

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
(919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9880028073

Date: 04/20/22

Section A: Project Information

Project Name: Stanat's Place

Property Address: 2516 Homestead Rd, Chapel Hill, NC Zip Code: 27516

Use Groups (A, B, and/or C): A Existing Zoning District: R-2

Project Description: A residential community with 47 lots designated for townhomes.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Adanced Civil Design, Inc.

Address: 51 Kilmayne Drive, Suite 102

City: Cary State: NC Zip Code: 27511

Phone: 919-481-6290 Email: crice@advancedcivildesign.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: _____ Date: April 20, 2022

Owner/Contract Purchaser Information:

☐ Owner

☒ Contract Purchaser

Name: CapKov Ventures, Inc.

Address: P.O. Box 16815

City: Chapel Hill State: NC Zip Code: 27516

Phone: 919-942-8005 (office), 919-260-7262 (Cell) Email: ericbchupp@bellsouth.net

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: Eric B. Chupp Date: April 20, 2022

Click [here](#) for application submittal instructions.



CONDITIONAL ZONING

TOWN OF CHAPEL HILL

Planning Department

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section A: Project Information

Use Type: (check/list all that apply)

☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: _____

Overlay District: (check all that apply)

☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	355,563	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	0	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=	35,556	sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	391,119	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

☐ Jordan Buffer ☒ Resource Conservation District ☐ 100 Year Floodplain ☐ Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	325,000
Area of Land Disturbance within RCD	58,000
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	18,107	18,107	170,000	170,000
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	0.046	0.046	0.44	0.44
If located in Watershed Protection District, % of impervious surface on 7/1/1993	N/A	N/A	N/A	N/A



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	(4) 5,786	(4) 5,786	(47) 85,000	(47) 85,000
Number of Floors	1 - 1.5	1 - 1.5	2	2
Recreational Space	0	0	27,956	27,956

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	3,190	3,190	101,000q	101,000
Total Square Footage of All Units	3,190	3,190	85,000	85,000
Total Square Footage of Affordable Units	0	0	6,759	6,759
Total Residential Density	15 units/ac	15 units/ac	5.23 units/ac	5.23 units/ac
Number of Dwelling Units	1	1	47	47
Number of Affordable Dwelling Units	0	0	4	4
Number of Single Bedroom Units	0	0	0	0
Number of Two Bedroom Units	0	0	0	0
Number of Three Bedroom Units	1	1	43	43

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	20'	0'	20'
	Interior (neighboring property lines)	6'	0'	6'
	Solar (northern property line)	8'	N/A	8'
Height (maximum)	Primary	39'	N/A	39'
	Secondary	60'	N/A	60'
Streets	Frontages	40'	0	0
	Widths	50'	0	0



PROJECT FACT SHEET

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Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Cabernet Dr	50'	22'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Aquatic Dr	60' Public Access Easement	28'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
Cabernet Drive	27' b/b (36', 40.5', 50' R/W)	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street A	27' b/b (40.5' R/W)	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street B	27' b/b (52.5' R/W)	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	n/a	n/a	16
Handicap Spaces	n/a	n/a	1
Total Spaces	n/a	n/a	17
Loading Spaces	0	0	0
Bicycle Spaces	n/a	n/a	13 total (11 will be wall-mounted bike hook within garage)
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Eastern Property Line	20'	20	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Western Property Line	10'	20	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
Southern Property Line	10'	10'	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section I: Land Use Intensity

Existing Zoning District:
Proposed Zoning Change *(if any)*:

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-5-CZD	n/a	n/s	n/a			n/a	n/a
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		



CONDITIONAL ZONING APPLICATION SUBMITTAL REQUIREMENTS TOWN OF CHAPEL HILL Planning Department

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 968-2728 or at planning@townofchapelhill.org.

cmr	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	35,986.40
cmr	Pre-application meeting –with appropriate staff		
cmr	Digital Files – provide digital files of all plans and documents		
cmr	Recorded Plat or Deed of Property		
cmr	Project Fact Sheet		
n/a	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
n/a	Description of Public Art Proposal , if applicable		
cmr	Statement of Justification		
n/a	Response to Community Design Commission and Town Council Concept Plan comments , if applicable		
cmr	Affordable Housing Proposal , if applicable		
cmr	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
cmr	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
cmr	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	450.00
cmr	Written Narrative describing the proposal, including proposed land uses and proposed conditions		
cmr	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
cmr	Jurisdictional Wetland Determination – if applicable		
n/a	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
n/a	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
cmr	Reduced Site Plan Set (reduced to 8.5" x 11")		

Stormwater Impact Statement (1 copy to be submitted)

- Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- Description of land uses and area (in square footage)
- Existing and proposed impervious surface area in square feet for all subareas and project area
- Ground cover and uses information
- Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- Time of concentration calculations and assumptions
- Topography (2-foot contours)
- Pertinent on-site and off-site drainage conditions
- Upstream and/or downstream volumes
- Discharges and velocities
- Backwater elevations and effects on existing drainage conveyance facilities
- Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- Water quality volume calculations
- Drainage areas and sub-areas delineated
- Peak discharge calculations and rates (1, 2, and 25-year storms)
- Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
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Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
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Planning and Development Services**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



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Planning and Development Services**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**CONDITIONAL ZONING APPLICATION
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Planning and Development Services**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)



Stanat's Place Project Narrative

Developers Background: Capkov Ventures Inc. is a Chapel Hill owned and operated development company that has been building communities in Chapel Hill and Carrboro for the last 30 years. Capkov Ventures is owned by Scott Kovens who has lived in Chapel Hill for his entire adult life. Communities that have been designed and developed by Capkov Ventures Inc. include;

- 1) Weatherhill Pointe, Carrboro
- 2) Bolin Forest, Carrboro
- 3) Erwin Village, Chapel Hill
- 4) Columbia Place, Chapel Hill
- 5) Pickard Oaks, Chapel Hill
- 6) The Cedars at Bolin Forest, Carrboro
- 7) Franklin Grove, Chapel Hill
- 8) Chancellors View, Chapel Hill
- 9) Winmore, Carrboro
- 10) The Goddard School, Chapel Hill
- 11) Burch Kove, Chapel Hill (design and entitlements only)
- 12) Chandlers Woods (design and entitlements only)

Overview: Capkov Ventures is proposing to develop a community of 47 town homes on a wonderful infill site located between the Vineyard Square town home community and Homestead Park. Cabernet Drive will extend through the community and intersect with Aquatic Dive which leads directly to Homestead Park. Stanat's Place is an ideal location for a town home community immediately adjacent to Chapel Hill's signature park and aquatics center.

Capkov recently received approval for the Bridgepoint town home community just across Weaver Dairy Road Extension from this proposed site. We have taken the feedback we received from the Town Council, the Community Design Commission, and the Town Review Boards during the approval process for Bridgepoint and tried to incorporate that feedback into the design of this new community.

The roughly eight (8) acre property has been owned by the Stanat family for the last 30 years. The Stanat's are hoping to downsize and move to a community for active seniors with less maintenance.

Stanat's Place will serve a wide range of age groups focusing on first time home buyers, families, and downsizing seniors who are looking for lower maintenance than a single-family home. The community is designed to serve the middle-income price range often referred to in Chapel Hill as the "Missing Middle". As we are all aware it has become virtually impossible to find homes in Chapel Hill in the middle-income price range. Stanat's Place will add diversity and depth to the available housing opportunities in Chapel Hill.

Proposal Specifics: Stanat's Place is roughly eight-acres. Capkov is requesting a Conditional Zoning Permit for 47 town homes. The current zoning of R-2 will need to be revised to Conditional Zoning (CZ)-R-5. The property is located north of Homestead Road, west of Aquatic Drive, east of Weaver Dairy Extension Road, and south of the Vineyard Square community. As proposed Stanat's Place will have two means of ingress and egress. One from the natural extension of Cabernet Drive on the west, and a second from Aquatic Drive on the east side of the community. All utilities are currently available to the site and a 30' OWASA sewer easement with a public-main runs west to east through the site. The property is triangular in shape with a stream running from west to east across the southern property line. A 20' Greenway Trail Easement will run along the stream and will be dedicated to the Town of Chapel Hill creating an important link in the Greenway Trail System. A water quality pond will be constructed just south of the town homes overlooking the Greenway Trail and the creek. The water quality pond will be a wet pond that is heavily landscaped.

Access and Circulation: Two vehicular access points have been proposed for Stanat's Place both conforming to the Chapel Hill Land Use Ordinance and the State Fire Code. The first access point will be facilitated by the extension of Cabernet Drive from Vineyard Square. Cabernet Drive was designed to extend into Stanat's Place when Vineyard Square was developed. A sign stating that "This Road May Continue in the Future" was required at the termination of Cabernet Drive when Vineyard Square was developed. The Cabernet Drive access point will provide direct access to I-40 via Weaver Dairy Road Extension. The second access will be formed by connecting Cabernet Drive to Aquatic Drive. Aquatic Drive then travels south to Homestead Road. The entry point of Cabernet Drive onto Aquatic Drive is south of any of the Homestead Park amenities. An extensive Traffic Impact Analysis was prepared for this area just over a year ago which indicated that both Weaver Dairy Road Extension and Homestead Road had sufficient capacity for additional development. The Traffic Impact Analysis is currently being updated. The soon to be constructed Homestead Road Improvement Project, and the signal light improvements being done as part of Bridgepoint, will enhance traffic safety along Homestead Road. All roads will be built to public standards and dedicated to the Town of Chapel Hill as public roadways. Stanat's Place will also provide an important link in the Chapel Hill Greenway System that will eventually connect the Green Tract and all the communities to the south to Homestead Park. Currently Greenway Trail Easements are in place across the Towns 2200 Homestead Road site, Bridgepoint, and as proposed Stanat's Place.

Buffers and Natural Constraints: **Buffers and Natural Constraints:** Stanat's Place has been designed with vegetative buffers around the perimeter of the community and street trees along the internal public streets. The buffers will conform to both the Design Guidelines and the Chapel Hill Land Use Ordinance. There is an existing buffer between Stanat's Place and Homestead Park that is roughly 40' of both hardwood and evergreen trees. The community will feature a central park with over half of an acre public green. The southern property line has a perennial stream running west to east across the site. The proposed plan takes advantage of the Resource Conservation District (RCD) surrounding the stream by allowing it to become a beautiful natural area with an extension of the Chapel Hill Greenway Trail running along the creek. We will place benches along the Greenway Trail and dedicate it to the Town of Chapel Hill Parks and Recreation System. The town homes which front Public Street "B" will overlook a heavily landscaped pond, the Greenway Trail, and the stream and associated buffers. The site is generally flat sloping from north to south. There are small unconnected areas of moderately steep slopes resulting from the house and driveway construction. The site is naturally gently sloping.

Stormwater Management: As proposed Stanat's Place will have an elongated wet pond running parallel, but separated from, the perennial stream running along the southern portion of the site. The pond will be heavily landscaped with three tiers of plantings above and below the water line and will be an attractive amenity. The pond will be designed to conform with volume, velocity, and water quality standards laid out in the Chapel Hill Land Use Management Ordinance and the Design Guidelines.

Recreational Amenities: Stanat's Place will provide onsite recreational facilities. The Applicant proposes constructing an important link in the Chapel Hill Greenway Trail leading to Homestead Park. It will eventually connect Bridgepoint, the Town owned 2200 Homestead Road community, and future communities to the north. A Greenway Trail link was provided by the Bridgepoint site community to the east and the Town owned 2200 Homestead Road site as part of their respective approvals. The only remaining link will be across the Vineyard Square Open Space and Chapel Hill Parks and Recreation Department is working to acquire that last segment. With the inspiration of Brian Peterson, we have designed a central park which all of the homes will look out onto. The park will have an open green with a Chapel Hill stone wall running along the north side for sitting. It will have a reading area with a community library and fire pit, and a separate small children's playground with benches and picnic tables. One of the wonderful things about this unique location is that it shares a property line with Homestead Park with its soccer fields, baseball fields, dog park, aquatics center, skateboard park, and several wonderful playgrounds for the children.

Home Design: The town homes in the Stanat's Place community will be a traditionally designed homes with attached two car garages. There will be two full parking spaces outside the garage providing two off-street parking spaces. The lot size will allow for a town home with a footprint of 24' X 62' providing great flexibility in design and size of the homes. Each town home will have a private courtyard. The homes will be designed for middle income families that will enjoy the nearby schools and recreational opportunities and downsizing adults moving from single family homes. Both upstairs and downstairs master plans will be

available with three-bedroom two bath town homes being the most frequently purchased. The town homes will be arranged in buildings ranging between 4-6 units.

Impact on Neighboring Properties: Stanat's Place is entirely consistent with the adjacent town homes in the Vineyard Square community. The connection to Vineyard Square will allow neighboring residents to access Homestead Park more easily by either driving or walking. We believe connectivity in this location is important as it promotes all of the many attributes of connectivity.

We are very excited about the possibility of having an opportunity to bring Stanat's Place to Chapel Hill. We believe the town home market in Chapel Hill is badly underserved as is middle income homes across the region. We believe that Stanat's will fill an essential part of the communities' housing needs and we ask for your support.

Thank you, Eric Chupp

Director of Development
Capkov Ventures Inc.
(919) 260-7262
ericbchupp@bellsouth.net



Stanat's Place Statement of Compliance with the Comprehensive Plan

The proposed Stanat's Place townhome community has been designed to comply with the Town of Chapel Hill's Comprehensive Plan, Northern Area Task Force Report, and the Future Land Use Map. The site plan has been designed to meet the plans in the following ways;

A. Compliance with the Comprehensive Plan

1) *A Place for Everyone*

One of the major goals under the theme "A Place for Everyone" is to provide "A range of housing options for current and future residents". Diversity of housing options has become a significant problem in Chapel Hill. Stanat's Place will provide 47 town homes and make a significant contribution to "Missing Middle". In the last several years over 3,500 for rent apartment units have been built in Chapel Hill but only one town home community has been approved which was Bridgepoint. If approved Stanat's Place will fill an essential housing that is almost missing in Chapel Hill, homes for middle income families and downsizing seniors. As the University of North Carolina tries to attract the best and the brightest to Chapel Hill, those potential employees who have children, or anticipate having children, will have as one of their primary considerations the availability of for sale housing. The same is true for the wider community as Chapel Hill tries to encourage innovative businesses to locate in Chapel Hill. While Stanat's Place will not solve the problem of providing diversity in housing it will provide some additional options for middle income families who are looking for something other than an apartment home.

2) *Community Prosperity and Engagement*

One of the major goals under the theme "Community Prosperity and Engagement" is to "Foster success of local businesses." The Town of Chapel Hill has consistently expressed the desire to promote our world-class university and to attract new employers who can utilize the talents and technologies developed at UNC to launch new and creative businesses. As mentioned in the preceding paragraph, to successfully attract such businesses the Town must provide appropriate housing to meet the needs of the prospective employees. Stanat's

Place will add diversity to the existing housing stock, which is terribly underserved. The proposed Stanat's Place is ideally located. The site surrounded by Homestead Park and Aquatics Center, across the street from the Seymore Senior Center, the Orange County Health and Human Services Center, right down the street from all three levels of public schools. It is also next door to the Horace Williams tract, the University of North Carolina's next big campus.

3) *Getting Around*

The goal is to promote "A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation." The Stanat's Place as proposed will provide a critical link in providing a holistic transportation system in Chapel Hill. Stanat's Place is proposing to construct an important link in a branch of the Chapel Hill Greenway System connecting the communities north of Homestead Road to Homestead Park. The Town owned and soon to be developed 2200 Homestead Road Community, Bridgepoint, Vineyard Square, and now Stanat's Place have or will dedicate Greenway Trail easements which connect to Homestead Park. Eventually the Greenway Trail could stretch north all the way to the Green Tract and Eubanks Road. Stanat's Place will have two access points. One from Cabernet Drive on the western side of the site that will feed into Weaver Dairy Extension Road and provide direct access to I-40. The second entrance will be at Aquatic Drive, which will provide access to Homestead Road. The second entrance at Aquatic Drive will also provide two means of access to Homestead Park increasing the public safety for all of those using the park and enhance overall connectivity.

4) *Good Places, New Spaces*

Stanat's Place will promote several of the goals of "Good Places, New Spaces" including the goal of providing "Open and accessible common spaces for community gathering, cultural uses, and community development." As mentioned above, Stanat's Place will provide a Greenway System link between the communities to the north of Homestead Road and Homestead Park. The trail will run parallel with the creek, be appointed with benches, and open for the entire Chapel Hill community to enjoy. There are few places more community oriented than Homestead Park with the Aquatics Center, soccer fields, baseball fields, skate park, dog park, and several playgrounds for children. We have also located a "Central Park" in the middle of the community. As designed, it will have an open green, stone retaining walls, an area for reading with a community book exchange and a fire pit, and a separate area for a young children's playground with picnic tables and benches.

