

1 Mint Springs Lane – Summary Record of Historic District Commission Decision

Prepared by Becky McDonnell, Planner – February 22, 2019

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2. Video Link to June 12, 2018 Historic District Commission Meeting
http://chapelhill.granicus.com/MediaPlayer.php?view_id=7&clip_id=3513
(Time Stamp 58:30-1:53:00)
3. Transcript of June 12, 2018 Historic District Commission Meeting – **page 34**
4. Video Link to July 17, 2018 Historic District Commission Meeting
http://chapelhill.granicus.com/MediaPlayer.php?view_id=7&clip_id=3536
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5. Transcript of July 17, 2018 Historic District Commission Meeting – **page 63**
6. July 17, 2018 Historic District Commission Meeting Minutes – **page 111**
7. Staff Report from October 9, 2018 Historic District Commission Meeting – **page 118**
8. Video Link to October 9, 2018 Historic District Commission Meeting
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9. Transcript of October 9, 2018 Historic District Commission Meeting – **page 120**
10. October 9, 2018 Historic District Commission Meeting Minutes – **page 179**
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14. Design Guidelines for the Chapel Hill Historic Districts – **page 201**

1. Certificate of Appropriateness Application



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Town of Chapel Hill
Office of Planning and Sustainability
Development Services 919-969-5066
planning@townofchapelhill.org

Chapel Hill Historic District Certificate of Appropriateness Application	Project :	18-051
	Permit:	201818375
Project Description: Addition of one-bay garage & front & rear porch roofs	STAFF REVIEW	
	Application complete and accepted	
	Application not complete and returned with a notation of deficiencies	
	BY: Julie Cing DATE: 5/10/18	
Instructions: Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred)		
Deadlines: Applications are due by the close of business 30 calendar days prior to the scheduled meeting date.		
Note: Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.		

A. Property Information		
Property Address: 1 Mint Springs Lane		
Property Owner(s):	Email: wferris@unc.edu	
Bill & Marie Ferris		
City: Chapel Hill	State: NC 27514	Phone:
Historic District: <input type="checkbox"/> Cameron-McCauley <input checked="" type="checkbox"/> Franklin-Rosemary <input type="checkbox"/> Gimghoul	Zoning District: R1	
B. Applicant Information		
JAMES MORGAN		Role (owner, architect, other): DESIGNER
Address (if different from above): 304 W. Weaver St. Carrboro NC 27510		



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Address (if different from above):		304 W. Weaver St. Suite 201	
City:	Carrboro		
State:	NC	Zip:	27510
james@belladomus.com		Phone:	919 923 6459

C. Application Type (check all boxes that apply)

☐ Minor Work Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See Design Guidelines (p. 69) for a list of minor works.

☒ Historic District Commission Review Includes all exterior changes to structures and features other than minor works

☐ Site-work only (walkways, fencing, walls, etc.)

☐ After-the-fact application (for unauthorized work already performed).

☐ Restoration or alteration

☐ Demolition or moving of a site feature.

☒ New construction or additions

☐ Request for review of new application after previous denial

☐ Sign

D. Basic information about size, scale, and lot placement.

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the Orange County Real Estate Data website. Information about lot placement can be found on the Chapel Hill and Orange County Interactive GIS portals.

Zoning District:	Minimum setbacks			Maximum heights		Lot size	
	Street	Interior	Solar	Primary	Secondary	18,205	
Required by zoning	28'	11'	17'	29	40		
Proposed	33'	20.2'		22'	25.5'		
	Existing	Change +/-	Total	Total Floor Area Ratio			
Floor Area (main structure)	2318	+ 295	2613	Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	975	-295 +354	1,329	N/A	N/A	Existing	Proposed
Impervious Surface Area (ISA)	7150	-175 +1069	8,044 4			.39	.44



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New Land Disturbance						
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E: Applicable Design Guidelines		
<p>The Town's <u>Design Guidelines for the Chapel Hill Historic Districts</u> are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in <u>Section 3.6.2(e)(4)</u> of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)</p>		
Section/ Page	Topic	Brief description of the applicable aspect of your proposal
	attached to narrative	

F. Checklist of Application Materials					
<p><i>Attach the required elements in the order indicated.</i></p>	ATTACHED ? TO BE COMPLET ED BY APPLICAN T		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
<p>1. Written description of physical changes proposed. Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.</p>	X		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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<p>2. History, context, and character information. Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include:</p> <ul style="list-style-type: none"> <input type="checkbox"/> Current property information for the lot and all structures, including Building Sketches and Building Details, from <u>Orange County Real Estate Data</u>. <input type="checkbox"/> The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see <u>West Chapel Hill</u>, for Franklin-Rosemary see <u>Chapel Hill Historic District</u>, for Gimghoul see <u>Gimghoul</u>. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.) 	X		☑	<input type="checkbox"/>	<input type="checkbox"/>
<p>3. Justification of appropriateness. Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type "not applicable".</p> <ul style="list-style-type: none"> A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings. B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings. C. Exterior construction materials, including texture and pattern. D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials. E. Roof shapes, forms, and materials. F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration. G. General form and proportions of buildings and structures. H. Appurtenant fixtures and other features such as lighting. I. Structural conditions and soundness. J. Architectural scale. 	X		☑	<input type="checkbox"/>	<input type="checkbox"/>
<p>4. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.</p>	X		☑	<input type="checkbox"/>	<input type="checkbox"/>



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<p>5. Site Plan Set showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.)</p> <p>X Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks.</p> <p>X Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work.</p> <p><input type="checkbox"/> Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.</p>	x		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>6. Elevation Drawings showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes.</p> <p><input type="checkbox"/> Elevation drawings showing all proposed changes above current grade from front, back, and both sides.</p> <p><input type="checkbox"/> Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs).</p> <p><input type="checkbox"/> Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)</p>	x		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>7. Information about context (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the <u>Orange County Real Estate Data</u> website; information about lot placement can be found on the <u>Chapel Hill</u> and <u>Orange County</u> GIS portals.</p> <p>For each of the nearest adjacent and opposite properties, provide:</p> <p><input type="checkbox"/> The height of each building (if an estimate, indicate that).</p> <p><input type="checkbox"/> The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient).</p> <p><input type="checkbox"/> The size of each lot (net land area in square feet).</p> <p><input type="checkbox"/> The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from <u>Orange County Real Estate Data</u>; indicate any corrections for accuracy you believe necessary and your basis for doing so.</p>	n/a		R/R N/R	<input type="checkbox"/>	<input type="checkbox"/>



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<p>8. Demolition/Relocation Information (required only if demolition or relocation of a feature is proposed).</p> <p><input type="checkbox"/> Provide a written description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property.</p> <p><input type="checkbox"/> Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted.</p> <p><input type="checkbox"/> If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer.</p> <p><input type="checkbox"/> As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay.</p> <p><input type="checkbox"/> Provide any records about the structure to be demolished.</p>	n/ a		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>9. Mailing notification fee per <u>Planning & Sustainability Fee Schedule</u>. For a list of addresses, please refer to the Town's <u>Development Notification Tool</u>.</p>	x		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>10. Certificate of Appropriateness fee per <u>Planning & Sustainability Fee Schedule</u></p>	x		<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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C. Applicant signature

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

James Morgan

5/10/18

Applicant (printed
name)

Signature

Date

William Ferris

5/10/18

Signature

Date



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Certificate of Appropriateness Supplemental Requirements

*In addition to Residential Zoning OR Administrative Zoning Compliance Permit Requirements

Certificate of Appropriateness applications are subject to review and approval by the Historic District Commission as well as by Town staff. For assistance with this application, please contact the Chapel Hill Planning Department.

Please submit *all* materials listed on this sheet. The Historic District Commission meets on the second Tuesday of each month at 6:30 pm. For confirmation of a meeting date and the placement of your request on the agenda, please call the Planning Department. Applications are due one month in advance of meeting.

Application Process:

1. Historic District Commission Review of Certificate of Appropriateness (COA) Supplemental materials
2. Staff review of Residential / Administrative Zoning Compliance Permit (ZCP) materials

**COA (step 1) and ZCP (step 2) materials may be submitted simultaneously or separately.

Required Application Materials

(In addition to Residential Zoning Compliance Permit or Administrative Zoning Compliance Permit Requirements)

An Electronic copy of each document is required in addition to paper copies.

Provide a single set of the following materials:

<input checked="" type="checkbox"/>	1. Application Form. Either <u>Residential</u> Zoning Compliance or <u>Administrative</u> Zoning Compliance.
<input checked="" type="checkbox"/>	2. Recorded plat or deed verifying property's current ownership
<input type="checkbox"/>	3. Recorded plat of easements, right-of-way, and dedications, if applicable
<input checked="" type="checkbox"/>	4. <u>Mailing List of Property Owners</u> , applicable within 100 feet of property boundaries The Town will prepare a formal notice to be mailed to surrounding property owners about the application. You may find it helpful to discuss the proposed changes with your neighbors in person so you can address their concerns both in your planning and presentation.
<input checked="" type="checkbox"/>	5. Mailing notification fee. The fee per address can be found on the <u>Planning Department's Fee Schedule</u> .
<input checked="" type="checkbox"/>	6. Certificate of Appropriateness fee per <u>Planning Department's Fee Schedule</u>
<input checked="" type="checkbox"/>	7. Reduced Site Plan Set (reduced to 8.5" x 11")
<input checked="" type="checkbox"/>	8. Building Elevations (label building height from top of roof to finished grade line)



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☐ 9. Floor Plan, only if accessory apartment, duplex, or commercial application.

(Continued)

X

10. Written Description

Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- b) The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite buildings;
- c) The exterior construction materials, including textures and patterns;
- d) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- e) The roof shape, form, and materials;
- f) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- g) The general form and proportion of the buildings;
- h) The accessory fixture and other features (including lighting fixtures, hardware, awnings, etc.);
- i) The architectural scale in relation to existing structures and surrounding buildings; and
- j) Structural conditions and soundness.

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact. The visual description must include dimensions. For new buildings and major additions, the visual description must include the interior floor plan.

11. Information Regarding Surrounding Properties

For new construction or large projects, the applicant is required to provide information on:

- The height of the nearest adjacent and opposite buildings;
- The setback and placement of the nearest adjacent and opposite buildings;
- The scale of the nearest adjacent and opposite buildings, including percentage of lot coverage.

12. Demolition Information (if applicable)

Provide a description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons, and/or families associate with the property.

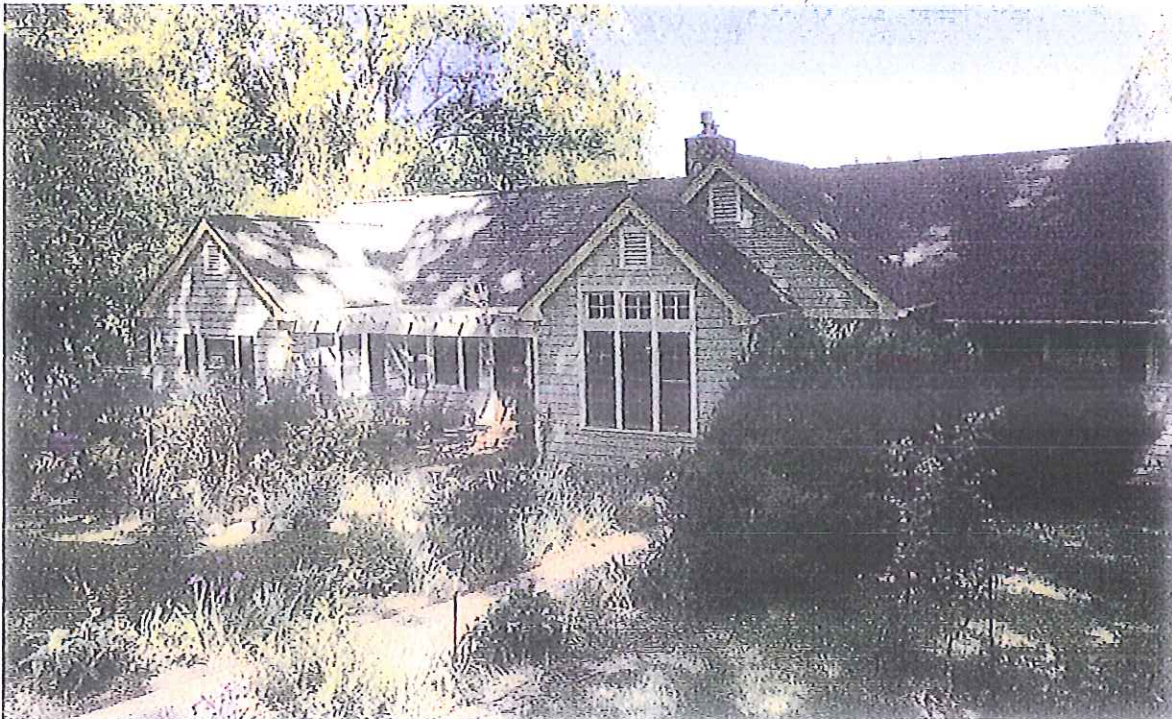
1 Mint Springs Lane

COA application for garage & porch construction etc.

History & setting

1 Mint Springs started life in 1942 as a modest cross-gabled cottage of one and a half stories. It has since been extended to its present size of 2,316 s.f. on the main floor plus about 200 s.f. in a low-ceiling area on the upper floor. There are two areas of unfinished partial basement with the remainder of the foundation area being crawl space.

A brick patio between two front-facing gables on the south side of the building is roofed with an open pergola. Brick steps and a sloped brick walk lead up from this patio to a parking pull-in on Mint Springs Lane.

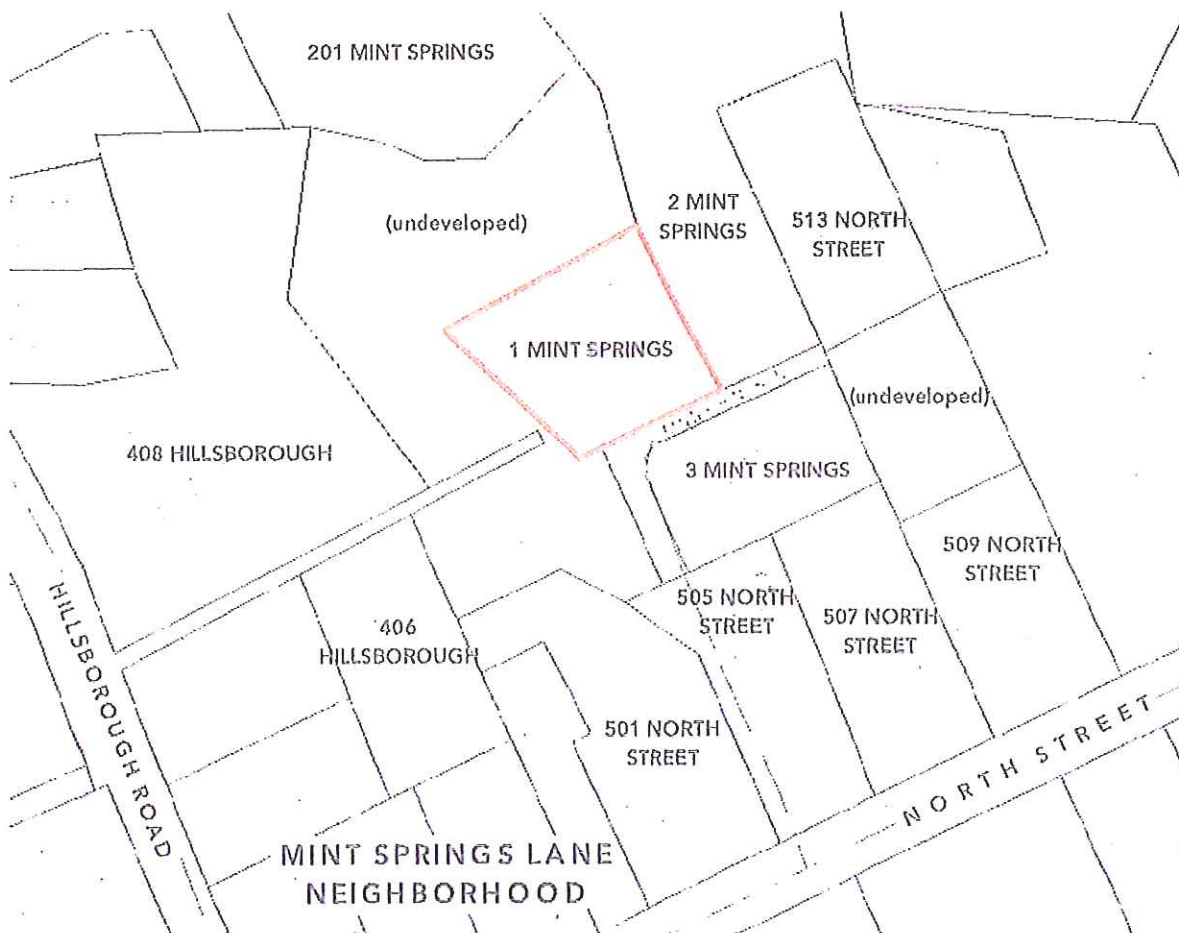
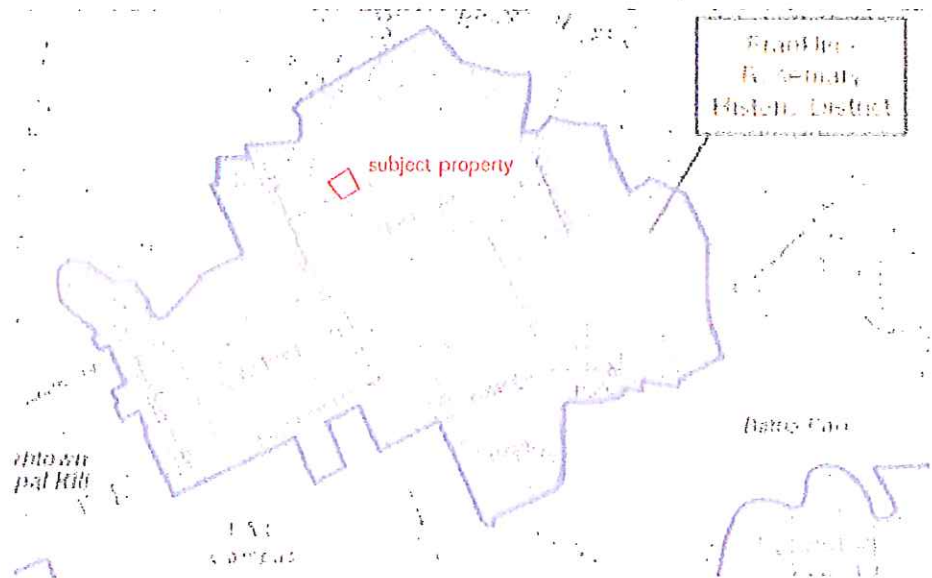


There is an open carport on the west side of the building at basement level leading via a set of external stairs up to a deck at the rear and thence to the interior. The stair and part of the deck are sheltered by a pergola which has been roofed over with transparent plastic sheeting. This is currently the main access to the house for bringing groceries etc. There is presently no way to approach the property with an at-grade entrance and the present proposals are to correct this deficiency as part of a comprehensive upgrade of the home to provide safety and accessibility.



Context

Mint Springs Lane is an asphalt-paved private right of way leading off North Street in the Franklin-Rosemary Historic District of Chapel Hill. It provides access to six lots of which one is yet undeveloped and in the same ownership as the subject property.



View of subject property from the south.

Looking toward the subject property from partway along Mint Springs Lane. The house on the right is 505 North Street, the lane occupies a private access easement over this lot. The left side gable of the subject property is just visible beyond.



*Entrance to
Mint Springs
Lane from North
Street*



Looking south from driveway of 1 Mint Springs

Vehicles are parked on Mint Springs Lane; North Street is out of view beyond. 3 Mint Springs is half-hidden center left, 505 North Street center right. The new garage will be just to the left of this viewpoint.

Proposed changes to the property in this application

1. New garage

A single-bay 354 s.f. garage will be added at the south west corner of the home at a scale proportionate to the home's existing front elevation. The grades on the existing asphalt driveway along this side are such that the floor of the garage will be set about six inches below the interior finished floor level. This sets the peak of the garage gable slightly lower than the adjoining original front gable while matching it in width and roof slope.

2. Front Porch and connecting walkway

The pergola over the area of patio between the front gables will be removed and replaced by a permanent shingled roof with an elevated central portion having a hipped roof of standing seam metal. This elevation will give emphasis to the preferred main door of the home (there are currently three doors facing Mint Spring Lane) and optimize daylight entry to the interior. The level of the patio below the roofed area will be raised to just below the front door threshold and finished with mortared flagstone. The rest of the existing brick patio will remain undisturbed. A connecting ramped walk will lead from this porch to the side door of the garage and this will be covered with a hipped wraparound shingle roof to provide all-weather step-free access to the interior of the home.

3. Rear Porch & decks

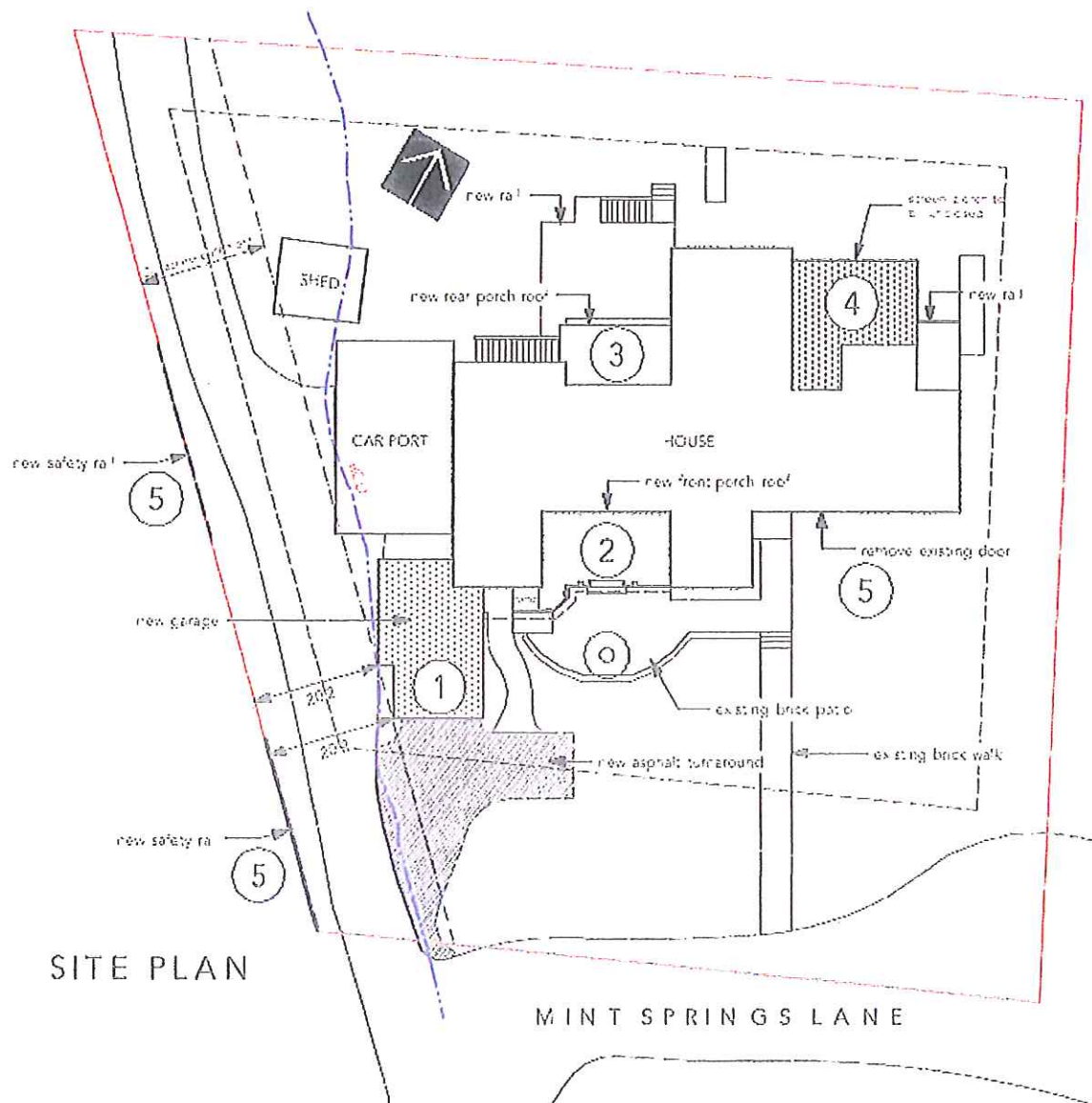
The existing pergola will be removed and a new permanent shingled roof constructed at a smaller scale over part of the deck. The exterior stair to the basement-level carport will be left uncovered. The existing deck structure will be retained but the existing wooden rail will be replaced with a metal stanchion and wire system. This has been chosen to require minimal maintenance and to open up downhill views into the landscaped lower area of the lot. The same rail system will be used to replace the decaying wooden rail on the small deck and stair area at the northeast corner of the building. These rails will not be visible from any part of the public street.

4. Conversion of Screen Porch to Sun Room

The screen porch at the northeast corner will be weatherized with new windows fitted to the existing post structure and the lower parts of the perimeter wall will be insulated and externally faced with siding. This will add 294 s.f. to the first floor conditioned space bringing the total to 2,610 s.f.

5. Other items

An existing exterior door pair at the east side of the front elevation will be removed and the opening seamlessly filled with siding to match existing. Sections of pressure- treated wood safety rail will be installed along the western edge of the property to prevent turning vehicles falling into the ravine.



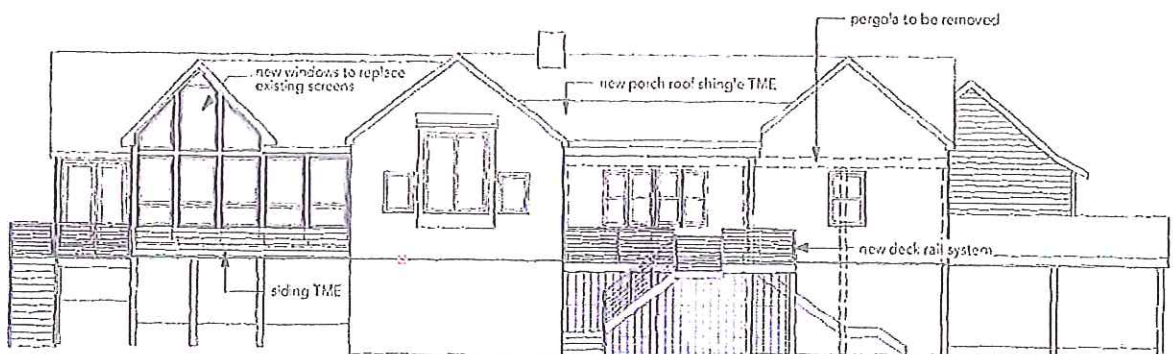
Front elevation (south)



Side Elevation (west)



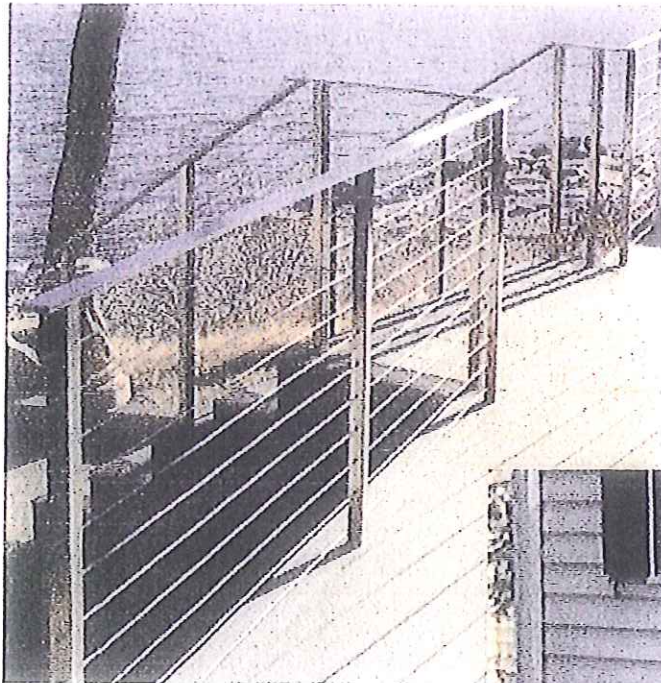
Rear elevation (north)



Note: larger scale versions of these drawings are separately attached.

Materials

Most materials including asphalt roof shingles, lap siding and trim details on new construction will match those already existing on the subject property. Flagstone to be used to surface the front porch and walk will be similar to an existing flagstone walk which will be removed to make way for the new garage. New materials to be introduced to the property are listed below.



Proposed rear deck rail.

Stainless steel wire in polished aluminum frame. This rail will not be visible from any part of the public street or the Mint Springs Lane private right of way.

Proposed front porch rail.
Painted steel front porch rail typical of many found in nearby historic district properties





Standing seam metal roof.
This porch roof is on East Rosemary Street, many similar examples abound throughout the historic district

Safety rail

A low wooden rail approximately 24" high will protect turning vehicles from the steep drop off beside the driveway.



HDC Design Guidelines Checklist

- **SETTING** - proposals are compatible with guidelines. The garage and porch additions are consistent in form, scale and proportion with the existing home and with the surrounding structures and streetscape.
- **SITE FEATURES AND PLANTING** - major trees adjacent to the work area will be protected and disturbed minor plantings will be relocated on site
- **ARCHEOLOGY** - N/A
- **PUBLIC R.O.W.** - There is no public right of way on the site. A private access easement along the side of the property will be maintained.
- **WALLS & FENCES** - New metal porch rails at the front of the property are consistent with a simple pattern common in the neighborhood. New deck rails at the rear of the property will be contemporary in style. A low vehicular safety rail will be installed along the ravine edge, this will be unpainted pressure-treated wood appropriate to the woodland setting.
- **WALKWAYS, DRIVEWAYS, OFFSTREET PARKING** - New surfaces will all be in accordance with the design guidelines. New walkways will be flagstone. New driveway access to the garage and turnaround will extend the existing asphalt.
- **GARAGES AND ACCESSORY STRUCTURES** - The new single-bay garage will be consistent with the style, period and proportion of the home in accordance with the design guidelines.
- **EXTERIOR LIGHTING** - New exterior lighting will consist of low unobtrusive fixtures along the walkway and ceiling mounted porch lighting consistent with the design guidelines.
- **SIGNAGE** - N/A
- **MASONRY** - The brick foundation wall to the garage will be similar to that on the existing house and in accordance with the design guidelines.
- **WOOD** - Wood columns supporting the roof of the front walkway and porch will be traditionally trimmed and painted and in accordance with the design guidelines
- **ARCHITECTURAL METALS** - new metal rails and roof are compatible with guidelines

- **PAINT & EXTERIOR COLOR** - New siding and trim will match that of the existing home in accordance with the design guidelines.
- **ROOFS** - new asphalt shingle and standing seam metal roofs are compatible with guidelines
- **EXTERIOR WALLS** - new windows are consistent with the existing building and compatible with guidelines
- **WINDOWS AND DOORS** - new garage windows and doors are consistent with the style of the home and compatible with guidelines
- **PORCHES ENTRANCES AND BALCONIES** - New front and rear porch treatments are compatible with the original style of the home. The pergolas which they replace are not original and as best we can tell were added within the last twenty years. The screen porch at the rear, also not original to the house, will be enclosed with a window pattern that conforms to the existing post layout as recommended by the design guidelines.
- **STOREFRONTS** - N/A
- **ACCESSIBILITY AND LIFE SAFETY** - The major intent of the garage and front porch addition is to create step free access to the home. The addition of a wooden rail at the side of the driveway at the ravine edge is to avoid accidents during a vehicle turning manoeuver especially during icy weather.
- **UTILITIES ETC** - N/A
- **NEW CONSTRUCTION** - N/A
- **ADDITIONS** - The garage and porch roof additions are compatible with the scale, materials, proportions and details of the original building.
- **DECKS** - No new decks or changes to existing decks are proposed other than the replacement of decayed railings as previously noted.
- **RELOCATION** - N/A
- **DEMOLITION** - N/A

Unofficial Property Record Card - Orange County, NC

General Property Data

Parcel ID	9700592423	Property Location	1 MINT SPRINGS LN
Property Owner	FERRIS WILLIAM R	Property Use	
	FERRIS MARCIE C	Most Recent Sale Date	3/4/2007
Mailing Address	1 MINT SPRINGS LANE	Legal Reference	2526/454
		Grantor	EMMERSON
City	CHAPEL HILL	Sale Price	\$50,000
State	NC	Land Area	0.42 AC
Zipcode	27514		

Current Property Assessment

Card 1 Value	Building Value	260,400	Other Features Value	3,500	Land Value	30,000	Total Value	643,900
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Building Description

Building Style	Single Fam	Foundation Type	1 1/4 Basement	Heating Type	Combo HAA
# of Living Units	1	Roof Structure	Gable	Heating Fuel	N/A
Year Built	1942	Roof Cover	Shingle	Air Conditioning	100%
Finished Area (SF)	2473	Siding	Frame	# of Bsmt Garages	0
Full Baths	4	1/2 Baths	1	3/4 Baths	0
# of Other Fixtures	0				

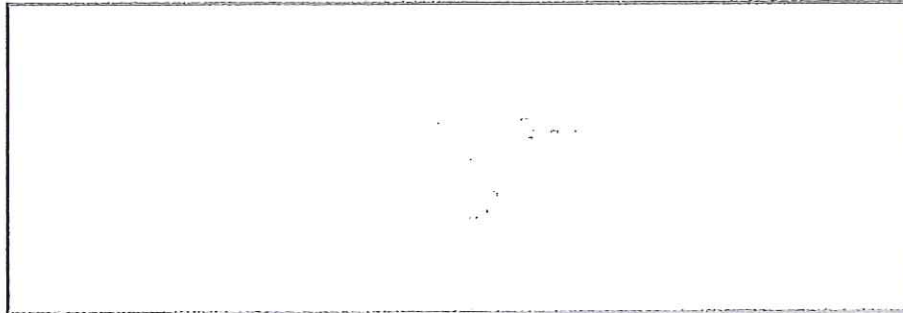
Legal Description

#1 EMMERSON & DAVIS P80/116

Narrative Description of Property

This property contains 0.42 AC of land mainly classified as with a(n) Single Fam style building, built about 1942, having a finished area of 2473 square feet, with Frame exterior and Shingle roof cover, with 1 unit(s).

Property Sketch



Disclaimer: This information is believed to be correct, but is subject to change and is not warranted.

An entry for this property is not found in the National Register for Historic Places

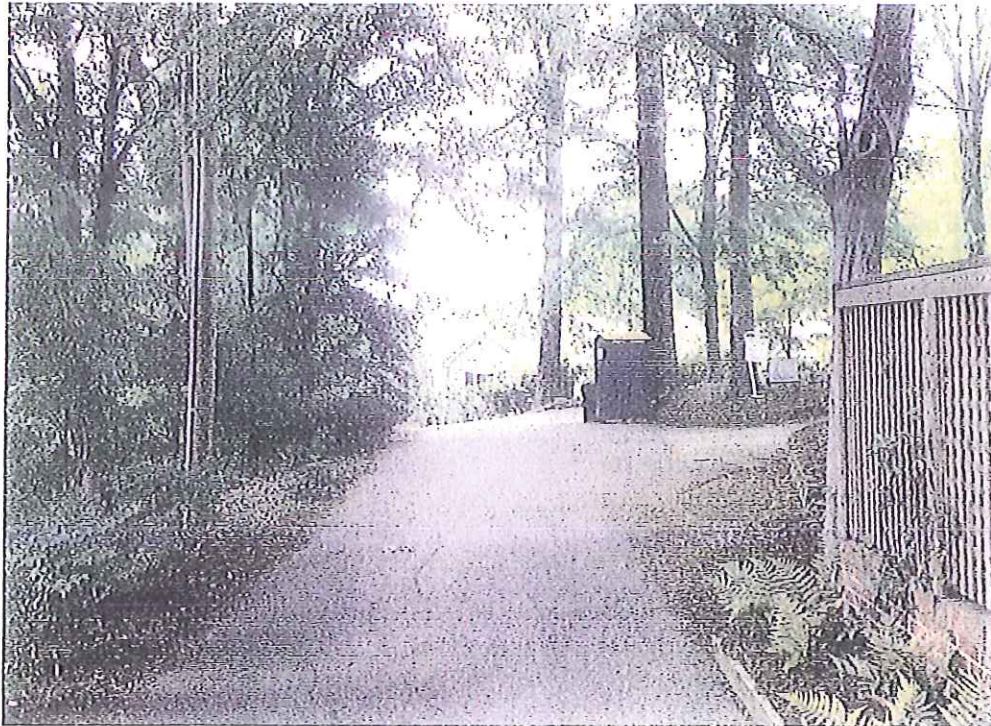
1 Mint Springs Lane

COA application for garage & porch construction etc.

Supplemental photographs - existing condition



The approach on Mint Springs



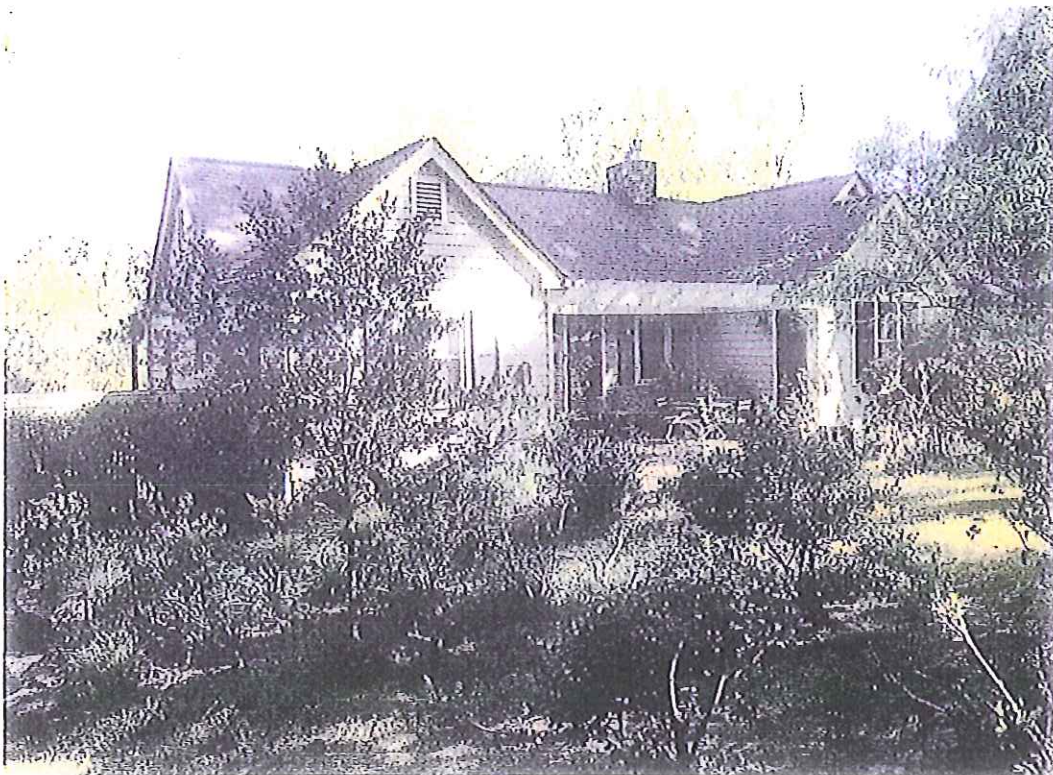
The approach on Mint Springs



Rear of property, screen porch etc.



Side view & garage site



Mail after recording to Grantee.

2/5/02, 4:00 PM

ORANGE COUNTY, NC

02-04-2002

\$1700.00

This instrument was prepared by:

Fred B. Emmerson, Jr.
Suite 200
976 Airport Road
The Cornerstone Building
Chapel Hill, North Carolina 27514

NOTARY
PUBLIC
CAROLINE
J. HARRIS
1/1/02

Real Estate
Folio 12

Tax Lot No.:	7.79.B.6 (Lot 1)	7.79.B.6F (Lot 3)
Parcel Identifier No.:	9788-59-2423 (Lot 1)	9788-59-1412 (Lot 3)

MAK

NORTH CAROLINA GENERAL WARRANTY DEED

STATE OF NORTH CAROLINA

COUNTY OF ORANGE

THIS DEED, made and entered into this the 26th day of February, 2002, by and between Fred B. Emmerson, Jr. and wife, Lucy Carol Davis (hereinafter referred to as the "Grantor"), and William R. Ferris and wife, Marcie C. Ferris, having a mailing address of #1 Mint Springs Lane, Chapel Hill, NC 27514 (hereinafter referred to as the "Grantee"). The designation Grantor and Grantee as used herein shall include said parties, their heirs, successors and assigns, and shall include singular, plural, masculine, feminine or neuter as required by context.

WITNESSETH:

THAT the said Grantor, for a valuable consideration paid by the Grantee, the receipt of which is hereby acknowledged, has and by these presents does grant, bargain, sell and convey unto the Grantee in fee simple, all those certain lots or parcels of land situated in the City of Chapel Hill, Chapel Hill Township, Orange County, North Carolina, which is more particularly described as follows:

All of that real property designated as "Lot 1 and Lot 3," as shown on that plat of a recombination survey by Dale D. Faulkner, R.L.S., entitled "Final Plat - Property of Fred B. Emmerson and wife, Lucy Carol Davis," dated October 28, 1997, and revised November 3, 1997, and February 11, 1998, and recorded in Plat Book 80, Page 116, Orange County Registry, together with certain nonexclusive appurtenant easements over the private drives and roadways as more particularly described in that document entitled "Declaration of Easements and Provisions for Private Road Maintenance" which is recorded in Book 1721, Page 474, Orange County Registry. The aforementioned real property hereinafter is referred to as the "Lots" and is described on the Orange County tax records as indicated above.

TO HAVE AND TO HOLD the aforesaid lots or parcels of land and all privileges and appurtenances thereunto belonging to the Grantee in fee simple.

And the Grantor covenants with the Grantee that Grantor is seized of the premises in fee simple, has the right to convey the same in fee simple, that title is marketable and free and clear of all encumbrances, and that Grantor will warrant and defend the title against the lawful claims of all persons

EC02526 111 455

whomsoever, except for the exceptions hereinafter stated. Title to the property hereinabove described is subject to the following exceptions:

1. Ad valorem property taxes for the year 2002 and subsequent years, and
3. Restrictive covenants, easements and rights of way of record.

IN WITNESS WHEREOF, the Grantors have hereunto set their hands and seals, this the day and year first above written.

GRANTOR:

Fred B. Emmerson, Jr. (SEAL)
Fred B. Emmerson, Jr.
Lucy Carol Davis (SEAL)
Lucy Carol Davis

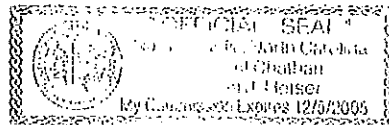
STATE OF NORTH CAROLINA

COUNTY OF CHATHAM

I, Martha J. Heiser, a Notary Public in and for said County and State, do hereby certify that Fred B. Emmerson, Jr. and wife, Lucy Carol Davis, personally appeared before me this day and acknowledged the due execution of the foregoing instrument. Witness my hand and notarial seal, this the 26th day of February, 2002.

Martha J. Heiser
Notary Public

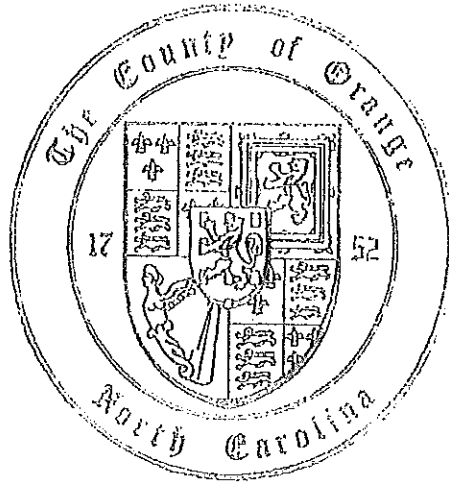
My commission expires 12/5/05



The foregoing certificate of _____ is certified to be correct.
This instrument and this certificate are duly registered
shown on the first page hereof.

Joyc
Reg

By:



Joyce H. Pearson
Register of Deeds
Orange County
North Carolina

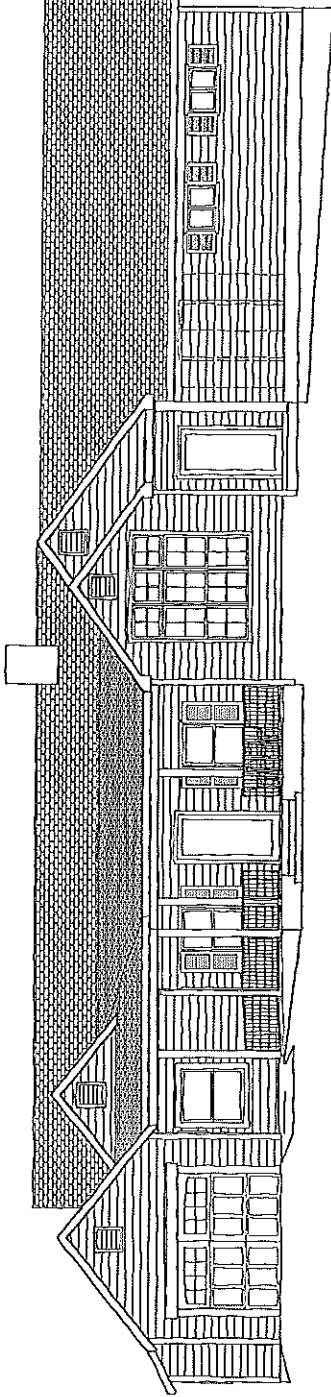
State of North Carolina, County of Orange

The foregoing certificate/s of Martha J. Heiser, Notary/Notaries Public for the Designated Governmental units is/are certified to be correct. See filing certificate herein.

This day March 4, 2002

JOYCE H. PEARSON, REGISTER OF DEEDS By: _____

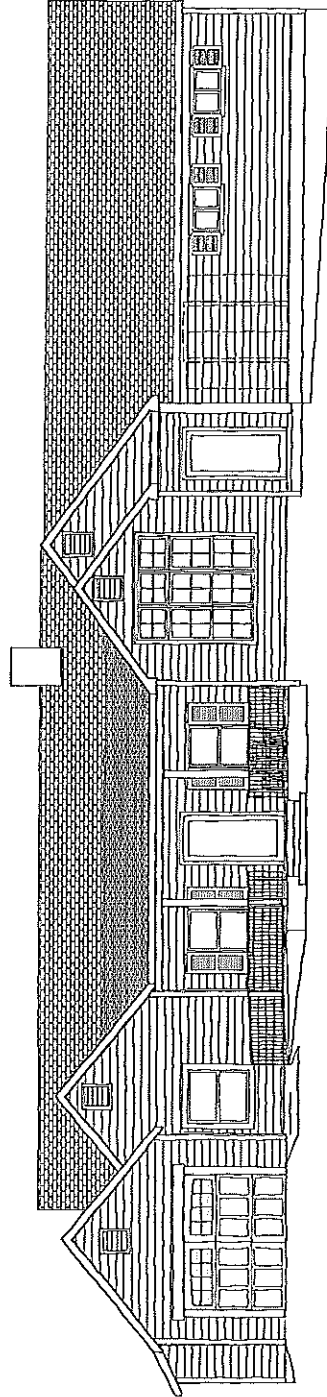
Deputy/Assistant Register of Deeds



SOUTH ELEVATION - OPTION 1

(PREFERRED OPTION)

- echoes the major/minor gable pattern of the dining room and side entrance
- provides the convenience of covered access from house to garage
- enhances the visitor entry path



SOUTH ELEVATION - OPTION 2

Shown with connecting wraparound porch roof removed

9/24/18
PRELIMINARY
sheet # 153
ELEVATIONS - PROPOSED

BellaDomus
the art of home

BELLADOMUS RESIDENTIAL DESIGN STUDIO
919 952-7525
www.belladomus.com

garage, porch etc. for bill & marcie ferris
1 mint springs lane chapel hill

ferris 3-3-vvwx

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3. Transcript of June 12, 2018 Historic District Commission Meeting

**Brown & Bunch
Chapel Hill Historic District Commission
June 12, 2018 Meeting
1 Mint Springs**

Panel and Staff:

Epting: Robert Epting, Chair
Kyser: Kimberly Kyser, Vice Chair
Sweet: John Sweet, Deputy Vice Chair
Carbrey: Craig Carbrey
Vogler: Mary Francis Vogler
Murphy: Sean Murphy

Applicant's Witnesses:

Morgan: James Morgan

M/F: Male/Female Speaker

[BEGIN TRANSCRIPT AT 00:58:30]

Epting: I think we have one item of new business. That is the 1 Mint Springs application for certificate of appropriateness.

[INAUDIBLE]

Epting: Yes, sir. State your name and tell us whether you were sworn or not.

Morgan: I am James Morgan, designer of this project, and I have been sworn in.

Epting: Thank you.

Morgan: So, 1 Mint Springs Lane is across the street from the—if you call it a street—kind of a little byway—from the project you looked at earlier, and this. Okay [ph]. Here it is. So, this is the earlier [ph] project. This is our project. You can see that Mint Springs comes down here from North Street and takes a sharp right here, between the two properties. It's a private right-of-way, serving just a few properties in this area.

In the Rosemary-Franklin Historic District, set back from North Street on a private lane. Originally built in 1942. It's a small, unpretentious cottage and has been extended a couple of times. A large kitchen addition at the back, dining room addition at the front, and a screened porch addition at the back. And it has some partial basement areas with—that are utility areas, basically.

And this is the turning of Mint Springs Lane off of North Street. And this is looking towards the property from about halfway down the lane, and—how do I click it forward? There we go. And you can just see the left-hand gable of the property from about halfway down the lane. You can't even see it from the street.

So, this is the existing front of the building, and there is a brick walk down from Mint Springs Lane, and several steps, and a long slope, and the space between the two front gables here has an open pergola spanning across between it. And this is the dining room addition, which, I think, dates from the early 2000s. And the other additions are not visible in this. The gable on the left there is original.

A major focus of this addition is to improve homeowner access. The—Dr. Bill Ferris, Dr. Marcie Ferris are long-term members of the academic and town community, and they would like to stay in this house in their advancing years. And currently, the—there's a—the access to the house is difficult. You saw the brick walk going down. It's a long way from Mint Springs Lane. The parking access is down below at the lower level here, and this is the—these are the steps up to the main floor of the house. So the driver for this whole project was to improve accessibility and safety in this area.

So, there are various components to this application, and they're numbered here on this site plan. Area Number 1 is the garage addition, which would be at main floor level—actually, set about six inches below main floor level. That will connect with the main entrance of the house via a new roof over the—where the pergola is currently, between the two gables. So this will be a roofed connection, an open porch to the main entry of the house. That's Item 2 on your list.

Number 3 on the list, there's another pergola out the back, covering a part of the deck. We want to replace that with a shed roof. It will be reduced in area from the current pergola.

Item 4 is—this is the screened porch area at the back, and the proposal is to replace the screens with windows, which will follow the existing structure of the screened porch. They will be custom-fit to the structure of the screened porch, and that will become conditioned space. And also, along the back here—can't really read at this scale—we are proposing to replace existing deck rails, which are deteriorating, with a new metal rail system.

