



CONSIDER AN APPLICATION FOR CONDITIONAL ZONING – PHI GAMMA DELTA AT 108 WEST CAMERON AVENUE

SUMMARY REPORT

TOWN OF CHAPEL HILL PLANNING
Judy Johnson, Interim Planning Director
Anya Grahn, Senior Planner

PROPERTY ADDRESS 108 W. Cameron Avenue	MEETING DATE(S) March 10, 2020 – ESAB and HDC March 24, 2020 - TCAB April 7, 2020 – Planning Commission	APPLICANT Kevin R. Hornik, The Brough Law Firm
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STAFF RECOMMENDATION

That the, Environmental Stewardship Advisory Board, Historic District Commission, Transportation and Connectivity Advisory Board, and Planning Commission review and make a recommendation on the application to the Town Council.

PROCESS

Town Council approved a Special Use Permit (SUP) at this site on July 7, 1997, and the applicant is requesting to replace that entitlement with this Conditional Zoning application. Conditional Zoning is a legislative process that allows Town Council to review the rezoning application for consistency with the Land Use Plan in the Comprehensive Plan.

On request by the holder of a SUP, the Town Council can approve the abandonment of the permit if the development authorized by the permit or modification no longer requires a SUP and all conditions of the SUP have been satisfied.

DECISION POINTS The applicant is requesting the following:

- Abandonment of the Special Use Permit, dated July 7, 1997 and replacing with Conditional Zoning.
- Modification to only permit the fraternity dwelling use.
- Modification to reduce required landscape buffers.

PROJECT OVERVIEW

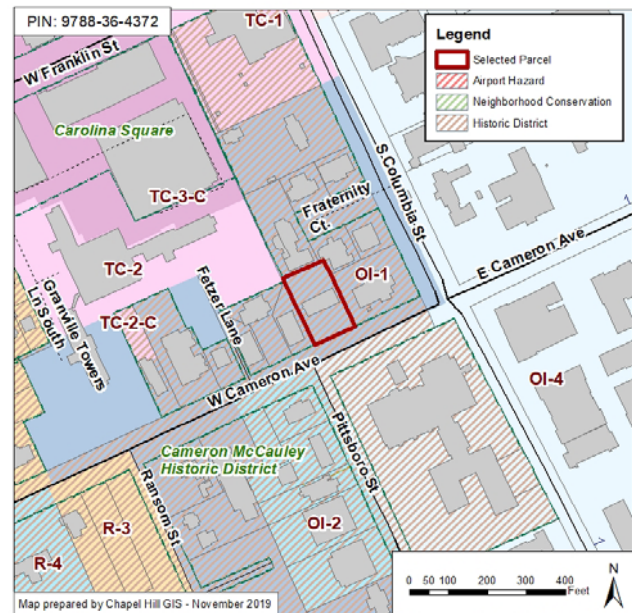
The applicant proposes to abandon the existing Special Use Permit (SUP) and proposes Conditional Zoning in order to allow the following:

- Enclosure of a rear porch that increased floor area; and
- Removal of on-site parking.

The site is:

- Currently zoned Office/Institutional – 1 (OI-1);
- Proposed rezoning to Office/Institutional – 3 – Conditional Zoning (OI-3-CZ)
- Lot size is 23,763 sq. ft. (0.55 acres)

PROJECT LOCATION



ATTACHMENTS

1. Project Summary Form
2. Draft Resolution A
3. Draft Resolution B (Denying the Application)
4. Applicant's Materials
5. Submitted Plans



TECHNICAL REPORT

PROJECT OVERVIEW

January 17, 2019	The Town issues a Stop Work on the property for changes that have occurred without the required permits. These include replacing screened openings on the porch with windows to create habitable space, new patio/hardscape, and removing on-site parking.
February 15, 2019	The Town issues a Notice of Violation to Phi Gamma Delta for violating the terms and conditions associated with maximum floor area and minimum parking requirements, as outlined in the July 7, 1997 Special Use Permit.
September 10, 2019	The Historic District Commission (HDC) approves an After-the-Fact Certificate of Appropriateness (ATF COA) for the replacement of screened openings with glass windows on the porch, expanding the floor area of the building; installation of a staircase from the rear deck to ground level as an emergency exit; installation of a fieldstone rear patio; and removal of on-site parking area and replacing with a lawn.
September 10, 2019	Concept Plan for Phi Gamma Delta is presented to the HDC. The applicant presented the 1,044 square foot enclosure of a rear porch that increased the floor area as well as removal of on-site parking.
January 8, 2020	Concept Plan for Phi Gamma Delta is presented to Council.

Connections to other Documents:

Town staff has reviewed this application for compliance with the themes from the [2020 Comprehensive Plan](#)¹, the standards of the [Land Use Management Ordinance](#)², and the [Town of Chapel Hill, NC : Design Manual and Standard Details](#)³ and offers the following evaluation:


Comprehensive Plan Themes: The following are themes from the 2020 Comprehensive Plan, adopted June 25, 2012:

¹ <http://www.townofchapelhill.org/home/showdocument?id=15001>

² https://www.municode.com/library/#!/nc/chapel_hill/codes/code_of_ordinances?nodeId=CO_APXALAUUMA

³ <http://www.townofchapelhill.org/town-hall/departments-services/public-works/engineering/design-manual-and-standard-details>

Council Goals:

<input type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input checked="" type="checkbox"/>		Grow Town and Gown Collaboration

Staff believes the Phi Gamma Delta proposal complies with the above theme of the 2020 Comprehensive Plan.

Land Use Plan: The [2020 Land Use Plan](#)⁴, a component of the 2020 Comprehensive Plan, designates this site for Town/Village Center. The 2020 Land Use Plan also designates this site as part of the [Downtown Chapel Hill Future Focus Discussion Area](#).⁵

APPLICANT PROPOSAL

The applicant proposes applying the Office/Institutional-3-Conditional (OI-3-CZ) Zoning district in order to maintain improvements to the site, which include 1,044 square feet of floor area created by enclosing a rear porch as well as the removal of on-site parking. The total size of the building is now 13,450 square feet. The Statement of Justification explains that the applicant is seeking a Conditional Zoning in order to maintain the improvements made on the site as the improvements exceed what is allowed by the Office/Institutional-1 (OI-1) zoning district.

The applicant has submitted a Conditional Zoning application, which allows review of the development proposal in conjunction with the rezoning, and which allows site-specific standards to be formulated and applied as conditions through a legislative process. A –CZ suffix would be added to the zoning district designation to incorporate the approved conditions.

The Office/Institutional-3 (OI-3) Zoning District is characterized by the following standards:

- **Intent:** Section 3.3.5 of the Land Use Management Ordinance states that the Office/Institutional-3 (OI-3) district “is intended to provide for major educational, research, public service, and office uses, and their necessary support functions, while minimizing conflicts with adjacent land uses.”
- **Permitted Uses:** As established in LUMO Table 3.7-1, permitted uses include (but are not limited to) offices and research activities; limited types of businesses; single-family and multifamily residential; fraternity dwellings, and public/institutional facilities.
 - The Conditional Zoning application proposes limiting uses to fraternity or sorority dwelling.
 - The existing Office/Institutional-1 (O-1) zoning generally limits fraternity dwellings as a special use.

⁴ <http://www.townofchapelhill.org/home/showdocument?id=1215>

⁵ <https://www.townofchapelhill.org/town-hall/departments-services/chapel-hill-2020/future-focus-areas>

SITE CONTEXT

Staff has identified the following physical and regulatory characteristics of the land which are relevant to consideration of a Zoning Atlas Amendment:

- The subject site is located along West Cameron Avenue, within the Town of Chapel Hill town limits. The site has visibility to a high traffic volume; is along the route for over one dozen bus routes that travel through/near campus, including the '420', 'RU', 'A', 'CW' and 'CM' routes; and is located directly north of the Carolina Inn.
- Properties immediately to the east, west, and north the site are zoned Office/Institutional-1 (OI-1) and are developed with fraternity houses.
- Property directly to the northeast of the site is zoned Town Center-2 (TC-2).
- Phi Gamma Delta sits west of the intersection of South Columbia Street and Cameron Avenue. Directly across the street, the Carolina Inn is zoned Office/Institutional-4 (OI-4). To the west of the Carolina Inn and southwest of Phi Gamma Delta, the properties containing fraternity houses are zoned Office/Institutional-2 (OI-2).
- There are various multi-family, fraternity, and institutional buildings near the intersection of South Columbia Street and Cameron Avenue.
- There appear to be no streams, stream buffers, floodplains, or wetlands affecting the site.

PROPOSED MODIFICATIONS TO REGULATIONS:

- 1) Section 3.7.3 Use Groups Modification:** The applicant proposes to limit the allowed uses on the site to a fraternity or sorority dwelling.

Staff Comment: Staff believes that Council could find a public purpose for this as the use memorializes the existing fraternity dwelling and is consistent with the neighboring properties.

- 2) Section 5.6.6 Buffer Modification:** As part of the SUP in 1997, the Town Council approved a waiver to the required 10 foot landscaped bufferyard along the west side of the property, where the existing shared driveway is located. The requirements for 10 foot interior bufferyards on the north and east sides of the property and a 15 foot exterior bufferyard along the south (front) side of the property remained.

Staff Comment: Staff believes that Council could find a public purpose for the reduced buffer width and plantings, as no change has been proposed to the existing bufferyards. Currently, there is a low stone wall (approximately eighteen inches in height) that wraps the front yard along the driveway and four-foot deep planting bed behind the wall along the Cameron Avenue sidewalk that provides an alternate bufferyard. The house is setback almost 75 feet from the front property line. A shared concrete driveway extends across the side yard to the west of the existing house, and the enclosed porch on the rear of the house is over 60 feet from the rear property line. There is an alternate buffer along the north (rear) of the lot provided by a six foot tall (6') stone wall that extends across the back of the property where the topography drops down and abuts the Sigma Nu fraternity to the north. Finally, an alternate buffer is also provided along the east (side) property line where hedges, including mature holly plants, divide the Phi Gamma Delta property from Delta Kappa Epsilon.

A fire in May 1996 destroyed much of the original building that had housed the Phi Gamma Delta fraternity. On July 7, 1997, the Town Council approved a Special Use Permit (SUP) for the reconstructed fraternity house and shed measuring 10,870 square feet in floor area. The SUP required eight to twelve parking spaces behind the house.

At that time, a modification to the required 10 foot internal bufferyard was granted along the west side of the property, as there was an existing shared driveway along the west property line.

In February 1998, the Historic District Commission (HDC) approved the reconstruction of the fraternity house. The brick shell of the building was preserved, but the roof structure, new dormers, some window and door openings, and a rear patio were modified as part of the reconstruction. Construction of the new fraternity house was completed in 1999. Any existing non-conformities remained.

Council Findings and Public Purpose: The Council has the ability to modify the regulations according to Section 4.5.6 of the Land Use Management Ordinance. Staff believes that the Council could modify the regulations if it makes a finding in this particular case that public purposes are satisfied to an equivalent or greater degree. If the Council chooses to deny a request for modifications to regulations, the developer's alternative is to revise the proposal to comply with the regulations.

For additional information on the proposed modifications, please refer to the developer's attached materials.

Dimensional Standards:

As established in LUMO Table 3.8-1, Office/Institutional-3 (OI-3) standards do not specify a maximum density (units per acre), building height, or minimum setbacks.

	Allowed in OI-3:	Proposed:
Setbacks:		
Street Setback	0 ft.	24 ft.
Interior Setback	0 ft.	8 ft.
Solar Setback	0 ft.	11 ft.
Building Height	N/A	48 ft.
Floor Area	0.566 max (13,450 SF)	0.566 (13,450 SF)

- The zoning district does include a maximum Floor Area Ratio of 0.566.
 - The Conditional Zoning application does not propose to modify the existing building, apart from increasing the allowable floor area. The building will retain a maximum core building height of 48 feet, but will permit a maximum building floor area of 13,450 sq. ft. (equates to a Floor Area Ratio of 0.566).
 - The existing Office/Institutional-1 (OI-1) zoning has a lower Floor Area Ratio (0.264, respectively), along with lower height limits. It also has an increased street and interior setbacks than the proposed district. The proposed rezoning would moderately increase the development potential for the site in terms of building scale; however, the applicant has reached the allowed FAR for OI-3 with the enclosure of the porch. The allowed and proposed FAR are 0.566.
- **Design and Development Standards:** Other standards (including landscape buffers, parking ratios, etc.) are established in LUMO Article 5 and are applicable to both zoning districts. The Conditional Zoning application provides an opportunity to establish conditions that modify use, intensity, and development standards in order to address impacts reasonably expected to be generated by development. Conditions can also address conformance of the development with town regulations and adopted plans.

CONSISTENCY WITH THE COMPREHENSIVE PLAN

North Carolina General Statute Section 160A-383 requires the Council to approve a statement describing whether its action is consistent with an adopted comprehensive plan and any other applicable officially adopted plan when adopting or rejecting any zoning amendment.