5) *Nurturing Our Community*

In the design of the proposed Stanat's Place community we have made a conscious effort to leave the southern part of the site undisturbed where a perennial stream runs west to east through the site. The only exception will be the natural mulched surface Greenway Trail running along the stream. North of the stream and Greenway Trail we will construct a wet

pond that will serve as the water quality device but also as a continuation of the natural area being created on the southern portion of the property. We will heavily landscape the pond with three different tiers of landscaping both above and below the water line. We propose meeting or exceeding the rigorous Chapel Hill storm water, open space, and tree canopy standards.

6) *Town and Gown Collaboration*

While the proposed Stanat's Place community may not directly affect the operations of the University of North Carolina, we believe that adding to the diversity of the Chapel Hill housing stock near the Universities' future northern campus on the Horace Williams site will provide opportunities for the families who move to Chapel Hill to work at the University. With the future supply of town homes seriously in question this may be important factor in the University of North Carolina's ability to attract the best and the brightest work force.

Best Regards, Eric Chupp

Director of Development
Capkov Ventures Inc.
(919) 260-7262
ericbchupp@bellsouth.net

Stanat's Place Townhome Community Statement of Reasonableness Chapel Hill Land Use Ordinance Section 4.4.3(f)(2)

Section 4.3.3(f)(2) of the Town of Chapel Hill's Land Use Management Ordinance states that "When adopting or rejecting any petition for a zoning atlas amendment a statement analyzing the reasonableness of the proposed rezoning shall be approved by the Town Council. The statement of reasonableness may consider, among other factors.

- (i) The size, physical conditions, and other attributes of the area proposed to be rezoned.
- (ii) The benefits and detriments to the landowners, the neighbors, and the surrounding community.
- (iii) The relationship between the current actual and permissible development on the tract and adjoining areas and the development that would be permissible under the proposed amendments.
- (iv) Why the action taken is in the public interest,
- (v) Any changed conditions warranting the amendment.

The applicant hereby submits the following "Statement of Reasonableness" as evidence that the proposed Stanat's Place townhome community meets the standard of reasonableness found under NCGS-160D-605(b).

- (i) The size, physical conditions, and other attributes of the area proposed to be rezoned.

The Stanat's Place property is located just north of Homestead Road between the Aquatic Center in Homestead Park and Weaver Dairy Road. Vineyard Square townhomes are located immediately north of the site. The site is just over eight acres in size and is triangular shaped. It slopes gently towards the south where a perennial stream runs west to east along the southern property line.

Stanat's Place is designed to help meet the middle-income housing needs of the Chapel Hill community. The proposed site plan has forty-seven townhome lots that are twenty-four' wide and ninety-five' deep and will accommodate townhomes in the 1700 – 2100 square foot range. The proposed density is consistent with the immediately adjacent neighborhoods and is aligned with the Chapel Hill 2020 Comprehensive Plan and the recently approved Future land Use Map. The size of the lots, the overall density and the size of the homes is almost identical to the Vineyard Square community which adjoins the site to the north, and the Bridgepoint

community across Weaver Dairy Extension Road to the west. Chapel View and Chapel Ridge Apartments are located south of the site across Homestead Road. Stanat's Place serves as a perfect transition between the single-family homes north of Vineyard Square townhomes and the apartment homes south of Homestead Road and is consistent with the adjoining residential uses.

In addition to the surrounding residential uses Stanat's Place is surrounded by public amenities and services which make it a wonderful location for medium density residential. Homestead Park will share a property line with Stanat's Place, and we have designed several pedestrian connections so that future residents can take advantage of the Park's walkability. The Aquatics Center, skate park, soccer fields, dog park, playgrounds, and baseball field will all be walkable from Stanat's Place. The Seymore Senior Center is just across Homestead Road from Stanat's Place, as is the Orange County Health and Human Services Complex. All three public school levels are within one mile and public sidewalks will provide walkability the entire way. The site is close to numerous bus stops and the BRT (Bus Rapid Transit) planned for Martin Luther King Jr. Blvd. will be within a short walk providing quick and efficient commutes to downtown Chapel Hill and the University. As proposed, Stanat's Place is a perfect infill community.

The Chapel Hill Future Land Use Map shows the Stanat's Place property within the North MLK Boulevard Focus Area and shows townhomes as a primary recommended use. The map also shows the connection between the Vineyard Square townhomes running through Stanat's Place as a "proposed connection."

- (ii) The benefits and detriments to the landowners, the neighbors, and the surrounding community.

Stanat's Place provides multiple benefits for the adjacent landowners, neighbors, and the wider Chapel Hill community.

1. The proposed plan for Stanat's Place includes the dedication of a Greenway Trail easement and the improvement of the trail with a Chapel Hill Gravel surface that will make a connection to Homestead Park. The section of Greenway Trail provides a vital link in the overall approved Greenway Trail Plan for Chapel Hill. The link to be provided by the Stanat's Place development is a spur off the "Rail Trail" section of the Greenway and will eventually connect the Horace Williams Tract with the Green Tract and proceed north to Millhouse Road.
2. The proposed plan for Stanat's Place will provide a new sidewalk connection for adjacent communities to use to access Homestead Park and the BRT (Bus Rapid Transit) stops along MLK Blvd. One connection will be directly to the Aquatic Center's parking lot and the other will provide access to Aquatics Drive and Cabernet Drive.
3. The only undeveloped adjacent property is the Maddry property which shares the southern property line of Stanat's Place. We have been contacted by a representative of Ms. Maddry's about the potential future development of her property for a senior living condominium. We have agreed to work with them on an access easement, sewer easement and to work together to provide the best developments on both sites.
4. Chapel Hill has seen very few middle-income housing in the last 20 years. A recent housing needs report commissioned by the Town stressed the need for additional housing to be built

to accommodate the “Missing Middle.” Stanat’s Place will provide middle income housing at a time when the community needs it most.

5. Stanat’s Place as proposed will provide (4) affordable homes to the Community Home Trust for perpetual affordability. Two of the homes will be built for those earning 65% or less of the median income and two of the homes will be build for those earning less than 80% of the median income.
6. The homes will be attractive to downsizing seniors who live in Chapel Hill or who are moving here. Seniors are Chapel Hill’s fastest growing age demographic and Stanat’s Place will provide them with a townhome alternative.

- (iii) The relationship between the current actual permissible development on the tract and adjoining areas and the development that would be permissible under the proposed amendment.

There is little difference in what the current zoning will allow in terms of the number of allowable homes or the potential use. The current Zoning is R-2 which given the net land area of approximately nine acres would allow thirty-six homes. The R-5 would allow up to fifteen units per acre or 135 homes. We are not changing the allowable uses under the current zoning. We are requesting R-5CZD which will only allow the forty-seven homes we are providing as shown on our site plan. The constraining factor of R-2 zoning is floor area. To make a financially viable community, forty-seven homes is the minimum threshold. As stated earlier the R-5 CZD zoning is entirely consistent with the adjacent and surrounding uses.

- (iv) Why the action taken is in the public interest.

1. As described above providing middle income housing has been a challenge in Chapel Hill for the better part of the last two decades. Predictions in the recently commissioned Housing Needs Report state that if more middle-income housing is not provided Chapel Hill risks losing its major employers to other areas where more affordable housing is available. UNC Hospital could start moving facilities to Hillsborough and Wake County. Providing middle income housing as is being proposed with Stanat’s Place is a public interest.
2. As stated above the Stanat’s Place proposal is offering to build (4) perpetually affordable homes for dedication to the Community Home Trust. This is a public interest.
3. The Stanat’s Place proposal provides a vital link in the Chapel Hill Greenway Plan. This is a public interest.
4. Stanat’s Place is an infill community surrounded by public utilities, public amenities, and public services. This type of infill development allows for the most efficient use of public resources and is a public interest.
5. Through multiple sidewalk connections to Homestead Park the Stanat’s Place community will add over 1,000 feet to the public sidewalk system in Chapel Hill. This is a public interest.

- (v) Any change in conditions warranting the amendment.

At the risk of sounding redundant a major shift in housing production and housing prices has occurred in Chapel Hill over the last 20 years. Single-family housing in Chapel Hill is virtually impossible to build with the limited land left for development. Townhomes have become a viable option for downsizing seniors and young families alike and everyone in between. Housing cost have risen dramatically over the last 10 years where a single-family home is often unattainable for those who work in Chapel Hill. Townhome communities like Stanat's Place will need to replace single family communities to adapt to these changing conditions.

Please contact me at 919-780-8005 if you have any questions or concerns.

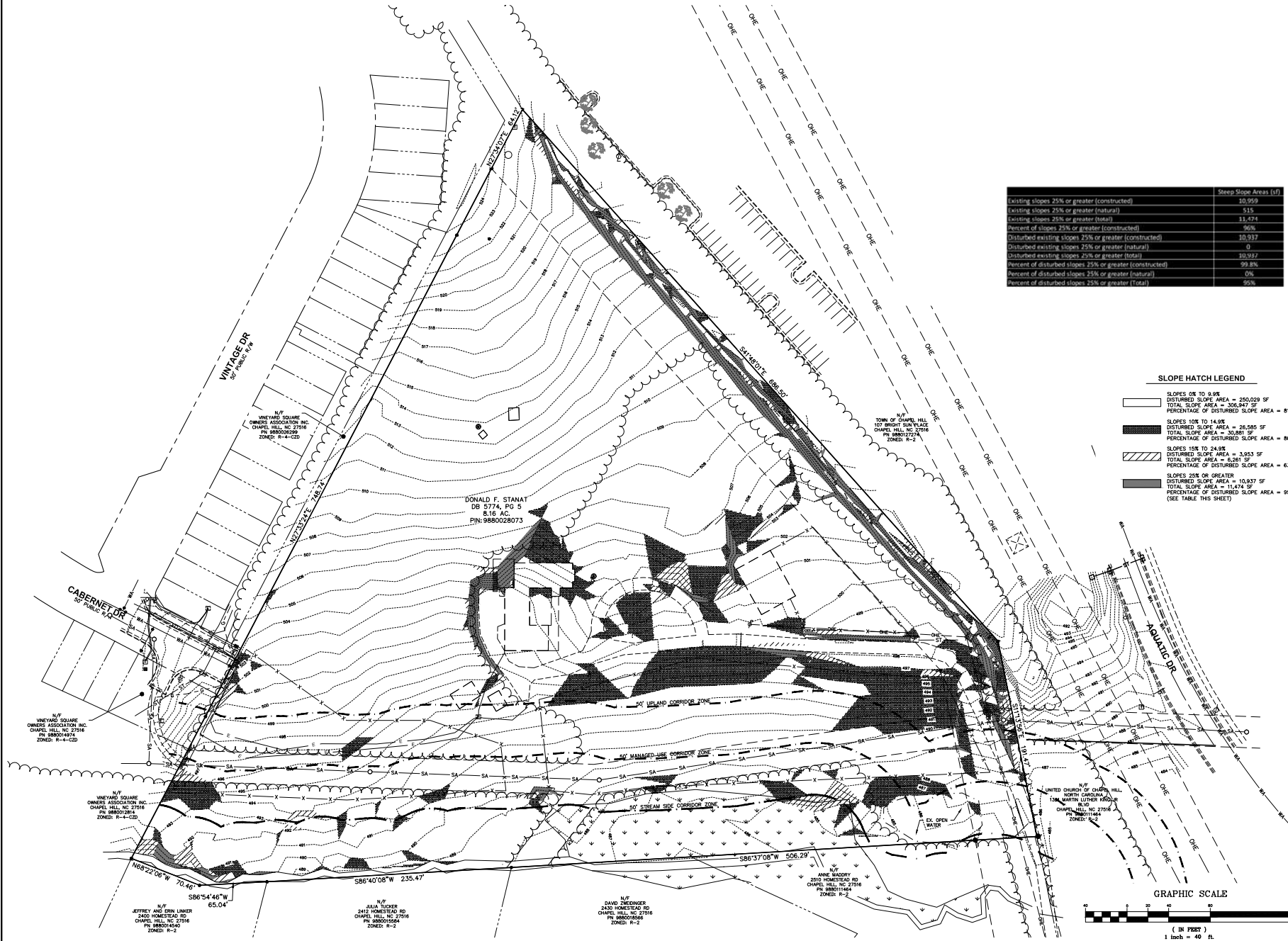
Sincerely,

ADVANCED CIVIL DESIGN, INC.

Cameron M. Rice

Cameron M. Rice, P.E.
Senior Project Manager

cc: 21-0002-978
KB Homes
CapKov



Existing slopes 25% or greater (constructed)	Steep Slope Areas (sf)
Existing slopes 25% or greater (natural)	10,959
Existing slopes 25% or greater (total)	11,474
Percent of slopes 25% or greater (constructed)	96%
Disturbed existing slopes 25% or greater (constructed)	10,917
Disturbed existing slopes 25% or greater (natural)	0
Disturbed existing slopes 25% or greater (total)	10,917
Percent of disturbed slopes 25% or greater (constructed)	99.8%
Percent of disturbed slopes 25% or greater (natural)	0%
Percent of disturbed slopes 25% or greater (Total)	99%

CODING NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) STONE FACADE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1: CHILDREN'S PLAY STRUCTURE WITH PICNIC TABLES
- (G) GATHERING SPACE #2: FIRE PIT WITH CHAPEL HILL GRT SURFACE
- (H) 4' BRICK WALKWAY
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- (M) HANDICAP RAMP IN SIDEWALK WITH DETECTABLE WARNING DOMES ATTACHED TO BACK OF CURB
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- (DD) ONE MOOSE SPACE
- (EE) ONE MOTORCYCLE SPACE

EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 6,447 SF
DRIVEWAYS	= 11,880 SF
TOTAL	= 18,327 SF

PROPOSED IMPERVIOUS SURFACES (ON-SITE)

ROADWAY	= 43,981 SF
DRIVEWAYS	= 14,475 SF
PARKING LOT	= 2,814 SF
BUILDINGS	= 59,505 SF
SIDEWALK	= 11,339 SF
MISC (WALLS, HVAC, PATIOS)	= 6,997 SF
POND PERMANENT POOL AREA	= 10,610 SF
FUTURE ALLOWANCE	= 20,179 SF
TOTAL	= 170,000 SF

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES

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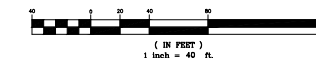
SITE DATA TABLE

PROJECT NAME:	STANAN'S PLACE
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 55 KEMANNE DRIVE, SUITE 102 CARY, NC 27511
PARCEL ID NUMBERS:	988028073
LAND AREA CALCULATIONS:	8.163 ACRES
NET LAND AREA:	0.816 ACRES (10% OF N/A)
CREDITED AREA:	391,119 SF (0.879 AC) (USED FOR DENSITY CALCULATION)
TOTAL GROSS LAND AREA (G.L.A.):	R-2
EXISTING ZONING:	R-5-C20
PROPOSED ZONING:	R-5-C20
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	KCD
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
GROSS LAND AREA = 8.979 AC	
# UNITS ALLOWED = 134	
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	2,088 SF
PROPOSED MINIMUM LOT SIZE:	GROSS LAND AREA x RECREATION SPACE RATIO (391,119 SF) x (0.05) = 19,556 SF
RECREATION SPACE REQUIRED:	1,563 SF TOT LOT
RECREATION SPACE PROVIDED:	0,027 SF CIRCULAR GREEN 13,726 SF SIDEWALK EASEMENT 20,308 SF TOTAL
MINIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
MAXIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
PROPOSED PARKING:	94 GARAGE SPACES 84 DRIVEWAY SPACES 1 HC VISTOR SPACE 1 MOPEL VISTOR SPACE 15 AUTO VISTOR SPACES 208 SPACES
TOTAL PROPOSED PARKING:	N/A - SINGLE-FAMILY USE
MINIMUM BICYCLE PARKING REQUIRED:	2 PROVIDED NEAR MAIL KIOSK
BICYCLE PARKING PROVIDED:	10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
TOTAL BICYCLE PARKING PROVIDED:	
REQUIRED EXTERIOR PERIMETER SETBACKS:	
INTERIOR STREET -	6'
SIDEWALK -	20'
SOLAR -	6'
PROPOSED BUILDING SEPARATION:	VARIABLES (± 17'-22')
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.44
TOTAL IMPERVIOUS SURFACE:	170,000 SF
MAXIMUM FLOOR AREA ALLOWED:	N/A - SINGLE-FAMILY USE
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	101,000 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	17,600 SF
MAXIMUM LAND DISTURBANCE:	N/A - SINGLE-FAMILY USE
	325,000 SF

LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area
- Required Land Acquisition

GRAPHIC SCALE



PLAN PREPARED BY:

PLAN PREPARED FOR:

DATE: 05/04/2022

Scale: 1" = 40'

Drawn By: JRR

Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 5A/16

STANAN'S PLACE

CONDITIONAL ZONING PLANS

KB HOME CAROLINAS

SITE PLAN - OPTION A

PRELIMINARY

05/04/2022

2021-12-10 CONDITIONAL ZONING SUBMITTAL #1

2022-04-01 DRAFT ENVIRONMENTAL IMPACT STATEMENT #

2022-05-04 CONDITIONAL ZONING SUBMITTAL #2

NAME: David

DATE: 05/04/2022

Scale: 1" = 40'

