



# TOWN OF CHAPEL HILL

## Town Council Meeting Agenda

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

Mayor Pam Hemminger  
Mayor pro tem Michael Parker  
Council Member Jessica Anderson  
Council Member Allen Buansi  
Council Member Hongbin Gu

Council Member Tai Huynh  
Council Member Amy Ryan  
Council Member Rachel Schaevitz  
Council Member Karen Stegman

**Wednesday, January 8, 2020 7:00 PM**

**RM 110 | Council Chamber**

### OPENING

### PUBLIC COMMENT FOR ITEMS NOT ON PRINTED AGENDA AND PETITIONS FROM THE PUBLIC AND COUNCIL MEMBERS

*Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the Status of Petitions to Council webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.*

1. Parks, Greenways, and Recreation Commission Request for Park Maintenance Funding. [\[20-0007\]](#)
2. Beth Waldron Request Regarding Revising the Deer Management Program. [\[20-0008\]](#)
3. Renuka Soll Request for an Improved Petition Process. [\[20-0009\]](#)
4. Jeff Mallett Request for Ordinance Review. [\[20-0010\]](#)

### ANNOUNCEMENTS BY COUNCIL MEMBERS

### CONSENT

*Items of a routine nature will be placed on the Consent Agenda to be voted on in a block. Any item may be removed from the Consent Agenda by request of the Mayor or any Council Member.*

**5. Approve all Consent Agenda Items. [\[20-0011\]](#)**

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.

**6. Approve On-Street Parking Regulations in the Burch Kove Neighborhood. [\[20-0012\]](#)**

By enacting the Ordinance, the Council establishes "no parking anytime" on several streets in the Burch Kove neighborhood in response to residents' request.

**7. Continue the Public Hearing for Land Use Management Ordinance Text Amendment - Proposed Changes to Articles 3 and 4 Pertaining to Conditional Zoning to February 12, 2020. [\[20-0013\]](#)**

By adopting the resolution, the Council continues the Public Hearing for the Land Use Management Ordinance Text Amendment to Articles 3 and 4 pertaining to conditional zoning to Wednesday, February 12, 2020.

## INFORMATION

**8. Receive Upcoming Public Hearing Items and Petition Status List. [\[20-0014\]](#)**

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

**9. Receive Minutes from the Orange County/Chapel Hill Work Group October 11, 2019 Meeting. [\[20-0015\]](#)**

By accepting the report, the Council receives the minutes for the October 11, 2019 Orange County/Chapel Hill work group meeting that took place as part of the County's Intergovernmental Collaboration with Municipal Partners.

## DISCUSSION

**10. Charting Our Future - Consider Changes to Draft Focus Area Maps and Principles. [\[20-0016\]](#)**

PRESENTER: Alisa Duffey Rogers, LUMO Project Manager

RECOMMENDATION: That the Council adopt the attached resolution authorizing the Town Manager to make changes to the September 5,



2019 draft Focus Area Maps and Principles.

- 11.** Open the Public Hearing and Consider a Request to Close a Portion of the Public Right-of-Way on Glen Lennox Drive between Flemington Road and Fordham Boulevard.

[\[20-0017\]](#)

PRESENTER: Michael Wright, Senior Engineering Coordinator  
George Retschle, Ballentine Associates, PA

RECOMMENDATION: That the Council open the Public Hearing to consider closing the portion of the public right-of-way on Glen Lennox Drive between Flemington Road and Fordham Blvd. The Council may close the Public Hearing this evening and take action on the requested closure or defer action to the January 22, 2020 meeting.

- 12.** Open the Public Hearing: Land Use Management Ordinance Text Amendment for Proposed Changes to Section 3.11 Regarding Massing Standards in the Blue Hill District.

[\[20-0018\]](#)

PRESENTER: Corey Liles, Principal Planner  
Tony Sease, Civitech, Inc

- a. Introduction and preliminary recommendation
- b. Recommendation of the Planning Commission
- c. Comments from the public
- d. Comments and questions from the Mayor and Town Council
- e. Motion to recess the Public Hearing to February 12, 2020
- f. Referral to the Manager and Attorney.

RECOMMENDATION: That the Council open the Public Hearing, receive public comment, and continue the Public Hearing to February 12, 2020.

- 13.** Open the Public Hearing: Land Use Management Ordinance Text Amendment - Proposed Changes to Sections 8.3 and 8.4 Regarding Advisory Board Officer Term Limits; Consider Enacting LUMO and other Town Code Amendments Regarding Term Limits for Town Advisory Board Officers.

[\[20-0019\]](#)

PRESENTER: Anya Grahm, Senior Planner

- a. Introduction and recommendation
- b. Recommendation of the Planning Commission
- c. Comments from the public
- d. Comments and questions from the Mayor and Town Council

- e. Motion to adjourn the Public Hearing
- f. Motion to adopt the Resolution of Consistency with the Comprehensive Plan
- g. Motion to enact the ordinance to approve the changes to the Land Use Management Ordinance
- h. Motion to enact the ordinance to approve the changes to the Town Code of Ordinances.

RECOMMENDATION: That the Council open the Public Hearing and receive comment, close the Public Hearing, adopt the Resolution of Consistency, enact Ordinance A, and enact Ordinance B regarding the advisory board officer clause.

### CONCEPT PLAN REVIEW(S)

*Concept Plans: Presentations for Concept Plans will be limited to 15 minutes.*

*Concept Plan review affords Council members the opportunity to provide individual reactions to the overall concept of the development which is being contemplated for future application. Nothing stated by individual Council members this evening can be construed as an official position or commitment on the part of a Council member with respect to the position they may take when and if a formal application for development is subsequently submitted and comes before the Council for formal consideration.*

*As a courtesy to others, people speaking on an agenda item are normally limited to three minutes. Persons who are organizing a group presentation and who wish to speak beyond the three minute limit are requested to make prior arrangements through the Mayor's Office by calling 968-2714.*

- 14.** Concept Plan Review: Phi Gamma Delta, 108 West Cameron Avenue.

[\[20-0020\]](#)

PRESENTER: Anya Grahn, Senior Planner

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adopt a resolution transmitting Council comments to the applicant.

RECOMMENDATION: That the Council adopt the resolution transmitting comments to the applicant.

- 15.** Concept Plan Review: 408 Hillsborough Street Alterations.

[\[20-0021\]](#)

PRESENTER: Anya Grahn, Senior Planner

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adopt a resolution transmitting Council comments to the applicant.

RECOMMENDATION: That the Council adopt the resolution transmitting comments to the applicant.

## **APPOINTMENTS**

- 16.** Appointments to the Community Policing Advisory Committee. [\[20-0022\]](#)
- 17.** Appointment to the Transportation and Connectivity Advisory Board. [\[20-0023\]](#)

## **REQUEST FOR CLOSED SESSION TO DISCUSS ECONOMIC DEVELOPMENT, PROPERTY ACQUISITION, PERSONNEL, AND/OR LITIGATION MATTERS**



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
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Chapel Hill, NC 27514

## Item Overview

Item #: 1., File #: [20-0007], Version: 1

Meeting Date: 1/8/2020

### Parks, Greenways, and Recreation Commission Request for Park Maintenance Funding.

#### Staff:

Sabrina M. Oliver, Director and Town Clerk  
Amy T. Harvey, Deputy Town Clerk

#### Department:

Communications and Public Affairs

**Overview:** Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the [Status of Petitions to Council <http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status>](http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status) webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.



#### Recommendation(s):

That the Council consider the petition.



#### Attachments:

- Parks, Greenways, and Recreation Commission Request

## November 19, 2019 Petition to the Town Council to Fund Park Maintenance

The Parks, Greenways, and Recreation Commission is requesting the Town Council to appropriate additional funds for the maintenance of Parks and Recreation Facilities.

1. We request additional funds to specifically address the disrepair of tennis court facilities.

Chapel Hill has some excellent recreational facilities that are in disrepair. One example is the current condition of the playing surface of many of the tennis courts, and the courts at Cedar Falls Park in particular. The Parks, Greenways and Recreation Commission believes that the Town of Chapel Hill has a goal and commitment to provide a strong contingent of facilities that are in good condition for its citizens. The tennis Courts at Cedar Falls are in such poor condition they may no longer provide a service to citizens and are potentially unsafe. There are surface cracks and other issues at the courts at Ephesus Park as well. We urge the Town Council and Town Manager to find funds and work with the Director of Parks and Recreation to implement these repairs. The Cedar Falls funding gap is approximately \$ 415K. The repairs at the Ephesus facility require approximately \$250K in funding.

2. We request an increase to the maintenance budget so that Parks and Recreation staff can keep up with ongoing repairs.

To our knowledge, the capital maintenance budget for FY2020 and FY2019 was only \$100,000 per year. The previous three years the funding was \$275,000 per year. The Commission knows the budget process will not begin until after the Town Council Retreat in January 31st of next year. Please consider this as our initial request to work closely with the Director of Parks and Recreation to ensure that there are sufficient funds to keep our Parks and Recreation Facilities not only usable and safe, but also put our Town's best foot forward.

Park facilities improve the quality of life for all citizens and are a great enhancement to neighborhoods and affordable living. Please appropriate additional funds towards Parks, Greenways, and Recreational facilities. We believe this additional appropriation of funds will benefit all demographic groups across Chapel Hill.

Cedar Falls Courts











Ephesus Courts











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Chapel Hill, NC 27514

## Item Overview

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**Item #:** 2., **File #:** [20-0008], **Version:** 1

**Meeting Date:** 1/8/2020

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### **Beth Waldron Request Regarding Revising the Deer Management Program.**

**Staff:**

Sabrina M. Oliver, Director and Town Clerk  
Amy T. Harvey, Deputy Town Clerk

**Department:**

Communications and Public Affairs

**Overview:** Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the [Status of Petitions to Council <http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status>](http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status) webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.



**Recommendation(s):**

That the Council consider the petition.



**Attachments:**

- Beth Waldron Request

December 1, 2019

To the Chapel Hill Town Council:

I am petitioning the Town of Chapel Hill to revise the Deer Management Program to ban hunting within the city limits and would like to speak at the January 8, 2020 meeting.

I have lived in Parkside subdivision off Weaver Dairy Road Extension for 17 years. It is a neighborhood of single-family homes on 0.10 to 0.27 acre lots, many of which back up to Town of Chapel Hill owned land utilized for Homestead Park and the proposed Upper Booker Creek Trail. Parkside is not the sort of place one would expect hunting to occur, but it does. Hunting—both legal and illegal—is occurring in unexpected places and reflects a need for the town to revise the Deer Management Program adopted in 2010.

This fall, a Parkside property owner installed a pop-up hunting blind in their backyard. Under current town policy, it is legal for this property owner to bow hunt deer on their lot, even though it is listed at only 0.21 acres, with the footprint of the house taking up most of the lot. No notification of neighbors or the town was required; therefore, residents never know when they walk outside if active hunting is taking place mere steps away.

Last year, a hunter installed a tree-stand and baited deer with corn on town-owned land abutting the Parkside neighborhood—this was along a foot path of the future Upper Booker Creek Trail often used by residents as a cut-through to Homestead Park. The issue was resolved by NC Wildlife Enforcement Officer Forrest Orr, who cited the hunter for not wearing blaze orange and having permission of the property owner. The hunter removed the stand at Officer Orr's request.

Photos documenting the two above incidents are attached. Please note the housing density in which this hunting is taking place.

Current hunting rules were formed in response to Mt Bolus neighborhood residents who in 2009 petitioned the town that deer were eating their landscaping plants. The current Deer Management Program was implemented after a public forum and went *against* the written recommendation of the Chief of Police, the Director and Assistant Director of Parks and Recreation, and the Director of Public Works who said there were "*limited portions of Town on which an urban hunt could be safely conducted*". (copy of memo attached)

The Deer Management Program allows property owners with a state hunting license to hunt with a bow and arrow during Central North Carolina deer season, the extended Urban Archery season and anytime of year with a Depredation permit by showing more than \$50 of property damage.

In calendar terms, this means deer are legal to take with bow and arrow in Chapel Hill (including crossbow) from:

- September 7, 2019 to January 1, 2020 (Central NC season, see attached regulation)
- January 11, 2020 to February 16, 2020 (Urban Archery program season)
- anytime of year under a Depredation Hunting Permit

Unfortunately, the town's Deer Management Program did not contain common sense restrictions which many other towns have chosen to include for urban archery hunting---such as establishing minimum lot sizes, minimum distance from property lines and occupied dwellings (such as houses, schools and day



cares), verifying hunter skill and qualifications, use of tree stands instead of ground blinds and so forth. At the moment in Chapel Hill, *any property owner of any skill level on any size lot can hunt with a standard state hunting license and no notification of neighbors or the town is required.*

The Deer Management Program also contains a weak enforcement mechanism. When I first encountered a deer stand behind my house on town land (which is against the rules) no one I contacted knew who had jurisdiction. I was bounced from the town's Parks and Recreation department to the county Animal Services to state Wildlife Resources Commission before finally being able to connect with a state enforcement field officer. Most people are probably not going to take the time I did to find a resolution.

Additionally, there is only one state wildlife enforcement officer assigned to cover the three county region which includes Orange, Alamance and Caswell counties. Currently, this is Sgt Justin Mathis. Since violators must be caught in the act of hunting, finding and citing violators is challenging and time-consuming. Even when violators are caught, state penalties are mild such that they do not necessarily discourage repeat offense.

With increasing development density, I fear it is only a matter of time before a hunting accident occurs.

Furthermore, I feel my beliefs as someone who loves animals is being infringed upon when I can be sitting in my own home and yet I can see a hunting blind and have no choice but to hope I don't happen to see a deer slaughtered and field dressed.

I respectfully ask the Council to ban hunting in the city limits until such time as the Deer Management Program can be revised.

While I prefer to see no hunting at all, I recognize the town may feel the best way to manage deer is to kill them. If that is the case, I suggest at a minimum the town may wish to consider restricting deer hunting to private property consisting of a certain number of acres, not near an occupied dwelling, from a stand rather than a blind, require notification of neighbors, permit the harvesting of deer only by professionals during pre-approved culls etc.

A petition with the names of town residents supporting a hunting ban will be submitted at the January 8 council meeting. You may view the petition in advance at: <http://chng.it/M6pQymzFQp>

Thank you for your consideration of this issue.

Sincerely,

Beth Waldron  
104 Caitlin Ct  
Chapel Hill, NC 27516  
bethjwaldron@gmail.com  
919-636-1569

## **ATTACHMENTS**

- 1) Documentation of hunting in Parkside subdivision and town owned land
- 2) Hunting seasons in Chapel Hill under NC Wildlife Resources Commission regulations
- 3) 2010 Memorandum from Town Staff recommending against hunting due to safety concern



**Attachment 1: Hunting examples in Parkside subdivision provided by Beth Waldron**

November 2019: A backyard hunting blind on a 0.21 acre lot as seen from the proposed Lower Booker Creek Trail (top) and my backyard (bottom). The trees are a strip of town utility easement land between my yard and the yard with the blind shown. The woods are *not* the homeowner's property. Please note the density of development and the lack of an arrow backstop.





November 2018: Hunting tree stand and baiting of deer with corn on Town of Chapel Hill owned land abutting Parkside subdivision and Homestead Park. Hunting on town owned land is not permitted under existing rules, but there is a weak enforcement mechanism. This stand was in view of my house along a path utilized by residents as a cut through between the neighborhood and Homestead Park.





## Attachment 2: Hunting seasons under Chapel Hill and North Carolina Wildlife Regulations

There has been some confusion among both residents, hunters and the Town as to the legal times of year in which hunting can occur in Chapel Hill.

North Carolina Wildlife Regulations permit the use of bow and arrow during all portions of the central deer season, *including the gun and blackpowder portions of the season*. Archery season in Chapel Hill opens September 7, 2019 and closes January 1, 2020 and since Chapel Hill participates additionally in the Urban Archery Program, this also includes January 11 to February 16, 2020.

- **In sum, deer are legal to take with bow and arrow in Chapel Hill (including crossbow) from September 7, 2019 to February 16, 2020, except for January 2 to January 10, 2020.**

Additionally, a property owner can hunt deer *any time of year* under a Depredation Permit issued by the NC Wildlife Resources Commission, showing at least \$50 dollars in property damage due to deer.

Season info can be found on page 62 of the 2019-2020 NC Wildlife Resources Commission Regulations Digest available at the following link, with relevant section copied below for convenience. [http://www.eregulations.com/wp-content/uploads/2019/07/19NCAB\\_LR9.pdf](http://www.eregulations.com/wp-content/uploads/2019/07/19NCAB_LR9.pdf)

### NORTHEASTERN AND SOUTHEASTERN DEER SEASON

|             |                              |
|-------------|------------------------------|
| Archery     | Sept. 7 – Sept. 27, 2019     |
| Blackpowder | Sept. 28 – Oct. 11, 2019     |
| Gun         | Oct. 12, 2019 – Jan. 1, 2020 |

### CENTRAL DEER SEASON

|             |                              |
|-------------|------------------------------|
| Archery     | Sept. 7 – Nov. 1, 2019       |
| Blackpowder | Nov. 2 – Nov. 15, 2019       |
| Gun         | Nov. 16, 2019 – Jan. 1, 2020 |

### NORTHWESTERN DEER SEASON

|             |                              |
|-------------|------------------------------|
| Archery     | Sept. 7 – Nov. 8, 2019       |
| Blackpowder | Nov. 9 – Nov. 22, 2019       |
| Gun         | Nov. 23, 2019 – Jan. 1, 2020 |

### WESTERN DEER SEASON

|             |   |
|-------------|---|
| Archery     | Sept. 7 – Sept. 29; Oct. 13 – Nov. 24, 2019; Dec. 15, 2019 – January 1, 2020 (antlered deer only) |
| Blackpowder | Sept. 30 – Oct. 12, 2019  |
| Gun         | Nov. 25 – Dec. 14, 2019   |

enhance its aroma or taste. This includes: food products enhanced by sugar, honey, syrups, oils, salts, spices, peanut butter, grease, meat, bones, or blood; candies, pastries, gum, and sugar blocks; and extracts of such products.

- The placement of commercially available mineral supplements specifically and exclusively marketed for attracting or feeding deer is allowed anywhere in the state, except on game lands.

### Weapons and Dogs

#### Archery

- During the archery season the following are legal weapons: bows and arrows and crossbows (both described on page 56).

#### Blackpowder

- During the blackpowder season the following are legal weapons: bows and arrows, crossbows (both described on page 56), and blackpowder firearms as defined on page 56.

#### Gun

- During the gun season the following are legal weapons: bows and arrows, crossbows, blackpowder firearms, shotguns, rifles, and handguns (all described on page 56).



### ATTACHMENT 3: Town of Chapel Hill Staff Memorandum

Relevant sections copied below. Entire memo is available at [https://townhall.townofchapelhill.org/agendas/2010/01/11/7a/7a-staff\\_memorandum-deer\\_population.pdf](https://townhall.townofchapelhill.org/agendas/2010/01/11/7a/7a-staff_memorandum-deer_population.pdf)

Page 1

#### MEMORANDUM

TO: Roger L. Stancil, Town Manager

FROM: Ray (Butch) Kisiah, Parks and Recreation Director  
Lance Norris, Public Works Director  
Bill Webster, Assistant Parks and Recreation Director  
Brian Curran, Police Chief

SUBJECT: Response to Petition for an Urban Deer Hunt in the Mt. Bolus Neighborhood

DATE: January 11, 2010

#### PURPOSE

This memorandum provides information on growing urban deer populations. We have included information on deer control techniques used or attempted in other locations throughout the country. We recommend that the Town approach the issue from the perspective of deer management by providing homeowners with information to assist in minimizing damage from over-browsing. The attached Resolution would authorize the Manager to distribute information to the public related to deer management for gardens and landscaping.

Page 7

Staff Recommendation: Based on the limited portions of Town on which an urban hunt could be safely conducted, combined with the issues outlined above, we do not believe that an urban hunt is a viable option for the Town. We recommend that the Council adopt the attached Resolution, which authorizes the Manager to develop an information packet for residents interested in protecting their landscaping and gardens from deer.



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
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Chapel Hill, NC 27514

## Item Overview

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**Item #:** 3., **File #:** [20-0009], **Version:** 1

**Meeting Date:** 1/8/2020

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### **Renuka Soll Request for an Improved Petition Process.**

**Staff:**

Sabrina M. Oliver, Director and Town Clerk  
Amy T. Harvey, Deputy Town Clerk

**Department:**

Communications and Public Affairs

**Overview:** Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the [Status of Petitions to Council <http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status>](http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status) webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.

**Recommendation(s):**

That the Council consider the petition.

**Attachments:**

- Renuka Soll Request

### Petition for an improved petition process

We want to thank Mayor Hemminger and Town Council for initiating a procedure to track petitions through the Chapel Hill town government. However, we request greater accountability by town staff and Council to make the public aware about what action is taken.

I, as well as others who have petitioned the Town Council, have been frustrated by the difficulties involved with getting follow-up information on accepted petitions. Although the Town website does list individual petitions and indicates which department is working on the petition, there is no way to find out where the petition is in the process. Many people send emails or call to inquire, but either they do not receive a response or are not given any updated information.

To ensure better transparency in the petitioning process, we would like to see the following occur:

- A monthly update sent **to the petitioner** via email that specifies what the department has done, what are the next steps, and the approximate time frame until action is taken.
- If the petitioner or someone else who is interested in the petition calls the department to inquire about the petition, an email response should be sent within 2 days from the date of inquiry, unless there are extenuating circumstances, to answer the question.

It is frustrating for concerned and motivated residents to petition their government and feel in the dark after their petition is accepted. It makes people feel that the town does not care. A more transparent process on petitions' status will help our residents be more engaged and will achieve greater transparency in town government.

