



CONSIDER AN APPLICATION FOR SPECIAL USE PERMIT MODIFICATION – The Oaks Condominiums Stormwater Drainage Improvements

STAFF REPORT

TOWN OF CHAPEL HILL PLANNING AND DEVELOPMENT SERVICES
Ben Hitchings, Director
Judy Johnson, Operations Manager
Michael Sudol, Planner II

PROPERTY ADDRESS

101 Oak Tree Drive, PIN 9798-45-1394

DATE

August 14, 2018

APPLICANT

John R. McAdams Company for The Oaks Homeowner's Association

STAFF RECOMMENDATION

That the Environmental Stewardship Advisory Board, Community Design Commission, Transportation and Connectivity Advisory Board, and Planning Commission review and make a recommendation on the application to the Town Council.

STAFF ANALYSIS

The applicant is asking for a modification to the landscape buffer regulations. See attached Technical Report for additional information.

PROCESS

The Town Council has asked that the Advisory Boards and Commissions make a recommendation to the Council on The Oaks Condominiums Special Use Permit Modification application. The Council must consider the **four findings** for approval of a Special Use Permit Modification, which indicate that the use or development:

1. is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. would comply with all required regulations and standards of the Land Use Management Ordinance;
3. is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity; and
4. conforms to the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the Comprehensive Plan.

DECISION POINTS

- Modifications to the landscape buffer on Burning Tree Drive.
- Are the proposed tree replacements appropriate?

PROJECT OVERVIEW

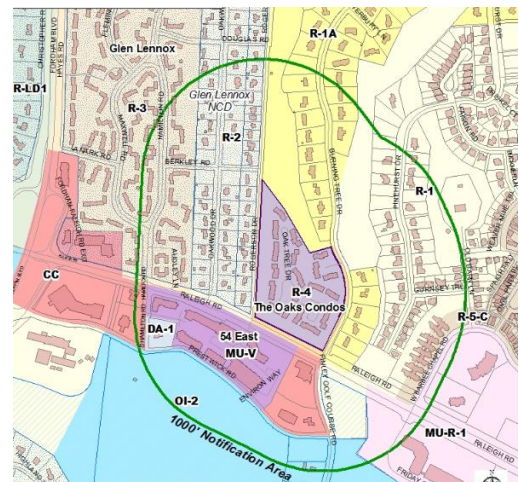
The Oaks Condominiums is an existing multifamily development at the intersection of Burning Tree Drive and NC 54. This application proposal is to install a storm drainage conveyance system to reduce existing flooding issues on site. The design and layout of the proposed system are constrained by the existing buildings and infrastructure servicing the Condominiums.

This project is projected to disturb approximately 34,000 square feet of land to install stormwater bypass items that include concrete pipes, junction boxes, culverts, and swales. A 77-foot section of 24-inch pipe is proposed under Burning Tree Drive and within an existing storm drain easement.

As part of the original SUP for the site, a landscape plan must be provided and approved by the CDC.

The site is currently zoned Residential-4 (R-4).

PROJECT LOCATION



ATTACHMENTS

1. Technical Report
2. Resolution A
3. Resolution B
4. Project Details
5. Application Form & Materials
6. Submitted Plans

TECHNICAL REPORT


- 1971 Special Use Permit was approved for The Oaks Condominiums with the approved plans noting two natural areas along Burning Tree Drive that were to remain undisturbed.
- 1974 Special Use Permit Modification was approved with additional landscaping between the buildings and Hwy. 54.
- June 20, 2018 Concept Plan for The Oaks Condominiums was presented to Council.

Connections to other Documents:

Town staff has reviewed this application for compliance with the themes from the [2020 Comprehensive Plan](#)¹, the standards of the [Land Use Management Ordinance](#)², and the [Town of Chapel Hill, NC : Design Manual and Standard Details](#)³ and offers the following evaluation:

Comprehensive Plan Themes: The following are themes from the 2020 Comprehensive Plan, adopted June 25, 2012:

Council Goals:

<input type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input checked="" type="checkbox"/>		Support Community Prosperity	<input checked="" type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration

Staff believes The Oaks Condominium stormwater improvement proposal complies with the above themes of the 2020 Comprehensive Plan.

Land Use Plan: The [2020 Land Use Plan](#)⁴, a component of the 2020 Comprehensive Plan, designates this site for Medium Residential (4-8 units per acre).

Resource Conservation District and Jordan Buffer Encroachments:

The site contains Resource Conservation District in the area where the drainage improvements are proposed. Table 3.6.3-2 of the Land Use Management Ordinance allows driveways and utility service lines in all three zones of the Resource Conservation District where there is a practical necessity. A portion of a 50-foot Streamside zone is proposed to have two maple trees removed and a 36-inch pipe and end wall with riprap installed.

The site also contains a 50-foot Jordan Buffer in the area where the stormwater drainage system is proposed. A Jordan Buffer Authorization is needed to do land disturbance in the area where the drainage system is proposed within this 50-foot protected area on each side of the stream bank. The Town's Stormwater staff has issued Jordan Buffer Authorization.

Proposed Modification for Approval:

- 1) Section 5.6.6 Buffer Modification:** The Land Use Management Ordinance requires the landscape buffer to be a 20-foot Type C buffer, with 6 large trees, 10 small trees and 36 shrubs

¹ <http://www.townofchapelhill.org/home/showdocument?id=15001>

² https://www.municode.com/library/#!/nc/chapel_hill/codes/code_of_ordinances?nodeId=CO_APXALAUSMA

³ <http://www.townofchapelhill.org/town-hall/departments-services/public-works/engineering/design-manual-and-standard-details>

⁴ <http://www.townofchapelhill.org/home/showdocument?id=1215>

per 100 linear feet. The applicant proposes a modified Type "C" buffer adjacent to Burning Tree Drive, classified as a Collector Road, on the eastern edge of the property. The requested modification is to have less plant material and less width than required.

The canopy trees include oak, cedar, hickory, mulberry, and elm. To install the drainage system, a total of 31 trees are proposed to be removed; 23 trees are within the Burning Tree Drive buffer. The applicant is proposing to replant 15 trees.

Staff Comment: Staff believes that Council could find a public purpose for fewer plantings and less buffer width. The stormwater system improvements will reduce flooding on the property, make the area safer during rain events, reduce flood damage to homes, and reduce the need for flood-prone property owners to obtain Flood Insurance.

Council Findings and Public Purpose: The Council has the ability to modify the regulations according to Section 4.5.6 of the Land Use Management Ordinance. Staff believes that the Council could modify the regulations if it makes a finding in this particular case that public purposes are satisfied to an equivalent or greater degree. If the Council chooses to deny a request for modifications to regulations, the developer's alternative is to revise the proposal to comply with the regulations.

For additional information on the proposed modifications, please refer to the developer's attached materials.



Project Details





Overview

Site Description	
Project Name	The Oaks Condominiums Stormwater Drainage Improvements
Address	101 Oak Tree Drive
Property Description	14.2 acres
Existing	Multi-family development - The Oaks Condominiums
Orange County Parcel Identifier Numbers	9798-45-1394
Existing Zoning	Residential-4 (R-4)
Proposed Zoning	No rezoning proposed


Development Intensity

Comment		Advisory Board	Status
Use/Density (Sec. 3.7)	Multi-family development; 130 condominiums and clubhouse	PC	✓
Dimensional Standards (Sec. 3.8)	22 ft. street, 8 ft. interior, 9 ft. solar setbacks	PC	✓
Floor area (Sec. 3.8)	Not applicable	PC	✓
Modifications to Regulations (Sec. 4.5.6)	Landscape buffer on Burning Tree Drive, east property line	PC	M
Adequate Public Schools (Sec. 5.16)	Not applicable	PC	✓
Inclusionary Zoning (Sec. 3.10)	Not applicable		
Landscape			
Buffer – North (Sec. 5.6.2)	Not applicable (20' External Type "C" required)	PC	✓
Buffer – East (Sec. 5.6.2)	20' Internal Type "C"; providing fewer plants and less width. See Modifications section.	PC	M
Buffer – South (Sec. 5.6.2)	Not applicable (30' Internal Type "D")	PC	✓
Buffer - West (Sec. 5.6.2)	Not applicable (15' Internal Type "B")	PC	✓
Tree Canopy (Sec. 5.7)	Minimum 30 percent canopy	CDC	✓
Landscape Standards (Sec. 5.9.6)	Constructed to Town standards	PC	✓

Environment			
Resource Conservation District (Sec. 3.6)	Encroachment into the RCD is proposed to install drainage pipes. Utility service lines all zones of the RCD are permitted where there is a practical necessity.	ESAB	
Erosion Control (Sec. 5.3.1)	More than one acre of land disturbance proposed; Performance bond required.	ESAB	FP
Steep Slopes (Sec. 5.3.2)	Not applicable	ESAB	
Stormwater Management (Sec. 5.4)	Underground Stormwater treatment measure	ESAB	
Land Disturbance	33,214 sq. ft.	ESAB	
Impervious Surface (Sec. 3.8)	Not applicable	ESAB	
Solid Waste & Recycling	Not applicable	OCSW	
Jordan Riparian Buffer (Sec. 5.18)	Jordan Buffer Authorization approval issued by Town's Stormwater Division for removing trees	ESAB	
Access and Circulation (Sec. 5.8)	Not applicable	TCAB	
Road Improvements (Sec. 5.8)	Not applicable	NCDOT	
Vehicular Access (Sec. 5.8)	Not applicable	TCAB	
Bicycle Improvements (Sec. 5.8)	Not applicable	TCAB	
Pedestrian Improvements (Sec. 5.8)	Not applicable	TCAB	
Traffic Impact Analysis (Sec. 5.9)	Not Applicable	TCAB Staff	
Vehicular Parking (Sec. 5.9)	Not applicable	TCAB, PC	
Transit (Sec. 5.8)	Not applicable	TCAB	
Bicycle Parking (Sec. 5.9)	Not applicable	TCAB, PC	
Parking Lot Standards (Sec. 5.9)	Not applicable	TCAB	

Technical			
Fire	Not applicable	Staff	
Site Improvements	New stormwater drainage system.	Staff	
Recreation Area (Sec. 5.5)	Not applicable	PC	
Lighting Plan (Sec. 5.11)	0.3 foot-candles at property line	CDC	
Homeowners Association (Sec. 4.6)	Application made on behalf of the Association.	Staff	N/A

Project Summary Legend

Symbol	Meaning	Symbol	Meaning
	Meets Requirements	CDC	Community Design Commission
M	Seeking Modification	HAB	Housing Advisory Board
C	Requires Council Endorsement	TCAB	Transportation and Connectivity Board
FP	Required at Final Plan;	ESAB	Environmental and Sustainability Board
NA	Not Applicable	OCSW	Orange County Solid Waste
PC	Planning Commission	NCDOT	North Carolina Department of Transportation

RESOLUTION A

(Approving the Special Use Permit Modification Application)

A RESOLUTION APPROVING AN APPLICATION FOR A SPECIAL USE PERMIT MODIFICATION FOR THE OAKS CONDOMINIUMS STORMWATER DRAINAGE IMPROVEMENTS (PROJECT #18-046)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit Modification application, proposed by John R. McAdams Company for the Oaks Homeowners Association, located at 101 Oak Tree Drive on property identified as Orange County Property Identifier Number 9798-45-1394, if developed according to the Site Plan dated July 24, 2018 and the conditions listed below would:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

MODIFICATIONS TO REGULATIONS

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that it finds, in this particular case, that the proposed development with the following requested modifications to regulations satisfies public purposes to an equivalent or greater degree:

Section 5.6.6 Buffer Modification: To modify the eastern property line buffer from the required minimum 20 foot Type "C" buffer adjacent to Burning Tree Drive to a variable width buffer with reduced planting quantities.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the stormwater system improvements will reduce flooding on the property, make the area safer during rain events, reduce flood damage to homes, and reduce the need for flood-prone property owners to obtain Flood Insurance.

STIPULATIONS SPECIFIC TO THE OAKS CONDOMINIUMS

1. Construction Deadline: That construction begin by _____ (two years from the date of approval) to be completed by _____ (four years from the date of approval). [LUMO 4.5.5]
2. Land Use Intensity: This Special Use Permit Modification authorizes the following:

Use: Multi-Family Residential	
Gross Land Area	680,407 sq. ft.
Maximum Land Disturbance	33,214 sq. ft.

3. Stormwater Structures: No stormwater management structures are permitted in the rights-of-way or building setbacks. This includes the outlet structure and stabilization, any underdrains, side slopes, and the downgradient toe of french drains. Further, the discharge must be in a sheet flow condition.
4. Jordan Buffer Authorization: Prior to issuance of a Zoning Compliance Permit, a Jordan Buffer Authorization must be approved and issued by the Town's Stormwater Management Department.

TOWN OF CHAPEL HILL – SPECIAL USE PERMIT STANDARD STIPULATIONS

The following standard stipulation are supplemental to site-specific conditions as set by Town Council-approved resolution. Unless modified by the site-specific conditions, these standards apply to all development permitted by Special Use Permits.

Access

5. Accessibility Requirements: Prior to issuance of a Certificate of Occupancy, the developer shall provide the minimum required handicapped infrastructure according to the Americans with Disabilities Act and associated codes and standards.

Transportation

6. Driveway Permit: It will be necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within the NCDOT right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved roadway and signal construction plans, inspection fees, and any necessary performance and indemnity bonds.
7. Off-Site Construction Easements: Prior to any land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
8. Repairs in Public Right-of-Way: Prior to issuance of a Certificate of Occupancy, the developer shall repair all damage for work in the public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design must be reviewed and approved by the Town Manager and NCDOT prior to issuance of a Zoning Compliance Permit. [Town Code 6.10]
9. Street Closure Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a street closure plan, subject to Town Manager and NCDOT approval, for any work requiring street, sidewalk, or lane closure. [Town Code 21.7.1]
10. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager and NCDOT. The Work Zone Traffic Control Plan shall comply with the Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]

Landscaping and Building Elevations

11. Invasive Exotic Vegetation: That prior to issuance of a Zoning Compliance Permit, the applicant shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal from the landscape buffer areas prior to planting. [Town Design Manual]
12. Minimum Landscape Caliper Size: That prior to issuance of the Certificate of Occupancy, all proposed landscape materials shall be planted with a minimum as identified in the Town Design Manual. [Town Design Manual]
13. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, approval from the Community Design Commission shall be required for any proposed alternate buffer. [LUMO 5.6.8]
14. Landscape Protection: Prior to issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include a complete and currently updated tree survey showing critical root zones of all rare and specimen trees and labeled according to size and species, and indicate which trees will be removed and which will remain. [LUMO 5.7.3]
15. Tree Protection Fencing Prior to Construction: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site and a detail of the tree protection fence. Tree protection fencing shall be provided around construction limits and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]
16. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approvals. [LUMO 4.5.3]
17. Tree Canopy: That a minimum of tree canopy coverage be provided through a combination of retained and replanted trees, unless a modification to regulations is approved. Calculations demonstrating compliance with LUMO Section 5.7.2 shall be included. [LUMO 5.7.2]
18. Demolition Plan: Prior to beginning any proposed demolition activity, it will be necessary to obtain demolition permits from both Planning and Inspections. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit may be acquired from Planning prior to proceeding with a demolition permit application to Inspections.

Environment

19. Stormwater Management Plan: Development projects must comply with the *Section 5.4 Stormwater Management* of the Land Use Management Ordinance. [LUMO 5.4]
20. Phasing Plan: If phasing of the project is proposed, that prior to issuance of a Zoning Compliance Permit, the property owner shall obtain approval of a Phasing Plan that provides details of which improvements are to be constructed during each phase. The

phasing plan shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase may not begin until all public improvements in previous phases are complete, with a note to this effect on the final plans and plats. [LUMO 4.9.2]

21. Erosion Control Bond: If one acre or more is uncovered by land-disturbing activities for this project, then a performance guarantee in accordance with Section 5-97.1 Bonds of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [LUMO 4.5.2]
22. Silt Control: That the developer take appropriate measures to prevent and remove the deposit of wet or dry silt on adjacent roadways. [LUMO 4.5.2, Town Code Chapter 5]
23. Erosion Control Inspections: That, in addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs. [LUMO 4.5.2]
24. Curb Inlets: The developer shall provide pre-cast curb inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-5A, for all new curb inlets for private, Town and State rights-of-way. [LUMO 4.5.2]
25. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [LUMO 4.9.2]
26. On-Site/Adjacent Stormwater Features: That the final plans locate and identify existing site conditions including all on-site and adjacent stormwater drainage features on the plans prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [LUMO 4.9.2]
27. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [LUMO 4.9.2]

Water, Sewer, and Other Utilities

28. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, and other local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The property owner shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be

submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]

29. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan, providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
30. OWASA Approval: That prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12.1]

Fire Safety

31. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Code, and NFPA 13. [NC Fire Protection Code Section 507.5.6]
32. Firefighting Access during Construction: As required by NC Fire Code (Section 1410.1 Required Access), vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC Fire Code, Section 1410.1]
33. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]

Solid Waste Management and Recycling

34. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled. All haulers of construction waste must be properly licensed. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]

State and Federal Approvals

35. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]

Miscellaneous

36. Offsite Construction Easements: That prior to any land disturbance on abutting properties the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
37. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [LUMO 4.5.2, TOWN CODE 17-42]
38. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [LUMO 4.5.2, TOWN CODE 17-42]
39. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. (§5.14.3(g) of Land Use Management Ordinance). The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.3]
40. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [TOWN CODE, Article 9]
41. Detailed Plans: That prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]
42. Traffic Signs: That the property owners shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.
43. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all

other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88.
[LUMO 4.9.2]

44. Vested Right: This Special Use Permit constitutes a site specific development plan establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance.
45. Continued Validity: That continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
46. Non-Severability: That if any of the above conditions is held to be invalid, approval in its entirety shall be void.

BE IT FURTHER RESOLVED that the Council hereby approves the application for a Special Use Permit Modification for 101 Oak Tree Drive. This the _____ day of _____ 2018.

RESOLUTION B
DENYING THE SPECIAL USE PERMIT MODIFICATION

**A RESOLUTION DENYING AN APPLICATION FOR A SPECIAL USE PERMIT
MODIFICATION FOR THE OAKS CONDOMINIUMS STORMWATER DRAINAGE
IMPROVEMENTS (PROJECT #18-046)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit application, proposed by John R. McAdams Company for the Oaks Homeowners Association, located at 101 Oak Tree Drive on property identified as Orange County Property Identifier Number 9798-45-1394, if developed according to the Site Plan dated July 24, 2018 and the conditions listed below would not:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

BE IT FURTHER RESOLVED that the Council hereby denies the application for a Special Use Permit Modification for the Oaks Condominiums Stormwater Drainage Improvements.

This the _____ day of _____, 2018.

SPECIAL USE PERMIT APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514
phone (919) 969-5066 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9798451394

Date: July 26, 2018

Section A: Project Information

Project Name: The Oaks Condominiums
Property Address: NW quadrant of the NC54 & Burning Tree Dr Zip Code: 27517
Use Groups (A, B, and/or C): A Existing Zoning District: R-4
Project Description: Installation of storm drainage conveyance system to reduce existing flooding issues.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Amos Clark, PE
Address: 2905 Meridian Pkwy
City: Durham State: NC Zip Code: 27713
Phone: (919) 361-5000 Email: clark@mcadamsco.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: [Signature]

Date: 7/3/2018

Owner/Contract Purchaser Information:

☒ Owner

☐ Contract Purchaser

Name: Oaks Owners Association c/o Community Association Services, Inc.
Address: 5915 Farrington Road, Suite 104
City: Chapel Hill State: NC Zip Code: 27517
Phone: (919) 403-1400 Email: edbedford@cas.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: [Signature]

Date: 7/12/18

Click [here](#) for application submittal instructions.