Drawn By: JRR

Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 5A/16

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7. ALL PROPOSED STREETS ARE PUBLIC.
8. TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL KIOSK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOODS.
9. A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
10. TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-989-5008 OR ANICHOLSON@TOWNOFCHAPELHILL.ORG

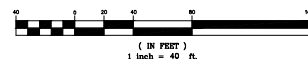
SITE DATA TABLE

PROJECT NAME:	STANAT'S PLACE
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 102 CARY, NC 27511
PARCEL ID NUMBERS:	9880028073
LAND AREA CALCULATIONS	8.163 ACRES
NET LAND AREA	0.816 ACRES (10% OF NLA)
CREDITED AREA:	39,119 SF (0.979 AC) (USED FOR DENSITY CALCULATION)
TOTAL GROSS LAND AREA (GUA):	R-2
PROPOSED ZONING:	R-5-CZD
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERFLOODED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OUTSIDE OVERLAY DISTRICTS:	YES
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
GROSS LAND AREA = 8,979 AC	# UNITS ALLOWED = 134
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	47
PROPOSED MINIMUM LOT SIZE:	2,088 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (39,119 SF) x (0.05) = 19,559 SF
RECREATION SPACE PROVIDED:	1,563 SF TOT LOT 2,027 SF CIRCULAR GREEN 15,736 SF GREENWAY EASEMENT 20,326 SF TOTAL
MINIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
MAXIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
PROPOSED PARKING:	94 GARAGE SPACES 94 DRIVEWAY SPACES 1 MC VISTOR SPACE 1 MOPED VISTOR SPACE 1 MOTORCYCLE VISTOR SPACE 15 AUTO VISTOR SPACES 206 SPACES
TOTAL PROPOSED PARKING:	N/A - SINGLE-FAMILY USE
MINIMUM BICYCLE PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL KIOSK 10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
TOTAL BICYCLE PARKING PROVIDED:	12 SPACES
REQUIRED EXTERIOR PERIMETER SETBACKS	INTERIOR - 0' STREET - 20' SOLAR - 8'
PROPOSED BUILDING SEPARATION:	VARIES (≥ 17'-22')
MAXIMUM BUILDING HEIGHT (PRIMARY):	35'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.44
TOTAL IMPERVIOUS SURFACE:	170,000 SF
MAXIMUM FLOOR AREA ALLOWED:	N/A - SINGLE-FAMILY USE
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	101,000 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	N/A - SINGLE-FAMILY USE
MAXIMUM LAND DISTURBANCE:	325,000 SF

LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area
- Required Land Acquisition

GRAPHIC SCALE



PLAN PREPARED BY:

PLAN PREPARED FOR:

DATE: 05/04/2022

Scale: 1" = 40'

Drawn By: JRR

Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 5B/16

STANAT'S PLACE

CONDITIONAL ZONING PLANS

KB HOME CAROLINAS

4508 SOUTH MIAMI BLVD., SUITE 100A

DURHAM, NC 27703

PHONE: 919.65.7960

PRELIMINARY

05/04/2022

2021-12-10 CONDITIONAL ZONING SUBMITTAL #1

2022-04-01 DRAFT ENVIRONMENTAL IMPACT STATEMENT #1

2022-05-04 CONDITIONAL ZONING SUBMITTAL #2

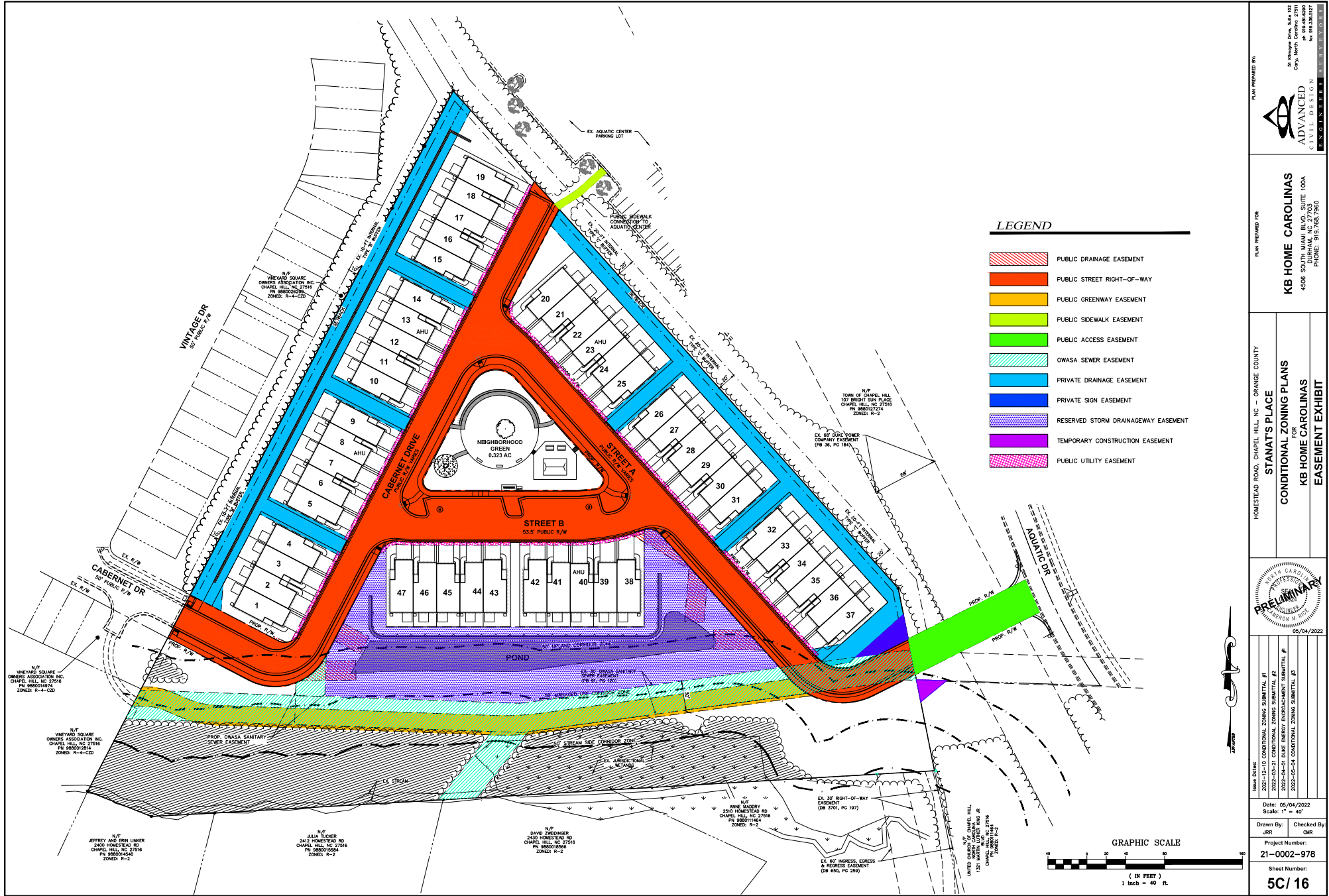
ADVANCED CIVIL DESIGN

51 KILMAYNE DRIVE, SUITE 102

CARY, NC 27511

PHONE: 919.326.9272

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PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
1000 S. N. C. ROAD
DURHAM, NC 27703
PHONE: 919.266.7960

PLAN PREPARED FOR:
KB HOME CAROLINAS
4508 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.266.7960

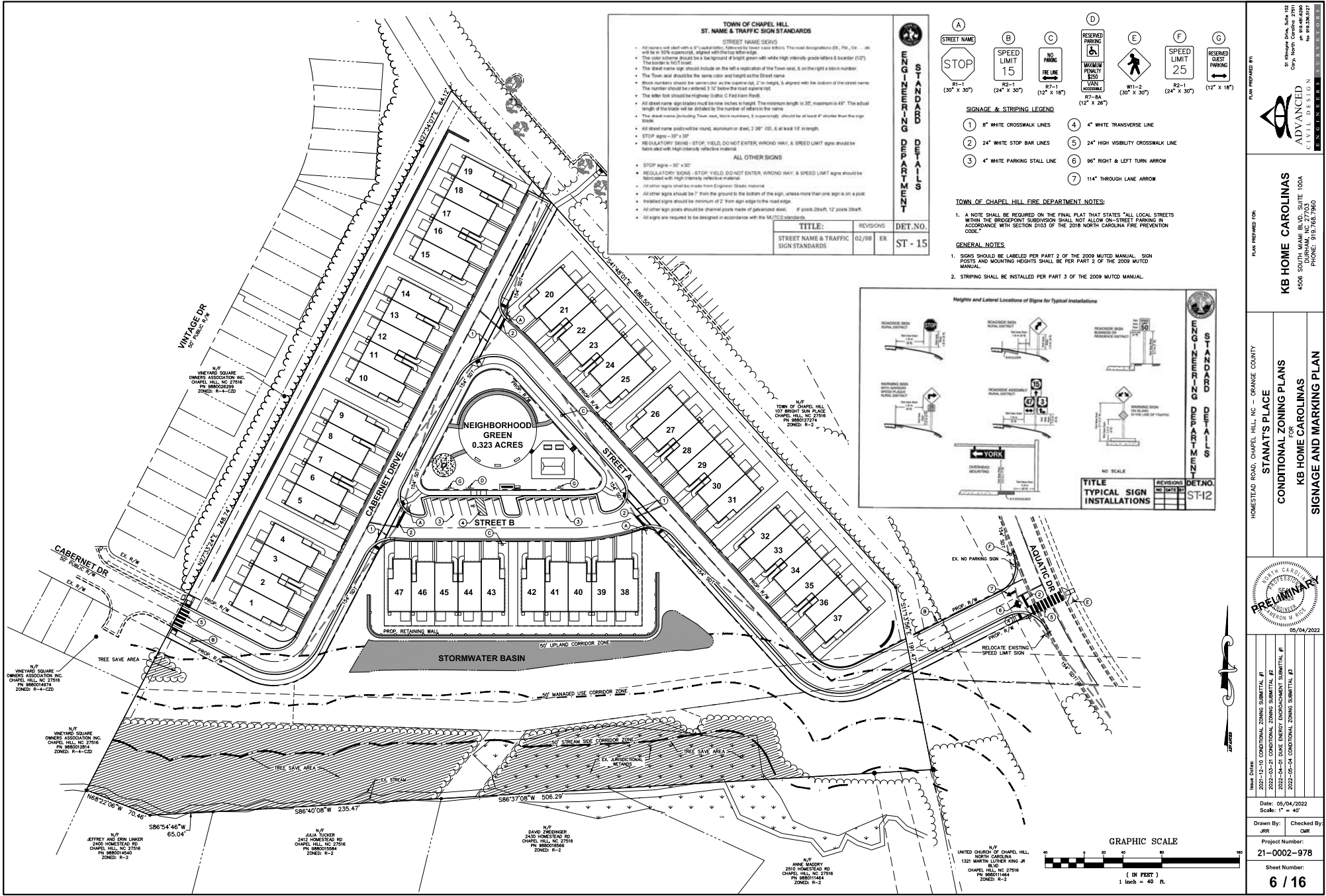
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
EASEMENT EXHIBIT

DATE: 05/04/2022
Scale: 1" = 40'

Drawn By: JRR
Checked By: CMR

Project Number:
21-0002-978

Sheet Number:
5C/16



PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**

PLAN PREPARED FOR: **KB HOME CAROLINAS**
4508 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.685.7960

STANAT'S PLACE
CONDITIONAL ZONING
KB HOME CAROLINAS
SIGNAGE AND MARKING PLAN

PRELIMINARY

05/04/2022

Drawn By: JRR
Checked By: CBR

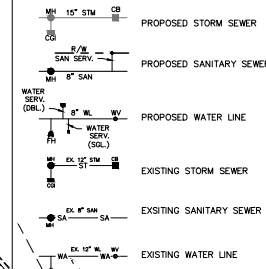
Project Number: 21-0002-978

Sheet Number: 6 / 16

CODED NOTES

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) TEMPORARY CONSTRUCTION EASEMENT

LEGEND



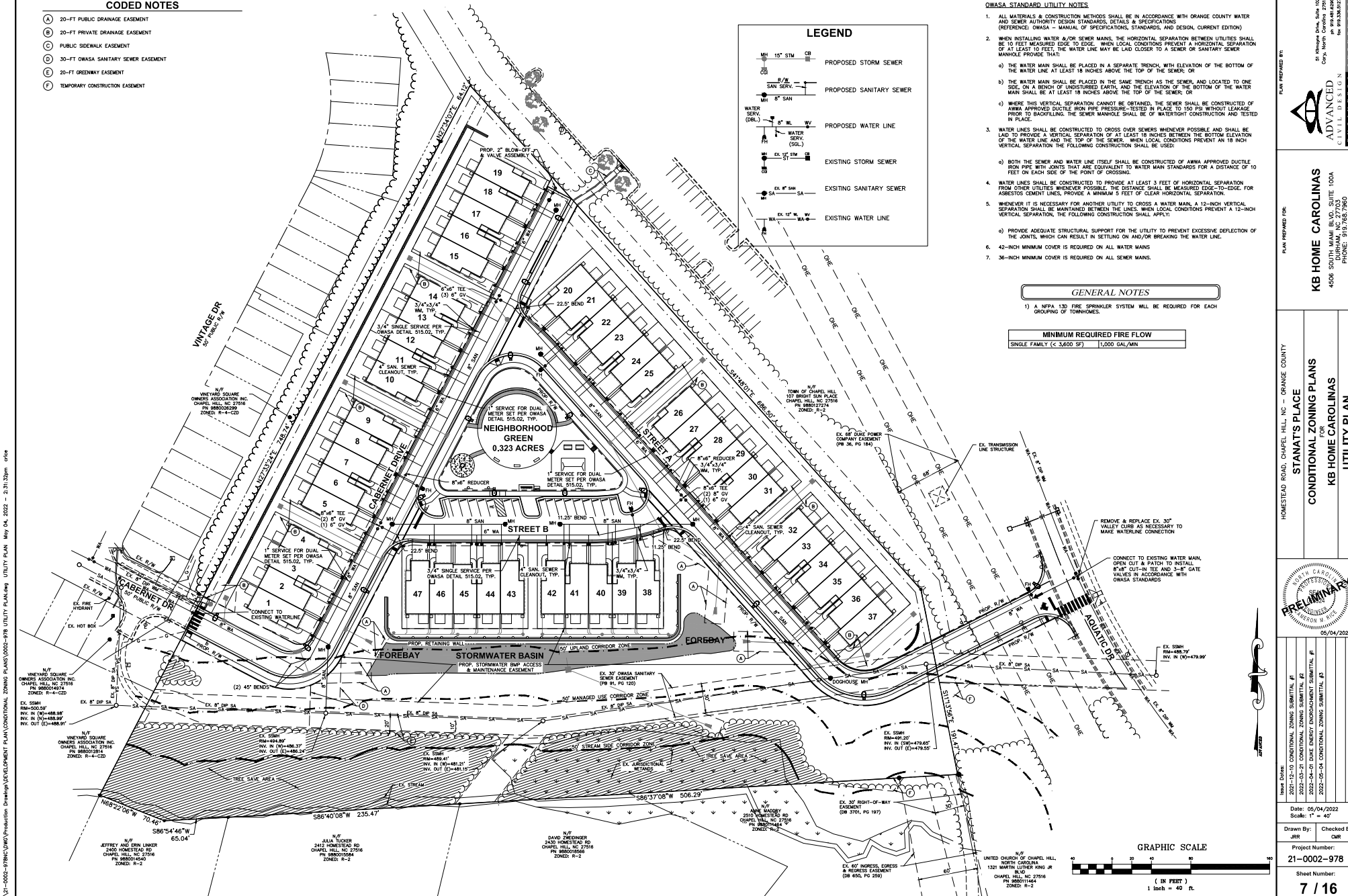
OWASA STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ORANGE COUNTY WATER AND SEWER AUTHORITY DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: OWASA - MANUAL OF SPECIFICATIONS, STANDARDS, AND DESIGN, CURRENT EDITION)
- WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12 FEET MEASURED EDGE TO EDGE. WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF AT LEAST 12 FEET, THE WATER LINE MAY BE LAID CLOSER TO A SEWER OR SANITARY SEWER MANHOLE PROVIDED THAT:
 - THE WATER MAIN SHALL BE PLACED IN A SEPARATE TRENCH, WITH ELEVATION OF THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - THE WATER MAIN SHALL BE PLACED IN THE SAME TRENCH AS THE SEWER, AND LOCATED TO ONE SIDE, ON A BENCH OF UNDISTURBED EARTH, AND THE ELEVATION OF THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - WHERE THIS VERTICAL SEPARATION CANNOT BE OBTAINED, THE SEWER SHALL BE CONSTRUCTED OF ANWA APPROVED DUCTILE IRON PIPE PRESSURE-TESTED IN PLACE TO 150 PSI WITHOUT LEAKAGE PRIOR TO BACKFILLING. THE SEWER MANHOLE SHALL BE OF WATERTIGHT CONSTRUCTION AND TESTED IN PLACE.
- WATER LINES SHALL BE CONSTRUCTED TO CROSS OVER SEWERS WHENEVER POSSIBLE AND SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION OF AT LEAST 18 INCHES BETWEEN THE BOTTOM ELEVATION OF THE WATER LINE AND THE TOP OF THE SEWER. WHEN LOCAL CONDITIONS PREVENT AN 18 INCH VERTICAL SEPARATION THE FOLLOWING CONSTRUCTION SHALL APPLY:
 - BOTH THE SEWER AND WATER LINE ITSELF SHALL BE CONSTRUCTED OF ANWA APPROVED DUCTILE IRON PIPE WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - WATER LINES SHALL BE CONSTRUCTED TO PROVIDE AT LEAST 3 FEET OF HORIZONTAL SEPARATION FROM OTHER UTILITIES WHENEVER POSSIBLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. FOR ASBESTOS CEMENT LINES, PROVIDE A MINIMUM 5 FEET OF CLEAR HORIZONTAL SEPARATION.
 - WHENEVER IT IS NECESSARY FOR ANOTHER UTILITY TO CROSS A WATER MAIN, A 12-INCH VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE LINES. WHEN LOCAL CONDITIONS PREVENT A 12-INCH VERTICAL SEPARATION, THE FOLLOWING CONSTRUCTION SHALL APPLY:
 - PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE UTILITY TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS, WHICH CAN RESULT IN SETTLING ON AND/OR BREAKING THE WATER LINE.
 - 42-INCH MINIMUM COVER IS REQUIRED ON ALL WATER MAINS.
 - 36-INCH MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.