Staff provides the following evaluation of this application's consistency with the 2020 Comprehensive Plan and other adopted plans:

- The intent of the Office/Institutional-3 (OI-3) zoning district encourages uses supporting the university, such as educational, research, public service, and office uses. It also speaks to minimizing conflicts with adjacent land uses, which is consistent with the 2020 Land Use Plan. The site is located in the Downtown Study Area, which calls for multifamily residences along Cameron Avenue.
- The site is located within the Downtown/Area 1 Future Focus Discussion Area. Chapel Hill 2020 characterizes Downtown as an area with opportunities "to preserve the historic/small-town character" of the adjacent residential areas including the Historic District. The plan also identifies traffic congestion, pedestrian and bicycle access, safety, and parking as key issues.
- The applicant states that the increased floor area provides additional space for student residents in the Phi Gamma Delta fraternity house. Further, the replacement of the parking area with green space improves a congested parking area and promotes safety on site.
- The Mobility and Connectivity Plan calls for Cross Cities Connector links along Cameron Avenue. One of the suggested improvements is a two-way cycle track from Merritt Mill Road to Pittsboro Road, directly southwest of Phi Gamma Delta.
- Finding #3 in the next section notes additional purposes of the 2020 Comprehensive Plan which may be achieved through this application.

FINDINGS OF FACT

In order to establish and maintain sound, stable, and desirable development within the planning jurisdiction of the Town, it is intended that the Land Use Management Ordinance (as stated in Section 4.4) shall not be amended except:

- A. To correct a manifest error in the chapter; or
- B. Because of changed or changing conditions in a particular area or in the jurisdiction generally; or
- C. To achieve the purposes of the Comprehensive Plan.

Staff provides below an evaluation of this application based on the three findings. Further information may be presented for the Council's consideration as part of the public hearing process. All information submitted at the public hearing will be included in the record of the hearing.

1.) Finding #1: The proposed zoning amendment is necessary to correct a manifest error.

Arguments in Support: To date, no arguments in support have been submitted or identified by staff.

Arguments in Opposition: To date, no arguments in opposition have been submitted or identified by staff.

Staff Response: We believe, based on the information entered into the record to date, that there is no manifest error in the Town's Zoning Atlas Amendment related to the project site.

2.) Finding #2: The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.

Arguments in Support: To date, no arguments in support have been submitted or identified by staff.

Arguments in Opposition: To date, no arguments in opposition have been submitted or identified by staff.

Staff Response: We believe, based on the information entered into the record to date, that there has been no change or changing conditions in a particular area or in the jurisdiction generally.

3.) Finding #3: The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.

Arguments in Support: The applicant's Statement of Consistency states that the proposed rezoning would contribute to the following elements of the Comprehensive Plan:

- Contribute to providing housing for students that is safe, sound, affordable, and accessible and meets a demonstrated need conducive to educational and maturational needs of students (*Goal Town and Gown Collaboration.4*)
- Contribute to housing for students and encourages them to reside in the community (*Goal Town and Gown Collaboration.4*)

Arguments in Opposition: To date, no arguments in opposition have been submitted or identified by staff.

Staff Response: We believe, based on the information entered into the record to date, that the Council could make the finding that the proposed zoning amendment is necessary to achieve the purposes of the Comprehensive Plan.



PROJECT FACT SHEET

Overview

Site Description	
Project Name	Phi Gamma Delta
Address	108 West Cameron Avenue
Property Size	23,763 SF (0.55 acres)
Existing	Fraternity Dwelling
Orange County Parcel Identifier Numbers	9788-36-4372
Existing Zoning	Office/Institutional-1 (OI-1)
Proposed Zoning	Office/Institutional – 3 – Conditional Zoning (OI-3-CZ)

Regulatory Land Use Intensity

Comment		Advisory Board	Status
Use/Density (Sec. 3.7)	Fraternity	PC	✓
Dimensional Standards (Sec. 3.8 and Sec. 6.15)	There are no required street, interior, or solar setbacks in the OI-3 Zoning District	PC	✓
Floor area (Sec. 3.8)	Maximum of 13,560 sq. ft.; Proposed 13,560 sq. ft.	PC	✓
Modification to Regulations (Sec. 3.7.3)	Only allowed use as fraternity or sorority house.	PC	M


Site Design

Proposed			Advisory Board	Status
Landscape	Buffer – North (Sec. 5.6.2)	10' Internal Type "B" required	PC	✓
	Buffer – East (Sec. 5.6.2)	10' Internal Type "B" required	PC	✓
	Buffer – South (Street) (Sec. 5.6.2)	15' External Type "B" buffer required on local streets	PC	✓
	Buffer - West (Sec. 5.6.2)	Reduced Modified 0' Internal Type "B" required	PC	M
	Tree Canopy (Sec. 5.7)	Tree canopy coverage standards are required for applications proposing tree removal that require council approval. No tree removal is proposed at this time.	HDC	N/A
	Landscape Standards (Sec. 5.9.6)	Not applicable	PC	N/A

Environment	Resource Conservation District (Sec. 3.6)	Not applicable	ESAB	N/A
	Erosion Control (Sec. 5.3.1)	Orange County Erosion Control permit required, if greater than 20,000 square feet of land disturbance.	ESAB	N/A
	Steep Slopes (Sec. 5.3.2)	Not applicable	ESAB	N/A
	Stormwater Management (Sec. 5.4)	No stormwater measures are required at this time.	ESAB	N/A
	Land Disturbance	4,912 sq. ft.	ESAB	✓
	Impervious Surface	16,634 sq. ft. (70% of gross land area)	ESAB	✓
	Solid Waste & Recycling	Private trash pickup; County recyclable pickup	OCSW	✓
	Jordan Riparian Buffer (Sec. 5.18)	Not applicable	ESAB	N/A
Access & Circulation	Road Improvements (Sec. 5.8)	Not applicable	NCDOT	✓
	Vehicular Access (Sec. 5.8)	There is an existing concrete driveway along the west side of the site that will remain.	TCAB	✓
	Pedestrian Improvements (Sec. 5.8)	Existing sidewalk along frontage	TCAB	✓
	Traffic Impact Analysis (Sec. 5.9)	No Traffic Impact Analysis was required.	TCAB	N/A
	Vehicular Parking (Sec. 5.9)	None proposed on-site. Minimum vehicular parking requirements do not apply for uses within the OI-3 zoning district.	TCAB, PC	✓
	Transit (Sec. 5.8)	Site is served by over one-dozen bus routes, including the '420', 'RU', 'A', 'CW' and 'CM' routes	TCAB	✓
	Bicycle Parking (Sec. 5.9)	16 existing spaces	TCAB, PC	✓
	Electric Vehicle Parking	None proposed	TCAB	✓
	Parking Lot Standards (Sec. 5.9)	No parking on site	TCAB	M
Technical	Fire	No fire flow studies or reports required at this time.	Staff	N/A
	Site Improvements	Removal of parking to expand lawn area.	HDC	✓
	Schools Adequate Public Facilities (Sec. 5.16)	Not applicable	Staff	N/A
	Inclusionary Zoning Ordinance (Sec. 3.10)	Not applicable	Staff	N/A
	Recreation Area (Sec. 5.5)	Not applicable	PC	N/A

	Lighting Plan (Sec. 5.11)	Not applicable.	HDC	N/A
	Homeowners Association (Sec. 4.6)	Not applicable	Staff	N/A

Project Summary Legend

Symbol	Meaning
	Meets Requirements
M	Seeking Modification
C	Requires Council Endorsement
FP	Required at Final Plan;
NA	Not Applicable

31 October 2019

Town of Chapel Hill
Office of Planning and Sustainability
405 Martin Luther King Jr. Boulevard
Chapel Hill, North Carolina 27514

Re: Phi Gamma Delta Conditional Rezoning Application for 108 W. Cameron Ave.

To Whom It May Concern,

Please find enclosed the required Conditional Rezoning Application and application materials, submitted by Epsilon of Phi Gamma Delta (hereinafter, the "Applicant"). Additionally, this letter is intended to provide a brief explanation of the procedural history of this property and of the Applicant's efforts to correct certain zoning violations.

Sometime prior to February 22, 1947, a structure was built at 108 W. Cameron Avenue (hereinafter, the "Subject Property") which came to be used as a fraternity house for Epsilon of Phi Gamma Delta. In May of 1996 the structure burned down during a tragic fire, leaving only portions of the exterior façade standing. On July 7, 1997, the Town of Chapel Hill Town Council issued a Special Use Permit, recorded in the Orange County Registry in Book 1776 at Page 335, to the Applicant for the construction or reconstruction of a fraternity house located at the Subject Property. Construction began sometime in 1998 and was completed in the summer of 1999. The Special Use Permit required, in relevant part, that the Applicant be limited to 23,769 square feet of Gross Land Area and 10,870 square feet of Floor Area and required the Applicant to provide eight to twelve parking spaces.

The Applicant's proposed rezoning to OI-3-CZ is made at the recommendation of Town Staff and is intended to remedy certain violations of the Town's Land Use Management Ordinance (hereinafter, the "LUMO") currently existing on the Subject Property. Currently, the Subject Property violates the Floor Area limitation and on-site parking requirement imposed by the existing Special Use Permit.

After first securing a Zoning Compliance Permit and Building Permit from the Town, the Applicant constructed a "[r]aised patio (loggia) with screened porch below[.]" However, as a

result of post-construction practical difficulties with drainage and rain water accumulating inside of the structure, the Applicant installed glass windows in place of the approved screened panels. This resulted in an increase in Floor Area beyond that permitted by the Special Use Permit. Additionally, as part of the project, the Applicant removed the on-site parking lot. This was done in an effort to eliminate parking and vehicle congestion on site—an issue which the Applicant is especially sensitive to, following the 1996 fire.

The installation of glass windows on the new structure, as well as other improvements to the property (including the removal of on-site parking, the installation of an exterior stairway from the top deck to ground level, and the installation of a fieldstone patio at the rear of the Subject Property) were approved by the Town's Historic District Commission at the Commission's September 10, 2019 meeting. At that time, the Commission issued an After-the-Fact Certificate of Appropriateness for those improvements and also recommended approval of the Applicant's Concept Plan, pursuant to Section 8.4.6(q) of the LUMO. As of the date of this letter, the Town Council (or a subcommittee, appointed pursuant to Section 4.3.2(e)(1) of the Land Use Management Ordinance) has not yet reviewed the Applicant's Concept Plan.

The Applicant proposes to rezone the Subject Property, which is currently zoned OI-1, to OI-3-CZ. The Applicant proposes to subject the Subject Property to the same standards applicable to the parallel OI-3 district with no modifications or variations, except to limit the use of the Subject Property to Fraternity Dwelling use, which is a permitted use in the OI-3 district and is permitted with a Special Use Permit in the OI-1 district. The Applicant does not intend to change the use of the Subject Property, nor does the Applicant intend to further develop the Subject Property at this time. Rather, the Applicant simply seeks a rezoning of the Subject Property and to continue to use the Subject Property for the purposes for which it is already used.

Due to the unique procedural posture of the Applicant's proposed Conditional Zoning of the Subject Property, much of the information requested in the Conditional Zoning Application is irrelevant. As a result, the Applicant has not included a Stormwater Impact Statement, a formal Area Map, an Existing Conditions Plan, a Detailed Site Plan, a Stormwater Management Plan, a Landscape Protection Plan, a Planting Plan, a Steep Slope Plan, a Grading and Erosion Control Plan, a Streetscape Plan, a Solid Waste Plan, a Construction Management Plan, or an Energy Management Plan. Instead, the Applicant has included the exterior elevations of the structure, as it currently exists, and an As-Built Survey of the Subject Property. These documents should be sufficient to demonstrate the existing condition of the Subject Property and the structure located thereon. The Applicant does not seek approval to perform additional construction on the Subject Property as part of this Application.

Pursuant to Section 4.4.5(d) of the LUMO, the Town Council's review of the Applicant's proposed rezoning to OI-3-CZ shall be based on the criteria described in Section 4.4.3(f)(2) of the LUMO. Those criteria are:

- “a. The conformity of the application with the applicable provisions of [the Land Use Management Ordinance] and town Code.
- b. The conformity of the application with the comprehensive plan.
- c. The compatibility of the proposed application with adjoining uses.

- d. The impacts of the proposed application on the surrounding properties and town as a whole.
- e. The relationship of the application to existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities. [and]
- f. The relationship of the application to natural systems such as hydrology, topography, and other environmental constraints.”

In response to the criteria requiring “conformity of the application with the applicable provisions of [the Land Use Management Ordinance] and town Code,” the Applicant submits that the Applicant does not intend to perform any additional development on the Subject Property at this time. The Subject Property and structure located thereon conform to all standards and provisions of the LUMO for the OI-3 district. The Applicant does not seek to increase or vary those standards in this Application. Therefore, it is clear that the Applicant’s proposal conforms with the applicable provisions of the LUMO and Town Code.

In response to the criteria requiring “conformity of the application with the comprehensive plan,” the Applicant submits that the Applicant’s proposed rezoning conforms with the Town’s 2020 Comprehensive Plan. The proposed rezoning is consistent with the Goals identified under Theme 6, found on Page 37 of the Comprehensive Plan. Specifically, the proposed rezoning will help to provide “[h]ousing for students that is safe, sound, affordable, and accessible and meets a demonstrated need conducive to educational and maturational needs of students, and housing for Town, University, and the Health Care System employees that encourages them to reside in the community (TGC.4).” The proposed rezoning provides additional space for students residing at the Phi Gamma Delta fraternity house through the increase in permitted floor area, provides additional green space for those same students through the removal of impervious on-site parking, and promotes safety of those students residing on the Subject Property by removing a congested parking area. Therefore, it is clear that the Applicant’s proposal conforms with the Town’s 2020 Comprehensive Plan.