PROJECT FACT SHEET

TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Use Type: (check/list all that apply)

☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: _____

Overlay District: (check all that apply)

☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=		sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=		sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

☒ Jordan Buffer ☒ Resource Conservation District ☐ 100 Year Floodplain ☒ Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	33,214
Area of Land Disturbance within RCD	2,641
Area of Land Disturbance within Jordan Buffer	

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)				
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%				
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings				
Number of Floors				
Recreational Space				

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq.ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street			
	Interior (neighboring property lines)			
	Solar (northern property line)			
Height (maximum)	Primary			
	Secondary			
Streets	Frontages			
	Widths			



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			
Handicap Spaces			
Total Spaces			
Loading Spaces			
Bicycle Spaces			
Surface Type			

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section I: Land Use Intensity

Existing Zoning District:

Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input type="checkbox"/> Private		



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning Department

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	7,785
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
N/A	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
N/A	Description of Public Art Proposal		
X	Statement of Justification		
X	Response to Community Design Commission and Town Council Concept Plan comments		
N/A	Affordable Housing Proposal, if applicable		
X	Provide existing Special Use Permit, if Modification		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	314.40
X	Written Narrative describing the proposal		
X	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
X	Jurisdictional Wetland Determination – if applicable		
X	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
N/A	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
X	Reduced Site Plan Set (reduced to 8.5” x 11”)		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

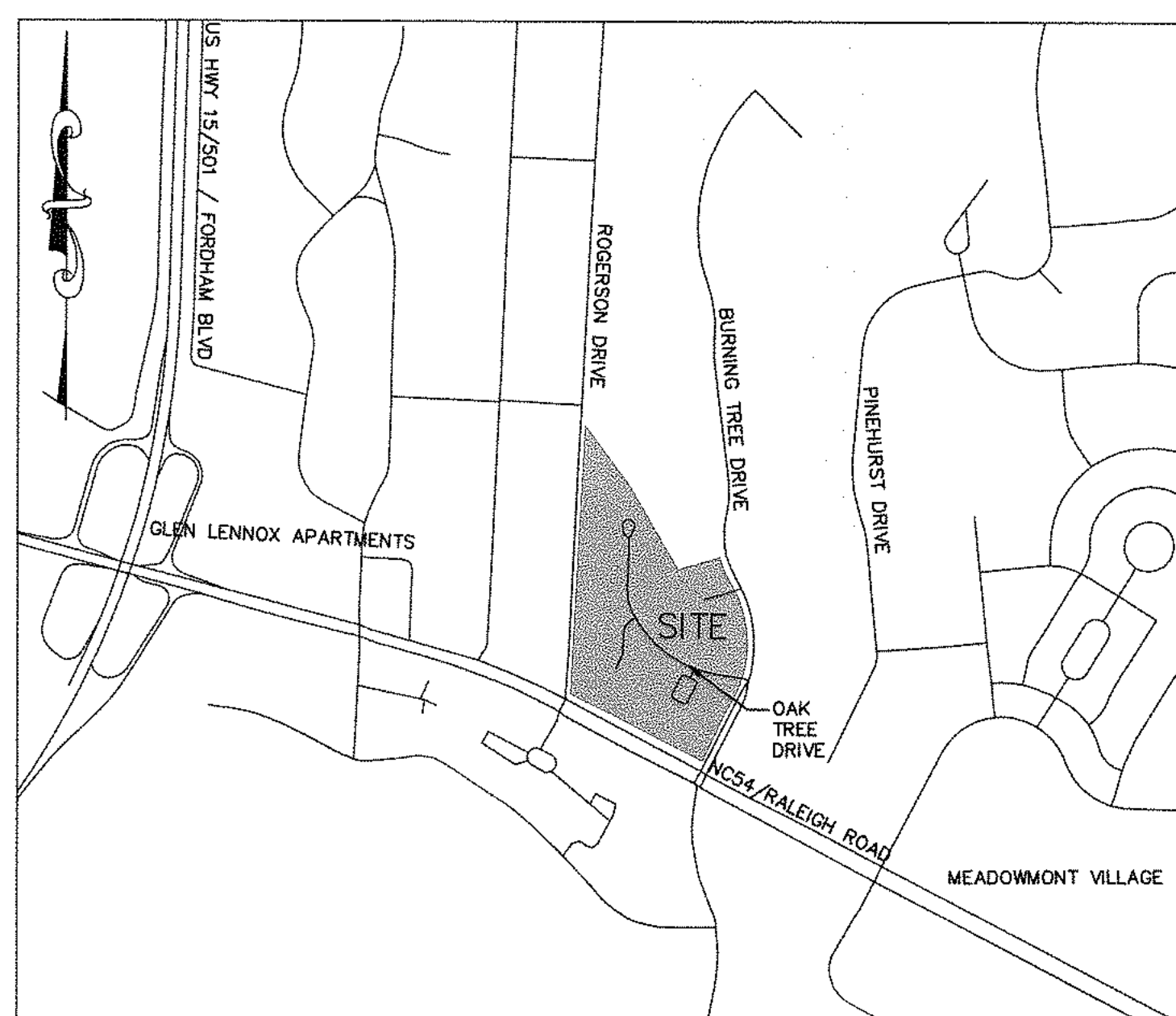
THE OAKS CONDOMINIUMS

SPECIAL USE PERMIT PLANS
LOCATED AT THE INTERSECTION OF
BURNING TREE DRIVE & NC 54 (RALEIGH ROAD)
PROJECT NUMBER: CAS-10000
DATE: JULY 24, 2018

OWNER:
CAS, INC.
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517
CONTACT: ED BEDFORD
PHONE: (919) 403-1400
EMAIL: edbedford@casnc.com

SHEET INDEX

C-1	EXISTING CONDITIONS AND DEMOLITION PLAN
C-2	SITE GRADING AND STORM DRAINAGE PLAN
C-3	EROSION CONTROL PLAN
P-1	PLAN & PROFILE - STORM OUTFALL "A"
D-1	SITE DETAILS
D-2	STORM DRAINAGE DETAILS
D-3	EROSION CONTROL DETAILS
LS-1	OVERALL LANDSCAPE PLAN
LS-2	LANDSCAPE PLAN AREA 'A'
LS-3	LANDSCAPE PLAN AREA 'B'

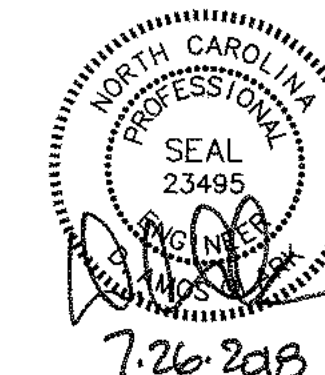


VICINITY MAP
NTS



Know what's below.
Call before you dig.

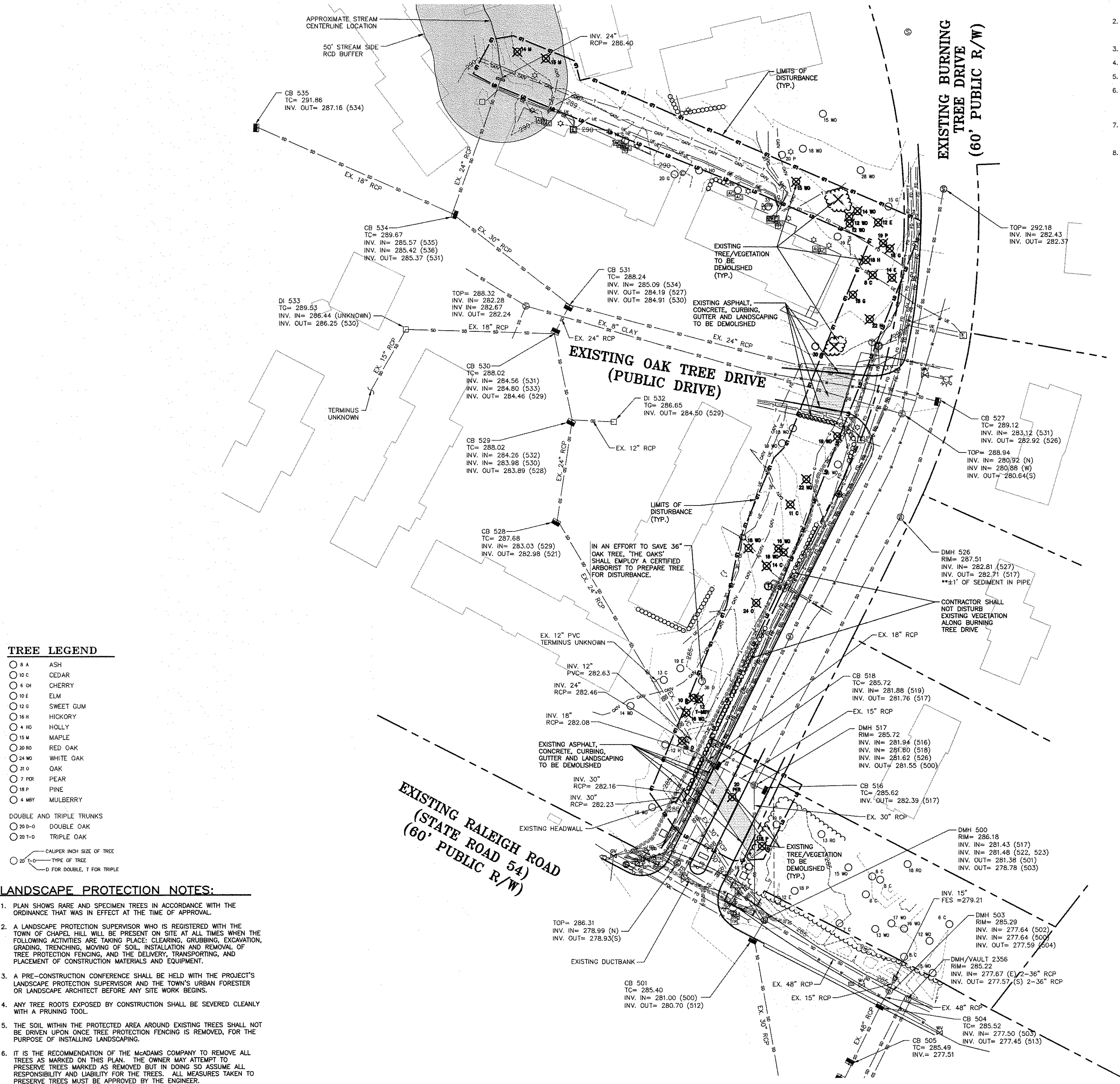
CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



THE JOHN R. McADAMS
COMPANY, INC.

2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
(800) 733-5646 • McAdamsCo.com
Contact: D. Amos Clark, PE
clark@mcadamsco.com

X:\Projects\CAS-10000\Storm Construction Drawings\CAS10000-XC.dwg, 7/28/2018 10:34:25 AM, Baker, Natalie



TREE LEGEND

- 8 A ASH
 - 10 C CEDAR
 - 6 CH CHERRY
 - 10 E ELM
 - 12 G SWEET GUM
 - 16 H HICKORY
 - 4 HO HOLLY
 - 15 M MAPLE
 - 20 RO RED OAK
 - 24 WO WHITE OAK
 - 31 O OAK
 - 7 PE PEAR
 - 18 P PINE
 - 4 MB MULBERRY
- DOUBLE AND TRIPLE TRUNKS
- 20 D-O DOUBLE OAK
 - 20 T-O TRIPLE OAK
- CALENDAR INCH SIZE OF TREE
- 20 T-O TYPE OF TREE
 - D FOR DOUBLE, T FOR TRIPLE

LANDSCAPE PROTECTION NOTES:

- PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT'S LANDSCAPE PROTECTION SUPERVISOR AND THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
- THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON ONCE TREE PROTECTION FENCING IS REMOVED, FOR THE PURPOSE OF INSTALLING LANDSCAPING.
- IT IS THE RECOMMENDATION OF THE MCADAMS COMPANY TO REMOVE ALL TREES AS MARKED ON THIS PLAN. THE OWNER MAY ATTEMPT TO PRESERVE TREES MARKED AS REMOVED BUT IN DOING SO ASSUME ALL RESPONSIBILITY AND LIABILITY FOR THE TREES. ALL MEASURES TAKEN TO PRESERVE TREES MUST BE APPROVED BY THE ENGINEER.

GENERAL NOTES:

- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3710979800 DATED FEBRUARY 2, 2007.
- THE SITE IS IN A PROTECTED WATERSHED OVERLAY DISTRICT.
- THERE ARE NO STEEP SLOPES ON SITE.
- THERE ARE NO WETLANDS ON SITE.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE PROPER REMOVAL, STORAGE, AND REUSE OF ANY EXISTING INFRASTRUCTURE MATERIALS ON SITE, INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELECOM, AND FIBER OPTIC.
- ALL COORDINATION FOR LOCATION AND FIELD VERIFICATION OF UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BUILDING FOOTPRINT INFORMATION FROM ORANGE COUNTY GIS.

LEGEND

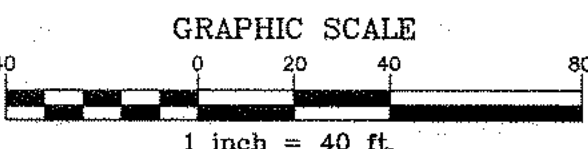
- BOLLARD
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- AIR CONDITIONING UNIT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- STEAM MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- CATCH BASIN
- DROP INLET
- STORM DRAINAGE MANHOLE
- STORM DRAIN
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTICS
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- FENCE LINE
- LIMITS OF DISTURBANCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPERTY LINE

DEMOLITION LEGEND

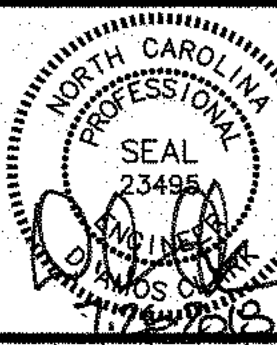
- TREE/VEGETATION TO BE DEMOLISHED
- AREA TO BE DEMOLISHED

DEMOLITION NOTES

- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY OR OTHER CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND SPECIFICATIONS AND AS DIRECTED BY THE OWNER.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID.
- THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
- CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING IMPROVEMENTS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO SIGNS, CURBS, SIDEWALKS, ETC.
- REMOVE AND DISPOSE OF ANY CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE ANY DEBRIS AND RUBBISH THAT IS RECYCLABLE.
- REMOVE AND/OR PLUG EXISTING UTILITIES AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL REMOVE, RELOCATE AND/OR INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD AND PARKING SURFACES. ANY UNNECESSARY DAMAGE DUE TO CONSTRUCTION ACTIVITIES AND/OR CONSTRUCTION TRAFFIC SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE SAW CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT AND SMOOTH SURFACE WHEN RESTORED, INCLUDE REPAIRS IF REQUIRED.
- ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJACENT BUILDINGS AND PROPERTIES THROUGHOUT CONSTRUCTION.



THE JOHN R. MCADAMS
COMPANY, INC.
2805 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0283
(800) 733-5646 • McAdamsCo.com



REVISIONS:

OWNER:
CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA

EXISTING CONDITIONS AND DEMOLITION PLAN

PROJECT NO.: CAS-10000
FILENAME: CAS10000-XC
CHECKED BY: DAC
DRAWN BY: SMP/NB
SCALE: 1" = 40'
DATE: 07-24-2018
SHEET NO.: C-1



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TEMPORARY SEEDING SCHEDULE

SEEDING DATE	SEEDING MIXTURE	APPLICATION RATE
JAN 1 - MAY 1	RYE (GRAIN)	120 LBS/AC
	KOBE LESPEDEZA	50 LBS/AC
MAY 1 - AUG 15	GERMAN MILLET	40 LBS/AC
AUG 15 - DEC 30	RYE (GRAIN)	120 LBS/AC

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 4,000 LB/AC GROUND AGRICULTURE LIMESTONE AND 750 LB/AC 10-10-10 FERTILIZER (FROM AUG 15 - DEC 30, INCREASE 10-10-10 FERTILIZER TO 1000 LB/AC).

MULCH

APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

JAN 1 - AUG 15: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

AUG 15 - DEC 30: REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOP DRESS WITH 50 LB/AC OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/AC KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

NOTE: USE THE TEMPORARY SEEDING SCHEDULE ONLY WHEN DATE IS NOT CORRECT TO USE THE PERMANENT SEEDING SCHEDULE.

PERMANENT SEEDING SCHEDULE

SEEDING DATE	SEEDING MIXTURE	APPLICATION RATE
AUG 25 - OCT (BEST)	TALL FESCUE	200 LBS/AC
	RYE (GRAIN)	50 LBS/AC
	GERMAN MILLET	50 LBS/AC
FEB - APR 15 (POSSIBLE)	TALL FESCUE	200 LBS/AC
	RYE (GRAIN)	50 LBS/AC
	GERMAN MILLET	50 LBS/AC

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 4,000 LB/AC GROUND AGRICULTURE LIMESTONE AND 1000 LB/AC 10-10-10 FERTILIZER.

MULCH

APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

INSPECT AND REPAIR MULCH FREQUENTLY. REFERTILIZE IN LATE WINTER OF THE FOLLOWING YEAR; USE SOIL TESTS OR APPLY 150 LB/AC 10-10-10 FERTILIZER. MOW REGULARLY TO A HEIGHT OF 2-4 INCHES.

SEEDBED PREPARATION

AREAS TO BE SEED TO BE SCARIFIED 4" DEEP. A FIRM, WELL PULVERIZED, UNIFORM SEEDBED SHOULD BE PROVIDED. FERTILIZER SHALL BE PLACED DURING SCARIFICATION AS FOLLOWS:

LIME: 45 LBS / 1,000 SF
PHOSPHOROUS: 20 LBS / 1,000 SF
FERTILIZER: 17 LBS / 1,000 SF

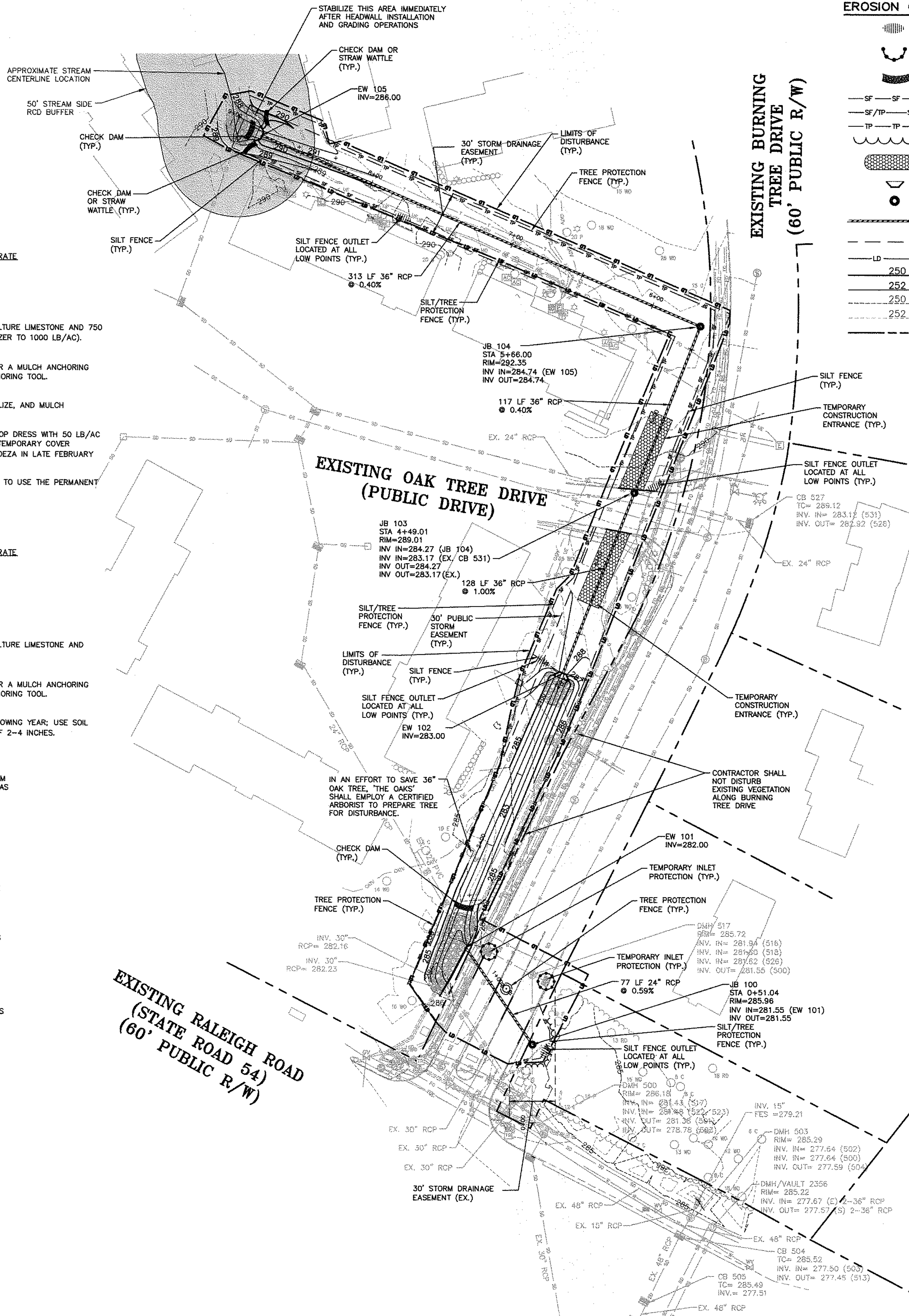
MAINTENANCE PLAN

- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED.
- SILT FENCES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED AS NEEDED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL EVENT, AND TO REDUCE PRESSURE ON THE FENCE. FENCING MATERIALS AND SEDIMENT DEPOSITS SHALL BE REMOVED, AND THE AREA BROUGHT TO GRADE FOLLOWING STABILIZATION OF UPGRADED DISTURBED AREAS.
- DIVERSION DITCHES MUST REMAIN IN PLACE UNTIL PROJECT IS STABILIZED.
- SEED AND MULCH DENuded AREA WITHIN 14 DAYS AFTER ANY PHASE OF GRADING.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

OFFSITE SPOIL NOTE:

IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.

