

# CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL  
Planning Department  
405 Martin Luther King Jr. Blvd.  
(919) 968-2728 fax (919) 969-2014  
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9778999279

Date: 12/1/2021

## Section A: Project Information

Project Name: Jay Street Affordable Housing

Property Address: Jay Street Zip Code: 27516

Use Groups (A, B, and/or C): A Existing Zoning District: R-3

Project Description: Development of 48 apartments, community building and associated parking&pedestrian connectivity

## Section B: Applicant, Owner, and/or Contract Purchaser Information

### Applicant Information (to whom correspondence will be mailed):

Name: Taft Mills Group, LLC

Address: P.O. Box 566

City: Greenville State: NC Zip Code: 27835

Phone: 252-916-2691 Email: dustin@taftmillsgroup.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 2.14.22

### Owner/Contract Purchaser Information:

☒ Owner

☐ Contract Purchaser

Name: Town of Chapel Hill

Address: 405 Martin Luther King Jr. Blvd.

City: Chapel Hill State: NC Zip Code: 27514

Phone: Email:

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 2-10-22

Click [here](#) for application submittal instructions.

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

Click [here](#) for application submittal instructions.



## CONDITIONAL ZONING

TOWN OF CHAPEL HILL  
Planning Department

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

**SIGNED CONDITIONS:** All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

**RECORDATION OF CONDITIONS:** After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.





# PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

## Section A: Project Information

**Use Type:** (check/list all that apply)

☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: \_\_\_\_\_

**Overlay District:** (check all that apply)

☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone

## Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	339670	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	373637	sq. ft.

## Section C: Special Protection Areas, Land Disturbance, and Impervious Area

**Special Protection Areas:** (check all those that apply)

☐ Jordan Buffer ☐ Resource Conservation District ☐ 100 Year Floodplain ☐ Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	147,092
Area of Land Disturbance within RCD	7,389
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	2161	2161	77501	77501
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	0.58%	0.58%	20.74%	20.74%
If located in Watershed Protection District, % of impervious surface on 7/1/1993	N/A	N/A	N/A	N/A



# PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

## Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	5	2161	2	2
Number of Floors	N/A	N/A	3	3
Recreational Space	N/A	N/A	5656	5656

### Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	2161	2161	61,032	61,032
Total Square Footage of All Units	N/A	N/A	51,639	51,639
Total Square Footage of Affordable Units	N/A	N/A	51,639	51,639
Total Residential Density	N/A	N/A	16.33%	16.33%
Number of Dwelling Units	N/A	N/A	48	48
Number of Affordable Dwelling Units	N/A	N/A	48	48
Number of Single Bedroom Units	N/A	N/A	9	9
Number of Two Bedroom Units	N/A	N/A	27	27
Number of Three Bedroom Units	N/A	N/A	12	12

### Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other		2032			

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	10	N/A	38.7
	Interior (neighboring property lines)	0	N/A	76.0
	Solar (northern property line)	N/A	N/A	38.7
Height (maximum)	Primary	39	N/A	36
	Secondary	60	N/A	50
Streets	Frontages	N/A	N/A	N/A
	Widths	N/A	N/A	N/A



## PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

### Section F: Adjoining or Connecting Streets and Sidewalks

*Note: For approval of proposed street names, contact the Engineering Department.*

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Jay Street (Exist.)	TBD	27' B-B	2	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

**List Proposed Points of Access** (Ex: Number, Street Name):

\*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
Jay Street	5'	Concrete	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

### Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	74	93	90
Handicap Spaces	10	10	10
Total Spaces	74	93	100
Loading Spaces	N/A	N/A	N/A
Bicycle Spaces	12	N/A	12
Surface Type	Asphalt		

### Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North (Jay Street Frontage)	10'	10'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
West (Southern Railroad)	20'	20'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



# PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

## Section I: Land Use Intensity

Existing Zoning District:

Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-SS-CZD	1.10	.050	X			411,000	18,681
<b>TOTAL</b>	1.10						
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

## Section J: Utility Service

Check all that apply:

<b>Water</b>	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
<b>Sewer</b>	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
<b>Electrical</b>	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
<b>Telephone</b>	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
<b>Solid Waste</b>	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		





# **CONDITIONAL ZONING APPLICATION SUBMITTAL REQUIREMENTS** TOWN OF CHAPEL HILL Planning Department

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 968-2728 or at [planning@townofchapelhill.org](mailto:planning@townofchapelhill.org).

N/A	<b>Application fee</b> ( <a href="#">including Engineering Review fee</a> ) ( <a href="#">refer to fee schedule</a> )	Amount Paid \$	N/A
X	<b>Pre-application meeting</b> –with appropriate staff		
X	<b>Digital Files</b> – provide digital files of all plans and documents		
X	<b>Recorded Plat or Deed of Property</b>		
X	<b>Project Fact Sheet</b>		
X	<b>Traffic Impact Statement</b> – completed by Town’s consultant (or exemption)		
N/A	<b>Description of Public Art Proposal</b> , if applicable		
X	<b>Statement of Justification</b>		
N/A	<b>Response to Community Design Commission and Town Council Concept Plan comments</b> , if applicable		
X	<b>Affordable Housing Proposal</b> , if applicable		
X	<b>Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan</b>		
X	<b>Mailing list of owners of property within 1,000 feet perimeter of subject property</b> ( <a href="#">see GIS notification tool</a> )		
N/A	<b>Mailing fee for above mailing list</b> (mailing fee is double due to 2 mailings)	Amount Paid \$	N/A
X	<b>Written Narrative describing the proposal</b> , including proposed land uses and proposed conditions		
X	<b>Resource Conservation District, Floodplain, &amp; Jordan Buffers Determination</b> – necessary for all submittals		
N/A	<b>Jurisdictional Wetland Determination</b> – if applicable		
TBD	<b>Resource Conservation District Encroachment Exemption or Variance</b> (determined by Planning)		
TBD	<b>Jordan Buffer Authorization Certificate or Mitigation Plan Approval</b> (determined by Planning)		
X	<b>Reduced Site Plan Set</b> (reduced to 8.5" x 11")		

## **Stormwater Impact Statement (1 copy to be submitted)**

- Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- Description of land uses and area (in square footage)
- Existing and proposed impervious surface area in square feet for all subareas and project area
- Ground cover and uses information
- Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- Time of concentration calculations and assumptions
- Topography (2-foot contours)
- Pertinent on-site and off-site drainage conditions
- Upstream and/or downstream volumes
- Discharges and velocities
- Backwater elevations and effects on existing drainage conveyance facilities
- Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- Water quality volume calculations
- Drainage areas and sub-areas delineated
- Peak discharge calculations and rates (1, 2, and 25-year storms)
- Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION  
SUBMITTAL REQUIREMENTS  
TOWN OF CHAPEL HILL  
Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

**Plan Sets (10 copies to be submitted no larger than 24" x 36")**

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

**Cover Sheet**

- a) Include Project Name, Project fact information, PIN, and Design Team

**Area Map**

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

**Existing Conditions Plan**

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION  
SUBMITTAL REQUIREMENTS  
TOWN OF CHAPEL HILL  
Planning and Development Services**

**Detailed Site Plan**

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

**Stormwater Management Plan**

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

**Landscape Protection Plan**

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**CONDITIONAL ZONING APPLICATION  
SUBMITTAL REQUIREMENTS  
TOWN OF CHAPEL HILL  
Planning and Development Services**

**Planting Plan**

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

**Steep Slope Plan**

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

**Grading and Erosion Control Plan**

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

**Streetscape Plan, if applicable**

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

**Solid Waste Plan**

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable





**CONDITIONAL ZONING APPLICATION  
SUBMITTAL REQUIREMENTS  
TOWN OF CHAPEL HILL  
Planning and Development Services**

**Construction Management Plan**

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

**Energy Management Plan**

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

**Exterior Elevations**

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

December 1, 2021

## **JAY STREET APARTMENTS – DEVELOPER’S PROGRAM CONCEPT PLAN REVIEW**

This Program accompanies a request for review of a Conditional Zoning Application by the Town of Chapel Hill.

### **Introduction**

The Jay Street Apartment project is located south and west of Jay Street, to the east of the Southern Railroad rights-of-way, and is south of the Village West. The project is proposing is an Affordable Housing apartment units. The developer understands the significance of affordable and has done this successfully throughout North Carolina.

### **Site Description**

The project area is described as Lot 1 and is approximately 7.5 acres. The site is mostly wooded, with some existing structures located near the center area of the parcel. Due to the existing topography and parcel location, the project is proposing a single access to Jay Street.

The project site is bounded by West Chapel Hill Cemetery to the north, a mix of existing single family and multi-family residential to the east and south, and the Southern Railroad to the west.

The site slopes significantly from west to east, with slopes becoming steeper to the south due to the close proximity to Tanyard Branch.

### **Site Access, Circulation, and Pedestrian Connectivity**

The project will seek ingress/egress from the only public right-of-way adjacent to the property, Jay Street. Onsite parking will be provided for the apartments and a community building. A turnaround area will be provided at the southern end and will meet Town requirements.

The closest bus stops are located on Village Drive, but none are directly adjacent to the site.

The project will meet the requirements for recreational space, will align with the Greenway Master Plan, and is proposing a connection to the Tanyard Branch Trail.

### **Building Layout**

The proposed structures are situated to meet buffer and setback requirements. The buildings are located in the central area of the property to provide separation from adjacent parcels and the RCD buffer area. The architectural elements will meet the LUMO requirements.

### **Environmental and Landscaping**

The 7.5 acre site contains approximately 1.9 acres of protected RCD buffer area, extending 150’ from Tanyard Branch along the south eastern property line. New landscaping and street trees will be provided

for the developed portion of the site. Required tree coverage, landscaping, and buffers will provide screening and visual interest.

### **Stormwater**

The existing site currently does not have any stormwater treatment measures. The proposed development will comply with the current stormwater quality and quantity regulations. The project will comply with all sedimentation and erosion control requirements utilizing on and offsite protection measures.

### **Utilities**

The project site is currently served by OWASA for water and sewer services. The water and sewer services for the new apartment buildings will be designed to the most current standards and specifications.



12/1/2021

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## Conditional Zoning Application – Jay Street, Chapel Hill, NC Statement of Justification

In late 2019, the Town of Chapel Hill released a Request for Qualifications seeking a qualified development team to develop affordable housing on three Town-owned parcels located on Jay Street. In 2020, the town selected a development partnership comprised of Chapel Hill-based Community Home Trust and Greenville, NC-based Taft-Mills Group and entered into a Memorandum of Understanding in March of 2021 to begin negotiating an agreement to develop the site. TMG and CHT are proposing the development of approximately 48 units of affordable housing, to be financed using low-income housing tax credits and tax exempt-bonds, on the +/- 7-acre site.

In proposing the development of the Jay Street parcel(s), TMG/CHT is seeking to rezone the property to allow for the development of the aforementioned community. This Statement of Justification is based on the Town of Chapel Hill's Land Use Management Ordinance ("LUMO") which was established to maintain sound, stable, and desirable development within the planning jurisdiction of the town. Further, the LUMO states that the zoning classifications shall not be amended except when one of the following situations exists: a) to correct a manifest error in the appendix, or b) because of changed or changing conditions in a particular area or in the jurisdiction generally, or c) to achieve the purposes of the comprehensive plan.

In seeking the requested zoning amendment, please consider the following as it pertains to Section 4 of the LUMO:

**A. To correct a manifest error in the appendix:**

Response: TMG/CHT does not believe that a manifest error exists in the appendix and, thus, this criteria is not applicable as it pertains to this request.

**B. Because of changed or changing conditions in a particular area or in the jurisdiction generally:**

Response: There is a significant existing and growing need for affordable housing in the Town of Chapel Hill. The desirability of the community has driven considerable growth that has failed to provide a sufficient amount of rental or home ownership units that are deemed affordable to residents in the Town of Chapel Hill. By securing the requested zoning amendment to allow for the development of the Jay Street parcel(s), residents of Chapel Hill will benefit through the provision of 48 additional units of high-quality affordable housing that does not presently exist in the market. In addition, the proposed amendment is consistent with the Town of Chapel Hill's Future Land Use Map which



envisions Medium Residential (generally 4-8 units per acre) for this area. The proposed development is anticipated to be approximately 6.9 units per acre.

**C. To achieve the purposes of the comprehensive plan:**

Response: The proposed amendment would help achieve the following elements of the comprehensive plan:

- A. *A Place for Everyone*: One of the key components of this goal is to provide affordable housing. The proposed development will provide affordable housing in a community that is welcoming and family friendly.
- B. *Community Prosperity and Engagement*: The Jay Street community will provide a safe, affordable community that will benefit residents and will be an asset to the surrounding community. By providing affordable housing, residents will strengthen their household's financial health by only spending a reasonable amount (~30% or less) of their household income on housing related expenses. In addition, the property's access to public transit will further strengthen the economic position of the household by providing cost effective transportation options that reduce the resident's reliance on vehicular travel (and the associated costs).
- C. *Getting Around*: The Jay Street parcel, in addition to being served by public transportation, is uniquely positioned along the Tanyard Branch Trail ("the trail"). Access to the trail not only provides an opportunity for future residents to be more physically active by using the trail, it also provides non-vehicular access to other communities and amenities throughout the Town of Chapel Hill which promotes a more "active and connected" lifestyle.
- D. *Good Places, New Spaces*: The proposed Jay Street site is nestled among an abundance of both single and multi-family homes, most of which are several decades old. Jay Street's location represents a unique opportunity to locate a newly-constructed affordable housing community in an area that is well located, served by public transit and is within a reasonable walking distance of the downtown districts of both Chapel Hill and Carrboro. The development, as proposed, uses just 50% of the parcel's total acreage, thus, providing a desirable amount of open (undisturbed) space which will benefit the future residents of Jay Street as well as surrounding neighbors. The proposed development also seeks to respect the "old/existing" uses in the surrounding area by designing a concept that is consistent with many of the surrounding multi-family uses.
- E. *Nurturing Our Community*: The project will provide many sustainable design features that were selected to minimize the impact on the community while maximizing benefits for the residents and immediate neighbors. The developed site area was concentrated to provide contiguous areas of undisturbed tree coverage and minimize impervious area to mitigate stormwater demand. These natural areas buffer neighboring properties and provide open space that extends beyond the immediate site through a connection to the adjacent trail system. Demand on local utilities will be reduced because the development will be certified to the latest Energy Star standard (Multifamily New Construction) and compliance will be verified through a third-party rater through inspection testing. Materials are selected to require very low maintenance and have long service lives such as heavy-gauge vinyl siding, high efficiency vinyl windows, and 30-year anti-fungal asphalt shingles. Exterior wood products are minimized and



where exposed to weather will be wrapped with aluminum. Regionally appropriate materials will be selected and sourced where possible such as the brick veneer. Bathroom faucets, shower heads, and toilets will be Water Sense certified and the water heater will be a high efficiency electric model carrying a Uniform Energy Factor of 0.92 or better. A majority of the interior and exterior lighting will utilize high efficiency LED lamps. The refrigerator and dishwasher will be Energy Star rated. HVAC systems will be sized correctly for the unit needs and provide a minimum SEER rating of 14.5. Ceiling fans will be installed in all bedrooms and the living room providing the opportunity for reduced HVAC usage.

March 23, 2021

Jay Street Apartments  
Affordable Housing Development  
Jay Street, Chapel Hill, NC 27516

## **STATEMENT OF COMPLIANCE**

### **With the Chapel Hill 2020 Comprehensive Plan**

The Chapel Hill Town Council has identified affordable housing as one of its strategic goals and is implementing a comprehensive plan to preserve and increase the availability of affordable housing. The approval of the \$5.25 million funding plan is a major step in the Town's efforts to reach its affordable housing goals.

The Jay Street Apartments Affordable Housing project is proposed to be developed in accordance with the Chapel Hill 2020 Comprehensive Plan. We provide this statement of compliance to demonstrate adherence to the general concepts set forth in the CH2020 Comprehensive Plan. Two general concepts within CH2020 Comprehensive Plan fall under Community Vision and are noted as Community Choices and Community Connections. These are defined in the plan as:

#### **Community Choices:**

The community would like more choices about where and how people can live and house their families and more choices about how they travel through town. The community also would like more choices about where to shop and how to meet daily needs. Community members also would like choices about where they can work and play in Chapel Hill.

#### **Community Connections:**

The community also desires more connections and improved opportunities to meet others and to embrace the diversity of those who live, work, and play in the community. Community members want more connections in how they can get around and a real commitment to safe pedestrian and bicycle transportation. They want real connections between the decisions town leaders make and the ideals that the community has expressed in the Chapel Hill 2020 comprehensive plan. Chapel Hill wants a sense of connectedness from many perspectives.

The other components of the CH2020 Comprehensive Plan fall under the five **Big Ideas**:

- 1. Implement a bikeable, walkable, green communities plan by 2020.**
- 2. Create an entrepreneurial enterprise hub in the Rosemary Street Corridor.**
- 3. Create entertainment/dining/arts hubs to capitalize on Chapel Hill's strengths as a recreational destination.**
- 4. Increase the ratio of workforce housing by 2020 and develop a plan for student housing in the community.**

**5. Establish a structure to support community and neighborhood engagement in a proactive manner.**

**Comprehensive Plan Themes**

The new affordable housing development proposed off Jay Street is being designed to comply with the major themes developed within the Chapel Hill 2020 Comprehensive Plan.

**A Place for Everyone**

This theme is intended to explore and provide diversity and inclusion in a family-friendly, creative environment. It also focuses on the need for affordable housing. The Jay Street development is designed to provide affordable housing for inclusion of all within the community. It will also provide a community center within the project to offer a space to gather for a variety of programs and creative opportunities. The project will be a major step in the Town's efforts to reach its affordable housing goals.

**Community Prosperity and Engagement**

Part of the focus for this theme is to provide a safe, vibrant and connected community, as well as healthy neighborhoods. The development is designed to provide a safe location for the proposed apartment units, with good vehicular and pedestrian access. It will also provide additional connectivity to the existing Greenway Trail between McMasters Street and Jay Street and the Tanyard Branch Trail.

**Getting Around**

This theme focuses on all modes of transportation for an inclusive and connected community. The proposed development will offer pedestrian connectivity to the surrounding neighborhoods, as well as the Greenway Trail connecting to McMasters Street. Sidewalks will be provided throughout the site and a proposed extension of the Greenway will be reserved through the site. The site is also adjacent to an active Town of Chapel Hill Transit route and the residents will be able to take advantage of that service.

**Good Places, New Spaces**

This theme focuses on the various types of neighborhoods throughout Chapel Hill and providing a balanced respect for the old with the prospect of the new. Consideration is also given for open space and the rural buffer. The Jay Street development is located adjacent to some older single-family neighborhoods to the south and east, Village West Apartments to the north and Estes Park Apartments to the west on the other side of the railroad tracks. The development of this vacant property will provide a complimentary neighborhood with a similar balance among the surrounding properties. There is a stream that runs along the southeast side of the property and this area will be fully preserved as Open Space and a Resource Conservation District.



### **Nurturing Our Community**

This theme is focused on environmental sustainability. The proposed development will have two 3-story buildings and a 1-story community building, which is a low density design for the 7.5 acre parcel. The remaining property will be preserved in Open Space and a Resource Conservation District buffer. The proposed impervious area for the project will only be 23% of the property and there will be a significant amount of existing tree canopy preserved on the site. Water quality will also be preserved with the design and installation of Stormwater Control Measures per the requirements of NCDEQ and the Town of Chapel Hill Stormwater Management Program.

### **Town and Gown Collaboration**

This theme focuses on collaboration with the University of North Carolina as well as the UNC Health Care System. While this project is not close in proximity to the UNC Campus, it will provide affordable housing opportunities for both students and university and staff. As previously discussed, it will have access to Greenway and Bicycle routes, as well as bus service, so getting to the campus will be out of reach. Both of these means of transportation will help promote active lifestyle opportunities to include walking to a bus stop or cycling through Town to the campus.

January 3, 2022

## **JAY STREET APARTMENTS – AFFORDABLE HOUSING PLAN**

The Chapel Hill Town Council has identified affordable housing as one of its strategic goals and is implementing a comprehensive plan to preserve and increase the availability of affordable housing.

In June 2018, the Town of Chapel Hill Council prioritized three Town-owned sites for affordable housing and authorized the Town Manager to pursue affordable housing on those sites. This property, on Jay Street, was one of those locations. Town Staff proposed the following goals for the Jay Street site based on Council feedback, Council's FY2020-22 Strategic Goals & Objectives, and the Town's affordable housing policies and goals:

- Provide housing affordable to a range of income levels with priority for units serving households earning 60% or less of Area Median Income
- Maintain long term affordability
- Minimize need for Town funding through leverage of outside funding
- Utilize environmentally friendly and sustainable principles for development
- Facilitate connections within the community and surrounding neighborhood

The conditional zoning application proposes 48 affordable rental units serving households earning from below 30% to 80% Area Median Income (AMI). The apartments will range from 1-bedroom units to 4-bedroom units. The units will be affordable for at least 30 years.

The apartments will be available to low and moderate-income households that meet the respective development partners' eligibility requirements. In addition, the range of unit sizes and types will provide opportunities to serve several target populations, including persons with disabilities, individuals or families transitioning out of homelessness, holders of housing vouchers, survivors of domestic violence, and veterans, among others.

The apartments will be developed by the Taft-Mills Group. "Taft-Mills' primary focus is delivering high-quality, affordable rental housing developments that blend seamlessly into the communities in which they are located. Possessing a specialized knowledge of Housing Tax Credits, Tax-Exempt Bonds, State and Federal Housing Programs, and various other forms of debt/equity structures, Taft-Mills develops communities that are attractive, safe, and affordable to both families and seniors of modest means."

# Memo

To: Becky McDonnell, Senior Planner  
From: Timothy A. Smith, PLS, PE  
cc: Dustin Mills, Taft Mills Group  
Date: January 5, 2022  
Re: **Jay Street Apartments – Modification to LUMO Regulations**

---

As part of the design for the Jay Street Apartments Affordable Housing project, we are proposing a total amount of parking that is above the maximum allowed by Article 5.9 of the Town of Chapel Hill Land Use Management Ordinance. (LUMO) We feel that there is justification for this additional parking and are therefore submitting this request for a modification to the regulations. The specific details of our request are as follows:

- Maximum Allowed parking:

12 - 3 BR UNITS = 12 X 2.25 SP / 3 BR UNIT = 27 SPACES

27 - 2 BR UNITS = 27 X 1.75 SP / 2 BR UNIT = 48 SPACES

9 - 1 BR UNITS = 9 X 1.25 SP / 1 BR UNIT = 12 SPACES

PUBLIC USE FACILITY = 6 SPACES

TOTAL MAX. REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 93 SPACES

- Proposed Total Parking:

90 REGULAR SPACES (INCL. 7 FOR GUEST PARKING)

10 ACCESSIBLE (5 VAN SPACES)

TOTAL: 100 SPACES

As noted in the proposed total parking data, we are requesting a modification to the regulations to allow for seven (7) additional parking spaces at the location of the Community Building. This building will be used as a facility for the residents of the development, but will also be used as a meeting space for the surrounding community for various activities and community meetings, etc. When those events occur, we would like to allow for additional parking that would not interfere with the dedicated parking for the residents. We therefore respectfully ask for consideration and approval of this modification request.

Sincerely,



Timothy A. Smith, P.E.  
Senior Project Manager  
Summit Design and Engineering Services

**Jay Street Apartments – Affordable Housing  
Town Council Meeting – 6/21/2021**

**Council Comments and Applicant Responses:**

- IZ units are mostly offered at higher income levels - not moving the needle for lower income brackets. Would like for Council to find housing solutions for that income bracket.  
Applicant Response: **This project will serve households earning between 30% and 80% of AMI**
- We have a desperate need for affordable housing, especially in locations closer to downtown, and hope this project can move forward.  
Applicant Response: **This project will be 100% affordable, serving households earning between 30% and 80% of Area Median Income, with a majority below 60% of Area Median Income.**
- Challenging area. Jay St doesn't have capacity or condition to make the community work. Need more transit to make it accessible, and more pedestrian and bike connections.  
Applicant Response: **The project will be providing a pedestrian connection to the Tanyard Branch Greenway Trail and will also provide a sidewalk connection from the point of access on Jay Street out to Village Drive.**
- Appreciate you're planning to preserve much of the site. Would like to see development move with the terrain of the site.  
Applicant Response: **The development has been aligned with the existing terrain of the site as much as possible and yes, has been consolidated to the north end of the property to preserve as much of the site as possible, including the RCD area.**
- Would ask as engineers look at things to see if you can get up to a 50-year storm capacity.  
Applicant Response: **We have currently designed the stormwater control measures to meet the 1,2 and 25 year storm events, but will look further to see if the 50-year storm can also be controlled without having to disturb or clear more of the site.**
- Parking seems high - could de-couple parking  
Applicant Response: **The required maximum parking for the unit mix is 93 total spaces. We're proposing a total of 100 spaces, including 10 handicap spaces. The additional 7 spaces have been provided for guest parking at the community building to accommodate community events and meetings without taking parking away from the residents.**
- Pedestrian road infrastructure is an issue - need to make sure it works.  
Applicant Response: **As part of this project, the front section for Jay Street out to Village Drive will be improved to a 27' B-B curb width, with a 5-ft. sidewalk connection.**
- Take advantage of our urban designer.  
Applicant Response: **We have met with him during the development of the concept plan and plan to meet with him again as we finalize the site plan, and again when incorporating feedback from advisory boards.**

- Would suggest flipping the building closer to the community building and put the parking lot behind the large building - would make parking less visible.