In response to the criteria requiring “compatibility of the proposed application with adjoining uses,” the Applicant submits that the proposed rezoning is compatible with adjoining uses, all of which are also “Fraternity Dwelling” uses, because the proposed rezoning does not include a change in use of the Subject Property. The Applicant proposes to rezone the Subject Property to OI-3-CZ in an effort to achieve increased permitted floor area and to eliminate the on-site parking requirement while assuring the Town that the existing “Fraternity Dwelling” use, which is permitted in the current zoning OI-1 district and in the OI-3 district, will remain unchanged. Therefore, it is clear that the Applicant’s proposal is compatible with the adjoining uses.

In response to the criteria asking the Town Council to consider the “impacts of the proposed application on the surrounding properties and town as a whole,” the Applicant submits that the proposed rezoning will have little or no effect on the surrounding properties and Town as a whole. The proposed rezoning will not change the current use of the property as a “Fraternity Dwelling.” The proposed rezoning will permit the increased floor area resulting from the “enclosure” of the covered patio area with glass windows, which has no impact on surrounding properties or on the

Town as a whole. Further, the proposed rezoning will eliminate the on-site parking requirement imposed by the Special Use Permit. This will have little impact, if any, on surrounding properties or the Town as a whole due to the fact that the Applicant already requires residents to park at off-site parking areas leased by the Applicant for its residents. The proposed rezoning would simply eliminate an unnecessary requirement imposed by the Special Use Permit. Therefore, it is clear that the Applicant's proposal will have no significant impact on the surrounding properties or the Town as a whole.

In response to the criteria asking the Town Council to consider the "relationship of the application to existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities," the Applicant submits that the relationship of the Subject Property to existing and proposed built systems will not be affected by the proposed rezoning. The Applicant does not intend to use or develop the Subject Property in a way which may place additional burdens on existing and proposed built systems like utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities. From a practical perspective, the status quo will remain unchanged by the Applicant's proposed rezoning. Therefore, it is clear that the Applicant's proposal will not affect the relationship of the Subject Property and existing "Fraternity Dwelling" use to existing and proposed built systems.

In response to the criteria asking the Town Council to consider the "relationship of the application to natural systems such as hydrology, topography, and other environmental constraints," the Applicant submits that the relationship of the Subject Property to natural systems will not be affected by the proposed rezoning. The Applicant does not intend to use or develop the Subject Property in a way which may place additional burdens on natural systems such as hydrology, topography, and other environmental constraints on the Subject Property and surrounding properties. From a practical perspective, the status quo will remain unchanged by the Applicant's proposed rezoning. Therefore, it is clear that the Applicant's proposal will not affect the relationship of the Subject Property and existing "Fraternity Dwelling" use to natural systems.

For the foregoing reasons, it is clear that the Applicant's proposed rezoning of the Subject Property from OI-1 to OI-3-CZ meets all criteria for approval described in Section 4.4.3(f)(2) of the LUMO.

In addition to the Conditional Zoning request, the Applicant also requests that, if the Town Council approves the rezoning, the Town Council also approve the abandonment of the 1996 Special Use Permit pursuant to Section 4.5.5(d)(1)(B.) of the LUMO. If the Town Council approves the rezoning of the Subject Property to OI-3-CZ, the Fraternity Dwelling use located on the Subject Property will no longer require a SUP. In the event that the Town Council approves the rezoning, the Applicant will submit an affidavit formally stating the Applicant's intent to abandon the 1996 Special Use Permit and requesting approval of such abandonment by the Town Council, in accordance with Section 4.5.5(d)(2) of the LUMO.

If you have any questions, or require anything further from my client, please feel free to contact me at khornik@broughlawfirm.com or at (919) 929-3905.

Sincerely,

THE BROUGH LAW FIRM, PLLC

A handwritten signature in black ink, appearing to read 'KHORNIK', with a stylized flourish at the end.

Kevin R. Hornik

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514
phone (919) 969-5040 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9788364372

Date: 31 October 2019

Section A: Project Information

Project Name: Conditional Zoning of Phi Gamma Delta Fraternity House to OI-3-CZ

Property Address: 108 W. Camberon Ave., Chapel Hill Zip Code: 27516

Use Groups (A, B, and/or C): B Existing Zoning District: OI-1

Project Description: Conditional Zoning of Property to allow increased floor area ratio, and removal of on-site parking.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Kevin R. Hornik, The Brough Law Firm, PLLC

Address: 1526 E. Franklin St., Suite 200

City: Chapel Hill State: NC Zip Code: 27514

Phone: (919) 929-3905 Email: khornik@broughlawfirm.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: [Signature] Date: 10/31/2019

Owner/Contract Purchaser Information:

☒ Owner

☐ Contract Purchaser

Name: Epsilon of Phi Gamma Delta, Inc.

Address: 1801 Grease Oaks Dr.

City: Raleigh State: NC Zip Code: 27608

Phone: (919) 593-2841 Email: jhughes@newhopetech.org

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: See attached signature page from John Hughes Date: _____

Click [here](#) for application submittal instructions.

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514
phone (919) 969-5040 fax (919) 969-2014
www.townofchapelhill.org

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The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: John W. Hughes III, Board Member Date: 10-16-19

Click [here](#) for application submittal instructions.



CONDITIONAL ZONING

TOWN OF CHAPEL HILL
Planning and Development Service

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning and Development Service

Section A: Project Information

Use Type: (check/list all that apply)

☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: _____

Overlay District: (check all that apply)

☒ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	21,602.8	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	23,763.1	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

☐ Jordan Buffer ☐ Resource Conservation District ☐ 100 Year Floodplain ☐ Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	None
Area of Land Disturbance within RCD	None
Area of Land Disturbance within Jordan Buffer	None

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	~11,091		16,634.2 (per LUMO Sec. 3.8)	~11,091
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	.46		.7 (per LUMO Sec. 3.8)	
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Service

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	1			
Number of Floors	4			
Recreational Space				

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	11,903		13,449.9	
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units	1			1
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	24		0
	Interior (neighboring property lines)	8		0
	Solar (northern property line)	11		0
Height (maximum)	Primary			
	Secondary			
Streets	Frontages			
	Widths			



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning and Development Services

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Cameron Ave	86	14.6	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			0
Handicap Spaces			0
Total Spaces			0
Loading Spaces			0
Bicycle Spaces			0
Surface Type			

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



Existing Zoning District:
Proposed Zoning Change (if any):

Section J: Utility Service

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning and Development Services

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	
	Pre-application meeting –with appropriate staff		
	Digital Files – provide digital files of all plans and documents		
	Recorded Plat or Deed of Property		
	Project Fact Sheet		
	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
	Description of Public Art Proposal , if applicable		
	Statement of Justification		
	Response to Community Design Commission and Town Council Concept Plan comments		
	Affordable Housing Proposal , if applicable		
	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	
	Written Narrative describing the proposal, including proposed land uses		
	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
	Jurisdictional Wetland Determination – if applicable		
	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
	Reduced Site Plan Set (reduced to 8.5" x 11")		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning and Development Services

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning and Development Services

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning and Development Services

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning and Development Services

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

ORDINANCE A

(Approving the Conditional Zoning Application)

AN ORDINANCE AMENDING THE CHAPEL HILL ZONING ATLAS TO REZONE THE PROPERTY LOCATED AT 108 WEST CAMERON AVENUE TO OFFICE/INSTITUTIONAL-3-CONDITIONAL ZONING (OI-3-CZ) (PROJECT #19-127)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning submitted by Kevin Hornik, Brough Law Firm, on behalf of Epsilon of Phi Gamma Delta, Inc., to rezone a 0.496-acre parcel located at 108 West Cameron Avenue on property identified as Orange County Property Identifier Number 9788-36-4372, to allow an addition of 1,547 square feet of floor area to an existing fraternity house and finds that the amendment if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Housing for students that is safe, sound, affordable, and accessible and meets a demonstrated need conducive to educational and maturational needs of students, and housing for Town, University, and the Health Care System employees that encourages them to reside in the community. (*Town and Gown Collaboration. 4*)

WHEREAS, the application, if rezoned to Office/Institutional-3-Conditional Zoning (OI-3-CZ) according to the rezoning plan dated October 31, 2019, and the conditions listed below would:

- a) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- b) Conform with the Comprehensive Plan
- c) Be compatible with adjoining uses
- d) Mitigate impacts on surrounding properties and the Town as a whole
- e) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- f) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

MODIFICATIONS TO REGULATIONS

WHEREAS, the Council of the Town of Chapel Hill finds, in this particular case, that the proposed development with the following requested modifications to regulations satisfies public purposes to an equivalent or greater degree:

Section 3.7.3 Use Group Modification: Modify the Use Group to only permit fraternity or sorority dwellings at this site.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as staff acknowledges that this site has historically been used

as a fraternity and that the fraternity or sorority use is consistent with the neighboring properties.

Section 5.6.6 Buffer Modification: Reduce the required 10-foot internal interior Type “B” buffer requirement along the west lot line by maintaining the alternate buffer.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as staff acknowledges the there is an existing shared driveway along the west property line. There is also an existing low (18”) stone wall along the west side of the front yard that provides an alternate buffer along the west side of the property.

CONDITIONAL USES

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that it finds, in this particular case, the proposed rezoning with the following uses, subject to the conditions below, satisfies the purposes of Office/Institutional–3–Conditional Zoning (OI-3-CZ):

Fraternity or sorority dwelling, subject to the condition below.

- That the total square footage of fraternity or sorority dwelling use is limited to no more than 13,450 square feet of floor area.

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the Chapel Hill Zoning Atlas be amended as follows:

SECTION I

The following Orange County parcel identified by Parcel Identifier Number (PIN) 9788-36-4372, described below, shall be rezoned to Office/Institutional–3–Conditional Zoning (OI-3-CZ):

Beginning at an existing iron pin having NC Grid coordinates of N=786,330.55 and East=1,983,671.01 and located in the norther right-of-way line of West Cameron Street, said existing iron pin located South 38 degrees 04 minutes 31 seconds West 304.18 feet from NCGS “Brick Walk” having coordinates North=786,569.99 and East 1,983,858.58, and running thence along and with the northern right-o-way line of West Cameron Street South 64 degrees 33 minutes 40 seconds West 114.74 feet; thence North 24 degrees 56 minutes 20 seconds West 188.16 feet to a parker kalon nail in the top of a stone column; thence North 63 degrees 57 minutes 40 seconds East 113.75 feet to an existing iron pin; thence South 25 degrees 11 minutes 10 seconds East 39.05 feet to an existing iron pin; thence South 25 degrees 15 minutes 30 seconds East 150.30 feet to the point and place of Beginning, containing .495 acres and being the property shown on the survey entitled, “Foundation Location of Epsilon of Phi Gamma Delta, Inc.” by John C. Atkins, RLS, dated May 8, 1999.

SECTION II

The following conditions are hereby incorporated by reference:

1. Expiration of Conditional Zoning Atlas Amendment: An application for Zoning Compliance Permit must be filed by _____ (2 years from the date of this approval) or the land shall revert to its previous zoning designation. [LUMO 4.4.5(f)]
2. Land Use Intensity: This Conditional Zoning Atlas Amendment authorizes the following:

Use: Fraternity or Sorority, Dwelling Type	
Number of Buildings	1
Gross Land Area	23,763 sq. ft. (0.55 acres)
Maximum Floor Area	13,450 sq. ft.
Total Impervious Surface	16,634 sq. ft. or 70%
Maximum Land Disturbance	4,912 sq. ft.
Maximum Parking Spaces	No maximum required
Minimum Parking Spaces	No maximum required
Minimum Bicycle Parking Spaces	16 existing spaces

3. Landscape Bufferyards: The following landscape bufferyards shall be provided:

Location	Type	Vegetation
West	Modified Internal Type 'B'	Alternate 0' buffer as there is an existing shared driveway along the west property line.
North	10' Internal Type 'B'	Alternate buffer of a 6 ft. tall stone wall
East	10' Internal Type 'B'	10' buffer of hedges
South	15' External Type 'B'	Alternate buffer of 18" stone wall and 4' planter bed

4. Stormwater Structures: No stormwater management structures are permitted in the rights-of-way or building setbacks. This includes the outlet structure and stabilization, any underdrains, side slopes, and the downgradient toe of French drains. Further, all discharge must be in a sheet flow condition.
5. Stormwater Control Measure: The proposed stormwater control measure for the site shall be designed to meet the current North Carolina Division of Environmental Quality Design Manual.

TOWN OF CHAPEL HILL – CONDITIONAL ZONING STANDARD STIPULATIONS

Unless modified by the site-specific conditions noted above, these standards apply to all development permitted by Conditional Zoning Atlas Amendment. The following standard stipulations are supplemental to site-specific conditions as set by Town Council-approved ordinance.

Transportation

1. Bicycle Parking: Prior to issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details that comply with the Town parking standards for required and/or proposed bicycle parking spaces. Bicycle parking spaces should be placed near building entrances. The spaces must comply with the Spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines and the Class I and Class II bicycle parking standards required by the Town Design Manual. [LUMO 4.5.2]
2. Signs: The applicant has removed on-site parking and has committed to renting parking spaces at a neighboring site for the fraternity residents. The applicant shall install "No Parking" signs on the property to prevent parking from occurring in the driveway and on the grass.

Landscaping and Building Elevations

3. Invasive Exotic Vegetation: Prior to issuance of a Zoning Compliance Permit, the developer shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal of these species from the landscape buffer areas prior to planting. [Town Design Manual]
4. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, approval shall be required from the Historic District Commission for any proposed alternate buffer. [LUMO 5.6.8]
5. Lighting Plan Approval: Prior to issuance of a Zoning Compliance Permit, the Historic District Commission shall approve a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize upward light pollution and off-site spillage of light. [LUMO 8.5.5]
6. Historic District Commission Approval: This site is located in the Cameron-McCauley Historic District. The Historic District Commission shall exercise, within the historic district, all powers and duties of the Chapel Hill Community Design Commission. Exterior changes to the building or site may require Historic District Commission approval of a Certificate of Appropriateness (COA).