GROUND STABILIZATION		
SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)



EROSION CONTROL LEGEND

	SILT FENCE OUTLET
	INLET PROTECTION FOR EXISTING STRUCTURES
	CHECK DAM
	SILT FENCE
	SILT/TREE PROTECTION FENCE
	TREE PROTECTION FENCE
	WOODED AREA
	CONSTRUCTION ENTRANCE/EXIT
	HEADWALL
	JUNCTION BOX
	STORM DRAINAGE
	STORMWATER EASEMENT
	LIMITS OF DISTURBANCE
	5' CONTOUR
	1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPERTY LINE

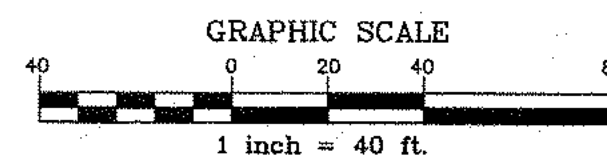
EROSION CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR A INSPECTION BY ORANGE COUNTY SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE.
- REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND A PRE-CONSTRUCTION CONFERENCE SCHEDULED WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING LAND DISTURBANCE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR THE INSPECTION OF EROSION CONTROL DEVICES AFTER EVERY RAINFALL, THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES AND OFFSITE ROADWAYS DAILY. MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES. REMOVE DEPOSITION OF WET OR DRY SILT ON ADJACENT ROADWAYS AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
- A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
- ANY GRADING BEYOND THE DENuded LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- NO DEBRIS SHALL BE TRACKED ONTO ANY EXISTING PAVED AREAS OR PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT ON SITE. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
- PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER LUTHERWOOD OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- CONTRACTOR TO VERIFY SILT FENCE OUTLET PLACEMENT AT LOW POINTS AS THEY EXIST OR DEVELOP. ADDITIONAL SILT FENCE OUTLETS MAY BE REQUIRED TO PREVENT EROSION DURING AND AFTER CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES. IF ADDITIONAL SILT FENCE OUTLETS ARE NECESSARY, CONTRACTOR TO ADD ADDITIONAL SILT FENCE OUTLETS PER ENGINEER, NEEDED EROSION CONTROL INSPECTOR, OR OWNER DIRECTION. IF PONDING OF WATER OR SEDIMENT OCCURS ALONG SILT FENCE, CONTRACTOR SHALL INSTALL AN ADDITIONAL SILT FENCE OUTLET.

CONSTRUCTION SEQUENCE

- OBTAIN A LAND-DISTURBING PERMIT. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL OFFICER, WESLEY POOLE (919) 245.2587. PRECONSTRUCTION MEETING SHALL INCLUDE A REPRESENTATIVE FROM OWASA, TOWN OF CHAPEL HILL, TOWN'S URBAN FORESTER, AND OWNER.
NOTE: INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR INSPECTORS TO LEAVE INSPECTION REPORTS, COMPLIANCE NOTICES, ETC.
- TRAFFIC CONTROL PLAN TO BE PROVIDED BY CONTRACTOR
- INSTALL GRAVEL CONSTRUCTION ENTRANCE(S) PER PLAN. ALSO INSTALL TEMPORARY SILT FENCING WITH OUTLETS AS SHOWN.
- CONTRACTOR SHALL CLEAR ONLY THOSE AREAS NECESSARY TO ACCESS AND INSTALL INITIAL PERIMETER DEVICES. INSTALL INLET PROTECTION ON EXISTING INLETS AS NECESSARY.
- INSTALL INLET PROTECTION PER ORANGE COUNTY SEC STANDARDS AND SPECIFICATIONS ON ALL INLETS.
- CALL 919.245.2587 FOR ON-SITE INSPECTION BY ORANGE COUNTY EROSION CONTROL.
- BEGIN GRADING TO EXCAVATE FOR PROPOSED STORM PIPE.
- NO MUD SHALL BE TRACKED ONTO EXISTING PAVEMENT. ADDITIONAL MEASURES MAY BE NECESSARY TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
- PROVIDE ALL DISTURBED AREAS WITH GROUND COVER WITHIN 14 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN. NOTE: SLOPES IN EXCESS OF 3H:1V SHALL BE STABILIZED WITHIN 7 DAYS AND FOR MODERATE SLOPES (SLOPES LESS THAN 3H:1V) SHALL BE STABILIZED WITHIN 10 DAYS.
- CONSTRUCT STORM DRAIN SYSTEM AS SHOWN.
- INSTALL INLET PROTECTION ON ALL INLET STRUCTURES DURING CONSTRUCTION.
- AT THE CONCLUSION OF CONSTRUCTION OR IF LAND-DISTURBING ACTIVITY IS STOPPED FOR MORE THAN 14 CONSECUTIVE CALENDAR DAYS, PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THE S&E PLAN.
- WHEN THE SITE IS AT FINAL GRADE AND NO FURTHER GRADING IS NECESSARY, CONTRACTOR SHALL STABILIZE THE SITE PER THE PERMANENT SEEDING SCHEDULE.
- WHEN CONSTRUCTION IS COMPLETE, CALL ORANGE COUNTY EROSION CONTROL TO OBTAIN FINAL INSPECTION AND CERTIFICATE OF COMPLETION TO CLOSE OUT EROSION CONTROL PERMIT.

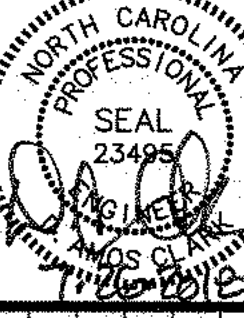
TOTAL DISTURBED AREA = 33,214 SF. (0.76 AC.)



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-02983
(800) 733-5646 • McAdamsCo.com

MCADAMS



REVISIONS:

CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL PLAN

PROJECT NO. CAS-10000

FILENAME: CAS10000-EC1

CHECKED BY: DAC

DRAWN BY: SMP/ NB

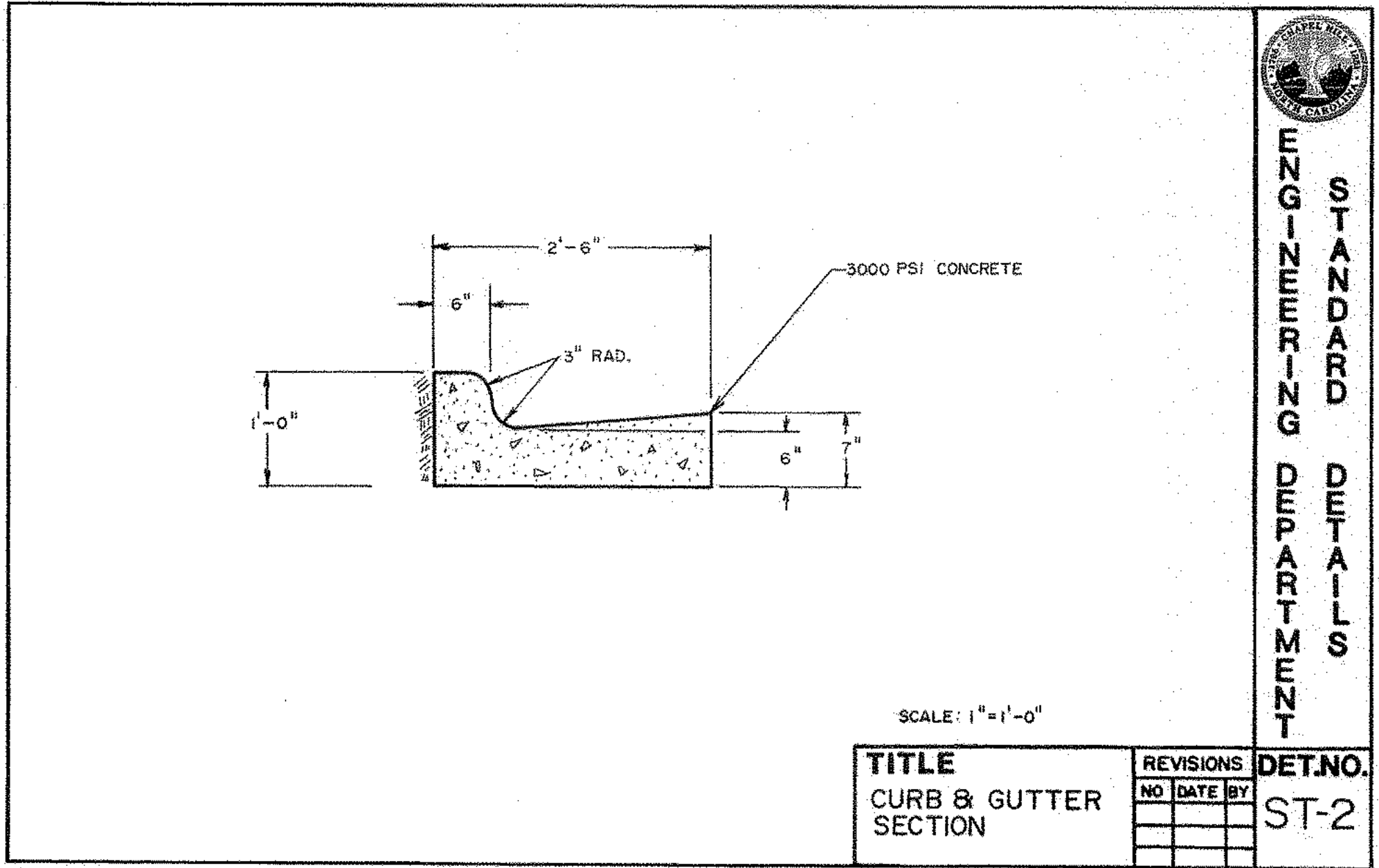
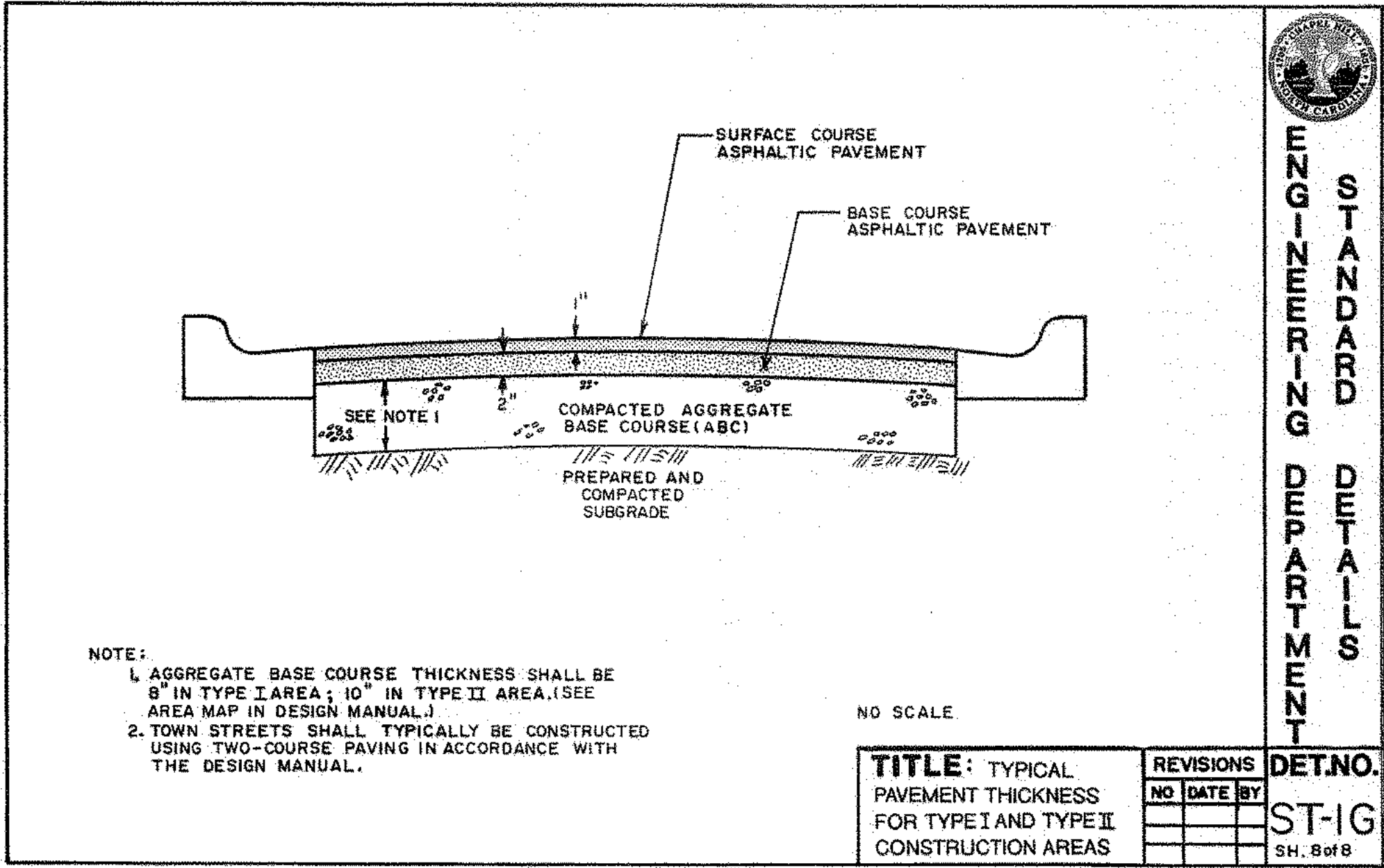
SCALE: 1" = 40'

DATE: 07-24-2018

SHEET NO. C-3

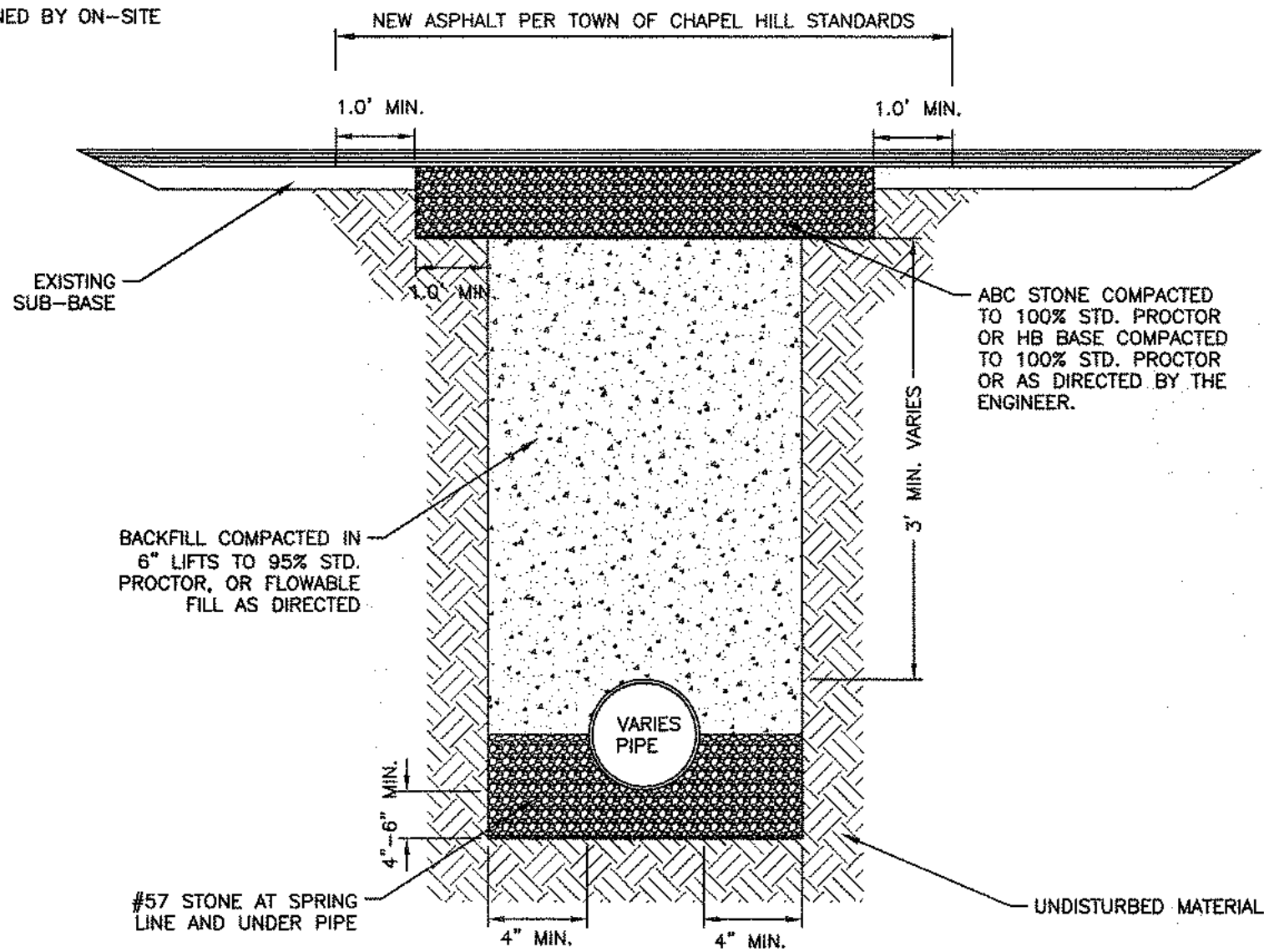
MCADAMS

X:\Projects\CAS\10000\Storm\Construction Drawings\CAS10000-D1.dwg, 7/24/2018, 4:58:01 PM, Boborquez, Nodola



NOTES:

1. BEDDING AND BACKFILL MATERIAL TO BE DETERMINED BY ON-SITE GEOTECHNICAL ENGINEER.

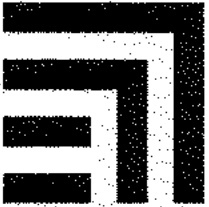


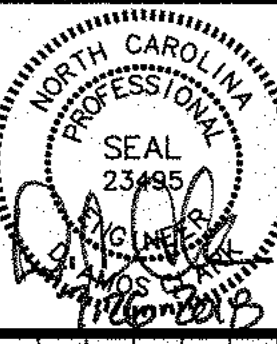
TRENCH CUT INSTALLATION

N.T.S.