Sincerely,

Renuka Soll, Chapel Hill resident and additional signers

Bill and Anne Brashear

Linda K Brown

Ellen Boylan

Michelle Cassell

Dick Chady

Daniel Dunn

Arthur and Deborah Finn

Vivian Foushee

David and Cheri Hardman

Tom Henkel

Charles Humble

Rob Johnson

Fred Lampe

Ken Larsen

Erika Lipkin

Julie McClintock  
Molly McConnell  
Amey Miller  
Susan Morance  
Michael Murphy  
David Schwartz  
Del Snow  
Terry and Bob Vance  
Diane Willis



# TOWN OF CHAPEL HILL

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## Item Overview

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**Item #: 4., File #: [20-0010], Version: 1**

**Meeting Date: 1/8/2020**

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### Jeff Mallett Request for Ordinance Review.

**Staff:**

Sabrina M. Oliver, Director and Town Clerk  
Amy T. Harvey, Deputy Town Clerk

**Department:**

Communications and Public Affairs

**Overview:** Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the [Status of Petitions to Council <http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status>](http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status) webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.



**Recommendation(s):**

That the Council consider the petition.



**Attachments:**

- Jeff Mallett Request

**Amy Harvey**

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**Subject:** FW: time to update a town ordinance perhaps

**From:** Jeff Mallett [<mailto:jmallett412@yahoo.com>]

**Sent:** Wednesday, January 1, 2020 12:55 PM

**To:** Jeanette Coffin <[jcoffin@townofchapelhill.org](mailto:jcoffin@townofchapelhill.org)>

**Subject:** Re: time to update a town ordinance perhaps

**External email:** Don't click links or attachments from unknown senders. To check or report forward to [reportspam@townofchapelhill.org](mailto:reportspam@townofchapelhill.org)

Ms Coffin,

I sent this email along time ago and I made calls to a few councilmen since then. I was not sure this would have been sent on to all the council members. So I am requesting an opportunity to speak at the Jan 8 meeting. I will make it short and direct.

Please let me know if I can get on the docket for the 8th.

Jeff Mallett

On Friday, December 20, 2019, 11:58:41 AM EST, Jeanette Coffin <[jcoffin@townofchapelhill.org](mailto:jcoffin@townofchapelhill.org)> wrote:

Thank you for your correspondence with the Town of Chapel Hill. The Mayor and Town Council are interested in what you have to say. By way of this email, I am forwarding your message to the Mayor and each of the Council Members, as well as to the appropriate staff person who may be able to assist in providing additional information or otherwise addressing your concerns.

If your email is related to a development application or a particular issue being addressed by the Council, your comments will be made part of the record. If applicable, we encourage you to attend any public meetings related to the items addressed in your email.

Again, thank you for your message.

Sincerely,

Jeanette Coffin

Jeanette Coffin

Office Assistant



[Town of Chapel Hill Manager's Office](#)

[405 Martin Luther King Jr. Blvd.](#)

[Chapel Hill, NC 27514](#)

(o) 919-968-2743 | (f) 919-969-2063

**From:** Jeff Mallett [<mailto:jmallett412@yahoo.com>]  
**Sent:** Wednesday, December 11, 2019 8:20 PM  
**To:** Town Council <[mayorandcouncil@townofchapelhill.org](mailto:mayorandcouncil@townofchapelhill.org)>; Gene Poveromo  
 <[gpoveromo@townofchapelhill.org](mailto:gpoveromo@townofchapelhill.org)>  
**Subject:** time to update a town ordinance perhaps

**External email: Don't click links or attachments from unknown senders. To check or report forward to [reportspam@townofchapelhill.org](mailto:reportspam@townofchapelhill.org)**

Background: town has an ordinance that does not allow more than 4 unrelated persons living together.

this was modified in the late 90's for 5 and again 2001 to 4 persons.

Situation : On Nov. 16 a tree fell on an addition to a house causing the home to lose power. The tenants had to move out.

Need for : As soon as the addition is built, the seniors would like to move back in. It will be ready before  
 Ordinance : Spring semester starts. The issue is that 6 men live in the house. Close friends since  
 Review : freshman year. The code enforcement gives them to 1 Feb. for 2 persons to move out. Why  
 30 days? It seems arbitrary why not to the end of the semester? In this case 100 days. A  
 compromise system needs to be set up so these extra persons are not displaced.

The students are innocent in this case but they will suffer. If the tree had not fallen, they would graduate and leave town with a favorable outlook towards Chapel Hill and UNC.

Now their nice situation which they enjoyed since summer 2019 is broken up.

I think you can know that many student rentals have excess students and it is only when something unusual happens that the student count is known to the town and codes are enforced. Always at an awkward and upsetting time for the students. Although it is not true many landlords think because the house has been rented to more than 4 students for a long time the number is "Grandfathered" as I was led to believe many years ago.



Request: The board look at modifying the days to stay in a house once notified of violation - flexible.

The board look at the number of students in a house and raise to 5. This keeps rents reasonable so house rents are reasonable.

Please figure a way for these great guys to finish the Semester in this HOUSE. Compassion!

Please all have a HAPPY Holiday season and think about these issues

Walter Mallett 47 year resident



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 5., **File #:** [20-0011], **Version:** 1

**Meeting Date:** 1/8/2020

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### **Approve all Consent Agenda Items.**

#### **Staff:**

Sabrina M. Oliver, Director/Town Clerk  
Amy T. Harvey, Assistant Town Clerk

#### **Department:**

Communications and Public Affairs

**Overview:** Items of a routine nature to be voted on in a block. Any item may be removed from the Consent Agenda by the request of the Mayor or any Council Member.



#### **Recommendation(s):**

That the Council adopt the various resolutions and ordinances.

**Fiscal Impact/Resources:** Please refer to each agenda item for specific fiscal notes.



#### **Attachments:**

- Resolution

**A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES  
(2020-01-08/R-1)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the following resolutions and ordinances as submitted by the Town Manager in regard to the following:

6. Approve On-Street Parking Regulations in the Burch Kove Neighborhood. (O-1)
7. Continue the Public Hearing for Land Use Management Ordinance Text Amendment - Proposed Changes to Articles 3 and 4 Pertaining to Conditional Zoning to February 12, 2020. (R-2)

This the 8<sup>th</sup> day of January, 2020.

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

Item #: 6., File #: [20-0012], Version: 1

Meeting Date: 1/8/2020

### Approve On-Street Parking Regulations in the Burch Kove Neighborhood.

#### Staff:

Matthew J. Sullivan, Chief  
Christopher C. Blue, Chief  
M. Tommy Gregory, Fire Marshal  
Kumar Neppalli, Traffic Engineer

#### Department:

Fire  
Police  
Fire  
Public Works

**Overview:** Staff provided a report to the Town Council at their [November 13, 2019](https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4217933&GUID=C44F5A03-5938-4092-BCAB-0AC1A5D5C627&Options=&Search=&FullText=1) [C44F5A03-5938-4092-BCAB-0AC1A5D5C627&Options=&Search=&FullText=1](https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4217933&GUID=C44F5A03-5938-4092-BCAB-0AC1A5D5C627&Options=&Search=&FullText=1) Council meeting regarding on-street parking concerns in the Burch Kove neighborhood. The Burch Kove neighborhood is located at the corner of Seawell School Road and Homestead Road. The attached ordinance provides for limited on-street parking, incorporating Council feedback provided at the meeting. The revised ordinance allows approximately 20 on-street parking spaces on several streets in the neighborhood.



#### Recommendation(s):

That the Council enact the proposed ordinance for "no parking anytime" on several streets in the Burch Kove neighborhood.

#### Key Issues

The proposed ordinance:

- Provides limited on-street parking in the Burch Kove neighborhood.
- Creates/Improves safe passage for other vehicles including emergency apparatus, school buses and delivery trucks.
- Is intended to be an interim step to give Town staff, community members and the homeowners' association time to planning a sustainable long-term solution.
- Does not provide for resident-only parking; however, if non-resident parking becomes a problem, the ordinance can be amended later by Council.

The Town staff will monitor the parking and traffic in the neighborhood and will provide recommendations for near-term changes if conditions warrant. In the meantime, staff will continue to work with the homeowner's association to develop a long-term solution to propose to the Council in the future.

**Fiscal Impact/Resources:** Signs will be installed by the Town sign staff, and the cost will be covered from the existing operating funds of the Traffic Engineering Division.



#### Attachments:

- Ordinance
- Area Map

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**Item #: 6., File #: [20-0012], Version: 1**

**Meeting Date: 1/8/2020**

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

By enacting the Ordinance, the Council establishes “no parking anytime” on several streets in the Burch Kove neighborhood in response to residents’ request.

**AN ORDINANCE AMENDING CHAPTER 21 OF THE TOWN CODE OF ORDINANCES REGARDING PARKING REGULATIONS (2020-01-08/O-1)**

BE IT ORDAINED by the Council of the Town of Chapel Hill as follows:

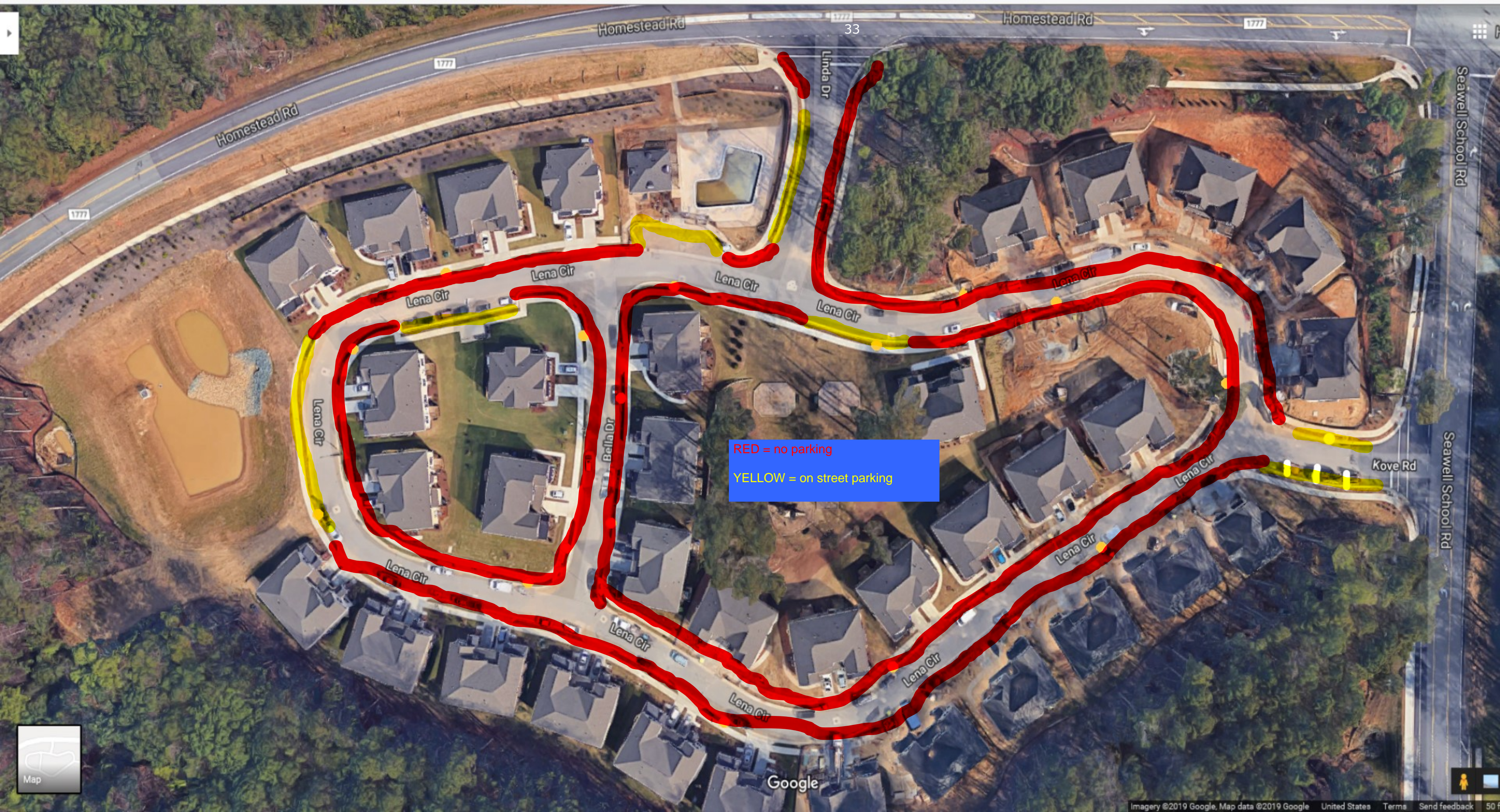
Section 1. Section 21-27 of the Town Code of Ordinances, "No parking as to particular streets" is hereby amended by adding the following:

| <b>Street</b>      | <b>Side</b>  | <b>From</b>  | <b>To</b> |
|--------------------|--------------|--|-----------|
| <u>Bella Drive</u> | <u>Both</u>  | <u>Full Length</u>                                       |           |
| <u>Linda Drive</u> | <u>East</u>  | <u>Full Length</u>                                       |           |
| <u>Lena Circle</u> | <u>North</u> | <u>Full Length</u>                                       |           |
| <u>Lena Circle</u> | <u>South</u> | <u>Kove Road to a point 180 feet west of Bella Drive</u> |           |

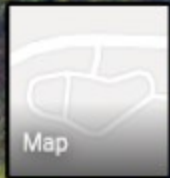
Section 2. This Ordinance shall become effective on February 3, 2020.

This the 8<sup>th</sup> day of January, 2020.





RED = no parking  
YELLOW = on street parking







# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 7., **File #:** [20-0013], **Version:** 1

**Meeting Date:** 1/8/2020

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**Continue the Public Hearing for Land Use Management Ordinance Text Amendment - Proposed Changes to Articles 3 and 4 Pertaining to Conditional Zoning to February 12, 2020.**

**Staff:**

Judy Johnson, Interim Director  
Kari Grace, Senior Planner

**Department:**

Planning

**Overview:** The Council opened the Public Hearing for the Land Use Management Ordinance Text Amendment to Articles 3 and 4 pertaining to conditional zoning on November 13, 2019 and recessed the hearing to January 8, 2020. Staff requested additional time for another public information meeting and further consideration.



**Recommendation(s):**

That the Council adopt a resolution continuing the public hearing for the Land Use Management Ordinance Text Amendment to Articles 3 and 4 pertaining to conditional zoning to February 12, 2020.



**Attachments:**

- Resolution



**A RESOLUTION CONTINUING THE PUBLIC HEARING FOR THE LAND USE MANAGEMENT ORDINANCE TEXT AMENDMENT TO ARTICLES 3 AND 4 PERTAINING TO CONDITIONAL ZONING TO FEBRUARY 12, 2020 (2020-01-08/R-2)**

WHEREAS, the Town Council opened the Public Hearing for the Land Use Management Ordinance Text Amendment pertaining to Conditional Zoning on November 13, 2019 and recessed the hearing to January 8, 2020; and

WHEREAS, staff requested additional time for another public information meeting and further consideration.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council continues this Public Hearing, to be reconvened at 7:00 p.m. on Wednesday, February 12, 2020 in the Chapel Hill Town Council Chambers.

This the 8<sup>th</sup> day of January, 2020.

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

By adopting the resolution, the Council continues the Public Hearing for the Land Use Management Ordinance Text Amendment to Articles 3 and 4 pertaining to conditional zoning to Wednesday, February 12, 2020.



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

**Item #:** 8., **File #:** [20-0014], **Version:** 1

**Meeting Date:** 1/8/2020

### Receive Upcoming Public Hearing Items and Petition Status List.

**Staff:**

Sabrina Oliver, Director and Town Clerk  
Amy Harvey, Deputy Town Clerk

**Department:**

Communications and Public Affairs



**Recommendation(s):**

That the Council accept the reports as presented.

**Background:**

Two pages on our website have been created to track:

- public hearings scheduled for upcoming Council meetings; and
- petitions received, including their status and who you can call for information.

The goal is to provide, in easily available spaces, information that allows people to know when Council will be seeking their comments on a particular topic of development and to know the status of a petition submitted at Council meetings.

In addition to being on the website, these pages will be included in each agenda for Council information,

**Fiscal Impact/Resources:** Staff time was allocated to create the semi-automated web pages, and additional staff time will be needed for maintenance.



**Attachments:**

- Scheduled Public Hearings <<http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/scheduled-agenda-items>>
- Status of Petitions to Council <<http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status>>

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

## Scheduled Public Hearings

This webpage lists public hearings that are scheduled for a *specific Council meeting date*, although periodically, some may be continued to a future date. Public hearings may relate to the Land Use Management Ordinance (LUMO), Residential or Commercial Development, Budget, Transportation, or Housing issues. Meeting materials are posted at [Council Meeting Agendas, Minutes and Videos](#).

Interested in a development project not yet scheduled for Council review? See the [Development Activity Report](#) for the project's current status.

### January 8

- Open the Public Hearing and Consider a request to permanently close portions of the Glen Lennox Drive public right-of-way between US 15-501 (Fordham Boulevard) and Flemington Road as part of the [Glen Lennox Development](#).
- Open the Public Hearing: Land Use Management Ordinance Text Amendment for [Blue Hill Massing and Permeability](#)
- Open the Public Hearing for Amendments to Land Use Management Ordinance Articles 3, 4, and 6 Pertaining to Conditional Zoning
- Open the Public Hearing for Amendments to the Land Use Management Ordinance Article 8 Pertaining to Officers on the Board of Adjustment and Historic District Commission
- Concept Plan Review: 108 W. Cameron Avenue ([Project #19-127](#))
- Concept Plan Review: 408 Hillsborough ([Project #19-109](#))

### January 22

- Open the Public Hearing and Consider Applying Town Zoning to Recently Annexed Property at 7516 Sunrise Road

# STATUS OF PETITIONS TO COUNCIL

Petitions submitted during the Town Council meetings are added to the list below, typically within five business days of the meeting date.

To contact the department responsible, click on the department name. Meeting materials are posted at [Council Meetings, Agendas, Minutes and Videos](#).

| Meeting Date | Petitioner                                | Petition Request   | Departments Responsible  | Petition Status   |
|--------------|---|--|--|---|
| 11/20/2019   | John Morris                               | <a href="#">Request Regarding Local &amp; Regional Transit Planning.</a> | <b>Transit</b><br><a href="#">Brian Litchfield</a> ,<br>Transit Director<br>Phone: 919-969-4908  | Staff is preparing information to respond to this request.                                  |
| 11/13/2019   | Sylvia Steere                             | <a href="#">Regarding Fordham Side Path.</a>                             | <b>Parks &amp; Recreation</b><br><a href="#">Phillip Fleischmann</a> ,<br>Director Parks and Recreation<br>Phone: 919-968-2785<br><b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078 | The Council will consider options for the Fordham Side Path Project at an upcoming meeting. |
| 10/30/2019   | Chapel Hill Public Library Advisory Board | <a href="#">Request Regarding Library Fines</a>                          | <b>Library</b><br><a href="#">Susan Brown</a> ,<br>Library Director<br>Phone: 919-969-2034<br><b>Business Management</b><br><a href="#">Amy Oland</a> ,<br>Business Management Director<br>Phone: 919-969-5017   | Staff is preparing information to respond to this request.                                  |
| 10/30/2019   | Julie McClintock                          | <a href="#">Regarding MPO Plans for 15-501</a>                           | <b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | The Council will receive an update on this project in early 2020.                           |

| Meeting Date | Petitioner                                  | Petition Request   | Departments Responsible   | Petition Status   |
|--------------|---|--|---|---|
| 10/02/2019   | Daniel Dunn                                 | <a href="#">Request Regarding Government Transparency.</a>   | Technology Solutions<br><a href="#">Scott Clark</a> ,<br>CIO<br>Phone: 919-968-2735<br>Communications & Public Affairs<br><a href="#">Sabrina Oliver</a> ,<br>Communications & Public Affairs Director<br>Phone: 919-968-2757 | Staff is preparing information to respond to this request.  |
| 10/02/2019   | Parks, Greenways, and Recreation Commission | <a href="#">Request to Reconsider the Designation of a Cemetery Champion Seat on the Commission.</a>                                 | Communications & Public Affairs<br><a href="#">Sabrina Oliver</a> ,<br>Communications & Public Affairs Director<br>Phone: 919-968-2757  | Staff is preparing information to respond to this request.  |
| 10/02/2019   | Parks, Greenways, and Recreation Commission | <a href="#">Request to Permit Current Commission Officers to Serve an Additional Year and a Recommendation to Change the Policy.</a> | Communications & Public Affairs<br><a href="#">Sabrina Oliver</a> ,<br>Communications & Public Affairs Director<br>Phone: 919-968-2757  | At their 11/13/19 meeting, the Council adopted a resolution amending the Advisory Board Membership Policy to adjust term limitations for advisory board officers.                             |
| 10/02/2019   | Susan Smith                                 | <a href="#">Request Regarding Advisory Board Vote Policy.</a>  | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | At their 11/20/19 meeting, the Council enacted an ordinance amending Land Use Management Ordinance sections that included a change related to Historic District Commission quorum and voting. |