Environment

7. Stormwater Management Plan: Development projects must comply with *Section 5.4 Stormwater Management* of the Chapel Hill Land Use Management Ordinance.
8. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [Town Design Manual Chapter 10]
9. Energy Efficiency: Prior to issuance of a Zoning Compliance Permit, an energy efficiency plan shall incorporate a "20 percent more energy efficient" feature relative to the 90.1 energy efficiency standard of the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE), as amended and in effect at the time of Conditional Zoning approval. Comparable standards generally recognized as applicable to building energy consumption, as amended and in effect at the time of building permit issuance, may be used by the applicant when incorporating the "20 percent more energy efficient" feature into the final plans. An energy model should be used to demonstrate that the design will meet the aforementioned energy performance target. [Town Policy April 2007]
10. Energy Management Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit an Energy Management Plan (EMP) for Town approval. The plan shall: a) consider utilizing sustainable energy, currently defined as solar, wind, geothermal, biofuels, hydroelectric power; b) consider purchase of carbon offset credits and green power production through coordination with the NC GreenPower program; c) provide for 20 percent more efficiency that also ensures indoor air quality and adequate access to natural lighting, and allows for the proposed utilization of sustainable energy in

the project; and (d) if requested, provide for the property owner to report to the Town of Chapel Hill the actual energy performance of the plan, as implemented, during the period ending one year after occupancy. [Town Policy April 2007]

Water, Sewer, and Other Utilities

11. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, other applicable local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The developer shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]
12. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan; providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
13. Relocation of Overhead Utilities Underground: Prior to issuance of a Certificate of Occupancy, the developer will install underground all public utilities that are currently located overhead on the site except for 3 phase or greater electric lines. [LUMO 5.12.2]
14. Water/Sewer Line Construction: All public water and sewer plans shall be approved by and constructed according to OWASA standards. Where sewer lines are located beneath drive aisles and parking areas, construction methods approved by OWASA shall be employed to ensure that sewer lines will not be damaged by heavy service vehicles. [LUMO 5.12.1]
15. OWASA Approval: Prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12]
16. Irrigation: If permanent irrigation is proposed to support landscaping, an irrigation plan shall be submitted which includes the use of smart technologies to conserve water and energy.

Fire Safety

17. Fire Sprinklers: The developer shall install sprinklers under the North Carolina Fire Protection Code (NC FPC) prior to issuance of a Certificate of Occupancy. Prior to issuance of a Zoning Compliance Permit, the plans shall show all proposed fire department connections to such systems. [TOWN CODE 7-56]
18. Gates and Barricades: Where required or authorized by the fire code official and permanent or temporary (construction), any gates across fire apparatus access roads shall be a minimum width of 20 feet, be of swinging or sliding type, have an emergency means of operation, shall be openable by either forcible entry or keyed, capable of being operated by one person, and shall be installed and maintained according to UL 325 and ASTM F 2200. [NC FPC 2018, 503.5, 503.6, D103.5]

19. Grade and Approach: Fire apparatus access roads shall not exceed 10 percent in grade unless approved by the fire chief, and all approach and departure angles shall be within the limits established based on the Fire Department's apparatus. [NC FPC -2018, 503.2.7, 503.2.8 and D103.2]
20. Fire Protection and Utility Plan: A fire flow report for hydrants within 500 feet of each building shall be provided and demonstrate the calculated gallons per minute with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of North Carolina and accompanied by a water supply flow test conducted within one year of the submittal. Refer to the Town Design Manual for required gallons per minute.
21. Fire Department Connections and Standpipes: When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40 feet in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. [NC FPC 912 & NC FPC 2018 3313]
22. Fire Command Center: Where required in the North Carolina Fire Protection Code and in all high rise buildings, a fire command center must be constructed in accordance with Section 508, NC FPC 2018.
23. Aerials: Where a building exceeds 30 feet in height OR 3 stories above the lowest level of Fire Department Access, overhead power and utility lines shall not be allowed within the aerial apparatus access roadway and the roadway shall have an unobstructed width of 26 feet exclusive of the shoulders. At least one of the apparatus access roadways shall be located within a minimum of 15 feet and maximum of 30 feet from one complete side of the building. [NC FPC 2018 D105.1, D105.2, D105.3, D105.4]
24. Fire Apparatus Access Road: Any fire apparatus access roads (any public/private street, parking lot access, fire lanes and access roadways) used for fire department access shall be all-weather and designed to carry the imposed load of fire apparatus weighing at least 80,000 lbs. Fire apparatus access roads shall have a minimum width of 20 feet exclusive of shoulders with an overhead clearance of at least 13 feet 6 inches for structures not exceeding 30 feet in height and shall provide access to within 150 feet of all exterior portions of the building. Structures exceeding 30 feet in height shall be provided with an aerial apparatus access road 26 feet in width in the immediate vicinity of the building or portion thereof and shall provide at least one of the required access roads to be located not less than 15 feet and not more than 30 feet from the structure parallel to one entire side of the structure. [NC FPC 2018 502.1, 503.1.1, 503.2.1, D102.1 SECOND ACCESS DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DOT APPROVAL]
25. Dead End Access Roads: Dead end fire apparatus access roads exceeding 150 feet shall have a designated turn around. The turnaround shall meet one of the design standards of NC FPC 2018, Appendix D table D 103.4.
26. Building Height: Buildings exceeding 30 feet or three stories in height must have at least two means of fire apparatus access separated by at least one half the diagonal distance of the building. [NC FPC 2018, D104.1, D104.3 DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION DOT APPROVAL]

27. Fire Access: Prior to issuance of a Certificate of Occupancy, fire access shall be reviewed and approved by the Town of Chapel Hill.
28. Fire Apparatus Access Road Authority: The fire code official shall have the authority to increase the minimum access widths where they are deemed inadequate for fire and rescue operations. [NC FPC 2018 503.2.2]
29. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Protection Code, and National Fire Protection Association Standard #13. [NC Fire Protection Code 2018 Section 501.1 & 3312]
30. Fire Hydrant and FDC Locations: The Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department Connections shall be located on the street side of the building within 100 feet of a hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC 2018 Section 501.5.1.1]
31. Firefighting Access During Construction: Vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC FPC 2018, Section 3310.1]
32. Premise Identification: Approved building address numbers, placed in a position acceptable to the fire code official, shall be required on all new buildings. [NC FPC 2018, 505.1]
33. Key Boxes: Where required by the fire code official, a secure key box, mounted on the address side of the building, near the main entrance, shall be provided to ensure adequate access to the building based on life safety and/or fire protection needs. [NC FPC 2018, 506]
34. Automatic Fire Sprinkler System Required: An automatic fire sprinkler system meeting the requirements of NFPA Standard #13 and Town Code 7-56 is required to be installed in non-residential construction.
35. Fire Department Connections, Locations: Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 13D, 13R, or 14 of the NC FPC 2018 and Town Code 7-38 for location. FDCs shall be installed within 100 feet of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping. FDCs shall be equipped with National Standard Thread (NST) and be a 2.5" siamese.
36. Fire Department Connections, Installation: A working space of not less than 36 inches in width and depth and a working space of 78 inches in height shall be provided on all sides with the exception of wall mounted FDCs unless otherwise approved by the fire code official. The FDCs where required must be physically protected from impacts by an approved barrier. [NC FPC 2018, 912.1, 912.2 912.2.1, 312]

37. Fire Apparatus Access for Chapel Hill Fire Department: All fire department access determinations shall be based upon Chapel Hill Fire Department apparatus specifications (data specifications provided by Office of the Fire Marshal/Life Safety Division) and field verification. All proposed fire department access designs shall be reviewed and shall also pass field inspection.
38. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]
39. Fire Lane: Prior to issuance of a Certificate of Occupancy, any fire lane shall be marked and signed in accordance with Town standards, with the associated plans approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC, Sections 2018 503.3, D103.6, D103.6.1, D103.2]
40. Emergency Responder Radio Coverage in New Buildings: All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. [NC FPC 2018 Section 510.1]

Solid Waste Management and Recycling

41. Solid Waste Management Plan: Prior to issuance of a Zoning Compliance Permit, a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager and Orange County Solid Waste (OCSW). The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. If a refuse compactor is proposed or if the collection enclosure is not accessible by Town vehicles, the developer shall provide documentation of an agreement for solid waste collection by a private provider prior to issuance of a Zoning Compliance Permit. [Orange County Solid Waste]
42. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard (Regulated Recyclable Materials), all present in construction waste, must be recycled. All haulers of construction waste containing Regulated Recyclable Materials must be properly licensed with Orange County Solid Waste. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]
43. Deconstruction Assessment: For any existing structure 500 square feet or larger a deconstruction assessment shall be conducted by OCSW staff prior to the issuance of a demolition permit pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO). Prior to any demolition or construction activity on the site, the developer shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be held at the same pre-construction meeting held with other development/enforcement officials.

State and Federal Approvals

44. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]
45. North Carolina Department of Transportation Approvals: Prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT. [NC Department of Transportation]

Miscellaneous

46. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [Town Design Manual Chapter 10]
47. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [Town Code 17-42]
48. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.4]
49. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [Town Code 7-7]
50. Detailed Plans: Prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Chapel Hill Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]

51. Certificates of Occupancy: No Certificates of Occupancy shall be issued until all required public improvements are complete. A note to this effect shall be placed on the final plats.

If the Town Manager approves a phasing plan, no Certificates of Occupancy shall be issued for a phase until all required public improvements for that phase are complete, and no Building Permits for any phase shall be issued until all public improvements required in previous phases are completed to a point adjacent to the new phase. A note to this effect shall be placed on the final plats.

52. Traffic Signs: The developer shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.
53. New Street Names and Numbers: The name of the development and its streets and house/building numbers shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
54. As-Built Plans: Prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [Town Design Manual Chapter 10]
55. Vested Right: This Conditional Zoning approval constitutes a site specific development plan (and is defined as such in the Chapel Hill Land Use Management Ordinance) establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance. During the period of vesting this permit may be subject to subsequent changes to Town regulations to the extent such regulations have been enacted under authority other than the Town's zoning authority.
56. Continued Validity: Continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
57. Non-Severability: If any of the above conditions is held to be invalid, approval in its entirety shall be void.
58. Not-Comprehensive: The listing of these standard stipulations, and the specific stipulations applicable to this Permit, is not intended to be comprehensive and does not exclude other state and local laws and regulations which may be applicable to this Permit and development project.

BE IT FURTHER RESOLVED that the Council hereby approves the application for an amendment of the Chapel Hill Zoning Atlas to rezone the property located at 108 West Cameron Avenue to Office/Institutional-3-Conditional Zoning (OI-3-CZ).

This the ____ day of _____, 2020.

ORDINANCE B

AN ORDINANCE APPROVING AN ABANDONMENT OF THE 108 WEST CAMERON AVENUE SITE FROM THE EXISTING PHI GAMMA DELTA SPECIAL USE PERMIT

WHEREAS, on July 7, 1997, the Chapel Hill Town Council approved a Special Use Permit for a fraternity dwelling, known as Epsilon of Phi Gamma Delta, Inc., encumbering 23,763 square feet and approximately 0.55 acre, which was recorded at the Orange County Register of Deeds in Deed Book 1776, Page 335, identified as Orange County Parcel Identifier Numbers (9788-36-4372); and

WHEREAS, the 1997 Special Use Permit limited the Phi Gamma Delta Fraternity to no more than 10,870 square feet of floor area (10,770 sq. ft. for the house, 100 sq. ft. for the shed) and eight to twelve parking spaces; and

WHEREAS, on April 12, 2012, the Historic District Commission (HDC) approved a Certificate of Appropriateness (COA) that included a raised patio (loggia) with screened porch below and restriping parking spaces; and

WHEREAS on March 26, 2018, staff issued a ZCP for the construction of a raised patio (loggia) with screened porch below; doors, transoms, and lighting; parking lot restriping; and stormwater drainage redesign to be completed in accordance with the 2012 COA; and

WHEREAS on February 15, 2019, staff issued a Notice of Violation to Phi Gamma Delta due to changes to the property that occurred without required permits. These changes included replacing screened openings with windows, a new stone patio, and removing parking spaces in the backyard; and

WHEREAS on October 31, 2019, Phi Gamma Delta submitted a request to abandon the Special Use Permit and apply for Conditional Zoning to rezone the property from Office/Institutional-1 (OI-1) to Office/Institutional-3-Conditional Zoning (OI-3-CZ)

BE IT FURTHER RESOLVED that the Council hereby abandons the Special Use Permit for 108 West Cameron Avenue, known as Epsilon of Phi Gamma Delta, Inc., as it pertains to the 0.55-acre parcel, for which the Phi Gamma Delta Conditional Zoning Permit is currently proposed. The abandonment of the Special Use Permit and Modifications would be such that the subject parcel for the Phi Gamma Delta Conditional Zoning (PIN 9788-36-4372), would no longer be encumbered by the Special Use Permit, subject to the following conditions:

1. That the property shall remain a fraternity or sorority dwelling; and
2. That the applicant shall record the abandonment document for the parcel identified as Orange County Parcel Identifier Number (PIN 9788-36-4372), for the proposed Phi Gamma Delta Special Use Permit, dated July 7, 1997.

This the ____ day of _____, 2020.

