



Town of Chapel Hill, NC

06/27/2022

HDC-22-1

Historic District Certificate of Appropriateness

Status: Active**Date Created:** Jun 10, 2022

Applicant

Sam Reynolds
sreynolds@reynoldsjewell.net

Certificate of Appropriateness Form

Historic District

Cameron-McCauley

Application Type Check all that apply

Minor Work is exterior work that does not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See Chapel Hill Historic Districts Design Principles & Standards ("Principles & Standards") (p. 9-11) for a list of minor works. Please contact Town Staff to confirm if you believe the project is classified as "minor work."

Historic District Commission Review includes all exterior changes to structures and features other than minor works

Historic District Commission Review



Written Description

Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable. Consider including additional materials to illustrate your project, such as: - Photos and specifications for proposed exterior materials such as siding, trim, roof, foundation materials, windows, etc. - Renderings of the proposed work - Spec sheets

Refer to attachments: Written Description and Justification, and Site Plans.

Applicable HDC Design Standards

Page / Standard #

42 / 1.1

Topic

1. District Setting

Brief Description of the Applicable Aspects of Your Proposal

Site Features: See attached Justification of Appropriateness.

Page / Standard #

50 / 1.4

Topic

1. District Setting

Brief Description of the Applicable Aspects of Your Proposal

See attached Justification of Appropriateness.

Page / Standard #

54 / 1.5

Topic

1. District Setting

Brief Description of the Applicable Aspects of Your Proposal

See attached Justification of Appropriateness.

Page / Standard #

58 / 1.6

Topic

1. District Setting

Brief Description of the Applicable Aspects of Your Proposal

See attached Justification of Appropriateness.

Page / Standard #

67 / 2.2

Topic

2. Building Materials

Brief Description of the Applicable Aspects of Your Proposal

See attached Justification of Appropriateness.

Property Owner Information



Property Owner Name


H.K. Hallett / Thomas Jones

Property Owner Signature
Thomas Jones
06/10/2022

Notice Information

Timeline

Label	Status	Activated	Completed	Assignee	Due Date
 COA Completeness Check	Complete	Jun 10, 2022 at 4:28 pm	Jun 13, 2022 at 9:00 am	Anya Grahn	-
 COA Fee	Paid	Jun 13, 2022 at 9:00 am	Jun 13, 2022 at 10:15 am	-	-

Label		Status	Activated	Completed	Assignee	Due Date
	COA Approval Review	Active	Jun 13, 2022 at 10:15 am	-	Anya Grahn	-

304 South Columbia Street: Phi Delta Theta Fraternity House

1. Written Description of Physical Changes Proposed.

This application is for improvements and repairs to various hardscape elements, and replacement of an existing storage shed. Refer to the plans in this application, photographs of existing conditions, examples of hardscape elements, and sketches of the proposed improvements.

The Owner proposes to improve or repair the following:

1. Remove the existing deteriorated plastic storage shed at the northeast corner of the building, and replace it with a steel shed, 9'x8' and 5'-6" high at the peak, to be relocated to the northwest corner of the building next to the parking lot.
2. Install a memorial rock with an engraved inscription behind the basketball hoop to honor an alumnus.
3. Replace an existing gravel area at the southwest corner of the parking lot with two asphalt parking spaces.
4. Replace a gravel picnic area at the southeast corner of the parking lot with brick to match the adjacent walkway.
5. Add permanent white basketball dimension markings to the asphalt under the existing basketball hoop in the parking lot.
6. Install an LED pole light near the basketball hoop.
7. Replace the existing dirt walkway on the north side of the building with concrete and add steps at the grade transition, for safety and accessibility.
8. Extend the existing lower brick tread at the front entrance and add another brick tread, for safety and accessibility, using similar brick and styles.
9. Repair a small section of brick wall at the walkway entrance on South Columbia Street.
10. Remove a deteriorated canvas canopy on the west side of the building.

2. History, Context, and Character Information.

Phi Delta Theta Fraternity House, a Southern Colonial Revival building, was constructed in the early to mid-20th century. The building is currently closed and not being used by the Fraternity.

The building is not a contributing structure in the Cameron-McCauley Historic District.



3. Justification of Appropriateness.

The proposed improvements are in character with the Cameron-McCauley Historic District, being similar in materials, size, and scale to the hardscape elements of several nearby properties. Specifically, the following standards of appropriateness will be met:

Page 42, 1.1 Site Features.

- 1.1.1.** Retain and preserve site features that are important in defining the overall historic character of sites and streetscapes within each historic district. These include, but are not limited to terraces, trellises, and gazebos.
- 1.1.2.** Retain and preserve historic relationships between district buildings, structures, or streetscapes and their site features, including site structures, retaining walls, fences, foundations, driveways, and walkways.
- 1.1.3.** Protect and maintain constructed site features through a program of regular maintenance and repair using accepted preservation methods.
- 1.1.4.** Repair deteriorated or damaged constructed site features, such as terraces, gazebos, trellises, fences, and walls through appropriate methods outlined in the Standards for Masonry, Wood, Architectural Metals, and Fences & Walls.
- 1.1.5.** Replace deteriorated or missing constructed site features with new features that match the original in material, design, dimension, pattern, detail, texture, and color.
- 1.1.6.** Maintain and protect site features from damage during or as a consequence of site work or new construction.
- 1.1.7.** Introduce new site features to be compatible in scale, design, and materials with the overall historic character of the site and district. Utilize traditional materials in the construction of benches, terraces, gazebos, trellises, fences, and walls.

The site features, except for the new storage shed and the memorial rock, are repairs and improvements to existing hardscape elements. They will be unobtrusive in the context of the entire site and will use materials in keeping with the character of the site.

Page 50, 1.4 Walkways, Driveways & Off-Street Parking.