| Meeting Date | Petitioner  | Petition Request  | Departments Responsible   | Petition Status   |
|--------------|---|---|---|---|
| 09/25/2019   | Chapel Hill Downtown Partnership                          | <a href="#">Request Regarding Franklin Street Restriping.</a>   | <b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078<br><b>Public Works</b><br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100 | Staff shared information with the Council at the Council's 10/16/19 work session. Staff will request scopes and cost estimates from engineering firms to complete a traffic analysis and prepare design alternatives prior to NCDOT's April 1, 2020 deadline. |
| 09/11/2019   | East Franklin Neighborhood Steering Committee & Neighbors | <a href="#">Request Regarding Neighborhood Preservation.</a>  | <b>Police</b><br><a href="#">Chris Blue</a> ,<br>Police Chief<br>Phone: 919-968-2766<br><b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078                  | Staff is preparing information to respond to this request.  |
| 06/26/2019   | Burwell Ware  | <a href="#">Request to Place a Moratorium on the Construction of New Fast-Food Drive-Throughs Until Future Town Councils Decide to Repeal the Moratorium.</a> | <b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078  | Staff is preparing information to respond to this request.  |
| 06/26/2019   | Julie McClintock  | <a href="#">Request Regarding the Blue Hill Form Based Code.</a>  | <b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078  | Staff is preparing information to respond to this request.  |



| Meeting Date | Petitioner                  | Petition Request  | Departments Responsible   | Petition Status  |
|--------------|-----------------------------|---|---|--|
| 06/26/2019   | Community Design Commission | <a href="#">Request to Authorize the CDC to Create and Facilitate a Chapel Hill Design Award Program.</a> | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | At their 10/04/19 meeting, the Council Committee on Economic Sustainability received a staff update on the response to this request. |
| 06/26/2019   | Community Design Commission | <a href="#">Request for Modifications to the Concept Plan Review Process.</a>                             | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | At their 10/04/19 meeting, the Council Committee on Economic Sustainability received a staff update on the response to this request. |
| 05/08/2019   | Rebecca Cerese              | <a href="#">Regarding Resolution in Support of HR1384.</a>  | Town Manager<br><a href="#">Ross Tompkins</a> ,<br>Assistant to the Town Manager<br>Phone: 919-968-2707<br>Mayor<br><a href="#">Pam Hemminger</a> ,<br>Mayor<br>Phone: 919-968-2714 | Staff is preparing information to respond to this request.   |
| 04/24/2019   | Cobb Terrace Residents      | <a href="#">Petition Regarding Rooming Houses in the R-3 Zoning Districts.</a>                            | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | Staff shared some preliminary information with the Council at the 06/07/19 Council Committee on Economic Sustainability meeting.     |
| 04/24/2019   | Board of Adjustment         | <a href="#">Request Regarding Neighborhood Conservation District Ordinances.</a>                          | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | Staff is preparing information to respond to this request.   |

| Meeting Date | Petitioner                               | Petition Request  | Departments Responsible  | Petition Status   |
|--------------|--|---|--|---|
| 04/17/2019   | Amy Ryan for Planning Commission         | <a href="#">Commission Regarding Site Plan Review Process.</a>  | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078  | Staff is preparing information to respond to this request.  |
| 03/20/2019   | Cheri Hardman                            | <a href="#">Request to Explore Local Control over Transit Planning and Funding.</a>   | Transit<br><a href="#">Brian Litchfield</a> ,<br>Transit Director<br>Phone: 919-969-4908   | The public comment period for the FY20 Work Plan closed 05/30/19. The Town also submitted a funding request for North South BRT project from the Orange County Transit Plan; all of the governing bodies (Orange County, GoTriangle, and DCHC MPO) approved it. |
| 03/06/2019   | Environmental Stewardship Advisory Board | <a href="#">Request to Modify the Blue Hill Form Based Code to Include a Requirement for Installing Roof-Mounted Solar Energy Systems</a> | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078<br>Town Manager<br><a href="#">Ross Tompkins</a> ,<br>Assistant to the Town Manager<br>Phone: 919-968-2707 | As discussed at the 04/24/19 Council meeting, staff will develop options aimed at achieving the Council's energy efficiency goals for new development.  |
| 02/13/2019   | David Adams and Julie McClintock         | <a href="#">Regarding Evaluation of Town Transportation Needs.</a>  | Transit<br><a href="#">Brian Litchfield</a> ,<br>Transit Director<br>Phone: 919-969-4908<br>Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078                | The Town's request for an additional \$8 million from the Orange County Transit Plan for the North South Bus Rapid Transit Project was approved by the OC Board of Commissioners, the GoTriangle Board, and the DCHC MPO.                                       |

| Meeting Date | Petitioner                  | Petition Request   | Departments Responsible   | Petition Status   |
|--------------|-----------------------------|--|---|---|
| 02/13/2019   | Citizens                    | <a href="#">Request Regarding Coal Use and Coal Ash.</a>                                       | <b>Town Manager</b><br><a href="#">Ross Tompkins</a> ,<br>Assistant to the<br>Town Manager<br>Phone: 919-968-2707   | The Town plans to fund interim remedial measures based on recommendations from the human health and ecological risk assessment performed at the coal ash site. The Town continues to monitor NC Division of Air Quality's review of the power plant permit. |
| 01/16/2019   | John Morris                 | <a href="#">Regarding GoTriangle Meetings and Materials.</a>                                   | <b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078<br><b>Transit</b><br><a href="#">Brian Litchfield</a> ,<br>Transit Director<br>Phone: 919-969-4908 | Staff is preparing information to share with GoTriangle.  |
| 12/05/2018   | Paul Pritchard              | <a href="#">Request to Defer Reforestation at Cleland, Rogerson, and Oakwood Intersection.</a> | <b>Parks &amp; Recreation</b><br><a href="#">Phillip Fleischmann</a> ,<br>Director Parks and Recreation<br>Phone: 919-968-2785  | This topic was added to the 01/15/19 agenda of the Parks, Greenways and Recreation Commission, with time allocated for the neighbors to speak. Another public meeting will be scheduled later in the year.  |
| 10/24/2018   | Justice in Action Committee | <a href="#">Request Regarding a New Location for the Teen Center of Chapel Hill.</a>           | <b>Housing &amp; Community</b><br><a href="#">Loryn Clark</a> ,<br>Executive Director<br>Phone: 919-969-5076<br>Community Arts and Culture  | A staff workgroup, in coordination with the Mayor's Office, has been gathering data and seeking input from teens, service providers, and other stakeholders. The Council received an update on this initiative at their 01/30/19 business meeting.          |

| Meeting Date | Petitioner                       | Petition Request   | Departments Responsible   | Petition Status  |
|--------------|----------------------------------|--|---|--|
| 10/24/2018   | Jeff Charles                     | <a href="#">Regarding Extended Speaking Time for Individuals with Disabilities.</a>  | Mayor<br><a href="#">Pam Hemminger</a> ,<br>Mayor<br>Phone: 919-968-2714<br>Town Manager<br><a href="#">Ross Tompkins</a> ,<br>Assistant to the<br>Town Manager<br>Phone: 919-968-2707                                  | Staff will update the "Comment at Council Meetings" web page to clarify the Town's willingness to extend speaking time and how to request this extension.  |
| 10/10/2018   | Jeff Charles                     | <a href="#">Regarding Creating Citizen Advisory Board for Seniors.</a>   | Town Manager<br><a href="#">Ross Tompkins</a> ,<br>Assistant to the<br>Town Manager<br>Phone: 919-968-2707  | The Town will engage this group for additional input on the need and how the Town can best respond.  |
| 09/19/2018   | Julie McClintock of CHALT        | <a href="#">Regarding Land Use Intensification.</a>  | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078<br>Public Works<br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100 | The Town's Resiliency Map is part of the map series for the Future Land Use Map. On 06/12/19, the Council received a presentation on the Town's Stormwater program. Staff is preparing information to respond to the additional requests in this petition. |
| 06/27/2018   | Susanne Kjemtrup / Brian Hageman | <a href="#">Transportation and Connectivity Advisory Board Request for an Electric Vehicle Provision in the Land Use Management Ordinance.</a> | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | Referred to the Future Land Use Map and Land Use Management Ordinance rewrite process, which began in Fall 2017 and is expected to be completed in 2020.   |
| 06/13/2018   | Mayor pro tem Jessica Anderson   | <a href="#">Request to Amend Bus Advertising Policy.</a>   | Transit<br><a href="#">Brian Litchfield</a> ,<br>Transit Director<br>Phone: 919-969-4908  | At their 01/22/19 meeting, the Chapel Hill Transit Public Transit Committee considered the draft nonpublic forum transit advertising policy in order to provide feedback to the Chapel Hill Town Council on the option of amending the policy.             |

| Meeting Date | Petitioner   | Petition Request  | Departments Responsible   | Petition Status   |
|--------------|--|---|---|---|
| 06/13/2018   | Mayor Pam Hemminger  | <a href="#">Regarding Reviewing Policies, Procedures, and Practices for Development.</a>  | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | A Town web page with TIA exemption requests is available. Staff continues to look for ways to apply the LUMO clearly and consistently for all stakeholders in the development process.  |
| 06/13/2018   | Ondrea Austin  | <a href="#">CHALT's Request to Revise the Tree Ordinance.</a>   | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | Staff is preparing information to respond to this request.  |
| 03/14/2018   | Council Members Anderson, Gu, and Schaevitz                  | <a href="#">Request Regarding Addressing Blue Hill District Community Interests.</a>  | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | The Council enacted ordinance amendments to improve outcomes for stormwater management and affordable housing, to encourage non-residential development, and to address building size. Staff will return to Council in Fall 2019 to discuss building massing. |
| 09/06/2017   | Tom Henkel from the Environmental Stewardship Advisory Board | <a href="#">Request for Modification to the Ephesus-Fordham Form-Based Code for the Purposes of Energy Efficiency.</a>  | Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078   | Where feasible, modifications will be considered as part of the development process for the Blue Hill Design Guidelines.  |
| 01/23/2017   | Transportation and Connectivity Advisory Board               | <a href="#">Request to Support Low/No Vision Guidelines to be Included in the Town's Engineering Manual as Stated in the April 11, 2016 Petition to Council</a> | Public Works<br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100<br>Planning & Development Services<br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078 | Request incorporated into process to update Public Works Engineering Design Manual.   |

| Meeting Date | Petitioner                                     | Petition Request  | Departments Responsible   | Petition Status   |
|--------------|--|---|---|---|
| 11/07/2016   | Mayor Hemminger                                | <a href="#">Regarding Parking and Transit Needs in Downtown Area.</a>   | <b>Planning &amp; Development Services</b><br><a href="#">Judy Johnson</a> ,<br>Interim Planning Director<br>Phone: 919-969-5078<br><b>Police</b><br><a href="#">Chris Blue</a> ,<br>Police Chief<br>Phone: 919-968-2766<br><b>Public Works</b><br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100 | Recent actions include replacing parking pay stations, implementing Downtown Ambassadors program, and including additional parking with required Wallace Parking Deck repairs. Next steps include parking payments-in-lieu and public/private partnerships. |
| 05/09/2016   | Stormwater Management Utility Advisory Board   | <a href="#">Request for Orange County Commissioners to Increase Staffing in Soil and Erosion Control Division and Improve Efficiency of Temporary Soil Erosion and Sediment Controls During Construction.</a> | <b>Public Works</b><br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100   | Petition forwarded to Orange County. Consider changes to soil erosion and sediment control as part of Public Works Engineering Design Manual updates.   |
| 04/11/2016   | Transportation and Connectivity Advisory Board | <a href="#">Request to Incorporate Proposed No-Vision and Low-Vision Pedestrian Facilities Guidelines into Design Manual and Development Code as Required</a>   | <b>Public Works</b><br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100   | Request incorporated into process to update Public Works Engineering Design Manual.   |
| 04/11/2016   | Transportation and Connectivity Advisory Board | <a href="#">Request for Senior Citizen Pedestrian Mobility and Complete Street Implementation</a>   | <b>Public Works</b><br><a href="#">Lance Norris</a> ,<br>Public Works Director<br>Phone: 919-969-5100   | Request incorporated into process to update Public Works Engineering Design Manual.   |





# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

**Item #:** 9., **File #:** [20-0015], **Version:** 1

**Meeting Date:** 1/8/2020

### Receive Minutes from the Orange County/Chapel Hill Work Group October 11, 2019 Meeting.

**Staff:**

Amy Harvey, Deputy Town Clerk  
Ross Tompkins, Assistant to the Town Manager

**Department:**

Communications & Public Affairs  
Town Manager's Office

**Overview:** In May 2019, the Board of County Commissioners approved a framework for intergovernmental collaboration that relies on smaller work group meetings rather than full joint meeting sessions. On [June 26, 2019 <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3990964&GUID=166682FD-D80E-47CD-8811-4979F7993B24&Options=&Search=>](https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3990964&GUID=166682FD-D80E-47CD-8811-4979F7993B24&Options=&Search=>) the Council resolved to participate in this initiative for a 12-month pilot period. One part of the Council's framework for participation is to include work group meeting notes as an information item on the Council's regular meeting agenda.

Orange County representatives met with each of the County's municipal partners in September and October 2019. The first meeting between Orange County and Chapel Hill took place on October 11, 2019. On [November 19, 2019 <http://orangecountync.gov/AgendaCenter/ViewFile/Agenda/11192019-935>](http://orangecountync.gov/AgendaCenter/ViewFile/Agenda/11192019-935) the Board of Orange County Commissioners received an information item with the minutes for all of the Intergovernmental Collaboration with Municipal Partners meetings that took place in September and October.



**Recommendation(s):**

That the Council receive the minutes for the October 11, 2019 Orange County/Chapel Hill work group meeting that took place as part of the County's Intergovernmental Collaboration with Municipal Partners.



**Attachments:**

- Chapel Hill Work Group Meeting Notes for October 11, 2019

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

By accepting the report, the Council receives the minutes for the October 11, 2019 Orange County/Chapel Hill work group meeting that took place as part of the County's Intergovernmental Collaboration with Municipal Partners.

Orange County/Chapel Hill Work Group  
October 11, 2019 11 am-1 pm  
Location: Solid Waste Administration Office, Chapel Hill

### Session Goals

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1. Establish positive, productive agreements for working together.
2. Define what effective collaboration looks like for this group.
3. Identify success factors for the group's work and the metrics that will be used to gauge progress.
4. Prioritize topics for the group's work.
5. Clarify topics and confirm questions to be addressed.
6. Beginning to jointly generate possible solutions.

### Participants

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Jess Anderson, Loryn Clark, Bonnie Hammersley, Pam Hemminger, Judy Johnson, Maurice Jones, Travis Myren, Renee Price, Penny Rich

### Facilitator

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Maggie Chotas, DSC

### Session Notes

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Welcome & Why we're here – Penny Rich & Renée Price

Penny Rich welcomed participants to the meeting and provided history about the intergovernmental pilot project for the current year. Previously full boards of the county and local jurisdictions would meet together. The feedback from those meetings was that staff members weren't getting clear directions on next steps for municipal staff or county staff. Travis Myren proposed trying something new based on the Schools Collaborative. The hope is the Work Group format will provide more opportunities for clear next steps and follow up. Ms. Rich shared how Mr. Stevens and she met a year and a half ago to develop the agenda for the full boards meeting. When they pulled up the agenda from the prior year, nothing had changed. Via the Work Groups, the hope is items will move forward and the format will be a better way of communicating with the boards, which could receive the minutes electronically once they are finalized. Managers are suggesting after minutes are final they go into the agenda packet for the public where they will also be posted on websites.

Renée Price added there are many areas where the town and the county overlap and intersect. Keeping the dialogue open and collaborating is positive because Chapel Hill and Orange County affect each other. It's important to see where the town and the county come together on projects and help each other.

### Hopes for the Work Group

Participants identified hopes they have for the Work Group:

- Loryn Clark expressed a hope to learn about partnership opportunities with the county.

- Judy Johnson said she hoped to have actionable items with clear direction.
- Maurice Jones said his biggest hope is to continue to look for partnership opportunities with Chapel Hill and Orange County and have open lines of communication on important issues affecting residents.
- Pam Hemminger noted her hope is to find those pathways forward where we can collaborate. She emphasized how helpful it is to know parameters of collaboration – including where the county is interested and wants to do, as well as what the county can't do.
- Jess Anderson hoped ideas and opportunities for collaboration come up and helpful next steps are identified. She said she would love to come away with a procedure to bring information back to respective boards and to the community.
- Renée Price said her hope is to be able to work together. Chapel Hill is such a major force in the county, it is critical to do as much as we can together and be able to leverage more opportunities for prosperity.
- Bonnie Hamersley said her hope is the same for all the work groups: to have open lines of communication and be able to bring information back to staff from the meetings to provide direction.
- Penny Rich said she hoped we find we can come to some sort of conclusions and have next steps.

#### Reviewing the goals of the meeting

Ms. Chotas walked through the goals of the meeting and asked if there were any questions. Ms. Hemminger asked if by prioritizing the agenda items that meant we wouldn't get to all of the items. Ms. Chotas responded the decision about what to discuss would be made as a group. She recommended making sure the most important and the most urgent items are addressed first in the depth needed.

#### Articulating the vision for collaboration

Participants identified the following aspects of the kind of collaboration they would like to see in the Work Group:

- Ms. Rich noted sharing information and goals.
- Ms. Hemminger added sharing where we are in relationship to our goals, recognizing timelines might be different.
- Mr. Jones added, when appropriate, understanding what barriers to collaboration have been in the past.
- Ms. Hamersley added identifying what we can collaborate on – not all topics require collaboration.
- Ms. Price noted if we can't actually collaborate, see how we can support one another and share the same narrative when possible.
- Ms. Hemminger observed we represent constituencies, not just ourselves. Ms. Rich added if you are representing your opinion, say that; if you are representing your board, say that.



Ms. Chotas asked work group members to consider how they want their conversations to look and feel. Participants responded:

- Ms. Rich said as we do in school collaboration, one person should talk at a time, follow up and ask what is meant. Don't be afraid to ask. It's an open communication.
- Ms. Hemminger added not interrupting.
- Ms. Price said respecting each other's opinions, even if we don't agree.
- Ms. Chotas noted her role as facilitator is to help the group fulfill what they want to do.

What success looks like

Participants identified success factors for the Work Group:

- Ms. Hemminger said a list of next steps and follow through.
- Mr. Jones added movement on projects and initiatives.
- Ms. Rich said clear messages to staff so they understand what elected officials needs are.
- Ms. Hammersley noted continued support from the boards so they see this as a value and they are getting information to understand.
- Mr. Jones added an understanding from the public that we are working together. In order to get that to happen, we need to message it out to the community.

Ms. Rich said when it gets back to the Assembly of Governments meeting, we're all on the same page. She continued there will still be issues we need to work through because the towns haven't met together, but we are all know what we are moving towards. Ms. Anderson asked for clarification about the goals of the Assembly of Government meeting in January and wondered what would be able to be accomplished between the Work Group meeting and the Assembly of Government meeting, given the need to engage the public. Mr. Jones said it would be helpful to know what will happen at the Assembly of Government and asked is there going to be a presentation about the Work Group's decision to focus on certain issues.

Ms. Rich described the purpose of the Assembly of Governments meeting as having discussion about topics of shared interest -- for example about transportation. Individual towns and the county have already been talking about it -- some of these issues have been discussed in the Work Groups and will have already gone back to the boards, hopefully with clear directions to staff. At the Assembly of Governments meeting, hopefully we can offer some solutions, though nothing is set in stone or voted on at the meeting itself. Ms. Price emphasized the solutions coming forward will still need discussion and there still may be some issues to iron out because of differences of opinions.

Ms. Hammersley shared an example of how this process works. The Solid Waste Advisory Group had the idea of one fee across the county and that was brought up for discussion at the Assembly of Government meeting. Everybody on all the groups didn't agree, but the Solid Waste Advisory Group brought it forward and, coming out of the meeting, the issue went to boards and the boards engaged the public afterwards. Ms. Anderson summarized the purpose of the Assembly of Government is we are on the same page as to what we bring forward. Ms. Rich said she hoped there are some things that are already in motion, with decisions already made.

Ms. Hemminger reflected on effective Assembly of Governments meetings in the past as those when we had some shared topics we all wanted to discuss such as economic development, the need to change EMS response times and strategies and co-locating EMS and Fire together. She identified animal control as a topic of shared interest that hasn't been discussed previously in that format.

#### Prioritizing topics for discussion

Work Group members identified the following topics prior to the meeting:

1. Economic Development
  - UNC start-ups
2. Transit & Transportation
  - Voting structure and Orange County Transit Plan
3. Climate Action Plan, Committee & Tax
  - Materials Recycling Program
4. Affordable Housing
  - Update on Town's efforts (2200 Homestead, Public Housing)
  - Partnership Opportunities?
  - Residential Development & Gentrification
5. Greene Tract
  - Next Steps, Resolutions and MOU
  - What does Partnership look like to the Town?
  - Governance Document
6. 2020 Census
7. Library Funding

#### Informational Updates: Mobil Parks, Wegmans, BRT

Ms. Chotas asked if there were other items to add to the list and Ms. Hemminger added the possibility of a 611/non-emergency number in addition to 911 so people can call in for non-emergencies to get more information.

Ms. Chotas asked the group to consider what's most important and what's urgent about the items on the list to prioritize discussion topics and make the best of the small group space and time. The Work Group decided to sort the agenda into items that would require shorter discussion time, those that would be more involved and quick discussions for next steps:

#### Shorter discussion items:

- Transit and transportation
- 2020 Census
- Library funding
- Economic development
- Affordable housing

#### Longer discussion item:

Greene Tract

#### Quick discussions for next steps:

- Climate Action Plan
- Consider 611

### Transit and Voting Structure

Ms. Hemminger provided context for the transit agenda item based on her discussion with the mayors of Hillsborough and Carrboro. She noted she doesn't talk with the mayor of Mebane about transit issues. Currently, the structure is staff driven and there are only three voting members who make recommendations that go to the Orange County Commissioners for decisions. The three voting members are Orange County Planning, the MPO and GoTriangle. She informed the Work Group the three mayors will be making a request for towns to have representation as votes for recommendations are made.

