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CONDITIONAL ZONING OF HOMESTEAD GARDENS

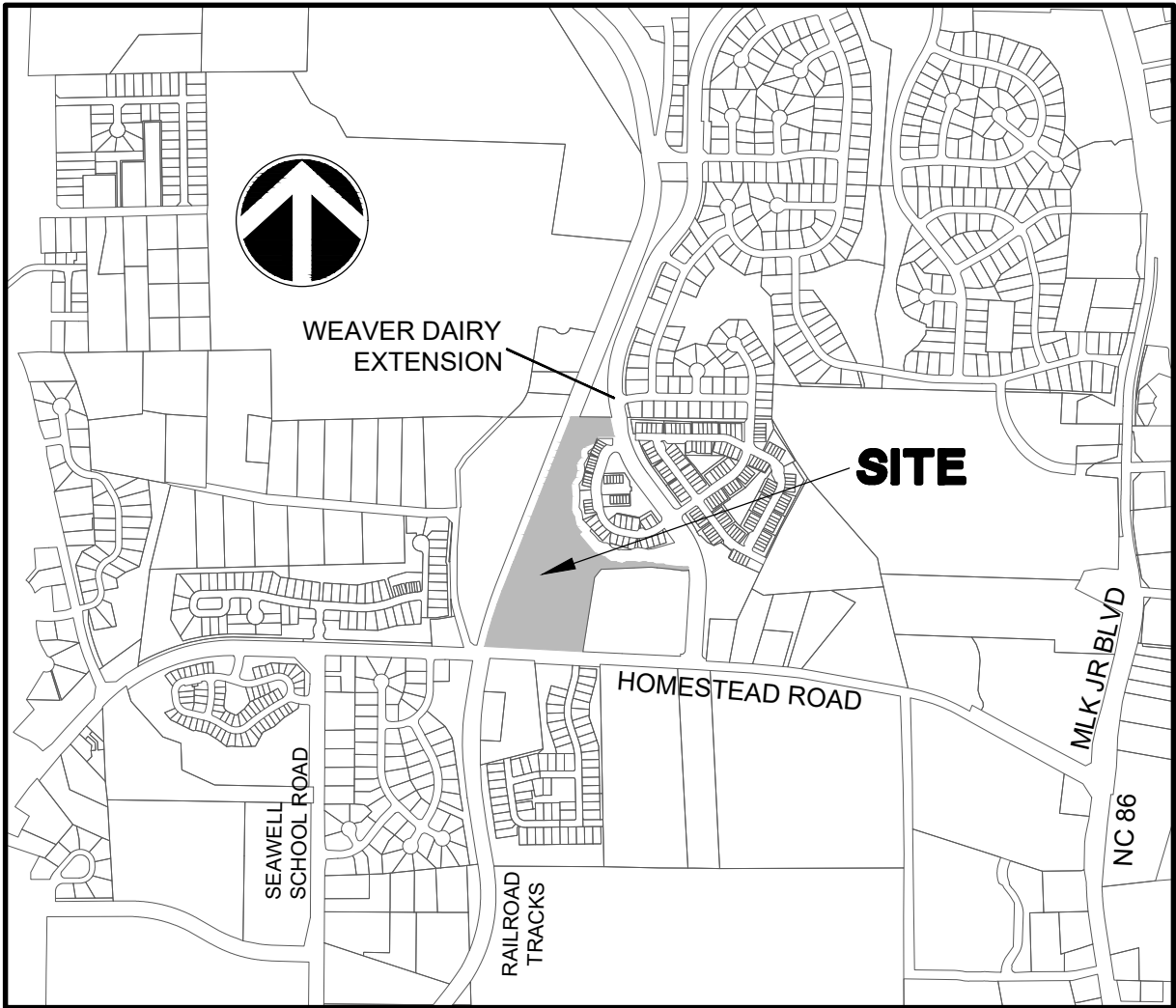
PREPARED FOR:
SELF HELP VENTURES FUND
and
TOWN OF CHAPEL HILL

PIN# 9870-91-2947

CZ MODIFICATION ORIGINAL SUBMITTAL: JUNE 21, 2023
CZ MODIFICATION LATEST SUBMITTAL: OCTOBER 16, 2023

J-30969.0000

PREPARED BY:



VICINITY MAP
SCALE: 1" = 1200'

J-30969.0000
06.21.2023
HOMESTEAD GARDENS

SUBMITTAL HISTORY	
CZ MODIFICATION REVISIONS	10.16.23
CZ MODIFICATION REVISIONS	8.11.23
CZ MODIFICATION	6.21.23
SUBMITTED TO	DATE



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HOMESTEAD GARDENS

CLIENT:
Self-Help Ventures Fund
301 West Main Street
Durham, NC 27701
Attn: Tucker Bartlett



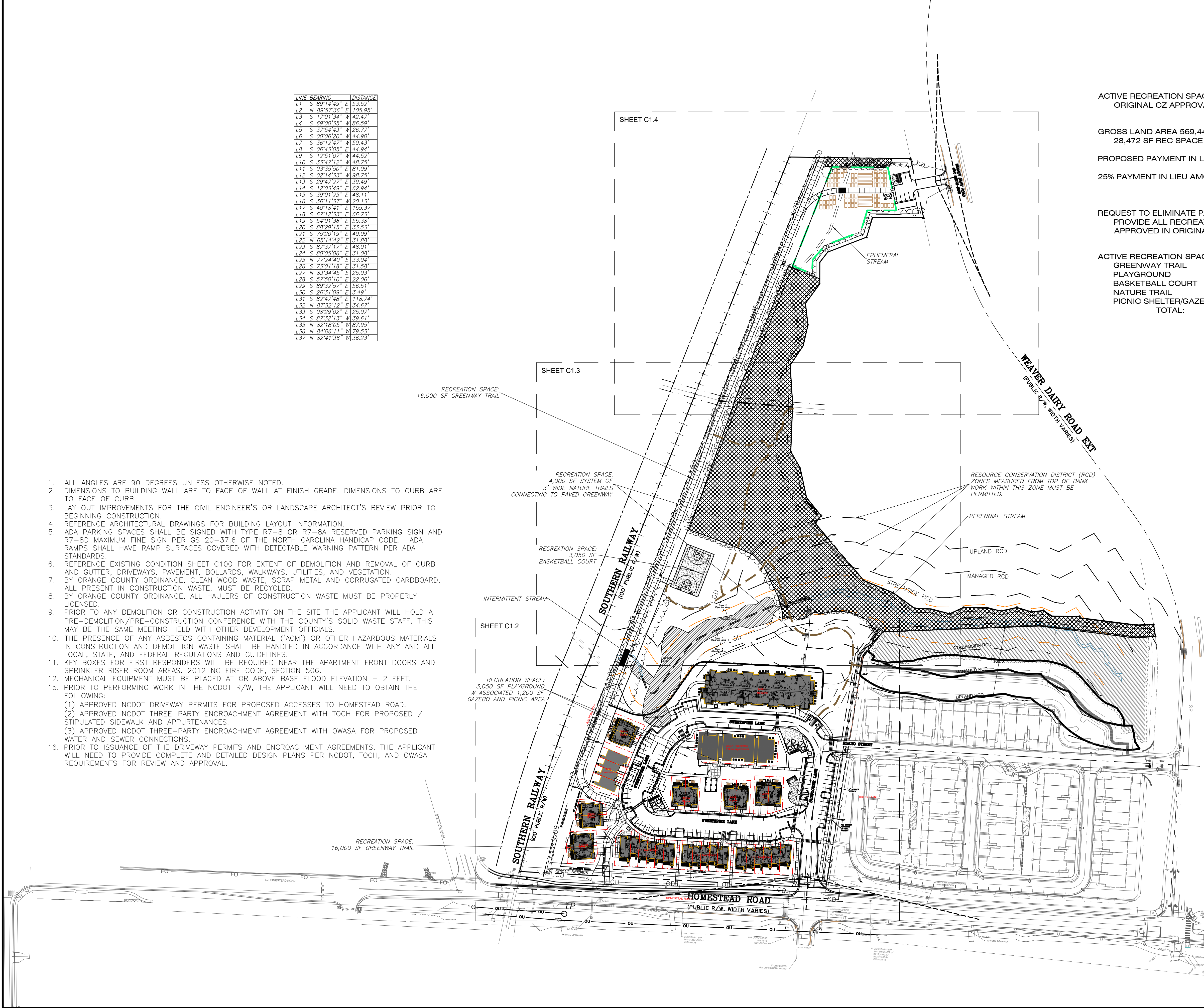
JOB NO:	30969.0000
DATE:	06.21.2023
DRAWN:	WLR,MPM,MTC
DESIGNED:	WLR,MPM
REVIEWED:	WLR,PBR
APPROVED:	
SCALE:	1" = 100'