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

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COMPANY, INC.
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Durham, North Carolina 27713
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**MCADAMS**



REVISIONS:


OWNER:

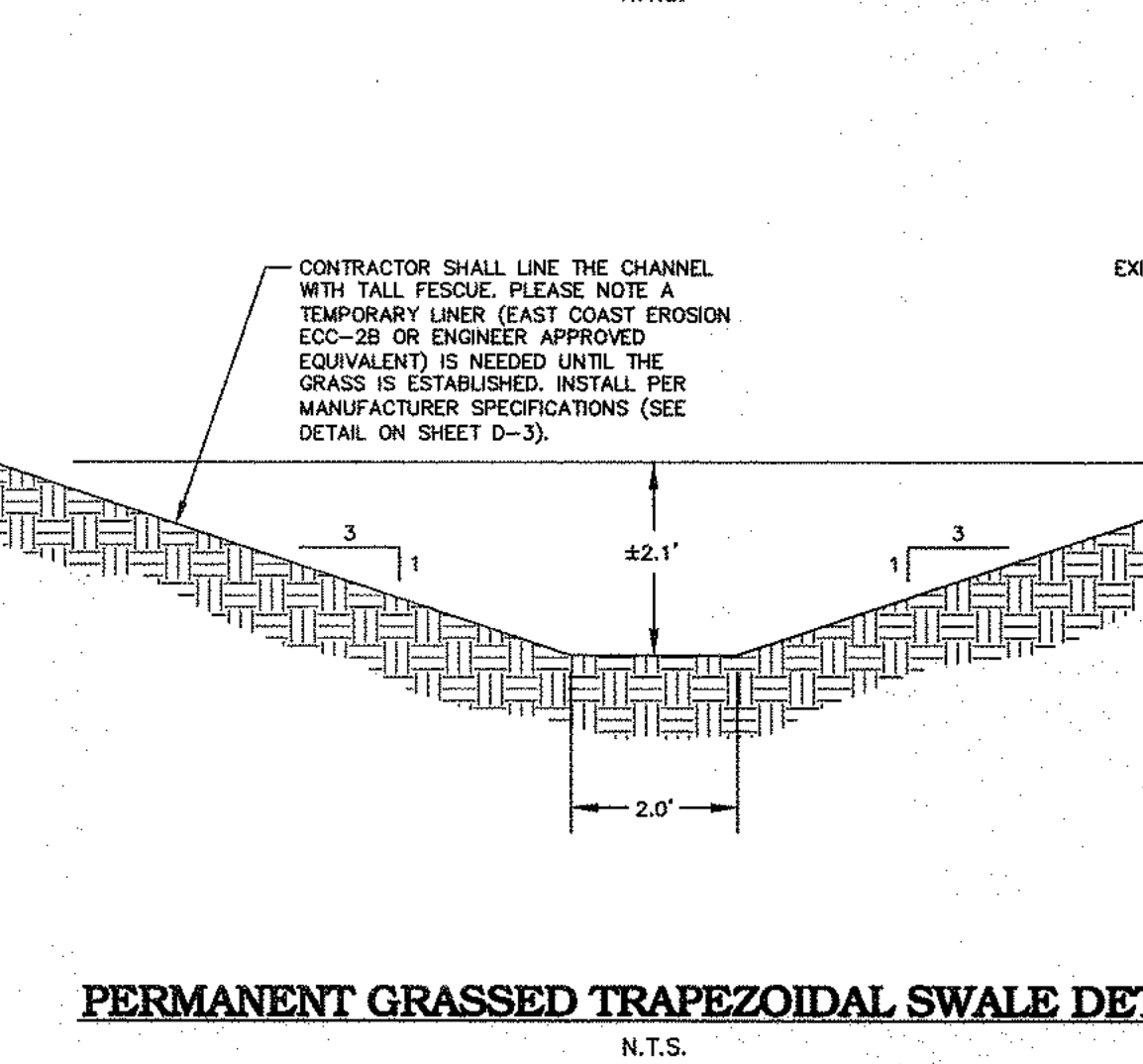
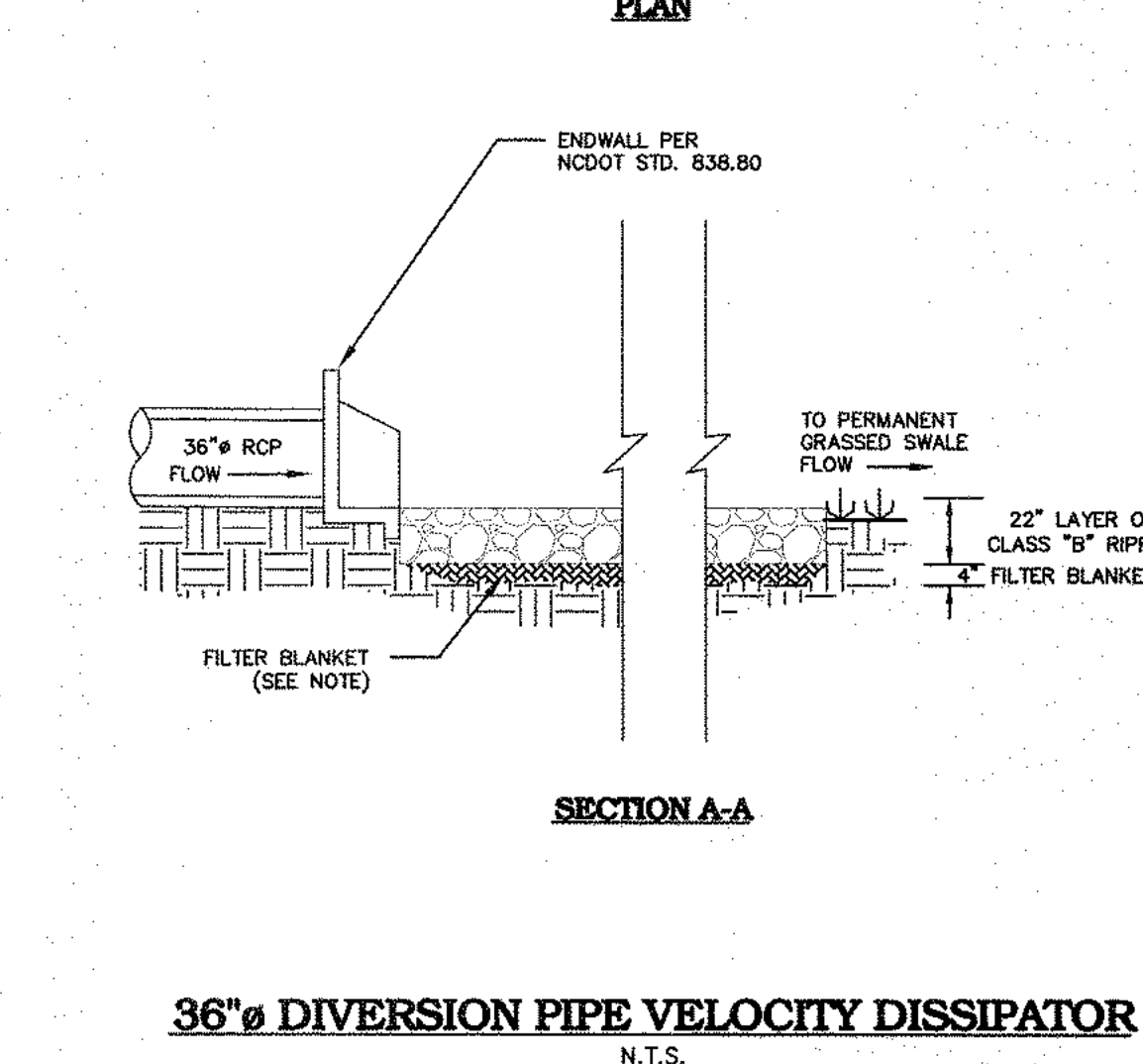
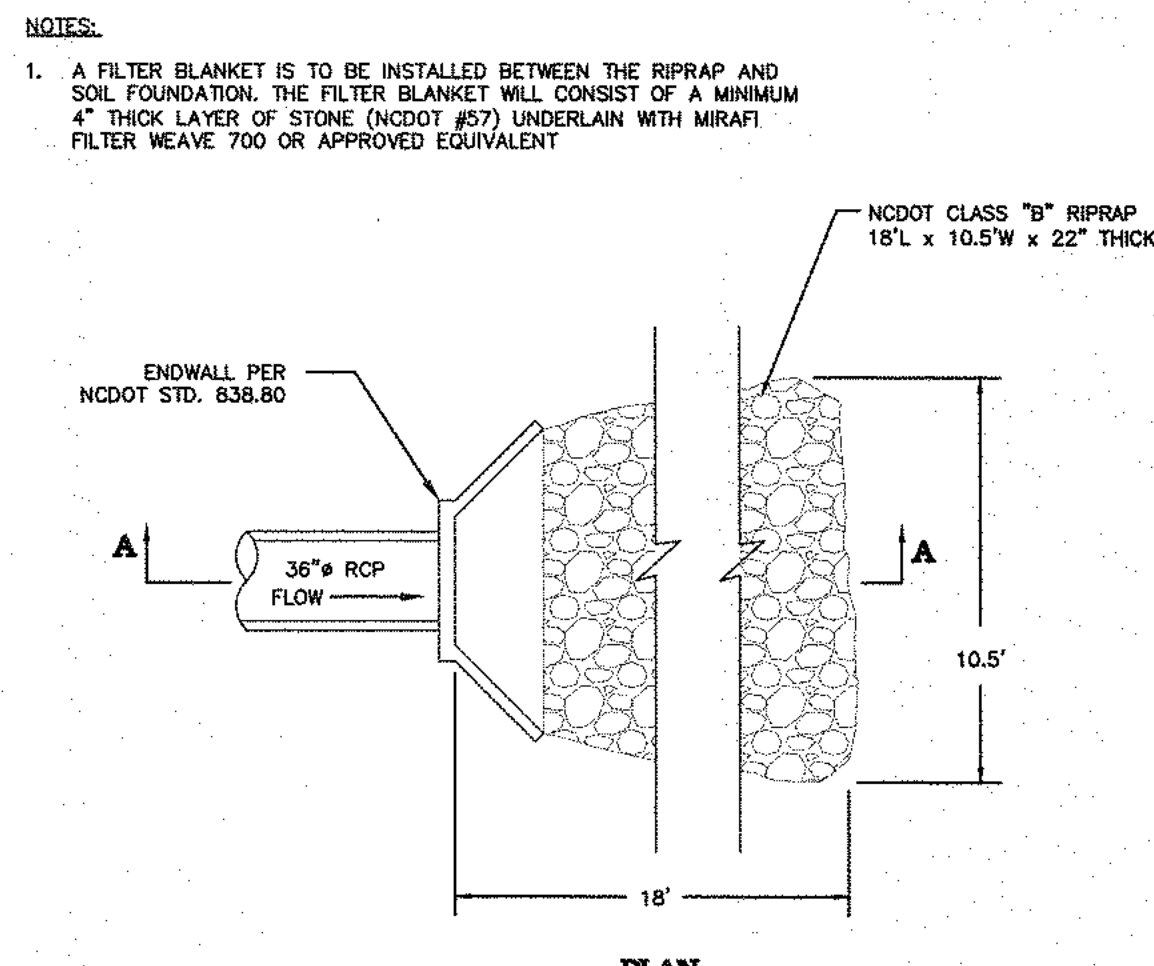
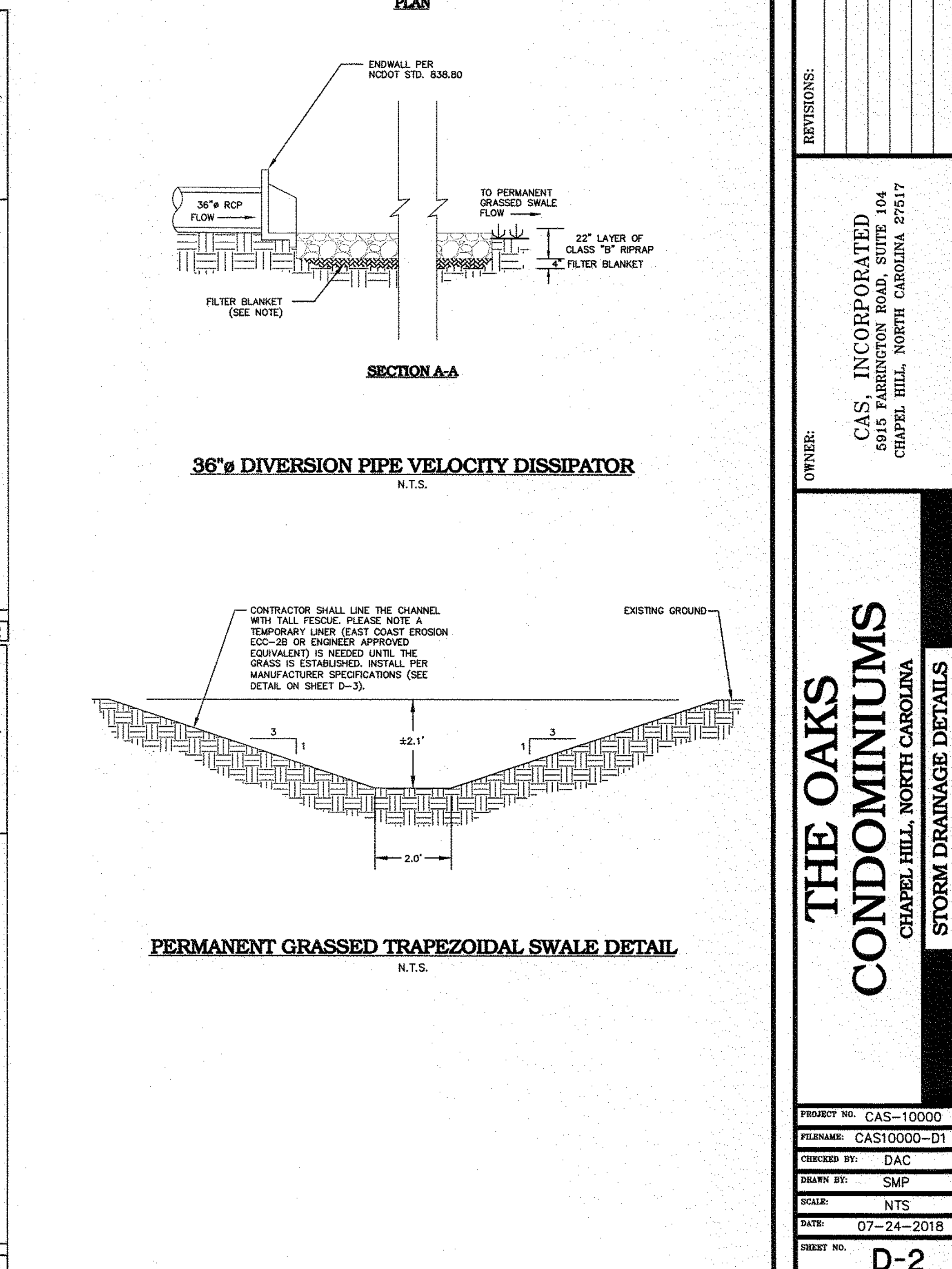
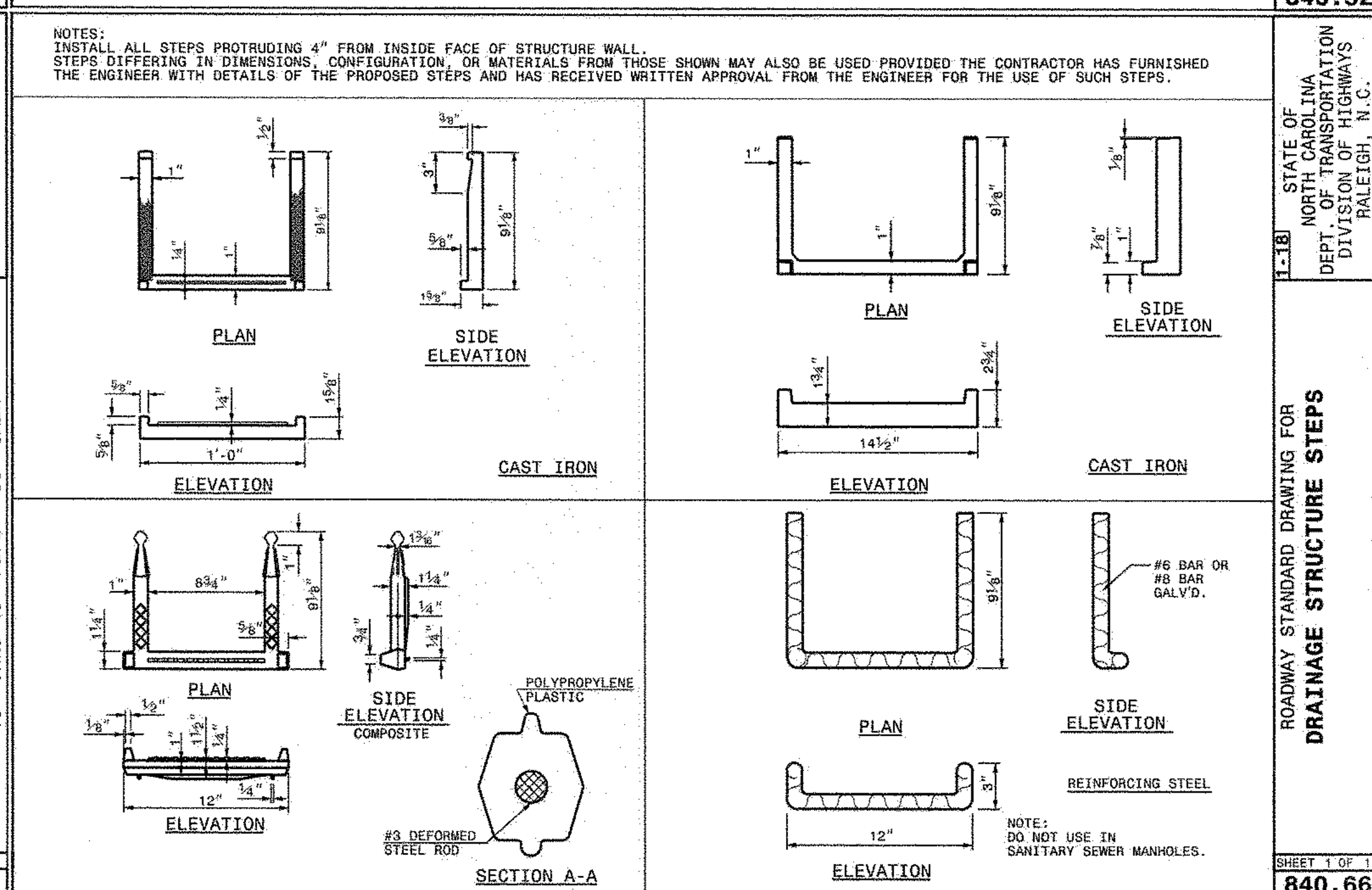
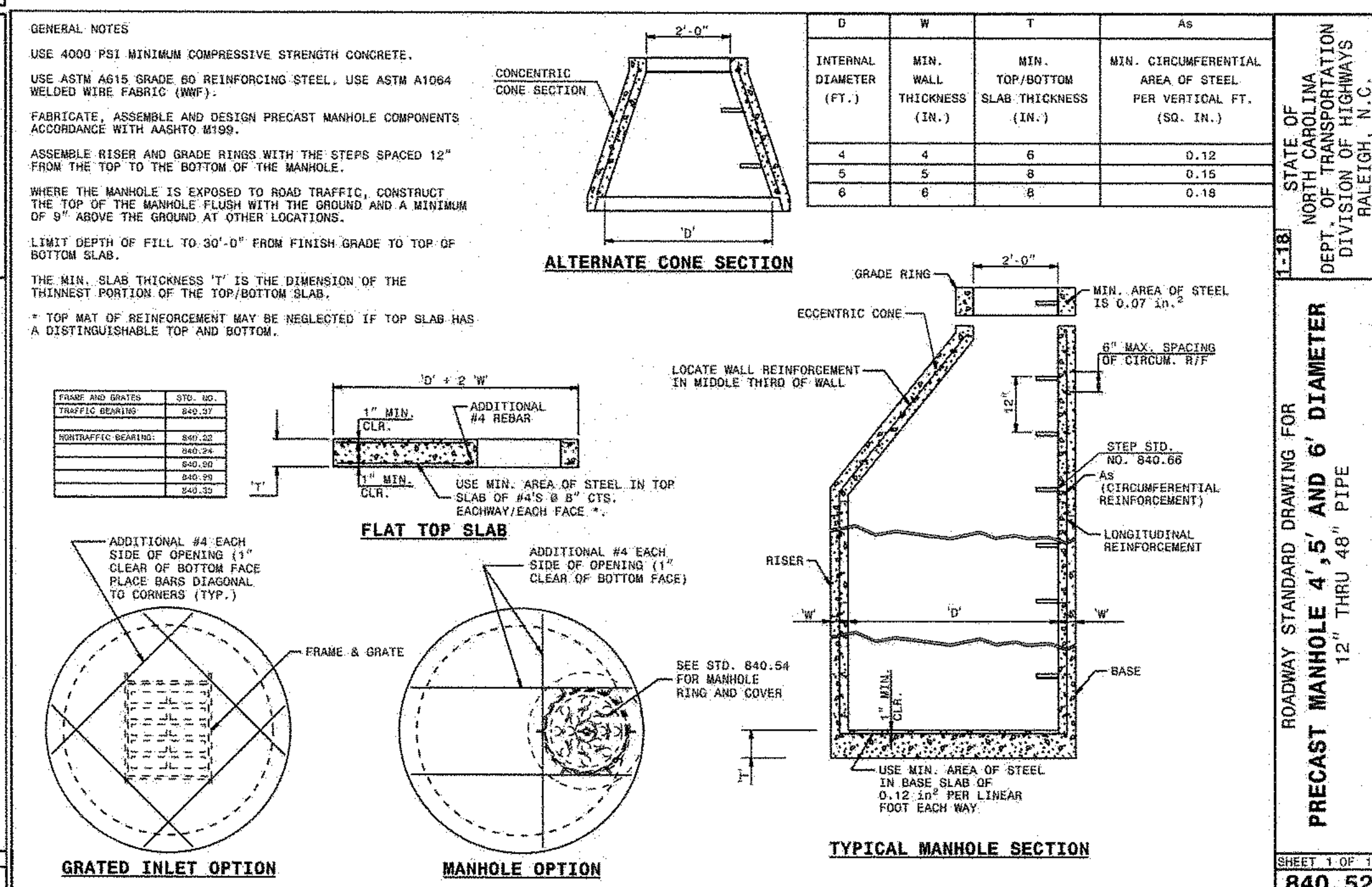
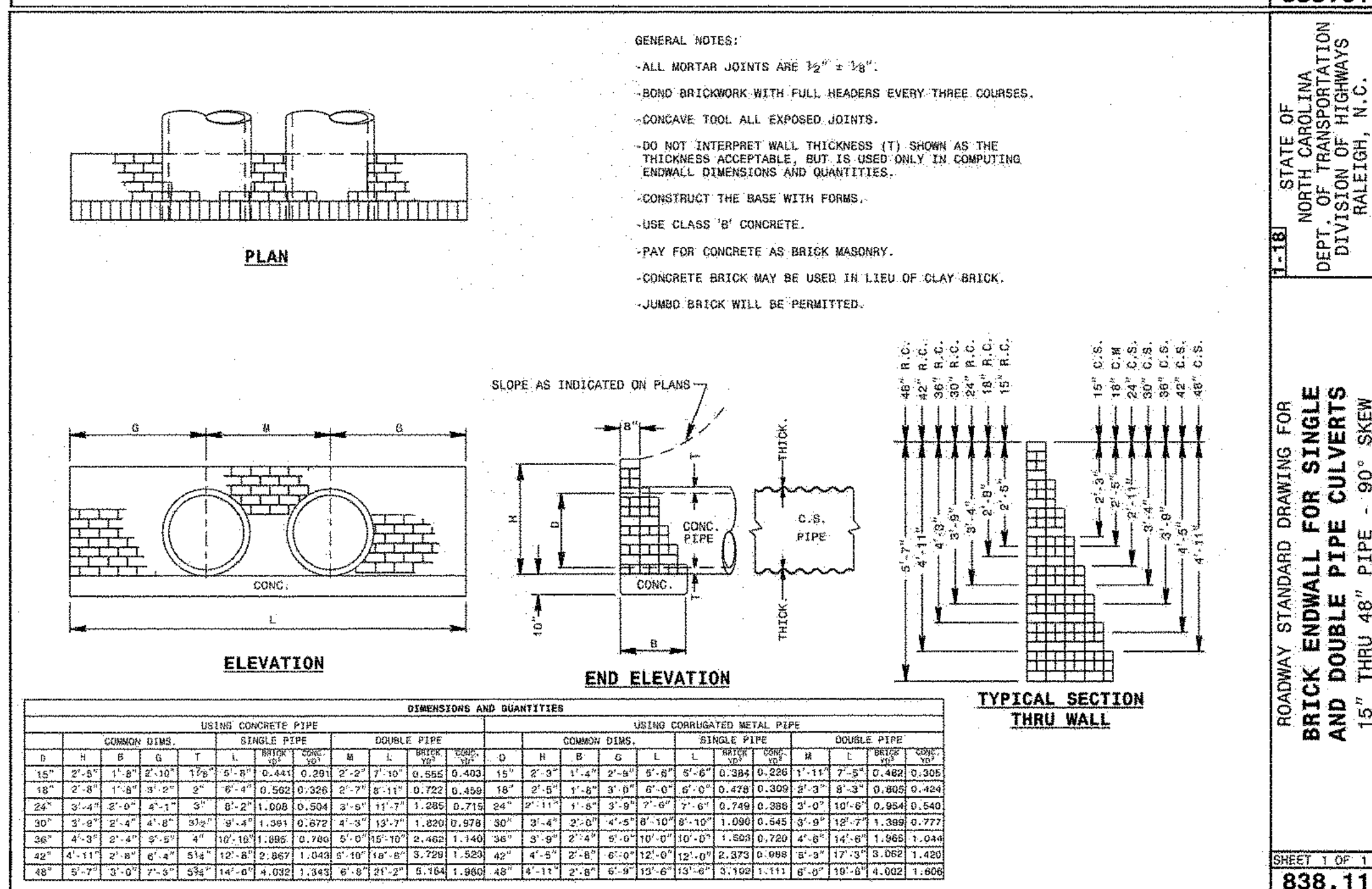
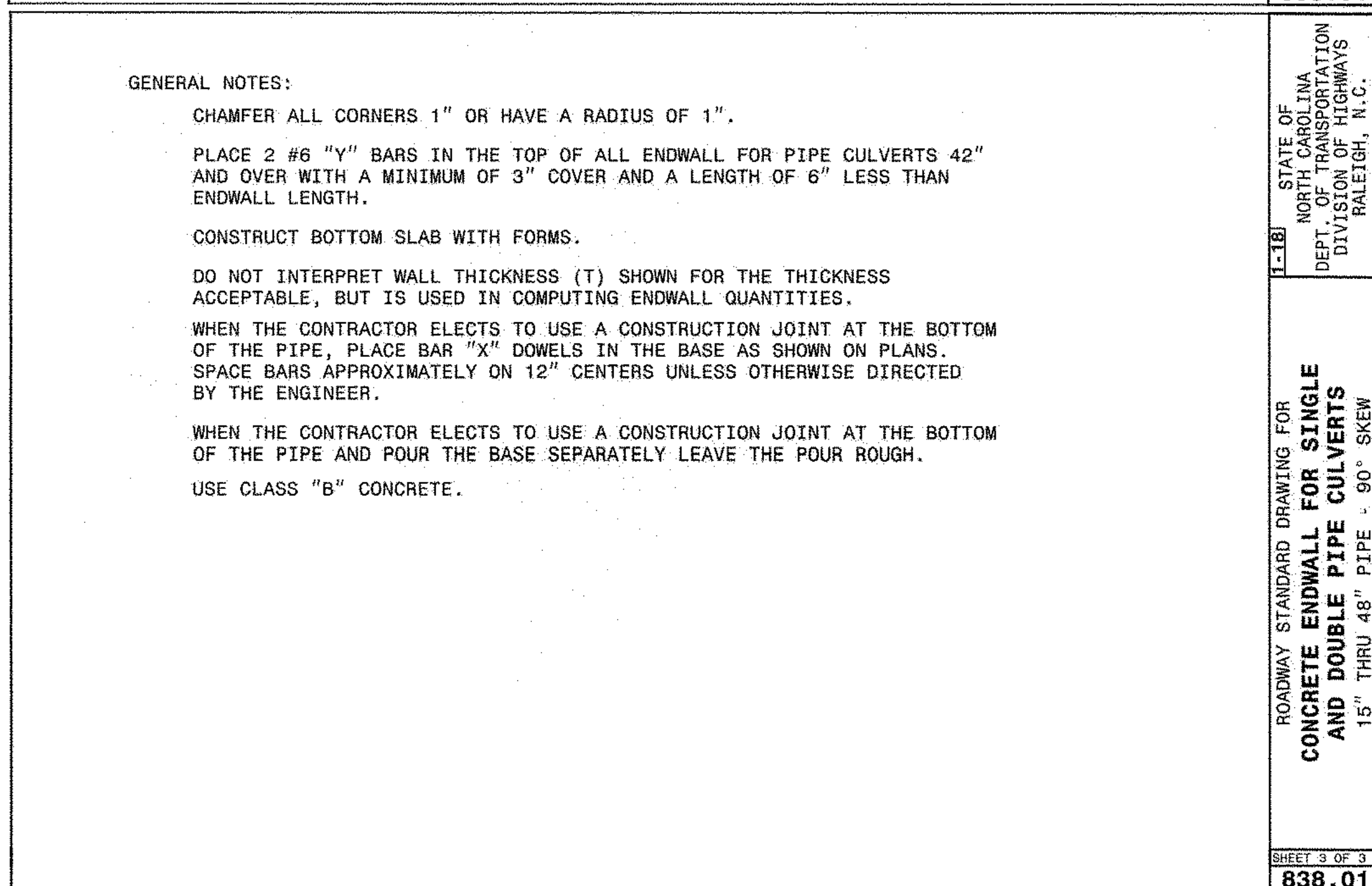
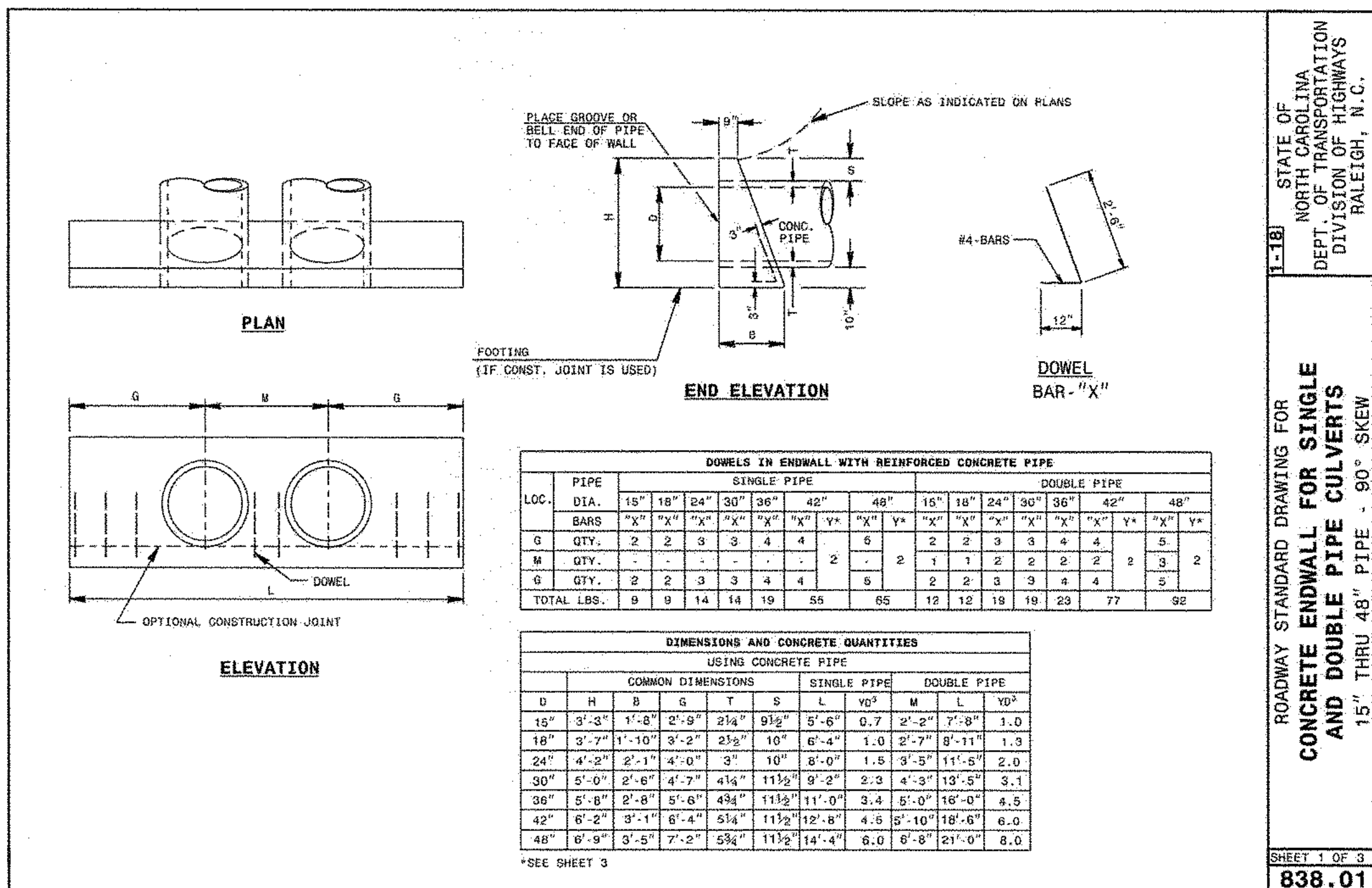
CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