- 1.4.1.** Retain and preserve the features, materials, patterns, dimensions, details, and configurations of walkways, driveways, and off-street parking areas that are important in defining the overall historic character of sites within the historic districts.
- 1.4.2.** Protect and maintain the details, features, materials, and surfaces of character-defining walkways, driveways, and off-street parking areas through a program of regular maintenance and repair using accepted preservation methods.
- 1.4.3.** Repair deteriorated or damaged historic walkways, driveways, and off-street parking areas through recognized preservation methods. Repairs may include selective in-kind replacement of missing or deteriorated portions of a feature, matching the original in material, design, dimension, configuration, detail, texture, and pattern.
- 1.4.5.** Design new walkways, driveways, and off-street parking to conform with the spacing, width, configuration, and materials of character-defining walkways, driveways, and off-street parking areas in the district.
- 1.4.6.** Site new walkways, driveways, and off-street parking areas in locations that are compatible with the character of the building, site, and district—typically to the side and rear of existing buildings—and locate them so the topography of the site and mature trees and other significant site features are not significantly altered, damaged, or lost.
 - a.** In residential areas, do not locate off-street parking areas in front yards. Whenever possible, driveways should lead to parking areas to the side or rear of the primary building on the site.
 - b.** In commercial and institutional areas, parking should be located at the side or rear of the property whenever possible.

1.4.7. Do not locate driveways or parking areas in locations where the paving will abut the principal building. A planting strip should be retained between historic residential structures and any new paving in order to minimize damage to the foundation.

1.4.8. Do not locate new off-street parking on a site where the paved area will substantially alter the proportion of the site that is paved versus landscaped.

The current gravel walkway along the side of the building will be replaced with concrete, for safety reasons. The two asphalt parking spaces will replace a gravel area, and the paved picnic area will replace a gravel picnic area, using brick to match the adjacent walkway.

Page 54, 1.5 Garages & Accessory Structures.

1.5.5. Replace in kind any feature of a garage or accessory structure that is too deteriorated to repair, taking care to replace only the deteriorated portion rather than the entire feature. Replacement features should match the original in material, design, dimension, detail, texture, and finish. Do not remove rather than repair or replace decorative features on a garage or accessory structure. Consider a compatible substitute material only if replacement in kind is not technically feasible.

1.5.8. Do not introduce features or details to a garage or accessory structure that would create a false historical appearance.

The current plastic storage shed is too deteriorated to repair and is in an inconvenient location. It will be replaced with a steel shed of approximately the same dimensions and will be relocated at the northeast corner of the parking lot. The style of the shed is basic and will not attempt to create a false historical appearance.

Page 58, 1.6 Exterior Lighting.

1.6.5. Introduce new exterior lighting fixtures with care so that the overall historic character of the building, site, and district is not compromised or diminished. Select and site new lighting fixtures so their location, orientation, height, brightness, scale, and design are compatible with the historic district and its human scale. Fixtures should emit a white or warm spectrum light; fluorescent, neon, blinking, or colored lighting is not appropriate in the historic districts.

1.6.6. Introduce low-level lighting in residential areas as needed to ensure safety and security. Minimize their impact on the overall historic character of the site by selecting discreet fixtures—such as footlights, recessed lights, directional lights, and lights on pedestrian-scaled posts—and installing them in unobtrusive locations.

1.6.7. Introduce lighting on commercial buildings as necessary for pedestrian safety or to illuminate signage. Minimize the impact of lighting and maintain the overall historic character of the site by selecting discreet fixtures—such as recessed lights, directional lights, and lights on pedestrian-scaled posts—and installing them in unobtrusive locations.

1.6.8. Control the direction and range of new lighting so it does not invade adjacent properties. Locate low-level or directional site lighting and motion detectors with care to ensure that light does not invade adjacent properties. Do not introduce bright security lights, floodlights, continuous lighting, or uplighting that over-illuminates the facades or front yards of houses.

An LED light mounted on a metal pole is proposed for the half-court basketball area in the parking lot to allow for evening games. It will light only the area around the hoop and will be controlled by an on/off switch.

Page 67, 2.2 Masonry.

2.2.1. Retain and preserve masonry features and surfaces that are important in defining the overall historic character of buildings or site features within the historic districts. These include, but are not limited to,

masonry walls (both building and landscape walls), foundations, chimneys, porch supports, sidewalks and steps, door and window surrounds, and commercial cornices and parapets.

2.2.3. Protect and maintain masonry features and surfaces through a program of regular maintenance and repair using accepted preservation methods.

2.2.9. If a masonry feature is completely missing, replace it to match the historic feature, based upon physical and documentary evidence. Otherwise, replace it with a new feature that is compatible in material, design, size, scale, and color with the building or site.

The brick paving proposed for the current gravel picnic area next to the parking lot will use brick similar to that in the adjacent walkway. The extended brick tread and new tread at the east entrance steps will use similar brick and a similar style. The short section of wall at the walkway entrance on Columbia Street entrance is an in-kind repair.

- Notes**
- 1) This survey was performed without the benefit of a title report. This survey is subject to any facts and easements which may be disclosed by a full and accurate title search.
 - 2) This property is subject to all easements, buffers and restrictions shown hereon and all others of record not shown hereon.
 - 3) This property is not located in a special flood hazard zone per DFIRM panel 9788, map #3710978800K, effective Nov. 17, 2017.
 - 4) No record easement was found for existing storm structures shown hereon.
 - 5) This property is located within the Cameron-McCauley Historic District per ToCH GIS.
 - 6) This property is zoned OL-3 per ToCH GIS.

9788-45-1417
300 S. Columbia St.
P.B. 96-134
Southern Older Memorial
Foundation Inc.
D.B. 128-179

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 190, PAGE 364); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM SOURCES NOTED HEREON; THAT THE RATIO OF PRECISION IS 1:10,000 OR BETTER; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY SIGNATURE, LICENSE NUMBER, AND SEAL THIS 18th DAY OF NOVEMBER, 2020.