Then, Item 5 is a hodgepodge. We want to remove a door along the front elevation here, which is confusing. Currently, there are three doors facing Mint Springs Lane, and we'd like to reduce that to two to reduce confusion. And that will—the door will be removed and it will be replaced with siding to match what is there.

The other element of Item 5 is this is a very steep drop-off on this side of—this driveway is a right-of-way to a house in behind here. There is a very steep drop-off in behind on the side of there, and we'd like to put in some safety

rails, which would be a low pressure-treated wood rail, standing about two feet high, just to prevent a vehicle rolling over the side.

And so that's the scope of the work. Here's the proposed south elevation. You can see the garage on the left there. It's a—it matches in width and height the original west side gable, and it's actually set a little bit lower than the west side gable and will not—so as not to dominate the elevation. Down below here you see the existing front elevation.

So, we're bringing in a shed roof over the space between the gables to form an open front porch, a welcoming entry, also a sheltered entry from the garage. And there is a continuous sheltered path from the side door to the garage to the main door of the house.

And this is the—this is a sketch of the approximate footprint in relation to the house. One thing that we've taken care of is that the—so this is an original bedroom of the house right behind here. It's still in its existing—its original shape, and the exist—the original window openings will remain in this situation. So we've offset the garage in such a way that both from the—of the original windows of this room are preserved and maintained.

And side elevation, on the west side here, this is the garage, as the driveway goes on down through here. This is the carport. And the rear elevation. We've got the new rails along the decks here, and this is the screened porch with windows to enclose it, fitting—custom-fit to the post openings of the screened porch.

Materials, the new construction. Apart from the roofs, the new construction is going to be siding, trim, and shingles, all to match the existing.

There are no rails on the front of the porch area at present. We plan to introduce them. They are not required for code purposes, but the—but purely to define the space. And those rails will be black painted metal rails as you see throughout the historic district.

On the rear elevation, the homeowners would like a low-maintenance rail, which will allow them to enjoy the back deck with views to the gardens below. And they've spent a lot of energy on creating a beautiful garden space in back, and this is our proposal. Obviously, this is not an historic rail, but it's entirely shielded from the road by the building itself, and it's not visible from adjoining lots either.

And we've got a standing seam metal roof, a small area of standing seam metal roof on the front elevation. I can switch back to that, if you like. Before we do that, this is an impression of the wooden rails—safety rail—to prevent vehicles sliding off the edge. It is a very steep drop-off.

And the rest of the presentation is item by item, on the design guidelines checklist. I don't know if you want me to go through that. [INDISCERNIBLE]

Epting: I think you should go through that.

Morgan: Okay. Setting the garage and porch additions in consistent in form, scale, and proportion with the existing home and with the surrounding structures and streetscape.

Major site features. Major trees adjacent to the work area will be protected. Disturbed minor plantings will be relocated on the site. No archaeology that we are aware of on the site.

Public right-of-way. There is no public right-of-way on the site. There is a private access easement along the side of the property, which will be maintained throughout construction and afterwards.

Walls and fences. New metal porch rails up front of the property consistent with the simple pattern common in the neighborhood. New deck rails at the rear of the property are contemporary in style. A low vehicular safety rail will be installed along the ravine edge. This will be unpainted, pressure-treated wood appropriate to the woodland setting.

Walkways, driveways, off-street parking. New surfaces will all be in accordance with the design guidelines. New walkways will be flagstone. The mortared flagstone of existing pathway in the location of the garage, which, obviously, will be taken off—taken up, but the—it—there will be a new walkway along the side of the garage which will be flagstone, irregular [ph] flagstone. New driveway access to the garage and turnaround will extend the existing asphalt. New single-bay garage will be consistent in style, period, and proportion of the home in accordance with the design guidelines.

Epting: Mr. Morgan, could you pull the microphone back towards you just a little bit?
Thank you. It's difficult to hear you.

Morgan: Okay. The new single-bay garage will be consistent with the style, period, and proportion of the home in accordance with the design guidelines.

New exterior lighting will consist of low, unobtrusive fixtures along the walkway, ceiling-mounted porch light, and consistent with the design guidelines.

The masonry. The brick—there's no signage. The brick foundation wall to the garage will be similar to that on the existing house, and in accordance with the design guidelines.

Wood. Wood columns supporting the roof of the front walkway and porch will be traditionally trimmed and painted in accordance with the design guidelines.

Architectural metals. New metal rails and roof are compatible with the guidelines.

Paint and exterior color. New siding and trim will match that of the existing home, in accordance with the design guidelines.

Roofs. New asphalt shingle and standing seam metal roofs are compatible with the guidelines.

Exterior walls. New windows are consistent with the existing building and compatible with the guidelines.

Windows and doors. New garage windows and doors are consistent with the style of the home and compatible with the guidelines.

Porches, entrance, and balcony. New front and rear porch treatments are compatible with the original style of the home. The pergolas which they replace are not original as best we can tell, were added within the last 20 years. The screen porch at the rear, also not original to the house, will be enclosed with a

window pattern that conforms to the existing post layout as recommended by the guidelines. No storefronts [ph].

Accessibility and life safety. The major intent of the garage and front porch addition is to create step-free access to the home. This is not—this is a convenience feature, but it's also an important safety feature as the homeowners plan to age in place in the home. The addition of a wooden rail at the side of the driveway at the ravine edge is a safety feature to avoid accidents during vehicle turning maneuver, especially during icy weather.

No change to utilities. It's not new construction.

Additions. The garage and porch roof additions are compatible with the scale, materials, proportions, and details of the original building.

Decks. No new decks or changes to existing decks are proposed, other than the replacement of decayed railings as previously noted.

I want to go back to this slide. The elevation shows a standing seam roof—metal roof—at the center of the porch. This is intended to draw attention to the front entrance, which the homeowners would prefer the—that visitors use. And it is elevated in order to allow light—daylight to come into the main living room of the house behind.

Epting: Are there questions of Mr. Morgan?

Sweet: I have two questions. One, I think you may have covered this, but I'm a little slow. So, could you remind us the history of the pergola that's currently above the front entrance?

Morgan: I believe it was added within the last 20 years. It's a—just an open pressure-treated lumber.

Sweet: And is there any evidence about whether there was a porch or any kind of rooflet there?

Morgan: No. There's no indication that there was any previous porch entry. It was a very plain building.

Sweet: And the entrance there is the original portion of the house that the front door and the—the central front door and the two windows flanking it are part of the original 1942 structure?

Morgan: That's correct. Yeah. All these windows [ph]. The windows have been replaced. I think it is probable they were originally divided-light windows, but they've been replaced with insulated glass units some years ago. I don't know when.

Sweet: All right. And I was curious about the—if you could just bring us back to the photograph that showed the current carport and talk about the plans for the current carport?

Morgan: Okay. So, the carport, I think that was installed, maybe, 15 years ago or so. And there's no plan to change it. It will still be there. The new garage will house one vehicle. They will keep another vehicle down there. But the coming and going will be from the new garage.

Sweet: So, just to—so what you're showing here is the rear of the carport with the staircase up to the back of the house?

Morgan: Right. Now, so—

Sweet: On the left? Is that right?

Morgan: So, this is the driveway going down to the house beyond. The carport entrance from the side, if we imagine ourselves going down here and looking in here, yeah, this is—

Sweet: And the cars load into the carport from the right-of-way along the—

Morgan: That's correct.

Sweet: —west side, north side of the property?

Morgan: Yeah, it's a side entry.

Sweet: I see. Thank you.

Kyser: I visited this site today on foot, and also the other one, Number 3, Mint Springs, and I was struck by the sudden drop in the grade after the carport situation, so I see that that's, you know, as time goes on, that's a pretty treacherous situation as one ages.

Morgan: Yeah. This goes down pretty steeply here—

Kyser: Yeah.

Morgan: —and it falls away to the side.

Kyser: Go back to that picture. Back to what we were looking at.

Morgan: Yeah.

Kyser: So, you will attach the new garage to the pergola, or?

Morgan: No, the garage is not attached to anything except the corner of the house there.

Kyser: So you'll do away with the planting section that's in the picture?

Morgan: That's correct.

Kyser: Yeah.

Morgan: Yeah. The garage comes out pretty much to cover that. It comes out pretty close to the edge of the driveway that you see. There may be—currently, there is a kind of—there is a vehicle pull-in here you can see. And the—

Kyser: Next to the garbage cans and things?

Morgan: Yeah, that's right. And there is the potential for taking up some of the blacktop there and reinstating some planting, because the vehicle space there will have a new vehicle pull-in as part of the—

Kyser: So the garage will sit pretty far forward on the building? In front of the building?

Morgan: Yeah.

Kyser: Yeah. Okay. Thank you.

Morgan: So, we've got the new—a new parking pull-in here, and it's possible that some of this blacktop will be taken up and it will be disturbed by the foundation of the—by the construction of the new foundation and going back with some planting dirt and relocation of some of the plants that are in this area would make sense.

Epting: Mary Francis?

Vogler: I do have a question, and it concerns Item 5 on your slide, which is the removal of the third front door.

Morgan: Yeah.

Vogler: And I believe that in presenting that, you said it would be replaced with siding, but here it is replaced with another window.

Morgan: No. Okay. So, actually, this—so this is the current front door here.

Vogler: The existing. Yes.

Morgan: There's actually shutters beside it, which, I apologize, this is not real clear. So, this is where that door currently is, and it will be just siding all the way through.

Vogler: Well, that's what I understood. I was just trying to explain the picture to myself.

[LAUGHTER]

Morgan: Yeah. I apologize it's not terribly clear.

Vogler: And—okay.

Morgan: Yeah, it's kind of hidden from this view back down here. It's not a very conspicuous part. You see it when you come down the walkway here. And there's a door right in front of you, and there's a door over here, and there's a door over here. We want to reduce that confusion.

Epting: Other questions down there on that end? Okay.

Vogler: I see the utility of having the elevated roof over the front door—the original front door. Can you help me out with—can you justify this roof which has something of an oriental or Asian quality partly [ph] to it. It's most—

Morgan: Well, it's—obviously, many of the houses in this neighborhood are very eclectic and there's many examples of different stylistic influences. It's obviously not the original style of the house. But there's a kind of weird anomaly in the design guidelines in that the—right at the beginning, it talks about the National Parks Services recommendation that additions should not try to pretend that they are original. That, if we are talking about history, that the history should be legible in the different additions. And so, the—this window, for example, is nothing like anything on the house that was there originally. And the vaulted dining room in behind that it gives light to.

So, there's already a kind of the—and the screened porch, the form of the screened porch looks like a '70s A-frame. There is an eclectic [ph] pattern here with each period contributing something a little different. And while the garage is very much in the original pattern, we didn't feel it is out of—contextual to have a slightly different emphasis for the—for that key front porch. And as I say, there's a strong functional foot. Also, the view from there is uphill and we don't—we wanted to kind of open the view from the front door up into the sky. They have a very beautiful front yard. They're looking forward to sitting out there. They do now, but the rain comes in there, and it's not shady, and they're looking forward to enjoying that space. So we wanted it to be light and open. And so it's a performance issue, but I'd say it's not unsympathetic to the way the house has developed over the years.

Kyser: And I'm asking of you, and perhaps of my fellow commissioners, is there something in the guidelines that talks about intensifying the eclecticism of an already added-on house? And what I mean by that is, there is something about that roofline and the height of this stoop that is sort of jarring. So we have a 1942, sort of cottage style, wouldn't you say?

Morgan: Oh, yeah.

Kyser: Yeah. This—

Morgan: And, you know, like Topsy, it has grown [ph]. And this is, we feel, an appropriate continuation of that growth.

Kyser: In my opinion, that is not a continuation of that growth. It's incongruous with the—even the efforts to be—for the window you say is not at all new to the

house, the big picture window thing, at least it has some references to other styles that are in the district that have paned windows that are somewhat like that. Did you think about lowering that roofline?

Morgan: Well, the homeowners got very attached to the idea of it being bright and open and it contributing to a brighter interior, so I wouldn't be terribly excited about it.

Epting: It would be the brightest and most open if it weren't there at all, wouldn't it?

Morgan: Oh, yes, indeed. The—what is driving this is the—is having a dry connection. Rather than punch through the wall of the original house and take a hallway through an original bedroom, we took the strategy of making an exterior connection which was, nevertheless, dry and protected. And that is what's driving this whole process here.

Epting: Well, I agree with your assertion that the house has grown hodgepodge, but I have to say that it strikes me that your proposal would make it “hodge-podge-podge.”

You're just adding more podge to the hodge, it seems to me.

[LAUGHTER]

M: And I would agree [ph].

Epting: I find it to be incongruous with the character of the house and with the character of the district. I don't know if you heard me say last time, but I spent one of my years in law school living in Mrs. Thomas's basement at the top of Mint Springs. She owned the house at the corner of Mint Springs and North Street. And so I knew that house very well when it was original. And my memory of the house is before it had that big window on it, that you say they put an elevated dining room behind.

I'm curious, though—excuse me for spewing; most of what I just said probably doesn't make much difference. But I am curious about the tremendous drop under the—what is proposed to be the new garage. I assume that you are going to set that garage on a foundation rather than on a fill [ph]. Is that right? With that tremendous drop—continue to exist on the same angle that it's there now [ph].

Morgan: Oh, it—yeah, yeah. It will have a full foundation wall and then it will be filled with washed stone before the garage slab is poured. Yeah.

Epting: Or the floor of the garage.

Morgan: Yeah. So, it will be a—

Epting: I guess I am not understanding, there doesn't the—is the front area of the garage, where the garage—proposed garage door is—yeah, I mean, you can see there is a tremendous amount of drop there that is going to have to be filled or the garage is going to have to be set on a—

Murphy: Is that just an exposed foundation wall?

Epting: —foundation wall. What's going to hold the garage floor up?

Morgan: So, there will be a washed stone fill. They'll start by excavating the area and getting down to bearing dirt. They'll build a foundation wall around the perimeter and they'll fill it with washed stone and pour the slab on that. It's standard construction.

Epting: Is that fill going to come up to garage floor level?

Morgan: It'll—up till four inches below it, yeah.

Epting: Okay. All right [ph].

Morgan: And—

Epting: So that's, I guess, the question I was—I had. That's going to be quite a bit of fill.

Morgan: The height of the wall—this is a bit misleading. The height of the wall at the back here is going to be about four, four-and-a-half feet at the tallest, which will mean it will have to be a reinforced wall with that much under-strength [ph], unbalance fill. But it's all standard construction. There's nothing special about it. And the—we won't be able to match the brick exactly, but it will be, to all intents and purposes, a—[OVERLAPPING]

Kyser: I am going to jump in and ask—interrupt you and ask the question that Sean was trying to ask [LAUGHS]. Is that going to be exposed foundation on the side?

Morgan: It will be brick.

Kyser: It will be brick?

Morgan: Yeah.

Kyser: Is that what you were trying to ask?

Murphy: Yeah. I think the garage, in particular, to me, is sort of the next generation of inconsistent addition to the structure. It's the most forward-facing new portion of the house. It's not necessarily consistent in location with where a garage would typically be found on a property. I understand the practical location of it to get it up to the first floor, but to me, it's just not consistent with the character of the house, what character is left or has been established, or the district.

Morgan: Well, I'd have to disagree with you on that, but—

Epting: John?

Sweet: Are you familiar with the 1959 revision of the Sanborn maps for Chapel Hill?

Morgan: Of the which?

Sweet: 1959 Sanborn maps that shows this house?

Morgan: No.

Sweet: I mean, I think looking at the history of this house may be helpful. I'm looking here at a scan of the 1959 correction of the Sanborn maps, and it shows, you know, a pretty substantial house, one story, with the garage—they used "A" as the abbreviation for "auto house." And auto house is their word for garage. But it shows "A" and "B," which means the car parking was in the basement of the house as of '59. As I look at it, I don't—I'm not sure I see a portico, but it's possible that what—there seems to be a little feature that could be a portico. Anyway, I just—since I'm looking at that, I wanted to share what I'm seeing, on that end [ph].

Morgan: Yeah, there is an old garage door in the back of the carport that the—it's hard to see where a vehicle would have parked in there, because it's just a dirt cellar, basically. I mean, I guess you could have slid a car in there, but it's pretty much taken up with mechanical stuff right now.

Kyser: We've had an application at—is it 505 that's facing North Street, the yellow house—?

Morgan: Yeah.

Kyser: —for an elevator from side, lower side parking [ph].

Morgan: Right. I prepared that application.

Kyser: Yeah. It's not my job to suggest that kind of thing, but it could be a solution [ph].

Morgan: We actually considered an elevator at the beginning, but an elevator would have actually done a lot more damage to the original building in this case. On 505, there was already a garage—a real garage in at the basement level, and there was an enclosed porch at the first floor level and a—we made a small shed roof addition at the upper floor level to accommodate a three-level elevator. That is not—that was not feasible without really messing with the original house in a bad way.

Kyser: Well, it seems to me that an elevator shaft is a fairly small addition that could go to the back, and then you wouldn't—to Sean's point, the prominence of this garage and its placement is incongruous.

Epting: The problem for me is that you're—if it were built the way you've proposed it, you would have what is going to look like, from up towards North Street looking down, looking to the north. It's going to look like a garage with a house attached, instead of a house with a garage attached. It changes the whole character of the structure to stick the garage out there on the front edge. And I thought I remembered seeing—and I don't have the guidelines open to the right page—but I thought I remembered that we have specific guidelines about where garages should go on a residential lot.

Kyser: We do.

Sweet: We do.

Epting: And there's nothing at all that says we ought to put it out on the front of the house.

Kyser: Hold on. Garage, 55.

Sweet: Well, also, yeah, 20 to 21.

Kyser: Okay.

Epting: You took a good deal of pain to recite the features of the house, and at the end of each recitation, you put a comma and said, "Consistent with the guidelines," but you didn't say how each of those features were, in fact, consistent with specific provisions of the guidelines.

Morgan: Well, I—

Epting: And I don't know how you could do that with respect to where you propose to place the garage. I am sympathetic with the practical desire of the present owners to put the garage where you have proposed it, but I find it to be completely incongruous with the guideline—with the character of the district and the guidelines that say how we're supposed to protect the character of the district.

Morgan: Well, I think it would be worth giving consideration to the fact that Mint Springs Lane is not a public street and the visibility of this whole property from the public street is, essentially, nil. I point you to this slide, which shows—

Epting: Excuse me for interrupting you, but our guidelines don't say anywhere, "If you can't see it from the street, you can do whatever you want to."

Morgan: Actually, there were several references in the guidelines to variations from the recommended practice, which are—which can take place in elements—in areas that are not visible from the street.

Epting: Well, if so, perhaps you should recite those particular ones, instead of saying, comma, "consistent with the guidelines [ph]."

Morgan: Well, I think specifically this is mentioned in relation to fences. I am extrapolating that concept. But I think this is a very special circumstance. The fact is that, the—if we go back to basics, the historic district is to preserve the essential character of a neighborhood as perceived by the public as they walk around it, and obviously, it protects things like, rather like the neighborhood preservation districts prevents overbuilding and inappropriate scale and so on. But, the notion that this will negatively affect the ambience, the total ambience of the historic district to someone who is moving around it along the public thoroughfare is obviously not feasible.

Sweet: I want to say two things before we close the public hearing.

Epting: All right.

Sweet: And one is to reiterate my understanding of the law and of the guidelines is that the intention of the historic district is to preserve the special character of specific neighborhoods for the benefit of all visitors, occupants, residents, homeowners, not just viewers from an automobile on the public right-of-way. So, I understand there are places in the guidelines, for example, on enclosing porches, that emphasize the location of the porch under consideration to major views, but that is not—in my understanding, that's not an exclusive emphasis on—the character is embodied for the structure itself, for the neighboring properties and visitors as well as for people in the public right-of-way.

I would just—the thing I forgot to do earlier is to disclose that I, for many years—I teach in history with Bill Ferris. We arrived at Carolina at the same time. So I just wanted to disclose that I've been to the site and viewed it, and I

have a very warm, professional relationship with Bill and Marcie Ferris, the owners, and value them as neighbors. I don't think that compromises my ability to evaluate this application fairly.

Epting: Are there other questions of the applicant? Are there any other members of the public who wish [ph] to comment on this application? If not, is there a motion to close the public hearing?

Kyser: So moved.

Epting: Is there a second?

Carbrey: Second.

Epting: All in favor, say aye.

M/F: Aye.

Epting: All opposed, no. The public hearing is closed. Now, you may continue your remarks about the application.

Kyser: Well, I would like to cite page 55. Number 2, it says, "Minimize damage to the historic building," and this is with—pertains to garages. "Minimize damage to the historic building by constructing additions to be structurally self-supporting, where feasible, and attach them to the original building carefully to minimize the loss of the historic fabric. Limit size and scale of an addition to minimize its visual impact. It is not appropriate to introduce an addition if it will visually overpower the building or site and substantially alter the proportion of constructed area to unbuilt area on the site." It goes on for Number 4, and 5, and 6, and 7, that seem to contradict the positioning of this garage design.

I also have a problem with that front porch situation. It seems incongruous to the spirit of the house as it was and what is left of it, and just intensifies the randomness of design elements. I hope I said that right.

[INAUDIBLE]

Sweet: I would add that, I think, maybe, different elements of this application are—should be considered separately. The proposal to add wooden guard railings along the precipitous drop along the driveway seems to me a reasonable precaution, given the grading there and the safety issue. I don't see anything in the guidelines that precludes that or suggests that that would be inharmonious or inappropriate.

I think there's an issue about the screened porch and other features in the rear of the property. I do think that the changes to the front of the property are relevant to a series of areas in the design guidelines that are not included in the application or the staff report that I think are crucial. We haven't even really talked about the parking area in front, but the guidelines on page 19, Guideline Number 8, emphasizes the importance of new parking areas in places not visible from the street. That's a good example of a "visible from the street" issue.

The driveway should be—new parking areas shouldn't be in front of houses. They should be to the side or behind. That they should be visually screened. So that—I think that the front parking turnout, I think, is problematic.

I think the placement of the garage is addressed in the guidelines on pages 20 to 21 on garages, which emphasizes that the traditional location of garages is towards the rear. Certainly, if not at the rear of a property, behind the façade line.

That the traditional location is defined in the comments on page 20 and then, Guideline Number 7 on page 21 emphasizes using traditional locations for new garages. I think the garage itself is a good design. It's appropriate in scale and size for traditional garages in this neighborhood—in this district. So I think the garage itself is—could be compatible. It's the siting of the garage that, to me, is concerning.

I find the new porch in the front and the new rooves on the front problematic, in the extent to which they violate a series of guidelines that really emphasize in new construction that the emphasis is to retain the character, as much as possible, of the original structure and not to overwhelm the historic aspects—historic character of the site.

And in this case, it seems like the proposal is to largely cover over and superadd over most of the original—the existing [ph]—extant portion of the façade of that house, the 1942 façade of that house, which—and in a way that, to me, dramatically changes its character.

The question of removing the door and covering it with siding to the right of the house, the third front door, doesn't strike me as a major concern. So that strikes me as appropriate.

Epting: Other comments? Craig, this may be your last [ph].

Carbrey: That's right. [LAUGHTER] No pressure. I agree with the other comments about the porch. I guess, as I was looking at it, I was wondering, personally, if it could almost be just extensions of the pergola that created the new—just say we keep the garage there, for instance, separate pergolas that tie to the larger pergola, and

then you could either cover it with a section of flat roofs and even put skylights in it or something like that, if you're concerned with bringing light back deeper into the space near the entrance. But when I see the existing photos, I like how that pergola connects the gables and is just a very simple, understated roof. I agree with comments of fellow commissioners that the porch stepping up at such a high elevation definitely, I think, attracts unnecessary attention to the entrance. I know that's actually part of what was trying to be achieved with the design, but I prefer in its existing form as being more understated and simple. I think it could be a variation of that.

Related to the garage, I understand the comments that others have been making; I just wonder if there is a garage to be added to this site, where can it actually go, given the face—the fact that there's utility easement—or excuse me, an access easement on one side and then, everywhere else, you have a major drop-off that makes the purpose of having a garage on the same level as the main living area of the house kind of a difficult thing to achieve.

[INAUDIBLE]

Sweet: I would—sorry. I would request that we reopen the public hearing, briefly, because I would like to make an observation about evidence that—

Epting: Without objection, the public hearing is reopened then.

Sweet: All right. I just wanted to say that I am looking at the photograph from 1992 of the front of this property, which we recently scanned and are in the process of making more publicly available, which I could pass around or we could introduce in a future meeting.

Kyser: Wow.

Sweet: But it shows the house in 1992, pretty much where it was in 19—

Kyser: Can you put it up so we can see it? Up here. It's right here.

Sweet: Well, I don't know if this is the best method. I just wanted to disclose that I've seen a photograph of the house from 1992, and it influences how I think about this application.

Kyser: Huh. Can you see it?

Sweet: And it may be that we should make this evidence and the Sanborn map publicly available and come back to this matter at a future time.

Kyser: This one has that in the corner, too [ph].

M: Certainly, I'd like the applicant, to the extent he hasn't had a chance to see those, have an opportunity to come around and look, and make sure he's familiar with what you're talking [ph]—

Epting: Mr. Morgan, would you come up and have a look at what Commissioner Sweet is talking about? And then consider whether or not you might want to defer our action on this until a later meeting when we have considered [ph].

F: Did you see it—[OVERLAPPING]

Sweet: I just wanted [ph]—this is the 1959 version of the Sanborn map. It's difficult to access. You have to see that. I can make it available through Julie [ph]. But this shows the private drive and the original configuration of the house, which has this little extension here, and then a little bump there. And then it goes pretty far to the right, more than I thought it did.

M: Yeah, right.

Sweet: And the "A" and "B," one-story auto and basement. And I think the solid dot means, probably, a composite roof. That's the photo, which shows—I think what this is showing is, pretty much, the original configuration of that house; with this long addition—I mean, this long section, the little bump out here, the bigger bump out there, and the door in the middle with a little bit of an awning over the door.

Morgan: Right. But it's not visible currently. It's been resided, I'm sure.

[INAUDIBLE]

Sweet: So that's what I'm looking at. It helps me understand the history of the site and the original appearance of the structure.

Kyser: But I'd like to say to Craig's point that, you see the cover over the front door unifies those gables, and it's just in line with the roofline, and that just is much more in keeping with the cottage style. Do you agree, Craig?

Carbrey: Uh-huh.

Kyser: Yeah, that's what you're—I thought that was a good point.

Morgan: Yeah, that's not a gable. It's a hip [ph].

Kyser: Well, whatever, but it's unobtrusive [ph]. That.

Carbrey: I don't know if that's a—just a roof.

Kyser: It's an awning?

Carbrey: It looks like it's just the existing gable roof from that—

Sweet: That is a little awning.

Kyser: It's a little awning.

[OVERLAPPING—INDISCERNIBLE]

Sweet: Because the scalloped edge, very mid-century.

Kyser: Yeah.

Vogler: [OVERLAPPING] front door, because it kind of hits the front door.

Sweet: Anyway, I just wanted to make sure that that was available.

[INAUDIBLE]

Epting: If you are interested, I think we would be interested in your rethinking the proposal, in light of the discussion that you've heard tonight. This is not a matter that came to us for a courtesy review first, and so perhaps it would be appropriate to ponder whether or not there are changes that could be made to the application that would make it—

Morgan: We'd certainly be up for that.

Epting: Okay. I would prefer not to vote on it tonight, if we have your consent to that continuance to a later meeting.

Morgan: Certainly.

Epting: Okay.

Kyser: Is there a deadline?

Epting: Well, if there's no objection, then we will—

Kyser: Is there a deadline?

Epting: There is not a deadline for our considering this tonight.

Kyser: No, no. For his to coming back? Does he have to come back in a certain length of time?

Sweet: Yes, I think Julie [ph] can already make [OVERLAPPING] photograph available [ph].

Epting: Well, we'll let him come back when he's prepared to come back.

Sweet: I can—I'll forward the Sanborn map.

[OVERLAPPING—INDISCERNIBLE]

Kyser: No, but there's nothing else on stringent [ph] procedural things.

Epting: Mr. Morgan, could we expect to hear back from you within, say, 30 to 60 days?

Morgan: By when, sorry?

Epting: By 30 to 60 days?

Morgan: Oh, yes.

Epting: Would that be enough time?

Morgan: Yes.

Epting: Okay. Good. Just proceed through Julie Curry.

Morgan: Okay.

Epting: We will look forward to working with you down the road.

F: We don't need all this, right?

M: We don't know yet.

[INAUDIBLE]

[END TRANSCRIPT AT 01:53:00]

5. Transcript of July 17, 2018 Historic District Commission

**Brown & Bunch
Chapel Hill Historic District Commission
July 17, 2018 Meeting
1 Mint Springs**

Panel and Staff:

Epting: Robert Epting, Chair
Kyser: Kimberly Kyser, Vice Chair
Carbrey: Craig Carbrey
Smith: Susan Smith
Vogler: Mary Francis Vogler
Murphy: Sean Murphy
Locke: James Locke

Applicant's Witnesses:

Morgan: James Morgan
M. Ferris: Dr. Marcie Ferris, Homeowner
B. Ferris: Dr. Bill Ferris, Homeowner

M/F: Male/Female Speaker

[BEGIN TRANSCRIPT AT 00:35:30]

Epting: The next matter is with respect to revision, the COA for 1 Mint Spring. Is that—who's here to present with respect to that? Please come up.

Susan, I'm trying to get us out of here. That's why I suggested we didn't need to make a whole list.

Smith: Yeah. Just obvious and important, though. It's at the back.

[INAUDIBLE]

M: If it's from the southeast side, that means it's [OVERLAPPING] came from the northwest, it's headed southeast.

[INAUDIBLE]

F: Here's what it says on mine.

M: Okay.

F: Is it past [ph]?

M: It's about to pop up again.

F: Here's mine.

M: There it is right there. Yeah, it's going by on that side.

F: It's a good thing.

M: Yeah, it's a good thing.

Epting: Say your name and whether you've been sworn, please, sir.

Morgan: I am James Morgan. I have been sworn on this project.

Epting: Good. Mr. Morgan, proceed.

Morgan: So, we brought this to you awhile back, and you had some negative comments, and we've made some changes to it. The proposal is to add a garage to this dwelling, and a—and some—and a front porch to provide access from the garage into the house under cover, and this is in the interest of providing sheltered, level access into this home, which is otherwise unavailable.

The location of the property is on Mint Springs Lane. And if you are familiar with Mint Springs Lane, it's a private easement across three properties, giving access to four dwellings. There is a fifth lot that is accessed from Mint Springs Lane, it is—which is undeveloped, and it is in the ownership of the homeowners of 1 Mint Springs.

In preparing this design, we've paid attention to the overriding instructions in the introduction to the design guidelines that each property should be recognized as a physical record of its time, place, and use. We have not tried to create a false sense of historical development or added conjectural features. And

we've also taken care that all of the elements can be removed, leaving the property in its previous condition.

There was a—there were a number of comments in our previous presentation about the front elevation, and the changes we've made since then. You really didn't like the center feature of the front porch. We've deleted that. We've cut back the dimension of the front porch considerably, and we've adjusted the scale of the garage roof, and we reduced the projection of the garage. So those are the principal changes since the last presentation.

Detailed plan. You can see that the area of covered porch is now much closer to the house, so basically, it's a wraparound. So, this is—the black and white photograph is from 1992, I believe. This is a survey photograph when the historic district was established; I believe that's correct. And there have been a number of changes to the building since then.

First of all, that opening you see down towards the front door, that's no longer there. That's heavily overgrown with plantings.

The second thing you'll notice is that I couldn't take the photograph from the same location because the building is totally obscured from this location. Second thing you'll notice is that the dining room projection in the middle of the building there has been totally overridden by a major impact on the elevation, much deeper and more conspicuous projection there with a stepped gable and a composite window. You'll also notice a pergola has been added between the two front gables. This was all done in the late 1990s.

We are not in a position to even consider restoring the original dining room projection, but we would like to remove the pergola, which we feel is out of character with the original cottage. And so that is what is driving our present—excuse me—proposal. So, we've got here the front elevation and you can see the patterning that we're trying to achieve. And the three-dimensional view shows the wraparound porch leading back to the front door. And the—if I can go back to the plan, you can see the garage locks into the corner of the building, without affecting any of the existing features, the windows and so on, and can be removed without impacting the original structure.

Here is a model of how the building would look from the same perspective if the vegetation was not there, and it's just a general view. So, obviously, adding the garage adds some complexity to the roof plan. The design guidelines refer to the fact that complex roofs, which combine a variety of roof forms, are found throughout the historic district. Obviously, you'll recognize the example there, which is a very conspicuous and well-loved example of that feature.

We are adding some parking in front of the garage, and as you can see from this montage, that parking will be invisible from any portion of the street. Actually, I am going to correct myself. It is a private easement and not a street. The Land Use Ordinance defines a street as a right-of-way or easement greater than 20 feet in width. Mint Springs Lane is exactly 20 feet in width. So this is not—it's not a public street. It's not even a street. Nevertheless, we—anyone who does take—wander down Mint Springs Lane will be unable to see the additional turnaround parking area there.

This is a view from the other direction. Again, a montage, trying to show it in the context of the landscape.

Introduce compatible new garages and accessory structures as needed in ways that do not compromise the historic character of the district. Site new garages or accessory structures in traditional locations that are compatible with the character of the building and site [ph]. Maintain the traditional height, proportion, and orientation of garages and accessory structures in the district. That is the instruction in the guidelines. The introduction refers to a typical situation of garages behind the principal structure, oriented with the doors facing the street.

We were not able to find many examples of that. 615 East Rosemary Street is an example. But most of the garages that we see walking around the district have a very different presentation. Glenburnie Road, you see the garage is a major part of the front elevation. 2 Mint Springs, which is immediately adjacent to 1 Mint Springs, has a side-loading garage in front of the building. It is a major projection from the building. 610 North Street has a carriage house type garage structure, which is subsequently being remodeled, as far as I can tell, into living accommodation in front of the house, facing the street.

Another side entry on Senlac Road, and across the street from it, at 514 Senlac Road, we see a garage which is completely in front of the whole house structure. In fact, it's the only part of the house that you can see from the street.

379 Tenney Circle, we have a—this is a home which is more comparable to 1

Mint Springs, in terms of its form and scale, and it has a garage projecting at—on

the front of the house, facing the street. 606 North Street, another architectural style entirely. Again, facing the street and very conspicuous. 201 Mint Springs, this is behind the property and it has a three-bay garage, which is the only thing you see when you approach the building. And 525 North Street, again, garage is very conspicuous at the front of the building.

I don't know why the material is oddly—the lettering is off there. But you've seen this before. This is, basically, the materials that we're going to propose. We've got the siding, trim, and roof shingles of the garage addition will match the existing. We have a proposal for a deck rail at the back, which is a more contemporary look. We'll have a wrought iron rail at the front of the building, which is of a pattern that is common in this historic district.

The area around the front porch, we would like to use an irregular flagstone, and then there is the safety rail on the side of the driveway, which is very steep going down to 201, and has a—there's a severe drop-off on the side. So that would be a simple wooden rail against the woods there.

Some examples of the paving we're looking at. We would be looking at the irregular flagstone paving. I'm showing a couple of other examples around the historic district.

Wraparound porches, obviously very common in the district, gallery porches. And these are all two-story houses and ours is a single-story house, so we scaled the porch down suitably to blend in with the scale and proportion of the building.

Last of all, we asked the neighbors. There were—say there were five properties here off Mint Springs Lane. It's a private and rather reclusive corner of the historic district. The four neighbors who are likely to be the only ones to see this, apart from the UPS guy and their invited guests, we asked all of them what they thought of the project.

So, these are the letters we got in reply: "Arnie [ph] and I both wholeheartedly support your plans. The changes seem to be totally in keeping with the historic character of the neighborhood. The more people who decide—our kitchen window at 505 North Street overlooks the front of your house. I believe we would probably be the most affected by your changes, and we think they are great. The more people who decide to remain in their homes, as we have, and make tasteful changes to those homes, the stronger is the character and quality of life in our neighborhood, to the benefit of all. We send you our total support and hope that the HDC will approve your well-thought-out plans to enhance the beauty and livability of your home."

Epting: The addition of the letters raises an interesting question about whether or not they may be submitted as part of the record. Ordinarily, testimony, evidence, needs to be sworn in order to be accepted here. So, it would be my view that the—it would not be proper for us to consider those letters and those opinions. If you wanted to bring those folks to testify under oath, then it would be appropriate to have their statements. But I don't think it's appropriate to have their statements presented by way of letter, which are not sworn and are, in this context, merely

hearsay. So, if you would proceed beyond the letters at this point, I would appreciate that.

Morgan: I'd just like to point out that every single neighbor has fully supported responses.

Epting: I understand that statement. Thank you.

Morgan: That's it.

Epting: Okay. Thank you very much. Are there questions of the applicants' representative?

Smith: I wanted to know how far back did you move the garage from the previous?

Morgan: About a foot.

Smith: One foot?

Morgan: A foot, yeah. We couldn't move it any more.

Smith: Oh.

Morgan: It wouldn't be functional.

Smith: And the other changes you made again?

Morgan: There was a negative reaction to the center feature of the larger porch that we established at the front, and we just deleted it.

Smith: Oh, right. Okay. That's—oh, and lighting was mentioned in the COA, but I didn't see any evidence of lighting fixtures. There's something—half lights or something, you mentioned?

Morgan: There will be recessed lights in the soffit of the porch.

Smith: Oh, okay.

Epting: Other questions? Susan, were you through? I didn't mean to cut you off.

- Smith: Yes, I'm through. I did, actually, just for point of fact, look at last month's video and also visited the site.
- Epting: All right. Kimberly?
- Kyser: We commented on the style of railing that you chose for the back deck and how it was—
- Morgan: I don't remember any comments on that.
- Kyser: —it seemed very much inconsistent with the other railings. Page 7—57 in these guidelines, "Design and detail decks and any related steps and railings so they are compatible with the historic building in scale, material, configuration, and proportion." And that seems to still be inconsistent with—that choice of that kind of railing is—
- Morgan: The deck is already existing. We went by the section on rails, which I—which is elsewhere, I believe, which says, essentially, that anything that is out of sight from the public street is really up for grabs.
- Kyser: I would not agree with that.
- Morgan: I'm sorry. I can't find that section.
- Epting: In my experience with the Historic District Commission, which stretches back now some 30 years, I don't think I've ever come across a representation that anything that cannot be seen from the street may be done without regard to the guidelines. But if you can find such a statement in there, I'll be educated, as I am every time I look at the guidelines.
- Morgan: My recollection is that this did not come up at the previous presentation or I'd have made more recommendation on that [ph].

Epting: It did come up at the previous hearing.

Kyser: It did.

Epting: I remember it, because I was about to make the point that, while I liked the railing, myself, it seemed out of character with the house and with the district, and I was—someone beat that to my remark, and so, I remember that there was discussion of that last time.

I'm curious. I'm not going to take up more time looking for that suggestion that you made about the—if it weren't visible from the street, but are there other questions by other members? I have one or two when the other members are finished.

M: I have no questions.

M: I don't think so.

Epting: Mary Francis?

Vogler: No questions.

Epting: I have—I'm curious about how you square up the design guideline found on page 55, "Additions, Garages," that reads, "Minimize damage to the historic building by constructing additions to be structurally self-supporting, where feasible, and attach them to the original building carefully to minimize the loss of historic fabric." To me, last time, and this still seems to be the case, even though you may have moved it back by a foot, this garage addition seems still, to me, to be a blemish across the front elevation of the house. It seems to me that it changes the character of the house, it changes the elevation of the house, as it's viewed from the—as it were, the Mint Springs Street side. And so I would like for you to

convince me that that is not the case, and that, in fact, this guideline is met by your—by the garage proposal. I am not much concerned with the rest of the proposals, but I remain concerned about the garage.

Morgan: Can you clarify your concern? Are you concerned about the removability?

Epting: I am concerned because I don't think it is structurally self-supporting and attached to the house carefully to minimize loss of historic fabric. I think it's tacked on to the end of the house and changes that whole end of the house, in terms of its total elevation, that is its roofline, its structure. The elevation that is seen from the street, it just strikes me as being out of place. But it's not important as to whether it strikes me as being out of place; it's important for you to show that your design complies with this particular guideline. I don't think it does, but I'm willing to hear what you have to say about that.

Morgan: Well, I think I read that clause differently, that the—that it's about removability. It is self-supporting. It doesn't depend on the house for support. The entire structure will be entirely independent of the house, and there's nothing to stop it.

Epting: It's not attached to the house?

Morgan: It is attached to the house, in terms of enclosure, but not in terms of structure.

Epting: Right. I understand. So, the last part of this guideline suggests the need to attach them to the original building carefully to minimize the loss of historic fabric. It may well be that I'm the only one who's seeing that as a sore spot against the original historic fabric of that house. And if so, fine. I'm glad for people to disagree with me about that. But I don't think that design matches up with that particular guideline.

F: Can you put the thing [ph] back up, so we can look at it again?

Morgan: Sure. It's a very difficult project to show, because there's no easy visibility of the house from any point.

Kyser: Why don't you—excuse me. Could you just go back a few more slides so we can see the actual graphic? There you go.

Morgan: Is that the one?

Kyser: Right there [ph].

Epting: Yeah, that one.

Morgan: Okay. Oh, page 17, just to go back to walls and fences. "Introduce contemporary utilitarian walls and fences, if necessary, in rear and side yard locations only where they do not compromise the historic character of the building." That's the element that I was looking at, is page 17.

Kyser: Walls and what?

Epting: Walls and fences?

Morgan: Yeah. This is for the deck rail.

Epting: Oh, I'm sorry. I thought we were talking about the garage.

Morgan: Yeah, I just—you wanted clarification of what my thinking was on that—
[OVERLAPPING]

Epting: Oh, yeah. Okay. I got it. I'm sorry. I was unable to change bicycles. Right, so [ph].

Kyser: May I just cite that the decks and railings are page 57, number 5, design and detail?

Epting: Let's finish talking about the garage, and then we'll talk about the decks and rail again, if you want to. And I don't mean to badger you about it, I want you to—I'd like to be convinced that this is added on in a sensitive way that doesn't change the historic character of that house.

Morgan: I think this is a house of relatively recent vintage. And it's certainly a lot younger than most of the houses in the area. It's almost impossible to find a comparable structure. The little brick house, a little further down North Street, is about as close as you can get, about 10 years younger, and the one on Tenney Circle. The vast majority of the buildings that we're trying to protect in the historic district are of very different character. There seems to be nothing unusual about the proposal we're adding here, except the fact that it is a—it's just—it is not going to be the same after we add the garage. I mean, it's going to be different. The addition of the garage actually creates a kind of a very welcoming courtyard feel at the entrance to the house.

Epting: A very interesting what? What was that word you used? A very interesting what?

Morgan: Courtyard.

Epting: Porch yard?

Morgan: Yeah. It's like two sides of a courtyard.

F: Courtyard.

Epting: Courtyard. I'm sorry.

Morgan: Yeah. So, it's enclosing—it's providing some enclosure to the front yard. There is no other location on the site where a garage is possible. That's what drove us to

this location. It is possible we could put something on the right-hand side, but the grading would be really destructive. We were able to bring this project in, feeding off an existing asphalt driveway, which goes down to 201 Mint Springs, and I think we've actually done a good job in extending the character of the house, not disrupting it.

Epting: And there may well be others who agree with you and disagree with my concerns about it. Let's see if others want to talk further about the garage.

I would say one other thing about the garage. It seems to me the design guidelines express at least an implied preference for garages that are detached from the home and not connected to the home. That's why they say when you connect it to an existing residence, you should do it in a sensitive way that doesn't change—again, not the character of the neighborhood or the district, but the character of that house.

Morgan: And I feel that that's what we've done here.

Epting: And I understand. I've heard you say that several times and I am trying to be convinced of it. I want [LAUGHS] to be convinced of it. I'm sorry. You know, the public hearing is closed. If you want us to reopen it so you may speak, we will let you speak.

M. Ferris: I thought we signed up to speak.

Epting: Oh.

M: I don't think we closed it.

Epting: Well, I thought I ask—

M. Ferris: We're the homeowners.

- Epting: I understand. I thought I asked whether there were other—
- Carbrey: Yeah, I don't think we closed it.
- Epting: Okay. Well, we're not closed.
- F: We didn't close it.
- Epting: Let's finish our questions of your builder, and then we'll be glad to hear from you. I'm sorry.
- Morgan: I've shown you many examples of garages around the neighborhood, within the historic district, both that are attached and integral to the house—and some of those were—preceded the establishment of the historic district, and quite a number of them have been approved since the historic district. And there seems to be nothing unusual about actually attaching a garage to a house, and I think we've done it in a sensitive manner, given the constraints that we have on the lot.
- Epting: Yes, I understand that. And it may well be that everybody else would agree with that, and it may well be that I end up agreeing with it. I don't want to prolong the discussion. I don't think it's necessary, unless the others want to chime in on it.
- Carbrey: I'd just like to add a couple comments.
- Epting: Okay.
- Carbrey: The placement just—we'll talk about that as a separate issue, but, as I look at the elevation, I guess, a couple slides down, your View A, a couple things strike me. First of all, the main—the primary gables on the existing house are open gables. They don't have the small rooflet that is over entrances or over other windows. I feel like opening up the gable, if the garage stays there, would be an instant benefit to that. And also, you're confronted, as you're coming up the driveway

now, with a blank wall, because it's just a flat garage door, all roof, gable that's small roof, and just a small vent. I feel like even adding a carriage-style door to that elevation would make a big difference in what you're confronted with as you're coming up to the house. It's at least looking more like a carriage house or something more open and appealing, as opposed to a blank garage door, which you would, I think, drive up to in any suburban household. So I think there's a couple character changes that could be made to that elevation that would, at least, help it reference other parts of the house, that front elevation. I don't know if that made sense or not.

Epting: We'd be quite open to such suggestions.

Carbrey: Did the other—did that make sense to the other commission members?

F: I think [ph].

Epting: Other questions of this witness? Well, thank you, sir. And let's hear from your other witnesses, please.

B. Ferris: My name is Bill Ferris, and my wife and I are the owners of the home. I just thought it would be helpful to give a little background. We moved here in 2002 and have taught at the University of North Carolina since that time, and we purposely wanted to live in the historic district. Our backgrounds are in historic preservation. Marcie has worked at Plymouth Plantation and Historic Williamsburg, and I, as a folklorist, have worked in preservation of the South for all of my life.

And so we felt very comfortable. I grew up on a farm. This is an old farmhouse that was built in 1942, the year I was born. So I feel a personal

connection. This was a little farm that the home was built on, and we want—we've just retired from teaching this month at UNC. And we love Chapel Hill. We love the neighborhood, and we want to, basically, age in place, and we've worked with James to create a design that will allow us to remain in the house and to also respect the neighborhood, and the privacy, and our neighbors. And so, what we've put together, we feel, is respectful of what you represent, and we appreciate the opportunity to come before you. Thank you.

Epting: Thank you, Dr. Ferris. And would your—would you like to speak? We invite you to come forward.

M. Ferris: Sure. Hi. I'm Marcie Cohen Ferris. And that's for my allegiance [ph] or whatever [ph]. But I think the suggestions that a couple of you have raised—and Kim, about the railing, you know, those are not deal breakers for us. We're certainly happy to, you know, keep that railing in the back. We need a metal railing, you know, but, of course, it would be in character with the house. That's fine with us. An adjustment to make that gable, or that, you know, the garage a little more open in design. But that's why we went to an architect. We wanted to very carefully make this addition.

But this addition for us, this garage, is to also make sure that we have level entrance—entryway into the house. And for years, we've not been able to figure out any other way. We're in a very tight little position there, and I know that many of you have come and looked at it. So we really couldn't add a garage or adapt the entryway any other way than this. James has been the first person that's been able to come up with a plan for us that really made sense. Because

otherwise, we've got about 30 steps up the back, you know, where we haul groceries, and it's just getting, you know, less sustainable over time. And that's what this is about, you know, to make this a place that we can stay.

And given, I think, our backgrounds, both in historic preservation and the study of the South, we're very sensitive that the design be more than appropriate for the space. I mean, this is the neighborhood we've lived in, and this is the work we do, so we're very grateful to y'all's consideration of it. And thank you for your, you know—for your time and your patience with the project.

Epting: Thank you. Are there questions that anyone wants to ask either of the last two witnesses?

[INAUDIBLE]

Epting: I got to say, earlier, on one of the other Mint Springs applications, and I'll say it again just for the record in yours, that I spent my last year as a law student in Ms. Thomas's basement apartment—

M. Ferris: Yeah.

Epting: —that opens out on—in the directions of Mint Springs, and so I'm very familiar with your house and know a little bit of the history of the farm when it was still a farm, and completely recognize that you've really done the garage in the only way the garage can be done on the property.

M. Ferris: Yeah.

Epting: And that it's necessary for—from your statement, necessary in terms of your health and safety, in a sense, as you grow older and want to stay in that home.

M. Ferris: We've not yet backed into [OVERLAPPING] but we will, one day. [LAUGHS]

Epting: It seems to me that reasons that might make it inappropriate in other circumstances, I can be convinced and am becoming convinced that there are reasons for leaving garage in the way it is now proposed. We don't bring these points up to aggravate property owners or to interfere with their needs. We try to do so in order to maintain the character of the district, and in particular in this case, because the guidelines say with respect to garages, you have to look at the impact not just on the district but on the house.

M. Ferris: Right.

Epting: We go an extra step, and that's why you've had these additional questions, not in an unfriendly way. We all consider all of us to be neighbors, and we are trying to do a sensitive job here, that's why we've done what we've done [ph].

M. Ferris: Well, we really appreciate that.

Epting: If you don't have any further evidence, then we will see if there's a motion to close the public hearing?

Kyser: So moved.

Epting: Is there a second?

Murphy: Second.

Epting: Discussion? If there's no discussion, then all in favor of closing the public hearing, say aye.

M/F: Aye.

Epting: Any opposed say no. Public hearing is closed. Discussion by commissioners, or if anyone is ready for us to propose a motion, we can do that.

Kyser: I appreciate Craig's comments for improvements on this. I do think, overall, this is a very distracting addition of garage, and I have problems with the positioning of that garage. It seems to dominate the entranceway to the house as you—I don't know what the solution would be to have a garage and put it somewhere else on the property to accomplish their goals. Those are just my thoughts and would hope they'll change the railing on the back to something that's traditional, like wrought iron or wood, something.

Epting: I wonder if Craig might restate the suggestions so that we could incorporate them as conditions into a motion. Could you—

Carbrey: No, I don't have an issue with that. My suggestions were that, instead of having the closed gable for the proposed garage, have an open gable similar to, I guess, a previous addition that's—I'm not sure how to describe it, but as we're all looking at this image here, the one that's to the right that has the gable that's in the foreground there. I think that would make this gable, or this front of the house more similar to other portions of the house in detailing and aesthetics. And I also think a carriage-style door, whether it looks like a pair of doors, or something like that, would be more appropriate for that façade, so it brings a little bit more openness to what you're seeing as you approach the house.

Epting: It might remind you a little bit of a barn in the old days. [LAUGHS]

Carbrey: Well, right. I think the issue of whether that's the right spot for it is a separate issue. I'm looking at it strictly from an aesthetic standpoint, and I think those changes could help improve it and relate it more to the rest of the house, as opposed to it looking dissimilar, and I think there are no other areas where that

little roof—I'm not sure if I know the specific architectural term for it, but the rooflet or whatever that's above that garage door, I find that distracting, personally.