Applicant Response: **The plan has been designed to minimize the visibility of the parking lot areas as much as possible. The northern lot will be between Building #1 and the community building; the lower parking lot will be below the elevation of the railroad and above the elevation of the properties to the east.**

- Would like to see stoops incorporated into building design.

Applicant Response: **Each unit will have a porch/patio that will provide each resident with their own dedicated open-air space. Each porch/patio will also include a storage area that serves each specific residential unit.**

- Car and pedestrian safety is a critically important question we will need an answer to move forward.

Applicant Response: **We will be constructing a sidewalk connection from the project entrance on Jay Street out to the intersection of Village Drive. We will also be widening Jay St. to a width of 22-ft and adding curb and gutter for a total width of 27-ft. This will bring the road up to the Town's design standards.**

- Look at if it makes sense to include community center in a building.

Applicant Response: **We have investigated this option but found that for the Community Center building to function for the most uses and flexibility, a separate building works the best. It also serves as an anchor for the rest of the recreation facilities for the development.**

# Memo

To: Town of Chapel Hill Planning Department  
Becky McDonnell, Senior Planner  
From: Timothy A. Smith, PLS, PE  
cc: Judy Johnson, Assistant Planning Director  
Date: January 31, 2022  
Re: Jay Street Apartments – Future Greenway Trail Design Abstract

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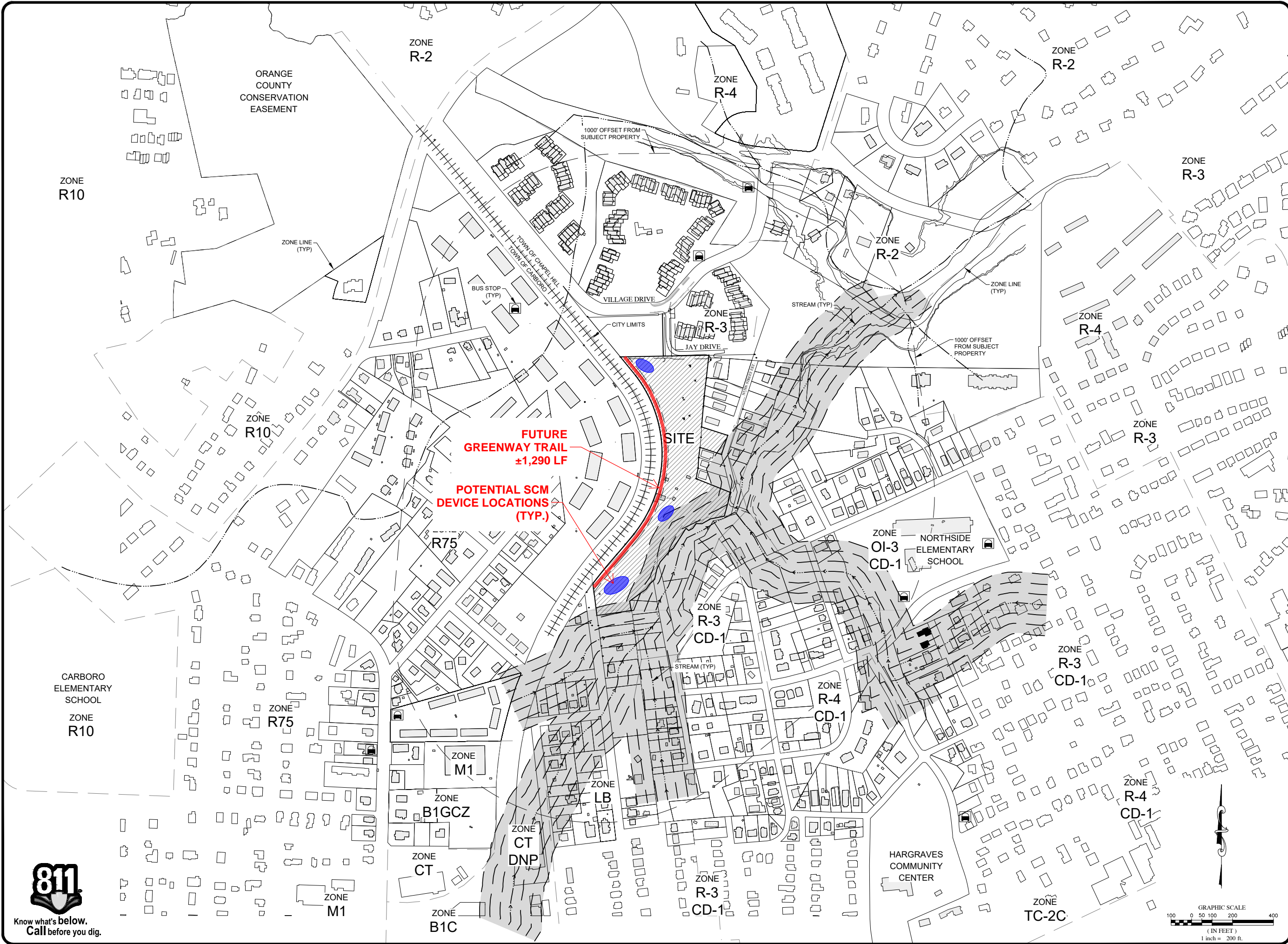
As part of the Jay Street Apartments project, we have investigated the option for the construction of a future greenway trail along the west side of the property adjacent to the railroad tracks. There is an existing 30-ft. wide Greenway Easement along the railroad right-of-way intended for the expansion of the Town of Chapel Hill's Greenway Trail system. In conjunction with the planned development of the Jay Street Affordable Housing project, an initial investigation of this future greenway trail produced the following data and conditions:

- The trail would be approximately 1,290-ft. long, running from the north end of Broad St. along the eastern edge of the railroad tracks, north to the southern boundary line of the West Chapel Hill Cemetery property.
- A greenway trail 10-ft. wide would result in an estimated total impervious surface area of  $\pm 12,900$  sq. ft.
- The runoff from the trail and impervious surface would need to be controlled with Stormwater Control Measure (SCM) devices. The development area of Jay Street Apartments does not have sufficient room to control this runoff, so additional SCM devices would need to be installed as part of the greenway construction. (See attached Exhibit for potential SCM locations)
- The existing topography would provide for adequate drainage to capture the runoff and direct it to the proposed SCM locations.
- The proposed design of Jay Street Apartments would allow for a connection to this future greenway at the northwest corner of the project.

This initial investigation for the future greenway indicates a strong feasibility for construction within the current dedicated easement and in conjunction with the design of the Jay Street Apartments project. Additional study work will need to be done to determine estimated budget costs for the funding of the project.

Attachments: Exhibit Map





Know what's below.  
Call before you dig.

REVISIONS		DATE	BY
7			
6			
5			
4			
3			
2	C2A COMMENTS #2	1/31/2022	DMC
1	C2A COMMENTS #1	1/4/2022	DMC

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**PROJECT ENGINEER/ARCHITECT**  
TAS (TAS@SUMMITDE.COM)

**PROJECT MANAGER**  
ACH (ACH@SUMMITDE.COM)

**DRAWN BY**  
DMC (DMC@SUMMITDE.COM)

**FIRST ISSUE DATE**  
1/4/2022

**NOT FOR CONSTRUCTION**

**SUMMIT DESIGN AND ENGINEERING SERVICES**

Summit Design and Engineering Services  
533 Shawnee Court  
Charlotte, NC 28217  
Phone: 919.764.4476  
www.summitde.com

**SITE PLANS FOR JAY STREET APARTMENTS**

JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

**FUTURE GREENWAY EXHIBIT MAP**

PROJECT NO.  
21-0207

DRAWING NAME:  
21-0207\_AREA MAP.dwg

SHEET NO.  
C-4





20050930000341590 CM/D  
**Bk:RB3881 Pg:129**  
 09/30/2005 01:36:23PM 1/4

Orange County NC 09/30/2005  
 State of North Carolina  
 Real Estate Excise Tax  
 Excise Tax: \$2100.00

FILED Joyce H. Pearson  
 Register of Deeds Orange COUNTY, NC  
 BY:

Deputy *Linda Chutkan*

1-9776-49-6541 7.128.B.29B  
 5-9788-09-0009 7.94.B.27  
 32 2-9777-71-9117 7.128.A-6  
 MB 3-9788-09-2556 7.94.B-2  
 4-9788-09-1257 7.94.B.5  
 9788-09-1232 7.94.B.6 ✓

This instrument drafted by: Gregory Herman-Giddens, 205 Providence Road, Chapel Hill, NC 27514  
 (Prepared without benefit of title examination)

After recording, return to: Town of Chapel Hill, 405 Martin Luther King, Jr. Blvd., Chapel Hill, NC 27514

Revenue Stamps: \$2,100.00

NORTH CAROLINA )  
 )  
 ORANGE COUNTY ) **COMMISSIONER'S DEED**

This deed, made and entered into this 29 day of September, 2005, by and between Gregory Herman-Giddens acting as Commissioner as hereinafter stated ("Grantor"); and The Town of Chapel Hill, a municipality organized and existing under the laws of the State of North Carolina; whose address is 405 Martin Luther King, Jr. Boulevard, Chapel Hill, NC 27514.

**WITNESSETH:**

That whereas, in a certain special proceeding entitled "Clarice Eula Merritt Brickhouse and spouse, David M. Brickhouse; Marjorie Ida Merritt, unmarried; William Hubert Merritt and spouse, Cathy L. Merritt; Martha Arvilla Merritt, unmarried; Carolyn Ann Merritt, unmarried; Andrew Seaton Holt, III and spouse, Alice Lee Holt; Edward Eugene Holt, unmarried; Barbara McElduff Browning and spouse, Robert M. Browning; Estate of Annie Willie Greeson, unmarried; Estate of Alfred Willie Sparrow, unmarried; Thurman Andrew Sparrow and spouse, Dorothy B. Sparrow; Brenda Louise Greeson Munford and spouse, John W. Munford; James William Greeson and spouse, Helen Elizabeth Yeatts Greeson; Audrey Lee Greeson Ledbetter and spouse, William C. Ledbetter, **Petitioners**, vs. Furman E. Coggins, Administrator of the Estate of Leo V. Merritt; E. Louise Stone Blackwood and spouse (if any); Jean Stone Miller and spouse (if any); Lurline Stone Whitaker and spouse (if any); Howard E. Stone, Jr. and spouse (if any); Carol S. Stone Fogleman and spouse (if any); William Edgar Stone and spouse (if any); Duke Stone and spouse (if any); Millie Andrews Shepherd and spouse (if any); Billy Ray Andrews and spouse (if any), **Respondents**," brought and pending before the Clerk of the Superior Court of Orange County, North Carolina (File No. 05-SP-10), an order was made by said court appointing said Grantor as Commissioner, to sell at private sale subject to confirmation of the court the lands hereinafter described; and whereas said Grantor, acting as Commissioner as aforesaid, on July 21, 2005 reported to said court a contract for the sale of the lands hereinafter described to said Grantee at the price of **One Million Fifty Thousand & 00/100 Dollars (\$1,050,000.00)**, and recommended that said sale be confirmed by the court, and whereas, said court on July 25, 2005 entered an order approving and confirming the contract for sale and directing said Grantor as Commissioner to make execute, and deliver unto said Grantee a good and sufficient deed for said lands upon the payment to him of one-half of the purchase price and receipt of a duly executed note and deed of trust for the balance of the purchase price;

Now, therefore, said Grantor, acting as Commissioner as aforesaid, under authority of said order of court and in consideration of the said purchase price of **One Million Fifty Thousand & 00/100 Dollars (\$1,050,000.00)** has



bargained and sold and by these presents does grant, bargain, sell, and convey unto said Grantee and its assigns the certain tracts or parcels of land lying and being in the County of Orange and State of North Carolina, in Chapel Hill Township, and more particularly described and bounded as follows:

**TRACT 1: BEGINNING** at an existing iron pin on the southwestern corner of the N/F Slomiany's property (DB 3759, Pg. 398) See PB 92, Pg. 12; said point also being the northwesternmost corner of this tract; thence from said point of beginning and with the southern line of the N/F Slomiany's property, S. 87°45'37" E. 160.12 ft. to a new iron pin on the N/F Cates (DB 3183, Pg. 409) corner; thence with the Cates western line, S. 04°43'10" W. 287.72 ft. to a new iron pin; said iron pin being N. 87°45'37" W. 68.51 ft. from an existing iron pin on Obey's Creek, the N/F Oldham's northeast corner; thence with the N/F Oldham line, N. 87°45'37" W. 160.12 ft. to an existing iron pin on the "Old Merritt School Road" eastern line; thence with the aforementioned Old Merritt School Road, N. 04°43'10" E. 287.72 ft. to the point and place of **BEGINNING, CONTAINING 1.06 ACRES** more or less.

**TRACT 2: BEGINNING** at an existing iron pin on the south bank of a small creek, said point also being the northwesternmost corner of the N/F Cole property (DB 223, Pg. 1463) See PB 17, Pg. 78; thence from said point of beginning, N. 50°47'21" E. 370.09 ft. (See PB 83, Pg. 20) to an existing iron axel at the N/F Hester corner; thence with the Hester line, S. 36°42'05" E. 813.87 ft. to an existing iron pin; thence continuing along the same course, S. 36°42'05" E. 849.47 ft. to a new iron pin on the new northern right-of-way of Hwy. 15-501; thence with the northern right-of-way of 15-501, S. 06°21'09" W. 178.69 ft. to a point of curvature; thence curving to the left, said curve having a radius of 2,355.64 ft., an arc distance of 117.83 ft. and a chord of S. 58°55'06" W. 117.82 ft. to a new iron pin; thence leaving said 15-501 right-of-way and with N/F Cole line (DB 2510, Pg. 161), N. 39°22'04" W. 514.47 ft. to an existing iron pin; thence continuing along the same course, N. 39°22'04" W. 1,100.92 ft. to the point and place of **BEGINNING, CONTAINING 12.43 ACRES**, more or less.

**TRACT 3: BEGINNING** at a point on the southern right-of-way of Jay Street, said point being S. 89°37'30" W. 537.61 ft. from an existing iron on the N/F Town of Chapel Hill Cemetery property at the eastern right-of-way of the Southern Railroad; thence from said point of beginning and with the right-of-way of Jay Street, S. 89°37'30" W. 119.07 ft. to an existing iron pin at the right-of-way intersection with the Nunn Street Extension; thence with the western right-of-way of Nunn Street Extension, S. 20°25'12" W. 161.64 ft. to a new iron pin on the AM Properties lot line; thence N. 70°08'19" W. 81.49 ft. to a new iron; thence N. 06°28'32" E. 123.81 ft. to the point and place of **BEGINNING, CONTAINING 0.32 ACRES**, more or less.

**TRACT 4: BEGINNING** at an existing iron pin on the southwest corner of the N/F AM Properties lot said EIP also being S. 48°34'03" E. 524.22 ft. from an existing iron at the southwest corner of the Old Chapel Hill Cemetery and the southern railroad right-of-way; thence from said point of beginning and with the N/F AM Properties line, S. 71°43'25" E. 134.17 ft. to a new iron pin; thence S. 18°16'35" W. 98.87 ft. to an existing iron pin; thence with the N/F Johnson line (DB 394, Pg. 449), N. 71°04'38" W. 110.13 ft. to an existing iron pin; thence N. 05°00'01" E. 100.31 ft. to the point and place of **BEGINNING, CONTAINING 0.28 ACRES, AND BEING ALL OF LOTS 11 & 12** and the same lots described in Deed Book 1812, Page 172, Orange Registry (Lot 11) and Deed Book 1598, Page 373, Orange Registry (Lot 12). *TO REMAIN AS LOTS 11 AND 12 LUTHER EDWARD PROPERTY SHOWN IN PLAT BOOK 64 AT PAGE 75. THESE LOTS ARE TO REMAIN SEPARATE AND APART AND DOES NOT CREATE A MERGER.*

**TRACT 5: BEGINNING** at an existing iron pin on the eastern right-of-way of the southern railroad, said iron is also the southwesternmost corner of the N/F Chapel Hill Cemetery (DB 221, Pg. 791); thence from said point of beginning and with the eastern right-of-way of the railroad, S. 38°39'46" E. 66.98 ft. to a point of curvature; thence continuing with the right-of-way and curving to the right an arc distance of 934.06 ft. to a point, said curve having a radius of 633.59 ft. and a chord of S. 01°08'24" W. 851.75 ft; thence with said right-of-way, S. 38°55'28" W. 7.47 ft. to a point of curvature; thence curving to the left an arc distance of 245.26 ft. to a point on the eastern right-of-way of Broad Street, said curve having a radius of 2,671.92 ft. and a chord bearing of S.



40°30'58" W. 245.17 ft.; thence leaving said railroad right-of-way and with the eastern right-of-way of Broad Street, S. 06°31' 59" E. 163.43 ft. to a new iron pin at the N/F Austin property; thence leaving said Broad Street right-of-way and with the Austin line (DB 461, Pg. 294), N. 83°26'40" E. 161.67 ft. to a new iron pin; thence N. 08°58'54" W. 47.10 ft. to an existing iron pipe (EIP) at a creek; thence down the creek and with N/F Town of Chapel Hill property (PB 92, Pg. 169) and N/F. A.M. Properties (PB 80, Pg. 127) lines the following calls: N. 54°31'30" E. 99.19 ft. to a point; thence N. 36°23'43" E. 31.74 ft. to an EIP; thence N. 47°33'23" E. 32.00 ft. to a point; thence N. 12°45'21" E. 50.00 ft. to a point; thence N. 25°13'13" E. 39.74 ft. to a point; thence N. 41°33'00" E. 75.87 ft. to a point; thence N. 57°04'12" E. 17.93 ft. to a point; thence N. 32°51'22" E. 114.99 ft. to a point; thence S. 50°44'50" E. 17.30 ft. to a point; thence N. 62°21'53" E. 22.10 ft. to a point; thence N. 36°23'15" E. 29.27 ft. to a point; thence S. 87°38'17" E. 28.13 ft. to a point; thence N. 61°19'04" E. 48.64 ft. to a point; thence N. 81°38'07" E. 35.82 ft. to a point; thence N. 77°32'57" E. 32.00 ft. to a new iron pin; thence leaving said creek and with the northern right-of-way of Nunn Street Extension (PB \_\_, Pg. \_\_), N. 16°01'34" E. 121.39 ft. to an EIP; thence leaving said right-of-way and with the N/F A.M. Properties line, N. 68°12'21" W. 177.18 ft. to an EIP; thence N. 05°49' 15" E. 155.28 ft. to an EIP at the N/F Johnson property (DB 394, Pg. 449); thence N. 05°00'10" E. 100.31 ft. to an existing pin at the southwestern corner of N/F A.M. Properties tract (PB 85, Pg. 192); thence with the A.M. Properties line, N. 05°49'16" E. 351.51 ft. to a new iron pin on the southern right-of-way of Jay Street; thence with the southern right-of-way of Jay Street, S. 89°37'30" W. 428.68 ft. to the place and point of **BEGINNING, CONTAINING 7.50 ACRES**, more or less.

All tracts hereby conveyed are described in a survey of the Leo V. Merritt Property by Thomas F. Bick, dated August 12, 2005, and on file with the Town of Chapel Hill."

To have and to hold said lands and premises, together with all privileges thereunto belonging to it the said Grantee and its assigns in as full and ample a manner as said Grantor as Commissioner as aforesaid is authorized and empowered to convey the same.


In Testimony Whereof, said Grantor, acting as Commissioner as aforesaid, has hereunto set his hand and seal the day and year first above written.

 (SEAL)  
Gregory Herman-Giddens, Commissioner

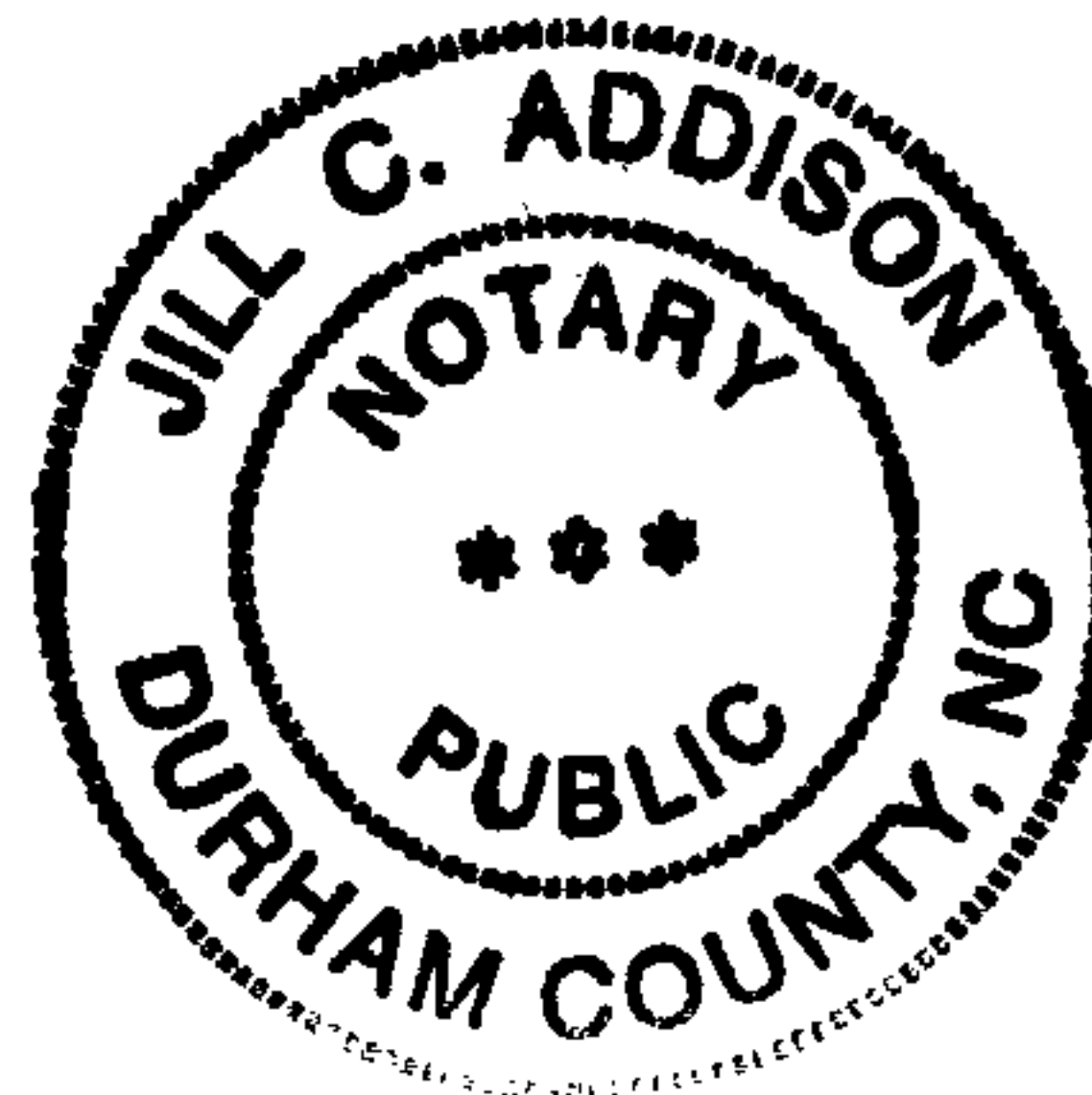
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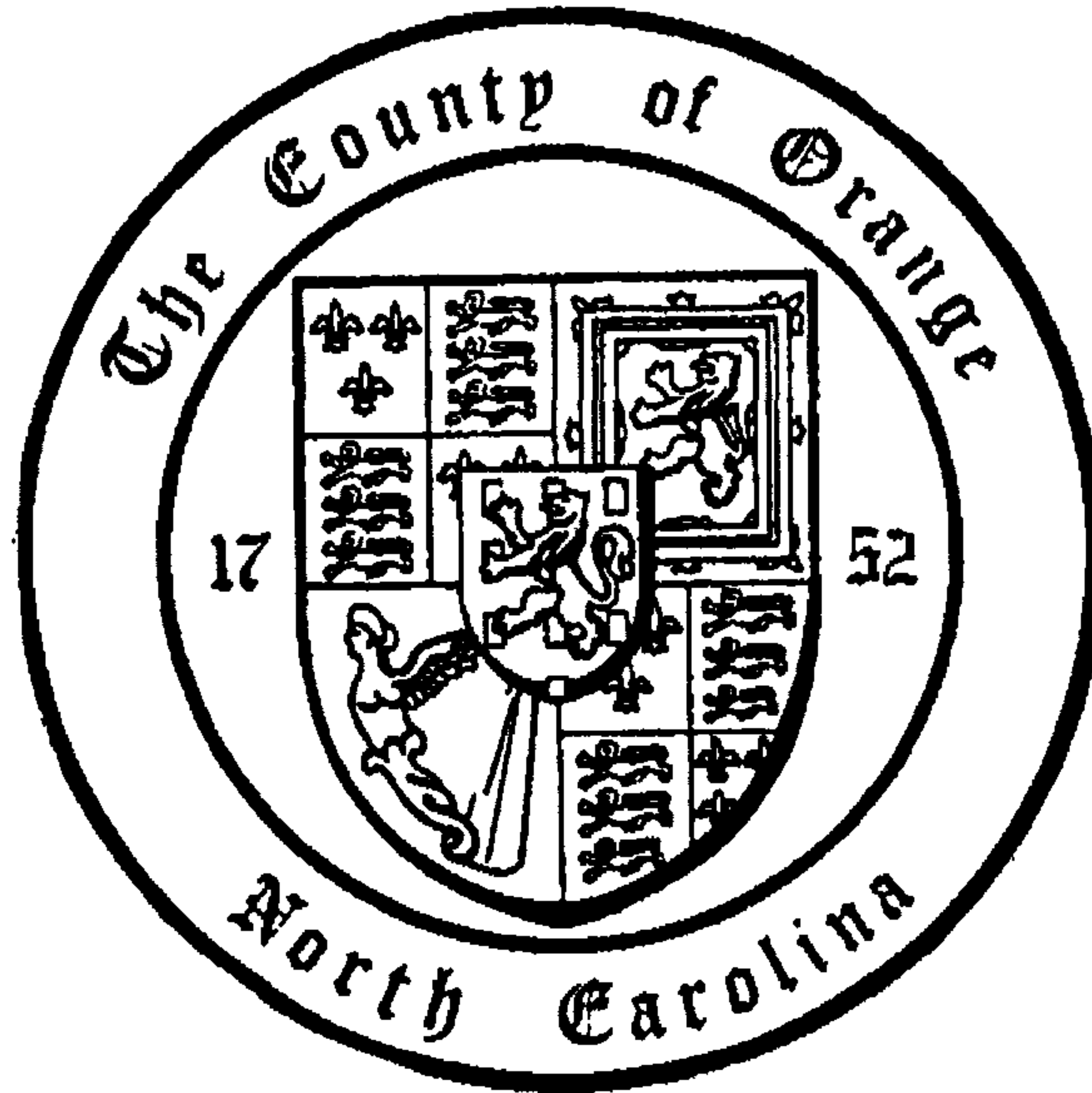
**STATE OF NORTH CAROLINA - COUNTY OF ORANGE**

I, the undersigned Notary Public of the County and State aforesaid, certify that **Gregory Herman-Giddens, Commissioner**, personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 29<sup>th</sup> day of September, 2005.