NC Grid, NAD 83 (2011)



S. Columbia Street
(Variable Width Public R/W)
per P.B. 96-134

304 S. Columbia Street
N.L.A: 35,039 s.f. (0.804 Ac.)
G.L.A: 38,543 s.f. (0.884 Ac.)

Existing Conditions w/
partial topography

PROPERTY OF
N.C. Beta Foundation

PROPERTY ADDRESS: 304 S. Columbia Street

PIN REFERENCE: 9788-45-1314
DEED REFERENCE: 190-364
PLAT REFERENCE: 96-134

CHAPEL HILL TOWNSHIP
ORANGE COUNTY
NORTH CAROLINA

SCALE: 1" = 20'
Oct. 14, 2020

- LEGEND**
- EX V EXISTING WALL
 - EX O EXISTING IRON PIPE
 - CALC Δ CALCULATED POINT
 - AG ABOVE GRADE
 - BE BELOW GRADE
 - UP O UTILITY POLE
 - UP O LIGHT POLE
 - MANHOLE
 - CB CATCH BASIN
 - PL PROPERTY LINE
 - OH "OVERHANG" OR "OVERHEAD"
 - FTE FINISHED FLOOR ELEVATION
 - RCP REINFORCED CONCRETE PIPE
 - WATER METER
 - WATER VALVE
 - STORMWATER PIPE
 - WALL
 - MAJOR CONTOUR (5')
 - MINOR CONTOUR (1')
 - CRITICAL ROOT ZONE

- BUILDING OVERHANG
- GRAVEL
- ASPHALT
- BRICK
- CONCRETE



9788-54-3697
University of North Carolina
WB1-36

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	134.24'	787.10'	9°46'19"	N 06°08'36" W	134.08'
C2	39.33'	25.00'	90°08'17"	S 41°05'19" W	35.40'

Existing Impervious Surfaces	
house	3,559 s.f.
porch	422 s.f.
overhang	543 s.f.
rental stage	151 s.f.
conc. walk (NE)	745 s.f.
conc. walk (SE)	698 s.f.
gravel (SE)	513 s.f.
gravel (SW)	580 s.f.
gravel (NW)	256 s.f.
brick patio	1,258 s.f.
p/o brick walk (S)	100 s.f.
conc. walk (incl. HVAC (W))	1,008 s.f.
asphalt parking	8,220 s.f.
conc. utility pad (NW)	65 s.f.
utility pad (NE)	37 s.f.
shed (NE)	48 s.f.
brick channel drain	81 s.f.
walk	792 s.f.
Total	19,565 s.f.

FREEHOLD LAND SURVEYS, INC. c-165

mailing address: P.O. BOX 188, CARRBORO, NC 27510
office address: 1777 FORDHAM BLVD. SUITE 104
CHAPEL HILL, NC 27514
phone: 919-929-8080
website: www.freeholdlandsurveys.com

STEPHEN M. HALLSTROM PROFESSIONAL LAND SURVEYOR L-5083

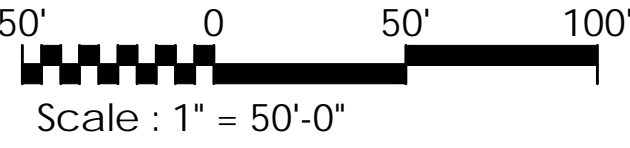
J12081



CONTEXT MAP
with 2021 AERIAL on EXISTING CONDITIONS MAP

Site Context Plan
scale: 1" = 50'-0"

SITE NOTES:
Base Map from survey and GIS data.
Topo and Tree locations are traced from GIS data and not survey quality. Information is for preliminary purposes only.
Zoning: OI-2 HD-2



Phi Delta Theta

304 S. Columbia St
Chapel Hill, NC



PIN 9788 45 1314

Issued: June 10, 2022
Revised:

Existing Conditions
Site Context Plan



CONTEXT MAP
with design of proposed Patio on EXISTING CONDITIONS MAP

Site Context Plan
scale: 1" = 0" = 50' - 0"

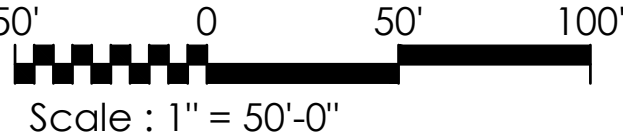
LEGEND - Site Work	
Existing	Proposed
Property Line and Setback Line	
Existing Contour	Proposed Contour
Existing Tree	Surveyed w/Critical Root Zone
Existing Tree to be removed	Not Surveyed
Stormwater Drainage direction	Silt Fence
Site Access	Limits of Construction
Staging Area	Sanitary Sewer
Water - meter	Pipe (Storm Drain)
Roof Leader Downspout Drain	Electric
Gas	Communication / Data
Existing Feature or Spot Elevation (in Italics) × 389.5	
Proposed Feature or Grade (Normal font) + 389.0	

SITE NOTES:

Base Map from survey and GIS data.

Topo and Tree locations are traced from GIS data and not survey quality. Information is for preliminary purposes only.