**THE OAKS
CONDOMINIUMS**
CHAPEL HILL, NORTH CAROLINA

SITE DETAILS

PROJECT NO. CAS-10000
FILENAME: CAS10000-D1
CHECKED BY: DAC
DRAWN BY: SMP
SCALE: NTS
DATE: 07-24-2018
SHEET NO. **D-1**

**MCADAMS**



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Channel Installation Instructions:

- Dig a 6" by 6" trench both up-slope, down-slope, and along the top side of the channel. Prepare the slope soil surface (raking, seeding and fertilizing). Note: if used with stormwater discharge, place the up-slope trench at the face of the discharge structure footer.
- Begin by placing the center blanket a minimum of 12" down-slope of the up-slope trench. Secure the blanket at the bottom of the trench with staples placed 12" apart. Backfill and compact the trench. Apply seed, and fold the blanket over soil, secure with a row of staples placed 12" apart across the width of the blanket (See Diagram A).
- Roll the blanket vertically down the slope. Secure using the appropriate staple pattern below, specified by slope (See Staple Patterns).
- Continue placing blankets up the slopes on both sides, with a minimum 4" overlapping (Diagram B), and securing each blanket in the beginning trench (Diagram A).
- Additional horizontal blankets can be joined using a minimum 4" overlapping or shingle style in the direction of water flow. Connect the blankets by placing staples approximately 5' apart across the width of the blankets (Diagram C).
- For maximum performance a check slot should be placed at 25'-40' intervals. Place a row of staples 4" apart along the entire width of the channel. A second row should be placed 4" below in a staggered pattern (Diagram D).
- The end of the blanket must be secured in a 6" x 6" trench with a row of staples placed at 12" intervals (Diagram E).
- At the top edge of the side slope, fasten the blanket in a 6" x 6" trench with staples placed at 12" intervals. Install an additional row of staples 1'-0" down slope of the trench along the width of the fabric (Diagram F).

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the product specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

EAST COAST erosion control
443 Bricker Road Berwyn, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
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DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the product specification requirements established by the Erosion Control Technology Council (ECTC).
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DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the product specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

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DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Slope Installation Guidelines:

These guidelines are recommendations only. Any questions with the installation should be confirmed with your local distributor.

- Dig a 6" by 6" trench both up-slope and down-slope of the area the matting is to be applied. Prepare the slope soil surface (raking, seeding and fertilizing).
- Begin by placing the blanket a minimum of 12" down-slope of the up-slope trench. Secure the blanket at the bottom of the trench with staples placed 12" apart. Backfill and compact the trench. Apply seed, and fold the blanket over soil, secure with a row of staples placed 12" apart across the width of the blanket (See Diagram A).
- Roll the blanket vertically down the slope. Secure using the appropriate staple pattern below, specified by slope (See Staple Patterns).
- Parallel blankets must be overlapped by a minimum of 4", and secured with a row of staples placed approximately 3'-0" apart (See Diagram B).
- Additional vertical blankets can be joined using a minimum 4" overlapping or shingle style (See Diagram C) in the direction of water flow. Connect the blankets by placing staples approximately 5' apart across the width of the blankets (See Diagram D).
- For maximum performance a check slot should be placed at 25'-40' intervals. Place a row of staples 4" apart along the entire width of the slope. A second row should be placed 4" below in a staggered pattern. Then continue with general installation (See Diagrams D).
- The end of the blanket must be secured in a 6" x 6" trench with a row of staples placed at 12" intervals (Diagram E).

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the Type 2.C specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

EAST COAST erosion control
443 Bricker Road Berwyn, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Slope Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the Type 2.C specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

EAST COAST erosion control
443 Bricker Road Berwyn, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the Type 2.C specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

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443 Bricker Road Berwyn, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the Type 2.C specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

EAST COAST erosion control
443 Bricker Road Berwyn, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0283
(800) 733-8646 • McAdamsCo.com

MCADAMS

THE OAKS CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL DETAILS

PROJECT NO. CAS-10000
FILENAME: CAS10000-EI
CHECKED BY: DAC
DRAWN BY: SMP
SCALE: NTS
DATE: 07-24-2018
SHEET NO. D-3

MCADAMS

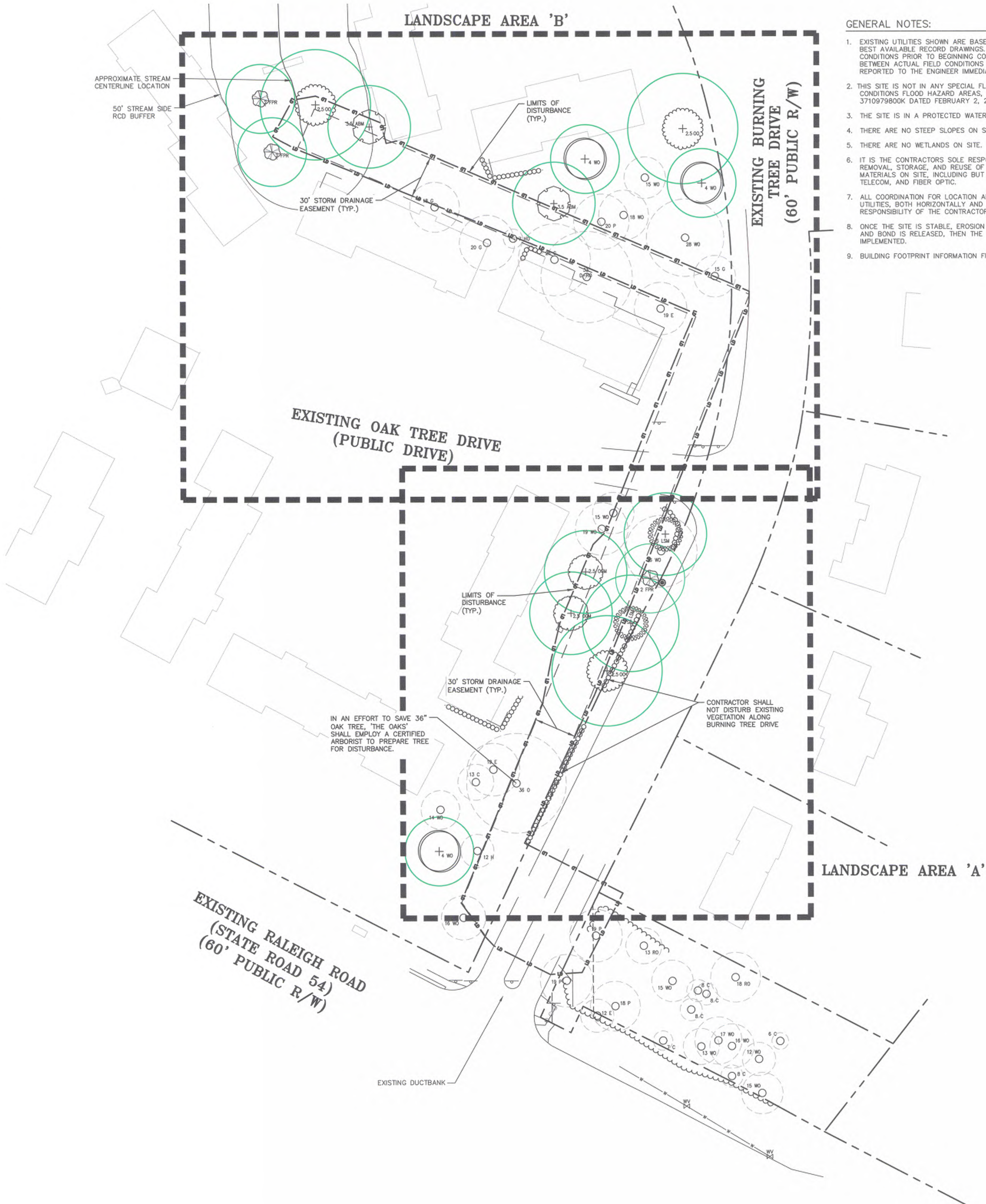
THE OAKS CONDOMINIUMS – TREE REPLACEMENT LIST					
BOTANICAL NAME	COMMON NAME	VARIETY	SIZE	QTY.	CANOPY
ACER RUBRUM	RED MAPLE	OCTOBER GLORY	2.5"	2	35'-40'
ACER RUBRUM	RED MAPLE	AUTUMN BLAZE	3.5"	2	35'-40'
ACER SACCHARUM	SUGAR MAPLE	LEGACY	5"	2	35'-40'
CERCIS CANADENSIS	REDBUD	FOREST PANSY	2"	3	25'-30'
QUERCUS LYRATA	OVERCUP OAK		2.5"	3	40'-45'
QUERCUS PHELLOS	WILLOW OAK		4"	3	40'-45'
			TOTAL	15	

TREE LEGEND

- 8 A ASH
10 C CEDAR
4 CH CHERRY
10 E ELM
12 G SWEET GUM
16 H HICKORY
4 HO HOLLY
15 M MAPLE
20 RO RED OAK
24 WO WHITE OAK
31 O OAK
7 PR PEAR
18 P PINE
4 MBY MULBERRY
- 2.5 00M OCTOBER GLORY RED MAPLE
3.5 00M AUTUMN BLAZE RED MAPLE
5 00M LEGACY SUGAR MAPLE
2 00M FOREST PANSY REDBUD
2.5 00M OVERCUP OAK
4 00M WILLOW OAK
- DOUBLE AND TRIPLE TRUNKS
20 D-0 DOUBLE OAK
20 T-0 TRIPLE OAK
- CAULIP INCH SIZE OF TREE
20 1-0 TYPE OF TREE
D FOR DOUBLE, T FOR TRIPLE

LANDSCAPE PROTECTION NOTES:

- PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
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- SYMBOL SIZE FOR PROPOSED TREES REPRESENTS TREES AT 15 YEARS OF GROWTH. CANOPY DIAMETERS ARE REPRESENTATIVE OF TREES AT FULL MATURITY.

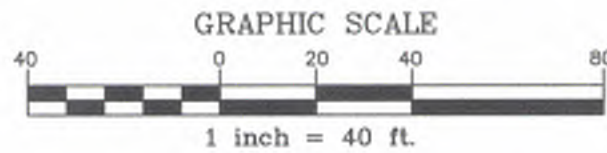


GENERAL NOTES:

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- THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3710979800K DATED FEBRUARY 2, 2007.
- THE SITE IS IN A PROTECTED WATERSHED OVERLAY DISTRICT.
- THERE ARE NO STEEP SLOPES ON SITE.
- THERE ARE NO WETLANDS ON SITE.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE PROPER REMOVAL, STORAGE, AND REUSE OF ANY EXISTING INFRASTRUCTURE MATERIALS ON SITE, INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELECOM, AND FIBER OPTIC.
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- ONCE THE SITE IS STABLE, EROSION CONTROL PERMIT IS CLOSED OUT, AND BOND IS RELEASED, THEN THE LANDSCAPE PLAN SHOULD BE IMPLEMENTED.
- BUILDING FOOTPRINT INFORMATION FROM ORANGE COUNTY GIS.

