

412 W Patterson Place – Summary Record of Historic District Commission Decision

Prepared by Becky McDonnell, Planner – April 18, 2019

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2. 417 W Patterson Place Certificate of Appropriateness Application Submitted for January 8, 2019 Meeting - **page 32**
3. Supplemental Application Materials Submitted for February 12, 2019 Meeting – **page 62**
4. 412 W Patterson Place Staff Report from January 8, 2019 Historic District Commission Meeting – **page 73**
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6. Video Link to January 8, 2019 Historic District Commission Meeting
http://chapelhill.granicus.com/MediaPlayer.php?view_id=7&clip_id=3631
(Time Stamp 1:57:52 – 2:58:57)
7. January 8, 2019 Historic District Commission Meeting Minutes – **page 77**
8. 412 W Patterson Place Staff Report from February 12, 2019 Historic District Commission Meeting – **page 82**
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10. Video Link to February 12, 2019 Historic District Commission Meeting
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11. February 12, 2019 Historic District Commission Meeting Minutes – **page 86**
12. 412 W Patterson Place Certificate of Appropriateness Denial Letter dated February 22, 2019 – **page 92**
13. 417 W Patterson Place Certificate of Appropriateness Denial Letter dated February 22, 2019 – **page 95**
14. Town of Chapel Hill Land Use Management Ordinance Sections 3.6.2 and 8.4 – **page 98**
15. Design Guidelines for the Chapel Hill Historic Districts – **page 108**

- 1. 412 W Patterson Place Certificate of Appropriateness Application Submitted for January 8, 2019 Meeting**



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Town of Chapel Hill
Office of Planning and Sustainability
Development Services 919-969-5066
planning@townofchapelhill.org

Chapel Hill Historic District Certificate of Appropriateness Application	Project:	18-132
Project Description: New Construction: 1. Constructing a new two-story, Craftsman inspired house at the end of the gravel cul-de-sac of W. Patterson Place that blends into the heritage and character of the community.	Permit:	201820304
	STAFF REVIEW	
	<input checked="" type="checkbox"/> Application complete and accepted	
	<input type="checkbox"/> Application not complete and returned with a notation of deficiencies	
	BY:	Becky McDonnell
	DATE:	12/12/18
Instructions: Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred)		
Deadlines: Applications are due by the close of business 30 calendar days prior to the scheduled meeting date.		
Note: Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.		

A: Property Information			
Property Address:	West Patterson Place Lot #3	Parcel ID Number:	9788252298
Property Owner(s):	James Kitchen	Email:	Jim@jimkitchen.org
Property Owner Address: 109 New Castle Dr			
City:	CHAPEL HILL	State:	NC
Zip:	27517	Phone:	919-801-5230
Historic District: <input checked="" type="checkbox"/> Cameron-McCauley <input type="checkbox"/> Franklin-Rosemary <input type="checkbox"/> Gimghoul			Zoning District: R-3

B: Applicant Information			
Applicant: KEITH SHAW, AIA		Role (owner, architect, other): ARCHITECT	
Address (if different from above): 180 PROVIDENCE RD. SUITE #8			
City:	Chapel Hill	State:	NC
Zip:	27514		



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Email: keith@shawdesign.us

Ph: 919-493-0528

C. Application Type (check all boxes that apply)

- ☐ **Minor Work** Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See [Design Guidelines](#) (p. 69) for a list of minor works.
- ☒ **Historic District Commission Review** Includes all exterior changes to structures and features other than minor works
- ☐ **Site-work only (walkways, fencing, walls, etc.)** ☐ **After-the-fact application** (for unauthorized work already performed).
- ☐ **Restoration or alteration** ☐ **Demolition or moving of a site feature.**
- ☒ **New construction or additions** ☐ **Request for review of new application after previous denial**
- ☐ **Sign**

D. Basic information about size, scale, and lot placement.

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the [Orange County Real Estate Data](#) website. Information about lot placement can be found on the [Chapel Hill](#) and [Orange County Interactive GIS](#) portals.

Zoning District:	Minimum setbacks			Maximum heights			Lot size
R-3	Street	Interior	Solar	Primary	Secondary		.15 ACRES 6,557 SQ.FT.
Required by zoning	24	8	11	29	60		
Proposed	17'-4 1/2" Complies to average of surrounding lots	12'-2 1/2"	11'-0 1/2"	27'-6"	36'-6"		
	Existing	Change	Total	Total Floor Area Ratio			
Floor Area (main structure)	0	+1,095	1,095	Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	0	+ 216	216	0	1,151	Existing	Proposed
Impervious Surface Area (ISA)	0	+1,151	1,151	0	1,151	N/C	.175
New Land Disturbance (10FT PERIMETER)			3,322				



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E: Applicable Design Guidelines

The Town's [Design Guidelines for the Chapel Hill Historic Districts](#) are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in [Section 3.6.2\(e\)\(4\)](#) of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)

Section/Page	Topic	Brief description of the applicable aspect of your proposal
PG. 2	Intro / Intent	<p><i>"The majority of the houses in the district are bungalows and houses built in the nationally popular twentieth-century styles such as Colonial Revival, Craftsman, and Tudor Revival."</i></p> <p>The proposed design is Craftsman inspired 2-story dwelling.</p>
PG. 5	Differential Design	<p><i>"...new construction shall not destroy historical materials, features, and spatial relationships that characterize the property. The new work shall be differential from the old and shall be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment."</i></p> <p>The proposed design is different to the existing (old) in the sense of its full 2-story dwelling. The reasoning for a full 2-story is to allow the roof line to align and be compatible to the surrounding existing buildings that sit at a higher elevation than our lot. It would be out of place if the dwelling's roofline was lowered, as you drove down the street to the lower elevation. The key features include: roof brackets, tapered front columns, engaging front porch, double hung windows, side gable main roofline, mixture of horizontal siding with lover accents as the gable treatment.</p>
PG. 5	Guidelines Setting	<p><i>"Introduce new buildings in ways that are compatible with the visual and associative characteristics of the historic district"</i></p> <p>The proposed construction utilizes materials (i.e 3-tab roofing, brick, clapboard siding exposure) and features (i.e. 3/1 windows, water table trim, front porch) that are represented throughout the neighborhood.</p>
PG. 5	Historic Property	<p><i>"...new construction shall be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired"</i></p> <p>The proposed dwelling is located towards the front of the lot (street) in order to maintain and avoid the steep grade drop off towards the rear. By maintaining the existing topography, the character of the historic lot remains intact.</p>
PG. 36	Roof	<p><i>"Whether flat, hipped, shed, gable, gambrel or a combination of these forms, the form and pitch of the roof contributes strongly to the architectural character of any building" "Today, asphalt or fiberglass shingles are common roofing materials in the historic district"</i></p> <p>The proposed side-gabled roof with an offset gross gable blends with the surrounding side-gable rooflines that have dormers and decorative</p>



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		elements on the roof. Using 3-tab asphalt shingles ensures the finish roofing does not stand out as unique in comparison to the neighborhood.
PG. 37	Roof Features	<p><i>"It is not appropriate to introduce roof features or details to a historic property in an attempt to create a false historic appearance."</i></p> <p>The proposed does not have a chimney, like the majority or the surrounding context. Adding a brick chimney to match the surrounding, would go against the above guidelines.</p>
PG. 40	Windows & Doors	The proposed doublehung windows respect the SDL configuration of the surrounding neighborhood of 3 over 1 double hung. The trim surround consists of a historic sill, a 5 ½" casing with a traditional drip cap over the head.
PG. 42	Porches & Entrances	<p><i>"Traditional front porches contribute significantly to the overall historic character of houses within Chapel Hill"</i></p> <p>The proposed front porch frames the front entry with (2) tapered columns down to a brick base.</p>
PG. 52	New Construction	<p><i>"Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street"</i></p> <p><i>"Design and site a new building so it does not compromise the overall historic character of the site, including its topography"</i></p> <p><i>"Design new buildings to be compatible in roof form, massing, and overall proportion with the neighboring historic buildings"</i></p> <p><i>"Designing new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings..."</i></p> <p>The proposed construction is located close to the front yard setback, like the surrounding buildings. Doing so allows existing topography to remain true to its historic character, as the grade drops off significantly to the rear. Respecting the neighborhood, we are having the main roofline (gable) running perpendicular to the street, maintaining the sense of horizontal design.</p>
PG. 57	Decks	<p><i>"Introduce decks in inconspicuous areas that are not visible from the street"</i></p> <p>The proposed deck is in the rear, approx. centered to the core of the dwelling.</p>



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F. Checklist of Application Materials					
Attach the required elements in the order indicated.	ATTACHED? TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
1. Written description of physical changes proposed. Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. History, context, and character information. Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Current property information for the lot and all structures, including Building Sketches and Building Details, from Orange County Real Estate Data. <input checked="" type="checkbox"/> The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see West Chapel Hill, for Franklin-Rosemary see Chapel Hill Historic District, for Gimghoul see Gimghoul. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.) 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Justification of appropriateness. Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type "not applicable". <ul style="list-style-type: none"> A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings. B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings. C. Exterior construction materials, including texture and pattern. D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials. E. Roof shapes, forms, and materials. F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration. G. General form and proportions of buildings and structures. H. Appurtenant fixtures and other features such as lighting. I. Structural conditions and soundness. 	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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J. Architectural scale.					
4. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Site Plan Set showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.) <input checked="" type="checkbox"/> Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks. <input checked="" type="checkbox"/> Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work. <input checked="" type="checkbox"/> Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Elevation Drawings showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes. <input checked="" type="checkbox"/> Elevation drawings showing all proposed changes above current grade from front, back, and both sides. <input checked="" type="checkbox"/> Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs). <input checked="" type="checkbox"/> Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Information about context (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the Orange County Real Estate Data website; information about lot placement can be found on the Chapel Hill and Orange County GIS portals. For each of the nearest adjacent and opposite properties, provide: <input checked="" type="checkbox"/> The height of each building (if an estimate, indicate that). <input checked="" type="checkbox"/> The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient). <input checked="" type="checkbox"/> The size of each lot (net land area in square feet). <input checked="" type="checkbox"/> The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from Orange County Real Estate Data ; indicate any corrections for accuracy you believe necessary and your basis for doing so.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Demolition/Relocation Information (required only if demolition or relocation of a feature is proposed).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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<input type="checkbox"/> Provide a written description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. <input type="checkbox"/> Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted. <input type="checkbox"/> If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer. <input type="checkbox"/> As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay. <input type="checkbox"/> Provide any records about the structure to be demolished.					
9. Mailing notification fee per Planning & Sustainability Fee Schedule . For a list of addresses, please refer to the Town's Development Notification Tool .	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Certificate of Appropriateness fee per Planning & Sustainability Fee Schedule	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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W. PATTERSON PL. LOT # 3

G: Applicant signature

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

Applicant (printed name)

Signature

Date

JAMES KITCHEN

12/7/18

Property Owner

Signature

Date

(if different from above)



**WEST PATTERSON PLACE LOT #3
CHAPEL HILL, NC 27516
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION**

DESCRIPTION OF PHYSICAL CHANGES PROPOSED:

1. NEW CONSTRUCTION ON EMPTY LOT – The owner is proposing a new, craftsman inspired, dwelling on empty lot # 3 on W Patterson Place. The side-gabled dwelling would have a footprint that covers 20% of the lot and sits towards the front of the lot, within all the required setbacks of zoning district R-3. It is important to sit towards the front to maintain the average distance back from the property line, compared to the dwellings on the North side of W. Patterson. As the lot is located towards the lowest elevation of the street, it is crucial to propose a full 2 story dwelling to have the roof lines align to the surrounding rooflines. By aligning the roof lines, it avoids the proposed dwelling to look un-proportional to the historic neighbors.

Material-wise, the design will respect the surrounding context by utilizing “modern” historical windows, doors, siding, and roofing in terms of physical appearance. The windows will be the energy-efficient version of the historical three-over-one SDL white doublehangs manufactured by Sierra Pacific (or clad exterior equal). The front exterior door onto the front covered porch - to be a solid 4 panel door with flanking sidelites. The exterior door to the rear deck will be cottage style, with a two-over-one SDL pattern that aligns to the pattern of the surrounding windows. Siding will be JamesHardie hardieplank wood grain lap siding, which most closely matches the existing neighborhoods aesthetics / character. Roofing will be comparable to the Owens Corning Supreme estate gray 3-tab asphalt roofing shingles. The front porch (5'-6" x 20'-0") will have wood decking boards with beadboard ceiling finish.



WEST PATTERSON PLACE LOT #3
CHAPEL HILL, NC 27516
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

HISTORY INFORMATION:

1. The original property, 415 W. Patterson Pl. (.71 acres) was subdivided into 3 parcels on September 21, 2018 and recorded in PB 119, pg. 52. This property, lot #3, consist of .15 acres of un-constructed virgin soils.



United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 22

West Chapel Hill Historic District
Orange County, NC

South side 300 Block Patterson Place

87. 309 Patterson Place 1932-37
One-story frame dwelling with side-gabled roof and interior chimney.
- 87a. 1932-37 one-story front-gabled frame garage
88. 311 Patterson Place 1927 Dewitt Neville House
One-story frame dwelling with front-gabled roof and porch. Craftsman style features include triangular knee braces, exposed roof rafter ends, paired three-over-one windows and bungalow porch supports.
- 88a. post-1948 two-story concrete block garage NC-age
89. 313 Patterson Place 1932-1948
Two-story brick-veneered house with **side-gabled roof**, interior chimney and symmetrical side wings.
90. 317 Patterson Place 1932-1948
One-story cinder block house with interior chimney and symmetrical side wings.
- 90a. 1932-40 one-story side-gabled two-car garage

North side 400 block Patterson Place

91. 402 Patterson Place 1915-1925
One-story bungalow with **side-gabled roof**, gabled dormer and **engaged front porch**.
92. 406 Patterson Place 1915-1925
One-story bungalow with **side-gabled roof** and exterior end-chimney. The enclosed front porch greatly alters the appearance of front facade.
- 92a. 1915-1925 one-story front-gabled frame garage
93. 408 Patterson Place 1932-1948
One-story bungalow with front-gabled roof, interior chimney and shed-roofed porch.
- 93a. 1932-1948 front-gabled frame garage
94. 410 Patterson Place 1932-1948
One-story frame dwelling with hipped roof, interior chimney and engaged front porch.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 23

West Chapel Hill Historic District
Orange County, NC

South side 400 Block Patterson Place

95. 401 Patterson Place 1915-1925
One-and-a-half-story frame bungalow with side-gabled roof, gabled dormers, exterior end-chimney and engaged front porch.
- 95a. 1915-1925 one-story front-gabled frame garage
96. 403 Patterson Place 1915-1925
One-story bungalow with side-gabled roof, shed dormer, paired windows and shed porch.
97. 407 Patterson Place 1915-1925
One-story frame bungalow with side-gabled roof, interior chimney and large gabled dormer.
- 97a. 1915-1925 one-story front-gabled frame garage
98. 409 Patterson Place 1915-1925
One-story frame dwelling with hipped roof, oversized hipped dormer, interior chimney and engaged porch.
- 98a. 1915-1925 one-story front-gabled frame garage

West side 300 Block Pittsboro Street

99. 302 Pittsboro St. c. 1913 Junius Webb House
This large extensively remodeled Colonial Revival two-story four-square house with hipped roof, full dormers and wrapped porch, contains many later additions, but its original outlines remain visible. The house was built by Junius D. Webb, a Chapel Hill businessman who, with Herbert Lloyd, built the Webb-Lloyd commercial block ca. 1900 (home of the Carolina Coffee Shop) during the first reconstruction of the Franklin Street commercial section. Webb was responsible for moving the bits of the house of the first president of the University from its site at the intersection of Cameron Avenue and Columbia Street, making way for the present Swain Hall. The house now serves as a sorority house.
100. 308 Pittsboro St. 1925-1932
Two-story frame house with one-story side wing. Colonial Revival style features include asymmetrical facade, paired, six-over-six sash windows, exterior end-chimney and porticoed, central entry.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

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West Chapel Hill Historic District
Orange County, NC

West side 400 Block Pittsboro Street

101. 404 Pittsboro St. 1925-1932
One-story frame dwelling with front-gabled roof. **Craftsman style** features include the exposed roof rafter ends and patterned tripartite windows. A frame garage is not original, but echoes the lines and details of the house.
102. 408 Pittsboro St. 1915-1925
Two-story frame house with **side-gabled roof**, gabled dormers, exterior end-chimney and symmetrical facade.
- 102a. post 1948 one-story frame shed NC-age
103. 410 Pittsboro St. 1925-1932
Two-story, brick-veneered house with **side-gabled roof**, **front-facing cross-gable**, asymmetrical facade and **grouped windows**.
104. 414 Pittsboro St. 1925-1932
Altered, one-story house with shingled exterior. The **Craftsman style is suggested by the cross-gabled roof, exposed roof rafter ends, and grouped windows.**
- 104a. post-1948 side-gabled frame shed NC-age
105. 416 Pittsboro St. pre 1932
One-story frame house with side-gabled roof and front-facing cross-gable. Original front porch has been closed in.

West side 500 Block Pittsboro Street

106. 500 Pittsboro St. pre 1932
Two-story frame house with board and batten siding on second story and weatherboards below. The facade is dominated by two front-facing gables. The house has been heavily altered, especially on the interior.
107. 504 Pittsboro St. c. 1935
Two-story frame Colonial Revival with exterior chimney on front facade, and shed roof wing on side.
108. 508 Pittsboro St. c. 1935
One-story, triple-A frame Colonial Revival with gabled side wing.

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation SheetSection number 7 Page 25West Chapel Hill Historic District
Orange County, NC

East side 200 Block Ransom Street

109. 219 Ransom St. 1925-1932

Two-story brick-veneered house with hipped roof, gabled dormer and grouped windows on facade.

West side 200 Block Ransom Street

110. 210 Ransom St. 1915-1925

One-story frame dwelling with side-gabled roof, grouped windows and recessed entry. Craftsman style influences include triangular knee braces in gable end, three-over-one sash windows, and tapered porch supports.

111. 216 Ransom St. 1932-1948

One-story, one-room plan dwelling with side-gabled roof.

111a. post-1948 one-story frame storage shed NC-age

East side 300 Block Ransom Street

112. 307 Ransom St. 1932-1948

Two-story frame and brick-veneered house with side-gabled roof and steel casement windows.

113. 309 Ransom St. 1925-1932

One-story bungalow with side-gabled roof, oversized shed dormer and shed-roofed front porch.

113a. 1950 one-story side-gabled frame secondary house NC-age

West side 300 Block Ransom Street

114. 302 Ransom St. post 1960 NC-age

Two-story brick apartment building.

115. 306 Ransom St. 1925-1932

One-story frame Colonial Revival-style dwelling with side-gabled roof, interior chimney and symmetrical facade. The lot is bounded by a picket fence.

116. 308 1/2 Ransom St. 1932-1948

One-story frame house of minimal traditional-style with side-gabled roof, front-facing cross-gable and exterior end-chimney.



WEST PATTERSON PLACE LOT #3 CHAPEL HILL, NC 27516 CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

JUSTIFICATION OF APPROPRIATENESS:

A. Height of building:

"Introduce new buildings and other structures in ways that are compatible with the visual and associative characteristics of the historic district." – (Design Guidelines pg. 9)

With the lot located at the end of the downhill street, the proposed height of the full 2-story dwelling is 27'-6" from front (street) grade to the apex of the roof. This height remains well under the maximum primary height of 29' in the R-3 zoning district. It is important to have a full 2-story dwelling to allow the roof line to align with the surrounding dwellings, that are placed on a higher elevation of the street, to avoid this disconnect of proportion.

B. Setback and placement on lot:

"Site new buildings to be consistent with neighboring historic buildings..." - (Design Guidelines pg. 52)

It is placed approx. 17'-4 ½" back from the front (street) property line, which is the average setback of the dwellings on the North side of the street. By complying to the required setbacks and following the Design Guidelines, the engaging front porch contributes *"significantly to the overall historic character of house"* (pg. 42). The dwelling will be 80 ft from the rear property line and 12'-2 ½" from the side property line.

C. Exterior construction materials: The proposed dwelling will match (in kind) to the existing surrounding historical roofs, windows, doors, siding, and roofing in terms of physical appearance.

All roofing will be gray 3-tab asphalt shingles (as accepted per pg. 36 of the Design Guidelines). New windows shall be a mixture of three-over-one and two-over-one SDL (determined by proportions – see elevations attached) doublehangs. Siding will be James Hardie hardieplank wood grain lap siding, which is the modern material that most closely matches the character of the surrounding dwellings. The front porch (with wood decking boards) will have 3 tapered craftsman columns down to a brick square base.



D. Architectural detailing: To uphold the craftsman style inspired exterior, key architectural details include: three-over-one windows with a historical sill and 5 ½" trim surround with a traditional drip cap. Doors have 5 ½" trim surround with a traditional drip cap. Corner boards to be 6". Water table to be 7 ¼" with traditional drip cap. Diamond louvers, on the front, as the main gable treatments. Large overhangs supported by painted wood brackets. Front porch to have exposed rafter tails. Front elevation exposed foundation to have brick veneer as the sides and rear will have painted exposed foundation, like adjacent property 413.

E. Roof shapes, forms, and materials:

"Design new buildings to be compatible in roof form, massing, and overall proportion with the neighboring historic buildings"
(Design Guidelines pg. 52)

"Retain and preserve the details, features, and material surfaces of historic roofs."
(Design Guidelines pg. 37)

Staying relevant to the surrounding context, the main roofline runs perpendicular to the street (side-gabled) with a small offset cross-gable. This keeps the appearance linear. Supporting the large overhangs with painted wood brackets, captures the craftsman style. All finished roofing will be 3-tab asphalt shingles.

F. Elements of fenestration:

"Design a new building so that the placement, shape, scale, size, materials, pattern and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings"
- (Design Guidelines pg. 53)

The windows that are being proposed, are to be a mixture of three-over-one and two-over-one SDL's (determined by proportions – see attached elevations). The windows will be energy-efficient versions of the historical three-over-one doublehangs. Window sizes were selected to comply to today's safety codes while remain comparable in scale and proportion to the surrounding dwellings. Placement of the windows stay within rhythm to windows and doors that are above and below.



The exterior doors; front door to be a solid 4 panel door with flanking sidelites and the rear glass exterior doors to be cottage style two-over-one (allows the doors to aesthetically compliment the flanking windows).

G. Form and proportions of buildings and structures: Keeping the overall design simple, the proposed front elevation aesthetically symmetrical and visually balanced across the center line of the dwelling.

"Design new buildings that are compatible with but subtly discernible from historic buildings in the districts."

- (Design Guidelines pg. 53)

The design begins with a simple "box" with a focus to the lower level in the front with the engaging front porch. The second floor visually gets pushed towards the rear behind the gable of the entry. The historic aesthetic of the neighborhood focuses at the entry and front porch as the second floor is visually pushed towards the rear of the property.

"...it is important to limit any excavation, regrading, or ground disturbance and to protect significant site features, so they are not damaged or destroyed."

- (Design Guidelines pg. 54)

Land disturbance and grading will be minimal and kept to the front of the lot to maintain the existing topography as it drops off significantly to the rear.

H. Appurtenant fixtures and features:

"It is not appropriate to introduce period lighting fixtures in an attempt to create a false historical appearance" – (Design Guidelines pg. 23)

The front entry light fixture will be surface-mounted in the beadboard ceiling. The fixture will be subtle, so it will not stand out and compete with the engaging front porch, like the surrounding dwellings.

I. Structural conditions and soundness: The proposed dwelling is a completely new build to the property. The structural design intent is to utilize a step foundation wall/footing with 2x6 wood stud walls up to main level wood floor system. As for the roof, we will utilize common wood roof trusses.



**WEST PATTERSON PLACE LOT #3
CHAPEL HILL, NC 27516
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION**

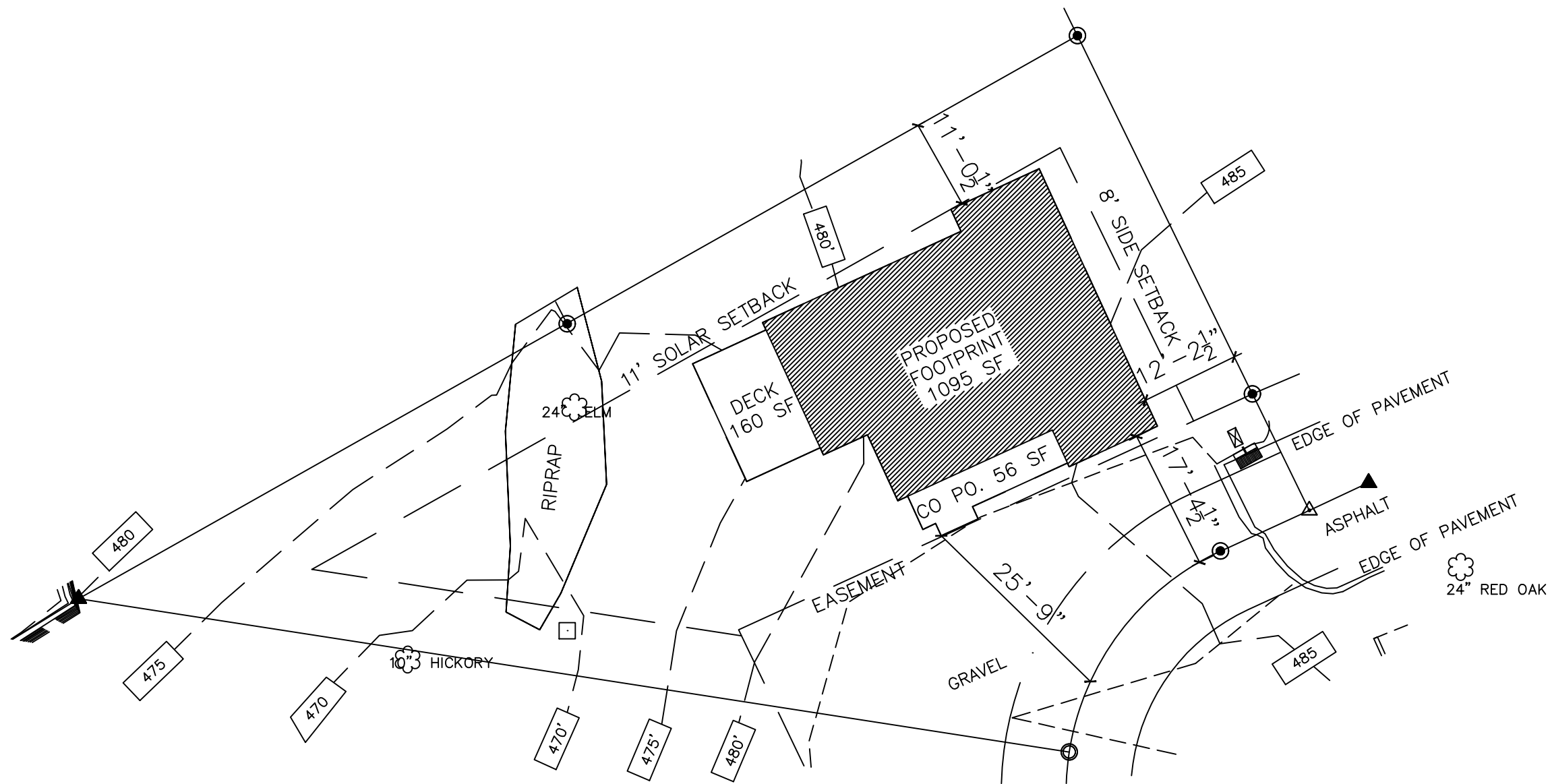
EXISTING CONDITON PHOTOS:



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Chapel Hill, North Carolina 27514
(919)493-0528 | www.shawdesign.us

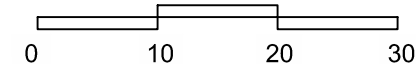




PROPERTY INFORMATION:

PIN: 9788-25-2298
 ADDRESS: W PATTERSON PL. LOT # 3
 OWNER: JAMES KITCHEN
 .15 ACRES (6,557 SQ. FT.)
 ZONING: R-3

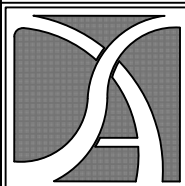
SCALE



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 PLANNING
 GRAPHICS
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 CHAPEL HILL, NC 27514
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PROPOSED SITE PLAN
 W PATTERSON PL LOT #3
 CHAPEL HILL, NORTH CAROLINA
 27516

DATE	12/5/2018
DRAWN	MAA
FILE #	1843
SCALE	AS SHOWN
C101	



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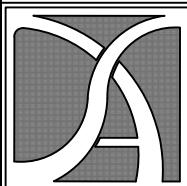
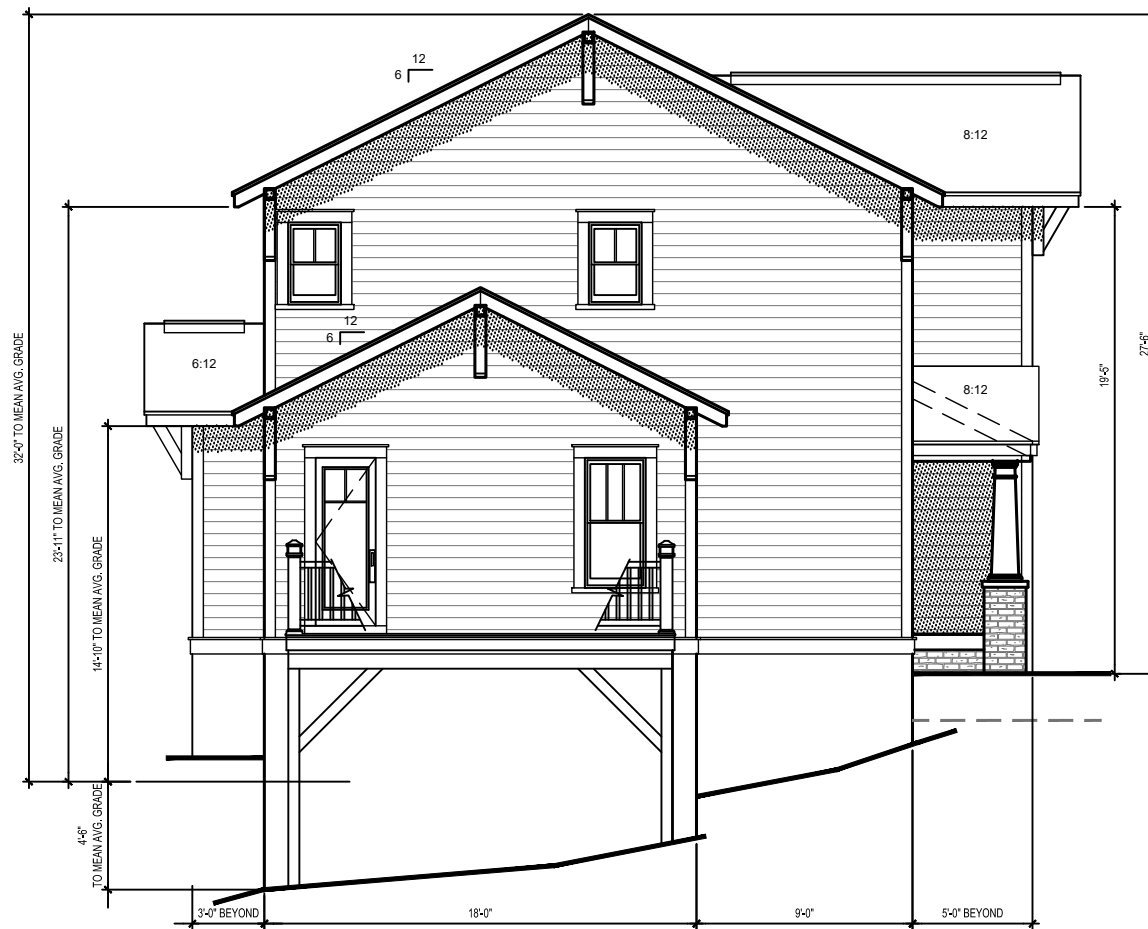
FRONT (SOUTH) ELEVATION

W PATTERSON PL LOT #3
CHAPEL HILL, NORTH CAROLINA 27516

23

DATE	12/5/2018
DRAWN	MAA
FILE #	1843
SCALE	1/8" = 1'-0"

A201



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LEFT (WEST) ELEVATION

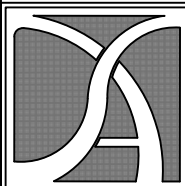
W PATTERSON PL LOT #3

CHAPEL HILL, NORTH CAROLINA 27516

24

DATE	12/5/2018
DRAWN	MAA
FILE #	1843
SCALE	1/8" = 1'-0"

A202



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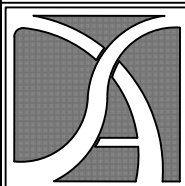
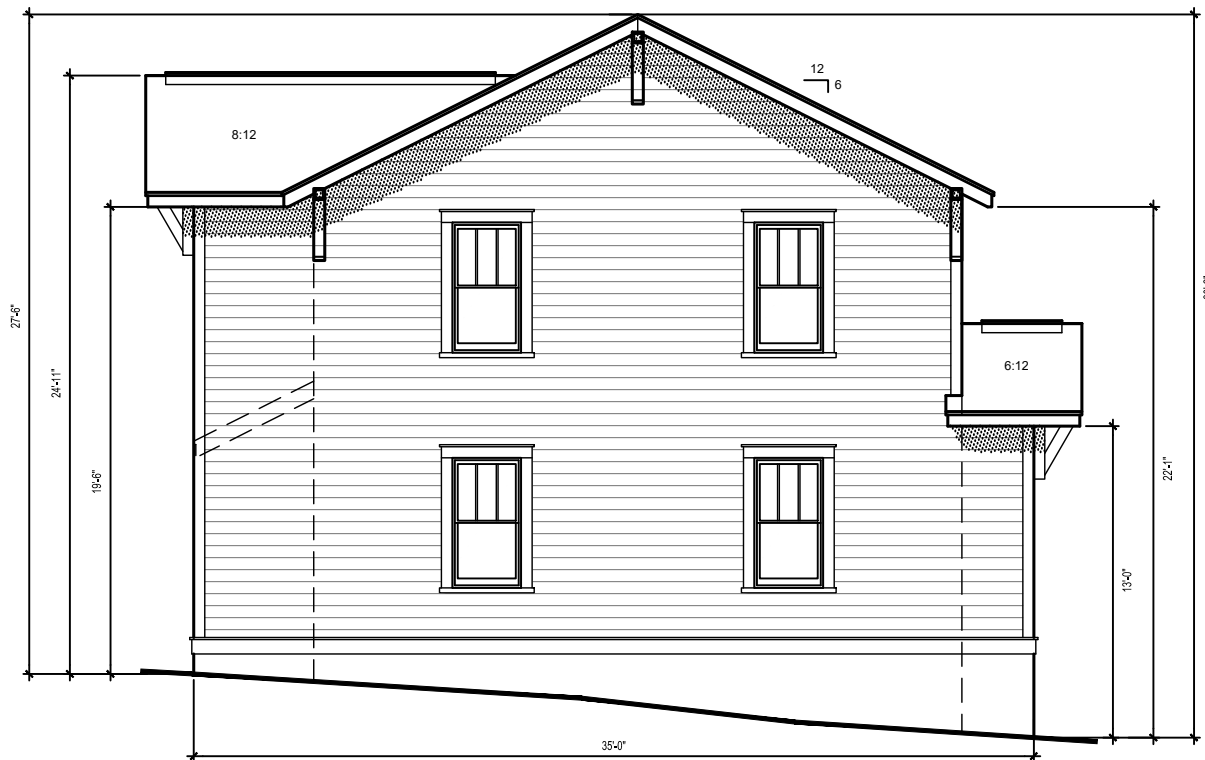
REAR (NORTH) ELEVATION

W PATTERSON PL LOT #3
CHAPEL HILL, NORTH CAROLINA 27516

25

DATE	12/5/2018
DRAWN	MAA
FILE #	1843
SCALE	1/8" = 1'-0"

A203



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RIGHT (EAST) ELEVATION

W PATTERSON PL LOT #3
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26

DATE	12/5/2018
DRAWN	MAA
FILE #	1843
SCALE	1/8" = 1'-0"

A204

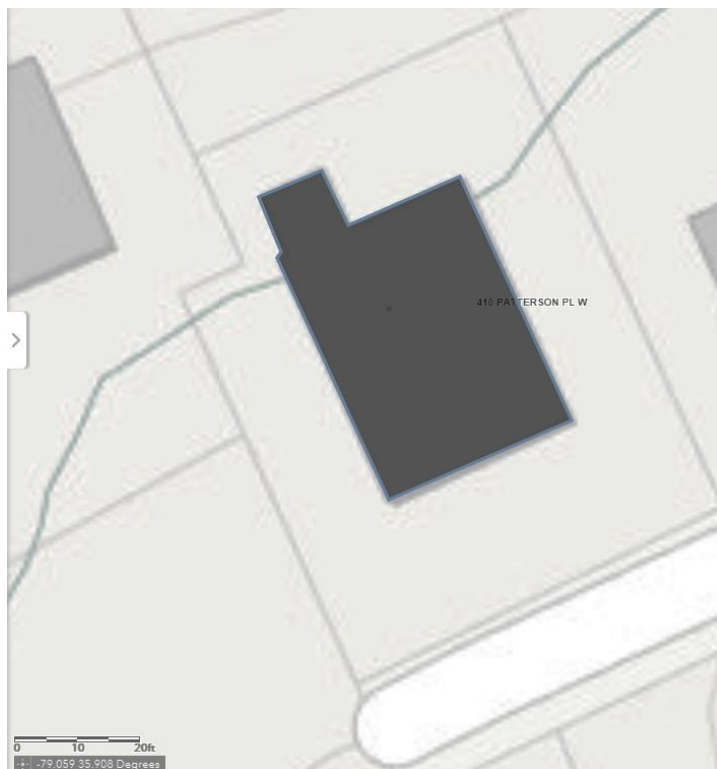


WEST PATTERSON PLACE LOT #3 CHAPEL HILL, NC 27516 CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

INFORMATION ABOUT CONTEXT:



1. 410 W PATTERSON PL –
 - a. Height: 1 sty (hip roof)
 - b. Lot size: 0.19 ac (8,277 sq.ft.)
 - c. Footprint: 1,649 (estimated with gis area tool)
 - d. Floor Area: 1,440
 - e. Floor Ratio: .17





2. 411 W PATTERSON PL –

- a. Height: 1.75 sty (hip roof with front dormer)
- b. Lot size: 0.23 ac (10,019 sq.ft.)
- c. Footprint: 1,880 (estimated with gis area tool)
- d. Floor Area: 1,788
- e. Floor Ratio: .18





3. 409 W PATTERSON PL –
- a. Height: 1.5 sty (side-gabled roof with front gable dormer)
 - b. Lot size: 0.27 ac (11,761 sq.ft.)
 - c. Footprint: 2,052 (estimated with gis area tool)
 - d. Floor Area: 1,830
 - e. Floor Ratio: .156





4. 413 W PATTERSON PL –

- a. Height: 2 sty (side-gabled dormer)
- b. Lot size: 0.14 ac (6099 sq.ft.)
- c. Footprint: 840 (estimated with gis area tool)
- d. Floor Area: 1,344
- e. Floor Ratio: .22



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LOT # 3



**2. 417 W Patterson Place Certificate of Appropriateness Application Submitted for January 8,
2019 Meeting**



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Development Services 919-969-5066
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Chapel Hill Historic District Certificate of Appropriateness Application	Project: 18-131
Project Description: New Construction: 1. Constructing a new 2,183 heated square foot (two-story) house at the end of the gravel cul-de-sac of W. Patterson Place that blends into the heritage and character of the community.	Permit: 201820303
	STAFF REVIEW
	<input checked="" type="checkbox"/> Application complete and accepted
	<input type="checkbox"/> Application not complete and returned with a notation of deficiencies
	BY: Becky McDonnell DATE: 12/12/18
Instructions: Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred) Deadlines: Applications are due by the close of business 30 calendar days prior to the scheduled meeting date. Note: Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.	