Epting: The—from a personal familiarity, and I've been by—you haven't seen me, but I have walked down over the course of the last several weeks. I'm convinced that there's no other location for a garage there. There's no other practical location, certainly, and the impracticalities of putting it elsewhere really eliminate the possibility, so my own sense is that, if there is to be a garage, that's the place it should be, and it should be done in a sensitive matter. And I think y'all agree with that. I am convinced that it can be done that way, and I think Craig's suggestions are appropriate.

So, what we would ordinarily do at this point is try to relate the proposal to our guidelines and then make findings of fact about the proposal that incorporate reference to the guidelines that are being matched by—or being met by the proposal. And then, based on those findings, we conclude that it's not incongruous to allow the additions and modifications you propose. It's not incongruous with the character of the district. And based on that, then we would move forward with a vote on whether or not to allow the permit—the certificate of appropriateness. I think I've said all that correctly.

So, that being the case, is there further discussion by commission members?

Smith: Well, I have a question.

Epting: All right.

Smith: And that is, would the changes, the elimination of the, sort of, eyelid rooflet and the addition of the carriage house door, would we not need to approve that?

F: We would, I would think.

Smith: We—it seems to me we would.

[OVERLAPPING—INDISCERNIBLE]

Epting: It depends on how specifically we can describe those in tonight's meeting.

Carbrey: My explanation may not be sufficient for others to visualize it, so—

Smith: No.

Kyser: No, but aren't there a lot of different styles of carriage—

Carbrey: Sure.

Smith: Yes.

Kyser: —doors and different styles of this, that, and the other, and what one person thinks is a small diminution of the rooflet—

Carbrey: Yep.

Kyser: —is not what somebody else might, and so it would be important to have it—to—
so should we isolate that part of the application and say that everything is
approved except for the garage that needs to come back with a—

Epting: Is there a sense of consensus on the commission that the other parts of the
application are appropriate and meet the guidelines that are applicable and are not
incongruous with the character of the district [ph]?

Murphy: I mean, I have a couple comments. One is I appreciate the applicants' revision of
the submission from the last meeting. I think the roof over the front entry, in

particular, removing that and putting the new porch—connecting porch is a dramatic improvement.

Where I'm still struggling a bit is, Commissioner Kyser, at the last meeting, and everyone else, had a similar discussion that the garage, in particular the placement, did not meet, you know, our guidelines, page 55, number 2 and number 4 through 7.

M: Yeah.

Murphy: And I—moving that garage back one foot, in my opinion, does not now meet those requirements of our guidelines. And if our task here is to determine whether a submission meets or does not meet the guidelines, then, in my opinion, it does not meet the guidelines, outside of my opinion of whether we should change the door or—I still think the garage location and placement and scale, relative to the existing house, is not in—not consistent with our guidelines.

Kyser: I agree. I can't. I've been searching for some—

Murphy: I've also been looking for—

Kyser: —encouragement, but I don't see it in the guidelines.

Epting: Well, as I said, I'm not prepared to argue about it further one way or the other, but, you know, we are a body of seven tonight. Five votes are required in order to take an action, so it may be that there are not sufficient votes to approve the garage without further thought, perhaps modifications being proposed, but my own sense about it is that we ought to move ahead with that—those part of the application that we might approve. And so the question I asked a moment ago was, is there consensus that the other matters with—that are the other

modifications that are proposed are not inconsistent with the guidelines and therefore would be appropriate, is not incongruous with the character of the district.

Smith: I guess I would want those specified. Just for the record, you're talking about a traffic railing. You're talking about lighting along the walkway and a porch ceiling fixture now. Enclosing the screened back porch and installing new windows. Are these the things you're mentioning?

M: Yeah, so from the staff report, it would be Items B through F.

Smith: B through F. Right. I'm reading it bottom up. Right. I just wanted to float the idea of, perhaps, more of a carport or something more open. Although a carport—

Epting: It's not up to the commission to—

Smith: I know it isn't.

Epting: —propose a redesign of the project.

Smith: I know it isn't.

Epting: And I don't want to spend our time doing that.

Smith: I'm just—

Epting: The question I asked, I would like each of you to try to give us an answer to is whether or not there's consensus with respect to the other items. There may not be. There doesn't have to be consensus. There may be five votes, if we had a motion.

Locke: Yeah, for B it says, "Remove pergola and add roof structure." We're not actually adding a roof structure, right?

M: No.

Locke: Are we adding a port—a sloping down roof in the front?

Murphy: That's in the back.

Epting: That's in the back.

F: It's not clear to me what B is either.

Locke: It says, "Front porch and porch door changes. Connecting walkway, removing pergola and add roof structure." Is that on the front porch?

Murphy: That's in the front to connect to the garage.

F: That's the front.

Locke: Okay.

Smith: I mean, I think there was a picture shown, but I don't know either. That was unclear to me as well.

F: A and B. There are two B's in here. That's the problem.

M: Okay. I got you.

[OVERLAPPING—INDISCERNIBLE]

Epting: Okay. Let me ask you to let me recognize you before you speak. James, go ahead.

Locke: Oh, yeah. I mean, I was just clearing that up for Item B if we were going to go itemize, list by list.

Epting: Yeah.

Locke: But the—so the roof structure is coming out on the projecting gable on the left side of this picture. It's not going to be on this picture, but on the plans, it shows to connect the walkway from the garage to the front door.

F: That's right.

Locke: Okay.

F: There are two B's. That's confusing.

Epting: Is there a motion? Does any commissioner have a motion with respect to any of the proposed changes?

F: Sean, I think, did [ph].

Epting: Sean, did you have a motion?

Murphy: Yeah, I'm trying to create it in my mind here. So, I guess I'd like to make a motion that we approve certain elements of the application, those being the front porch and front door changes, connecting walkway, removal of the pergola and adding of the roof structure at the front of the house, the rear porch deck changes, removing of the pergola and adding the roof structure, the enclosing of the screened back porch and installation of new windows, the lighting along the walkway and porch ceiling fixture, and the installation of two new traffic railings, with the stipulation that the railing on the rear deck be of the same wrought iron style and character as that of the front of the house that is proposed.

Epting: Okay. Now, what we don't have reference to in that motion—

Murphy: I know.

Epting: —are the guidelines themselves. So can you find the guideline or refer to several guidelines?

Murphy: For lighting, I'd like to refer to page 22. Number—

Epting: And so you suggest that your—the proposal is consistent with the guideline found on page 22 and numbered 5?

Murphy: Yes, correct.

Epting: Okay. And with respect to—

Murphy: With respect to lighting, and that the proposal is consistent with page 37, “Roofs,” number 5, which talks about replacing in-kind roof features. That the proposal is also consistent with page 43, “Porches, Entrances, and Balconies,” number 9, as well as page 47, “Accessibility and Life Safety Considerations,” number 5.

Epting: All right.

Murphy: And then page 57, “Decks and Railings,” number 5, “Design and detail decks and any related steps and railings so they are compatible and consistent.”

Epting: Okay. Good. So, we have a motion to approve the parts of the proposal exclusive of the garage proposals. Is that your intention?

Murphy: That is my intention.

Epting: Okay. And with respect to the guidelines that were recited in the motion, is there a second to that motion?

Kyser: I second it.

Epting: Is there further discussion of that motion?

Locke: Yes. I would make one change and remove the walkway because it's on the only remaining historic gable that is projecting on the left side of the south elevation.

Epting: Say that again so I can understand it.

Locke: All right. The walkway from the proposed garage to the front door has a new roofline suggestion on the front—on the projecting gable. In this picture, it would be the left gable. And since it is the only remaining historic gable, I would suggest that that not be approved, and it should be removed from our motion.

Kyser: The walkway?

Locke: The walkway roofline.

Epting: The roofline over the walkway, or the walkway as well?

Locke: The roofline, not the walkway itself.

Epting: Yeah, the walkway itself would be consistent with safety considerations—

Locke: Yes.

Epting: —in terms of their being able to move on a flat surface, I think [ph]. Okay. So what you're talking about is taking away the proposal to extend the roofline because of the addition of that walkway?

Locke: Yes.

Epting: All right. Would that be acceptable to the maker of the motion and to the seconder?

M: Maybe it's part [ph].

Murphy: That might complicate it a little, because I'm not sure the—that roof is going to be required if the garage is found to be in—if we can find—if the applicant can find a suitable location for the garage—[OVERLAPPING]

Epting: Well, let's deal with the garage portions of it, including whether or not that might become appropriate in a second motion. And let's deal with this motion as though—

Murphy: Okay. So, I think we can edit that motion as proposed.

Epting: Okay. All right. Good. Can you consent to that?

Kyser: I guess, yes.

Murphy: Sorry, Julie [ph].

- Epting: Now, is there further discussion of that motion?
- Smith: Yes. This is rather confusing to me. I don't know if anybody else is confused by this. Maybe it's—you know, I just picked up what I could from the video last time. But I'm unclear about this. I just wondered if there's a need to push forward certain amounts of this, or whether we can just forward the whole proposal. I mean, extend—
- Kyser: Let's take a vote.
- Smith: —the proposal, depending on how the applicants feel, so that—
- Kyser: We've already got a motion and a second.
- Smith: I know. I'm just stating why I'm not going to be able to vote for that. I'm unclear about it.
- Epting: Any further discussion? Any further discussion at this time? There will be no further discussion. All in favor of the motion, say "aye."
- Kyser: Aye.
- Vogler: Aye.
- Murphy: Aye.
- Epting: Any opposed, say "no."
- Smith: No.
- Carbrey: No.
- Locke: No.
- Epting: Three. Okay. That motion fails. Three to four. Is that right?
- F: Uh-huh.
- Epting: Okay. Any other motions?

Kyser: Is it—do you have—can—

Epting: Do you have an alternate proposal to make?

Locke: I think that there's discussion still about some of these line items that I don't think we've actually clarified. But I would suggest that we probably go through each one and approve or not approve, if that makes sense.

Epting: All right. Have a go at it.

[LAUGHTER]

Locke: All right. So, I would like to make a motion to find the traffic railings incongruous with the design guidelines.

Epting: The traffic railing?

Locke: Yeah, the install two new traffic railings.

Epting: At the edge of the driveway to keep people from running into the—

Locke: Yeah, incongruous.

Epting: That's not congruous with the historic district?

Locke: No, I'm saying that it is incongruous.

Epting: Well—

Kyser: No.

Locke: Oh, we're saying that it's not—[OVERLAPPING]

Kyser: You're saying the wrong word. It's congruous.

Locke: Oh. It's congruous. There we go.

Epting: If that's easier for you, yeah. The statute says that the duty of the commission is to determine whether a proposal is not incongruous, in which case it would be approved.

Locke: Okay. Not incongruous.

Epting: So, here [ph] the traffic railings, it seemed to me, are pretty easy. That's a good place to start.

Kyser: Okay. Good.

Epting: Okay. So, is there a second to that?

M: Second.

Kyser: Oh, we're going one by—okay, yeah. I second.

Epting: She's already seconded [ph].

Kyser: All right. Second.

Epting: Any further discussion? If not, all in favor, say aye.

M/F: Aye.

Epting: Any opposed, say no. That—your traffic railings are a good place to start, apparently. All right. Go ahead.

Locke: I would like to make a motion, the lighting along the walkway and porch ceiling fixings [ph], we have it as "D," is incongruous—

F: No. Is not—[OVERLAPPING]

Locke: —not incongruous with the—

Kyser: Congruous.

Locke: Congruous—I keep using the wrong words—the design guidelines for the Chapel Hill Historic District.

Epting: Well, no. I mean, let's just—let's be entirely precise about this. What you are moving is to approve it because it is consistent with the design guidelines and, as a result, not incongruous with the historic character of the district. Okay? So it's

not a matter of being not incongruous with the guidelines. The matter that it's as a result of meeting the guidelines, it is not incongruous with the special character of the historic district. But I knew what you meant as soon as you said it.

Smith: Shouldn't he cite a guideline?

Kyser: Should he—yeah, page 22, number 5. You want to add that to—

Epting: Yeah, go ahead. Let's load it up.

Locke: That it meets number 5 on page 22 under "Lighting."

Epting: That's sufficient.

F: Okay.

Epting: Now, do you have a—let's see, why don't we see if there's further discussion about that motion. Susan, is there any further discussion on that motion?

Smith: Well, I haven't seen path lights. I haven't seen an example of path lights, so how can I vote on it?

Epting: Well, we're about to vote.

F: Yeah.

Epting: All in favor, say aye.

M/F: Aye.

Epting: Any opposed to it, say no. That passes six to one. Have at it.

Locke: Oh, I have not seen the new windows on the exterior, so with C, I'm going to make a motion to find that C is not consistent with the design guidelines of the historic district.

Epting: Well, if you haven't seen them, you wouldn't know that.

Locke: Well, that's true.

- Epting: I would suggest that it's just not appropriate to have a motion at all on that, if you're not ready to vote.
- Locke: There we go.
- Carbrey: Well, I believe that was presented to us at the previous meeting where they're infilling the existing screened porch.
- Vogler: It was presented the last time.
- Carbrey: Yes.
- Epting: To enclose the screened porch, as I recall.
- Kyser: Yeah.
- Carbrey: That's correct. Yes. It's the same light configuration, just using windows instead of screen material.
- Epting: And so, are you offering a motion with respect to the screened porch?
- Carbrey: I would like to offer a motion, yes, in respect to Item C as listed on the staff comments, "Enclose screened porch and install new windows." I'm trying to find—
- Kyser: It's number 3, I think. No?
- Vogler: Page 43.
- Kyser: Yeah, but it's number 3 in the list. It's page 43, number 9. Okay.
- Carbrey: Yeah, okay, thank you, Item 3, page 43 from our guidelines, "Porches, Entrances, and Balconies," Item Number 9.
- Epting: Consider enclosing on the rear elevation.
- Carbrey: That's correct.
- Epting: Okay. Gotcha. Is there a second to that motion?

Murphy: I'll second.

Epting: Is there any further discussion of that motion? If not, all in favor, say aye.

M/F: Aye.

Epting: Any opposed, say no. You're voting no?

Locke: Yeah.

Epting: Okay. That's six to one, with Jamie voting no. Further motions?

Smith: I don't know what rear porch—

Kyser: Rear porch, deck changes, remove pergola, and add roof structure. Those are two different parts of the—one's on the front, isn't it? The pergola?

Carbrey: No, there's a new roof structure at the back that spans between the gables.

Kyser: Is it a pergola too?

Carbrey: I think it was [OVERLAPPING] now it is a covered roof [ph].

Epting: Pergola is in the front, the added roof structure's in the back [ph].

[INAUDIBLE]

Epting: Okay. Are you—

Kyser: I'll make a motion to approve, let's see—all right. We've already done—is it the same one?

Vogler: It's the second B.

Carbrey: It's B2.

Kyser: No, I'm talking about the guidelines. Anybody? Which one is it?

Epting: Yes, same guideline.

Kyser: It's the same? Page 43, number 9?

Epting: Yeah.

Kyser: Okay. Okay. I cite that as the evidence.

Epting: That the proposal is consistent with that guideline?

Kyser: With that page, yes, the porches, entrances, and balconies—

Epting: And which you would conclude that the proposal is not incongruous with the special character of the district?

Kyser: Yes, I do.

Epting: And therefore, that part of the application should be allowed?

Kyser: Yes.

Epting: That's your motion?

Kyser: That's my motion. Do I need to repeat it?

Epting: Very good. No.

Kyser: Okay.

Epting: Second to that motion?

Carbrey: Sorry. Before you do that, Commissioner, would we—do we need to add what Commissioner Murphy discussed previously in regard to the railing design for that one? There was some talk about—[OVERLAPPING]

Kyser: Oh, yes. Excuse me. Then I would also add page 57, number 5, "Decks," and then the category is "Railings." Yes, thank you.

Epting: All right.

Kyser: Yeah. So, we have two references on that vote. So, it's page 43, number 9. It's also page 57, number 5.

Epting: Is there further discussion of the motion?

- Murphy: Just the add-on for that motion that I had was that the rear deck railing be consistent with the character to the front [ph].
- Kyser: Specified. Yeah. Friendly amendment. Yes. So, yeah, friend—I take that friendly amendment to mean that the change in the materials of the railing will be wrought iron, the same as the railings and so forth on the front of the house.
- Epting: Okay. Further discussion?
- Vogler: I have further discussion about wrought iron railings if the porch is to be a screened porch. There are other appropriate railings.
- Kyser: The deck is going to be a screened porch?
- Carbrey: No. The screened porch has gone away. It's now a glass [ph]—
- Kyser: No. The deck is a deck.
- Vogler: Excuse me. Okay. Okay.
- Epting: Further discussion? Are you ready to vote? If so, all in favor, say aye.
- Kyser: Did you have a second?
- Epting: We did have a second.
- Kyser: Okay.
- Epting: All in favor, say aye.
- M/F: Aye.
- Epting: Any opposed, say no. Are there any no votes? It's unanimous.
- F: Okay.
- Epting: Now, are there any further motions?
- F: Okay.
- Murphy: You gonna give the front porch another shot?

- Epting: I think your ideas were good with respect to the front porch. See if you can make a motion.
- Locke: Yeah, I mean, I'm trying to figure out how to say this and which line item it really is under B.
- Murphy: It's the front porch.
- Locke: That is the roof structure, though, right here.
- Epting: We keep talking to first B and second B here, because on the agenda, actually, it reads A, B, and then B, instead of A, B, and C. So, the first B would be the front porch. The second B would be the rear porch. That's—we are now at the first B, front porch, and front door changes.
- Smith: Wouldn't it be important to wait until the garage is settled before that connecting walkway and so on are in place? I mean—
- Epting: Well, if we have a motion, we are going to consider the motion.
- Kyser: I make a motion that we approve the front porch and front door changes, connecting walkway, remove pergola, and add roof structure. And the supporting evidence in our guidelines is—let's see—it is page 37, number 5 for roofs, and that's all I see. If somebody else—
- Epting: I like page 47. I mean, I think ramps, handrails and other things that make things safer to use—walkways safer to use are encouraged.
- Kyser: Okay. Okay. I'll add that.
- Epting: And so, let's add that one as well.

Kyser: Page 47, number 5. So, that's two references. It's page 37, number 5, and page 47, number 5 of the guidelines that specify the standards by which we should—I'm saying we should approve this, that those standards are met.

Epting: Okay. So, the motion is that those—that part of the application be approved because it shows consistency with the design guidelines that you just made reference to, and therefore, they are not incongruous with the historic character of the district. See, we're getting the swing of this.

Locke: We're getting there.

Epting: And should be approved.

Kyser: Yes.

Epting: That's the motion.

Kyser: That's the motion.

Epting: And there's a second?

Carbrey: I'll second.

Epting: And there's further discussion?

Locke: Yes. I would just disagree that the roofline that is going to be proposed connecting the proposed garage to the front door is inconsistent with the building's integrity.

Epting: So, you would suggest that we ought to remove consideration, that is, remove approval of that additional roofline from this motion, correct?

Locke: Yes.

Epting: All right. Do you accept that suggestion?

Kyser: Not yet. I—Sean, what do—could you—?

Murphy: I think, in looking at that elevation, without a garage there, it's the roof to nowhere.

Epting: Exactly. That's why we'd be removing it.

Murphy: So, I think what Jamie is proposing is correct, that for now—

Kyser: Okay. Yeah, I accept that.

Murphy: —for this application, if we remove that section of roof—

Kyser: But how should I verbally?

Epting: We just—you just accepted it.

Kyser: Okay. I accept your comment, your friendly amendment.

Epting: Now changed by removal of such part of that additional roofline, as would be related to and necessary by reason of the garage, which we are not voting on yet.

Kyser: Okay. Except that does include the part over the door.

Murphy: Over the front entry.

Kyser: Front door and all that, yeah, okay. I accept that, yes.

Epting: The rest of the front of the house—you know, this is the same way he's going to build it. He's not going to build it all at one time.

Kyser: Okay.

Epting: On the same day. Going to do this part. So we're getting to the end of the house.

Kyser: Okay. I accept the friendly amendment.

Epting: Any further discussion? If not, all in favor of the motion say—

Kyser: You didn't have a second, did you?

Epting: Yes, we did. Right down there on the end.

Locke: I second.

- Epting: Or no, I'm sorry. Craig seconded that one.
- Carbrey: I did for—
- Kyser: The first part.
- Carbrey: —Ms. Kyser's before it was—
- Epting: Yeah. Do you accept the changes?
- Carbrey: I will accept the changes, yes. Second.
- Epting: And so, it's been moved, seconded, changed, and accepted. All in favor, say aye.
- M/F: Aye.
- Epting: Any opposed, say no.
- Smith: No.
- Epting: Six to one, I believe. Susan votes no. So, we're now left with the matter of the garage, and the question is whether we can undertake to—or whether we ought undertake to try to reconfigure that in a way that can find five votes here tonight or whether it would be a more productive use of everybody's time for you to propose something else in that regard. And I've told you how I feel about it. I think others have said how they feel about it. My own sense about it is it would be better to bring it back, but if you'd rather have a vote on the garage tonight, well, then I'm willing to push forward and see whether we can get a motion with respect to the garage.
- B. Ferris: I think we've gone as far as we can go. If this is not acceptable, I think we'll probably just move. That was our way of remaining in the neighborhood—
- Epting: Yeah.

B. Ferris: —to have that garage and that access. But if we can't have that, we'll start looking at other places to live.

Epting: Well, and that would be, from our perspective—and mine, certainly—regrettable, and I would be sad about that.

B. Ferris: We would regret it, too, but we don't want to continue this process. It's too expensive. We've spent a fortune to get here tonight. We still have to do the work. I mean, if we keep spinning our wheels, we don't have the resources to do that.

M. Ferris: I mean, Mr. Chairman has already said this is the only place to put this garage addition.

Epting: Understood.

M. Ferris: There is certainly no other place in—that doesn't impact our neighbors—

Epting: Right.

M. Ferris: —in really significant ways. That's why we've chosen this spot. And we could, in no way, be assured that if we came back with 10 other garage designs, that we'll be going through this process with you guys for another few years and you never would approve it.

Epting: I hear what you're saying. You're being heard. I will also say that our public hearing is closed, and so I probably shouldn't have directed that question to you at this point.

M. Ferris: Well, we understand. We appreciate it.

Epting: Yeah. I would be sad if we couldn't find a resolution to keep you right in that house. Is there such a resolution? Does anybody have a motion to make that

would allow the construction of the garage in that location, something that would conceivably meet the requirements of the guidelines? If not, our business about this item would be finished.

Kyser: Are you wanting a motion?

Epting: No, I mean, we've already had a motion that failed that included the garage.

Kyser: Well, that's—

Smith: I thought part of our concern was the new roofline and whatever the new door was going to be put on it, and part of that—

Kyser: The lack of specificity. That's the—

Epting: I thought that Craig's suggestions in that regard were easily enough—easy enough to put down on a piece of paper, and easily enough described in a motion tonight to accomplish the purpose. We did have a vote earlier on a combined motion, that is a motion to combine all these other things with it, and when that failed, we went seriatim: A, B, B—or B, B, C, D, and E. And now we're back to A and it seems to me—

Carbrey: Well, sorry, I think the combined vote, though, didn't include A, correct, Commissioner Murphy?

Epting: Right.

Carbrey: So, right, that's still been an item that was not addressed.

Epting: And so, if Craig could make a motion that was relatively specific, with respect to the changes that seemed to be acceptable to most of the commissioners, perhaps we could have a vote that at least we would see where we are [ph].

Carbrey: I'm happy to make a motion. I think the bigger issue, though, is those commissioners that disagree with its placement in general, so is that a—

Epting: Right. I agree.

Carbrey: I'm happy to make a motion so people will then vote accordingly, but—

Epting: I would like to hear a motion. I would like to do our best—

Carbrey: All right.

Epting: —to finish this item tonight, as the applicant has requested.

Carbrey: All right. I would like to make a motion that the—that Item A listed under description of work: "New single bay garage addition and driveway extension," be approved with two proposed design modifications. One being an open gable, with detailing similar to the existing gables on the house, and then, two, a carriage-style door for the garage. For the findings of fact for a garage addition, I'll reference page 53, "New Construction, Garage," Item 2, and this is based on the fact that the garage, as proposed, seems to have a freestanding structure, and it also will be reversible, should that garage addition decide to be demoed in the future.

Epting: How about the accessibility and life safety considerations guideline on page 47, number 5?

Carbrey: Sure. I'm happy to add that to the list. Page 47, accessibility and life safety considerations, Item 5, as it's listed in our staff comments. I mean, I could also—under page 55, "Addition of Garage," potentially Item 4: "Design addition so it is compatible with the historic building in roof, form, mass, and overall proportion."

Epting: Is there a second to that motion?

- Vogler: I'll second the motion.
- Epting: All right. Further discussion of that motion?
- Murphy: Maybe I'm confused.
- Epting: All right.
- Murphy: We're making a motion for the front façade of a garage that, I think, most of the commissioners have said is in a location that's not consistent with the guidelines. So is this motion to change the elevation of the garage, or does it include the construction of the garage?
- Carbrey: I will indicate that it—or clarify that it includes the completion, the construction of garage, and the proposed design modifications we have listed.
- Epting: I will say that I argued with myself. I probably took too much time. I argued with myself, initially, being of the view that the garage was not consistent with the guidelines.
- M: Commissioner, do we need to—we purposely left out the roof overhang for the walkway.
- Epting: Right.
- M: Does that need to be included in this motion, if we're wrapping it all in?
- Epting: Well, it clearly is part of the design of the garage, which is being approved, and so, I don't think it necessarily has to be mentioned specifically. But that's the intent—the intention is to [OVERLAPPING] the part of the design.
- Carbrey: If it needs to be, for sake of clarity, I'm fine with including that stipulation.
- Epting: Okay. So I was—
- Kyser: Any more discussion?

- Epting: Yeah. I was in the middle of discussing it myself, actually.
- Kyser: I'm sorry. I was going to add my two cents. No, go ahead.
- Epting: I'm happy for you to go first.
- Kyser: No, no, you go. You're already in the middle of it. Sorry.
- Epting: So I'm going to vote for the motion because I think it, arguably, is consistent with the guidelines, and that it's essential, in terms of safety and their health concerns, in terms of creating a level surface for access to a house that they want to live in for years to come, which will not be possible if they don't do that. So I'm going to support that motion.
- Kyser: Well, I would say, citing the same pages and citations in the guidelines, for me, there they do, they enlighten exactly the opposite, the reason that it's not congruous, that this design is not supported by evidence in the guidelines. So it's a matter of interpretation here, isn't it? I guess [ph].
- Epting: It's a matter of requiring at least five votes, and the very reason that we have this form of proceeding is because people often disagree, and out of disagreement comes strength and resolution. And that's what the democratic process is about. And so, when we disagree, we're not showing weakness or lack of resolve. What we are showing is that we are giving full—some [ph] consideration _____ from different perspectives, to this proposal, and I'm proud of the work and proud of the process, and however it comes out—any further discussion? All in favor of the motion, say aye or raise your right hand.
- M: Aye.

Epting: Three people have voted for the motion. All opposed, raise your right hand. Four people are voting against the motion, so the motion fails. So, a substantial part of your proposal has been approved, and the matter of the garage has not been approved.

Smith: I'd like to change my vote. Can I do that?

F: Well, it doesn't change anything.

Epting: You voted in the affirmative, and so you can make a motion to have a new vote. Let's see if there's a second to that motion. Would you like to make a motion to have a—to reconsider that matter?

Smith: Yes.

Epting: All right. Is there a second to that motion? I'll second it. All in favor of reconsidering that motion, raise your right hands. One.

Carbrey: I'm confused by what—I'm sorry.

Epting: Reconsidering the previous action. A person who has voted in favor of the previous action may make a motion to reconsider—

Smith: I voted against.

Carbrey: You voted against.

Epting: I'm sorry.

Smith: I voted against it.

Epting: You voted on the prevailing side of the vote?

Smith: Yes.

Epting: Okay. You're enabled to make that motion then. A motion has been made and seconded. All in favor of the motion, raise your right hands. Are you voting for your motion?

Smith: Yes.

Epting: Anybody else voting for the motion? One, two, three, four. Okay. That motion fails. The motion to reconsider failed by a vote of three to four. I think we've given all the consideration that we can to this.

Carbrey: I thought we had four. I'm sorry. I thought we had four that voted in favor of that second.

Epting: It takes five votes to have a favorable outcome.

Carbrey: Okay. Thank you for that clarity.

[INAUDIBLE]

Smith: For the motion, the other motion—[OVERLAPPING]

Epting: All right. Thank you for coming tonight. Thank you for being patient with our deliberations. I am sorry that we weren't able to satisfy all of your requests.

[INAUDIBLE]

[END TRANSCRIPT AT 01:52:51]

6. July 17, 2018 Historic District Commission Meeting Minutes



TOWN OF CHAPEL HILL

Historic District Commission

Meeting Minutes

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Chair Robert Epting
Vice-Chair Kimberly Kyser
Deputy Vice-Chair John Sweet
Woodrow Burns
Craig Carbrey

James Locke
Sean Murphy
Susan Smith
Mary Vogler
James White

Tuesday, July 17, 2018

6:30 PM

RM 110 | Council Chamber

Rescheduled from July 10, 2018

Call to Order

The meeting opened at 6:30 p.m.

Preliminary Meeting Information

a. Chair states the Rules of Procedure as described below

b. Chair reads Public Charge for the record as described below

Chair Bob Epting read the public charge into the record.

c. Secretary swears in public hearing speakers

Julie Curry (Staff Liason) swore in members of the public wishing to testify during the meeting.

d. Roll Call

Julie Curry (Staff Liason)
Jake Lowman (Staff)
Becky McDonnell (Staff)
Mike Klein (Staff)

Present

7 - Chair Robert Epting, Vice-Chair Kimberly Kyser, Craig Carbrey, James Locke, Sean Murphy, Susan Smith, and Mary Vogler

Absent

3 - Deputy Vice-Chair John Sweet, Woodrow Burns, and James White

Approval of Action Minutes

Approve May 29, 2018 and June 12, 2018 action minutes

[\[18-0641\]](#)

Craig Carbrey noted that he was late to the meeting and did not vote on the first two cases for June 12, 2018.

A motion was made by Vice-Chair Kimberly Kyser, seconded by Sean Murphy, that the last two sets of minutes be approved. The motion carried unanimously.

Speakers from the Public - 3 minutes allowed

Consent - None

Old Business

Residents spoke in relation to the notices for 501 E Rosemary Street. Notice was determined to be insufficient for the public hearing, therefore the delay of the hearing to the September meeting was agreed to by the applicants.

Consider a Motion to request Brian Ferrell represent the Chapel Hill Historic District Commission for a September 6, 2018 Board of Adjustment hearing.

A motion by Vice-Chair Kimberly Kyser, seconded by James Locke, for the commission's attorney, Brian Ferrell, to represent the commission in the Board of Adjustment Case for the 704 E Franklin Street appeal in September. The motion carried unanimously.

214 W Cameron Street

214 W. Cameron COA modification BellLeadership

[\[18-0623\]](#)

Charlie Tennant with MHA Works presented the case on behalf of the applicant.

A motion was made by Vice-Chair Kyser, seconded by Carbrey, to close the Public Hearing. The motion carried unanimously.

Motion by Craig Carbrey, second by Mary Francis Vogler, that the proposed changes to the building encourages the introduction of new or alternate means of access to the historic building as needed in ways that do not compromise the historic character of the entrance or front porch and that the changes are consistent with guideline 4 on page 47 and find that the proposal is not incongruous with the historic character of the district and should be approved. The motion carried unanimously.

1 Mint Springs Lane

1 Mint Spring Revised COA[\[18-0624\]](#)

James Morgan, designer, presented the case on behalf of the applicants.

Motion by Vice Chair Kimberly Kyser, seconded by Sean Murphy, to close the public hearing. Motion carried unanimously.

Motion by Sean Murphy, seconded by Vice Chair Kimberly Kyser, to approve certain elements of the application: the front porch and front door changes, connecting walkway changes, removal of the pergola and adding roof structure at the front of the house, the rear porch deck changes including removal of the pergola and adding the roof structure, enclosing of the screened in porch and adding new windows, lighting along the walkway and new ceiling fixture and two new traffic railings, with the stipulation that the railing on the rear deck be of the same wrought iron styling of the front of the house and that the proposal is consistent with Design Guidelines Pages 22 (#5), 37 (#5), 43 (#9), 47 (#5), 57 (#5), with a clarification to exclude the walkway roofline connecting to the garage. The motion failed.

Aye: 4 - Chair Epting, Vice-Chair Kyser, Murphy, and Vogler

Nay: 3 - Carbrey, Locke, and Smith

Motion by James Locke, seconded by Susan Smith, to find that the traffic railings are not incongruous with the historic character of the district. The motion carried unanimously.

Motion by James Locke to approve the lighting along walkway and porch and ceiling fixtures, and to find that they are consistent with the Design Guidelines page 22 (#5) and is not incongruous with the special character of the district. The motion passed.

Aye: 6 - Chair Epting, Vice-Chair Kyser, Carbrey, Locke, Murphy, and Vogler

Nay: 1 - Smith

Motion by Craig Carbrey, seconded by Sean Murphy, to approve the enclosure of the screened porch and installation of new windows, consistent with page 43 (#9) of the Design Guidelines. The motion passed.

Aye: 6 - Chair Epting, Vice-Chair Kyser, Carbrey, Murphy, Smith, and Vogler

Nay: 1 - Locke

Motion by Vice Chair Kimberly Kyser to approve rear porch deck changes and to add roof structure as consistent with Design Guidelines page 43 (#9) and that it is not incongruous with the special character of the district, and that it is also consistent with page 57 (#5) for railings, and that the rear deck railings should be consistent with the wrought iron materials of the railing on the front of the house. The motion carried unanimously.

Motion by Vice Chair Kimberly Kyser that with supporting evidence of the Design Guidelines pages 37 (#5) and 47 (#5) to approve the front porch and door changes, connecting walkway and remove pergola. The motion passed.

Aye: 6 - Chair Epting, Vice-Chair Kyser, Carbrey, Locke, Murphy, and Vogler

Nay: 1 - Smith

Motion by Craig Carbrey, seconded by Mary Francis Vogler, to approve the garage addition and driveway extension with two design modifications; install an open gable similar to existing structure and install a carriage style door, referencing Design Guidelines pages 53 (#2), 47 (#5), 55 (#4). The motion failed.

Aye: 3 - Chair Epting, Carbrey, and Vogler

Nay: 4 - Vice-Chair Kyser, Locke, Murphy, and Smith

Motion by Susan Smith, seconded by Chair Bob Epting, to reconsider the matter to change her vote. The motion failed.

Aye: 4 - Chair Epting, Carbrey, Smith, and Vogler

Nay: 3 - Vice-Chair Kyser, Locke, and Murphy

New Business

501 E Rosemary

501 E Rosemary COA Pony Barn

[\[18-0625\]](#)

The case was postponed until the September meeting.

Courtesy Review

305 McCauley Street

305 McCauley roof

[\[18-0626\]](#)

Isaiah Riley presented the roof replacement project on behalf of the applicant, and the commission provided feedback and suggested materials for the project.

Reports and Updates

Chair Bob Epting proposed drafting a letter to Chi Omega regarding the rebuilt wall.

The Chair proposed that the secretary use another email address instead of HDC@townofchapelhill.org so that it is clear that communication is not on behalf of the commission.

Staff Report**Adjournment**

Next Meeting - August 14, 2018 meeting cancelled; next meeting is September 11, 2018

The Chair adjourned the meeting at 9 p.m.

Order of Consideration of Agenda Items:

- 1. Staff Presentation*
- 2. Applicant's Presentation*
- 3. Public Comment*
- 4. Board Discussion*
- 5. Motion*
- 6. Restatement of Motion by Chair*
- 7. Vote*
- 8. Announcement of Vote by Chair*

Public Charge: The Advisory Body pledges its respect to the public. The Body asks the public to conduct themselves in a respectful, courteous manner, both with the Body and with fellow members of the public. Should any member of the Body or any member of the public fail to observe this charge at any time, the Chair will ask the offending person to leave the meeting until that individual regains personal control. Should decorum fail to be restored, the Chair will recess the meeting until a genuine commitment to this public charge is observed.

Unless otherwise noted, please contact the Planning and Development Services Department at 919-969-5066; planning@townofchapelhill.org for more information on the above referenced applications.

See the Advisory Boards page <http://www.townofchapelhill.org/boards> for background information on this Board.

7. Staff Report from October 9, 2018 Historic District Commission Meeting

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS STAFF REPORT

Application Number: 18-051
Subject Property Address: 1 Mint Springs Lane
Applicant: James Morgan
Filing Date: 5/14/2018
Meeting Date: 10/9/2018

I. INTRODUCTION TO THE APPLICATION

Historic District: FRANKLIN-ROSEMARY

Zoning District: R-1

Nature of Project: Consideration of an application for an addition of a single bay garage and to remove an existing door and replace with siding. This is a continuation of the July 17, 2018 Historic District Commission meeting.

II. PROPOSED FINDINGS OF FACTS

The Historic District Design Guidelines for *New Construction and Additions*, on page 55, provide Guidelines 2, 4, 5, 6, and 7:

2. Minimize damage to the historic building by constructing additions to be structurally self-supporting, where feasible, and attach them to the original building carefully to minimize the loss of historic fabric.
4. Design an addition so it is compatible with the historic building in roof form, massing, and overall proportion.
5. Design an addition and its features so they are compatible in scale, materials, proportions, and details with the historic building. Select exterior surface materials that are compatible with those of the historic building in terms of module, composition, texture, pattern, color, and detail.
6. Design an addition so it is compatible with yet discernible from the historic building.
7. Maintain and protect significant site features from damage during or as a consequence of related site work or construction.

9. Transcript of October 9, 2018 Historic District Commission Meeting

Brown & Bunch
Chapel Hill Historic District Commission – 1 Mint Springs
October 9, 2018

Epting:	Robert Epting, Chair
Kyser:	Kimberly Kyser, Vice Chair
Carbrey:	Craig Carbrey, Commissioner
Smith:	Susan Smith, Commissioner
Vogler:	Mary Frances Vogler, Commissioner
Murphy:	Sean Murphy, Commissioner
Locke:	James Locke, Commissioner
White:	James White, Commissioner
Ferrell:	Brian Ferrell, Attorney
Lowman:	Jake Lowman, Staff Liaison
Reynolds:	John Reynolds, Witness
Debree:	Dwight Debree, Witness
Magness:	Scott Magness, Witness
Morgan:	James Morgan, Applicant Architect
Ferris:	Dr. Marcie Ferris, Applicant Resident
M/F:	Male/Female Speaker

[BEGIN TRANSCRIPT 00:08:39]

Epting: The second item of business tonight is the—is a request to reopen the public hearing and take further evidence with respect to the 1 Mint Springs Lane [ph] COA application. The agenda materials indicate the extent of the change that is being proposed with respect to the placement of the garage. There was one other matter on that agenda item when it was last before us upon which we did not take a vote, and that was the proposal to remove the front door on what I'm going to guess is the east end of the house—that is, the east side of the front of the house—and to resurface that with—so that the finish would be consistent with the rest of that side of the front of the house. I'm inclined to take these as two separate items.

I think it is appropriate since we failed to vote on that second item last time for us to vote on that item first. I did—I will recall that there was discussion and, I thought, agreement on the part of the commission, that that was a change that would—was not incongruous with the character of the historic district. And I think, therefore, it would be appropriate if we had a motion to approve that change to start out our business on this item.

F: Pardon me? What?

Murphy: I'd like to make a motion that we approve that door location. But I do—we did not take roll or approve the previous meeting minutes—[OVERLAPPING]

Epting: We did not do that. I passed right over that part of the agenda because those matters weren't shown on the agenda, but we'll do that. Let's do that as soon as we finish this item.

Vogler: Okay, I second his motion.

Epting: So there's a motion to approve the application as it is shown in the application, to remove that doorway on the front of the house to the right side of the house as you're looking at the house. Is there any discussion of that motion?

F: No.

F: No.

Epting: So are you ready to vote? Just say—so all in favor, say aye.

M/F: Aye.

Epting: Any opposed say no.

Locke: No.

Epting: Okay.

M: No.

Epting: All right. Did you want to make any statement about your vote? Or it's not necessary—

Locke: No.

Epting: But I wanted to make sure you had the opportunity to do that.

Locke: I'm good.

Epting: Okay, good. So that part of the application is approved. Now, the second part of the application, it seems to me, that is to propose a different—slightly different location in—of the—for the garage—is something that in my judgment will require us to reopen the public hearing.

I think I heard at least one commission member, maybe several members shared this view in the last meeting, say that with this change and with that change, it would be, to them, not objectionable, but rather, would more likely be approved. And so I think what—the way I view this proposal to amend the application is that you're being responsive to the suggestion made in that last meeting by one or more of the commission members about what would be, in their view, more appropriate. And on that basis, it seems to me appropriate to reopen the public hearing and to have a presentation with respect to how the application is changed.

Is there any objection to following that course by any member of the commission? If not, then let's reopen the public hearing and hear from the applicant about any—about the—the remaining part of the application, which I think has to do with the garage.

Ferrell: And Mr. Chairman, just as another matter of housekeeping, the secretary to the commission is going to swear in the witnesses and he can do that all at the same time this evening.

Epting: Very well.

Ferrell: And he may have a statement to read just to get some procedures on the record as well.

Epting: Thank you. Thank you for reminding me of that. We'll make sure that's on the agenda next time [ph] so I read it better than I did this time.

Ferrell: I talked with the secretary about that, too. Thank you.

Lowman: Anybody wanting to speak, please stand up [INDISCERNIBLE]. I affirm that evidence I shall give to the Historic District Commission on the referenced application shall be the truth and nothing but the truth, I so affirm.

M/F: I affirm.

Lowman: And Mr. Commissioner, Mr. Chair, just as another matter of housekeeping, I would like to read into the record the following: that the Chapel Hill Land Use Management Ordinance, the Chapel Hill Historic District Guidelines Handbook, the rules of procedure, adopted by the Chapel Hill Historic District Commission, as well as the significant reports, and any presentations or evidence presented tonight be entered into the record.

Epting: So moved [ph].

Lowman: And I will say as part of the last iteration of 1 Mint Springs that we did not have five affirmative votes in any manner, so that tonight, we're looking, whether it be for approval or denial, that we have at least five affirmative votes in one capacity

or another. Oh, and to Mr. Murphy's point about the minutes from the last meeting, because of the Florence Hurricane delay, we do not have minutes for that September meeting because we would have had to have them turned around in two hours after that meeting. So we'll see those in November for both tonight and September's meeting.

Epting: Very well.

F: [INDISCERNIBLE]

Epting: Yes, thank you.

Ferris: Great. Good evening, everybody. My name is Marcie Cohen Ferris and I'm a co-owner with my husband, Bill Ferris, of our home at 1 Mint Springs Lane.

Chairman Epting and members of the commission, we're really grateful for this opportunity to speak with you again tonight and thank you also reopening the public hearing. We deeply appreciated the wise counsel of Commissioner Craig Carbrey, who suggested a stylistic modification for our proposed one-car garage addition. His suggest, which our architect, James Morgan, has incorporated in the revised drawing that you're looking at, has the aesthetic of a carriage door that we think works really nicely and is complementary to the 1940s design of our home.

So there is two options: a covered walkway with the garage addition, which is on the top; and then an uncovered walkway with the garage addition. And we really like the redesign of the garage door. We are absolutely committed to respecting the historic fabric in the architectural style of our home; that's why we're there. And it's actually the only historic home on our little Mint Springs

Lane cul-de-sac.

We bought our home from Lucy Carol Davis in 2002, and she designed and built and sold two new homes on our lane in the 1990s. So we prefer Option 1 because we carry a lot of groceries and other things into the house—the covered walkway—but offer Option 2 so that members can see the difference, as I know there was a discussion at the prior meeting about the appearance using each approach. So I just quickly wanted to remind y'all about why we're adding this one-car garage addition to our home.

So this little addition and the covered walkway from it will allow us to safely and easily enter our home with level, unhindered access. Because currently, the entrances to our home include a steep stairway in the back of the house, which we mainly use; unlevel stone pathways, which are in the front; and then several stone steps that go down to another door, not the one we're—we had three doors. So we appreciate the two doors.

I have a 92-year-old mom who is in great health, but she even has great difficulty visiting us right now because she can't negotiate the stairs, and Bill and I know that it's just a matter of time before we both experience the same challenges as we age. So as both the commission and we have tried to present, there are no alternative locations for the garage addition, and really, the topography of our site has defined and limited the location of the garage addition to where we placed it and where James helped us think about it.

And additionally, we have had no negative responses about the proposed addition from our neighbors, and our neighbors on the Mint Springs Lane, John and Stacy Reynolds, who live behind us, down below our house, are in closest

proximity to our proposed addition, are here this evening, as well as our neighbors Scott Magness and Dwight Debreë [ph], who live to the right of us.

If this design—you know, we hope it's approved, but if it's not approved, I really think, unfortunately, we will have to sell our home and likely, you know, leave Chapel Hill. We cannot age in place unless the accessibility issues with the house are addressed. And again, you know, we're so grateful for your time and consideration of our application, and I don't know if it would be appropriate, Jake, now. We've got—our neighbors are here—if they have the opportunity to—or if y'all would—

Epting: We'll be happy to hear from them, but I want to ask a couple of questions, if I might.

Ferris: Sure.

Epting: First of all, I think it would be important to point out exactly how this is different than the previous application that we were looking at.

Ferris: Right, I think it's primarily just the design of the actual garage door. Is that correct? So we had not reflected the windows and kind of the carriage door style on the earlier drawing. I think it was just a flat garage door, and Craig suggested, you know, to make it more that style, a change would really make it feel so much more appropriate and I think it looks great. So that's the main difference. It opens it up, lightens it up.

Epting: Yeah, I think Craig's suggestion and this elevation shows that this suggestion was a good one.

Ferris: Right.

Epting: Now, let me—I'm going to help you out by calling on you to confirm that there—
because of the topography, just to the left, as we're looking at the garage—

Ferris: Right.

Epting: The elevation there, either Option 1 or Option 2. The topography so—slopes off
steeply.

Ferris: There's a steep drop-off.

Epting: And for that reason, there's not a place where you could locate a garage, where
you could—it would be feasible to locate a garage other than against the side of
the house.

Ferris: That's correct. The road that goes by that garage addition goes down to Stacy and
John's [ph] house behind us.

Epting: Yes.

Ferris: And then to the left of that road is the deep drop-off.

Epting: Yeah. Mm-hmm. And so we—you know, we look at the guidelines and where
the guidelines talk about constructing additions, which this garage would be.
Ordinarily, they should be structurally self-supporting as opposed to joined to the
historic structure. "Where feasible," it says. So I'm really calling on you to make
the case that it's not feasible to locate the garage at another place on the lot, nor
would it serve your safety purposes. Not just convenience-wise, but safety
purposes, to put it in a location where you still had to climb the stairs up from the
back.

Ferris: Yeah, that's—you expressed it exactly as it is.

Epting: All right, I think that's important. Others have questions of this witness?

Smith: I do. I was at the site today and looking again at the existing carport and the staircase and I was hoping that you would have come up with an alternative because having the garage in front of the house and—does conflict with many of the guidelines that I read, and I appreciate your wanting to age in place. I hope to myself, and I was just wondering if there was a way to do the carport on a higher level but set behind the house and if you have explored that option at all.

Ferris: We really did think about several of those options and thought about other possibilities for the carport. But in the end, this really seemed the most appropriate and the least problematic and impinging on kind of the style—the historic aesthetic of the house. You know, we tried many different options but this seemed to cause the least disturbance on the site, generally.

Smith: Are you at all concerned with the large oak in front of your house? Because right now, there's pavement all around it except for on the yard that you are—and you have in front of the house and you're proposing additional asphalt turnaround in that same area under the drip line of that oak. I'm concerned about your safety as well. Because—

Ferris: Yeah.

Smith: —the more you do there, the more it jeopardizes that—the health of that tree. Although that's not in our purview, I'm just personally—

Ferris: No, that's a great point.

Smith: —concerned about the additional pavement in front of your house. And I also wanted to know whether you had explored other ways to get into your home through that back stairs with some kind of automatic lift.

Ferris: Yeah.

Smith: I know we talked a little bit about it in June.

Ferris: Yeah.

Smith: But I wanted to know whether you had looked at that again. Because I think the carport as it is is tucked away so nicely, like it is in many of the other houses in the historic district.

Ferris: Yeah.

Smith: So, did you look at that at all as a—

Ferris: We did, yeah.

Smith: You know, I forget what you call those. They go up the stairs.

Ferris: No, we did. We have friends down at the beach who use that frequently, and, you know, so we kind of contacted a couple of companies that provide that. They just—and I'm sure it could work. It did not seem like the appropriate option for us because it could deal with groceries but not so well with people and dogs and mothers. I mean, it might be right for some folks but not really for us or for the—I just felt like, you know, we agreed that we just got a much cleaner, effective design solution with what we're proposing because we like the design. You know, I understand the commission may feel different, but we thought it was really a very kind of beautiful, simple solution to our problem without bringing in a lot of mechanics in the back—because we like the aesthetic of the back, too; that's a really beautiful area for us. So that's how we felt about that.

Smith: Oh, I didn't think that that would affect the back at all.

Ferris: Well, it would mean putting in one of those elevator—[OVERLAPPING]

Smith: Oh, not an elevator. Have you seen those things that go up that make—you sit on this little chair that goes up. Anyway—[OVERLAPPING]

Ferris: Yeah, I have. I—we feel the same way, and I understand what you're saying about the tree and we've been really careful in our property to bring in pretty terrific tree management and we would carefully get their counsel again, and we would try to limit additional pavement as—to keep that as concise and tight as possible.

Smith: So would you be willing to limit the turnaround?

Ferris: That's hard for me to say until we know what the decision is, but we'll—

Smith: Right, okay. I—

Ferris: —we'd be—we would be prudent. And it's not our desire to cover our front yard in a lot of additional pavement. Because I really appreciate what you're saying. We feel the same way.

Smith: Right. That—those are my questions on the garage but I wanted clarification on the roof in terms of some of it being a standing seam metal, and I wasn't clear where that is. Is that just on your new covered walkway?

M: That was the previous application. It's gone.

Ferris: That's gone.

Smith: Oh, I'm reading it here.

Ferris: James is saying that was our previous application.

Smith: Oh, I thought I read it here. Oh, with an elevated central portion having a hip roof of standing seam metal.

M: That's all gone.

F: That's gone.

Smith: Well, that's what we got. That's what's—when I clicked on the link, this is what—this is the description I got. So maybe I don't even have the correct just description for—or maybe we all don't have the correct description for what you're proposing. I guess you're just saying that will be asphalt. I mean, asphalt shingles.

Lowman: Ms. Smith, if I could clarify just quite quickly. That was an older application, but it was supplemented with the new design. This is only the new one page that was submitted with this iteration.

Smith: So we're not supposed to read the description?

Lowman: Not in that portion of the application, no.

Smith: It says, "Proposed changes to the property in this application."

Lowman: That was the previous iteration—

Murphy: I think the front page was updated.

Smith: Pardon me?

Murphy: The front page of the application was updated. If you look at the front page of the application, it says, "Exist—addition of existing one-bay garage in front and rear porch roofs."

Smith: Okay, I'll scroll up there. Okay, I'm happy to see that. I'm finished. Thank you.