D1.1

D1.1

LINE	BEARING	DISTANCE
L1	S 89°14'49" E	53.52'
L2	N 89°57'36" E	105.95'
L3	S 17°01'34" W	42.47'
L4	S 69°00'35" W	86.59'
L5	S 37°54'43" W	26.77'
L6	S 00°06'20" W	44.90'
L7	S 36°12'47" W	50.43'
L8	S 06°43'05" E	44.94'
L9	S 12°51'07" W	44.52'
L10	S 33°47'12" W	48.75'
L11	S 03°35'50" E	81.09'
L12	S 02°14'33" W	98.75'
L13	S 29°47'27" E	39.49'
L14	S 12°03'49" E	62.94'
L15	S 39°01'25" E	48.11'
L16	S 36°11'37" W	20.13'
L17	S 40°18'41" E	155.37'
L18	S 67°12'33" E	66.73'
L19	S 54°01'36" E	65.38'
L20	S 88°29'15" E	33.53'
L21	S 75°20'19" E	40.09'
L22	N 65°14'42" E	31.88'
L23	S 87°37'17" E	48.01'
L24	S 80°05'06" E	31.08'
L25	N 72°24'40" E	33.04'
L26	S 73°01'18" E	31.58'
L27	N 83°34'45" E	25.03'
L28	S 57°50'10" E	22.06'
L29	S 89°32'57" E	56.51'
L30	S 26°31'09" E	3.49'
L31	S 82°47'48" E	118.74'
L32	N 87°32'12" E	34.67'
L33	S 08°29'09" E	25.07'
L34	S 87°32'13" W	39.61'
L35	N 82°18'05" W	87.95'
L36	N 84°06'11" W	79.53'
L37	N 82°41'36" W	36.23'

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION SHEET C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE APARTMENT FRONT DOORS AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
- MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
- PRIOR TO PERFORMING WORK IN THE NCDOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
 - APPROVED NCDOT DRIVEWAY PERMITS FOR PROPOSED ACCESSES TO HOMESTEAD ROAD.
 - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPURTENANCES.
 - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH OWASA FOR PROPOSED WATER AND SEWER CONNECTIONS.
- PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCDOT, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.



ACTIVE RECREATION SPACE REQUIRED PER
ORIGINAL CZ APPROVAL: 29,570 SF

GROSS LAND AREA 569,445 SF 0.05 (R-SS-CZD) =
28,472 SF REC SPACE REQUIRED

PROPOSED PAYMENT IN LIEU: \$ 0

25% PAYMENT IN LIEU AMOUNT : 29,570 SF X \$12
= 7,392.5 SF X \$ 12
\$ 88,710

REQUEST TO ELIMINATE PAYMENT IN LIEU AND
PROVIDE ALL RECREATION SPACE ON SITE AS
APPROVED IN ORIGINAL CONDITIONAL ZONING.

ACTIVE RECREATION SPACE TO BE PROVIDED:
GREENWAY TRAIL 16,370 SF
PLAYGROUND 3,000 SF
BASKETBALL COURT 5,000 SF
NATURE TRAIL 4,000 SF
PICNIC SHELTER/GAZEBO 1,200 SF
TOTAL: 29,570 SF

NO.	REVISIONS	BY	DATE
2	TRAIL REVISION - PARK MAINTENANCE ACCESS SITE	WLR	8.29.23
1	LAYOUT REVISION STREAM LABELS, REC. SPACE NOTES & LABELS	WLR	8.11.23



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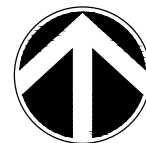
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SITE PLAN - OVERALL

HOMESTEAD GARDENS

PROJECT LOCATION:
2200 Homestead Road
Chapel Hill, NC

CLIENT:
Self-Help Ventures Fund
301 West Main Street
Durham, NC 27701
Attn: Tucker Bartlett