A: Property Information	
Property Address: West Patterson Place Lot #2	Parcel ID Number: 9788252240
Property Owner(s): James Kitchen	Email: Jim@jimkitchen.org
Property Owner Address: 109 New Castle Dr	
City: CHAPEL HILL State: NC Zip: 27517 Phone: 919-801-5230	
Historic District: <input checked="" type="checkbox"/> Cameron-McCauley <input type="checkbox"/> Franklin-Rosemary <input type="checkbox"/> Gimghoul	Zoning District: R-3

B: Applicant Information	
Applicant: KEITH SHAW, AIA	Role (owner, architect, other): ARCHITECT
Address (if different from above): 180 PROVIDENCE RD. SUITE #8	
City: Chapel Hill State: NC Zip: 27514	



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Email: keith@shawdesign.us

Ph: 919-493-0528

C. Application Type *(check all boxes that apply)*

☐ **Minor Work** Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See [Design Guidelines](#) (p. 69) for a list of minor works.

☒ **Historic District Commission Review** Includes all exterior changes to structures and features other than minor works

☐ **Site-work only (walkways, fencing, walls, etc.)** ☐ **After-the-fact application** (for unauthorized work already performed).

☐ **Restoration or alteration** ☐ **Demolition or moving of a site feature.**

☒ **New construction or additions** ☐ **Request for review of new application after previous denial**

☐ **Sign**

D. Basic information about size, scale, and lot placement.

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the [Orange County Real Estate Data](#) website. Information about lot placement can be found on the [Chapel Hill](#) and [Orange County Interactive GIS](#) portals.

Zoning District:	Minimum setbacks			Maximum heights			Lot size
R-3	Street	Interior	Solar	Primary	Secondary		.35 ACRES 15,350 SQ.FT.
Required by zoning	24	8	11	29	60		
Proposed	25'-8"	8'-6"	11'-5"	27'-7"	38'-9"		
	Existing	Change +/-	Total	Total Floor Area Ratio			
Floor Area (main structure)	0	+1,271	1,271	Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	0	+ 124	124	0	1,395	Existing	Proposed
Impervious Surface Area (ISA)	0	+1,395	1,395	0	1,395	N/C	.091
New Land Disturbance (10FT PERIMETER)			3,740				



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E: Applicable Design Guidelines

The Town's [Design Guidelines for the Chapel Hill Historic Districts](#) are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in [Section 3.6.2\(e\)\(4\)](#) of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)

Section/Page	Topic	Brief description of the applicable aspect of your proposal
PG. 2	Intro / Intent	<p><i>"The majority of the houses in the district are bungalows and houses built in the nationally popular twentieth-century styles such as Colonial Revival, Craftsman, and Tudor Revival."</i></p> <p>The proposed design is Craftsman inspired 2-story dwelling.</p>
PG. 5	Differential Design	<p><i>"...new construction shall not destroy historical materials, features, and spatial relationships that characterize the property. The new work shall be differential from the old and shall be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment."</i></p> <p>The proposed design is different to the existing (old) in the sense of it's full 2-story dwelling. The reasoning for a full 2-story is to allow the roof line to align and be compatible to the surrounding existing buildings that sit at a higher elevation than our lot. It would be out of place if the dwelling's roofline was lowered, as you drove down the street to the lower elevation. The key features include: roof brackets, tapered front columns, engaging front porch, double hung windows, side gable main roofline, mixture of horizontal siding with vertical accents as the gable treatment.</p>
PG. 5	Guidelines Setting	<p><i>"Introduce new buildings in ways that are compatible with the visual and associative characteristics of the historic district"</i></p> <p>The proposed construction utilizes materials (i.e 3-tab roofing, brick, clapboard siding exposure) and features (i.e. 3/1 windows, water table trim, front porch) that are represented throughout the neighborhood.</p>
PG. 5	Historic Property	<p><i>"...new construction shall be undertaken in such manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired"</i></p> <p>The proposed dwelling is located towards the front of the lot (street) in order to maintain and avoid the steep grade drop off towards the rear. By maintaining the existing topography, the character of the historic lot remains intact.</p>
PG. 36	Roof	<p><i>"Whether flat, hipped, shed, gable, gambrel or a combination of these forms, the form and pitch of the roof contributes strongly to the architectural character of any building" "Today, asphalt or fiberglass shingles are common roofing materials in the historic district"</i></p> <p>The proposed side-gabled roof with an offset gross gable blends with the surrounding side-gable rooflines that have dormers and decorative</p>



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		elements on the roof. Using 3-tab asphalt shingles ensures the finish roofing does not stand out as unique in comparison to the neighborhood.
PG. 37	Roof Features	<p><i>"It is not appropriate to introduce roof features or details to a historic property in an attempt to create a false historic appearance."</i></p> <p>The proposed does not have a chimney, like the majority or the surrounding context. Adding a brick chimney to match the surrounding, would go against the above guidelines.</p>
PG. 40	Windows & Doors	The proposed doublehung windows respect the SDL configuration of the surrounding neighborhood of 3 over 1 double hung. The trim surround consists of a historic sill, a 5 ½" casing with a traditional drip cap over the head.
PG. 42	Porches & Entrances	<p><i>"Traditional front porches contribute significantly to the overall historic character of houses within Chapel Hill"</i></p> <p>The proposed front porch frames the front entry with (2) tapered columns down to a brick base.</p>
PG. 49	Shutters	<p><i>"Replace missing or deteriorated wooden shutters with new shutters that match the originals, sized to fit the opening, and are mounted to the sash side of the window casing so they could be operated."</i></p> <p>The Proposed front elevation will have wooden shutters sized correctly to each window. Historically they were used not only for shading, but to provide privacy from common public areas.</p>
PG. 52	New Construction	<p><i>"Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street"</i></p> <p><i>"Design and site a new building so it does not compromise the overall historic character of the site, including its topography"</i></p> <p><i>"Design new buildings to be compatible in roof form, massing, and overall proportion with the neighboring historic buildings"</i></p> <p><i>"Designing new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings..."</i></p> <p>The proposed construction is located close to the front yard setback, like the surrounding buildings. Doing so allows existing topography to remain true to its historic character, as the grade drops off significantly to the rear. Respecting the neighborhood, we are having the main roofline (gable) running perpendicular to the street, maintaining the sense of horizontal design.</p>
PG. 57	Decks	<p><i>"Introduce decks in inconspicuous areas that are not visible from the street"</i></p> <p>The proposed deck is located in the rear, approx. centered to the core of the dwelling.</p>



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F. Checklist of Application Materials					
Attach the required elements in the order indicated.	ATTACHED? TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
1. Written description of physical changes proposed. Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. History, context, and character information. Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Current property information for the lot and all structures, including Building Sketches and Building Details, from Orange County Real Estate Data. <input checked="" type="checkbox"/> The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see West Chapel Hill, for Franklin-Rosemary see Chapel Hill Historic District, for Gimghoul see Gimghoul. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.) 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Justification of appropriateness. Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type “not applicable”. <ul style="list-style-type: none"> A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings. B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings. C. Exterior construction materials, including texture and pattern. D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials. E. Roof shapes, forms, and materials. F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration. G. General form and proportions of buildings and structures. H. Appurtenant fixtures and other features such as lighting. I. Structural conditions and soundness. 	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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J. Architectural scale.					
4. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Site Plan Set showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.) <input checked="" type="checkbox"/> Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks. <input checked="" type="checkbox"/> Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work. <input checked="" type="checkbox"/> Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Elevation Drawings showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes. <input checked="" type="checkbox"/> Elevation drawings showing all proposed changes above current grade from front, back, and both sides. <input checked="" type="checkbox"/> Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs). <input checked="" type="checkbox"/> Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Information about context (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the Orange County Real Estate Data website; information about lot placement can be found on the Chapel Hill and Orange County GIS portals. For each of the nearest adjacent and opposite properties, provide: <input checked="" type="checkbox"/> The height of each building (if an estimate, indicate that). <input checked="" type="checkbox"/> The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient). <input checked="" type="checkbox"/> The size of each lot (net land area in square feet). <input checked="" type="checkbox"/> The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from Orange County Real Estate Data ; indicate any corrections for accuracy you believe necessary and your basis for doing so.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Demolition/Relocation Information (required only if demolition or relocation of a feature is proposed).	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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<input type="checkbox"/> Provide a written description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. <input type="checkbox"/> Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted. <input type="checkbox"/> If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer. <input type="checkbox"/> As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay. <input type="checkbox"/> Provide any records about the structure to be demolished.					
9. Mailing notification fee per Planning & Sustainability Fee Schedule . For a list of addresses, please refer to the Town's Development Notification Tool .	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Certificate of Appropriateness fee per Planning & Sustainability Fee Schedule	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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W. PATTERSON PL. LOT # 2

G: Applicant signature

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

Applicant (printed name)

Signature

Date

JAMES KITCHEN

12/7/18

Property Owner

Signature

Date

(if different from above)



WEST PATTERSON PLACE LOT #2
CHAPEL HILL, NC 27516
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

DESCRIPTION OF PHYSICAL CHANGES PROPOSED:

1. NEW CONSTRUCTION ON EMPTY LOT – The owner is proposing a new, craftsman inspired, dwelling on empty lot # 2 on W Patterson Place. The side-gabled dwelling would have a footprint that covers 9.1% of the lot and sits towards the front of the lot, within all the required setbacks of zoning district R-3. It is important to sit towards the front to maintain the average distance back from the property line, compared to the dwellings on the south side of W. Patterson. As the lot is located towards the lowest elevation of the street, it is crucial to propose a full 2 story dwelling to have the roof lines align to the surrounding rooflines. By aligning the roof lines, it avoids the proposed dwelling to look un-proportional to the historic neighbors.

Material-wise, the design will respect the surrounding context by utilizing “modern” historical windows, doors, siding, and roofing in terms of physical appearance. The windows will be the energy-efficient version of the historical three-over-one SDL white doublehangs manufactured by Sierra Pacific (or clad exterior equal). The front exterior door onto the front covered porch - to be a solid 4 panel door with flanking sidelites. The exterior door to the rear deck will be cottage style, with a two-over-one SDL pattern that aligns to the pattern of the surrounding windows. Siding will be JamesHardie hardieplank wood grain lap siding, which most closely matches the existing neighborhoods aesthetics / character. Roofing will be comparable to the Owens Corning Supreme estate gray 3-tab asphalt roofing shingles. The front porch (5'-6" x 20'-0") will have wood decking boards with beadboard ceiling finish.



WEST PATTERSON PLACE LOT #2 CHAPEL HILL, NC 27516 CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

HISTORY INFORMATION:

1. The original property, 415 W. Patterson Pl. (.71 acres) was subdivided into 3 parcels on September 21, 2018 and recorded in PB 119, pg. 52. This property, lot #2, consist of .35 acres of un-constructed virgin soils.



United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 22

West Chapel Hill Historic District
Orange County, NC

South side 300 Block Patterson Place

87. 309 Patterson Place 1932-37
One-story frame dwelling with side-gabled roof and interior chimney.
- 87a. 1932-37 one-story front-gabled frame garage
88. 311 Patterson Place 1927 Dewitt Neville House
One-story frame dwelling with front-gabled roof and porch. Craftsman style features include triangular knee braces, exposed roof rafter ends, paired three-over-one windows and bungalow porch supports.
- 88a. post-1948 two-story concrete block garage NC-age
89. 313 Patterson Place 1932-1948
Two-story brick-veneered house with **side-gabled roof**, interior chimney and symmetrical side wings.
90. 317 Patterson Place 1932-1948
One-story cinder block house with interior chimney and symmetrical side wings.
- 90a. 1932-40 one-story side-gabled two-car garage

North side 400 block Patterson Place

91. 402 Patterson Place 1915-1925
One-story bungalow with **side-gabled roof**, gabled dormer and **engaged front porch**.
92. 406 Patterson Place 1915-1925
One-story bungalow with **side-gabled roof** and exterior end-chimney. The enclosed front porch greatly alters the appearance of front facade.
- 92a. 1915-1925 one-story front-gabled frame garage
93. 408 Patterson Place 1932-1948
One-story bungalow with front-gabled roof, interior chimney and shed-roofed porch.
- 93a. 1932-1948 front-gabled frame garage
94. 410 Patterson Place 1932-1948
One-story frame dwelling with hipped roof, interior chimney and engaged front porch.

United States Department of the Interior
National Park Service

National Register of Historic Places
Continuation Sheet

Section number 7 Page 23

West Chapel Hill Historic District
Orange County, NC

South side 400 Block Patterson Place

95. 401 Patterson Place 1915-1925
One-and-a-half-story frame bungalow with side-gabled roof, gabled dormers, exterior end-chimney and engaged front porch.
- 95a. 1915-1925 one-story front-gabled frame garage
96. 403 Patterson Place 1915-1925
One-story bungalow with side-gabled roof, shed dormer, paired windows and shed porch.
97. 407 Patterson Place 1915-1925
One-story frame bungalow with side-gabled roof, interior chimney and large gabled dormer.
- 97a. 1915-1925 one-story front-gabled frame garage
98. 409 Patterson Place 1915-1925
One-story frame dwelling with hipped roof, oversized hipped dormer, interior chimney and engaged porch.
- 98a. 1915-1925 one-story front-gabled frame garage

West side 300 Block Pittsboro Street

99. 302 Pittsboro St. c. 1913 Junius Webb House
This large extensively remodeled Colonial Revival two-story four-square house with hipped roof, full dormers and wrapped porch, contains many later additions, but its original outlines remain visible. The house was built by Junius D. Webb, a Chapel Hill businessman who, with Herbert Lloyd, built the Webb-Lloyd commercial block ca. 1900 (home of the Carolina Coffee Shop) during the first reconstruction of the Franklin Street commercial section. Webb was responsible for moving the bits of the house of the first president of the University from its site at the intersection of Cameron Avenue and Columbia Street, making way for the present Swain Hall. The house now serves as a sorority house.
100. 308 Pittsboro St. 1925-1932
Two-story frame house with one-story side wing. Colonial Revival style features include asymmetrical facade, paired, six-over-six sash windows, exterior end-chimney and porticoed, central entry.

United States Department of the Interior
National Park Service

National Register of Historic Places Continuation Sheet

Section number 7 Page 24

West Chapel Hill Historic District
Orange County, NC

West side 400 Block Pittsboro Street

101. 404 Pittsboro St. 1925-1932
One-story frame dwelling with front-gabled roof. **Craftsman style** features include the exposed roof rafter ends and patterned tripartite windows. A frame garage is not original, but echoes the lines and details of the house.
102. 408 Pittsboro St. 1915-1925
Two-story frame house with **side-gabled roof**, gabled dormers, exterior end-chimney and symmetrical facade.
- 102a. post 1948 one-story frame shed NC-age
103. 410 Pittsboro St. 1925-1932
Two-story, brick-veneered house with **side-gabled roof**, **front-facing cross-gable**, asymmetrical facade and **grouped windows**.
104. 414 Pittsboro St. 1925-1932
Altered, one-story house with shingled exterior. The **Craftsman style is suggested by the cross-gabled roof, exposed roof rafter ends, and grouped windows.**
- 104a. post-1948 side-gabled frame shed NC-age
105. 416 Pittsboro St. pre 1932
One-story frame house with side-gabled roof and front-facing cross-gable. Original front porch has been closed in.

West side 500 Block Pittsboro Street

106. 500 Pittsboro St. pre 1932
Two-story frame house with board and batten siding on second story and weatherboards below. The facade is dominated by two front-facing gables. The house has been heavily altered, especially on the interior.
107. 504 Pittsboro St. c. 1935
Two-story frame Colonial Revival with exterior chimney on front facade, and shed roof wing on side.
108. 508 Pittsboro St. c. 1935
One-story, triple-A frame Colonial Revival with gabled side wing.

United States Department of the Interior
National Park ServiceNational Register of Historic Places
Continuation SheetSection number 7 Page 25West Chapel Hill Historic District
Orange County, NC

East side 200 Block Ransom Street

109. 219 Ransom St. 1925-1932

Two-story brick-veneered house with hipped roof, gabled dormer and grouped windows on facade.

West side 200 Block Ransom Street

110. 210 Ransom St. 1915-1925

One-story frame dwelling with side-gabled roof, grouped windows and recessed entry. Craftsman style influences include triangular knee braces in gable end, three-over-one sash windows, and tapered porch supports.

111. 216 Ransom St. 1932-1948

One-story, one-room plan dwelling with side-gabled roof.

111a. post-1948 one-story frame storage shed NC-age

East side 300 Block Ransom Street

112. 307 Ransom St. 1932-1948

Two-story frame and brick-veneered house with side-gabled roof and steel casement windows.

113. 309 Ransom St. 1925-1932

One-story bungalow with side-gabled roof, oversized shed dormer and shed-roofed front porch.

113a. 1950 one-story side-gabled frame secondary house NC-age

West side 300 Block Ransom Street

114. 302 Ransom St. post 1960 NC-age

Two-story brick apartment building.

115. 306 Ransom St. 1925-1932

One-story frame Colonial Revival-style dwelling with side-gabled roof, interior chimney and symmetrical facade. The lot is bounded by a picket fence.

116. 308 1/2 Ransom St. 1932-1948

One-story frame house of minimal traditional-style with side-gabled roof, front-facing cross-gable and exterior end-chimney.



WEST PATTERSON PLACE LOT #2 CHAPEL HILL, NC 27516 CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

JUSTIFICATION OF APPROPRIATENESS:

A. Height of building:

"Introduce new buildings and other structures in ways that are compatible with the visual and associative characteristics of the historic district." – (Design Guidelines pg. 9)

With the lot located at the end of the downhill street, the proposed height of the full 2-story dwelling is 27'-7" from front (street) grade to the apex of the roof. This height remains well under the maximum primary height of 29' in the R-3 zoning district. It is important to have a full 2-story dwelling to allow the roof line to align with the surrounding dwellings, that are placed on a higher elevation of the street, to avoid this disconnect of proportion.

B. Setback and placement on lot:

"Site new buildings to be consistent with neighboring historic buildings..." - (Design Guidelines pg. 52)

The proposed dwelling complies to all required setbacks to zoning district R-3. It is placed approx. 26' back from the front (street) property line, which is the average setback of the dwellings on the south side of the street. By complying to the required setbacks and following the Design Guidelines, the engaging front porch contributes *"significantly to the overall historic character of house"* (pg. 42). The dwelling will be 80 ft from the rear property line and 8'-3" / 11'-3" from the side property lines.

C. Exterior construction materials: The proposed dwelling will match (in kind) to the existing surrounding historical roofs, windows, doors, siding, and roofing in terms of physical appearance.

All roofing will be gray 3-tab asphalt shingles (as accepted per pg. 36 of the Design Guidelines). New windows shall be a mixture of three-over-one and two-over-one SDL (determined by proportions – see elevations attached) doublehangs. Siding will be James Hardie hardieplank wood grain lap siding (with board and batten as the gable treatments on the front elevation, which is the modern material that most closely matches the character of the surrounding



dwelling. The front porch (with wood decking boards) will have 2 tapered craftsman columns down to a brick square base.

D. Architectural detailing: To uphold the craftsman style inspired exterior, key architectural details include: three-over-one windows with a historical sill and 5 ½" trim surround with a traditional drip cap. Doors have 5 ½" trim surround with a traditional drip cap. Corner boards to be 6". Water table to be 7 ¼" with traditional drip cap. Shutters, on the front, constructed of 1x wood slats (sized correctly to each window per guidelines pg. 49). Large overhangs supported by painted wood brackets. Front porch to have exposed rafter tails. Front elevation exposed foundation to have brick veneer as the sides and rear will have painted exposed foundation, like adjacent property 413.

E. Roof shapes, forms, and materials:

"Design new buildings to be compatible in roof form, massing, and overall proportion with the neighboring historic buildings"
(Design Guidelines pg. 52)

"Retain and preserve the details, features, and material surfaces of historic roofs."
(Design Guidelines pg. 37)

Staying relevant to the surrounding context, the main roofline runs perpendicular to the street (side-gabled) with a small offset cross-gable. This keeps the appearance linear. Supporting the large overhangs with painted wood brackets, captures the craftsman style. All finished roofing will be 3-tab asphalt shingles.

F. Elements of fenestration:

"Design a new building so that the placement, shape, scale, size, materials, pattern and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings"
- (Design Guidelines pg. 53)

The windows that are being proposed, are to be a mixture of three-over-one and two-over-one SDL's (determined by proportions – see attached elevations). The windows will be energy-efficient versions of the historical three-over-one doublehangs. Window sizes were selected to comply to today's safety codes while remain comparable in scale and proportion to the surrounding dwellings. Placement of the windows stay within rhythm to windows and doors that are above and below.



The exterior doors; front door to be a solid 4 panel door with flanking sidelites and the rear glass exterior doors to be cottage style two-over-one (allows the doors to aesthetically compliment the flanking windows).

G. Form and proportions of buildings and structures: Keeping the overall design simple, the proposed front elevation aesthetically symmetrical and visually balanced across the center line of the dwelling.

"Design new buildings that are compatible with but subtly discernible from historic buildings in the districts."

- (Design Guidelines pg. 53)

The design begins with a simple "box" with a focus to the lower level in the front with the engaging front porch. The second floor visually gets pushed towards the rear behind the gable of the entry. The historic aesthetic of the neighborhood focuses at the entry and front porch as the second floor is visually pushed towards the rear of the property.

"...it is important to limit any excavation, regrading, or ground disturbance and to protect significant site features, so they are not damaged or destroyed."

- (Design Guidelines pg. 54)

Land disturbance and grading will be minimal and kept to the front of the lot to maintain the existing topography as it drops off significantly to the rear.

H. Appurtenant fixtures and features: There is an existing Gazebo at the lowest portion of the lot that will remain as is and will not be harmed during the construction of the new dwelling.

"It is not appropriate to introduce period lighting fixtures in an attempt to create a false historical appearance" – (Design Guidelines pg. 23)

The front entry light fixture will be surface-mounted in the beadboard ceiling. The fixture will be subtle, so it will not stand out and compete with the engaging front porch, like the surrounding dwellings.

I. Structural conditions and soundness: The proposed dwelling is a completely new build to the property. The structural design intent is to utilize a step foundation wall/footing with 2x6 wood stud walls up to main level wood floor system. As for the roof, we will utilize common wood roof trusses.



WEST PATTERSON PLACE LOT #2
CHAPEL HILL, NC 27516
CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

EXISTING CONDITON PHOTOS:



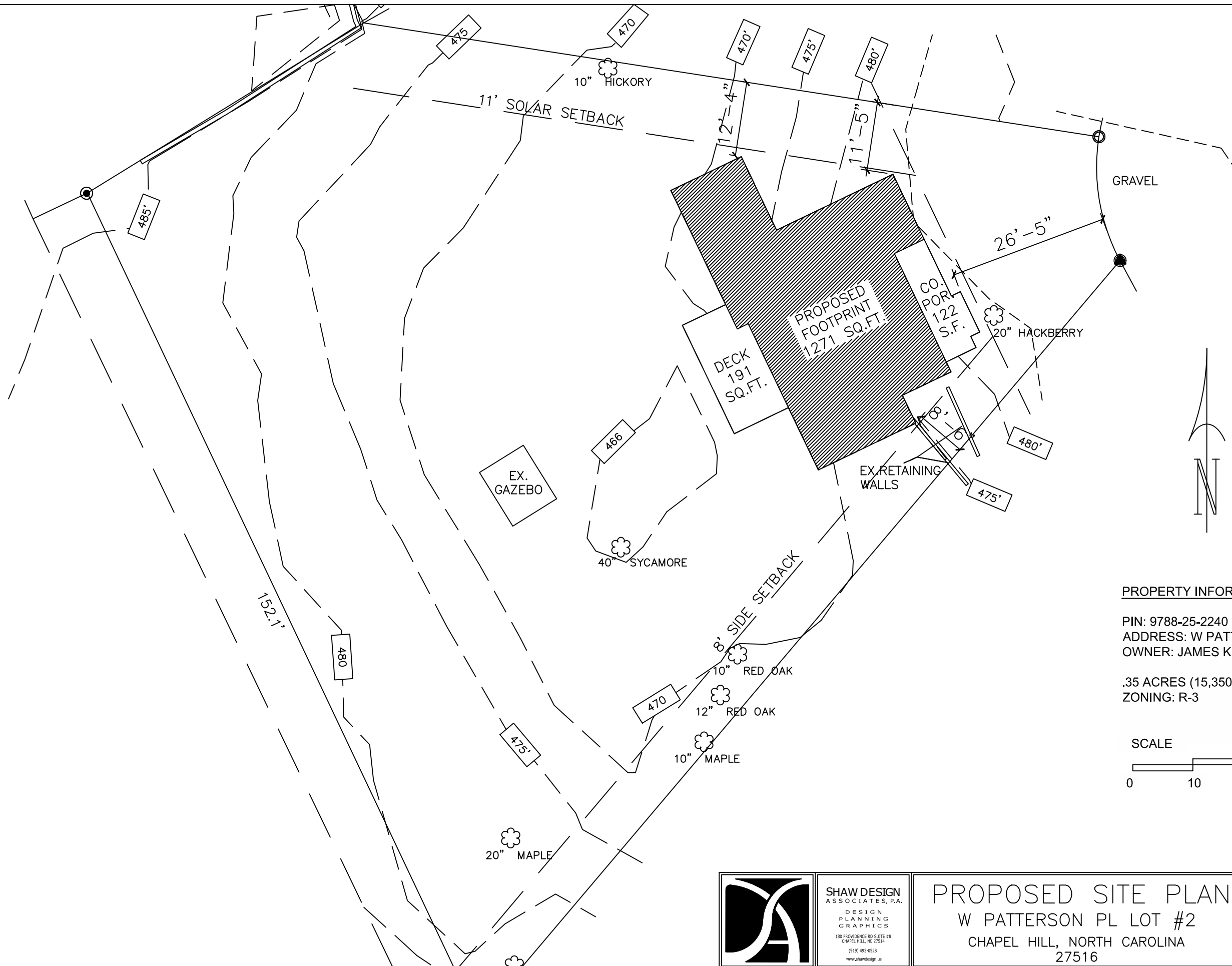
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COA – EXISTING CONDITION PHOTOS

2

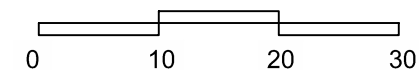


PROPERTY INFORMATION:

PIN: 9788-25-2240
ADDRESS: W PATTERSON PL. LOT # 2
OWNER: JAMES KITCHEN

.35 ACRES (15,350SQ. FT.)
ZONING: R-3

SCALE



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DESIGN
PLANNING
GRAPHICS

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PROPOSED SITE PLAN
W PATTERSON PL LOT #2
CHAPEL HILL, NORTH CAROLINA
27516

DATE	12/5/2018
DRAWN	MAA
FILE #	1842
SCALE	AS SHOWN
C101	



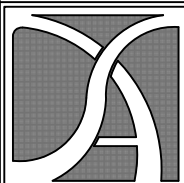
FRONT (EAST) ELEVATION

W PATTERSON PL LOT #2
CHAPEL HILL, NORTH CAROLINA 27516

53

DATE	12/5/2018
DRAWN	MAA
FILE #	1842
SCALE	1/8" = 1'-0"

A201

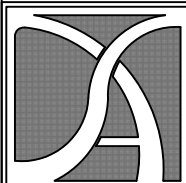


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REAR (WEST) ELEVATION **W PATTERSON PL LOT #2** **CHAPEL HILL, NORTH CAROLINA 27516**

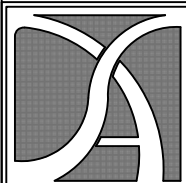
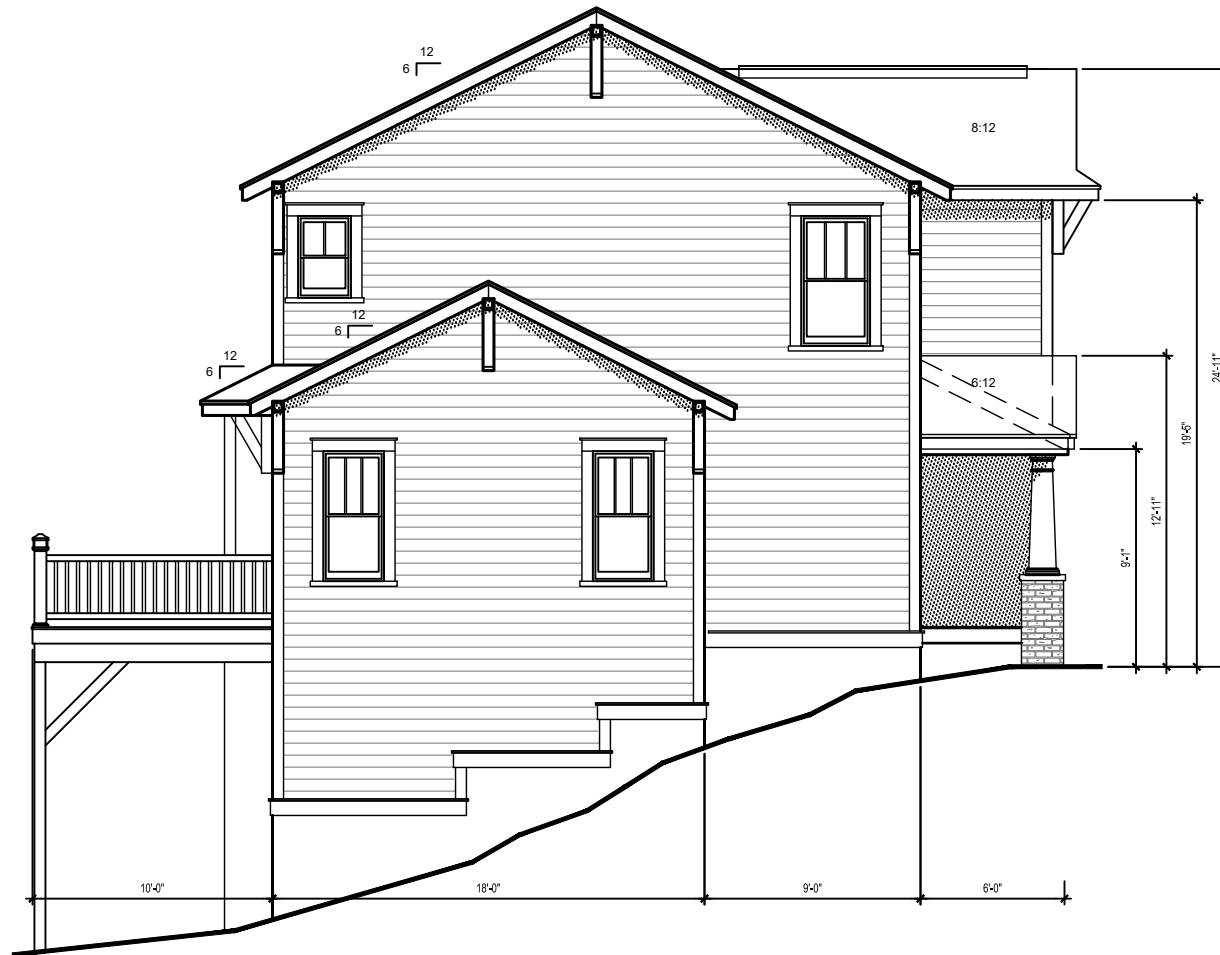
DATE 12/5/2018

DRAWN MAA

FILE # 1842

SCALE 1/8" = 1'-0"

A203



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PLANNING
GRAPHICS

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SIDE (SOUTH) ELEVATION

W PATTERSON PL LOT #2

CHAPEL HILL, NORTH CAROLINA 27516

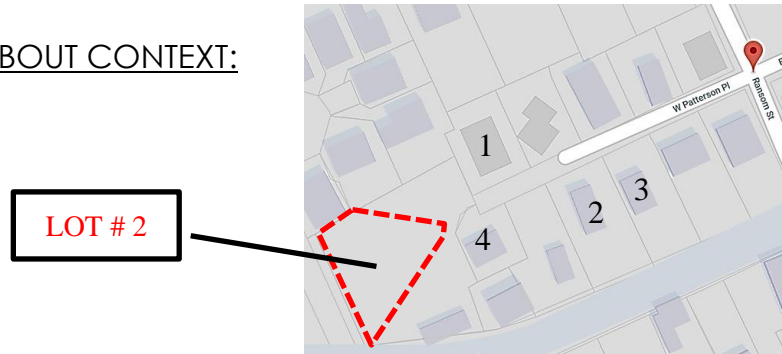
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A204

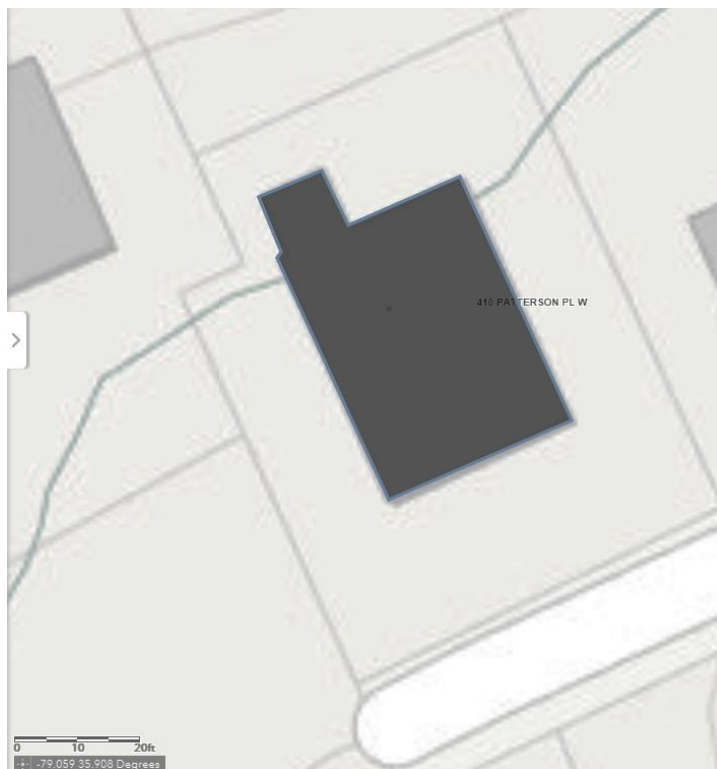


WEST PATTERSON PLACE LOT #2 CHAPEL HILL, NC 27516 CERTIFICATE OF APPROPRIATENESS: NEW CONSTRUCTION

INFORMATION ABOUT CONTEXT:



1. 410 W PATTERSON PL –
 - a. Height: 1 sty (hip roof)
 - b. Lot size: 0.19 ac (8,277 sq.ft.)
 - c. Footprint: 1,649 (estimated with gis area tool)
 - d. Floor Area: 1,440
 - e. Floor Ratio: .17





2. 411 W PATTERSON PL –

- a. Height: 1.75 sty (hip roof with front dormer)
- b. Lot size: 0.23 ac (10,019 sq.ft.)
- c. Footprint: 1,880 (estimated with gis area tool)
- d. Floor Area: 1,788
- e. Floor Ratio: .18





3. 409 W PATTERSON PL –
- a. Height: 1.5 sty (side-gabled roof with front gable dormer)
 - b. Lot size: 0.27 ac (11,761 sq.ft.)
 - c. Footprint: 2,052 (estimated with gis area tool)
 - d. Floor Area: 1,830
 - e. Floor Ratio: .156





4. 413 W PATTERSON PL –

- a. Height: 2 sty (side-gabled dormer)
- b. Lot size: 0.14 ac (6099 sq.ft.)
- c. Footprint: 840 (estimated with gis area tool)
- d. Floor Area: 1,344
- e. Floor Ratio: .22



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LOT # 2



COA – INFORMATION ABOUT CONTEXT

5

3. Supplemental Application Materials Submitted for February 12, 2019 Meeting

WEST PATTERSON PL. ADDITIONAL (REQUESTED) INFO

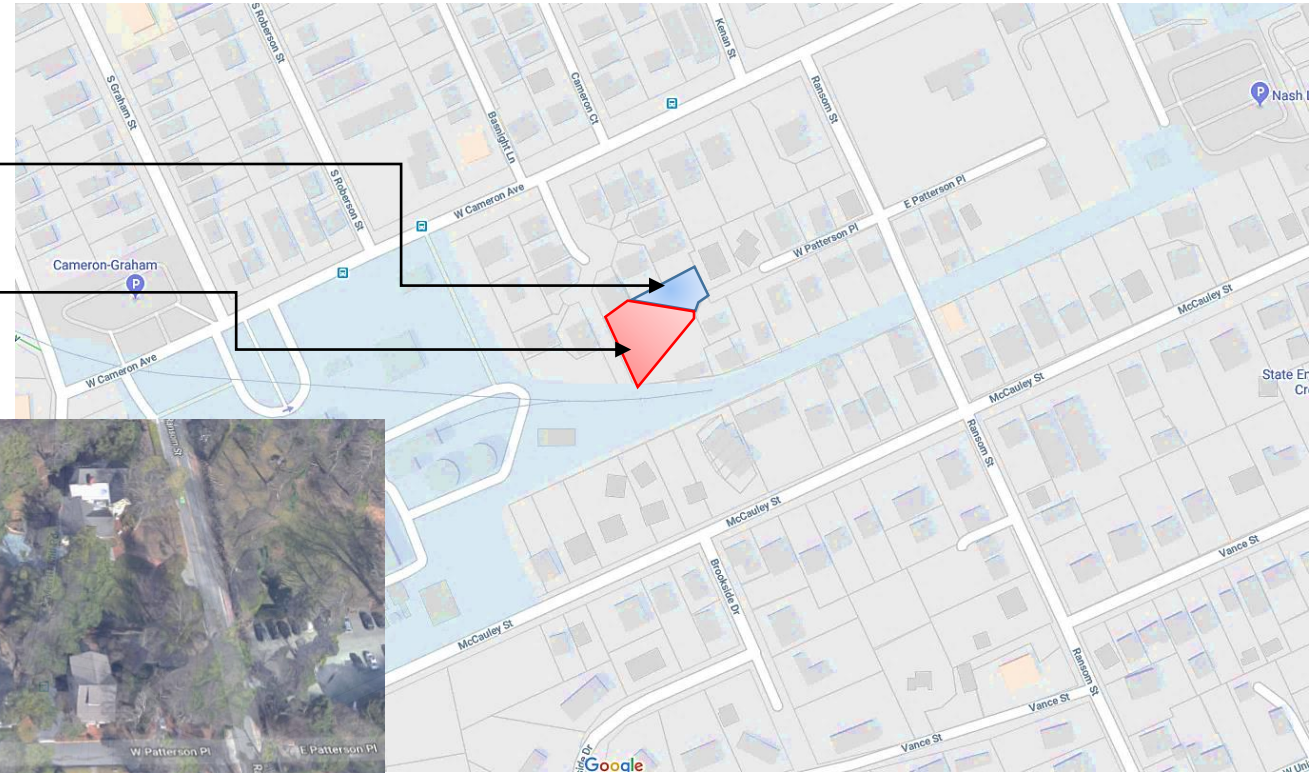
- Are there presence of and Resource Conservation District (RCD) on the property?
 - Town performed Stream Determination & issued report January 2, 2019
 - Results: there is **NO RCD ON SITE** (only Ephemeral stream determined)
- A full understanding of all existing site conditions
 - Will explain in the following slides
- A full understanding of proposed site layout, including master parking
 - Will explain in the following slides
- Representation of dwelling heights in comparison to the surrounding dwellings
 - A schematic rendering is provided in the following slides
- Public concern of both dwellings look too similar to each other
 - A schematic rendering is provided in the following slides