Ms. Hammersley noted this was brought up when she was first brought in as County Manager and at that time the county wasn't interested. She said she didn't know if they were interested now, but they are familiar with it. What she was told was towns were represented through the NPO. It will be up to the Orange County board if they want to give voting rights away to the towns. Ms. Rich added this is something we would have to bring to the board. Ms. Hammersley shared the mayors can make a formal request. Ms. Price added she thought Wake County has moved in that direction, with weighted votes reflecting the size of the towns. Ms. Hemminger concluded she would write the letter to the board and the other mayors have asked to be included.

### 2020 Census

Ms. Hemminger opened the conversation by stating she is delighted to work on this project together and it is hugely important to count the numbers. The next steps are to figure out what the towns and counties are doing together to make it happen which will require resources.

Ms. Price, who is on the Census Committee, noted the critical thing is financial resources. The federal government and NC are not giving any assistance besides materials. Ms. Hemminger identified the need for a coordinated effort and messaging plan to be reaffirmed at the Assembly of Governments, which happens in January, and Census date is April 1. Ms. Rich asked if Chapel Hill has representation on this group. And Ms. Hemminger said they did.

Ms. Rich asked when will the report from the committee be delivered? Ms. Price responded there hasn't been a request for a formal report. Ms. Rich said a formal report will be important for communicating and coordinating the committee's plans and next steps and identifying financial support needed. Mark Dorosin was involved during the last census in 2010 and there was a lot of coordination in the community.

Ms. Hemminger requested a formal report before the Assembly of Governments meeting so it can be presented. Ms. Rich requested a timeline for the report to be delivered in December or Early January.

### Library Funding

Ms. Hemminger reflected the Chapel Hill Library hasn't had an increase in funding for many years and there is a desire in the town to make a specific ask for the county budget cycle. She asked what the request should look like, should the town decide to make it. Ms. Hammersley

responded the last time this funding request was considered was 2014/ 2015. She indicated it would be helpful to the county to receive data that showed a breakdown of Hillsborough and Carrboro users. Ms. Hemminger added we have the data right now about how many non-Chapel Hill users who are from Orange County and will work to break that down further.

Ms. Rich asked if charging non-Chapel Hill residents for a library card had been considered. Ms. Anderson responded that was not a part of the conversation, adding the orientation of the board is to make the library as accessible as possible and move towards an equity-model where individuals aren't charged.

Ms. Hammersley said she has heard from some commissioners they would like to wait and see the impact of the Southern Branch Library because the county will be funding that as well.

Mr. Jones asked when the Southern Branch Library was to open. Ms. Hammersley responded hopefully the groundbreaking will occur in the spring, once Carrboro resolves some parking issues.

Ms. Hemminger said a formal letter of request will be submitted once the library board collects the data needed.

#### Economic Development

Ms. Hemminger described the desire to continue to partner with the county. There are a lot of projects going on at the moment and as much as possible strong communication will help. She recognized closed session discussions make open communication challenging.

Mr. Myren gave an update on real estate, noting appraisals have come in totaling about \$5.2 million on the three parcels: Visitor's Center, Skills Development Center and the parking lot. The expectation is the sales price will be the appraisal figure. What we are struggling with now is finding space for the Skills Development Center to move into before the Southern Branch library is built. Long term it will go there, but the process has been stalled because of Carrboro's parking questions. What we would want help with is some appropriate location for the Skills Development Center for 12,000-15,000 square feet with access to transportation and parking. The appraisal indicated the highest and best use is for demolition of existing buildings and mixed use.

In terms of a new place for the Skills Development Center and the Visitor's Bureau, Mr. Myren indicated University Place had been approached and the county had received some push back because University Place indicated they were only looking for retail. Mr. Myren said the county was preparing additional information to share about foot traffic.

Ms. Hemminger said the town would love to keep the Visitor's Bureau in downtown Chapel Hill.

Ms. Price added she wanted to make sure UNC start-ups are able to stay in Orange County. Ms. Hemminger added this is a top goal of the town as well: keeping start-ups and helping them



grow. Ms. Price described this as a culture of collaboration – working together to help companies find a good fit with the amenities they are looking for when they are thinking to relocate or expand.

Ms. Hemminger noted not everyone might know how we work together to move quickly on economic development opportunities. When an opportunity arises, manager, chair, economic development directors and the mayor meet to see if there is a consensus on a path forward and then we take it to our boards. She suggested making the joint statement the town and county are working together on economic development and we support start-ups coming to all Orange County. We are all working together to keep those and attract new ones. Ms. Price said when they do come here, she would like to make it public and celebrate the collaboration between town and county.

Ms. Hemminger asked if the thinking is the property will be sold by the end of the year. Mr. Myren shared that a letter of intent hasn't been negotiated yet. Ms. Hemminger requested notification as early as possible for public hearings, noting the importance of being prepared. She shared the information the town is trying to get the parking deck voted on in November.

Ms. Chotas asked for other items related to the topic area of economic development.

Mr. Jones and Ms. Clark shared handouts of the town's new affordable housing dashboard data, noting long-term, the more we can look at affordable housing as partners, the better. We're all facing this issue of new affordable housing – there needs to be more of a regional approach to it.

Ms. Hemminger asked if there were similar stats the county could provide. Ms. Hammersley said the information will be shared with the new Housing Director who will also share the county's data.

Ms. Hemminger reflected the affordable housing dashboard approach came out of the trip to Boulder where similar information was shared. We developed our own version and it was very helpful in setting the stage for the bond. The reality was we were always talking about affordable housing, but we had no clue where we were. We wanted to be able to quantify it, talk about it in the same terminology and make it so anyone could access the information. She expressed a hope for Carrboro, Hillsborough and the county to all have similar ways to share so we can see how we are all doing collectively.

Ms. Clark noted at the most recent meeting with the Coalition and the Collaborative, both Carrboro and Orange County provided information in a similar format and it's being identified as a priority with the Collaborative itself so joint measures will be available to track what the Collaborative is doing county-wide.

Ms. Hemminger asked if the topic of affordable housing with joint statistics could be on the agenda for the Assembly of Governments. Ms. Clark said the data could be packaged, if that's helpful.

Greene Tract, Resolutions, MOUs, Documents, What does Partnership look like for the town? Ms. Rich provided context for this discussion topic, noting the County Commissioners are concerned about what the town thinks the partnership looks like. She asked the town to identify what partnership on the Greene Tract looks like to them, noting we met for two and a half years and we thought we were on the same page, and turns out we weren't.

Ms. Hemminger responded from her perspective, elaborating we thought we were on a path together to do affordable housing on the Greene Tract, and we had certain steps in working through all the things that had happened in the Rogers Road community. Ms. Rich clarified that this wasn't about Rogers Road, but the question from the board is what does our partnership look like for the Greene Tract?

Ms. Hemminger responded it's not separate for the town because we had to spend a lot of staff time working with steps for the zoning compliance and not gentrification. We stopped to do a market analysis because the community was telling us one thing and we wanted to see if that was viable. We brought a consultant in and did community meetings to tell us what could go on the Greene Tract. We agreed to move the headwater lines around to preserve the sensitive areas. We were on that path as well and we voted to move those lines, but we didn't have the same agreement about what the blobs meant after that because we've had other things come up with the schools and the community saying we didn't notify them and that we haven't done an environmental impact study to see if the blobs are the size they're supposed to be. We've been on this path that we want to work on this together, but we ended up not being on the same timeline because we had more work to do that had to be done by our staff with the community.

Ms. Rich asked again for Chapel Hill to answer the question what does our partnership look like? What does the town of Chapel Hill partnership look like with Orange County and Carrboro? What does our partnership look like because it doesn't feel like we are partners right now – that's what the board wants to know. Ms. Price said to not include her with the board and asked Ms. Rich to indicate if she was representing herself or the board. Ms. Rich responded she was not representing herself, she was representing a majority of the board who wants to know what the partnership looks like.

Ms. Hemminger indicated it's two things and the town wears two hats. One hat is as joint owners of the land, which includes the fact that we want to offer affordable housing there together with our partners. We are also regulators of the land and we have to wear another hat at times where we want community input and certain standards met before we can move forward with partners on the site. Because of all of the things going on in our community, it is taking a longer time than what our developer partners want.

Ms. Rich said the question is how do we move forward together, being honest with each other and understanding we are partners? We met for two and a half years, we discussed something, we bring it forward and it was killed. We don't understand what partnership looks like.

Mr. Jones added an important component is making sure we are all operating with the same information. One of the concerns we've had recently is the question as to whether the Council voted to preserve the headwater reserve and also the joint preserve. They've done that twice now – in January and in July. That wasn't up for discussion, yet continues to come up. The one big question mark between where we are now and where we were before July is the Council has said we are in agreement with many issues, including: school site, public recreation, housing mixed use. The biggest difference seems to be where these will be.

Ms. Rich responded when we moved that resolution forward, nothing was binding as to where things were going to be. We weren't talking about affordable housing even though it was on the map and where it was suggested to be. The resolution was to move us to the next step to make sure we all could be involved in the environmental study and we all could be involved in community meetings. And we haven't – that has not happened.

Ms. Hemminger responded the Chapel Hill board felt having labels on a map predetermined what was going to happen there and they wanted a resolution – with help from the community – that said we have the same goals, but we are not willing to put labels on those goals in specific places on the map.

Mr. Jones reflected, by your account, we're even closer than I thought.

Ms. Rich agreed, but wondered what a partnership looks like and how to move forward together as partners. We were all involved in creating the environmental impact study and moving forward -- that was the whole part of meeting for two and a half years, but then it fell apart.

Mr. Jones noted the environmental study is supposed to be moving forward. At this point we have to figure out how to get our staffs to work together on it. We've reached out, but staff, understandably so, feel they haven't been directed to work on this yet because the new resolution hasn't been approved by the boards. Ms. Hammersley affirmed that is true. Mr. Myren added a staff level environmental study has been done. Mr. Jones said that the internal study doesn't seem to be what the boards are looking for. Mr. Myren added a whole staff team working through the exercise determined how the headwaters may be reconfigured.

Mr. Jones noted a good step is the deliverance of a draft MOU that is being reviewed. Ms. Hemminger said she thought the MOU sends a conflicting message and hasn't shared it with the whole board because she found it very negative. She said she thought we were going forward together and in the document the message is the county wants to divide it all up. We thought we were going toward affordable housing together. Ms. Rich interjected thank you for sharing that and explained it came out of the majority of County Commissioners not feeling like the conversations at the MMC were respected because there was an agreement that no community meetings would happen without all of the partners there.

Ms. Hemminger said we all did ourselves a disservice by not publishing the next steps out of the MMC meetings. Because the steps weren't published, the community didn't know about them and the community demanded this meeting in July. We were not prepared staff-wise for it and it disrupted our trajectory.

Ms. Rich added the town also had a community meeting and the partners weren't there. County staff and some stakeholders were present, but the town didn't have any elected officials [from the county].

Ms. Hemminger elaborated she didn't call the meeting, but got invited because she was bringing some stakeholders who had come in to talk. She said she was sorry that whole meeting happened – she indicated she didn't know what she didn't know about the rules of engagement on these things. At the MMC meetings, we need to document the steps we've agreed to and share with boards and the public so they know what the plan is. She noted she feels like what we are really disagreeing about is the timeline. I think we have the same goal list, but it might not happen in the time frame, but it will happen. We all want it to happen. Ms. Rich added she disagreed and didn't think it was just about the timeline.

Ms. Price reflected she would like the group to think more positively and assume we are all trying to do something good. She said positive thinking will help dispel suspicions and conspiracy theories.

Ms. Hammersley added in response to the draft of the governance document the county provided, it was her understanding the reason for it was because this isn't the first time there have been challenges. This has also happened back in the 2000s when we were moving forward and it stopped because we couldn't get in agreement. With the governance document, if we can't move forward, there's a way for us to turn our back on it and not just leave it. I don't know how you put that in a positive light when it's more or less a mediation document. It's also a draft and if it can be written in a more positive manner, make a proposal. We were asked to put it together by the group so that's what we did. As Travis said a number of times during that meeting, it's fine if you want to throw this draft away, but we do ultimately need a document. The first agreement doesn't give anybody information about what to do if we all don't agree. We're sorry if we offended anybody by it being negative. We hope it's going to work out, but if it doesn't, what do we do as partners?

Mr. Jones reflected that was why he thought it was a good first step, noting even if we disagree with some elements of it, this is an opportunity to respond back. Ms. Hammersley added it's up to the attorneys to work it out.

Ms. Rich elaborated it's important to remember when the collaborative started, the Greene Tract was not in the ETJ. The history of the Greene Tract was Ralph Karpinos would not let Chapel Hill spend any money on Rogers Road or the Greene Tract, unless it was in the ETJ. No one wanted it to happen, but it got put in because that was the only way Chapel Hill could spend money on sewer, the community house and on affordable housing on the Greene Tract.



Ms. Hammersley added it was very recent – 2015. Ms. Rich stated she understood the town had to wear different hats, but emphasized ultimately the town also has to work with what the partnership looks like because we were partners way before the Greene Tract was in the ETJ.

Ms. Hemminger said the town still wants to be partners and disagreed with Ms. Rich's statement. From her perspective, the MOU stopped the town from moving forward on the environmental impact study because they said they wanted that first. If we were to stop doing everything we wanted to do to move the housing part forward, she said she felt that was a roadblock. Mr. Jones added technically the town stopped because we weren't getting the cooperation needed.

Ms. Chotas shared her observation it seemed there was common ground being identified throughout the conversation and she saw some openings for building the partnership back up and strengthening the collaboration. She advised you can do both: plan for worst case scenarios while working toward your vision.

Ms. Rich added it's important to have these conversations with the other partner and we could take the notes from this Work Group meeting to the MMC meeting in November.

Ms. Anderson said it seems like another next step is to have foundational information so everyone is operating from the same facts. In watching the county meeting last night, she observed folks were asking for the differences between the resolutions and other foundational information. There seemed to be a lot of misconceptions and misinformation. To move forward either way, people need to operate with the same information.

Ms. Hemminger emphasized the importance of having information at the MMC meetings and producing next steps to share back with boards and the public.

Ms. Rich added the topic needs to be on the Assembly of Governments agenda, no matter where things stand, so we can discuss it together.

Mr. Myren described how in the introduction to the governance document, he tried to lay out the differences in the resolutions. He asked if the Work Group would be comfortable sharing just that part of it to the boards, with the attached resolutions. If so, everybody would know what everybody else does. Mr. Myren requested Work Group members look at the introduction in that light and let the county know if they are comfortable sharing the information with the boards.

#### Climate Action

Ms. Hemminger asked for more information about the parameters with the new tax to have an understanding of what it can be used for. Ms. Rich responded the group just had their first meeting and Chapel Hill has a representative on the committee. She further elaborated the county is relying on countywide groups for recommendations about what to spend the tax on and County Commissioners will have it as an agenda item.

### Identifying next steps

Participants clarified the next steps coming out of the session.

| Topic                                  | Action Step  |
|--|--|
| 1. Transit                             | Along with Hillsborough and Carrboro, Ms. Hemminger will send the county a formal request for representation on the voting structure for transit.  |
| 2. 2020 Census                         | The Census Committee will be asked to develop a report to be made available before the Assembly of Government meeting.   |
| 3. Library Funding                     | The town will make a formal request by February/March that includes data beyond Chapel Hill users of the library.  |
| 4. Economic Development                | Continue working toward a culture of collaboration by: <ul style="list-style-type: none"> <li>- Communicating as soon as possible when public hearings are scheduled – before actual agenda comes out;</li> <li>- Sharing affordable housing information gathered by the town with the new county housing director and other towns;</li> <li>- Working toward parallel data regarding affordable housing in the county.</li> </ul> |
| 5. Greene Tract                        | <ul style="list-style-type: none"> <li>- Bring relevant parts of the Work Group minutes to the MMC meeting.</li> <li>- Share foundational information – including background information from the MOU draft, if Work Group members are comfortable with that approach – let the county know.</li> </ul>  |
| 6. Materials Recycling Program         | <ul style="list-style-type: none"> <li>- Refer to the Solid Waste Advisory Group and the Commission on the Environment.</li> </ul>   |
| 7. 611                                 | <ul style="list-style-type: none"> <li>- Continue to gather information and revisit at a later time.</li> </ul>  |
| 8. Assembly of Government agenda items | <ul style="list-style-type: none"> <li>- Affordable housing.</li> <li>- Greene Tract.</li> </ul>   |

### Informational Updates

Mobil Parks: Efforts are ongoing.

Wegmans: Limited SUP. Staff can have a conversation if there's an interest in reducing parking spaces.

BRT: Close to finishing up 30% design, still some traffic considerations Council will review. Had community engagement activities in September. Waiting to hear back from the federal government in January/February. Talked to David Price about this.

### Evaluating the session

The facilitator asked participants to reflect on what worked well about this session and what they would like to see changed for the next one. A confidential electronic evaluation was also distributed.

|  |  |
|--|--|
| <p>What worked well?</p> <ul style="list-style-type: none"><li>- Got through a lot of ideas.</li><li>- Listing next steps is helpful.</li><li>- Identifying what we want to bring to the Assembly of Governments meeting.</li><li>- Good that we could actually talk about our differences – that's where trust and honesty comes out.</li></ul> | <p>What to consider changing?</p> <ul style="list-style-type: none"><li>- Have materials to talk about ahead of time.</li><li>- Consider including Carrboro for relevant discussions, such as transportation and the Greene Tract.</li></ul> |
|--|--|



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

**Item #:** 10., **File #:** [20-0016], **Version:** 1

**Meeting Date:** 1/8/2020

### Charting Our Future - Consider Changes to Draft Focus Area Maps and Principles.

**Staff:**

Judy Johnson, Interim Director  
Alisa Duffey Rogers, LUMO Project Manager

**Department:**

Planning

**Overview:** During Fall 2019, staff held community engagement opportunities on the draft Focus Area Maps and Principles and presented an update on engagement results to the Council in November. Tonight, staff will present suggested changes to the draft Focus Area Maps and Principles based on community input and the Town Council's Work Session on November 18, 2019.



**Recommendation(s):**

That the Council adopt the attached resolution authorizing the Town Manager to make changes to the September 5, 2019 draft Focus Area Maps and Principles.

**Key Recommendations:**

- For the North 15-501 Focus Area:
  - Designate the American Legion Property as "Area subject to concurrent planning process;" and,
  - Remove South Estes Public Housing Community from the Focus Area and retain the existing Land Use Category, which is Medium Density Residential.
- For Downtown Focus Area:
  - Limit the building height on the north side of West Rosemary Street to four stories with no permitted core height;
  - Limit core height to eight stories throughout Downtown;
  - Limit height at the front setback line to three stories along West Franklin; and,
  - Remove parcels along Spring Lane from the Focus Area.
- For Martin Luther King Jr. Blvd from I-40 to Hillsborough Street:
  - At larger Bus Rapid Transit Stations, move buildings (development) closer to the street and between these BRT stations, buildings are pushed back with significant front yard landscaping.
- For South Martin Luther King Jr. Blvd Focus Area:
  - Increase building heights from Downtown to Hillsborough Street to permit an extension of Downtown northward along Martin Luther King Jr. Boulevard.



**Attachments:**

- Resolution
- Draft Staff Presentation
- Staff Report
- Draft Focus Area Map for Approach Only
- Downtown - Removal of Parcels along Spring Lane
- North 15-501 Proposed Changes



**A RESOLUTION AUTHORIZING THE TOWN MANAGER TO MAKE REVISIONS TO THE SEPTEMBER 5, 2019 DRAFT FOCUS AREA MAPS AND PRINCIPLES IN RESPONSE TO COMMUNITY INPUT (2020-01-08/R-3)**

WHEREAS, on April 5, 2017, the Council for the Town of Chapel Hill initiated a project to Rewrite the Town's Land Use Management Ordinance (LUMO) and requested that the ordinance rewrite process begin with an effort to refine the Town's Future Land Use Map (FLUM); and

WHEREAS, since the Council has worked to produce a draft Future Land Use Map for the past year and a half in order to communicate a vision for Chapel Hill in 2049; and

WHEREAS, on June 26, 2019, the Council for the Town of Chapel Hill authorized the Town Manager to engage with the community on the draft Future Land Use Map, which includes the Focus Area Maps and Principles; and

WHEREAS, on November 20, 2019, the Council received an update on the preliminary feedback received during engagement opportunities on the September 5, 2019 draft of the Focus Area Maps and Principles.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Town Manager to make the following changes to the **North 15-501 Focus Area Map**:

- a. Remove the Parks & Green/Gathering Space designation on the south side of Estes Drive except where the Town owns parcels, such as the Community Park, or expects to own parcels in the near future;
- b. Depict the area on the west side of Summerfield Crossing, which is located in the floodplain, as Parks & Green/Gathering Spaces;
- c. Remove the designation for the American Legion Property and label as "Area subject to concurrent planning process" and,
- d. Remove the South Estes Drive Public Housing Community from the Focus Area and retain the existing Land Use Category, which is Medium Density Residential.

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Town Manager to make the following changes to the **Downtown Focus Area Map**:

- a. The north side of West Rosemary Street is limited to four stories with no permitted core height;
- b. The upper limit for Downtown core heights is eight stories;
- c. Along West Franklin, the height limit is limited to three stories at the front setback line; and,
- d. Removal of the parcels on the north side of E. Rosemary, east of Spring Lane from the Focus Area and include the area in the new Traditional University Supportive Uses Land Use Category.

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Town

Manager to make the following change to the **North & South Martin Luther King, Jr. Blvd Focus Areas**. At larger Bus Rapid Transit Stations, move buildings (development) closer to the street and between these Bus Rapid Transit Stations, push buildings back with significant front yard landscaping.