100 0 50 100
GRAPHIC SCALE:
1 INCH = 100 FEET

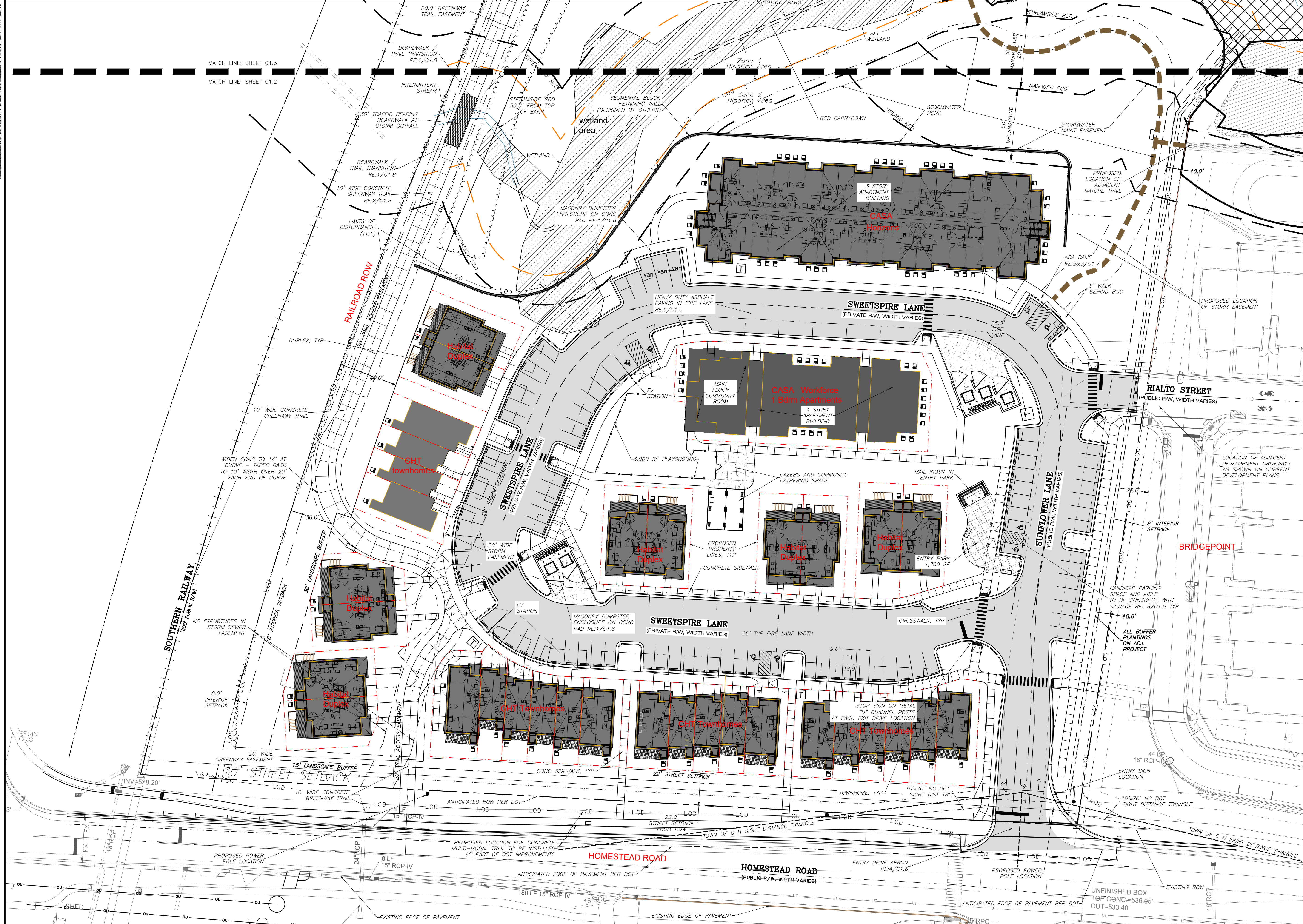
DATUM: HORIZ: NAV83

VERT.: NAVD88

JOB NO.: 30969.0000
DATE: 06.21.2023
DRAWN: WLR,MPM,MTG
DESIGNED: WLR,MPM
REVIEWED: WLR,PBR
APPROVED:
SCALE: 1" = 100'

