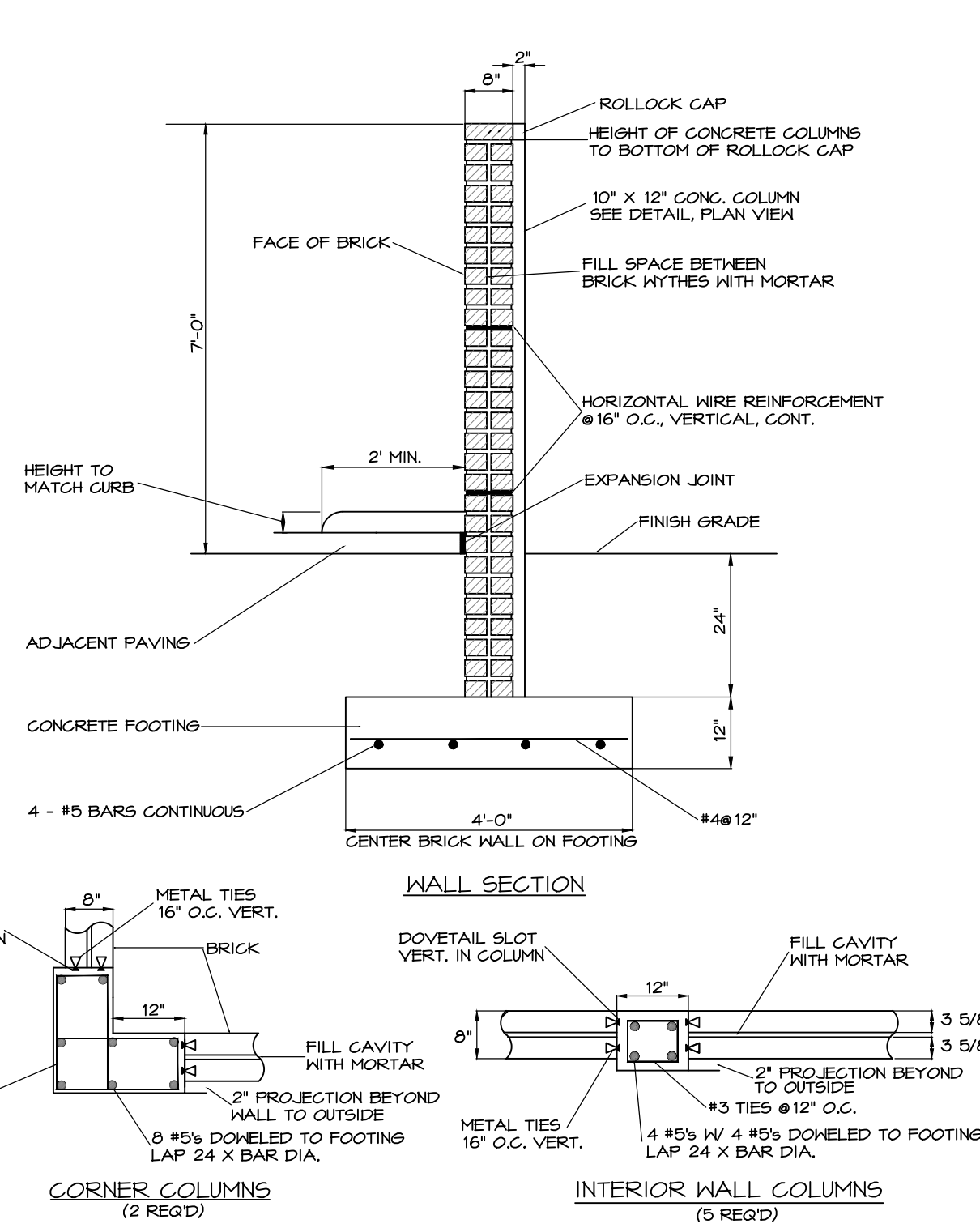
SITE DETAILS

Sheet Number

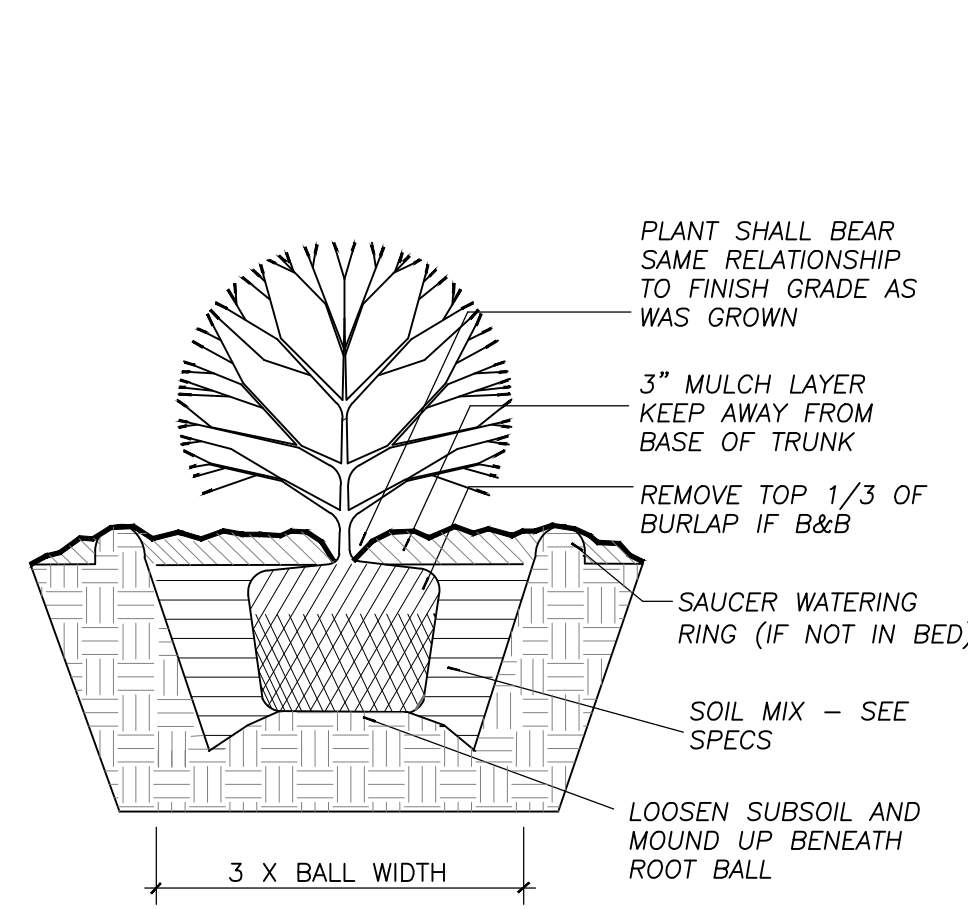
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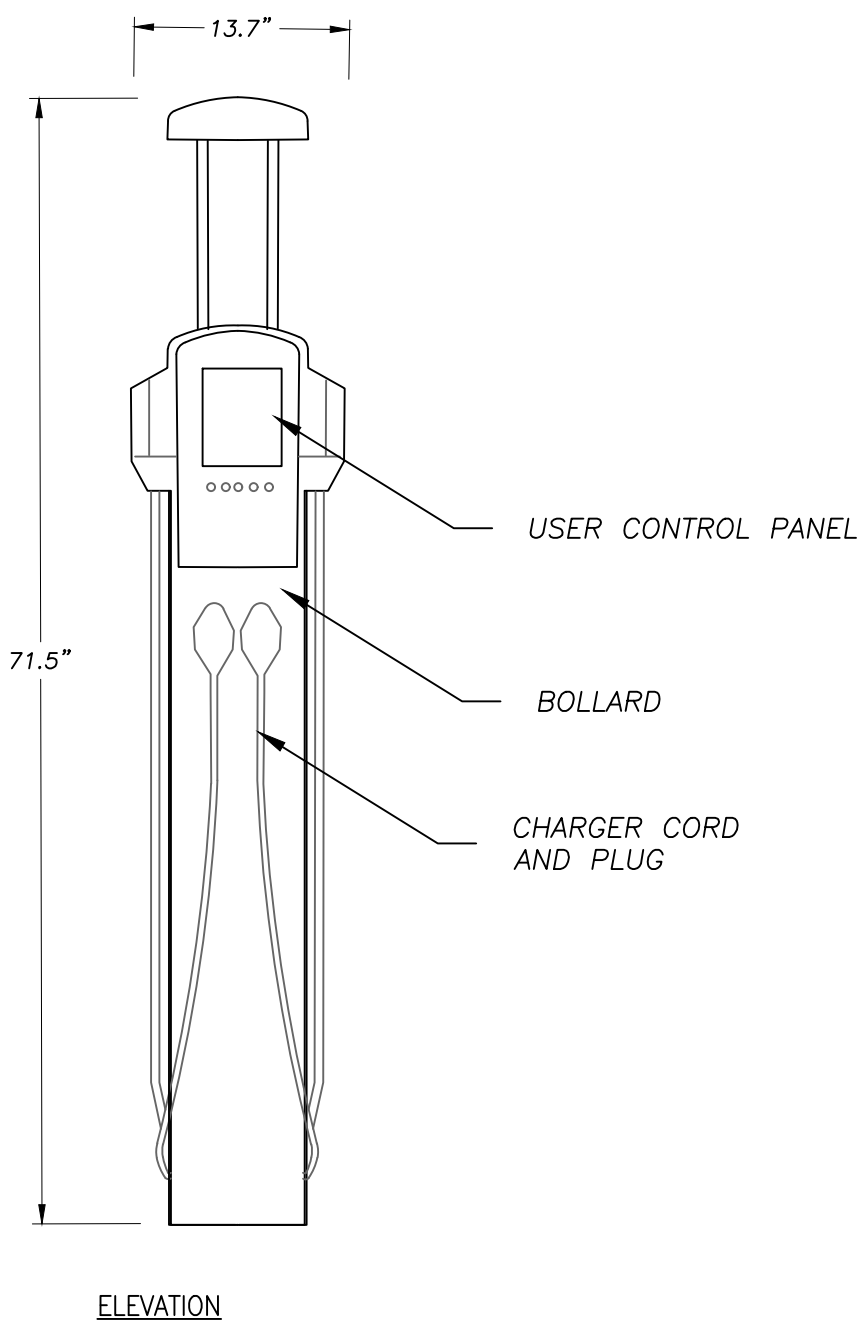
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SCALE: 1" = 10'