  
Notary Public

My Commission Expires: 9-26-2006





Joyce H. Pearson  
Register of Deeds  
Orange County  
North Carolina

---

**State of North Carolina, County of Orange**

The foregoing certificate(s) of JILL C ADDISON, NOTARY PUBLIC for the Designated Governmental units is/are certified to be correct. See filing certificate herein.

This day September 30, 2005.

Joyce H. Pearson, Register of Deeds

BY: Linda Perkins  
Deputy / ~~Assistant~~ Register of Deeds

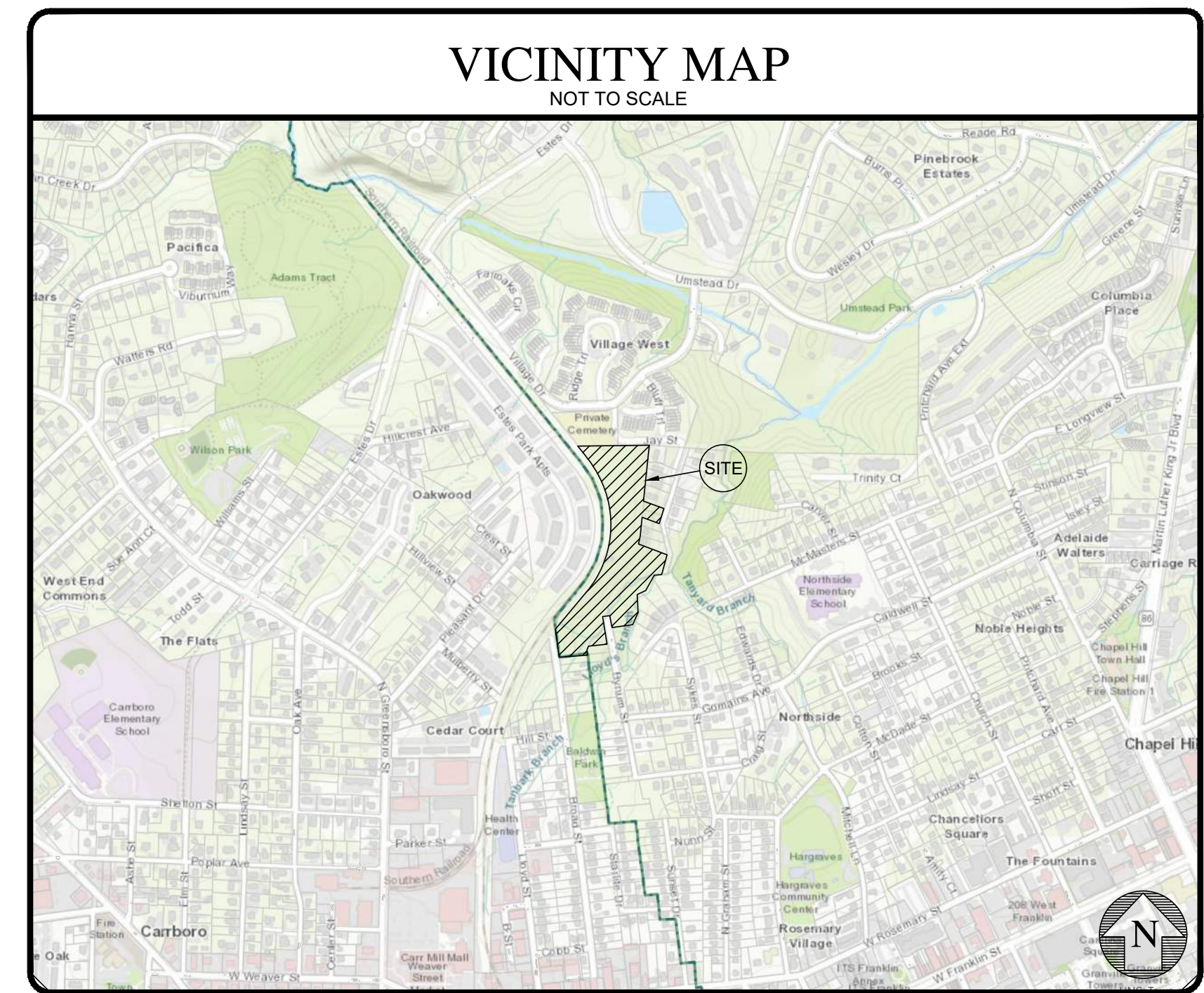


CONDITIONAL ZONING APPLICATION  
FOR  
JAY STREET APARTMENTS

JAY STREET  
CHAPEL HILL, NORTH CAROLINA 27516

DATE: DECEMBER 1, 2021  
REVISED: JANUARY 4, 2022 - CZA COMMENTS #1  
REVISED: JANUARY 31, 2022 - CZA COMMENTS #2

PIN#'s: 9778999279, 9788091257 and 9788091232



CURRENT OWNER

TOWN OF CHAPEL HILL  
405 MARTIN LUTHER KING JR. BLVD.  
CHAPEL HILL, NORTH CAROLINA 27514

DEVELOPER/FUTURE OWNER

TAFT-MILLS GROUP  
631 DICKINSON AVENUE  
GREENVILLE, NC 27834  
Mr. DUSTIN MILLS  
(252) 916-2891  
dustin@taftmillsgroup.com

SURVEY CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES  
THOMAS TELLUP, PLS  
320 EXECUTIVE COURT  
HILLSBOROUGH, NC 27278  
(919) 732-3883 (PHONE)  
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ENGINEER CONTACT

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SHEET LIST TABLE	
Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	NOTES
C-3	EXISTING CONDITIONS SURVEY
C-4	AREA MAP
C-5	CONCEPT PLAN
C-6	SITE PLAN
C-7	GRADING & DRAINAGE PLAN
C-8	CONSTRUCTION MANAGEMENT PLAN
C-9	UTILITY PLAN
C-10	STEEP SLOPES PLAN
D-1	SITE DETAILS
D-2	SITE DETAILS
D-3	SITE DETAILS - WATER
D-4	SITE DETAILS - WATER
D-5	SITE DETAILS - SANITARY
D-6	STORMFILTER DETAILS
L-1	LANDSCAPE PROTECTION PLAN
L-2	PLANTING PLAN
L-3	LANDSCAPE DETAILS
A3.1	EXTERIOR ELEVATIONS - CLUBHOUSE
A3.2	EXTERIOR ELEVATIONS - BUILDING 1
A3.3	EXTERIOR ELEVATIONS - BUILDING 2

SITE INFORMATION	
CURRENT OWNERS:	TOWN OF CHAPEL HILL
PIN:	9778999279, 9788091257 and 9788091232
NET LAND AREA:	339,670 SF (7.798 ACRES)
GROSS LAND AREA:	373,637 SF (8.577 ACRES)
REFERENCE:	DB/PG: 3881/129
PLANNING JURISDICTION:	TOWN OF CHAPEL HILL
EXISTING ZONING:	R-3
PROPOSED ZONING:	R-SS-C
EXISTING USE:	VACANT
PROPOSED USE:	RESIDENTIAL - APARTMENTS
TOTAL NUMBER OF UNITS:	(12) 3 BEDROOM UNITS, (27) 2 BEDROOM UNITS, (9) 1 BEDROOM UNITS
DENSITY:	4.53 UNITS/ACRE
BUILDING SETBACKS:	STREET: 10' SIDE: 0' REAR: 0' MAX BUILDING HEIGHT: 39' Setback, 60' Core
PARKING:	REQUIRED MIN: 12 - 3 BR UNITS = 12 X 1.75 SP / 3 BR UNIT = 21 SPACES 27 - 2 BR UNITS = 27 X 1.40 SP / 2BR UNIT = 38 SPACES 9 - 1 BR UNITS = 9 X 1.00 SP / 1 BR UNIT = 9 SPACES PUBLIC USE FACILITY = 2,032 SF @ 1/350 SF = 6 SPACES TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 74 SPACES REQUIRED MAX: 12 - 3 BR UNITS = 12 X 2.25 SP / 3 BR UNIT = 27SPACES 27 - 2 BR UNITS = 27 X 1.75 SP / 2BR UNIT = 48 SPACES 9 - 1 BR UNITS = 9 X 1.25 SP / 1 BR UNIT = 12 SPACES PUBLIC USE FACILITY = 6 SPACES TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN)) = 93 SPACES PROVIDED: 90 REGULAR SPACES (INCL. 7 FOR GUEST PARKING) 10 ACCESSIBLE (5 VAN SPACES) TOTAL: 100 SPACES REQ'D BICYCLE: 48 DWELLING UNITS @ 1 PER 4 UNITS = 12 BICYCLE PARKING: PUBLIC USE FACILITY = 8 BICYCLES TOTAL = 20 BICYCLE PROVIDED BICYCLE: 27 SPACES RIVER BASIN: CAPE FEAR WATERSHED: BOLIN CREEK UNPROTECTED WATERSHED SOILS: 1B, 1B, E1C & W1E IMPERVIOUS AREAS: EXISTING: BUILDING: -2,197 SF (0.588%) (TO BE DEMOLISHED) PROPOSED: BUILDING: 23,966 SF SIDEWALK/CONCRETE: 9,505 SF ASPHALT/ CURB & GUTTER: 46,562 SF TOTAL: 79,633 SF (1.83AC) 21.31 % IMPERVIOUS TOTAL DISTURBED AREA ON SITE: = 152,189 SF (3.49 AC.) DISTURBED AREA OF SLOPES >25%: 11,406 SF DISTURBED AREA WITHIN RCD: = 3,260 SF (NATURE PATH) DISTURBED AREA WITHIN JORDAN BUFFER: = 3,914 SF (NATURE PATH) RECREATION SPACE: REQUIRED: (GLA X .050), 373,637 X .050 = 18,681 SF PROPOSED: CLUBHOUSE: 2,032 PLAYGROUND: 960 PICNIC SHELTER: 264 LAWN AREAS: 3,000 TRAIL CONNECTOR: 2,400 TOTAL: 11,567 SF REMAINING BALANCE OF 7,114 SF TO BE MET BY MEANS OF A PAYMENT-IN-LIEU. (AMOUNT TO BE DETERMINED BY TOWN COUNCIL)

PUBLIC SERVICE CONTACTS :	
WATER/SEWER:	OWASA NICK PARKER 400 JONES FERRY ROAD CARBORO, NORTH CAROLINA 27510 N.PARKER@OWASA.ORG (919) 537-4201
FIRE:	TOWN OF CHAPEL HILL MATT SULLIVAN, CHIEF 403 MARTIN LUTHER KING JR. BLVD CHAPEL HILL, NC 27514 PHONE: 919-968-2814 msullivan@townofchapelhill.org
ELECTRIC:	DUKE ENERGY SHANE SMITH (919) 687-3385 SHANE.SMITH2@DUKE-ENERGY.COM
TELEPHONE:	AT&T ALVA L. NICHOL JR. (919) 765-7758 / (919) 601-1205 AN5696@ATT.COM
GAS:	PG&C ENERGY BRIAN SMITH (919) 598-7454 BRIAN.SMITH@SCANA.COM
TV CABLE:	SPECTRUM CABLE GEORGE STOTLER (919) 427-5506 GEORGE.STOTLER@TWCABLE.COM
SOLID WASTE:	ORANGE COUNTY SOLID WASTE MANAGEMENT JEFF SCOUTEN 1207 EUBANKS ROAD CHAPEL HILL, NC 27516 (919) 968-2788
PLANNING:	TOWN OF CHAPEL HILL JUDY JOHNSON ASST. PLANNING DIRECTOR (919) 969-5078 johnson@townofchapelhill.org

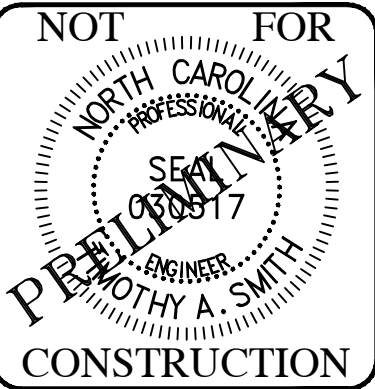


CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

7	6	5	4	3	2	1	CZA COMMENTS #1	REVISIONS	DATE	BY

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FIRST ISSUE DATE  
12-01-2021



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SITE PLANS FOR  
**JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC  
COVER SHEET

PROJECT NO.  
**21-0207**  
DRAWING NAME:  
21-0207\_CS.dwg  
SHEET NO.  
**C-1**



GENERAL NOTES:

1. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF ANY EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS NOT GUARANTEED.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES AND NC811 PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
4. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR FINAL ACCEPTANCE, APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
5. ALL DIMENSIONS SHALL BE TO FACE OF CURB UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL MAINTAIN ANY ACCESS TO ADJACENT RESIDENCES, BUSINESSES, AND PROPERTIES AT ALL TIMES AND NOTIFY THEM OF ANY DISRUPTIONS OF SERVICE OR ACCESS WITH A 24-HOUR NOTICE.
7. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, DOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS, AND BUILDING CODES.
8. ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS. THE CONTRACTOR SHALL WAIVE ANY ADDITIONAL COSTS CLAIMS FOR SUBSTITUTING OR MODIFYING FROM WHAT HAS BEEN APPROVED.

DEMOLITION NOTES

1. ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
2. REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL SHALL BE PRESENTED TO, AND APPROVED BY, THE TOWN/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
3. THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS PLAN SET WERE PROVIDED AS PART OF THE SURVEY REFERENCED WITHIN THIS PLAN SET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE DOT RIGHTS-OF-WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO DOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURB & GUTTER, PAVEMENT, SIGNS AND ROADSIDE SVALES.
5. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO DOT FOR APPROVAL, PRIOR TO ANY WORK WITHIN THE DOT RIGHTS-OF-WAY.
6. ALL UTILITIES SHOWN TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED SHALL BE DONE PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.

GENERAL CONSTRUCTION AND GRADING NOTES:

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: EROSION AND SEDIMENTATION CONTROL PLAN AND STORMWATER MANAGEMENT PLAN.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN COMPARING THE PLANS TO ACTUAL FIELD CONDITIONS.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE AND WITHOUT COMPENSATION.
5. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT IN WRITING.
7. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT MUTCD STANDARDS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND TRAFFIC CONTROL SAFETY ITEMS AND BARRIERS NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
9. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
11. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
12. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D988). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE GOVERNING MUNICIPALITY INSPECTOR. ANY CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADEING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
15. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
16. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
17. ALL PAVEMENT MARKINGS, REGULATORY SIGNS, AND STREET NAME SIGNS SHALL CONFORM TO CURRENT MUTCD STANDARDS.
18. ALL DAMAGE TO PUBLIC OR PRIVATE MAINTAINED STREETS DUE TO PROJECT CONSTRUCTION WILL BE REPAIRED AT NO COST TO THE OWNER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
19. A PRE-CONSTRUCTION MEETING WITH THE GOVERNING MUNICIPALITY, ENGINEER, OWNER OR OWNERS REPRESENTATIVE, CONTRACTOR, AND SUB-CONTRACTORS IS REQUIRED PRIOR TO START OF PROJECT.
20. PRIOR TO ANY WORK IN THE STREET OR RIGHT-OF-WAYS AND PRIOR TO ANY PUBLIC ROAD LANE CLOSURE, THE CONTRACTOR IS REQUIRED TO CONTACT THE GOVERNING MUNICIPALITY (3) DAYS IN ADVANCE.
21. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ANY SPILL, CURB REQUIRED TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES AND PREVENT ANY LOW SPOTS OR "BIRD BATHS" WITHIN THE CURB & GUTTER OR PAVED SECTIONS.
22. NO VISUAL OBSTRUCTIONS SHALL BE WITHIN ANY SIGHT DISTANCE TRIANGLES BETWEEN 2 AND 8 FEET IN HEIGHT ABOVE FINISHED GRADE.
23. ANY VERTICAL DROPS MORE THAN 30" FROM A RETAINING WALL WILL REQUIRE A 42" HIGH SAFETY FENCE ALONG THE TOP OF WALL.
24. THE CONTRACTOR SHALL NOTE THAT EVERY OFFSET, FITTING, TIE-IN POINT, ETC. MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR SHALL USE STANDARD CONSTRUCTION PROCEDURES TO FOLLOW THE PLANS AS CLOSELY AS POSSIBLE AND NOTIFY THE ENGINEER IF DISCREPANCIES ARE FOUND.
25. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS.
26. THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
27. ALL CONCRETE PIPE SHALL BE REINFORCED CLASS III, UNLESS NOTED OTHERWISE.
28. ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE DOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL. CONTRACTOR SHALL VERIFY APPROVAL WITH DOT FOR ALL PIPE MATERIALS TO BE USED IN THE RIGHT OF WAY.
29. ROOF DRAIN CONNECTIONS AND INLINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS "NYLOPLAST" BY ADS OR APPROVED EQUAL. (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEM).
30. ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER DOT OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MOST STRINGENT.
31. DOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF DOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING DOT MATERIAL, DRAWING & DETAILED SPECIFICATIONS. NO "KNOCK-OUT" OR WAFFLE BOXES SHALL BE USED WITHOUT PERMISSION FROM THE ENGINEER.
32. ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR FOOTER AND BUILDING PAD PREPARATION AND COMPACTION MAY EXIST IN ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL BE EXECUTED/IMPLEMENTED AS REQUIRED.
33. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911. SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NFPC SECTION 3304.5

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS. HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
5. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS/PERMITS. THE UTILITY COMPANIES SHALL BE PROVIDED WITHIN THE PROJECT SCHEDULE FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
6. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
8. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
9. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
10. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
12. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY. ALL OSHA STANDARDS FOR TRENCH EXCAVATIONS SHALL BE OBSERVED BY ALL PARTIES INVOLVED WITH UTILITY INSTALLATIONS.
13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
14. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D988). BACKFILL MATERIAL SHALL BE FREE FROM VEGETATION, ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS, AND SHALL BE NON-PLASTIC IN NATURE, OR HAVE A TENDENCY TO SHIFT OR FLOW UNCHARACTERISTICALLY WHEN TAMPED. BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER OR INTO ADJACENT PROPERTIES.
16. ALL JOINTS ON THE STORM WATER CONVEYANCE SYSTEM SHALL BE WATERTIGHT.
17. ALL CONSTRUCTION ASSOCIATED WITH WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
18. ALL ELECTRICAL SERVICE LINES TO OR AROUND THE PROPOSED STRUCTURE SHALL BE UNDERGROUND.
19. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND LOCAL MUNICIPALITY SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
20. CONTRACTOR SHALL KEEP A RECORD PLAN SET SHOWING UTILITY CONSTRUCTION, LOCATIONS, CLEARANCES, ETC. AND PROVIDE A COPY TO THE ENGINEER TO ASSIST WITH PREPARATION OF AS-BUILT DRAWINGS. CONTACT ENGINEER IF EXPLANATION OF WHAT ITEMS ARE REQUIRED IF UNSURE, PRIOR TO BEGINNING CONSTRUCTION.
21. PAVEMENT CUTS FOR UTILITY INSTALLATIONS SHALL BE SAWCUT FOR STRAIGHT, CLEAN EDGES. PATCHES SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY.
22. CONTRACTOR SHALL COORDINATE INSTALLATIONS OR CONDUITS ON SITE PRIOR TO PREPARING ROADWAY, DRIVE OR PARKING AREA SUBGRADES.
23. WATER SHALL NOT BE ALLOWED TO RISE WITHIN UNFILLED UTILITY TRENCHES AFTER PIPE HAS BEEN INSTALLED. BACKFILL IMMEDIATELY AFTER PIPE INSTALLATION.
24. PIPES IN STORM DRAINAGE STRUCTURES SHALL BE CUT FLUSH TO INSIDE WALLS. INVERTS SHALL BE POURED IN DRY CONDITIONS WITH STRUCTURES BEING PUMPED OUT PRIOR TO INVERTS IF REQUIRED.
25. ALL CASTINGS AND FERROUS MATERIAL PIPING ASSOCIATED WITH WATER, SEWER, AND STORM DRAINAGE SHALL BE DOMESTICALLY CAST.
26. CONTRACTOR SHALL PROVIDE SURVEY AS-BUILTS OF STORM DRAINAGE NETWORKS AND STORMWATER CONTROL MEASURE. STORM DRAINAGE AS-BUILTS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BACKFILLING. THE STORMWATER CONTROL MEASURE AS-BUILT(S) MUST BE COMPLETED UPON FINAL CONSTRUCTION OF NEW CONVEYANCES AND SUBMITTED FOR THE ENGINEER TO REVIEW AND APPROVE. A SEALED AS-BUILT DRAWING MAY BE REQUIRED FOR STORMWATER CONTROL CERTIFICATION. CONTACT THE ENGINEER TO VERIFY.
27. CONTRACTOR SHALL PROVIDE EASEMENT SURVEYS FOR STORM DRAINAGE SYSTEMS AND STORMWATER CONTROL MEASURES. EASEMENTS SHALL BE PLATTED AND PRESENTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SEE SITE PLAN, GRADING, AND STORM DRAINAGE PLAN SHEETS FOR EASEMENT LOCATIONS.
28. ALL SANITARY SEWER AND WATER INSTALLATION SHALL BE BY ORANGE WATER AND SEWER AUTHORITY'S (O.W.S.A.) STANDARD DETAILS AND SPECIFICATIONS.

WATER AND SEWER SEPARATION NOTES:

1. HORIZONTAL AND VERTICAL SEPARATION:
  - 1.1. SANITARY SEWERS SHALL BE LAID AT LEAST 10-FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL, TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
  - 1.2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
  - 1.3. A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
  - 1.3.1. IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS), THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING.
2. CROSSINGS:
  - 2.1. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
  - 2.2. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
    - 2.2.1. THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
    - 2.2.2. EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATERTIGHT BARRIER PIPE, WHICH EXTENDS 10-Feet ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

1. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
2. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
3. LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS. MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REGULATIONS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
5. DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117-1:2003 AND OTHER REFERENCED INCORPORATED BY CODE.)
6. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT OFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
7. THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-COMFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-COMFORMING CONCRETE.
8. THE SITE SHALL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1-2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
9. ACCESSIBILITY REQUIREMENTS: THAT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED ACCESSIBLE PARKING SPACES AND DESIGN ALL ACCESSIBLE PARKING SPACES, RAMPS, AND CROSSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL STANDARDS INSTITUTE, ANSI CODE, AND TOWN STANDARD 1. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2 PERCENT IN ANY DIRECTION, SIGNAGE PER NC REQUIREMENTS, MUTCD AND ICC A 117.1.2 CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2 PERCENT, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE. A SLOPE GREATER THAN 5 PERCENT REQUIRES CONSTRUCTION AS A RAMP.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONSTRUCTION WASTE NOTES:

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE GOVERNING MUNICIPALITIES' REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE, WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS, SHALL BE LICENSED BY THE GOVERNING MUNICIPALITIES.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PIPE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

INSPECTION NOTES:

1. ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS, WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
2. KEY BOXES SHALL BE REQUIRED ON ANY BUILDING THAT HAS A FIRE ALARM SYSTEM, A FIRE SPRINKLER SYSTEM, AN ELEVATOR, OR SPECIAL LOCKING ARRANGEMENTS. THE KEY BOX SHALL BE OF AN APPROVED TYPE AS REQUIRED FROM THE CHAPEL HILL FIRE DEPARTMENT. THE SIZE OF THE KEY BOX WILL BE DETERMINED BY THE NUMBER OF KEYS NECESSARY TO MITIGATE ANY EMERGENCY SITUATION BASED ON THE BUILDING AND ITS OCCUPANCY. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEYS SHALL BE CHANGED OUT IMMEDIATELY IF THE LOCKS ARE CHANGED OR RE-KEYED.
3. A LEAD-FREE RPZ WITH BYPASS FOR THE BACKFLOW PROTECTION IS REQUIRED. INSURE AT LEAST 18 INCHES OF WORKING CLEARANCE IS PROVIDED AROUND OR MORE IF MANUFACTURER'S INSTRUCTIONS REQUIRE MORE.
4. DEMOLITION OF THE EXISTING STRUCTURES WILL REQUIRE AN ASBESTOS TEST PRIOR TO DEMOLITION AND A SECOND ASBESTOS TEST OF THE SOIL AFTER THEY HAVE BEEN REMOVED.
5. IF REQUIRED, THE PROPOSED BUILDINGS SHALL BE PROTECTED BY NFPA 13 SPRINKLER SYSTEM

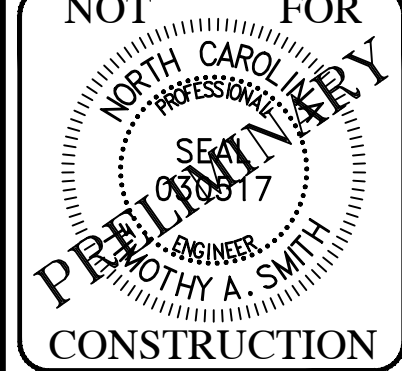


Know what's below.  
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DATE	BY	REVISIONS
1/31/2022	DMC	1
1/4/2022	DMC	2
		3
		4
		5
		6
		7

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DRAWING BY  
DMC (DMC@SUMMITDE.COM)  
FIRST ISSUE DATE  
1/20/2021



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www.summitde.com

**SITE PLANS FOR JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC  
**NOTES**

PROJECT NO.  
21-0207  
DRAWING NAME:  
21-0207\_notes.dwg  
SHEET NO.  
C-2



NOTE "a"  
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED DURING THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND CONTAINERS WHICH MAY AFFECT THE USE OF THIS TRACT.