Zoning: OI-2 HD-2



Phi
Delta
Theta

304 S. Columbia St
Chapel Hill, NC

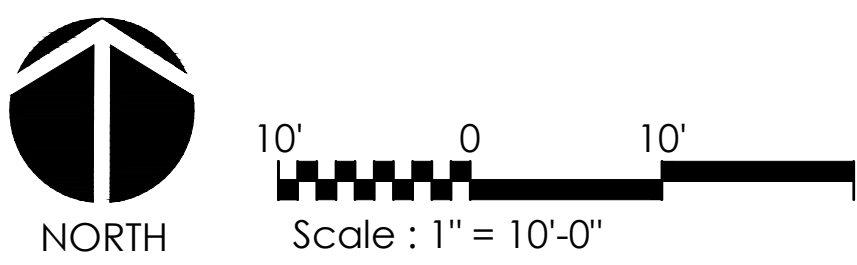
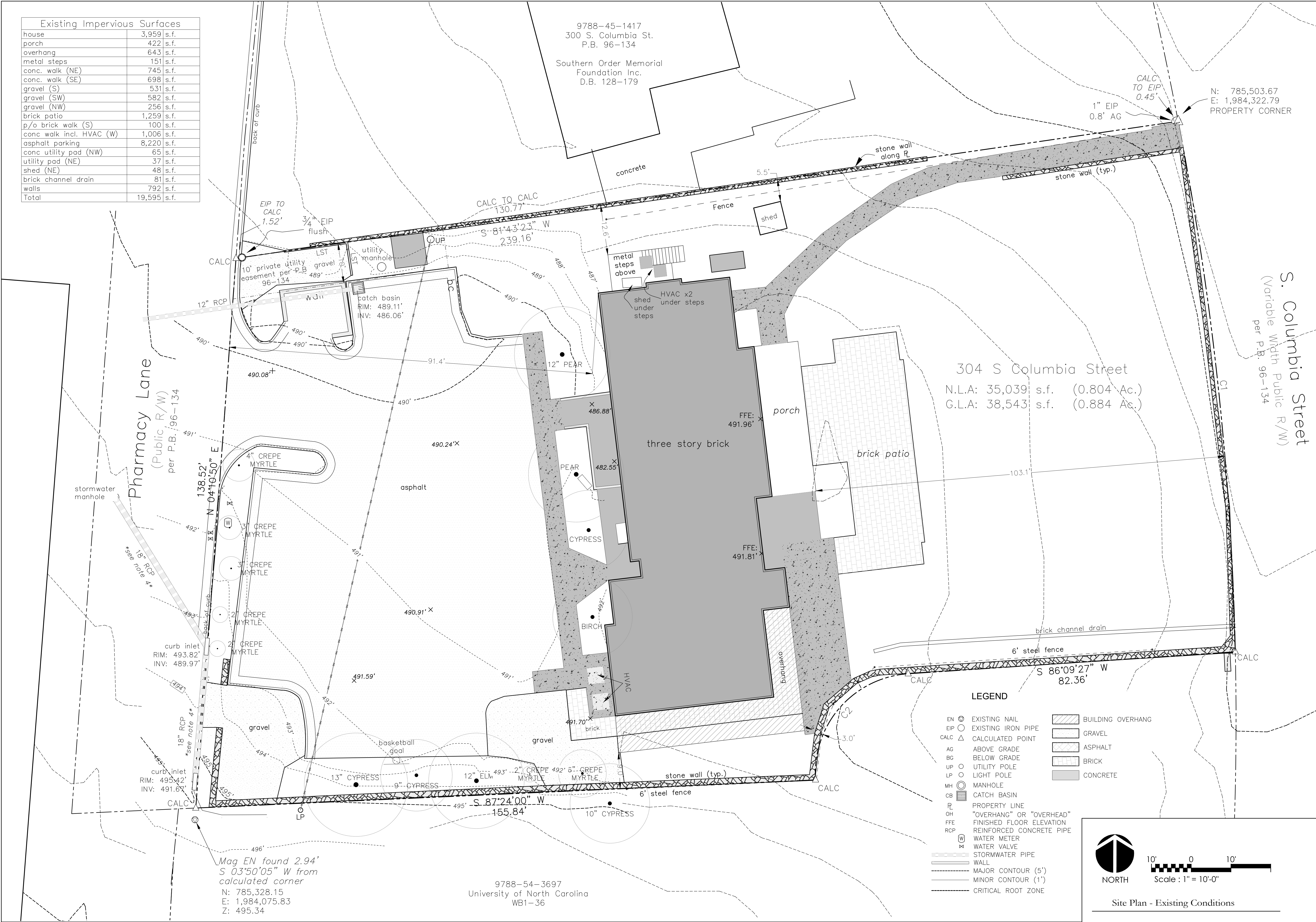


PIN 9788 45 1314

Issued: June 10, 2022
Revised:

Existing Conditions
Site Context Plan

Existing Impervious Surfaces	
house	3,959 s.f.
porch	422 s.f.
overhang	643 s.f.
metal steps	151 s.f.
conc. walk (NE)	745 s.f.
conc. walk (SE)	698 s.f.
gravel (S)	531 s.f.
gravel (SW)	582 s.f.
gravel (NW)	256 s.f.
brick patio	1,259 s.f.
p/o brick walk (S)	100 s.f.
conc walk incl. HVAC (W)	1,006 s.f.
asphalt parking	8,220 s.f.
conc utility pad (NW)	65 s.f.
utility pad (NE)	37 s.f.
shed (NE)	48 s.f.
brick channel drain	81 s.f.
walls	792 s.f.
Total	19,595 s.f.



Site Plan - Existing Conditions

Existing Impervious Surfaces	
house	3,959 s.f.
porch	422 s.f.
overhang	643 s.f.
metal steps	151 s.f.
conc. walk (NE)	745 s.f.
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brick patio	1,259 s.f.
p/o brick walk (S)	100 s.f.
conc walk incl. HVAC (W)	1,006 s.f.
asphalt parking	8,220 s.f.
conc utility pad (NW)	65 s.f.
utility pad (NE)	37 s.f.
shed (NE)	48 s.f.
brick channel drain	81 s.f.
walls	792 s.f.
Total	19,595 s.f.

Total Lot Area 38,543 s.f.
Total Existing ISA 19,595 s.f.
New Concrete Walkway and Steps 480 s.f.
New Brick Step 123 s.f.
Total ISA Impervious 20,198 s.f.
New and Existing ISA Percentage 52 %