LEGEND

- BOLLARD
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER VALVE
WATER METER
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
AIR CONDITIONING UNIT
TELEPHONE PEDESTAL
TELEPHONE MANHOLE
STEAM MANHOLE
ELECTRIC BOX
LIGHT POLE
CATCH BASIN
DROP INLET
STORM DRAINAGE MANHOLE
EXISTING TREE
EXISTING TREE CANOPY
PROPOSED TREE
PROPOSED TREE CANOPY
SD STORM DRAIN
OU OVERHEAD UTILITY LINE
UE UNDERGROUND ELECTRIC
UT UNDERGROUND TELEPHONE
FO FIBER OPTICS
W WATER LINE
SS SANITARY SEWER LINE
G GAS LINE
X FENCE LINE
STORM DRAINAGE EASEMENT
LD LIMITS OF DISTURBANCE
PROPERTY LINE



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, NC 27713
License No.: C-0283
(800) 733-5646 • McAdamsCo.com

REVISIONS:

OWNER:
CAS, INCORPORATED
5915 FABRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

THE OAKS CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
OVERALL LANDSCAPE PLAN

PROJECT NO. CAS-10000
FILENAME: CAS10000-LS
CHECKED BY: DAC/DAP
DRAWN BY: SMP/NB
SCALE: 1" = 40'
DATE: 07-24-2018
SHEET NO. LS-1

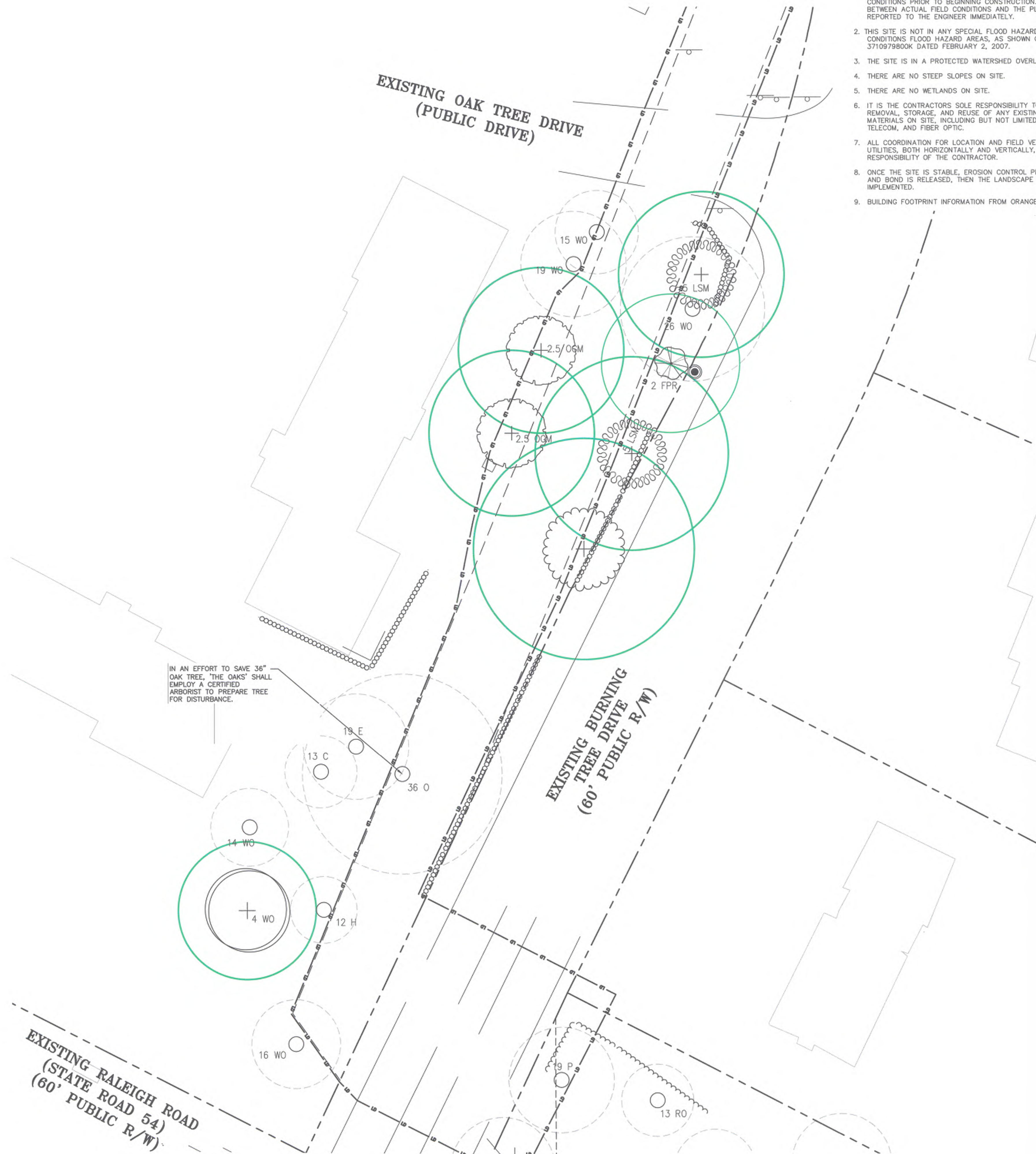
X:\Projects\CAS-10000\Storm\Construction Drawings\Current Drawings\CAS10000-LS1.dwg, 7/26/2018 3:10:29 PM, Babarquez, Natalia

TREE LEGEND

8 A	ASH
10 C	CEDAR
8 CH	CHERRY
10 E	ELM
12 G	SWEET GUM
16 H	HICKORY
4 HO	HOLLY
15 M	MAPLE
20 RO	RED OAK
24 WO	WHITE OAK
31 O	OAK
7 PR	PEAR
18 P	PINE
4 MBT	MULBERRY
2.5 OG	OCTOBER GLORY RED MAPLE
3.5 AB	AUTUMN BLAZE RED MAPLE
5 LSM	LEGACY SUGAR MAPLE
2 FPR	FOREST PANSY REDBUD
2.50	OVERCUP OAK
4 WO	WILLOW OAK
DOUBLE AND TRIPLE TRUNKS	
20 D-O	DOUBLE OAK
20 T-O	TRIPLE OAK
20 T-O	TYPE OF TREE
D	FOR DOUBLE, T FOR TRIPLE

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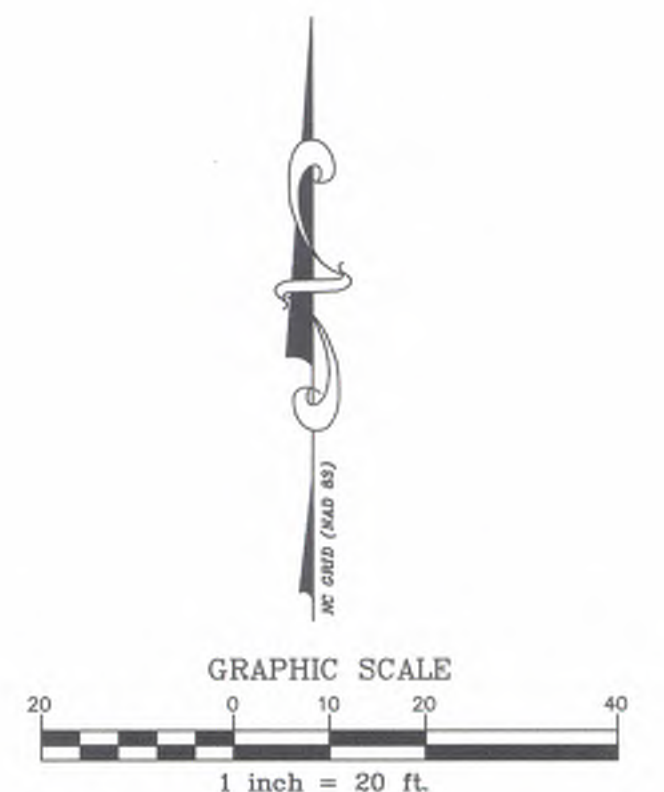


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9. BUILDING FOOTPRINT INFORMATION FROM ORANGE COUNTY GIS.

LEGEND

●	BOLLARD
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER CLEANOUT
○	WATER VALVE
○	WATER METER
○	FIRE DEPARTMENT CONNECTION
○	FIRE HYDRANT
○	AIR CONDITIONING UNIT
○	TELEPHONE PEDESTAL
○	TELEPHONE MANHOLE
○	STEAM MANHOLE
○	ELECTRIC BOX
○	LIGHT POLE
○	CATCH BASIN
○	DROP INLET
○	STORM DRAINAGE MANHOLE
○	EXISTING TREE
○	EXISTING TREE CANOPY
○	PROPOSED TREE
○	PROPOSED TREE CANOPY
—SD—	STORM DRAIN
—OU—	OVERHEAD UTILITY LINE
—UE—	UNDERGROUND ELECTRIC
—UT—	UNDERGROUND TELEPHONE
—FO—	FIBER OPTICS
—W—	WATER LINE
—SS—	SANITARY SEWER LINE
—G—	GAS LINE
—X—X—	FENCE LINE
---	STORM DRAINAGE EASEMENT
---	LIMITS OF DISTURBANCE
---	PROPERTY LINE



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. McADAMS
COMPANY, INC.
2805 Meridian Parkway
Durham, NC 27713
License No.: C-02883
(800) 753-5646 • McAdamsCo.com



REVISIONS:

CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
LANDSCAPE AREA 'A'

PROJECT NO. CAS-10000
FILENAME: CAS10000-LS
CHECKED BY: DAC/DAP
DRAWN BY: SMP/NB
SCALE: 1" = 20'
DATE: 07-24-2018
SHEET NO. LS-2

McADAMS

x:\Projects\CAS-10000\Storm Construction Drawings\Current Drawings\CAS10000-LS1.dwg, 7/26/2018 3:10:45 PM, Boharquez, Notelle

TREE LEGEND

8 A	ASH
10 C	CEDAR
8 CH	CHERRY
10 E	ELM
12 G	SWEET GUM
16 H	HICKORY
4 HO	HOLLY
15 M	MAPLE
20 RO	RED OAK
24 WO	WHITE OAK
31 O	OAK
7 PER	PEAR
18 P	PINE
4 MBY	MULBERRY
2.5 OM	OCTOBER GLORY RED MAPLE
3.5 ABM	AUTUMN BLAZE RED MAPLE
5 LSM	LEGACY SUGAR MAPLE
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2.5 O	OVERCUP OAK
4 WO	WILLOW OAK
DOUBLE AND TRIPLE TRUNKS	
20 D-O	DOUBLE OAK
20 T-O	TRIPLE OAK
CALIPER INCH SIZE OF TREE	
20 T-O	TYPE OF TREE
D	FOR DOUBLE, T FOR TRIPLE

LANDSCAPE PROTECTION NOTES:

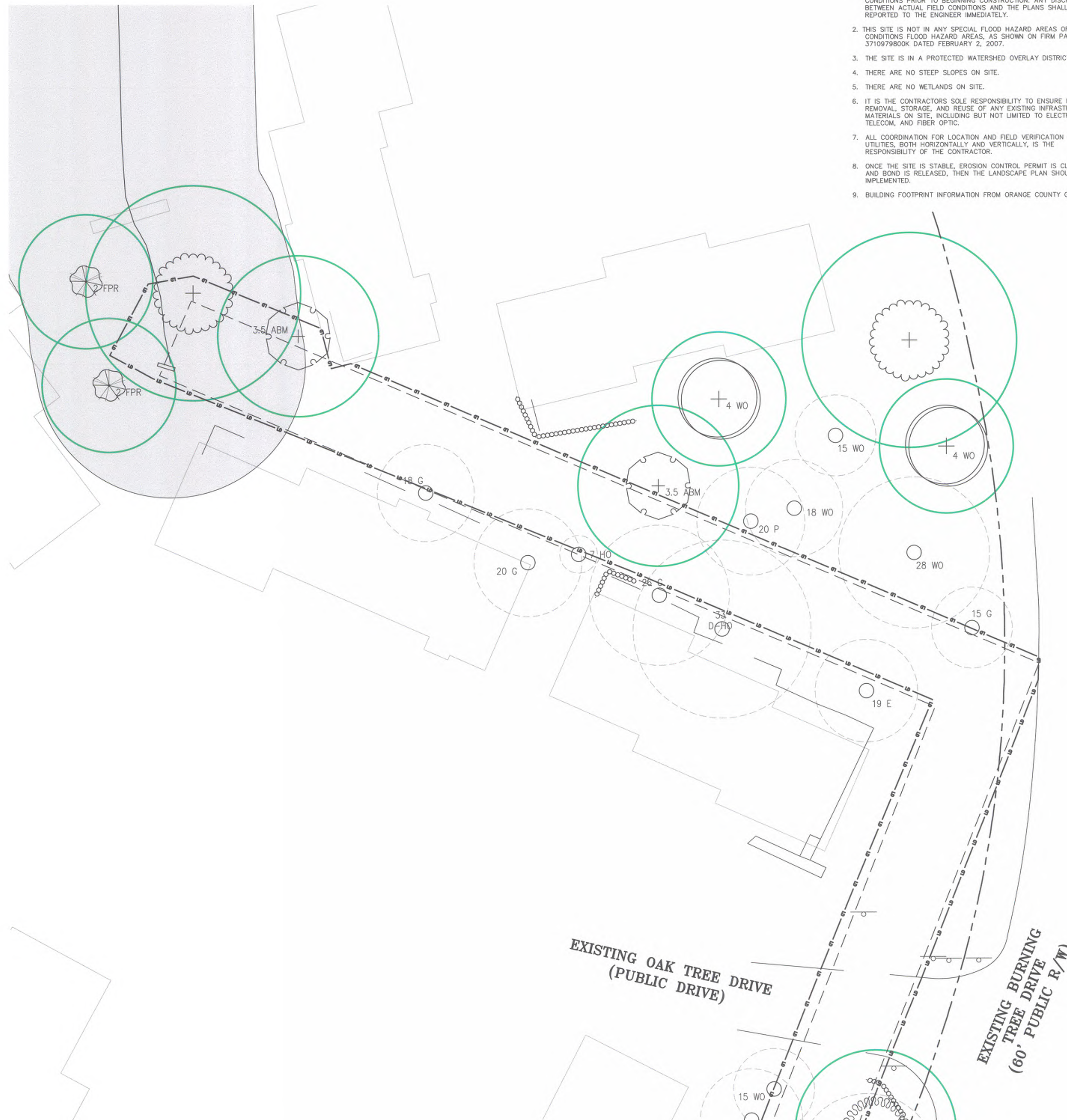
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LEGEND

●	BOLLARD
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER CLEANOUT
○	WATER VALVE
○	WATER METER
○	FIRE DEPARTMENT CONNECTION
○	FIRE HYDRANT
○	AIR CONDITIONING UNIT
○	TELEPHONE PEDESTAL
○	TELEPHONE MANHOLE
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○	STORM DRAINAGE MANHOLE
○	EXISTING TREE
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○	PROPOSED TREE
○	PROPOSED TREE CANOPY
SD	STORM DRAIN
OU	OVERHEAD UTILITY LINE
UE	UNDERGROUND ELECTRIC
UT	UNDERGROUND TELEPHONE
FO	FIBER OPTICS
W	WATER LINE
SS	SANITARY SEWER LINE
G	GAS LINE
X	FENCE LINE
- - -	STORM DRAINAGE EASEMENT
- - -	LIMITS OF DISTURBANCE
- - -	PROPERTY LINE



REVISIONS:

CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
LANDSCAPE AREA 'B'

PROJECT NO. CAS-10000
FILENAME: CAS10000-LS
CHECKED BY: DAC/DAP
DRAWN BY: SMP/NB
SCALE: 1" = 20'
DATE: 07-24-2018
SHEET NO. **LS-3**

McADAMS

THE JOHN R. McADAMS
COMPANY, INC.
2805 Meridian Parkway
Durham, North Carolina 27713
C-0283
(800) 735-5646 • McAdamsCo.com

McADAMS

July 24, 2018

To: Judy Johnson
Town of Chapel Hill Planning Department

From: D. Amos Clark, PE

Re: **The Oaks Condominiums**
CAS-10000

Dear Ms. Johnson:

The Oaks Condominiums is an existing multi-family residential community located at the intersection of NC54 and Burning Tree Drive. In order to minimize flooding on the north side of the development, a bypass pipe has been proposed to divert stormwater around the development and discharge on the upstream side of Burning Tree Drive into the existing culverts running under Burning Tree Drive.

As a result of bypass pipe addition, impacts will be made to the existing perennial stream located at the north side of the development. Thus, we are encroaching in the Resource Conservation District (RCD).

After performing the due diligence associated with the design of this project and inspection of the FEMA floodmap, no FEMA delineated floodway or floodplain is located in the vicinity of the project. Thus, floodproofing is not required.

Please feel free to contact me at (919) 361-5000 should you have any questions or need any further information.

Sincerely,

MCADAMS



D. Amos Clark, PE

Division Director, Engineering + Environmental

Board of Aldermen Minutes - March 11, 1974.

The Oaks--Modification of
Special Use, Landscaping

Mayor Lee said that the Planning Board, Appearance Commission and staff recommend granting the re-

quest, with stipulations. Mr. Kurt Jenne, Director of Urban Development, presented the project and showed it on the map. The developers are requesting approval of changes in landscape plan, approval of constructing internal brick sidewalks, requesting that the unpaved walkway along Highway 54 be grass, changing the walkway exit to Highway

54, eliminating drive-in area for loading to activities building increasing the number of trash containers from three to six, and permitting the developer to add to landscape plan. The following stipulations are recommended:

1. That the bulk trash container in the parking lot of buildings 1, 2 and 3 be relocated as indicated by the Appearance Commission on the plan submitted, provided that this relocation is accessible to service vehicles.
2. That the bulk trash containers be painted to match the screening, provided that this is permitted by the contracted trash collector.
3. That all mechanical equipment be screened from view.
4. That additional planting be provided between the apartment buildings and N.C. 54.
5. That the grass sidewalks along N.C. 54 and Burning Tree Drive be maintained by the developer.
6. That the bulk trash container between buildings 14 and 15 be moved from the parking spaces, and relocated subject to the approval of the Town Manager.
7. That grass sidewalks be provided on the north side of N.C. 54 and the west side of Burning Tree Drive, design of these sidewalks subject to approval by the Town Manager.
8. That the landscape plan be revised to incorporate all stipulations imposed, and that the revised plan be filed with the Town prior to issuance of any further Certificate of Occupancy.
9. That all plantings presently on landscape plan be maintained by owner.

Alderman Smith moved, seconded by Alderman Marshall, that The Oaks Special Use Modification, landscaping, be approved, subject to recommended stipulations. Said motion was unanimously carried.