SITE LOCATIONS

412 W. PATTERSON PLACE (LOT 3)

417 W. PATTERSON PLACE (LOT 2)



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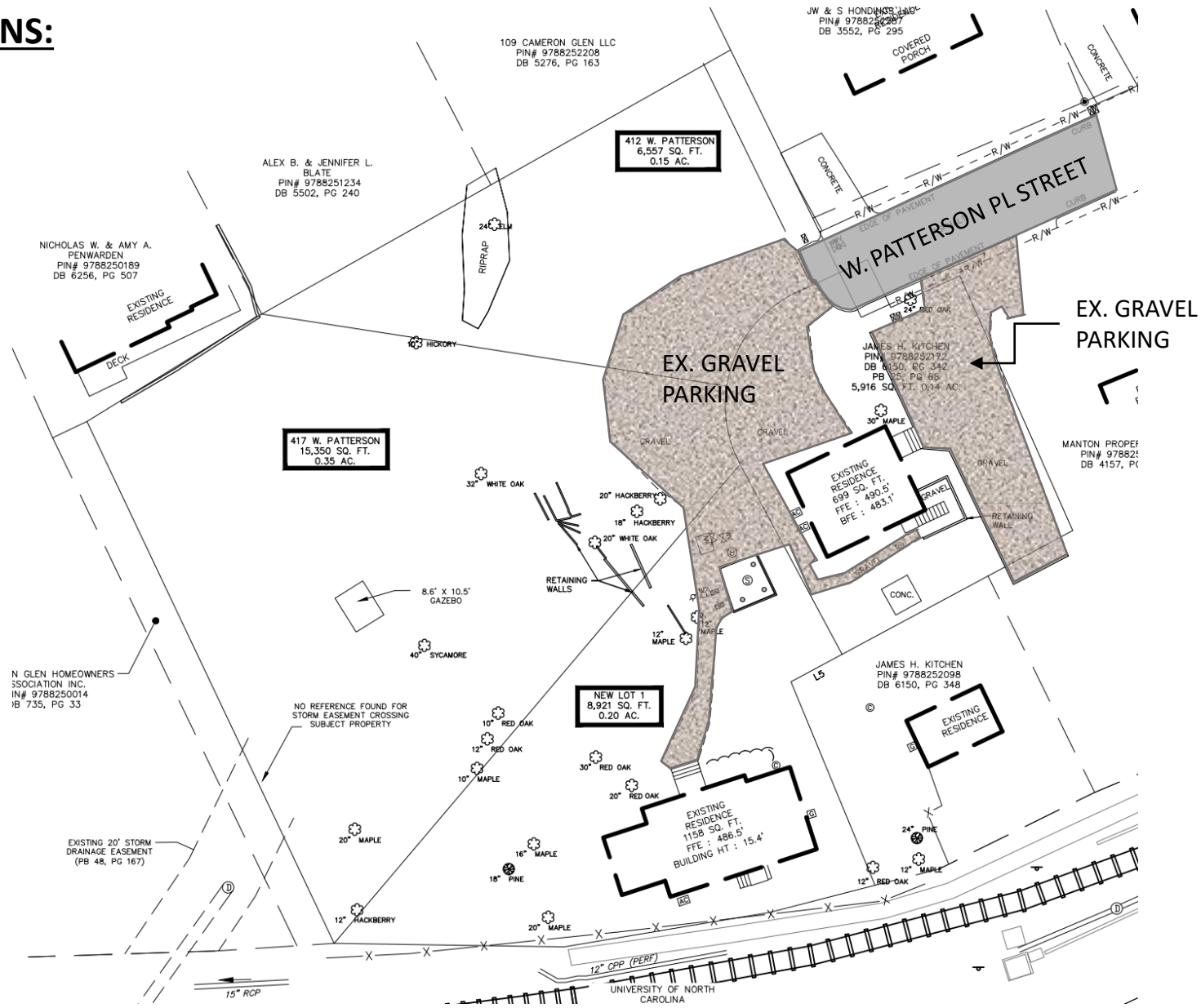
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64




417 & 412 WEST PATTERSON PLACE
CHAPEL HILL, NC 27516

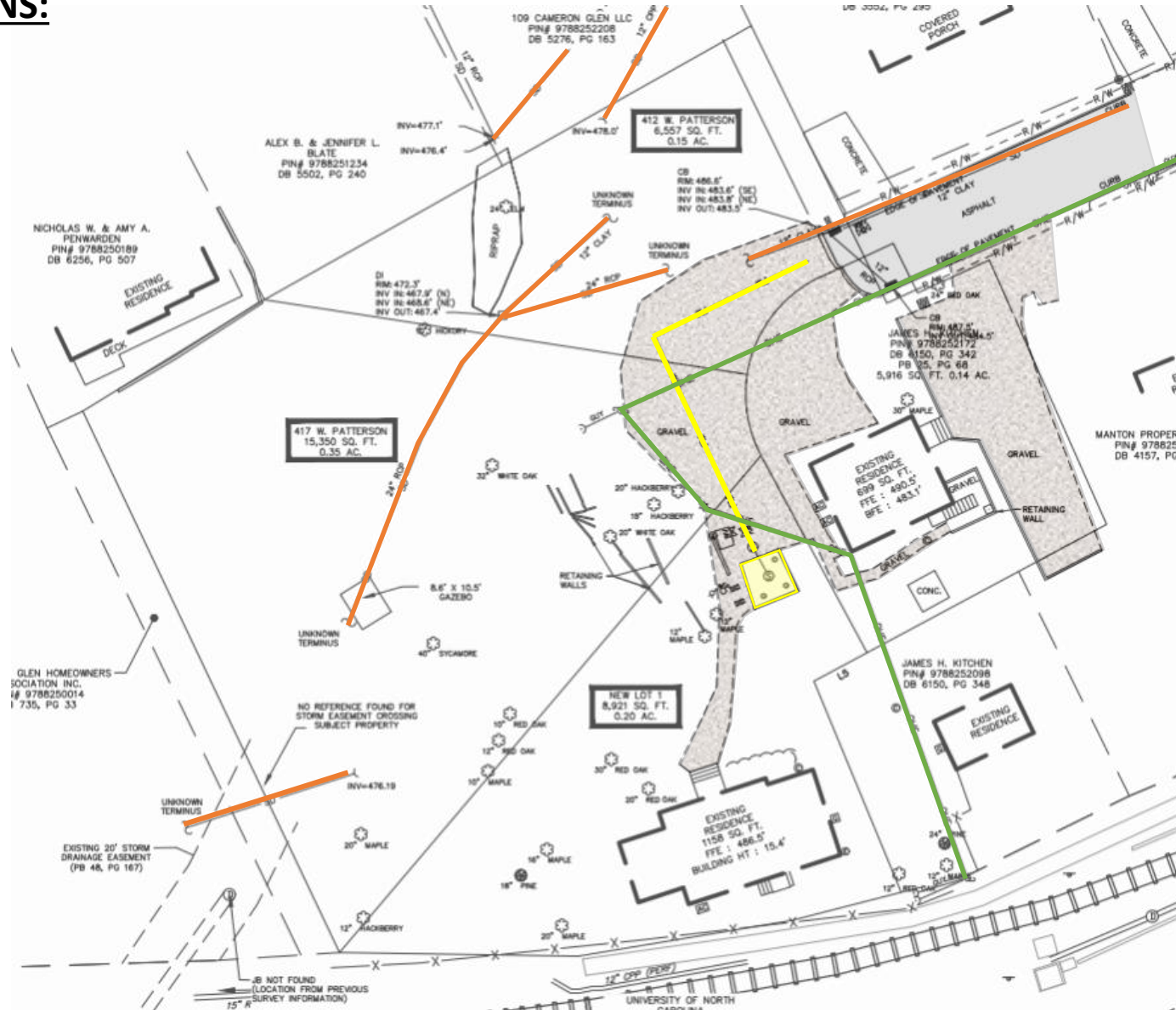
EXISTING SITE CONDITIONS: GROUND SURFACES

- W. PATTERSON ENDS ABRUPTLY THEN TRANSITIONS TO OFF-STREET GRAVEL PARKING.
- GRAVEL PARKING IS NOT UNORGANIZED.



EXISTING SITE CONDITIONS: UTILITIES

-  SEWER FORCE MAIN
-  STORM DRAIN
-  OVERHEAD ELECT.



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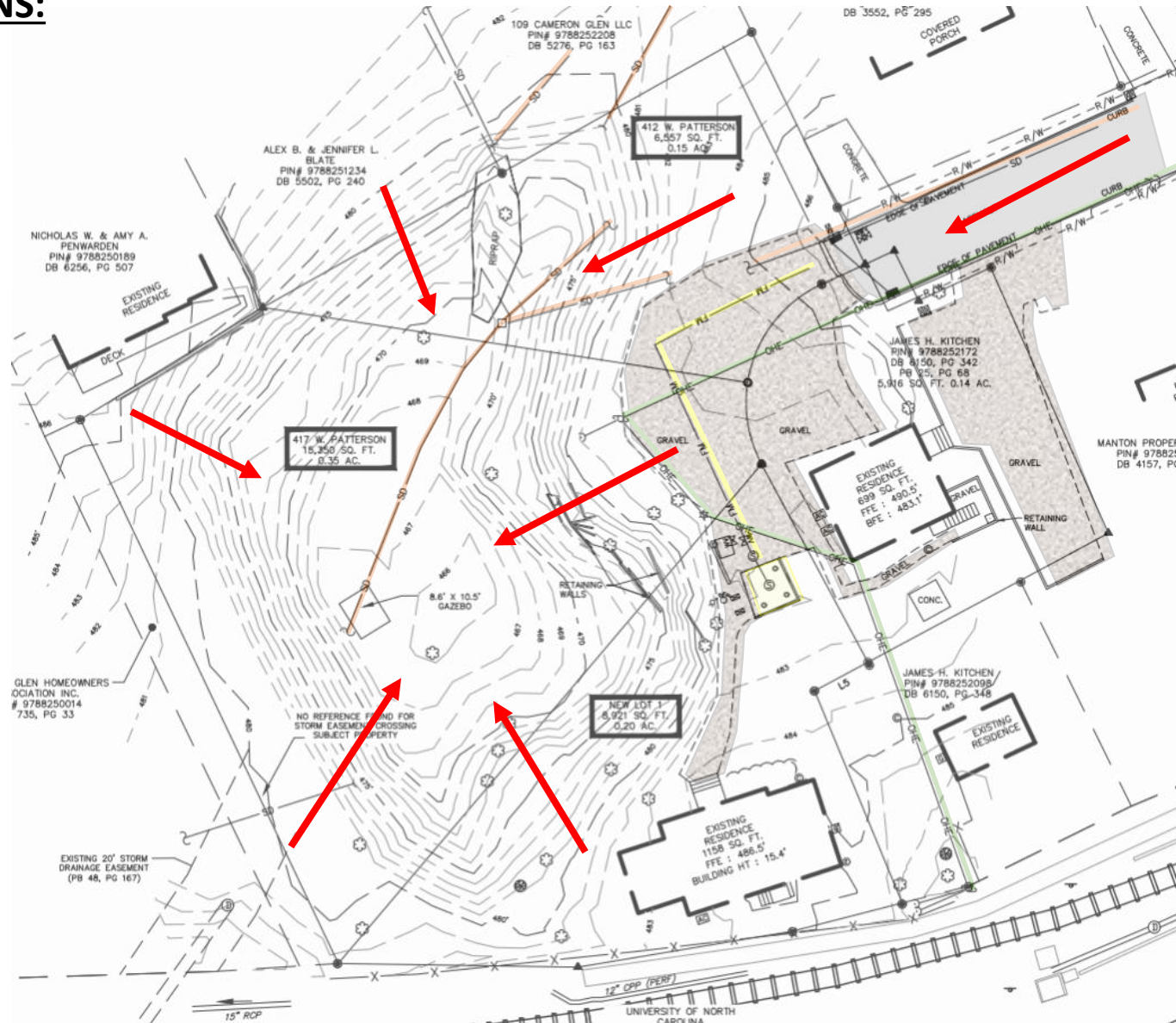
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417 & 412 WEST PATTERSON PLACE
CHAPEL HILL, NC 27516

EXISTING SITE CONDITIONS: EXISTING CONTOURS

- LOTS HAVE THE LOWEST ELEVATIONS OF W. PATTERSON

← REP. SLOPE DIRECTION






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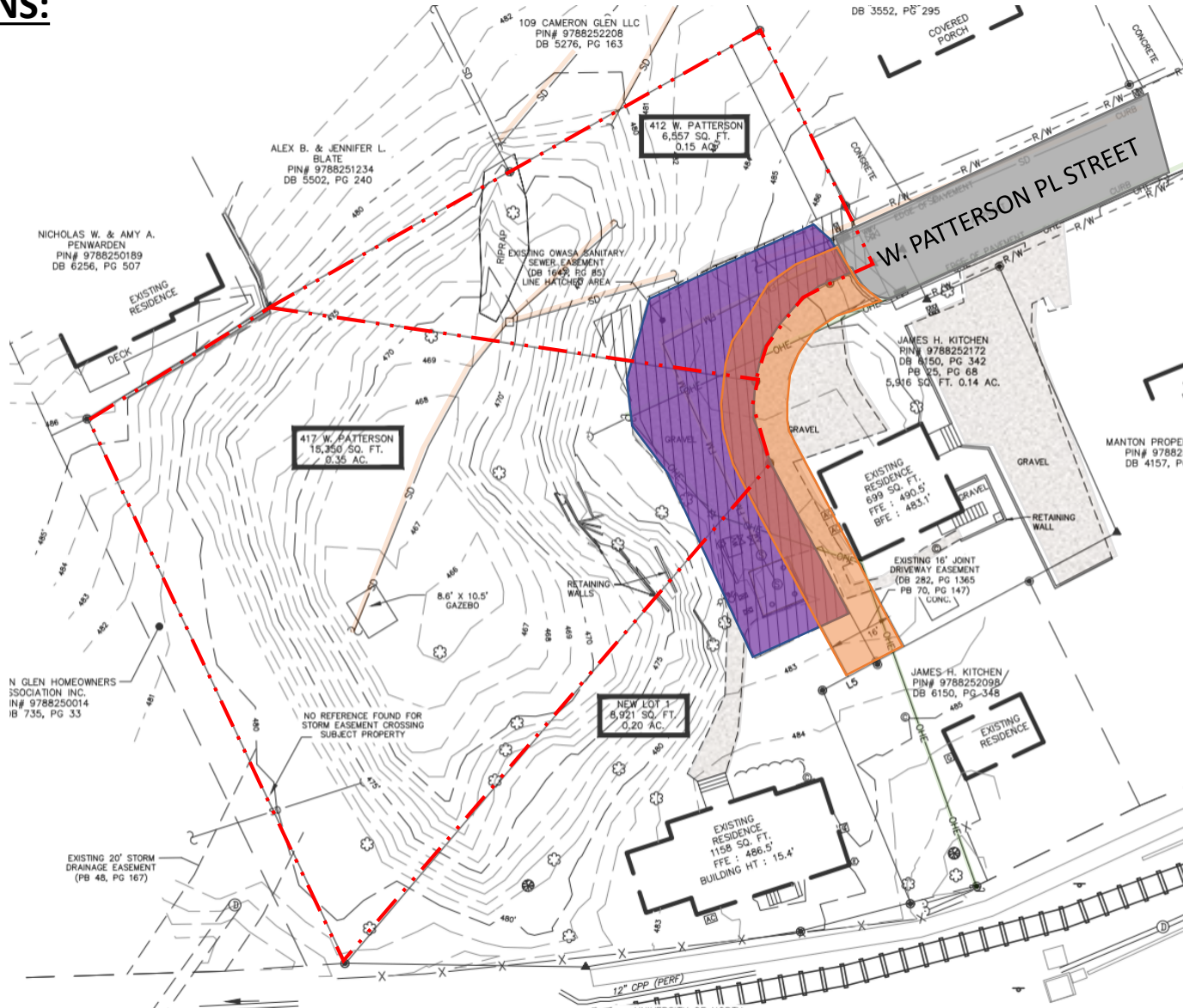
67

417 & 412 WEST PATTERSON PLACE
CHAPEL HILL, NC 27516

EXISTING SITE CONDITIONS: EXISTING EASEMENTS

-  OWASA SANITARY SEWER EASEMENT
-  16' JOINT DRIVEWAY EASEMENT
-  PROP. LINES OF 412 & 417

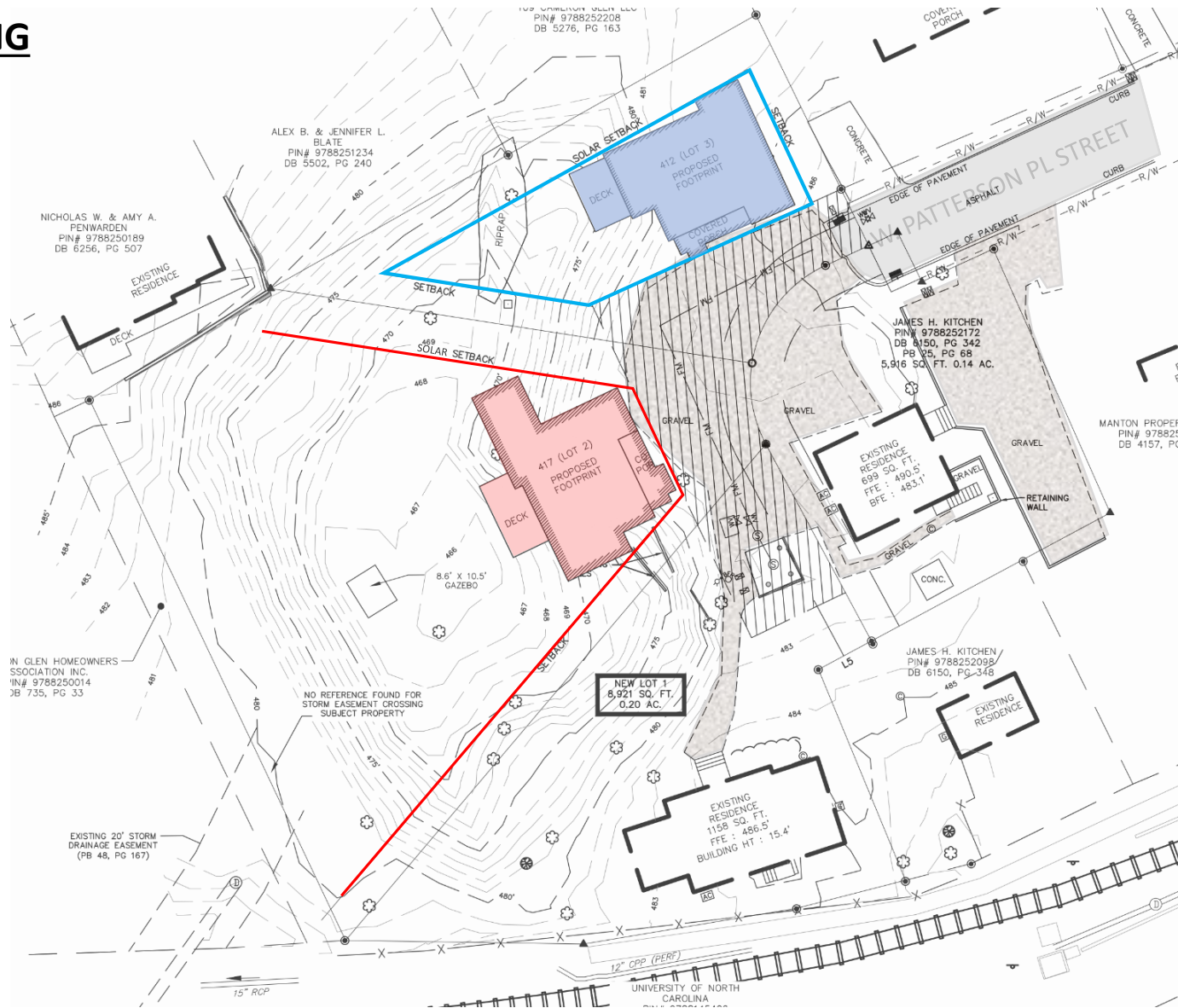
- AS INDICATED, WHERE PATTERSON ENDS, THE DRIVEWAY STARTS. MEANING ALL OF THE EXISTING GRAVEL IS CLASSIFIED AS "OFF-STREET".
- PROP. LINES GO TO THE MIDDLE OF THE EX. GRAVEL



PROPOSED: **LOT 412 & 417 DWELLING** **LOCATIONS**

 412 – SETBACKS & BLDG FOOTPRINT

 417 – SETBACKS & BLDG FOOTPRINT



Reference to Design Guidelines:

- (pg. 53) "...site a new building so it does not compromise the overall historic character of the site, including its topography, significant site features and distinctive views.
- (pg. 53) "Maintain and protect significant site features from damage during or as a consequence of related site work or construction"
- (pg. 52) "it is important to minimize any excavation and regrading..."



PROPOSED:
417 BEFORE & AFTER

Reference to Design Guidelines:

- (pg. 53) *“Site new buildings to be consistent with neighboring historic buildings in orientation”*
- (pg. 53) *“Design new buildings that are compatible with but subtly discernible from historic buildings in the district”*
- (pg. 53) *“Design new buildings so that their size and scale do not visually overpower neighboring historic buildings”*



BEFORE



AFTER



PROPOSED: **412 BEFORE & AFTER**

Reference to Design Guidelines:
(same as previous slide)

- **(pg. 53)** *“Site new buildings to be consistent with neighboring historic buildings in orientation”*
- **(pg. 53)** *“Design new buildings that are compatible with but subtly discernible from historic buildings in the district”*
- **(pg. 53)** *“Design new buildings so that their size and scale do not visually overpower neighboring historic buildings”*



BEFORE

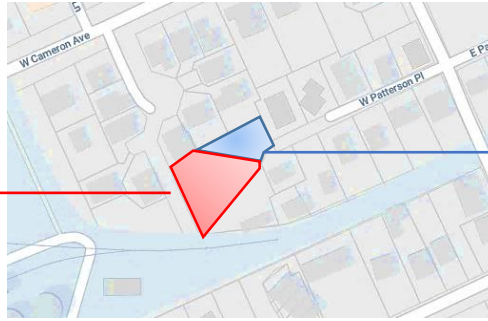


AFTER



PROPOSED:
417 & 412 side by side

- Colors shown are schematic and TBD.
- Front yard plantings not shown for rendering clarity



Reference to Design Guidelines:

- **(pg. 35)** “Paint color changes do not require Historic District Commissions approval.”



417



412



4. 412 W Patterson Place Staff Report from January 8, 2019 Historic District Commission Meeting

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS STAFF REPORT

Application Number: 18-132
Subject Property Location: 412 W Patterson Place
Applicant: Keith Shaw, AIA
Filing Date: 12/12/2018
Meeting Dates: 1/8/2018

I. INTRODUCTION TO THE APPLICATION

Historic District: Cameron-McCauley
Zoning District: R-3
Nature of Project: New single family residence.

II. PROPOSED FINDINGS OF FACTS

The Historic District Design Guidelines for *New Construction*, on page 53, provide Guidelines 1 through 9:

1. Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings.
2. Design and site a new building so it does not compromise the overall historic character of the site, including its topography.
3. Design new buildings so that their size and scale do not visually overpower neighboring historic buildings.
4. Design new buildings to be compatible in roof form, massing, and overall proportion with neighboring historic buildings.
5. Design new buildings so that the proportion of their street façade is similar with those of neighboring historic buildings.
6. Design new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings. Select exterior surface materials that are compatible with those of neighboring historic buildings in terms of module, composition, texture, pattern, color and detail.
7. Design a new building so that the placement, shape, scale, size, materials, patter, and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings.
8. Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.
9. Maintain and protect significant site features from damage during or as a consequence of related site work or construction.

5. 417 W Patterson Place Staff Report from January 8, 2019 Historic District Commission Meeting

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS STAFF REPORT

Application Number: 18-131
Subject Property Location: 417 W Patterson Place
Applicant: Keith Shaw, AIA
Filing Date: 12/12/2018
Meeting Dates: 1/8/2018

I. INTRODUCTION TO THE APPLICATION

Historic District: Cameron-McCauley
Zoning District: R-3
Nature of Project: New single family residence.

II. PROPOSED FINDINGS OF FACTS

The Historic District Design Guidelines for *New Construction*, on page 53, provide Guidelines 1 through 9:

1. Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings.
2. Design and site a new building so it does not compromise the overall historic character of the site, including its topography.
3. Design new buildings so that their size and scale do not visually overpower neighboring historic buildings.
4. Design new buildings to be compatible in roof form, massing, and overall proportion with neighboring historic buildings.
5. Design new buildings so that the proportion of their street façade is similar with those of neighboring historic buildings.
6. Design new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings. Select exterior surface materials that are compatible with those of neighboring historic buildings in terms of module, composition, texture, pattern, color and detail.
7. Design a new building so that the placement, shape, scale, size, materials, patter, and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings.
8. Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.
9. Maintain and protect significant site features from damage during or as a consequence of related site work or construction.

7. January 8, 2019 Historic District Commission Meeting Minutes



TOWN OF CHAPEL HILL

Historic District Commission

Meeting Minutes

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Chair Robert Epting
Vice-Chair Sean Murphy
Deputy Vice-Chair James Locke
Woodrow Burns

Kimberly Kyser
David Schwartz
Susan Smith
James White

Tuesday, January 8, 2019

6:30 PM

RM 110 | Council Chamber

Opening

Roll Call

Staff present: Jake Lowman, Staff Liaison, Becky McDonnell, Staff Liaison,
Brian Ferrell, Counsel to Commission

Present 7 - Chair Robert Epting, Vice-Chair Sean Murphy, Woodrow
Burns, Kimberly Kyser, David Schwartz, Susan Smith, and
James White

Absent 1 - Deputy Vice-Chair James Locke

Commission Chair reads public charge

Secretary reads procedures into the record

Secretary swears in members of the public

Approval of Agenda

Announcements

Petitions

Catharine Burns submitted a petition for additional changes and improvements to the Historic District Commission regarding the following:

- HDC citizen participation and rules of procedure
- Staffing the HDC and quality of staff reports
- Improvement of the website and minutes; Accessibility to video of hearings
- Due process improvement
- HDC exercising full authority, providing education and engagement of the public, raising private funds.

Approval of Minutes

1. December 11, 2018 Meeting Minutes [\[19-0003\]](#)

A motion was made by Burns, seconded by Vice-Chair Murphy, to approve the December 11, 2018 meeting minutes. The motion carried by a unanimous vote.

Consent Agenda

2. 233 & 235 McCauley Street [\[19-0004\]](#)

A motion was made by Schwartz, seconded by Smith, to approve the consent item for 233 & 235 McCauley Street, the Graham Court Condominiums, to replace the failing fire escapes on all four buildings. The motion carried by a unanimous vote.

Old Business

New Business

3. 222 Vance Street [\[19-0005\]](#)

Eric Stein, owner, presented. A motion was made by Kyser, seconded by Burns, to approve the Certificate of Appropriateness application for the installation of solar panels on the rear portion of the roof, based on consistency with guideline 9 on page 37 of the Design Guidelines. White amended the motion to include the desire of the Commission to set a precedent that there should be no visibility of solar panels from the street. The motion carried by a unanimous vote.

4. 504 N Boundary Street [\[19-0006\]](#)

Scott Nilsen, landscaper, presented. A motion was made by Burns, seconded by Kyser, to approve the Certificate of Appropriateness for four fieldstone retaining walls to replace a failing railroad tie retaining wall, based on consistency with guidelines 7 and 8 on page 17 of the Design Guidelines. The motion carried by a unanimous vote.

5. 306 N Boundary Street [\[19-0007\]](#)

Erik Melhman, architect, presented the application for a Certificate of Appropriateness for additions to the main house and construction of a detached garage with accessory dwelling unit. The Commission expressed concern about the materials proposed, the impacts to the landscaping and several rock walls on the property, and the existence of a preservation easement. Catharine Burns, public, spoke and expressed concern about the notice requirements, the legality of removing the preservation easement through a quitclaim deed, and entered several documents as evidence into the record. The documents entered into the record included publications on Town and Gown Architecture, Essays on William Coker, and the preservation easement for the Coker Property.

The Commission decided to continue the hearing to the February 12, 2019 meeting to allow the applicant additional time to provide documentation on:

- Landscaping plan
- Exterior materials for the additions
- Details on the screened porch
- Original approvals for the property
- Legality of the quitclaim deed and preservation easement

6. 412 W Patterson Place

[\[19-0008\]](#)

Keith Shaw, architect, presented on both 412 W Patterson Place and 417 W Patterson Place. The Commission expressed concern about the presence of steep slopes, streams, and parking arrangements for the new dwellings and other residents in the area. The Commission decided to continue the public hearing for 412 W Patterson Place to the February 12, 2019 meeting to allow the applicant additional time to provide documentation on the parking plans, environmental concerns, and building elevations.

7. 417 W Patterson Place

[\[19-0009\]](#)

The Commission decided defer the 417 W Patterson Place hearing to the February 12, 2019 meeting to allow the applicant additional time to provide documentation on the abovementioned concerns.

Staff Report

Next Meeting - February 12, 2019

Jake Lowman, Staff Liaison, provided an update on the State Historic Preservation Office proposal for the National Register Historic District boundary

increase of the West Chapel Hill Historic District.

Adjournment

Order of Consideration of Agenda Items:

- 1. Staff Presentation*
- 2. Applicant's Presentation*
- 3. Public Comment*
- 4. Board Discussion*
- 5. Motion*
- 6. Restatement of Motion by Chair*
- 7. Vote*
- 8. Announcement of Vote by Chair*

Public Charge: The Advisory Body pledges its respect to the public. The Body asks the public to conduct themselves in a respectful, courteous manner, both with the Body and with fellow members of the public. Should any member of the Body or any member of the public fail to observe this charge at any time, the Chair will ask the offending person to leave the meeting until that individual regains personal control. Should decorum fail to be restored, the Chair will recess the meeting until a genuine commitment to this public charge is observed.

Unless otherwise noted, please contact the Planning and Development Services Department at 919-969-5066; planning@townofchapelhill.org for more information on the above referenced applications.

See the Advisory Boards page <http://www.townofchapelhill.org/boards> for background information on this Board.

8. 412 W Patterson Place Staff Report from February 12, 2019 Historic District Commission Meeting

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS STAFF REPORT

Application Number: 18-132
Subject Property Location: 412 W Patterson Place
Applicant: Keith Shaw, AIA
Filing Date: 12/12/2018
Meeting Dates: 1/8/2019, 2/12/2019

I. INTRODUCTION TO THE APPLICATION

Historic District: Cameron-McCauley
Zoning District: Residential – 3 (R-3)
Nature of Project: Construction of a new single family residence.

II. PROPOSED FINDINGS OF FACTS

The Historic District Design Guidelines for *New Construction*, on page 53, provide Guidelines 1 through 9:

1. Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings.
2. Design and site a new building so it does not compromise the overall historic character of the site, including its topography.
3. Design new buildings so that their size and scale do not visually overpower neighboring historic buildings.
4. Design new buildings to be compatible in roof form, massing, and overall proportion with neighboring historic buildings.
5. Design new buildings so that the proportion of their street façade is similar with those of neighboring historic buildings.
6. Design new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings. Select exterior surface materials that are compatible with those of neighboring historic buildings in terms of module, composition, texture, pattern, color and detail.
7. Design a new building so that the placement, shape, scale, size, materials, patter, and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings.
8. Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.
9. Maintain and protect significant site features from damage during or as a consequence of related site work or construction.

9. 417 W Patterson Place Staff Report from February 12, 2019 Historic District Commission Meeting

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS STAFF REPORT

Application Number: 18-131
Subject Property Location: 417 W Patterson Place
Applicant: Keith Shaw, AIA
Filing Date: 12/12/2018
Meeting Dates: 1/8/2019, 2/12/2019

I. INTRODUCTION TO THE APPLICATION

Historic District: Cameron-McCauley
Zoning District: Residential – 3 (R-3)
Nature of Project: Construction of a new single family residence.

II. PROPOSED FINDINGS OF FACTS

The Historic District Design Guidelines for *New Construction*, on page 53, provide Guidelines 1 through 9:

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8. Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.
9. Maintain and protect significant site features from damage during or as a consequence of related site work or construction.

11. February 12, 2019 Historic District Commission Meeting Minutes



TOWN OF CHAPEL HILL

Historic District Commission

Meeting Minutes

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Chair Robert Epting
Vice-Chair Sean Murphy
Deputy Vice-Chair James Locke
Woodrow Burns

Kimberly Kyser
David Schwartz
Susan Smith
James White

Tuesday, February 12, 2019

6:30 PM

RM 110 | Council Chamber

Opening

Roll Call

Staff Present: Jake Lowman, Liaison to Commission, Becky McDonnell, Liaison to Commission, Brian Ferrell, Counsel to Commission, Anya Grahm, Town Staff

Present 8 - Chair Robert Epting, Vice-Chair Sean Murphy, Deputy Vice-Chair James Locke, Woodrow Burns, Kimberly Kyser, David Schwartz, Susan Smith, and James White

Commission Chair reads public charge

Secretary reads procedures into the record

Secretary swears in members of the public

Approval of Agenda

Announcements

Petitions

Linda Brown spoke regarding issues facing historic preservation and the local historic districts, including an increasing number of student rentals.

Catharine Burns spoke regarding the petition filed at the January 8, 2019 meeting and clarified that the petition was meant for action by the Historic District Commission and not Town Staff.

Approval of Minutes

1. January 8, 2019 Meeting Minutes

[\[19-0087\]](#)

A motion was made by Schwartz, seconded by Smith, to approve the January

8, 2019 minutes. The motion carried by a unanimous vote.

Recommendations

2. Recommendation on the West Chapel Hill National Register Boundary Increase

[\[19-0092\]](#)

A motion was made by Kyser, seconded by Burns, to authorize Bob Epting, Chair, to sign a letter on behalf of the Commission indicating their support for the West Chapel Hill Historic District Boundary Increase. The motion carried by a unanimous vote.

Old Business

3. 306 N Boundary Street

[\[19-0007\]](#)

Commission members Epting and Burns were recused from this agenda item. Erik Melhman, architect, presented additional information requested from the January 8, 2019 meeting, including additional historical plans, changes to the proposed garage, and clarifications on landscaping, exterior materials, and the proposed screened porch.

Members of the public spoke, including Wood Burns, Paula Hunt, Frances Bradley, Christiana Williams, William Cant, Catharine Burns, and Linda Brown. Comments were made regarding the significance of the property and the Coker gardens, the location and size of the proposed garage, concern over the amount of time to review changes made after the January 8, 2019 meeting, and existing trees on the property.

A motion was made by Kyser, seconded by Schwartz, to continue the public hearing to the March 12, 2019 meeting. The motion carried by a unanimous vote.

4. 412 W Patterson Place

[\[19-0008\]](#)

Keith Shaw, architect, presented on both 412 W Patterson Pl and 417 W Patterson Pl, and addressed concerns raised at the January 8, 2019 meeting.

Members of the public, including Deborah Davis and Jennifer Blake, spoke regarding concerns about parking, trees, and the size of the proposed houses.

The Commission discussed other issues including the scale of the proposed houses, site constraints, parking, and architectural scale.

A motion was made by Kyser, seconded by Deputy Vice-Chair Locke, to deny the Certificate of Appropriateness application for a new single family home, based on Design Guideline #8 on page 19, #1 and #2 on page 53, and the Land Use Management Ordinance criteria A, B, G, and J. The motion carried by the following vote:

Aye: 5 - Chair Epting, Deputy Vice-Chair Locke, Kyser, Schwartz, and Smith

Nay: 2 - Vice-Chair Murphy, and White

Excused: 1 - Burns

5. 417 W Patterson Place

[\[19-0009\]](#)

A motion was made by Kyser, seconded by Deputy Vice-Chair Locke, to deny the Certificate of Appropriateness application for a new single family home, based on Design Guideline #8 on page 19, #1 and #2 on page 53, and the Land Use Management Ordinance criteria A, B, G, and J. The motion carried by the following vote:

Aye: 5 - Chair Epting, Deputy Vice-Chair Locke, Kyser, Schwartz, and Smith

Nay: 2 - Vice-Chair Murphy, and White

Excused: 1 - Burns

New Business

6. 219 E Rosemary Street (Alpha Phi Sorority)

[\[19-0088\]](#)

Josh Gurlitz, architect, presented, and explained the proposed changes to the approved Certificate of Appropriateness, including changes to the roof, railing, porch roofs, and brick faced return at the parking entrance. A motion was made by Vice-Chair Murphy, seconded by Kyser, to approve these modifications to the existing Certificate of Appropriateness, based on Design Guideline #6 on page 55. The motion carried by a unanimous vote.

7. 410 & 412 North Street

[\[19-0089\]](#)

A motion was made by White, seconded by Vice-Chair Murphy, to continue the public hearing to the March 12, 2019 meeting. The motion carried by a unanimous vote.

8. 723 Gimghoul Road

[\[19-0090\]](#)

A motion was made by White, seconded by Vice-Chair Murphy, to continue the public hearing to the March 12, 2019 meeting. The motion carried by a unanimous vote.

Closed Session

The Commission moved into closed session - attorney-client privilege.

Staff Update

9. 2019 Commission Priorities

[\[19-0093\]](#)

The Commission established 2019 priorities, including:

1. Continue the Design Guidelines Rewrite Process
2. Revise Section 3.6.2 of the Land Use Management Ordinance regarding the Historic District Commission
3. Address Emerging Historic District Challenges, including tree protection and regulation, redevelopment of historic properties, and other concerns as voiced by stakeholders and residents.

Adjournment

Next Meeting - March 12, 2019

The meeting adjourned at 10:57pm.

Order of Consideration of Agenda Items:

- 1. Staff Presentation*
- 2. Applicant's Presentation*
- 3. Public Comment*
- 4. Board Discussion*
- 5. Motion*
- 6. Restatement of Motion by Chair*
- 7. Vote*
- 8. Announcement of Vote by Chair*

Public Charge: The Advisory Body pledges its respect to the public. The Body asks the public to conduct themselves in a respectful, courteous manner, both with the Body and with fellow members of the public. Should any member of the Body or any member of the public fail to observe this charge at any time, the Chair will ask the offending person to leave the meeting until that individual regains personal control. Should decorum fail to be restored, the Chair will recess the meeting until a genuine commitment to this public charge is observed.

Unless otherwise noted, please contact the Planning and Development Services Department at 919-969-5066; planning@townofchapelhill.org for more information on the above referenced applications.

See the Advisory Boards page <http://www.townofchapelhill.org/boards> for background information on this Board.

12. 412 W Patterson Place Certificate of Appropriateness Denial Letter dated February 22, 2019

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS WRITTEN DECISION

Application Number: 18-132
Subject Property Address: 412 W Patterson Place
Applicant: Keith Shaw, AIA
Filing Date: 12/12/2018
Meeting Date: 1/8/2019, 2/12/2019

I. INTRODUCTION TO THE APPLICATION

Historic District: CAMERON-MCCAULEY

Zoning District: R-3

Nature of Project: Construction of a new single family home

II. EVIDENCE & TESTIMONY PRESENTED

- A. Application Materials
- B. Public Testimony

III. FINDINGS OF FACTS AND CONCLUSIONS OF LAW

Based upon the Application submitted on this matter, considered under the Historic District Commission Review Criteria set out in LUMO section 3.6.2(e), and the Design Guidelines for the Chapel Hill Historic Districts, Commissioner Kyser moved to deny the above stated application based on the following findings of fact and conclusions of law:

- A. The application is for the construction of a new single family house on a vacant lot located at 412 W. Patterson Place (West Patterson Place Lot #3).
- B. LUMO Section 3.6.2(e)(4) Review Criterion A through H, and J are applicable to this Application.
- C. Factual findings related to the application are as follows: (i) the proposed two-story house is not consistent with the height and scale of neighboring historic structures that are generally one to one and one-half stories tall in height; (ii) the setback and placement of the proposed house on the site is not consistent with average setbacks of adjacent buildings; (iii) the general form and proportion of the proposed house is incongruous with the typical historic bungalow house forms that characterize the street; and (iv) the proposed architectural scale of the new house detracts from the character of the street as it is incongruous with the mass, scale, and height of neighboring historic houses.
- D. The application does not comply with the following Design Guidelines: *New Construction* guidelines 1 through 9 on page 53; and *Additions* guidelines on page 54 (see the third paragraph on page 54 for discussion of roof forms and height).
- E. Based upon the foregoing, the Commission concludes that the proposal for the item above is incongruous with the special character of the Historic District and that the Application for a Certificate of Appropriateness should be denied.