NOTE "b"  
THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON, AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.

NOTE "c"  
ALL DISTANCES ARE HORIZONTAL GROUND AND AREA BY COORDINATE COMPUTATION.

NOTE "d"  
THIS SURVEY WAS DONE WITHOUT A TITLE SEARCH AND IS BASED ON REFERENCED INFORMATION. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH COULD AFFECT THIS PROPERTY.

NOTE "e"  
EXCEPT AS SPECIFICALLY STATED OR SHOWN, THIS SURVEY DOES NOT REPORT ANY OF THE FOLLOWING: EASEMENTS, OTHER THAN THOSE VISIBLE DURING FIELD EXAMINATION, BUILDING SETBACKS, RESTRICTIVE COVENANTS, ZONING OR LAND USE REGULATIONS AND ANY FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

NOTE "f"  
WETLANDS, JURISDICTIONAL WATERS OR OTHER CONDITIONS WHICH MAY BE REGULATED BY FEDERAL OR STATE OR LOCAL AGENCIES WERE NOT INVESTIGATED DURING THIS SURVEY. RIPARIAN BUFFERS AND OTHER RESTRICTIONS ON DEVELOPMENT MAY BE REQUIRED.

NOTE "g"  
THIS PROPERTY IS IN ZONE "X", SEE FIRM PANEL 9788, MAP # 3710978800K REVISED 11/17/2017.

NOTE "h"  
NO NCOS MONUMENTS WERE FOUND WITHIN 2000' OF THIS SITE.

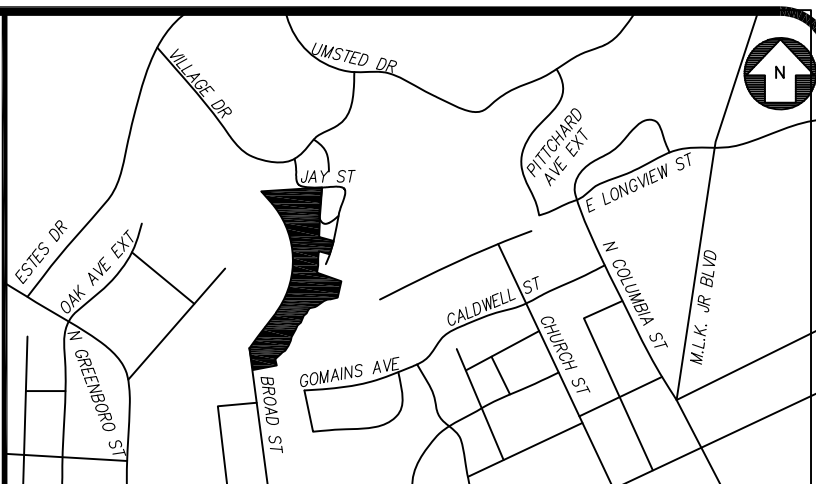
NOTE "i"  
THIS PROPERTY IS WITHIN THE CAPE FEAR RIVER BASIN.

NOTE "j"  
ZONING: (R-5)  
MINIMUM LOT AREA: 5,500 SF  
MINIMUM LOT WIDTH: 30 FT  
MAXIMUM BUILDING HEIGHT: 24 FT  
BUILDING FRONT SETBACK: 8 FT  
BUILDING SIDE SETBACK: 8 FT  
BUILDING REAR SETBACK: 8 FT

## SYMBOL LEGEND

△	CALCULATED POINT
○	IRON PIN SET
●	IRON PIN FOUND
⊙	POWER POLE
⊕	ELECTRIC BOX
⊖	WATER METER
⊗	SANITARY MANHOLE
⊙	GUY WIRE ANCHOR
⊕	TELEPHONE BOX
⊖	FIRE HYDRANT
⊗	WATER VALVE
⊙	SIGN
⊕	SANITARY CLEANOUT

LINE #	DIRECTION	LENGTH
L1	N89°56'06"E	14.56'
L2	N80°24'34"E	13.26'
L3	N67°22'21"E	17.30'
L4	N58°50'14"E	35.76'
L5	N41°02'09"E	18.44'
L6	N28°14'43"E	23.71'
L7	N52°38'24"E	26.81'
L8	N51°20'25"E	32.02'
L9	N26°33'54"E	33.54'
L10	N16°41'57"E	26.10'
L11	N26°33'54"E	39.13'
L12	N63°26'06"E	22.36'
L13	N45°00'00"E	21.21'



NAD 83/11  
NAYD 88

SOUTHERN RAILROAD  
100' PRIVATE R/W PB:121

NC GRID  
COORDINATE  
N=789,768.45  
E=1,979,774.41

TOWN OF CHAPEL HILL  
PIN # 9778995610  
DB: 3163/381

TOWN OF CHAPEL HILL  
PIN # 9778995610  
DB: 3163/381

VILLAGE WEST  
HOMEOWNERS ASSOCIATION  
PIN # 9788094897  
DB: 326/299

TOWN OF CHAPEL HILL  
PIN # 9778999279  
DB: 3881/129

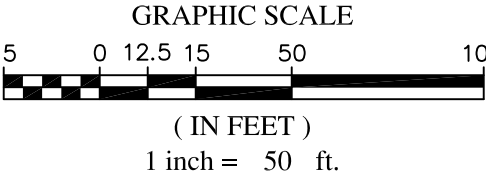
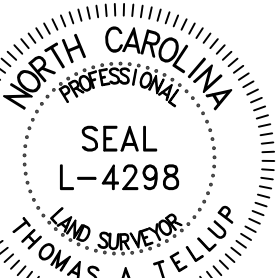
TOWN OF CHAPEL HILL  
PIN # 9778999279  
DB: 3881/129

TOWN OF CHAPEL HILL  
PIN # 9778999279  
DB: 3881/129

I, THOMAS A. TELLUP, N.C.P.L.S. #4298, CERTIFY THAT NO GRID TIE DATA SHOWN ON THIS PLAT WAS OBTAINED FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- (1) CLASS OF SURVEY: "A"
- (2) POSITIONAL ACCURACY: 0.07"
- (3) TYPE OF GPS FIELD PROCEDURE: VRS
- (4) DATES OF SURVEY: 11/05/2021
- (5) DATUM/EPOCH: NAD 83/2011
- (6) PUBLISHED/FIXED CONTROL USED: HELD VRS
- (7) GEOID MODEL: 2018
- (8) COMBINED GRID FACTOR: 0.99992535
- (9) UNITS: US SURVEY FEET

"I, THOMAS TELLUP, P.L.S. NO. 4298, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON)). THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED IN A BROKEN LINETYPE AS DRAWN FROM INFORMATION IN BOOK/PAGE (AS NOTED HEREON) OR OTHER REFERENCE SOURCE (AS NOTED HEREON). THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 30th DAY OF NOVEMBER 2021.



PROFESSIONAL LAND SURVEYOR  
SUMMIT DESIGN & ENGINEERING, SERVICES, PLLC  
REG. NUMBER P-033

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PROJECT ENGINEER/ARCHITECT  
TS  
PROJECT MANAGER  
TT

CUSTOMER ADDRESS  
110 JAY ST  
CHAPEL HILL, NC 27516

EXISTING CONDITIONS SURVEY OF:  
TAFT MILLS JAY ST  
CHAPEL HILL TWP., ORANGE CO., NORTH CAROLINA  
FIELD WORK PERFORMED 11/04/2021  
PROPERTY AS DESCRIBED IN DEED BOOK 381 PAGE 129  
STANDING IN THE NAME OF  
TOWN OF CHAPEL HILL

PROJECT NO.  
21-0207  
DRAWING NO.  
21-0207 SURVEY  
C-3

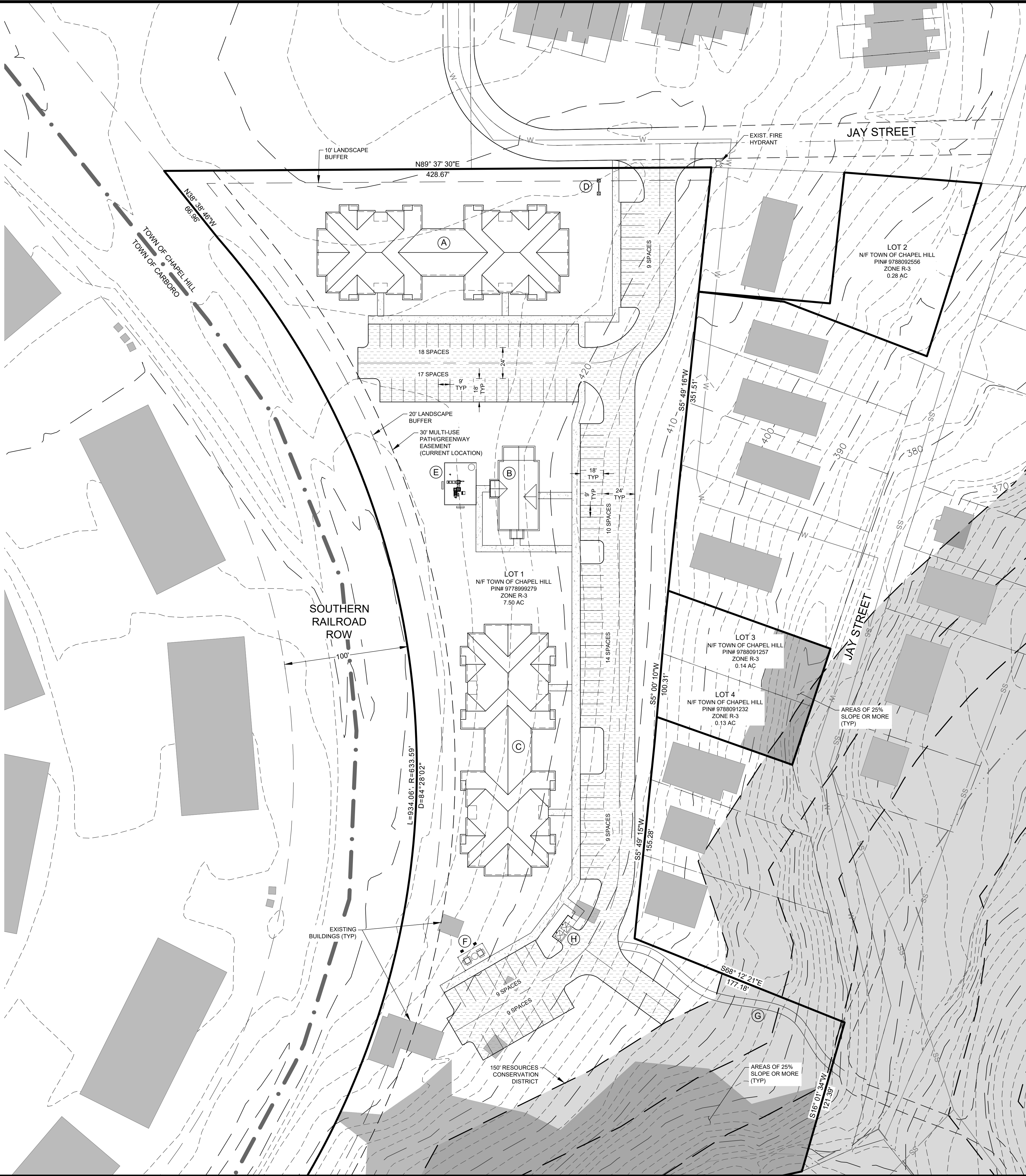








Know what's below.  
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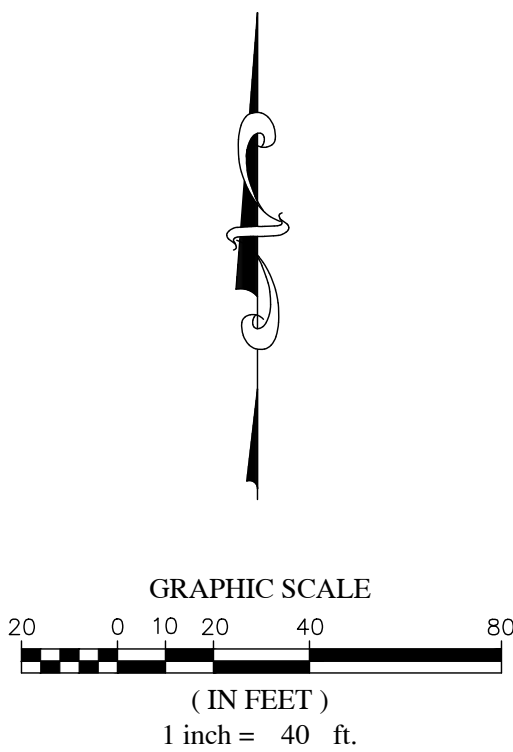
CONCEPTUAL SITE PLAN LEGEND:

- (A) 3 STORY APARTMENT BLDG - 6 1BR, 12 2BR, 6 3BR
- (B) COMMUNITY BUILDING
- (C) 3 STORY APARTMENT BLDG - 12 1BR, 12 2BR
- (D) ENTRY SIGN
- (E) PLAYGROUND
- (F) COVERED PICNIC SHELTER
- (G) TRAIL CONNECTION
- (H) TRASH AND RECYCLING

SITE DATA TABLE (LOT 1):

OWNER: TOWN OF CHAPEL HILL  
DEVELOPER: TAFT-MILLS GROUP  
PIN#: 9778999279  
JURISDICTION: TOWN OF CHAPEL HILL  
TOWN/CITY: CHAPEL HILL  
COUNTY: ORANGE  
DB/PG: 3881/129  
CURRENT ZONING: R-3  
PROPOSED ZONING: R-SS-C  
LOT AREA: 7.50 AC  
EXISTING IMPERVIOUS: 2,161 SF (0.06%)  
PROPOSED IMPERVIOUS: 73,784 SF (23%)  
PARKING SHOWN: 95 SPACES

APPLICANT:  
TAFT-MILLS GROUP  
CONTACT: DUSTIN MILLS  
P.O. BOX 566  
GREENVILLE, NC 27835  
(252) 916-2691 (PHONE)  
DUSTIN@TAFTMILLSGROUP.COM



CONCEPT PLANS FOR  
**JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

CONCEPT PLAN

PROJECT NO.  
**21-0207**

DRAWING NAME:  
---

SHEET NO.  
**C-5**

NOT FOR CONSTRUCTION

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ACH (ARON.HUTCHENS@SUMMITDE.NET)  
DRAWN BY  
SLF (SANDY.FALK@SUMMITDE.NET)  
FIRST ISSUE DATE  
11-19-2021

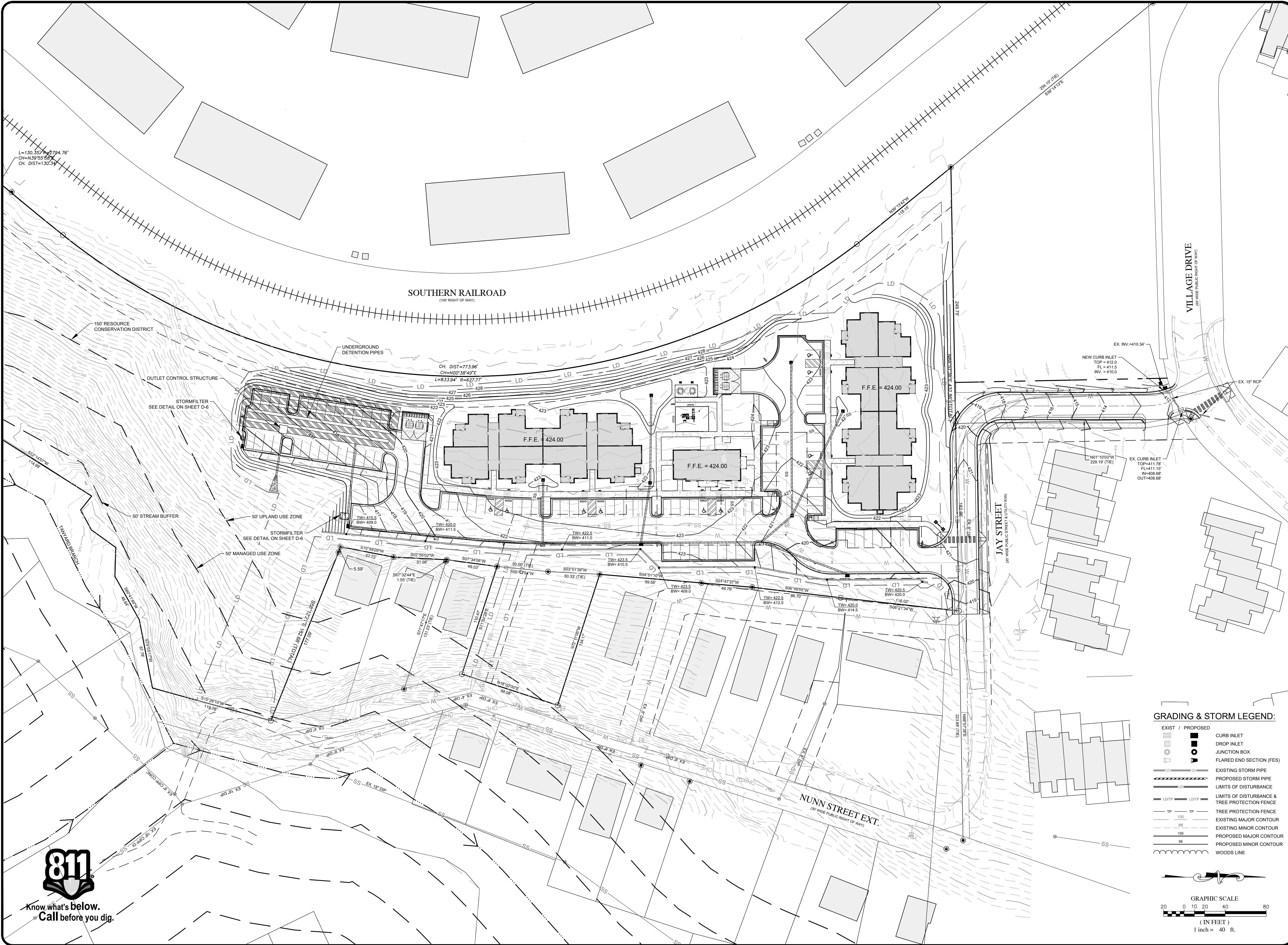
REVISIONS  
DATE  
BY







N:\2021\21-0207\0101.dwg:Jay Street Housing\Current Drawings\21-0207\_G.dwg, 2/7/2022 9:08:06 AM, 11



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DATE

1/4/2022

REVISIONS

BY

NOT FOR CONSTRUCTION

PROPOSED

ENGINEER  
ROTHY A. SMITH

↑

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Fayetteville, NC 27778

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SITE PLANS FOR  
JAY STREET APARTMENTS  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

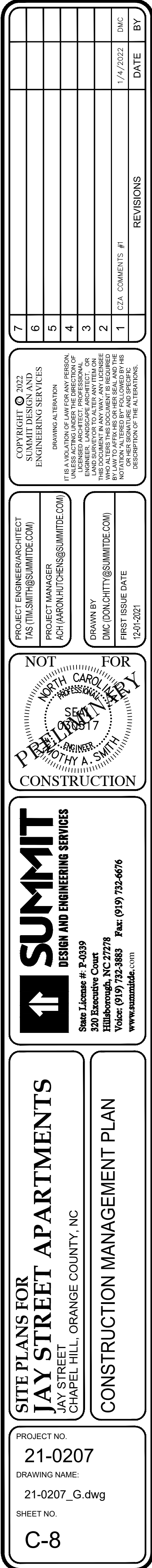
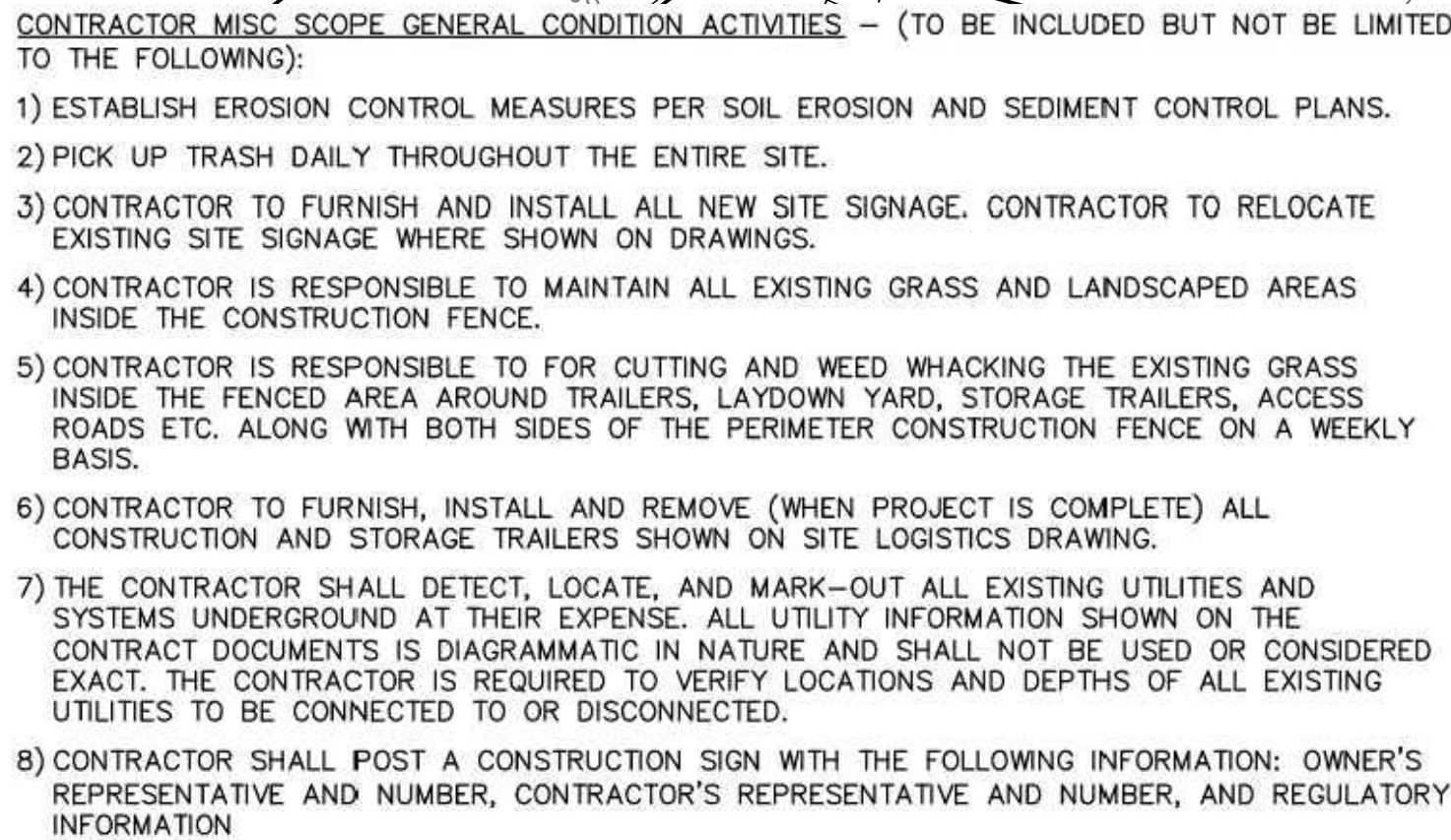
GRADING & DRAINAGE PLAN