9788-45-1417
300 S. Columbia St.
P.B. 96-134

Southern Order Memorial
Foundation Inc.
D.B. 128-179

N: 785,503.67
E: 1,984,322.79
PROPERTY CORNER

Pharmacy Lane
(Public R/W)
per P.B. 96-134

304 S Columbia Street
N.L.A: 35,039 s.f. (0.804 Ac.)
G.L.A: 38,543 s.f. (0.884 Ac.)

S. Columbia Street
(Variable Width Public R/W)
per P.B. 96-134

Phi
Delta
Theta

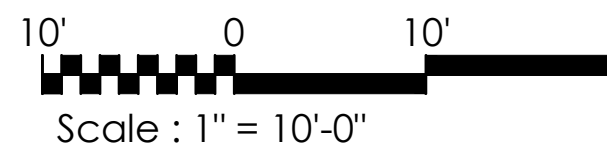
304 S. Columbia St
Chapel Hill, NC

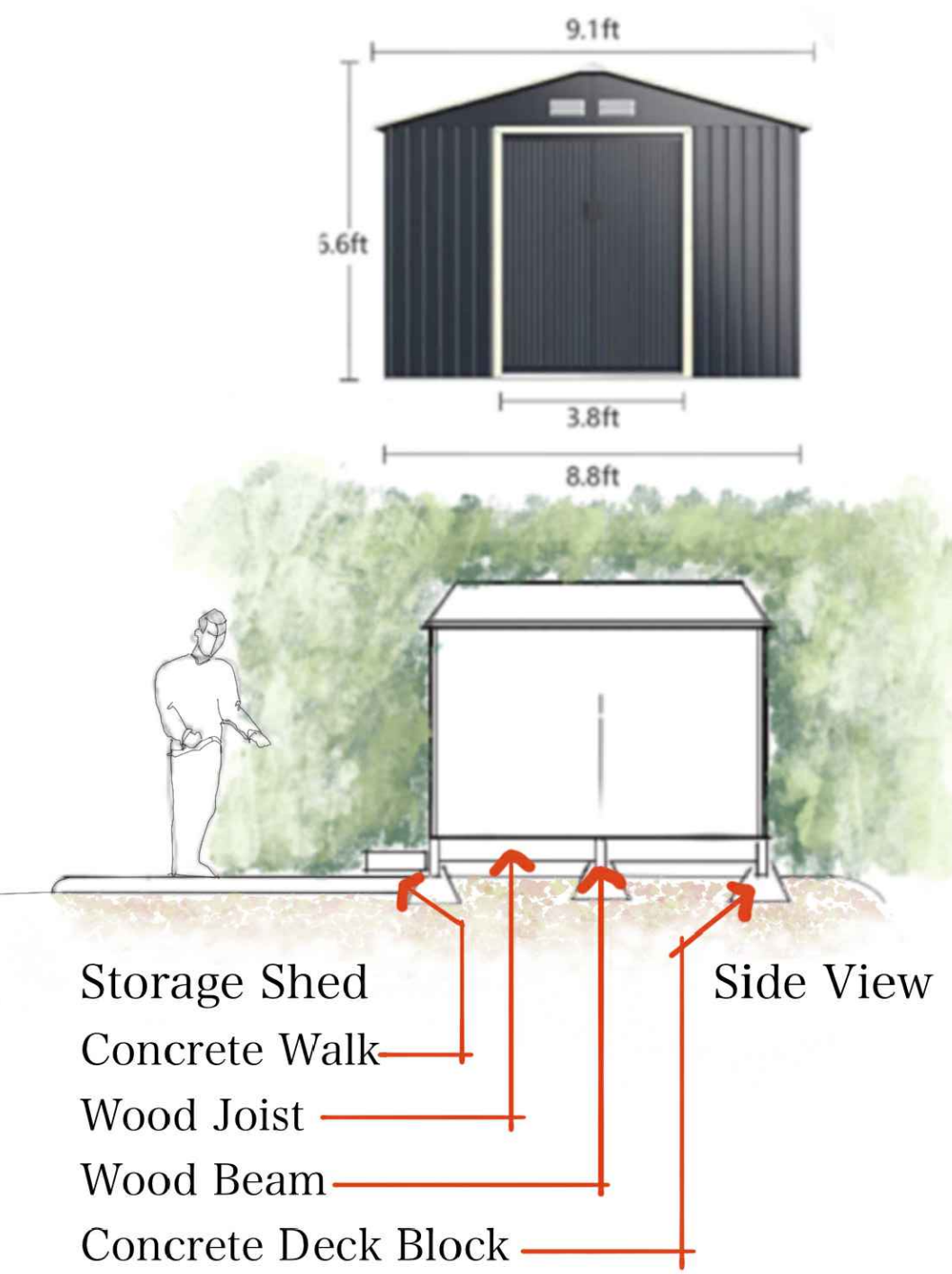


Site Plan

PIN 9788 45 1314

Issued: June 10, 2022
Revised:





Storage Shed

Goplus heavy duty steel storage shed. 9'x8'. Evergreen planting around shed for screening. '



Concrete walk and steps

5' concrete walk with steps as needed to stabilize and secure existing "cow" path. Two flights of 3 steps with landing in between. Concrete cheek wall on both sides of steps at same angle of steps and top at 6" above steps.

Replace and repair existing brick wall at steps.