Ferris: Thank you.

Epting: Other questions of the applicant?

Kyser: Yeah, I do have a question. I think I asked this of you the last time. Why would an elevator not be reasonable? It seems like there's space under your house and

there was a previous garage under there or something and so it would be already—

Ferris: Well, you know, I'd love to hear from Bill or James, too, but, you know, we've talked about it a lot. It's really just not the choice that we would like to make. I feel like it adds, you know, another level of technology that I'm not really comfortable with. You know, I just don't—I think we have a better solution that's, you know, much more effective for the long-term use of this house that keeps our back without, you know, one of those units that you—I'm dealing with aging mothers, aging dogs, people, and I just don't find that elevator and I believe Bill agrees with me—

Kyser: I'm not talking about the chairlift. I'm talking about a proper elevator like your neighbors are having.

Ferris: Oh.

Kyser: You can get dogs and old ladies and everything in there, so.

Ferris: Yeah. We never considered that as an option. No one recommended that as an option.

Kyser: It seems like an option.

Ferris: I don't believe it's an option. It was never recommended to us by any of our contractors, by the two architects we've worked with or anyone who's viewed the site thought that that was an appropriate option. I understand why it works for our neighbors, Carl and Arnie [ph] in front of us, but it's a completely different situation. And they live in a very tall house and they absolutely needed that

elevator added. Our situation is different. You know, the topography is different from where they are and it's just not an appropriate option for our house.

Kyser: Thank you.

Locke: Yeah, I have a question. The right bay, you see this big window wall?

Ferris: Right.

Locke: When—is that—that's not original, is it?

Ferris: No, it's not and I think that probably was put in by Lucy.

Locke: Okay, and you guys bought the house 2002, right?

Ferris: Correct.

Locke: Okay, so what I'm worried about is this left bay. All right, the one that you're going to attach. Option 1, potentially do a walkway. Number two, potentially attach the thing. This might be the only last really historic bay that's left on the house. Does that make sense? Like, do you understand my concern?

Ferris: Which historic bay? Do you want to get up and point it out to me?

Locke: Yeah, the one on the left, this one. So if this has been remodeled, then this is the only really historic one left.

Ferris: Mm-hmm.

Locke: Then it might be difficult to get this. To really argue that this is not going to interrupt the historic feel or the character of the space.

Ferris: Yeah, I don't agree with you and I don't think we thought that was an issue because we so carefully and sensitively wanted to honor and maintain its integrity and I think this does. It's not our intent to block that original bay but to actually—right now, we can't come in the front of the house the way that it's set

up, so we'll enjoy it more and so will our neighbors and our guests by having, you know, more accessible access to the front of the house.

Locke: All right, thank you.

Smith: Are you saying you can't walk in your front door along those little steps that you have?

Ferris: That's a good point, Susan. There are stone steps that come down and, you know, they're attractive but they're difficult to negotiate. You know, we've added—we've added, you know, handrails. You know, we've tried but they're unstable and unlevel. I mean, you can repair them, but it's just not—it's not easy to negotiate, especially in bad weather, in ice and snow, and it's not covered.

Smith: Like a brick—like a brick walkway. I didn't see any railing there, but I did see stone steps that led from the road that goes down the hill to your neighbors.

Ferris: Yeah.

Smith: A few large—

Ferris: Right, right, those are—

Smith: —flat [ph] stone steps. We're talking about the same place?

Ferris: Yeah, those are difficult to negotiate.

Smith: Right, and so you haven't found it something you want to do to kind of make that all smoother, like with a brick walkway or something?

Ferris: Well, that's what we're proposing, is this level access.

Smith: Yeah, but that's through the garage. It's not the existing one. Are you going to keep the existing one?

Ferris: The carport?

Smith: No, the existing flagstone walkway.

Ferris: No, we would make that a level access.

Smith: Okay. Maybe it's hard to see because there's no plan here. I have a plan view here. So it looks like with the additional asphalt turnaround, you're going to have a brick—you're going to add a brick walkway that goes towards that bay on the left-hand side.

Ferris: Is that correct, James? Yes.

Smith: Or am I all wrong about this?

Ferris: No, I think—no. Susan, I think you got it right. I think you're right. That it's—we're going to make that a level access with a brick from the carport—from the new garage addition to the front door. We would remove those unlevel steps—the stone steps.

Smith: Okay.

Ferris: I mean, they worked for us when we first move in. It's just become increasingly not possible to use them.

Smith: Okay.

Epting: Are there other questions of the applicant? You said some neighbors were here?

Ferris: Yeah.

Epting: And would like to have them—

Ferris: Yeah, I'd love to invite them up.

Epting: —make brief statements about your application?

Ferris: Yeah, John and Stacy, do you want to start for us? John and Stacy Reynolds [ph], who live right behind us, down the hill from us.

Epting: Welcome, glad to have you.

Reynolds: Hi. Council, thank you for the opportunity to speak. As Marcie mentioned, we live down—if you’ve been there, we live down beyond Bill and Marcie, and we can attest to what you’ve mentioned as far as just the topography. It’s challenging. We can tell you; we walk up it every day. It is steep and it—I think it’s—they’ve done a really good job of trying to do something that enhances really the functionality of the house while still retaining, you know, the historicity of the house.

There really is—if you hadn’t been there, you’re just—you just aren’t going to understand it. There is no other access to do anything like this. And the way the carport is, I can tell you, when it’s wintertime and there’s the threat of sleet or snow, if we’re going to drive, we’re going all the way up and either going to North Street or we’re parking in front of Bill and Marcie and they’re gracious enough to let us park there.

But once you start going down that common-access driveway, you’re in trouble if you are trying to maneuver that in bad weather, and the way that carport is right now, you know, they’re—just to do that the way it is, is riskier. I mean, this is an improvement on that. So I’d like to comment on that, and then just the sheer drop-off, the limitation of space, trying to preserve what they have. And I think this is it. And it’s going to enhance it.

And I think with—you had referenced what some of the other neighbors have done. We appreciate it and a lot of the things that have—it’s a beautiful area. We love living here, love our neighbors, and what’s been allowed with the

other—the houses has been great and we're glad that they're allowed to stay and be in Chapel Hill and, you know, just for Bill and Marcie to be able to stay there.

I mean, that's, you know, community of the things that are around here that we all enjoy. The best part of the community are people, and allowing Bill and Marcie to stay, I would say that as well.

I do have a question, Susan. You had mentioned guidelines and the structure of a—was it a forward-facing garage? Was it—did I understand right, goes against guidelines? Could you—

Smith: No.

Reynolds: You had said something about it—

Smith: No—[OVERLAPPING]

Reynolds: Somehow this structure went against guidelines and I—

Smith: Yes.

Reynolds: And what exactly is that?

Smith: Garages are normally behind the front façade and, normally, they're separate structures, self-standing, as Bob mentioned. So this is not only not self-standing but it's in front of—it's way in front of the front façade of the house.

Reynolds: But you've been there?

Smith: Yes, I have.

Reynolds: Today. And so you saw the limitation of just that area. And guidelines isn't—it's a guideline. It's not something that's—decent, guaranteed [ph].

M/F: No.

Epting: Let me mention what guidelines mean. In order to have a historic district commission, in order to have an ordinance that is effective, the law requires that at the outset, and from time to time, a series of design guidelines be adopted and followed by the commission. So a part of every application is that the architect or the applicant—if they want to do a garage, they look at the part of the guidelines that applies to the accessory buildings in garages. There is a chapter. It's not more than a page long. My memory is maybe a page, page and a half. And then they fit the desired improvement in the guidelines, and so a part of your question seems to be, are these guidelines suggestions or are they applicable? They are applicable. If they weren't applicable, then every decision the commission made would be arbitrary.

So the purpose of the guidelines is to keep the decisions of the guidelines consistent and not arbitrary. And it's really unfortunate. I think if there is a failing, the—well, one of the failing that I would fix, if I could, is that I would want to make sure that every applicant who walks in the door insists to our clerks, "We want to make an application for a certificate of appropriateness. How do we go about doing that?" The first thing I would do is say, "What is it you want to do?" And if they said garage, I would hand them the guidelines, which are about 40 pages, 50 pages, and I would say, "Go over to page—whatever page that is." Have a look at that because when you make your presentation to the HDC, you're going to have to show—it's your burden of proof to show that the improvement you want to make is consistent with the guidelines.

If it is consistent with the guidelines, then it is congruous with—or the way this ordinance puts it, “Not incongruous with the special character of the historic district.” So excuse me for gushing, but thank you for the opportunity to say that. I think we should be saying it more frequently and we should be saying it every time an applicant walks in the door, and we should be saying it to every realtor and lawyer and architect and contractor who deals with improvements to structures within the historic district.

Again, the guidelines are there to keep us from acting in an arbitrary manner. So my question to—I’m glad you asked it first. My question to Susan was going to be, if you don’t approve this application, then you need to be telling the applicant what guidelines they failed to meet. That’s fair enough. In fact, it’s more than fair. You, it seems to me, deserve that. And so—and she told you precisely.

Smith: I have a list of several.

Epting: Yeah, told you pretty precisely.

Smith: But we’re not at that place of discussion yet.

Epting: Yeah, and so—but I thank you for the opportunity to have that discussion. I think that’s important. Everybody wants Bill and Marcie, if I may, to stay in the community. Everybody would like to make it as comfortable as possible for them to be able to do that. Nobody on this commission wants to take the blame for their having to go somewhere else, I assure you. On the other hand, we are obligated to follow the guidelines, for the reasons said [ph].

Reynolds: The—you know, the—for them to get a garage there that isn't—because to do it another way is going to—I think they've done it in a way that's subtle. I think it's attractive. I think it enhances it not to have the carport and have that instead, and it's just too bad that these guidelines are somewhat flawed, I would say, and that they can't account for circumstances like this. Well-intended but for a specific geography like this, I think it's lacking.

Epting: And we hear you. And that's precisely why I asked Marcie the questions that I asked her about the physical limitations and the impracticability of putting it anywhere else because there—there is that phrase in the guidelines that says “where practical.”

F: Or feasible.

Epting: I'm sorry, where feasible.

F: Feasible, mm-hmm.

Epting: And so that's in the record, that's in the evidence and it will be up to the commission to decide whether that is sufficient to fit the proposal within the guideline. But thank you for coming and supporting your neighbors, who are our friends as well, so. Any other neighbors who want to—yeah, please, come on up.

F: Just two more [ph].

Debree: So Dwight Debree, Scott Magness. We live at 513 North Street, so we are to the right of their house when you face their house. We also own properties at 507, 509, 511, and 515. So we own the five properties in a row on North Street there. I just want to mention first off, they're the best neighbors in the world,

[LAUGHTER]—everybody in our neighborhood. And everybody's so conscious

and everybody really does want to do the right thing by you all, by the town, by design, by all that [ph]. And we try very hard. I think we're all very proud of that.

M: Right.

Debee: When we built our house in 2007 in the historic district and got great advice from everybody here and we really wanted you all to like it as much as all our neighbors.

The main two things I'll speak to—we love the new design. I do think, as John said, I think it really improves it. I mean, what happened across the street, the house they just renovated, it's terrific. I mean, I came and reviewed the whole plans before they approved it and it turned out even better than I expected. So I love this new design. And also speaking, we're on that steep slope as well. It is very steep and I can't imagine another way to put this anywhere else. So as you say, I just don't know that it's feasible to meet some of the guidelines of behind or to the side.

Another point, it's in very keeping [ph] with the Joels' [ph] house right next door. They have a carriage door that we look out right over and I love their carriage door. It's extremely attractive. I think it's very fitting for the neighborhood and other things in the area. So I think from our perspective, I think it's the only feasible approach from what we could imagine.

We love the design. I think it's very in keeping with our house and the neighborhood, and so I think—that's the most important things I think we can

Speak to you all and is that, you know, we think it's a great option for them [ph].

We think—we'd love to see them be able to do it.

Epting: Great.

Magness: Yeah, and I would second everything that Dwight said. It's—it is very steep and I can give you some anecdotes. Marcie and I have dogs and we would—I would bring the dog over for a play date and there were a number of times, going down the front steps, that I would slip. A little bit wet and I would slip. The side part is even worse, and my dog would sometimes misbehave and run away.

I would go down that driveway, and one time I went all the way to the ground. And it wasn't even that wet, so I think there's some, you know, practical evidence that it's really dangerous around that area, and where they've placed this carport is, in my opinion, the only place they can put it where they do not have to, you know, go to those sorts of dangerous areas.

M: Right.

Magness: And I think also another thing that's a really important distinction for these other technological options that you brought up—for instance, the chairlift and the elevator. Those break, right? So you can imagine a situation where they come home at night with groceries or an aged parent and they can't get in the elevator. Then what do they do? The walkway where the garage is placed won't break and they can always get into their house safely. So I think that's a very important distinction between that particular option of the elevator. That's all I have to say.

Epting: Any questions of—thank you for coming.

M: Thank you.

Epting: Anybody else? Any other people here from the public who would want to comment on this application? Is there a motion, then, to close the public hearing?

[OVERLAPPING—INDISCERNIBLE]

Smith: Can I ask another question, please? I just thought of another question for—

Epting: Yeah, but let's don't talk anymore about elevators or lifts. That's not part of the application.

Smith: I wasn't going to do that [ph].

Epting: And we're not in a position to impose that.

Smith: I don't know why you would assume that I would.

Epting: Well, because you already have, but that's all.

Smith: Right, so I wouldn't bring it up again.

Epting: All right.

Smith: Okay. Yeah, so your neighbor just mentioned carport and this is a garage and I just had a thought—well, if this was an open, covered but open design, I wondered if you had explored that at all. Because the openness of it may not be, you know, as imposing as in front of this—the last historic bay of your house. Did you explore that at all? Because if it was there and it was open, you could still have access. Did you?

Ferris: We did think about that and still felt that this was a more attractive design for the whole aesthetic of the front of the—

Smith: Okay.

Ferris: It just—and it also was more of a practical space that we could use that garage for one car, but also use it for storage of other things, you know, that—and we would want it closed for that reason. But we did think about both options.

Smith: And the existing carport. Is that going to remain?

Ferris: That would remain.

Smith: Okay, as you have a second car and you put the second car down there?

Ferris: Right, exactly.

Smith: Okay. Thank you.

Morgan: Add just one thing [ph] to that. This is James Morgan, the architect. We went right through the historic district until we found—although we found, I think, half a dozen examples of garages toward the front of the house, projecting from the front of the house, which we actually put in our PowerPoint presented to you the last occasion. I couldn't see a single example of a carport in front of a house in the historic district. There probably is one, but I didn't turn one up. So we saw the garage as it would have been built at the time of the house, the house was constructed with a more responsible and a more congruous solution.

Epting: Other questions, other evidence? If not, is there a motion to close the public hearing?

Kyser: I make a motion to close—I make a motion to close the public hearing.

Epting: And a second?

White: Second.

Epting: All in favor, say aye.

M/F: Aye.

Epting: No? Okay, the public hearing is closed. Now, discussion. Let me, if you would, raise your hands and I'll call on you as you raise your hands. Any discussion?

Locke: Yeah, I think some of the accessibility and life safety considerations are probably applicable to this as well. So just for staff recommendation in the future. If this is going to be argued as a safety-hazardous condition, then I think we should just have that in mind as well.

Epting: Well, I think there's evidence to that effect and the question of the weight of that evidence is for the commission.

Locke: Right.

Kyser: I would like to make a remark.

Epting: Okay.

Kyser: Many houses in the historic district have no garages at all, and many of us live in the—who live in the district have challenging landscapes around us and constrictions that would prohibit the reasonable addition to an existing house to make it a comfortable aging place. So, and that's kind of a distracting thing. I know it's coming up with so many people—all of us a certain age thinking about it. But, I mean, if bit by bit we change the character of the district by adding old-age accommodations, I mean, I don't know where we'll be in the future. So, the traditional placement is of a garage in the back and freestanding, and I can only think of one that was on the front of the house, permitted to put up, and that was a brand-new house. Thank you.

Epting: You mentioned separate guidelines for garages. The guidelines that are quoted in the proposed findings of fact from the staff in the staff report pertain to accessory

buildings, which a garage is. There is a separate section on garages. Are there particular guidelines in that section that you would propose to be relevant to the findings that need to be made?

Kyser: Just give me a minute. Number seven on this—on page 21: “Introduce compatible new garages and accessories as needed in ways that do not compromise the historic character of the site or district. Site, new garages, and accessory structures in traditional locations that are compatible with the character of the building and site. Design them to be compatible with the main house in material form, scale, and detail. Maintain the traditional height, proportion, and orientation of garages and accessory structures in the district.” And those standards have been defined as being in the back of the house and being one story and so forth.

Epting: And, Susan, did you have any other guidelines in that section that you thought were pertinent to designing [ph]—

Kyser: Excuse me, I—may I add one more before I close off?

Epting: Sure, mm-hmm.

Kyser: Number eight, locate new utilitarian storage buildings in the rear or side yard locations that are visually screened from the street. Now, that’s not a garage but it’s still an additional outbuilding.

Epting: Okay.

Smith: You know, this is a really difficult case before us because I find that the structure does not—is not compatible with the guidelines that I have read. Looking at the one on accessibility on page 47, number four and number six. It says, “Introduce

new or alternate means of access to the historic building as needed in ways that do not compromise the historic character of the entrance or front porch.” So I don’t think that this says necessarily—I think that that hasn’t compromised the front porch. Whether it’s compromised the overall structure and that bay, I would say that it does. And number six says, “Minimize the visual impact of life-safety features through compatible design and discreet siding. Locate new life-safety features in locations that don’t compromise the architectural integrity of the building and that are not visible from the street.” That is the part I read related to that.

Then on—you’ve already mentioned on page 20 and 21. Then, on page 18 and 19 on parking, off-street parking, number eight. It says, “In residential sections of the districts, it’s not appropriate to locate off-street parking areas in locations that are visible from the street where the paving will abut the principal building but where the paved area will substantially alter the proportion of the site that is paved versus landscaped.”

And then on page 18, under considerations, it says something about proportions of the landscape to the new asphalt. Let’s see. Well, I thought I had something there. Oh, not—oh, yeah, here: “New parking area should not significantly alter the site’s proportion of landscape area to constructed area.” And I think, besides the garage, the addition of the asphalt entrance to the garage and the turnaround, I think, is significant in altering what is a very beautiful front lawn there.

Those are the guidelines I believe that I looked at. I also looked at the staff comments from before and I think that Kimberly already mentioned them. Number two and three on page 53? Did you?

Kyser: No, I didn't—[OVERLAPPING]

Smith: New construction, garage. Number two: "Minimize damage to the historic building by constructing additions to be structurally self-supporting where feasible, and attach them to the original building carefully to minimize the loss of historic fabric." And number three: "Limit the size and scale of an addition to minimize its visual impact." The addition of that garage makes an even, what I found, fairly long or wide front façade even larger.

Like I said, I feel this is a really difficult decision. I appreciate your wanting to age in place very much. I feel that it's my duty to adhere to the guidelines here, and I can appreciate how the slope prohibits your moving that garage. But those are my thoughts on that.

Murphy: If I may. Thank you.

Epting: Surely.

Murphy: So when I saw this back on the application for this evening, I also went to the site early this morning to take a look and refresh my memory, and I also went through some of the previous times this had been reviewed by the commission.

And it was first reviewed on June 12th, and at that time, we had two what I would call "substantial comments." And the first was the location of the garage and the second was a roof—a high roof over the front entry. And at that time, the applicant withdrew the application, I believe, to put it on the next month's agenda

to make some revisions. And we had some fairly lengthy discussions about the location of the garage and where it did not—we felt it did not comply with the guidelines. And the staff report from June lists, you know, a host of those, which I will not read through again.

And then at the July meeting, the application was brought up a second time, with a revision to the roof of the porch. And at that time, we approved all items except for the door, as I understand tonight, and I thought that was included. But, with the exception of that door and the garage again because of the location, there was still substantial concerns over the location.

And so tonight, I believe the garage is in the same location it has been since June, and I have the same—still hold the same concerns and I will not be repetitive and read all of the locations in the guidelines. While I do appreciate everything that the owner has done and I believe, aesthetically, the garage is in kind and in aesthetics with the house, I believe that the location is not consistent with the requirements of the guidelines. And if we are here to apply the guidelines to projects before us, then I—that's where my concern still rests, the same as it has since June. And I understand the concerns with the site and I sure do appreciate those. There's nowhere in our guidelines that I see that allows us to make provisions for things like topography and aging in place or other things, so.

Epting: Okay, thank you. Others?

Vogler: I have a question of you. I cannot find the term "feasible."

Kyser: I didn't find it, either.

Vogler: And—

Epting: I was reading it from the proposed findings. If you look at your—if you look at the staff report.

Vogler: Ah, okay.

Epting: The staff report brings forward guide—design guidelines for new construction editions. On page 55, provide Guidelines 2, 4, 5, 6, and 7. Number 2 says, “Minimize damage to the historic building by constructing additions to be structurally self-supporting where feasible.”

Vogler: Okay.

Epting: So I think—there’s not any question but that the garage is in a place where the guidelines would prefer that it not be. It seems to me that the question is whether or not it is feasible to put it anywhere else, and it’s up to the commission to decide that question. And so that’s not to say that either resolution for or against is right or wrong. It’s up to the commission to make that decision.

Kyser: I would like to respectfully go back to number two on page 55.

Epting: All right.

Kyser: I do not read it in that sense. It says, “Minimum [ph] damage to the historic building or construction—constructing additions to be structurally self-supporting where feasible.” It doesn’t mean where you wish it to be; it means something—and attach them to original building carefully to minimize the loss of historic fabric.

Epting: And your reading of that is certainly a reasonable reading of it. It’s up to the commission to decide, at least five members of the commission will decide what that phrase means and whether or not, based on that phrase or any other phrases

there, this application proposes something that could be found to be not incongruous with the special character of the historic district.

Now, we should move towards trying to make a motion, either for against the application. If you make a motion that says—that would propose to deny the application with respect to the garage because it is incongruous with the special character of the district, then you should add to your motion the guidelines based upon which you would make that finding.

Likewise, if you—anyone wants to make a motion to approve the application on a finding that it is not incongruous, please supply with your motion reference to one or more guidelines which can be the basis of that decision. I'm ready to hear a motion.

Ferrell: Mr. Chair, before you entertain a motion—

Epting: Yes?

Ferrell: I just note that Mr. White wasn't present when this application was heard last. There is a provision in your rules of procedure that if a member assures the chair he's familiarized himself with the application and has reviewed the prior discussion in the matter, he can vote on going forward. But I just wanted to—

Epting: Thank you for reminding me about that. Jim White, do—have you had a chance to review the record in the matter from the original and then the subsequent hearing?

White: I have reviewed it but I am uncomfortable weighing in, not having been part of the original discussion.

Epting: All right. Then I think you may be recused from the—

White: Yeah.

Epting: —from the vote on this matter.

Smith: Are we making a motion for the garage and the new asphalt turnaround or are they separate? Or does anyone have any concerns about that additional asphalt, on the commission?

Epting: The application, of course, shows the asphalt turnaround and the garage. If you wanted to vote on those separately, I would entertain a motion in that regard. If you want to vote on them as they have been applied for, I would entertain a motion in that regard.

Smith: I just wondered if any other people had any concerns about that size or that design.

Vogler: I have an additional concern and that is we were presented tonight with two possibilities. One was a covered roof and the other without a covered roof. And while I have the floor, I would like to ask if anyone has looked at the pictures of the original house before it was altered with the large window in the front. It—I find that instructive in that it seems to me that the current aesthetic—that is, the relative size and shape and the pitch of the roof, the height, and so on of the proposed garage is more in keeping with the original house than the existing house, which has the abnormally large and odd gable projecting with the large window.

Epting: On that left end. Well, I don't see such a picture in the package.

Vogler: On the right end [ph]. Right, it was not in the package but I thought we had pulled that up in a previous—

Murphy: Commissioners, we did pull it up in one of the previous meetings and I believe it was attached to the—

Vogler: Yes.

Kyser: The June meeting, I think.

Murphy: Maybe the July meeting minutes, yeah.

Epting: I'm sorry, I don't recall it. So I can't answer that question. I do think we're at a place where we should have a motion one way or the other and have a vote on this matter.

Smith: Are we also voting on whether the walkway is covered or not? Those are two separate motions.

Epting: We will vote on the motion as it is made. As I said a while ago, if you want to make a motion on the asphalt separately from the garage—

Smith: I'm not talking the asphalt. I said the covered walkway versus the—because that picture is not up there and—

Epting: It depends entirely on the motion. I won't know whether we're voting on that until I hear a motion. Is anyone inclined to make a motion? Craig Carbrey is always good at motions.

Smith: Articulate [ph].

Carbrey: Based on the discussion, I think I'll probably be making a motion that goes against what other commissioners are thinking. Hold on one second. Sure, I'll make a motion. Is it okay if I do that without findings of fact or—?

Epting: Yes.

Carbrey: Okay. In the matter of 1 Mint Springs Lane, I'd like to move that the proposed garage addition be approved. I will actually reference page 55, Item 2: "Minimize damage to the historic building by constructing additions to be structurally self-supporting, more feasible, and attach them to the original building carefully to minimize the loss of historic fabric." In my opinion, the way it is adjoining just the corner on the existing façade is a structurally self-supporting addition to the house. Of course, I don't have the images up. If you wouldn't mind, Jake. Thank you. And I will base it also on the south elevation, Option 1, as proposed in the drawings that were presented at this meeting. Did I cover all the bases?

Ferrell: If you could, because we have a particular guideline for garages, if you will, please reference the applicable guideline from the garage section and I'm happy—yeah, that's on page 21.

M: All right.

[INAUDIBLE]

Ferrell: And I believe that Item 7 was read out before.

M: Sure.

Epting: Yeah, number 7.

Carbrey: Sorry, I'm reading it right now. I'm rereading it. Yeah, I'll just—I'll reference Item #7 from page 21 in the guidelines. There are parts of it that I think are appropriate. Some of them probably not as ideal for the motion I'm making. I apologize. That's not the best one.

Epting: Okay. The—there is a motion. Is there a second?

Vogler: I'll second the motion.

Epting: For the purpose of having a vote. Okay. So there is a motion to approve the application for a certificate of appropriateness. In particular, with respect to the amended application showing the—shown as South Elevation Option 1 on the documents before us tonight. Did you intend that that should include the asphalted area?

Carbrey: Yeah, as proposed in the plan.

Epting: Okay.

Carbrey: Thank you.

Epting: That motion has been made and seconded. Ready for a vote? Further discussion?
All in favor, say aye. Aye.

M/F: Aye.

Epting: All opposed say no.

Smith: No.

Epting: That motion fails. The vote was, I believe, four to three.

F: Mm-hmm.

Epting: Did you get the—did you get the—

Lowman: Clarify Ms. Smith's vote on that one.

Epting: Okay.

Lowman: Was that a—

Smith: Pardon me?

Lowman: Can I clarify your vote for that one? Was it a nay?

Smith: It was nay.

Epting: I think the—did I say it right? There are three votes in favor and four votes opposed?

Kyser: Mm-hmm. I think that's right.

Epting: So that vote failed. Is there another motion?

Kyser: I would like to make a motion to deny it and I'm going to use the exactly same guidelines for denial.

Epting: If you would, since it's a denial and, therefore, more important to be specific—

Kyser: Oh, I will. I'm going to—

Epting: Let's say exactly what part—

Kyser: No, I will. In fact, I'm going to add another one.

Epting: All right. Thank you.

Kyser: The way I see—I am also—first of all, I'm going to cite page 55, number two. But also, to add to that, number three, which is not in the recommendations from the staff. And then on page 55—

Ferrell: And if we can, because as the chair mentioned—

Kyser: Read it?

Ferrell: No, not necessarily, but if you will, in addition to citing which guideline, can you mention the facts that—that you're citing—

Kyser: Okay.

Ferrell: —that support your conclusion.

Epting: That makes that guideline applicable [ph].

Kyser: Okay, number three on page 55 says, "Limit the size and scale of an addition to minimize its visual impact."

[INAUDIBLE]

Kyser: It goes onto a sentence that's not quite as clearly applicable but it talks about minimizing the compromise of this addition to the visual impact of the original building. And then on page 21, number 7.

Ferrell: Just to clarify, are you saying that the facts show that they didn't limit the visual impact? The size and scale of the addition doesn't minimize the visual impact? Is that—

Kyser: Well, I think a garage in the front of a building—putting it in the front of the building maximizes the visual impact.

Ferrell: Thank you.

Kyser: And number seven on page 21 says, "Introduce compatible new garages and accessory structures as needed in ways that do not comprise the historic character of the site or district. Site new garages or accessory structures in traditional locations that are compatible with the character of the building and the site, design them to be and so forth." Maintain them—I mean, it is a traditional scale of a garage but in—not in this—but the positioning of the garage is not in the historic—it's not the historic pattern of development in the positioning of garages.

Epting: All right, now, are there others—well, let's, first of all, see if there's a second to that motion. So your motion would be to deny based on the—

Kyser: The guidelines.

Epting: Not compatible with those guidelines. And so is there a second to that motion?

Locke: I second.

Epting: And in terms of discussion from other members, if other members who intend to vote in favor of this motion would rely on other guidelines, I'd like to hear those as well. Jamie, in particular, I was interested in hearing what you had to say about it.

Locke: I mean, I'd also include number nine on page 21, as it creates a false sense of—a false historic sense because this is—I mean, I would classify this as an H-style ranch house and it could be interpreted as a ramble ranch after everything is said and done.

Epting: All right. Others?

Smith: I'm not sure which guideline is applicable here or whether you're going to include Option 1 or 2? [OVERLAPPING] because I was concerned in the first motion of Option 1 being proposed. Option 2 does not cover that historic bay, so I would be factoring that in.

Kyser: They're exactly the same.

Smith: No. The porch.

Epting: No, she's pointing out that the proposed porch—[OVERLAPPING]

Kyser: Oh, okay.

Epting: —on Option 2 does not proceed out all the way to the garage but it does on Option 1. So your motion is respective with respect to Option 1, I believe. Is that correct?

Kyser: Well, it's the positioning of the garage that's the—

Epting: Which is the same on both of them.

Kyser: —central [ph]. Yeah.

Epting: All right.

Kyser: Okay.

Epting: Is any—

Smith: I just didn't know whether she had to include Option 1 or 2 in her—

Epting: All right, are there other concerns by other commissioners with this motion? That is, are there other guidelines that any other commissioner would find to be applicable?

Murphy: Yes.

Epting: Okay, list them [ph], Sean.

Murphy: I believe one of the guidelines that was previously cited on page 55, number one for additions. It says, "Introduce additions in locations that are not visible from the street, usually on rear elevations, inset from either rear building corner." And then it goes on a little about locating additions carefully so that you do not damage or conceal significant building features or details.

Epting: Okay, all right. Are there any others? Now, you've heard other commissioners suggest other guidelines. Do you accept those as part of your motion?

Kyser: Yes, I accept all the other suggestions, the friendly amendments. Thank you.

Epting: Is there further discussion of the motion? If not, are you ready to vote? If so, all in favor of the motion to deny the application, say—well, raise your hand.

M: Aye.

Epting: This is on the motion to deny. All those opposed to the motion to deny, raise your hand. I think we have a four-to-three vote.

F: Yeah.

M: Right, so we can't.

Ferrell: And what I'll say is for failure to receive the required five votes in either before—
for or against the motion, you don't—you have no action taken, and what I'll tell
you is that your—the Land Use Management Ordinance provides that failure to
take action on an application within 180 days of submittal is an approval. And I
believe we're coming up on that deadline.

Epting: When is—do we know when that deadline is?

[INAUDIBLE]

Lowman: It's—I'd have to do the quick math, but potentially this month. I don't think the
November meeting would—I think it would be past that 180-day deadline.

Epting: Would it be appropriate to ask the applicant whether they would consent to
extending the 180-day deadline so that the matter could be considered again in the
November meeting when we will have two new members of the commission?

M: Will those two new members abstain—[OVERLAPPING]

Epting: Only one of those would have heard the evidence. They may vote, I take it, if
they become familiar with the application. That was the—

Ferrell: That's what your rules of procedure say is if they familiarize themselves with the
prior applications and the discussions, et cetera.

Epting: Dr. Burns [ph] certainly.

Ferrell: Right. Again—

Epting: Has been here before [ph].

Ferrell: Whether or not—

F: Dr. Sweet [ph]?

Epting: Yeah.

Ferrell: I haven't confronted the question of whether or not they can—the letter of the ordinance can be waived in that way.

Epting: Well, and it may be unfair to ask the applicant on such short notice even to consider that. But I would like to do whatever we could to accommodate both the applicant and the commission in coming to a vote. If it is plain that the commission would have denied this application, then it is fair to the public that we should try to preserve that opportunity. If it is plain to the applicant that—well, I should just—I shouldn't try to speak for the applicant. I'm just trying to be fair to the applicant. I—

Kyser: Can I whisper a question?

Epting: I'm sorry.

Kyser: [INDISCERNIBLE] the deadline [ph].

Epting: I don't think it's likely that any of the commissioners who are here are going to be persuaded to change their vote. I don't think we're going to get to five votes. I think the only way we can get to five votes is at a subsequent meeting. And yet, the 180 days will pass.

Locke: But we did only vote on basically an entire package. We didn't talk about the individual design aspects of the plans. I mean, there are two plans in front of us.

Epting: Well, we haven't finished.

Locke: Right, and so that's all I was going to say.

Epting: If you want to make another motion, we'll consider another motion.

- Locke: All right, let me look at it real quick. Let me find it. [INDISCERNIBLE].
- Additions is what, 22? Fifty-five, right. That's what we're looking for. I mean, I would like to make a motion to say or to decline the porch extension all the way to the proposed garage, and that is because of number two on addition guideline, guideline addition number two, "To minimize damage to the historic building by constructing additions that are structurally self-supporting," and this is not self-supporting.
- Kyser: Wait, you're talking about page 55?
- Locke: Page 55, Guideline #2 for additions.
- Epting: I'm trying to perceive how that motion is in order if there is no garage out there on the end.
- Locke: Well, I mean, we're giving them—we'd give them permission anyway to do that and I'm saying if this specific design is affecting the characteristic of the house. So even if the garage were to get approved and they were to—allowed to have that, I'm still saying that this is intrusive to the historic character and that it should be denied.
- Epting: So Option 1, showing the porch extension—
- Locke: Right.
- Epting: —to where the garage would be, you're suggesting is incongruous with the character of the district.
- Locke: Right.
- Epting: Okay, if you'd like to make such a motion, we will see whether it gets a second.
- Vogler: I would second that. Mm-hmm.

- Epting: Okay. Do you want to recite guidelines that would be—that would support your motion?
- Locke: Number two: “Minimize damage to the historic building by constructing additions so they’re structurally self-supporting where feasible and attach them to the original building carefully to minimize the loss of historic fabric.” And I do not think this does that.
- Epting: Okay, and what—do you want to say specifically how it doesn’t do that?
- Locke: Because it attaches to the building and it’s going to automatically take away from the historic material.
- Epting: Further discussion on that motion?
- Ferrell: I just would like to clarify. You asked me a specific question and I’d like to read the rule because it was responsive and I missed—I didn’t quite capture the ordinance. You asked about the 180 days. Action on the app—this is—I’m reading from the rule about the 180-day deadline for commission action. “Action on the application within 180 days of the acceptance of an application or within such further time, consented to by written notice from the applicant, the town manager, the commission shall approve the application.” So—and the rule does provide for the applicant to agree in writing to extend the 180-day period, and I think that’s relevant just because I got a note here from the secretary that says that they’re willing to agree to hold it open. So I just—you asked me the question and I want to provide a full response.
- Epting: Well, thank you for that willingness. I think that would get us to a subsequent meeting. I can’t say what the votes would be in a subsequent meeting, but we

would certainly have two, if not three, folks here who are not here tonight at the November meeting. Dr. Burns and the council, I think, plans to consider the two nominees that we've sent forward at its meeting a week from tomorrow. So we should have three folks here next time that we don't have here tonight.

Carbrey: If that's the case, does that mean Commissioner Vogler and myself will not be present because we've been replaced? I see our terms have expired.

Kyser: I thought we're missing more people than that.

Smith: That's true.

Ferrell: We don't know what seats they'll appoint to, I don't think, do we?

Kyser: We don't know [ph].

Epting: Not really.

Ferrell: Or if they'll appoint.

Carbrey: No, I understand. You're saying in the best case if they do appoint—

[OVERLAPPING]

Epting: You're not. I mean, conceivably I think one could argue that you haven't been replaced until the newly appointed commissioner is sworn in and takes the oath. I frankly am uncomfortable dilly-dallying to try to squeeze this vote in. Given the changing membership, on the other hand, you know, I think both the community and the applicant deserve some ending to this process that is more definitive than a three-to-four vote. So.

Kyser: Well, could we vote on this proposal that—

Epting: We will in a moment, yes.

Kyser: Okay.

- Epting: So the motion before you is to disapprove that part of the application that shows—that is shown is South Elevation Option 1, with the roof extending all the way out to where the new garage would be if it were approved. I take it—the motion does not involve Option 2 in any way?
- Locke: No, I'm not approving Option 2.
- Epting: Okay, is there further discussion about the motion?
- Carbrey: Sorry, for my own clarity. This has nothing to with the garage addition?
- Locke: No, it's this right here.
- Carbrey: I understand. I just wanted to make—you know?
- Locke: Yeah. Yeah, oh yeah. It's just the walkway [ph].
- Carbrey: If there wasn't a garage, that wouldn't be there anyway, right?
- Locke: Right.
- Smith: And can I ask a question? Why aren't you referring to Option 2?
- Locke: Because I don't approve of the garage, so I'm not going to approve Option 2. I'm just—I just do not—that extra roofline along the remaining historic bay is, I think, inappropriate according to Guideline #2 of additions.
- Smith: Okay, but in Option 2, it does not go anywhere near the garage.
- Locke: Exactly.
- Vogler: And may I ask a question?
- Epting: Yes.
- Vogler: I—or state what I think. I heard in Craig's motion was to choose Option 1.
- Carbrey: One, yeah. My first option I made that was denied. That's correct.
- Epting: So with that—

Vogler: And I don't know how those pieces fit together, but—

Kyser: Did we put all your motions [ph]—?

Epting: We are going to vote when I call for the vote.

Kyser: No, I'm just confused. So his original motion—

Epting: Does everyone understand the motion?

Vogler: Was—his original motion was to deny.

Kyser: That included [ph], okay. All right.

Vogler: And so now we're adding to that a layer, presumably.

Epting: Yeah. Further discussion? Do you understand the motion? All in favor of the motion, say aye..

M/F: Aye.

Epting: All opposed say no?

M: No.

Epting: That motion carries five to two. So Option 1 is no longer an option. Option 2, if the matter were further considered, it would be considered on Option 2. And so the matter is held over until our November meeting. Thank you for being here tonight and thank you for your efforts and thank you for your patience.

[END TRANSCRIPT 01:34:17]

[BEGIN TRANSCRIPT 02:15:30]

Epting: I understand that you have some news for us about the Ferrises' consent to extend the deadline.

Ferrell: I do. The Ferrises provided the writing asking to extend the 180 days. Just for the purposes of consideration, staff made a back-of-the-paper calculation. The

180 days expired in this app—in this case, November 10th. Your next meeting is November 13th. In the interim, Mrs. Ferris rescinded the agreement to continue the—to extend the deadline. In my mind, what that will—[OVERLAPPING]

Epting: I am inclined to question the authority of the applicant to rescind that consent after we have taken—after we have passed that item on the agenda, because the effect of that rescission [ph] could be to prevent us from taking action, one way or the other, deliberately, which I think would be improper and they would ordinarily be estopped from doing that.

Ferrell: I think what they've done is muddled the waters and created an argument to present to staff that the 180 days has passed; it's a hard and fast rule, we consented or not. It's a question we considered and then we rescinded, and so were [ph] entitled to it. I think that's what they've done, is set up that argument. Whether or not that's a winner, I agree that there's, I think, a legitimate estoppel. They consented to it, you moved on, the item has been passed, and so that consent was relied upon. But I want you to have all the facts and I think—
[OVERLAPPING]

Epting: I understand. I appreciate you providing that. I wonder whether you would find it appropriate for the board to consider a motion to reconsider the vote on that item. The last vote having been taken on a resolution to deny a fail by a vote of four to three. That is, it did not pass because it didn't have enough votes. I take it that a person having voted one way or the other in that would be able to make a motion to reconsider.

Ferrell: I think so, and I think the way to avoid the 180-day problem is to have a resolution one way or the other—

Epting: Right.

Ferrell: —this evening, and then you don't get into the question of what does the first writing and then second writing mean.

Epting: Well, it seems to me there are two or three ways to accomplish this. I'm not inclined to let the 180 days run out because I feel like I've had my shoes untied by that attempt to rescind. I don't accuse him of bad faith; I simply say, "It's not fair to take the benefit of a—of our having moved on and try to claim the benefit of the passage of 180 days when we were under the impression that consent was in place."

Ferrell: Right.

Epting: This meeting is not over yet, and it seems to me it would be appropriate to reconsider that vote, either in this meeting or in a special meeting called for the purpose of reconsidering that vote before the end of the 180 days. And we're going to do one or the other.

Ferrell: Sure, no, I think you can do it tonight. [INDISCERNIBLE]

Epting: Is it your view that that motion should be made by a person who voted—that is, by a person who supported that motion or did not support that motion?

Ferrell: And to avoid any issues about reconsideration, if somebody who voted with the—well, you know, reconsideration is not necessarily the right question, I don't think, because none of them—neither—no votes got—no votes were approved, you see.

But I do think if for clarity and to avoid the issue if somebody who voted on—if it

was the vote was against, if somebody voted for, they could bring it up and we'd avoid the question of the reconsideration [ph].

White: Is—is it okay, Mr. Chairman—

Kyser: You're making a motion again?

Epting: What?

White: Is it okay to do this with the applicants not in the room?

Epting: Well, that's why I'm considering—

M: It's public [ph].

Ferrell: The public hearing has been closed—[OVERLAPPING]

Epting: They chose to leave the meeting.

Ferrell: If I'm correct, the public hearing was closed. There's no question in my mind that the—until you're gavel down, you're permitted to consider applications properly noticed and provided in your agenda. Given this rescinding, there had to be some recognition that this may be the result; that a vote be taken tonight. So I think from a legal perspective, I don't have—I have more concern about what the muddy waters are than I would about you taking a final action tonight.

Vogler: I have a question about the rapid chronology. When they left the room, did you already have a written agreement before they left the room?

Ferrell: I have a writing here that says, "Jake, we will agree to extend the 180 days."

Vogler: But then Marcie returned—

Ferrell: And then Marcie—

Vogler: And then brought you a recension [ph]?

Ferrell: If you recall, she returned here.

Vogler: I see.

Ferrell: She handed the second writing to Jake and I'll read it to you. It says, "Jake, so sorry, but we rescind the extension behind the 180 days. Marcie and Bill Ferris."

Vogler: I—that was just a question. I did not know that she had given a written statement to you before leaving the room.

F: She came back.

Vogler: I know that—

M: But the initial was—

[OVERLAPPING—INDISCERNIBLE]

M: —and a written before she left.

Vogler: That's right, she gave a verbal but the—

Ferrell: No, there was a—because it was a writing. She didn't sign it, but—

Vogler: I realize that. I'm saying that there were two things in writing and I was clarifying that she—before she left, she had given you a written statement saying that they would accept this agreement and then she returned to rescind that decision.

Ferrell: I'm sorry I missed that. That's correct.

Vogler: Mm-hmm. Thank you.

Epting: All right, it would occur to me that—

M: Can we make motions?

Epting: In just a minute.

F: Can we discuss a little bit [ph]?

Epting: It occurs to me that the rescission was given under circumstances where it might have been assumed that it certainly could have been known by the applicant that the commission could take further action on the matter tonight or at a subsequent meeting. I'm inclined to do it tonight. On the other hand, because of the reason that Jim suggests, if we did it at a special meeting later, we would have the opportunity to give notice to the applicant that we're going to reconsider the motion. And if they want to come in, they may. I don't think that they're entitled to be heard at that time, because the public hearing is closed.

M: The public hearing is closed [ph].

Epting: And so that would be another argument why we didn't—we don't have to give them notice, but I think giving notice is the fair thing to do, and that suggests to me that we not do it tonight but that we do it at a special meeting. And that would be our—if we did it this month, our third meeting this month.

Smith: And also, if we schedule it at a time when we hear from counsel, we may have different people on the commission that if they prepared for this, would they be able to vote?

Ferrell: Well, I think anybody that votes would have to be prepared according to your rules, which would mean having had reviewed all of the—[OVERLAPPING]

F: Videos?

Ferrell: —materials in the prior deliberations on the matter. That's what your rules say, so I think that's a predicate to anybody participating.

Epting: Yeah.

Kyser: What's the argument against doing it right now?

Epting: If we did it at a later date, we'd be able to give the Ferrises notice that we were about to do it and they could come if they wanted to.

Murphy: But they've left us in a position where I don't believe—I mean, we had the notice tonight. This—the meeting is still open, as I heard.

Epting: The meeting is open, yeah. So, you know, I'm—I don't want to rule about how we do it. If there's a motion from one of you that we should reconsider and deny the application, I would entertain that motion tonight. On the other hand, I would be willing to say we will come back for a special meeting next Tuesday night for the purpose of reconsidering that matter and concluding it.

Locke: Could it be legitimate to deny it on the grounds of an incomplete application?

F: What?

Locke: Their Option 1 and Option 2 doesn't really clearly define the pavement options that they're really looking for, and I think that it might be an incomplete application. And since this is the third, fourth time in front of us already, this is getting very confusing on the timelines and I believe we've already voted on some things and have denied certain things, and then it came back in front of us with some—I mean, did we not disagree with that walkway last time? I cannot remember specifically on that one.

Kyser: But it seems to me, we also agreed on—most of us—many of us agreed on the positioning of the garage, period.

M: That has been consistent.

Locke: Right, and so I would like to make a motion to move to deny application based on an incomplete application.

Epting: I will tell you why I am uncomfortable with that motion before I even ask if there's a second. I think if you're going to deny this motion, you have to look toward the probability of the commission's action being appealed to the Board of Adjustment. The Board of Adjustment is going to want to know whether there are significant, substantial grounds for having denied this application, and I don't think the Board of Adjustment would find that to be a substantial argument.

So, I mean, I'd be a lot happier if I looked back there and saw them walking back in the room so we'd be having this conversation with everybody who is affected in the room, but that isn't going to happen. So I think the question is, do we have a motion to reconsider the last vote we took, which failed to pass because it only got four votes. If we have a motion to reconsider a second and that motion passes, then we will vote to reconsider that last vote. In other words, we will vote again. And I suspect we will then have five votes, but I don't know.

Ferrell: And again, just for clarity, if that's—that motion is made by someone who voted the opposite way last time, that would, one, tell you that you may have a different vote count and, two, take away any question about whether the reconsideration was done properly [ph].

Epting: So the three people that voted no were Craig and the chair and I forgot—

F: Mary Frances.

Epting: Mary Frances. So it would depend upon whether Craig or Mary Frances wanted to make a motion to reconsider that vote this evening.

Vogler: I personally feel very uncomfortable making any sort of motion or taking any action that the Ferrises do not know about.

Epting: Bless your heart. I do too. Craig?

Carbrey: I agree.

Epting: All right, well, there's not going to be a motion to reconsider tonight. I will tell you that it is my strong inclination to ask that we have a special meeting next Tuesday night for the purpose of further consideration of this particular application.

Ferrell: And what I would say is if you will just continue this meeting until a time and date certain, which is next—

Epting: We don't have to re-notice [ph].

Ferrell: Next Tuesday at 6:30.

Epting: Good.

Ferrell: There will be no need to re-notice and you can conclude your business from this meeting at that time.

Epting: All right, we don't have to re-notice, but we will, of course, let the Ferrises know that we're going to—we intend to do that.

Lowman: And then we will not be able to meet in here. I will double-check to make sure that the room across the hall is available, but Planning Commission will be in here at 7:00 and it will be set up for that purpose.

Epting: Okay. All right.

Lowman: So I will just confirm that and send a notice out for the board.

Epting: But there would be some meeting room here, most likely?

Lowman: The room right across the hall, 110, I believe it is.

Epting: Yeah.

Ferrell: The conference room.

Lowman: The conference room, the first-floor conference room.

Epting: Okay, Susan?

Smith: I'm just confused. So if we have the two new board members—

[OVERLAPPING—INDISCERNIBLE]

F: We won't.

Epting: That's the day before the new board members will be appointed.

Smith: Why don't we make it? Oh, we don't—you don't want to make it then because you want Mary Frances and Craig to be—

Vogler: No, it has nothing to do with the person [ph]—

Epting: It has nothing to do with the other board members. There are two candidates and the council will choose one or both of them.

Smith: On what day?

Epting: On the 17th. That's Wednesday after next Tuesday.

Smith: Oh.

Kyser: The 17th is Tuesday.

Epting: That's Wednesday. Whatever the heck the date is.

Kyser: Oh, no, you're right—[OVERLAPPING]

M: The next meeting would be Tuesday the 16th at 6:30 in the conference room.

Epting: In the conference room.

Vogler: And then the people will presumably have to be told, taught about quasi-judicial committees and there's a certain training to be involved in—then they have to be sworn in.

Epting: Well, one is—yes.

F: Well, one—

Epting: We're not worried about the new members.

F: [INDISCERNIBLE]

Epting: We're having this meeting before the new members are coming. So no more conversation about new members. The only possibility is that Wood Burns [ph] will also be here then.

Locke: And what happens if the Ferrises don't show up?

Epting: They don't have to show up.

F: They don't have to but they know—[OVERLAPPING]

Epting: We're just—we're in a meeting.

Locke: But then we're just giving them the opportunity to show up is what we're doing? Okay.

Epting: Correct. We're trying to be fair. Okay, now—

Vogler: And Board of Adjustments will be happier.

Epting: So let's have our presentation on the design guidelines rewrite process going forward.

Vogler: Board of Adjustments, they're mad at us anyway [ph].

Lowman: We'll gladly do so. Give me just a moment to pull the presentation up here.

Vogler: Well, that's pretty [ph].

Epting: While you're pulling it up, I will say that it seems to be more—most likely that—
that what the Ferrises will do is see that they may have made—they may have
been less than cautious in attempting that rescission and it may be that they will
withdraw the attempt to rescind.

F: They'll rescind the rescission.

F: Can they do that?

Epting: Well—

M: That's like a double negative.

[OVERLAPPING—INDISCERNIBLE]

Epting: Let's don't go further about that. Let's just agree that we're going to continue this
meeting until next Tuesday across the hall and we will proceed at that time with
respect to that agenda item.

Lowman: And I will reach out to the Ferrises tomorrow.

Epting: All right.

Lowman: So that's taken care of.

[END TRANSCRIPT 02:32:14]

[END RECORDING]

10. October 9, 2018 Historic District Commission Meeting Minutes



TOWN OF CHAPEL HILL

Historic District Commission

Meeting Minutes

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Chair Robert Epting
Vice-Chair Kimberly Kyser
Deputy Vice-Chair John Sweet
Woodrow Burns
Craig Carbrey

James Locke
Sean Murphy
Susan Smith
Mary Frances Vogler
James White

Tuesday, October 9, 2018

6:30 PM

RM 110 | Council Chamber

Call to Order

Chair, Bob Epting, read the public charge into the record.