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TRAIL REVISION - PARK MAINTENANCE ACCESS SITE
LAYOUT REVISION
MOVED DUMPSTER AREA,
STREAM LABELS, SIGN, SDTS

NO.	REVISIONS	BY	DATE
2	WLR	8.29.23	
1	WLR	8.11.23	

PRELIMINARY - NOT FOR CONSTRUCTION

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SITE PLAN - SOUTH

HOMESTEAD GARDENS

PROJECT LOCATION:
2200 Homestead Road
Chapel Hill, NC

CLIENT:
Self-Help Ventures Fund
301 West Main Street
Durham, NC 27701
Attn: Tucker Bartlett

GRAPHIC SCALE:
1" = 30 FEET

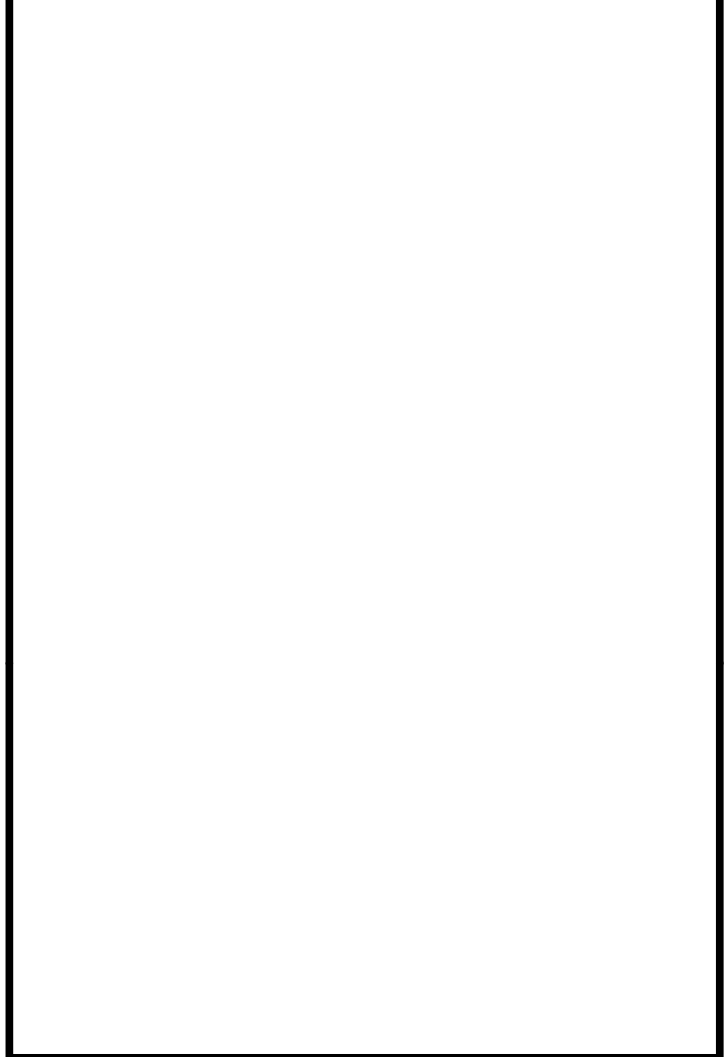
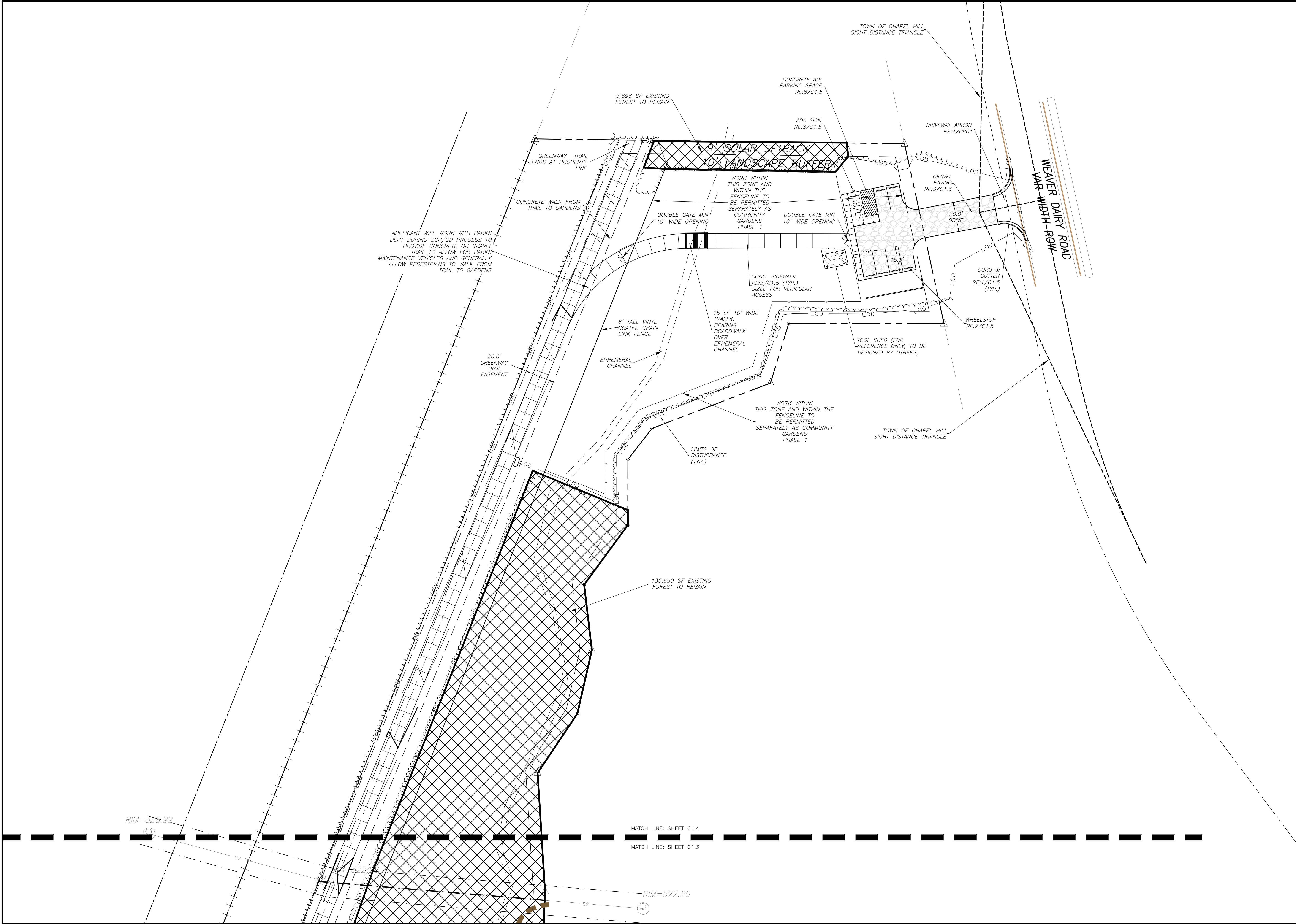
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APPROVED:
SCALE: 1" = 30'