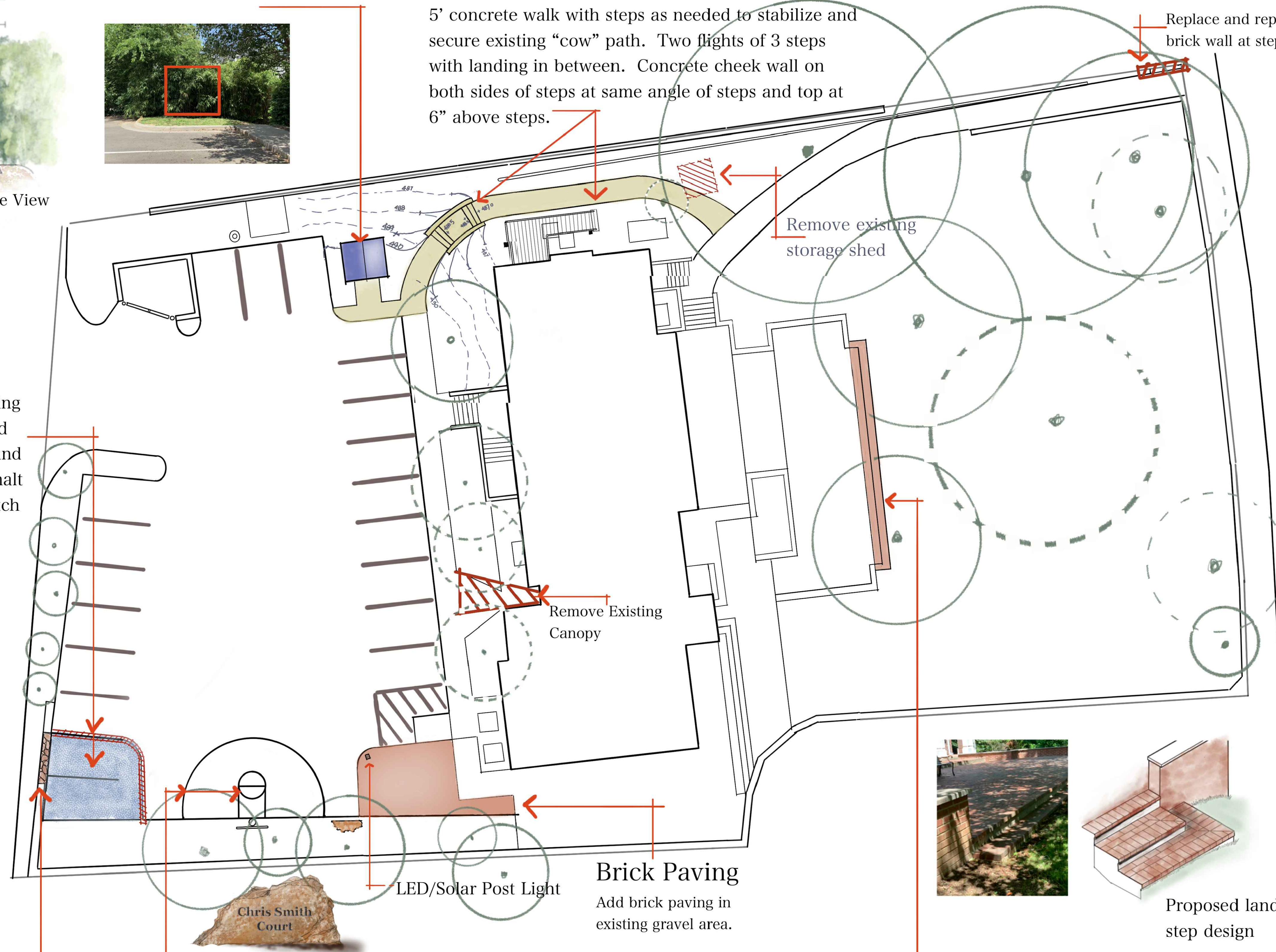


Parking

Add 2 parking spaces in existing gravel area. Remove curb and gutter (red hatched area) around gravel area and continue asphalt edge with car bumpers to match existing asphalt parking edge.

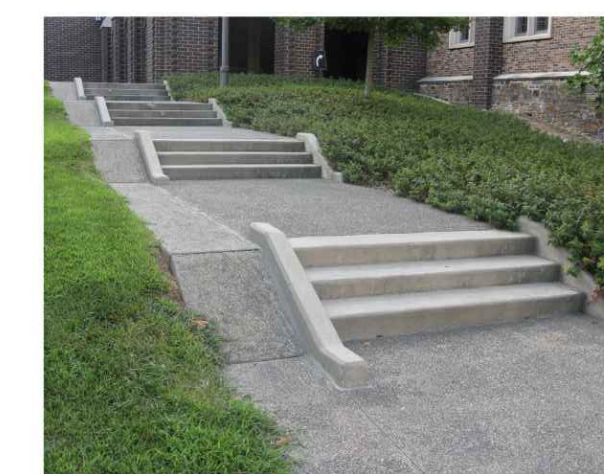


Add stone wall to match and fill in gap in existing stone wall



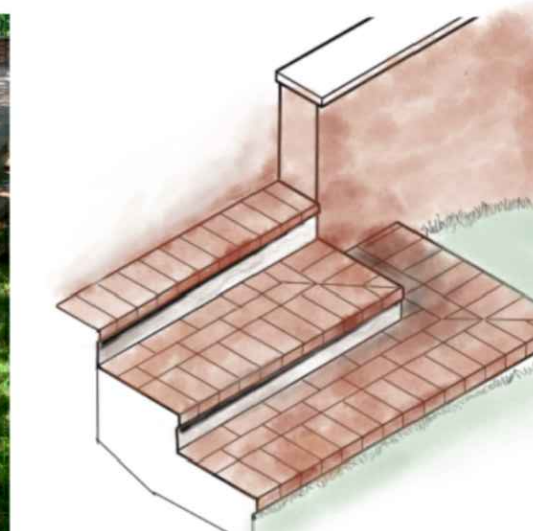
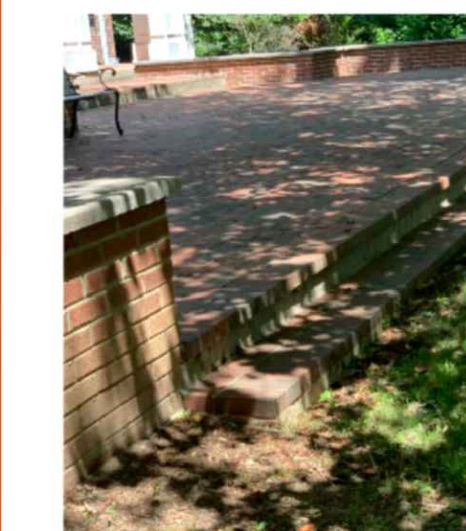
Chris Smith Court

Define court with white painted lines to dimensions of free throw line and 3 point line.
Add new backboard and adjustable goal
Etched stone to honor Chris Smith



Concrete walk and Steps

Proposed concrete walk and steps to be similar to these photographs of concrete walk and steps.



Proposed landing step design

Proposed Landing Steps

Replace existing step with two wider landing steps.

Phi
Delta
Theta

304 S. Columbia St
Chapel Hill, NC

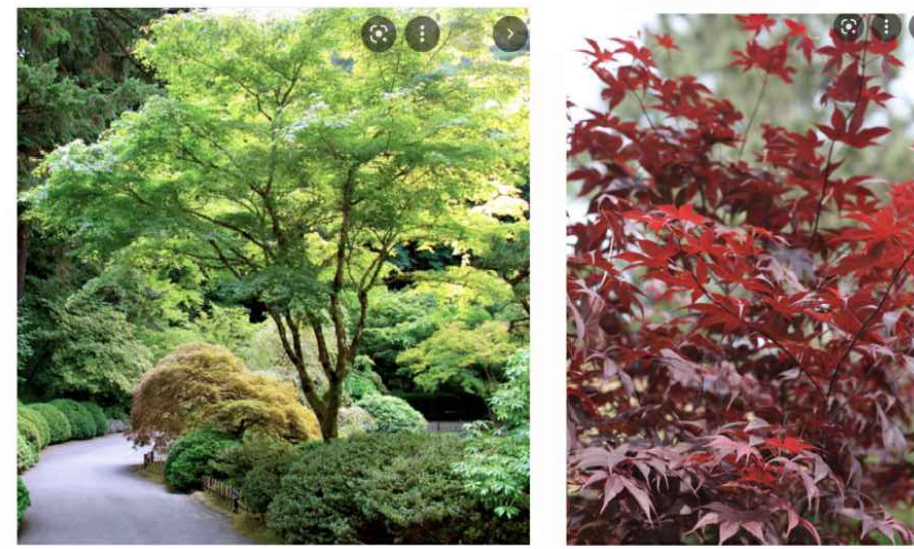


Site Plan

PIN 9788 45 1314

Issued: June 10, 2022
Revised:





Japanese Maple

Acer Palmatum

Plant 6'- 8' height plant. 2 trees shown

Thuja occidentalis



Emerald Green Arborvitae

Thuja occidentalis

Plant 3' oc. Plant along street edge. Plant where space permits between crape myrtles. 3 gallon plant.