2 SHRUB DETAIL
NO SCALE

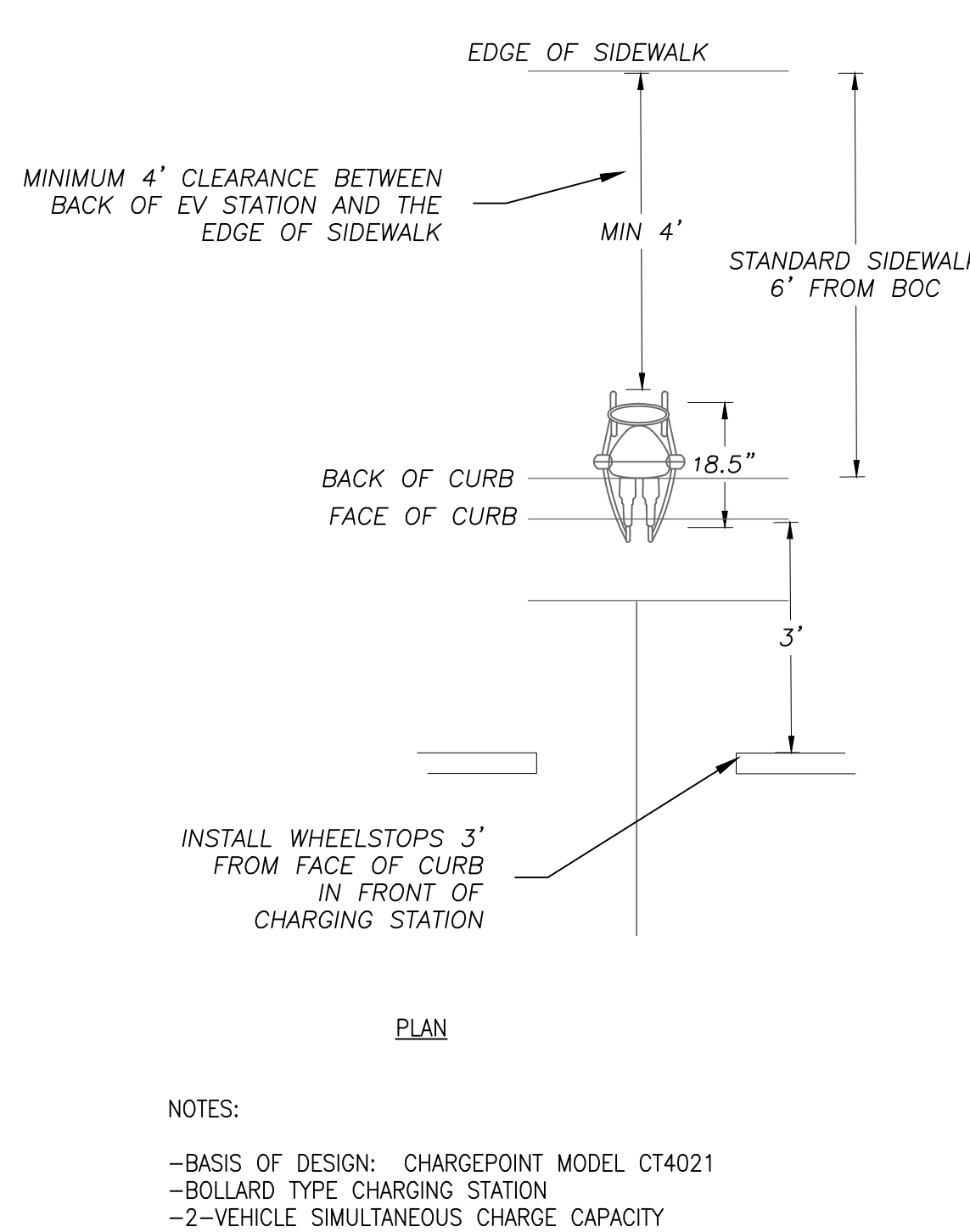


3 TREE PLANTING DETAIL
NO SCALE



4 DRIVEWAY APRON
no scale

5 EV CHARGING STATION AND ADJACENT SIDEWALK
no scale



CJT PA.