Roll Call

Jake Lowman (Staff Liaison)
Becky McDonnell (Staff Liaison)
Brian Ferrell (Commission Counsel)

Present 8 - Chair Robert Epting, Vice-Chair Kimberly Kyser, Craig Carbrey, James Locke, Sean Murphy, Susan Smith, Mary Frances Vogler, and James White

Absent 1 - Woodrow Burns

Secretary read procedures into the record

Approval of Agenda

Announcements

Petitions

Consent

1. 517 Hooper Lane

[\[18-0777\]](#)

A motion was made by Carbrey, seconded by Vogler, to approve the Certificate of Appropriateness to relocate a generator and clad a retaining wall in stone with a bluestone cap, based on consistency with the Design Guidelines and congruency with the Historic District. The motion carried by a unanimous vote.

Old Business

2. 1 Mint Springs**[18-0778]**

A motion was made by Murphy, seconded by Smith, to approve the portion of the application pertaining to the removal of an exterior door and replacing with matching siding. The motion carried by the following vote:

Aye: 7 - Chair Epting, Vice-Chair Kyser, Carbrej, Murphy, Smith, Vogler, and White

Nay: 1 - Locke

The Commission chose to reopen the public hearing for the garage addition portion of the application. Marcie Ferris, owner, presented the application. Four neighbors spoke in support of the application. The Commission expressed concern over the congruity of the garage addition with the historic character of the district, including the asphalt turnaround, the preservation of a tree, the location of the new addition, and the compromising of the structural integrity of the existing structure. James Morgan, architect, and Marcie Ferris spoke in response to these comments.

A motion was made by Kyser, seconded by Locke, to close the public hearing. The motion carried unanimously.

Commissioner White, not having attended the previous meetings on this item, recused himself from the vote.

A motion was made by Carbrej, seconded by Vogler, to approve Option 1 for the garage addition elevation with the asphalt turnaround, based on consistency with guideline 2 on page 55 and guideline 7 on page 21 of the Design Guidelines pertaining to Additions and Garages & Accessory Structures, respectively. The motion failed by the following vote:

Aye: 3 - Chair Epting, Carbrej, and Vogler

Nay: 4 - Vice-Chair Kyser, Locke, Murphy, and Smith

Recused: 1 - White

A motion was made by Vice-Chair Kyser, seconded by Locke, to deny the garage addition with the asphalt turnaround, based on inconsistency with guidelines 2, and 3 on page 55 of the Design Guidelines pertaining to Additions. Friendly amendments to the motion were made by Locke to include guideline 9 on page 21 of the Design Guidelines pertaining to Garages &

Accessory Structures, by Murphy to include guideline 1 on page 55 of the Design Guidelines pertaining to Additions, and by Smith to include both elevation options in the motion. The amendments were accepted by Kyser, and the motion failed by the following vote:

Aye: 4 - Vice-Chair Kyser, Locke, Murphy, and Smith

Nay: 3 - Chair Epting, Carbreay, and Vogler

Recused: 1 - White

A motion was made by Locke, seconded by Vogler, to deny the porch extension element of the garage addition. The motion carried by the following vote:

Aye: 5 - Vice-Chair Kyser, Locke, Murphy, Smith, and Vogler

Nay: 2 - Chair Epting, and Carbreay

Recused: 1 - White

Brian Ferrell, Counsel to the Commission, informed the Commission that in order to have a passing motion, there must be 5 affirmative votes, therefore no action has been taken on the garage portion of the application. The Land Use Management Ordinance deems that if no action is taken on an application, it will be automatically approved 180 days after acceptance. Because no action was taken on the garage element of this application, the Commission informed the applicant that upon written consent, the 180 day window may be extended. The applicant provided a written statement to extend the deadline.

Near the end of the meeting, the Commission was informed that the applicant had rescinded their agreement to extend the deadline, in writing. The Commission chose to continue the meeting to October 16, 2018, in order to take action on this application and give the applicant opportunity to attend the meeting.

New Business

3. 415 W Patterson Place

[\[18-0779\]](#)

Jim Kitchen, owner, presented the application. A motion was made by Vice-Chair Kyser, seconded by Vogler, that the after-the-fact application for approval of a Certificate of Appropriateness for an 8 foot tall fence, turned inward, be approved, based on consistency with guideline 9 on page 17 of the Design Guidelines pertaining to Walls & Fences. The motion carried by a

unanimous vote.

4. 220 E Franklin Street [\[18-0780\]](#)

George Sipek, engineer, presented the application. The Commission chose to defer to the November 13, 2018 meeting in order for the applicant to obtain additional information on the tree replanting plan on Franklin Street and obtain feedback from the University on potential impacts of the fibertech pole.

5. 205 Friendly Lane - WITHDRAWN [\[18-0781\]](#)

6. Election of Officers [\[18-0782\]](#)

The Commission decided to defer the Election of Officers until Town Council appoints new members to the Commission.

Reports and Updates

7. Staff Update on Design Guidelines Rewrite [\[18-0783\]](#)

Jake Lowman, staff, provided an update to the Commission on the Design Guidelines Rewrite project.

Adjournment

The meeting adjourned at 9:25 pm.

Special Meeting - October 16, 2018

Next Regularly Scheduled Meeting - November 13, 2018

11. October 16, 2018 Historic District Commission Meeting Minutes



TOWN OF CHAPEL HILL

Historic District Commission

Meeting Minutes

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Chair Robert Epting
Vice-Chair Kimberly Kyser
Deputy Vice-Chair John Sweet
Woodrow Burns
Craig Carbrey

James Locke
Sean Murphy
Susan Smith
Mary Frances Vogler
James White

Tuesday, October 16, 2018

6:30 PM

**RM 102 | First Floor Conference
Room**

This Special Meeting was continued from the October 9, 2018 meeting.

Call to Order

Chair, Bob Epting, called the meeting to order.

Roll Call

Jake Lowman (Staff Liaison)
Becky McDonnell (Staff Liaison)
Brian Ferrell (Commission Counsel)

Present 8 - Chair Robert Epting, Vice-Chair Kimberly Kyser, Craig Carbrey, James Locke, Sean Murphy, Susan Smith, Mary Frances Vogler, and James White

Absent 1 - Woodrow Burns

Old Business

1. 1 Mint Springs Lane

[\[18-0891\]](#)

Brian Ferrell, Commission Counsel, summarized the events from the previous meeting regarding the application. All Commissioners who were not present at the last meeting or previous meetings pertaining to the application stated they had reviewed the record and prior meeting videos and were prepared to vote.

The Commission discussed the application and Members expressed concern about various elements of the proposal, including additional paved area proposed in the front yard for an asphalt turnaround, the siting of the garage at the front of the house, and the blocking of a bay of the house by the garage. Commission members noted that these elements were inconsistent

with and violated express Design Guidelines applicable to this application, including guidelines 1, 2, and 7 on page 55 (Additions), guideline 1 on page 57 (Decks), guideline 7 on page 21 and the first paragraph on page 20 (Garages & Accessory Structures), guideline 8 on page 38 (Exterior Walls), guideline 8 on page 19 (Walkways, Driveways, & Offstreet Parking), and the second paragraph on page 46 (Accessibility & Life Safety Considerations).

A motion was made by Vogler, seconded by White, to express the foregoing concerns as Findings of Fact relevant to the proposed garage portion of the application. The motion carried unanimously.

A motion was made by White, seconded by Kyser, to accept the previously stated Design Guidelines as applicable to this project, that they are the appropriate guidelines; and, based on the Findings of Facts as accepted in the previous motion, the guidelines are not met by this proposal. The motion carried unanimously.

A motion was made by Murphy, seconded by Vogler, to deny the application for a Certificate of Appropriateness for the proposed garage addition based on the stated findings of fact and references to the Design Guidelines and the application as proposed, that the garage addition is incongruous with historic character of the district. The motion carried by a unanimous vote.

A friendly amendment was made by Smith, to include the asphalt turnaround as part of the previous motion. The amendment was accepted and the motion as amended carried unanimously.

Adjournment

The meeting adjourned at 7:25 pm.

Next Meeting - November 13, 2018

12. Certificate of Appropriateness Denial Letter dated November 26, 2018

TOWN OF CHAPEL HILL HISTORIC DISTRICT COMMISSION
APPLICATION FOR CERTIFICATE OF APPROPRIATENESS WRITTEN DECISION

Application Number: 18-051
Subject Property Address: 1 Mint Springs Lane
Applicant: James Morgan
Filing Date: 5/10/2018
Meeting Date: 7/17/2018, 10/9/2018, 10/16/2018

I. INTRODUCTION TO THE APPLICATION

Historic District: FRANKLIN-ROSEMARY

Zoning District: R-1

Nature of Project: Consideration of an application for the following items:

1. The removal of the pergola at front porch, changing the front roof structure to a shed roof design over front entrance, including new ceiling lighting.
2. The enclosure of the rear screened porch and the addition of windows.
3. The removal of pergola at rear porch, to be replaced with a smaller shingled roof; deck rail approved with the stipulation that the deck rail is consistent with front porch railing.
4. The raising of front walkway and lighting.
5. The installation of two (2) new guard rails along the driveway.
6. The removal of an existing door on the east side of the front facade and have the opening filled with matching siding.
7. The addition of a single bay garage and roof extension connecting to the garage over the front porch and a driveway expansion.

II. EVIDENCE & TESTIMONY PRESENTED

- A. Application Materials
- B. Public Testimony

III. FINDINGS OF FACTS AND CONCLUSIONS OF LAW ITEMS 1-6

Based upon the Application submitted on this matter, considered under the Historic District Commission Review Criteria set out in LUMO section 3.6.2(e), and the Design Guidelines for the Chapel Hill Historic Districts, the Commission moved in multiple motions to approve items 1-6 of the above stated application based on the following findings of fact and conclusions of law:

- A. This portion of the application is for the removal of the pergola at front porch, changing the front roof structure to a shed roof design over front entrance, including new ceiling lighting; the enclosure of the rear screened porch and the addition of windows; the removal of pergola at rear porch, to be replaced with a smaller shingled roof; deck rail approved with the stipulation that the deck rail is consistent with front porch railing; the raising of front walkway and lighting; the installation of two (2) new guard rails along the driveway; and the removal of an existing door on the east side of the front facade and have the opening filled with matching siding.
- B. LUMO Section 3.6.2(e)(4) Review Criterion A-J are applicable to this Application.
- C. Items 1-6 of the application comply with the following Design Guidelines: *Exterior Lighting* guideline 5 on page 22; *Porches, Entrances and Balconies* guideline 9 on page 43; *Decks* guideline 5 on page 57; *Roofs* guideline 5 on page 37; and *Accessibility & Life Safety Considerations* guideline 5 on page 47.

- D. Based upon the foregoing, the Commission concludes that the proposal for the above referenced items 1-6 are not incongruous with the special character of the Historic District, that it will be constructed in accordance with the LUMO and Design Guidelines, and that the Application for a Certificate of Appropriateness should be allowed for these items.

IV. FINDINGS OF FACTS AND CONCLUSIONS OF LAW ITEM 7

Furthermore, based upon the Application submitted on this matter, considered under the Historic District Commission Review Criteria set out in LUMO section 3.6.2(e), and the Design Guidelines for the Chapel Hill Historic Districts, the Commission moved to deny item 7 of the above stated application based on the following findings of fact and conclusions of law:

- A. This portion of the application is for the addition of a single bay garage and roof extension connecting to the garage over the front porch and a driveway expansion.
- B. LUMO Section 3.6.2(e)(4) Review Criterion A-J are applicable to this Application.
- C. Factual findings related to the application are as follows: (i) the proposed garage is located at the front of the home, the addition is contiguous with the front wall of the house on the western side of the home; (ii) the proposed garage is located in front of an existing bay of the house and would overlap a portion of the existing structure; (iii) the size of the proposed garage is not subservient to the house itself, the width of the garage overwhelms the relevant bay of the existing house; (iv) the proposed garage would be visible from the street, the street view as depicted in the application indicates the new garage addition will be the most prominent portion of the structure seen from the street; (v) this portion of the application involves the extension and enlargement of a paved area this presently unpaved at the corner of the yard; and (vii) the proposed parking area would be clearly visible from the street.
- D. Item 7 of the application does not comply with the following Design Guidelines: *Additions* guidelines 1, 2, 3, 6, and 7 on page 55; *Garages & Accessory Structures* guideline 7 on page 21 (see the first paragraph on page 20 for discussion of traditional garage locations); *Exterior Walls* guideline 8 on page 38; and *Walkways, Driveways, & Off-street Parking* guideline 8 on page 19; and *Accessibility & Life Safety Considerations* guideline 2 on page 47.
- E. Based upon the foregoing, the Commission concludes that the proposal for item 7 above is incongruous with the special character of the Historic District and that the Application for a Certificate of Appropriateness should be denied.

V. DECISION ON THE APPLICATION

Based on the foregoing findings of fact and conclusions of law, the Historic District Commission **approves items 1-6** of the Application for a Certificate of Appropriateness as referenced in Section I of this document on the basis that they **would not be incongruous** with the special character of the district, and the Historic District Commission **denies item 7** of the Application for a Certificate of Appropriateness as referenced in Section I of this document on the basis that it **would be incongruous** with the special character of the district.

Signed this the 26th day of November, 2018.

Robert Epting
Robert Epting, Commission Chair

NOTE: Any changes or additions to the proposed improvements/activity that deviate from this approved Certificate of Appropriateness may be considered a zoning violation of Section 3.6.2 of the Land Use Management Ordinance. Should a change to this approval be desired, please contact the Town to discuss ways of seeking additional approval(s).

Before work begins, please obtain all necessary zoning and/or inspections permits from the Town and present this document when applying for your permits. Attached is the Certificate of Appropriateness placard, which must be displayed at the site during construction, along with a copy of your approved plans and elevations. Any decision of the Historic District Commission in granting or denying a Certificate of Appropriateness may be appealed to the Board of Adjustment and shall be reviewed on the record. An application for appeal shall be filed with the Town Clerk within thirty (30) days of the filing of the decision being appealed or the delivery of any required written notice of the decision, whichever is later. If any application for appeal to the above referenced Certificate of Appropriateness is filed with the Town Clerk, the Town will be sure to contact you.

13. Town of Chapel Hill Land Use Management Ordinance Sections 3.6.2 and 8.4

3.6.2 Historic Districts.

Purpose statement: The historic district is intended to protect and conserve the heritage and character of the Chapel Hill community by providing for the preservation of designated areas within the planning jurisdiction, including individual properties therein that embody important elements of social, economic, political, or architectural history, and by promoting the stabilization and enhancement of property values throughout such areas. The purpose of requiring regulation of placement and design of telecommunications equipment in this district is to help achieve these objectives and to protect the special character of the historic district.

It is intended that these regulations ensure, insofar as possible, that buildings or structures in the historic district shall be in harmony with other buildings or structures located therein. However, it is not the intention of these regulations to require the reconstruction or restoration of individual or original buildings, or to prohibit the demolition or removal of such buildings, or to impose architectural styles from particular historic periods, but rather to encourage design, whether contemporary or traditional, which is harmonious with the character of the historic district.

(a) *Establishment of historic district.*

- (1) The historic district is hereby established as a district which overlays other zoning districts established in sections 3.3—3.5. The boundaries of the historic district are as shown on the official zoning atlas.
- (2) No new historic district or any change to the boundaries of any existing historic district shall be designated until the North Carolina Department of Cultural Resources, or its successor agency, shall have been given an opportunity, in accord with Chapter 160A, Article 19, Part 3C of the N.C. General Statutes, or its successor statutes, to make recommendations with respect to the establishment of such new district or change in the boundaries of an existing district.
- (3) The use and development of any land or structure within the historic district shall comply with use regulations and intensity regulations applicable to the use district in which it is located.

(b) *Certificate of appropriateness required.*

- (1) No exterior portion of any building or other structure (including masonry walls, fences, light fixtures, steps and pavement, or other appurtenant features), or any aboveground utility structure, or any type of outdoor advertising sign shall be erected, altered, restored, moved, or demolished within the historic district until an application for a certificate of appropriateness as to exterior architectural features has been approved. For purposes of this article, "exterior architectural features" shall include the architectural style, general design, and general arrangement of the exterior of a building or other structure, including the kind and texture of the building material, the size and scale of the building, and the type and style of all windows, doors, light fixtures, signs, and other appurtenant fixtures. In the case of outdoor advertising signs, "exterior architectural features" shall be construed to mean the style, material, size, and location of all such signs.
- (2) A certificate of appropriateness shall be issued prior to the issuance of a zoning compliance permit or any other permit granted for purposes of constructing, altering, or demolishing buildings or structures. A certificate of appropriateness shall be required whether or not a zoning compliance permit is required. Any zoning compliance permit or other permit not issued in conformity with this section shall be invalid.
- (3) The town and all public utility companies shall be required to obtain a certificate of appropriateness prior to initiating any changes in the character of street paving, sidewalks, utility installations, lighting, walls, fences, structures, and buildings on property owned or franchised by the Town of Chapel Hill or public utility companies, excluding regulatory signs, other traffic control measures and devices, and utility distribution systems located in public right-of-way.
- (4) A certificate of appropriateness application may be reviewed and approved by the town manager according to specific review criteria contained in state law and guidelines approved by the commission when the application is determined to involve minor work. Minor works are

defined as those exterior changes that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. Such minor works shall be limited to those listed in the Commission's Rules of Procedure, or a successor document. No application involving a minor work may be denied without the formal action of the commission. Ordinance requirements for notification of affected property owners must be met for all applications.

(c) *Certain changes not prohibited.*

- (1) Nothing in this article shall be construed to prevent the ordinary maintenance or repair of any exterior architectural feature in the historic district that does not involve a change in design, material, or outer appearance thereof, or to prevent the construction, reconstruction, alteration, restoration, moving, or demolition of any such feature that the building inspector or similar official shall certify is required by the public safety because of unsafe or dangerous condition.
- (2) On the basis of preliminary sketches or drawings and other supporting data, the town manager may exempt from requirements for a certificate of appropriateness projects involving the ordinary maintenance or repair of any exterior architectural feature that does not involve a change in design, material, or outer appearance thereof. The town manager shall notify the commission of all such exemptions.

(d) *Procedures for approval of certificates of appropriateness.*

- (1) Application submittal requirements.
 - A. Applications for certificates of appropriateness shall be filed with the town manager.
 - B. The town manager shall prescribe the form(s) on which applications are made, as well as any other material which may reasonably be required to determine the nature of the application.
 - C. The commission may specify criteria for situations in which the town manager may waive any of the application material requirements.
 - D. No application shall be accepted by the town manager unless it complies with such requirements. Applications which are not complete shall be returned forthwith to the applicant, with a notation of the deficiencies in the application.
- (2) Notification of affected property owners. Prior to approval or denial of an application for a certificate of appropriateness by the historic district commission, the commission shall take such action as may reasonably be required to inform the owners of any property likely to be materially affected by the application, and shall give the applicant and such owners an opportunity to be heard.
- (3) Public hearing. In cases where the commission deems it necessary, it may hold a public hearing concerning the application.
- (4) Action on the application. Within one hundred eighty (180) days of the acceptance of an application, or within such further time consented to by written notice from the applicant, the town manager or the commission shall approve the application, approve the application with conditions, or deny the application. Such action shall be based upon the review criteria established in section 3.6.2 of this article. Failure to take final action on an application within the prescribed time limit, or extensions thereof, shall result in approval of the application as submitted. The town manager or the commission may impose such reasonable conditions on the approval of an application as will ensure that the spirit and intent of this article are achieved. An application for a certificate of appropriateness authorizing the demolition of a building or structure within the historic district may not be denied. However, the effective date of such a certificate may be delayed for up to three hundred sixty-five (365) days from the date of approval. The maximum period of delay authorized by this section shall be reduced by the commission where it finds that the owner would suffer extreme hardship or be permanently deprived of all beneficial use of or return from such property by virtue of the delay. During such period the commission may negotiate with the owner and with any other parties in an effort to

find a means of preserving the building. If the commission finds that the building has no particular significance or value toward maintaining the character of the historic district, it shall waive all or part of such period and authorize earlier demolition or removal. In every case, the record of the commission's action shall include the reasons for its action. (Ord. No. 2004-02-23/O-2)

- (5) Actions subsequent to decision. The town manager shall notify the applicant of a decision in writing, and shall file a copy of it with the town's planning department. If the application is denied, the notice shall include the reasons for such action.
 - (6) Appeal of decision. A decision by the commission on an application for a certificate of appropriateness may be appealed to the board of adjustment in accordance with the provisions of section 4.10. (Ord. No. 2004-02-23/O-2)
 - (7) Submittal of new application. If the commission denies an application for a certificate of appropriateness, a new application affecting the same property may be submitted only if substantive change is made in plans for the proposed construction, reconstruction, alteration, restoration, or moving.
- (e) *Review criteria.*
- (1) In considering an application for a certificate of appropriateness, the review shall take into account the historical and/or architectural significance of the structure under consideration and the exterior form and appearance of any proposed additions or modifications to that structure.
 - (2) The review shall not consider interior arrangement or use.
 - (3) The commission, using the criteria below, shall make findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district.
 - (4) The following criteria shall be considered, when relevant, by the commission in reviewing applications for a certificate of appropriateness:
 - A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings.
 - B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings.
 - C. Exterior construction materials, including texture and pattern.
 - D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials.
 - E. Roof shapes, forms, and materials.
 - F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration.
 - G. General form and proportions of buildings and structures.
 - H. Appurtenant fixtures and other features such as lighting.
 - I. Structural conditions and soundness.
 - J. Architectural scale.
- (f) *Prevention of demolition by neglect.*

- (1) The purpose of this article is to protect Chapel Hill's historic architectural resources by intervening when a significant resource is undergoing demolition by neglect.

Demolition by neglect is defined as a situation in which a property owner, or others having legal possession, custody or control of a property, allow the condition of property located in a historic district to suffer such deterioration, potentially beyond the point of repair, as to threaten the structural integrity of the structure or its relevant architectural detail to a degree that the structure and its character may potentially be lost to current and future generations.

(2) Control of demolition by neglect of structures within designated historic districts.

- A. In order to promote the purposes of historic preservation, this subsection requires that owners of historic properties maintain their properties and not allow them to fall into disrepair. The requirements of this subsection are applicable only to properties in the historic districts of Chapel Hill.

B. Conditions of neglect defined and prohibited.

Owners or others having legal possession, custody or control of a property in historic districts shall maintain or cause to be maintained the exterior and structural features of their properties and not allow conditions of neglect to occur on such properties. It is a violation of the town's land use management ordinance to not remedy a condition of neglect within the period of time set by a final administrative determination, as described in subsection (C), below.

Conditions of neglect include, but are not limited to, the following:

1. Deterioration of exterior walls, foundations, or other vertical support that causes leaning, sagging, splitting, listing, or buckling.
2. Deterioration of flooring or floor supports, roofs, or other horizontal members that causes leaning, sagging, splitting, listing, or buckling.
3. Deterioration of external chimneys that causes leaning, sagging, splitting, listing, or buckling.
4. Deterioration or crumbling of exterior plasters or mortars.
5. Ineffective waterproofing of exterior walls, roofs, and foundations, including broken windows or doors.
6. Defective protection or lack of weather protection for exterior wall and roof coverings, including lack of paint, or weathering due to lack of paint or other protective covering.
7. Rotting, holes, and other forms of decay.
8. Deterioration of exterior stairs, porches, handrails, window and door frames, cornices, entablatures, wall facings, and architectural details that causes delamination, instability, loss of shape and form, or crumbling.
9. Deterioration that has a detrimental effect on the surrounding historic district.
10. Deterioration that contributes to a hazardous or unsafe condition.
11. Deterioration of fences, gates, and accessory structures.

C. *Procedure for enforcement.* Enforcement of these provisions shall be undertaken as described in section 4.13 of the Land Use Management Ordinance ("Violations and Penalties"), with the following additional components:

1. Upon receipt of a complaint or upon observation, if the town manager makes a preliminary determination that a property in a historic district is being neglected, as defined in subsection 3.6.2(f)(2)B, the manager shall inform the property owner of the preliminary determination and notify the historic district commission of the preliminary determination. The town manager will seek remedial action by the property owner.
2. If remedial action has not commenced within thirty (30) days of initial notification, the town manager, after consultation with the historic district commission, shall make a finding of violation of the land use management ordinance. Procedures outlined in section 4.12 shall be followed, including notification of right to and process for appeal as described in section 4.12.

- (3) *Safeguards for undue economic hardship.* Upon notification from the town manager of required remedial action, the property owner may by written request claim undue economic hardship.

If a claim of undue economic hardship is made owing to the effects of this article, the town manager shall notify the historic district commission within five (5) business days following the receipt of the written request for a determination of undue hardship. The commission shall at its next regular meeting, schedule a hearing on the request within the limitations of its procedures for application deadlines.

The petitioner shall present the information provided under subsection (A) below to the commission at or prior to the hearing. The commission may require that an owner and/or parties in interest furnish such additional information as the commission may reasonably conclude is relevant to its determination of undue economic hardship, and may, in its sole discretion, hold the hearing open and allow the owner or party in interest a reasonable period of time (to be established by the commission) to furnish the requested additional information. The commission may request the staff to furnish additional information, as the commission believes is relevant. The commission shall also state which form of financial proof it deems relevant and necessary to a particular case.

In the event that any of the required information is not reasonably available to the owner and/or parties in interest and cannot be obtained by the owner, the owner shall describe the reason why such information cannot be obtained.

- A. When a claim of undue economic hardship is made owing to the effects of this article, the owner and/or parties in interest must provide evidence during the hearing upon the claim, describing the circumstances of hardship. The minimum evidence shall include for all property:
1. Nature of ownership (individual, business, or nonprofit) or legal possession, custody, and control.
 2. Financial resources of the owner and/or parties in interest.
 3. Cost of repairs.
 4. Assessed value of the land and improvements.
 5. Real estate taxes for the previous two (2) years.
 6. Amount paid for the property, date of purchase, and party from whom purchased, including a description of the relationship between the owner and the person from whom the property was purchased, or other means of acquisition of title, such as by gift or inheritance.
 7. Annual debt service, if any, for previous two (2) years received.
 8. Any listing of the property for sale or rent, price asked, and offers received, if any.

In addition, for income-producing property:

9. Annual gross income from the property for the previous two (2) years.
 10. Itemized operating and maintenance expenses for the previous two (2) years.
 11. Annual cash flow, if any, for the previous two (2) years.
- B. Within sixty (60) days of the commission's hearing on the claim, the commission shall make a determination of undue or no undue economic hardship and shall enter the reasons for such finding into the record. In the event of a finding of no undue economic hardship, the commission shall report such finding to the town manager, and the town manager shall cause to be issued an order for such property to be repaired within the time specified.

- C. In the event of a finding of undue economic hardship, the finding shall be accompanied by a recommended plan to relieve the economic hardship. This plan may include, but is not limited to, property tax relief as may be allowed under North Carolina law, loans or grants from the town, the county, or other public, private, or nonprofit sources, acquisition by purchase or eminent domain, building code modifications, changes in applicable zoning regulations, or relaxation of the provisions of this article sufficient to mitigate the undue economic hardship. The commission shall report such finding and plan to the town manager. The town manager shall cause to be issued an order for such property to be repaired within the time specified, and according to the provisions of the recommended plan.
- (4) *Appeals.* Decisions under this section made by the historic district commission may be appealed to the board of adjustment on the record in accordance with the procedures described in section 4.10.
- (5) *Stay of proceedings.* Issuance of an approved certificate of appropriateness for improvements, accompanied by actions to bring the property into compliance with this section, will stay an enforcement proceeding seeking compliance with this section for said property.
- (6) *Other town powers.* Nothing contained within this article shall diminish the town's power to declare an unsafe building or a violation of the minimum housing code.

8.4. - Historic District Commission.

8.4.1. Establishment of the Commission.

A historic district commission, consisting of ten (10) members appointed by the council, is hereby established.

8.4.2 Qualifications.

All members of the commission shall reside within the planning jurisdiction of Chapel Hill, and a majority of the members shall have demonstrated special interest, experience, or education in history or architecture. Members shall serve without compensation.

8.4.3. Tenure.

Members of the commission shall be appointed to serve terms of three (3) years, and until their respective successors have been appointed and qualified. The terms of the original members may be staggered so that all terms do not expire simultaneously. Vacancies shall be filled for the unexpired term only.

8.4.4. Officers.

The commission shall elect one (1) member to serve as chair and preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. The term of the chair and other officers shall be one (1) year, with eligibility for re-election to a second term.

8.4.5. General Responsibilities of the Commission.

The commission shall seek to promote, enhance, and preserve the character of the Chapel Hill Historic District, provided the commission shall not require the reconstruction or restoration of individual or original buildings, structures, or portions thereof. In considering new construction, the commission shall encourage design which is harmonious with the character of the historic district, but shall not discourage either contemporary or traditional design.

8.4.6. Powers of the Commission.

The commission is authorized and empowered to undertake actions reasonably necessary to the discharge and conduct of its duties and responsibilities as outlined in this appendix and in Chapter 160A, Article 19, Part 3C of the N.C. General Statutes, including but not limited to the following:

- (a) To recommend to the planning commission and council areas for designation by ordinance as historic districts;
- (b) To recommend to the planning commission and council that designation of any areas as a historic district be revoked or removed;
- (c) To recommend to the planning commission, council, and the State of North Carolina structures, sites, objects, or districts worthy of local, state, or national historical recognition;
- (d) To propose to the council amendments to this chapter or to any other ordinance relating to the historic district, and to propose new ordinances or laws relating to the historic district or to a program for the development of the historical resources of the Chapel Hill community;
- (e) To request the council to hold public hearings on matters within the purview of the commission;
- (f) To hear and decide applications for certificates of appropriateness in accord with article 3 of this appendix; (Ord. No. 2004-02-23/O-2)
- (g) To establish guidelines under which the town manager shall approve applications for certificates of appropriateness covering minor modifications on behalf of the commission;
- (h) To undertake, on its own or in collaboration with any other commission, board, agency, society, or organization, any programs of information, research, or analysis relating to any matters under its purview;

- (i) To cooperate with other commissions, boards, or agencies of the town or other governmental unit in offering or requesting assistance, guidance, or advice concerning matters under the commission's purview or of mutual interest;
- (j) To participate in negotiations with owners and other parties in an effort to find means of preserving historic buildings scheduled for demolition;
- (k) To provide advice to owners of property located within the historic district concerning the treatment of the historical and visual characteristics of their properties, such as color schemes, gardens and landscape features, and minor decorative elements;
- (l) To publish information or otherwise inform owners of property located within the historic district about any matters pertinent to the commission's duties, organization, procedures, responsibilities, functions, or requirements;
- (m) To contract, in accord with established town policies and procedures, for services or funds from agencies or departments of the State of North Carolina and the United States government;
- (n) To accept funds granted to the commission from private or non-profit organizations;
- (o) To organize itself and conduct its business by whatever legal means it deems proper;
- (p) To report violations of this appendix or related ordinances to the local official responsible for the enforcement thereof;
- (q) To exercise, within the historic district, all the powers and duties of the Chapel Hill Community Design Commission;
- (r) To exercise such other powers and to perform such other duties as are authorized or required elsewhere by this appendix, the N.C. General Statutes, or by the council.

8.4.7. Meetings.

The commission shall establish a regular meeting schedule, and shall meet at least quarterly and more often as it shall determine and require.

All meetings of the commission shall be open to the public, and reasonable notice of the time and place thereof shall be given to the public, in accord with Chapter 143, Article 33C of the N.C. General Statutes.

The commission shall adopt rules of procedure and regulations for the conduct of its affairs.

The commission shall keep a record of its meetings, including attendance of its members, and its resolutions, findings, recommendations, and actions.

8.4.8. Attendance at Meetings.

Any member of the commission who misses more than three (3) consecutive regular meetings or more than half the regular meetings in a calendar year shall lose his or her status as a member of the commission, and shall be replaced or reappointed by the council. Absence due to sickness, death, or other emergencies of like nature shall be recognized as excused absences, and shall not affect the member's status on the commission except that in the event of a long illness or other such cause for prolonged absence, the member shall be replaced.

8.4.9. Quorum and Voting.

A quorum of the commission, necessary to take any official action, shall consist of five (5) members.

The concurring vote of a simple majority of those members present shall be necessary to take any official action.

8.4.10. Historical and Architectural Significance Maps.

The commission shall prepare, maintain, and consult maps showing the historic and architectural significance of structures within the historic district. Such maps shall be updated at least every five (5) years.

A structure is deemed to have historic and/or architectural significance if it possesses integrity of location, design, setting, materials, workmanship, feeling, and association, and if it:

- (a) Is associated with events that have made a significant contribution to the broad patterns of local, state, or national history; or
- (b) Is associated with the lives of persons significant in the past; or
- (c) Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components may lack individual distinction; or
- (d) Has yielded, or may be likely to yield, information important in prehistory or local, State, and national history.

([Ord. No. 2014-03-10/O-2, § 3](#))

14. Design Guidelines for the Chapel Hill Historic Districts



Design Guidelines for the Chapel Hill Historic Districts

***Chapel Hill Historic District Commission
Design Guidelines Sub-committee***

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Adopted by the Chapel Hill Historic District Commission on November __, 2001.

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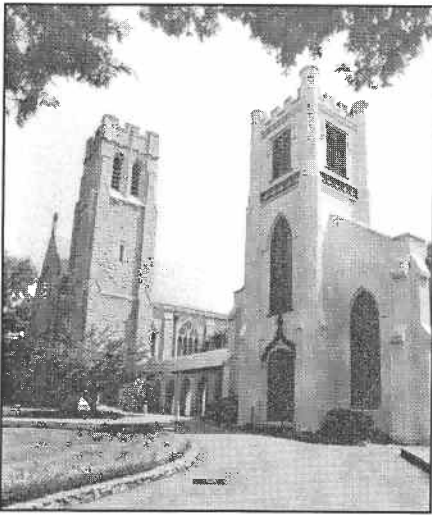
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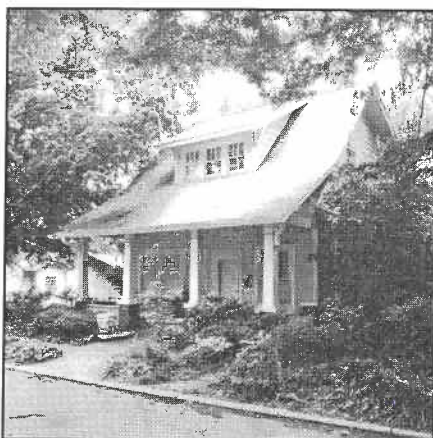
Introduction



*Chapel of the Cross
Franklin-Rosemary Historic District*



*Federal style house
Franklin-Rosemary Historic District*



*Bungalow
Cameron-McCauley Historic District*

Introduction

The purpose of these design guidelines is twofold. The design guidelines provide guidance to property owners within Chapel Hill's local historic districts as they plan exterior changes that are consistent with the special character of the districts. They also offer guidance to the Chapel Hill Historic District Commission as it reviews the appropriateness of all proposed changes throughout the districts.

Chapel Hill's Historic Districts

The Town of Chapel Hill has established three local historic districts encompassing a combined total of more than five hundred properties. The three districts are Franklin-Rosemary Historic District, the Cameron-McCauley Historic District, and the Gimghoul Historic District. Each district borders a different edge of the UNC campus and although primarily residential in character, each includes institutional buildings as well. Maps of the districts are included in the Appendices.

The Franklin-Rosemary District, Chapel Hill's first local historic district, was established in 1976. Its long history and development are closely tied to the growth and development of the University of North Carolina since its opening in 1795. The single family homes, multi-family and fraternal residences, and institutional buildings in the neighborhood represent a broad complement of architectural styles spanning more than two centuries. Nineteenth century Federal, Greek Revival, Gothic Revival, and Queen Anne buildings—as well as vernacular farmhouses—were joined by numerous bungalows and Colonial Revival style houses in the early twentieth century. Frame houses with deep and wide front porches are most prevalent but the district also includes several brick and stucco buildings. A mature tree canopy and low fieldstone walls unify the streetscapes. The district also includes part of the commercial area that developed along Franklin Street at the northern edge of the UNC campus.

The Cameron-McCauley Historic District is situated to the west of the UNC campus. The neighborhood developed rapidly after its inclusion within the town's limits in 1851 and it continued to develop steadily through the 1940s providing housing for many university employees and faculty. The Cameron-McCauley Historic District is delineated by a harmonious blend of Chapel Hill gravel paths, sidewalks, and low stone walls along tree-lined streets. The neighborhood streetscapes are characterized by a relatively dense siting of houses set back from the street and shaded by a dominating tree canopy. The majority of houses in the district are bungalows and houses built in the nationally popular twentieth-century styles such as Colonial Revival, Craftsman, and Tudor Revival. Surviving from its earliest period, the district also includes a few Queen Anne buildings, vernacular I-houses, and triple-A houses with Greek Revival elements. Institutional buildings, such as the Carolina Inn, and several large fraternal residences are found in the district as well.

The Gimghoul Historic District is a neighborhood located east of the campus and developed in the 1920s and 1930s to provide needed housing for university families. The dominant architectural style is Colonial Revival. The rugged topography of the neighborhood is quite distinctive for it is situated along a ridge which terminates in a dramatic overlook of Battle Park forest, bordering the district on its north and east sides. In addition to the vista of the adjoining dense forest, the proximity of Gimghoul Castle at the end of Gimghoul Road and the Gothic Revival style Chapel of St. Thomas More add to the distinctive, romantic character of the district setting. Lushly landscaped houses, a dense tree canopy, fieldstone retaining walls, Chapel Hill gravel sidewalks, and the curvilinear nature of Glandon Drive all contribute to the suburban feel and picturesque character of the Gimghoul Historic District.

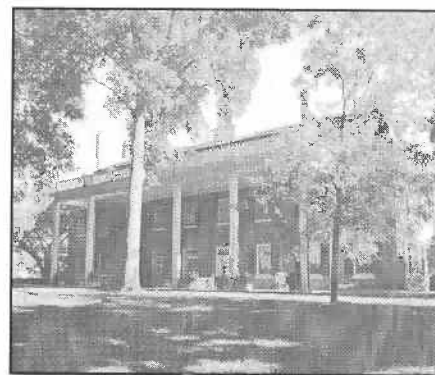
Chapel Hill Historic District Commission

Created by the Chapel Hill Town Council in 1976, the Chapel Hill Historic District Commission is charged with the task of maintaining and enhancing the character of three local historic districts. The Historic District Commission is composed of ten members appointed by the Town Council for three-year terms and assisted by the Chapel Hill Planning Department staff in executing its duties. The Commissioners are all residents of Chapel Hill who demonstrate special interest, experience, or education in architecture, archaeology, or other preservation-related fields. Based upon its established commission and planning department staff support, Chapel Hill qualifies for the Certified Local Government (CLG) program, a federal program administered by the North Carolina State Historic Preservation Office. CLG status benefits the community in a number of ways including eligibility for preservation-related grant opportunities.

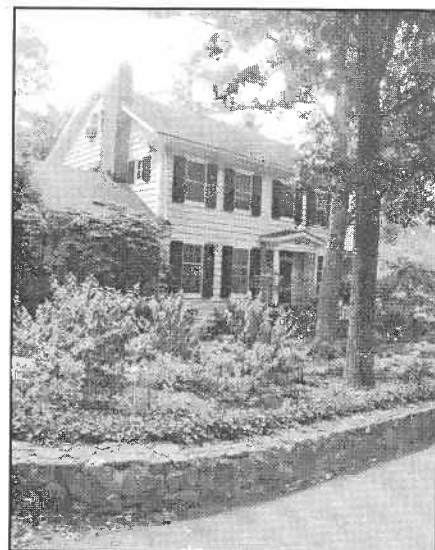
The Design Review Process

The Chapel Hill Historic District Commission's primary task is to review Certificate of Appropriateness (COA) applications for exterior changes within the districts to ensure that future changes to properties are consistent with the character of the historic district. The Commission does not require property owners to make changes to their properties and its review is limited to exterior changes. Interior alterations to a district building and routine maintenance and minor repairs to the building's exterior that do not change its appearance and materials are not included in the design review process. Rather, the Commission reviews proposed exterior alterations, changes in exterior materials, new construction, additions, significant site changes, and the relocation or demolition of historic buildings. For demolition requests, the Historic District Commission may delay demolition for up to 365 days to allow time for alternatives to demolition to be explored.

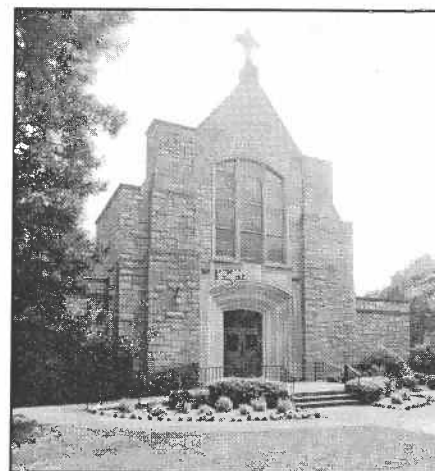
The HDC design review process provides for the timely review of proposed exterior changes or new construction before work is begun. Early in the planning process, property owners should contact the planning department staff to obtain a copy of the design guidelines



*Carolina Inn
Cameron-McCauley Historic District*



*Colonial Revival House
Gimghoul Historic District*



*Chapel of St. Thomas More
Gimghoul Historic District*

Design Guidelines Chapel Hill Historic Districts

For information or assistance,
contact the Chapel Hill
Planning Department at
919/968-2728.

A glossary of architectural
terms is included in the
Appendices.

and a Certificate of Appropriateness application. Typically, a completed COA application form will include a written description and drawings of the proposed work along with photographs of the existing conditions. Because proposed changes differ in complexity and scale, it is important to confirm with the planning department staff what information and specific drawings are required for the proposed project. The Historic District Commission reviews completed applications at its monthly meetings and Certificates of Appropriateness are issued for approved applications. The COA certificate must be obtained before a building permit can be issued and it must be posted at the building site while the approved work is in progress.

While the HDC cannot prepare designs for property owners, it can offer advice or suggestions. Courtesy reviews, offered during the monthly HDC meetings, provide applicants with an opportunity to informally discuss their projects early in the planning process before they submit a COA application. Commissioners are better prepared to offer informal suggestions and comments if applicants request a courtesy review well in advance. The Commission also maintains a library in the Planning Department with materials on restoration, adaptive use, fences, walks, and landscaping.

To expedite the design review process, some less substantial exterior work items are routinely reviewed by the staff, eliminating the need for review by the full Commission unless the staff member believes the proposal warrants it. A list of work items that may be approved by planning department staff is included in the Appendices. Any questions regarding proposed work within the historic district may be directed to the Chapel Hill Planning Department at 919/968-2728.

The Chapel Hill Historic District Commission normally meets on the second Thursday of each month in the Council Chambers of the Town Hall, 306 N. Columbia Street. To be included on the agenda, completed Certificate of Appropriateness applications must be submitted by the third Friday of the month preceding the meeting. HDC meeting dates and times can be verified with the planning department staff.

Appeals and Compliance

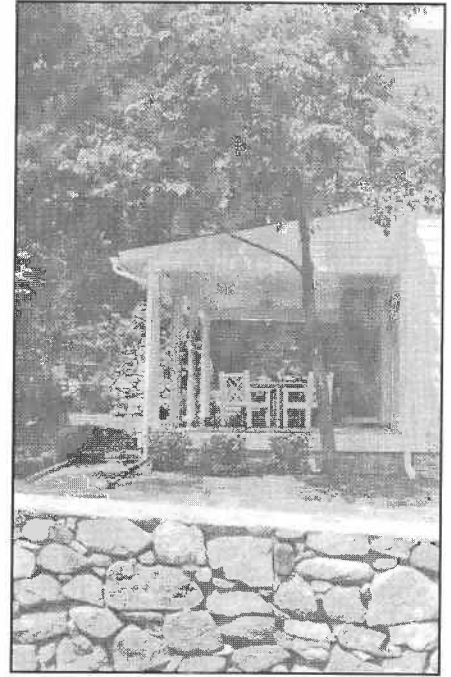
Decisions by the Chapel Hill Historic District may be appealed to the Board of Adjustments except for an action involving the State of North Carolina, in which case the North Carolina Historical Commission hears the appeal. The appeal must be filed within thirty days of receipt of written notification of the HDC decision. Applicants may appeal if they feel the HDC did not base its decision on the design guidelines or did not follow proper procedure in reaching its decision.

If work is begun without a Certificate of Appropriateness, all work must stop until a COA is issued. Work requiring review that is performed without a COA is in violation of the Chapel Hill Development Ordinance. The penalty can be the removal of the unapproved alteration, a civil citation, a fine, or other legal action.

Secretary of the Interior's Standards for Rehabilitation

The United States Department of the Interior developed a set of standards for the preservation of historic buildings in 1976. These ten national standards for the rehabilitation of historic buildings provide guidance to the Chapel Hill Historic District Commission, and similar commissions across the country, in their deliberations. The Chapel Hill Historic District Design Guidelines are locally tailored design guidelines based on these national standards and they reflect the same philosophical approach to rehabilitation. That approach values ongoing protection and maintenance of historic properties to minimize the need for more substantial repairs. In turn, it values repairs of historic features and fabric over their replacement in kind. The Secretary's Standards, as they are commonly called, are listed below in their most current version (1992). It should be noted that, although the first standard addresses use, the HDC does not review proposed uses of historic buildings.

1. A property shall be used as it was historically or be given a new use that requires minimum change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.
4. Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and, where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
8. Archaeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historical materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

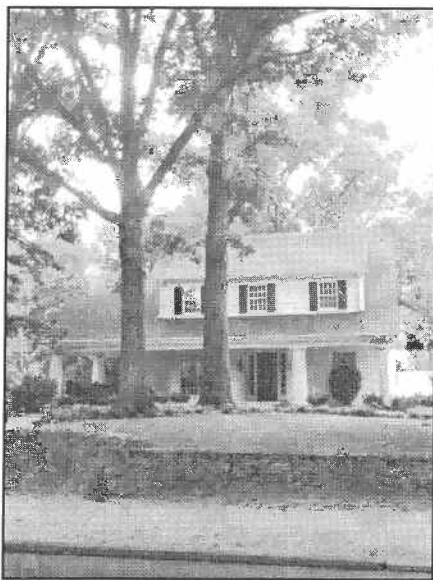
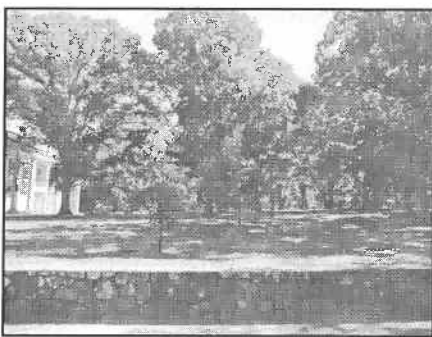




District Setting



The viewsheds created by both Battle Forest (above) and the UNC campus (below) contribute significantly to the setting of the historic districts they border.



Throughout the historic districts, the consistency provided by mature trees, low stone walls, and gravel sidewalks unifies the streetscapes and helps establish the district setting.

Setting

The setting of properties within Chapel Hill's historic districts is the result of the physical context created by the visual and associative site characteristics of the neighborhoods. In particular, the natural topography and well-established landscape play a substantial role in creating the setting of the Chapel Hill historic districts. In the Gimghoul neighborhood, for example, the unique setting is created by the combination of a natural ridge that terminates in a dramatic overlook, the forest of Battle Park along its north slope, and the vista of Gimghoul Castle. While the spatial and visual character of each district was clearly influenced by natural site features, the relationship to the university campus has significantly influenced the development of the districts over time. The linear commercial and institutional development along Franklin Street as it borders the campus and the vistas provided by the campus greens adjacent to the historic districts are just two examples of the impact the university has upon the neighborhood settings.

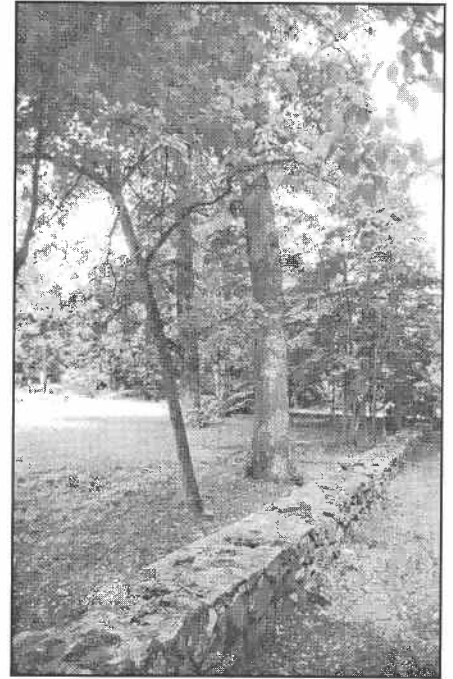
Considerations

The harmony of the streetscapes and the historic buildings within their landscaped settings is the result of ongoing actions that maintain or enhance the gentle ambiance of the districts. The historic setting of the Chapel Hill districts is defined in part by the ongoing traditions of low fieldstone walls along the street frontage of so many properties, the cultivation of hedges and tree canopies, and the network of sidewalks lined with "Chapel Hill gravel," a fine-grained gravel that looks like sand. By understanding the significance of each site element to the district setting, property owners can make informed, sound decisions on how to incorporate appropriate changes while preserving the historic setting.

The topics that follow in this section of the design guidelines address more specifically various aspects of the district setting.

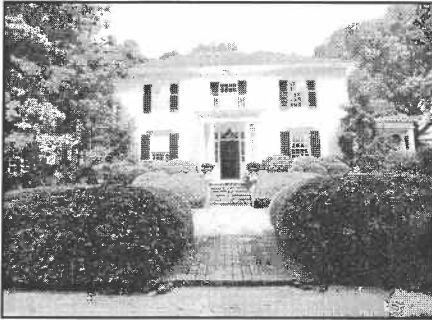
Guidelines: Setting

- 1.** Retain and preserve the visual and associative characteristics of the landscape and buildings that are important in defining the overall historic character of the district.
- 2.** Protect and maintain the visual and associative characteristics of the district setting that are established by the relationship of buildings to the streetscape, including significant vistas, site topography, accessory structures, streets, alleys, walkways, walls, fences, and plantings.
- 3.** Introduce new site features, building additions, new buildings, and other structures in ways that are compatible with the visual and associative characteristics of the historic district.
- 4.** It is not appropriate to introduce or remove a site feature if it will significantly diminish or radically alter the visual or associative characteristics of the district setting.





Many district houses are set within grassy front yards with mature shade trees and foundation plantings.



Mature boxwood hedges create a formal approach to this district property.



Within the narrow front yard setback, this bungalow is surrounded by a more informal landscaped setting.

Site Features & Plantings

The mature landscapes of Chapel Hill's historic districts are not static but evolving and their preservation cannot be accomplished in the same way that buildings are preserved. Nonetheless, significant natural site features and plantings—such as mature trees, gardens, foundation plantings, hedges, and street tree canopies—are an essential part of the district setting and their maintenance important. They can be maintained through routine fertilizing, pruning, and treatment for diseases. Replacing diseased or damaged trees and plantings with healthy new specimens that will have a similar appearance as they mature also maintains the character of the districts.