IV. DECISION ON THE APPLICATION

Based on the foregoing findings of fact and conclusions of law, the Historic District Commission **denied** the Application for a Certificate of Appropriateness as referenced in Section I of this document on the basis that it **would be incongruous** with the special character of the district.

Vote Total: 5-2

Members Voting: 7

Signed this the 22nd day of February, 2019.

Robert Epting
Robert Epting, Commission Chair

Date Filed with Town of Chapel Hill Planning Department: February 22, 2019.

NOTE:

Any decision of the Historic District Commission in granting or denying a Certificate of Appropriateness may be appealed to the Board of Adjustment and shall be reviewed on the record. An application for appeal shall be filed with the Town Clerk within thirty (30) days of the filing of the decision being appealed or the delivery of any required written notice of the decision, whichever is later. If any application for appeal to the above referenced Certificate of Appropriateness is filed with the Town Clerk, the Town will be sure to contact you.

13. 417 W Patterson Place Certificate of Appropriateness Denial Letter dated February 22, 2019

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS WRITTEN DECISION

Application Number: 18-131
Subject Property Address: 417 W Patterson Place
Applicant: Keith Shaw, AIA
Filing Date: 12/12/2018
Meeting Date: 1/8/2019, 2/12/2019

I. INTRODUCTION TO THE APPLICATION

Historic District: CAMERON-MCCAULEY

Zoning District: R-3

Nature of Project: Construction of a new single family home

II. EVIDENCE & TESTIMONY PRESENTED

- A. Application Materials
- B. Public Testimony

III. FINDINGS OF FACTS AND CONCLUSIONS OF LAW

Based upon the Application submitted on this matter, considered under the Historic District Commission Review Criteria set out in LUMO section 3.6.2(e), and the Design Guidelines for the Chapel Hill Historic Districts, Commissioner Kyser moved to deny the above stated application based on the following findings of fact and conclusions of law:

- A. The application is for the construction of a new single family house on a vacant lot located at 417 W. Patterson Place (West Patterson Place Lot #2).
- B. LUMO Section 3.6.2(e)(4) Review Criterion A through H, and J are applicable to this Application.
- C. Factual findings related to the application are as follows: (i) the proposed two-story house is not consistent with the height and scale of neighboring historic structures that are generally one to one and one-half stories tall in height; (ii) the setback and placement of the proposed house on the site is not consistent with average setbacks of adjacent buildings; (iii) the general form and proportion of the proposed house is incongruous with the typical historic bungalow house forms that characterize the street; and (iv) the proposed architectural scale of the new house detracts from the character of the street as it is incongruous with the mass, scale, and height of neighboring historic houses.
- D. The application does not comply with the following Design Guidelines: *New Construction* guidelines 1 through 9 on page 53; and *Additions* guidelines on page 54 (see the third paragraph on page 54 for discussion of roof forms and height).
- E. Based upon the foregoing, the Commission concludes that the proposal for the item above is incongruous with the special character of the Historic District and that the Application for a Certificate of Appropriateness should be denied.

IV. DECISION ON THE APPLICATION

Based on the foregoing findings of fact and conclusions of law, the Historic District Commission **denied** the Application for a Certificate of Appropriateness as referenced in Section I of this document on the basis that it **would be incongruous** with the special character of the district.

Vote Total: 5-2

Members Voting: 7

Signed this the 22nd day of February, 2019.

Robert Epting
Robert Epting, Commission Chair

Date Filed with Town of Chapel Hill Planning Department: February 22, 2019.

NOTE:

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14. Town of Chapel Hill Land Use Management Ordinance Sections 3.6.2 and 8.4

3.6.2 Historic Districts.

Purpose statement: The historic district is intended to protect and conserve the heritage and character of the Chapel Hill community by providing for the preservation of designated areas within the planning jurisdiction, including individual properties therein that embody important elements of social, economic, political, or architectural history, and by promoting the stabilization and enhancement of property values throughout such areas. The purpose of requiring regulation of placement and design of telecommunications equipment in this district is to help achieve these objectives and to protect the special character of the historic district.

It is intended that these regulations ensure, insofar as possible, that buildings or structures in the historic district shall be in harmony with other buildings or structures located therein. However, it is not the intention of these regulations to require the reconstruction or restoration of individual or original buildings, or to prohibit the demolition or removal of such buildings, or to impose architectural styles from particular historic periods, but rather to encourage design, whether contemporary or traditional, which is harmonious with the character of the historic district.

(a) *Establishment of historic district.*

- (1) The historic district is hereby established as a district which overlays other zoning districts established in sections 3.3—3.5. The boundaries of the historic district are as shown on the official zoning atlas.
- (2) No new historic district or any change to the boundaries of any existing historic district shall be designated until the North Carolina Department of Cultural Resources, or its successor agency, shall have been given an opportunity, in accord with Chapter 160A, Article 19, Part 3C of the N.C. General Statutes, or its successor statutes, to make recommendations with respect to the establishment of such new district or change in the boundaries of an existing district.
- (3) The use and development of any land or structure within the historic district shall comply with use regulations and intensity regulations applicable to the use district in which it is located.

(b) *Certificate of appropriateness required.*

- (1) No exterior portion of any building or other structure (including masonry walls, fences, light fixtures, steps and pavement, or other appurtenant features), or any aboveground utility structure, or any type of outdoor advertising sign shall be erected, altered, restored, moved, or demolished within the historic district until an application for a certificate of appropriateness as to exterior architectural features has been approved. For purposes of this article, "exterior architectural features" shall include the architectural style, general design, and general arrangement of the exterior of a building or other structure, including the kind and texture of the building material, the size and scale of the building, and the type and style of all windows, doors, light fixtures, signs, and other appurtenant fixtures. In the case of outdoor advertising signs, "exterior architectural features" shall be construed to mean the style, material, size, and location of all such signs.
- (2) A certificate of appropriateness shall be issued prior to the issuance of a zoning compliance permit or any other permit granted for purposes of constructing, altering, or demolishing buildings or structures. A certificate of appropriateness shall be required whether or not a zoning compliance permit is required. Any zoning compliance permit or other permit not issued in conformity with this section shall be invalid.
- (3) The town and all public utility companies shall be required to obtain a certificate of appropriateness prior to initiating any changes in the character of street paving, sidewalks, utility installations, lighting, walls, fences, structures, and buildings on property owned or franchised by the Town of Chapel Hill or public utility companies, excluding regulatory signs, other traffic control measures and devices, and utility distribution systems located in public right-of-way.
- (4) A certificate of appropriateness application may be reviewed and approved by the town manager according to specific review criteria contained in state law and guidelines approved by the commission when the application is determined to involve minor work. Minor works are

defined as those exterior changes that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. Such minor works shall be limited to those listed in the Commission's Rules of Procedure, or a successor document. No application involving a minor work may be denied without the formal action of the commission. Ordinance requirements for notification of affected property owners must be met for all applications.

(c) *Certain changes not prohibited.*

- (1) Nothing in this article shall be construed to prevent the ordinary maintenance or repair of any exterior architectural feature in the historic district that does not involve a change in design, material, or outer appearance thereof, or to prevent the construction, reconstruction, alteration, restoration, moving, or demolition of any such feature that the building inspector or similar official shall certify is required by the public safety because of unsafe or dangerous condition.
- (2) On the basis of preliminary sketches or drawings and other supporting data, the town manager may exempt from requirements for a certificate of appropriateness projects involving the ordinary maintenance or repair of any exterior architectural feature that does not involve a change in design, material, or outer appearance thereof. The town manager shall notify the commission of all such exemptions.

(d) *Procedures for approval of certificates of appropriateness.*

- (1) Application submittal requirements.
 - A. Applications for certificates of appropriateness shall be filed with the town manager.
 - B. The town manager shall prescribe the form(s) on which applications are made, as well as any other material which may reasonably be required to determine the nature of the application.
 - C. The commission may specify criteria for situations in which the town manager may waive any of the application material requirements.
 - D. No application shall be accepted by the town manager unless it complies with such requirements. Applications which are not complete shall be returned forthwith to the applicant, with a notation of the deficiencies in the application.
- (2) Notification of affected property owners. Prior to approval or denial of an application for a certificate of appropriateness by the historic district commission, the commission shall take such action as may reasonably be required to inform the owners of any property likely to be materially affected by the application, and shall give the applicant and such owners an opportunity to be heard.
- (3) Public hearing. In cases where the commission deems it necessary, it may hold a public hearing concerning the application.
- (4) Action on the application. Within one hundred eighty (180) days of the acceptance of an application, or within such further time consented to by written notice from the applicant, the town manager or the commission shall approve the application, approve the application with conditions, or deny the application. Such action shall be based upon the review criteria established in section 3.6.2 of this article. Failure to take final action on an application within the prescribed time limit, or extensions thereof, shall result in approval of the application as submitted. The town manager or the commission may impose such reasonable conditions on the approval of an application as will ensure that the spirit and intent of this article are achieved. An application for a certificate of appropriateness authorizing the demolition of a building or structure within the historic district may not be denied. However, the effective date of such a certificate may be delayed for up to three hundred sixty-five (365) days from the date of approval. The maximum period of delay authorized by this section shall be reduced by the commission where it finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from such property by virtue of the delay. During such period the commission may negotiate with the owner and with any other parties in an effort to

find a means of preserving the building. If the commission finds that the building has no particular significance or value toward maintaining the character of the historic district, it shall waive all or part of such period and authorize earlier demolition or removal. In every case, the record of the commission's action shall include the reasons for its action. (Ord. No. 2004-02-23/O-2)

- (5) Actions subsequent to decision. The town manager shall notify the applicant of a decision in writing, and shall file a copy of it with the town's planning department. If the application is denied, the notice shall include the reasons for such action.
 - (6) Appeal of decision. A decision by the commission on an application for a certificate of appropriateness may be appealed to the board of adjustment in accordance with the provisions of section 4.10. (Ord. No. 2004-02-23/O-2)
 - (7) Submittal of new application. If the commission denies an application for a certificate of appropriateness, a new application affecting the same property may be submitted only if substantive change is made in plans for the proposed construction, reconstruction, alteration, restoration, or moving.
- (e) *Review criteria.*
- (1) In considering an application for a certificate of appropriateness, the review shall take into account the historical and/or architectural significance of the structure under consideration and the exterior form and appearance of any proposed additions or modifications to that structure.
 - (2) The review shall not consider interior arrangement or use.
 - (3) The commission, using the criteria below, shall make findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district.
 - (4) The following criteria shall be considered, when relevant, by the commission in reviewing applications for a certificate of appropriateness:
 - A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings.
 - B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings.
 - C. Exterior construction materials, including texture and pattern.
 - D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials.
 - E. Roof shapes, forms, and materials.
 - F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration.
 - G. General form and proportions of buildings and structures.
 - H. Appurtenant fixtures and other features such as lighting.
 - I. Structural conditions and soundness.
 - J. Architectural scale.
- (f) *Prevention of demolition by neglect.*

- (1) The purpose of this article is to protect Chapel Hill's historic architectural resources by intervening when a significant resource is undergoing demolition by neglect.

Demolition by neglect is defined as a situation in which a property owner, or others having legal possession, custody or control of a property, allow the condition of property located in a historic district to suffer such deterioration, potentially beyond the point of repair, as to threaten the structural integrity of the structure or its relevant architectural detail to a degree that the structure and its character may potentially be lost to current and future generations.

(2) Control of demolition by neglect of structures within designated historic districts.

- A. In order to promote the purposes of historic preservation, this subsection requires that owners of historic properties maintain their properties and not allow them to fall into disrepair. The requirements of this subsection are applicable only to properties in the historic districts of Chapel Hill.

B. Conditions of neglect defined and prohibited.

Owners or others having legal possession, custody or control of a property in historic districts shall maintain or cause to be maintained the exterior and structural features of their properties and not allow conditions of neglect to occur on such properties. It is a violation of the town's land use management ordinance to not remedy a condition of neglect within the period of time set by a final administrative determination, as described in subsection (C), below.

Conditions of neglect include, but are not limited to, the following:

1. Deterioration of exterior walls, foundations, or other vertical support that causes leaning, sagging, splitting, listing, or buckling.
2. Deterioration of flooring or floor supports, roofs, or other horizontal members that causes leaning, sagging, splitting, listing, or buckling.
3. Deterioration of external chimneys that causes leaning, sagging, splitting, listing, or buckling.
4. Deterioration or crumbling of exterior plasters or mortars.
5. Ineffective waterproofing of exterior walls, roofs, and foundations, including broken windows or doors.
6. Defective protection or lack of weather protection for exterior wall and roof coverings, including lack of paint, or weathering due to lack of paint or other protective covering.
7. Rotting, holes, and other forms of decay.
8. Deterioration of exterior stairs, porches, handrails, window and door frames, cornices, entablatures, wall facings, and architectural details that causes delamination, instability, loss of shape and form, or crumbling.
9. Deterioration that has a detrimental effect on the surrounding historic district.
10. Deterioration that contributes to a hazardous or unsafe condition.
11. Deterioration of fences, gates, and accessory structures.

C. *Procedure for enforcement.* Enforcement of these provisions shall be undertaken as described in section 4.13 of the Land Use Management Ordinance ("Violations and Penalties"), with the following additional components:

1. Upon receipt of a complaint or upon observation, if the town manager makes a preliminary determination that a property in a historic district is being neglected, as defined in subsection 3.6.2(f)(2)B, the manager shall inform the property owner of the preliminary determination and notify the historic district commission of the preliminary determination. The town manager will seek remedial action by the property owner.
2. If remedial action has not commenced within thirty (30) days of initial notification, the town manager, after consultation with the historic district commission, shall make a finding of violation of the land use management ordinance. Procedures outlined in section 4.12 shall be followed, including notification of right to and process for appeal as described in section 4.12.

- (3) *Safeguards for undue economic hardship.* Upon notification from the town manager of required remedial action, the property owner may by written request claim undue economic hardship.

If a claim of undue economic hardship is made owing to the effects of this article, the town manager shall notify the historic district commission within five (5) business days following the receipt of the written request for a determination of undue hardship. The commission shall at its next regular meeting, schedule a hearing on the request within the limitations of its procedures for application deadlines.

The petitioner shall present the information provided under subsection (A) below to the commission at or prior to the hearing. The commission may require that an owner and/or parties in interest furnish such additional information as the commission may reasonably conclude is relevant to its determination of undue economic hardship, and may, in its sole discretion, hold the hearing open and allow the owner or party in interest a reasonable period of time (to be established by the commission) to furnish the requested additional information. The commission may request the staff to furnish additional information, as the commission believes is relevant. The commission shall also state which form of financial proof it deems relevant and necessary to a particular case.

In the event that any of the required information is not reasonably available to the owner and/or parties in interest and cannot be obtained by the owner, the owner shall describe the reason why such information cannot be obtained.

- A. When a claim of undue economic hardship is made owing to the effects of this article, the owner and/or parties in interest must provide evidence during the hearing upon the claim, describing the circumstances of hardship. The minimum evidence shall include for all property:
1. Nature of ownership (individual, business, or nonprofit) or legal possession, custody, and control.
 2. Financial resources of the owner and/or parties in interest.
 3. Cost of repairs.
 4. Assessed value of the land and improvements.
 5. Real estate taxes for the previous two (2) years.
 6. Amount paid for the property, date of purchase, and party from whom purchased, including a description of the relationship between the owner and the person from whom the property was purchased, or other means of acquisition of title, such as by gift or inheritance.
 7. Annual debt service, if any, for previous two (2) years received.
 8. Any listing of the property for sale or rent, price asked, and offers received, if any.

In addition, for income-producing property:

9. Annual gross income from the property for the previous two (2) years.
 10. Itemized operating and maintenance expenses for the previous two (2) years.
 11. Annual cash flow, if any, for the previous two (2) years.
- B. Within sixty (60) days of the commission's hearing on the claim, the commission shall make a determination of undue or no undue economic hardship and shall enter the reasons for such finding into the record. In the event of a finding of no undue economic hardship, the commission shall report such finding to the town manager, and the town manager shall cause to be issued an order for such property to be repaired within the time specified.

- C. In the event of a finding of undue economic hardship, the finding shall be accompanied by a recommended plan to relieve the economic hardship. This plan may include, but is not limited to, property tax relief as may be allowed under North Carolina law, loans or grants from the town, the county, or other public, private, or nonprofit sources, acquisition by purchase or eminent domain, building code modifications, changes in applicable zoning regulations, or relaxation of the provisions of this article sufficient to mitigate the undue economic hardship. The commission shall report such finding and plan to the town manager. The town manager shall cause to be issued an order for such property to be repaired within the time specified, and according to the provisions of the recommended plan.
- (4) *Appeals.* Decisions under this section made by the historic district commission may be appealed to the board of adjustment on the record in accordance with the procedures described in section 4.10.
- (5) *Stay of proceedings.* Issuance of an approved certificate of appropriateness for improvements, accompanied by actions to bring the property into compliance with this section, will stay an enforcement proceeding seeking compliance with this section for said property.
- (6) *Other town powers.* Nothing contained within this article shall diminish the town's power to declare an unsafe building or a violation of the minimum housing code.

8.4. - Historic District Commission.

8.4.1. Establishment of the Commission.

A historic district commission, consisting of ten (10) members appointed by the council, is hereby established.

8.4.2 Qualifications.

All members of the commission shall reside within the planning jurisdiction of Chapel Hill, and a majority of the members shall have demonstrated special interest, experience, or education in history or architecture. Members shall serve without compensation.

8.4.3. Tenure.

Members of the commission shall be appointed to serve terms of three (3) years, and until their respective successors have been appointed and qualified. The terms of the original members may be staggered so that all terms do not expire simultaneously. Vacancies shall be filled for the unexpired term only.

8.4.4. Officers.

The commission shall elect one (1) member to serve as chair and preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. The term of the chair and other officers shall be one (1) year, with eligibility for re-election to a second term.

8.4.5. General Responsibilities of the Commission.

The commission shall seek to promote, enhance, and preserve the character of the Chapel Hill Historic District, provided the commission shall not require the reconstruction or restoration of individual or original buildings, structures, or portions thereof. In considering new construction, the commission shall encourage design which is harmonious with the character of the historic district, but shall not discourage either contemporary or traditional design.

8.4.6. Powers of the Commission.

The commission is authorized and empowered to undertake actions reasonably necessary to the discharge and conduct of its duties and responsibilities as outlined in this appendix and in Chapter 160A, Article 19, Part 3C of the N.C. General Statutes, including but not limited to the following:

- (a) To recommend to the planning commission and council areas for designation by ordinance as historic districts;
- (b) To recommend to the planning commission and council that designation of any areas as a historic district be revoked or removed;
- (c) To recommend to the planning commission, council, and the State of North Carolina structures, sites, objects, or districts worthy of local, state, or national historical recognition;
- (d) To propose to the council amendments to this chapter or to any other ordinance relating to the historic district, and to propose new ordinances or laws relating to the historic district or to a program for the development of the historical resources of the Chapel Hill community;
- (e) To request the council to hold public hearings on matters within the purview of the commission;
- (f) To hear and decide applications for certificates of appropriateness in accord with article 3 of this appendix; (Ord. No. 2004-02-23/O-2)
- (g) To establish guidelines under which the town manager shall approve applications for certificates of appropriateness covering minor modifications on behalf of the commission;
- (h) To undertake, on its own or in collaboration with any other commission, board, agency, society, or organization, any programs of information, research, or analysis relating to any matters under its purview;

- (i) To cooperate with other commissions, boards, or agencies of the town or other governmental unit in offering or requesting assistance, guidance, or advice concerning matters under the commission's purview or of mutual interest;
- (j) To participate in negotiations with owners and other parties in an effort to find means of preserving historic buildings scheduled for demolition;
- (k) To provide advice to owners of property located within the historic district concerning the treatment of the historical and visual characteristics of their properties, such as color schemes, gardens and landscape features, and minor decorative elements;
- (l) To publish information or otherwise inform owners of property located within the historic district about any matters pertinent to the commission's duties, organization, procedures, responsibilities, functions, or requirements;
- (m) To contract, in accord with established town policies and procedures, for services or funds from agencies or departments of the State of North Carolina and the United States government;
- (n) To accept funds granted to the commission from private or non-profit organizations;
- (o) To organize itself and conduct its business by whatever legal means it deems proper;
- (p) To report violations of this appendix or related ordinances to the local official responsible for the enforcement thereof;
- (q) To exercise, within the historic district, all the powers and duties of the Chapel Hill Community Design Commission;
- (r) To exercise such other powers and to perform such other duties as are authorized or required elsewhere by this appendix, the N.C. General Statutes, or by the council.

8.4.7. Meetings.

The commission shall establish a regular meeting schedule, and shall meet at least quarterly and more often as it shall determine and require.

All meetings of the commission shall be open to the public, and reasonable notice of the time and place thereof shall be given to the public, in accord with Chapter 143, Article 33C of the N.C. General Statutes.

The commission shall adopt rules of procedure and regulations for the conduct of its affairs.

The commission shall keep a record of its meetings, including attendance of its members, and its resolutions, findings, recommendations, and actions.

8.4.8. Attendance at Meetings.

Any member of the commission who misses more than three (3) consecutive regular meetings or more than half the regular meetings in a calendar year shall lose his or her status as a member of the commission, and shall be replaced or reappointed by the council. Absence due to sickness, death, or other emergencies of like nature shall be recognized as excused absences, and shall not affect the member's status on the commission except that in the event of a long illness or other such cause for prolonged absence, the member shall be replaced.

8.4.9. Quorum and Voting.

A quorum of the commission, necessary to take any official action, shall consist of five (5) members.

The concurring vote of a simple majority of those members present shall be necessary to take any official action.

8.4.10. Historical and Architectural Significance Maps.

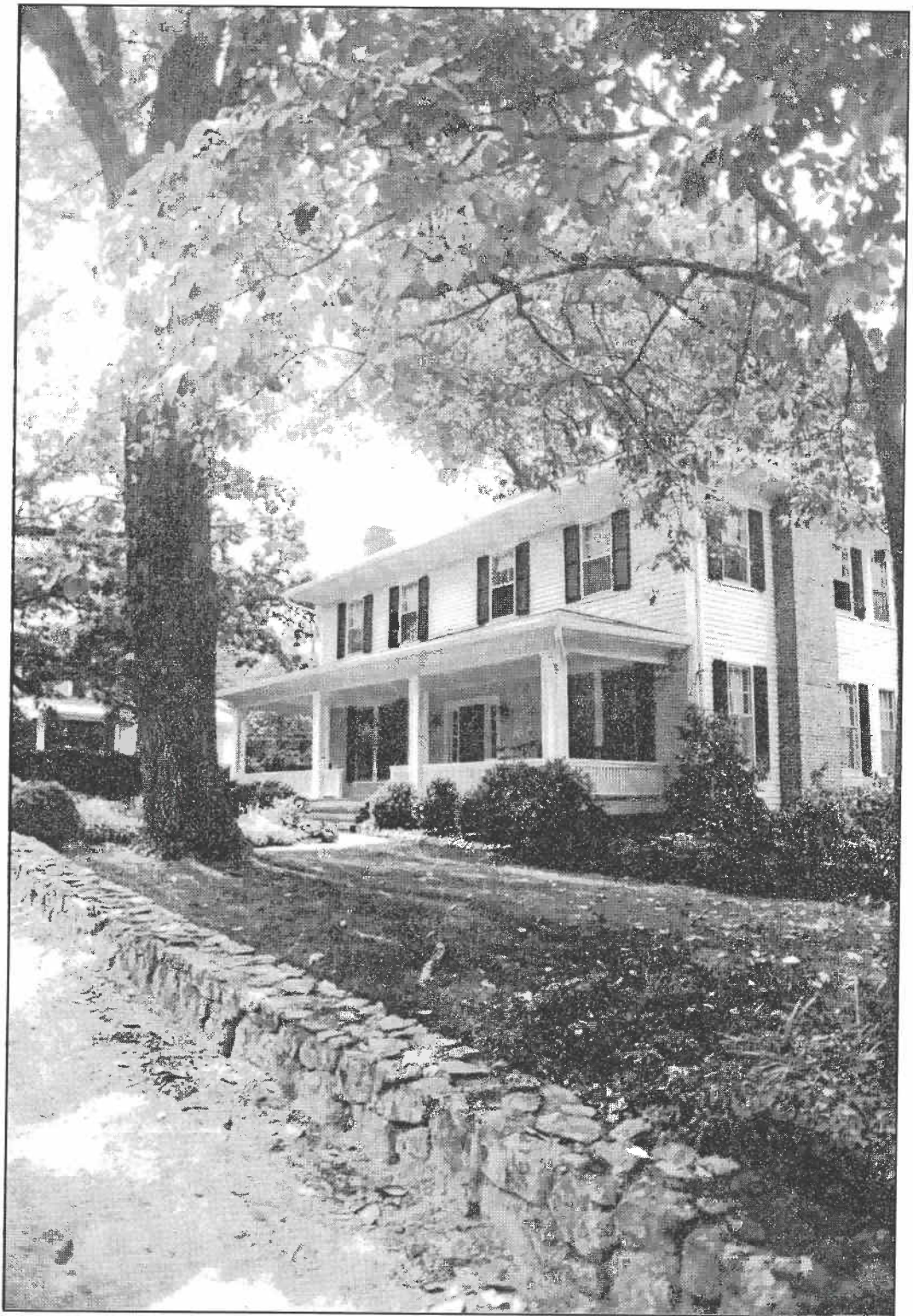
The commission shall prepare, maintain, and consult maps showing the historic and architectural significance of structures within the historic district. Such maps shall be updated at least every five (5) years.

A structure is deemed to have historic and/or architectural significance if it possesses integrity of location, design, setting, materials, workmanship, feeling, and association, and if it:

- (a) Is associated with events that have made a significant contribution to the broad patterns of local, state, or national history; or
- (b) Is associated with the lives of persons significant in the past; or
- (c) Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- (d) Has yielded, or may be likely to yield, information important in prehistory or local, State, and national history.

([Ord. No. 2014-03-10/O-2, § 3](#))

15. Design Guidelines for the Chapel Hill Historic Districts



Design Guidelines for the Chapel Hill Historic Districts

***Chapel Hill Historic District Commission
Design Guidelines Sub-committee***

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Adopted by the Chapel Hill Historic District Commission on November __, 2001.

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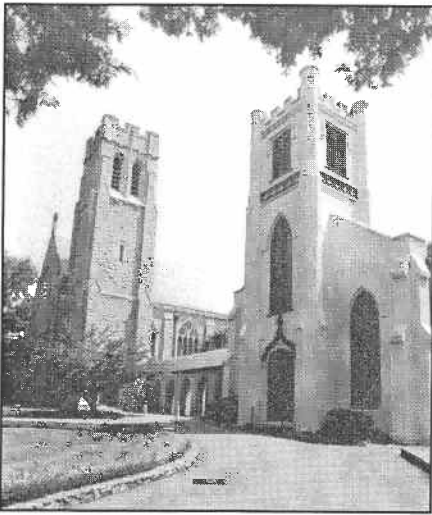
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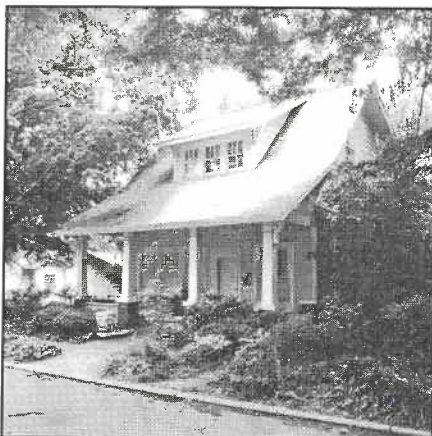
Introduction



*Chapel of the Cross
Franklin-Rosemary Historic District*



*Federal style house
Franklin-Rosemary Historic District*



*Bungalow
Cameron-McCauley Historic District*

Introduction

The purpose of these design guidelines is twofold. The design guidelines provide guidance to property owners within Chapel Hill's local historic districts as they plan exterior changes that are consistent with the special character of the districts. They also offer guidance to the Chapel Hill Historic District Commission as it reviews the appropriateness of all proposed changes throughout the districts.

Chapel Hill's Historic Districts

The Town of Chapel Hill has established three local historic districts encompassing a combined total of more than five hundred properties. The three districts are Franklin-Rosemary Historic District, the Cameron-McCauley Historic District, and the Gimghoul Historic District. Each district borders a different edge of the UNC campus and although primarily residential in character, each includes institutional buildings as well. Maps of the districts are included in the Appendices.

The Franklin-Rosemary District, Chapel Hill's first local historic district, was established in 1976. Its long history and development are closely tied to the growth and development of the University of North Carolina since its opening in 1795. The single family homes, multi-family and fraternal residences, and institutional buildings in the neighborhood represent a broad complement of architectural styles spanning more than two centuries. Nineteenth century Federal, Greek Revival, Gothic Revival, and Queen Anne buildings—as well as vernacular farmhouses—were joined by numerous bungalows and Colonial Revival style houses in the early twentieth century. Frame houses with deep and wide front porches are most prevalent but the district also includes several brick and stucco buildings. A mature tree canopy and low fieldstone walls unify the streetscapes. The district also includes part of the commercial area that developed along Franklin Street at the northern edge of the UNC campus.

The Cameron-McCauley Historic District is situated to the west of the UNC campus. The neighborhood developed rapidly after its inclusion within the town's limits in 1851 and it continued to develop steadily through the 1940s providing housing for many university employees and faculty. The Cameron-McCauley Historic District is delineated by a harmonious blend of Chapel Hill gravel paths, sidewalks, and low stone walls along tree-lined streets. The neighborhood streetscapes are characterized by a relatively dense siting of houses set back from the street and shaded by a dominating tree canopy. The majority of houses in the district are bungalows and houses built in the nationally popular twentieth-century styles such as Colonial Revival, Craftsman, and Tudor Revival. Surviving from its earliest period, the district also includes a few Queen Anne buildings, vernacular I-houses, and triple-A houses with Greek Revival elements. Institutional buildings, such as the Carolina Inn, and several large fraternal residences are found in the district as well.

The Gimghoul Historic District is a neighborhood located east of the campus and developed in the 1920s and 1930s to provide needed housing for university families. The dominant architectural style is Colonial Revival. The rugged topography of the neighborhood is quite distinctive for it is situated along a ridge which terminates in a dramatic overlook of Battle Park forest, bordering the district on its north and east sides. In addition to the vista of the adjoining dense forest, the proximity of Gimghoul Castle at the end of Gimghoul Road and the Gothic Revival style Chapel of St. Thomas More add to the distinctive, romantic character of the district setting. Lushly landscaped houses, a dense tree canopy, fieldstone retaining walls, Chapel Hill gravel sidewalks, and the curvilinear nature of Glandon Drive all contribute to the suburban feel and picturesque character of the Gimghoul Historic District.

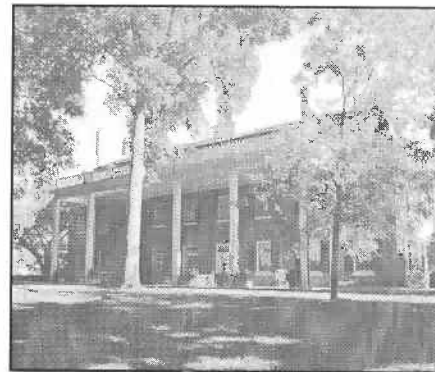
Chapel Hill Historic District Commission

Created by the Chapel Hill Town Council in 1976, the Chapel Hill Historic District Commission is charged with the task of maintaining and enhancing the character of three local historic districts. The Historic District Commission is composed of ten members appointed by the Town Council for three-year terms and assisted by the Chapel Hill Planning Department staff in executing its duties. The Commissioners are all residents of Chapel Hill who demonstrate special interest, experience, or education in architecture, archaeology, or other preservation-related fields. Based upon its established commission and planning department staff support, Chapel Hill qualifies for the Certified Local Government (CLG) program, a federal program administered by the North Carolina State Historic Preservation Office. CLG status benefits the community in a number of ways including eligibility for preservation-related grant opportunities.

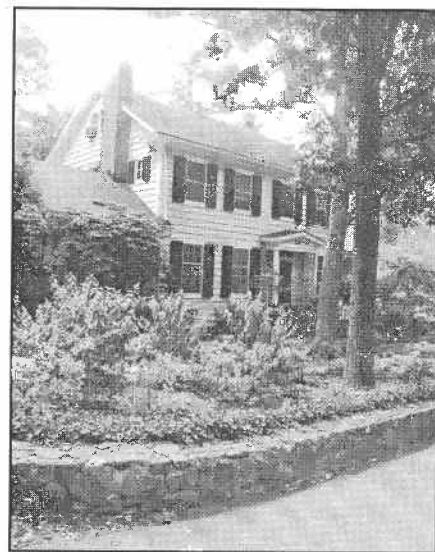
The Design Review Process

The Chapel Hill Historic District Commission's primary task is to review Certificate of Appropriateness (COA) applications for exterior changes within the districts to ensure that future changes to properties are consistent with the character of the historic district. The Commission does not require property owners to make changes to their properties and its review is limited to exterior changes. Interior alterations to a district building and routine maintenance and minor repairs to the building's exterior that do not change its appearance and materials are not included in the design review process. Rather, the Commission reviews proposed exterior alterations, changes in exterior materials, new construction, additions, significant site changes, and the relocation or demolition of historic buildings. For demolition requests, the Historic District Commission may delay demolition for up to 365 days to allow time for alternatives to demolition to be explored.

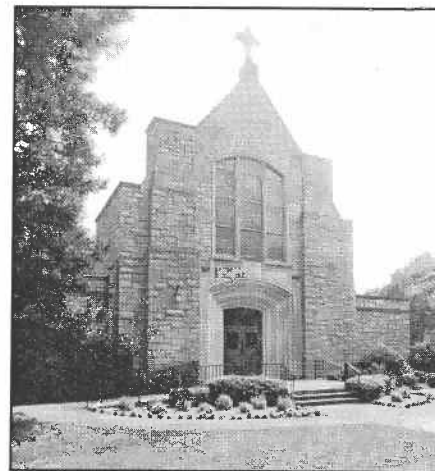
The HDC design review process provides for the timely review of proposed exterior changes or new construction before work is begun. Early in the planning process, property owners should contact the planning department staff to obtain a copy of the design guidelines



*Carolina Inn
Cameron-McCauley Historic District*



*Colonial Revival House
Gimghoul Historic District*



*Chapel of St. Thomas More
Gimghoul Historic District*

Design Guidelines Chapel Hill Historic Districts

For information or assistance,
contact the Chapel Hill
Planning Department at
919/968-2728.

A glossary of architectural
terms is included in the
Appendices.

and a Certificate of Appropriateness application. Typically, a completed COA application form will include a written description and drawings of the proposed work along with photographs of the existing conditions. Because proposed changes differ in complexity and scale, it is important to confirm with the planning department staff what information and specific drawings are required for the proposed project. The Historic District Commission reviews completed applications at its monthly meetings and Certificates of Appropriateness are issued for approved applications. The COA certificate must be obtained before a building permit can be issued and it must be posted at the building site while the approved work is in progress.

While the HDC cannot prepare designs for property owners, it can offer advice or suggestions. Courtesy reviews, offered during the monthly HDC meetings, provide applicants with an opportunity to informally discuss their projects early in the planning process before they submit a COA application. Commissioners are better prepared to offer informal suggestions and comments if applicants request a courtesy review well in advance. The Commission also maintains a library in the Planning Department with materials on restoration, adaptive use, fences, walks, and landscaping.

To expedite the design review process, some less substantial exterior work items are routinely reviewed by the staff, eliminating the need for review by the full Commission unless the staff member believes the proposal warrants it. A list of work items that may be approved by planning department staff is included in the Appendices. Any questions regarding proposed work within the historic district may be directed to the Chapel Hill Planning Department at 919/968-2728.

The Chapel Hill Historic District Commission normally meets on the second Thursday of each month in the Council Chambers of the Town Hall, 306 N. Columbia Street. To be included on the agenda, completed Certificate of Appropriateness applications must be submitted by the third Friday of the month preceding the meeting. HDC meeting dates and times can be verified with the planning department staff.

Appeals and Compliance

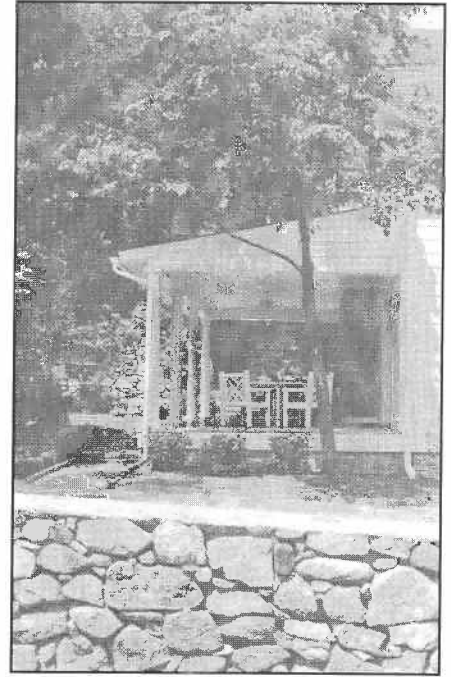
Decisions by the Chapel Hill Historic District may be appealed to the Board of Adjustments except for an action involving the State of North Carolina, in which case the North Carolina Historical Commission hears the appeal. The appeal must be filed within thirty days of receipt of written notification of the HDC decision. Applicants may appeal if they feel the HDC did not base its decision on the design guidelines or did not follow proper procedure in reaching its decision.

If work is begun without a Certificate of Appropriateness, all work must stop until a COA is issued. Work requiring review that is performed without a COA is in violation of the Chapel Hill Development Ordinance. The penalty can be the removal of the unapproved alteration, a civil citation, a fine, or other legal action.

Secretary of the Interior's Standards for Rehabilitation

The United States Department of the Interior developed a set of standards for the preservation of historic buildings in 1976. These ten national standards for the rehabilitation of historic buildings provide guidance to the Chapel Hill Historic District Commission, and similar commissions across the country, in their deliberations. The Chapel Hill Historic District Design Guidelines are locally tailored design guidelines based on these national standards and they reflect the same philosophical approach to rehabilitation. That approach values ongoing protection and maintenance of historic properties to minimize the need for more substantial repairs. In turn, it values repairs of historic features and fabric over their replacement in kind. The Secretary's Standards, as they are commonly called, are listed below in their most current version (1992). It should be noted that, although the first standard addresses use, the HDC does not review proposed uses of historic buildings.