GENERAL NOTES

- A NFPA 13D FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR EACH GROUPING OF TOWNHOMES.

MINIMUM REQUIRED FIRE FLOW	
SINGLE FAMILY (< 3,600 SF)	1,000 GAL/MIN



PLAN PREPARED BY:

KB HOME CAROLINAS

4508 SOUTH MIAMI BLVD., SUITE 100A

DURHAM, NC 27703

PHONE: 919.687.9800

STANAT'S PLACE

CONDITIONAL ZONING PLANS

KB HOME CAROLINAS

UTILITY PLAN

PRELIMINARY

05/04/2022

DATE: 05/04/2022

Scale: 1" = 40'

Drawn By: JRR

Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 7 / 16

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) ROOF DRAIN LEADER
- (G) RETAINING WALL WITH FENCE
- (H) WOODEN FENCE ON TOP OF WALL
- (I) TEMPORARY CONSTRUCTION EASEMENT

	RCD Areas (sf)		
	50 ft Stream Side	50 ft Managed Use	50 ft Upland
RCD on Site	34,630	43,665	43,136
Existing Sewer Easement	1,559	15,619	7,015
Existing Buildings	0	0	65
Existing Drive	0	633	66
Proposed Public Greenway Easement	0	523	354
Proposed Public Sewer Easement	0	0	719
Proposed Impervious Area - Streets & Sidewalk	0	0	4,509
Proposed Impervious Area - Pond	0	0	7,417
Percent Impervious	0%	0%	30%
Percent Impervious per Table 3.6-3.3 (sewered areas)	10%	20%	20%
Proposed Land Disturbance	0	18,446	38,756
Proposed Land Disturbance (minus easements, impervious, & public greenway)	0	2,194	29,904
Percent of land disturbance	0%	53%	94%
Percent of land disturbance (minus easements, impervious, & public greenway)	0%	53%	78%
Percent of disturbance per Table 3.6-3.3	20%	40%	70%

	Steep Slope Areas (sf)
Existing slopes 25% or greater (constructed)	10,959
Existing slopes 25% or greater (natural)	515
Existing slopes 25% or greater (total)	11,474
Percent of disturbed slopes 25% or greater (constructed)	56%
Disturbed existing slopes 25% or greater (constructed)	10,937
Disturbed existing slopes 25% or greater (natural)	0
Disturbed existing slopes 25% or greater (total)	10,937
Percent of disturbed slopes 25% or greater (constructed)	99.8%
Percent of disturbed slopes 25% or greater (natural)	0%
Percent of disturbed slopes 25% or greater (Total)	95%

	Stabilize within this
--	-----------------------

Site Area Description	many calendar days after land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed. 7 days for slopes greater than 50' in length and with slopes steeper than 4:1. 7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones. 10 days for Falls Lake Watershed
(d) Slopes 3:1 to 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones. 10 days for Falls Lake Watershed unless there is a zero slope
(e) Areas with slopes Water than 4:1	14	7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones. 10 days for Falls Lake Watershed unless there is a zero slope

Temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

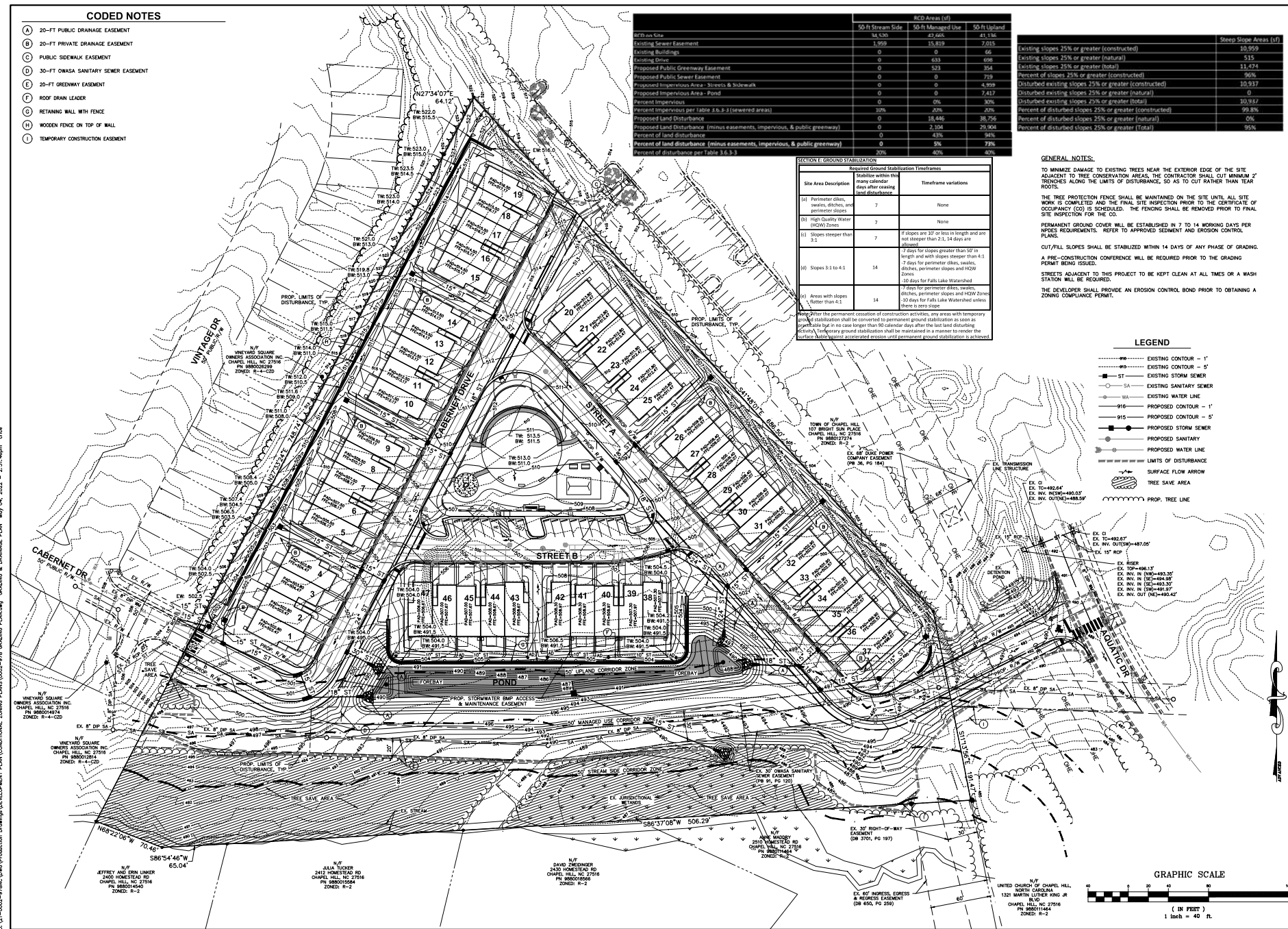
A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A

ZONING COMPLIANCE PERMIT.

	EXISTING CONTOUR - 1'
	EXISTING CONTOUR - 5'
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATER LINE
	PROPOSED CONTOUR - 1'
	PROPOSED CONTOUR - 5'
	PROPOSED STORM SEWER
	PROPOSED SANITARY
	PROPOSED WATER LINE
	LIMITS OF DISTURBANCE
	SURFACE FLOW ARROW
	TREE SAVE AREA
	PROP. TREE LINE



PLAN PREPARED FOR

STANAT'S PLACE
CHAPEL HILL, NC - ORANGE COUNTY

05/04/2022

2022-12-10	CONDITIONAL ZONING SUBMITTAL #1
2022-03-21	CONDITIONAL ZONING SUBMITTAL #2
2022-04-01	DUNE ENERGY ENCROACHMENT SUBMITTAL
2022-05-04	CONDITIONAL ZONING SUBMITTAL #3

Date: 05/04/2022
Scale: 1" = 40'

Drawn By: JRR	Checked By CMR
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Project Number:
21-0002-978

Sheet Number:
8 / 16

1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY GOVERNMENT CONTROL DIVISION ABOUT A LAND-DISTURBING PROJECT.
2. INSTALL TREE PROTECTION FENCE AND OBTAIN TOWN APPROVAL. CLEAR ONLY AS NECESSARY.
4. INSTALL SLIP FENCE AND SLIP FENCE UTILITY PROTECTION. CLEAR ONLY AS NECESSARY.
5. OBTAIN TOWN APPROVAL OF THE PROPOSED CONSTRUCTION. THE MEETING SHOULD BE HELD WITH THE TOWN STORMWATER MANAGEMENT ENGINEER. THE MEETING SHOULD BE HELD WITH THE TOWN ENGINEER AND THE CONTACT INFORMATION IS 890-7846 OR STORMWATER@TOWNOFCHICAGO.ILL.GOV.
6. OBTAIN UTILITY STRUCTURE, PLANS AND SECTION, AND PIPE TO BE EXCAVATED TO SITE.
8. BEGIN GRADING WORK.
9. ONCE GRADING IS COMPLETED, THE ROAD MUST BE STABILIZED WITH VEGETATION, PAVING, DITCH OR CURB AND GUTTER. THE STABILIZATION SHALL BE COMPLETED WITHIN 14 DAYS AS SHOWN ON THE SHEET IMMEDIATELY UPON ESTABLISHING GRADING.
10. CALL ORANGE COUNTY GOVERNMENT CONTROL DIVISION AT 890-2455-2588 FOR AN OUTSIDE INSPECTION. THE INSPECTION MUST BE COMPLETED WITHIN 14 DAYS OF GRADING.
11. BEGIN CLEARING AND GRUBBING. MAINTAIN DECKS WITH BLOOD. ROUGH GRADE SITE.
12. INSTALL STORM SEWER, IF SHOWN, AND PROTECT PIPES BY BLOCKING AND GRASS. INLET AND MANHOLE SHALL BE PROTECTED BY OTHER APPROVED MEASURES AS SHOWN ON THE PLAN. EXCAVATION, BUILDING, ETC.
13. ONCE DECKS HAVE BEEN ESTABLISHED, INSTALL SLIP FENCE AROUND EACH AREA AS SHOWN ON THIS PLAN.
14. STABILIZE SITE AS AREAS ARE BROUGHT UP TO FINISH GRADE WITH VEGETATION, PAVING, DITCH OR CURB AND GUTTER. THE STABILIZATION SHALL BE COMPLETED WITHIN 14 DAYS OF GRADING.
15. WHEN CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED COMPLETELY, CALL THE ORANGE COUNTY GOVERNMENT CONTROL DIVISION FOR AN INSPECTION BY THE REGISTERED MANAGER.
16. IF SITE IS APPROVED, REMOVE TEMPORARY OVERSIZES, SLIP FENCE, STAKEBARS, ETC. AND REINSTATE GRASS. REMOVE ALL REMAINS OF CONSTRUCTION. ALL REMAINS OF CONSTRUCTION, SUCH AS VELOCITY DISPERSERS, SHOULD NOW BE INSTALLED.
17. WHEN VEGETATION HAS BECOME ESTABLISHED, CALL FOR A FINAL SITE INSPECTION IF THE PROJECT IS TO BE REINSTATED.

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) ROOF DRAIN LEADER
- (G) RETAINING WALL WITH FENCE
- (H) WOODEN FENCE ON TOP OF WALL
- (I) TEMPORARY CONSTRUCTION EASEMENT

TOTAL DISTURBED AREA = 7.46 AC.
= 325,000 SF

PROPOSED IMPERVIOUS SURFACES (ON-SITE)		
ROADWAY	=	43,981 SF
DRIVEWAYS	=	14,475 SF
PARKING LOT	=	2,914 SF
BUILDINGS	=	59,505 SF
SIDEWALK	=	11,339 SF
MISC (WALLS, HVAC, PATIOS)	=	6,997 SF
POND PERMANENT POOL AREA	=	10,610 SF
<u>FUTURE ALLOWANCE</u>	=	<u>20,179 SF</u>
TOTAL	=	170,000 SF

- - - - - EXISTING CONTOUR - 1'
 - - - - - EXISTING CONTOUR - 5'
 - - - - - EXISTING STORM SEWER
 - - - - - EXISTING SANITARY SEWER
 - - - - - EXISTING WATER LINE
 - - - - - PROPOSED CONTOUR - 1'
 - - - - - PROPOSED CONTOUR - 5'
 - - - - - PROPOSED STORM SEWER
 - - - - - PROPOSED STIFF FENCE

CWA
 CONCRETE
 WASHOUT AREA
 ROCK CHECK DAM
 SILT FENCE OUTLET PROTECTION
 LIMITS OF DISTURBANCE
 STANDARD INLET PROTECTION
 DIVERSION DITCH
 DIVERSION BERM
 TRAIL SIDE AREA

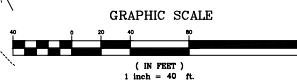
1. ALL STORMWATER PIPES THAT DO NOT EMPTY INTO A BASIN SHALL NOT BE INSTALLED UNTIL SITE IS STABILIZED ABOVE THESE AREAS.
2. BATTLES ARE REQUIRED ON ALL BASINS THAT HAVE A DRAINAGE AREA GREATER THAN 5 ACRES.
3. SILT FENCE OUTLET PROTECTION SHALL BE PLACED AT ALL LOW POINTS ALONG SILT FENCE TO FILTER WATER FILTER AND PASS THROUGH.
4. STORMWATER BASINS TO ACT AS SEDIMENT BASINS. SEE CALCULATIONS ON THIS SHEET FOR SIZING.
5. SILT FENCE SHALL BE PLACED AT THE LIMITS OF DISTURBANCE LINE. SILT FENCE SHOWN OFFSET FROM LIMITS OF DISTURBANCE LINE FOR CLARITY PURPOSES ONLY.

SECTION E: GROUND STABILIZATION		
Required Ground Stabilization Timeframes		
Site Area Description and Stabilization Method	Stabilize within this many calendar days after causing and detracting	Timeframe variations
(a) Perimeter ditches, swales, ditches, open perimeter slopes)		None
(b) High water areas (HWZ) Zones		None
(c) Slopes steeper than 3:1		If slopes are 2:1 or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	7 days for slopes between 52" in length and with slopes steeper than 4:1 7 days for perimeter ditches, swales, ditches, perimeter slopes and HWZ Zones 10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	7 days for perimeter ditches, swales, ditches, perimeter slopes and HWZ Zones 10 days for Falls Lake Watershed There is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
2. RMP THE ENTIRE AREA TO SIX INCHES DEEP AND REMOVE ALL OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
3. APPLY ONE TON PER ACRE OF LIME FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL (SEE MIXTURE BELOW).
4. PREPARE FERTILIZER MIXTURE IN A WELL-PULVERIZED, FIRM, REASONABLY UNIFORM SEEDING BED.
5. PREPARED FOUR TO SIX INCHES DEEP.
6. SPREAD SEEDS UNIFORMLY AND COVER SEEDS LIGHTLY WITH SEEDING BED.
7. ROLL OR CULPAK AFTER SEEDING.
8. MOW FREQUENTLY TO PREVENT WEEDING AND ANCHOR MULK.
9. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WITHIN THE NEXT SEVEN DAYS AFTER SEEDING.
10. RE-EVALUATE FOLLOWING THE ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
11. ADJUST OVERSEEDING RATES TO MAINTAINANCE TENDENCY AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

1. ALL EXISTING TREES AND/OR STRUCTURES SHALL BE CLEARED, GRUBBED AND SEEDS.
2. EXISTING VEGETATION AND NATURAL AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND NOT BE REMOVED UNLESS NECESSARY FOR UNDERSTANDING DURING CONSTRUCTION. EXISTING TREES TO BE PROTECTED TO THE GREATEST EXTENT POSSIBLE OUTSIDE OF THE 100' BUFFER ZONE OF THE 100' R.O.W.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAMPLAIN STANDARDS AND SPECIFICATIONS, LATEST EDITIONS.
4. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND TYPES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY CONSTRUCTION, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES ON OR ADJACENT TO THE PROJECT.
5. CLEAVING IN TREE SAVES ARE OR ANY OTHER DESIGNATED AREAS.
6. AFTER PLAN APPROVAL BY ORANGE COUNTY IT IS A REQUIREMENT TO FILL OUT THE NOTICE OF INTENT (DOI) AT [DCAAG-ORANGECOUNTY.COM](http://dcaag-orangecounty.com) TO OBTAIN A CERTIFICATE OF COVERAGE (COC) FOR THE NONCONFORMING LOT.
7. PER NONCONFORMING PLAN, SELF-INSPECTIONS ARE REQUIRED DURING NORMAL BUSINESS HOURS. SECTION A PART OF A NONCONFORMING PERMIT FOR SELF-INSPECTION REQUIREMENTS.