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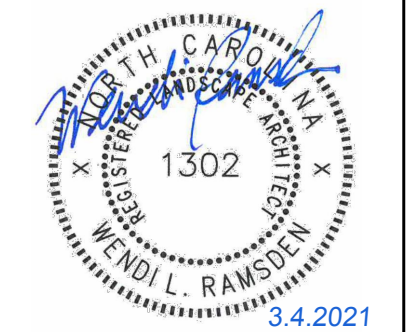
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CJT Job Number: 1748

Drawn	WLR PBR MTC
Checked	WLR PBR
Date	10-29-20
Revisions	CZ RESUBMITTAL 2-9-21
	CZ RESUBMITTAL 3-4-21

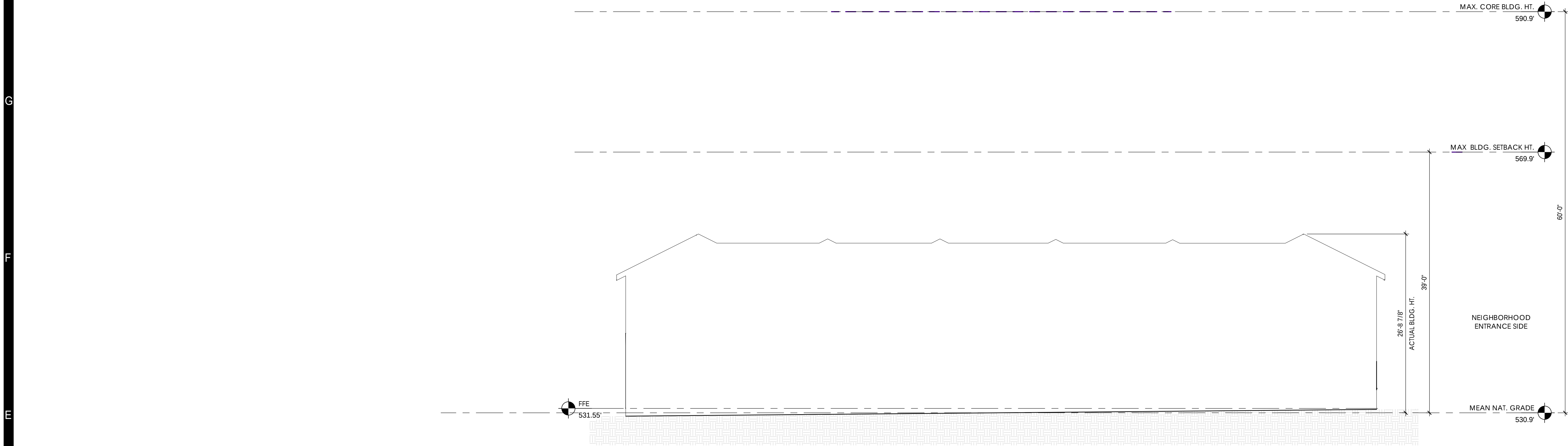
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Sheet Title:

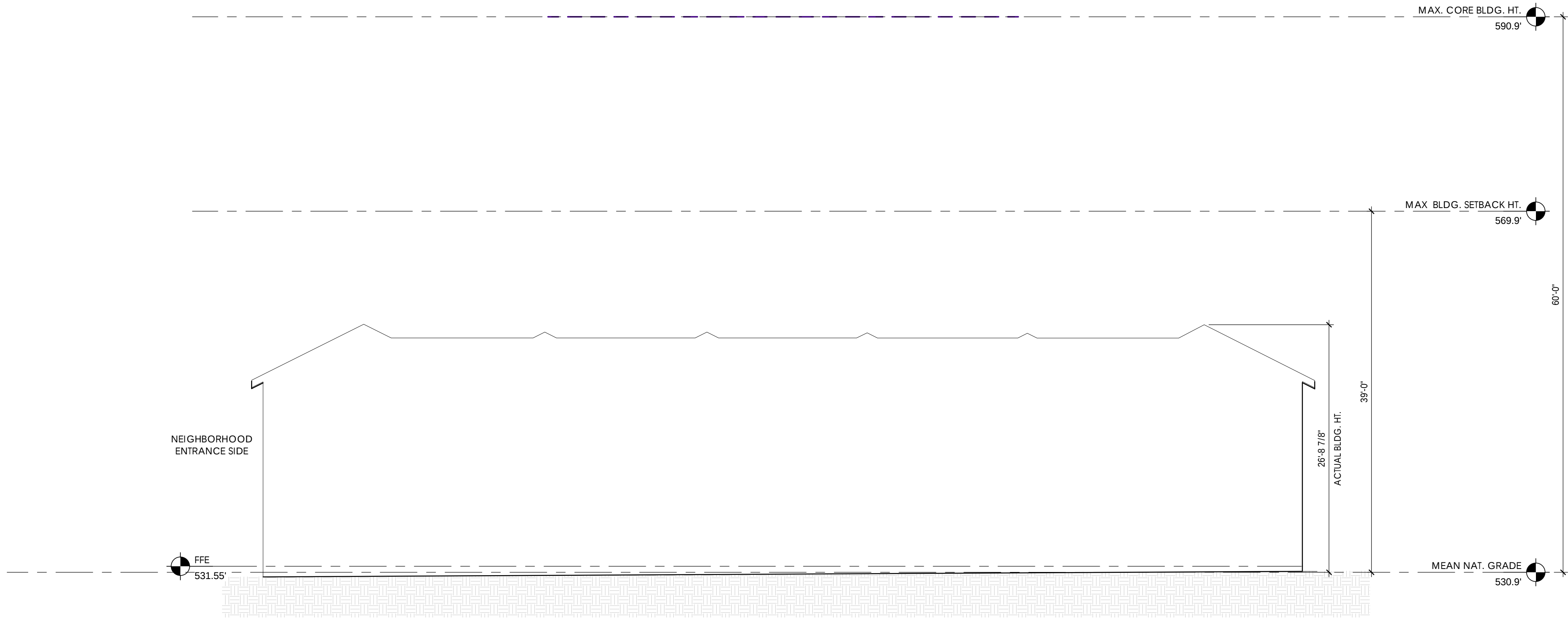
SITE
DETAILS

Sheet Number
CZ-8.1

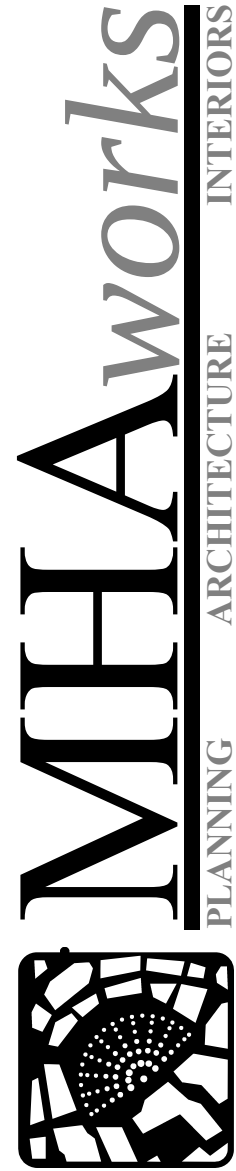
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BIM 360://17147_Homestead Rd/17147_CH HS townhome R20.rvt