9798345972	ACE ASSET LEASING LLC	1025 E BALL RD	ANAHEIM	CA	92805
9798451394	ADAMS CHARLES H	523 CASWELL RD	CHAPEL HILL	NC	27514
9798542977	ADAMSON JEROME E	542 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798542977	AHMED MOHAMMED	732 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798552742	ALDERMAN NEIL G	1133 PINEHURST DR	CHAPEL HILL	NC	27517
9798542977	ALDRIDGE WILLIAM S	421 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	ALLEN JAMIE M	13 MERRITT ST	WEST ISLIP	NY	117954228
9798345972	ALTMAN STUART H TRUSTEE	11 BAKERS HILL RD	WESTON	MA	2493
9798353445	AMICK TRUDE J	3 OAKWOOD DR	CHAPEL HILL	NC	27517
9798542977	ANCHOR ASSET MANAGEMENT LLC	432 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	ANDERSON FRANKLIN R	2311 ENVIRON WAY	CHAPEL HILL	NC	27517
9798367967	ANDERSON JOHN J B	15 ROGERSON DR	CHAPEL HILL	NC	27514
9798367138	ANNA BRYAN	9 ROGERSON DR	CHAPEL HILL	NC	27514
9798345972	ANNA DAVID F	P O BOX 4040	CHAPEL HILL	NC	27517
9798469211	ANNAGEN LLC	PO BOX 4040	CHAPEL HILL	NC	27515
9798355474	ARMACOST KATHERINE A	4 OAKWOOD DR	CHAPEL HILL	NC	27517
9798561484	AURENTZ STEPHANIE	1105 PINEHURST DR	Chapel Hill	NC	27517
9798345972	BAILEY BRYAN J	2204 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	BAKER ALICE F	PO BOX 91341	RALEIGH	NC	27675
9798550421	BALOG DOUGLAS M	1160 PINEHURST DR	CHAPEL HILL	NC	27517
9798542977	BARBEE CHAPEL CONDO LLC	5702 DURSTON CT	CHARLOTTE	NC	28269
9798451394	BARBER ELIZABETH	906 OAK TREE DR	CHAPEL HILL	NC	27517
9798459790	BARRY THOMAS A	1148 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	BASS VIRGINIA L	1207 OAK TREE DR	Chapel Hill	NC	27517
9798471149	BAUER THEODORE J	18 DENISON DR	SADDLE RIVER	NJ	7458
9798345972	BAUK KATHRYN	4404 ENVIRON WAY	Chapel Hill	NC	27517
9798542977	BEACHLER JILL S	724 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	BEAM MICHAEL S III	5009 CEDAR GLN	APEX	NC	275029740
9798451394	BECHERER JOHN P	1103 OAK TREE DR	CHAPEL HILL	NC	27517
9798366723	BELL FAMILY PROPERTIES LLC	PO BOX 1113	CHAPEL HILL	NC	27514
9798345972	BELL GERALD D	PO BOX 1113	Chapel Hill	NC	27514
9798355371	BENOIT HENRY B	4390 LAKESHORE RD NORTH	DENVER	NC	28037
9798345972	BENSON GARTH W	22221 DETRIOT RD	ROCKY RIVER	OH	44116
9798451394	BHATTI JAMILA	1107 ROCKFORD RD	HIGH POINT	NC	27262
9798451394	BIDDLE INVESTMENTS LLC	713 PINEHURST DR	CHAPEL HILL	NC	27517
9798367565	BIEK AARON B	PO BOX 568	CHAPEL HILL	NC	27514
9798345972	BIGHAM DAVID S	2301 ENVIRON WAY	Chapel Hill	NC	27517
9798363671	BINNEY REBECCA	21 OAKWOOD DR	CHAPEL HILL	NC	27517
9798451394	BLACK ROGER R TRUSTEE	113 N CHURCH ST	GREENSBORO	NC	27401
9798469310	BOUCHER KIRSTEN B	1124 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	BOULTON DONALD A	907 OAK TREE DR	CHAPEL HILL	NC	275174074
9798451394	BOURNER SUSAN	301 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	BOUSTANI MANIJEH	602 OAK TREE DR	CHAPEL HILL	NC	27514
9798345972	BOWEN GARY L	117 LIONS GATE DRIVE	CARY	NC	27518

9798345972	BRADY MELISSA	PO BOX 741	FAIRMONT	NC	28340
9798367334	BRANTLEY CHARLES FRANK III	11 ROGERSON DR	CHAPEL HILL	NC	275144036
9798377160	BROADWELL MARK PLATT	16 ROGERSON DR	CHAPEL HILL	NC	27514
9798345972	BROWN CAROL NECOLE	4108 DOVER RD	RICHMOND	VA	23221
9798451394	BROWN GLORIA T	1303 OAK TREE DRIVE	CHAPEL HILL	NC	27514
9798542977	BROWN WILLIAM H	1502 ST JAMES PL	KINSTON	NC	28504
9798542977	BRYSON NANCY F	719 GROVE PL	VERO BEACH	VA	32963
9798345972	BULEY BRUCE	3510 ENVIRON WAY	CHAPEL HILL	NC	27517
9798456193	BURKE CHARLES T	1139 BURNING TREE DR	CHAPEL HILL	NC	27514
9798451394	BURKHEAD ANNA	1839 BEAVER PL	ANCHORAGE	AK	99504
9798462175	BURNS EDWIN J	1118 BURNING TREE DR	Chapel Hill	NC	27514
9798345972	CAMPBELL JENESS	4416 ENVIRON WAY	CHAPEL HILL	NC	27517
9798457404	CAPDET VANESSA C	1131 BURNING TREE DR	CHAPEL HILL	NC	27517
9798451394	CAPPS MICHAEL B	1806 OAK TREE DR	CHAPEL HILL	NC	27517
9798367669	CARLSON NANCY H	4224 VERDE VISTA CIR	ASHEVILLE	NC	28804
9798345972	CASEY PAUL F	2211 ENVIRON WAY	CHAPEL HILL	NC	27517
9798546749	CASTALIA GROUP LLC	PO BOX 33279	RALEIGH	NC	27636
9798451394	CASTANEDA PAVELID	1703 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	CATHCART ROBERT A	4517 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	CHAN WILLIAM T	4801 WOOD VALLEY DR	RALEIGH	NC	27613
9798565052	CHAPEL HILL CARRBORO YOUNG MENS CHRISTIAN ASSOC'	980 MARTIN LUTHER KING JR	CHAPEL HILL	NC	27514
9798471629	CHAPEL HILL COUNTRY CLUB	PO BOX 2165	CHAPEL HILL	NC	27514
9798542977	CHEN TE HUNG TRUSTEE	742 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	CHENG NANCY	202 OAK TREE DR	CHAPEL HILL	NC	27517
9798353332	CIAPCIAK CHRISTOPHER ETAL	3531 STONGATE DR	CHAPEL HILL	NC	27516
9798542977	CLOWSE BARBARA	613 BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	COFFEE GLENN N	300 JORDAN HILLS DR	CHAPEL HILL	NC	27517
9798345972	COMMUNITY HOME TRUST	PO BOX 2315	CHAPEL HILL	NC	27515
9798542977	CONERLY PORTER	722 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798542977	CONNUCK PAUL D	634 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	COOPER WALTER A III	4348 OLD FORGE DR	GASTONIA	NC	28056
9798451394	CORY STEVEN	1804 OAK TREE DR	Chapel Hill	NC	27517
9798561273	CREATORE PATRICIA J TRUSTEE	1113 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	CREECH WILLIAM E H	2612 DOVER RD	RALEIGH	NC	276082032
9798365085	CROTHERS TIMOTHY W	14 OAKWOOD DR	CHAPEL HILL	NC	27517
9798451394	CULLITON LESLIE R	708 OAK TREE DR	Chapel Hill	NC	27517
9798451394	DAVIES BENJAMIN D	118 NOTTINGHAM DR	CHAPEL HILL	NC	27517
9798376233	DAVIS JOHN M	32 OAKWOOD DR	CHAPEL HILL	NC	275175649
9798345972	DEBLASIO JOSEPH F	4506 ENVIRON WAY	CHAPEL HILL	NC	27517
9798544489	DMC EV LLC	2501 BLUE RIDGE RD	RALEIGH	NC	27607
9798357403	DONOHUE ERIN	3 ROGERSON DR	CHAPEL HILL	NC	27517
9798542977	DONOHUE JAMES F	734 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798357821	DOOLEY RAYMOND E	6 ROGERSON DR	CHAPEL HILL	NC	275174035
9798451394	DRUTZ JONATHAN M	101 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	DUCEY THOMAS M	116 SWIFT ISLAND	NEW LONDON	NC	28127
9798469741	DUFFY DANIEL S	1108 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	DUNAVANT VINCENT A	206 OAK TREE DR	CHAPEL HILL	NC	27517
9798469620	DUNNICK CORY ADELINE	230 ELM ST	DENVER	CO	80220
9798345972	EAST 54 OFFICE RETAIL LLC	1450 ENVIRON WAY	CHAPEL HILL	NC	27517
9798345972	EDWARDS MORGAN R	1906 HOLDING PL	KINSTON	NC	28501
9798446949	EISCHEN JEFFREY W	1143 BURNING TREE DR	CHAPEL HILL	NC	27517
9798345972	EKIS HEIDI M	4417 ENVIRON WAY	Chapel Hill	NC	27517
9798553227	ELENGOLD SCOTT A	111 GURNSEY TRL	CHAPEL HILL	NC	27517
9798451394	ELLIS MONAGHAN JOHN J	6 MAYNARD CT	GRAND ISLE	VT	54582021
9798345972	ENVIRONS AT EAST 54 LLC	4530 PARK RD STE 410	CHARLOTTE	NC	28209
9798561374	ENYEDI MARK A	1109 PINEHURST DR	CHAPEL HILL	NC	275175662
9798531950	EXCHANGE AT MEADOWMONT LLC	5400 TRINITY RD	RALEIGH	NC	27607
9798542977	FARMER LAWRENCE W	531 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798363468	FEDER NANCY L	19 OAKWOOD DR	CHAPEL HILL	NC	27514
9798345972	FEDEROWICZ TIMOTHY J	2308 ENVIRON WAY	Chapel Hill	NC	27517
9798345972	FIELDS MELVIN	1024 CLELAND DR	CHAPEL HILL	NC	27517
9798542977	FILES LAUREL	733 W BARBEE CHAPEL RD	Chapel Hill	NC	27517

9798542977	FISHMAN IRA A	6917 MARBURY RD	BETHESDA	MD	20817
9798451394	FORBES MALCOLM	1006 HIGHLAND WOODS RD	CHAPEL HILL	NC	27517
9798345972	FRAMPTON HARRY H III	PO DRAWER 2770	AVON	CO	81620
9798561083	FREDERICK LAURETTA S TRUSTEE	1121 PINEHURST DR	CHAPEL HILL	NC	27517
9798345972	FREY BENJAMIN	2203 ENVIRON WAY	CHAPEL HILL	NC	27517
9798542977	FUTURE PATH LLC	1704 SOFTWIND WAY	WILMINGTON	NC	28403
9798542977	GAMMON G ROLAND III	2845 CLAREMONT RD	RALEIGH	NC	27608
9798367765	GARDNER JOANNE K TRUSTEE	215 ROGERSON DR	CHAPEL HILL	NC	27517
9798542977	GARRETT MELISSA MANE	631 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	GIBSON SUSAN E	1505 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	GILL SHANNON A	302 OAK TREE DR	CHAPEL HILL	NC	27517
9798459919	GINDES JONATHAN	1136 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	GLASS KAREN L	804 OAK TREE DR	Chapel Hill	NC	27517
9798382187	GLEN LENNOX APARTMENTS LLC	4601 PARK RD	CHARLOTTE	NC	28209
9798451394	GLENN E VERNON F	49 IMMIGRATION ST STE 100	CHARLESTON	SC	29403
9798345972	GLOER DAVID W	105 DUCKHEAD POINT	CARY	NC	27518
9798345972	GONZALEZ DANIEL L	2411 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	GORDON CHARLES S TRUSTEE	1304 OAK TREE DR	CHAPEL HILL	NC	275174078
9798345972	GOULD BONNIE K TRUSTEE	2303 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	GRADY THOMAS F III	1901 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	GRAVELY RONALD S	3210 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	GREENBERG STUART	1002 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	GREGORY MARC H	705 OAK TREE DR	CHAPEL HILL	NC	27517
9798542977	GRIMES WHITEFORD D TRUSTEE	532 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798376130	GROSSMAN APRIL	30 OAKWOOD DR	CHAPEL HILL	NC	275145649
9798345972	GROSSWALD PAUL	4401 ENVIRON WAY	CHAPEL HILL	NC	27517
9798551175	GUPTA NEERAJ	1209 PINEHURST DR	CHAPEL HILL	NC	27514
9798451394	HALEY CLIFFORD E III	101 FAISON RD	CHAPEL HILL	NC	27517
9798451394	HAMADANI MASOUD	1355 REGULATOR ST	RALEIGH	NC	27603
9798451394	HAMMER DANIEL A	901 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	HAMMOND JANET	112 UPPER MOUNTAIN AVE	MONTCLAIR	NJ	7042
9798459034	HANSEN COREY M	1212 PINEHURST DRIVE	CHAPEL HILL	NC	27517
9798451394	HARIHARAN PRIYA R	1205 OAK TREE DR	CHAPEL HILL	NC	27517
9798542977	HARRELL NEAL B	422 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798540989	HARRIS EILEEN ETAL	3110 JONES FERRY RD	CHAPEL HILL	NC	27516
9798542977	HAYES JOYCE W	524 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	HAYES T NOLAN	2601 ENVIRON WAY	Chapel Hill	NC	27517
9798345972	HEALEY COOPER ETAL	4414 ENVIRON WAY	CHAPEL HILL	NC	27517
9798441499	HEALTH SYSTEM PROPERTIES LLC	211 FRIDAY CENTER DR STE 2043	CHAPEL HILL	NC	27517
9798345972	HEARTINGER DAVID J	3606 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	HEATHER H NESS REVOCABLE LIVING TRUST	700 GATEHOUSE LN	COLUMBUS	OH	432351732
9798542977	HEINE M WAYNE	7257 CATHEDRAL ROCK RD	TUCSON	AZ	85718
9798345972	HENSON DAVID L	2512 ENVIRON WAY	CHAPEL HILL	NC	27517
9798345972	HERRING MARY ELIZABETH	3201 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	HERSHFIELD JOANNE	353 FEARRINGTON POST	PITTSBORO	NC	27312
9798451394	HIGGINS YVONNE K	801 OAK TREE DR	CHAPEL HILL	NC	27517
9798462350	HIGHTOWER LOUIS	1114 BURNING TREE DR	CHAPEL HILL	NC	275144004
9798552583	HOCHBERG ADAM KEITH	1141 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	HOFFMAN CHARLES R S	1100 HAYWOOD HILLS LANE	ASHLAND CITY	TN	37015
9798345972	HOFFMANN GROVE LLC	632 HUNT CLUB DR	COROLLA	NC	27927
9798345972	HOLLAND WAYNE	3601 ENVIRON WAY	CHAPEL HILL	NC	27517
9798550500	HOLMES EDWARD S JR	1156 PINEHURST DR	CHAPEL HILL	NC	27517
9798258108	HOLMES OIL COMPANY INC	100 EUROPA DR STE 550	CHAPEL HILL	NC	27517
9798451394	HOOGERVORST DOUGLAS J	1501 OAK TREE DR	CHAPEL HILL	NC	27517
9798552653	HOOGERVORST DOUGLAS J	1137 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	HOPPER SETH H ETAL	957 NEW HOPE CHURCH RD	APEX	NC	27523
9798355871	HORNEY JENNIFER	206 FIRESIDE CIR	COLLEGE STATION	TX	77840
9798451394	HORTON ROGER	2338 ROSEWOOD AVE	WINSTON-SALEM	NC	27103
9798366108	HOUNSHELL PAUL B	312 CAROLINA MEADOWS VILLA	CHAPEL HILL	NC	27517
9798451394	HOUSE WILLIAM DURWARD	1712 DAMASCUS CH RD	CHAPEL HILL	NC	27516
9798542977	HOWELL LYNDA P	1098 BURNING TREE DR	Chapel Hill	NC	27517
9798345972	HOWLETT KATHRYN L	4518 ENVIRON WAY	CHAPEL HILL	NC	27517
9798546749	HTHS HOLDINGS LLC	PO BOX 31	FARMVILLE	NC	27828
9798459870	HUANG DAVID Y TRUSTEE	1144 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	HUANG STEPHANIE	1408 OAK TREE DR	CHAPEL HILL	NC	27517
9798542977	HUANG YOLANDA	15 CENTRAL PARK W	NEW YORK	NY	10023
9798451394	HUBER MARC S	205 DALMENY DR	CARY	NC	27513
9798453847	HUCKABEE MICHAEL W	1126 BURNING TREE DR	CHAPEL HILL	NC	27517
9798345972	HUDEPOHL JOHN	4516 ENVIRON WAY	CHAPEL HILL	NC	27517
9798459849	HUEY BURKETT W JR	1140 PINEHURST DR	CHAPEL HILL	NC	27517
9798345972	HUTCHINS SELDEN P	2015 S LIVE OAK PKWY	WILMINGTON	NC	28403
9798345972	IHP CHAPEL HILL NC OWNER LLC	222 LAKEVIEW AVE	WEST PALM BEACH	FL	33401

9798345972	JACKSON JONATHAN D	3209 ENVIRON WAY	CHAPEL HILL	NC	27517
9798546749	JC CHAPEL HILL LLC	335 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798546749	JEFFS ROGER A TRUSTEE	339 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	JENKINS JOSEPH M	101 VILLAGE GATE DR	CHAPEL HILL	NC	27514
9798464985	JESKE ROBERT S	1095 BURNING TREE DR	Chapel Hill	NC	27517
9798451394	JIANG KATHERINE A	305 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	JOYNER GARY STILES	PO BOX 7242	GREENVILLE	NC	27835
9798542977	JUDD BARBARA G TRUSTEE	433 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798554593	KANTOR CAROLE C	4400 WEST SPRUCE ST	TAMPA	FL	33607
9798441243	KARAN NEDRET	2406 HOLLIS WAY	Mebane	NC	27302
9798345972	KARNUTA DAN	981 PATRICIAN CT	FAIRVIEW	TX	75069
9798542977	KATHYRN L ELLIS TRUST	3415 SURREY RD	Durham	NC	27707
9798551140	KAVANAGH JOAN M	1213 PINEHURST DRIVE	CHAPEL HILL	NC	27517
9798542977	KAY NEAL	514 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	KELLER DONALD NELSON	2462 FOXWOOD DR	CHAPEL HILL	NC	27514
9798542977	KEMP BERT	431 W BARBEE CHAPEL RD	Chapel Hill	NC	27517
9798357923	KERZMAN NORBERTO L M	7 ROGERSON DR	CHAPEL HILL	NC	27514
9798345972	KHIATANI VISHAL L	2202 ENVIRON WAY	CHAPEL HILL	NC	27517
9798552200	KINTE NEGEST	1205 PINEHURST DR	CHAPEL HILL	NC	27517
9798459680	KLAPPER JACOB	1152 PINEHURST DR	CHAPEL HILL	NC	27517
9798441243	KMS GROUP LLC	4300 THETFORD RD	Durham	NC	27707
9798451394	KNOTT CHANDRA	413 E WINMORE AVE	CHAPEL HILL	NC	27516
9798451394	KOPYTOWSKI DEBORAH R	1903 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	KULKARNI RESHAM DATTATRAYA	514 SHERWOOD FOREST PL	CARY	NC	27519
9798542977	KUNCL WAYNE T TRUSTEE	721 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798363067	KUTNER JOEL T	13 OAKWOOD DR	CHAPEL HILL	NC	27517
9798345972	LANEY WILLIAM B ETAL	706 FLORHAM DR	HIGH POINT	NC	27262
9798451394	LEBOLD DANIEL AUGUSTUS	204 OXFORD HILLS DR	Chapel Hill	NC	27514
9798451394	LEMMO ANTHONY	307 OAK TREE DR	CHAPEL HILL	NC	27517
9798464599	LEVINE ARICK	1103 BURNING TREE DR	CHAPEL HILL	NC	27514
9798451394	LEWIS MICHAEL B	1006 OAK TREE DR	CHAPEL HILL	NC	275174075
9798357506	LIAO CATHERINE E	4 ROGERSON DR	CHAPEL HILL	NC	27517
9798353557	LIAO PETER B	5 OAKWOOD DR	CHAPEL HILL	NC	27517
9798345972	LIN WEILI	4502 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	LINDLEY JOSEPH S	1406 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	LINDSAY DONALD S	68 WESTOVER DR	WAYNESBORO	VA	22980
9798345972	LINDSAY TIMOTHY M	2312 ENVIRON WAY	Chapel Hill	NC	27517
9798345972	LINDSEY HAROLD D	264 MOSHER WAY	PALO ALTO	CA	94304
9798552832	LLOYD MAX	1129 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	LOCKE CHARLES S	606 GLENVIEW RD	ENFIELD	NC	27823
9798465802	LONDON ROBERT L	1099 BURNING TREE DR	CHAPEL HILL	NC	27517
9798451394	LONG LINDA W	1805 OAK TREE DR	CHAPEL HILL	NC	275174062
9798451394	LU QUN	105 OAK TREE DR	CHAPEL HILL	NC	27517
9798542977	LYALL RONALD N TRUSTEE	523 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	LYDICK ALLEN	613 MISTY ISLE PL	RALEIGH	NC	27615
9798451394	MADISON RIVER LLC	2113 FALLON OAKS CT	RALEIGH	NC	27608
9798451394	MAK HOMES LLC	210 FAISON RD	Chapel Hill	NC	27517
9798474170	MAKLAKOFF ALEXIS	1091 BURNING TREE DR	CHAPEL HILL	NC	275175611
9798355688	MALCOLM LAURA B	8 OAKWOOD DR	CHAPEL HILL	NC	275175651
9798451394	MANGUM RODNEY C	PO BOX 862	CHAPEL HILL	NC	27514
9798451394	MANSOUR M A	5500 N HAWTHORNE WAY	RALEIGH	NC	27613
9798445888	MARLOW WILLIAM C	1147 BURNING TREE DR	CHAPEL HILL	NC	27517
9798542977	MARTIN SUSAN K	642 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	MASON TONYA A	2212 ENVIRON WAY	CHAPEL HILL	NC	27517
9798357301	MAYNARD VIRGINIA KENNEDY	PO BOX 2724	CHAPEL HILL	NC	275152724
9798542977	MCCALL ROBERT N	513 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	MCCUBBIN JAMES E IV	1122 BROOK RUN RD	HALIFAX	VA	24558
9798353659	MC GEE GREGORY L	520 HOGAN FARM RD	APEX	NC	27523
9798451394	MCGINNIS WALTER J	1106 OAK TREE DR	CHAPEL HILL	NC	27517
9798553413	MCLEAN SAMUEL A TRUSTEE	104 GURNSEY TRL	CHAPEL HILL	NC	275177507
9798555721	MEADOWMONT COMMUNITY ASSOCIATION INC	429 MEADOWMONT VILLAGE CIR	CHAPEL HILL	NC	27517
9798345972	MEDURE LINDA M TRUSTEE	285 BECKINGHAM LOOP	CARY	NC	27519
9798451394	MEYER KIMBERLY	1302 OAK TREE DR	CHAPEL HILL	NC	27514
9798345972	MEZER STEVEN H ETAL	5209 ENCLAVE DR	OLDSMAR	FL	34677
9798542977	MICHALAK SARAH C	633 WEST BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798546749	MIKHAIL ASHRAF	110 DOVER LN	JACKSONVILLE	FL	28540
9798345972	MILLER MARK F	812 OSPREY RIDGE RD	WINSTON SALEM	NC	27106
9798345972	MOCK CONRAD D	2511 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	MOLYNEAUX ELIZABETH ETAL	458 TSCHIFFELY SQ RD	GAITHERSBURG	MD	20878
9798345972	MONROE MARILYN RUTH	2604 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	MOODY GREY B	20 KENDALL DR	CHAPEL HILL	NC	27514
9798345972	MOONSHADOW PROPERTIES LLC	PO BOX 425	SARATOGA SPRINGS	NY	12866