A RESOLUTION REGARDING THE APPLICATION FOR CONDITIONAL ZONING ATLAS AMENDMENT AT THE PROPERTY LOCATED AT 108 WEST CAMERON AVENUE TO OFFICE/INSTITUTIONAL-3-CONDITIONAL ZONING DISTRICT (OI-3-CZ) AND CONSISTENCY WITH THE COMPREHENSIVE PLAN (2020-X-X/R-X)

WHEREAS, Kevin Hornik, Brough Law Firm has filed an application for Conditional Zoning Atlas Amendment on behalf of Epsilon of Phi Gamma Delta, Inc. to rezone a 0.496-acre parcel located at 108 West Cameron Avenue and identified as Orange County Parcel Identifier Number 9788-36-43752 to Office/Institutional-3-Conditional Zoning District (OI-3-CZ) to allow 13,560 square feet of fraternity or sorority dwelling type use; and

WHEREAS, the Town staff have completed a review of the application for compliance with the Land Use Management Ordinance, Town Code, and for Consistency with the Comprehensive Plan; and

WHEREAS, the Planning Commission reviewed the application on April 7, 2020 and recommended that the Council enact the Zoning Atlas Amendment rezoning the property; and

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning Atlas Amendment on behalf of Epsilon of Phi Gamma Delta, Inc. to rezone and finds that the amendment if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

Housing for students that is safe, sound, affordable, and accessible and meets a demonstrated need conducive to educational and maturational needs of students, and housing for Town, University, and the Health Care System employees that encourages them to reside in the community. (*Town and Gown Collaboration.4*)

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed Conditional Zoning Atlas Amendment to be reasonable and consistent with the Town Comprehensive Plan.

This the ____ day of _____, 2020.

RESOLUTION B
(Denying the Conditional Zoning Application)

A RESOLUTION DENYING AN AMENDMENT OF THE CHAPEL HILL ZONING ATLAS TO REZONE THE PROPERTY LOCATED AT 108 WEST CAMERON AVENUE TO OFFICE/INSTITUTIONAL-3-CONDITIONAL ZONING (OI-3-CZ) (PROJECT #19-127)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Conditional Zoning application, proposed by Kevin Hornik, Brough Law Firm on behalf of Epsilon of Phi Gamma Delta, Inc., to rezone a 0.496 acre parcel located at 108 West Cameron Avenue on property identified as Orange County Property Identifier Number 9788-36-43752, if rezoned to Office/Institutional-3-Conditional Zoning (OI-3-CZ) according to the rezoning plan dated October 31, 2019, and the conditions listed below would not:

- a) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- b) Conform with the Comprehensive Plan
- c) Be compatible with adjoining uses
- d) Mitigate impacts on surrounding properties and the Town as a whole
- e) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- f) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

BE IT FURTHER RESOLVED that the Council hereby denies the application for an amendment of the Chapel Hill Zoning Atlas to rezone the property located at 108 West Cameron Avenue to Office/Institutional-3-Conditional Zoning (OI-3-CZ).

This the ____ day of _____, 2020.

2012 APPENDIX B
BUILDING CODE SUMMARY
FOR ALL COMMERCIAL PROJECTS

Name of Project: **Patio Addition to the Phi Gamma Delta House**
Address: **108 W. Cameron Ave., Chapel Hill, NC, 27514**
Proposed Use: **Addition to existing structure**
Owner: Authorized Agent: **Jack Haggerty, Architect; 205 W. Main St.; Carrboro NC**
919 967-5191 jack@jackhaggertyarchitect.com

Owned By: **Private**
Code Enforcement Jurisdiction **Town of Chapel Hill**

LEAD DESIGN PROFESSIONAL: Jack Haggerty, Architect
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL
Architectural: Jack Haggerty, Architect Jack Haggerty 51782 6892 919-967-5191 jack@jackhaggertyarchitect.com
Electrical: Alamance Consulting Eng. G. Kevin Bengal 25043 336-449-4558 alamance@ace-nc.net
Fire Alarm: Alamance Consulting Eng. G. Kevin Bengal 25043 336-449-4558 alamance@ace-nc.net
Sprinkler-to be submitted under separate permit
Structural: Excel Engineering Rob Munach 19339 919-542-7578 rob@robmunachpe.com

2012 EDITION OF NC CODE FOR: X Addition
EXISTING: ☐ Reconstruction ☐ Alteration ☐ Repair
CONSTRUCTED ☐ ORIGINAL USE ☐ RENOVATED ☐ CURRENT USE

BUILDING DATA
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A
☐ I-B ☐ II-B ☒ III-B ☐ V-B
Mixed construction: ☐ No ☐ Yes Types: _____
Sprinklers: ☒ Yes ☐ NFPA 13 ☐ NFPA 13R ☐ NFPA 13D
Standpipes: ☐ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry
Fire District: ☒ No Flood Hazard Area: ☒ No
Building Height: 48' Number of Stories: 4
Mezzanine: ☒ No
Gross Building Area:
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL
3rd Floor 2,372
2nd Floor 2,724
1st Floor 2,724 1,044 unhd.
Basement 3038.5 1,044 unhd.
TOTAL 20,120 2,088 No new hld. sq.ft.

ALLOWABLE AREA
Primary Occupancy: Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5
☐ Business ☐ Educational ☐ Factory ☐ F-1 Moderate ☐ F-2 Low
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM
Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4
1-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5
☐ Mercantile ☐ Residential ☐ R-1 ☒ R-2 ☐ R-3 ☐ R-4
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled
☐ Utility and Miscellaneous ☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage
Secondary Occupancy: N/A
Special Uses: N/A - 419 Group R-2 but no effect on dwelling units
Special Provisions: N/A
Mixed Occupancy: N/A

ALLOWABLE HEIGHT AREA INCREASE
NO HEIGHT OR AREA INCREASE IS REQUIRED OR REQUIRED

FIRE PROTECTION REQUIREMENTS
Life Safety Plan Sheet #, if Provided **A-2, PLAN**
Information below is for addition shown in drawings.

BUILDING ELEMENT	FIRE SEPARATION DISTANCE (FEET)	RATING REQUIRED	RATING PROVIDED (REDUCTION)	DETAIL # AND SHEET #	DESIGN # FOR RATED ASSEMBLY	DESIGN # FOR RATED PENETRATION	DESIGN # FOR RATED JOINTS
Structural Frame, including columns, girders, trusses							
Bearing Walls							
Exterior							
North	27"	1					
East	30"	1					
West	30"	1					
South	70"	1					
Interior							
Nonbearing Walls and Partitions							
Exterior walls							
North							
East							
West							
South							
Interior walls and partitions							
Floor Construction including supporting beams and joists							
Roof Construction including supporting beams and joists							
Shaft Enclosures - Exit							
Shaft Enclosures - Other							
Corridor Separation							
Occupancy Separation							
Party/Fire Wall Separation							
Smoke Barrier Separation							
Tram Separation							
Incidental Use Separation							

* Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ☒ Yes
Exit Signs: ☐ No ☒ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection Systems: ☒ No ☐ Yes ☐ Partial _____
Panic Hardware: ☒ No ☐ Yes

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM ¹ NUMBER OF EXITS		TRAVEL DISTANCE		ARRANGEMENT MEANS OF EGRESS ^{2,3} (SECTION 1015.2)	
	REQUIRED	SHOWN ON PLANS	ALLOWABLE TRAVEL DISTANCE (TABLE 1015.1)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	REQUIRED DISTANCE BETWEEN EXIT DOORS	ACTUAL DISTANCE SHOWN ON PLANS
SCREENED ENCLOSURE	2	2	250'	20'	SEE PLAN	SEE PLAN
RAISED PATIO	1	1	250'	35'		

¹ Corridor dead ends (Section 1017.3)
² Buildings with single exits (Table 1019.2). Spaces with one means of egress (Table 1015.1)
³ Common Path of Travel (Section 1014.3)

EXIT WIDTH

USE GROUP OR SPACE DESCRIPTION	AREA ¹ sq. ft.		CALCULATED PER OCCUPANT LOAD (a+b)	EGRESS WIDTH PER OCCUPANT (TABLE 1005.1)		REQUIRED WIDTH (SECTION 1005.1) (a+b) x c		ACTUAL WIDTH SHOWN ON PLANS	
	(a)	(b)		STAIR	LEVEL	STAIR	LEVEL	STAIR	LEVEL
PATIO	1,044	200 GROSS	49	-----	.2"	-----	20"	-----	70"

¹ See Table 1004.1.1 to determine whether net or gross area is applicable.
See definition "Area, Gross" and "Area, Net" (Section 1002)
² Minimum stairway width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1)
³ Minimum width of exit passageway (Section 1021.2)
⁴ See Section 1004.5 for converging exits.
⁵ The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)
⁶ Assembly occupancies (Section 1025)

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors: Wind (I_w) 1.0
Snow (I_s) 1.0
Seismic (I_e) 1.0
Live Loads: Roof _____ psf
Mezzanine _____ psf
Floor 100 psf
Ground Snow Load: 10 psf
Wind Load: Basic Wind Speed 90 mph (ASCE-7)
Exposure Category B
Wind Base Shears (for MWFRS) $V_x =$ 1.6 $V_y =$ 5.2

SEISMIC DESIGN CATEGORY ☐ A ☐ B ☒ C ☐ D

Provide the following Seismic Design Parameters:
Occupancy Category (Table 1604.5) ☐ I ☒ II ☐ III ☐ IV
Spectral Response Acceleration $S_s =$.21 $S_d =$.9 %g
Site Classification ☐ Field Test ☒ Presumptive ☐ Historical Data
Basic structural system (check one):
____ Bearing Wall _____ Dual w/Special Moment Frame
____ Building Frame _____ Dual w/Intermediate R.C. or Special Steel
____ Moment Frame ☒ Inverted Pendulum
Seismic base shear $V_s =$ 3.0 $V_e =$ 2.0
Analysis Procedure ☒ Simplified _____ Equivalent Lateral Force _____ Modal
Architectural, Mechanical, Components anchored?

LATERAL DESIGN CONTROL: Earthquake _____ Wind X _____

SOIL BEARING CAPACITIES:
Field Test (provide copy of test report) _____ psf
Presumptive Bearing capacity _____ psf
Pile size, type, and capacity _____

PLUMBING FIXTURE REQUIREMENTS

NO OCCUPANT INCREASE

ACCESSIBLE PARKING

LOT OR PARKING AREA	TOTAL # OF PARKING SPACES REQUIRED	# OF ACCESSIBLE SPACES PROVIDED	TOTAL # ACCESSIBLE SPACES PROVIDED
PARKING IN REAR OF BLDG.	8-12	9	1
TOTAL			1

General Notes

The scope of work shall include all labor, materials, equipment, temporary services (including toilet, space heating, generators, etc.) building and other permits and fees necessary to complete the job as shown on these documents.

All Work shall conform to all applicable State and Local Codes, Regulations and Ordinances, and shall be constructed to the highest standards of craftsmanship by properly licensed and qualified Subcontractors of the respective trades. All defective work shall be reconstructed to the approval of the Architect at no cost to the Owner. It shall be the Contractor's responsibility to report any code or workmanship discrepancies to the Owner before proceeding with the Work; otherwise, it is assumed that the represented conditions are accurate and satisfactory, and that the Work can be performed as indicated in the Construction Documents.

All equipment and materials shall be installed according to manufacturers' instructions unless noted otherwise. The Contractor shall provide the owner with a one year warranty on all workmanship and materials, with such warranty beginning at the date of Substantial Completion.

If any material is discovered during excavation or demolition which is in any way considered to contain asbestos or other hazardous or toxic material, construction shall be stopped immediately and the condition reported to Owner.

Drawings shall not be scaled. If there is a discrepancy or absent dimension, contact Architect for clarification.

The Contractor shall take all reasonable precautions to minimize water entering building during construction, and that the building and site remain secure and safe at all times, providing all necessary components for construction safety, care of adjacent existing property and construction. The Contractor shall comply with all County, State and Federal Regulations regarding safety.

General Contractor shall keep job site clean, free of trash and orderly. Work area, interior and exterior; shall be cleaned at end of project.

All new construction shall be plumb, straight and square, and in proper alignment.

General Contractor shall protect all existing construction and finishes to remain, and shall repair any that are disturbed by his operations.

General Contractor shall engage qualified sprinkler contractor for design and extension of sprinklers to Basement ceiling. Piping to sprinkler shall be above ceiling. Sprinkler cost and associated construction shall be included in General contractor's proposal.

General Site Notes

General Contractor shall coordinate w/ Owner on location for material storage.

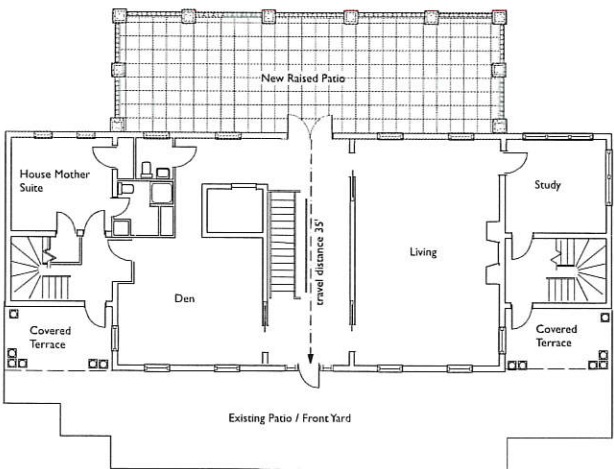
Erosion Control: Contractor shall do all that is possible to minimize soil erosion and siltation caused by his operations. He shall comply with all applicable Town of Chapel Hill regulations relating to erosion prevention and control.