PROJECT NO.  
21-0207

DRAWING NAME:  
21-0207\_G.dwg

SHEET NO.  
C-7



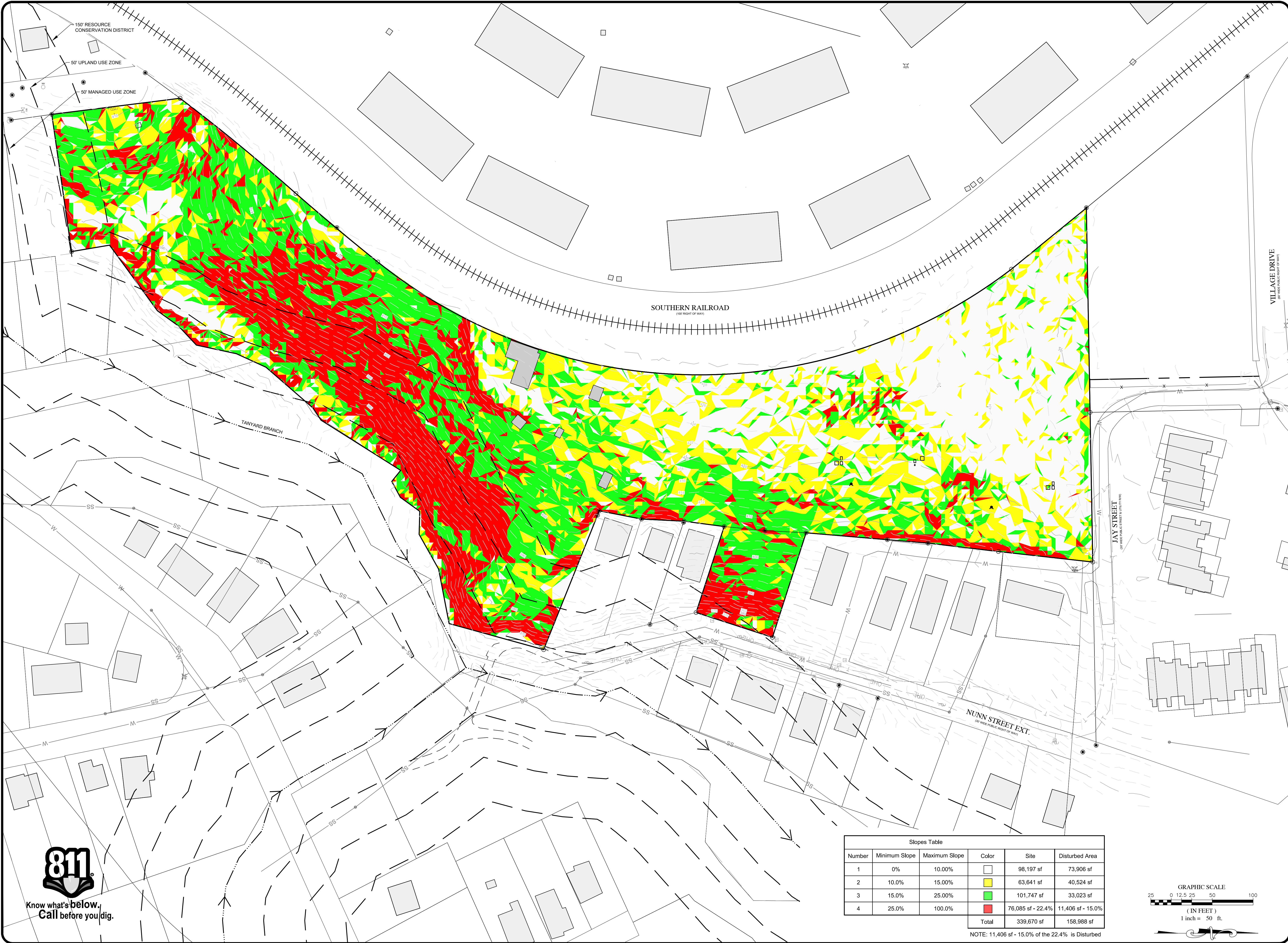






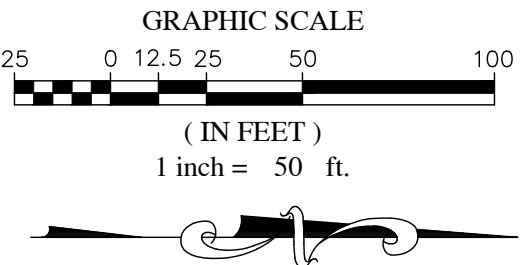
PROJECT NO.  
**21-0207**  
DRAWING NAME:  
21-0207\_S.dwg  
SHEET NO.  
**C-9**





Slopes Table					
Number	Minimum Slope	Maximum Slope	Color	Site	Disturbed Area
1	0%	10.00%		98,197 sf	73,906 sf
2	10.0%	15.00%		63,641 sf	40,524 sf
3	15.0%	25.00%		101,747 sf	33,023 sf
4	25.0%	100.0%		76,085 sf - 22.4%	11,406 sf - 15.0%
Total				339,670 sf	158,988 sf

NOTE: 11,406 sf - 15.0% of the 22.4% is Disturbed



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FIRST ISSUE DATE  
12-01-2021

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ENGINEERING, LANDSCAPE ARCHITECT, OR  
OTHER PROFESSIONAL SERVICE SHALL BE  
RENDERED BY ANY PERSON OR FIRM  
WHICH IS NOT A MEMBER OF THE  
NORTH CAROLINA BOARD OF ARCHITECTS  
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REVISIONS

NO.	DATE	BY
7		
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5		
4		
3	1/31/2022	DAC
2	1/24/2022	DAC
1		

NOT FOR  
CONSTRUCTION

PROFESSIONAL  
SEAL

JOSEPH A. SMITH  
REGISTERED PROFESSIONAL ENGINEER  
NO. 17177

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SITE PLANS FOR

**JAY STREET APARTMENTS**

JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

STEEP SLOPES PLAN

PROJECT NO.  
**21-0207**

DRAWING NAME:  
21-0207 - STEEP SLOPES.dwg

SHEET NO.  
**C-10**





To properly protect and ensure the health of existing trees to remain, protective fencing should be installed to protect no less than 75% of a tree's critical root zone. When erecting fencing near trees not individually identified on the Landscape Protection Plan, the fencing location should be shifted, where possible, or a tree removed if its critical root zone is not adequately protected. All land disturbing activity, storage of equipment, building material, soil and other debris should be kept within the area of development activity and outside of the protective fencing.

Figure 6.6

In some situations, where silt fence is required to be installed along the construction limit lines, the silt fence is considered to function in lieu of the standard tree protection fencing; and therefore, the standard tree protection fencing is not required. Because silt fence installation requires cutting tree roots, it should be located outside critical root zones of protected trees.

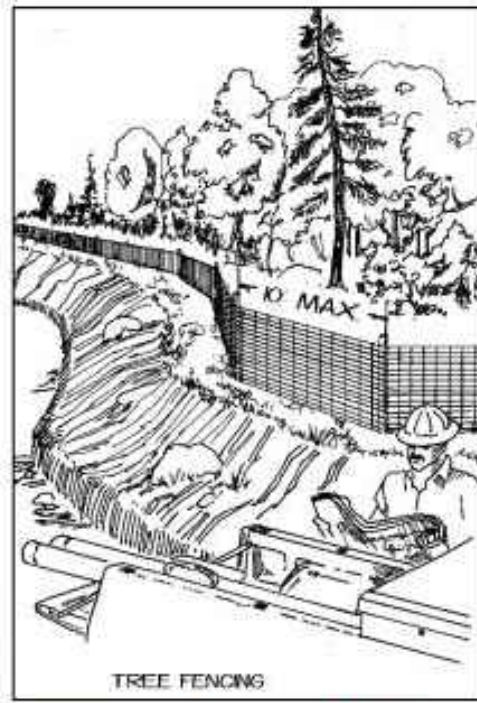


Diagram illustrating the required tree protection zone (TPZ) for a tree. The TPZ is defined by a 12' x 36' fenced area. The fence is constructed using 5' metal posts and orange plastic fencing. The diagram also shows a 5' minimum clearance from the tree trunk to the fence line. The maximum length of the TPZ is 12'.

## NTS



## NTS



## OUR LIST OF WEB STORES

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[www.PicnicFurniture.com](http://www.PicnicFurniture.com)  
[www.ParkTables.com](http://www.ParkTables.com)

**1.800.213.2401**



PRODUCT: WP158-9-IG(SF,SG)  
DESCRIPTION: WINDER PLUS BIKE RACK,  
9 BIKE, SURFACE OR IN GROUND MOUNT  
DATE: 8-5-02  
ENG: TLG

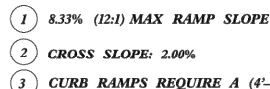
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OR DISCLOSED TO OTHERS WITHOUT THE CONSENT OF TRILARY, INC.,  
SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.



REVISIONS			DET.NO. ST-2
NO	DATE	BY	



- 1 8.33% (2D1) MAX RAMP SLOPE
- 2 CROSS SLOPE: 2.00%
- 3 CURB RAMPS REQUIRE A (4'-6") MINIMUM LANDING



**CONTRACT STANDARDS  
D DEVELOPMENT UNIT**  
9-707-6650 FAX 919-350-4119

**CURB RAMPS**  
Parallel Ramps

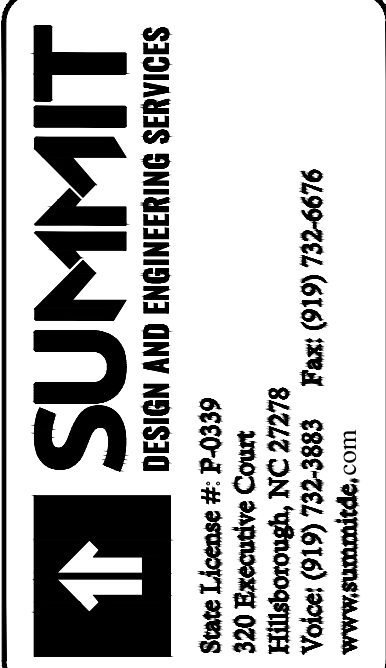
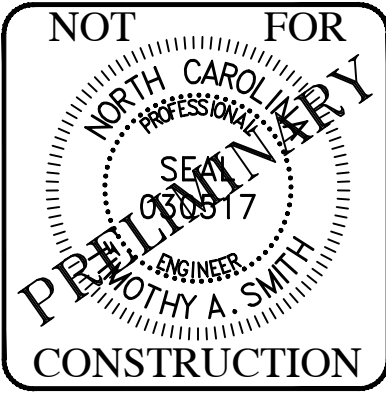
W: J.S. HOWERTON DATE: 7/7/11  
F: DATE:  
C: DATE:

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FIRST ISSUE DATE 12-01-2021



**SITE PLANS FOR  
JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

## SITE DETAILS

PROJECT NO.  
**21-0207**  
DRAWING NAME:  
21-0207\_D-1-5.dwg  
SHEET NO.  
**D-1**

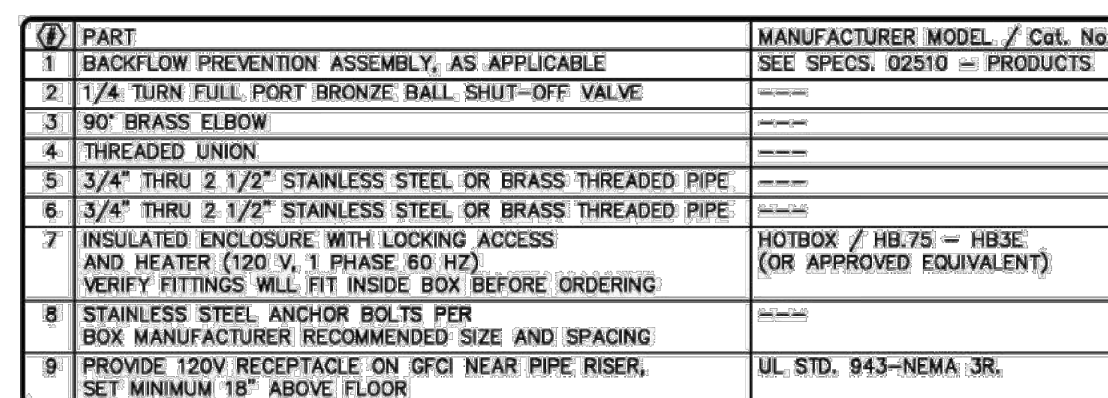




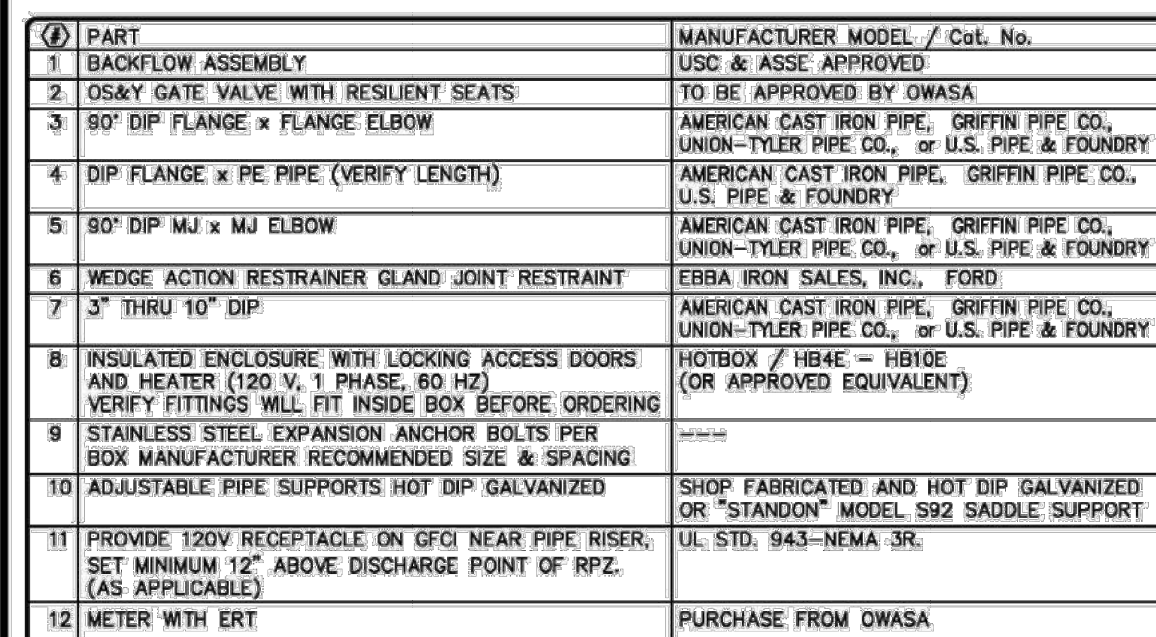








 <p>Quality Service Since 1972.</p>	<p>400 Jones Ferry Road PO Box 366 Carboro, NC 27510-0366</p>	<p><b>ORANGE WATER AND SEWER AUTHORITY</b></p> <p>USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY</p>	<p>Voice (919) 968- FAX (919) 968- <a href="http://www.owasa.org">www.owasa.org</a></p>
	<p><b>3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)</b></p>		




**OWASA**  
 400 Jones Ferry Road  
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 Carrboro, NC 27510-0366  
 Voice (919) 968-4444  
 FAX (919) 968-4444  
 WWW.OWASA.ORG

**ORANGE WATER AND SEWER AUTHORITY**  
 USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY.

2 1/2" to 10" RPZ, RPDA  
**ASSEMBLY (ABOVE GROUND)**

SCALE: Not To Scale	DETAIL #: 2-515.10
REVISION DATE: November 20, 2016	SHEET #: 3 of 3

Quality Service  
 Since 1977.



**NOTES:**

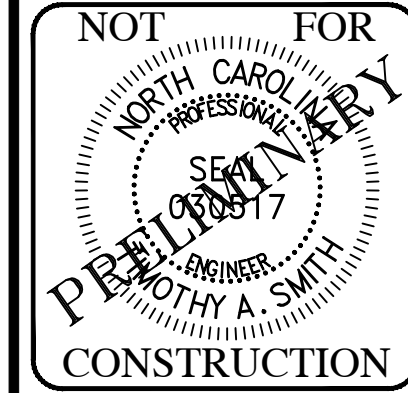
1. No discharge from blow-off should go directly into a creek.
2. OWASA must decontaminate discharge before it enters a body of water.
3. Provide erosion and sedimentation control for discharge.
4. In lieu of rodded fittings, contractor may use a wedge action restrained gland joint restraint on fittings.

**NOTES:**


1. No discharge from blow-off should go directly into a creek.
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3. Provide erosion and sedimentation control for discharge.
4. In lieu of rodded fittings, contractor may use a wedge action restrained gland joint restraint on fittings.

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SITE PLANS FOR

JAY STREET APARTMENTS

JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS - WATER

PROJECT NO.  
**21-0207**

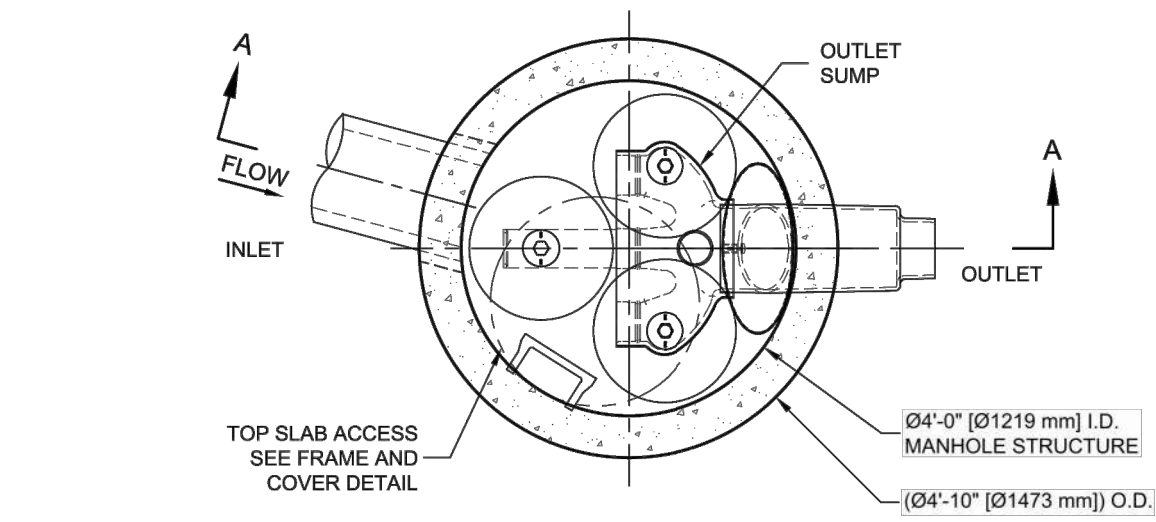
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SHEET NO.  
**D-4**

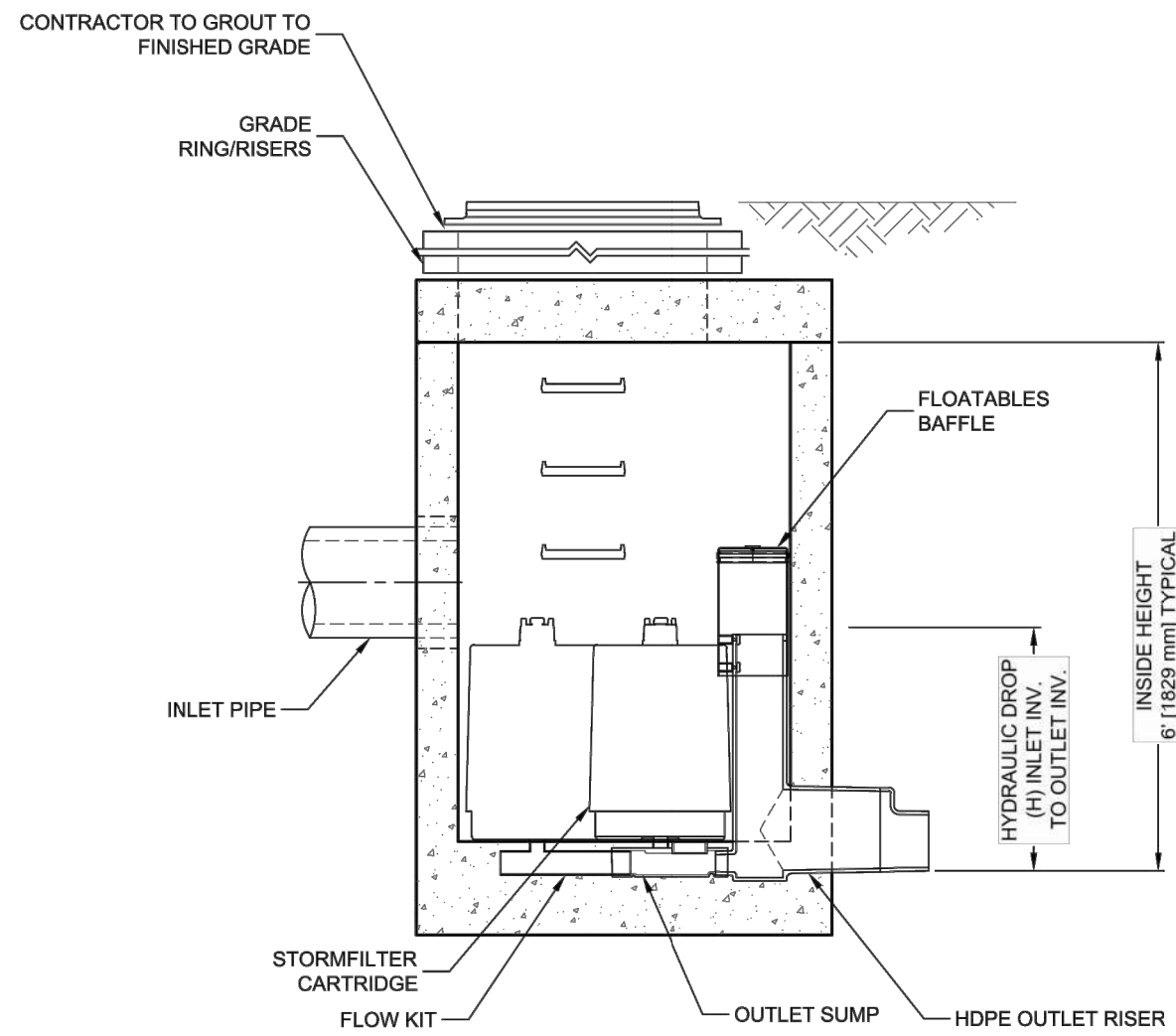




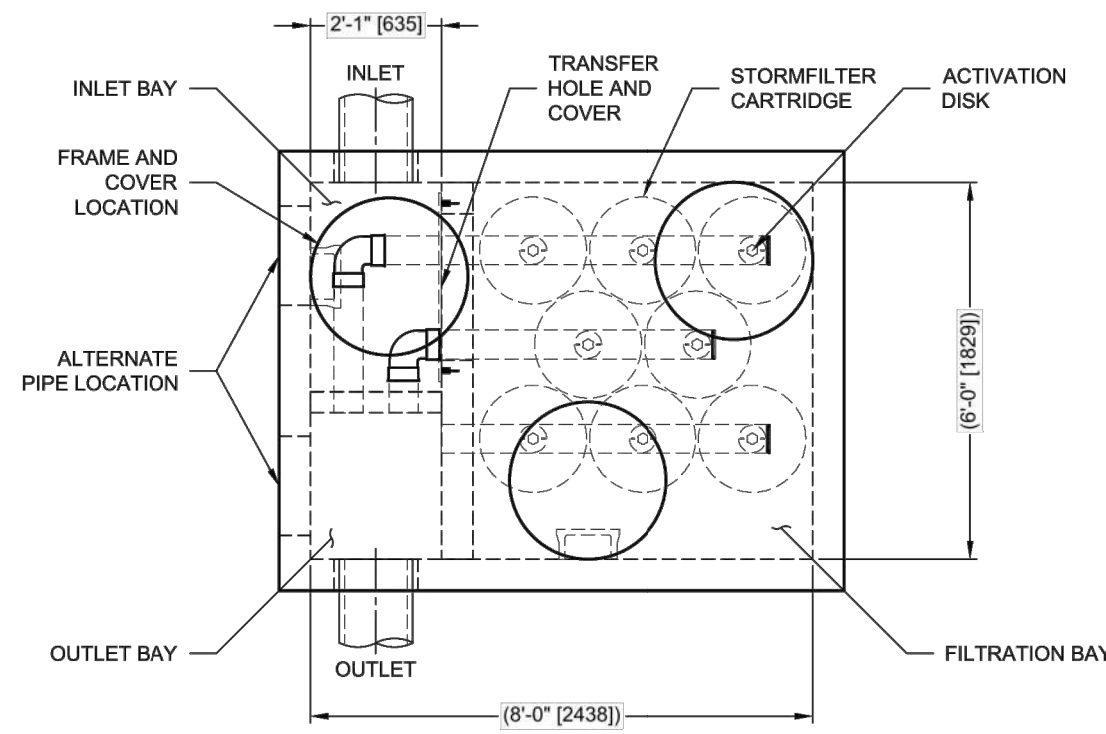




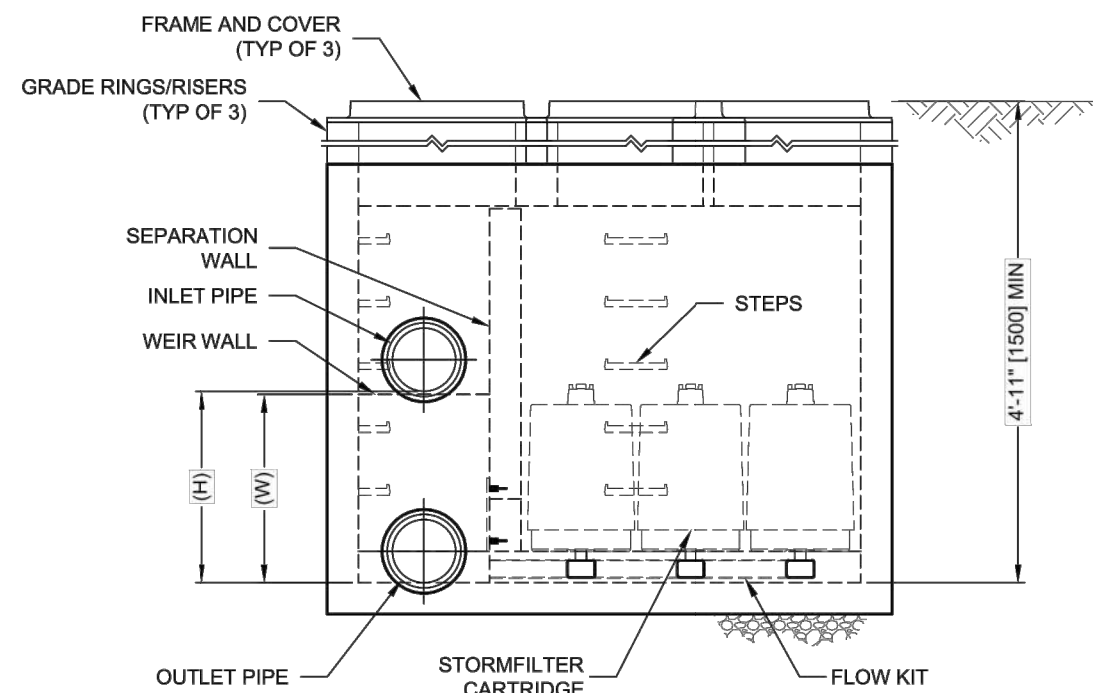
**PLAN VIEW**  
STANDARD OUTLET RISER  
FLOWKIT: 40A