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Town Manager to make the following changes to the **South Martin Luther King, Jr. Blvd Focus Area Map**:

- a. Depict land uses that reinforce the goal to extend Downtown to Hillsborough Street; and,
- b. From Rosemary to Hillsborough Street, permit core building heights up to eight stories with four stories at the front setback line.

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Town Manager to increase the allowable building height at the corner of NC 54 and Fordham Road to six stories in the **NC 54 Focus Area**.

This the 8<sup>th</sup> day of January, 2020.

---

**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

PRESENTER: Alisa Duffey Rogers, LUMO Project Manager

RECOMMENDATION: That the Council adopt the attached resolution authorizing the Town Manager to make changes to the September 5, 2019 draft Focus Area Maps and Principles.

# Town Council

Changes to DRAFT

Focus Area Maps & Principles

**January 8, 2020**

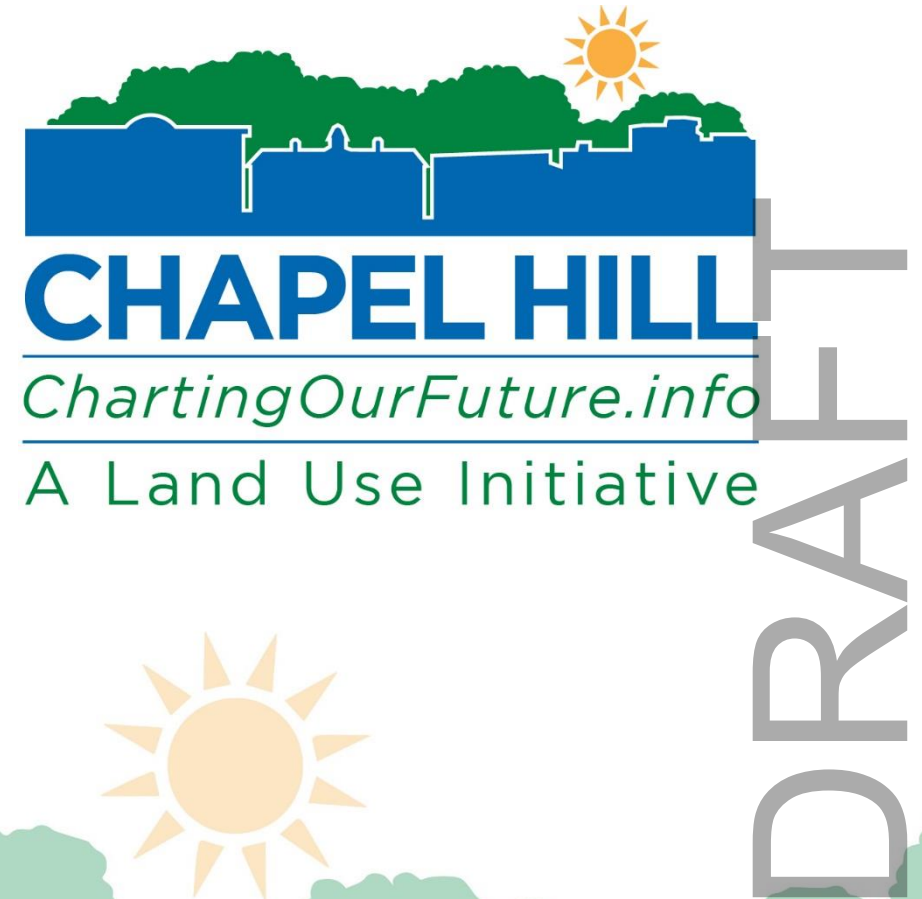


DRAFT



## Recommendation:

**That the Council adopt the attached resolution authorizing the Town Manager to make changes to the September 5, 2019 draft Focus Area Maps and Principles.**





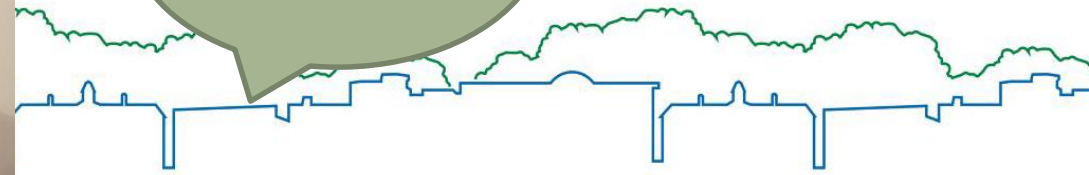
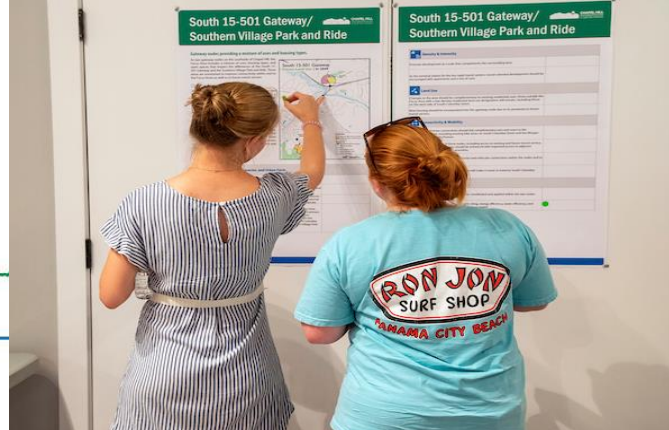
# Areas of Agreement

- Great streetscapes
- Mature tree canopy
- Sensitive transitions
- Civic spaces, parks, and opportunities for personal connections
- Creation of a sense of place
- Equitable development
- Multi-modal connectivity
- Environmental sustainability and resiliency best practices

“Design such that people actually want to walk, bike from place to place”

“Please be mindful of the height transitions to the lesser-intensity neighborhoods.”

“Greenspace please”



# Areas of Ongoing Discussions – Development Considerations

- Downtown
- Maximum Heights

“High rise, high density apt. are not a solution for a...liveable town...People prefer raising a family in ...neighborhoods,[like Southern Village].”

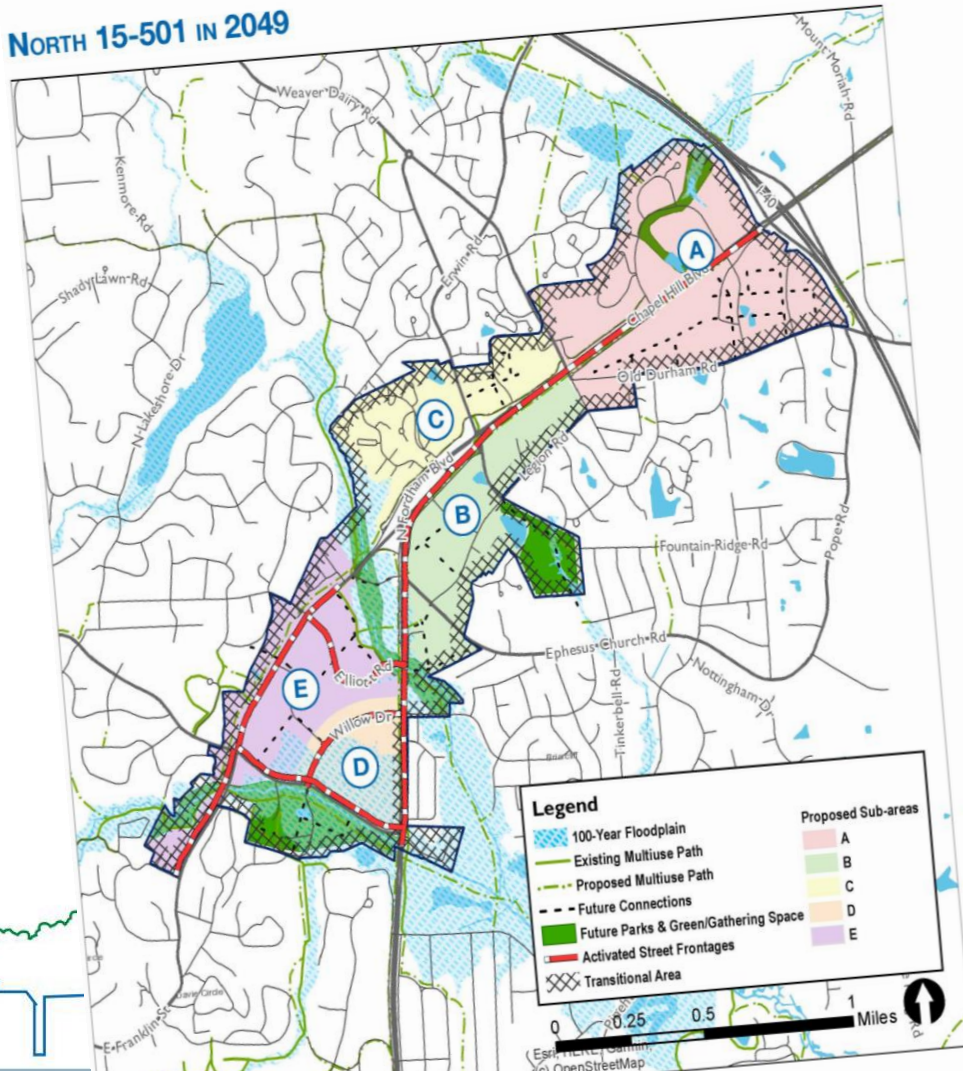




# New Approach to Focus Area Maps

CHARTING OUR FUTURE  
A Land Use Initiative

## NORTH 15-501 IN 2049



## Character Types and Height

● Primary ○ Secondary ⊖ Discouraged

|                                  | Sub-Area A   | Sub-Area B   | Sub-Area C   | Sub-Area D                                       | Sub-Area E  |
|----------------------------------|--|--|--|--|---|
| Multifamily, Shops & Offices     | ●  | ●  | ○  | ●  | ●   |
| Multifamily Residential          | ●  | ●  | ○  | ●  | ○   |
| Commercial/Office                | ●  | ○  | ○  | ●  | ●   |
| Parks and Green/Gathering Spaces | ●  | ●  | ○  | ○  | ○   |
| Townhouses & Residences          | ○  | ○  | ●  | ○  | ○   |
| Institutional/Civic              | ○  | ○  | ○  | ○  | ○   |
| Light Industrial                 | ⊖  | ⊖  | ⊖  | ⊖  | ⊖   |
| Typical Height                   | Typically up to 4 stories, with 6 stories allowed along activated street frontages and near transit stations | Up to 6 stories fronting 15-501, with 4 stories maximum in the transitional area | Up to 6 stories fronting 15-501, transitioning to 2-4 stories in the transitional area | Up to 4 stories along activated street frontages | Up to 4 stories allowed. Up to 6 stories allowed as a step-back along activated street frontages. |

## Definitions

### Activated Street Frontages

Activated street frontages are frontages where there is an active visual engagement between those in the street and those on the ground floors of buildings or in civic spaces, with no parking between the street frontage and the building/civic space, and lively internal uses visible and accessible from the activated space.

In some cases, active frontages may mean that retail and services should be allowed on the first floor within residential character types. Active frontages may also be encouraged along future connections including multi-modal ones. When creating active frontages, it must be recognized that appropriate activation will differ by place and circumstance.

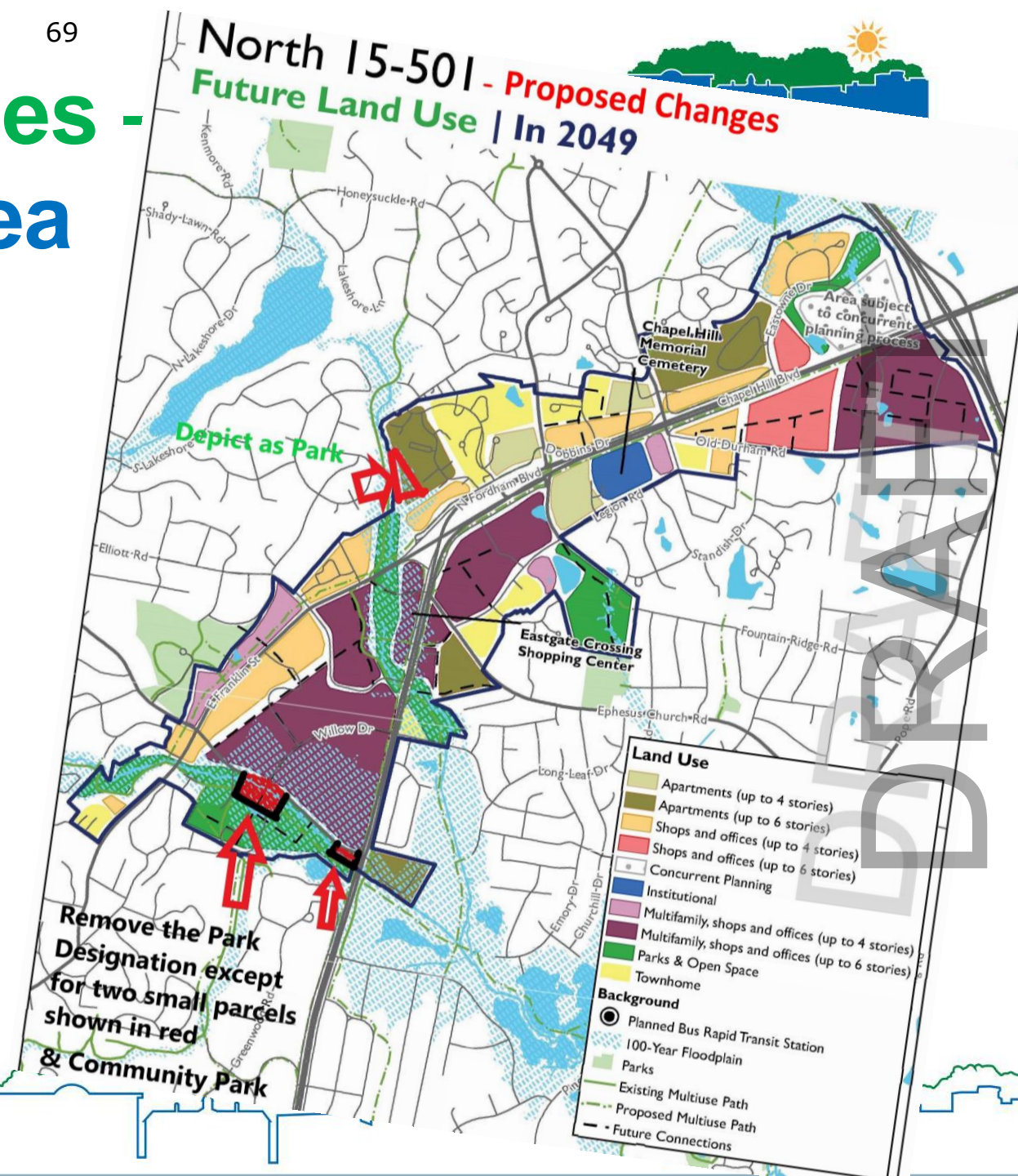
### Transitional Area

This Focus Area strives for harmonious transitions between different types and intensities of land uses as well as built form in order to help mitigate undesirable impacts that a development might have on an adjacent site or use. The Transitional Area is intended to identify areas where lower-intensity uses or development patterns may be appropriate to create a buffer between higher-intensity development and single-family neighborhoods. For additional direction, see the Guiding Statements.

DRAFT

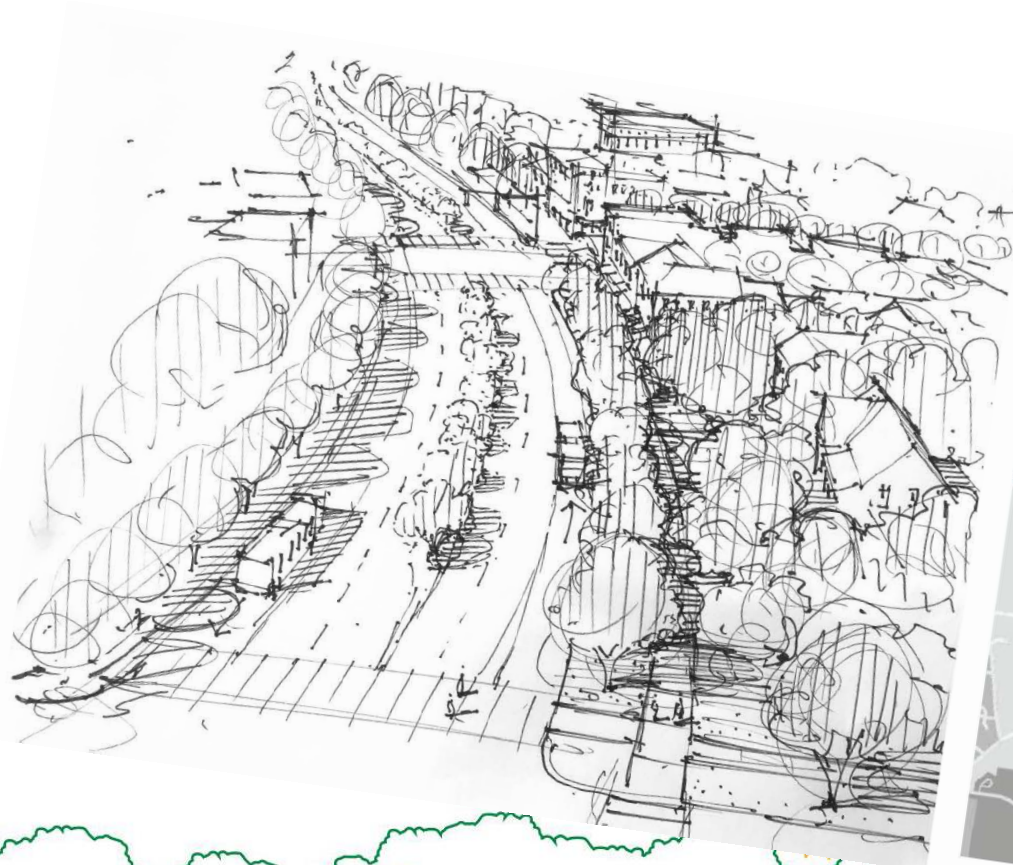


- Remove the Parks designation on the south side of Estes Drive except for Town owned parcels
- Depict the area on the west side of Summerfield Crossing as Parks;
- Label American Legion Property as “Area subject to concurrent planning process”
- Remove the S. Estes Dr. Public Housing Community from the Focus Area & retain Medium Density Residential Land Use Category



# Proposed Major Changes – North & South MLK

- At larger BRT Stations, move buildings closer to the street to create highly functional, walkable destinations for both transit riders & adjacent neighborhoods
- Between these BRT stations, push buildings back with significant front yard landscaping





# Proposed Major Changes – South MLK

Extend Downtown to Hillsborough Street:

- Depict land uses that reinforce the goal to extend Downtown to Hillsborough Street
- From Rosemary to Hillsborough Street, permit core building heights up to eight stories with four stories at the front setback line



# Proposed Major Changes – Downtown

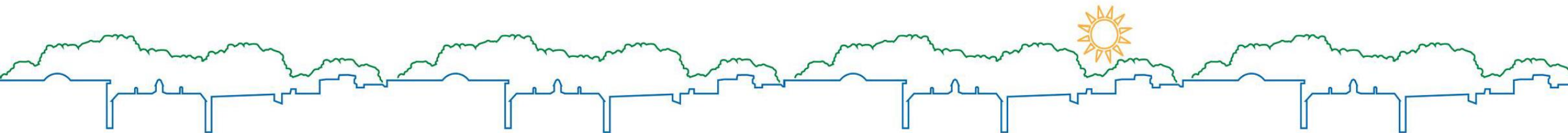
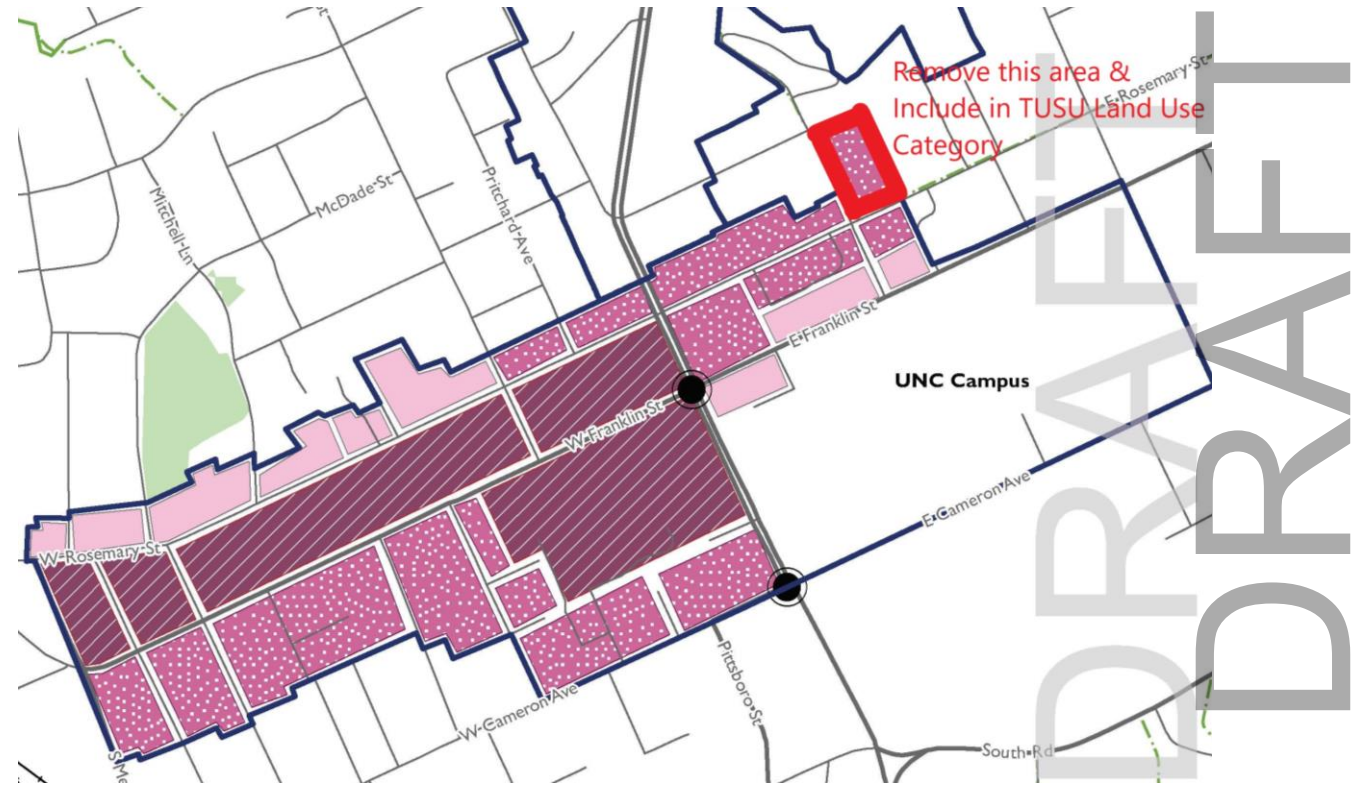
- The north side W. Rosemary limited to four stories with no permitted core height
- Core heights limited to eight stories
- Along W. Franklin, limit height at the front setback line to three stories