Earth Excavation: Footing trenches shall extend into adequate bearing soil a minimum of 6", and be a minimum of 12" below finish grade or as indicated on drawings. Provide fences, barricades or any other safety devices around all open trenches, excavations or any other hazardous area. Protect all graded and excavated areas from traffic and erosion.

General Contractor shall protect all existing construction to remain.

Termite Treatment shall be according to N.C. State Building Code.

All plantings shall have 1 year warranty.



First Floor Life Safety Plan



Location Map

Project Team

Jack Haggerty, Architect - Designer

Alamance Engineers- Plumbing, Mechanical, Electrical & Fire Alarm

Rob Munach, P.E. - Structural Design

Sheet Index

a drawing for extension of sprinkler system will be supplied by sprinkler contractor

COVER - Appendix B

A-1 - Site Plans, New & Exist.; Demolition Plan

A-2 - Raised Patio and Screened Enclosure Plan

~~A-3 - Drain Plan; Reflected Ceiling Plan~~

A-4 - North Elevation

A-5 - West Elevation; Details

~~A-6 - Section and Elevation Details~~

~~S-1 - Structural Plan and Details (Excel Engineering)~~

~~P-1 - Patio Drain Plan (Alamance Consulting Engineers)~~

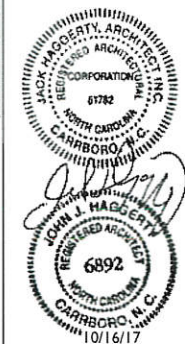
~~E-1 - Lighting Plan (Alamance Consulting Engineers)~~

~~E-2 - Electrical Plan (Alamance Consulting Engineers)~~

~~E-3 - Panel Schedule & Notes (Alamance Consulting Engineers)~~

~~FA-1 - Fire Alarm Plan (Alamance Consulting Engineers)~~

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27510



Phi Gamma Delta
Fraternity House
108 W. Cameron St., Chapel Hill, North Carolina

for
construction

COVER

October 13, 2017

1 of 13

Zoning - Approved Plan Set
7 sheets 3/26/18 Mike Klein, AICP

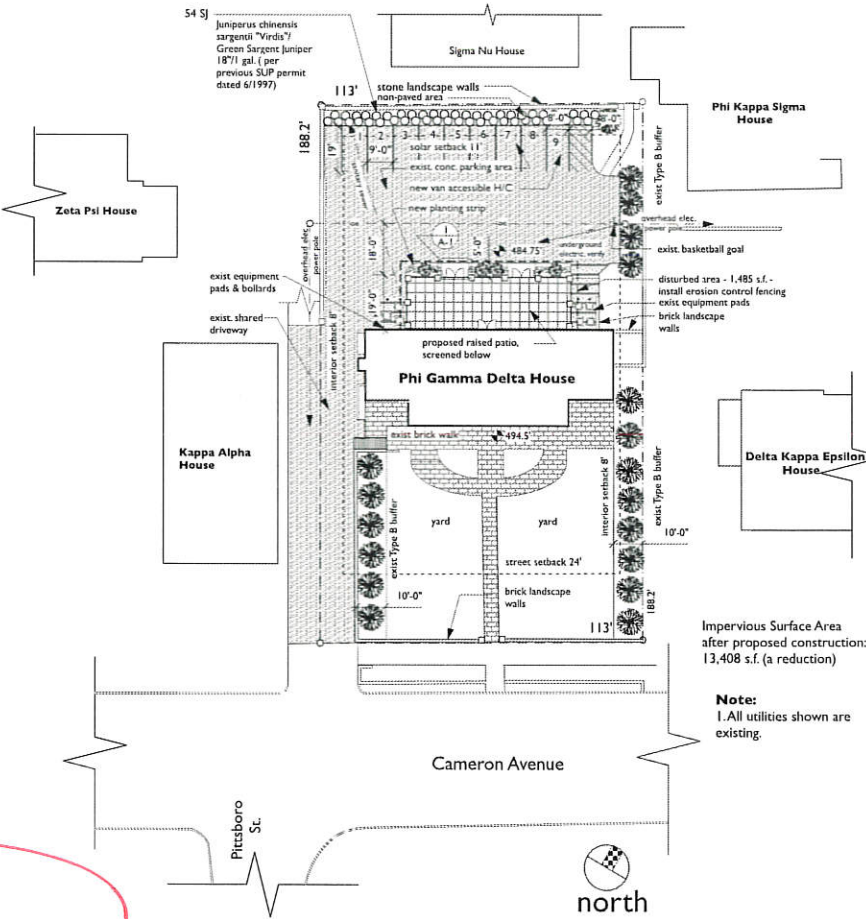
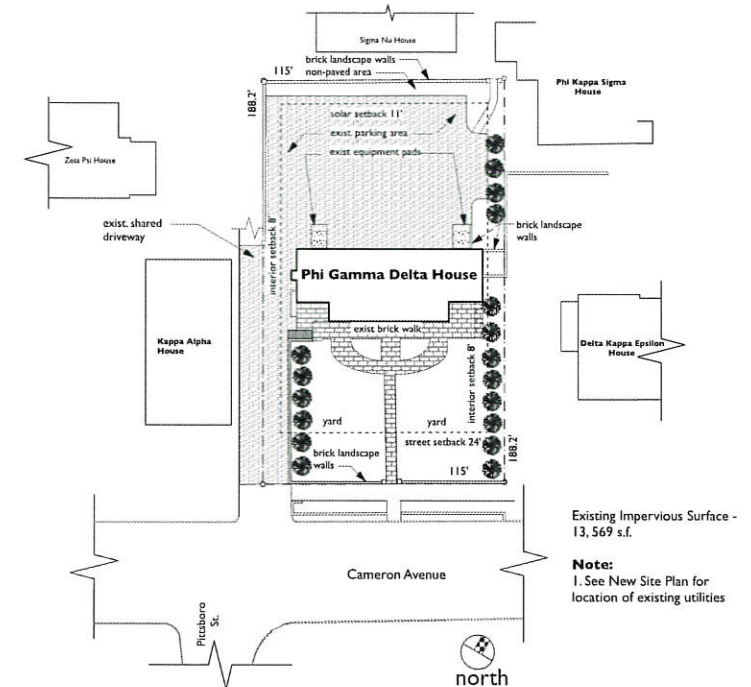
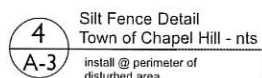
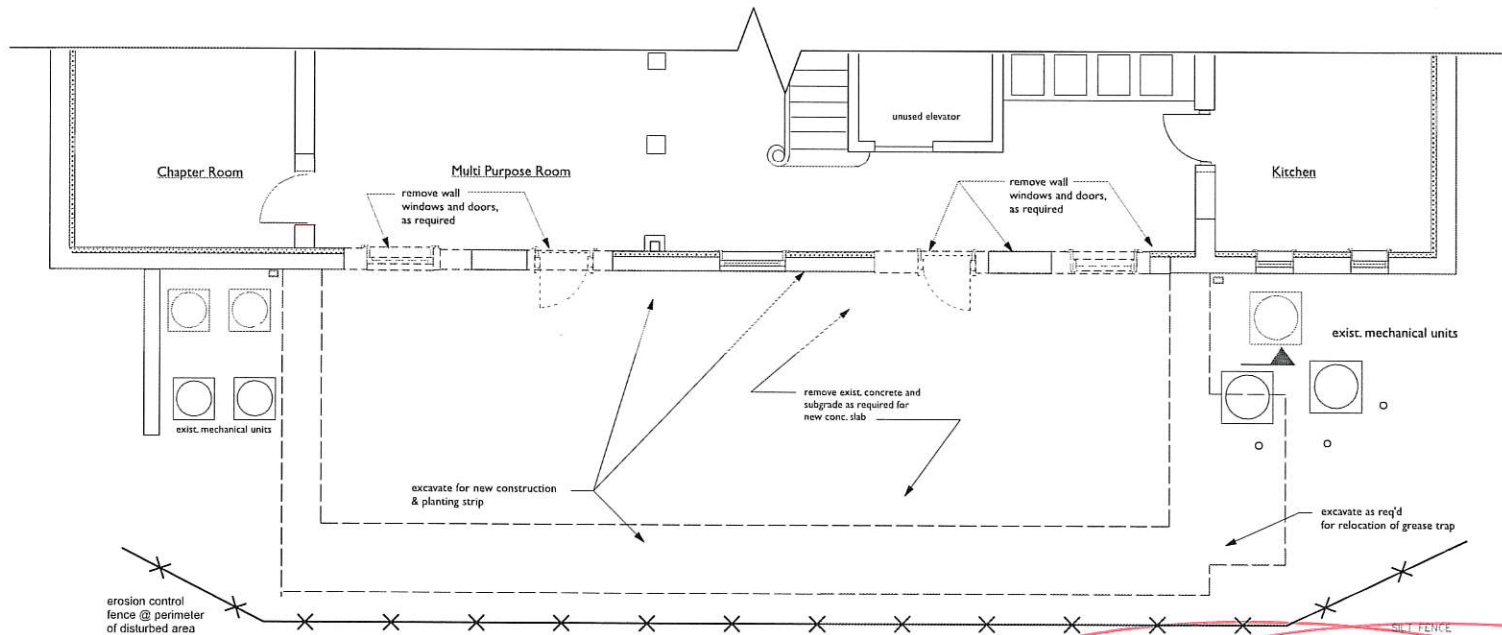
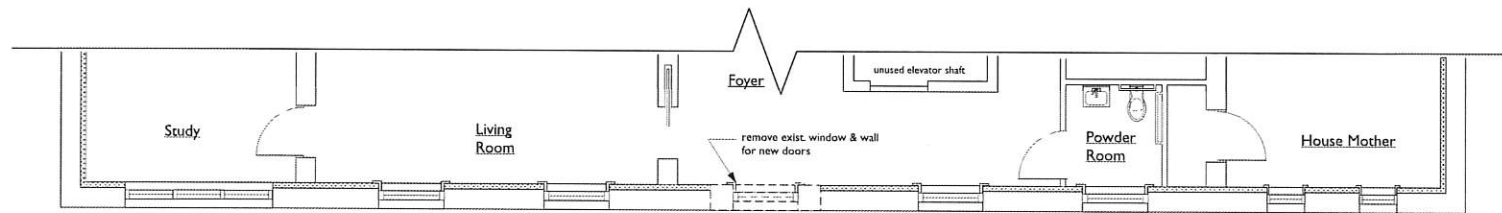
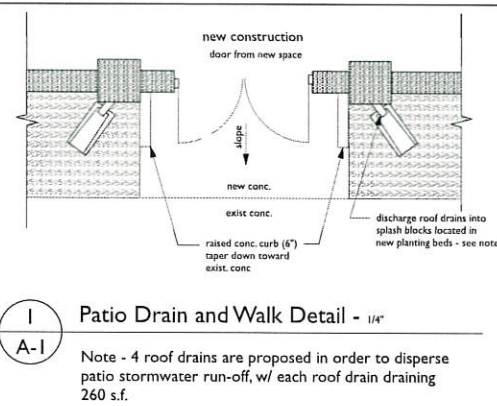
Demolition Notes

- All demolition work may not be shown. General Contractor shall coordinate demolition work with work shown on other drawings.
- General Contractor shall provide means of temporary support at areas where walls are removed.
- General Contractor shall coordinate w/ fraternity representatives regarding any utility stoppage or disruptions.
- General Contractor shall provide protection and warning around any open excavations.
- General Contractor shall protect existing mechanical equipment and re-install any bollards disturbed by construction.
- General Contractor shall protect existing downspouts and divert temporarily from construction activity.
- General Contractor shall keep building interior secure and protected from the weather during construction.
- General Contractor shall coordinate w/ Sprinkler Contractor on any req'd demolition for installation of sprinklers.

adj. - adjacent
a.f.f. - above finished floor
blk. - block/blocking
cab(s) - cabinet(s)
c/g. - ceiling
col. - column
cont. - continuous
conc. - concrete
ds. - downspout
dtl. - detail
dwg. - drawing
elec. - electric
elev. - elevation
eq. - equal
e.w.c. - electric water cooler

flg. - flooring
fr. ext. - fire extinguisher
gwb. - gypsum wall board
ht. - height
insul. - insulation
lsv. - lavatory
mat. - material
max. - maximum
mfr. - manufacturer
min. - minimum
misc. - miscellaneous
moist. resist. gwb. - moisture resistant gypsum wall board
o.c. - on center
opng. - opening

reinf. - reinforcement
r.o. - rough opening
sch. - schedule
s.h. - sill height
sim. - similar
spec (s). - specifications
std. - steel
t.o.p. - top of wall
typ. - typical
u.o.n. - unless otherwise noted
vert. - vertical
wd. - wood