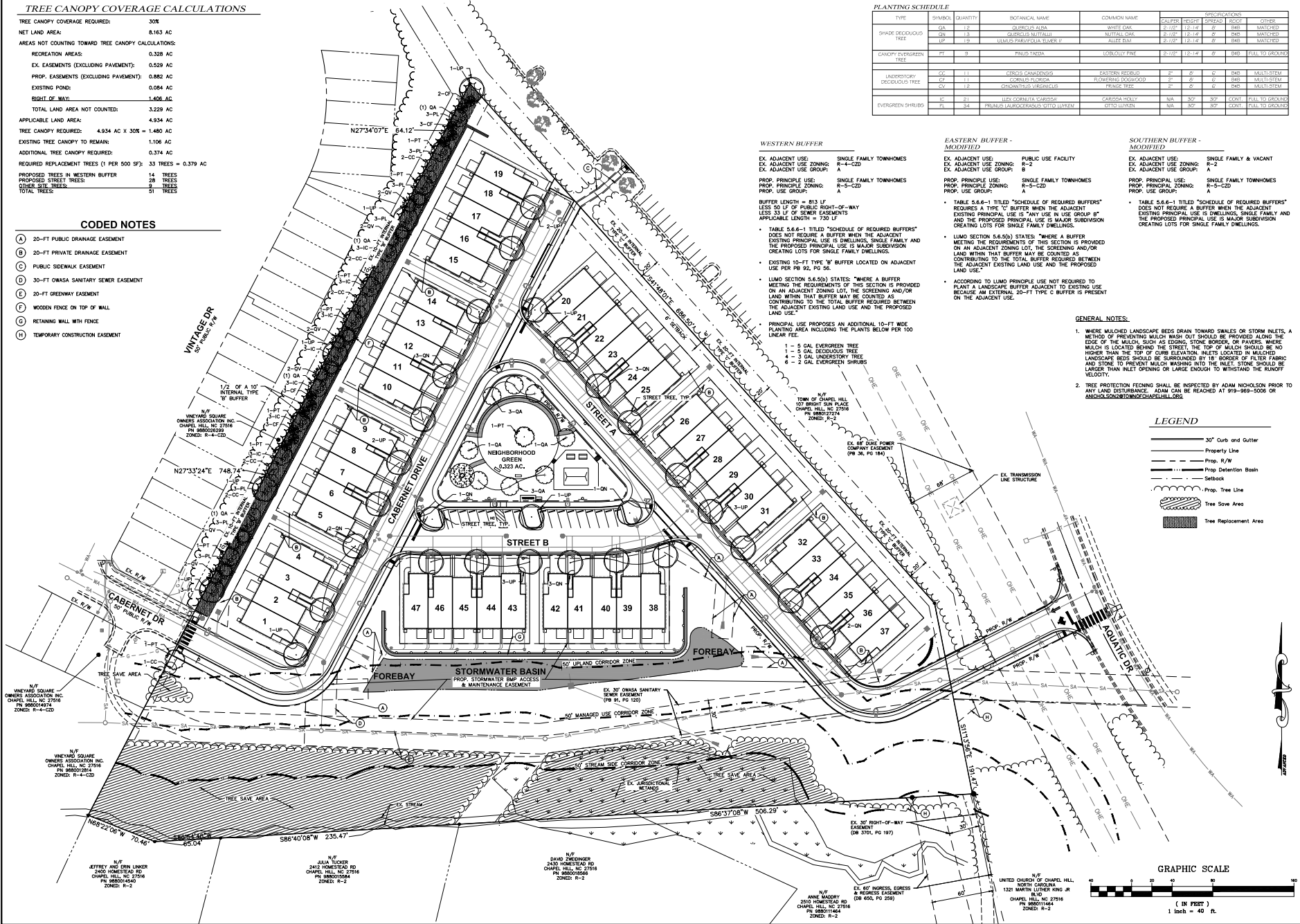
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TREE CANOPY COVERAGE CALCULATIONS

TREE CANOPY COVERAGE REQUIRED:	30%
NET LAND AREA:	8,163 AC
AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:	
RECREATION AREAS:	0.328 AC
EX. EASEMENTS (EXCLUDING PAVEMENT):	0.529 AC
PROP. EASEMENTS (EXCLUDING PAVEMENT):	0.882 AC
EXISTING PONDS:	0.084 AC
BIGHT OF WAY:	1,406 AC
TOTAL LAND AREA NOT COUNTED:	3,229 AC
APPLICABLE LAND AREA:	4,934 AC
TREE CANOPY REQUIRED:	4,934 AC X 30% = 1,480 AC
EXISTING TREE CANOPY TO REMAIN:	1,106 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.374 AC
REQUIRED REPLACEMENT TREES (1 PER 500 SF):	33 TREES = 0.379 AC
PROPOSED TREES IN WESTERN BUFFER:	14 TREES
PROPOSED STREET TREES:	28 TREES
OTHER SITE TREES:	9 TREES
TOTAL TREES:	51 TREES

CODED NOTES

- 20-FT PUBLIC DRAINAGE EASEMENT
- 20-FT PRIVATE DRAINAGE EASEMENT
- PUBLIC SIDEWALK EASEMENT
- 30-FT OWASA SANITARY SEWER EASEMENT
- 20-FT GREENWAY EASEMENT
- WOODEN FENCE ON TOP OF WALL
- RETAINING WALL WITH FENCE
- TEMPORARY CONSTRUCTION EASEMENT



TYPE	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPERS	HEIGHT	SPACING	OTHER
SHADE DECIDUOUS TREE	GA	12	QUERCUS ALBA	WHITE OAK	2-1/2"	12-14'	8'	B&B MATCHED
	GN	12	QUERCUS NUTTALLII	NUTTALL OAK	2-1/2"	12-14'	8'	B&B MATCHED
	UP	12	ULMUS PARVIFOLIA ELAUR V	ALLEE ELM	2-1/2"	12-14'	8'	B&B MATCHED
CANOPY EVERGREEN TREE	PT	8	PRINUS NERPA	LOBLOLLY PINE	2-1/2"	12-14'	8'	B&B FULL TO GROUND
UNDERSTORY DECIDUOUS TREE	CC	11	FRAXINUS CANADENSIS	EASTERN REDBUD	2"	8'	8'	R&B MULTI-STEM
	CC	11	CORNUS FLORIDA	ADONIS FLORIDA	2"	8'	8'	R&B MULTI-STEM
	CC	11	CHONANTHUS VIRGINICUS	PRINCE OF WELLS	2"	8'	8'	R&B MULTI-STEM
EVERGREEN SHRUBS	SC	21	LIRIODENDRON CHRYSEUM	CAROLINA HOLLY	NA	30"	30"	CC&C FULL TO GROUND
	FL	34	PRUNUS LAURICOLLAUS VITID LUTENS	ORFEO LUTENS	NA	30"	30"	CC&C FULL TO GROUND

WESTERN BUFFER

- EX. ADJACENT USE: SINGLE FAMILY TOWNHOMES
- EX. ADJACENT USE ZONING: R-4-CDD
- EX. ADJACENT USE GROUP: A
- PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES
- PROP. PRINCIPAL ZONING: R-5-CDD
- PROP. USE GROUP: A
- BUFFER WIDTH = 813 LF
- LESS 50 LF OF PUBLIC RIGHT-OF-WAY
- LESS 33 LF OF SEWER EASEMENTS
- APPLICABLE LENGTH = 730 LF
- TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.
- EXISTING 10-FT TYPE "W" BUFFER LOCATED ON ADJACENT USE PER PB 90, PG 58.
- LUMO SECTION 5.6.5(5) STATES: "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."
- PRINCIPAL USE PROPOSES AN ADDITIONAL 10-FT WIDE PLANTING AREA INCLUDING THE PLANTS BELOW PER 100 LINEAR FEET:
 - 1 - 5 GAL EVERGREEN TREE
 - 1 - 5 GAL DECIDUOUS TREE
 - 1 - 5 GAL UNDERSTORY TREE
 - 6 - 2 GAL EVERGREEN SHRUBS

EASTERN BUFFER - MODIFIED

- EX. ADJACENT USE: PUBLIC USE FACILITY
- EX. ADJACENT USE ZONING: R-2
- EX. ADJACENT USE GROUP: B
- PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES
- PROP. PRINCIPAL ZONING: R-5-CDD
- PROP. USE GROUP: A
- TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" REQUIRES A TYPE "C" BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS "ANY USE IN USE GROUP B" AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.
- LUMO SECTION 5.6.5(5) STATES: "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."
- ACCORDING TO LUMO PRINCIPLE USE NOT REQUIRED TO PLANT A LANDSCAPE BUFFER ADJACENT TO EXISTING USE BECAUSE AN EXTERNAL 20-FT TYPE C BUFFER IS PRESENT ON THE ADJACENT USE.

SOUTHERN BUFFER - MODIFIED

- EX. ADJACENT USE: SINGLE FAMILY & VACANT
- EX. ADJACENT USE ZONING: R-2
- EX. ADJACENT USE GROUP: A
- PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES
- PROP. PRINCIPAL ZONING: R-5-CDD
- PROP. USE GROUP: A
- TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

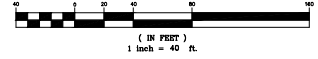
GENERAL NOTES

- WHERE MULCHED LANDSCAPE BEDS DRAIN TOWARD SWALES OR STORM INLETS, A METHOD OF PREVENTING MULCH WASH OUT SHOULD BE PROVIDED ALONG THE EDGE OF THE MULCH, SUCH AS EROSION STONE BORDER OR PAVERS. WHERE MULCH IS LOCATED BEHIND THE STREET, THE TOP OF MULCH SHOULD BE NO HIGHER THAN THE TOP OF CURB ELEVATION. INLETS LOCATED IN MULCHED LANDSCAPE BEDS SHOULD BE SURROUNDED BY 18" BORDER OF FILTER RAUP AND STONE TO PREVENT MULCH WASHING INTO THE INLET. STONE SHOULD BE LARGER THAN INLET OPENING OR LARGE ENOUGH TO WITHSTAND THE RUNOFF VELOCITY.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5008 OR ANICHA.SON@TOWNOFCHAPELHILL.ORG

LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Prop. Tree Line
- Tree Save Area
- Tree Replacement Area

GRAPHIC SCALE



PLAN PREPARED BY:

PLAN PREPARED FOR:

DATE: 05/04/2022

Scale: 1" = 40'

Drawn By: JRR

Checked By: CMR

Project Number: 21-0002-978

Sheet Number: 11/16

STANAT'S PLACE

CONDITIONAL ZONING PLANS

KB HOME CAROLINAS

PLANTING PLAN

ADVANCED CIVIL DESIGN

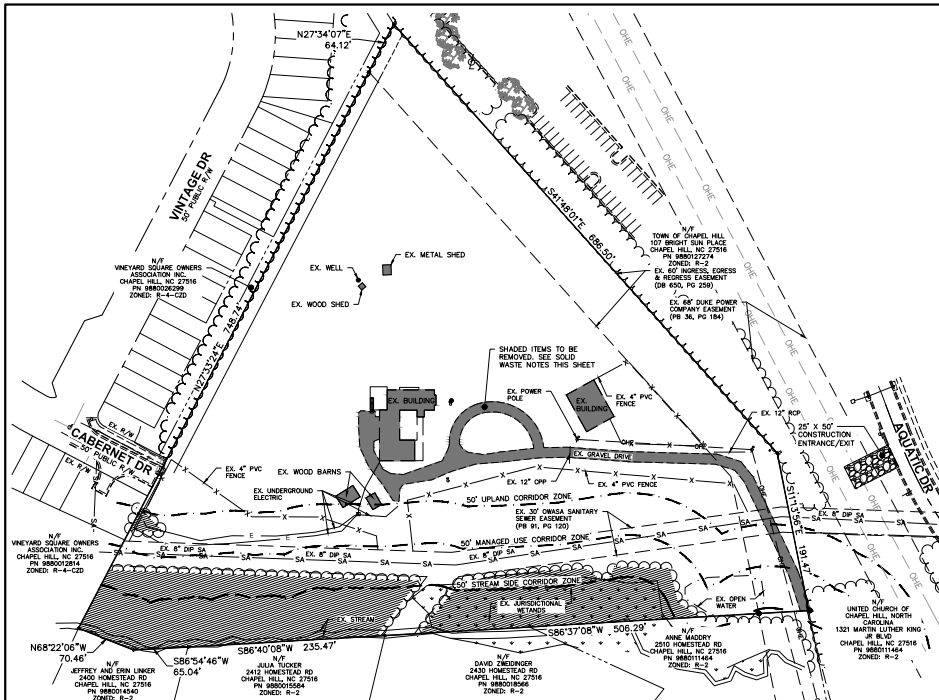
4000 SOUTH MIAMI BLVD., SUITE 100A

DURHAM, NC 27703

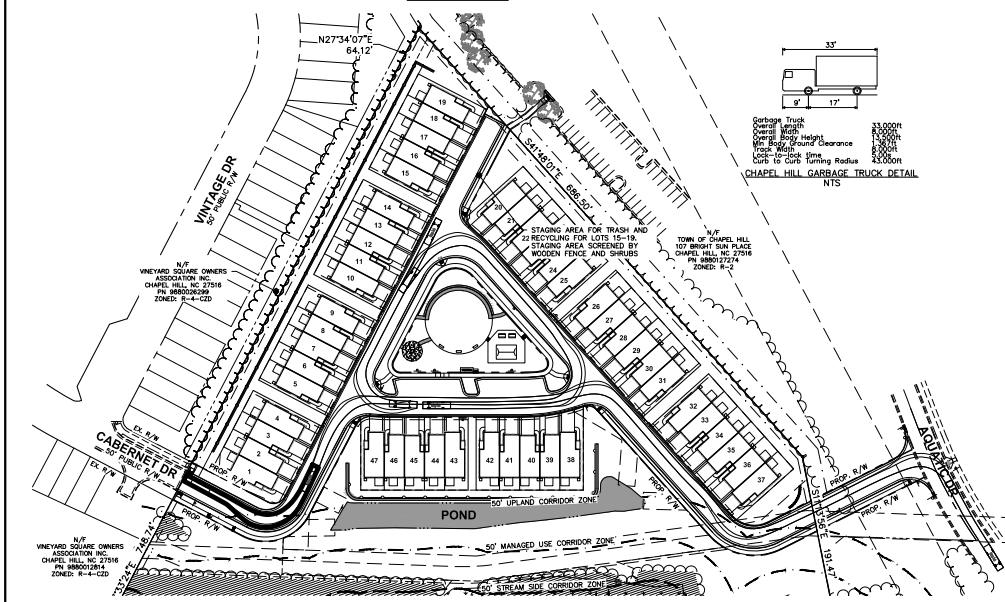
PHONE: 919.658.7860

919.658.7860

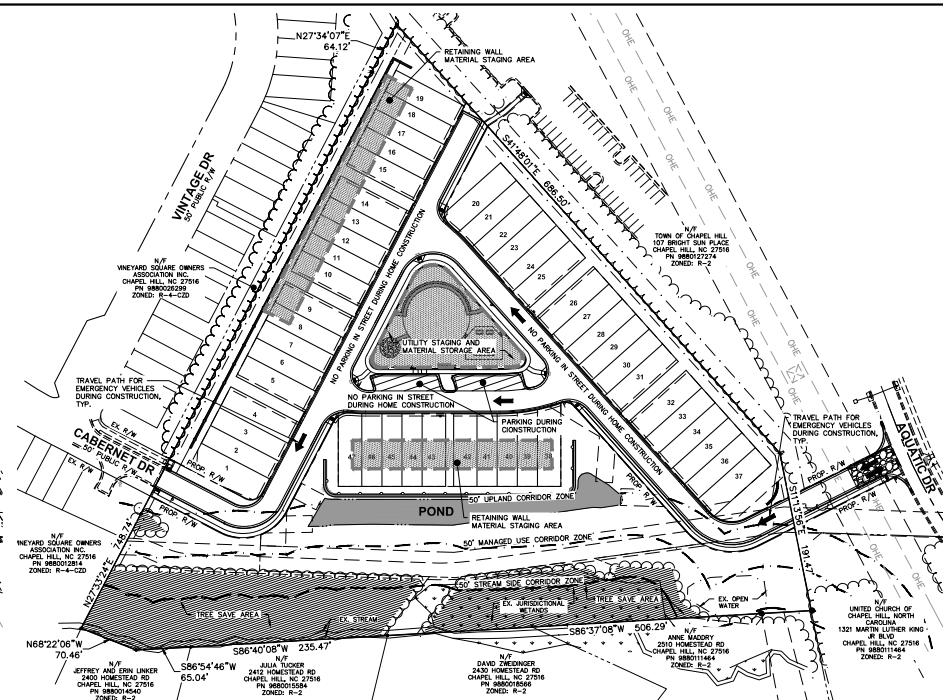
919.658.7860



DEMOLITION



GARBAGE TRUCK TURNING TEMPLATE EXHIBIT



CONSTRUCTION

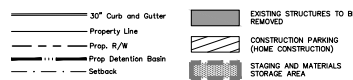
SOLID WASTE NOTES:

1. ALL EXISTING STRUCTURES 500 SQ. FT. AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS (RRM) MANAGEMENT PROGRAM. DEMOLITION OF STRUCTURES SHALL BE BY GRAB-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
2. BY ORANGE COUNTY ORDINANCE, LEAD WOOD MAST, SCRAP METAL, AND DISCARDED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE SHALL BE RECYCLED.
3. BY ORANGE COUNTY ORDINANCE, ALL HANDERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL OBTAIN A DEMOLITION/PRE-CONSTRUCTION COMPLIANCE WITH THE SOLID WASTE TREATY (919-996-2788). THIS SHALL BE THE SAME PRE-CONSTRUCTION COMPLIANCE AS REQUIRED FOR OTHER CONSTRUCTION PROJECTS.
5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
6. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE, THE VEHICLE CONTAINS NAIL NOT RUDGE OR SCRAP UNTIL THE NEXT RECHEDULED COLLECTION DAY.
7. MIXED RECYCLING AND CARDBOARD WILL BE IN CURB CANS PLACED AT THE CURB PRIOR TO DEMOLITION OR CONSTRUCTION ACTIVITY.
8. TRASH WILL BE IN ROLL CANS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY TOWN OF CHAPFL SOLID WASTE MANAGEMENT, A DIVISION OF PUBLIC WORKS DEPARTMENT.
9. ALL CONSTRUCTION WASTE MATERIALS SHALL BE RECYCLED WHENEVER POSSIBLE. CONTRACTORS SHALL RETAIN PROOF SLIPS TO RECORD/VALIDATE RECYCLING AS MAY BE REQUIRED BY ENVIRONMENTAL AGENCIES.
10. THE OWNER, OR THEIR DESIGNER, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRM LOG DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONSOR'S COMPLETION OF OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
11. ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE COUNTY OF ORANGE'S DEMOLITION AND CONSTRUCTION REGULATIONS.
12. PRIOR TO A DEMOLITION PERMIT BEING ISSUED FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR GREATER IN SIZE, A DEMOLITION ASSESSMENT MUST BE SUBMITTED TO THE COUNTY OF ORANGE COUNTY'S DEMOLITION ASSESSMENT UNIT AT 919-966-2788 OR DEMOLITION@ORANGECLERKCOUNTY.GOV TO REQUEST AND SCHEDULE THE ASSESSMENT.

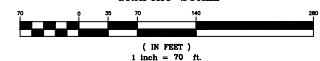
CONSTRUCTION MANAGEMENT NOTES

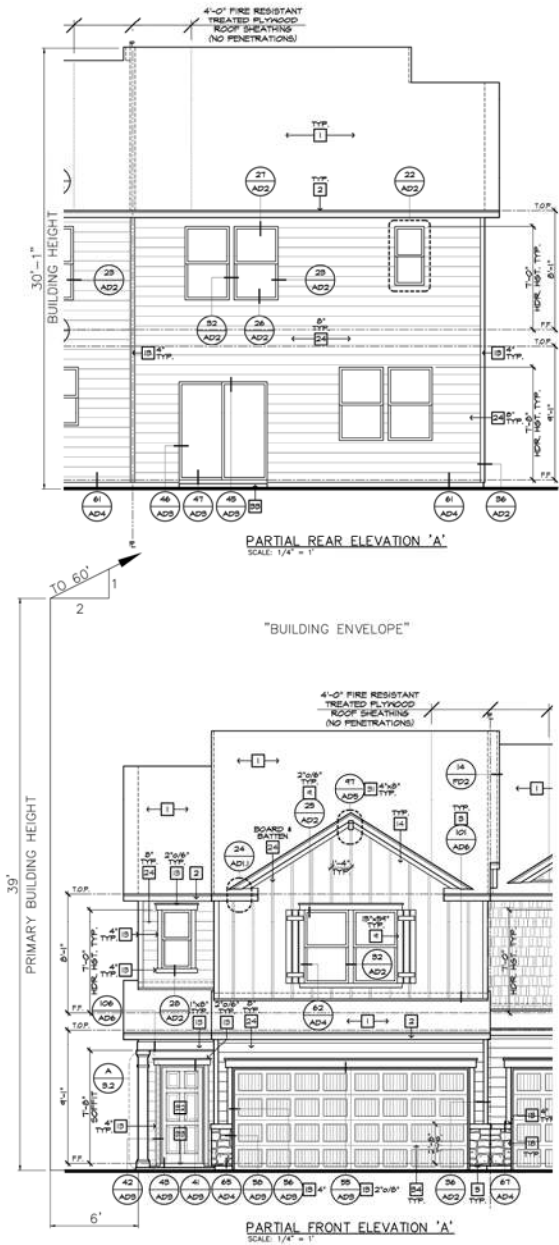
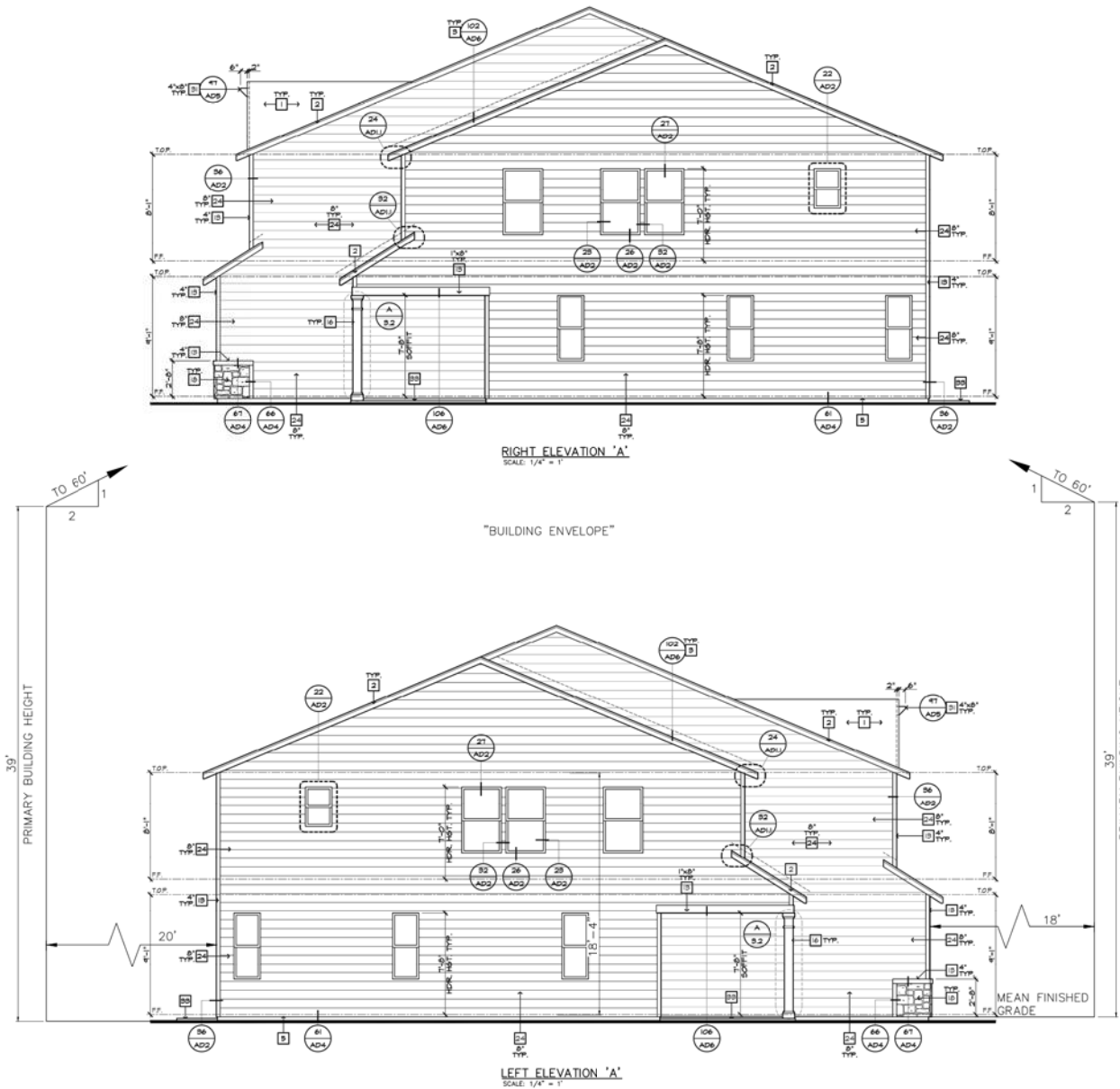
1. ALL LARGE TRUCKS ARE REQUIRED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES AND EXITS AND NOT ON THE PLAN.
2. ENTRANCES AND EXIT GATES SHALL BE CLOSED UNLESS ACTIVELY BEING USED FOR ENTERING OR EXITING.
3. CONSTRUCTION MANAGER PARKING FOR SMALL CONSTRUCTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE DURING EARLY STAGES OF CONSTRUCTION. ADDITIONAL PARKING AREA IS TO BE PROVIDED IN THE FUTURE OVERFLOW PARKING LOT.
4. CONSTRUCTION WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY.
5. THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES - REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFICATIONS AND DETAILS.
6. NO OPEN BURNING SHALL BE PERMITTED.
7. THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT THE FOLLOWING:
 - PROJECT OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER
 - CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR THE CITY ENGINEERING DEPARTMENT
 - SIGN MAY BE A MAXIMUM OF 32' 5" AND A MAXIMUM HEIGHT OF 8' FT.
8. DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED. NEWLY CONSTRUCTED DRIVEWAYS SHALL BE LOCATED AT EACH STREET INTERSECTION. CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES - SIGNS SHALL BE OF AN APPROVED WEATHER RESISTANT, AND MAINTAINED UNITS, REPLACED IF DAMAGED.
9. PERMANENT SIGNS WITH CURB AND GUTTER AND THE FIRST LIFT OF ASPHALT WILL NEED TO BE COMPLETED PRIOR TO THE START OF CONSTRUCTION. THE FOLLOWING EQUIPMENT FROM FIRE CODE, STORMWATER, AND OWSA: HYDRANTS SHALL BE ACTIVE IN THE AREA OF CONSTRUCTION BEFORE START.
10. A PERMIT SHALL BE REQUIRED FOR A CONSTRUCTION TRAILER.

LEGEND

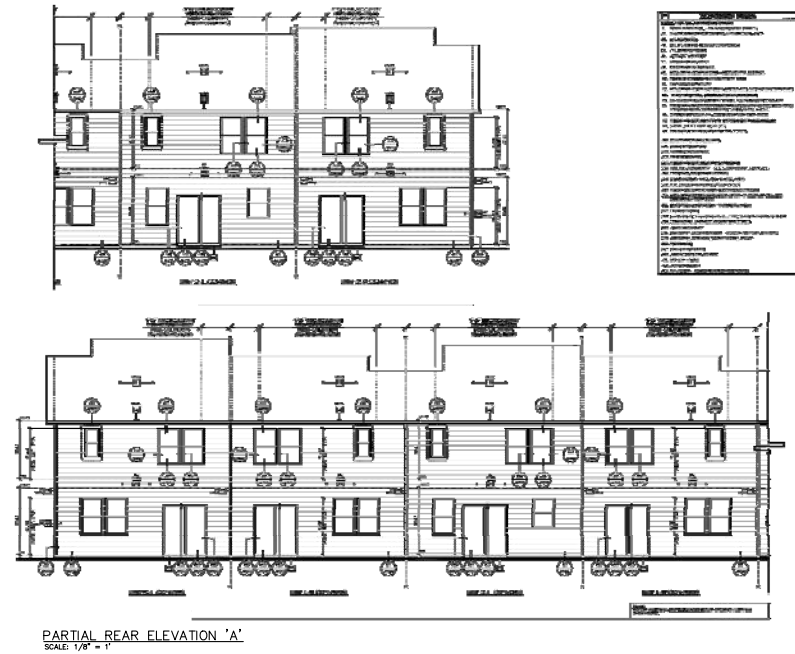
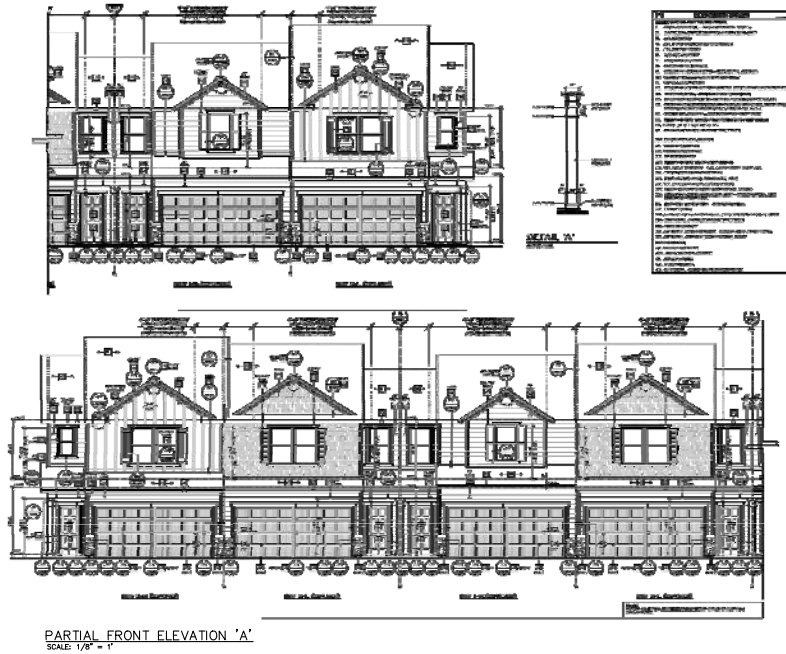


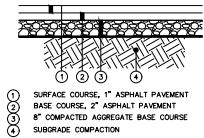
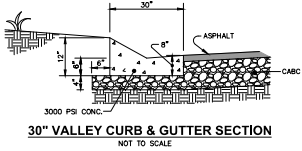
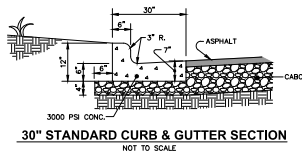
GRAPHIC SCALE



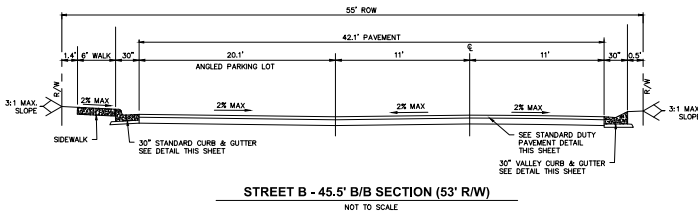


<p>PLANS PREPARED BY:</p> <p>ADVANCED CIVIL DESIGN</p> <p>311 KENNEDY DRIVE, SUITE 102 DURHAM, NC 27703 PHONE: 919.286.9200 FAX: 919.286.9207</p>	
<p>PLANS PREPARED FOR:</p> <p>KB HOME CAROLINAS</p> <p>4508 SOUTH MAIN BLVD., SUITE 100A DURHAM, NC 27703 PHONE: 919.658.7560</p>	
<p>PROJECT LOCATION:</p> <p>STANATT'S PLACE</p> <p>CONDITIONAL ZONING PLANS</p> <p>KB HOME CAROLINAS</p> <p>BUILDING ELEVATION EXHIBIT</p>	
<p>DATE: 05/04/2022</p> <p>SCALE: 1/4" = 1'</p> <p>Drawn By: JHR</p> <p>Checked By: CMR</p> <p>Project Number: 21-0002-978</p> <p>Sheet Number: 13/16</p>	