9798451394	MORGAN WAYNE F	8208 KILDARE ST	CLEMMONS	NC	27012
9798345972	MORIN ROBERT HUNTER	980 BELLE PLAINS RD	FREDERICKSBURG	VA	22405
9798451394	MORITZ ARTHUR W	902 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	MORRIS JOHN B III	2502 ENVIRON WAY	CHAPEL HILL	NC	27517
9798469100	MORSE FAMILY LLC	10709 ROUND BROOK CR	RALEIGH	NC	27617
9798451394	MOSHIER JOYCE A	1904 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	MOUNT LORETTA JANE	503 OAK TREE DR	CHAPEL HILL	NC	275144071
9798451394	MURRAY ELEANOR W	1008 OAK TREE DR	CHAPEL HILL	NC	27517
9798542977	MUSTIAN HOWARD M	731 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	MYERS ALEXANDER G	1551 BEN SAWYER BLVD	MT PLEASANT	SC	29464
9798542977	MYERS DAN A	1106 WALKER DR	KINSTON	NC	28501
9798451394	MYERS SHEVA FRANCINE	1803 OAK TREE DR	CHAPEL HILL	NC	275174062
9798345972	MYRICK THOMAS G	9228 TRESANTON DR	CHARLOTTE	NC	28210
9798367855	NAGLE PATRICK J	14 ROGERSON DR	Chapel Hill	NC	27514
9798451394	NAGLE TYLER	11014 POUND HILL LN	CHARLOTTE	NC	28277
9798345972	NATHANI ADIL	3504 ENVIRON WAY	CHAPEL HILL	NC	27517
9798542977	NEBEL WILLIAM A	621 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	NELSON SARAH C	1402 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	NEWMAN JEFFERY	3008 JOVEL CT	APEX	NC	27539
9798432788	NORTH CAROLINA STATE OF PHI DELTA CHI	204 FINLEY GOLF COURSE RD	CHAPEL HILL	NC	27517
9798451394	OAKS OWNERS ASSOCIATION	5915 FARRINGTON RD #104	CHAPEL HILL	NC	27517
9798542977	OBRIEN WILLIAM L JR	424 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	OCONNOR CHRISTOPHER M	1121 PINEHURST DR	CHAPEL HILL	NC	27517
9798345972	ODALY JOHN P	3610 ENVIRON WAY	Chapel Hill	NC	27517
9798451394	OYAN GERALD B	204 WILD OAK DR	SWANSBORO	NC	28584
9798345972	PACE SMITH VIVIAN	2612 ENVIRON WAY	CHAPEL HILL	NC	27517
9798542977	PAGANO JOAN F	114 LAUREL HILL RD	CHAPEL HILL	NC	27514
9798353954	PALLADINO LINDA B	11 OAKWOOD DR	CHAPEL HILL	NC	27514
9798345972	PALMORE SUSAN M	1010 WILDER AVE	HONOLULU	HI	96822
9798451394	PARK JENNIFER	604 OAK TREE DR	CHAPEL HILL	NC	275174072
9798451394	PARKER WILLIAM P	1046 BURNING TREE DR	CHAPEL HILL	NC	27514
9798367652	PARKS E GLENN	211 ROGERSON DR	CHAPEL HILL	NC	275174081
9798451394	PARKS O TRACY III	PO BOX 4077	PINEHURST	NC	283744077
9798345972	PATEL JAY	3302 ENVIRON WAY	CHAPEL HILL	NC	27517
9798363886	PAUWELS KENNETH G	25 OAKWOOD DR	CHAPEL HILL	NC	275175650
9798462641	PEARSALL STUART K	1106 BURNING TREE DR	Chapel Hill	NC	27514
9798555421	PEDERSEN LARS C	209 OLD BARN LN	CHAPEL HILL	NC	275177501
9798366928	PEDERSEN LEE	28 OAKWOOD DR	CHAPEL HILL	NC	275175649
9798451394	PENG XIANLU	101 SCIENCE DR	DURHAM	NC	27708
9798345972	PETTERSON LYNNE M	3604 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	PHILLIPPI P JEFFREY	8650 GETALONG RD	CHARLOTTE	NC	28213
9798542977	PHOENIX KAOLA A	624 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798441243	PINEHURST PROPERTY HOLDINGS LLC	194 FINLEY GOLF COURSE RD #100	CHAPEL HILL	NC	27517
9798363774	POOCK MICHAEL	23 OAKWOOD DR	CHAPEL HILL	NC	275175650
9798451394	PORTER PATRICIA B	505 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	PROCTOR BRYAN	1001 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	PROCTOR KAREN M	PO BOX 52385	DURHAM	NC	27717
9798345972	RAMBARAT CECIL	1229 PINEHURST DR	CHAPEL HILL	NC	27517
9798540816	RAMBARAT DULAREE	1229 PINEHURST DR	CHAPEL HILL	NC	27517
9798459173	RANSOHOFF DAVID F	1208 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	REDMAN KENNETH A	8501 MEADOW RIDGE LN	CHAPEL HILL	NC	27516
9798345972	REED CHARLES N	1860 9TH ST COURT NW	HICKORY	NC	28601
9798345972	REID THOMAS R	3301 ENVIRON WAY	CHAPEL HILL	NC	27517
9798345972	RESNICK DEBORAH	2401 ENVIRON WAY	CHAPEL HILL	NC	27517
9798554403	RESNICK MICHAEL	102 GURNSEY TR	CHAPEL HILL	NC	27514
9798357109	RHYNE SIMS PROPERTIES LLC	517 NORTH ST	CHAPEL HILL	NC	27514
9798542977	RIFKIN MARLENE	741 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27516
9798451394	RIGGSBEE BETTY R	1705 OAK TREE DR	CHAPEL HILL	NC	275144061
9798451394	RILEY MASON	101 NC HWY 54 BYPASS	CARRBORO	NC	27510
9798542977	ROBERTS MICHAEL W	641 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798451394	ROBINSON LOREN	1100 S BROAD ST	PHILADELPHIA	PA	19146
9798451394	ROE OLIVIA C	108 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	RONG XIANGHONG	4831 HIGHGATE DR	DURHAM	NC	27713
9798457310	ROPER WILLIAM L	1135 BURNING TREE DR	CHAPEL HILL	NC	275174005
9798542977	ROSENBERG LEONARD L	2645 S BAYSHORE DR	MIAMI	FL	33133
9798451394	ROSS MIRIAM K	905 OAK TREE DRIVE	CHAPEL HILL	NC	27514
9798345972	ROSS WILLIAM G JR	337 TENNEY CIR	Chapel Hill	NC	27514
9798451394	RYAN RONALD B	1802 OAK TREE DR	CHAPEL HILL	NC	27517
9798542977	SACKS KATHRYN S	623 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798345972	SADLER HERMAN M III	1501 WIGGINS RD	EMPORIA	VA	23847
9798542977	SALMON EDWARD D	534 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798552226	SARSFIELD SALLY	1201 PINEHURST DR	CHAPEL HILL	NC	27517

9798345972	SAWITZ PROPERTIES LLC	104 SAN MATEO PL	CHAPEL HILL	NC	27514
9798345972	SAWYER H MURRAY JR	922 FAIRTHORNE AVE	WILMINGTON	DE	19807
9798451394	SCHNEIDER ROBERT	4309 PEACHWAY DR	DURHAM	NC	27705
9798363989	SCHOPLER ELIZABETH B	27 OAKWOOD DR	CHAPEL HILL	NC	27517
9798462725	SCHREIBER JASON	1102 BURNING TREE DR	CHAPEL HILL	NC	27517
9798555417	SCIBIOR DARIUSZ S.	211 OLD BARN LN	CHAPEL HILL	NC	27517
9798451394	SEALI ENTERPRISES LLC	239 PARKER RD	CHAPEL HILL	NC	27517
9798441243	SGM REALTY ASSOCIATES LLC	194 FINLEY GOLF COURSE RD #202	CHAPEL HILL	NC	27517
9798451394	SHANKER KASTURI G HRS	301 MORAVIA LANE	CARY	NC	27513
9798448995	SILVER WILLIAM P	1216 PINEHURST DR	CHAPEL HILL	NC	27517
9798451394	SIMPSON CHRISINA E	1003 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	SINGLETARY GLORIA	1606 OAK TREE DR	CHAPEL HILL	NC	27514
9798471026	SMITH BRETT R	1094 BURNING TREE DR	CHAPEL HILL	NC	27514
9798366825	SMITH DOUGLAS	P O BOX 2426	CHAPEL HILL	NC	27515
9798546749	SMITH HENRY L	345 WEST BARBEE CHAPEL RD	Chapel Hill	NC	27517
9798367455	SMITH STEPHEN G	12 ROGERSON DR	CHAPEL HILL	NC	27514
9798451394	SOMAN SALIL S	106 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	SPEARMAN ROBERT W	2504 ENVIRON WY	Chapel Hill	NC	27517
9798345972	STALLINGS A DONALD	300 S WESLEYSAN BLVD	ROCKY MOUNT	NC	27804
9798247978	STATE EMPLOYEES CREDIT UNION	PO BOX 26807	RALEIGH	NC	27611
9798340950	STATION AT CHAPEL HILL LLC	1450 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	STEELE GARY T	1601 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	STEINER MICHAEL ULKE	14 LITCHFORD RD	Chapel Hill	NC	27514
9798463011	STEPHENS BRIAN V	1122 BURNING TREE DR	Chapel Hill	NC	27517
9798451394	STEVENS MICHAEL	1208 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	STRAUSS RONALD P	806 OAK TREE DR	CHAPEL HILL	NC	275174076
9798451394	SUDDARTH JEANE R	745 CEDAR CLUB CIR	CHAPEL HILL	NC	27517
9798345972	SUNG IN	112A CROSSGATE S	STARKVILLE	MS	39759
9798345972	SUNPOCKET REALTY LLC	109 E FRANKLIN ST	Chapel Hill	NC	27514
9798451394	SUTHERLAND JOEL THOMAS	706 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	TAKI EAGLE ENTERPRISES LLC	305 CLARKSON RIDGE LN	HILLSBOROUGH	NC	27278
9798451394	TAM JASON W	1503 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	TANG JASON J	7400 RIVER RD	NORTH BERGEN	NJ	7047
9798542977	TAYLOR ELIZABETH	533 W BARBEE CHAPEL RD	CHAPEL HILL	NC	27517
9798542977	TEWARI SANGITA M	504 KENSINGTON DR	GREENVILLE	NC	27858
9798345972	THORP HELEN	3206 ENVIRON WAY	CHAPEL HILL	NC	27517
9798345972	TIANGCO MICHAEL P	2603 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	TOLLEY STUART G	1301 OAK TREE DR	CHAPEL HILL	NC	27517
9798345972	TOUGH BUCKET LLC	1450 RALEIGH RD	CHAPEL HILL	NC	27517
9798345972	TSAI KATY	3408 ENVIRON WAY	CHAPEL HILL	NC	27517
9798451394	TUCKER DAN C JR	312 DEERFIELD RD	APEX	NC	27523
9798451394	TUTTLE LESLIE	32 KINGS HWY WEST	HADDONFIELD	NJ	8033
9798441243	UNC ESHELMAN SCHOOL OF PHARMACY FOUNDATION	194 FINLEY GOLF COURSE RD STE 106	CHAPEL HILL	NC	27517
9798442085	UNIVERSITY OF N C	GILES F HORNEY BLG SUITE 103	CHAPEL HILL	NC	275991060
9798451394	VAIDYA PARTHIV	204 OAK TREE DR	CHAPEL HILL	NC	27517
9798451394	VAN HEUSDEN CATHARINA	1603 OAK TREE DR	Chapel Hill	NC	27517
9798355983	VERKERK JOOST F	12 OAKWOOD DR	CHAPEL HILL	NC	27514
9798550331	VIENS NICHOLAS A	1200 PINEHURST DR	CHAPEL HILL	NC	27517
9798377272	VOGLER MARY F A	17 ROGERSON DR	CHAPEL HILL	NC	275174036
9798451394	VONRAVEN LLC	11324 EMERALD CREEK DR	RALEIGH	NC	27617
9798462445	VOZELLA JOSEPH A III	1110 BURNING TREE DR	CHAPEL HILL	NC	27517
9798552422	WALDORF GERHART T	106 GURNSEY TRAIL	CHAPEL HILL	NC	27517
9798561163	WALSH RYAN C	1117 PINEHURST DR	Chapel Hill	NC	27517
9798552911	WALSH TIMOTHY W TRUSTEE	1125 PINEHURST DR	CHAPEL HILL	NC	275178639
9798451394	WATERS DAVID R	605 E SPRING ST	OXFORD	NC	27565
9798451394	WEHMANN WARREN QUINN	203 OAK TREE DR	CHAPEL HILL	NC	275174065
9798367035	WHISENANT WILLIAM D	333 BURLAGE CR	CHAPEL HILL	NC	275142703
9798373191	WHITAKER OLIVA J	29 OAKWOOD DR	CHAPEL HILL	NC	27517
9798551015	WHITE TYLER	1217 PINEHURST DR	CHAPEL HILL	NC	27517
9798353852	WHITWORTH MARGARET V	9 OAKWOOD DR	CHAPEL HILL	NC	27517
9798451394	WIGGS BOBBY R III	1405 OAK TREE DR	CHAPEL HILL	NC	27517
9798540954	WILDE NATALIE	1225 PINEHURST DR	Chapel Hill	NC	27517
9798355576	WILLIAMS SHERILYN VAN V	6 OAKWOOD DR	CHAPEL HILL	NC	27517
9798451394	WIRTH ROBERT A	1506 OAK TREE DR	CHAPEL HILL	NC	27517
9798469319	WOOD SEAN	1120 PINEHURST DR	CHAPEL HILL	NC	27517
9798366610	WOODS ROBERT H	2992 FOXTAIL CREEK AVE	HENDERSON	NV	890527078
9798345972	WU JINDI	801 KEY HIGHWAY UNIT 253	BALTIMORE	MD	21230
9798345972	YANG YANG C TRUSTEE	2302 ENVIRON WAY	CHAPEL HILL	NC	27517
9798357628	YARNELL CRAIG P	5 ROGERSON DR	CHAPEL HILL	NC	275174035
9798345972	YU ZHECHEN	2305 ENVIRON WAY	CHAPEL HILL	NC	27517
9798550202	ZOLA DANIEL S	1204 PINEHURST DR	CHAPEL HILL	NC	27517

RESOURCE CONSERVATION DISTRICT ENCROACHMENT EXEMPTION APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd
phone (919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9798451394

Date: 07/24/18

Section A: Project Information

Project Name: The Oaks Condominiums

Property Address: NW Quadrant of the NC54 & Burning Tree Dr

Zip Code: 27517

Existing Zoning District: R-4

Section B: Applicant, Owner and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed)

Name: Amos Clark, PE

Address: 2905 Meridian Parkway

City: Durham

State: North Carolina

Zip Code: 27713

Phone: 919-361-5000

Email: clark@mcadamsco.com

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:

A handwritten signature in black ink, appearing to be "Amos Clark", written over a horizontal line.

Date: 07/26/2018

Owner/Contract Purchaser Information:

☒ Owner

☐ Contract Purchaser

Name: Oaks Owners Associations c/o Community Association Services, Inc.

Address: 5915 Farrington R. #104

City: Chapel Hill

State: North Carolina

Zip Code: 27517

Phone: 919-403-1400

Email: N/A

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:

Date:



RESOURCE CONSERVATION DISTRICT ENCROACHMENT EXEMPTION APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department

Submittal Requirements

Every application which proposes development or land-disturbing activities wholly or partially within the Resource Conservation District shall include the following, unless affirmatively exempted by the Town Manager in part or entirely, for the whole area covered by the application. The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919)968-2728 or at planning@townofchapelhill.org. For detailed information, please refer to the Description of Detailed Information handout.

- A. A utilities plan;
- B. A grading plan showing existing and final contours;
- C. A sedimentation and erosion control plan;
- D. A storm water management plan;
- E. A soils analysis;
- F. Plans view showing: the topography of the site at a minimum horizontal scale of 1:60, at two-foot contour intervals; the location of streams, watercourses, stormwater runoff channels, etc; the limits of the floodway and floodplain; existing or proposed storm and sanitary sewers and sewer outfalls; septic tank systems and outlets, if any; existing and proposed structures and development; the 100-year flood and RCD elevations and limits; and existing and proposed tree lines;
- G. Profile view showing: at a minimum horizontal scale of 1:60, and minimum vertical scale of 1:10, the elevations of the watercourses bed; waterway openings of existing and proposed culverts and bridges within or near the site; size and elevation of existing or proposed sewer and drain outlets; the 100-year water surface elevations and limits; and the elevation of the Resource Conservation District;
- H. A description of existing vegetation, including significant trees and shrubs; and a landscape plan for the completed development;
- I. A description of wildlife habitats, noting the types of habitat on site and their potential as habitats for various species of wild life and identifying any relevant limiting factors;
- J. Description of proposed storage of materials and of waste disposal facilities;
- K. Certificate from a registered professional engineer or architect with respect to floodproofing, or from a registered professional engineer or surveyor with respect to elevation, that any floodproofing measures on nonresidential uses or finished elevations meet the requirements of this article;
- L. Copies of notifications to and responses by adjacent communities, the North Carolina Department of Crime Control, or its successor agency, and Public Safety, and the Federal Emergency Management Agency, or its successor agency, regarding any proposed alteration or relocation of a riverine watercourse;
- M. The increase in elevation of the 100-year flood upstream from the development, velocity changes and rate of rise changes, runoff, water quality change, sediment deposit rate changes, and the duration of the flood. The Town Manager shall approve the methodology used to determine the changes;
- N. A list of owners of properties located within five hundred (500) feet of the subject property boundaries with the full name and address of each property owner, with stamped, pre-addressed mailing envelopes for each owner on the mailing list.

July 25, 2018

Ms. Judy Johnson
Town of Chapel Hill
Planning and Sustainability
405 Martin Luther King Jr Boulevard
Chapel Hill, North Carolina 27514

RE: **The Oaks Condominiums**
Response to Construction Drawing Review Comments
CAS-10000

The following are the response comments for the above-mentioned project. Our response comments are in **bold**.

TOWN OF CHAPEL HILL CDC:

919. 968. 2743

1. Consider including bio-retention plantings in the project. The State publishes a list of plants that absorb water.
McAdams Response: There are lists of plants that dry up areas with chronic wet conditions but not acute flooding conditions.
2. In particular, landscaping the rip-rap areas and swale at the entrance to Burning Tree Drive with these plantings would enhance bio-retention and would provide a more aesthetically pleasing entrance.
McAdams Response: McAdams will look at optimizing limits of disturbance to allow for the existing shrubs and screening to remain. Adding new screening in the area could present conflicts with the many utilities present in the area. The only riprap is located at the outlet of the 36" pipe and where the culverts are before going under Burning Tree Drive.
3. One of the 30 trees to be removed is a 38" oak within but near the edge of the project area. Could the project be designed in a manner to save this tree?
McAdams Response: The Oaks community will explore optimizing grading in the area and consult with the onsite tree specialist to determine if we are disturbing more than 30-40% of the critical root zone, as mentioned by Town Staff (Emily Cameron) in previous submittal comments, to determine if the 38" oak can be saved.

4. A Commissioner asked if this project will be reviewed by the Stormwater Management Utility Advisory Board. (Staff responded that generally this Board is not involved in development review.)

McAdams Response: None required.

Consideration of this response is greatly appreciated. If you should have any questions or require additional information, please do not hesitate to contact me at 919. 361. 5000.

Sincerely,

MCADAMS



Amos Clark, PE

Division Director, Engineering + Environmental

AC/gs