Big Periwinkle

Vinca major

Plant 2"pot at 12" oc.

Japanese Camellia

Camellia japonica

Plant cultivar with striped white and red flowers.

Plant 5 gallon plants



Big Periwinkle

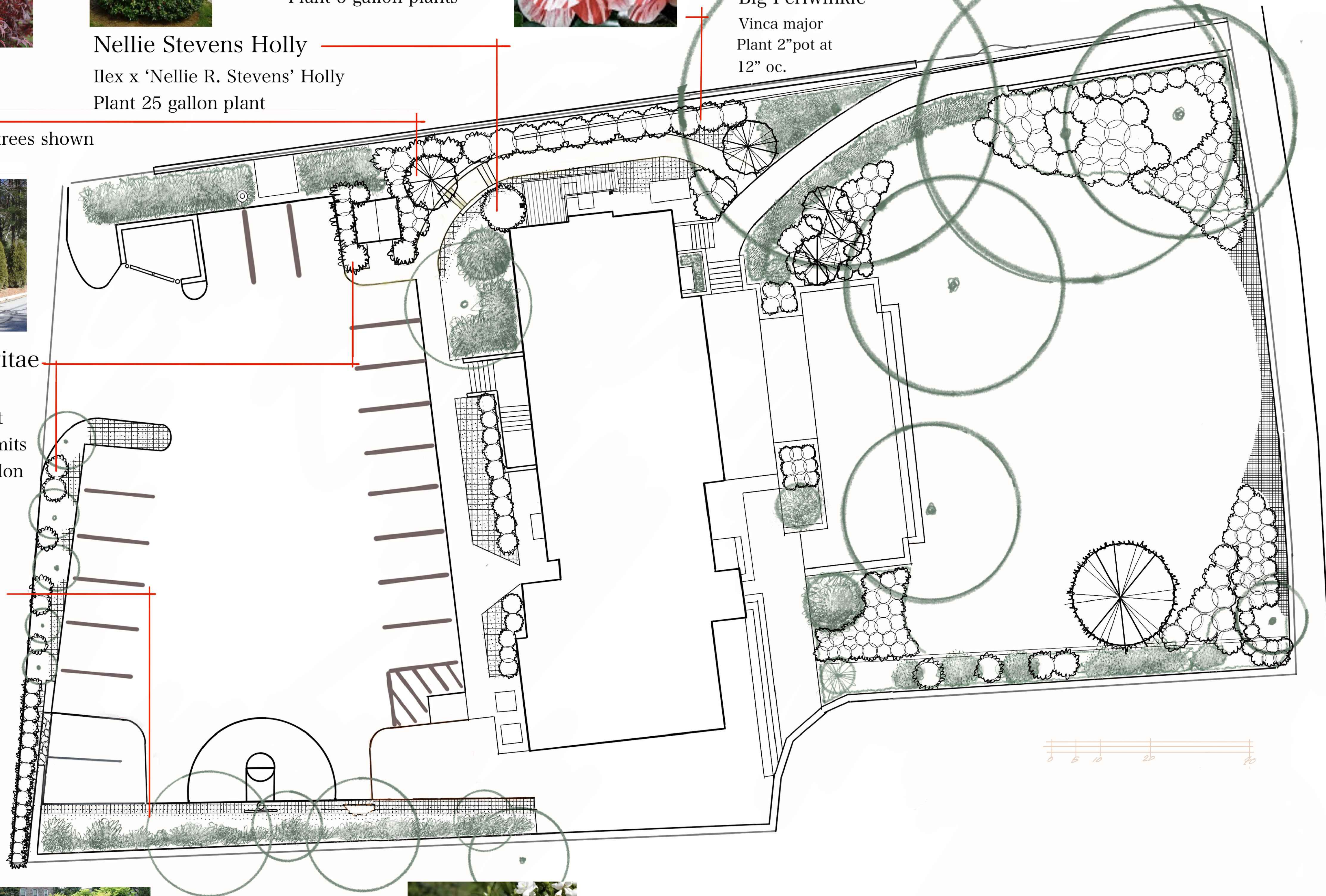
Vinca major

Plant 2"pot at 12" oc.

Nellie Stevens Holly

Ilex x 'Nellie R. Stevens' Holly

Plant 25 gallon plant



Creeping Liriope

Liriope spicata

Plant 2"pot at 6"-8" oc.



'Frostproof' Gardenia

Gardenia jasminoides 'frostproof'

Plant 3 gallon plant at 2.5' - 3' oc.



Phi
Delta
Theta

304 S. Columbia St
Chapel Hill, NC



Site Plan

PIN 9788 45 1314

Issued: June 10, 2022
Revised: _____



NORTH

Existing Conditions



The curb will be removed around the gravel area and two asphalt parking places will be added.