C1.2

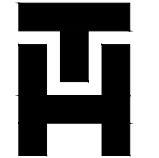
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 DESIGNED: WLR,MPM
 REVIEWED: WLR,PBR
 APPROVED:
 SCALE: 1" = 30'

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NO.	REVISIONS	BY	DATE
2	TRAIL REVISION - PARK MAINTENANCE ACCESSSITE	WLR	8.29.23
1	PAVING REVISION PLAN LABELS REVISED SIDEWALK, SDTS	WLR	8.11.23





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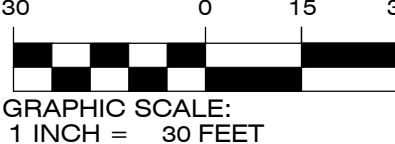
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SITE PLAN - NORTH

HOMESTEAD GARDENS

PROJECT LOCATION:
2200 Homestead Road
Chapel Hill, NC

CLIENT:
Self-Help Ventures Fund
301 West Main Street
Durham, NC 27701
Attn: Tucker Bartlett



DATUM: HORIZ.: NAV83 VERT.: NAVD88

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DATE: 06.21.2023
DRAWN: WLR,MPM,MTG
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REVIEWED: WLR,PBR
APPROVED:
SCALE: 1" = 30'

C1.4

CONTRACTOR SHALL SUBMIT DRAWINGS PREPARED, SIGNED, AND SEALED BY A QUALIFIED LICENSED NORTH CAROLINA PROFESSIONAL ENGINEER FOR REVIEW AND APPROVAL BY THE ARCHITECT, OWNER, AND ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING FOR AND OBTAINING ANY PERMITS REQUIRED BY THE TOWN OF CHAPEL HILL FOR THE RETAINING WALLS.

1 CONSTRUCTION, SUBMITTAL, AND PERMIT NOTE

- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
- ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
- CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
- BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL PROPOSED WALLS FOR REVIEW BY ENGINEER, ARCHITECT, AND OWNER. WALL PLANS SHALL BE PREPARED, SIGNED, AND SEALED BY A LICENSED NC PROFESSIONAL ENGINEER. CONTRACTOR AND/OR WALL DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FOR WALL CONSTRUCTION. WALLS SHALL BE DESIGNED TO ACCOUNT FOR AND ACCOMMODATE ALL UTILITIES, PIPING, LANDSCAPING, AND ALL APPLIED LOADING.

2 GRADING AND STORM DRAINAGE NOTES

FOR ALL SIDEWALKS/CURB RAMPS THE FOLLOWING APPLIES:

- SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
- SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
- MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
- ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA — PARKING SPACES AND AISLES.
- ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
- PARKING — NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUTCD AND ICC A 117.1.
- CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
- SLOPES GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.
- CURB RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (12:1).
- CONSTRUCT THE CURB RAMP SIDE FLARE SLOPE AT A MAXIMUM OF 10%, MEASURED ALONG THE CURB LINE.
- CONSTRUCT THE CURB RAMP LANDINGS FOR A SIDEWALK AT A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
- CONSTRUCT CURB RAMP DETECTABLE WARNING DOMES TO COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR.

3 SIDEWALK AND CURB RAMP NOTES (APPLIES TO ALL SHEETS)

RCD ZONE	TOTAL AREA ON SITE	PROPOSED DISTURBANCE		PROPOSED IMPERVIOUS	
		SF	%	SF	%
streamside	89,101 SF	14,675 SF	16.5 %	1,300 SF	1.46 %
managed	16,898 SF	9,350 SF	55.3 %	0 SF	0 %
upland	22,345 SF	12,600 SF	56.4 %	175 SF	0.78 %