**SECTION A-A**



**PLAN**



**ELEVATION**

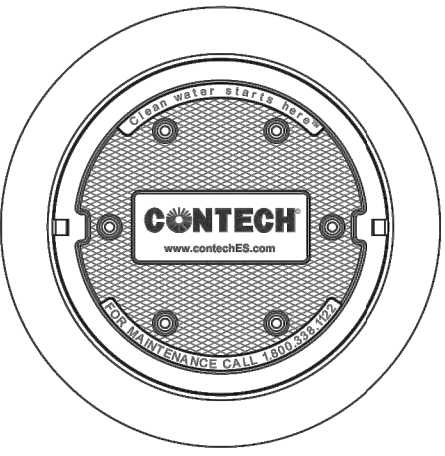


### STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (3). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 3 CARTRIDGES. Ø4 (1219 mm) MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.0 CFS [28.3 L/s]. IF THE SITE CONDITIONS EXCEED 1.0 CFS [28.3 L/s] AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION		27" [686 mm]	18" [458 mm]	LOW DROP	
RECOMMENDED HYDRAULIC DROP (H)		3.05' [930 mm]	2.3' [700 mm]	1.8' [560 mm]	
SPECIFIC FLOW RATE (gpm/sf) [L/s/m <sup>2</sup> ]		2 [1.30] 1.67* [1.08]	2 [1.30] 1.67* [1.08]	2 [1.30] 1.67* [1.08]	1 [0.65]
CARTRIDGE FLOW RATE (gpm) [L/s]		22.5 [1.42] 18.79 [1.19]	11.25 [0.71] 15 [0.95]	10 [0.63] 8.35 [0.54]	5 [0.32]

\* 1.67 gpm/sf [1.08 L/s/m<sup>2</sup>] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



**FRAME AND COVER**  
(DIAMETER VARIES)  
N.T.S.

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID		*	
WATER QUALITY FLOW RATE (cfs) [L/s]		*	
PEAK FLOW RATE (cfs) [L/s]		*	
RETURN PERIOD OF PEAK FLOW (yrs)		*	
CARTRIDGE HEIGHT (SEE TABLE ABOVE)		*	
NUMBER OF CARTRIDGES REQUIRED		*	
CARTRIDGE FLOW RATE		*	
MEDIA TYPE (PERLITE, ZPG, PSORB)		*	
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	*	*	*
INLET PIPE #2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION		*	
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
		*	*
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

### GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' [1524 mm] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7 INCHES [178 mm]. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft) [m<sup>2</sup>].
- STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

### INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE AND GROUT INLET PIPE(S).
- CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HOPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES [200 mm], CONTRACTOR TO REMOVE THE 8 INCH [200 mm] OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERROC OR EQUAL AND PROVIDED BY CONTRACTOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.



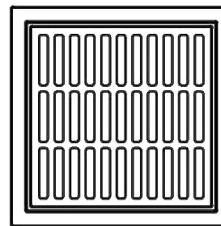
**SFMH48**  
**STORMFILTER**  
**STANDARD DETAIL**

### STORMFILTER DESIGN NOTES

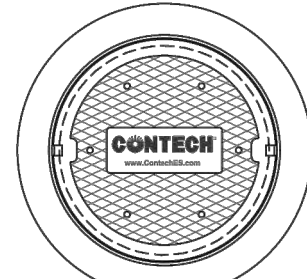
- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD.
- A 6' x 8' [1829 x 2438] PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (8) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION.
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE.

CARTRIDGE SIZE (in. [mm])	27 [686]	18 [457]	LOW DROP	
RECOMMENDED HYDRAULIC DROP (H) (ft. [mm])	3.05 [930]	2.3 [701]	1.8 [549]	
HEIGHT OF WEIR (W) (ft. [mm])	3.05 [914]	2.25 [686]	1.75 [533]	
SPECIFIC FLOW RATE (gpm/sf) [L/s/m <sup>2</sup> ]	2 [1.38] 1.67* [1.13]*	2 [1.36] 1.67* [1.13]*	2 [1.36] 1.67* [1.13]*	1 [0.68]
CARTRIDGE FLOW RATE (gpm) [L/s]	22.5 [1.42] 18.79 [1.19]	11.25 [0.71] 15 [0.95]	10 [0.63] 8.35 [0.53]	5 [0.32]

\* 1.67 gpm/sf [1.13 L/s/m<sup>2</sup>] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



**FRAME AND GRATE**  
(24" SQUARE)  
(NOT TO SCALE)



**FRAME AND COVER**  
(30" ROUND)  
(NOT TO SCALE)

### SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
CARTRIDGE FLOW RATE			
CARTRIDGE SIZE (27, 18, LOW DROP (LD))			
MEDIA TYPE (PERLITE, ZPG, PSORB)			
NUMBER OF CARTRIDGES REQUIRED			
INLET BAY RIM ELEVATION			
FILTER BAY RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
NOTES/SPECIAL REQUIREMENTS:			

### PERFORMANCE SPECIFICATION

FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7" [178 mm].** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 37 SECONDS. SPECIFIC FLOW RATE SHALL BE 2 GPM/SF [1.36 L/s/m<sup>2</sup>] (**MAXIMUM**). SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE 6 GPM/CF [13.39 L/s/m<sup>2</sup>] OF MEDIA (**MAXIMUM**).

### GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- ALTERNATE DIMENSIONS ARE IN MILLIMETERS (mm) UNLESS NOTED OTHERWISE.
- FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. [www.contechES.com](http://www.contechES.com)
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 10' [3048] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

### INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
- CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

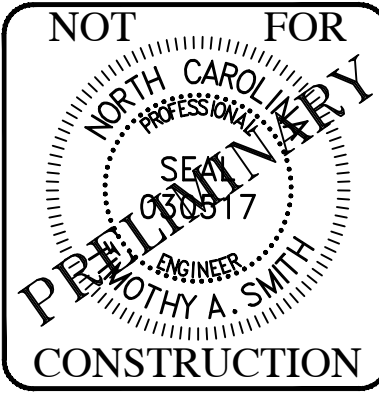


**SFPD0608 (6' x 8')**  
**PEAK DIVERSION STORMFILTER**  
**STANDARD DETAIL**

NO.	DATE	BY
7		
6		
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3	1/31/2022	DNC
2		
1	1/4/2022	DNC

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FIRST ISSUE DATE  
12-01-2021



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**SITE PLANS FOR**  
**JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

PROJECT NO.  
**21-0207**  
DRAWING NAME:  
21-0207\_D-6-D-9.dwg  
SHEET NO.  
**D-6**





Know what's below.  
Call before you dig.

#### TREE PROTECTION NOTES:

- ALL TREES SCHEDULED FOR PRESERVATION SHALL BE TEMPORARILY FENCED DURING CONSTRUCTION. FENCING SHALL BE INSTALLED PRIOR TO STARTING WORK. FENCING SHALL CONSIST OF 48" HIGH CHAIN LINK OR PLASTIC SNOW FENCE. SEE DETAIL 1/L-3. FENCE AREAS SHALL BE MAINTAINED IN A NATURAL CONDITION AND NOT COMPACTED.
- THE CONTRACTOR SHALL NOT BE ALLOWED TO STORE EQUIPMENT OR MATERIAL WITHIN THE DRIPLINE AREA UNDER TREES TO BE PRESERVED.
- NO RARE OR SPECIMEN TREE AS DEFINED BY THE CHAPEL HILL CODE OF ORDINANCES MAY BE REMOVED OR TRIMMED UNLESS AUTHORIZED UNDER THIS MANAGEMENT PLAN OR CITY REGULATION.
- NO SOIL MAY BE REMOVED FROM WITHIN THE DRIPLINE OF ANY TREE AND NO FILL OR ADDITIONAL SOIL CAN EXCEED TWO INCHES (2") WITHIN THE DRIPLINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER OR CERTIFIED ARBORIST. BECAUSE EXISTING TREES ARE SENSITIVE TO THE ADDITION OF FILL, EXCAVATED MATERIAL MUST EITHER BE REMOVED FROM THE SITE, INCORPORATED AS ENGINEERED FILL BENEATH THE DRIVEWAY, OR RETAINED AWAY FROM OAK TRUNKS (A MINIMUM OF ONE FOOT CLEARANCE) AND AS MUCH ROOTING AREA AS POSSIBLE.
- BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIAL IS NOT ACCEPTABLE AND IS PREVENTED BY RESPECTING THE PROTECTIVE FENCING DESCRIBED ABOVE.
- EXCAVATION NEEDED NEAR TREES TO REMAIN MUST BE MINIMIZED. ROOTS EXPOSED BY EXCAVATION MUST BE PRUNED CLEANLY AND RE-COVERED AS QUICKLY AS POSSIBLE TO PROMOTE CALLUSING, CLOSURE AND HEALTHY REGROWTH. WHERE EXCAVATION WILL OCCUR WITHIN TREE DRIPLINES, THE FOLLOWING ROOT SEVERING PROCEDURES DURING EXCAVATION AND TRENCHING ARE RECOMMENDED: EXPOSE AND CLEANLY SEVER ROOTS ONE FOOT FURTHER FROM THE TREE THAN THE FINAL LIMIT OF GRADING AND THEN HAND DIG THE FINAL FOOT OF WIDTH. INITIAL CUTS ONE FOOT FROM LIMIT OF GRADING CAN BE MADE BY MAKING SHARP VERTICAL CUTS WITH EXCAVATOR OR BACKHOE TEETH. ROOTS SHOULD THEN BE CLEANLY PRUNED TO THE SIDE WALL OF EXCAVATION WITH A SAW. SAWZALL, NARROW TRENCHER WITH SHARP BLADES, OR CLIPPERS. HYDRAULIC OR PNEUMATIC EXCAVATION TECHNOLOGIES ARE AVAILABLE WHICH CAN EXPOSE AND MINIMIZE DAMAGE TO ROOTS. EXPOSED ROOTS SHOULD BE DRAPED IMMEDIATELY WITH AT LEAST TWO LAYERS OF UNTREATED BURLAP OR CARPETS SECURED TO COVER THE EXCAVATED SURFACE TO A DEPTH OF 3 FEET. BURLAP OR CARPETING (OR TEMPORARY FILL) SHALL BE SOAKED NIGHTLY AND KEPT IN PLACE UNTIL THE EXCAVATED SURFACE IS BACKFILLED AND WATERED.
- ALL TREE WORK SHALL BE MONITORED BY A QUALIFIED FORESTER OR CERTIFIED ARBORIST AND WORK COMPLETED BY QUALIFIED TREE SERVICE PERSONNEL.

#### LEGEND

- LD LIMIT OF DISTURBANCE AND TREE PROTECTION FENCING: SEE DETAIL 1/L-3
- EXISTING DECIDUOUS TREE: PROTECT AND PRESERVE
- CRITICAL ROOT ZONE
- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING EVERGREEN TREE: PROTECT AND PRESERVE
- EXISTING EVERGREEN TREE TO BE REMOVED
- EXISTING CANOPY COVERAGE TO BE MAINTAINED
- RARE TREE
- SPECIMEN TREE

#### GENERAL NOTES:

- TREE PROTECTION/DEMOLITION CONFERENCE: CONTRACTOR TO SCHEDULE A CONFERENCE WITH THE TOWN'S URBAN FORESTER AND THE LANDSCAPE ARCHITECT AT LEAST 7 DAYS BEFORE BEGINNING SITE CLEARING.
- LANDSCAPE PROTECTION SUPERVISOR: CONTRACTOR TO APPOINT A LANDSCAPE PROTECTION SUPERVISOR WHO HAS COMPLETED TRAINING WITH THE TOWN OF CHAPEL HILL. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE (1) IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS SUCH AS:
  - CLEARING AND GRUBBING;
  - ANY EXCAVATION, GRADING, TRENCHING OR MOVING OF SOIL;
  - REMOVAL, INSTALLATION OR MAINTENANCE OF ALL LANDSCAPE ELEMENTS AND LANDSCAPE PROTECTION DEVICES; OR
  - DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE

#### LANDSCAPE PROTECTION REQUIREMENTS:

##### DEFINITIONS:

**SIGNIFICANT TREE STAND:**  
-- an area of contiguous mature woods greater than five thousand (5,000) square feet in size where over half of the canopy is provided by hardwoods with a diameter breast height (dbh) greater than twenty-four (24) inches.

##### SPECIMEN TREE:

- any healthy living pine tree that has a trunk diameter of eighteen (18) inches or more, or any other species that:
- has a trunk diameter at breast height (dbh) of twelve (12) inches or more; or
- a trunk dbh of six (6) inches or more in the case of the North Carolina native species from a following list of genera

##### RARE TREE:

- any healthy living pine tree that has a trunk diameter of thirty-six (36) inches or more, or any other species that:
- has a trunk diameter at breast height (dbh) of twenty-four (24) inches or more; or
- has a trunk dbh of twelve (12) inches or more in the case of North Carolina native species from the list of genera in this section; or
- is listed as a State or National Champion by the North Carolina Forest Service or the American Forestry Association; or
- provides unique habitat for any endangered or threatened wildlife species protected by Federal law; or
- has been cited by the Town Council as being historically significant; or
- Represents an uncommon species, such as Long Leaf Pine, Live Oak, or Sequoia Redwood, that the Town Manager considers to be desirable and not to pose a threat to the local ecological balance.

##### NORTH CAROLINA GENERA:

Aesculus (Buckeye)  
Amelanchier (Serviceberry)  
Asimina (Pawpaw)  
Carpinus (Hornbeam)  
Cercis (Redbud)  
Chionanthus (Fringetree)  
Cornus (Dogwood)  
Crataegus (Hawthorn)  
Diospyros (Persimmon)  
Fagus (Beech)  
Halesia (Silverbell)  
Hamamelis (Witch-hazel)  
Ilex (Holly)  
Juniperus (Cedar)  
Ostrya (Hophornbeam)  
Oxydendrum (Sourwood)  
Sassafras (Sassafras)  
Tsuga (Hemlock)

##### CRITICAL ROOT ZONE:

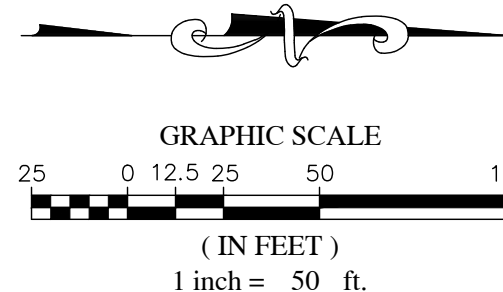
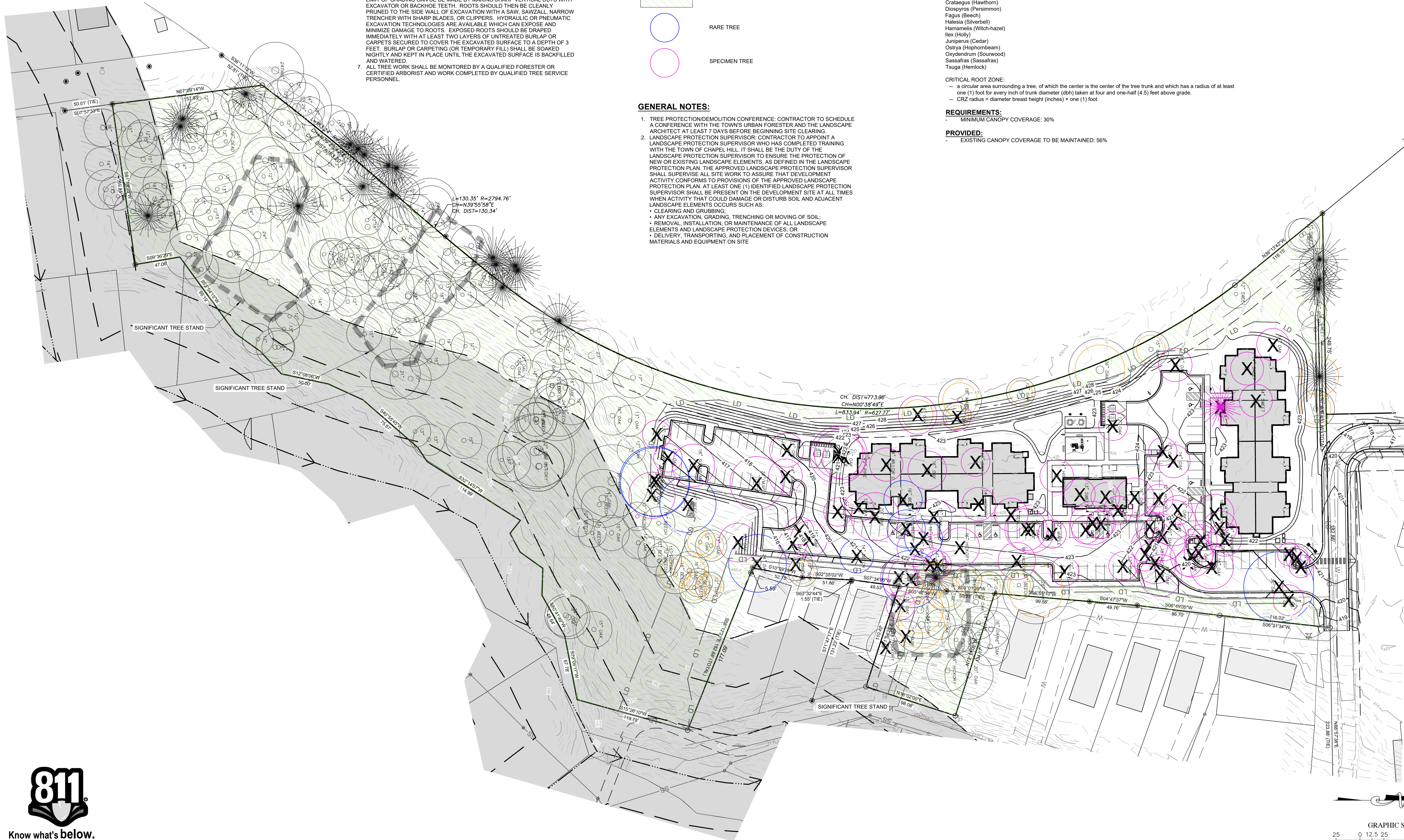
- a circular area surrounding a tree, of which the center is the center of the tree trunk and which has a radius of at least one (1) foot for every inch of trunk diameter (dbh) taken at four and one-half (4.5) feet above grade.
- CRZ radius = diameter breast height (inches) x one (1) foot

##### REQUIREMENTS:

- MINIMUM CANOPY COVERAGE: 30%

##### PROVIDED:

- EXISTING CANOPY COVERAGE TO BE MAINTAINED: 56%



SITE PLANS FOR  
**JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

LANDSCAPE PROTECTION PLAN

PROJECT NO.  
**21-0207**  
DRAWING NAME:  
**21-0207\_LS.dwg**  
SHEET NO.  
**L-1**

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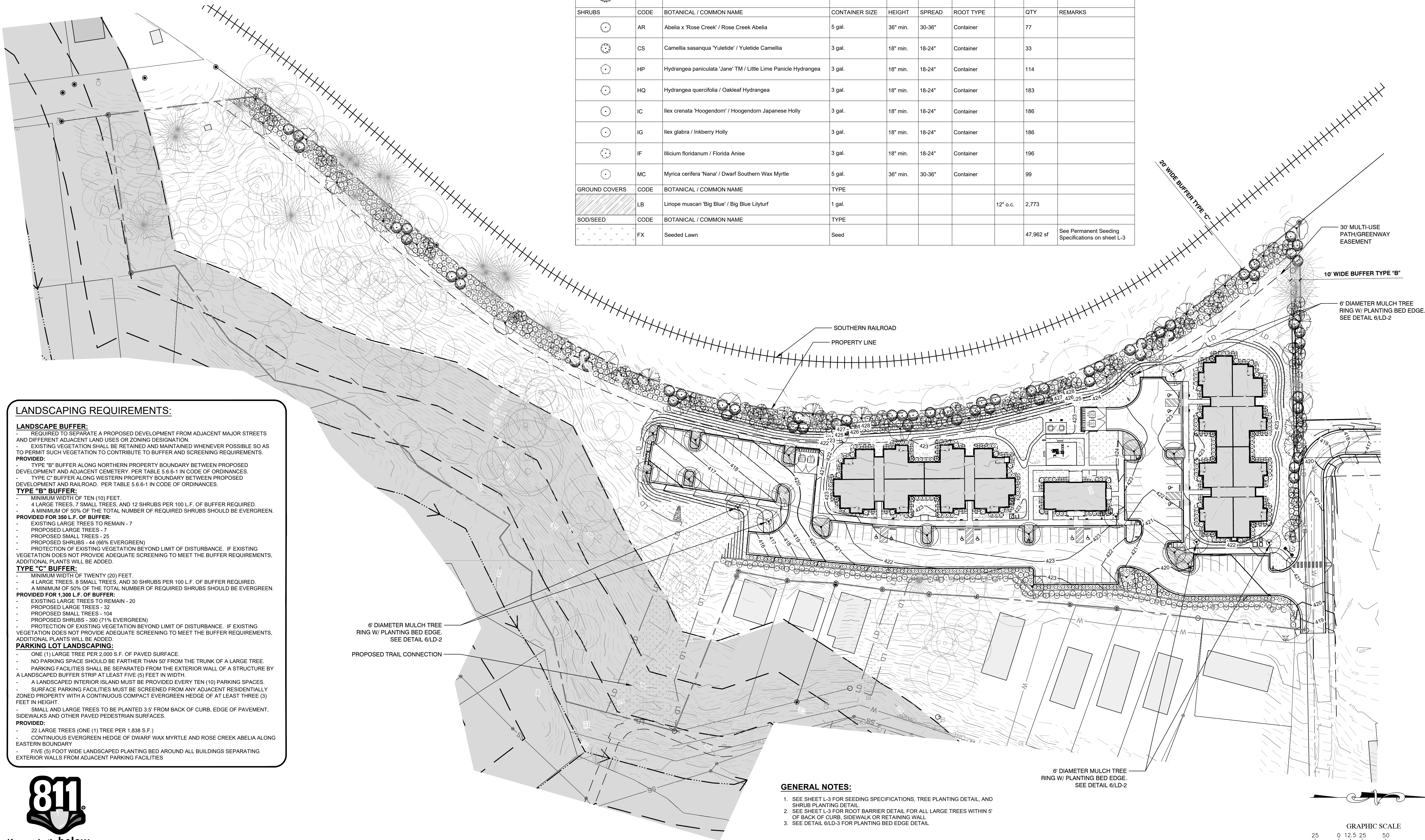
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PLANT SCHEDULE								
TREES	CODE	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT TYPE	QTY	REMARKS
	AO	Acer rubrum 'October Glory' / October Glory Red Maple	2" Cal.	10'		B&B	20	
	AL	Amelanchier laevis / Allegheny Serviceberry	-	8'	-	B&B	65	Multi-Stem, Specimen
	IO	Ilex opaca / American Holly	-	8'	-	B&B	62	
	MS	Magnolia virginiana / Sweetbay Magnolia	2" Cal.	10'		B&B	18	
	NS	Nyssa sylvatica / Tupelo	2" Cal.	10'	-	B&B	22	Matched, Specimen
	TO	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	-	5'	-	Container	13	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER SIZE	HEIGHT	SPREAD	ROOT TYPE	QTY	REMARKS
	AR	Abelia x 'Rose Creek' / Rose Creek Abelia	5 gal.	36" min.	30-36"	Container	77	
	CS	Camellia sasanqua 'Yuletide' / Yuletide Camellia	3 gal.	18" min.	18-24"	Container	33	
	HP	Hydrangea paniculata 'Jane' TM / Little Lime Panicle Hydrangea	3 gal.	18" min.	18-24"	Container	114	
	HQ	Hydrangea quercifolia / Oakleaf Hydrangea	3 gal.	18" min.	18-24"	Container	183	
	IC	Ilex crenata 'Hoogendorn' / Hoogendorn Japanese Holly	3 gal.	18" min.	18-24"	Container	186	
	IG	Ilex glabra / Inkberry Holly	3 gal.	18" min.	18-24"	Container	186	
	IF	Illicium floridanum / Florida Anise	3 gal.	18" min.	18-24"	Container	196	
	MC	Myrica cerifera 'Nana' / Dwarf Southern Wax Myrtle	5 gal.	36" min.	30-36"	Container	99	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	TYPE					
	LB	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal.			12" o.c.	2,773	
SOD/SEED	CODE	BOTANICAL / COMMON NAME	TYPE					
	FX	Seeded Lawn	Seed				47,962 sf	See Permanent Seeding Specifications on sheet L-3