1. A property shall be used as it was historically or be given a new use that requires minimum change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archaeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historical materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

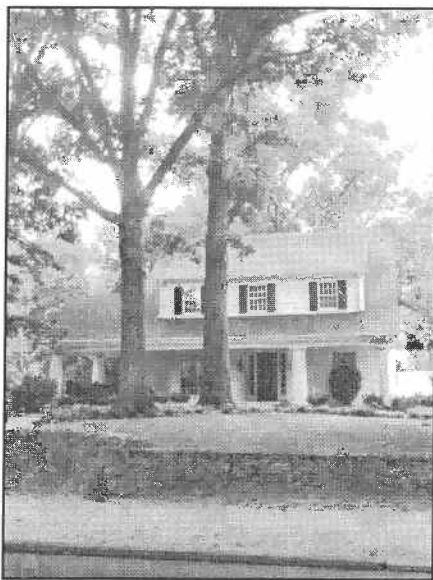
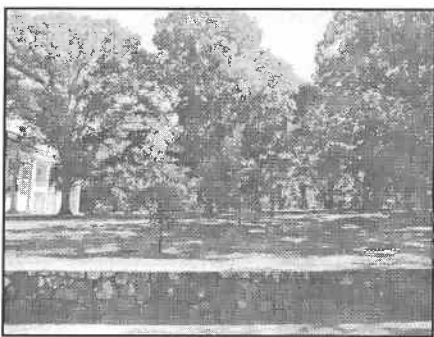




District Setting



The viewsheds created by both Battle Forest (above) and the UNC campus (below) contribute significantly to the setting of the historic districts they border.



Throughout the historic districts, the consistency provided by mature trees, low stone walls, and gravel sidewalks unifies the streetscapes and helps establish the district setting.

Setting

The setting of properties within Chapel Hill's historic districts is the result of the physical context created by the visual and associative site characteristics of the neighborhoods. In particular, the natural topography and well-established landscape play a substantial role in creating the setting of the Chapel Hill historic districts. In the Gimghoul neighborhood, for example, the unique setting is created by the combination of a natural ridge that terminates in a dramatic overlook, the forest of Battle Park along its north slope, and the vista of Gimghoul Castle. While the spatial and visual character of each district was clearly influenced by natural site features, the relationship to the university campus has significantly influenced the development of the districts over time. The linear commercial and institutional development along Franklin Street as it borders the campus and the vistas provided by the campus greens adjacent to the historic districts are just two examples of the impact the university has upon the neighborhood settings.

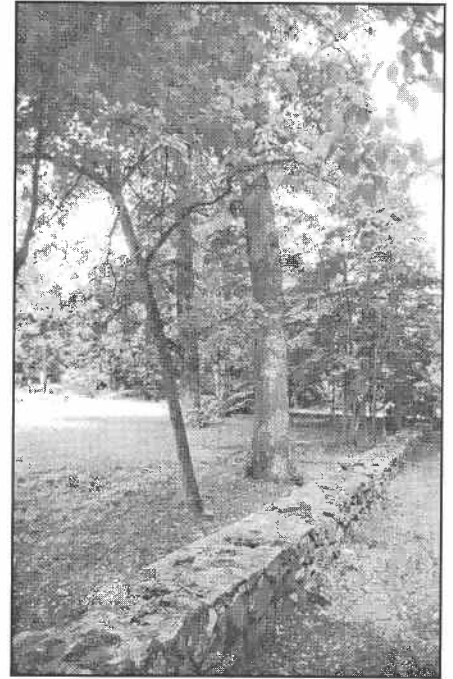
Considerations

The harmony of the streetscapes and the historic buildings within their landscaped settings is the result of ongoing actions that maintain or enhance the gentle ambiance of the districts. The historic setting of the Chapel Hill districts is defined in part by the ongoing traditions of low fieldstone walls along the street frontage of so many properties, the cultivation of hedges and tree canopies, and the network of sidewalks lined with "Chapel Hill gravel," a fine-grained gravel that looks like sand. By understanding the significance of each site element to the district setting, property owners can make informed, sound decisions on how to incorporate appropriate changes while preserving the historic setting.

The topics that follow in this section of the design guidelines address more specifically various aspects of the district setting.

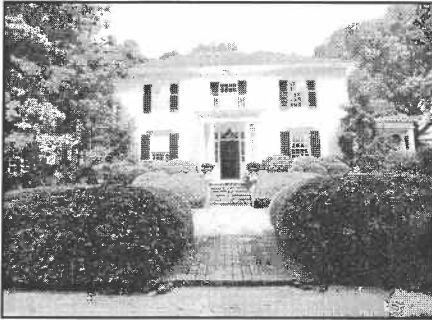
Guidelines: Setting

- 1.** Retain and preserve the visual and associative characteristics of the landscape and buildings that are important in defining the overall historic character of the district.
- 2.** Protect and maintain the visual and associative characteristics of the district setting that are established by the relationship of buildings to the streetscape, including significant vistas, site topography, accessory structures, streets, alleys, walkways, walls, fences, and plantings.
- 3.** Introduce new site features, building additions, new buildings, and other structures in ways that are compatible with the visual and associative characteristics of the historic district.
- 4.** It is not appropriate to introduce or remove a site feature if it will significantly diminish or radically alter the visual or associative characteristics of the district setting.





Many district houses are set within grassy front yards with mature shade trees and foundation plantings.



Mature boxwood hedges create a formal approach to this district property.



Within the narrow front yard setback, this bungalow is surrounded by a more informal landscaped setting.

Site Features & Plantings

The mature landscapes of Chapel Hill's historic districts are not static but evolving and their preservation cannot be accomplished in the same way that buildings are preserved. Nonetheless, significant natural site features and plantings—such as mature trees, gardens, foundation plantings, hedges, and street tree canopies—are an essential part of the district setting and their maintenance important. They can be maintained through routine fertilizing, pruning, and treatment for diseases. Replacing diseased or damaged trees and plantings with healthy new specimens that will have a similar appearance as they mature also maintains the character of the districts.

Considerations

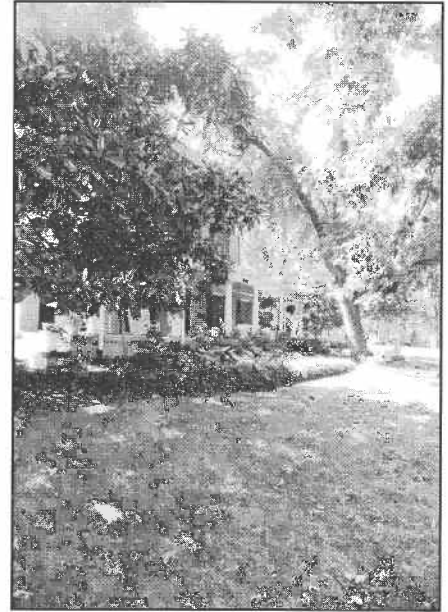
Although many landscaping decisions are entirely up to the individual property owner, a Certificate of Appropriateness is required for the removal of "rare and specimen trees" (as defined in the Chapel Hill Development Ordinances) in some situations and for any proposed site work related to new construction or hard surfaced driveways, off-street parking areas, and walkways. Property owners can contact the HDC staff to determine if a COA is necessary for proposed site changes or improvements.

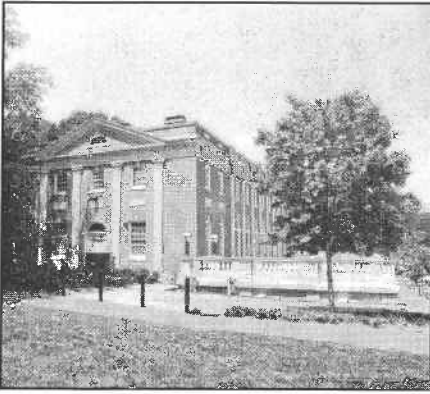
It is important to consider the overall setting and specific site characteristics in planning for landscape changes. The selection of new plantings that maintain or enhance the enclosed or open sense of the property from the existing vocabulary of district site features and plantings is always desirable. A list of suggested plantings is provided in the Appendixes. The Town's Urban Forester can provide technical advice to property owners as well.

Large trees and other important site features should be protected from damage during construction or site work. Related soil compaction or loss of root area as a result of construction activities can also endanger mature trees and plantings. The introduction of large manmade contemporary site features, such as playground equipment or swimming pools, within the historic districts should only be considered if the site feature can be accommodated in a unobtrusive location that successfully screens its visibility from the street, minimizing its impact on the historic district. Mechanical equipment, transformers, satellite dishes, dumpsters, and other smaller contemporary site features can usually be located in rear or side yards and screened from view by plantings or fencing.

Guidelines: Site Features & Plantings

- 1.** Retain and preserve site features and plantings that are important in defining the overall historic character of sites and streetscapes within the historic district.
- 2.** Retain and preserve historic relationship between district buildings, structures, or streetscapes and their site features and plantings. It is not appropriate to significantly alter the topography of the district by excavating, grading, or filling.
- 3.** Protect and maintain site features and plantings through appropriate methods including pruning and trimming. Prune or trim trees in a way that encourages the preservation of the district tree canopy. It is not appropriate to remove a healthy, mature tree that is important in defining the overall historic character of the building site or district.
- 4.** Repair deteriorated or damaged historic site features, such as benches, terraces, gazebos, and trellises through appropriate methods.
- 5.** Replace deteriorated or missing site features with new features that are compatible with the overall historic character of the site, building, or district.
- 6.** Replaced damaged or diseased plantings, including mature trees, hedges, and foundation plantings, that are important to the historic character of the site or district with new plantings that are the same or similar in species.
- 7.** Maintain and protect site features and plantings from damage during or as a consequence of site work or new construction.
- 8.** Introduce compatible, new site features or plantings with care so that the overall historic character of the site and district is not diminished or compromised. It is not appropriate to introduce incompatible site features or equipment—including raised planting beds, landscape timbers and other contemporary edging materials, swimming pools, satellite dishes, solar collectors, mechanical equipment, transformers, or “hot boxes”—in locations that compromise the overall historic character of the building, site, or surrounding streetscape.





Before the terrace was constructed behind Graham Memorial on the UNC campus, the project was reviewed to determine if it was likely to disturb archaeological resources.

Archaeology

Archaeological resources are artifacts and features that provide physical evidence of past human activity. They are typically concealed beneath the ground but may be revealed, often inadvertently, during site work. Stones from earlier building foundations, old cisterns and wells, garden pathways, and buried rubbish piles are all examples of archaeological resources. Such artifacts can provide information about the location, configuration, and materials of previous site structures, fences, walls, walkways, and gardens. They can also offer insight into the lifestyles and activities of previous occupants and may even reveal evidence of pre-historic inhabitants.

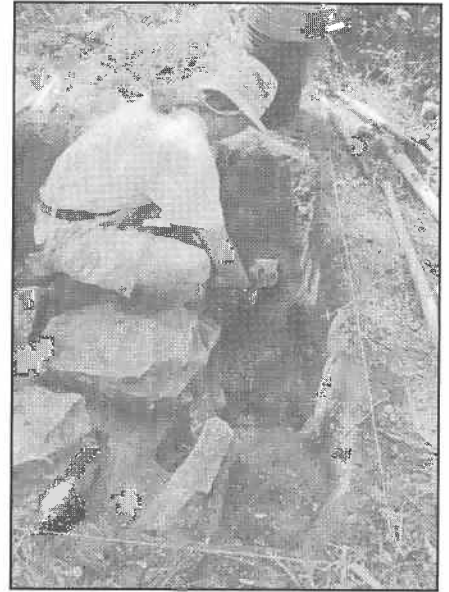
Considerations

The best way to preserve archaeological resources is to leave them undisturbed. Consequently it is important to keep site grading, excavating, and changes related to new construction to a minimum within the historic districts. When such activities are planned, it is important to avoid areas with known archaeological resources and to proceed with caution in areas where archaeological resources are probable. During the planning stages of large construction projects, a professional archaeologist should review the project to determine if it is likely to destroy important archaeological resources. The Office of State Archaeology in the North Carolina Division of Archives and History can provide this assistance to property owners.

Occasionally, property owners within the historic districts may uncover archaeological features while making modest site changes, such as adding a walkway, planting a tree, or burying a drain line. Photographing the feature before continuing the work is one way to record such information for future reference.

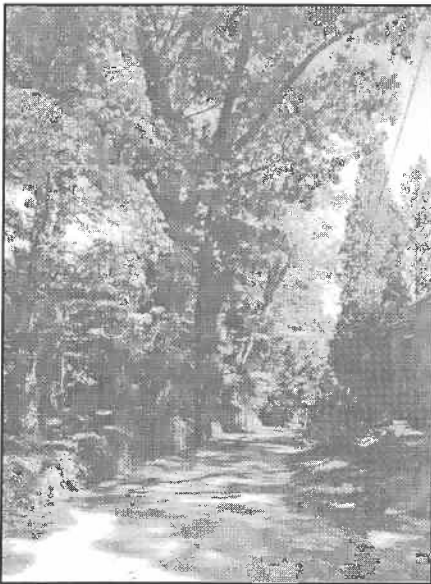
Guidelines: Archaeology

- 1.** Retain and preserve known archaeological resources that are important to the site or historic district.
- 2.** Maintain and protect known archaeological resources from damage during or as a consequence of site work or construction. It is not appropriate to utilize heavy machinery and equipment in areas known to contain important archaeological resources.
- 3.** Minimize disturbances to terrain, changes in topography, and site grading to reduce the possibility of damaging or destroying important archaeological resources.
- 4.** Work with professional archaeologists following current professional practices to plan and conduct investigations of important archaeological resources that cannot be preserved in place.
- 5.** Document the archaeological evidence if archaeological resources exposed during site work cannot be preserved in place.





Where level changes or heavy traffic are a sidewalk safety or accessibility concern, brick pavers and concrete edging have replaced Chapel Hill gravel.



Alleys and narrow lanes are part of the public right-of-way network that contributes to the historic character of the districts.

Public Right-of-Way

The network of streets, alleys, lanes, sidewalks and planting strips that links properties within the districts and that accommodates cars as well as pedestrians contributes in significant ways to the historic character of Chapel Hill's districts through low fieldstone walls, street tree canopies, gravel sidewalks, rolling topography, and occasional brick gutters. If left unmonitored, the ongoing proliferation of signs, utility lines and poles, transformers, and other contemporary elements to the streetscape can diminish its distinctive historic character.

Within the districts, streetscape characteristics vary. The commercial section of Franklin Street is far more rectilinear and formalized than the softer-edged, heavily landscaped residential streets a few blocks away. However, all district streetscapes share a pedestrian-oriented character and scale.

Considerations

Maintaining the functionality of the public right-of-way while preserving its historic character requires careful attention to retaining historic materials, such as brick gutters and fieldstone walls, as repairs or improvements are made. The fine-grained gravel used to surface most sidewalks is a distinctive material in the Chapel Hill districts and it is important to retain it. However, in some heavily traveled areas, the gravel sidewalks may prove too irregular or too narrow a passage for pedestrian safety and accessibility or the rapid erosion of sloping sites may make their maintenance too difficult and alternative compatible surface materials, such as brick pavers, may be necessary. In situations where a new sidewalk surface material is introduced, it is important to avoid a patchwork effect from alternating surface materials along a particular street or block.

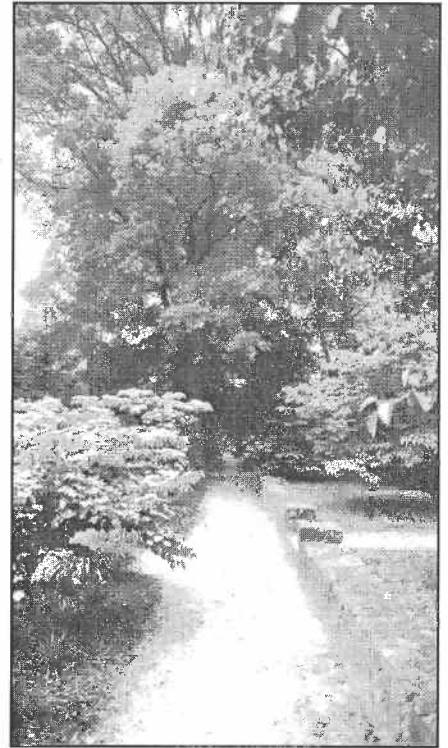
As new street furniture, signs, and lights are added or replaced within the public right-of-way, their selection and siting should be carefully reviewed for compatibility in terms of design, location, materials, color, and scale.

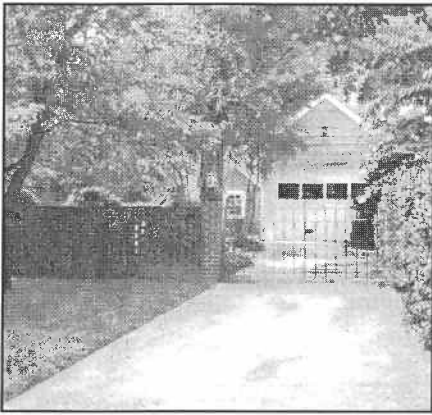
While streetlights, street signs, and power poles have always been a part of the streetscape, there has been a dramatic increase in the amount of equipment, signage, cables, and utilities located within the public right-of-way. Monitoring and coordinating the work of various services and utilities along with the screening of dumpsters and transformers can help to minimize the visual clutter they bring to the streetscape. In some situations, underground services may be worth consideration.

Maintaining and replenishing the tree canopy that contributes to the historic character of many district streetscapes is critical to their preservation. This effort requires monitoring existing trees for damage or disease, pruning them appropriately, protecting them from nearby construction work, and developing a long term plan for their replacement when needed.

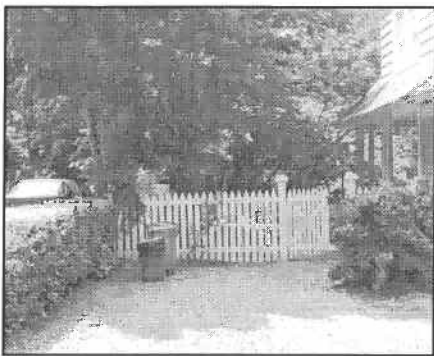
Guidelines: Public Right-of-Way

- 1.** Retain and preserve the topography, materials, features, patterns, and dimensions of the streets, sidewalks, planting strips, and street trees that are important in defining the overall historic character of the district.
- 2.** Protect and maintain the details, features, and material surfaces of the historic streetscape through appropriate methods. Replace damaged or deteriorated historic features to match the original in material and design.
- 3.** Protect and maintain street trees and their canopies by trimming and pruning them appropriately. Replace diseased or damaged street trees with new trees of the same or similar species.
- 4.** Limit signage in the public right-of-way primarily to signs necessary for traffic and pedestrian safety. Locate signage so it does not compromise the overall historic character of the streetscape.
- 5.** Introduce new street lighting, as needed, that is compatible in scale, materials, and design with the pedestrian scale and character of the historic district.
- 6.** Minimize the introduction of additional transformers, utility poles, wires, and cables in the public right-of-way. Seek less intrusive locations for such elements to reduce their impact on the historic streetscape. Consider the introduction of underground utility lines where feasible.
- 7.** Locate necessary street furniture, trash receptacles, mailboxes, newspaper racks, and similar elements so they do not compromise the historic character of the streetscape. Select benches and other street furniture that are compatible with the historic district in design, scale, and materials.
- 8.** It is not appropriate to introduce streetscape elements that predate the historic district in an attempt to create a false historical appearance.

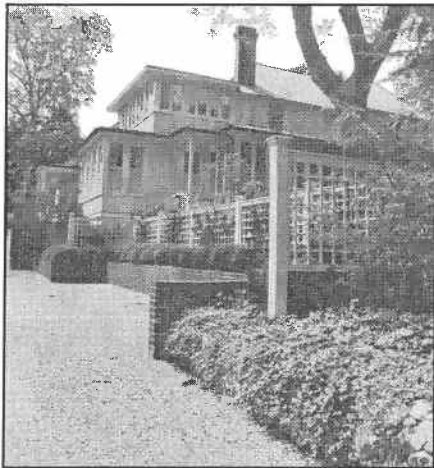




An pierced-brick wall and metal gate provide security for a rear yard while maintaining the open visual character of the district setting.



Traditional wooden picket fences like this one are appropriate choices for enclosing rear yards within the historic districts.



A low brick wall topped by shrubs and an open lattice-style wooden fence successfully separates the driveway and parking area from the rear yard.

Walls & Fences

Throughout Chapel Hill's historic districts, low fieldstone walls border many front yards and edge the streetscape. Some are dry stack and others are set in mortar. Where the topography shifts, stone retaining walls accommodate the shift in height between the lawn and the sidewalk. Wooden or cast iron picket fences and pierced brick walls are also found within the districts. The low stone walls and picket fences give definition to property lines without screening views of the front yards. Consequently, a visually open feel is characteristic of the district streetscapes.

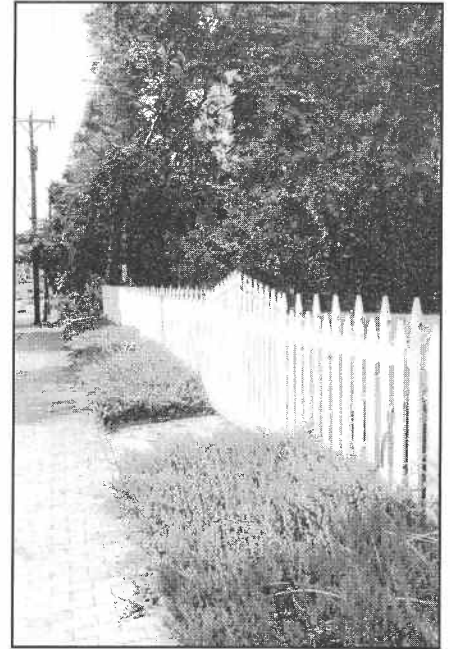
Considerations

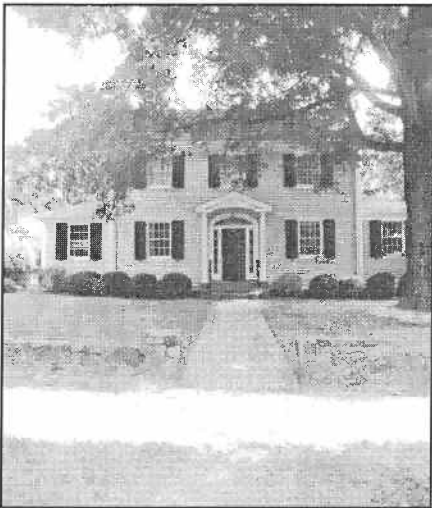
It is important to retain the low stone walls so characteristic of the districts and to avoid the introduction of high fencing that interrupts the visual continuity of the streetscape. Picket fences are an option in front or rear yards where access must be controlled but tall, solid privacy fences or walls are inconsistent with the informal, visually open setting of the districts and are not appropriate choices. Screening of rear yard parking areas or mechanical equipment can often be accomplished by a low wall or picket fence complemented by shrubs and other plantings.

Maintenance and repair of existing masonry walls and metal or wood fences would follow the guidelines for the specific material. In terms of materials for new fences or walls, traditional materials such as fieldstone, brick, wood, and cast iron are all appropriate choices within the districts. A careful look at the surrounding properties will help determine what material and type of wall or fence will best maintain the streetscape character. Contemporary modular concrete products and vinyl or metal chain link fencing are not characteristic of the districts and should not be introduced where they are visible from the street.

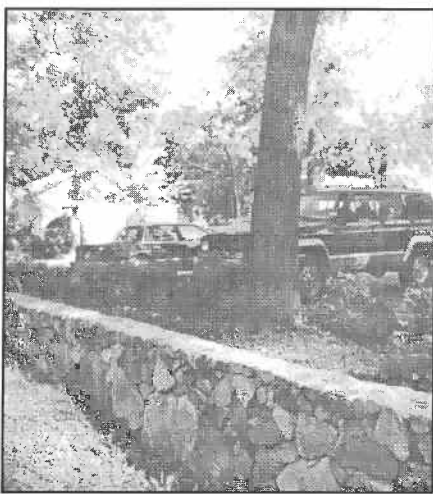
Guidelines: Walls & Fences

- 1.** Retain and preserve walls and fences that are important in defining the overall historic character of sites within the historic districts.
- 2.** Retain and preserve the features, materials, patterns, dimensions, configurations, and details of historic fences and walls.
- 3.** Protect and maintain the features, materials, and details of historic walls and fences through appropriate methods.
- 4.** Repair deteriorated or damaged historic walls and fences through recognized preservation methods.
- 5.** Replace in kind historic walls and fences that are too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, texture, and pattern.
- 6.** If a historic wall or fence is missing, either replace it to match the original, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, scale, and detail with the building, site, and district.
- 7.** Introduce compatible new walls and fences, as needed, in ways that do not compromise the historic character of the site or district. Site new fences and walls in configurations and locations that are compatible with the character of the building, site, and district.
- 8.** Construct new walls and fences in traditional materials and designs that are compatible in configuration, height, material, scale, and detail with the character of the building, site, and district.
- 9.** Introduce contemporary utilitarian walls and fences, if necessary, in rear and side yard locations only and where they do not compromise the historic character of the building, site, or district. It is not appropriate to introduce contemporary vinyl or metal chain link fences in locations that are visible from the street.





Simple brick walkways lead from the sidewalk to the front entrance of many district houses.



A low stone wall, shrubbery, and mature shade trees partially screen and soften the visual impact of this offstreet parking area.



A brick gutter defines the edge of this circular gravel driveway.

Walkways, Driveways & Offstreet Parking

In the Chapel Hill historic districts, single-lane driveways usually lead from the street to a rear or side yard parking area or garage. Many driveways are gravel while others are defined by concrete runners, asphalt, or brick pavers. On some sites, circular drives curve through the front yard, in other locations a shared driveway accommodates adjoining properties requiring neighborly cooperation. Reflecting an earlier era when automobiles were less dominant, most residential drives and garages were designed to accommodate one or perhaps two vehicles.

Narrow walkways of flagstone, gravel, brick or concrete typically lead the pedestrian from the sidewalk or driveway to the front door.

Although the configuration of the driveways and walkways varies greatly for the residential properties, they consistently blend into the site because they conform to the irregularities of the terrain and their edges are softened by landscaping. Only in the commercial areas of the historic districts do straight, wide, crisply-edged concrete walkways define the pedestrian path.

Considerations

For the residential properties in the historic districts, it is important to retain the informal, harmonious character of existing walkways and driveways. If their surfaces deteriorate, replacement in kind or with compatible materials will maintain the visual continuity they provide. If steep slopes present an ongoing maintenance problem for gravel driveways, brick pavers or asphalt are more compatible replacement choices than concrete.

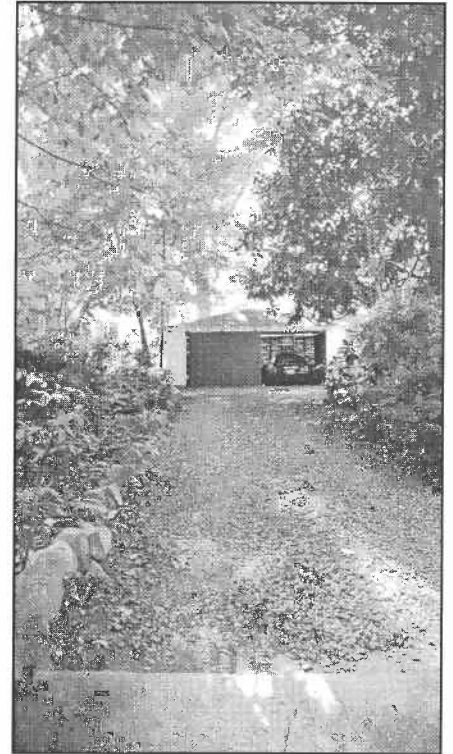
Increasing offstreet parking for residential properties is a real challenge in the districts for widening or expanding driveways and parking areas is generally not appropriate. If the lot is large enough, it may be possible to add offstreet parking in the rear or side yard if it can be visually screened from adjacent properties and the street. New parking areas should not significantly alter the site's proportion of landscaped area to constructed area.

For institutional or commercial parking lots within the historic districts, it is important to minimize their visual impact by screening the lots from view and subdividing large paved areas with landscaped medians or islands that incorporate existing trees or allow for new plantings.

District Setting

Guidelines: Walkways, Driveways & Offstreet Parking

- 1.** Retain and preserve walkways, driveways, and offstreet parking areas that are important in defining the overall historic character of sites within the historic districts.
- 2.** Retain and preserve the features, materials, patterns, dimensions, details, and configurations of historic walkways, driveways, and offstreet parking areas.
- 3.** Protect and maintain the details, features, and materials of historic walkways, driveways, and offstreet parking areas through appropriate methods.
- 4.** Repair deteriorated or damaged historic walkways, driveways, and offstreet parking areas through recognized preservation methods.
- 5.** Replace in kind historic walkways, driveways, and offstreet parking areas that are too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, texture, and pattern. Consider a compatible substitute material only if it is not feasible to replace in kind.
- 6.** If a historic walkway, driveway, or offstreet parking area is missing, either replace it to match the original, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, scale, and detail with the overall historic character of the site and district.
- 7.** Introduce compatible new walls and fences, as needed, in ways that do not compromise the historic character of the site or district. Site new walkways, driveways, and offstreet parking areas in locations that are compatible with the character of the building, site, and district and locate them so the general topography of the site and mature trees and other significant site features are not altered, damaged, or lost.
- 8.** In residential sections of the districts, it is not appropriate to locate offstreet parking areas in locations that are visible from the street, where the paving will abut the principal building, or where the paved area will substantially alter the proportion of the site that is paved versus landscaped.
- 9.** Construct new walkways, driveways, and offstreet parking areas in traditional materials and designs that are compatible in configuration, material, scale, and detail with the character of the building, site, and district.
- 10.** Screen new offstreet parking areas visually from the street and buffer adjacent properties from their visual impact through the use of perimeter plantings, fences, walls, or hedges. Reduce the visual impact of large parking areas by subdividing them with interior planting medians.

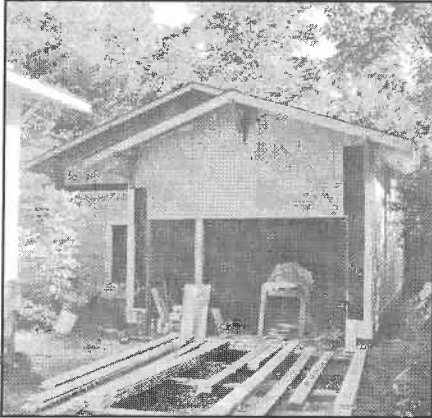




Historic accessory buildings and structures such as this covered well and outbuilding contribute to the district character and should be preserved.



The roof of this one-bay garage was extended to provide shelter for a second vehicle.



This new garage (under construction) was appropriately sited and oriented at the end of an existing driveway. Its exposed brackets and roof overhang echo the detailing of the bungalow it sits behind.

Garages & Accessory Structures

A number of garages, cottages, studies, storage sheds, and other accessory structures can still be found within Chapel Hill's historic districts. Typically, the garages are one or two bays wide, located behind the principal structure, and oriented with the doors facing the street. Their materials often match those of the house as do their details. Generally, small cottages and storage buildings are located in rear yards well behind the main house.

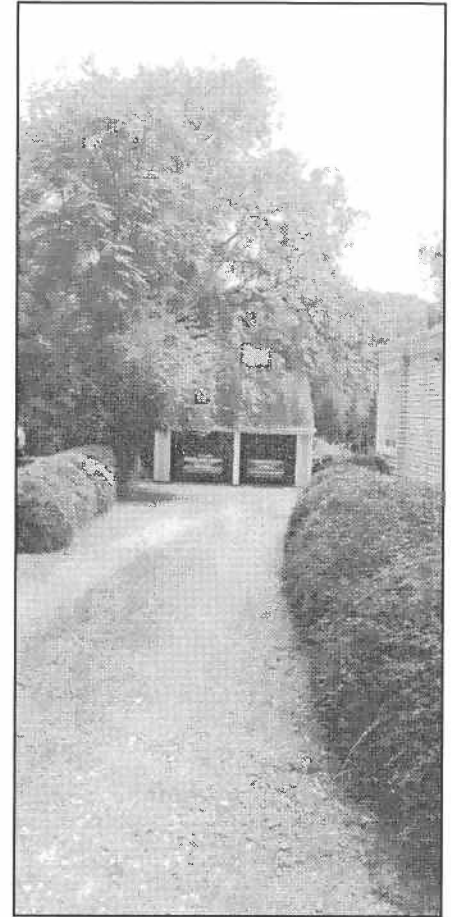
Considerations

Like all buildings, the preservation of early garages and accessory structures is dependent on routine maintenance and timely repair of building elements and materials as described in the relevant design guidelines. If damage or deterioration is severe, the construction of a new garage or accessory structure may be warranted. Particular attention should be given to the compatibility of the proposed design with the roof form, exterior materials, and details of the principal structure in applying the guidelines for new construction. The massing and overall size of new garages or accessory structures should never compete with or diminish the prominence of the principal structure. Their form, height, scale, location, and orientation should be consistent with that of historic garages and accessory structures in the district. For a new garage, selecting doors resembling the appearance of the hinged doors that preceded contemporary overhead doors will enhance its compatibility within the historic district.

Utilitarian storage sheds and prefabricated storage units may be considered for rear yard locations where they are not visible from the street. It is important to select units that relate to the architectural style and materials of the house or are simple rectangular forms with a gable or hipped roof. Wooden storage buildings are more compatible with the residential sections of the districts than are aluminum or vinyl clad units.

Guidelines: Garages & Accessory Structures

- 1.** Retain and preserve garages and accessory structures that are important in defining the overall historic character of sites within the historic districts.
- 2.** Retain and preserve the features, overall form, materials, windows, doors, details, and finishes of historic garages and accessory structures.
- 3.** Protect and maintain the details, features, and materials of historic garages and accessory structures through appropriate methods.
- 4.** Repair deteriorated or damaged historic garages and accessory structures through recognized preservation methods.
- 5.** Replace in kind all or parts of historic garages and accessory structures that are too deteriorated to repair, matching the original in material, design, dimension, detail, texture, and finish.
- 6.** If a historic garage or accessory structure is missing, either replace it to match the original, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, scale, and detail with the overall historic character of the site and district.
- 7.** Introduce compatible new garages and accessory structures, as needed, in ways that do not compromise the historic character of the site or district. Site new garages or accessory structures in traditional locations that are compatible with the character of the building and site. Design them to be compatible with the main house in material, form, scale, and detail. Maintain the traditional height, proportion, and orientation of garages and accessory structures in the district.
- 8.** Locate new utilitarian storage buildings in rear or side yard locations that are visually screened from the street.
- 9.** It is not appropriate to introduce features or details to a garage or accessory structure in an attempt to create a false historical appearance.





A low, unobtrusive contemporary fixture adds needed light for these walkway steps.



Low, directional light fixtures in a compatible period design light the walkway to the Horace Williams House.



Pedestrian-scale lamp posts (above and opposite) can enhance security and safety along walkways without overilluminating the property.

Exterior Lighting

Traditionally, exterior lighting of the residential sections of Chapel Hill's historic districts was minimal. Occasional street lights and simple porch lights were typically the only sources of exterior lighting. Exterior lighting in the commercial and institutional areas within the districts was also minimal by today's standards.

Considerations

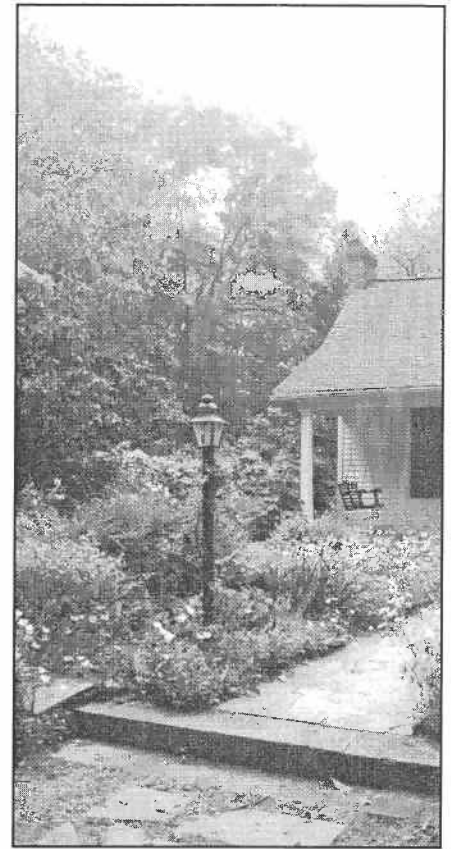
The need for increased site and street lighting reflect contemporary concerns with security and safety throughout the historic districts. It is important to meet these demands in ways that do not compromise the historic character of the site or district and maintain its pedestrian scale. Selective low-level lighting in key locations and the uses of directional fixtures and downlights can prevent problems with excessive, indiscriminant nighttime light. The impact of undesired exterior lighting can also be minimized by the use of timers and motion sensors that control light sources.

Consider the design, materials, size, height, scale, and color of proposed exterior lighting fixtures. The design of fixture should be in keeping with the character of the house and site. Generally simple, inconspicuous fixtures are appropriate in the district as are period lighting fixtures if they are consistent with the character of the house. The brightness, direction, and color of the proposed light source should also be reviewed. Rather than illuminating an entire area, select fixtures that direct light towards the walkway, path, or steps. Limit the repeated use of footlights along a path to prevent a distracting runway effect. If low-mounted footlights are not appropriate, consider modest height post-mounted fixtures that are compatible with the human scale of the historic districts.

District Setting

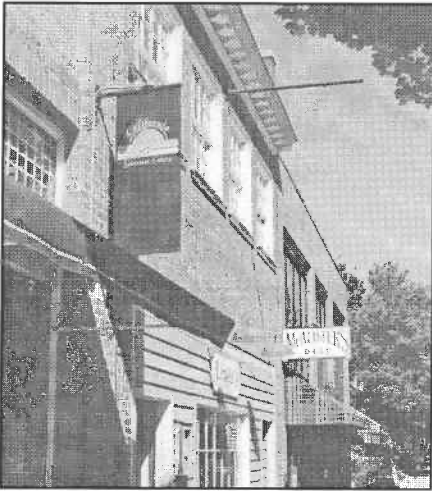
Guidelines: Exterior Lighting

- 1.** Retain and preserve exterior lighting fixtures that are important in defining the overall historic character of buildings or sites within the historic districts.
- 2.** Retain and preserve the features, materials, details, and finishes of historic exterior lighting fixtures.
- 3.** Protect and maintain the details, features, and materials of historic exterior lighting fixtures through appropriate methods.
- 4.** If all or parts of a historic exterior lighting fixture are missing or too deteriorated to repair, replace it with a fixture that is compatible in design, scale, material, and finish with the overall historic character of the building, site and district.
- 5.** Introduce new exterior lighting fixtures with care so that the overall historic character of the building, site, and district is not compromised or diminished. Select and site new lighting fixtures so their location, orientation, height, brightness, scale, and design are compatible with the historic district and its human scale.
- 6.** Introduce low-level lighting in residential areas as needed to ensure safety and security. Minimize their impact on the overall historic character of the site by selecting discreet, unobtrusive fixtures, such as footlights, recessed lights, directional lights, and lights on pedestrian-scaled posts.
- 7.** It is not appropriate to introduce indiscriminant lighting or to over-illuminate the facades or front yards of houses in the historic districts. Control the direction and range of new lighting so it does not invade adjacent properties.
- 8.** It is not appropriate to introduce period lighting fixtures in an attempt to create a false historical appearance.





Simple, wooden signs mounted on low posts are appropriate for residential areas in the historic districts.



Small, projecting signboards and canvas banners are appropriate signage choices for commercial areas of the historic districts.



Opaque lettering applied directly onto display windows is an effective, economical, and easily reversible form of signage that is appropriate within the historic districts.

Signage

Within the commercial area of the Franklin/Rosemary Historic District a variety of signs can be found. Some are incorporated into the building façades while signboards have been attached to others. Signage has also been applied to many awnings and display windows. Throughout the residential areas of Chapel Hill's historic districts, institutional signs, traffic signs, and historic plaques are found as well.