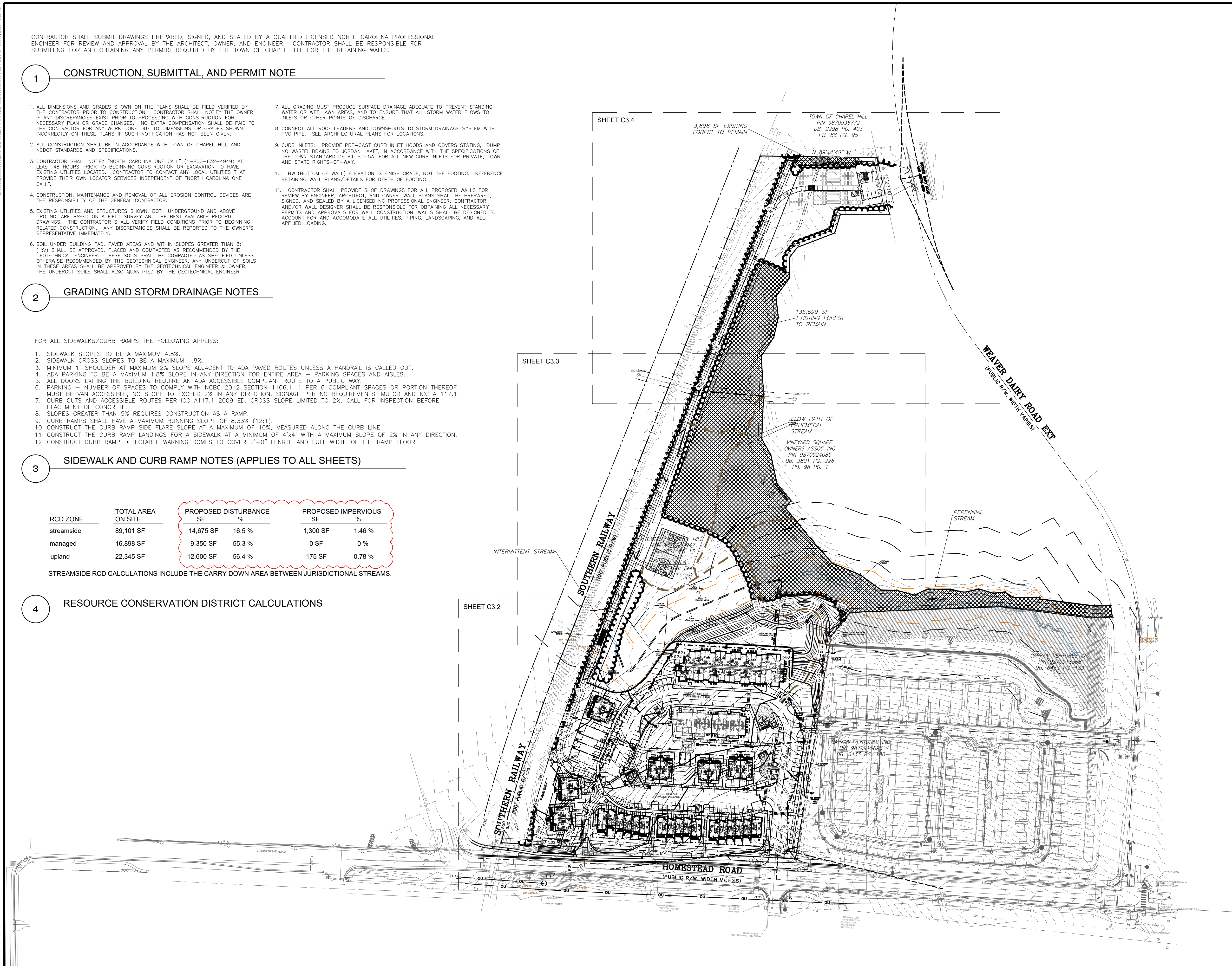
STREAMSIDE RCD CALCULATIONS INCLUDE THE CARRY DOWN AREA BETWEEN JURISDICTIONAL STREAMS.

4 RESOURCE CONSERVATION DISTRICT CALCULATIONS

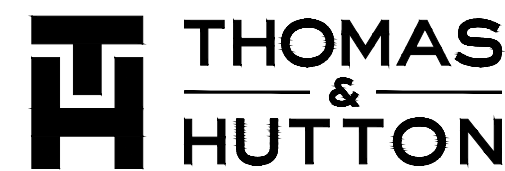
SHEET C3.4

SHEET C3.3

SHEET C3.2



NO.	REVISIONS	BY	DATE
2	SITE LAYOUT REVISION	MPM	10.17.23
1	STREAM LABELS & SHEET NOTES	WLR	8.11.23



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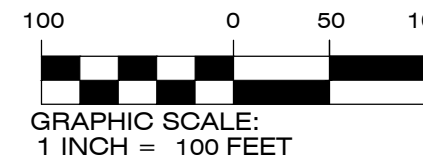
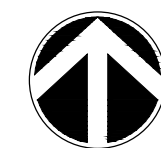
GRADING & DRAINAGE PLAN - OVERALL

HOMESTEAD GARDENS

PROJECT LOCATION:
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Chapel Hill, NC

CLIENT:

Self-Help Ventures Fund
301 West Main Street
Durham, NC 27701
Attn: Tucker Bartlett



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SCALE: 1" = 100'

C3.1

GRADING & DRAINAGE
PLAN - CENTER

HOMESTEAD GARDENS

PROJECT LOCATION:

2200 Homestead Road
Chapel Hill, NC

CLIENT:

Self-Help Ventures Fund
301 West Main Street
Durham, NC 27701
Attn: Tucker Bartlett

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GRAPHIC SCALE:
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C3.3

GRADING & DRAINAGE
PLAN - NORTH

HOMESTEAD GARDENS

PROJECT LOCATION:

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Chapel Hill, NC

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