# Proposed Major Changes – Downtown

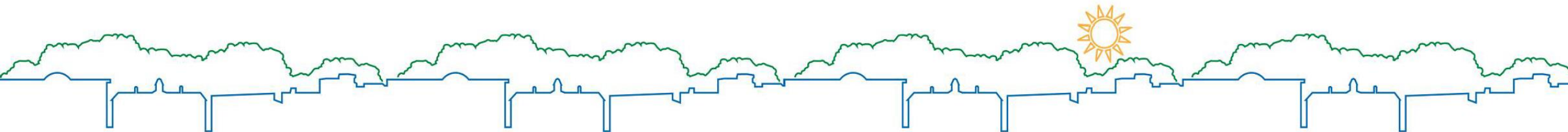
Remove the parcels on the north side of E. Rosemary, east of Spring Lane from the Focus Area & include the area in the new Traditional University Supportive Uses Land Use Category



# Next Steps

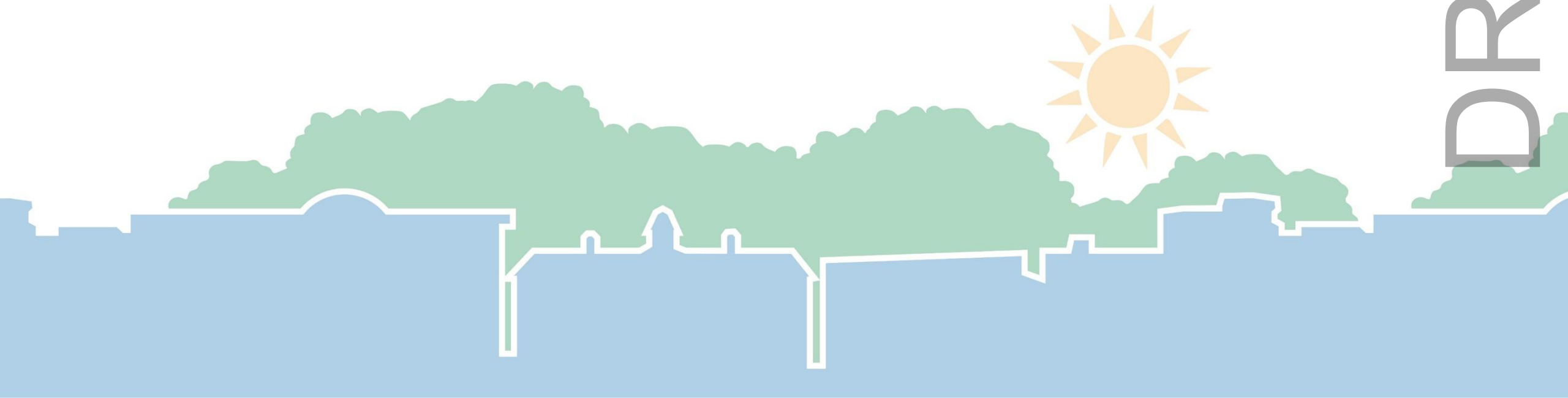
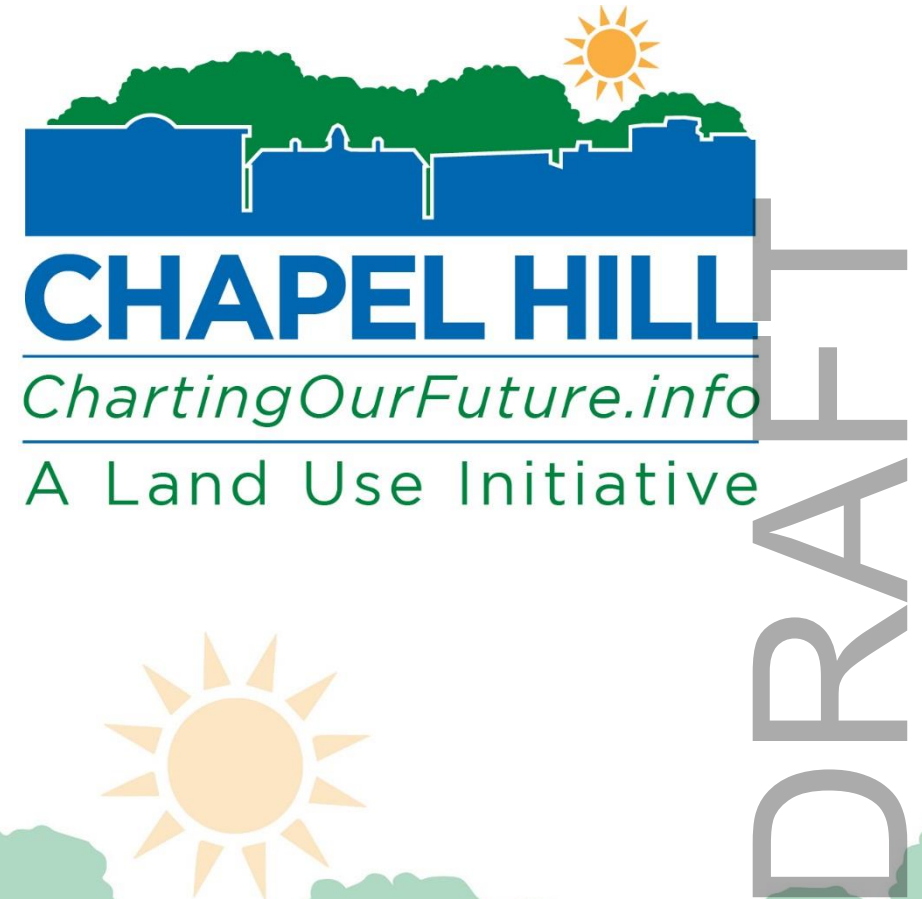
- Remaining Future Land Use Map (FLUM) components:
  - ❖ Precedent images of Character Types;
  - ❖ Revised Map Book; and,
  - ❖ Revised Guiding Statements
- Revised Focus Area Maps & Principles in early February

DRAFT



## Recommendation:

**That the Council adopt the attached resolution authorizing the Town Manager to make changes to the September 5, 2019 draft Focus Area Maps and Principles.**







## Charting Our Future – Consider Changes to the DRAFT Focus Area Maps & Principles.

**Staff:**

Judy Johnson, Interim Director  
Alisa Duffey Rogers, LUMO Project Manager

**Department:**

Planning

**Background:**

- On [April 5, 2017](#)<sup>1</sup>, the Town Council initiated a project to Rewrite the Town’s Land Use Management Ordinance (LUMO). The Town Council requested that the ordinance rewrite process begin with an effort to refine the Future Land Use Map (FLUM), called the Land Use Plan in *Chapel Hill 2020*, to affirm what is not expected to change and to provide an opportunity to have conversations about future planning that would inform the LUMO Rewrite process.
- Since the beginning of 2019, the Town Council has reviewed the various components of the refined Future Land Use Map. This review included the [Guiding Statements on March 13, 2019](#)<sup>2</sup> and the [Blueprint](#)<sup>3</sup> or “rough draft” of the Focus Area Maps and Principles on May 1, 2019. The Council Committee on Economic Sustainability also reviewed drafts of this Blueprint on [April 5, 2019](#)<sup>4</sup> and June 7, 2019.
- On [June 26, 2019](#)<sup>5</sup>, the Town Council authorized staff to engage with the community on the draft Future Land Use Map.
- The Town Council discussed substantive changes to the Focus Area Maps, in order to make the maps less prescriptive, at a work session on [November 18, 2019](#)<sup>6</sup> and generalized findings from the engagement activities on the DRAFT Focus Area Maps and Principles on [November 20, 2019](#)<sup>7</sup>.
- The Council Committee of Economic Sustainability, on [December 13, 2019](#)<sup>8</sup>, reviewed a “test” Focus Area Map to determine if this revised approach made the Focus Area Maps less prescriptive while also meeting the Project goals of predictability, functionality, and intentionality.

<sup>1</sup> [http://chapelhill.granicus.com/MetaViewer.php?view\\_id=7&clip\\_id=3077&meta\\_id=156700](http://chapelhill.granicus.com/MetaViewer.php?view_id=7&clip_id=3077&meta_id=156700)

<sup>2</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3881199&GUID=00667D70-C56A-4704-BF59-DD4EB508470A&Options=&Search=>

<sup>3</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3931189&GUID=BF305E95-EA99-4343-B43C-32279777CBB5&Options=&Search=>

<sup>4</sup> <https://www.townofchapelhill.org/businesses/council-economic-sustainability-committee>

<sup>5</sup> <https://www.townofchapelhill.org/Home/Components/Calendar/Event/15075/15?curm=6&cury=2019>

<sup>6</sup> <https://www.townofchapelhill.org/Home/Components/Calendar/Event/17071/15?curm=11&cury=2019>

<sup>7</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4244231&GUID=F49AEFE9-F8FF-4D5D-A5EC-A357EEE7729A>

<sup>8</sup> <https://www.townofchapelhill.org/businesses/council-economic-sustainability-committee>



# Staff Memorandum



**Planning Commission Recommendation:** Staff met with the sub-committee of the Planning Commission six times to facilitate their discussions on the September 5, 2019 draft Focus Area Maps and Principles. The Planning Commission formed this sub-committee in order to take a deep dive into the draft and bring back their recommendations to the full Planning Commission. The Planning Commission began discussing the recommendations from the sub-committee on December 3 and will conclude their discussions on January 7, 2020.

## Changes to Focus Area Maps & Principles

### Changes to Focus Area Maps Applicable to all Focus Areas:

At the Council Committee on Economic Sustainability, the Committee reviewed a “test map” for a new approach to the Focus Area Maps. This new approach separates the Focus Areas into sub-areas and lists the appropriate Character Types within those sub-areas. (See the attachment labelled “DRAFT FOR APPROACH ONLY”.) If the Council formally endorses this revised approach this evening, the Project consultant, which is Kimley-Horn, will prepare revised maps for each Focus Area. This change to less prescriptive Focus Area Maps will address many community comments. Other general Focus Area Map changes requested by community include:

1. On the Focus Area Maps, depict the areas subject to Development Agreements and the terms for those Agreements;
2. Ensure labels are properly located, especially the label for the Chapel Hill cemetery; and,
3. Include in the Legend, “See the Mobility Plan for more information about proposed transportation improvements.”

Add the following Focus Area Principles to all Focus Areas:

1. In general, building height and massing, at the front setback line, as well as the streetscape should be roughly the same on both sides of the street in order to properly frame the street. In some instances, the core heights may differ from one side of the street to the other due to site constraints and surrounding land uses.
2. In order to ensure a human-scaled built environment, as building height increases at the front setback line, sizable street trees, breaks in street walls, and wider sidewalks should be utilized, as appropriate to the surrounding context.
3. Utilize climate responsive design including green infrastructure, green stormwater infrastructure (including within Town rights of way), living landscapes, and other vegetative solutions to mitigate the urban heat island effect and create more shaded and walkable streets throughout the Town as well as to mitigate flooding and stormwater concerns.
4. As large parcels redevelop, regulating plans, which include a street/multi-modal grid, should be provided in order to address connectivity and activation.





Add the following for Focus Areas containing Gateways to Town:

For the Focus Areas that contain gateways to Town, North Martin Luther King Jr.; North 15-501; NC 54; and South 15-501 Gateway, add the following Focus Area Principle:

Because the Town is a Tree City USA, as designated by the Arbor Day Foundation, significant tree stands at Town entrances, as appropriate to the location, should be maintained and/or enhanced. For example, when entering Town from the rural buffer, dense development may be jarring, and consequently, density should build from the edge of the rural buffer toward the more developed portions of Town. In all instances, the entrances to Town must signal that you have entered a different and distinct community and must demonstrate the uniqueness that is Chapel Hill.

## Changes Specific to Each Focus Area

Below, listed by Focus Area, are suggested map changes and changes to the Focus Area Principles. These changes are compiled from the community input received during recent engagement opportunities. (Contextual information pertinent to the change is included in parenthesis next to the suggested change)

### 1. North 15-501 Focus Area

- a. Remove the Parks & Green/Gathering Space designation on the south side of Estes Drive except where the Town owns parcels, such as the Community Park, or expects to own parcels in the near future; (See Map labelled N. 15-501 – Proposed Changes)
- b. Depict the area on the west side of Summerfield Crossing, which is located in the floodplain, as Parks & Green/Gathering Spaces; (See Map labelled N. 15-501 – Proposed Changes)
- c. Show the outline of the Blue Hill District on the N. 15-501 Focus Area Map;
- d. Remove the designation for the American Legion Property and label as “Area subject to concurrent planning process” and,
- e. Remove the South Estes Drive Public Housing Community from the Focus Area and retain the existing Land Use Category, which is Medium Density Residential.

### 2. Downtown

- a. The north side of West Rosemary should be limited to four stories with no permitted core height;
- b. The upper limit for Downtown core heights should be eight stories (The current limit in the Land Use Management Ordinance is:
  - TC-1 – 44 feet at the front setback/Core height of 60 feet
  - TC-2 – 44 feet at the front setback /Core height of 90 feet
  - TC-3 – 44 feet at the front setback /Core height of 120 feet)





- c. Along West Franklin, the height limit should be 3 stories at the front setback line. (The current limit is 44 feet);
- d. Include in the map key or the Sub-Area Matrix the following:  
“Adjacent to lower scale residential uses, step backs or other transitional methods are usually necessary to ensure harmonious transitions.”
- e. Remove the parcels on the north side of E. Rosemary, east of Spring Lane from the Focus Area and include the area in the new Traditional University Supportive Uses Land Use Category. (See the map labelled Downtown – Removal of Parcels along Spring Lane.)
- f. Overlay the Historic Districts on the Downtown Focus Area Map and revise the text to reflect the influence of these Historic Districts on the Downtown.
- g. Include the following Focus Area Principle:

When core heights are utilized, large step backs from the front façade are desirable to create a more human-scaled public realm;

### 3. North & South Martin Luther King, Jr. Blvd.

For both the North and South Martin Luther King Jr. Boulevard Focus Areas from I-40 to Hillsborough Street, update the vision for these areas to explicitly state that the vision for this corridor as follows:

At larger Bus Rapid Transit Stations, move buildings (development) closer to the street in order to create highly functional, walkable destinations for both transit riders and adjacent neighborhoods. Between these BRT stations, buildings are pushed back with significant front yard landscaping.

### 4. South Martin Luther King, Jr. Blvd.

- a. To reinforce the goal to extend Downtown to Hillsborough Street:
  - i. Depict land uses that reinforce the goal to extend Downtown to Hillsborough Street;
  - ii. From Rosemary to Hillsborough Street, permit core building heights up to eight stories with four stories at the front setback line; and,
  - iii. Include in the map key or the Sub-Area Matrix the following:  
“Adjacent to lower scale residential uses, step backs or other transitional methods are usually necessary to ensure harmonious transitions.”
- b. As previously decided, remove the Glenn Heights neighborhood from the S. Martin Luther King Jr. Focus Area.





5. **NC 54** – Increase the building height at the corner of NC 54 and Fordham Road to six stories
6. **South 15-501 Gateway/Southern Village Park and Ride** – No changes except change the name to reflect the new name of S. Columbia and include the parcels adjacent to Southern Village as previously discussed on October 2, 2019.

## Next Steps:

Regarding the remaining Future Land Use Map (FLUM) components, discussion and consideration of the following elements remain:

1. Precedent images of Character Types;
2. Revised Map Book; and,
3. Revised Guiding Statements.

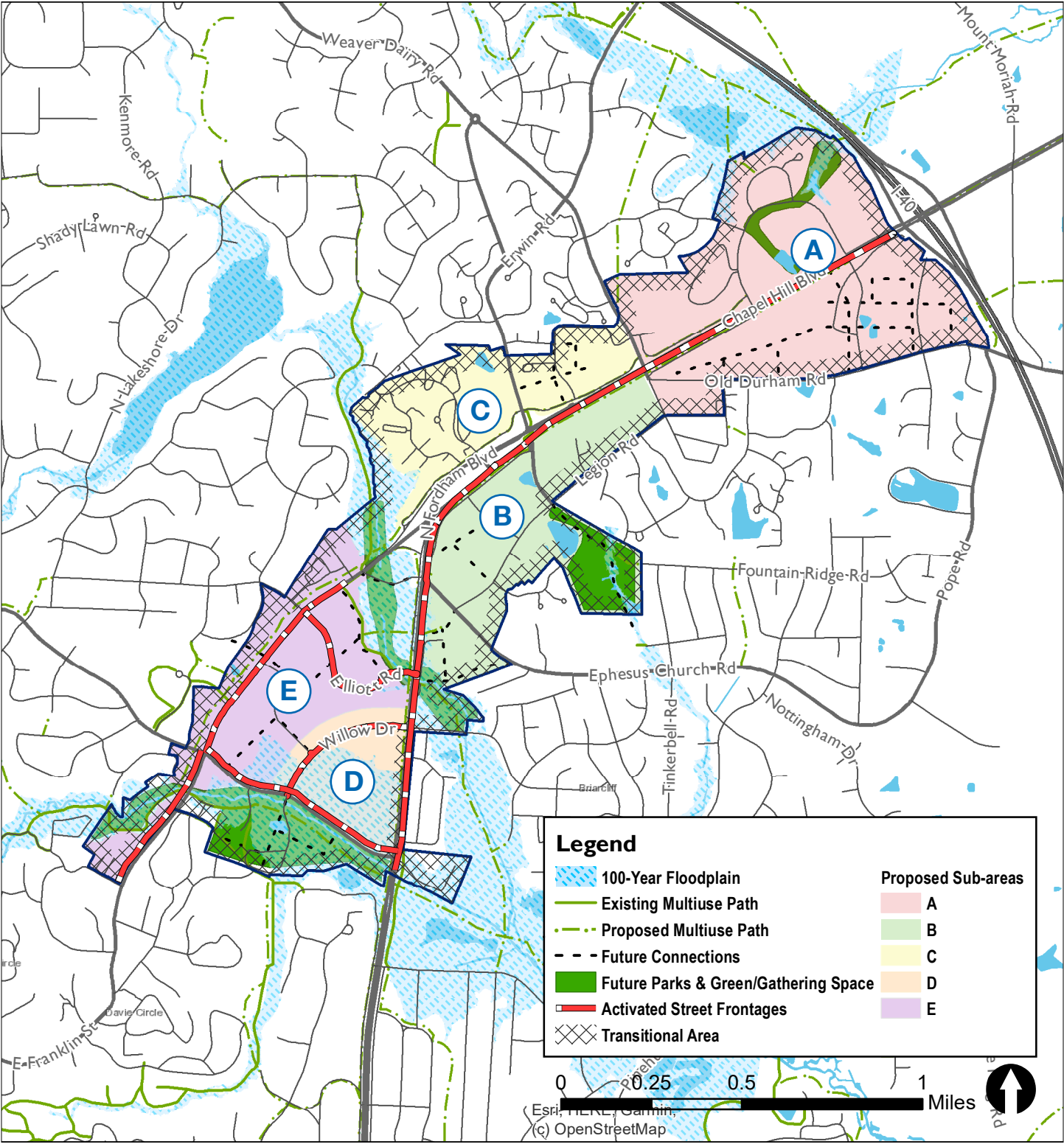
Staff intends to hold open houses in the near future for both the Precedent Images and the Map Book, and additional discussion on the Guiding Statements is forthcoming in February, as currently planned. Staff anticipates having revised Focus Area Maps and Principles available for Council review in early February.