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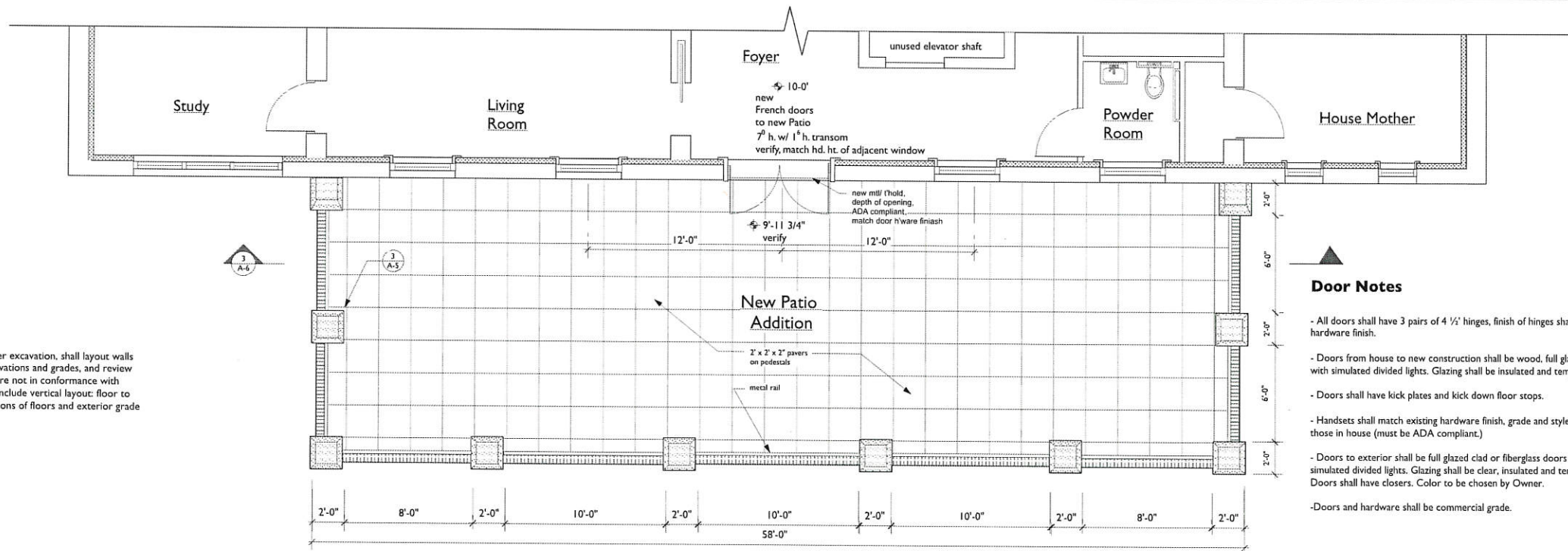


Phi Gamma Delta Fraternity House
108 W. Cameron St., Chapel Hill, North Carolina

for construction
10/13/17
A-1
13

Lay-Out Note

General Contractor, prior to and after excavation, shall layout walls and openings, and proposed floor elevations and grades, and review with Architect if existing conditions are not in conformance with proposed construction. Layout shall include vertical layout: floor to floor, top of openings, finished elevations of floors and exterior grade outside of doors.



Door Notes

- All doors shall have 3 pairs of 4 1/2" hinges, finish of hinges shall match hardware finish.
- Doors from house to new construction shall be wood, full glazed, with simulated divided lights. Glazing shall be insulated and tempered.
- Doors shall have kick plates and kick down floor stops.
- Handsets shall match existing hardware finish, grade and style of those in house (must be ADA compliant).
- Doors to exterior shall be full glazed clad or fiberglass doors with simulated divided lights. Glazing shall be clear, insulated and tempered. Doors shall have closers. Color to be chosen by Owner.
- Doors and hardware shall be commercial grade.

1
A-2
First Floor Plan- 1/4"

Concrete

Concrete Slabs and Footings: Mix design for concrete shall develop a minimum strength of 3000 psi in 28 days, or as indicated in drawings.

Concrete for sidewalks shall be air-entrained type, and shall be placed on gravel or compacted subgrade with construction joints every 5' on center.

All cast-in-place concrete shall be poured continuously with no cold joints.

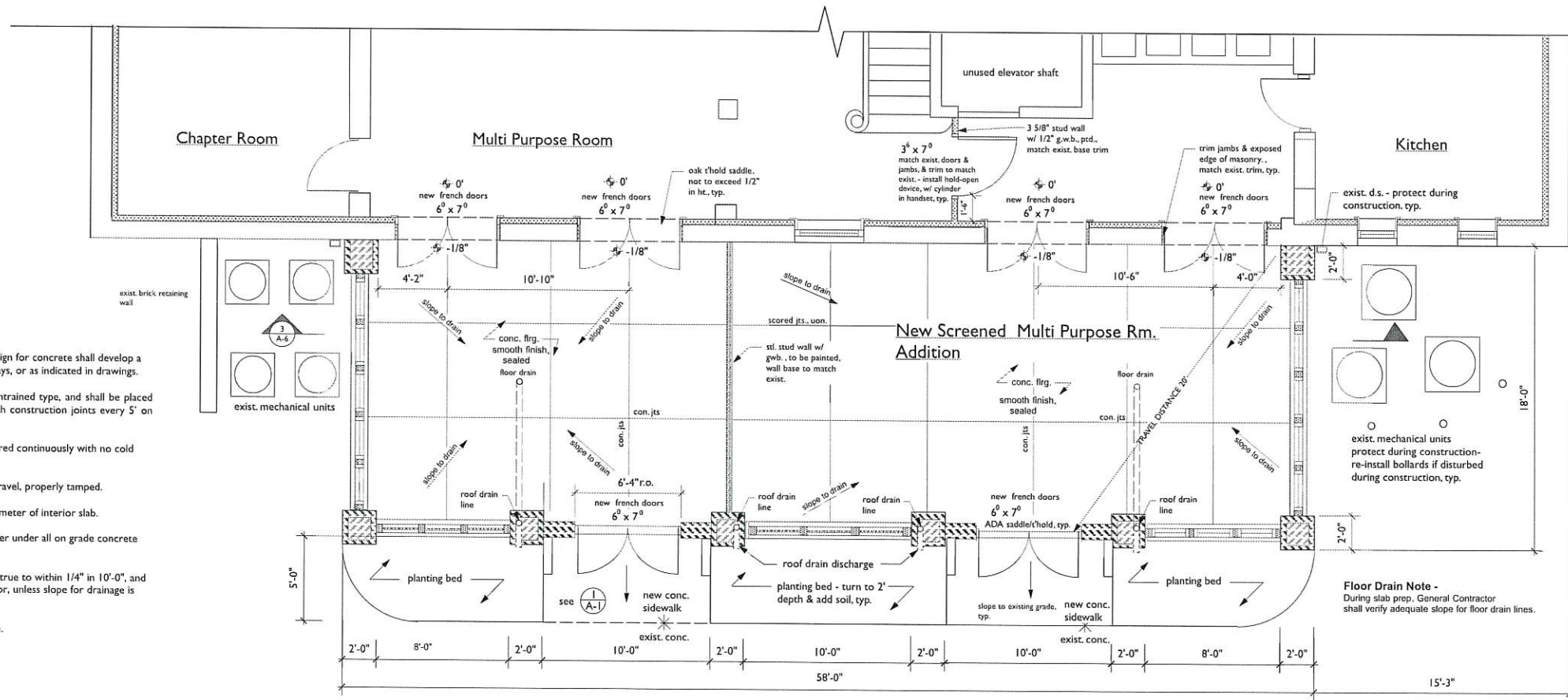
Concrete shall be placed on washed gravel, properly tamped.

Install expansion joint material @ perimeter of interior slab.

Install 12 mil. polyethylene vapor barrier under all on grade concrete slabs.

All concrete shall be poured level and true to within 1/4" in 10'-0", and not to exceed 1/2" in entire run of floor, unless slope for drainage is indicated.

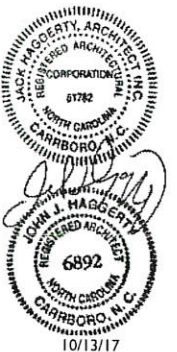
Interior slab shall have broom finish.



Floor Drain Note -
During slab prep, General Contractor shall verify adequate slope for floor drain lines.

2
A-2
Basement Plan- 1/4"

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10/13/17
A-2

13

Masonry

All masonry work shall comply with recommendations of the Brick Institute of America and the Carolinas Concrete Masonry Association.

Concrete Masonry Units (CMU): Provide manufacturer's standard units as indicated on Drawings. Provide units complying with ASTM C 90, Grade N-1.

Mortar for Unit Masonry: Provide commercial mortar mix, type "S", for all exposed brick and CMU masonry work.

Brick shall match brick at fraternity house in size, color and texture. Brick bond shall match that of brick at the same building. Provide sample for owner review prior to ordering.

Layout walls in advance for accurate spacing of bond patterns, with uniform joint widths and to properly locate openings.

Clean mortar from all walls as work progresses. At the end of the job clean masonry walls with stiff brushes and cleaning compound as recommended by the manufacturer.

General Contractor and Masonry Contractor shall coordinate on work to be installed in masonry – See electrical and architectural plans.

Aluminum Railing Note

Railings at Patio shall be by Superior Aluminum Products, Inc., Series 9100.

Rail height shall be 36", with double top rail and ring inserts.

Rails shall be side-mounted, with intermediate heavy-duty base mounts. All rail components shall be by Superior Aluminum Products, Inc.

Finish shall be dark bronze.

Location of anchor-verticals and bases are schematic. Manufacturer shall determine number and location of anchor verticals and mounting bases based on support required for rails and length of rail run.

Exterior Finish Notes

Brick

- Exterior brick walls shall be sealed with clear sealant.
- Sealer shall be silane/siloxane based.
- Brick shall be clean and dry before application of sealant.
- apply per manufacturer's instructions.

Screening Frames

- Pressure treated material shall be stained with a solid color stain.
- Prep surface and apply stain per manufacturer's recommendation.
- Color to be chosen by Owner.



I
A-4
North Elevation - 1/4"

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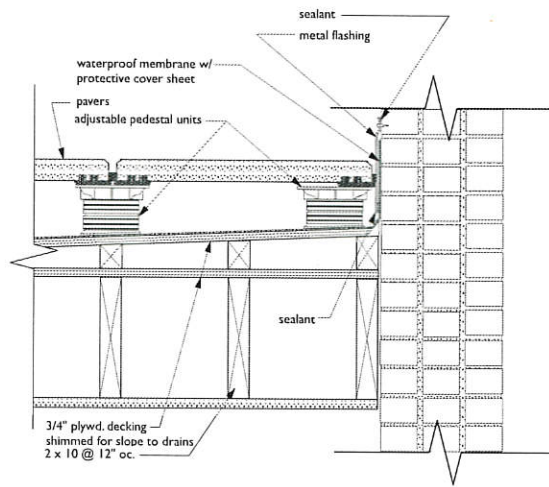


Phi Gamma Delta
Fraternity House
108 W. Cameron St., Chapel Hill, North Carolina

for
construction

Oct. 13, 2017
A-4
13

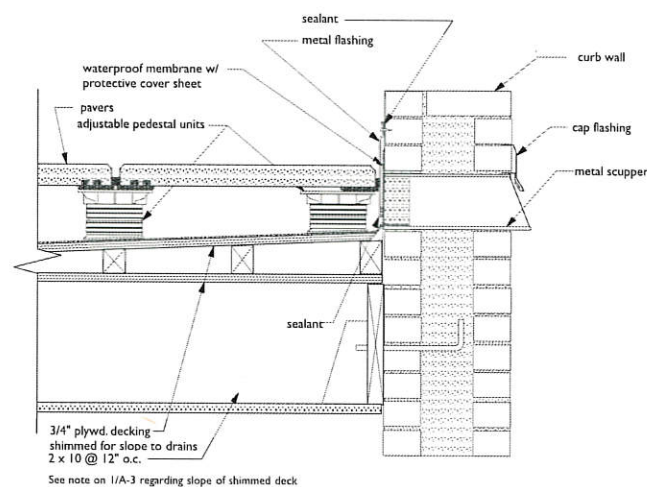
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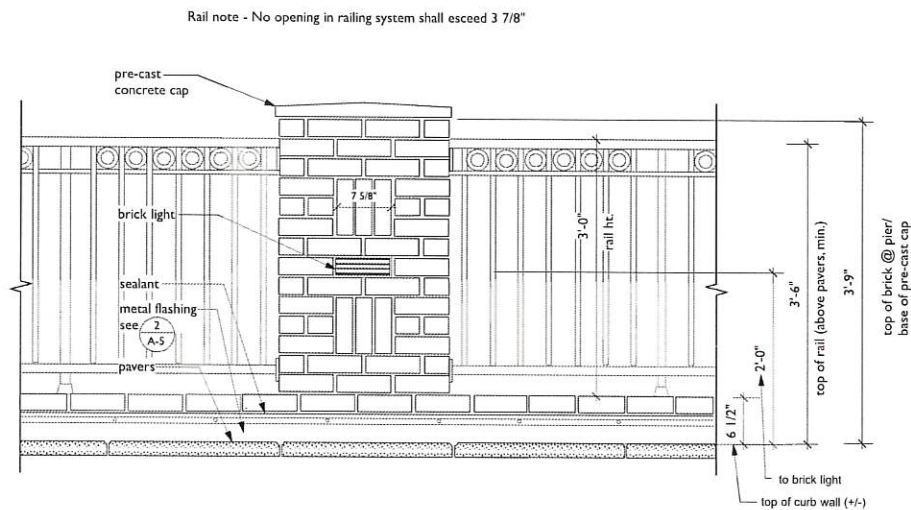
2

A-5

Flashing @ Existing House Wall - 1/2"



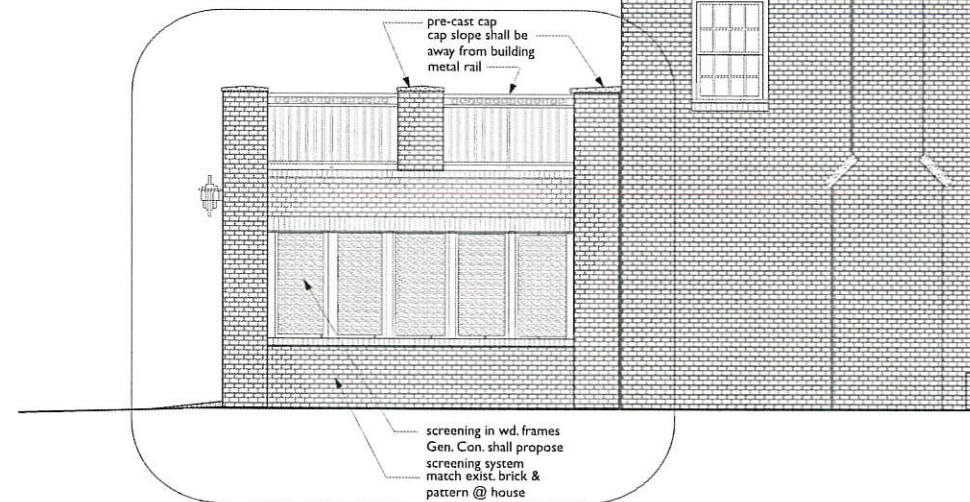
Flashing @ Patio Curb - 1/2"



3

A-5

Piers @ Patio - 1"



New Patio Addition

1
A-5

West Elevation - 1/4"

Note: East Elevation of Raised Patio is identical to the West Elevation

Paver and Pedestal System shall be Terra-Stand Pedestal system by Tectura Designs and Wausau. Installation shall include all components necessary for system – spacers (3/16"), Terra-Tabs, shims, waffle reducers and pedestals and any other required components. Pavers shall be by Tectura Design Pavers, and shall be compatible with pedestal system. Color of pavers to be selected by Owner from manufacturer's standard palette, allow for two colors in checkerboard pattern. Contractor experienced with pedestal/paver system shall install system.