Considerations

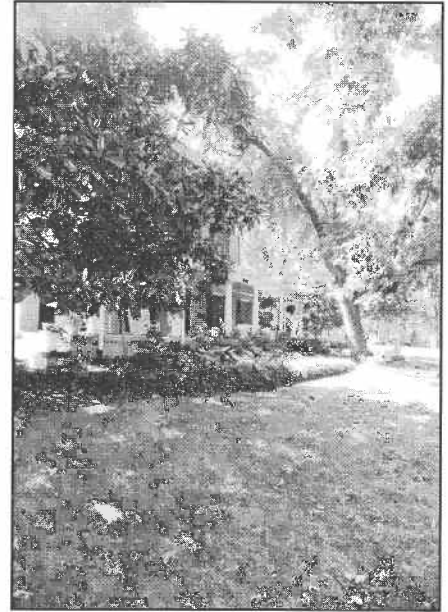
Although many landscaping decisions are entirely up to the individual property owner, a Certificate of Appropriateness is required for the removal of "rare and specimen trees" (as defined in the Chapel Hill Development Ordinances) in some situations and for any proposed site work related to new construction or hard surfaced driveways, off-street parking areas, and walkways. Property owners can contact the HDC staff to determine if a COA is necessary for proposed site changes or improvements.

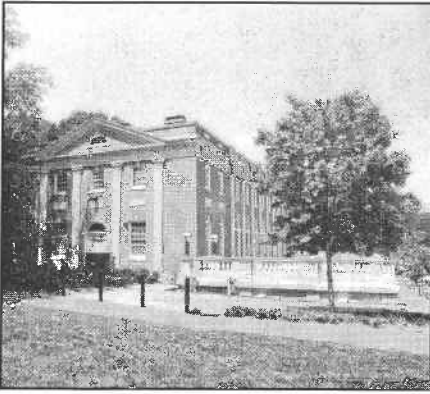
It is important to consider the overall setting and specific site characteristics in planning for landscape changes. The selection of new plantings that maintain or enhance the enclosed or open sense of the property from the existing vocabulary of district site features and plantings is always desirable. A list of suggested plantings is provided in the Appendixes. The Town's Urban Forester can provide technical advice to property owners as well.

Large trees and other important site features should be protected from damage during construction or site work. Related soil compaction or loss of root area as a result of construction activities can also endanger mature trees and plantings. The introduction of large manmade contemporary site features, such as playground equipment or swimming pools, within the historic districts should only be considered if the site feature can be accommodated in a unobtrusive location that successfully screens its visibility from the street, minimizing its impact on the historic district. Mechanical equipment, transformers, satellite dishes, dumpsters, and other smaller contemporary site features can usually be located in rear or side yards and screened from view by plantings or fencing.

Guidelines: Site Features & Plantings

- 1.** Retain and preserve site features and plantings that are important in defining the overall historic character of sites and streetscapes within the historic district.
- 2.** Retain and preserve historic relationship between district buildings, structures, or streetscapes and their site features and plantings. It is not appropriate to significantly alter the topography of the district by excavating, grading, or filling.
- 3.** Protect and maintain site features and plantings through appropriate methods including pruning and trimming. Prune or trim trees in a way that encourages the preservation of the district tree canopy. It is not appropriate to remove a healthy, mature tree that is important in defining the overall historic character of the building site or district.
- 4.** Repair deteriorated or damaged historic site features, such as benches, terraces, gazebos, and trellises through appropriate methods.
- 5.** Replace deteriorated or missing site features with new features that are compatible with the overall historic character of the site, building, or district.
- 6.** Replaced damaged or diseased plantings, including mature trees, hedges, and foundation plantings, that are important to the historic character of the site or district with new plantings that are the same or similar in species.
- 7.** Maintain and protect site features and plantings from damage during or as a consequence of site work or new construction.
- 8.** Introduce compatible, new site features or plantings with care so that the overall historic character of the site and district is not diminished or compromised. It is not appropriate to introduce incompatible site features or equipment—including raised planting beds, landscape timbers and other contemporary edging materials, swimming pools, satellite dishes, solar collectors, mechanical equipment, transformers, or “hot boxes”—in locations that compromise the overall historic character of the building, site, or surrounding streetscape.





Before the terrace was constructed behind Graham Memorial on the UNC campus, the project was reviewed to determine if it was likely to disturb archaeological resources.

Archaeology

Archaeological resources are artifacts and features that provide physical evidence of past human activity. They are typically concealed beneath the ground but may be revealed, often inadvertently, during site work. Stones from earlier building foundations, old cisterns and wells, garden pathways, and buried rubbish piles are all examples of archaeological resources. Such artifacts can provide information about the location, configuration, and materials of previous site structures, fences, walls, walkways, and gardens. They can also offer insight into the lifestyles and activities of previous occupants and may even reveal evidence of pre-historic inhabitants.

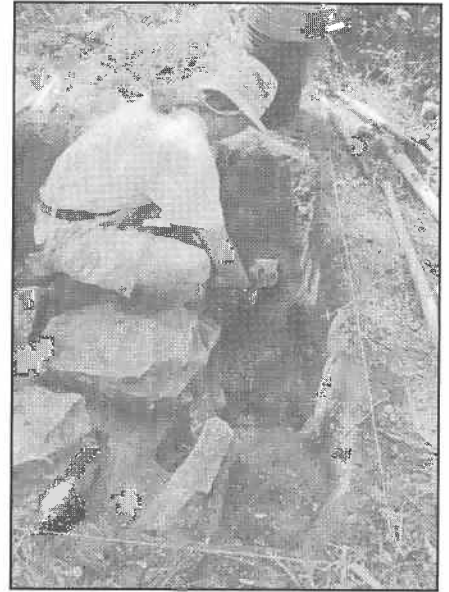
Considerations

The best way to preserve archaeological resources is to leave them undisturbed. Consequently it is important to keep site grading, excavating, and changes related to new construction to a minimum within the historic districts. When such activities are planned, it is important to avoid areas with known archaeological resources and to proceed with caution in areas where archaeological resources are probable. During the planning stages of large construction projects, a professional archaeologist should review the project to determine if it is likely to destroy important archaeological resources. The Office of State Archaeology in the North Carolina Division of Archives and History can provide this assistance to property owners.

Occasionally, property owners within the historic districts may uncover archaeological features while making modest site changes, such as adding a walkway, planting a tree, or burying a drain line. Photographing the feature before continuing the work is one way to record such information for future reference.

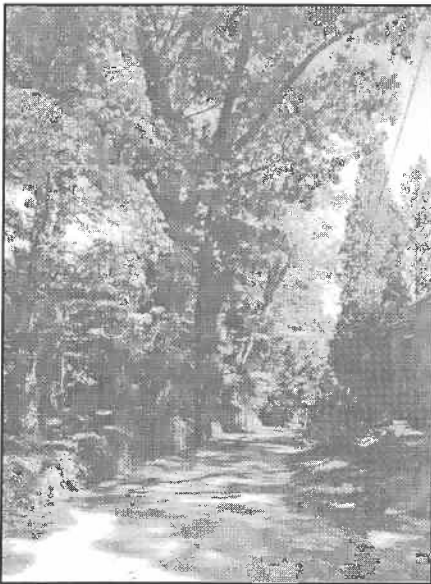
Guidelines: Archaeology

- 1.** Retain and preserve known archaeological resources that are important to the site or historic district.
- 2.** Maintain and protect known archaeological resources from damage during or as a consequence of site work or construction. It is not appropriate to utilize heavy machinery and equipment in areas known to contain important archaeological resources.
- 3.** Minimize disturbances to terrain, changes in topography, and site grading to reduce the possibility of damaging or destroying important archaeological resources.
- 4.** Work with professional archaeologists following current professional practices to plan and conduct investigations of important archaeological resources that cannot be preserved in place.
- 5.** Document the archaeological evidence if archaeological resources exposed during site work cannot be preserved in place.





Where level changes or heavy traffic are a sidewalk safety or accessibility concern, brick pavers and concrete edging have replaced Chapel Hill gravel.



Alleys and narrow lanes are part of the public right-of-way network that contributes to the historic character of the districts.

Public Right-of-Way

The network of streets, alleys, lanes, sidewalks and planting strips that links properties within the districts and that accommodates cars as well as pedestrians contributes in significant ways to the historic character of Chapel Hill's districts through low fieldstone walls, street tree canopies, gravel sidewalks, rolling topography, and occasional brick gutters. If left unmonitored, the ongoing proliferation of signs, utility lines and poles, transformers, and other contemporary elements to the streetscape can diminish its distinctive historic character.

Within the districts, streetscape characteristics vary. The commercial section of Franklin Street is far more rectilinear and formalized than the softer-edged, heavily landscaped residential streets a few blocks away. However, all district streetscapes share a pedestrian-oriented character and scale.

Considerations

Maintaining the functionality of the public right-of-way while preserving its historic character requires careful attention to retaining historic materials, such as brick gutters and fieldstone walls, as repairs or improvements are made. The fine-grained gravel used to surface most sidewalks is a distinctive material in the Chapel Hill districts and it is important to retain it. However, in some heavily traveled areas, the gravel sidewalks may prove too irregular or too narrow a passage for pedestrian safety and accessibility or the rapid erosion of sloping sites may make their maintenance too difficult and alternative compatible surface materials, such as brick pavers, may be necessary. In situations where a new sidewalk surface material is introduced, it is important to avoid a patchwork effect from alternating surface materials along a particular street or block.

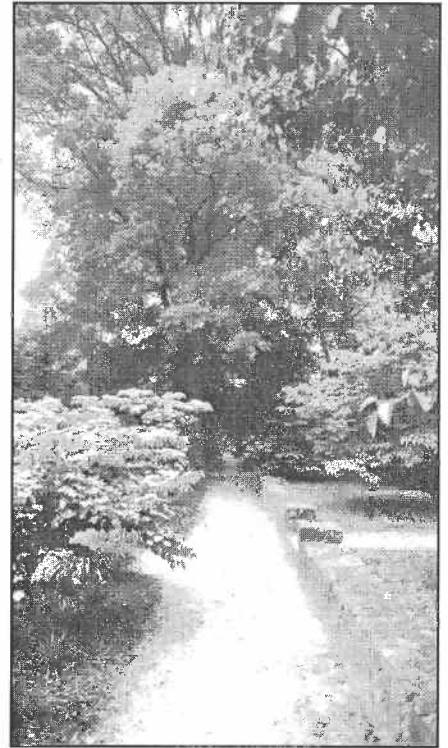
As new street furniture, signs, and lights are added or replaced within the public right-of-way, their selection and siting should be carefully reviewed for compatibility in terms of design, location, materials, color, and scale.

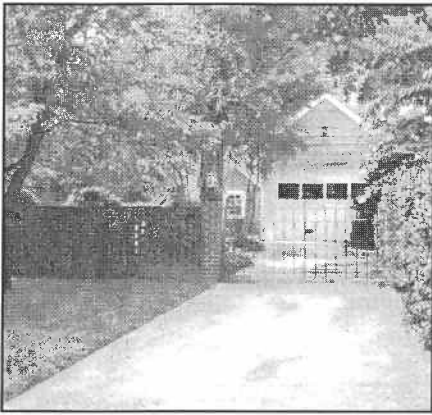
While streetlights, street signs, and power poles have always been a part of the streetscape, there has been a dramatic increase in the amount of equipment, signage, cables, and utilities located within the public right-of-way. Monitoring and coordinating the work of various services and utilities along with the screening of dumpsters and transformers can help to minimize the visual clutter they bring to the streetscape. In some situations, underground services may be worth consideration.

Maintaining and replenishing the tree canopy that contributes to the historic character of many district streetscapes is critical to their preservation. This effort requires monitoring existing trees for damage or disease, pruning them appropriately, protecting them from nearby construction work, and developing a long term plan for their replacement when needed.

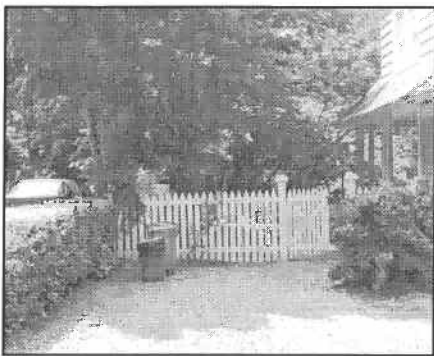
Guidelines: Public Right-of-Way

- 1.** Retain and preserve the topography, materials, features, patterns, and dimensions of the streets, sidewalks, planting strips, and street trees that are important in defining the overall historic character of the district.
- 2.** Protect and maintain the details, features, and material surfaces of the historic streetscape through appropriate methods. Replace damaged or deteriorated historic features to match the original in material and design.
- 3.** Protect and maintain street trees and their canopies by trimming and pruning them appropriately. Replace diseased or damaged street trees with new trees of the same or similar species.
- 4.** Limit signage in the public right-of-way primarily to signs necessary for traffic and pedestrian safety. Locate signage so it does not compromise the overall historic character of the streetscape.
- 5.** Introduce new street lighting, as needed, that is compatible in scale, materials, and design with the pedestrian scale and character of the historic district.
- 6.** Minimize the introduction of additional transformers, utility poles, wires, and cables in the public right-of-way. Seek less intrusive locations for such elements to reduce their impact on the historic streetscape. Consider the introduction of underground utility lines where feasible.
- 7.** Locate necessary street furniture, trash receptacles, mailboxes, newspaper racks, and similar elements so they do not compromise the historic character of the streetscape. Select benches and other street furniture that are compatible with the historic district in design, scale, and materials.
- 8.** It is not appropriate to introduce streetscape elements that predate the historic district in an attempt to create a false historical appearance.

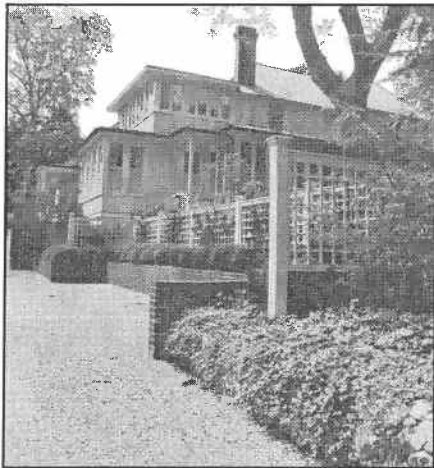




An pierced-brick wall and metal gate provide security for a rear yard while maintaining the open visual character of the district setting.



Traditional wooden picket fences like this one are appropriate choices for enclosing rear yards within the historic districts.



A low brick wall topped by shrubs and an open lattice-style wooden fence successfully separates the driveway and parking area from the rear yard.

Walls & Fences

Throughout Chapel Hill's historic districts, low fieldstone walls border many front yards and edge the streetscape. Some are dry stack and others are set in mortar. Where the topography shifts, stone retaining walls accommodate the shift in height between the lawn and the sidewalk. Wooden or cast iron picket fences and pierced brick walls are also found within the districts. The low stone walls and picket fences give definition to property lines without screening views of the front yards. Consequently, a visually open feel is characteristic of the district streetscapes.

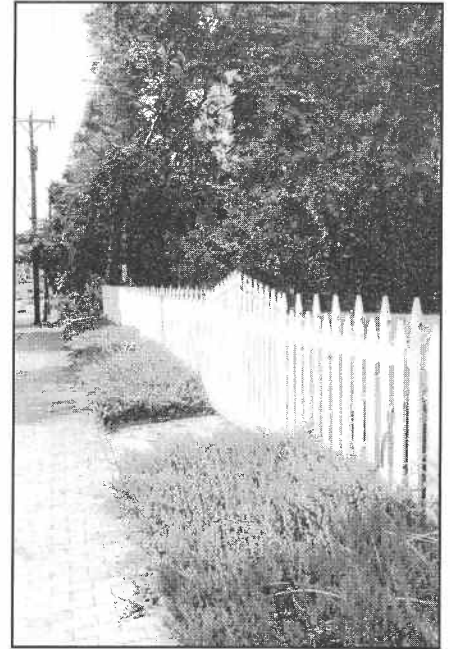
Considerations

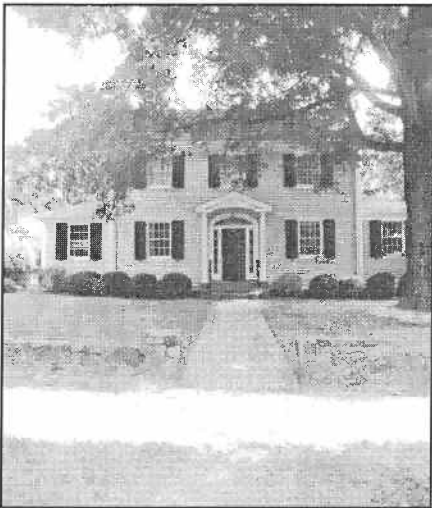
It is important to retain the low stone walls so characteristic of the districts and to avoid the introduction of high fencing that interrupts the visual continuity of the streetscape. Picket fences are an option in front or rear yards where access must be controlled but tall, solid privacy fences or walls are inconsistent with the informal, visually open setting of the districts and are not appropriate choices. Screening of rear yard parking areas or mechanical equipment can often be accomplished by a low wall or picket fence complemented by shrubs and other plantings.

Maintenance and repair of existing masonry walls and metal or wood fences would follow the guidelines for the specific material. In terms of materials for new fences or walls, traditional materials such as fieldstone, brick, wood, and cast iron are all appropriate choices within the districts. A careful look at the surrounding properties will help determine what material and type of wall or fence will best maintain the streetscape character. Contemporary modular concrete products and vinyl or metal chain link fencing are not characteristic of the districts and should not be introduced where they are visible from the street.

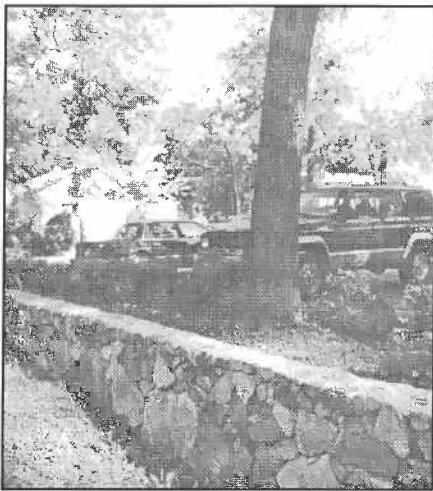
Guidelines: Walls & Fences

- 1.** Retain and preserve walls and fences that are important in defining the overall historic character of sites within the historic districts.
- 2.** Retain and preserve the features, materials, patterns, dimensions, configurations, and details of historic fences and walls.
- 3.** Protect and maintain the features, materials, and details of historic walls and fences through appropriate methods.
- 4.** Repair deteriorated or damaged historic walls and fences through recognized preservation methods.
- 5.** Replace in kind historic walls and fences that are too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, texture, and pattern.
- 6.** If a historic wall or fence is missing, either replace it to match the original, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, scale, and detail with the building, site, and district.
- 7.** Introduce compatible new walls and fences, as needed, in ways that do not compromise the historic character of the site or district. Site new fences and walls in configurations and locations that are compatible with the character of the building, site, and district.
- 8.** Construct new walls and fences in traditional materials and designs that are compatible in configuration, height, material, scale, and detail with the character of the building, site, and district.
- 9.** Introduce contemporary utilitarian walls and fences, if necessary, in rear and side yard locations only and where they do not compromise the historic character of the building, site, or district. It is not appropriate to introduce contemporary vinyl or metal chain link fences in locations that are visible from the street.





Simple brick walkways lead from the sidewalk to the front entrance of many district houses.



A low stone wall, shrubbery, and mature shade trees partially screen and soften the visual impact of this offstreet parking area.



A brick gutter defines the edge of this circular gravel driveway.

Walkways, Driveways & Offstreet Parking

In the Chapel Hill historic districts, single-lane driveways usually lead from the street to a rear or side yard parking area or garage. Many driveways are gravel while others are defined by concrete runners, asphalt, or brick pavers. On some sites, circular drives curve through the front yard, in other locations a shared driveway accommodates adjoining properties requiring neighborly cooperation. Reflecting an earlier era when automobiles were less dominant, most residential drives and garages were designed to accommodate one or perhaps two vehicles.

Narrow walkways of flagstone, gravel, brick or concrete typically lead the pedestrian from the sidewalk or driveway to the front door.

Although the configuration of the driveways and walkways varies greatly for the residential properties, they consistently blend into the site because they conform to the irregularities of the terrain and their edges are softened by landscaping. Only in the commercial areas of the historic districts do straight, wide, crisply-edged concrete walkways define the pedestrian path.

Considerations

For the residential properties in the historic districts, it is important to retain the informal, harmonious character of existing walkways and driveways. If their surfaces deteriorate, replacement in kind or with compatible materials will maintain the visual continuity they provide. If steep slopes present an ongoing maintenance problem for gravel driveways, brick pavers or asphalt are more compatible replacement choices than concrete.

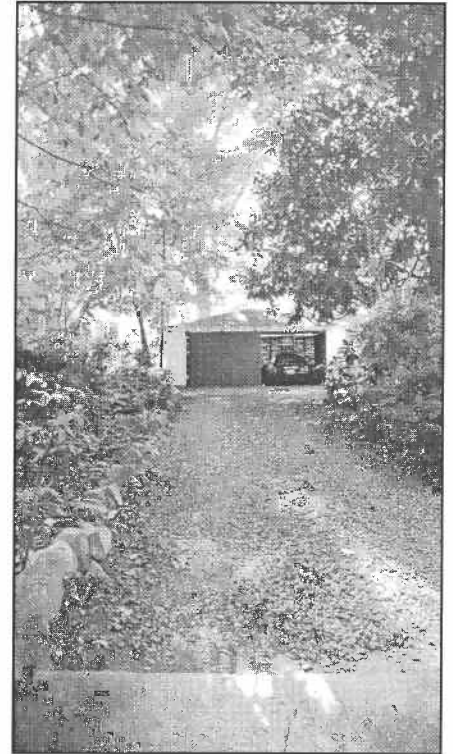
Increasing offstreet parking for residential properties is a real challenge in the districts for widening or expanding driveways and parking areas is generally not appropriate. If the lot is large enough, it may be possible to add offstreet parking in the rear or side yard if it can be visually screened from adjacent properties and the street. New parking areas should not significantly alter the site's proportion of landscaped area to constructed area.

For institutional or commercial parking lots within the historic districts, it is important to minimize their visual impact by screening the lots from view and subdividing large paved areas with landscaped medians or islands that incorporate existing trees or allow for new plantings.

District Setting

Guidelines: Walkways, Driveways & Offstreet Parking

- 1.** Retain and preserve walkways, driveways, and offstreet parking areas that are important in defining the overall historic character of sites within the historic districts.
- 2.** Retain and preserve the features, materials, patterns, dimensions, details, and configurations of historic walkways, driveways, and offstreet parking areas.
- 3.** Protect and maintain the details, features, and materials of historic walkways, driveways, and offstreet parking areas through appropriate methods.
- 4.** Repair deteriorated or damaged historic walkways, driveways, and offstreet parking areas through recognized preservation methods.
- 5.** Replace in kind historic walkways, driveways, and offstreet parking areas that are too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, texture, and pattern. Consider a compatible substitute material only if it is not feasible to replace in kind.
- 6.** If a historic walkway, driveway, or offstreet parking area is missing, either replace it to match the original, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, scale, and detail with the overall historic character of the site and district.
- 7.** Introduce compatible new walls and fences, as needed, in ways that do not compromise the historic character of the site or district. Site new walkways, driveways, and offstreet parking areas in locations that are compatible with the character of the building, site, and district and locate them so the general topography of the site and mature trees and other significant site features are not altered, damaged, or lost.
- 8.** In residential sections of the districts, it is not appropriate to locate offstreet parking areas in locations that are visible from the street, where the paving will abut the principal building, or where the paved area will substantially alter the proportion of the site that is paved versus landscaped.
- 9.** Construct new walkways, driveways, and offstreet parking areas in traditional materials and designs that are compatible in configuration, material, scale, and detail with the character of the building, site, and district.
- 10.** Screen new offstreet parking areas visually from the street and buffer adjacent properties from their visual impact through the use of perimeter plantings, fences, walls, or hedges. Reduce the visual impact of large parking areas by subdividing them with interior planting medians.

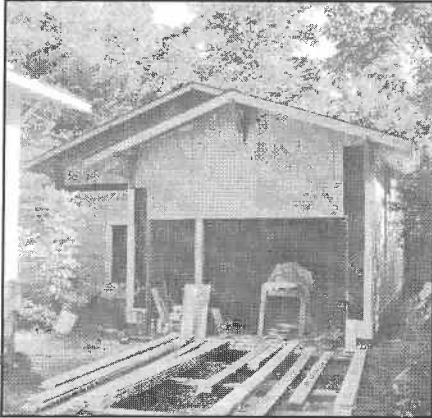




Historic accessory buildings and structures such as this covered well and outbuilding contribute to the district character and should be preserved.



The roof of this one-bay garage was extended to provide shelter for a second vehicle.



This new garage (under construction) was appropriately sited and oriented at the end of an existing driveway. Its exposed brackets and roof overhang echo the detailing of the bungalow it sits behind.

Garages & Accessory Structures

A number of garages, cottages, studies, storage sheds, and other accessory structures can still be found within Chapel Hill's historic districts. Typically, the garages are one or two bays wide, located behind the principal structure, and oriented with the doors facing the street. Their materials often match those of the house as do their details. Generally, small cottages and storage buildings are located in rear yards well behind the main house.

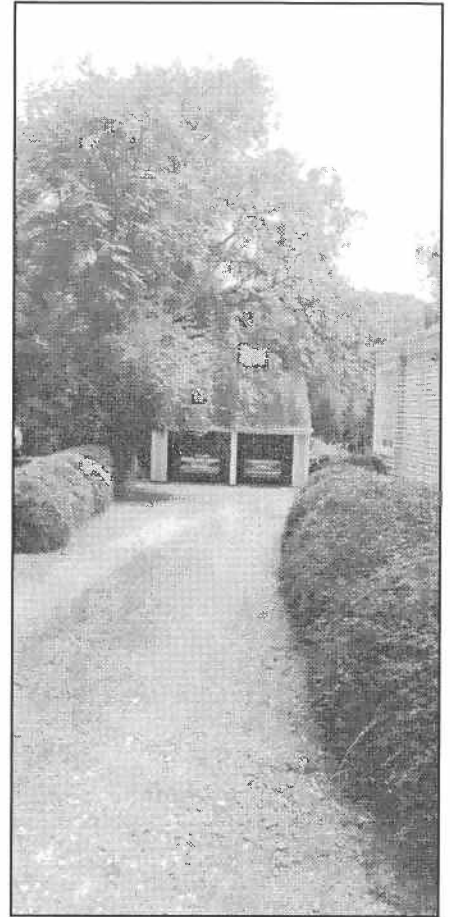
Considerations

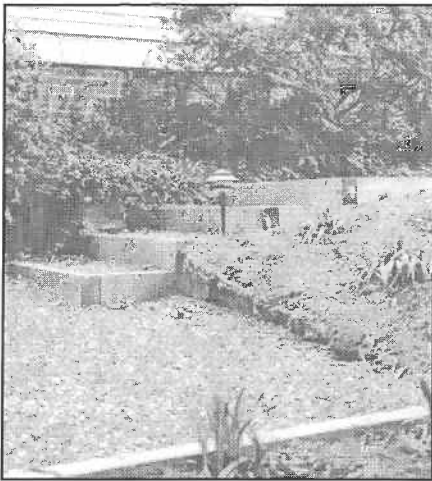
Like all buildings, the preservation of early garages and accessory structures is dependent on routine maintenance and timely repair of building elements and materials as described in the relevant design guidelines. If damage or deterioration is severe, the construction of a new garage or accessory structure may be warranted. Particular attention should be given to the compatibility of the proposed design with the roof form, exterior materials, and details of the principal structure in applying the guidelines for new construction. The massing and overall size of new garages or accessory structures should never compete with or diminish the prominence of the principal structure. Their form, height, scale, location, and orientation should be consistent with that of historic garages and accessory structures in the district. For a new garage, selecting doors resembling the appearance of the hinged doors that preceded contemporary overhead doors will enhance its compatibility within the historic district.

Utilitarian storage sheds and prefabricated storage units may be considered for rear yard locations where they are not visible from the street. It is important to select units that relate to the architectural style and materials of the house or are simple rectangular forms with a gable or hipped roof. Wooden storage buildings are more compatible with the residential sections of the districts than are aluminum or vinyl clad units.

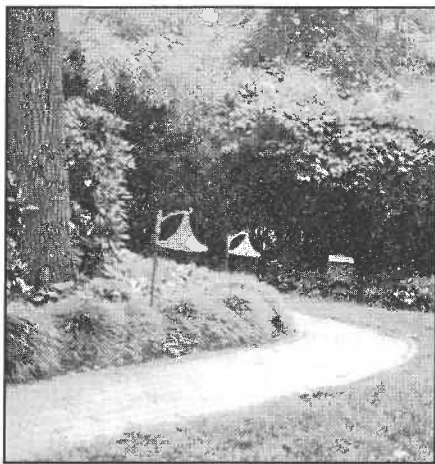
Guidelines: Garages & Accessory Structures

- 1.** Retain and preserve garages and accessory structures that are important in defining the overall historic character of sites within the historic districts.
- 2.** Retain and preserve the features, overall form, materials, windows, doors, details, and finishes of historic garages and accessory structures.
- 3.** Protect and maintain the details, features, and materials of historic garages and accessory structures through appropriate methods.
- 4.** Repair deteriorated or damaged historic garages and accessory structures through recognized preservation methods.
- 5.** Replace in kind all or parts of historic garages and accessory structures that are too deteriorated to repair, matching the original in material, design, dimension, detail, texture, and finish.
- 6.** If a historic garage or accessory structure is missing, either replace it to match the original, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, scale, and detail with the overall historic character of the site and district.
- 7.** Introduce compatible new garages and accessory structures, as needed, in ways that do not compromise the historic character of the site or district. Site new garages or accessory structures in traditional locations that are compatible with the character of the building and site. Design them to be compatible with the main house in material, form, scale, and detail. Maintain the traditional height, proportion, and orientation of garages and accessory structures in the district.
- 8.** Locate new utilitarian storage buildings in rear or side yard locations that are visually screened from the street.
- 9.** It is not appropriate to introduce features or details to a garage or accessory structure in an attempt to create a false historical appearance.





A low, unobtrusive contemporary fixture adds needed light for these walkway steps.



Low, directional light fixtures in a compatible period design light the walkway to the Horace Williams House.



Pedestrian-scale lamp posts (above and opposite) can enhance security and safety along walkways without overilluminating the property.

Exterior Lighting

Traditionally, exterior lighting of the residential sections of Chapel Hill's historic districts was minimal. Occasional street lights and simple porch lights were typically the only sources of exterior lighting. Exterior lighting in the commercial and institutional areas within the districts was also minimal by today's standards.

Considerations

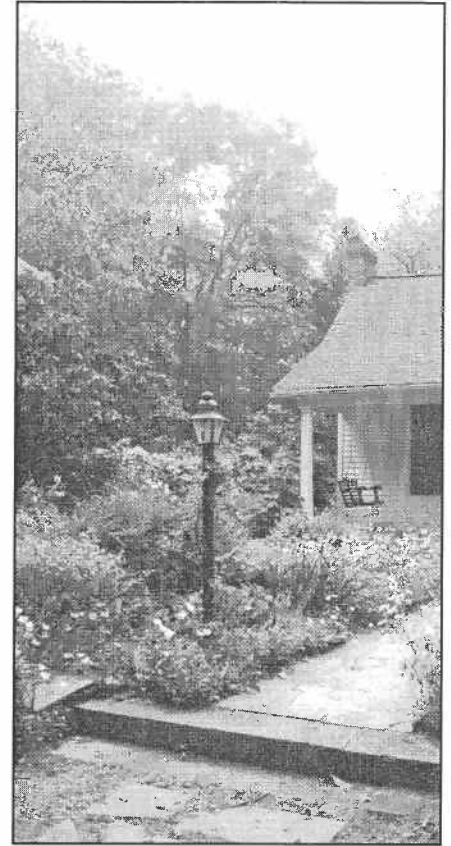
The need for increased site and street lighting reflect contemporary concerns with security and safety throughout the historic districts. It is important to meet these demands in ways that do not compromise the historic character of the site or district and maintain its pedestrian scale. Selective low-level lighting in key locations and the uses of directional fixtures and downlights can prevent problems with excessive, indiscriminant nighttime light. The impact of undesired exterior lighting can also be minimized by the use of timers and motion sensors that control light sources.

Consider the design, materials, size, height, scale, and color of proposed exterior lighting fixtures. The design of fixture should be in keeping with the character of the house and site. Generally simple, inconspicuous fixtures are appropriate in the district as are period lighting fixtures if they are consistent with the character of the house. The brightness, direction, and color of the proposed light source should also be reviewed. Rather than illuminating an entire area, select fixtures that direct light towards the walkway, path, or steps. Limit the repeated use of footlights along a path to prevent a distracting runway effect. If low-mounted footlights are not appropriate, consider modest height post-mounted fixtures that are compatible with the human scale of the historic districts.

District Setting

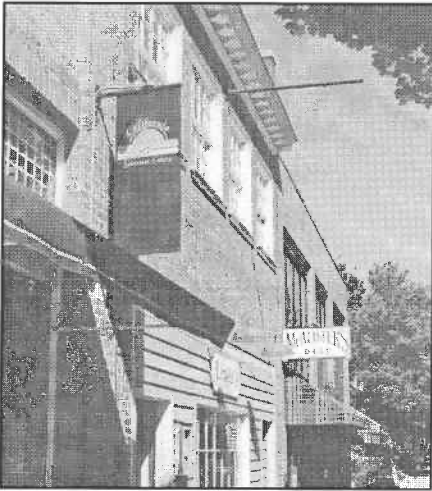
Guidelines: Exterior Lighting

- 1.** Retain and preserve exterior lighting fixtures that are important in defining the overall historic character of buildings or sites within the historic districts.
- 2.** Retain and preserve the features, materials, details, and finishes of historic exterior lighting fixtures.
- 3.** Protect and maintain the details, features, and materials of historic exterior lighting fixtures through appropriate methods.
- 4.** If all or parts of a historic exterior lighting fixture are missing or too deteriorated to repair, replace it with a fixture that is compatible in design, scale, material, and finish with the overall historic character of the building, site and district.
- 5.** Introduce new exterior lighting fixtures with care so that the overall historic character of the building, site, and district is not compromised or diminished. Select and site new lighting fixtures so their location, orientation, height, brightness, scale, and design are compatible with the historic district and its human scale.
- 6.** Introduce low-level lighting in residential areas as needed to ensure safety and security. Minimize their impact on the overall historic character of the site by selecting discreet, unobtrusive fixtures, such as footlights, recessed lights, directional lights, and lights on pedestrian-scaled posts.
- 7.** It is not appropriate to introduce indiscriminant lighting or to over-illuminate the facades or front yards of houses in the historic districts. Control the direction and range of new lighting so it does not invade adjacent properties.
- 8.** It is not appropriate to introduce period lighting fixtures in an attempt to create a false historical appearance.





Simple, wooden signs mounted on low posts are appropriate for residential areas in the historic districts.



Small, projecting signboards and canvas banners are appropriate signage choices for commercial areas of the historic districts.



Opaque lettering applied directly onto display windows is an effective, economical, and easily reversible form of signage that is appropriate within the historic districts.

Signage

Within the commercial area of the Franklin/Rosemary Historic District a variety of signs can be found. Some are incorporated into the building façades while signboards have been attached to others. Signage has also been applied to many awnings and display windows. Throughout the residential areas of Chapel Hill's historic districts, institutional signs, traffic signs, and historic plaques are found as well.

Considerations

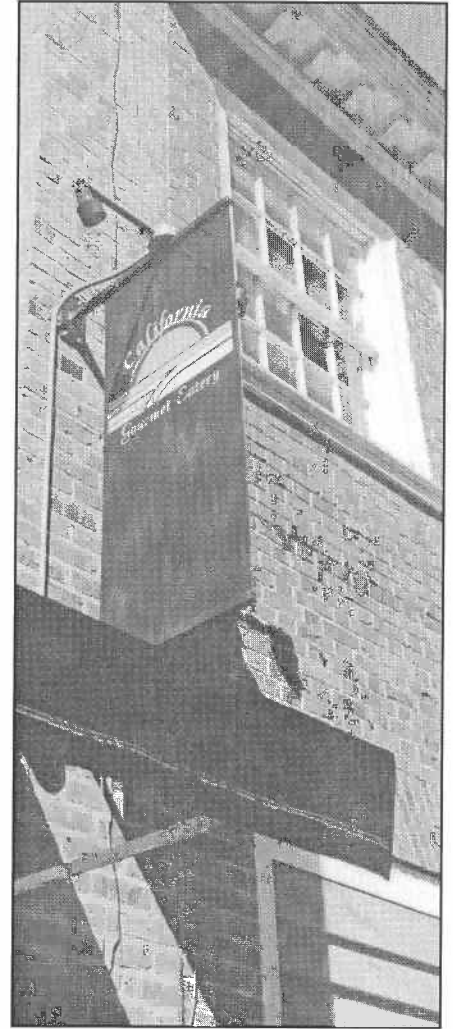
For commercial properties, the traditional location above the storefront transom or mid-cornice remains an ideal location for wooden signboards that are sized to fit the storefront area. Awnings and display windows continue to provide opportunities for signage to be applied as well. Throughout the historic districts, plastic signs and signs that are internally illuminated are not appropriate choices because they are incompatible with the historic character of the districts.

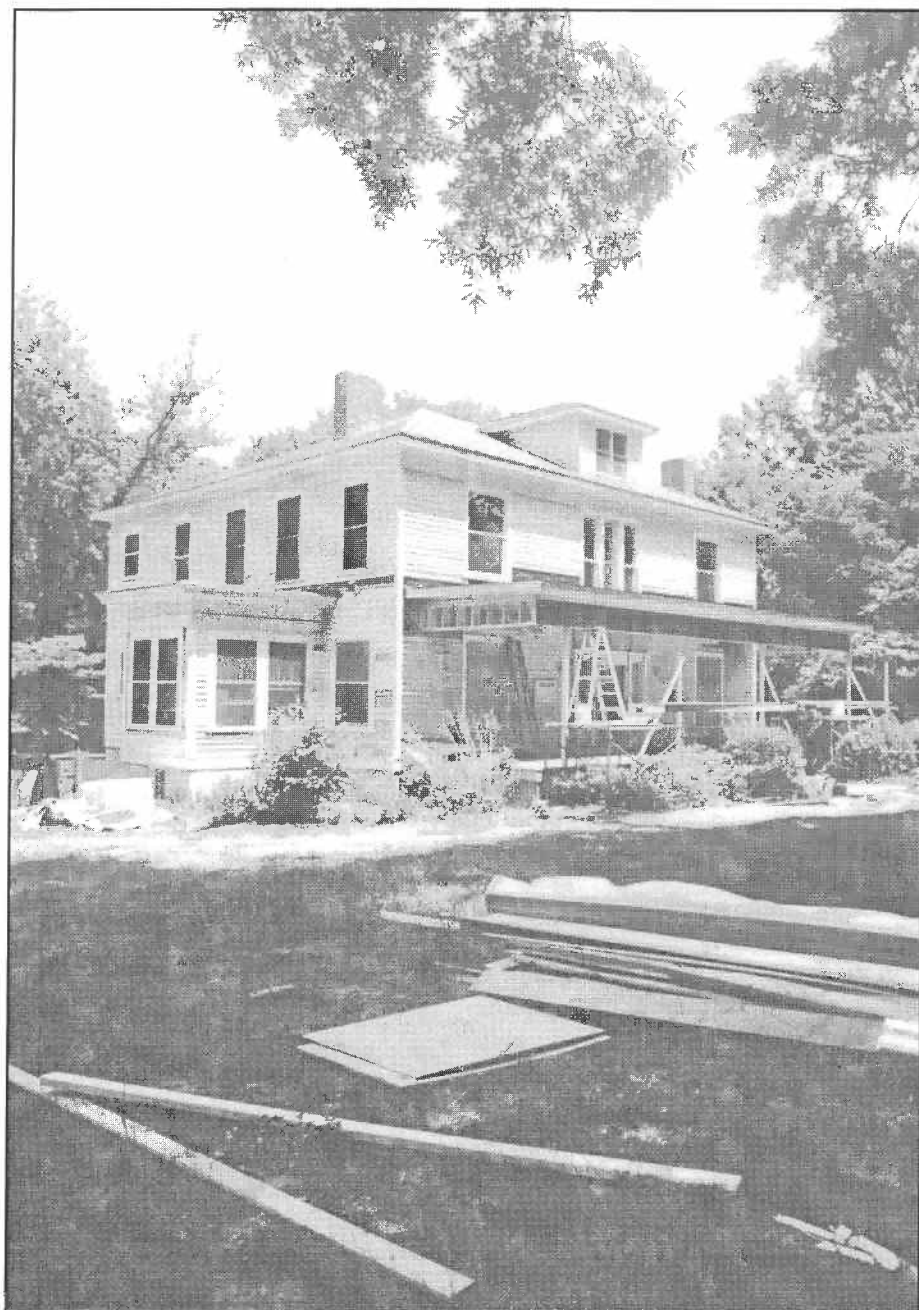
In the residential areas of the historic districts, simple signs that do not detract from the overall historic character can be used to discreetly provide identification or necessary information. Consider the compatibility of proposed new signs in terms of size, overall design, legibility of typeface, and color. The location and supports for proposed signage should also be carefully considered. Generally small, freestanding wooden or metal signs mounted on low supports or a landscaped base can be added to residential properties without detracting from the site or building. If signage must be added directly to a residential building, it is important to find ways to install the sign without concealing or damaging significant architectural features or details. An unobtrusive, inexpensive and easily reversible way to introduce signage on historic buildings is to apply clear adhesive films with opaque lettering onto window or door glazing in appropriate locations. Small identification plaques or wooden signs can sometimes be mounted near a building entrance without compromising the building as well. Within the historic districts, traditional sign materials such as painted wood, metal, and stone are all appropriate.

In addition to a Certificate of Appropriateness from the Historic Preservation Commission, property owners must also apply for a Sign Permit from the Town of Chapel Hill.

Guidelines: Signage

- 1.** Retain and preserve historic signs that are important in defining the overall historic character of buildings or sites within the historic districts.
- 2.** Retain and preserve the features, materials, details, and finishes of historic signs.
- 3.** Protect and maintain the details, features, and materials of historic exterior lighting fixtures through appropriate methods.
- 4.** If all or parts of a historic sign are missing or too deteriorated to repair, replace it with a new sign that is compatible in design, scale, material, and finish with the overall historic character of the building, site and district.
- 5.** Introduce new signage with care so that the overall historic character of the building, site, and district is not compromised or diminished. Select and site new signs so their location, orientation, height, scale, design, and finish are compatible with the historic district and its human scale.
- 6.** Construct new signage out of traditional sign materials, such as wood, stone, or metal. It is not appropriate to introduce new signage in contemporary materials, such as plastic, or internally lighted signs that are incompatible with the overall character of the historic district.
- 7.** In the residential areas of the district, install freestanding signs on low posts or bases that are compatible with the pedestrian scale of the historic districts. Mount small identification signs on building facades in locations that do not damage or conceal significant architectural features or details.





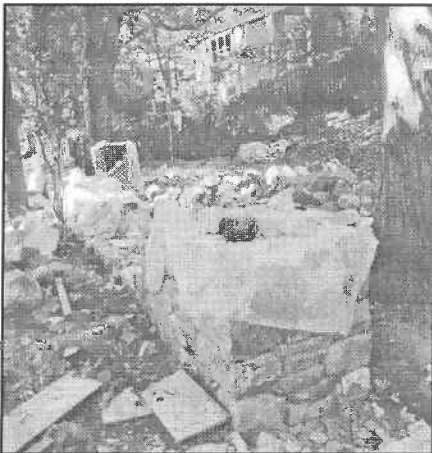
Changes to Existing Buildings



Many well-detailed brick residential properties are found within the historic districts.



The fieldstone foundation and column bases of this frame bungalow repeat the pattern and texture of the low fieldstone walls that wrap so many streetscapes throughout the historic districts.



Above, a deteriorated fieldstone wall is reconstructed using traditional materials and methods.

Masonry

Masonry plays a prominent role in the Chapel Hill historic districts. Brick and stucco facades, frame houses with brick foundations and chimneys, slate and tile roofs, brick or stone steps, and the distinctive low fieldstone walls that border many streetscapes are all examples of masonry features that contribute to the historic character of Chapel Hill.

Considerations

Masonry surfaces are generally quite durable and require relatively little maintenance. Appropriate maintenance steps include the following.

- Routinely inspect for signs of deterioration or damage due to settlement, structural movement, moisture, loose or missing masonry units, deteriorated mortar joints, and vegetation.
- Ensure water does not collect on masonry surfaces and that water drains away from foundations, walls, and piers.
- Clean unpainted masonry surfaces using the gentlest effective method to remove heavy soiling or slow deterioration.
- Clean painted masonry surfaces using the gentlest effective method and repaint to maintain a sound paint film.

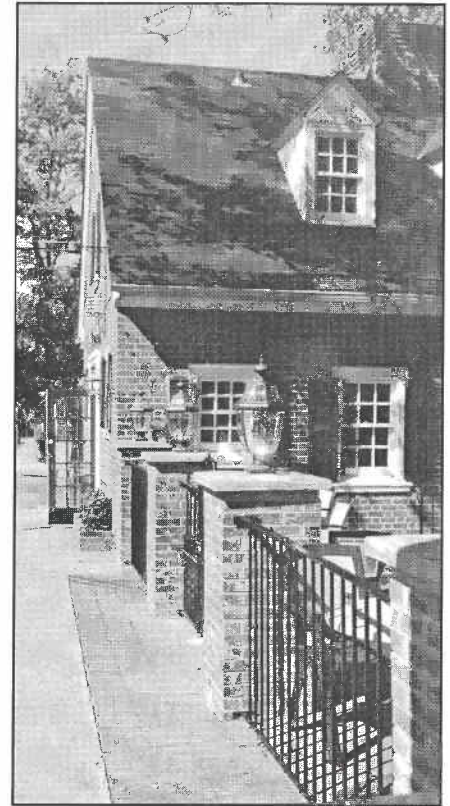
Frequently, masonry surfaces can be adequately cleaned using low-pressure water, natural bristle brushes, and mild detergent; however, stubborn stains or soiling may require a chemical cleaner. Because chemical cleaners may discolor or damage the masonry surface, it is best to pretest any chemical cleaner on an inconspicuous sample area. Chemical cleaners must be neutralized and the surface thoroughly rinsed afterwards to prevent ongoing chemical reactions.

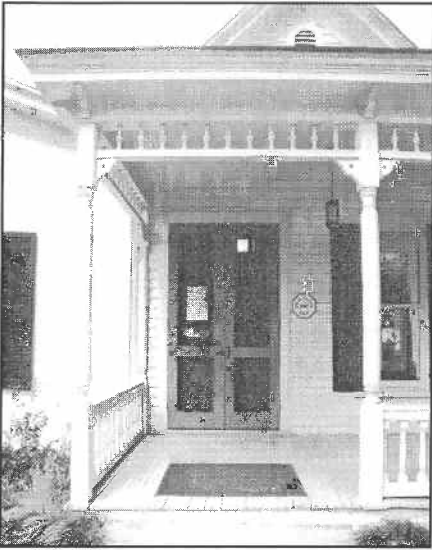
Over time, the mortar in masonry features will begin to deteriorate and eventually the mortar joints will need to be repointed with new mortar to prevent moisture from working its way into wall. First, loose or crumbling mortar must be removed with hand tools—taking care not to damage the masonry units. Matching the visual and physical of the original mortar will preserve the appearance and structural integrity of the feature. It is especially important not to replace softer lime mortars with harder Portland cement-based mortars in brickwork, for such substitutions will result in damage to the original brick as temperature changes cause them to expand and contract. Time taken to match the original mortar color through on-site samples can be well worth the effort as repairs will be far less noticeable. Only if moisture problems persist after repointing, should contemporary masonry consolidants and waterproof coatings be considered. If individual bricks are missing or so deteriorated that their replacement is warranted, finding new or salvaged brick to match the size, color, and texture of the original is often possible from the wide variety of stock colors and textures available. If no acceptable replacements are found, custom brick can be made.

Painting historically unpainted masonry surfaces both diminishes their inherent color, pattern, and texture and triggers an ongoing repainting maintenance cycle that is far more intensive than the long term care of unpainted brick or stone. Therefore, it is both historically appropriate and economically wise not to paint unpainted brickwork. However, the expense and difficulty of removing paint without damaging the masonry makes repainting previously painted masonry the preferred treatment.

Guidelines: Masonry

- 1.** Retain and preserve masonry features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of historic masonry features and surfaces.
- 3.** Protect and maintain masonry features and surfaces through appropriate methods.
- 4.** Prior to cleaning or stripping paint, test the proposed method on the masonry surface well in advance on an inconspicuous sample area. Destructive cleaning techniques, such as sand-blasting and high pressure waterblasting, are not appropriate for historic masonry surfaces.
- 5.** Repair deteriorated mortar joints by repointing as necessary to prevent moisture infiltration and accelerated deterioration. Repoint with mortar to match the original in composition, strength, color, and texture. Match the profile and width of the original mortar joint. Apply non-historic treatments such as water repellant coatings only if repointing has failed to stop moisture penetration.
- 6.** Repair deteriorated or damaged masonry features and surfaces through recognized preservation methods, such as selectively replacing missing or deteriorated masonry units in kind.
- 7.** Replace in kind masonry features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, detail, and finish. Consider a compatible substitute material only if replacement in kind is not technically or economically feasible.
- 8.** If a masonry feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, scale, and color with the building or site.
- 9.** It is not appropriate to conceal or replace a historic masonry feature or surface with a contemporary substitute material, such as synthetic stucco or artificial siding.
- 10.** It is not appropriate to apply paint or stucco to masonry surfaces that were historically unpainted or uncoated.





The turned columns, decorative spindlework, brackets, and turned balusters of the porches above and opposite illustrate the versatility of wood to be milled in a variety of forms.



Wooden shakes add texture and detail to many houses within the districts.



The wooden columns, soffit and cornice of this two story portico were carefully repaired and restored.

Wood

Throughout Chapel Hill's historic districts, wood is a popular, traditional building material used for a variety of features from exterior cladding to structural elements to decorative trimwork. Whether Greek Revival, Victorian, or Bungalow, wooden features reflect their style and the technology of the period.

Considerations

Exterior wood elements can last a century or more with proper care and a sound coat of paint. To protect wooden surfaces and features from deterioration it is important to take the following routine maintenance and repair steps:

- Inspect surfaces regularly for signs of damage from moisture, termites and other insects, and fungi or mildew.
- Ensure surfaces are adequately drained to prevent water from collecting on horizontal features or decorative elements.
- Properly caulk or seal vertical wood joints to prevent moisture penetration but do not seal horizontal, lap siding joints.
- Treat historically unpainted wood features with an environmentally-safe chemical preservative to slow decay.
- Maintain protective paint films on exterior wood surfaces to prevent damage due to ultraviolet light and moisture.
- Use the gentlest effective cleaning method and repaint previously painted wood surfaces as necessary to maintain a sound paint film.

Wood is a relatively soft material that must be cleaned gently prior to repainting. If the paint film is still intact, low-pressure washing with a mild household detergent and an anti-mildew additive is usually sufficient. Typically, handscraping and sanding are also necessary prior to repainting. More aggressive techniques, such as the selective use of hot air guns or heat plates, may be necessary if multiple layers of paint are failing. Because harsh alkaline paint strippers, gas-fired torches, sandblasting, and power washing will permanently damage the wood surface and leave a raised grain surface, these techniques are not appropriate for historic wood features.