NORTH 15-501 IN 2049



Character Types and Height

Primary   Secondary   Discouraged

|                                  | Sub-Area A   | Sub-Area B   | Sub-Area C   | Sub-Area D                                       | Sub-Area E  |
|----------------------------------|--|--|--|--|---|
| Multifamily, Shops & Offices     | Primary  | Primary  | Secondary  | Primary  | Primary   |
| Multifamily Residential          | Primary  | Primary  | Primary  | Secondary  | Secondary   |
| Commercial/Office                | Primary  | Secondary  | Secondary  | Primary  | Secondary   |
| Parks and Green/Gathering Spaces | Primary  | Primary  | Secondary  | Primary  | Primary   |
| Townhouses & Residences          | Secondary  | Secondary  | Primary  | Secondary  | Secondary   |
| Institutional/Civic              | Secondary  | Secondary  | Secondary  | Secondary  | Secondary   |
| Light Industrial                 | Discouraged  | Discouraged  | Discouraged  | Discouraged                                      | Discouraged   |
| Typical Height                   | Typically up to 4 stories, with 6 stories allowed along activated street frontages and near transit stations | Up to 6 stories fronting 15-501, with 4 stories maximum in the transitional area | Up to 6 stories fronting 15-501, transitioning to 2-4 stories in the transitional area | Up to 4 stories along activated street frontages | Up to 4 stories allowed. Up to 6 stories allowed as a step-back along activated street frontages. |

Definitions

Activated Street Frontages

Activated street frontages are frontages where there is an active visual engagement between those in the street and those on the ground floors of buildings or in civic spaces, with no parking between the street frontage and the building/civic space, and lively internal uses visible and accessible from the activated space.

In some cases, active frontages may mean that retail and services should be allowed on the first floor within residential character types. Active frontages may also be encouraged along future connections including multi-modal ones. When creating active frontages, it must be recognized that appropriate activation will differ by place and circumstance.

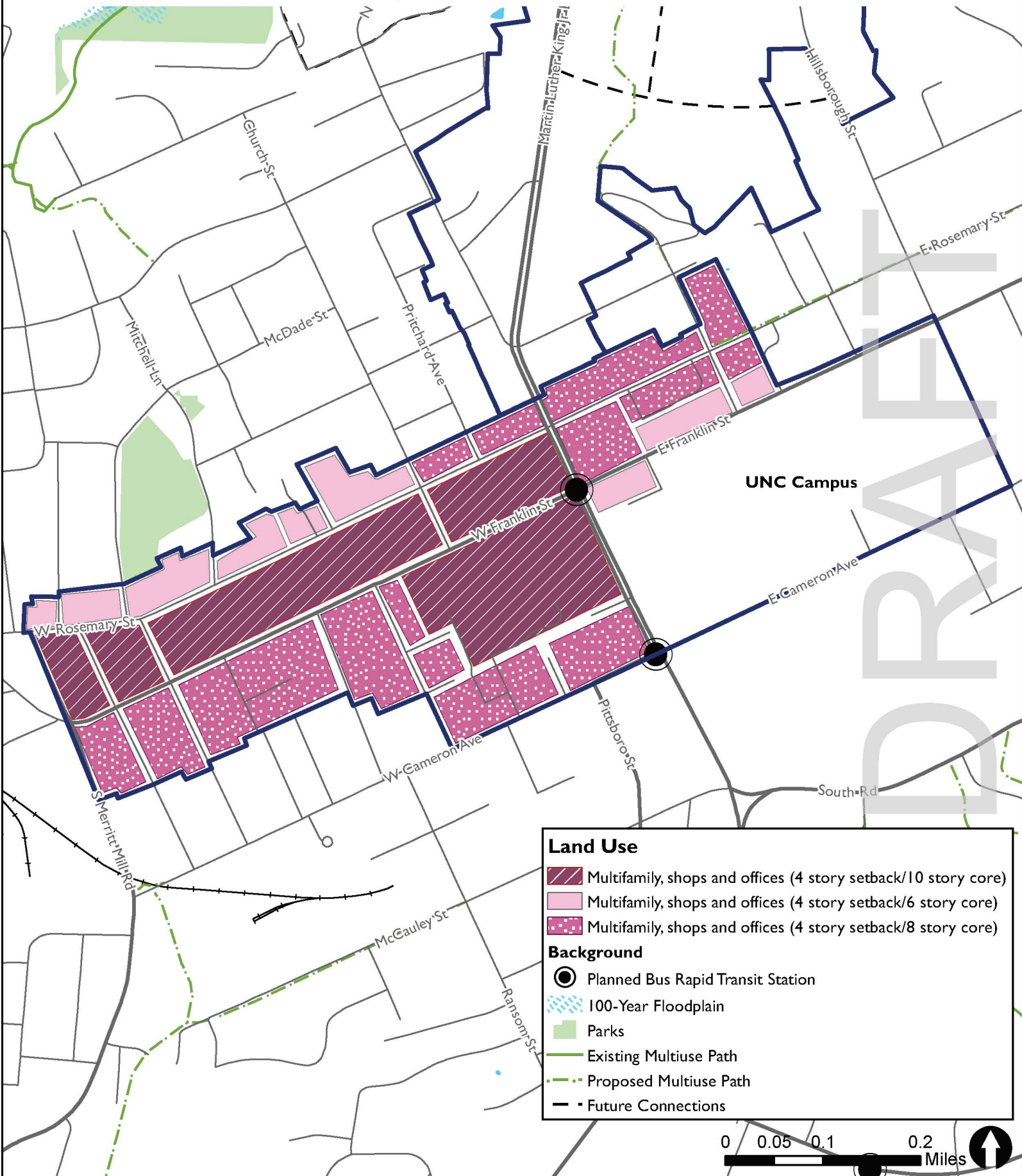
Transitional Area

This Focus Area strives for harmonious transitions between different types and intensities of land uses as well as built form in order to help mitigate undesirable impacts that a development might have on an adjacent site or use. The Transitional Area is intended to identify areas where lower-intensity uses or development patterns may be appropriate to create a buffer between higher-intensity development and single-family neighborhoods. For additional direction, see the Guiding Statements.

# Downtown

Removal of Parcels along Spring Ln.

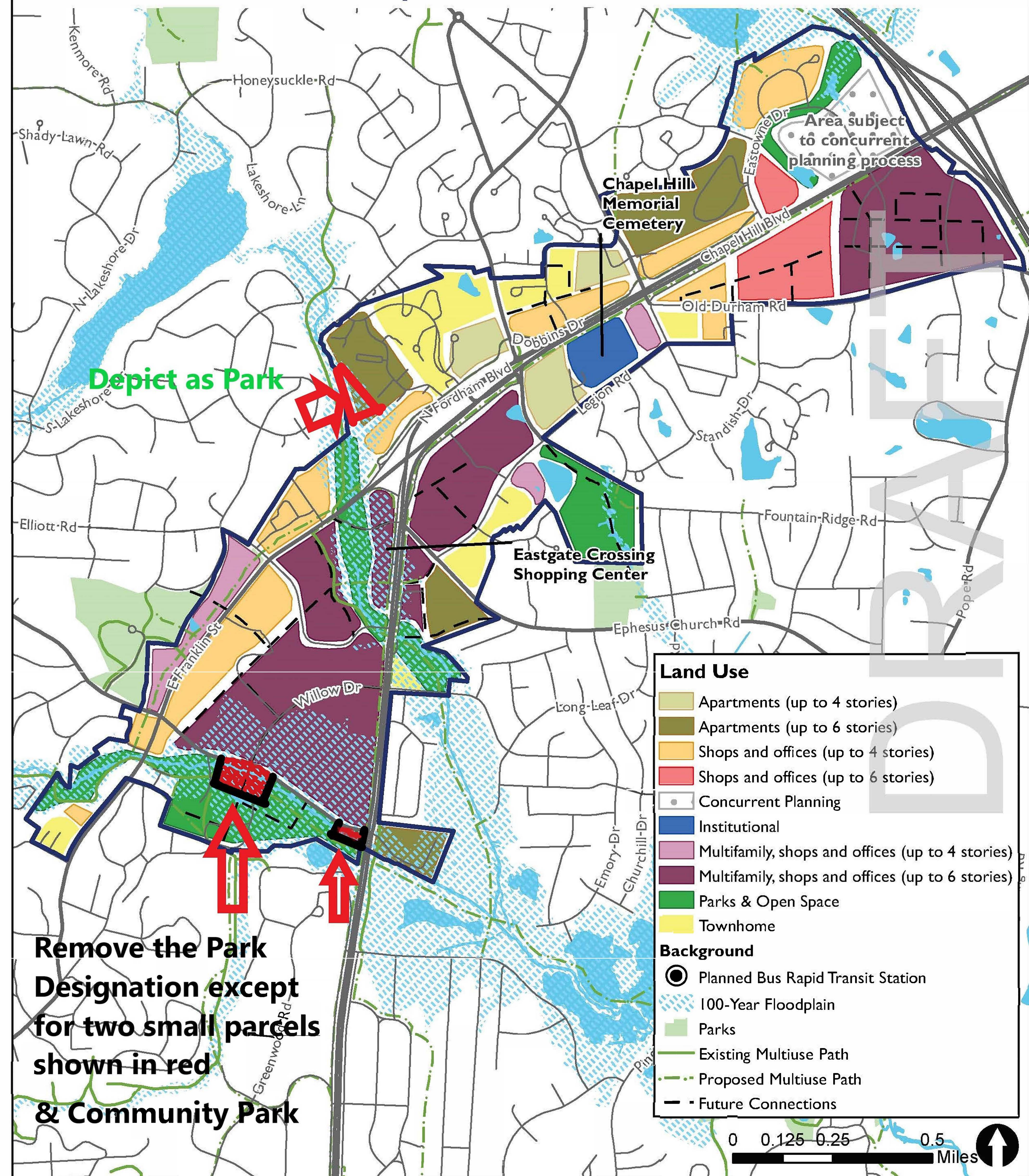
## Future Land Use | In 2049





# North I-5-501 - Proposed Changes

## Future Land Use | In 2049







# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

**Item #:** 11., **File #:** [20-0017], **Version:** 1

**Meeting Date:** 1/8/2020

### **Open the Public Hearing and Consider a Request to Close a Portion of the Public Right-of-Way on Glen Lennox Drive between Flemington Road and Fordham Boulevard.**

#### **Staff:**

Lance Norris, Director  
Chris Roberts, Manager of Engineering and Infrastructure  
Mike Wright, Senior Engineering Coordinator

#### **Department:**

Public Works

**Overview:** The Glen Lennox development agreement approved the construction of a 215-unit apartment building at the southwest corner of the intersection of Brandon Road and Flemington Road. The project includes transportation improvements on Fordham Boulevard, including constructing a new road, Glen Lennox Drive, and two partial traffic control signals to allow left-hand turn movements from southbound Fordham Boulevard onto Brandon Road, and onto Glen Lennox Drive. The intersection of Fordham Boulevard and Glen Lennox Drive will not act as a four-way traffic control signal.

The original design of Glen Lennox Drive included a median, non-protected bike lanes, and a crosswalk at the intersection with Fordham Boulevard. In addition, the original design included a right turn onto Hayes Road, which presented possible conflict points for pedestrians, bicycles, and motorists. The original design was plated and recorded with the Orange County Register of Deeds Office. Since the original design, the Glen Lennox design team increased their focus on bicycle and pedestrian amenities and removing as many conflicts as possible. This included removing the right turn onto Hayes Road, adding protected bike lanes, removing the median, and shortening the crosswalk at the intersection of Fordham Boulevard. These changes narrowed the public right-of-way from 96' to 79'. Glen Lennox Apartments, LLC is the sole adjacent property owner and requests that the Town of Chapel Hill close the remaining 17 feet of unnecessary right-of-way.

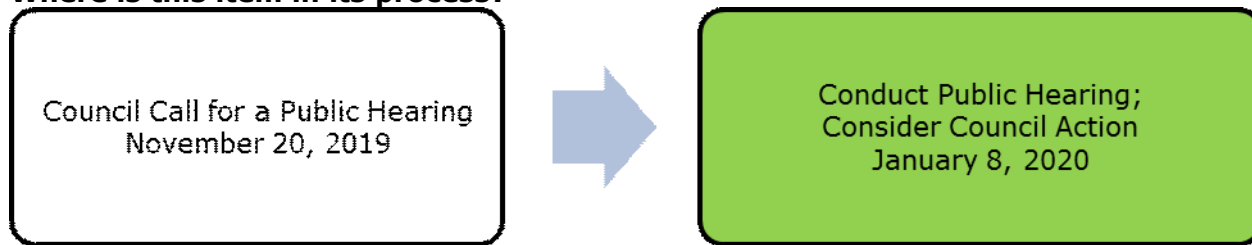
Once a plat has been recorded indicating the property lines and right-of-way, a formal process must be followed to close any public right-of-way. The process follows the North Carolina General Statute Section 160A-299, which requires the Council to first adopt a resolution declaring its intent to close the public right-of-way and calling a public hearing on the question. The resolution shall be published once a week for four successive weeks prior to the hearing. A notice of the closing and public hearing shall be posted in a least two places along the right-of-way.



#### **Recommendation(s):**

That the Council open the Public Hearing to consider closing the portion of the public right-of-way on Glen Lennox Drive between Flemington Road and Fordham Boulevard. The Council may close the Public Hearing this evening and take action on the requested closures, or defer action to the January 22, 2020 meeting.

**Fiscal Impact/Resources:** Closing the right-of-way does not create costs to the Town.

**Where is this item in its process?****Attachments:**

- Resolution
- Draft Staff Presentation
- Closure Request Letter from George Retschle, Ballentine Associates, including Draft Plat
- Exhibit of Requested Glen Lennox Drive Right-of-Way Closure
- NC Statute 160A-299



---

**A RESOLUTION CLOSING A PORTION OF THE RIGHT-OF-WAY ON GLEN LENNOX DRIVE BETWEEN FLEMINGTON ROAD AND FORDHAM BOULEVARD (2020-01-08/R-4)**

WHEREAS, the Town of Chapel Hill received a request from Glen Lennox Apartments, LLC to close a portion of the Glen Lennox Drive public right-of-way between Flemington Road and Fordham Boulevard due to the redesign of the Glen Lennox Drive, reducing the width of the right-of-way; and

WHEREAS, the sole abutting property of this public right-of-way is owned by the requesting party, Glen Lennox Apartments, LLC; and

WHEREAS, the redesign of Glen Lennox Drive is in accordance with Section 5.4 (a)(2) of the Glen Lennox Development Agreement; and

WHEREAS, a Public Hearing regarding the proposed right-of-way closure was held on January 8, 2020, in accordance with North Carolina General Statute Sec. 160A-299.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts this order pursuant to North Carolina G.S. 160A-299, permanently closing the portion of the Glen Lennox Drive public right-of-way between Flemington Road and Fordham Blvd.

BE IT FURTHER RESOLVED that a plat showing the closure and a copy of this Order shall be recorded by the adjacent property owners, with the Orange County Register of Deeds, upon approval by the Town and certification by the Town Manager that the preceding conditions of approval have been met, said certification to be attached to this Resolution as an Exhibit prior to recordation.

This the 8th day of January, 2020.

---

**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

PRESENTER: Michael Wright, Senior Engineering Coordinator  
George Retschle, Ballentine Associates, PA

RECOMMENDATION: That the Council open the Public Hearing to consider closing the portion of the public right-of-way on Glen Lennox Drive between Flemington Road and Fordham Blvd. The Council may close the Public Hearing this evening and take action on the requested closure or defer action to the January 22, 2020 meeting.



# **Public Hearing: Right-Of-Way Closure – Glen Lennox Drive**

**Date: January 8, 2020**

DRAFT

# Right-of-Way Closure Process

- Recorded Plat
- General Statute 160A-299
- Council Adopt a Resolution Declaring Its Intent to Close the Right-of-way
- Call a Public Hearing
- Publish a Notice of Resolution Once a Week for Four Successive Weeks Prior to the Hearing
- Notice of the Closing and Public Hearing Posted in Two Places
- If Approved, A Certified Copy of the Order filed with the Register of Deeds
- Recorded New Plat

DRAFT

# Where is this in the process?

**Call for a Public Hearing  
November 20, 2019**



**Open Public Hearing;  
Close Public Hearing  
Council Action  
January 8, 2020**

DRAFT

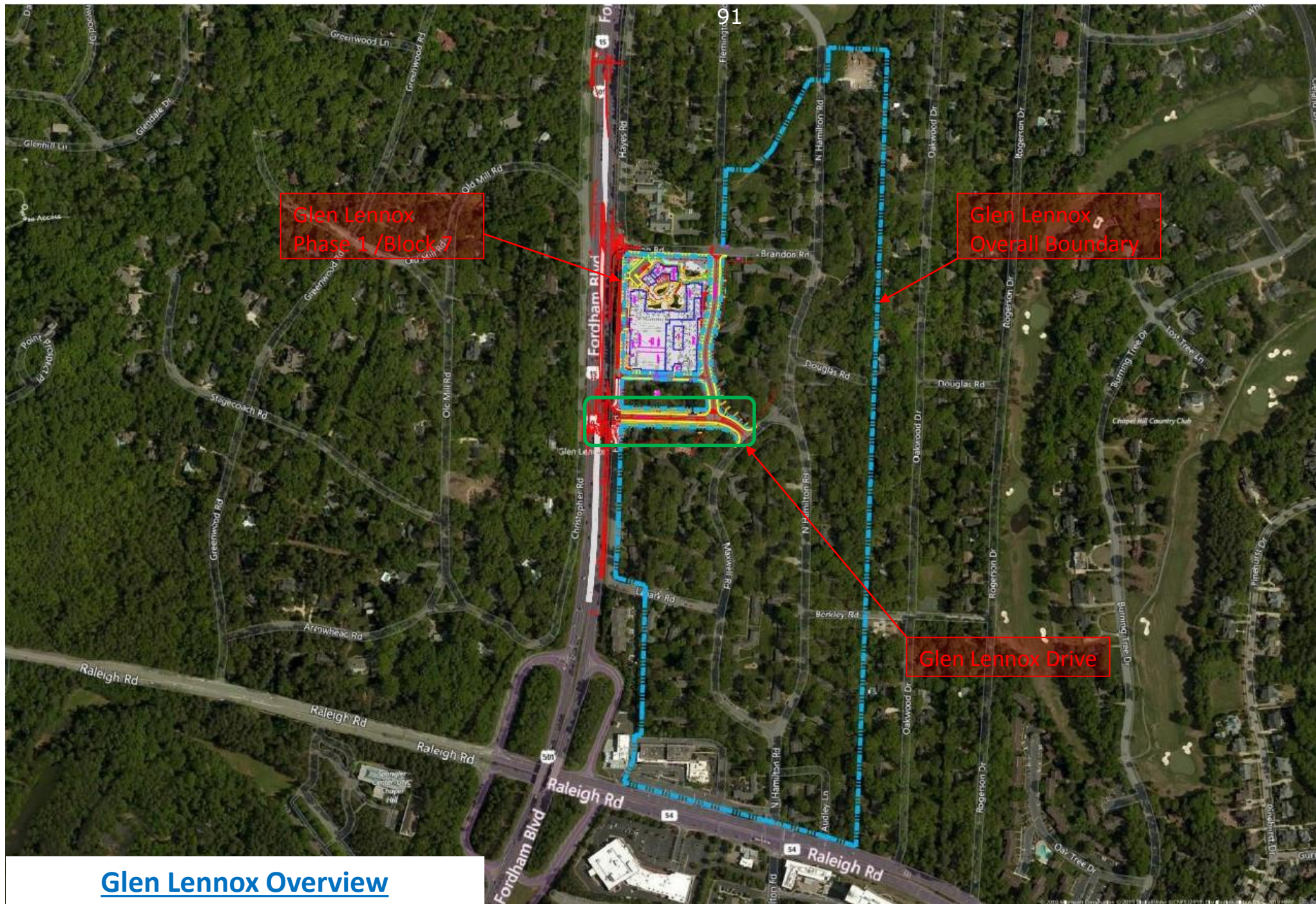
# **Brief History of Glen Lennox Development**

- Construct an Apartment Building at Intersection of Brandon Road and Flemington Road
- Transportation Improvements to Fordham Boulevard
- Construct a New Road, Glen Lennox Drive
- Two Partial Traffic Control Signals
- Allow Left Hand Turn Movements onto Brandon Rd. & Glen Lennox Drive