Considerations

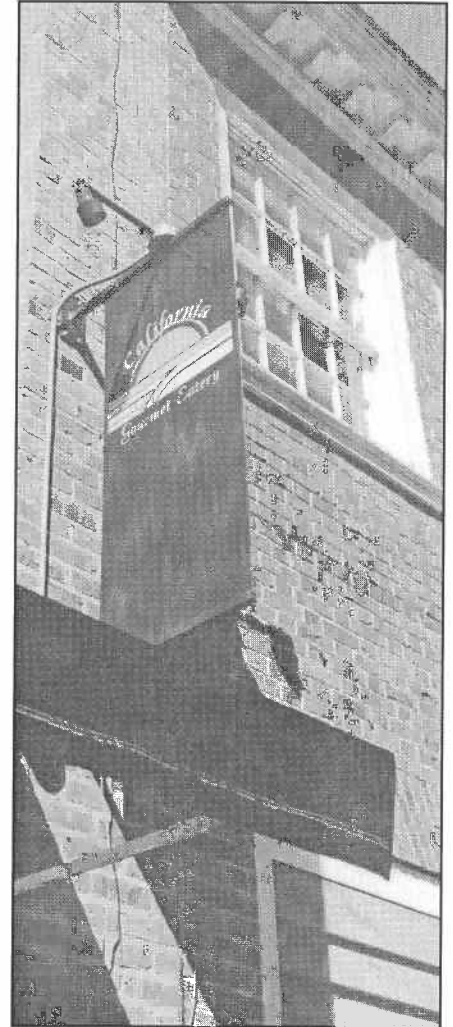
For commercial properties, the traditional location above the storefront transom or mid-cornice remains an ideal location for wooden signboards that are sized to fit the storefront area. Awnings and display windows continue to provide opportunities for signage to be applied as well. Throughout the historic districts, plastic signs and signs that are internally illuminated are not appropriate choices because they are incompatible with the historic character of the districts.

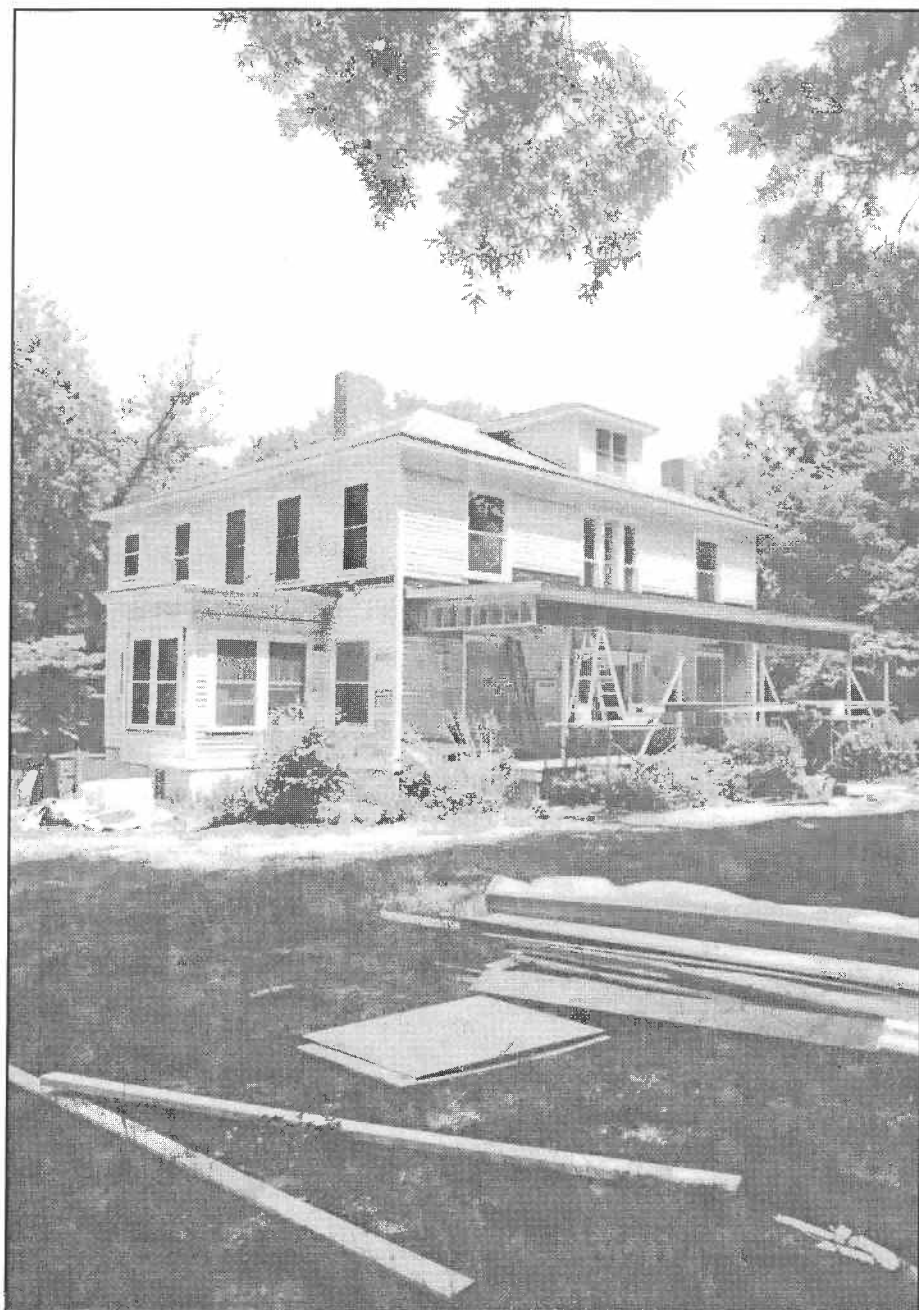
In the residential areas of the historic districts, simple signs that do not detract from the overall historic character can be used to discreetly provide identification or necessary information. Consider the compatibility of proposed new signs in terms of size, overall design, legibility of typeface, and color. The location and supports for proposed signage should also be carefully considered. Generally small, freestanding wooden or metal signs mounted on low supports or a landscaped base can be added to residential properties without detracting from the site or building. If signage must be added directly to a residential building, it is important to find ways to install the sign without concealing or damaging significant architectural features or details. An unobtrusive, inexpensive and easily reversible way to introduce signage on historic buildings is to apply clear adhesive films with opaque lettering onto window or door glazing in appropriate locations. Small identification plaques or wooden signs can sometimes be mounted near a building entrance without compromising the building as well. Within the historic districts, traditional sign materials such as painted wood, metal, and stone are all appropriate.

In addition to a Certificate of Appropriateness from the Historic Preservation Commission, property owners must also apply for a Sign Permit from the Town of Chapel Hill.

Guidelines: Signage

- 1.** Retain and preserve historic signs that are important in defining the overall historic character of buildings or sites within the historic districts.
- 2.** Retain and preserve the features, materials, details, and finishes of historic signs.
- 3.** Protect and maintain the details, features, and materials of historic exterior lighting fixtures through appropriate methods.
- 4.** If all or parts of a historic sign are missing or too deteriorated to repair, replace it with a new sign that is compatible in design, scale, material, and finish with the overall historic character of the building, site and district.
- 5.** Introduce new signage with care so that the overall historic character of the building, site, and district is not compromised or diminished. Select and site new signs so their location, orientation, height, scale, design, and finish are compatible with the historic district and its human scale.
- 6.** Construct new signage out of traditional sign materials, such as wood, stone, or metal. It is not appropriate to introduce new signage in contemporary materials, such as plastic, or internally lighted signs that are incompatible with the overall character of the historic district.
- 7.** In the residential areas of the district, install freestanding signs on low posts or bases that are compatible with the pedestrian scale of the historic districts. Mount small identification signs on building facades in locations that do not damage or conceal significant architectural features or details.

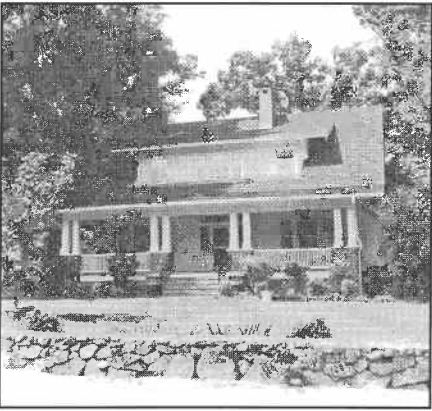




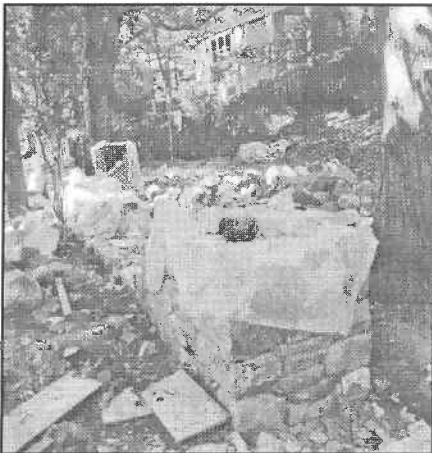
Changes to Existing Buildings



Many well-detailed brick residential properties are found within the historic districts.



The fieldstone foundation and column bases of this frame bungalow repeat the pattern and texture of the low fieldstone walls that wrap so many streetscapes throughout the historic districts.



Above, a deteriorated fieldstone wall is reconstructed using traditional materials and methods.

Masonry

Masonry plays a prominent role in the Chapel Hill historic districts. Brick and stucco facades, frame houses with brick foundations and chimneys, slate and tile roofs, brick or stone steps, and the distinctive low fieldstone walls that border many streetscapes are all examples of masonry features that contribute to the historic character of Chapel Hill.

Considerations

Masonry surfaces are generally quite durable and require relatively little maintenance. Appropriate maintenance steps include the following.

- Routinely inspect for signs of deterioration or damage due to settlement, structural movement, moisture, loose or missing masonry units, deteriorated mortar joints, and vegetation.
- Ensure water does not collect on masonry surfaces and that water drains away from foundations, walls, and piers.
- Clean unpainted masonry surfaces using the gentlest effective method to remove heavy soiling or slow deterioration.
- Clean painted masonry surfaces using the gentlest effective method and repaint to maintain a sound paint film.

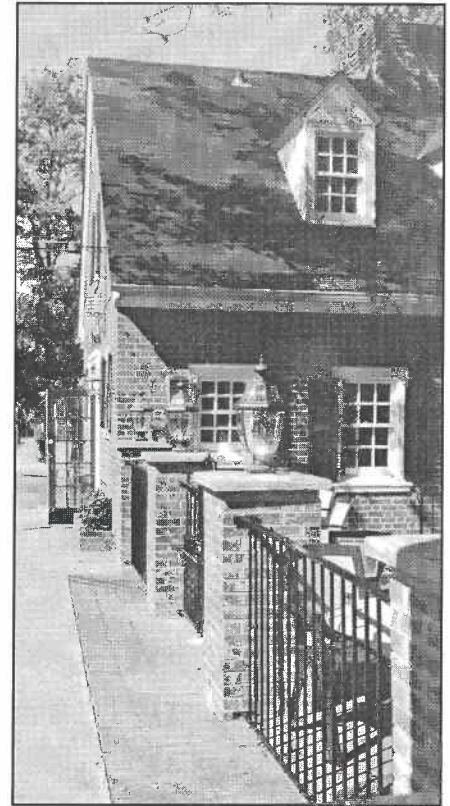
Frequently, masonry surfaces can be adequately cleaned using low-pressure water, natural bristle brushes, and mild detergent; however, stubborn stains or soiling may require a chemical cleaner. Because chemical cleaners may discolor or damage the masonry surface, it is best to pretest any chemical cleaner on an inconspicuous sample area. Chemical cleaners must be neutralized and the surface thoroughly rinsed afterwards to prevent ongoing chemical reactions.

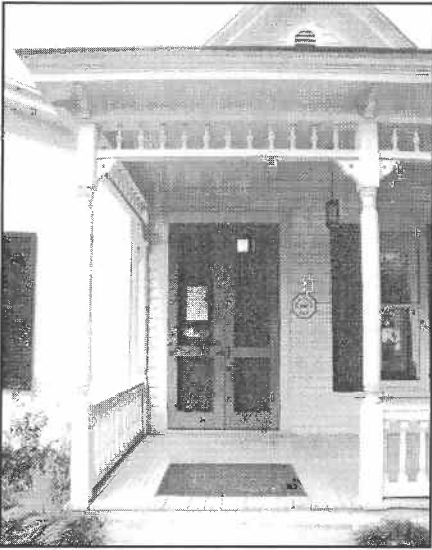
Over time, the mortar in masonry features will begin to deteriorate and eventually the mortar joints will need to be repointed with new mortar to prevent moisture from working its way into wall. First, loose or crumbling mortar must be removed with hand tools—taking care not to damage the masonry units. Matching the visual and physical of the original mortar will preserve the appearance and structural integrity of the feature. It is especially important not to replace softer lime mortars with harder Portland cement-based mortars in brickwork, for such substitutions will result in damage to the original brick as temperature changes cause them to expand and contract. Time taken to match the original mortar color through on-site samples can be well worth the effort as repairs will be far less noticeable. Only if moisture problems persist after repointing, should contemporary masonry consolidants and waterproof coatings be considered. If individual bricks are missing or so deteriorated that their replacement is warranted, finding new or salvaged brick to match the size, color, and texture of the original is often possible from the wide variety of stock colors and textures available. If no acceptable replacements are found, custom brick can be made.

Painting historically unpainted masonry surfaces both diminishes their inherent color, pattern, and texture and triggers an ongoing repainting maintenance cycle that is far more intensive than the long term care of unpainted brick or stone. Therefore, it is both historically appropriate and economically wise not to paint unpainted brickwork. However, the expense and difficulty of removing paint without damaging the masonry makes repainting previously painted masonry the preferred treatment.

Guidelines: Masonry

- 1.** Retain and preserve masonry features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of historic masonry features and surfaces.
- 3.** Protect and maintain masonry features and surfaces through appropriate methods.
- 4.** Prior to cleaning or stripping paint, test the proposed method on the masonry surface well in advance on an inconspicuous sample area. Destructive cleaning techniques, such as sand-blasting and high pressure waterblasting, are not appropriate for historic masonry surfaces.
- 5.** Repair deteriorated mortar joints by repointing as necessary to prevent moisture infiltration and accelerated deterioration. Repoint with mortar to match the original in composition, strength, color, and texture. Match the profile and width of the original mortar joint. Apply non-historic treatments such as water repellant coatings only if repointing has failed to stop moisture penetration.
- 6.** Repair deteriorated or damaged masonry features and surfaces through recognized preservation methods, such as selectively replacing missing or deteriorated masonry units in kind.
- 7.** Replace in kind masonry features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, detail, and finish. Consider a compatible substitute material only if replacement in kind is not technically or economically feasible.
- 8.** If a masonry feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, scale, and color with the building or site.
- 9.** It is not appropriate to conceal or replace a historic masonry feature or surface with a contemporary substitute material, such as synthetic stucco or artificial siding.
- 10.** It is not appropriate to apply paint or stucco to masonry surfaces that were historically unpainted or uncoated.





The turned columns, decorative spindlework, brackets, and turned balusters of the porches above and opposite illustrate the versatility of wood to be milled in a variety of forms.



Wooden shakes add texture and detail to many houses within the districts.



The wooden columns, soffit and cornice of this two story portico were carefully repaired and restored.

Wood

Throughout Chapel Hill's historic districts, wood is a popular, traditional building material used for a variety of features from exterior cladding to structural elements to decorative trimwork. Whether Greek Revival, Victorian, or Bungalow, wooden features reflect their style and the technology of the period.

Considerations

Exterior wood elements can last a century or more with proper care and a sound coat of paint. To protect wooden surfaces and features from deterioration it is important to take the following routine maintenance and repair steps:

- Inspect surfaces regularly for signs of damage from moisture, termites and other insects, and fungi or mildew.
- Ensure surfaces are adequately drained to prevent water from collecting on horizontal features or decorative elements.
- Properly caulk or seal vertical wood joints to prevent moisture penetration but do not seal horizontal, lap siding joints.
- Treat historically unpainted wood features with an environmentally-safe chemical preservative to slow decay.
- Maintain protective paint films on exterior wood surfaces to prevent damage due to ultraviolet light and moisture.
- Use the gentlest effective cleaning method and repaint previously painted wood surfaces as necessary to maintain a sound paint film.

Wood is a relatively soft material that must be cleaned gently prior to repainting. If the paint film is still intact, low-pressure washing with a mild household detergent and an anti-mildew additive is usually sufficient. Typically, handscraping and sanding are also necessary prior to repainting. More aggressive techniques, such as the selective use of hot air guns or heat plates, may be necessary if multiple layers of paint are failing. Because harsh alkaline paint strippers, gas-fired torches, sandblasting, and power washing will permanently damage the wood surface and leave a raised grain surface, these techniques are not appropriate for historic wood features.

The repair and replacement of deteriorated wood features includes selective replacement of sections in kind by splicing or piecing. For the repair of decorative wood features, consolidation of the deteriorated feature with wood epoxy repair products may prove more cost effective than replacement in kind.

Changes to Existing Buildings

Guidelines: Wood

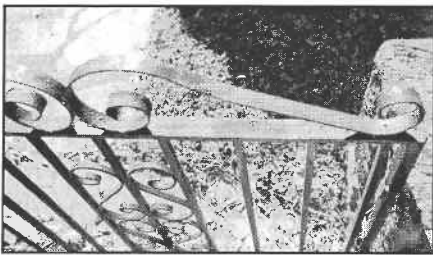
- 1.** Retain and preserve wood features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of historic wood features and surfaces.
- 3.** Protect and maintain wood features and surfaces through appropriate methods.
- 4.** Repair deteriorated or damaged wood features and surfaces through recognized preservation methods, such as patching, splicing, consolidating, and reinforcing.
- 5.** Replace in kind wood features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, detail, and finish. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a wood feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building or site.
- 7.** It is not appropriate to cover over, conceal, or replace a historic wood feature or surface with a contemporary substitute material such as vinyl or aluminum.
- 8.** It is not appropriate to clean or strip wood surfaces with destructive methods such as power washing, sandblasting, and using butane or propane torches. Consider the use of chemical strippers only if less aggressive methods such as low-pressure washing with detergents and natural bristle brushes are ineffective.
- 9.** It is not appropriate to introduce wood features or details to a historic property in an attempt to create a false historical appearance.



Architectural Metals



This low cast iron fence with decorative wrought iron inserts tops the fieldstone wall bordering a front yard.



Corrosion of this iron fence will require abrasive cleaning and prompt coating with a metal primer to prevent further deterioration.



The shiny reflective surface of this newly installed copper balcony fascia will develop a greenish patina over time and does not require a protective coat of paint like the cast metal balustrade and brackets do.

Standing seam metal roofs, cast iron fences, wrought iron railings, brass hardware, pressed metal cornices, and copper flashing are all examples of architectural metal elements found throughout Chapel Hill's historic districts.

Considerations

Appropriate routine maintenance and repair methods for architectural metals include the following:

- Inspect surfaces routinely for signs of structural fatigue or failure, moisture damage, corrosion, galvanic action, and paint film failure.
- Ensure drainage of surfaces is adequate to prevent water from collecting on horizontal surfaces or decorative elements.
- Clean metal roofs, gutters, and downspouts as necessary to keep them free of debris and leaves.
- Clean metal surfaces to remove corrosion and to prepare for repainting using the gentlest effective method.
- Maintain a protective paint film on ferrous metal surfaces to prevent corrosion.
- Repaint previously painted surfaces as needed to maintain a sound paint film.

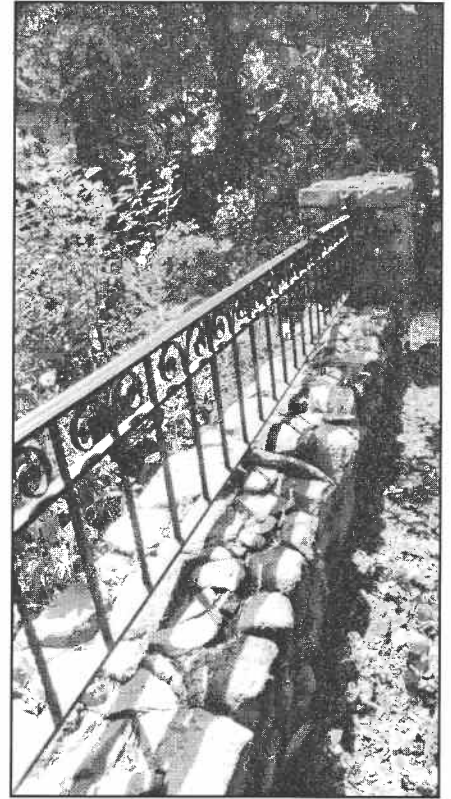
Although copper, bronze, and brass develop a protective green patina through exposure to the elements and aluminum and stainless steel are valued for their resistance to atmospheric corrosion, the inherent finish of all ferrous metals—such as wrought iron, cast iron, and steel—corrodes quickly when exposed to moisture in the atmosphere. Consequently, ferrous metals require a protective paint film to prevent rust from forming. If the paint film deteriorates, all corrosion must be removed and the ferrous metal surface must be promptly primed with an appropriate metal primer to prevent continued deterioration.

The appropriate method for cleaning architectural metals depends on how malleable, or soft, they are. Copper, aluminum, brass, zinc, tin, and lead are all soft metals that should be cleaned with non-abrasive cleaners. In contrast, the abrasive action of a wire brush or hand scraper is appropriate for hard metals such as steel, cast iron, and wrought iron. If these techniques are ineffective, low-pressure grit blasting may also be used to clean hard metals.

It is best to use compatible metals for nails and fasteners on metal roofs because dissimilar metals can cause the corrosion of the weaker metal through galvanic action.

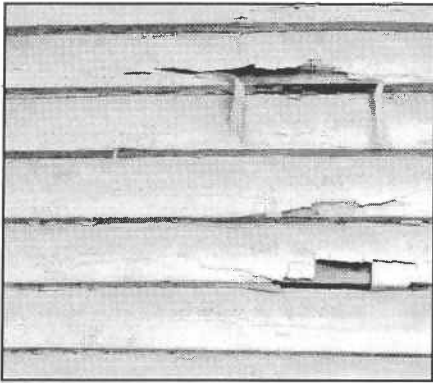
Guidelines: Architectural Metals

- 1.** Retain and preserve architectural metal features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of architectural metal features and surfaces.
- 3.** Protect and maintain architectural metal features and surfaces through appropriate methods.
- 4.** Clean architectural metals using the gentlest effective method. Use chemical cleaners, after pretesting, to clean soft metals. It is not appropriate to clean soft metals with harsh, abrasive techniques such as sandblasting. Clean corrosion and paint buildup from hard metals by hand scraping and wire brushing. Consider low-pressure grit blasting hard metals only if gentler methods are ineffective.
- 5.** Repair deteriorated or damaged architectural metal features and surfaces through recognized preservation methods, such as patching, splicing, and reinforcing.
- 6.** Replace in kind architectural metal features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, detail, and finish. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 7.** If an architectural metal feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building or site.
- 8.** It is not appropriate to introduce architectural metal features or details to a historic property in an attempt to create a false historical appearance.





Muted body colors, white trim, and dark shutters and doors are appropriate paint palettes for the many Colonial Revival houses found within the historic districts (above and opposite).



The paint film on these clapboards is so deteriorated that all peeling paint must be carefully scraped off and the surface sanded prior to repainting to ensure the new paint will bond to the wood.

Lead-based paint was commonly used well into the twentieth century, so most buildings in Chapel Hill's historic districts contain it. Exposed lead-based paint presents a health risk to people living or working around it, especially children and pregnant women. The State Historic Preservation Office and the State Health Department can provide current information on the precautions that should be taken during rehabilitation to ensure a lead-safe building and site.

Changes to Existing Buildings

Paint & Exterior Color

Color—whether applied or inherent to the exterior materials of a building—is an essential visual element of any historic building. The original color scheme generally reflected the tastes of the era and the preferences of the owner. However, the colors of most buildings have changed over time. If property owners are interested in determining the color chronology of a specific building, examination of paint scrapings under a microscope by an architectural conservator can provide accurate information. Another approach is to select paint colors based upon an understanding of what color palettes are appropriate given the building's architectural style and age. For example, Queen Anne style houses were known for their flamboyant color schemes, whereas more subdued palettes were popular for Colonial Revival buildings. Whatever the architectural style, applying appropriate colors can dramatically enhance the appearance of a building.

Considerations

Several basic principals can guide the selection of paint colors for historic buildings. Historically, trimwork—such as corner boards, cornices, and window and door casings—was often painted in a lower value or a hue that contrasted with the siding color. Typically, window sash and shutters were usually the darkest color on the building. Wood shingles generally were stained in dark colors and if used in tandem with clapboards, the shingles were stained darker than the siding. Some contemporary references that provide information on historically appropriate paint schemes are included in the Appendix. Beyond the visual impact of a paint color, paint is primarily a protective film that allows the building to shed water and to slow the weathering process. Steps in maintaining and protecting historic painted surfaces include:

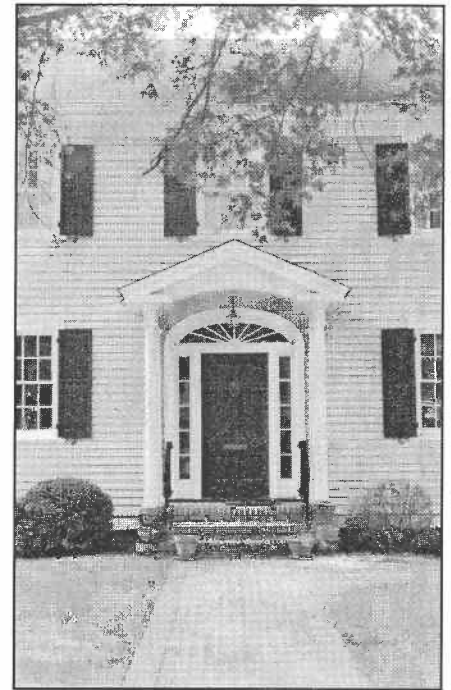
- Inspect painted surfaces regularly for evidence of discoloration, moisture damage, mildew, and dirt buildup.
- Clean painted surfaces routinely to prevent unnecessary repainting, using the gentlest means possible. Ensure that surfaces are clean and dry prior to repainting so the new paint will bond.
- Remove deteriorated and peeling paint films down to the first sound paint layer. Use the gentlest effective method for the substrate material. It is not appropriate to use destructive techniques such as power washing, sandblasting, or high-pressure waterblasting. Hazardous heating devices such as propane or butane torches and heat plates should only be used with extreme caution.
- Prime exposed metal and wood surfaces prior to repainting.
- Maintain a sound paint film on previously painted surfaces by using compatible paint products.

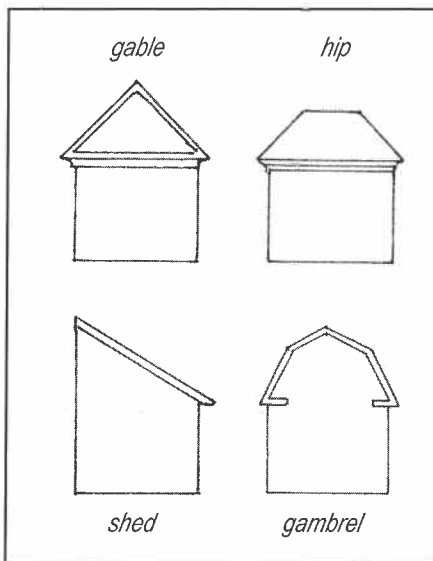
Proper, thorough preparation is critical for any repainting job to ensure the new paint film bonds to the surface. Any loose or deteriorated paint layers must be removed first, any mildew eliminated, and the surface must be clean and dry for repainting. To prevent new corrosion on ferrous metal surfaces, the surface must be promptly primed after cleaning with a zinc-based primer or other rust-inhibiting primer. For exposed wood surfaces, apply a good quality exterior primer and caulk all exposed vertical joints and follow with finish coats of a compatible latex of alkyd resin exterior paint.

Guidelines: Paint & Exterior Color

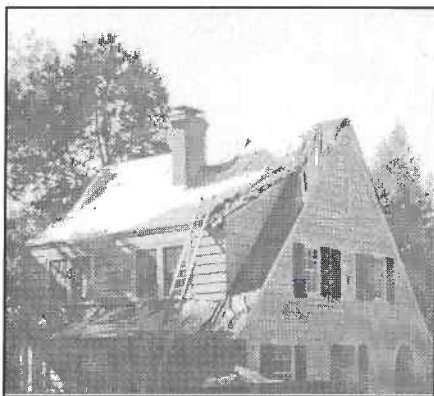
Note: Paint color changes do not require Historic District Commission approval.

- 1.** Retain and preserve painted features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of intact exterior finishes including stains, paints, lacquers, and decorative finishes.
- 3.** Protect and maintain painted exterior features and surfaces through appropriate methods.
- 4.** Clean painted surfaces using the gentlest effective method. Use chemical cleaners, after pretesting, to clean soft metals. It is not appropriate to clean or strip painted surfaces with techniques that are destructive to the underlying surface material.
- 5.** Reapply paints or stains to previously painted or stained exterior surfaces in colors that are appropriate to the building and site. It is not appropriate to paint or coat masonry surfaces that were not coated or painted historically.
- 6.** Enhance and reinforce the architectural materials and features of a district building and site through the appropriate selection and placement of paint color.





Basic Roof Forms



Above, deteriorated roofing shingles on this prominent, steeply-pitched roof are being replaced with new shakes that resemble the original roofing treatment.



Complex roofs which combine a variety of roof forms, like the one above, are found throughout the historic districts.

Roofs

Whether flat, hipped, shed, gable, gambrel, or a combination of these forms, the form and pitch of the roof contributes strongly to the architectural character of any building. Pattern, scale, color, and texture of roofing materials further define the character of the roof as do features such as dormers, gables, vents, turrets, and chimneys. Today, asphalt or fiberglass shingles are common roofing materials in the historic districts. These composition shingles replaced earlier roofing materials such as pressed metal, tile, and slate roofs. Well-maintained slate, tile, and metal roofs can last for a century or more and they add distinctive pattern and texture to a roof, making their repair and preservation well worth the effort.

Considerations

The care and maintenance of the roof is critical to the preservation of any building, including the following steps:

- Inspect regularly for signs of moisture damage, corrosion, structural damage, and paint failure.
- Clean debris from gutters and downspouts regularly to ensure adequate drainage of the roof surface.
- Replace deteriorated flashing with good quality flashing.
- Clean metal roofs using the gentlest effective method and repaint as necessary to maintain a sound paint film.

Roof flashing provides watertight joints where roof planes change or are interrupted by features such as chimneys or dormers. Deteriorated or improperly installed flashing is a common source of roof leaks. Copper, galvanized sheet metal, or aluminum with a baked enamel finish are appropriate flashing materials within the historic districts.

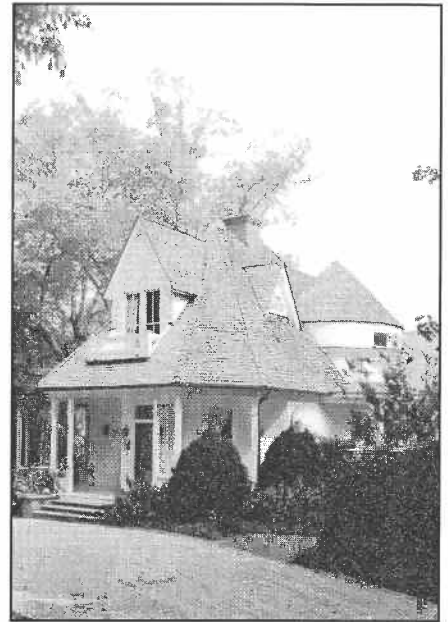
Clogged gutters or downspouts must be cleared routinely or they can cause moisture damage to a building. It is especially important to inspect built-in gutters regularly as their condition is concealed from view and, if they are blocked or failing, substantial damage can occur to the roof or trimwork that encases them. If new gutters or downspouts are needed, they should be installed carefully so no architectural features or details are damaged. Traditional shaped gutters and downspouts fabricated of aluminum with a baked enamel finish or copper are both appropriate replacement choices in the districts.

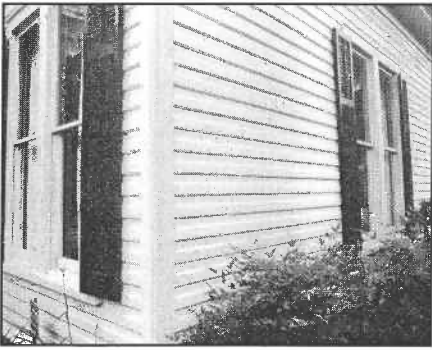
While roofs can provide convenient locations for new mechanical or communication equipment, their installation may compromise the architectural integrity of a historic building as can the introduction of skylights, solar panels, and other contemporary roof features. Roof locations for such elements should only be considered if they can be located on roof planes not visible from the street and if they will not damage or conceal significant roof features.

New dormers should only be introduced if their scale and design are compatible with the building and their proposed location will not detract from the architectural integrity of the building.

Guidelines: Roofs

- 1.** Retain and preserve roofs that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic roofs.
- 3.** Protect and maintain the details, features, and surfaces of historic roofs through appropriate methods.
- 4.** Repair deteriorated or damaged roof features and surfaces through recognized preservation methods for the specific feature or material.
- 5.** Replace in kind roof features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, pattern, detail, texture, and color. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a roof feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** Introduce new gutters and downspouts, as needed, with care so that no architectural features are damaged or lost. Select gutters and downspouts that are painted or coated with a factory finish in a color that is appropriate to the building (unless they are copper). Replace half-round gutters and cylindrical downspouts in kind.
- 8.** It is not appropriate to remove character-defining roof features such as chimneys, dormers, built-in gutters, and vents.
- 9.** It is not appropriate to introduce new roof features, such as chimneys, solar collectors, skylights, ventilators, and communication or mechanical equipment of roof slopes that are visible from the street or in locations that compromise the architectural integrity of the building.
- 10.** It is not appropriate to introduce roof features or details to a historic property in an attempt to create a false historical appearance.





German siding with traditional trimwork wraps the exterior of this frame house.



Above, deteriorated wooden weatherboards are selectively replaced in kind to match existing siding during rehabilitation.



This Tudor Revival building incorporates a central entrance bay of uncoursed stonework capped by a crenellated parapet with flanking wings of exposed timber framing and stucco panels.

Exterior Walls

The overall form and massing of buildings are defined by the exterior walls. The detailing of exterior walls also reflects the buildings architectural style. Clapboards, bricks, stucco, wood shingles, and stone are all exterior wall materials that add texture, pattern, scale, and detail to buildings within Chapel Hill's historic districts.

Considerations

Appropriate routine maintenance and repair methods for exterior walls and trim include the following steps:

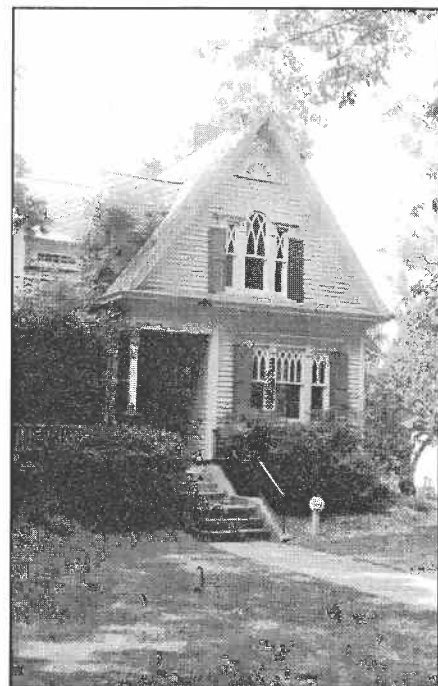
- Inspect regularly for signs of moisture damage, settlement, structural damage, corrosion, insect or fungal infestation, and vegetation.
- Ensure adequate drainage so water does not collect along the foundation or on flat, horizontal surfaces and decorative elements.
- Retain protective paint or stain coatings that prevent deterioration.
- Use the gentlest effective method to clean exterior walls to remove heavy soiling prior to repainting.
- Repaint exterior walls as needed to maintain a sound, protective paint film.

Wood siding is a very enduring exterior cladding material if it is kept free of excessive moisture and protected from ultraviolet light and rain with a protective coat of paint. However, improper maintenance or neglect can lead to the need to selectively replace sections of siding. Fortunately, wood siding and trim are readily available in a variety of widths. It is important that replacement siding match the spacing and detailing of the original. Occasional cleaning, repairs, and traditional repointing necessary for brick or stone walls are described in the Masonry Guidelines.

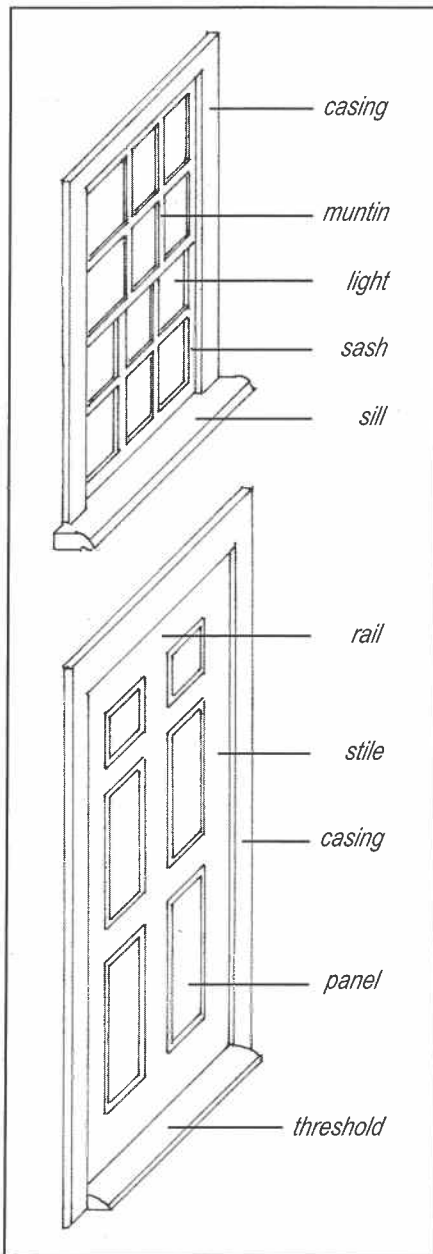
Replacing or covering over historic siding with a contemporary substitute—such as vinyl, aluminum, or fiber-reinforced cement board—is not appropriate within the historic districts because it significantly compromises the architectural integrity of the historic buildings. These contemporary materials do not truly replicate the qualities of the traditional materials they imitate and their installation often damages the original material and conceals or eliminates decorative trimwork. While, in the short term, substitute sidings may temporarily eliminate the need to repair or repaint the original cladding, they can also conceal ongoing moisture problems, structural deterioration, or insect infestation.

Guidelines: Exterior Walls

- 1.** Retain and preserve exterior walls that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic exterior walls.
- 3.** Protect and maintain the details, features, and surfaces of historic exterior walls through appropriate methods.
- 4.** Repair deteriorated or damaged exterior wall features and surfaces through recognized preservation methods for the specific feature or material.
- 5.** Replace in kind exterior wall features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, pattern, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If an exterior wall feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** It is not appropriate to remove historic features and details—such as windows, doors, chimneys, bays, band boards, corner boards, wood shingles, brackets and decorative trimwork—on character-defining exterior walls.
- 8.** It is not appropriate to introduce new exterior wall features—such as windows, doors, chimneys, bays, and communication or mechanical equipment—on exterior walls that are visible from the street or in locations that compromise the architectural integrity of the building.
- 9.** It is not appropriate to cover over or replace historic exterior wall materials—such as clapboards, shingles, bricks, or stucco—with contemporary synthetic coatings or substitute sidings including aluminum, vinyl, and fiber-reinforced cement siding.
- 10.** It is not appropriate to introduce exterior wall features or details to a historic property in an attempt to create a false historical appearance.