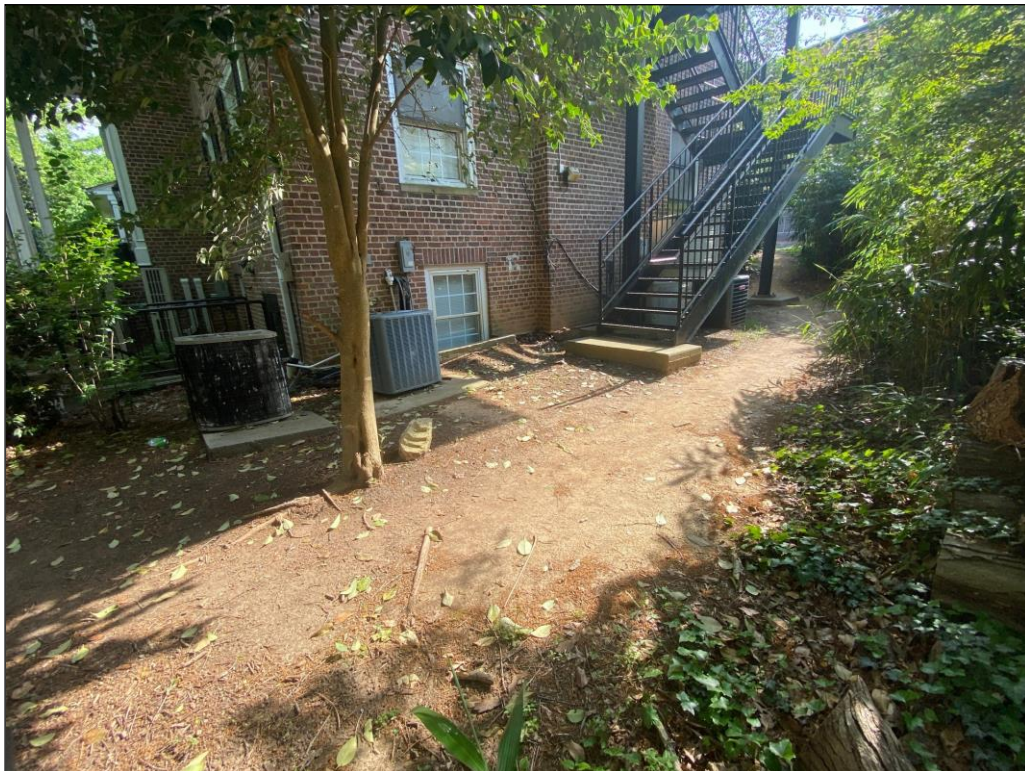


The gravel picnic area will be replaced with brick pavers to match the adjacent walkway.

Existing Conditions



Permanent basketball dimensions will be painted on the asphalt and an LED light on a metal pole will be installed to illuminate the area around the goal.



The dirt path on the east side will be replaced with a concrete walkway and steps.

Existing Conditions



The existing lower step tread will be extended out and an additional step tread will be added for a safer grade transition.



The new storage shed will be located at the northwest corner of the building.

Hardscape Elements



Metal shed (9' x 8')

Sollos Landscape Lighting

Par 36 Accent Light

Our PAR 36 accent fixture features heavy duty construction in a cast antique brass or textured architectural aluminum housing. This powerful directional up-light delivers precise beam control for landscape lighting.

BSB036

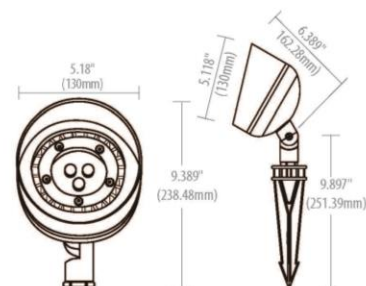
Mounting Position	Up Light Only
Housing	Cast Antique Brass or Architectural Aluminum
Lens	None
Stem/Knuckle	Cast Antique Brass or Architectural Aluminum
Wiring	3 Ft. 18/2 Wire Lead
Voltage	12Vac
LED Lamp	PAR 36 G53 MP TERM Order Separately
Mounting Accessory	8" Ground Stake Included

Order Codes

Antique Brass	BSB036-AB
Textured Black	BSB036-TB
Textured Bronze	BSB036-TZ
Recommended Sollos LED Lamp Options	PAR 36 (81074), (81075), (81076), (82142)



- Antique Brass ●
- Textured Black ●
- Textured Bronze ●

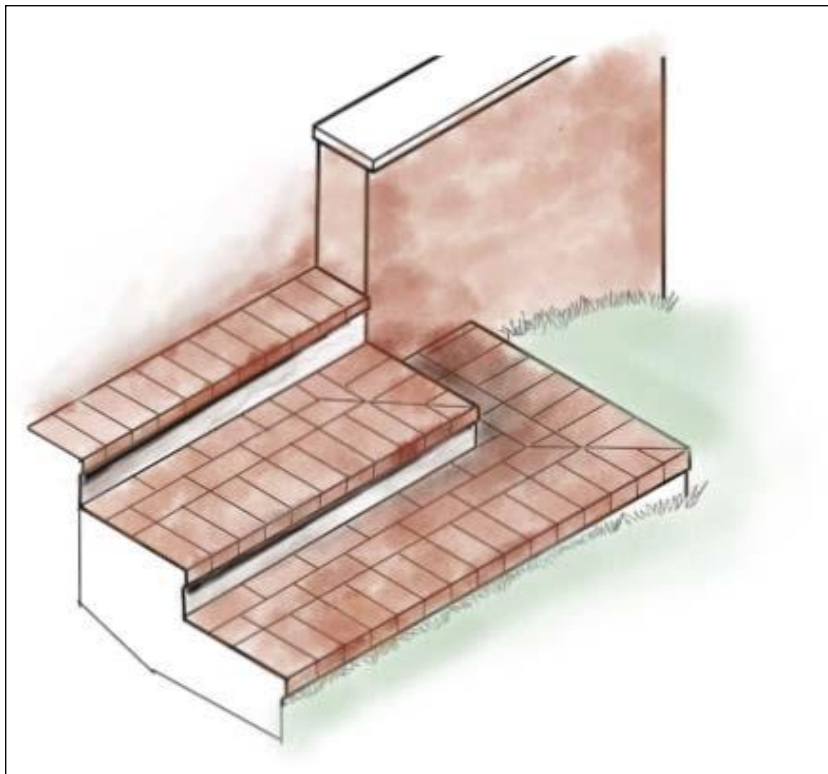


Accent light to be mounted on metal pole to illuminate basketball court

Hardscape Elements



Example of concrete steps to be installed along concrete walkway



Sketch of new brick risers at front steps