The repair and replacement of deteriorated wood features includes selective replacement of sections in kind by splicing or piecing. For the repair of decorative wood features, consolidation of the deteriorated feature with wood epoxy repair products may prove more cost effective than replacement in kind.

Changes to Existing Buildings

Guidelines: Wood

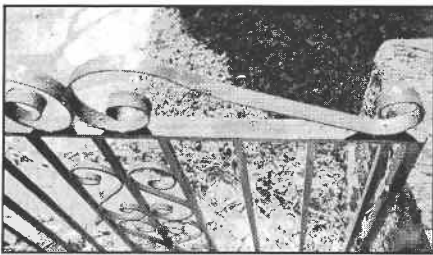
- 1.** Retain and preserve wood features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of historic wood features and surfaces.
- 3.** Protect and maintain wood features and surfaces through appropriate methods.
- 4.** Repair deteriorated or damaged wood features and surfaces through recognized preservation methods, such as patching, splicing, consolidating, and reinforcing.
- 5.** Replace in kind wood features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, detail, and finish. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a wood feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building or site.
- 7.** It is not appropriate to cover over, conceal, or replace a historic wood feature or surface with a contemporary substitute material such as vinyl or aluminum.
- 8.** It is not appropriate to clean or strip wood surfaces with destructive methods such as power washing, sandblasting, and using butane or propane torches. Consider the use of chemical strippers only if less aggressive methods such as low-pressure washing with detergents and natural bristle brushes are ineffective.
- 9.** It is not appropriate to introduce wood features or details to a historic property in an attempt to create a false historical appearance.



Architectural Metals



This low cast iron fence with decorative wrought iron inserts tops the fieldstone wall bordering a front yard.



Corrosion of this iron fence will require abrasive cleaning and prompt coating with a metal primer to prevent further deterioration.



The shiny reflective surface of this newly installed copper balcony fascia will develop a greenish patina over time and does not require a protective coat of paint like the cast metal balustrade and brackets do.

Standing seam metal roofs, cast iron fences, wrought iron railings, brass hardware, pressed metal cornices, and copper flashing are all examples of architectural metal elements found throughout Chapel Hill's historic districts.

Considerations

Appropriate routine maintenance and repair methods for architectural metals include the following:

- Inspect surfaces routinely for signs of structural fatigue or failure, moisture damage, corrosion, galvanic action, and paint film failure.
- Ensure drainage of surfaces is adequate to prevent water from collecting on horizontal surfaces or decorative elements.
- Clean metal roofs, gutters, and downspouts as necessary to keep them free of debris and leaves.
- Clean metal surfaces to remove corrosion and to prepare for repainting using the gentlest effective method.
- Maintain a protective paint film on ferrous metal surfaces to prevent corrosion.
- Repaint previously painted surfaces as needed to maintain a sound paint film.

Although copper, bronze, and brass develop a protective green patina through exposure to the elements and aluminum and stainless steel are valued for their resistance to atmospheric corrosion, the inherent finish of all ferrous metals—such as wrought iron, cast iron, and steel—corrodes quickly when exposed to moisture in the atmosphere. Consequently, ferrous metals require a protective paint film to prevent rust from forming. If the paint film deteriorates, all corrosion must be removed and the ferrous metal surface must be promptly primed with an appropriate metal primer to prevent continued deterioration.

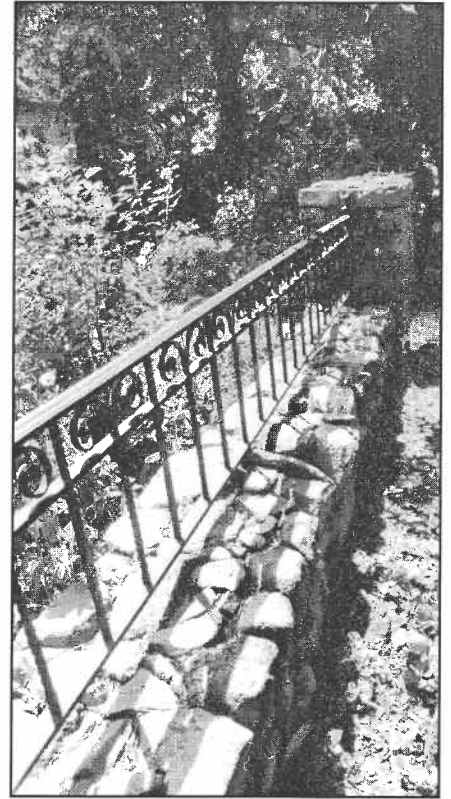
The appropriate method for cleaning architectural metals depends on how malleable, or soft, they are. Copper, aluminum, brass, zinc, tin, and lead are all soft metals that should be cleaned with non-abrasive cleaners. In contrast, the abrasive action of a wire brush or hand scraper is appropriate for hard metals such as steel, cast iron, and wrought iron. If these techniques are ineffective, low-pressure grit blasting may also be used to clean hard metals.

It is best to use compatible metals for nails and fasteners on metal roofs because dissimilar metals can cause the corrosion of the weaker metal through galvanic action.

Changes to Existing Buildings

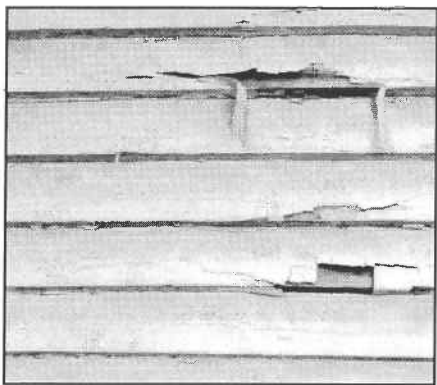
Guidelines: Architectural Metals

- 1.** Retain and preserve architectural metal features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of architectural metal features and surfaces.
- 3.** Protect and maintain architectural metal features and surfaces through appropriate methods.
- 4.** Clean architectural metals using the gentlest effective method. Use chemical cleaners, after pretesting, to clean soft metals. It is not appropriate to clean soft metals with harsh, abrasive techniques such as sandblasting. Clean corrosion and paint buildup from hard metals by hand scraping and wire brushing. Consider low-pressure grit blasting hard metals only if gentler methods are ineffective.
- 5.** Repair deteriorated or damaged architectural metal features and surfaces through recognized preservation methods, such as patching, splicing, and reinforcing.
- 6.** Replace in kind architectural metal features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, detail, and finish. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 7.** If an architectural metal feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building or site.
- 8.** It is not appropriate to introduce architectural metal features or details to a historic property in an attempt to create a false historical appearance.





Muted body colors, white trim, and dark shutters and doors are appropriate paint palettes for the many Colonial Revival houses found within the historic districts (above and opposite).



The paint film on these clapboards is so deteriorated that all peeling paint must be carefully scraped off and the surface sanded prior to repainting to ensure the new paint will bond to the wood.

Lead-based paint was commonly used well into the twentieth century, so most buildings in Chapel Hill's historic districts contain it. Exposed lead-based paint presents a health risk to people living or working around it, especially children and pregnant women. The State Historic Preservation Office and the State Health Department can provide current information on the precautions that should be taken during rehabilitation to ensure a lead-safe building and site.

Changes to Existing Buildings

Paint & Exterior Color

Color—whether applied or inherent to the exterior materials of a building—is an essential visual element of any historic building. The original color scheme generally reflected the tastes of the era and the preferences of the owner. However, the colors of most buildings have changed over time. If property owners are interested in determining the color chronology of a specific building, examination of paint scrapings under a microscope by an architectural conservator can provide accurate information. Another approach is to select paint colors based upon an understanding of what color palettes are appropriate given the building's architectural style and age. For example, Queen Anne style houses were known for their flamboyant color schemes, whereas more subdued palettes were popular for Colonial Revival buildings. Whatever the architectural style, applying appropriate colors can dramatically enhance the appearance of a building.

Considerations

Several basic principals can guide the selection of paint colors for historic buildings. Historically, trimwork—such as corner boards, cornices, and window and door casings—was often painted in a lower value or a hue that contrasted with the siding color. Typically, window sash and shutters were usually the darkest color on the building. Wood shingles generally were stained in dark colors and if used in tandem with clapboards, the shingles were stained darker than the siding. Some contemporary references that provide information on historically appropriate paint schemes are included in the Appendix. Beyond the visual impact of a paint color, paint is primarily a protective film that allows the building to shed water and to slow the weathering process. Steps in maintaining and protecting historic painted surfaces include:

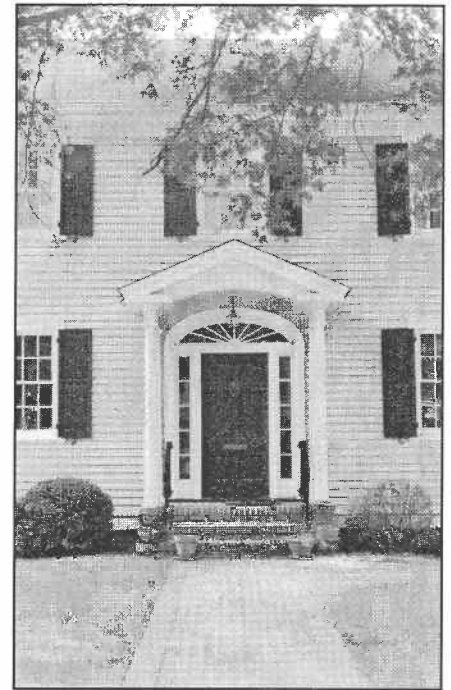
- Inspect painted surfaces regularly for evidence of discoloration, moisture damage, mildew, and dirt buildup.
- Clean painted surfaces routinely to prevent unnecessary repainting, using the gentlest means possible. Ensure that surfaces are clean and dry prior to repainting so the new paint will bond.
- Remove deteriorated and peeling paint films down to the first sound paint layer. Use the gentlest effective method for the substrate material. It is not appropriate to use destructive techniques such as power washing, sandblasting, or high-pressure waterblasting. Hazardous heating devices such as propane or butane torches and heat plates should only be used with extreme caution.
- Prime exposed metal and wood surfaces prior to repainting.
- Maintain a sound paint film on previously painted surfaces by using compatible paint products.

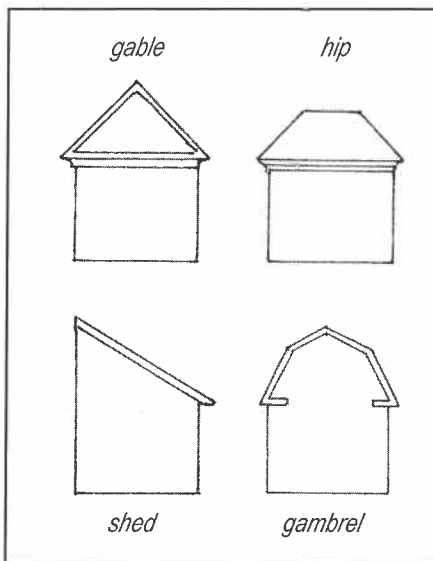
Proper, thorough preparation is critical for any repainting job to ensure the new paint film bonds to the surface. Any loose or deteriorated paint layers must be removed first, any mildew eliminated, and the surface must be clean and dry for repainting. To prevent new corrosion on ferrous metal surfaces, the surface must be promptly primed after cleaning with a zinc-based primer or other rust-inhibiting primer. For exposed wood surfaces, apply a good quality exterior primer and caulk all exposed vertical joints and follow with finish coats of a compatible latex of alkyd resin exterior paint.

Guidelines: Paint & Exterior Color

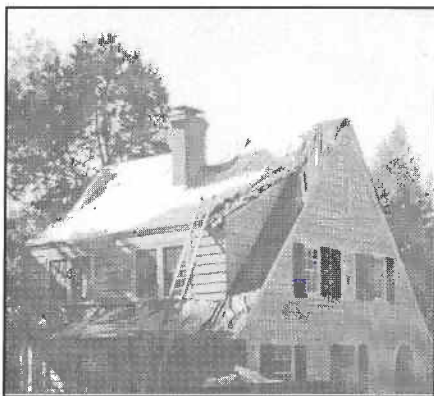
Note: Paint color changes do not require Historic District Commission approval.

- 1.** Retain and preserve painted features that are important in defining the overall historic character of buildings or site features within the historic districts.
- 2.** Retain and preserve the details and finishes of intact exterior finishes including stains, paints, lacquers, and decorative finishes.
- 3.** Protect and maintain painted exterior features and surfaces through appropriate methods.
- 4.** Clean painted surfaces using the gentlest effective method. Use chemical cleaners, after pretesting, to clean soft metals. It is not appropriate to clean or strip painted surfaces with techniques that are destructive to the underlying surface material.
- 5.** Reapply paints or stains to previously painted or stained exterior surfaces in colors that are appropriate to the building and site. It is not appropriate to paint or coat masonry surfaces that were not coated or painted historically.
- 6.** Enhance and reinforce the architectural materials and features of a district building and site through the appropriate selection and placement of paint color.





Basic Roof Forms



Above, deteriorated roofing shingles on this prominent, steeply-pitched roof are being replaced with new shakes that resemble the original roofing treatment.



Complex roofs which combine a variety of roof forms, like the one above, are found throughout the historic districts.

Roofs

Whether flat, hipped, shed, gable, gambrel, or a combination of these forms, the form and pitch of the roof contributes strongly to the architectural character of any building. Pattern, scale, color, and texture of roofing materials further define the character of the roof as do features such as dormers, gables, vents, turrets, and chimneys. Today, asphalt or fiberglass shingles are common roofing materials in the historic districts. These composition shingles replaced earlier roofing materials such as pressed metal, tile, and slate roofs. Well-maintained slate, tile, and metal roofs can last for a century or more and they add distinctive pattern and texture to a roof, making their repair and preservation well worth the effort.

Considerations

The care and maintenance of the roof is critical to the preservation of any building, including the following steps:

- Inspect regularly for signs of moisture damage, corrosion, structural damage, and paint failure.
- Clean debris from gutters and downspouts regularly to ensure adequate drainage of the roof surface.
- Replace deteriorated flashing with good quality flashing.
- Clean metal roofs using the gentlest effective method and repaint as necessary to maintain a sound paint film.

Roof flashing provides watertight joints where roof planes change or are interrupted by features such as chimneys or dormers. Deteriorated or improperly installed flashing is a common source of roof leaks. Copper, galvanized sheet metal, or aluminum with a baked enamel finish are appropriate flashing materials within the historic districts.

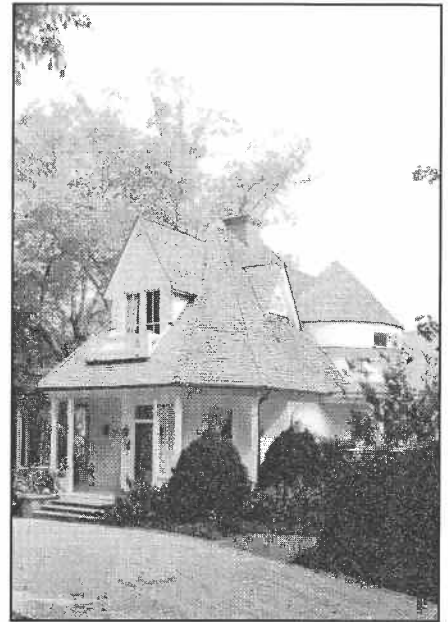
Clogged gutters or downspouts must be cleared routinely or they can cause moisture damage to a building. It is especially important to inspect built-in gutters regularly as their condition is concealed from view and, if they are blocked or failing, substantial damage can occur to the roof or trimwork that encases them. If new gutters or downspouts are needed, they should be installed carefully so no architectural features or details are damaged. Traditional shaped gutters and downspouts fabricated of aluminum with a baked enamel finish or copper are both appropriate replacement choices in the districts.

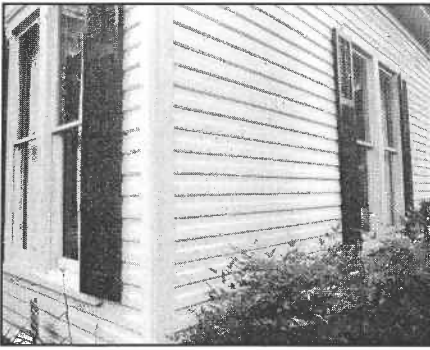
While roofs can provide convenient locations for new mechanical or communication equipment, their installation may compromise the architectural integrity of a historic building as can the introduction of skylights, solar panels, and other contemporary roof features. Roof locations for such elements should only be considered if they can be located on roof planes not visible from the street and if they will not damage or conceal significant roof features.

New dormers should only be introduced if their scale and design are compatible with the building and their proposed location will not detract from the architectural integrity of the building.

Guidelines: Roofs

- 1.** Retain and preserve roofs that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic roofs.
- 3.** Protect and maintain the details, features, and surfaces of historic roofs through appropriate methods.
- 4.** Repair deteriorated or damaged roof features and surfaces through recognized preservation methods for the specific feature or material.
- 5.** Replace in kind roof features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, pattern, detail, texture, and color. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a roof feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** Introduce new gutters and downspouts, as needed, with care so that no architectural features are damaged or lost. Select gutters and downspouts that are painted or coated with a factory finish in a color that is appropriate to the building (unless they are copper). Replace half-round gutters and cylindrical downspouts in kind.
- 8.** It is not appropriate to remove character-defining roof features such as chimneys, dormers, built-in gutters, and vents.
- 9.** It is not appropriate to introduce new roof features, such as chimneys, solar collectors, skylights, ventilators, and communication or mechanical equipment of roof slopes that are visible from the street or in locations that compromise the architectural integrity of the building.
- 10.** It is not appropriate to introduce roof features or details to a historic property in an attempt to create a false historical appearance.





German siding with traditional trimwork wraps the exterior of this frame house.



Above, deteriorated wooden weatherboards are selectively replaced in kind to match existing siding during rehabilitation.



This Tudor Revival building incorporates a central entrance bay of uncoursed stonework capped by a crenellated parapet with flanking wings of exposed timber framing and stucco panels.

Exterior Walls

The overall form and massing of buildings are defined by the exterior walls. The detailing of exterior walls also reflects the buildings architectural style. Clapboards, bricks, stucco, wood shingles, and stone are all exterior wall materials that add texture, pattern, scale, and detail to buildings within Chapel Hill's historic districts.

Considerations

Appropriate routine maintenance and repair methods for exterior walls and trim include the following steps:

- Inspect regularly for signs of moisture damage, settlement, structural damage, corrosion, insect or fungal infestation, and vegetation.
- Ensure adequate drainage so water does not collect along the foundation or on flat, horizontal surfaces and decorative elements.
- Retain protective paint or stain coatings that prevent deterioration.
- Use the gentlest effective method to clean exterior walls to remove heavy soiling prior to repainting.
- Repaint exterior walls as needed to maintain a sound, protective paint film.

Wood siding is a very enduring exterior cladding material if it is kept free of excessive moisture and protected from ultraviolet light and rain with a protective coat of paint. However, improper maintenance or neglect can lead to the need to selectively replace sections of siding. Fortunately, wood siding and trim are readily available in a variety of widths. It is important that replacement siding match the spacing and detailing of the original. Occasional cleaning, repairs, and traditional repointing necessary for brick or stone walls are described in the Masonry Guidelines.

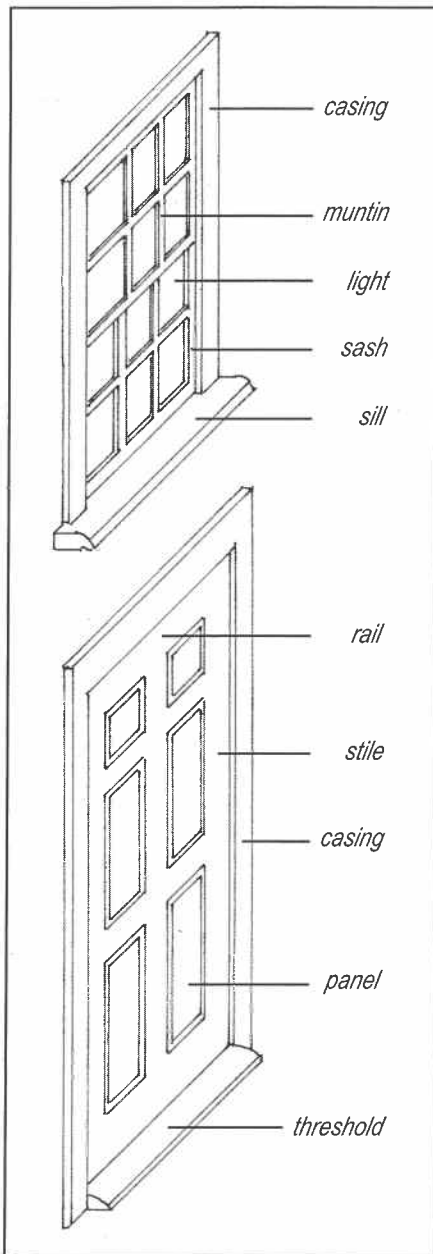
Replacing or covering over historic siding with a contemporary substitute—such as vinyl, aluminum, or fiber-reinforced cement board—is not appropriate within the historic districts because it significantly compromises the architectural integrity of the historic buildings. These contemporary materials do not truly replicate the qualities of the traditional materials they imitate and their installation often damages the original material and conceals or eliminates decorative trimwork. While, in the short term, substitute sidings may temporarily eliminate the need to repair or repaint the original cladding, they can also conceal ongoing moisture problems, structural deterioration, or insect infestation.

Guidelines: Exterior Walls

- 1.** Retain and preserve exterior walls that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic exterior walls.
- 3.** Protect and maintain the details, features, and surfaces of historic exterior walls through appropriate methods.
- 4.** Repair deteriorated or damaged exterior wall features and surfaces through recognized preservation methods for the specific feature or material.
- 5.** Replace in kind exterior wall features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, pattern, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If an exterior wall feature is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** It is not appropriate to remove historic features and details—such as windows, doors, chimneys, bays, band boards, corner boards, wood shingles, brackets and decorative trimwork—on character-defining exterior walls.
- 8.** It is not appropriate to introduce new exterior wall features—such as windows, doors, chimneys, bays, and communication or mechanical equipment—on exterior walls that are visible from the street or in locations that compromise the architectural integrity of the building.
- 9.** It is not appropriate to cover over or replace historic exterior wall materials—such as clapboards, shingles, bricks, or stucco—with contemporary synthetic coatings or substitute sidings including aluminum, vinyl, and fiber-reinforced cement siding.
- 10.** It is not appropriate to introduce exterior wall features or details to a historic property in an attempt to create a false historical appearance.



Windows & Doors



Window and Door Components



Six-over-one doublehung window sashes replaced inappropriate fixed single-pane glass panels during the sensitive rehabilitation of this bungalow.

Changes to Existing Buildings

The pattern, detail, and scale that windows and doors give to buildings throughout the Chapel Hill historic districts contribute significantly to their architectural character. Functional as well as decorative, these elements provide access, ventilation, daylight, and views. Doublehung wood windows are the most common type of windows found in the districts. A variety of pane configurations within the sashes reflect the wide range of architectural styles represented and the wooden front doors throughout the district reflect an equally diverse range of panel and glazing configurations.

Considerations

From a preservation perspective as well as an economic perspective, it is preferable to properly maintain and repair windows and doors instead of replace them. Appropriate routine maintenance and repair of windows and doors include the following steps:

- Inspect regularly for signs of deterioration due to moisture damage, air infiltration, insect or fungal infestation, corrosion and paint failure.
- Retain protective paint or stain coatings that prevent deterioration.
- Use the gentlest effective method to clean window and door surfaces.
- Reglaze sash and recaulk joinery as necessary to prevent air or moisture penetration.
- Repaint windows and doors as needed to maintain a sound protective paint film.
- Weatherstrip windows and doors to enhance their energy efficiency.

If only a small area of a wood window or door is deteriorated or damaged, a wood epoxy product can be used to repair the unit and prevent replacement of the entire feature. In situations where replacement is necessary, it is important to find new sash or doors that fit the original opening so the frames and surrounds do not have to be replaced. Although stock wood windows and doors are readily available in a variety of sizes and configurations, it is sometimes necessary to have custom replacement units made by a millwork company.

Replacing wood windows with vinyl, vinyl clad, or aluminum windows significantly compromises the architectural integrity of a historic building and is not an acceptable compromise within the historic districts.

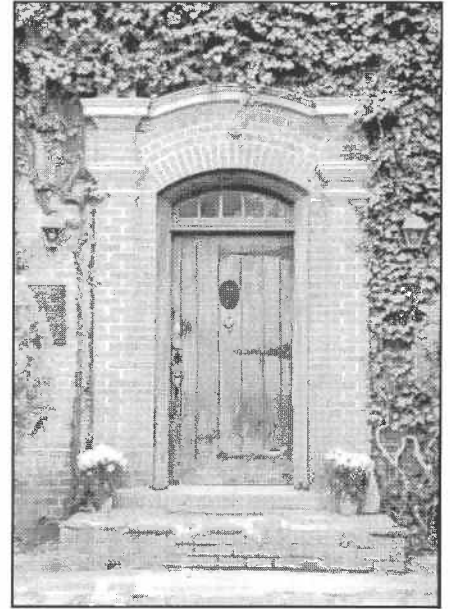
The rhythm and placement of window and door openings is usually quite consistent on a historic building. Consequently, it is generally not appropriate to introduce or eliminate an opening on any prominent elevation.

The guidelines for Utilities and Energy Retrofit on page 48 provide additional information on energy efficiency measures for windows and doors.

Guidelines: Windows & Doors

1. Retain and preserve windows and doors that are important in defining the overall historic character of buildings within the historic districts.
2. Retain and preserve the details, features, and material surfaces of historic windows and doors.
3. Protect and maintain the details, features, and surfaces of historic exterior windows and doors through appropriate methods.
4. Repair deteriorated or damaged exterior windows and doors through recognized preservation methods.
5. Replace in kind exterior windows and doors that are too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
6. If an exterior window or door is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
7. It is not appropriate to eliminate or introduce window and door openings on character-defining exterior walls.
8. It is not appropriate to remove or cover over materials or details of historic windows and doors—such as beveled glass, art glass, sidelights, transoms, shutters, and decorative trimwork.
9. It is not appropriate to introduce exterior window or door features or details, including shutters, to a historic property in an attempt to create a false historical appearance.

Note: See the guidelines for Utilities and Energy Retrofit for related guidelines on energy efficiency measures for doors and windows.

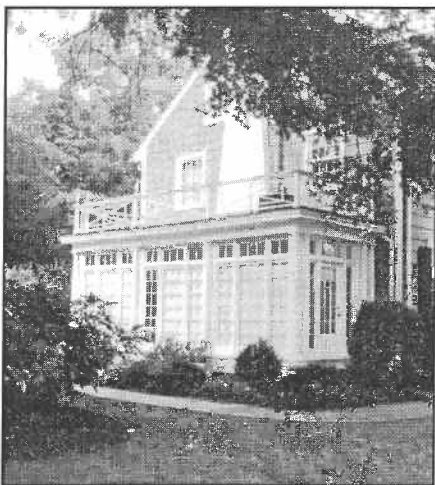




Deteriorated elements of this front porch were replaced in kind during rehabilitation.



During rehabilitation the front porch of this bungalow, which had been fully enclosed earlier, was partially reopened.



This side porch was sensitively enclosed while retaining its porch detailing.

Porches, Entrances & Balconies

Traditional front porches contribute significantly to the overall historic character of houses within Chapel Hill's historic districts. While their stylistic details vary from the delicate Victorian to the bolder, simpler lines of the bungalow, their functional yet decorative elements typically include columns, balustrades, piers, steps, soffits, beaded board ceilings, and tongue and groove floors. Occasional balconies and classically-stylized porticos are also found within the districts.

Considerations

Their projecting nature makes porches and entrances especially vulnerable to the elements. Consequently, timely maintenance and repair is critical. Appropriate routine maintenance and repair methods for porches, entrances, and balconies include the following steps:

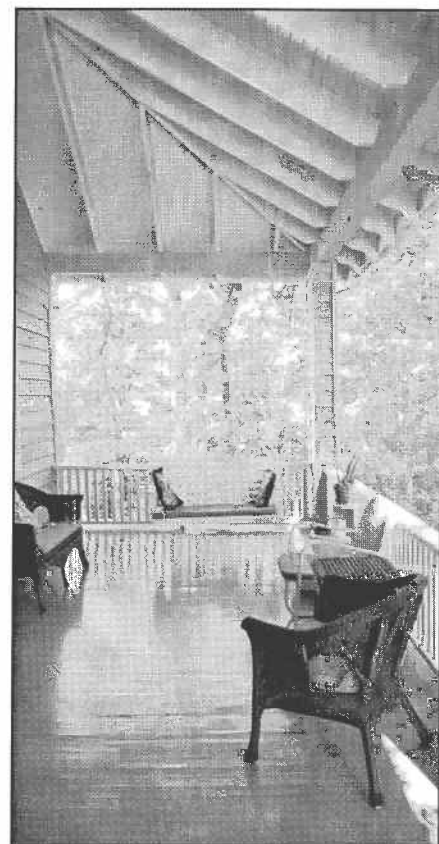
- Inspect regularly for signs of deterioration due to moisture damage, settlement or structural damage, insect or fungal infestation, corrosion, or paint failure.
- Ensure adequate drainage so water does not collect along the foundation or on flat, horizontal surfaces and decorative elements.
- Caulk vertical wood joints to prevent moisture infiltration.
- Retain protective paint or stain coatings that prevent deterioration.
- Use the gentlest effective method to clean surfaces.
- Repaint surfaces as needed to maintain a sound, protective paint film.

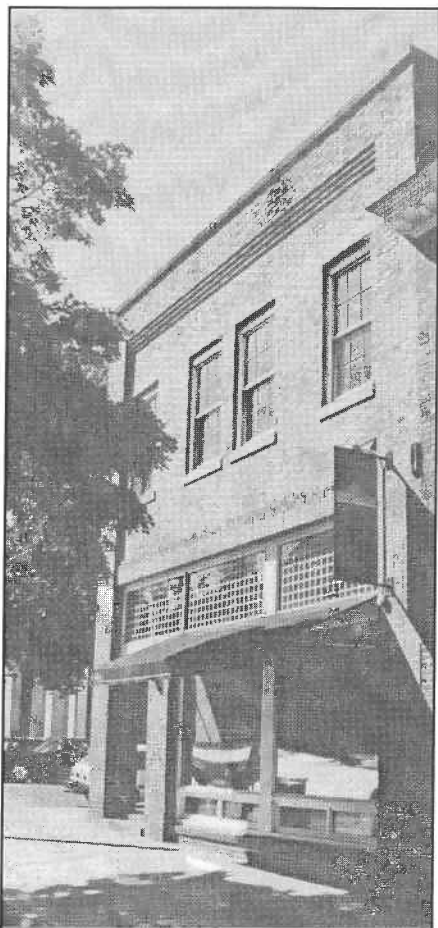
The repair of masonry steps, piers, or foundations for porches and entrances are the same as those outlined in the masonry guidelines. Likewise, the repair of wooden porch, balcony, or entrance features is parallel to that of exterior walls and trim. Many traditional materials for porches—such as tongue and groove flooring, beaded board, balustrades, and columns—are still readily available making their replacement in kind a simple matter. However, replacement of decorative brackets, turned columns, or balusters with a distinctive detail may require custom millwork. Where possible, it is generally preferable and more cost-effective to patch in place deteriorated areas of such distinctive elements with epoxy repair products to prevent their replacement.

Front porches and entrances are such visually prominent features that it is not appropriate to significantly alter, enclose, or remove them. Even the alteration or enclosure of a less prominent rear or side porch must be carefully considered and undertaken only if the porch will retain its architectural integrity.

Guidelines: Porches, Entrances & Balconies

- 1.** Retain and preserve porches, entrances, and balconies that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic porches, entrances, and balconies.
- 3.** Protect and maintain the details, features, and surfaces of historic porches, entrances, and balconies through appropriate methods.
- 4.** Repair deteriorated or damaged porches, entrances, and balconies through recognized preservation methods.
- 5.** Replace in kind any feature or portion of a porch, entrance, or balcony that is too deteriorated to repair, matching the original in material, design, dimension, configuration, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a porch, entrance, or balcony is missing either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** It is not appropriate to eliminate or introduce porches, entrances, and balconies on character-defining exterior walls.
- 8.** It is not appropriate to remove or cover over materials or details of historic porches, entrances, and balconies—such as columns, balustrades, brackets, pilasters, steps, floors, ceilings, cornices, and trimwork.
- 9.** It is not appropriate to enclose a front porch, entrance, or balcony on a character-defining elevation. Consider enclosing a porch or balcony on a side or rear elevation only if the design will preserve the historic character of the porch or balcony.
- 10.** It is not appropriate to introduce exterior porch, entrance, or balcony features or details, to a historic property in an attempt to create a false historical appearance.





The storefront to this commercial building includes many traditional storefront elements—such as large display windows above a low wooden recessed panel bulkhead, transom windows above a canvas awning, a recessed corner entry and a pedestrian-scaled projecting sign.

Storefronts

Within the commercial areas of the Franklin-Rosemary Historic District, especially along Franklin Street, a variety of storefronts from different eras add interest and vitality to Chapel Hill's downtown. The storefront is the most prominent architectural feature of most historic commercial buildings. It links the building to the street and its display windows and signage and entrance entice the passerby to enter. Generally, a mid-cornice or signboard separates the storefront from the rest of the upper street façade as does a change in building materials. Recessed entries often provide a gracious transition from the sidewalk to the building interior. Transoms, awnings, signboards, and large display windows above bulkhead panels are all typical features of traditional storefronts.

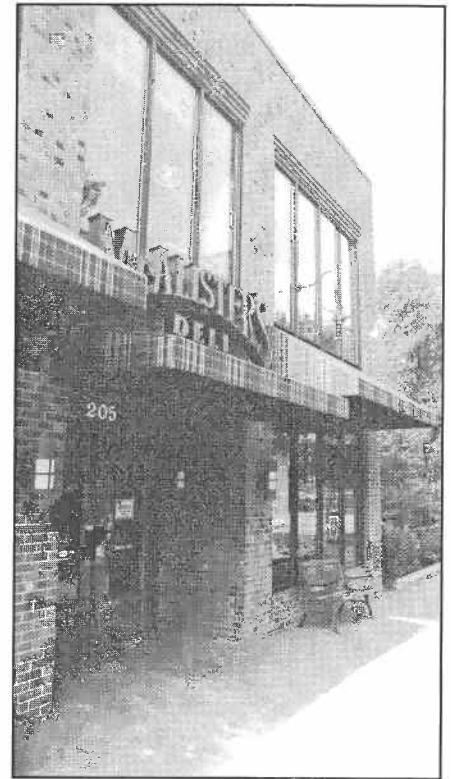
Considerations

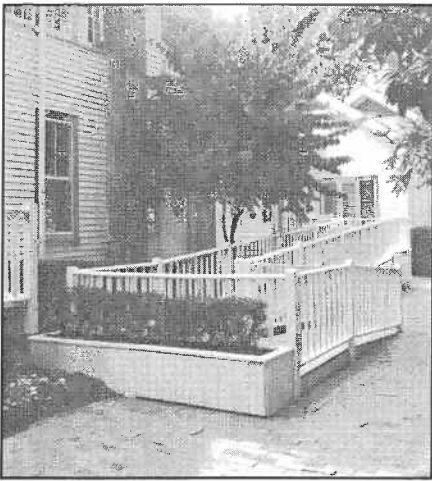
The visual prominence of storefronts warrants their preservation. Their high use requires maintenance and repairs similar to those of other entrances, windows, and doors. Removing a historic storefront or replacing its historic features with incompatible, contemporary materials significantly diminishes the architectural character of a commercial building.

Some original storefronts have raised entrances or narrow recessed doorways that present accessibility challenges. The guidelines on page 46 provide information on accessibility considerations. In addition, see the Exterior Lighting guidelines on page 22 for more information on appropriate lighting and the Signage guidelines on page 24 for pertinent information on signage.

Guidelines: Storefronts

- 1.** Retain and preserve storefronts that are important in defining the overall historic character of buildings within the historic districts.
- 2.** Retain and preserve the details, features, and material surfaces of historic storefronts.
- 3.** Protect and maintain the details, features, and surfaces of historic storefronts through appropriate methods.
- 4.** Repair deteriorated or damaged storefront features and surfaces through recognized preservation methods for the specific feature or material.
- 5.** Replace in kind storefront features and surfaces that are too deteriorated to repair, matching the original in material, design, dimension, pattern, detail, and texture. Consider a compatible substitute material only if replacement in kind is not technically feasible.
- 6.** If a storefront feature is missing, either replace it to match the original feature, based upon physical and documentary evidence, or replace it with a new feature that is compatible in material, design, size, and scale with the building.
- 7.** It is not appropriate to remove character-defining features and details of historic storefronts—such as transoms, mid-cornices, display windows, doors, signboards, recessed entries, tiles, and bulkhead panels.
- 8.** It is not appropriate to introduce new storefront features that compromise the architectural integrity of the storefront in locations that are visible from the street.
- 9.** It is not appropriate to cover over or replace historic exterior storefront materials—such as wood, architectural metal, ceramic tile, glass, or masonry—with contemporary synthetic coatings or substitute materials.
- 10.** It is not appropriate to introduce exterior storefront features or details to a historic building in an attempt to create a false historical appearance.

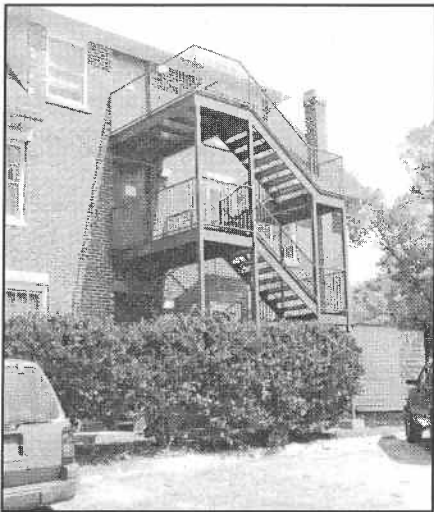




The visual impact of this ramp is softened by its location (rear side elevation), compatible materials, and landscaping.



This front entrance was made accessible with the addition of a ramp to the left of the front steps. Landscaping minimizes the visual impact.



This steel firestair was located on the building's rear elevation, painted in a color to blend with the brickwork, and screened at its base with shrubbery.

Accessibility & Life Safety Considerations

In deference to their historic character, some flexibility is provided for historic properties by the North Carolina State Building Code and the Americans with Disabilities Act of 1990 in meeting current standards for life safety and accessibility. A change in building use, a need for public access, or a substantial rehabilitation may trigger life safety or accessibility compliance for a historic building. Even though the Commission does not review or control use of a historic building, it does review any use-related proposed change to the building exterior or site to determine if the change is consistent with design guidelines for the district.

Considerations

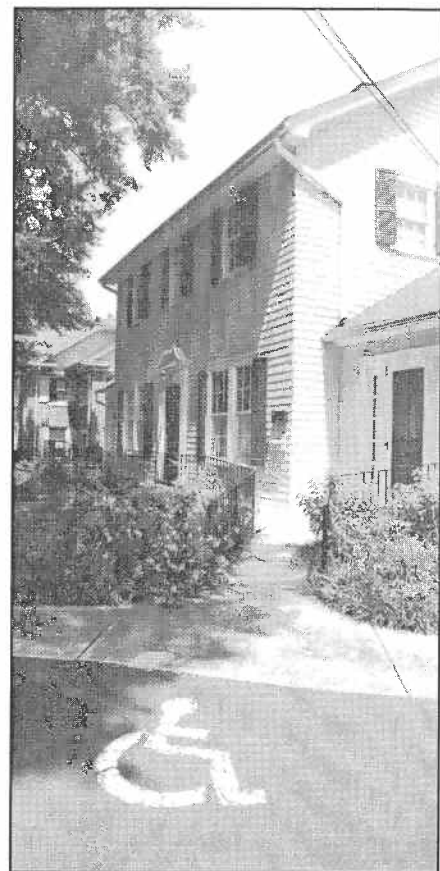
It is important to seek ways to accommodate life safety and accessibility requirements in ways that do not compromise the historic building or site. Property owners are encouraged to work with the HDC and the local code officials early in the planning process to develop creative design solutions that meet or exceed the relevant standards while preserving the architectural and historic integrity of the property.

It is particularly important to provide public access to commercial and institutional buildings. Often modest measures such as replacing door hardware, adding a simple handrail to front steps, slightly widening an entranceway, or gently sloping a recessed entry to meet a raised threshold can remove accessibility obstacles. Raised foundations create accessibility challenges for many historic buildings in providing access from the site to the first floor. This change in level generally requires the addition of a ramp or, less frequently, a mechanical lift.

Life safety concerns requirements may call for the addition of fire exits, fire doors, fire stairs, or elevator towers. The visual impact of such elements can be minimized by discreetly locating such elements on non-character defining elevations and designing them to be compatible with the historic building in material, scale, design, and finish.

Guidelines: Accessibility & Life Safety Considerations

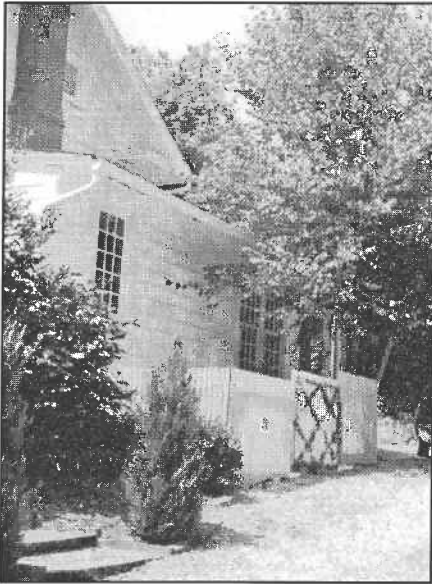
- 1.** In reviewing proposed changes to a historic property, carefully consider related accessibility and life safety code implications to determine if the proposed change is compatible with the historic building and its site.
- 2.** Meet accessibility and life safety code requirements in ways that do not compromise the historic character of the building site and its significant features.
- 3.** Meet accessibility and life safety code requirements in ways that do not compromise the historic character of the building and its significant architectural features.
- 4.** Introduce new or alternate means of access to the historic building, as needed, in ways that do not compromise the historic character of the entrance or front porch.
- 5.** Design accessibility and life safety code features—such as ramps, handrails, and mechanical lifts—so they are compatible with the historic building in design, scale, materials, and finish.
- 6.** Minimize the visual impact of life safety features—such as fire doors, elevator additions, and fire stairs—through compatible design and discreet siting. Locate new life safety features in locations that do not compromise the architectural integrity of the building and that are not visible from the street. Design life safety features to be compatible with the historic building in scale, proportion, materials, and finish.



Utilities & Energy Retrofit



Above, this wooden storm door with glass panels repeats the panel configuration of the six panel front door. Opposite, operable storm windows and shutters are energy efficient features that allow homeowners to control both sunlight and ventilation.



Above, a small section of wooden picket fencing visually screens the outside mechanical units from view.

A variety of traditional energy conserving features benefits the residents of Chapel Hill's historic districts. On many residences, deep front porches help mitigate the outside temperatures and offer shady outdoor living areas. Double hung windows allow residents to manipulate the exchange of fresh air and enjoy cool breezes in warm weather. Mature shade trees protect many district buildings from the solar gain of direct summer sun. Other traditional building features that reflect an understanding of thermal relief include raised foundations, vented crawl spaces, tall attics, gable vents, high ceilings, operable transoms, awnings, and shutters. It is important to find ways to introduce new energy conservation measures, upgraded mechanical systems, and new utility or communication service without compromising the historic character of district buildings.

Considerations

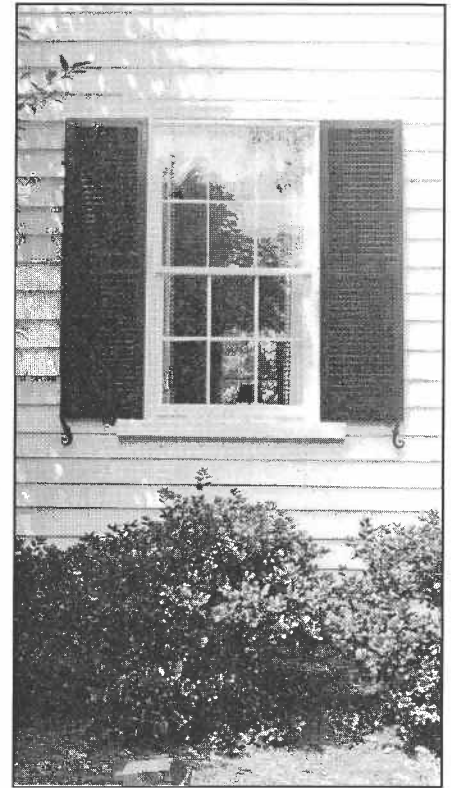
Routine maintenance and timely repairs or replacements can improve the energy efficiency of historic buildings. For example, air infiltration can usually be significantly reduced through the replacement of deteriorated weatherstripping at door and window openings and the replacement of cracked glazing. (Glazing seals the glass panes into window sash, making them airtight.) The installation of storm windows and, to a lesser extent, storm doors can further enhance the weathertightness of an historic building as can the addition of insulation in crawl spaces and attics. Replacement of any outdated and inefficient mechanical equipment with energy efficient units is yet another way to reduce energy costs. Given the value of mature shade trees, it is also wise to maintain them and to replace any lost due to storm damage or disease.

If considering the installation of storm windows, look for units with narrow profiles that can be sized to fit the existing openings and finished in a color that blends with the existing windows. Likewise, storm doors fitted to the existing opening with full "lights" (large, single glass panes) conceal less of the existing door and are less visually intrusive. Operable storm windows allow property owners the option of to open them as desired. For doublehung windows, it is best to choose operable storm windows that align with the existing sash meeting rail so their visual impact is minimized. Because the condensation storm units causes can deteriorate window sills and sash, it is essential that the ventilation holes at the base of storm units are kept clear and open.

The discreet siting of exterior mechanical units, communication equipment, and utility services in inconspicuous locations can significantly minimize their visual impact on the district and the individual property. Usually, visibility from the street can be prevented by choosing rear yard, side/rear yard, and rear roof slope locations for such equipment. Landscaping or fencing can further reduce their visual impact.

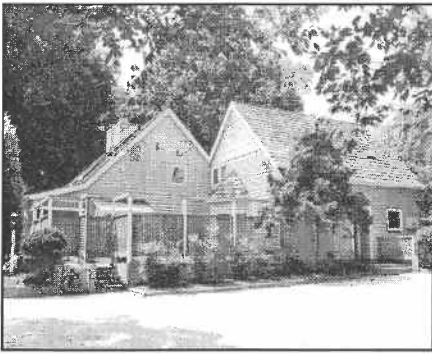
Guidelines: Utilities & Energy Retrofit

- 1.** Retain and preserve energy-conserving features that are important in defining the overall historic character of buildings or sites within the historic districts.
- 2.** Improve the energy efficiency of historic buildings through appropriate methods.
- 3.** Minimize the visual impact of storm windows by selecting narrow-profile exterior storm windows with a painted or enamel finish and installing them so they do not obscure or damage the window sash or frame. Align the meeting rails of operable storm windows with the existing sash division of doublehung windows. It is not appropriate to install storm windows with a bare aluminum finish in the historic districts.
- 4.** Minimize the visual impact of screen/storm doors by selecting full-light wood or aluminum doors and installing them so they do not obscure or damage the existing door or frame. It is not appropriate to install storm or screen doors with a bare aluminum finish in the historic districts.
- 5.** Replace missing or deteriorated wooden shutters with new shutters that match the originals, are sized to fit the opening, and are mounted to the sash side of the window casing so they could be operated. It is not appropriate to install shutters in locations where they were not used originally.
- 6.** If historically appropriate, install fabric awnings over storefront, window, porch, or door openings with care so historic features are not damaged or obscured.
- 7.** Install low-profile roof ridge vents only if they will not destroy historic roofing materials and details.
- 8.** Install mechanical equipment in areas and spaces that require the least amount of alteration to the appearance and historic fabric of the building.
- 9.** Minimize the visual impact of new mechanical and communication equipment and utilities by installing them in inconspicuous locations that are not visible from the street and by screening them from view. It is not appropriate to install condensers, skylights, ventilators, solar collectors, and mechanical or communication equipment on roof slopes or building elevations that are visible from the street or in locations that visually compromise the architectural character of the historic building.
- 10.** It is not appropriate to replace operable windows with fixed glazing, to replace clear glazing with tinted glazing, or to replace multiple-paned windows or doors with single-pane thermal sash with flat, applied muntins.

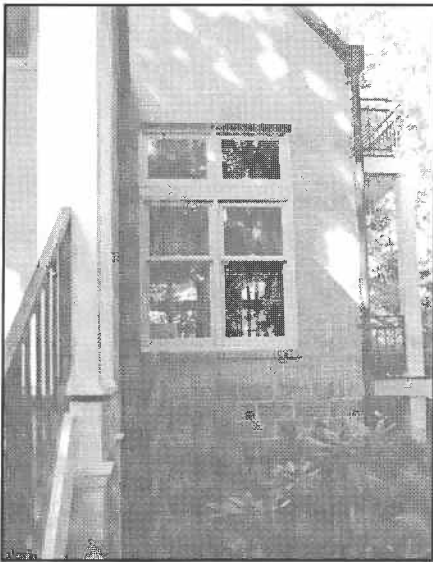




New Construction and Additions



The siting, massing, scale, and materials of this contemporary house make it a compatible addition to the historic district.



The overall form, proportion, materials, and detailing of this contemporary house (above and opposite) echo, without duplicating, those of historic houses within the district.

New Construction

Occasionally, an undeveloped lot or the earlier loss of a historic building may provide the opportunity for the construction of a new building within Chapel Hill's historic districts. A new building that is sensitively sited and compatibly designed to fit the historic context can enhance the overall character of a district streetscape. New buildings within the districts should always reinforce the siting and pattern of historic buildings in relationship to the street.

Considerations

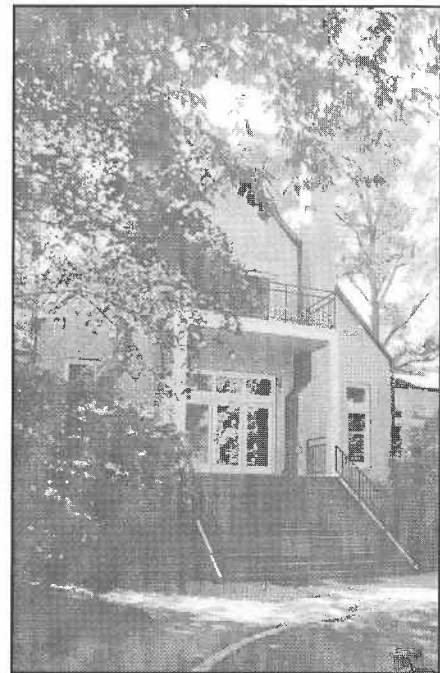
The siting of new buildings within the historic districts is a critical planning consideration that must be carefully suited to the specific streetscape context for setbacks and spacing of buildings varies widely within Chapel Hill's historic districts. However, within a specific block, there is generally consistency in the siting, setback, and orientation of buildings. The precedents set by neighboring historic buildings and the location of any mature trees or other significant site features should all factor into the proposed siting of a new building. Except for the introduction of appropriately scaled and sited accessory buildings or garages, the construction of new buildings in rear yards is not appropriate because it conflicts with the traditional pattern of setback, spacing, and siting of primary buildings in Chapel Hill's historic districts.