Windows & Doors



Window and Door Components



Six-over-one doublehung window sashes replaced inappropriate fixed single-pane glass panels during the sensitive rehabilitation of this bungalow.

Changes to Existing Buildings

The pattern, detail, and scale that windows and doors give to buildings throughout the Chapel Hill historic districts contribute significantly to their architectural character. Functional as well as decorative, these elements provide access, ventilation, daylight, and views. Doublehung wood windows are the most common type of windows found in the districts. A variety of pane configurations within the sashes reflect the wide range of architectural styles represented and the wooden front doors throughout the district reflect an equally diverse range of panel and glazing configurations.

Considerations

From a preservation perspective as well as an economic perspective, it is preferable to properly maintain and repair windows and doors instead of replace them. Appropriate routine maintenance and repair of windows and doors include the following steps:

- Inspect regularly for signs of deterioration due to moisture damage, air infiltration, insect or fungal infestation, corrosion and paint failure.
- Retain protective paint or stain coatings that prevent deterioration.
- Use the gentlest effective method to clean window and door surfaces.
- Reglaze sash and recaulk joinery as necessary to prevent air or moisture penetration.
- Repaint windows and doors as needed to maintain a sound protective paint film.
- Weatherstrip windows and doors to enhance their energy efficiency.

If only a small area of a wood window or door is deteriorated or damaged, a wood epoxy product can be used to repair the unit and prevent replacement of the entire feature. In situations where replacement is necessary, it is important to find new sash or doors that fit the original opening so the frames and surrounds do not have to be replaced. Although stock wood windows and doors are readily available in a variety of sizes and configurations, it is sometimes necessary to have custom replacement units made by a millwork company.

Replacing wood windows with vinyl, vinyl clad, or aluminum windows significantly compromises the architectural integrity of a historic building and is not an acceptable compromise within the historic districts.

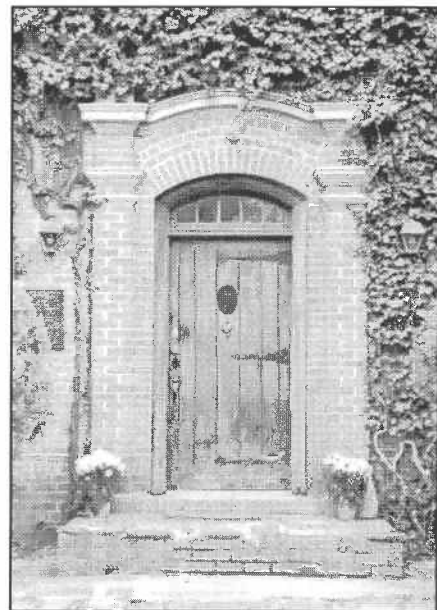
The rhythm and placement of window and door openings is usually quite consistent on a historic building. Consequently, it is generally not appropriate to introduce or eliminate an opening on any prominent elevation.

The guidelines for Utilities and Energy Retrofit on page 48 provide additional information on energy efficiency measures for windows and doors.

Guidelines: Windows & Doors

1. Retain and preserve windows and doors that are important in defining the overall historic character of buildings within the historic districts.
2. Retain and preserve the details, features, and material surfaces of historic windows and doors.
3. Protect and maintain the details, features, and surfaces of historic exterior windows and doors through appropriate methods.
4. Repair deteriorated or damaged exterior windows and doors through recognized preservation methods.
5. Replace in kind exterior windows and doors that are too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
6. If an exterior window or door is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
7. It is not appropriate to eliminate or introduce window and door openings on character-defining exterior walls.
8. It is not appropriate to remove or cover over materials or details of historic windows and doors—such as beveled glass, art glass, sidelights, transoms, shutters, and decorative trimwork.
9. It is not appropriate to introduce exterior window or door features or details, including shutters, to a historic property in an attempt to create a false historical appearance.

Note: See the guidelines for Utilities and Energy Retrofit for related guidelines on energy efficiency measures for doors and windows.

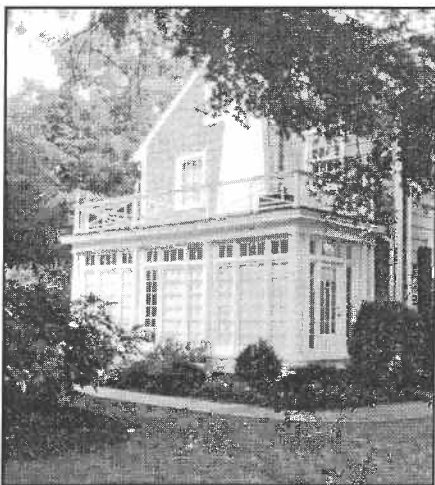




Deteriorated elements of this front porch were replaced in kind during rehabilitation.



During rehabilitation the front porch of this bungalow, which had been fully enclosed earlier, was partially reopened.



This side porch was sensitively enclosed while retaining its porch detailing.

Porches, Entrances & Balconies

Traditional front porches contribute significantly to the overall historic character of houses within Chapel Hill's historic districts. While their stylistic details vary from the delicate Victorian to the bolder, simpler lines of the bungalow, their functional yet decorative elements typically include columns, balustrades, piers, steps, soffits, beaded board ceilings, and tongue and groove floors. Occasional balconies and classically-stylized porticos are also found within the districts.

Considerations

Their projecting nature makes porches and entrances especially vulnerable to the elements. Consequently, timely maintenance and repair is critical. Appropriate routine maintenance and repair methods for porches, entrances, and balconies include the following steps:

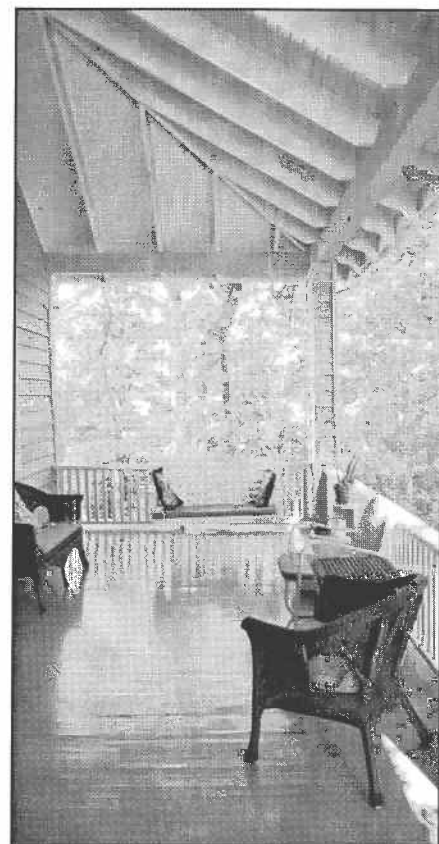
- Inspect regularly for signs of deterioration due to moisture damage, settlement or structural damage, insect or fungal infestation, corrosion, or paint failure.
- Ensure adequate drainage so water does not collect along the foundation or on flat, horizontal surfaces and decorative elements.
- Caulk vertical wood joints to prevent moisture infiltration.
- Retain protective paint or stain coatings that prevent deterioration.
- Use the gentlest effective method to clean surfaces.
- Repaint surfaces as needed to maintain a sound, protective paint film.

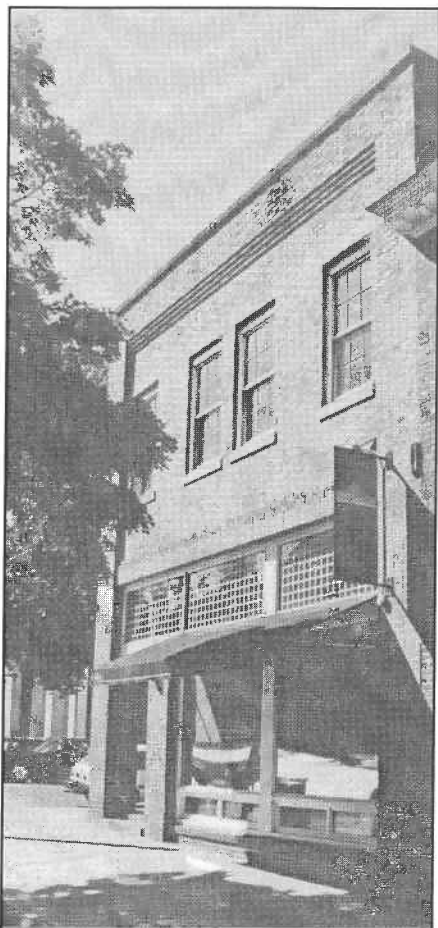
The repair of masonry steps, piers, or foundations for porches and entrances are the same as those outlined in the masonry guidelines. Likewise, the repair of wooden porch, balcony, or entrance features is parallel to that of exterior walls and trim. Many traditional materials for porches—such as tongue and groove flooring, beaded board, balustrades, and columns—are still readily available making their replacement in kind a simple matter. However, replacement of decorative brackets, turned columns, or balusters with a distinctive detail may require custom millwork. Where possible, it is generally preferable and more cost-effective to patch in place deteriorated areas of such distinctive elements with epoxy repair products to prevent their replacement.

Front porches and entrances are such visually prominent features that it is not appropriate to significantly alter, enclose, or remove them. Even the alteration or enclosure of a less prominent rear or side porch must be carefully considered and undertaken only if the porch will retain its architectural integrity.

Guidelines: Porches, Entrances & Balconies

- 1.** Retain and preserve porches, entrances, and balconies that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic porches, entrances, and balconies.
- 3.** Protect and maintain the details, features, and surfaces of historic porches, entrances, and balconies through appropriate methods.
- 4.** Repair deteriorated or damaged porches, entrances, and balconies through recognized preservation methods.
- 5.** Replace in kind any feature or portion of a porch, entrance, or balcony that is too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a porch, entrance, or balcony is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** It is not appropriate to eliminate or introduce porches, entrances, and balconies on character-defining exterior walls.
- 8.** It is not appropriate to remove or cover over materials or details of historic porches, entrances, and balconies—such as columns, balustrades, brackets, pilasters, steps, floors, ceilings, cornices, and trimwork.
- 9.** It is not appropriate to enclose a front porch, entrance, or balcony on a character-defining elevation. Consider enclosing a porch or balcony on a side or rear elevation only if the design will preserve the historic character of the porch or balcony.
- 10.** It is not appropriate to introduce exterior porch, entrance, or balcony features or details, to a historic property in an attempt to create a false historical appearance.





The storefront to this commercial building includes many traditional storefront elements—such as large display windows above a low wooden recessed panel bulkhead, transom windows above a canvas awning, a recessed corner entry and a pedestrian-scaled projecting sign.

Storefronts

Within the commercial areas of the Franklin-Rosemary Historic District, especially along Franklin Street, a variety of storefronts from different eras add interest and vitality to Chapel Hill's downtown. The storefront is the most prominent architectural feature of most historic commercial buildings. It links the building to the street and its display windows and signage and entrance entice the passerby to enter. Generally, a mid-cornice or signboard separates the storefront from the rest of the upper street façade as does a change in building materials. Recessed entries often provide a gracious transition from the sidewalk to the building interior. Transoms, awnings, signboards, and large display windows above bulkhead panels are all typical features of traditional storefronts.

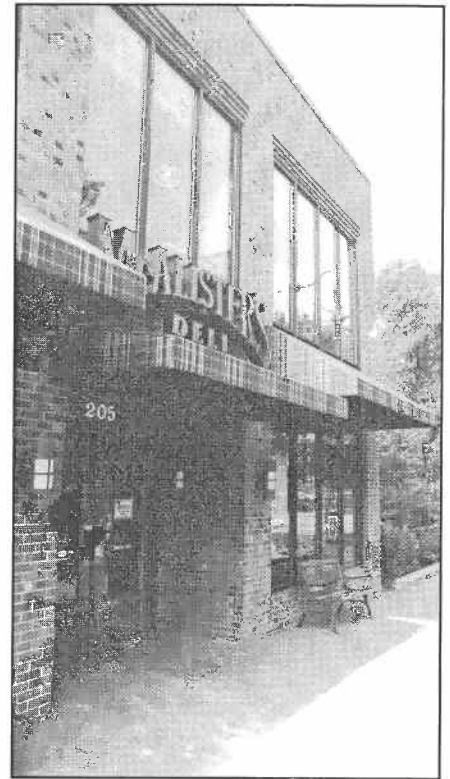
Considerations

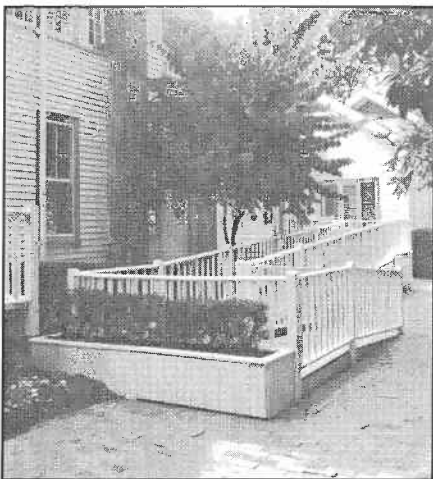
The visual prominence of storefronts warrants their preservation. Their high use requires maintenance and repairs similar to those of other entrances, windows, and doors. Removing a historic storefront or replacing its historic features with incompatible, contemporary materials significantly diminishes the architectural character of a commercial building.

Some original storefronts have raised entrances or narrow recessed doorways that present accessibility challenges. The guidelines on page 46 provide information on accessibility considerations. In addition, see the Exterior Lighting guidelines on page 22 for more information on appropriate lighting and the Signage guidelines on page 24 for pertinent information on signage.

Guidelines: Storefronts

- 1.** Retain and preserve storefronts that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic storefronts.
- 3.** Protect and maintain the details, features, and surfaces of historic storefronts through appropriate methods.
- 4.** Repair deteriorated or damaged storefront features and surfaces through recognized preservation methods for the specific feature or material.
- 5.** Replace in kind storefront features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, pattern, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a storefront feature is missing, either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** It is not appropriate to remove character-defining features and details of historic storefronts—such as transoms, mid-cornices, display windows, doors, signboards, recessed entries, tiles, and bulkhead panels.
- 8.** It is not appropriate to introduce new storefront features that compromise the architectural integrity of the storefront in locations that are visible from the street.
- 9.** It is not appropriate to cover over or replace historic exterior storefront materials—such as wood, architectural metal, ceramic tile, glass, or masonry—with contemporary synthetic coatings or substitute materials.
- 10.** It is not appropriate to introduce exterior storefront features or details to a historic building in an attempt to create a false historical appearance.

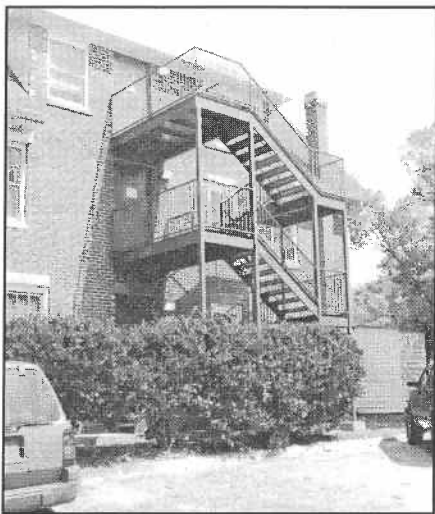




The visual impact of this ramp is softened by its location (rear side elevation), compatible materials, and landscaping.



This front entrance was made accessible with the addition of a ramp to the left of the front steps. Landscaping minimizes the visual impact.



This steel firestair was located on the building's rear elevation, painted in a color to blend with the brickwork, and screened at its base with shrubbery.

Accessibility & Life Safety Considerations

In deference to their historic character, some flexibility is provided for historic properties by the North Carolina State Building Code and the Americans with Disabilities Act of 1990 in meeting current standards for life safety and accessibility. A change in building use, a need for public access, or a substantial rehabilitation may trigger life safety or accessibility compliance for a historic building. Even though the Commission does not review or control use of a historic building, it does review any use-related proposed change to the building exterior or site to determine if the change is consistent with design guidelines for the district.

Considerations

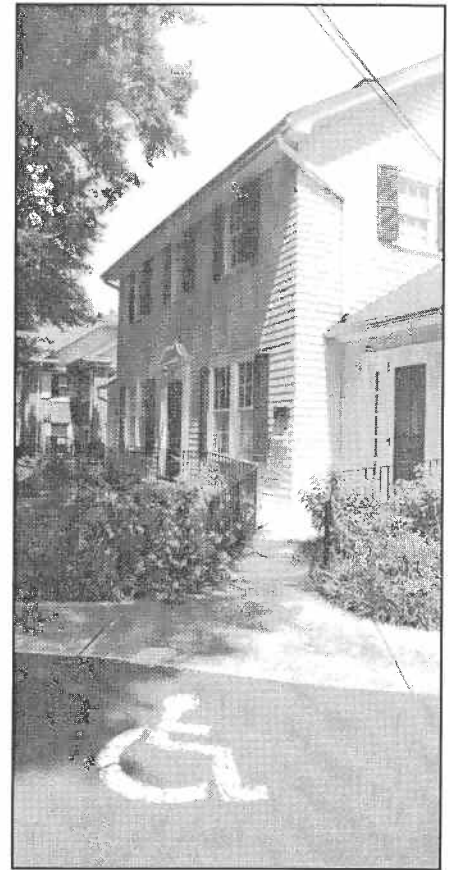
It is important to seek ways to accommodate life safety and accessibility requirements in ways that do not compromise the historic building or site. Property owners are encouraged to work with the HDC and the local code officials early in the planning process to develop creative design solutions that meet or exceed the relevant standards while preserving the architectural and historic integrity of the property.

It is particularly important to provide public access to commercial and institutional buildings. Often modest measures such as replacing door hardware, adding a simple handrail to front steps, slightly widening an entranceway, or gently sloping a recessed entry to meet a raised threshold can remove accessibility obstacles. Raised foundations create accessibility challenges for many historic buildings in providing access from the site to the first floor. This change in level generally requires the addition of a ramp or, less frequently, a mechanical lift.

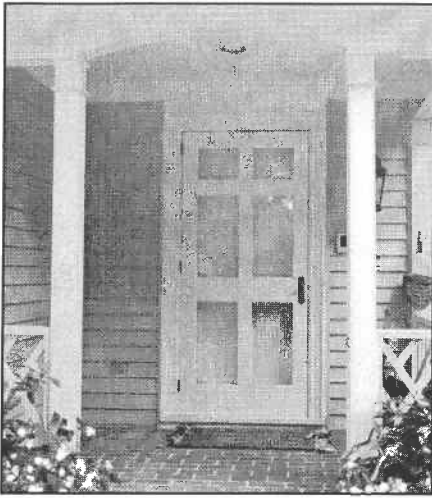
Life safety concerns requirements may call for the addition of fire exits, fire doors, fire stairs, or elevator towers. The visual impact of such elements can be minimized by discreetly locating such elements on non-character defining elevations and designing them to be compatible with the historic building in material, scale, design, and finish.

Guidelines: Accessibility & Life Safety Considerations

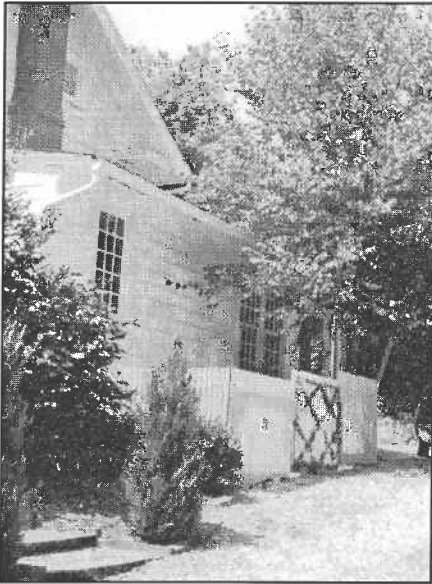
- 1.** In reviewing proposed changes to a historic property, carefully consider related accessibility and life safety code implications to determine if the proposed change is compatible with the historic building and its site.
- 2.** Meet accessibility and life safety code requirements in ways that do not compromise the historic character of the building site and its significant features.
- 3.** Meet accessibility and life safety code requirements in ways that do not compromise the historic character of the building and its significant architectural features.
- 4.** Introduce new or alternate means of access to the historic building, as needed, in ways that do not compromise the historic character of the entrance or front porch.
- 5.** Design accessibility and life safety code features—such as ramps, handrails, and mechanical lifts—so they are compatible with the historic building in design, scale, materials, and finish.
- 6.** Minimize the visual impact of life safety features—such as fire doors, elevator additions, and fire stairs—through compatible design and discreet siting. Locate new life safety features in locations that do not compromise the architectural integrity of the building and that are not visible from the street. Design life safety features to be compatible with the historic building in scale, proportion, materials, and finish.



Utilities & Energy Retrofit



Above, this wooden storm door with glass panels repeats the panel configuration of the six panel front door. Opposite, operable storm windows and shutters are energy efficient features that allow homeowners to control both sunlight and ventilation.



Above, a small section of wooden picket fencing visually screens the outside mechanical units from view.

A variety of traditional energy conserving features benefits the residents of Chapel Hill's historic districts. On many residences, deep front porches help mitigate the outside temperatures and offer shady outdoor living areas. Double hung windows allow residents to manipulate the exchange of fresh air and enjoy cool breezes in warm weather. Mature shade trees protect many district buildings from the solar gain of direct summer sun. Other traditional building features that reflect an understanding of thermal relief include raised foundations, vented crawl spaces, tall attics, gable vents, high ceilings, operable transoms, awnings, and shutters. It is important to find ways to introduce new energy conservation measures, upgraded mechanical systems, and new utility or communication service without compromising the historic character of district buildings.

Considerations

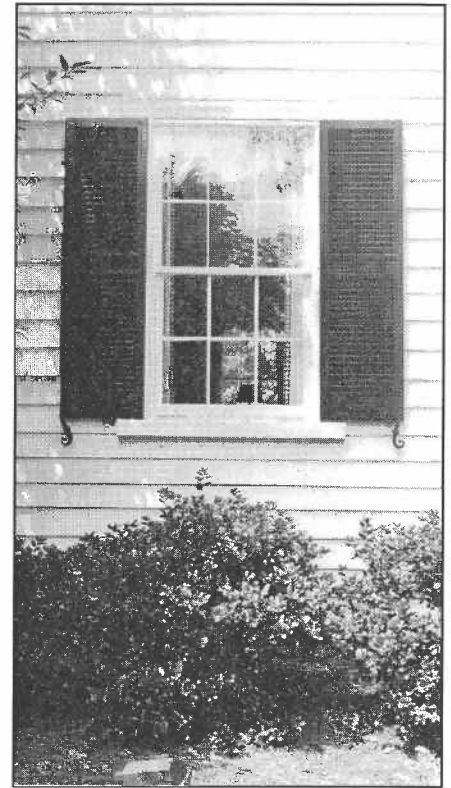
Routine maintenance and timely repairs or replacements can improve the energy efficiency of historic buildings. For example, air infiltration can usually be significantly reduced through the replacement of deteriorated weatherstripping at door and window openings and the replacement of cracked glazing. (Glazing seals the glass panes into window sash, making them airtight.) The installation of storm windows and, to a lesser extent, storm doors can further enhance the weathertightness of an historic building as can the addition of insulation in crawl spaces and attics. Replacement of any outdated and inefficient mechanical equipment with energy efficient units is yet another way to reduce energy costs. Given the value of mature shade trees, it is also wise to maintain them and to replace any lost due to storm damage or disease.

If considering the installation of storm windows, look for units with narrow profiles that can be sized to fit the existing openings and finished in a color that blends with the existing windows. Likewise, storm doors fitted to the existing opening with full "lights" (large, single glass panes) conceal less of the existing door and are less visually intrusive. Operable storm windows allow property owners the option of to open them as desired. For doublehung windows, it is best to choose operable storm windows that align with the existing sash meeting rail so their visual impact is minimized. Because the condensation storm units causes can deteriorate window sills and sash, it is essential that the ventilation holes at the base of storm units are kept clear and open.

The discreet siting of exterior mechanical units, communication equipment, and utility services in inconspicuous locations can significantly minimize their visual impact on the district and the individual property. Usually, visibility from the street can be prevented by choosing rear yard, side/rear yard, and rear roof slope locations for such equipment. Landscaping or fencing can further reduce their visual impact.

Guidelines: Utilities & Energy Retrofit

- 1.** Retain and preserve energy-conserving features that are important in defining the overall historic character of buildings or sites within the historic districts.
- 2.** Improve the energy efficiency of historic buildings through appropriate methods.
- 3.** Minimize the visual impact of storm windows by selecting narrow-profile exterior storm windows with a painted or enamel finish and installing them so they do not obscure or damage the window sash or frame. Align the meeting rails of operable storm windows with the existing sash division of doublehung windows. It is not appropriate to install storm windows with a bare aluminum finish in the historic districts.
- 4.** Minimize the visual impact of screen/storm doors by selecting full-light wood or aluminum doors and installing them so they do not obscure or damage the existing door or frame. It is not appropriate to install storm or screen doors with a bare aluminum finish in the historic districts.
- 5.** Replace missing or deteriorated wooden shutters with new shutters that match the originals, are sized to fit the opening, and are mounted to the sash side of the window casing so they could be operated. It is not appropriate to install shutters in locations where they were not used originally.
- 6.** If historically appropriate, install fabric awnings over storefront, window, porch, or door openings with care so historic features are not damaged or obscured.
- 7.** Install low-profile roof ridge vents only if they will not destroy historic roofing materials and details.
- 8.** Install mechanical equipment in areas and spaces that require the least amount of alteration to the appearance and historic fabric of the building.
- 9.** Minimize the visual impact of new mechanical and communication equipment and utilities by installing them in inconspicuous locations that are not visible from the street and by screening them from view. It is not appropriate to install condensers, skylights, ventilators, solar collectors, and mechanical or communication equipment on roof slopes or building elevations that are visible from the street or in locations that visually compromise the architectural character of the historic building.
- 10.** It is not appropriate to replace operable windows with fixed glazing, to replace clear glazing with tinted glazing, or to replace multiple-paned windows or doors with single-pane thermal sash with flat, applied muntins.

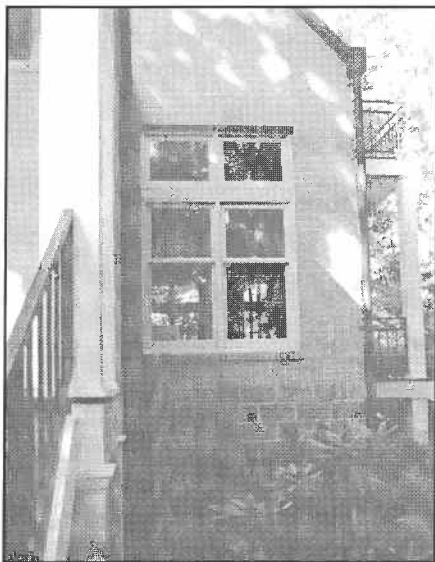




New Construction and Additions



The siting, massing, scale, and materials of this contemporary house make it a compatible addition to the historic district.



The overall form, proportion, materials, and detailing of this contemporary house (above and opposite) echo, without duplicating, those of historic houses within the district.

New Construction

Occasionally, an undeveloped lot or the earlier loss of a historic building may provide the opportunity for the construction of a new building within Chapel Hill's historic districts. A new building that is sensitively sited and compatibly designed to fit the historic context can enhance the overall character of a district streetscape. New buildings within the districts should always reinforce the siting and pattern of historic buildings in relationship to the street.

Considerations

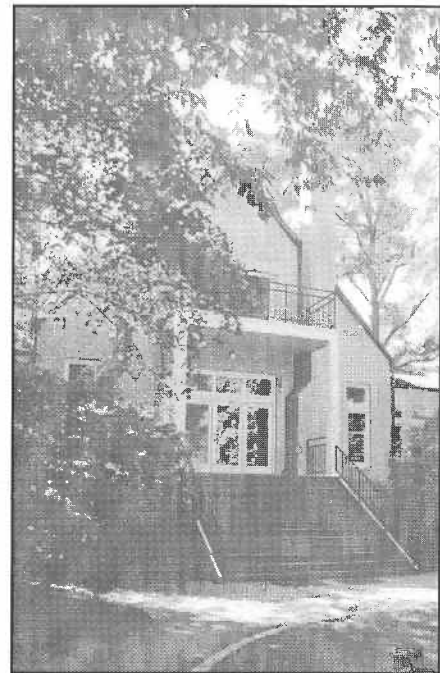
The siting of new buildings within the historic districts is a critical planning consideration that must be carefully suited to the specific streetscape context for setbacks and spacing of buildings varies widely within Chapel Hill's historic districts. However, within a specific block, there is generally consistency in the siting, setback, and orientation of buildings. The precedents set by neighboring historic buildings and the location of any mature trees or other significant site features should all factor into the proposed siting of a new building. Except for the introduction of appropriately scaled and sited accessory buildings or garages, the construction of new buildings in rear yards is not appropriate because it conflicts with the traditional pattern of setback, spacing, and siting of primary buildings in Chapel Hill's historic districts.

Beyond siting, it is also important that new buildings within the historic districts sensitively reflect compatibility with nearby historic buildings in terms of building height, roof form, street façade proportion, scale, and overall massing while also reflecting its own era of construction. After initial decisions of overall form and massing are made, design considerations should turn to compatibility with neighboring historic buildings in terms of finish materials, the selection and placement of windows and doors, and architectural details. Ultimately, the proposed design must merge all these considerations into a unified design that is compatible with but subtly differentiated from the neighboring historic buildings.

Although ground disturbance is necessary for new construction, it is important to minimize any excavation and regrading and to limit the impact of construction equipment and related activities in the historic districts so that significant site features, including archaeological features, are not destroyed or damaged.

Guidelines: New Construction

- 1.** Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings.
- 2.** Design and site a new building so it does not compromise the overall historic character of the site, including its topography, significant site features and distinctive views.
- 3.** Design new buildings so that their size and scale do not visually overpower neighboring historic buildings.
- 4.** Design new buildings to be compatible in roof form, massing, and overall proportion with neighboring historic buildings.
- 5.** Design new buildings so that the proportion of their street façade is similar with those of neighboring historic buildings.
- 6.** Design new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings. Select exterior surface materials that are compatible with those of neighboring historic building in terms of module, composition, texture, pattern, color, and detail.
- 7.** Design a new building so that the placement, shape, scale, size, materials, pattern, and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings.
- 8.** Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.
- 9.** Maintain and protect significant site features from damage during or as a consequence of related site work or construction.





A small one story addition connects a new screened porch with the original house along the rear elevation of this district house.



A substantial rear addition to this district building repeats the form of the original house without enlarging the front facade as it extends the depth of the building.



A small rear addition expands the second floor with a central bay and encloses a space behind the screened porch. Like the rear addition on the opposite page, this addition is not visible from the street.

Additions

Over the years, buildings are often expanded and altered to accommodate changes in occupancy, use, or lifestyle. However, within Chapel Hill's historic districts, proposed new additions must be carefully considered in terms of their potential impact on the historic and architectural integrity of the district. It is essential that any new additions within the historic districts do not visually overpower the original building, compromise its architectural integrity, misrepresent its chronology, or destroy significant features of the building or site.

Considerations

Preliminary considerations for an addition include location and size. The size of the addition is critical. It should be kept minimal so it does not visually compete with the original building and the footprint of the addition should not significantly alter the site's ratio of built mass to unbuilt area. Equally important is the sensitive siting of an addition. Usually rear elevations provide an inconspicuous location for a modest addition that is not visible from the street. Insetting the addition a foot or more from either rear corner helps to differentiate it from the existing side wall plane and further diminishes its visibility from the street. It is also important not to locate additions where they will damage or conceal significant building or site features.

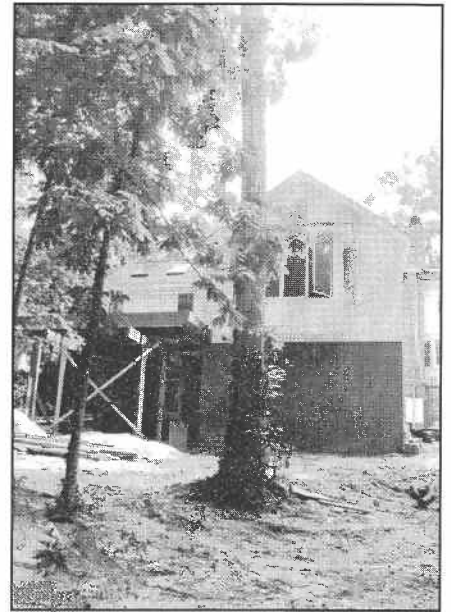
Other critical considerations in designing new additions include overall form, proportion, and massing. An addition's roof form and height should be compatible with and deferential to the original building. Additions should also be visually differentiated from the original building so the original form and massing is still apparent. At the next level of design considerations are the selection of compatible finish materials and the careful selection and placement of windows and, if applicable, doors that are compatible with the original building in terms of their proportion, scale, and configuration. In terms of architectural style, additions that introduce a compatible, contemporary style as well as additions that echo the architectural style of the original building are both appropriate approaches in the historic districts.

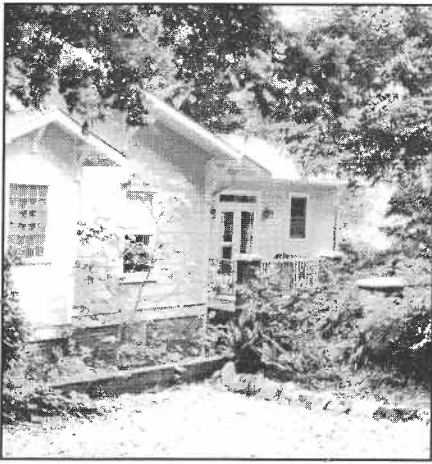
Ultimately, the combined result of all these considerations must lead to an addition that is compatible with but differentiated from the original building. In terms of construction, the connections of the addition to the original building should be minimized so that the removal or destruction of historic fabric is limited and, when feasible, the addition should be structurally self-supporting. As with any construction within the historic districts, it is important to limit any excavation, regrading, or ground disturbance and to protect significant site features so they are not damaged or destroyed.

New Construction and Additions

Guidelines: Additions

- 1.** Introduce additions in locations that are not visible from the street—usually on rear elevations, inset from either rear building corner. Locate additions carefully so they do not damage or conceal significant building features or details. It is not appropriate to introduce an addition if it requires the loss of a character-defining building or site feature, such as a porch or mature tree.
- 2.** Minimize damage to the historic building by constructing additions to be structurally self-supporting, where feasible, and attach them to the original building carefully to minimize the loss of historic fabric.
- 3.** Limit the size and scale of an addition to minimize its visual impact. It is not appropriate to introduce an addition if it will visually overpower the building or site or substantially alter the proportion of constructed area to unbuilt area on the site.
- 4.** Design an addition so it is compatible with the historic building in roof form, massing, and overall proportion.
- 5.** Design an addition and its features so they are compatible in scale, materials, proportions, and details with the historic building. Select exterior surface materials that are compatible with those of the historic building in terms of module, composition, texture, pattern, color, and detail.
- 6.** Design an addition so it is compatible with yet discernible from the historic building.
- 7.** Maintain and protect significant site features from damage during or as a consequence of related site work or construction.





Above, a modestly-sized wooden deck projects off a rear addition, aligning with the first floor and extending the living area with a small outdoor space.



Above, a small deck inset along the rear of the house accommodates an outdoor seating area and connects the backdoor and screened porch with the backyard.

Decks

A deck is a contemporary translation of the traditional terrace or patio that typically expands the living area of a home into the backyard. Generally, decks are constructed of wood and are raised above ground level to align with the first floor of a house. Depending on the distance above grade, a deck may include a railing for safety and steps down to the yard.

Considerations

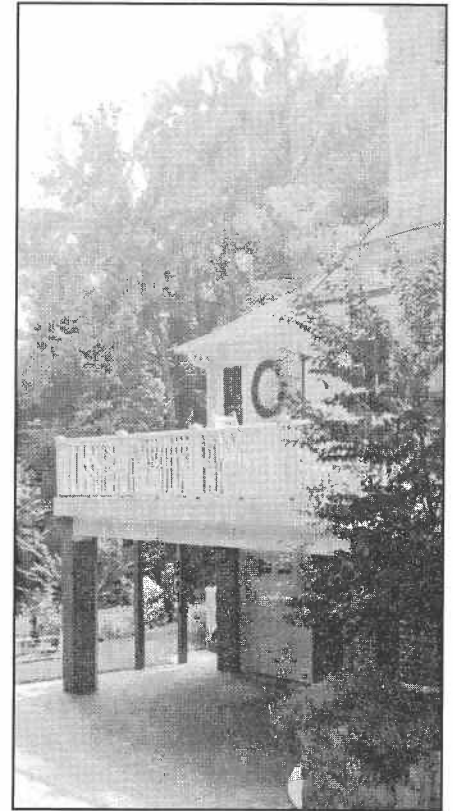
It is usually possible to add a deck to a historic house without compromising its architectural integrity or visually overwhelming the building or site so long as careful attention is paid to the deck's location, scale, and design. For example, locating a deck on the rear elevation of a house minimizes its visibility from the street and also enhances the deck's privacy. Insetting the deck at least six inches from either of the building's rear corners can avoid damage to original architectural trim while further reducing its visibility from the street. Damage to the building's historic fabric can also be minimized by constructing the deck to be structurally self-supporting, with minimal structural connections to the historic building. The steep topography of some sites makes the addition of a deck particularly difficult. Where possible, decks should gently transition into the landscape and their height above the ground kept low to minimize the visual impact of their structural supports.

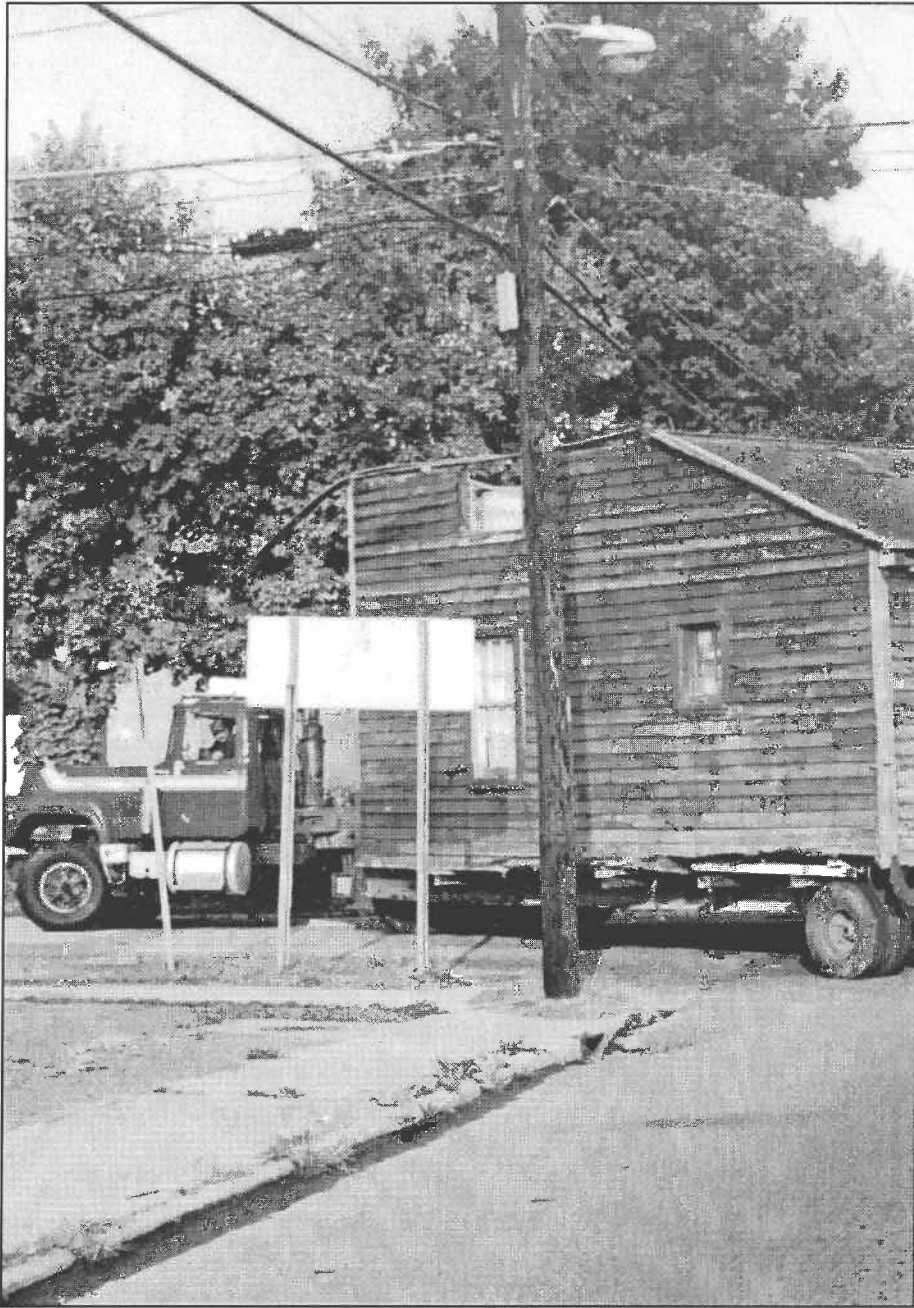
Any proposed deck should be located so significant building features, such as porches or bays, are not destroyed and important site features, including mature trees, are not lost. As with any construction activity in the historic district, the impact of the construction work on the site should be minimized by avoiding the use of heavy machinery that disturbs or compacts the soil and mature trees and other site features should be protected from damage. Regarding scale, the size of the deck should be modest in comparison to the house and site. The addition of a deck should not significantly change the proportion of open area to built mass for the building site.