2 TOWNHOME Elevation - South - Homestead Rd. side
1/8" = 1'-0"



1 TOWNHOME - Elevation - North - Neighborhood side
1/8" = 1'-0"



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TOWN OF CHAPEL HILL
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REVISIONS:

#	DESCRIPTION:	DATE
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SHEET NAME:
TYPICAL TOWNHOME
ELEVATIONS

PHASE:
SITE PLAN APPROVAL

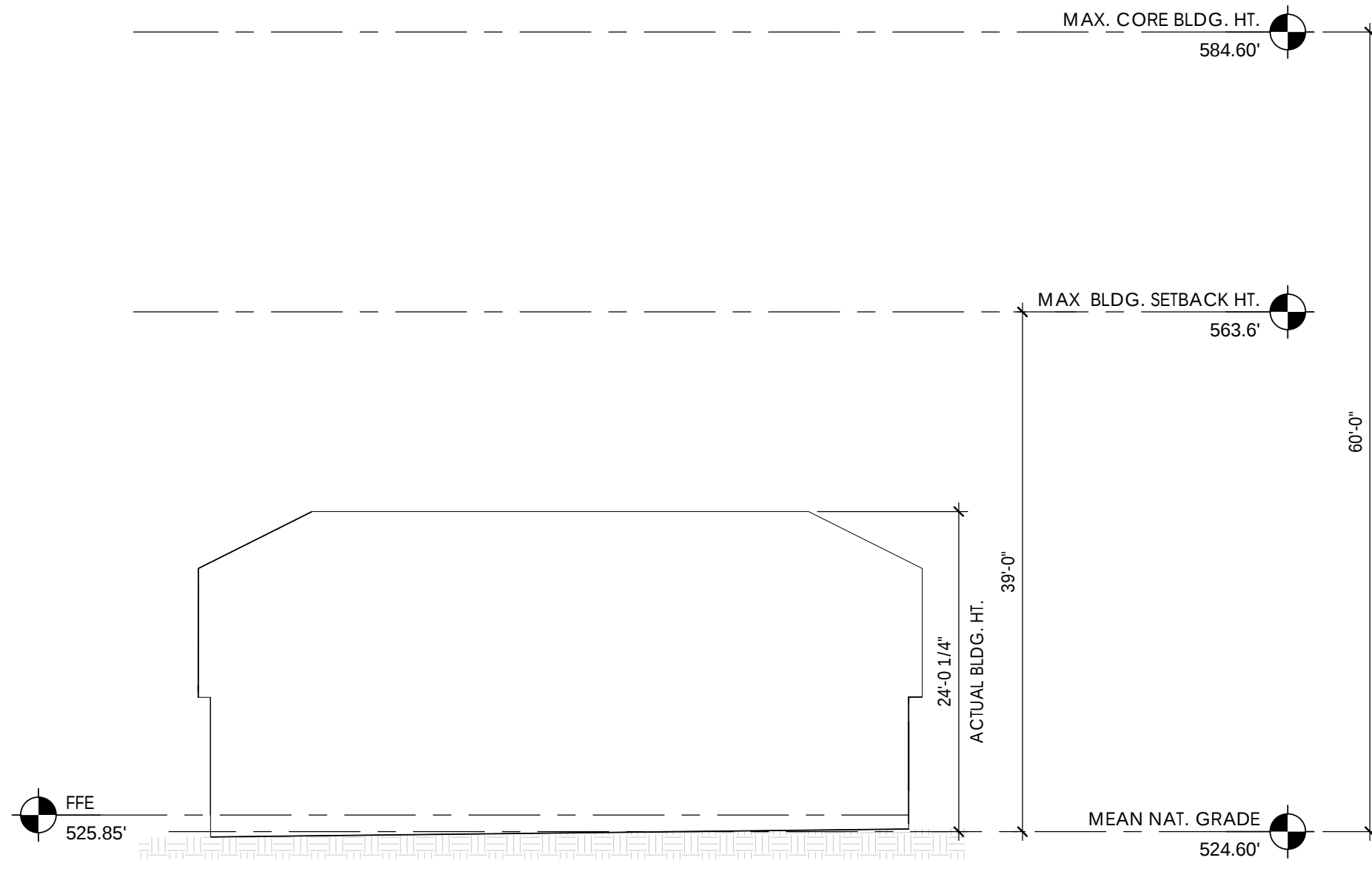
ISSUE DATE: 10/28/20
PROJECT #: 17147
DRAWN BY: DRH

SHEET NUMBER
PD 001

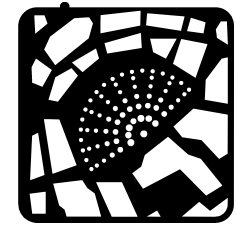
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2 4 BD DUPLEX - West- Greenway Side
3/32" = 1'-0"



1 4 BD DUPLEX - East - Neighborhood Side
3/32" = 1'-0"



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HOUSING
TOWN OF CHAPEL HILL
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REVISIONS:

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SHEET NAME:

TYPICAL 4 BED DUPLEX
ELEVATIONS

PHASE:

SITE PLAN APPROVAL

ISSUE DATE: 10/28/20

PROJECT #: 17147

DRAWN BY: DRH

SHEET NUMBER

PD 002

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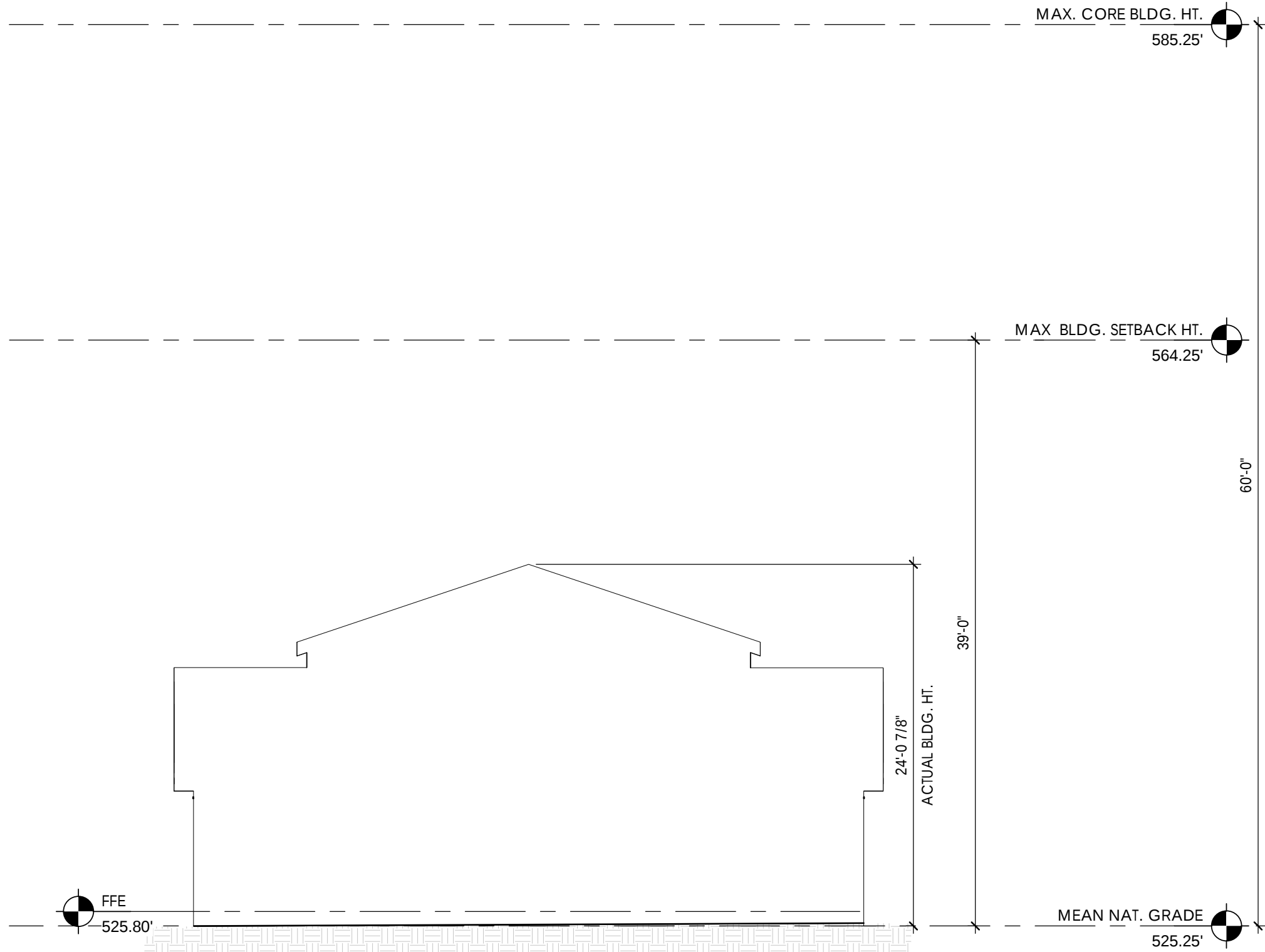
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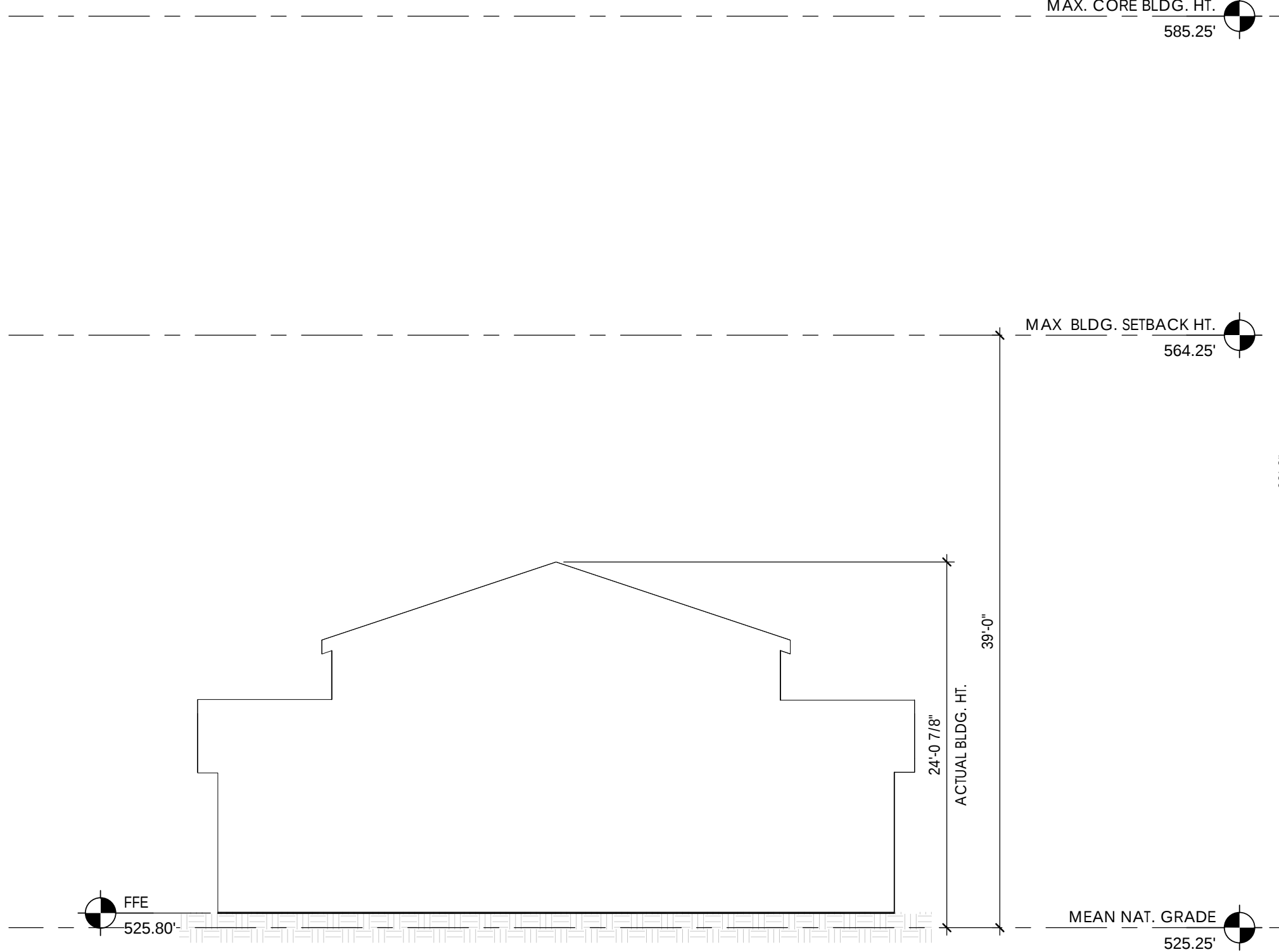
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2 3 BD DUPLEX - East - Neighborhood Side
1/8" = 1'-0"



1 3 BD DUPLEX - West - Greenway Side
1/8" = 1'-0"

HOMESTEAD RD.
HOUSING
TOWN OF CHAPEL HILL
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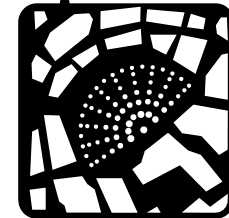
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#	DESCRIPTION:	DATE

SHEET NAME:
TYPICAL 3 BD DUPLEX
ELEVATIONS

PHASE:
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ISSUE DATE: 10/28/20
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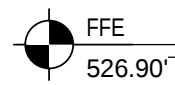
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1