Beyond siting, it is also important that new buildings within the historic districts sensitively reflect compatibility with nearby historic buildings in terms of building height, roof form, street façade proportion, scale, and overall massing while also reflecting its own era of construction. After initial decisions of overall form and massing are made, design considerations should turn to compatibility with neighboring historic buildings in terms of finish materials, the selection and placement of windows and doors, and architectural details. Ultimately, the proposed design must merge all these considerations into a unified design that is compatible with but subtly differentiated from the neighboring historic buildings.

Although ground disturbance is necessary for new construction, it is important to minimize any excavation and regrading and to limit the impact of construction equipment and related activities in the historic districts so that significant site features, including archaeological features, are not destroyed or damaged.

Guidelines: New Construction

- 1.** Site new buildings to be consistent with neighboring historic buildings in orientation to and setback from the street as well as in spacing between and distance from other buildings.
- 2.** Design and site a new building so it does not compromise the overall historic character of the site, including its topography, significant site features and distinctive views.
- 3.** Design new buildings so that their size and scale do not visually overpower neighboring historic buildings.
- 4.** Design new buildings to be compatible in roof form, massing, and overall proportion with neighboring historic buildings.
- 5.** Design new buildings so that the proportion of their street façade is similar with those of neighboring historic buildings.
- 6.** Design new buildings and their features to be compatible in scale, materials, proportions, and details with neighboring historic buildings. Select exterior surface materials that are compatible with those of neighboring historic building in terms of module, composition, texture, pattern, color, and detail.
- 7.** Design a new building so that the placement, shape, scale, size, materials, pattern, and proportion of the window and door openings are compatible with the windows and doors of neighboring historic buildings.
- 8.** Design new buildings that are compatible with but subtly discernible from historic buildings in the districts.
- 9.** Maintain and protect significant site features from damage during or as a consequence of related site work or construction.





A small one story addition connects a new screened porch with the original house along the rear elevation of this district house.



A substantial rear addition to this district building repeats the form of the original house without enlarging the front facade as it extends the depth of the building.



A small rear addition expands the second floor with a central bay and encloses a space behind the screened porch. Like the rear addition on the opposite page, this addition is not visible from the street.

Additions

Over the years, buildings are often expanded and altered to accommodate changes in occupancy, use, or lifestyle. However, within Chapel Hill's historic districts, proposed new additions must be carefully considered in terms of their potential impact on the historic and architectural integrity of the district. It is essential that any new additions within the historic districts do not visually overpower the original building, compromise its architectural integrity, misrepresent its chronology, or destroy significant features of the building or site.

Considerations

Preliminary considerations for an addition include location and size. The size of the addition is critical. It should be kept minimal so it does not visually compete with the original building and the footprint of the addition should not significantly alter the site's ratio of built mass to unbuilt area. Equally important is the sensitive siting of an addition. Usually rear elevations provide an inconspicuous location for a modest addition that is not visible from the street. Insetting the addition a foot or more from either rear corner helps to differentiate it from the existing side wall plane and further diminishes its visibility from the street. It is also important not to locate additions where they will damage or conceal significant building or site features.

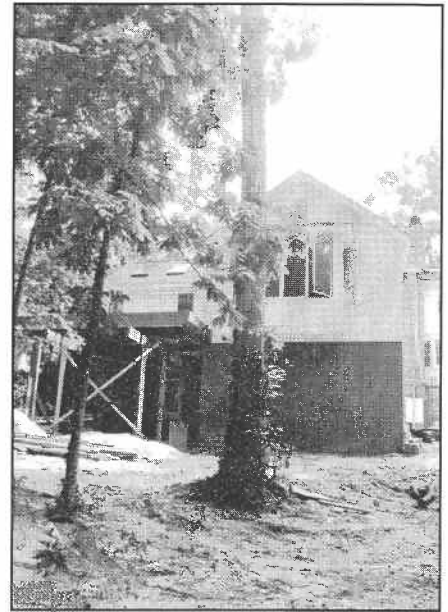
Other critical considerations in designing new additions include overall form, proportion, and massing. An addition's roof form and height should be compatible with and deferential to the original building. Additions should also be visually differentiated from the original building so the original form and massing is still apparent. At the next level of design considerations are the selection of compatible finish materials and the careful selection and placement of windows and, if applicable, doors that are compatible with the original building in terms of their proportion, scale, and configuration. In terms of architectural style, additions that introduce a compatible, contemporary style as well as additions that echo the architectural style of the original building are both appropriate approaches in the historic districts.

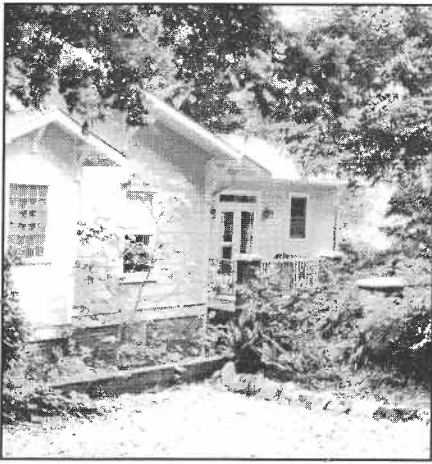
Ultimately, the combined result of all these considerations must lead to an addition that is compatible with but differentiated from the original building. In terms of construction, the connections of the addition to the original building should be minimized so that the removal or destruction of historic fabric is limited and, when feasible, the addition should be structurally self-supporting. As with any construction within the historic districts, it is important to limit any excavation, regrading, or ground disturbance and to protect significant site features so they are not damaged or destroyed.

New Construction and Additions

Guidelines: Additions

- 1.** Introduce additions in locations that are not visible from the street—usually on rear elevations, inset from either rear building corner. Locate additions carefully so they do not damage or conceal significant building features or details. It is not appropriate to introduce an addition if it requires the loss of a character-defining building or site feature, such as a porch or mature tree.
- 2.** Minimize damage to the historic building by constructing additions to be structurally self-supporting, where feasible, and attach them to the original building carefully to minimize the loss of historic fabric.
- 3.** Limit the size and scale of an addition to minimize its visual impact. It is not appropriate to introduce an addition if it will visually overpower the building or site or substantially alter the proportion of constructed area to unbuilt area on the site.
- 4.** Design an addition so it is compatible with the historic building in roof form, massing, and overall proportion.
- 5.** Design an addition and its features so they are compatible in scale, materials, proportions, and details with the historic building. Select exterior surface materials that are compatible with those of the historic building in terms of module, composition, texture, pattern, color, and detail.
- 6.** Design an addition so it is compatible with yet discernible from the historic building.
- 7.** Maintain and protect significant site features from damage during or as a consequence of related site work or construction.





Above, a modestly-sized wooden deck projects off a rear addition, aligning with the first floor and extending the living area with a small outdoor space.



Above, a small deck inset along the rear of the house accommodates an outdoor seating area and connects the backdoor and screened porch with the backyard.

Decks

A deck is a contemporary translation of the traditional terrace or patio that typically expands the living area of a home into the backyard. Generally, decks are constructed of wood and are raised above ground level to align with the first floor of a house. Depending on the distance above grade, a deck may include a railing for safety and steps down to the yard.

Considerations

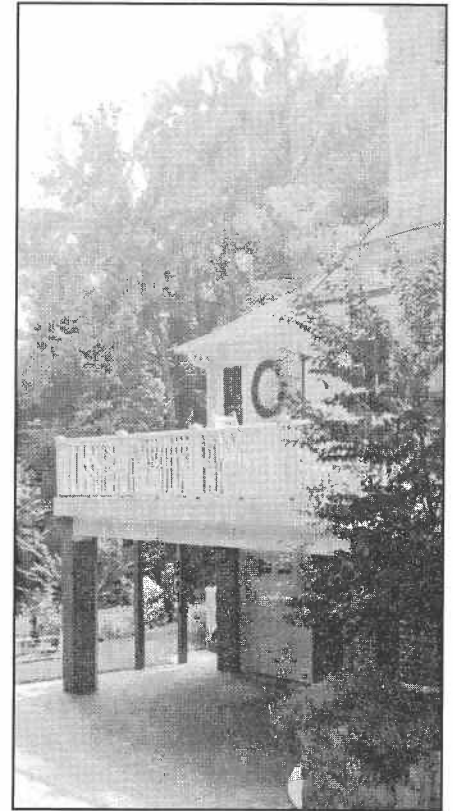
It is usually possible to add a deck to a historic house without compromising its architectural integrity or visually overwhelming the building or site so long as careful attention is paid to the deck's location, scale, and design. For example, locating a deck on the rear elevation of a house minimizes its visibility from the street and also enhances the deck's privacy. Insetting the deck at least six inches from either of the building's rear corners can avoid damage to original architectural trim while further reducing its visibility from the street. Damage to the building's historic fabric can also be minimized by constructing the deck to be structurally self-supporting, with minimal structural connections to the historic building. The steep topography of some sites makes the addition of a deck particularly difficult. Where possible, decks should gently transition into the landscape and their height above the ground kept low to minimize the visual impact of their structural supports.

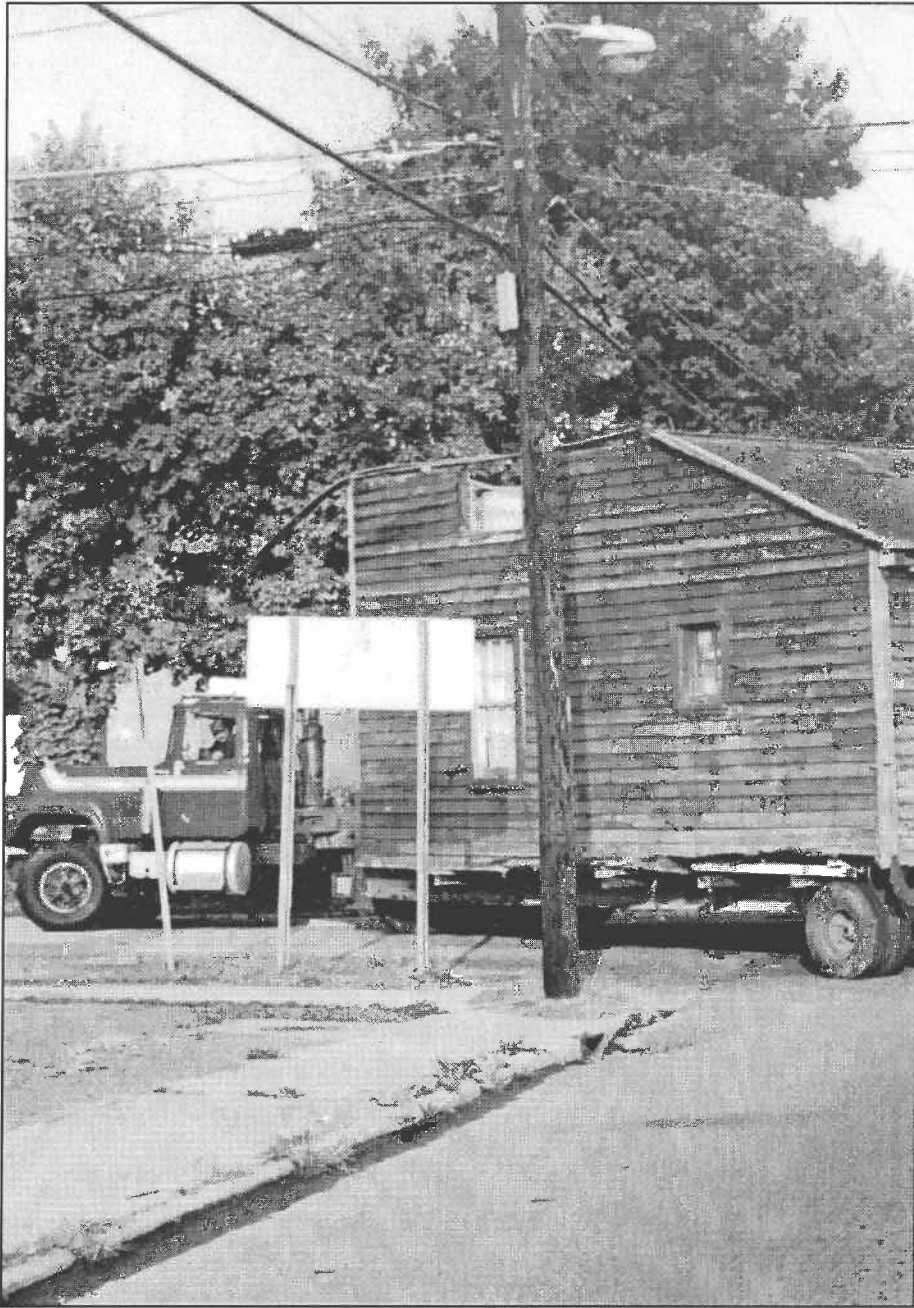
Any proposed deck should be located so significant building features, such as porches or bays, are not destroyed and important site features, including mature trees, are not lost. As with any construction activity in the historic district, the impact of the construction work on the site should be minimized by avoiding the use of heavy machinery that disturbs or compacts the soil and mature trees and other site features should be protected from damage. Regarding scale, the size of the deck should be modest in comparison to the house and site. The addition of a deck should not significantly change the proportion of open area to built mass for the building site.

Usually decks rise high enough above ground level to require a railing for safety and steps down to the yard. Given the contemporary nature of decks, it is not desirable to imitate historic railings and steps. Instead, simply detailed steps and railings that are compatible with the historic building in terms of their scale and proportion are appropriate. The use of a compatible paint color or stain on a deck can both soften its visual impact and extend its life by protecting the wood from the deteriorating effects of ultraviolet light and moisture. Screening of the deck structure with foundation plantings or lattice panels can also reduce the visual impact of a deck addition.

Guidelines: Decks

- 1.** Introduce decks in inconspicuous areas that are not visible from the street—usually on rear elevations, inset from either rear building corner. Locate the deck carefully so it does not damage or conceal significant building features or details. It is not appropriate to introduce a deck if it requires the loss of a character-defining building or site feature, such as a porch or mature tree.
- 2.** Minimize damage to the historic building by constructing decks to be structurally self-supporting and attach them to the building carefully to minimize the loss of historic fabric.
- 3.** Limit the size and scale of a deck to minimize its visual impact. It is not appropriate to introduce a deck if it will visually overpower the building or site or substantially alter the proportion of constructed area to unbuilt area on the site.
- 4.** Align decks generally with the building's first floor and screen the deck's structural framing with foundation plantings, lattice, or other compatible screening materials.
- 5.** Design and detail decks and any related steps and railings so they are compatible with the historic building in scale, material, configuration, and proportion.
- 6.** Maintain and protect significant site features from damage during or as a consequence of deck-related site work or construction.





Relocation or Demolition



Above and opposite, the historic Andrews house enroute to its McCauley Street site.



The Andrews house on its new foundation after relocation.

Relocation of Existing Buildings

A historic building is experienced within the context of its neighborhood, landscaping, and siting. Moving a historic building can compromise the integrity of that context and setting. Moreover, the successful relocation of a historic building is a time-consuming, complex, and expensive process requiring careful investigation and planning. Despite the complexities, however, moving a building within the historic district may be warranted as an alternative to demolition or if it will ultimately provide a more compatible setting for the building.

Considerations

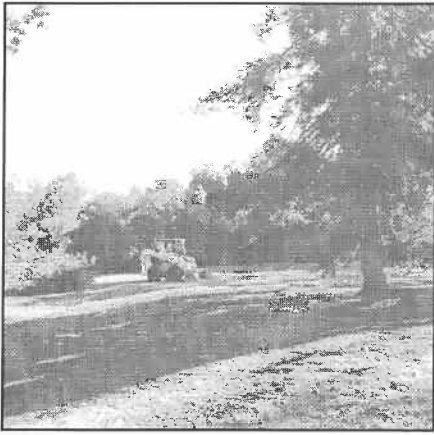
Planning and executing the relocation of a building requires careful coordination of many parties and involves several steps. It is necessary to determine if the building is structurally sound enough to endure the actual move and to devise a feasible relocation route. A contractor experienced in moving buildings can help identify ways to prevent or minimize damage to the building itself, to the original and new site, and to properties along the route.

For requests to relocate buildings, the Commission will consider the condition and the architectural merits of the historic building and the impact the relocation will have on adjoining properties and the district streetscape. They will also consider the future use of the original site and, if the new site is in a historic district, the impact of the relocated building on the district character.

Guidelines: Relocation of Existing Buildings

- 1.** Document the historic building in its original setting and record the existing site conditions through photographs prior to relocation.
- 2.** Protect the historic building from damage during and after the move by taking the following steps:
 - Evaluate the structural condition of the building to determine if it is structurally sound enough to withstand the move.
 - Take all necessary precautions to prevent damage to the structure during the move.
 - Work with contractors who have experience in moving historic structures.
 - Protect and secure the building from damage due to vandalism and exposure to the elements.
- 3.** Protect significant site features on the original site, along the relocation route, and on the new site from damage during or as a result of the move.
- 4.** If relocating a building within the historic district, select a new site that is compatible with the original site in visual character and that will provide a similar setting in terms of setback, spacing to nearby district buildings, and orientation to the street.
- 5.** If relocating a building within the historic district, review the compatibility of its proposed siting with surrounding buildings according to the pertinent design guidelines for New Construction.
- 6.** If relocating a building within the historic district, review any related proposed site modifications according to the pertinent design guidelines in the section on District Setting.
- 7.** If the original site is within the historic district, clear it of debris and implement the approved site plan promptly after the relocation.





Three Craftsman-influenced houses along this section of West Cameron Avenue were lost through demolition in the late 1990s.

Demolition of Existing Buildings

The demolition of a building that contributes to the historic character of any of Chapel Hill's historic districts is an irreversible act that is strongly discouraged by the Historic District Commission. Instead, the Commission urges property owners contemplating demolition to consult with the Commission and other interested parties to carefully consider alternatives to demolition. The Commission cannot deny a Certificate of Appropriateness for demolition unless the State Historic Preservation Officer has determined that the property has statewide significance. However, statewide enabling legislation gives the Commission the authority to delay demolition of any district property for up to 365 days. The intent of the delay is to ensure that adequate time is provided to fully explore ways to save the threatened property. Property owners are encouraged to work with the Commission in identifying viable alternatives.

Failure to maintain a historic property can slowly result in its demolition because such neglect can eventually cause a loss of its structural integrity. The loss of historic properties due to extended neglect negatively affects the entire district and is ardently opposed by the Commission.

Considerations

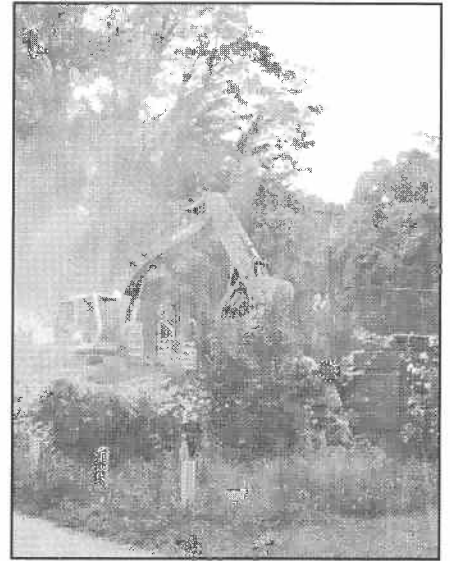
The Commission will carefully weigh any demolition requests by assessing the impact the proposed demolition will have on adjacent properties and the district as a whole. Serious consideration will be given to the following questions:

- What is the contribution of the threatened building to the historic district?
- Could the property be sold to someone whose needs it meets?
- Could the building be adapted to meet the needs of the property owner?
- Could the building be saved if moved to another site?
- Would the proposed new use of the site be of greater benefit to the district than the loss of the historic building?

Applications for demolition must include a proposed site plan illustrating how the site will be altered following demolition. To ensure that a permanent record of the building survives, the property owner is responsible for recording it through visual documents, such as photographs and drawings, to be kept in the Commission's records. Also, any salvageable architectural materials or features should be removed prior to the demolition.

Guidelines: Demolition of Existing Buildings

- 1.** Work with the Historic District Commission and other interested parties in seeking viable alternatives to demolition.
- 2.** Document the historic building in its original setting and record the existing site and building through photographs and/or drawings prior to demolition.
- 3.** Salvage or provide the opportunity for others to salvage reusable architectural materials and features prior to demolition.
- 4.** Submit a site plan illustrating the proposed treatment of the site following demolition in the COA application for demolition.
- 5.** Protect significant site features such as mature trees from damage during—or as a result of—the demolition.
- 6.** Clear the site of all debris promptly following the demolition.
- 7.** Implement the approved site plan in a timely manner following the demolition.





Appendices



The Preservation Society of Chapel Hill is located in the historic Horace Williams House.

Resources

Local Resources

Chapel Hill Historic District Commission
Chapel Hill Planning Department
Town of Chapel Hill
306 North Columbia Street
Chapel Hill, NC 27514

Telephone: 919/968-2700
Fax: 919/967-8406

The Preservation Society of Chapel Hill
610 East Rosemary Street
Chapel Hill, NC 27415

Telephone: 919/942-7818
Fax: 919/942-7845
Website: www.chapelhillpreservation.com

State Resources

State Historic Preservation Office
North Carolina Division of Archives and History
4618 Mail Service Center
Raleigh, NC 27699-4618

Telephone: 919/733-4763

To obtain information on the National Register program and historic structures, contact the Survey and Planning Branch at 919/733-6545.

To obtain technical restoration assistance and information on preservation tax credits, contact the Restoration Branch at 919/733-6547.

To obtain information on archaeological sites, contact the Office of State Archaeology at 919/733-7342.

Website: www.hpo.dcr.state.nc.us/

Preservation North Carolina
200 Fayetteville Street Mall
Suite 300
P. O. Box 27644
Raleigh, NC 27611-7644

Telephone: 919/832-3652
Fax: 919/832-1651
Website: www.presnc.org

National Resources

Heritage Preservation Services
National Park Service
U. S. Department of the Interior
1849 C Street, NW
Washington, DC 20240

Office of the Director: 202/208-4621
Office of Public Affairs: 202/208-6843
Preservation Assistance Division: 202/343-9578
Website: www2.cr.nps.gov

National Trust for Historic Preservation
1785 Massachusetts Avenue, NW
Washington, DC 20036

Telephone: 202/588-6000
Website: www.nationaltrust.org

Southern Office of the National Trust for Historic Preservation
456 King Street
Charleston, SC 29403

Telephone: 843/722-8552

For information on the Americans with Disabilities Act (ADA),
contact:

US Department of Justice
Civil Rights Division
Disabilities Rights Section
P. O. Box 66738
Washington, DC 20035-6738

ADA Information Line:
800/514-0301 (voice)
800/514-0383 (TTY)

ADA Home Page: www.usdoj.gov/crt/ada/adahom1.htm

References

National Park Service Publications

The National Park Service publishes an ongoing series of technical briefs, books, and leaflets on appropriate preservation treatments and rehabilitation techniques. Ordering information stock numbers, and prices may be obtained from A Catalogue of Historic Preservation Publications requested from the National Park Service, Preservation Assistance Division, P.O. Box 37127, Washington, DC 20013-7127. Information on the Park Service's Technical Preservation Services and its programs is available at their website: www2.cr.nps.gov.

Other References

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Bishir, Catherine W. *North Carolina Architecture*. Chapel Hill, NC: University of North Carolina Press, 1990.

Blumenson, John J. g. *Identifying American Architecture: A Pictorial Guide to Styles and Terms 1600-1945*. Nashville, Tenn.: AASLH, 1981.

Chapel Hill Historical Society. *Historic Buildings and Landmarks of Chapel Hill, NC*. Chapel Hill, NC: Chapel Hill Historical Society, 1973.

Faretti, Rudy J., and Joy Putnam. *Landscapes and Gardens for Historic Buildings*. Nashville, Tenn.: AASLH, 1978.

Historic Preservation Foundation and National Park Service. *Caring for Your Historic House*, New York, NY: Harry N. Abrams, Inc., 1998.

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Morton, W. Brown, III, et al. *The Secretary of the Interior's Standards for Rehabilitation & Illustrated Guidelines for Rehabilitating Historic Buildings*. Washington, D. C.: National Park Service, U. S. Department of the Interior, 1992.

Moss, Roger W. *Century of Color: Exterior Decoration for American Buildings—1820/1920*. Watkins Glen, NY: American Life Foundation, 1981.

Moss, Roger W. *Paint in America: The Colors of Historic Buildings*. Washington, DC: Preservation Press, 1994.

Old House Journal. The Old House Journal Corp., 435 Ninth Street, Brooklyn, N. Y. 11215.

Phillips, S. J. *Old-House Dictionary: an Illustrated Guide to American Domestic Architecture (1640-1940)*. Washington, DC: Preservation Press, 1992.

Vickers, James. *Chapel Hill: An Illustrated History*. Chapel Hill, NC: Barclay Publishers, 1985.

Weaver, Martin E. *Conserving Buildings: Guide to Techniques and Materials*. New York, NY: John Wiley & Sons, Inc., 1993.

Delegation of Authority to Staff

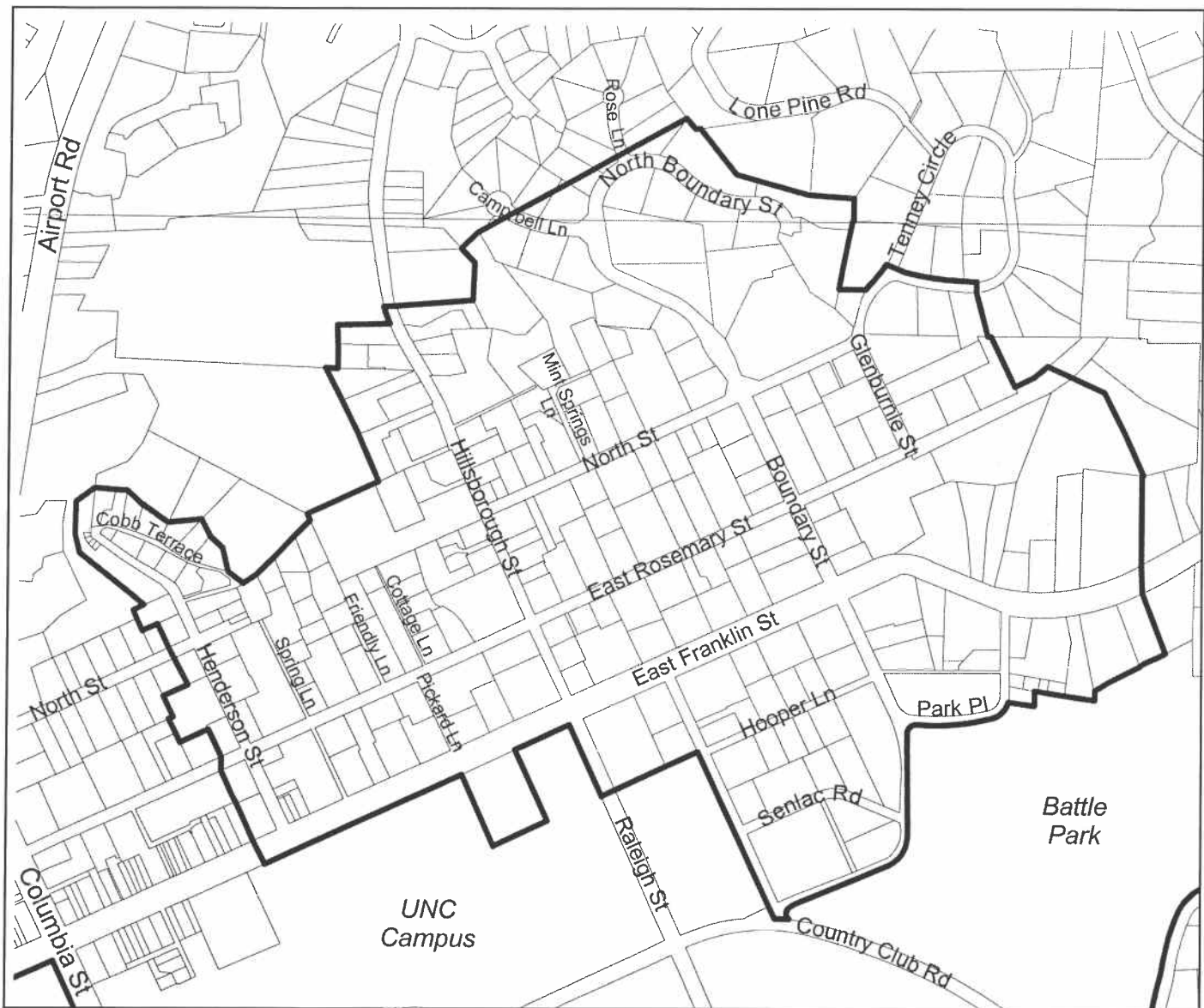
The Historic District Commission delegates approval authority to staff for the following items:

- Walkways on private property when constructed of common red brick, or Chapel Hill gravel.
- Minor projects which do not require building permits because of cost or because they involve nonstructural changes.
- Signs which do not require a sign permit.
- Installing gutters painted to match the house or trim, as long as no significant architectural features are removed.
- Construction of wood deck on rear or side of house when less than 10% would be visible from a public right-of-way.
- Fieldstone walls not exceeding three feet in height.
- Bricked-in areas on side or rear of structure at ground level and not abutting right-of-way.

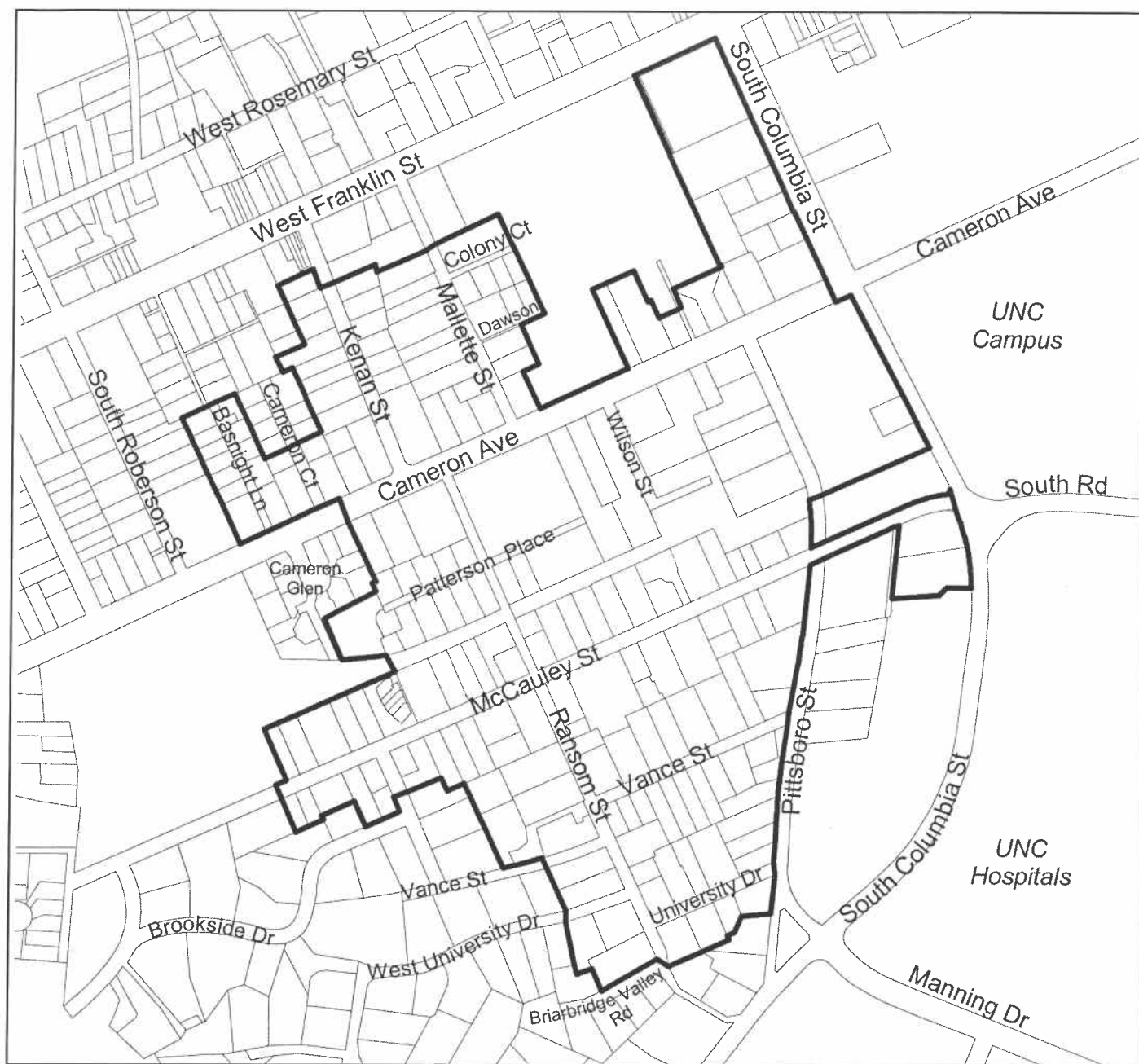
General Policies

1. Delegation to staff is limited to those items specifically listed and subject to conditions enumerated.
2. All approvals by staff shall be reviewed by Commission at next meeting.
3. Staff shall refer an application to the Commission if any uncertainty exists whether application meets criteria.
4. Property owner shall always retain right of appeal to Commission, as will property owners within area of notification.
5. Delegation is specifically not authorized in connection with any work for which a special permit is required.

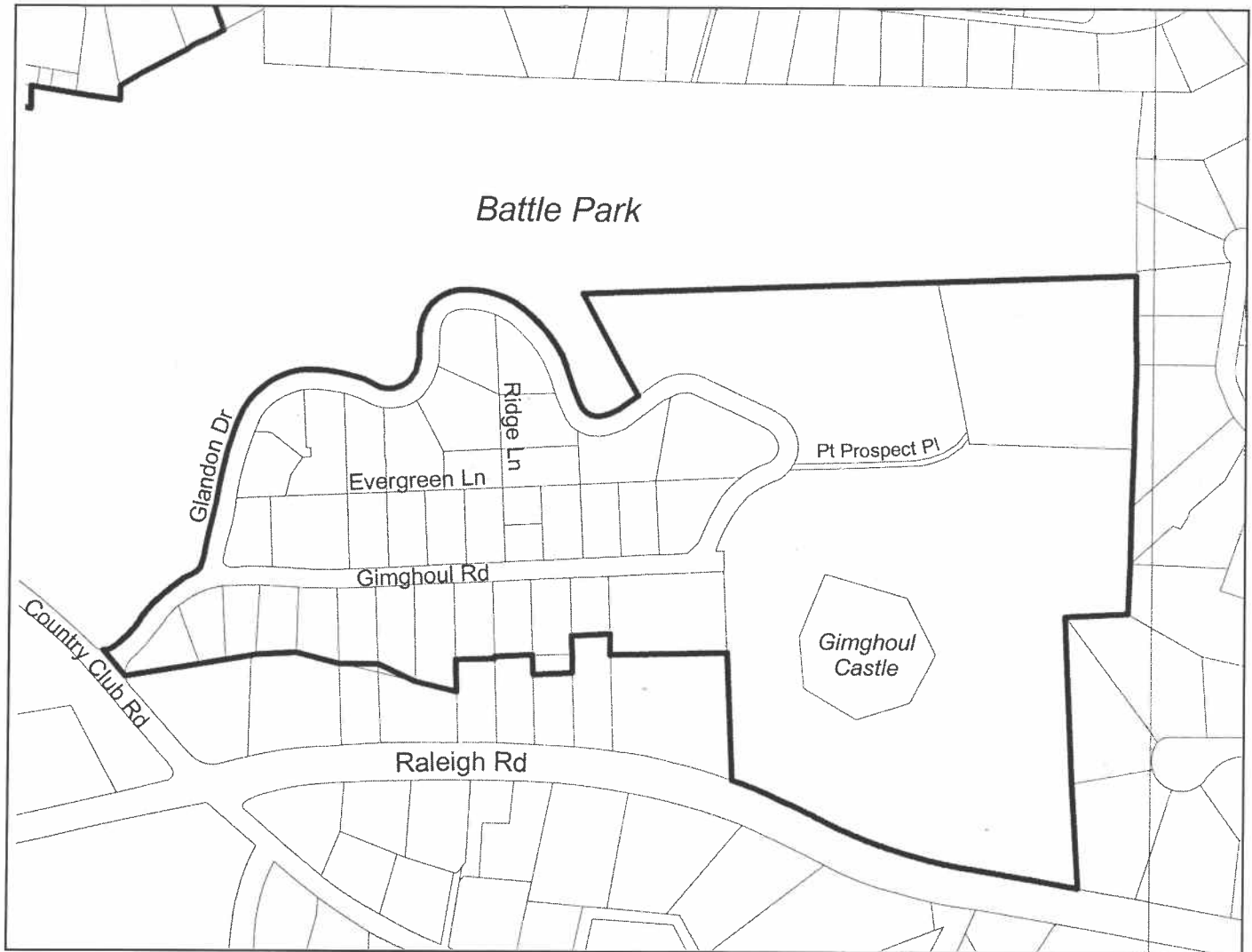
Map of Franklin-Rosemary Historic District



Map of Cameron-McCauley Historic District



Map of Gimghoul Historic District



Architectural Terms

Architectural Character—the overall appearance of the architecture of a building including its construction, form, and ornamentation.

Architectural Integrity—a measure of the authenticity of a property's architectural identity. For example, a building with high architectural integrity would not have been altered much over the years.

Art Glass—decorative glass, also called leaded glass, that is composed of patterned and/or colored glass pieces arranged in a design.

Balusters—the small posts or spindles between the upper and lower rail of a balustrade.

Balustrade—a railing and all the small posts or spindles supporting it.

Built-in Gutter—a gutter that is boxed or enclosed within the soffit or cornice trimwork and thus concealed from view.

Bungalow—early twentieth century building type with a low-pitched gabled roof, wide, unenclosed eave overhang, often with exposed roof rafters; braces commonly added under gables; wide porches with tapered square columns or pedestals.

Cast Iron—iron formed by casting in foundry molds.

Chapel Hill Gravel—a fine-grained gravel used to surface sidewalks, characteristic of sidewalks within Chapel Hill's historic districts.

Character-defining—architecturally, refers to features or details of a building that are significant in defining its architectural or historic character.

Colonial Revival Style—architectural style from the 1880s through the mid-1900s, known for accentuated front doors, normally with a decorative pediment supported by pilasters or slender columns; doors typically have fanlights or sidelights; façade is symmetrically balanced.

Compatible—congruent, harmonious.

Consolidating—to stabilize or repair a deteriorated building feature by infusing it with another material, such as injecting epoxy resins into rotten wood.

Context—all aspects of the larger environment of a historic building.

Cornice—projecting, ornamental molding along the top of a wall, originally intended to extend the eaves of a roof beyond the outer wall surface.



Example of a bungalow

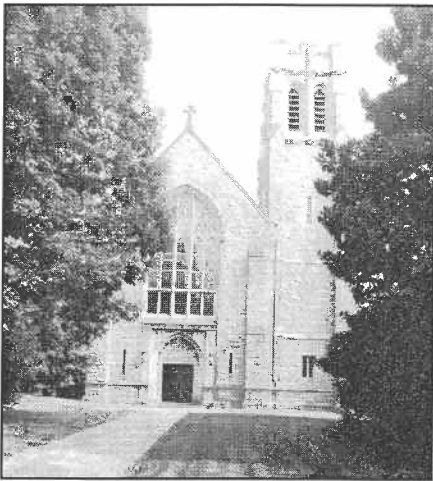


Example of a Colonial Revival house



Example of a Federal style house

Design Guidelines
Chapel Hill Historic Districts



Example of a Gothic Revival church



Example of a Neo-Classical house



Example of a Queen Anne style house

Architectural Terms (continued)

Federal Style—an architectural style that flourished in the United States between 1780 and the 1830s based upon classical Roman architecture, typically symmetrical in design.

Fieldstone—naturally occurring stone of a size usable for construction without cutting or tooling.

Ferrous Metals—metals containing iron.

Galvanic Action—a chemical reaction that occurs between two dissimilar metals causing corrosion of the more anodic metal.

Gothic Revival—architectural style from the 1840s until 1880s with steeply pitched cross gable roofs, window frequently have pointed arch shape; one story porch or entrance often supported by flattened Gothic arches.

Greek Revival—mid-nineteenth century architectural style that was a revival of forms and ornament from ancient Greek architecture, characterized by low-pitched gable or hip roofs, pedimented gable ends, simple architrave bands at the eaves, and entries with Doric style columns and pediments.

Historic Character—the form and detailing of the architectural materials and features that give a building or site its historical significance.

I-House—a house form from 1870-1910, which was one room deep, two stories high, and had a side-gabled roof, centered front door, and a wide front porch.

Massing—the overall configuration or composition of the major volumes of a building exterior.

Muntin—a bar or member supporting and separating panes of glass in a window sash or door.

Meeting Rails—the overlapping horizontal rails between the upper and lower sash of a doublehung window.

Neo-classical Style—architectural style from 1895 until the mid-1900s in which the façade is dominated by a full-height porch with roof supported by classical columns with Ionic or Corinthian capitals; façade shows symmetrically balanced windows and a center door.

Patina—the surface corrosion, due to exposure to the atmosphere, that discolors copper or bronze elements to a green or brown color over time.

Pier—a square or rectangular masonry or wood post projecting above the ground that carries the weight of a structure down to the foundation.

Pierced Brickwork—brickwork with a pattern of openings in it. Often used for low freestanding brick walls.

Pilaster—a shallow pier or rectangular column projecting only slightly from a wall, also called an engaged column.

Proportion—architecturally, refers to the ratio of width to height of an object. For example a vertically proportioned window is taller than it is wide.

Portico—a small entrance porch or covered walk consisting of a roof supported by open columns.

Queen Anne Style—architecture from the 1880s until 1910 with steeply pitched roofs of irregular shape, typically with a dominant front-facing gable with patterned shingles; asymmetrical façade with one-story high full-width or partial front porch.

Repoint—to remove old mortar from courses of masonry and replace it with new mortar.

Scale—architecturally, refers to the size of construction elements or details in comparison to the size of a human being.

Setback—the distance a building is sited from a property line or street.

Sidelight—a narrow window adjacent to a door or wider window, typically one of a pair of windows flanking an entrance door.

Soffit—the exposed undersurface of any overhead component of a building, such as an arch, balcony, or cornice.

Transom—a glazed panel above a door, window, or storefront, sometimes hinged to be opened for ventilation.

Triple-A House—an I-house with a center front gable over the entrance.

Tudor Revival—an architectural style from the 1890s until the 1940s based loosely on Tudor buildings from the 1480s to 1550s. Characterized by asymmetrical massing, steeply pitched roofs, and decorative half-timbered patterns on upper exterior walls, and narrow casement windows.

Vernacular—refers to architecture that is based upon traditional or regional forms and is not designed by an architect or someone with similar training.

Wrought Iron—iron that is rolled or hammered into shape, never melted.



Example of a Triple-A house



Example of a Tudor Revival building

Suggested Plantings

The following lists include species of plants that are documented as having been planted in residential Landscapes in the nineteenth and early twentieth century and that are still available in the nursery trade. These plants are well suited to the Chapel Hill area when properly sited and are specifically recommended for use in the historic districts. When selecting plants, it is worth noting that some species include varieties, such as dwarf forms of Nandinas and Crape Myrtles, that differ significantly from the varieties that were historically planted. When different varieties are available, spending the time to track down older forms of the listed species is encouraged. Notably absent from the list are some old-fashioned species, including the Ligustrums, Japanese wisteria and English ivy, that are known to escape from cultivation and which can cause environmental degradation of natural areas.

Species of plants that are native to the southeast are designated with an asterisk (*). Use of these generally well adapted species is strongly encouraged.

Large Trees: *species of trees which are typically shade-producing and grow to a mature height of greater than 40 feet.*

*Acer rubrum	Red Maple
*Acer saccharum	Sugar Maple
Cedrus deodara	Deador Cedar
Cryptomeria japonica	Japanese Cedar
*Fagus grandifolia	American Beech
Ginkgo biloba	Maidenhair Tree
*Magnolia acuminata	Cucumbertree Magnolia
*Magnolia grandiflora	Southern Magnolia
*Nyssa sylvatica	Black Gum
Picea abies	Norway Spruce
*Pinus virginiana	Virginia Pine
*Quercus alba	White Oak
*Quercus laurifolia	Laurel Oak
*Quercus phellos	Willow Oak
*Quercus rubra	Red Oak
*Quercus virginiana	Live Oak
*Tsuga canadensis	Canadian Hemlock
Ulmus parvifolia	Chinese Elm
Zelkova serrata	Japanese Zelkova

Understory Trees: *species of trees which normally grow to a mature height of 20 to 40 feet and may grow beneath large trees.*

Acer japonica	Fullmoon Maple
Acer palmatum	Japanese Maple
*Aesculus parviflora	Bottlebrush Buckeye
*Aesculus pavia	Red Buckeye
*Amelanchier canadensis	Serviceberry

*Carpinus caroliniana	Ironwood
Cercidiphyllum japonicum	Katsura Tree
*Cercis canadensis	Redbud
*Chionanthus virginicus	Fringe Tree
*Clasdrastis lutea	American Yellowwood
*Cornus florida	Flowering Dogwood
Cornus mas	Cornelian Cherry Dogwood
*Cotinus obovatus	Smoketree
*Crataegus phaenopyrum	Washington Hawthorn
*Halesia carolina	Carolina Silverbell
*Ilex decidua	Possumhaw
*Ilex opaca	American Holly
*Ilex vomitoria	Yaupon Holly
*Juniperus virginiana	Red Cedar
Koelreuteria paniculata	Golden Rain Tree
Lagerstroemia indica	Crape Myrtle
Magnolia soulangiana	Saucer Magnolia
Magnolia stellata	Star Magnolia
*Magnolia virginiana	Sweet Bay
*Prunus caroliniana	Carolina Cherry Laurel
Prunus sargentii	Sargent Cherry
Prunus subhirtella "pendula"	Weeping Cherry
Stewartia pseudo-camellia	Japanese Stewartia
Styrax japonica	Japanese Snowbell
*Thuja occidentalis	American Arborvitae

Large Shrubs: *species of shrubs which normally grow to a mature height of 8 feet or more and are often used as specimens or in groups for screening.*

Aucuba japonica	Aucuba
Buxus sempervirens	Common Boxwood
*Calycanthus florida	Carolina Allspice
Camellia japonica	Common Camellia
Camellia sasanqua	Sasanqua Camellia
Chamaecyparis obtusa	Hinoki Cypress
Chamaecyparis pisifera	Sawara Cypress
Chimonanthus praecox	Fragrant Wintersweet
Cotinus coggygia	Smokebush
*Cyrilla racemosa	Swamp Cyrilla
Exochorda racemosa	Common Pearlbush
Forsythia suspensa	Forsythia
Hamamelis mollis	Chinese Witchhazel
*Hamamelis virginiana	Common Witchhazel
Hibiscus syriacus	Rose of Sharon
Hydrangea paniculata	Peegee Hydrangea
Ilex cornuta "burfordii"	Burford Holly
Ilex latifolia	Lusterleaf Holly
*Ilex verticillata	Winterberry
*Ilex x attenuata "fosteri"	Foster Holly

*Ilex x attenuata "savannah"	Savannah Holly
*Illicium floridanum	Florida Anise
*Leucothoe populifolia	Florida Leucothoe
Michelia figo	Banana Shrub
*Myrica cerifera	Wax Myrtle
Osmanthus heterophyllus	Osmanthus
Prunus Laurocerasus	English Laurel
Pyracantha coccinea	Firethorn
Rhododendron indica	Indica Azalea
Rhododendron kaempferi	Torch Azalea
Spiraea x vanhouttei	Vanhoutte Spiraea
Thuja orientalis	Oriental Arborvitae
Viburnum macrocephalum	Snowball Viburnum
Viburnum plicatum	Doublefile Viburnum
Vitex agnus-castus	Chastetree

Small Shrubs: *species of shrubs that normally grow to a mature height of less than 8 feet. Many of these shrubs are grown for their ornamental flowers.*

Buxus microphylla	Littleleaf Boxwood
B. sempervirens "suffruticosa"	Dwarf Edging Boxwood
*Callicarpa americana	American Beautyberry
Callicarpa japonica	Japanese Beautyberry
Chaenomeles speciosa	Flowering Quince
*Clethra alnifolia	Summersweet
Danae racemosa	Poets Laurel
Deutzia gracilis	Slender Deutzia
Forsythia viridissima	Greenstem Forsythia
*Fothergilla gardenii	Dwarf Fothergilla
Gardenia jasminoides	Gardenia
Hydrangea macrophylla	Bigleaf Hydrangea
*Hydrangea quercifolia	Oakleaf Hydrangea
Hypericum calycinium	Aaronsbeard
*Hypericum prolificum	St. Johnswort
Iberis sempervirens	Candytuft
Ilex crenata	Japanese Holly (see note)
*Ilex glabra	Inkberry
*Itea virginica	Virginia Sweetspire
Jasminum nudiflorum	Winter Jasmine
Juniperus chinensis	Sargents Juniper (see note)
"sargentii"	
Juniperus horizontalis	Creeping Juniper (see note)
Kerria japonica	Kerria
*Leucothoe axillaris	Coast Leucothoe
Mahonia bealei	Leatherleaf Mahonia
Nandina domestica	Nandina
*Rhododendron nudiflorum	Pinxterbloom Azalea

Rhododendron obtusum	Kurume Azalea (see note)
Rhododendron viscosum	Swamp Azalea
Rosa rugosa	Rugosa Rose
Spiraea cantoniensis	Reeves Spiraea
Spiraea thunbergii	Thunberg Spiraea
Spiraea x bumalda	Summer Spiraea
Viburnum carlesii	Koreanspice Viburnum

Note: Although Japanese Hollies and groundcover type junipers were planted as early as the nineteenth century, essentially all of the varieties currently available in the nursery trade are densely branched selections of much more recent origin. These durable varieties are often used in modern commercial landscapes and especially when planted in large groups tend to impart a utilitarian look. Similarly, most compact varieties of azaleas and other evergreen shrubs are relatively recent introductions that differ significantly in character from the forms traditionally found in older residential neighborhoods. Limiting the use of these newer, more compact plant varieties is encouraged.

Vines: species that have a spreading pattern of growth and can be used on the ground, walls, and trellises

*Bignonia capreolata	Crossvine
Campsis grandiflora	Chinese Trumpet creeper
*Campsis radicans	Common Trumpet creeper
Clematis armandii	Armand Clematis
Clematis montana	Anemone Clematis
*Clematis virginiana	Virginsbower
Clematis x jackmanii	Jackman Clematis
*Gelsemium sempervirens	Carolina Jessamine
Hydrangea petiolaris	Climbing Hydrangea
*Lonicera sempervirens	Coral Honeysuckle
*Parthenocissus quinquefolia	Virginia Creeper
Parthenocissus tricuspidata	Boston Ivy
Rosa banksiae	Lady Banks Rose
*Wisteria frutescens	American Wisteria