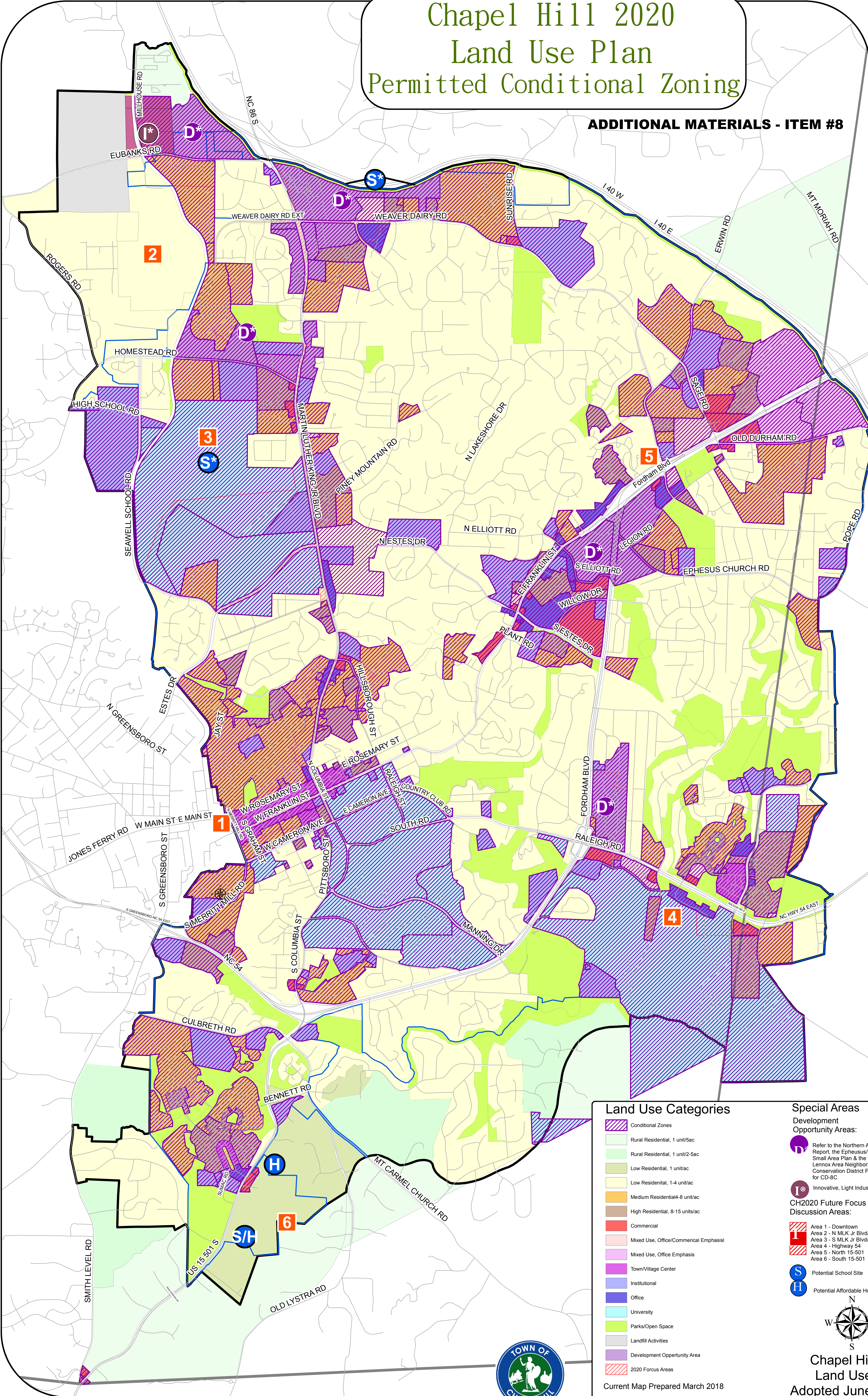


Chapel Hill 2020 Land Use Plan Permitted Conditional Zoning

ADDITIONAL MATERIALS - ITEM #8



Land Use Categories

- Conditional Zones
- Rural Residential, 1 unit/5ac
- Rural Residential, 1 unit/2-5ac
- Low Residential, 1 unit/ac
- Low Residential, 1-4 unit/ac
- Medium Residential 4-8 unit/ac
- High Residential, 8-15 units/ac
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Parks/Open Space
- Landfill Activities
- Development Opportunity Area
- 2020 Focus Areas

Special Areas

Development Opportunity Areas:

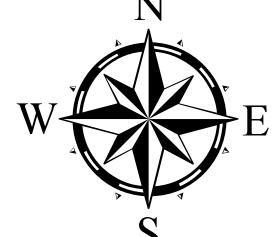
- Refer to the Northern Area T.F. Report, the Ephesus/Fordham Small Area Plan & the Glen Lennox Area Neighborhood Conservation District Plan for CD-8C
- Innovative, Light Industrial Opportunity Area

CH2020 Future Focus Discussion Areas:

- Area 1 - Downtown
- Area 2 - N MLK Jr Blvd/40
- Area 3 - S MLK Jr Blvd/ Homestead to Estes Dr
- Area 4 - Highway 54
- Area 5 - North 15-501
- Area 6 - South 15-501

Potential School Site

Potential Affordable Housing Site



Chapel Hill 2020
Land Use Plan
Adopted June 25, 2012
Updated April 5, 2017



Current Map Prepared March 2018

1,200 600 0 1,200 Feet