CASA WF BLDG A - NORTH ELEVATION

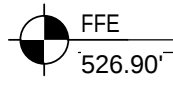
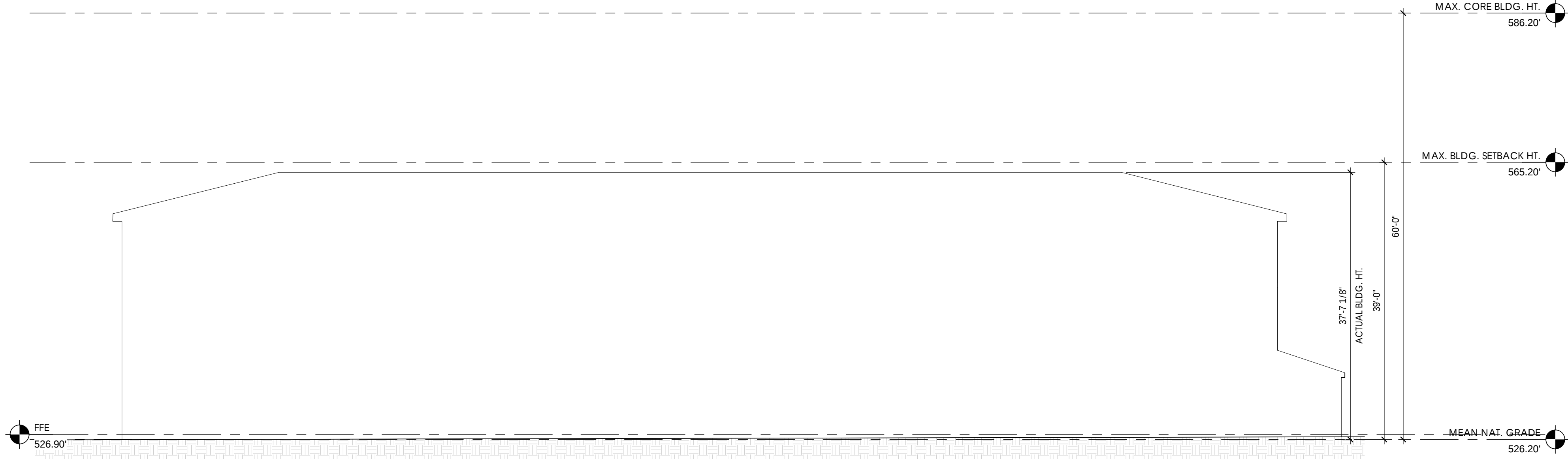
3/32" = 1'-0"



2

CASA WF BLDG A- SOUTH ELEVATION

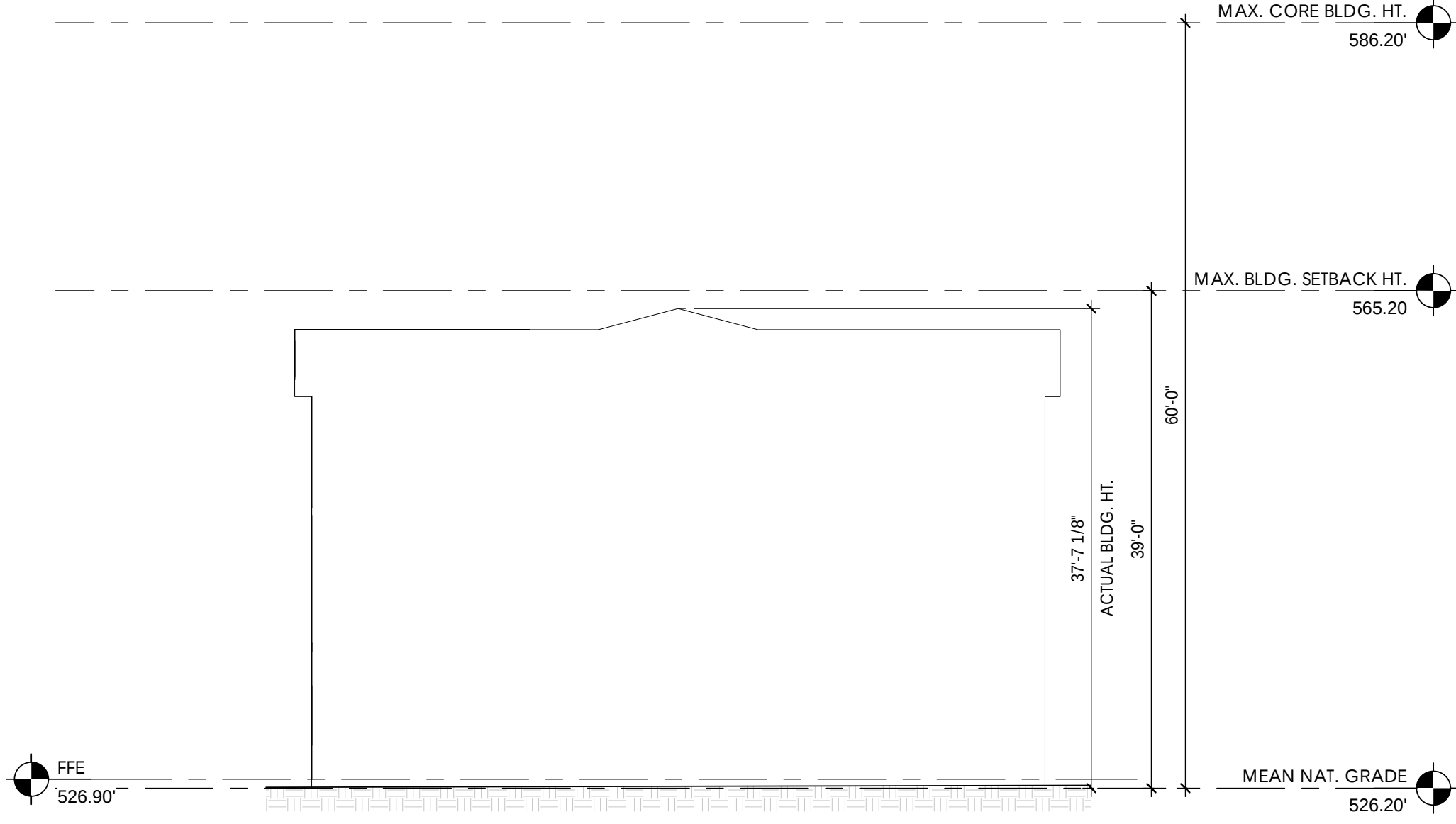
3/32" = 1'-0"



3

CASA WF BLDG A - EAST ELEVATION

3/32" = 1'-0"



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SHEET NAME:

CASA WF APARTMENT BLDG. A
ELEVATIONS

PHASE:

SITE PLAN APPROVAL

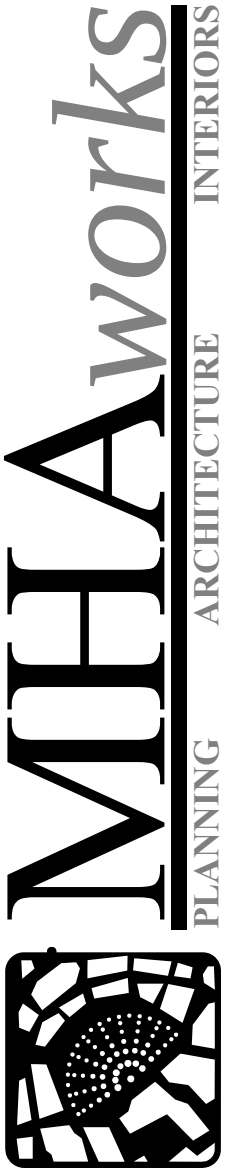
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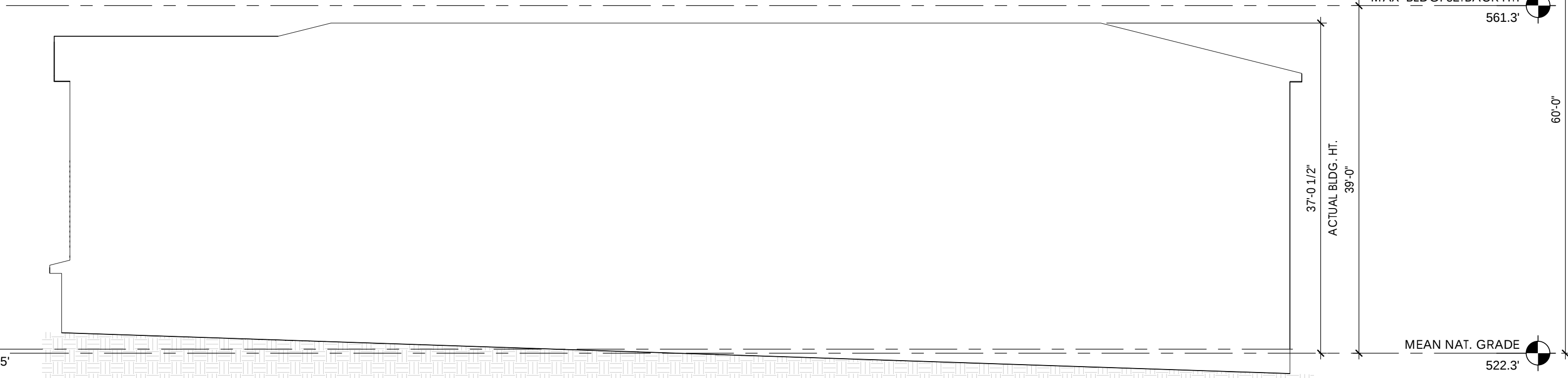
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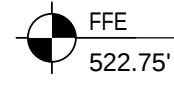
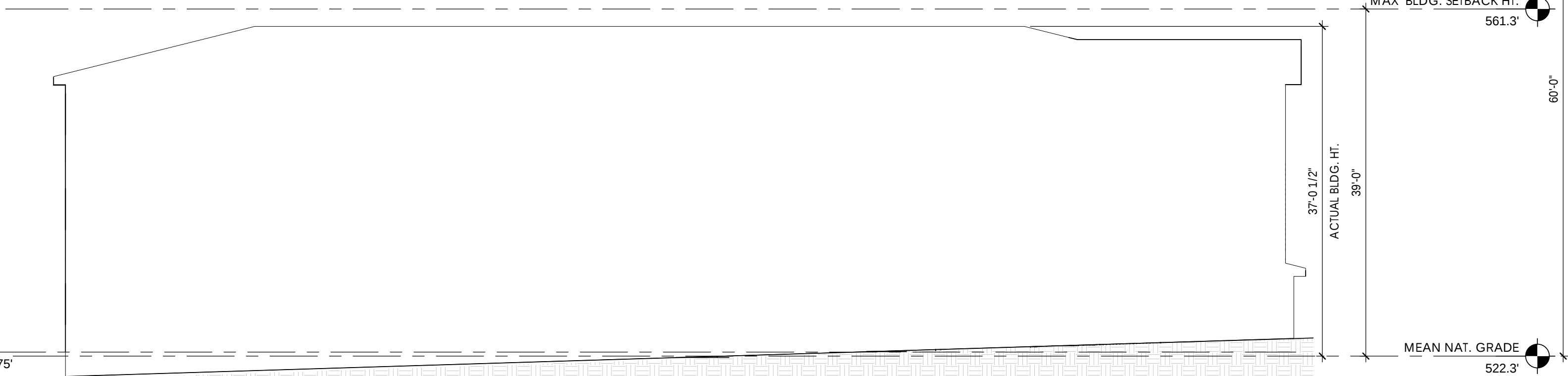
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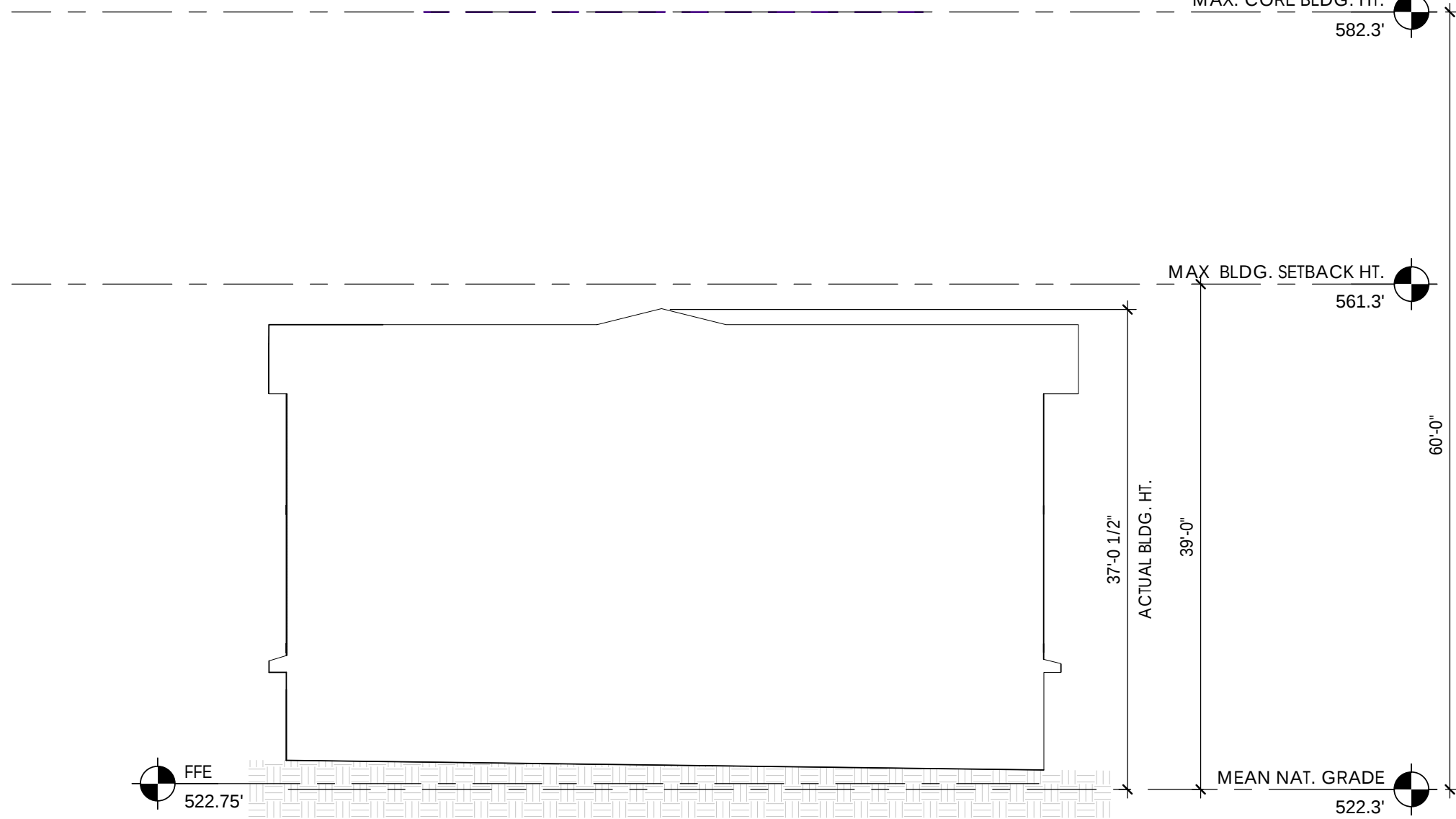
1 **CASA WF BLDG B - East Side**
3/32" = 1'-0"