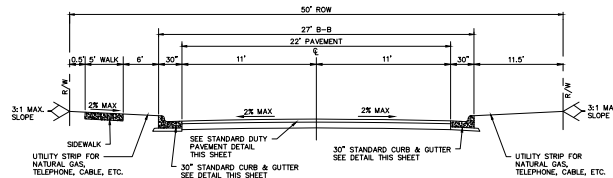




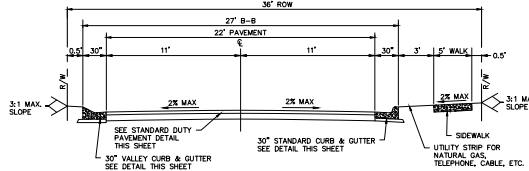
STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



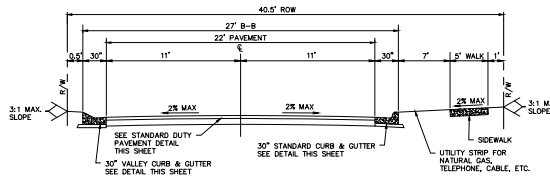
STREET B - 45.5' B/B SECTION (53' R/W)
NOT TO SCALE



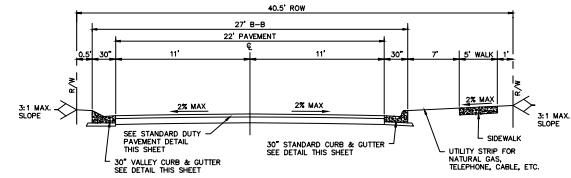
CABERNET DRIVE - 27' B/B SECTION (50' R/W)
NOT TO SCALE



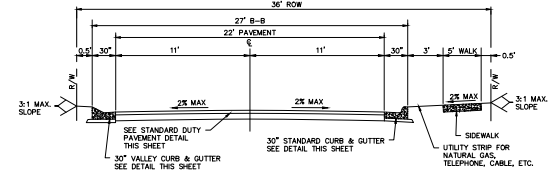
CABERNET DRIVE - 27' B/B SECTION (36' R/W)
NOT TO SCALE



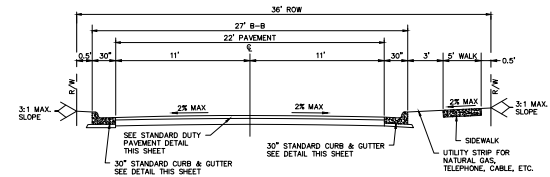
CABERNET DRIVE - 27' B/B SECTION (40.5' R/W)
NOT TO SCALE



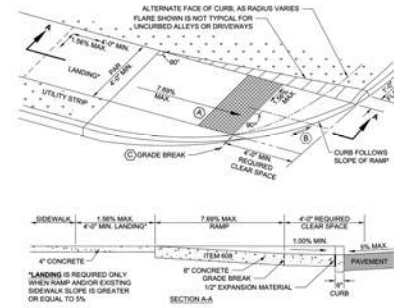
STREET A - 27' B/B SECTION (40.5' R/W)
NOT TO SCALE



STREET A - 27' B/B SECTION (36' R/W)
NOT TO SCALE

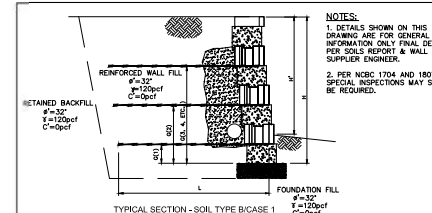


STREET A - 27' B/B SECTION (36' R/W)
NOT TO SCALE



CODED NOTES:
(A) DETECTABLE WARNING DOWNS
(B) PROVIDE POSITIVE DRAINAGE ALONG CURBLINE.
SHOULD BE 1.0% MINIMUM SLOPE
(C) WHERE THE DISTANCE FROM EITHER END OF THE
BOTTOM OF THE GRADE BREAK TO THE BACK OF
CURB IS GREATER THAN 5 FT, THE DETECTABLE
WARNING SHALL BE PLACED AT THE BACK OF CURB

CURB RAMP DETAIL
NOT TO SCALE



SOIL TYPE B/CASE 1													
TOTAL GROUP HEIGHT	LARGEST PILE DIA.	GEOROD NO. LAYERS	L TYPE	GEOROD LENGTH - HEIGHT INCHES									
				1	2	3	4	5	6	7	8	9	10
2'-0"	1'-6"	0	N/A	N/A	-	-	-	-	-	-	-	-	-
2'-0"	2'-0"	0	N/A	N/A	-	-	-	-	-	-	-	-	-
4'-0"	4'-0"	1	4'-0"	A	2'-4"	-	-	-	-	-	-	-	-
7'-0"	6'-0"	3	4'-0"	A	2'-0"	4'-0"	6'-0"	-	-	-	-	-	-
8'-0"	8'-0"	4	4'-0"	A	2'-4"	2'-4"	4'-0"	6'-0"	-	-	-	-	-
11'-0"	10'-0"	6	5'-0"	A	2'-4"	2'-0"	3'-4"	5'-4"	7'-4"	-	-	-	-
12'-0"	12'-0"	7	5'-4"	B	2'-4"	2'-0"	4'-0"	6'-0"	10'-0"	10'-0"	-	-	-
15'-0"	14'-0"	9	7'-4"	B	2'-4"	2'-0"	4'-0"	6'-0"	10'-0"	10'-0"	10'-0"	-	-
17'-0"	16'-0"	9	8'-0"	B	2'-4"	2'-0"	3'-4"	5'-0"	7'-0"	10'-0"	10'-0"	10'-0"	-
18'-0"	18'-0"	9	10'-0"	C	2'-4"	2'-4"	4'-0"	6'-4"	10'-4"	12'-4"	12'-4"	12'-4"	-
21'-4"	20'-0"	10	11'-0"	C	2'-4"	2'-4"	4'-4"	6'-4"	10'-4"	12'-4"	12'-4"	12'-4"	-

MODULAR RETAINING WALL
SCALE: NONE
© 2022/2021 Lane Development/Winning Wall/Modular Wall.dwg

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
11111 N. 111TH ST., SUITE 100
DURHAM, NC 27703
PHONE: 919.685.7960

KB HOME CAROLINAS
4508 SOUTH MAIN BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.685.7960

STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
DETAILS

PRELIMINARY
05/04/2022

Drawn By: JRR
Checked By: CMR
Project Number: 21-0002-978
Sheet Number: 16/16

**STANAT'S PLACE
RESIDENTIAL DEVELOPMENT**

DRAFT TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

March 2022



STANAT'S PLACE RESIDENTIAL DEVELOPMENT

DRAFT TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

March 2022



EXECUTIVE SUMMARY - DRAFT

Project Overview

A new residential community, known as Stanat's Place, is being proposed in Chapel Hill near Homestead Road and Aquatic Drive. **Figure ES-1** shows the general location of the site. The project proposes to construct 47 individual residential townhome/condominium units and is anticipated to be fully complete and occupied by 2025. This report analyzes the full build-out scenario for Stanat's Place for the year 2026 (one year after anticipated completion), the no-build scenario for 2026, as well as 2022 existing year traffic conditions. The impacts of the proposed site at the study area intersections are evaluated during the AM, noon, and PM peak hours of an average weekday.

The current proposed site plan shows a provision for a full movement access driveway serving the site that connects to Aquatic Drive and a provision for a full movement access street connection to tie into existing Cabernet Drive in the Vineyard Square subdivision that would provide external connectivity to Weaver Dairy Road Extension via Napa Valley Way. No other external roadway vehicular access connections are proposed. **Figure ES-2** displays the overall site plan and nearby land uses and roadways. The Stanat's Place site is expected to provide individual vehicle parking spaces located as part of each condominium lot – with potential on-street parking allowed in areas where curb space permits. Several internal street parking spaces near the central neighborhood green are also proposed. This report analyzes and presents the transportation impacts that Stanat's Place will have on the following intersections in the project study area:

- Homestead Road and Weaver Dairy Road Extension
- Homestead Road and Aquatic Drive / Chapel View Apartments Driveway
- Homestead Road and NC 86 (Martin Luther King, Jr. Boulevard)
- Weaver Dairy Road Extension and Sonoma Way / Napa Valley Way
- Aquatic Drive and Proposed Site Driveway

Existing Conditions

Study Area

The site is located in north Chapel Hill north of Homestead Road. The study area contains two signalized intersections along Homestead Road at NC 86 (Martin Luther King, Jr. Boulevard) and Weaver Dairy Road Extension. Two scenarios are analyzed in this study – one assessing two access points from the site (Aquatic Drive and Cabernet Drive) and one assessing a single access at Aquatic Drive only. NC 86 (Martin Luther King, Jr. Boulevard) is a major north-south arterial providing connectivity between downtown Chapel Hill, north and south Chapel Hill, the I-40 corridor and Hillsborough. Homestead Road is a minor east-west arterial providing connectivity through northern Chapel Hill. Remaining study area network roadways are either suburban collector streets or local neighborhood/commercial access streets.

Site Traffic Generation

With the addition of new trips during the weekday AM, noon, and PM peak hours, there are potential site traffic impacts to study area intersections. **Table ES-1** shows the site trip generation details, with rates taken from the Institute of Transportation Engineers (ITE) *Trip Generation Manual, Version 10*.

Background Traffic

Background traffic growth for the 2026 analysis years is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Four Town-approved sites near the project study area were considered for specific development related growth. All remaining estimated



Town of Chapel Hill: Draft Transportation Impact Analysis

Stanat's Place - Proposed Residential Development

traffic volume increases are assumed to occur due to overall region-wide ambient growth (assumed 1.5 percent per year) based on NCDOT/Town historic growth data and taking into consideration the on-going rebound to pre-COVID traffic levels caused by the pandemic.

Table ES-1. Weekday Vehicle Trip Generation Summary

Description	Density	Daily			AM Peak			Noon Peak*			PM Peak		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
Condominiums	47 Units	157	157	314	5	18	23	12	15	27	19	11	30

* - No Noon Peak ITE Data Available – Used Average of AM and PM Peak Data

Impact Analysis

Peak Hour Intersection Level of Service

Existing traffic operations at all study area intersections are acceptable during all three peak hours analyzed. The projected ambient and background development traffic growth will increase impacts by 2026. Even with the addition of peak hour site-generated trips to the projected 2026 background traffic volumes, no study area intersection is expected to experience deficient traffic operations in any peak hour and projected maximum queues at all locations are not expected to be excessive. No additional mitigation improvements to any intersection were considered necessary. A summary of the traffic operations for each intersection, related to vehicular delays (intersection average as a whole if signalized, critical movement if stop-controlled) and the corresponding traffic simulation Level-of-Service (LOS_s) is shown in **Table ES-2**.

Table ES-2. Peak Hour Intersection Capacity Analysis Summary

Intersections	Peak Hour	2022 Existing		2026 No-Build		2026 Build Two Access Points		2026 Build One Access Point		2026 Mitigated	
		LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
Homestead Road & Weaver Dairy Road Extension	AM	B	15.6	A	9.0	A	9.1	A	9.0	N/A	N/A
	NOON	B	14.2	B	10.4	A	9.8	B	10.0	N/A	N/A
	PM	B	16.4	B	13.2	B	13.0	B	13.4	N/A	N/A
Homestead Road & Aquatic Drive / Chapel View Apts Driveway [#]	AM	A	7.7	A	8.2	A	8.9	A	9.6	N/A	N/A
	NOON	A	6.2	A	6.7	A	7.3	A	7.5	N/A	N/A
	PM	A	7.5	A	9.1	A	9.4	B	10.4	N/A	N/A
Homestead Road & NC 86 (Martin Luther King, Jr. Boulevard)	AM	B	17.0	B	14.2	B	14.4	B	14.3	N/A	N/A
	NOON	B	19.7	C	22.8	C	23.1	C	23.2	N/A	N/A
	PM	B	16.5	B	17.6	B	18.0	B	18.1	N/A	N/A
Weaver Dairy Road Extension & Sonoma Way / Napa Valley Way [#]	AM	A	8.3	A	8.8	A	9.1	A	8.6	N/A	N/A
	NOON	A	5.7	A	5.9	A	6.2	A	5.8	N/A	N/A
	PM	A	7.5	A	8.5	A	8.9	A	8.0	N/A	N/A
Aquatic Drive & Proposed Site Driveway [#]	AM	N/A	N/A	N/A	N/A	A	4.5	A	4.5	N/A	N/A
	NOON	N/A	N/A	N/A	N/A	A	4.6	A	4.5	N/A	N/A
	PM	N/A	N/A	N/A	N/A	A	4.6	A	4.5	N/A	N/A

N/A – Not Applicable or No Improvements Necessary

BOLD/ITALICS – Critical Movement or Overall Intersection Requires Mitigation Per Town TIA Guidelines

- Worst-Case LOS/Delay for Unsignalized/Stop-Controlled Critical Movement



Access Analysis

Vehicular site access to the project is to be accommodated at a proposed full movement local street access connecting to Aquatic Drive about 1,100 feet to the north of Aquatic Drive's intersection with the Homestead Road. The proposed driveway has single inbound and outbound lanes. A second local street access connection is also proposed to link with Cabernet Drive within the Vineyard Square subdivision. This connection would provide access between Stanat's Place and the Weaver Dairy Road Extension via Napa Valley Way. Driveway throat lengths, and intersection/driveway separation minimum criteria, as set forth in the 2003 *NCDOT Policy on Street and Driveway Access to North Carolina Highways* and the 2017 Town of Chapel Hill Design Manual are acceptable for current site plans for the project.

Access for pedestrians is adequate in the project study area and will be improved with the construction of the Town's Homestead Road Improvements project. Crosswalk exists across the NC 86, Aquatic Drive, and Weaver Dairy Extension intersections. No specific bicycle amenities are present along Homestead Road, but bicycle lanes are present on the Weaver Dairy Road Extension and along NC 86 north of Homestead Road. Additional bicycle lanes/off-road paved paths along Homestead Road will be provided upon the completion of the Town's improvement project.

Signal Warrant Analysis

Based on projected 2026 traffic volumes and proposed access plans, no unsignalized study area intersection with Homestead Road would warrant the installation of a traffic signal, based on the Peak Hour warrant methodology found in the 2009 *Manual on Uniform Traffic Control Devices (MUTCD)*.

Crash Analysis

Data from the NCDOT Traffic Safety Unit was provided for the five-year period 2/1/2017 to 1/31/2022 for the segments of Homestead Road and Weaver Dairy Road Extension in the vicinity of the proposed site. There were 13 crashes reported along Homestead Road study area corridor between Weaver Dairy Road Extension and NC 86 over the five year period and 3 crashes along Weaver Dairy Road Extension north of Homestead Road to Sonoma Way. The primary crash type was rear end crashes and crashes were primarily clustered near the NC 86 intersection. Overall, the number and severity of crashes along Homestead Road and Weaver Dairy Road Extension in the project study area is lower than state-wide averages for similar facilities.

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the 2001 Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using TransModeler maximum queue length estimates for the 2026 Build Scenario. At the intersection of Homestead Road and Weaver Dairy Road Extension, the southbound right-turn lane queue may exceed its existing storage regardless of site traffic impacts. Adjustments to signal timing may be necessary to mitigate this issue. No other intersection maximum queue results indicate potential queue spillback.
Appropriateness of Acceleration/Deceleration Lanes	With low posted neighborhood speed limits and relatively light traffic turning volumes, no additional acceleration/decelerations lanes are necessary in the vicinity of the project. Existing roadway facilities have appropriate auxiliary turn lanes to facilitate traffic flow.



Analysis	Comment
Pedestrian and Bicycle Analysis	Existing pedestrian access and connectivity is adequate along the Homestead Road corridor just south of the site, though some gaps exist on both sides of the road in certain areas. Bicycle lanes extend along NC 86 north of Homestead Road and along the Weaver Dairy Road Extension with bicycle sharrows present on Aquatic Drive, but no bicycle facilities exist along Homestead Road within the project study area. The Town's Homestead Road Improvements project will considerably improve pedestrian and bicycle facilities along Homestead Road to the west of the project study area.
Public Transportation Analysis	Public transportation service to the study area, and to the proposed site is adequate, with bus stops and multiple local and regional bus routes on both NC 86 and Homestead Road proximate to the site.

Mitigation Measures/Recommendations

Planned Improvements

There are no North Carolina Department of Transportation improvement projects for study area roadway facilities within the analysis year time frame of 2022-2026. The Town of Chapel Hill has a transportation improvement project currently slated for construction prior to the 2026 site build-out year. The Homestead Road Improvements project (U-4726 IK) will create a consistent three-lane roadway cross-section west of the Weaver Dairy Road Extension intersection, as well as construct pedestrian and bicycle facility improvements between Seawell School Road and Weaver Dairy Road Extension. Improvements related to this project are shown schematically on **Figure ES-3**.