Waterproof Membrane Note: General Contractor shall consult with Paving/Pedestal System Contractor and Roofing Contractor on roofing membrane recommendation – type of membrane, thickness, type of protective cover sheet and required slope for membrane drainage. Roofing membrane shall be compatible with paver/pedestal system and roofing substrate. Coordinate roofing membrane installation with roof drains, scuppers and perimeter flashing to achieve water-tight installation.

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**Phi Gamma Delta
Fraternity House**
108 W. Cameron St., Chapel Hill, North Carolina

for
construction

Oct. 13, 2017

A-5

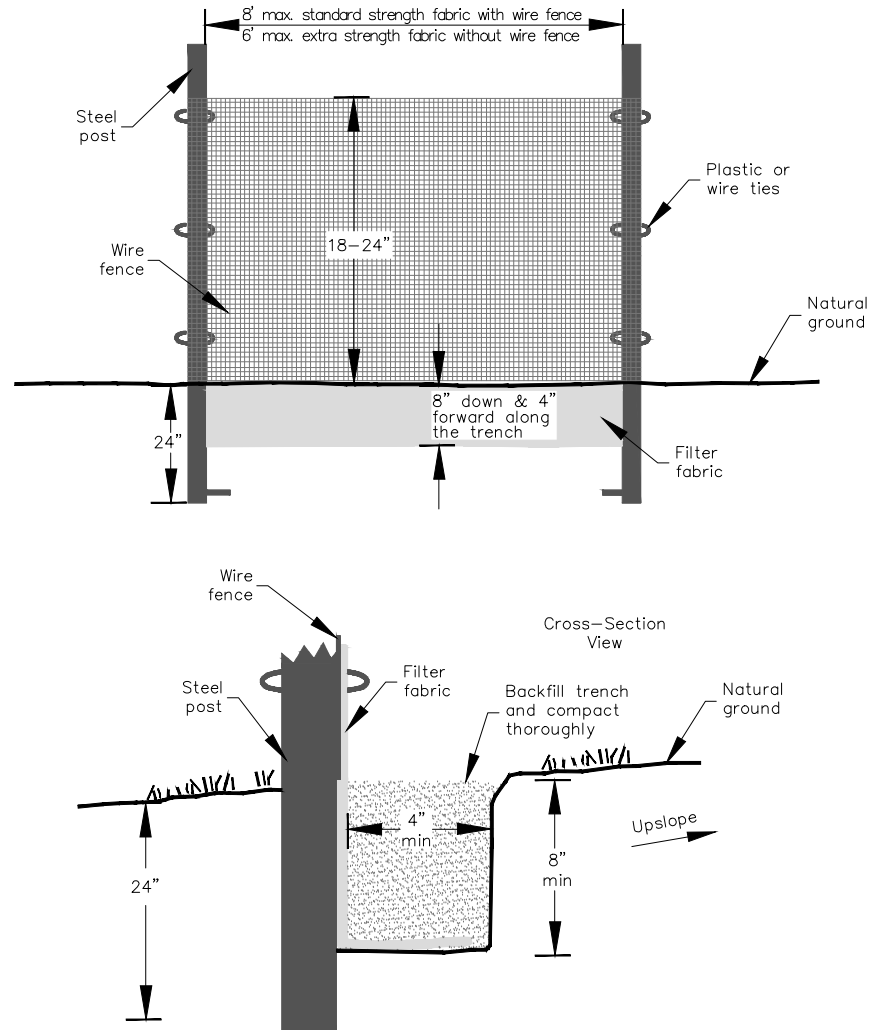
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ENGINEERING DEPARTMENT STANDARD DETAILS

SILT FENCE



GENERAL NOTES:

1. Use silt fence only when drainage area does not exceed $\frac{1}{4}$ acre and never in areas of concentrated flow.
2. Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.

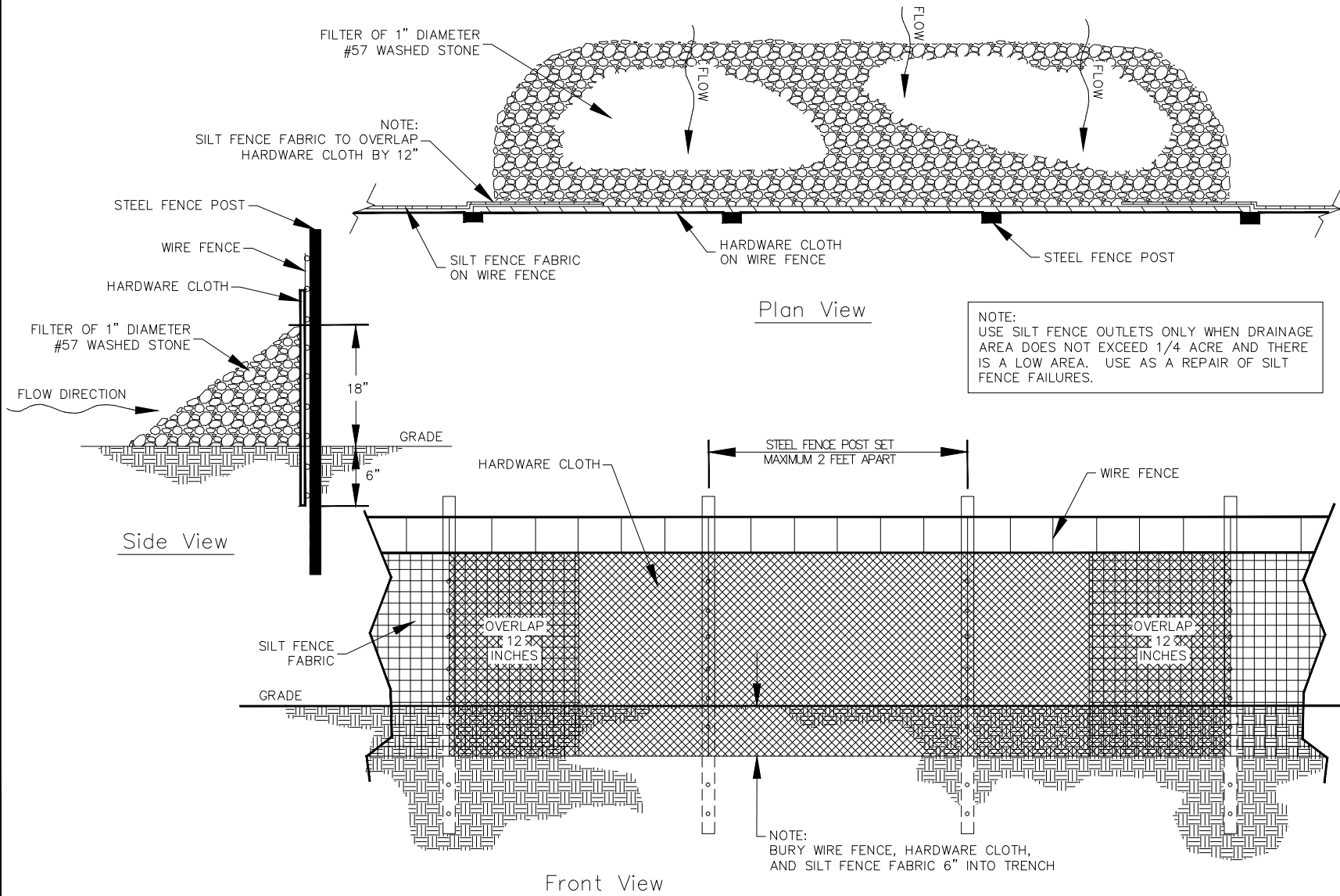
NOTE: DRAWING NOT TO SCALE

TITLE:		REVISIONS		DET. NO.
SILT FENCE		08/13	15	SD-18



ENGINEERING STANDARD DEPARTMENT DETAILS

SILT FENCE OUTLET



NOTE: DRAWING NOT TO SCALE

TITLE:	REVISIONS		DET. NO.
SILT FENCE OUTLET	08/13	15	SD-19

Notes

- 1) This survey was performed without the benefit of a title report. This survey is subject to any facts and easements which may be disclosed by a full and accurate title search.
- 2) This property is subject to all easements, buffers and restrictions shown hereon and all others of record not shown hereon.
- 3) This property is not in a special flood hazard zone per DFIRM panel 9788, map #3710978800K, effective Nov. 17, 2017.
- 4) This property is zoned OI-1 per Chapel Hill GIS.
- 5) This property is located within the Cameron-McCauley Historic District (HD-2) per Chapel Hill GIS.
- 6) This property has a special use permit on file in book 1776, page 335, Orange County Registry.

Dimensional Standards for OI-1 per ToCH LUMO

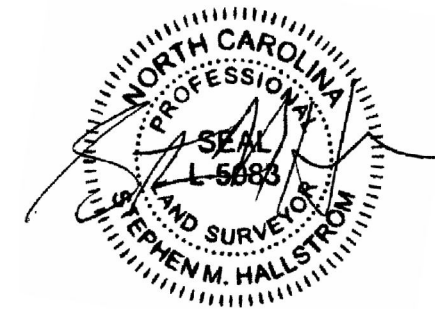
Minimum street setback	: 24'
Minimum interior setback	: 8'
Minimum solar setback	: 11'

Lot Area:

N.L.A: 21,602.8 s.f. (0.496 ac.)
G.L.A: 23,763.1 s.f. (0.546 ac.)

Impervious Surfaces	
existing house	2,760 s.f.
porches	293 s.f.
addition	1,005 s.f.
conc. driveway	2,234 s.f.
brick walk	1,812 s.f.
conc. patio	1,309 s.f.
stone walls	604 s.f.
brick patio	555 s.f.
slate walk	308 s.f.
conc. @ slate walk	103 s.f.
stairs & landing	75 s.f.
conc. walk	33 s.f.
Total	11,091 s.f.

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 90, PAGE 2); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM SOURCES NOTED HEREON; THAT THE RATIO OF PRECISION IS A MAXIMUM OF 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY SIGNATURE, LICENSE NUMBER, AND SEAL THIS 2nd DAY OF AUGUST, 2019.



As-Built Survey

PROPERTY OF
Epsilon of Phi Gamma Delta Inc.

PROPERTY ADDRESS: 108 West Cameron Avenue

PIN REFERENCE: 9788-36-4372
DEED REFERENCE: 90-2
PLAT REFERENCE: 64-64

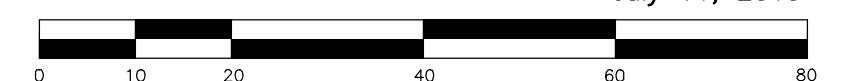
OWNER'S ADDRESS

Epsilon of Phi Gamma Delta Inc.
c/o Charles Bell - Alumni Treasurer
1801 Great Oaks Dr.
Raleigh, NC 27608

Chapel Hill Township
Orange County
North Carolina

SCALE: 1" = 20'

Rev: Aug. 2, 2019
July 11, 2019



LEGEND

- EIP ○ EXISTING IRON PIPE
- EIR ○ EXISTING IRON ROD
- ⊙ EXISTING MAG NAIL
- AG ABOVE GRADE
- BG BELOW GRADE
- UP ○ UTILITY POLE
- C/O ○ CLEANOUT
- FDC ○ FIRE DEPARTMENT CONNECTION
- PL PROPERTY LINE
- OH "OVERHANG" OR "OVERHEAD"
- YI ■ YARD INLET

mailing address: P.O. BOX 188, CARRBORO, NC 27510
office address: 1777 FORDHAM BLVD. SUITE 104
CHAPEL HILL, NC 27514
phone: 919-929-8090
website: www.freeholdlandsurveys.com

STEPHEN M. HALLSTROM PROFESSIONAL LAND SURVEYOR

L-5083

J2828

FREEHOLD LAND SURVEYS, INC. c-165