Usually decks rise high enough above ground level to require a railing for safety and steps down to the yard. Given the contemporary nature of decks, it is not desirable to imitate historic railings and steps. Instead, simply detailed steps and railings that are compatible with the historic building in terms of their scale and proportion are appropriate. The use of a compatible paint color or stain on a deck can both soften its visual impact and extend its life by protecting the wood from the deteriorating effects of ultraviolet light and moisture. Screening of the deck structure with foundation plantings or lattice panels can also reduce the visual impact of a deck addition.

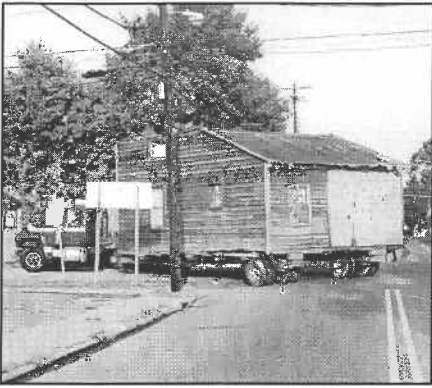
Guidelines: Decks

- 1.** Introduce decks in inconspicuous areas that are not visible from the street—usually on rear elevations, inset from either rear building corner. Locate the deck carefully so it does not damage or conceal significant building features or details. It is not appropriate to introduce a deck if it requires the loss of a character-defining building or site feature, such as a porch or mature tree.
- 2.** Minimize damage to the historic building by constructing decks to be structurally self-supporting and attach them to the building carefully to minimize the loss of historic fabric.
- 3.** Limit the size and scale of a deck to minimize its visual impact. It is not appropriate to introduce a deck if it will visually overpower the building or site or substantially alter the proportion of constructed area to unbuilt area on the site.
- 4.** Align decks generally with the building's first floor and screen the deck's structural framing with foundation plantings, lattice, or other compatible screening materials.
- 5.** Design and detail decks and any related steps and railings so they are compatible with the historic building in scale, material, configuration, and proportion.
- 6.** Maintain and protect significant site features from damage during or as a consequence of deck-related site work or construction.





Relocation or Demolition



Above and opposite, the historic Andrews house enroute to its McCauley Street site.



The Andrews house on its new foundation after relocation.

Relocation of Existing Buildings

A historic building is experienced within the context of its neighborhood, landscaping, and siting. Moving a historic building can compromise the integrity of that context and setting. Moreover, the successful relocation of a historic building is a time-consuming, complex, and expensive process requiring careful investigation and planning. Despite the complexities, however, moving a building within the historic district may be warranted as an alternative to demolition or if it will ultimately provide a more compatible setting for the building.

Considerations

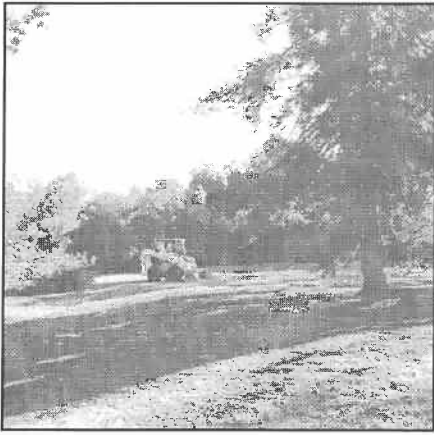
Planning and executing the relocation of a building requires careful coordination of many parties and involves several steps. It is necessary to determine if the building is structurally sound enough to endure the actual move and to devise a feasible relocation route. A contractor experienced in moving buildings can help identify ways to prevent or minimize damage to the building itself, to the original and new site, and to properties along the route.

For requests to relocate buildings, the Commission will consider the condition and the architectural merits of the historic building and the impact the relocation will have on adjoining properties and the district streetscape. They will also consider the future use of the original site and, if the new site is in a historic district, the impact of the relocated building on the district character.

Guidelines: Relocation of Existing Buildings

- 1.** Document the historic building in its original setting and record the existing site conditions through photographs prior to relocation.
- 2.** Protect the historic building from damage during and after the move by taking the following steps:
 - Evaluate the structural condition of the building to determine if it is structurally sound enough to withstand the move.
 - Take all necessary precautions to prevent damage to the structure during the move.
 - Work with contractors who have experience in moving historic structures.
 - Protect and secure the building from damage due to vandalism and exposure to the elements.
- 3.** Protect significant site features on the original site, along the relocation route, and on the new site from damage during or as a result of the move.
- 4.** If relocating a building within the historic district, select a new site that is compatible with the original site in visual character and that will provide a similar setting in terms of setback, spacing to nearby district buildings, and orientation to the street.
- 5.** If relocating a building within the historic district, review the compatibility of its proposed siting with surrounding buildings according to the pertinent design guidelines for New Construction.
- 6.** If relocating a building within the historic district, review any related proposed site modifications according to the pertinent design guidelines in the section on District Setting.
- 7.** If the original site is within the historic district, clear it of debris and implement the approved site plan promptly after the relocation.





Three Craftsman-influenced houses along this section of West Cameron Avenue were lost through demolition in the late 1990s.

Demolition of Existing Buildings

The demolition of a building that contributes to the historic character of any of Chapel Hill's historic districts is an irreversible act that is strongly discouraged by the Historic District Commission. Instead, the Commission urges property owners contemplating demolition to consult with the Commission and other interested parties to carefully consider alternatives to demolition. The Commission cannot deny a Certificate of Appropriateness for demolition unless the State Historic Preservation Officer has determined that the property has statewide significance. However, statewide enabling legislation gives the Commission the authority to delay demolition of any district property for up to 365 days. The intent of the delay is to ensure that adequate time is provided to fully explore ways to save the threatened property. Property owners are encouraged to work with the Commission in identifying viable alternatives.

Failure to maintain a historic property can slowly result in its demolition because such neglect can eventually cause a loss of its structural integrity. The loss of historic properties due to extended neglect negatively affects the entire district and is ardently opposed by the Commission.

Considerations

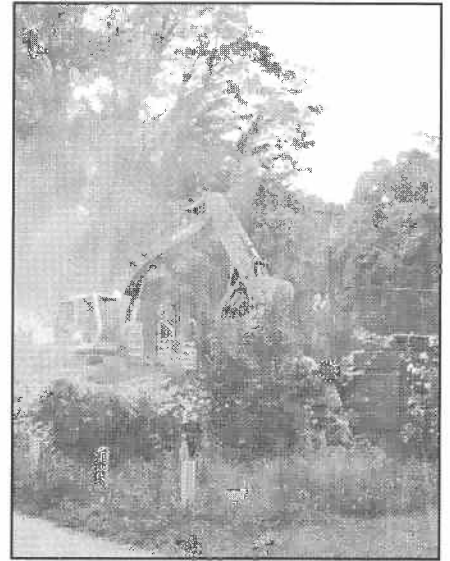
The Commission will carefully weigh any demolition requests by assessing the impact the proposed demolition will have on adjacent properties and the district as a whole. Serious consideration will be given to the following questions:

- What is the contribution of the threatened building to the historic district?
- Could the property be sold to someone whose needs it meets?
- Could the building be adapted to meet the needs of the property owner?
- Could the building be saved if moved to another site?
- Would the proposed new use of the site be of greater benefit to the district than the loss of the historic building?

Applications for demolition must include a proposed site plan illustrating how the site will be altered following demolition. To ensure that a permanent record of the building survives, the property owner is responsible for recording it through visual documents, such as photographs and drawings, to be kept in the Commission's records. Also, any salvageable architectural materials or features should be removed prior to the demolition.

Guidelines: Demolition of Existing Buildings

- 1.** Work with the Historic District Commission and other interested parties in seeking viable alternatives to demolition.
- 2.** Document the historic building in its original setting and record the existing site and building through photographs and/or drawings prior to demolition.
- 3.** Salvage or provide the opportunity for others to salvage reusable architectural materials and features prior to demolition.
- 4.** Submit a site plan illustrating the proposed treatment of the site following demolition in the COA application for demolition.
- 5.** Protect significant site features such as mature trees from damage during—or as a result of—the demolition.
- 6.** Clear the site of all debris promptly following the demolition.
- 7.** Implement the approved site plan in a timely manner following the demolition.





Appendices



The Preservation Society of Chapel Hill is located in the historic Horace Williams House.

Resources

Local Resources

Chapel Hill Historic District Commission
Chapel Hill Planning Department
Town of Chapel Hill
306 North Columbia Street
Chapel Hill, NC 27514

Telephone: 919/968-2700
Fax: 919/967-8406

The Preservation Society of Chapel Hill
610 East Rosemary Street
Chapel Hill, NC 27415

Telephone: 919/942-7818
Fax: 919/942-7845
Website: www.chapelhillpreservation.com

State Resources

State Historic Preservation Office
North Carolina Division of Archives and History
4618 Mail Service Center
Raleigh, NC 27699-4618

Telephone: 919/733-4763

To obtain information on the National Register program and historic structures, contact the Survey and Planning Branch at 919/733-6545.

To obtain technical restoration assistance and information on preservation tax credits, contact the Restoration Branch at 919/733-6547.

To obtain information on archaeological sites, contact the Office of State Archaeology at 919/733-7342.

Website: www.hpo.dcr.state.nc.us/

Preservation North Carolina
200 Fayetteville Street Mall
Suite 300
P. O. Box 27644
Raleigh, NC 27611-7644

Telephone: 919/832-3652
Fax: 919/832-1651
Website: www.presnc.org

National Resources

Heritage Preservation Services
National Park Service
U. S. Department of the Interior
1849 C Street, NW
Washington, DC 20240

Office of the Director: 202/208-4621
Office of Public Affairs: 202/208-6843
Preservation Assistance Division: 202/343-9578
Website: www2.cr.nps.gov

National Trust for Historic Preservation
1785 Massachusetts Avenue, NW
Washington, DC 20036

Telephone: 202/588-6000
Website: www.nationaltrust.org

Southern Office of the National Trust for Historic Preservation
456 King Street
Charleston, SC 29403

Telephone: 843/722-8552

For information on the Americans with Disabilities Act (ADA),
contact:

US Department of Justice
Civil Rights Division
Disabilities Rights Section
P. O. Box 66738
Washington, DC 20035-6738

ADA Information Line:
800/514-0301 (voice)
800/514-0383 (TTY)

ADA Home Page: www.usdoj.gov/crt/ada/adahom1.htm

References

National Park Service Publications

The National Park Service publishes an ongoing series of technical briefs, books, and leaflets on appropriate preservation treatments and rehabilitation techniques. Ordering information stock numbers, and prices may be obtained from A Catalogue of Historic Preservation Publications requested from the National Park Service, Preservation Assistance Division, P.O. Box 37127, Washington, DC 20013-7127. Information on the Park Service's Technical Preservation Services and its programs is available at their website: www2.cr.nps.gov.

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Historic Preservation Foundation and National Park Service. *Caring for Your Historic House*, New York, NY: Harry N. Abrams, Inc., 1998.

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Morton, W. Brown, III, et al. *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*. Washington, D. C.: National Park Service, U. S. Department of the Interior, 1992.

Moss, Roger W. *Century of Color: Exterior Decoration for American Buildings—1820/1920*. Watkins Glen, NY: American Life Foundation, 1981.

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Vickers, James. *Chapel Hill: An Illustrated History*. Chapel Hill, NC: Barclay Publishers, 1985.

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Delegation of Authority to Staff

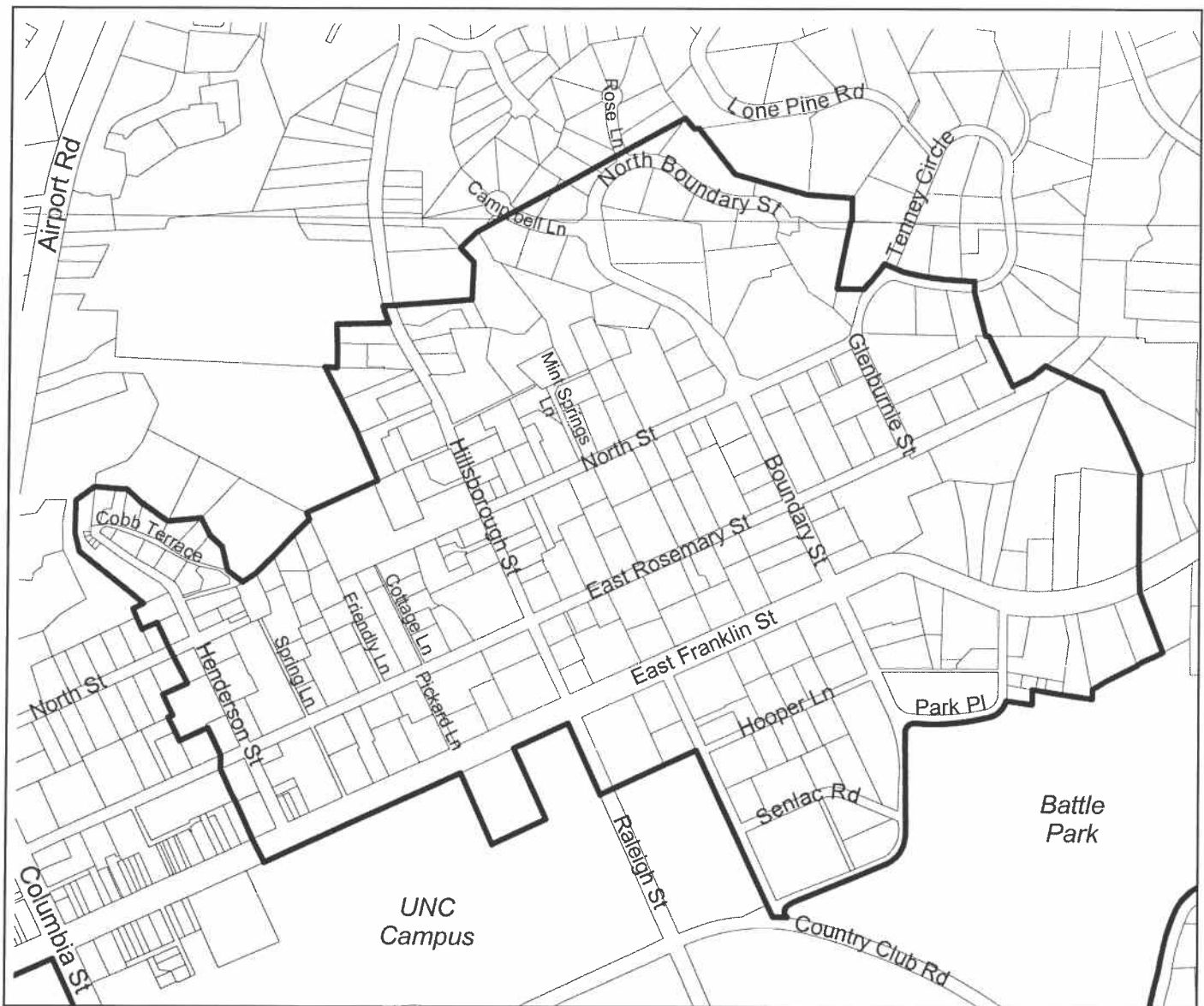
The Historic District Commission delegates approval authority to staff for the following items:

- Walkways on private property when constructed of common red brick, or Chapel Hill gravel.
- Minor projects which do not require building permits because of cost or because they involve nonstructural changes.
- Signs which do not require a sign permit.
- Installing gutters painted to match the house or trim, as long as no significant architectural features are removed.
- Construction of wood deck on rear or side of house when less than 10% would be visible from a public right-of-way.
- Fieldstone walls not exceeding three feet in height.
- Bricked-in areas on side or rear of structure at ground level and not abutting right-of-way.

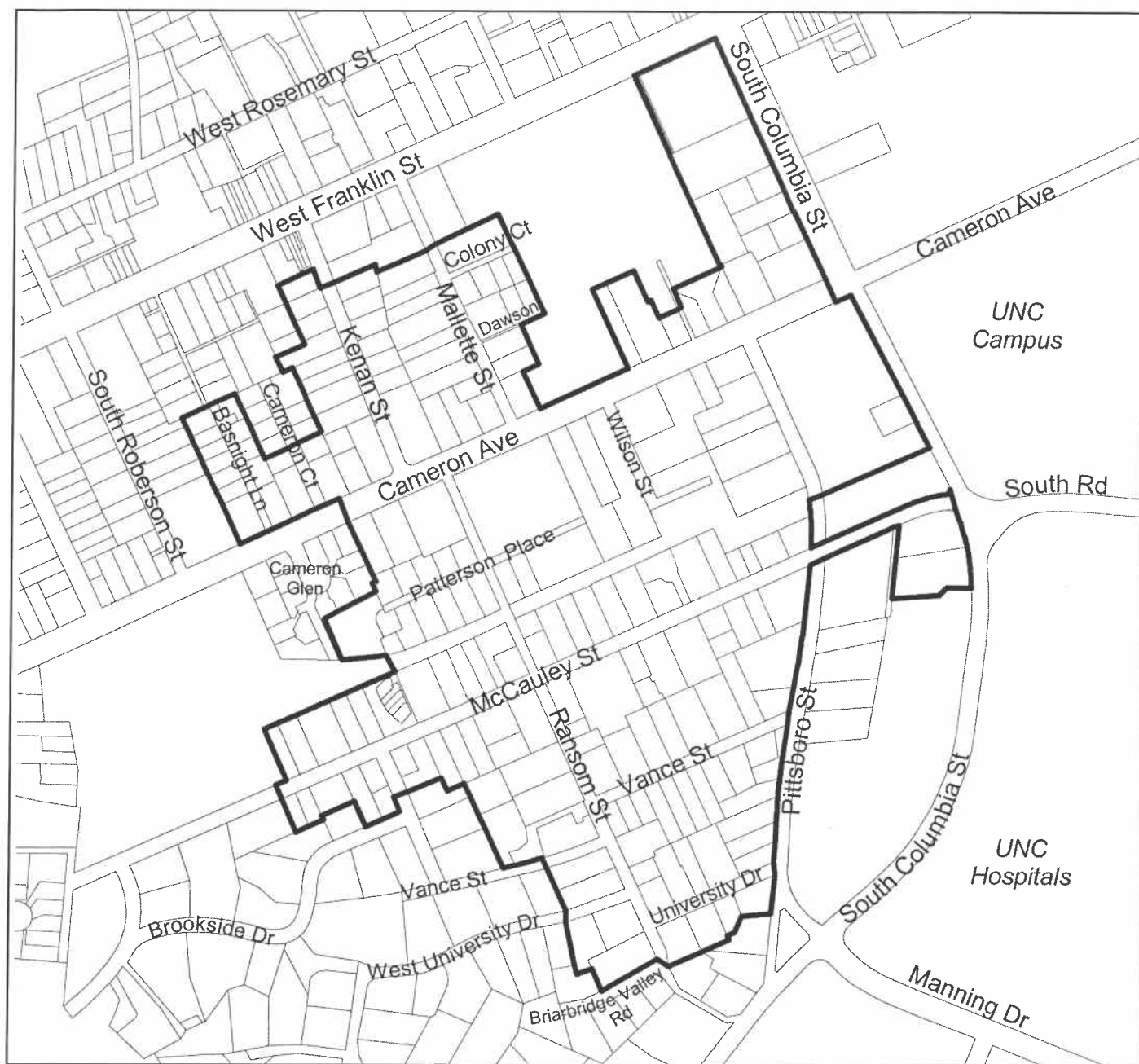
General Policies

1. Delegation to staff is limited to those items specifically listed and subject to conditions enumerated.
2. All approvals by staff shall be reviewed by Commission at next meeting.
3. Staff shall refer an application to the Commission if any uncertainty exists whether application meets criteria.
4. Property owner shall always retain right of appeal to Commission, as will property owners within area of notification.
5. Delegation is specifically not authorized in connection with any work for which a special permit is required.

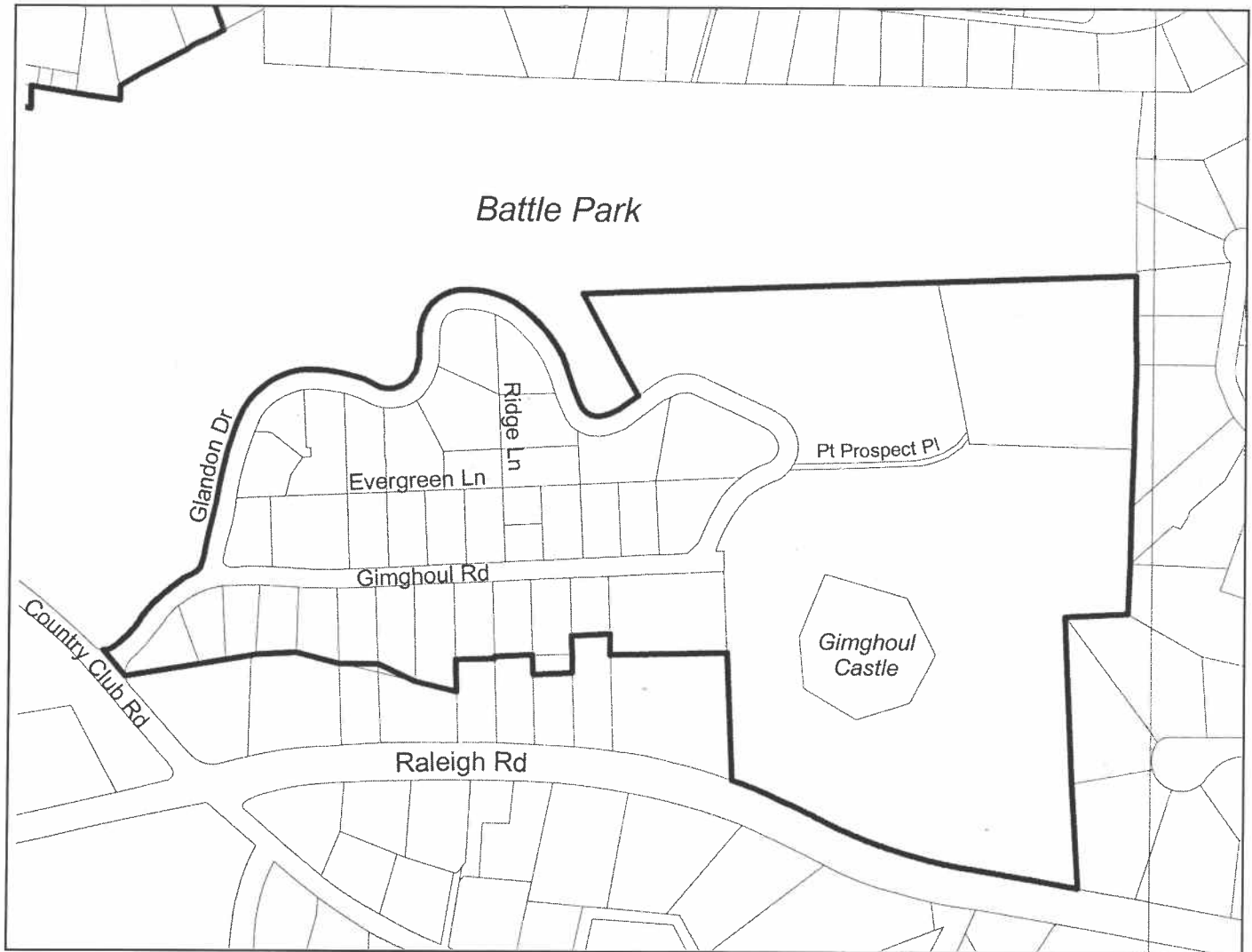
Map of Franklin-Rosemary Historic District



Map of Cameron-McCauley Historic District



Map of Gimghoul Historic District



Architectural Terms

Architectural Character—the overall appearance of the architecture of a building including its construction, form, and ornamentation.

Architectural Integrity—a measure of the authenticity of a property's architectural identity. For example, a building with high architectural integrity would not have been altered much over the years.

Art Glass—decorative glass, also called leaded glass, that is composed of patterned and/or colored glass pieces arranged in a design.

Balusters—the small posts or spindles between the upper and lower rail of a balustrade.

Balustrade—a railing and all the small posts or spindles supporting it.

Built-in Gutter—a gutter that is boxed or enclosed within the soffit or cornice trimwork and thus concealed from view.

Bungalow—early twentieth century building type with a low-pitched gabled roof, wide, unenclosed eave overhang, often with exposed roof rafters; braces commonly added under gables; wide porches with tapered square columns or pedestals.

Cast Iron—iron formed by casting in foundry molds.

Chapel Hill Gravel—a fine-grained gravel used to surface sidewalks, characteristic of sidewalks within Chapel Hill's historic districts.

Character-defining—architecturally, refers to features or details of a building that are significant in defining its architectural or historic character.

Colonial Revival Style—architectural style from the 1880s through the mid-1900s, known for accentuated front doors, normally with a decorative pediment supported by pilasters or slender columns; doors typically have fanlights or sidelights; façade is symmetrically balanced.

Compatible—congruent, harmonious.

Consolidating—to stabilize or repair a deteriorated building feature by infusing it with another material, such as injecting epoxy resins into rotten wood.

Context—all aspects of the larger environment of a historic building.

Cornice—projecting, ornamental molding along the top of a wall, originally intended to extend the eaves of a roof beyond the outer wall surface.



Example of a bungalow

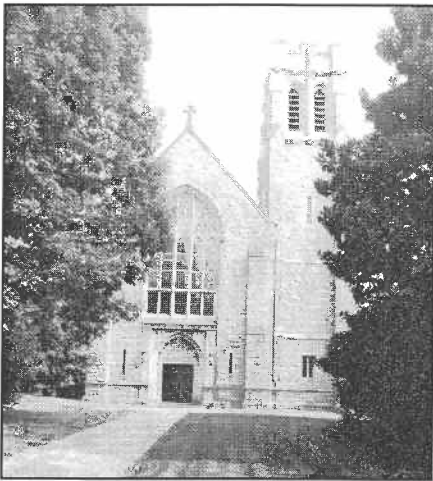


Example of a Colonial Revival house



Example of a Federal style house

Design Guidelines
Chapel Hill Historic Districts



Example of a Gothic Revival church



Example of a Neo-Classical house



Example of a Queen Anne style house

Architectural Terms (continued)

Federal Style—an architectural style that flourished in the United States between 1780 and the 1830s based upon classical Roman architecture, typically symmetrical in design.

Fieldstone—naturally occurring stone of a size usable for construction without cutting or tooling.

Ferrous Metals—metals containing iron.

Galvanic Action—a chemical reaction that occurs between two dissimilar metals causing corrosion of the more anodic metal.

Gothic Revival—architectural style from the 1840s until 1880s with steeply pitched cross gable roofs, window frequently have pointed arch shape; one story porch or entrance often supported by flattened Gothic arches.

Greek Revival—mid-nineteenth century architectural style that was a revival of forms and ornament from ancient Greek architecture, characterized by low-pitched gable or hip roofs, pedimented gable ends, simple architrave bands at the eaves, and entries with Doric style columns and pediments.

Historic Character—the form and detailing of the architectural materials and features that give a building or site its historical significance.

I-House—a house form from 1870-1910, which was one room deep, two stories high, and had a side-gabled roof, centered front door, and a wide front porch.

Massing—the overall configuration or composition of the major volumes of a building exterior.

Muntin—a bar or member supporting and separating panes of glass in a window sash or door.

Meeting Rails—the overlapping horizontal rails between the upper and lower sash of a doublehung window.

Neo-classical Style—architectural style from 1895 until the mid-1900s in which the façade is dominated by a full-height porch with roof supported by classical columns with Ionic or Corinthian capitals; façade shows symmetrically balanced windows and a center door.

Patina—the surface corrosion, due to exposure to the atmosphere, that discolors copper or bronze elements to a green or brown color over time.

Pier—a square or rectangular masonry or wood post projecting above the ground that carries the weight of a structure down to the foundation.

Pierced Brickwork—brickwork with a pattern of openings in it. Often used for low freestanding brick walls.

Pilaster—a shallow pier or rectangular column projecting only slightly from a wall, also called an engaged column.

Proportion—architecturally, refers to the ratio of width to height of an object. For example a vertically proportioned window is taller than it is wide.

Portico—a small entrance porch or covered walk consisting of a roof supported by open columns.

Queen Anne Style—architecture from the 1880s until 1910 with steeply pitched roofs of irregular shape, typically with a dominant front-facing gable with patterned shingles; asymmetrical façade with one-story high full-width or partial front porch.

Repoint—to remove old mortar from courses of masonry and replace it with new mortar.

Scale—architecturally, refers to the size of construction elements or details in comparison to the size of a human being.

Setback—the distance a building is sited from a property line or street.

Sidelight—a narrow window adjacent to a door or wider window, typically one of a pair of windows flanking an entrance door.

Soffit—the exposed undersurface of any overhead component of a building, such as an arch, balcony, or cornice.

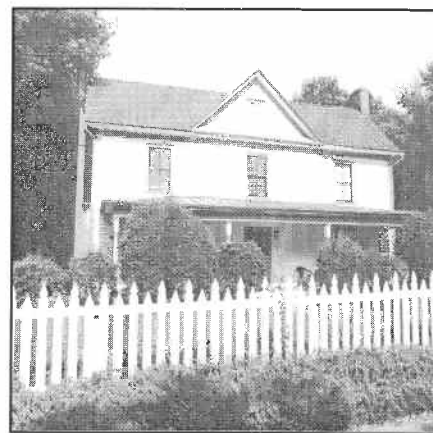
Transom—a glazed panel above a door, window, or storefront, sometimes hinged to be opened for ventilation.

Triple-A House—an I-house with a center front gable over the entrance.

Tudor Revival—an architectural style from the 1890s until the 1940s based loosely on Tudor buildings from the 1480s to 1550s. Characterized by asymmetrical massing, steeply pitched roofs, and decorative half-timbered patterns on upper exterior walls, and narrow casement windows.

Vernacular—refers to architecture that is based upon traditional or regional forms and is not designed by an architect or someone with similar training.

Wrought Iron—iron that is rolled or hammered into shape, never melted.



Example of a Triple-A house



Example of a Tudor Revival building

Suggested Plantings

The following lists include species of plants that are documented as having been planted in residential Landscapes in the nineteenth and early twentieth century and that are still available in the nursery trade. These plants are well suited to the Chapel Hill area when properly sited and are specifically recommended for use in the historic districts. When selecting plants, it is worth noting that some species include varieties, such as dwarf forms of Nandinas and Crape Myrtles, that differ significantly from the varieties that were historically planted. When different varieties are available, spending the time to track down older forms of the listed species is encouraged. Notably absent from the list are some old-fashioned species, including the Ligustrums, Japanese wisteria and English ivy, that are known to escape from cultivation and which can cause environmental degradation of natural areas.

Species of plants that are native to the southeast are designated with an asterisk (*). Use of these generally well adapted species is strongly encouraged.

Large Trees: *species of trees which are typically shade-producing and grow to a mature height of greater than 40 feet.*

*Acer rubrum	Red Maple
*Acer saccharum	Sugar Maple
Cedrus deodara	Deador Cedar
Cryptomeria japonica	Japanese Cedar
*Fagus grandifolia	American Beech
Ginkgo biloba	Maidenhair Tree
*Magnolia acuminata	Cucumbertree Magnolia
*Magnolia grandiflora	Southern Magnolia
*Nyssa sylvatica	Black Gum
Picea abies	Norway Spruce
*Pinus virginiana	Virginia Pine
*Quercus alba	White Oak
*Quercus laurifolia	Laurel Oak
*Quercus phellos	Willow Oak
*Quercus rubra	Red Oak
*Quercus virginiana	Live Oak
*Tsuga canadensis	Canadian Hemlock
Ulmus parvifolia	Chinese Elm
Zelkova serrata	Japanese Zelkova

Understory Trees: *species of trees which normally grow to a mature height of 20 to 40 feet and may grow beneath large trees.*

Acer japonica	Fullmoon Maple
Acer palmatum	Japanese Maple
*Aesculus parviflora	Bottlebrush Buckeye
*Aesculus pavia	Red Buckeye
*Amelanchier canadensis	Serviceberry

*Carpinus caroliniana	Ironwood
Cercidiphyllum japonicum	Katsura Tree
*Cercis canadensis	Redbud
*Chionanthus virginicus	Fringe Tree
*Clasdrastis lutea	American Yellowwood
*Cornus florida	Flowering Dogwood
Cornus mas	Cornelian Cherry Dogwood
*Cotinus obovatus	Smoketree
*Crataegus phaenopyrum	Washington Hawthorn
*Halesia carolina	Carolina Silverbell
*Ilex decidua	Possumhaw
*Ilex opaca	American Holly
*Ilex vomitoria	Yaupon Holly
*Juniperus virginiana	Red Cedar
Koelreuteria paniculata	Golden Rain Tree
Lagerstroemia indica	Crape Myrtle
Magnolia soulangiana	Saucer Magnolia
Magnolia stellata	Star Magnolia
*Magnolia virginiana	Sweet Bay
*Prunus caroliniana	Carolina Cherry Laurel
Prunus sargentii	Sargent Cherry
Prunus subhirtella "pendula"	Weeping Cherry
Stewartia pseudo-camellia	Japanese Stewartia
Styrax japonica	Japanese Snowbell
*Thuja occidentalis	American Arborvitae

Large Shrubs: *species of shrubs which normally grow to a mature height of 8 feet or more and are often used as specimens or in groups for screening.*

Aucuba japonica	Aucuba
Buxus sempervirens	Common Boxwood
*Calycanthus florida	Carolina Allspice
Camellia japonica	Common Camellia
Camellia sasanqua	Sasanqua Camellia
Chamaecyparis obtusa	Hinoki Cypress
Chamaecyparis pisifera	Sawara Cypress
Chimonanthus praecox	Fragrant Wintersweet
Cotinus coggygria	Smokebush
*Cyrilla racemosa	Swamp Cyrilla
Exochorda racemosa	Common Pearlbush
Forsythia suspensa	Forsythia
Hamamelis mollis	Chinese Witchhazel
*Hamamelis virginiana	Common Witchhazel
Hibiscus syriacus	Rose of Sharon
Hydrangea paniculata	Peegee Hydrangea
Ilex cornuta "burfordii"	Burford Holly
Ilex latifolia	Lusterleaf Holly
*Ilex verticillata	Winterberry
*Ilex x attenuata "fosteri"	Foster Holly

*Ilex x attenuata "savannah"	Savannah Holly
*Illicium floridanum	Florida Anise
*Leucothoe populifolia	Florida Leucothoe
Michelia figo	Banana Shrub
*Myrica cerifera	Wax Myrtle
Osmanthus heterophyllus	Osmanthus
Prunus Laurocerasus	English Laurel
Pyracantha coccinea	Firethorn
Rhododendron indica	Indica Azalea
Rhododendron kaempferi	Torch Azalea
Spiraea x vanhouttei	Vanhoutte Spiraea
Thuja orientalis	Oriental Arborvitae
Viburnum macrocephalum	Snowball Viburnum
Viburnum plicatum	Doublefile Viburnum
Vitex agnus-castus	Chastetree

Small Shrubs: *species of shrubs that normally grow to a mature height of less than 8 feet. Many of these shrubs are grown for their ornamental flowers.*

Buxus microphylla	Littleleaf Boxwood
B. sempervirens "suffruticosa"	Dwarf Edging Boxwood
*Callicarpa americana	American Beautyberry
Callicarpa japonica	Japanese Beautyberry
Chaenomeles speciosa	Flowering Quince
*Clethra alnifolia	Summersweet
Danae racemosa	Poets Laurel
Deutzia gracilis	Slender Deutzia
Forsythia viridissima	Greenstem Forsythia
*Fothergilla gardenii	Dwarf Fothergilla
Gardenia jasminoides	Gardenia
Hydrangea macrophylla	Bigleaf Hydrangea
*Hydrangea quercifolia	Oakleaf Hydrangea
Hypericum calycinium	Aaronsbeard
*Hypericum prolificum	St. Johnswort
Iberis sempervirens	Candytuft
Ilex crenata	Japanese Holly (see note)
*Ilex glabra	Inkberry
*Itea virginica	Virginia Sweetspire
Jasminum nudiflorum	Winter Jasmine
Juniperus chinensis	Sargents Juniper (see note)
"sargentii"	
Juniperus horizontalis	Creeping Juniper (see note)
Kerria japonica	Kerria
*Leucothoe axillaris	Coast Leucothoe
Mahonia bealei	Leatherleaf Mahonia
Nandina domestica	Nandina
*Rhododendron nudiflorum	Pinxterbloom Azalea

Rhododendron obtusum	Kurume Azalea (see note)
Rhododendron viscosum	Swamp Azalea
Rosa rugosa	Rugosa Rose
Spiraea cantoniensis	Reeves Spiraea
Spiraea thunbergii	Thunberg Spiraea
Spiraea x bumalda	Summer Spiraea
Viburnum carlesii	Koreanspice Viburnum

Note: Although Japanese Hollies and groundcover type junipers were planted as early as the nineteenth century, essentially all of the varieties currently available in the nursery trade are densely branched selections of much more recent origin. These durable varieties are often used in modern commercial landscapes and especially when planted in large groups tend to impart a utilitarian look. Similarly, most compact varieties of azaleas and other evergreen shrubs are relatively recent introductions that differ significantly in character from the forms traditionally found in older residential neighborhoods. Limiting the use of these newer, more compact plant varieties is encouraged.

Vines: species that have a spreading pattern of growth and can be used on the ground, walls, and trellises

*Bignonia capreolata	Crossvine
Campsis grandiflora	Chinese Trumpet creeper
*Campsis radicans	Common Trumpet creeper
Clematis armandii	Armand Clematis
Clematis montana	Anemone Clematis
*Clematis virginiana	Virginsbower
Clematis x jackmanii	Jackman Clematis
*Gelsemium sempervirens	Carolina Jessamine
Hydrangea petiolaris	Climbing Hydrangea
*Lonicera sempervirens	Coral Honeysuckle
*Parthenocissus quinquefolia	Virginia Creeper
Parthenocissus tricuspidata	Boston Ivy
Rosa banksiae	Lady Banks Rose
*Wisteria frutescens	American Wisteria