The Town also has the North-South Bus Rapid Transit Project, which will provide dedicated lanes for transit along the NC 86 corridor, along with other transit amenity improvements scheduled for construction in 2028. As final design details are not complete as of the submittal of this TIA, no specific lane usage changes along NC 86 were analyzed as part of this study.

Background Committed Improvements

Several traffic impact studies for development projects in and near the study area recommended signal timing reoptimization for signalized intersections along the NC 86 corridor by their respective build-out years. It is assumed that signal timing reoptimization will occur for the NC 86 corridor and for the Homestead Road/Weaver Dairy Road intersection by the year 2026, whether or not specifically needed by any of the proposed background traffic generating developments included in this study.

Applicant Committed Improvements

Based on the preliminary site plans and supporting development information provided, there are several specific transportation-related improvements proposed for the Stanat's Place project. Internal and external improvements (shown schematically in **Figure ES-3**) include:

- Provision of a primary full movement access street connecting to Aquatic Drive with a proposed unsignalized crosswalk to access existing sidewalk on the eastern side of Aquatic Drive. Sidewalk on at least one side of this access street, along with all other proposed access streets within Stanat's Place will be provided.
- Provision of a multi-use path along the southern property frontage that ties into the proposed sidewalk described above and would allow future connection to undeveloped properties to the west near the Weaver Dairy Road Extension.
- Construction of a full access minor street connection to existing Cabernet Drive with an accompanying extension of existing sidewalk along Cabernet Drive to connect to internal sidewalk in the Stanat's Place development.



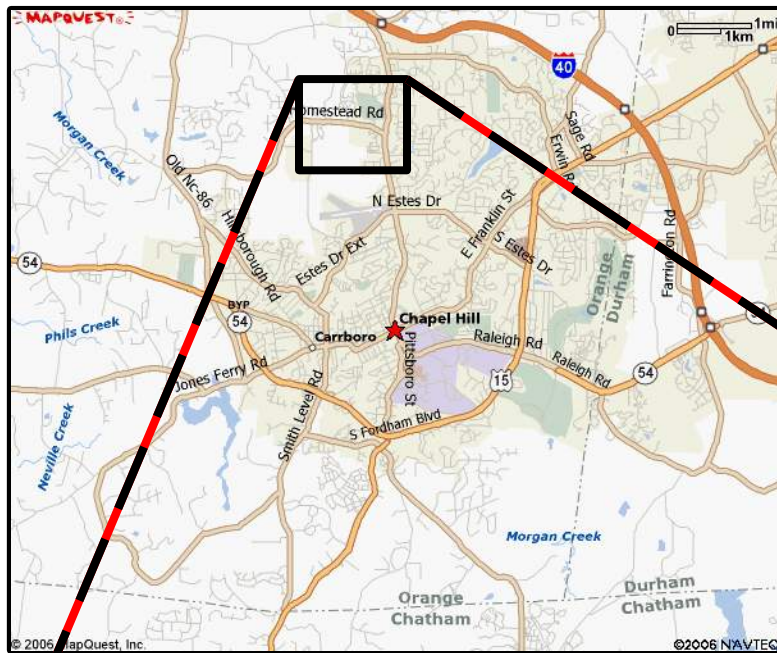
Necessary Improvements

Based on traffic capacity analyses for the 2026 design year with one access point or two access points for the Stanat's Place development and analyses of existing study area turning bay storage lengths and site access, the following improvement is recommended as being necessary for adequate transportation network operations and safety (see **Figure ES-3**).





- The proposed local access connection between the site and Cabernet Drive is not expected to cause excessive additional traffic demands through the existing Vineyard Square neighborhood, nor conversely to attract excessive traffic demand from the existing neighborhood through the Stanat's Place development. To help ensure that traffic traveling between the two neighborhoods maintains appropriate speeds using the connection, it is recommended that a traffic calming measure – such as a raised speed table –be constructed in the vicinity of the proposed connection along Cabernet Drive, along with appropriate upstream warning signage in both directions for the speed table. Coupled with the nearby curvature of the Cabernet Drive extension into Stanat's Place and the presence of on street parked vehicles in the Vineyard Square subdivision, these measures should mitigate any excessive vehicle speeds in the vicinity of this proposed connection.

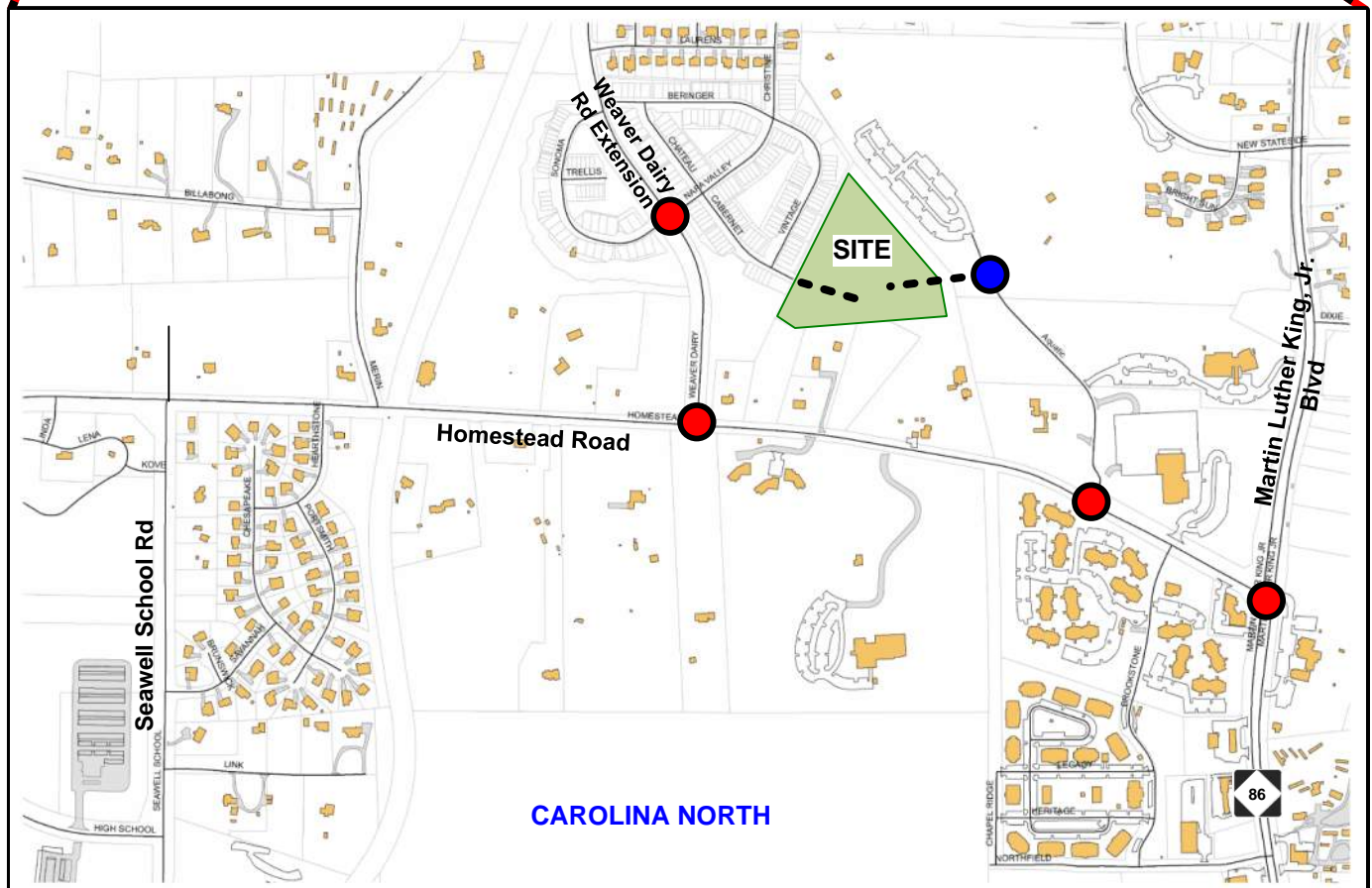


**Signage Delineating Future
Cabernet Drive Extension
Into Stanat's Place**



LEGEND

-  = Existing Building Footprint
 = Existing Study Area Intersection
 = Proposed Site Driveway
 = Proposed 2200 Homestead Site



Source: Town of Chapel Hill GIS Files

DRAFT



Stanat's Place Residential Transportation Impact Analysis

PROJECT STUDY AREA

DATE: March 2022

FIGURE ES-1

DRAFT

LEGEND



= PROPOSED
SITE ACCESS

EXISTING POND:	0.084 AC
RIGHT OF WAY:	1.294 AC
TOTAL LAND AREA NOT COUNTED:	3.429 AC
APPLICABLE LAND AREA:	4.734 AC
TREE CANOPY REQUIRED:	4.734 AC X 30% = 1.420 AC
EXISTING TREE CANOPY TO REMAIN:	1.130 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.291 AC
REQUIRED REPLACEMENT TREES (1 PER 500 SF):	25 TREES = 0.287 AC
PROPOSED STREET TREES:	26 TREES
OTHER SITE TREES:	4 TREES
TOTAL TREES:	30 TREES

CODED NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) CHAPEL HILL STONE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1 CHILDREN'S PLAY STRUCTURE WITH HANGING TABLES
- (G) GATHERING SPACE #2 FIRE PIT WITH CHAPEL HILL GRIT SURFACE
- (H) 4' BRICK WALKWAY
- (I) FENCE

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPOINT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION 0103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

GENERAL NOTES:

- A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND HISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
- ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
- EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 1,500 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
- SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
- ALL PROPOSED STREETS ARE PUBLIC.
- TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL BOX. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOPS.
- A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5006 OR ANICHOLSON@TOWNOFCHAPELHILL.ORG.

EXISTING ZONING:	R-2
PROPOSED ZONING:	R-2S-C20
OUTSIDE CORPORATE UNITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OVERLAY DISTRICTS:	RED
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
	GROSS LAND AREA = 8.979 AC
	# UNITS ALLOWED = 134
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	47
PROPOSED MINIMUM LOT SIZE:	2,094 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA X RECREATION SPACE RATIO (391,116 SF) X (0.05) = 19,558 SF
RECREATION SPACE PROVIDED:	16,592 SF NEIGHBORHOOD GREEN 14,500 SF GOLFWAY EASEMENT 31,112 SF TOTAL
MINIMUM PARKING REQUIRED:	1.5 SPACES PER UNIT = 71 SPACES
MAXIMUM PARKING REQUIRED:	2.25 SPACES PER UNIT = 105 SPACES
PROPOSED PARKING:	1.5 SPACES PER UNIT X 47 UNITS = 71 SPACES (ON DRIVEWAYS) 24 PARKING SPACES (INCLUDING 1 HANDICAP SPACE) 1 PARKING SPACE RESERVED FOR USPS (NOT COUNTED IN TOTAL) 95 SPACES
TOTAL PROPOSED PARKING:	
MINIMUM BICYCLE PARKING REQUIRED:	1 SPACE PER 4 UNITS = 12 SPACES
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL BOX 10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOP FOR EACH 12 SPACES
TOTAL BICYCLE PARKING PROVIDED:	
PROPOSED INTERIOR LOT SETBACKS:	
FRONT -	0'
SIDE -	0'
REAR -	0'
REQUIRED SETBACKS:	
INTERIOR -	6'
STREET -	10'
SOLAR -	8'
PROPOSED BUILDING SEPARATION:	
MAXIMUM BUILDING HEIGHT (PRIMARY):	12'
MAXIMUM BUILDING HEIGHT (SECONDARY):	39'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.48
TOTAL IMPERVIOUS SURFACE:	180,687 SF
MAXIMUM FLOOR AREA ALLOWED:	116,509 SF
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	90,000 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	17,600 SF
MAXIMUM LAND DISTURBANCE:	136,109 SF
	325,000 SF

PROPOSED FULL ACCESS TO
EXISTING CABERNET DRIVE

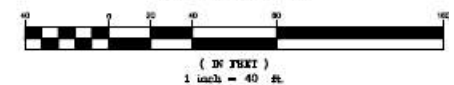
FULL ACCESS TO
AQUATIC DRIVE

INTERNAL MULTI-USE PATH

LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area

GRAPHIC SCALE



HNTB



NOT TO
SCALE

Stanat's Place Residential
Transportation Impact Analysis

PRELIMINARY SITE PLAN




DATE: March 2022

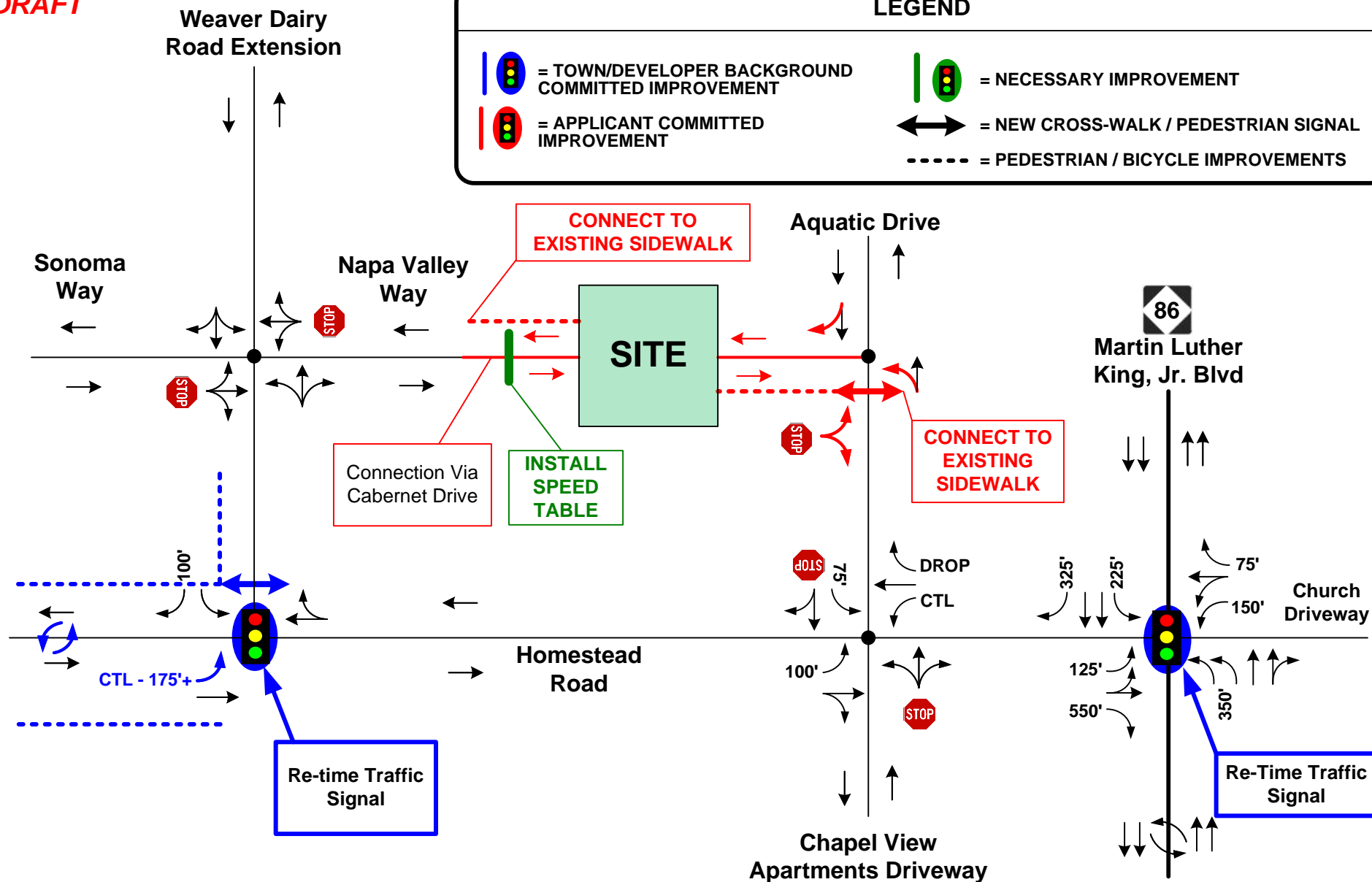
FIGURE ES-2

DRAFT

LEGEND

-  = TOWN/DEVELOPER BACKGROUND COMMITTED IMPROVEMENT
-  = APPLICANT COMMITTED IMPROVEMENT

-  = NECESSARY IMPROVEMENT
-  = NEW CROSS-WALK / PEDESTRIAN SIGNAL
-  = PEDESTRIAN / BICYCLE IMPROVEMENTS



HNTB



NOT TO
SCALE

Stanat's Place Residential Transportation Impact Analysis

COMMITTED AND RECOMMENDED IMPROVEMENTS

DATE: March 2022

FIGURE ES-3