2 **CASA WF BLDG B - West Side**
3/32" = 1'-0"



3 **CASA WF BLDG B - South Side**
3/32" = 1'-0"



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SHEET NAME:
CASA WF APARTMENT BLDG. B
ELEVATION OUTLINES

PHASE:
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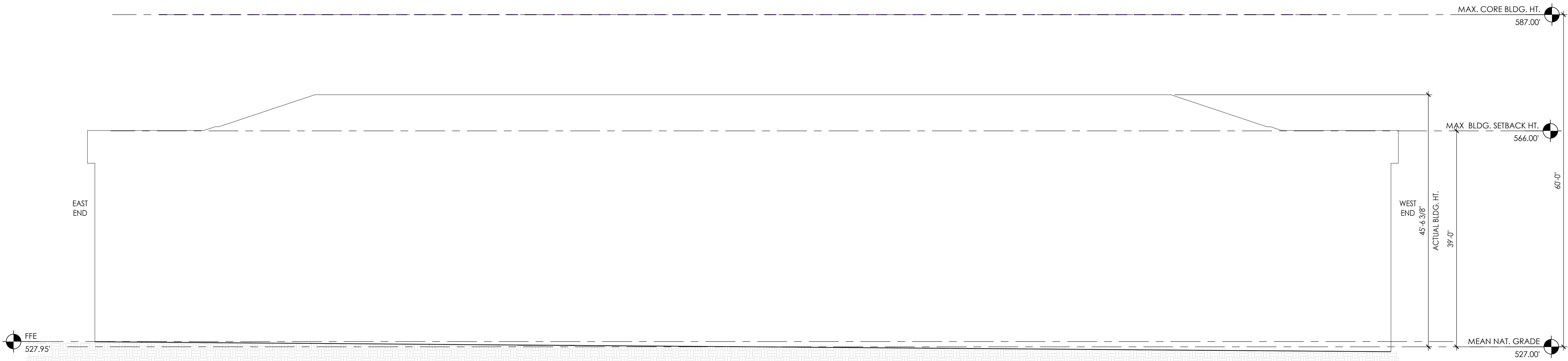
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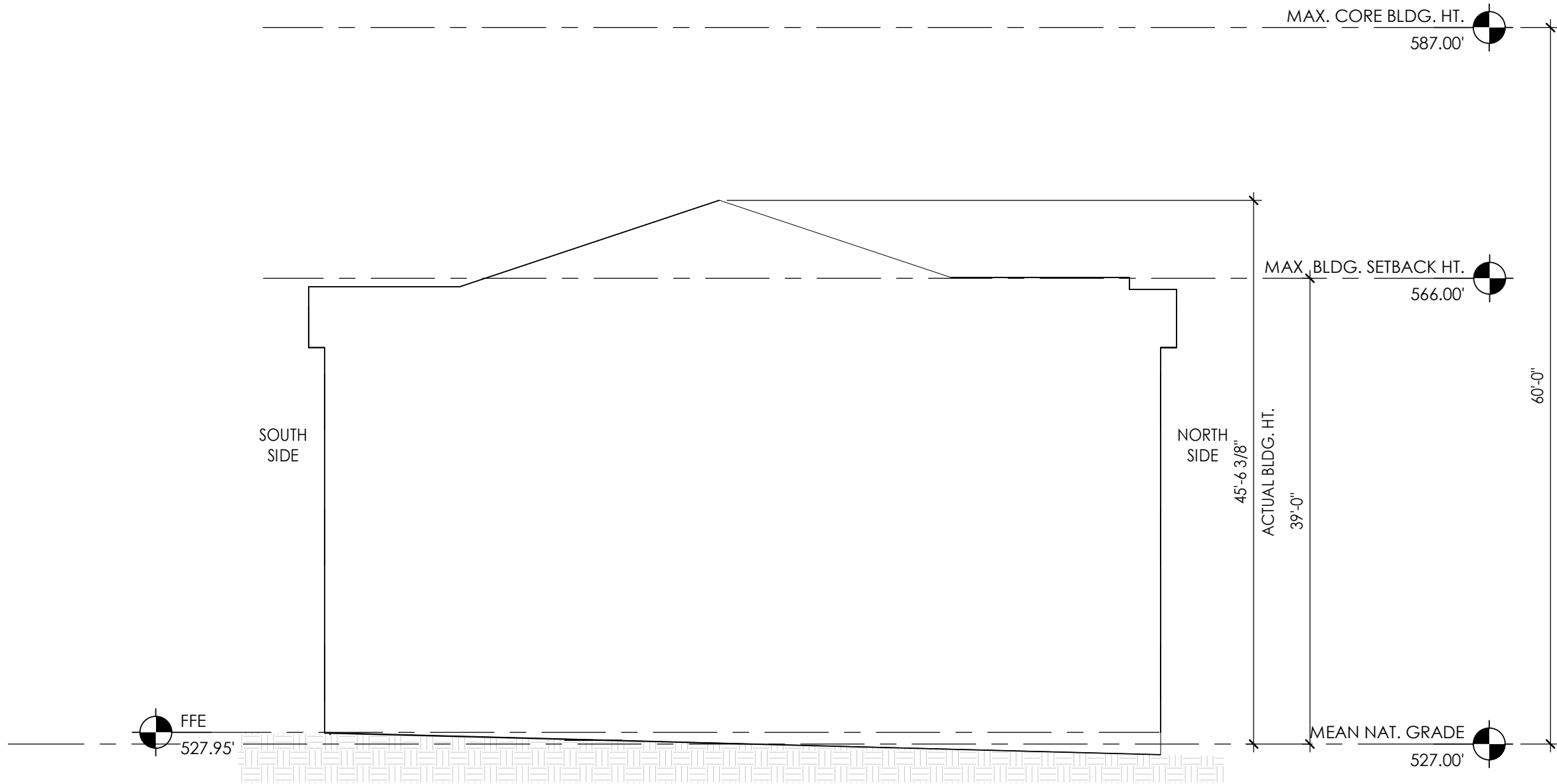
1 2 3 4 5 6 7 8 9



1 CASA - BLDG. C - North Side - Front
3/32" = 1'-0"



2 CASA - BLDG. C - South Side - Homestead Rd. Side
3/32" = 1'-0"



3 CASA - BLDG. C - East Side - Neighborhood Entrance Side
3/32" = 1'-0"



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CASA - BLDG. C ELEVATION
OUTLINES

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