**LEGEND:**

--- PLANTING BED EDGE

EXISTING DECIDUOUS TREES TO REMAIN

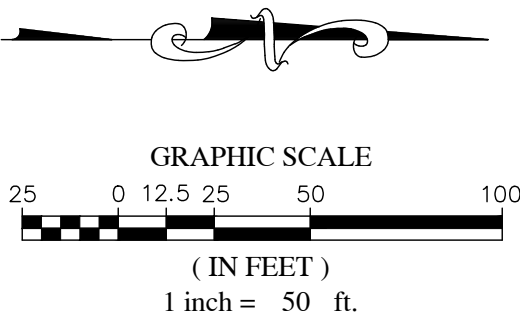
EXISTING EVERGREEN TREES TO REMAIN

**LANDSCAPING REQUIREMENTS:**

- LANDSCAPE BUFFER:**
- REQUIRED TO SEPARATE A PROPOSED DEVELOPMENT FROM ADJACENT MAJOR STREETS AND DIFFERENT ADJACENT LAND USES OR ZONING DESIGNATION.
  - EXISTING VEGETATION SHALL BE RETAINED AND MAINTAINED WHENEVER POSSIBLE SO AS TO PERMIT SUCH VEGETATION TO CONTRIBUTE TO BUFFER AND SCREENING REQUIREMENTS.
- PROVIDED:**
- TYPE "B" BUFFER ALONG NORTHERN PROPERTY BOUNDARY BETWEEN PROPOSED DEVELOPMENT AND ADJACENT CEMETERY. PER TABLE 5.6.6-1 IN CODE OF ORDINANCES.
  - TYPE "C" BUFFER ALONG WESTERN PROPERTY BOUNDARY BETWEEN PROPOSED DEVELOPMENT AND RAILROAD. PER TABLE 5.6.6-1 IN CODE OF ORDINANCES.
- TYPE "B" BUFFER:**
- MINIMUM WIDTH OF TEN (10) FEET.
  - 4 LARGE TREES, 7 SMALL TREES, AND 12 SHRUBS PER 100 L.F. OF BUFFER REQUIRED.
  - A MINIMUM OF 50% OF THE TOTAL NUMBER OF REQUIRED SHRUBS SHOULD BE EVERGREEN.
- PROVIDED FOR 350 L.F. OF BUFFER:**
- EXISTING LARGE TREES TO REMAIN - 7
  - PROPOSED LARGE TREES - 7
  - PROPOSED SMALL TREES - 25
  - PROPOSED SHRUBS - 44 (66% EVERGREEN)
  - PROTECTION OF EXISTING VEGETATION BEYOND LIMIT OF DISTURBANCE. IF EXISTING VEGETATION DOES NOT PROVIDE ADEQUATE SCREENING TO MEET THE BUFFER REQUIREMENTS, ADDITIONAL PLANTS WILL BE ADDED.
- TYPE "C" BUFFER:**
- MINIMUM WIDTH OF TWENTY (20) FEET.
  - 4 LARGE TREES, 8 SMALL TREES, AND 30 SHRUBS PER 100 L.F. OF BUFFER REQUIRED.
  - A MINIMUM OF 50% OF THE TOTAL NUMBER OF REQUIRED SHRUBS SHOULD BE EVERGREEN.
- PROVIDED FOR 1,300 L.F. OF BUFFER:**
- EXISTING LARGE TREES TO REMAIN - 20
  - PROPOSED LARGE TREES - 32
  - PROPOSED SMALL TREES - 104
  - PROPOSED SHRUBS - 380 (71% EVERGREEN)
  - PROTECTION OF EXISTING VEGETATION BEYOND LIMIT OF DISTURBANCE. IF EXISTING VEGETATION DOES NOT PROVIDE ADEQUATE SCREENING TO MEET THE BUFFER REQUIREMENTS, ADDITIONAL PLANTS WILL BE ADDED.
- PARKING LOT LANDSCAPING:**
- ONE (1) LARGE TREE PER 2,000 S.F. OF PAVED SURFACE.
  - NO PARKING SPACE SHOULD BE FARTHER THAN 50' FROM THE TRUNK OF A LARGE TREE.
  - PARKING FACILITIES SHALL BE SEPARATED FROM THE EXTERIOR WALL OF A STRUCTURE BY A LANDSCAPED BUFFER STRIP AT LEAST FIVE (5) FEET IN WIDTH.
  - A LANDSCAPED INTERIOR ISLAND MUST BE PROVIDED EVERY TEN (10) PARKING SPACES.
  - SURFACE PARKING FACILITIES MUST BE SCREENED FROM ANY ADJACENT RESIDENTIALLY ZONED PROPERTY WITH A CONTINUOUS COMPACT EVERGREEN HEDGE OF AT LEAST THREE (3) FEET IN HEIGHT.
  - SMALL AND LARGE TREES TO BE PLANTED 3.5' FROM BACK OF CURB, EDGE OF PAVEMENT, SIDEWALKS AND OTHER PAVED PEDESTRIAN SURFACES.
- PROVIDED:**
- 22 LARGE TREES (ONE (1) TREE PER 1,838 S.F.)
  - CONTINUOUS EVERGREEN HEDGE OF DWARF WAX MYRTLE AND ROSE CREEK ABELIA ALONG EASTERN BOUNDARY
  - FIVE (5) FOOT WIDE LANDSCAPED PLANTING BED AROUND ALL BUILDINGS SEPARATING EXTERIOR WALLS FROM ADJACENT PARKING FACILITIES

- GENERAL NOTES:**
1. SEE SHEET L-3 FOR SEEDING SPECIFICATIONS, TREE PLANTING DETAIL, AND SHRUB PLANTING DETAIL.
  2. SEE SHEET L-3 FOR ROOT BARRIER DETAIL FOR ALL LARGE TREES WITHIN 5' OF BACK OF CURB, SIDEWALK OR RETAINING WALL.
  3. SEE DETAIL 6/LD-3 FOR PLANTING BED EDGE DETAIL.

6" DIAMETER MULCH TREE RING W/ PLANTING BED EDGE. SEE DETAIL 6/LD-2



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SITE PLANS FOR  
**JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

LANDSCAPE PLAN

PROJECT NO.  
**21-0207**

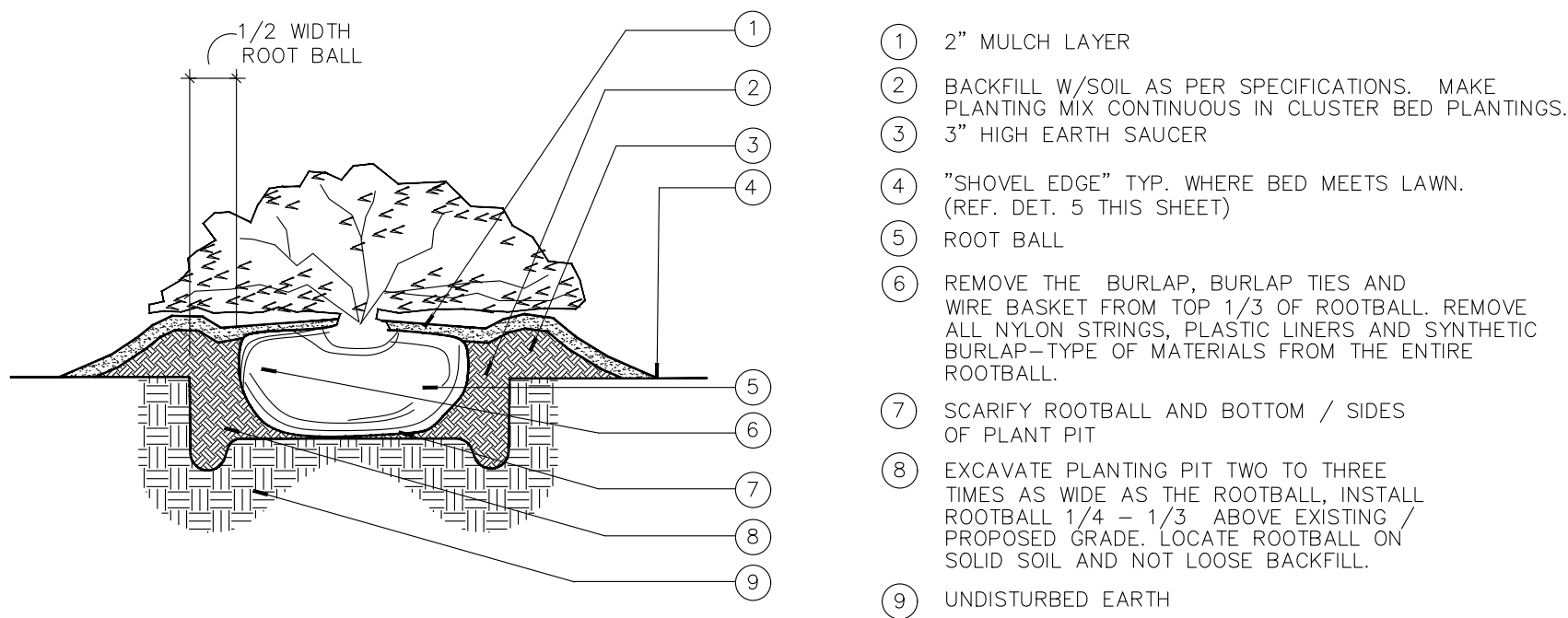
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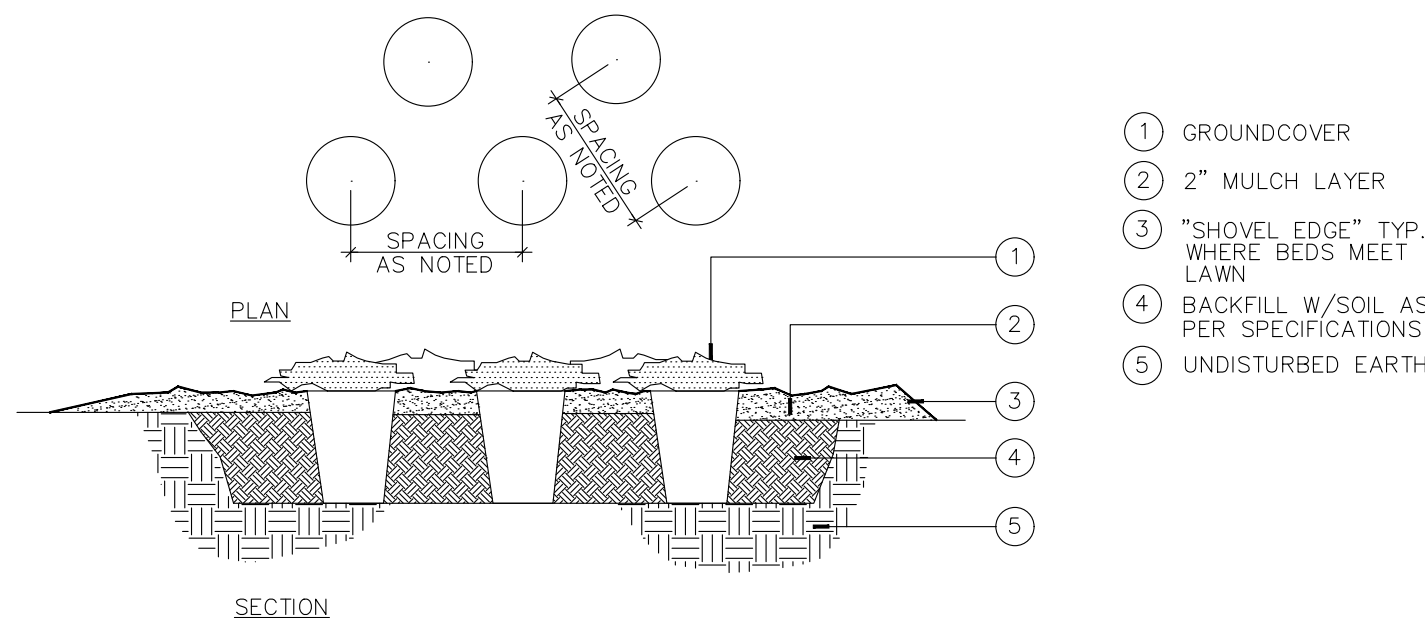


A diagram showing a cross-section of a fence. The fence is 4 ft. high and has a mesh or chain-link pattern. Behind the fence, there are several trees. A dimension line below the fence indicates a spacing of 10 ft. max. between the trees.

The soil within the protected area around existing trees shall not be driven upon after fence removal for the purpose of installing landscaping.



SCALE: N.T.S.



SCALE: N.T.S.



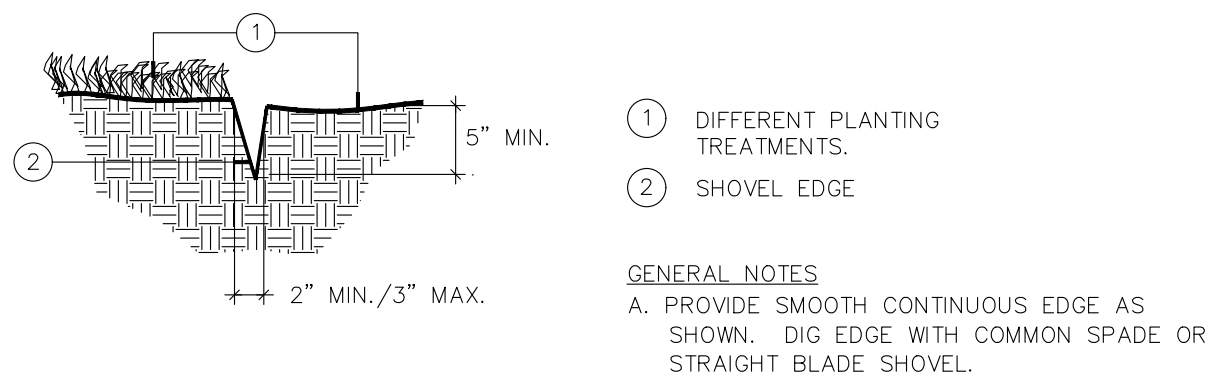
STAKING - TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. TIE THE TRUNK LOOSELY WITH WIDE STRIPS OF RUBBER OR CLOTH ABOUT 1/3 UP THE TRUNK AND TIE TO THREE STAKES POSITIONED EVENLY AROUND THE TRUNK. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.

WRAPPING - WRAP ONLY THIN BARKED TREES IF THEY HAVE BEEN REMOVED FROM SHADE TO WHERE THE TRUNK IS EXPOSED TO DIRECT SUNLIGHT DURING THE DAY. WRAPPING SHOULD BEGIN AT THE BOTTOM AND WORK UP. WRAPPING MATERIAL SHOULD NOT TRAP OR HOLD WATER.

PRUNING - CLEANLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.

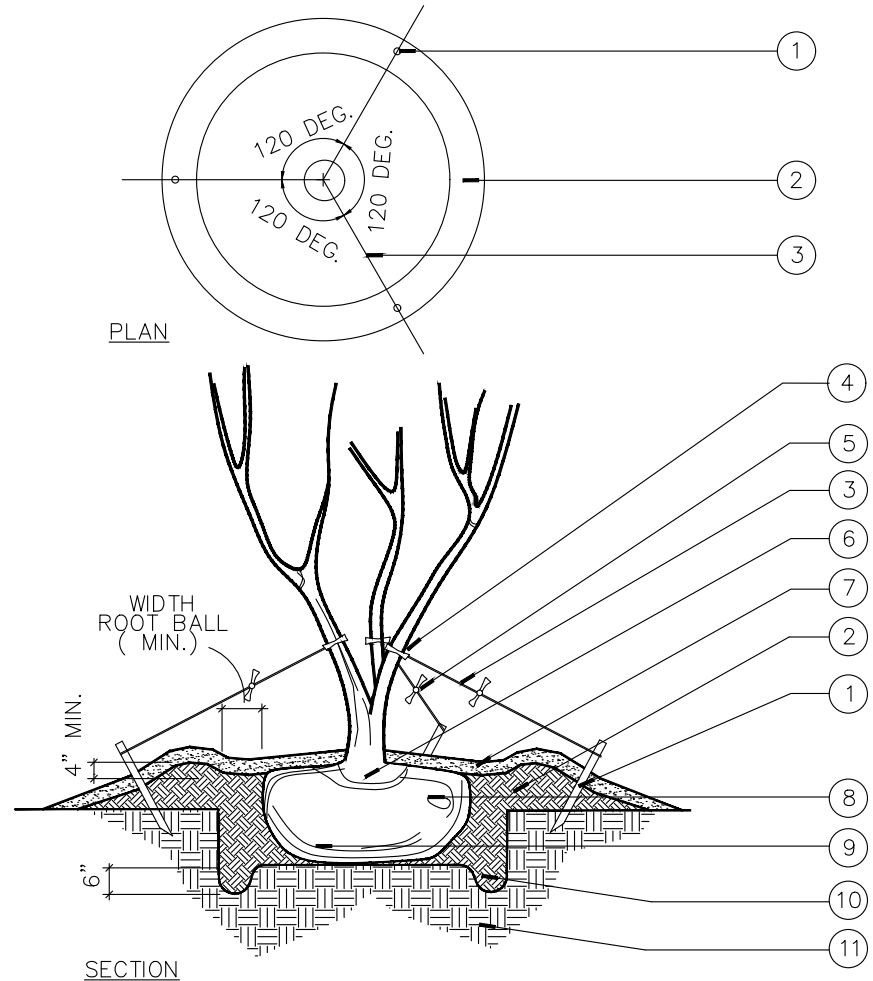
PLANTING - ALL SYNTHETIC MATERIALS SHALL BE CLEARED FROM THE ROOTS, TRUNK AND CROWN OF THE PLANT. THE ROOT BALL MEDIUM SHOULD BE SHAKEN GENTLY FROM THE ROOT BALL IF IT IS A SOILESS MIXTURE. LOOSEN AND SPREAD THE ROOTS IN THE PLANTING HOLE. DAMAGED ROOTS AND ROOTS WHICH ENCIRCLE THE TRUNK SHOULD BE CLEANLY PRUNED. SET THE PLANT SO THAT IT WILL BE AT ITS ORIGINAL DEPTH OR SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SOIL FROM THE HOLE. TAMP AND WATER THE SOIL TO PREVENT AIR POCKETS. DO NOT AMEND THE SOIL AT THIS POINT EXCEPT TO AMEND THE PH.

WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANTS SHOULD BE WATERED AS BACKFILLING IS BEING DONE SO THAT THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.

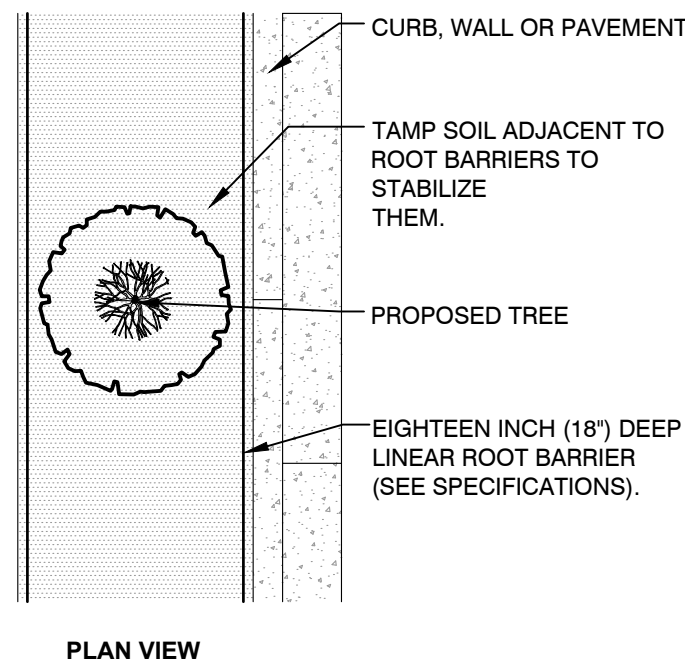
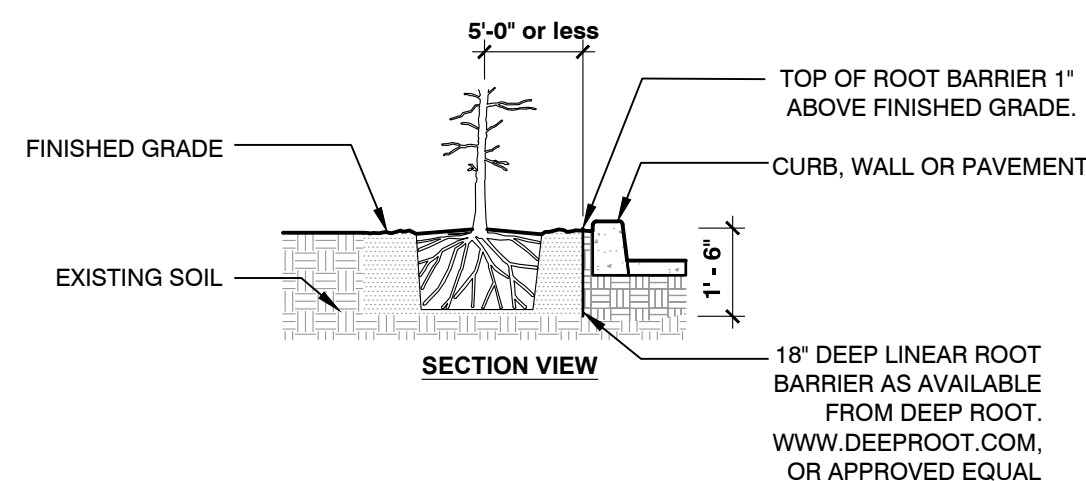


SCALE: N.T.S.

SCALE: N.T.S.



SCALE: N.T.S.



## SCALE: N T S

FY 91 FY 90 05

1. ALL PLANT MATERIAL SHALL BE INSTALLED IN A WORKMAN LIKE MANNER USING ACCEPTED NURSERY PRACTICES AND STANDARDS, AND SHALL COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2014 OR MOST CURRENT STANDARD.
2. PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED & BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE OR CORD. TREE BALLS SHALL HAVE A DIAMETER IN FEET EQUAL TO 10" FOR EACH CALIPER INCH OF TREE.
3. ONLY "HEMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO THE TRUNK IS TO BE REMOVED AT PLANTING. CUT AND REMOVE BURLAP AND WIRE BASKET ENTIRELY PRIOR TO PLANTING CUT OR LOOSEN ANY GIRDLING OR CIRCLING ROOTS.
4. BALLS OF B&B PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH MOIST SOIL, MULCH OR SIMILAR PROTECTION FROM DRYING WINDS AND SUN. ALL PLANTS SHALL BE WATERED BY LANDSCAPE CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.
5. NO PLANT SHALL BE BOUND WITH WIRE OR ROPE IN SUCH A MANNER THAT WILL DAMAGE THE BARK, BREAK BRANCHES, OR DESTROY THE PLANTS NATURAL SHAPE. NO B&B PLANT MATERIAL SHALL BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING PLANTING, INCLUDING WHEN BURLAP, STAVES, ROPES, ETC. ARE REMOVED DURING PLANTING.
6. ALL PLANTS SHALL BE HANDLED SO THAT THE ROOTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES. DURING SHIPMENT PLANTS SHALL BE PROTECTED BY TARPOLYNS OR SIMILAR COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER WIND DAMAGE IS NOT ACCEPTABLE.
7. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL CONDITIONS. ADDITIONAL UTILITIES NOT SHOWN ON THE PLANS MAY EXIST. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE BEGINNING WORK. EXCAVATION NEAR EXISTING UTILITIES SHALL BE CAREFULLY DONE BY HAND. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT OR TOOL RELATED TO HIS ACTIVITIES ON THE SITE.
8. ALL PLANTS SHALL BE PLANTED SO TOP OF ROOT BALL IS 2"-3" ABOVE EXISTING GRADE.
9. ANY SERIES OF PLANTS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY BY THE LANDSCAPE CONTRACTOR, AND ANY PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED. FINAL LOCATIONS OF ALL PLANT MATERIAL ARE SUBJECT TO FINAL APPROVAL IN THE FIELD BY LANDSCAPE ARCHITECT.
10. PRUNE NEWLY PLANTED TREES AS NECESSARY AND IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
11. LANDSCAPE CONTRACTOR SHALL VERIFY SUBGRADE ELEVATIONS, OBSERVE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, AND PROVIDE PERCOLATION TESTS AND ALL OTHER TESTS AS MAY BE NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR PLANTS. IF PERCOLATION TESTS OR OTHER SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE OF UNDERGROUND WATER, NOTIFY LANDSCAPE ARCHITECT IN WRITING OF THIS FACT OR ANY OTHER UNSATISFACTORY CONDITIONS BEFORE BACK-FILLING. A CHANGE ORDER MAY BE ISSUED TO DIRECT INSTALLATION OF DRAIN TILE OR OTHER MEASURES TO PREVENT DRAINAGE REQUIREMENTS INDICATED. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES THAT SITES CONDITIONS HAVE BEEN ACCEPTED "AS IS".
12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL PLANT MATERIAL, BOTH BEFORE AND AFTER PLANTING, UNTIL ACCEPTANCE BY LANDSCAPE ARCHITECT.
13. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD STARTS FROM DATE OF FINAL ACCEPTANCE BY OWNER.
14. QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES AND NOTIFYING LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. COMMENCEMENT OF PLANTING WORK INDICATES THAT QUANTITIES HAVE BEEN ACCEPTED BY THE LANDSCAPE CONTRACTOR, AND LANDSCAPE CONTRACTOR ACCEPTS LIABILITY FOR ANY LATER DISCREPANCY.
15. DIMENSIONS FOR PLANT CALIPERS, HEIGHTS AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE/PLANT LIST ARE THE MINIMUM REQUIRED SIZES FOR EACH PLANT SPECIFIED IN THE CODE OF ORDINANCES. ALL PLANT MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1-2014, AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. THE LANDSCAPE ARCHITECT OR OTHER OWNERS REPRESENTATIVE RETAINS THE RIGHT TO REJECT ANY PLANTS NOT MEETING THESE REQUIREMENTS.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL READ ALL PERMITS AND ENSURE THAT CONSTRUCTION COMPLIES WITH THE PERMITS. REQUIRED PERMITS AND REVIEWS MAY INCLUDE, BUT ARE NOT LIMITED TO: CITY/COUNTY APPROVALS/PERMITS, CITY FIRE DEPARTMENT, SOLID WASTE REVIEWS, NCDOT PERMITS, DRIVEWAY PERMITS, RIGHT OF WAY ENCROACHMENT AGREEMENTS, SOIL AND EROSION CONTROL PERMITS, NCDENR PERMITS, WATER PERMITS, SEWER PERMITS, ENVIRONMENTAL PERMITS, WETLAND DISTURBANCE PERMITS, STREAM CROSSING PERMITS, POWER EASEMENT ENCROACHMENT AGREEMENTS, USAGE/DOW PERMITS, STORMWATER PERMITS, ZONING APPROVAL, AND BUILDING CODE APPROVALS/PERMITS. IF THE CONTRACTOR HAS QUESTIONS ABOUT PERMIT LANGUAGE, OR THE NEED FOR A PERMIT, HE MUST CONTACT THE DEVELOPER AND THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
17. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO BIDDING WORK TO EVALUATE SITE CONDITIONS AND AREAS TO BE SEEDED AND PLANTED. SUBMISSION OF BID INDICATES CONTRACTOR HAS VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.
18. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SIDEWALKS, CURBS, PAVEMENT, LAWNS, EXISTING PLANTINGS, ETC. AS A RESULT OF LANDSCAPE INSTALLATION ACTIVITIES.
19. LANDSCAPE CONTRACTOR SHALL MAINTAIN AREAS OF WORK IN A NEAT AND ORDERLY MANNER, AND SHALL BE RESPONSIBLE FOR CLEAN UP OF TRASH, DEBRIS, ETC. ON A DAILY BASIS.
20. MULCH SHALL BE DOUBLE GRADED HARDWOOD, OR APPROVED EQUIVALENT. MULCH SHALL BE OF SUFFICIENT CHARACTER SO AS NOT TO BE EASILY BLOWN OR WASHED AWAY. LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 2" OF MULCH TO ALL PLANTING BEDS, TREE PLANTINGS, AND OTHER DISTURBED AREAS. TAKE CARE TO KEEP MULCH A MINIMUM OF 2" FROM TREE TRUNKS.

## SEEDING MIXTURE : SEEDED LAWN

SPECIES	RATE (LB/ACRE)
TALL FESCUE	250
SERICEA LESPEDEZA	20
KOBE LESPEDEZA	10
	50

### SEEDING NOTES

1. AFTER AUGUST 15 USE UNSCARIFIED SERICEA SEED.
2. WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
3. TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15LB/ACRE HULLED BERMUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

### NURSE PLANTS

BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15 ADD 40 LB/ACRE RYE (GRAIN).

### SEEDING DATES

	BEST	POSSIBLE
FALL:	AUGUST 25 - SEPTEMBER 15	AUGUST 20 - OCTOBER 25
LATE WINTER:	FEBRUARY 15 - MARCH 21	FEBRUARY 1 - APRIL 15

FALL IS BEST FOR ALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVER SEEDING OF KOBE LESPEZEDA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

## SOIL AMENDMENTS

APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

## MULCH

APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

## MAINTENANCE

REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY  
RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

1. TILL OR DISC SOIL TO APPROPRIATE DEPTH PER THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL PERMANENT STABILIZATION REQUIREMENTS.
2. AMEND SOIL TO PROVIDE SUFFICIENT ORGANIC MATTER FOR LONG-TERM VEGETATION GROWTH AND INFILTRATION.
3. IF SOIL IS NOT AMENDED, PROVIDE A JUSTIFICATION (I.E., SOIL TEST RESULTS) FOR WHY THE AMENDMENT WAS NOT NECESSARY.
4. USE ANY SOIL AMENDMENTS AS NECESSARY TO ENSURE THAT THE PEROUS SURFACE IS INFILTRATING STORMWATER AT PRE-DEVELOPMENT RATES.
5. FOLLOW NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL REQUIREMENTS AND GUIDELINES FOR PERMANENT SEEDING.
6. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 90% DENSE, RESEEDING IS NOT REQUIRED.
7. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

\*APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ ACRES (3 TONS/ ACRE IN CLAY SOILS)  
FERTILIZER - 1,000 lbs. / ACRE -10-10-10  
SUPERPHOSPHATE - 500 lbs> / ACRE -20% ANALYSIS  
MULCH - 2 TONS / ACRE (5000 LBS/AC FOR STEEP SLOPES) - SMALL GRAIN STRAW  
ANOTHER - ASPHALT EMULSION @ 300 GALS. / ACRE

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3			
2	CZA COMMENTS #2		1/31/2022
1	CZA COMMENTS #1		1/4/2022
	REVISIONS	DATE	BY

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PROJECT MANAGER ACH (ARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY DMC (DON.CHITTY@SUMMITDE.COM)
FIRST ISSUE DATE 12-01-2021

NOT FOR  
NORTH CAROLINA  
REGISTERED LANDSCAPE ARCHITECT  
PRELIMINARY  
CUTSHAM  
CONSTRUCTION

**SUMMIT**  
DESIGN AND ENGINEERING SERVICES

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SITE PLANS FOR  
**JAY STREET APARTMENTS**  
JAY STREET  
CHAPEL HILL, ORANGE COUNTY, NC

LANDSCAPE DETAILS

PROJECT NO.  
21-0207  
DRAWING NAME:  
21-0207\_LS.dwg  
SHEET NO.  
L-3

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1 Front Elevation  
Scale: 1/4"=1'-0"



2 Rear Elevation  
Scale: 1/4"=1'-0"



3 Left Side Elevation  
Scale: 1/4"=1'-0"



4 Left Side Elevation  
Scale: 1/4"=1'-0"

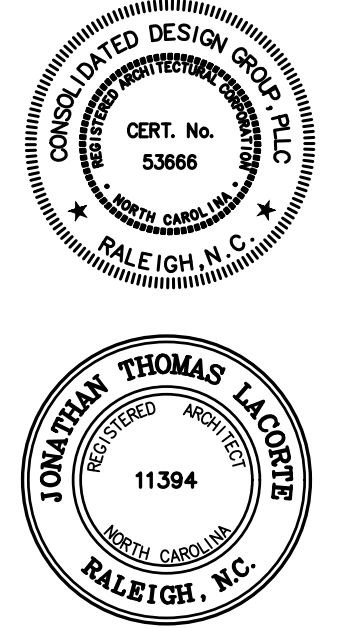
## ELEVATION LEGEND

- 1** ROOF  
30 YEAR ARCHITECTURAL,  
DIMENSIONAL ANTI-FUGAL ASPHALT  
SHINGLES.
- 2** BOARD AND BATTEN SIDING  
BOARD AND BATTEN PROFILE.  
MIN .044" THICKNESS, SMOOTH  
TEXTURE.
- 3** HORIZONTAL LAP SIDING  
HORIZONTAL LAP SIDING WITH 5"  
EXPOSURE. MIN .044" THICKNESS,  
WOODGRAIN TEXTURE.
- 4** CEDAR SHAKE STYLE SIDING  
CEDAR SHAKE PROFILE.  
MIN .044" THICKNESS, WOODGRAIN  
TEXTURE.
- 5** BRICK VENEER  
BRICK VENEER, QUEEN SIZE

ARCHITECT



SEALS



PROJECT

JAY STREET APARTMENTS, LLC  
JAY STREET APARTMENTS  
CHAPEL HILL, NORTH CAROLINA

REVISIONS

DATE

DATE: 12/1/2021  
ISSUED: REVIEW

SHEET TITLE

EXTERIOR  
ELEVATIONS  
CLUBHOUSE

SHEET

A3.1

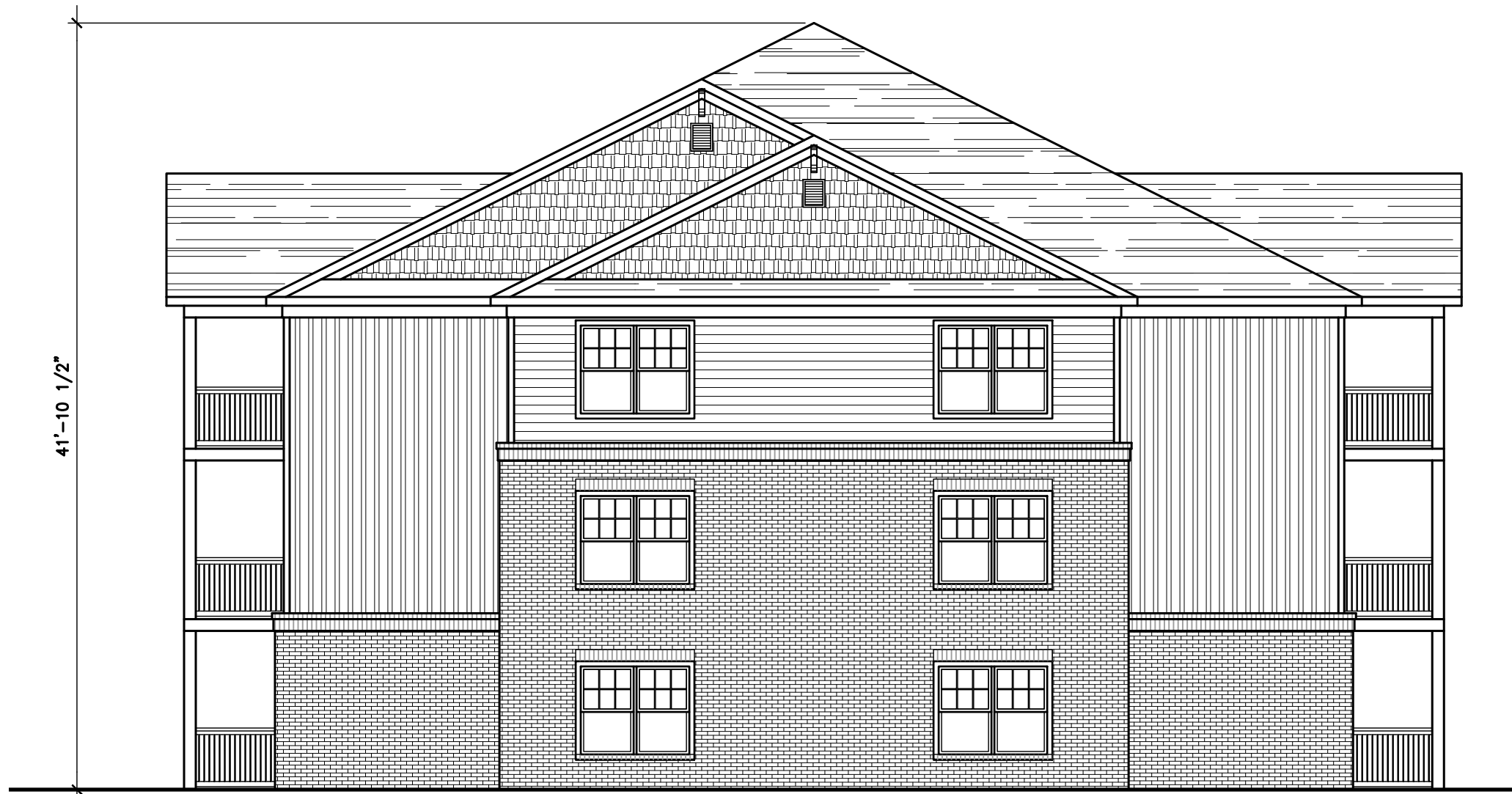




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2 Rear Elevation  
Scale: 1/8"=1'-0"



3 Left Side Elevation  
Scale: 1/8"=1'-0"



4 Left Side Elevation  
Scale: 1/8"=1'-0"

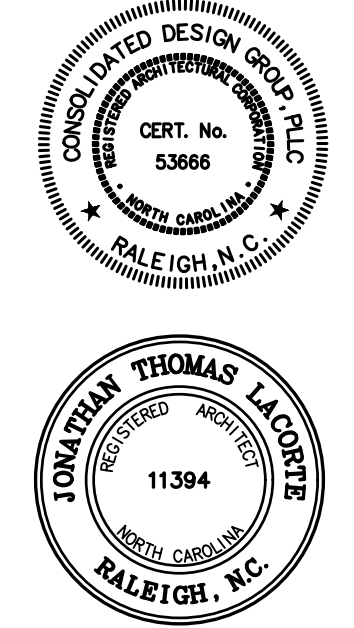
## ELEVATION LEGEND

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DIMENSIONAL ANTI-FUGAL ASPHALT  
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BRICK VENEER, QUEEN SIZE

ARCHITECT



SEALS



PROJECT

JAY STREET APARTMENTS, LLC  
JAY STREET APARTMENTS  
CHAPEL HILL, NORTH CAROLINA

REVISIONS

DATE

DATE: 12/1/2021  
ISSUED: REVIEW

SHEET TITLE

EXTERIOR  
ELEVATIONS  
BUILDING 1

SHEET

A3.2

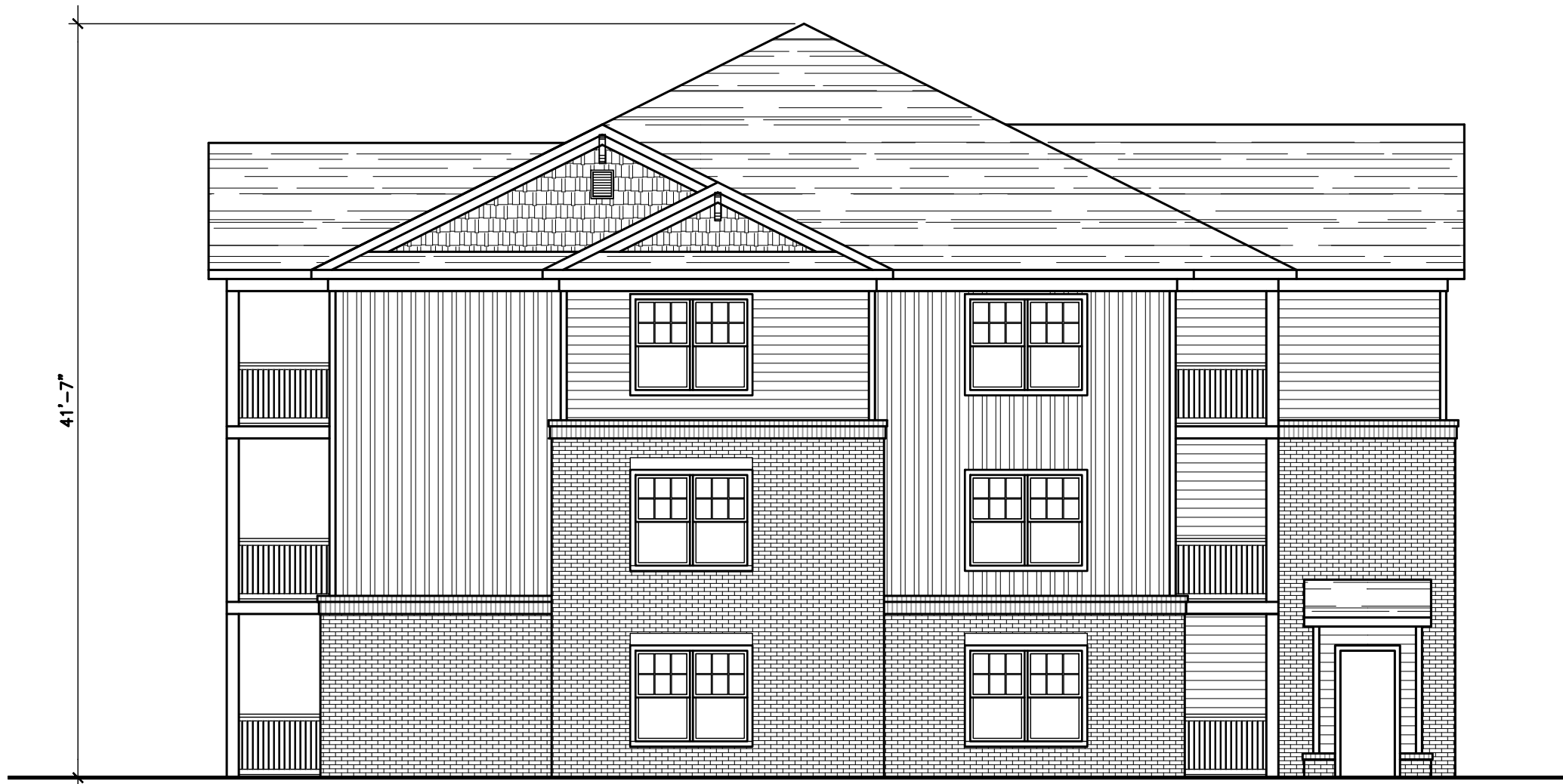




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2 Rear Elevation  
Scale: 1/8"=1'-0"



3 Left Side Elevation  
Scale: 1/8"=1'-0"



4 Left Side Elevation  
Scale: 1/8"=1'-0"

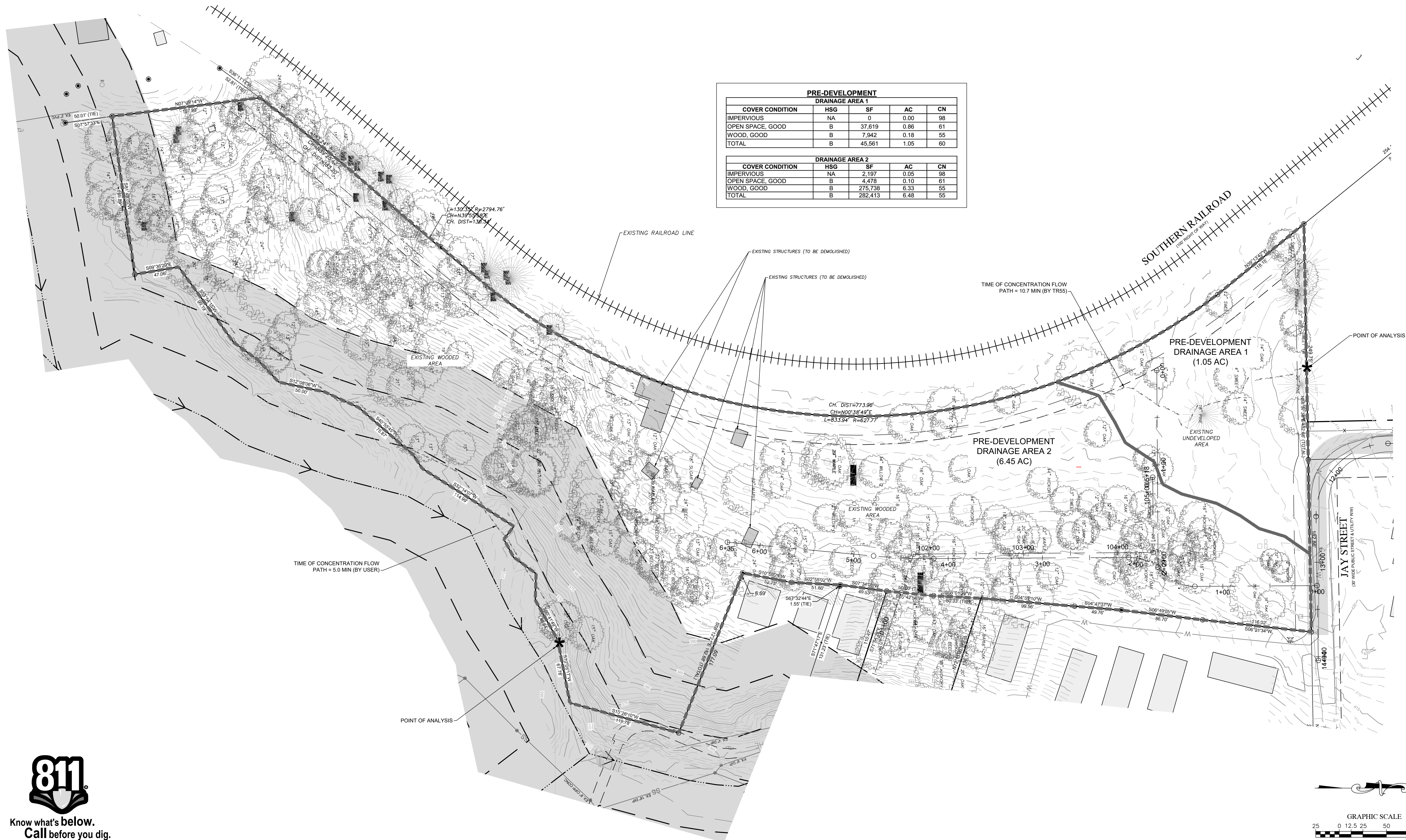
ELEVATION LEGEND

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MIN .044" THICKNESS, WOODGRAIN  
TEXTURE.
- 5 BRICK VENEER  
BRICK VENEER, QUEEN SIZE



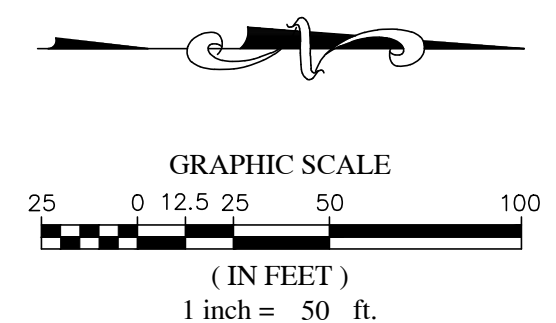


Know what's below.  
Call before you dig.



PRE-DEVELOPMENT				
DRAINAGE AREA 1				
COVER CONDITION	HSG	SF	AC	CN
IMPERVIOUS	NA	0	0.00	98
OPEN SPACE, GOOD	B	37,619	0.86	61
WOOD, GOOD	B	7,942	0.18	55
TOTAL	B	45,561	1.05	60

DRAINAGE AREA 2				
COVER CONDITION	HSG	SF	AC	CN
IMPERVIOUS	NA	2,197	0.05	98
OPEN SPACE, GOOD	B	4,478	0.10	61
WOOD, GOOD	B	275,738	6.33	55
TOTAL	B	282,413	6.48	55



PROJECT NO.

21-0207

DRAWING NAME:

21-0207\_G.dwg

SHEET NO.

A24

NOT FOR CONSTRUCTION

PRELIMINARY

ENGINEER

ROTHY A. SMITH

811

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FIRST ISSUE DATE

12-01-2021

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DATE

BY

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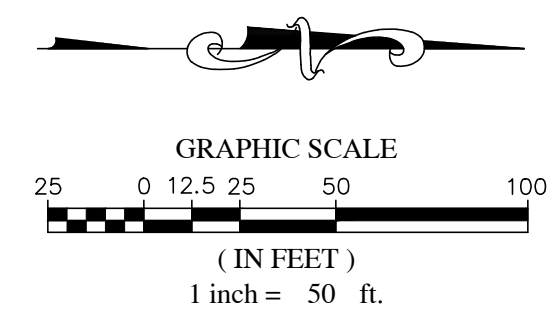
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02A COMMENTS #1

1/4/2022

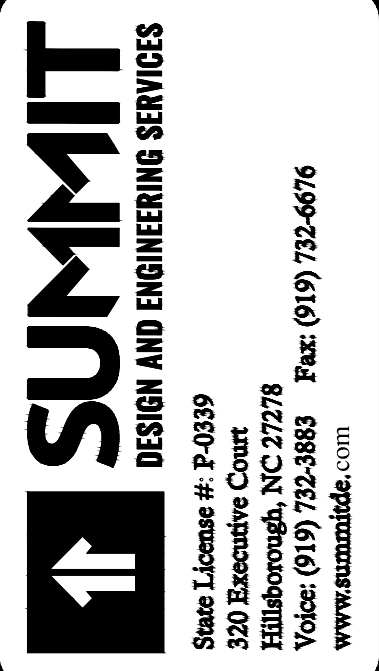
DMC





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1	CCA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

PROJECT ENGINEER/ARCHITECT TAS (TIM.SMITH@SUMMITDE.COM)	PROJECT MANAGER ACH (AARON.HUTCHENS@SUMMITDE.COM)
DRAWN BY DMC (DON.CHITTY@SUMMITDE.COM)	FIRST ISSUE DATE 12-01-2021



PROJECT NO.  
**21-0207**

DRAWING NAME:  
**21-0207\_G.dwg**

SHEET NO.  
**A25**