DRAFT

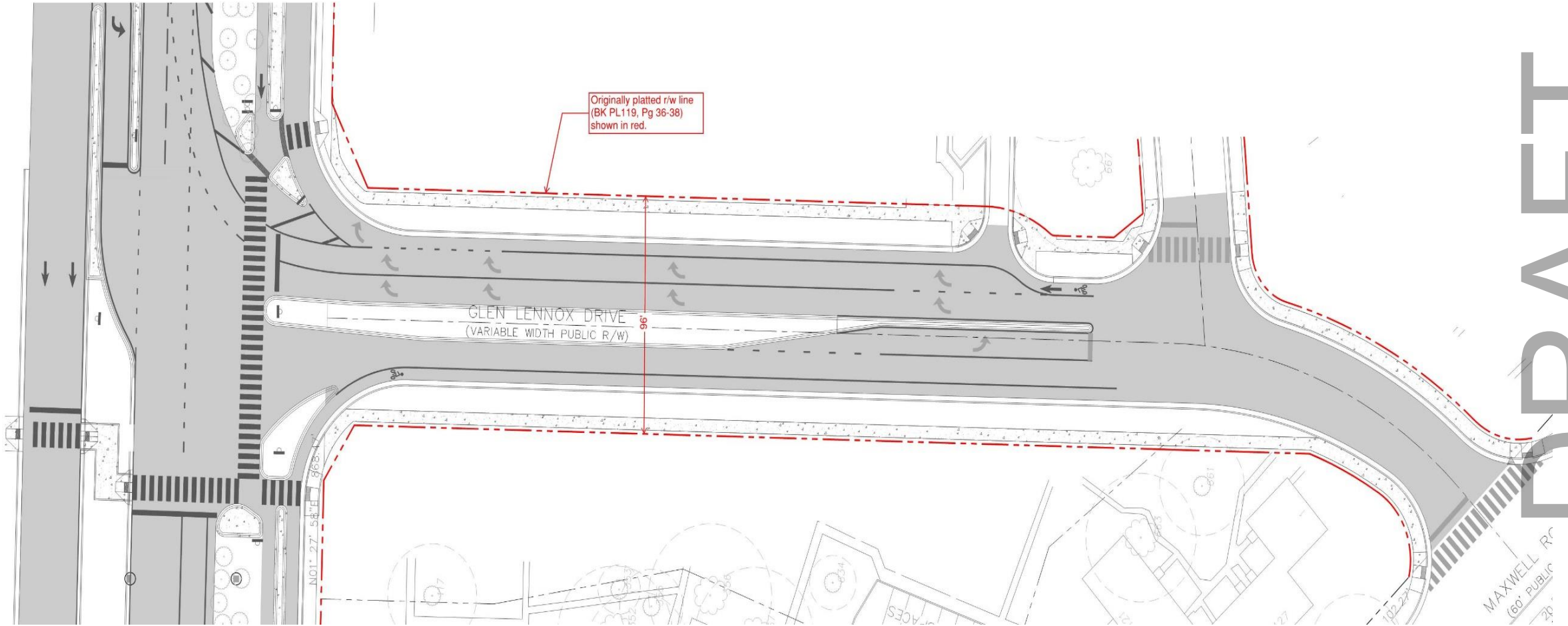


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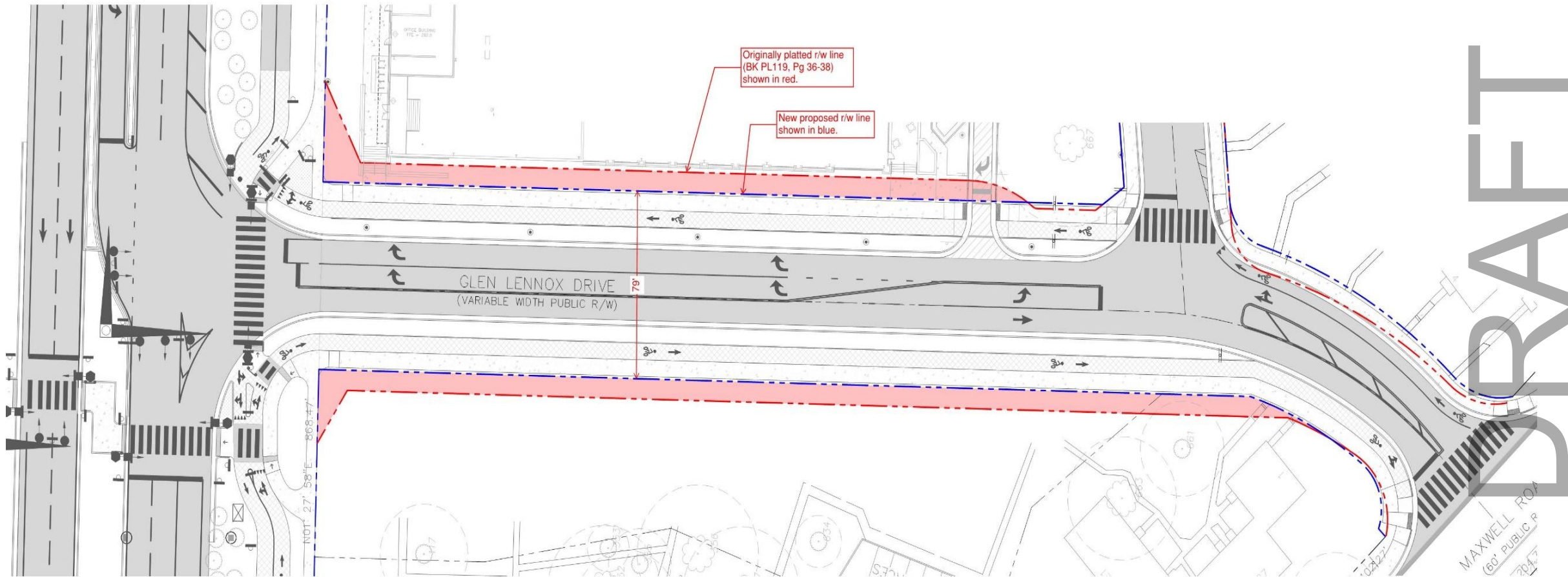
Glen Lennox Overview





DRAFT

Originally-Approved Design



Redesign



# Staff Recommendation

- Staff recommends that the Council Open the Public Hearing, hear public comment, and Close the Public Hearing.
- Adopt Resolution to close the portion of Glen Lennox Drive right-of-way that is no longer required.

DRAFT



10 Oct 19

Mr. Chris Roberts, PE  
 Manager of Engineering & Infrastructure  
 Town of Chapel Hill Public Works Department  
 6850 Millhouse Road  
 Chapel Hill, NC 27514-5705

221 Providence Road  
 Eastowne Office Park  
 Chapel Hill, NC 27514

919/929-0481 Chapel Hill  
 919/489-4789 Durham  
 919/489-2803 Fax

Subject: Glen Lennox Phase 1  
 Glen Lennox Drive Right-of-Way

Dear Chris,

Phase 1 of Glen Lennox includes the development of Block 7 and the construction of Glen Lennox Drive, which is a new public street along the southern edge of Block 7 that creates a new intersection with US 15-501. A Development Agreement Compliance Permit (DACP) for Phase 1 of Glen Lennox was approved on September 8, 2017. The original design of Glen Lennox Drive included a median and a 96' wide right-of-way for most of its length. A final subdivision plat was recorded on 5 Sep 2018 (BK: PL119, Pg 36-38), which dedicated the public rights-of-way for Glen Lennox Drive and Flemington Road and also split Block 7 into two separate lots.

In late 2018, Grubb Properties made a commitment to make Glen Lennox one of the most bicycle-friendly communities in North Carolina. Grubb hired Copenhagenize, an internationally-renown bicycle and pedestrian facility planning firm, to provide recommendations on how to accomplish this goal. One of their recommendations was to redesign the Glen Lennox Drive/US 15-501 intersection to give higher priority to bike and ped traffic and to create safer crossings. On 19 Aug 2019, a DACP Modification was approved by the Town of Chapel Hill reflecting the "Copenhagenize" redesign of this intersection. One the revisions approved as part of this DACP modification was to remove the median from Glen Lennox Drive and narrow the roadway, which significantly shortened the crosswalks and helped reduce conflict points. The narrower roadway allows the public right-of-way to be narrowed from the currently platted 96' width to 79' wide. We are therefore requesting the Town of Chapel Hill to abandon the unnecessary right-of-way.

To support this request, I have attached the following items:

- Exhibit showing existing and proposed right-of-way and areas to be abandoned.
- A draft Right-of-Way Abandonment, Right-of-Way Dedication, and Easement Plat.
- Draft Public Notice.
- Draft Resolution.

Our understanding is that the first step in the process will be for your staff to prepare a Council consent agenda item, which will establish a Council Public Hearing on the matter at a subsequent Council meeting. We are hopeful this item can be included in the next available Council consent agenda and scheduled for the soonest public hearing possible thereafter.

Glen Lennox Phase 1  
Glen Lennox Drive Right-of-Way Closure  
10 Oct 19



Thanks very much for your assistance with this and please don't hesitate to call me should you have any questions or if you require additional information.

Yours very truly,  
BALLENTINE ASSOCIATES, PA

A handwritten signature in blue ink, appearing to read "GJR", is written over the typed name.

George J. Retschle, PE, LEED AP  
President









**SHEET**  
**2 OF 3**



GENERAL NOTES

1. SEE SHEET 1 OF 3 FOR GENERAL NOTES.

| CURVE TABLE |         |            |               |              |
|-------------|---------|------------|---------------|--------------|
| CURVE       | RADIUS  | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| C1          | 405.00' | 175.41'    | S 01°45'49" W | 174.04'      |
| C2          | 19.50'  | 16.68'     | S 66°57'38" W | 16.18'       |
| C3          | 19.50'  | 12.32'     | N 70°26'08" W | 12.12'       |
| C4          | 19.50'  | 12.16'     | N 73°36'19" E | 11.96'       |
| C5          | 19.50'  | 6.99'      | S 78°15'55" E | 6.95'        |
| C6          | 405.00' | 8.46'      | S 16°12'26" E | 8.46'        |
| C7          | 355.00' | 76.31'     | S 10°38'51" E | 76.16'       |
| C8          | 172.50' | 42.58'     | S 65°05'04" E | 42.47'       |
| C9          | 172.50' | 18.05'     | S 55°00'57" E | 18.04'       |
| C10         | 24.50'  | 30.51'     | S 16°20'38" E | 28.58'       |
| C11         | 22.00'  | 26.15'     | S 38°32'49" E | 24.64'       |
| C12         | 229.04' | 107.83'    | S 59°07'04" E | 106.83'      |
| C13         | 32.00'  | 30.99'     | S 73°22'25" E | 29.79'       |

| OLD CURVE TABLE |         |            |               |              |
|-----------------|---------|------------|---------------|--------------|
| CURVE           | RADIUS  | ARC LENGTH | CHORD BEARING | CHORD LENGTH |
| OC21            | 405.00' | 20.28'     | S 12°04'43" E | 20.27'       |
| OC22            | 405.00' | 14.82'     | S 14°33'38" E | 14.82'       |
| OC23            | 3.00'   | 1.95'      | N 69°55'22" W | 1.91'        |
| OC24            | 51.00'  | 3.26'      | N 53°08'39" W | 3.26'        |
| OC25            | 51.00'  | 29.87'     | N 71°45'19" W | 29.44'       |
| OC26            | 175.00' | 22.33'     | S 66°25'22" E | 22.32'       |
| OC27            | 175.00' | 13.75'     | S 60°30'58" E | 13.75'       |
| OC28            | 32.00'  | 39.48'     | S 22°55'21" E | 37.02'       |
| OC29            | 22.50'  | 27.54'     | S 39°32'55" E | 25.85'       |
| OC30            | 225.00' | 102.12'    | S 61°36'21" E | 101.24'      |
| OC31            | 32.00'  | 28.22'     | S 75°46'44" E | 27.31'       |

| LINE TABLE |               |          |
|------------|---------------|----------|
| LINE       | BEARING       | DISTANCE |
| L1         | S 16°48'20" E | 16.28'   |
| L2         | S 04°29'23" E | 23.19'   |
| L3         | S 54°41'58" W | 12.53'   |
| L4         | N 88°32'02" W | 35.89'   |
| L5         | S 04°29'23" E | 8.55'    |
| L6         | S 88°32'02" E | 6.23'    |
| L7         | S 88°32'02" E | 40.02'   |
| L8         | S 88°32'02" E | 7.47'    |
| L9         | S 44°03'29" E | 4.71'    |
| L10        | S 04°29'23" E | 32.54'   |

| OLD LINE TABLE |               |          |
|----------------|---------------|----------|
| LINE           | BEARING       | DISTANCE |
| OL21           | S 54°41'58" W | 4.18'    |
| OL22           | N 88°32'02" W | 28.07'   |
| OL23           | N 26°15'42" W | 38.18'   |
| OL24           | N 01°27'58" E | 16.67'   |
| OL25           | N 01°27'58" E | 16.76'   |
| OL26           | N 32°53'56" E | 26.54'   |
| OL27           | S 88°32'02" E | 5.36'    |
| OL28           | S 88°32'02" E | 40.00'   |
| OL29           | S 88°32'02" E | 25.75'   |
| OL30           | N 45°56'31" E | 0.41'    |
| OL31           | S 04°29'23" E | 10.55'   |
| OL32           | N 45°56'31" E | 3.85'    |

| OWASA ESMT. LINE TABLE |               |          |
|------------------------|---------------|----------|
| LINE                   | BEARING       | DISTANCE |
| E41                    | N 01°27'58" E | 8.50'    |
| E42                    | S 01°21'18" W | 8.50'    |

| SIDEWALK ESMT. LINE TABLE |               |          |
|---------------------------|---------------|----------|
| LINE                      | BEARING       | DISTANCE |
| A51                       | S 51°04'02" W | 16.86'   |
| A52                       | N 69°12'23" W | 9.97'    |

I HEREBY CERTIFY THAT THIS PLAT IS OF THE FOLLOWING TYPE:  
G.S. 47-30 (f)(11)(a). THIS SURVEY CREATES SUBDIVISION OF  
LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT  
HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

ERIC M. MANTURUK    PLS    L-5019

PRELIMINARY PLAT  
NOT FOR RECORDATION  
CONVEYANCES OR SALES

| ISSUED | DATE |   |  |  |  |  |  |  |  |
|--------|------|---|--|--|--|--|--|--|--|
|        |      | : |  |  |  |  |  |  |  |
|        |      | : |  |  |  |  |  |  |  |

GLEN LENNOX - PHASE 1

McINTOSH LANE R/W DEDICATION  
AND GLEN LENNOX DR R/W REALIGNMENT PLAT

TOWN OF CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA

FINAL PLAT

|              |           |
|--------------|-----------|
| JOB NUMBER:  | 107013.03 |
| DATE:        | 02 OCT 19 |
| SCALE:       | NTS       |
| DRAWN BY:    | EJS       |
| REVIEWED BY: | EMM       |

SHEET  
3 OF 3



BALLENTINE ASSOCIATES, P.A.

221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 929 - 0481 (919) 489 - 4789

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Ballentine Associates, P.A.

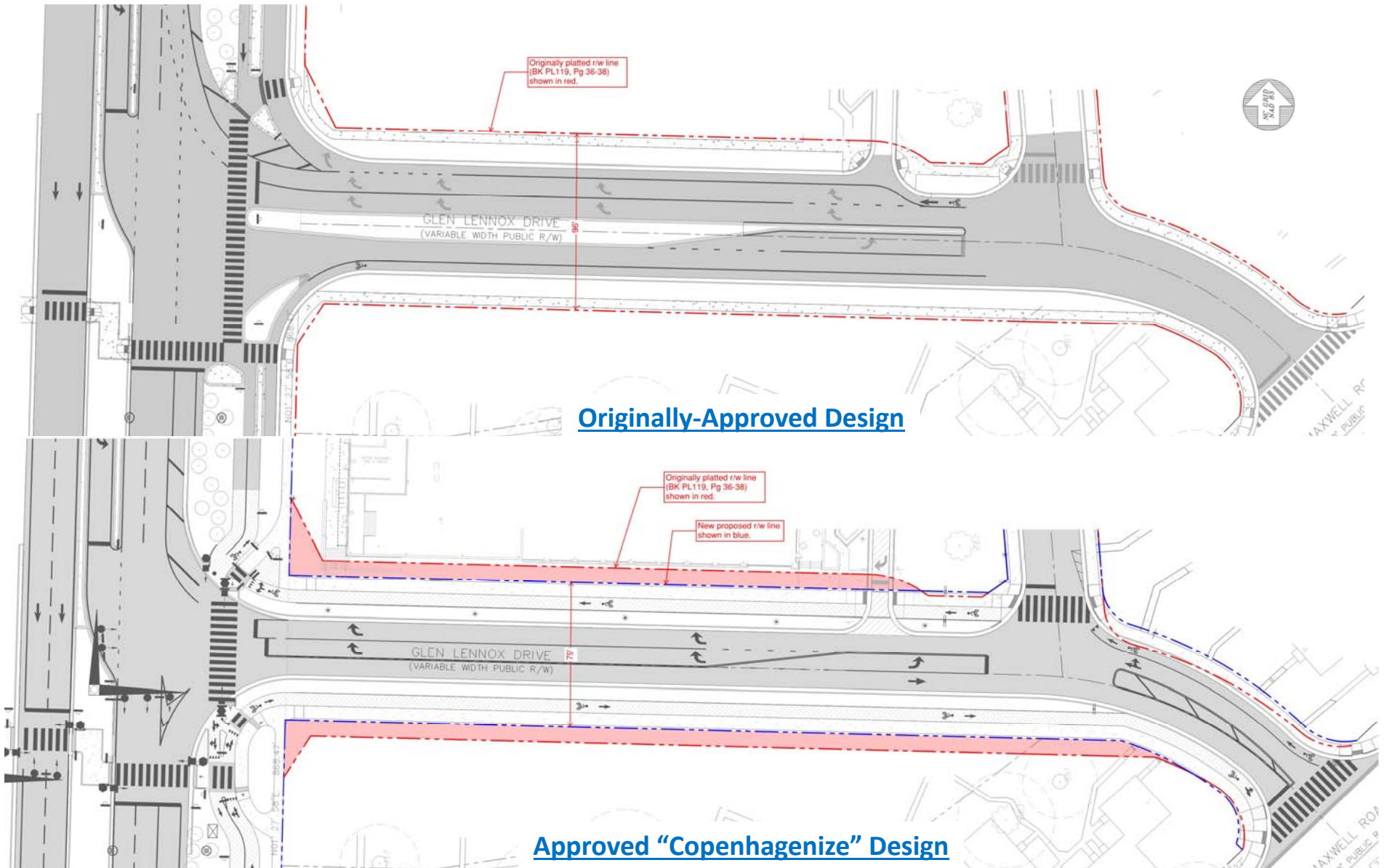
CORPORATE SEAL C328

NORTH CAROLINA

Chapel Hill

100

OWNER INFORMATION:  
GRUBB PROPERTIES, LLC,  
4500 CAMERON VALLEY PKWY,  
SUITE 350  
CHARLOTTE, NC 28211  
OWNERS REPRESENTATIVE:  
DAN SCHUMACHER  
PH.: (704) 971-8924  
EMAIL: dschumacher@grubbpproperties.com



**§ 160A-299. Procedure for permanently closing streets and alleys.**

(a) When a city proposes to permanently close any street or public alley, the council shall first adopt a resolution declaring its intent to close the street or alley and calling a public hearing on the question. The resolution shall be published once a week for four successive weeks prior to the hearing, a copy thereof shall be sent by registered or certified mail to all owners of property adjoining the street or alley as shown on the county tax records, and a notice of the closing and public hearing shall be prominently posted in at least two places along the street or alley. If the street or alley is under the authority and control of the Department of Transportation, a copy of the resolution shall be mailed to the Department of Transportation. At the hearing, any person may be heard on the question of whether or not the closing would be detrimental to the public interest, or the property rights of any individual. If it appears to the satisfaction of the council after the hearing that closing the street or alley is not contrary to the public interest, and that no individual owning property in the vicinity of the street or alley or in the subdivision in which it is located would thereby be deprived of reasonable means of ingress and egress to his property, the council may adopt an order closing the street or alley. A certified copy of the order (or judgment of the court) shall be filed in the office of the register of deeds of the county in which the street, or any portion thereof, is located.

(b) Any person aggrieved by the closing of any street or alley including the Department of Transportation if the street or alley is under its authority and control, may appeal the council's order to the General Court of Justice within 30 days after its adoption. In appeals of streets closed under this section, all facts and issues shall be heard and decided by a judge sitting without a jury. In addition to determining whether procedural requirements were complied with, the court shall determine whether, on the record as presented to the city council, the council's decision to close the street was in accordance with the statutory standards of subsection (a) of this section and any other applicable requirements of local law or ordinance.

No cause of action or defense founded upon the invalidity of any proceedings taken in closing any street or alley may be asserted, nor shall the validity of the order be open to question in any court upon any ground whatever, except in an action or proceeding begun within 30 days after the order is adopted. The failure to send notice by registered or certified mail shall not invalidate any ordinance adopted prior to January 1, 1989.

(c) Upon the closing of a street or alley in accordance with this section, subject to the provisions of subsection (f) of this section, all right, title, and interest in the right-of-way shall be conclusively presumed to be vested in those persons owning lots or parcels of land adjacent to the street or alley, and the title of such adjoining landowners, for the width of the abutting land owned by them, shall extend to the centerline of the street or alley.

The provisions of this subsection regarding division of right-of-way in street or alley closings may be altered as to a particular street or alley closing by the assent of all property owners taking title to a closed street or alley by the filing of a plat which shows the street or alley closing and the portion of the closed street or alley to be taken by each such owner. The plat shall be signed by each property owner who, under this section, has an ownership right in the closed street or alley.

(d) This section shall apply to any street or public alley within a city or its extraterritorial jurisdiction that has been irrevocably dedicated to the public, without regard to whether it has actually been opened. This section also applies to unopened streets or public alleys that are shown on plats but that have not been accepted or maintained by the city, provided that this section shall not abrogate the rights of a dedicator, or those claiming under a dedicator, pursuant to G.S. 136-96.

(e) No street or alley under the control of the Department of Transportation may be closed unless the Department of Transportation consents thereto.



(f) A city may reserve a right, title, and interest in any improvements or easements within a street closed pursuant to this section. An easement under this subsection shall include utility, drainage, pedestrian, landscaping, conservation, or other easements considered by the city to be in the public interest. The reservation of an easement under this subsection shall be stated in the order of closing. The reservation also extends to utility improvements or easements owned by private utilities which at the time of the street closing have a utility agreement or franchise with the city.

(g) The city may retain utility easements, both public and private, in cases of streets withdrawn under G.S. 136-96. To retain such easements, the city council shall, after public hearing, approve a "declaration of retention of utility easements" specifically describing such easements. Notice by certified or registered mail shall be provided to the party withdrawing the street from dedication under G.S. 136-96 at least five days prior to the hearing. The declaration must be passed prior to filing of any plat or map or declaration of withdrawal with the register of deeds. Any property owner filing such plats, maps, or declarations shall include the city declaration with the declaration of withdrawal and shall show the utilities retained on any map or plat showing the withdrawal. (1971, c. 698, s. 1; 1973, c. 426, s. 47; c. 507, s. 5; 1977, c. 464, s. 34, 1981, c. 401; c. 402, ss. 1, 2; 1989, c. 254; 1993, c. 149, s. 1; 2015-103, s. 1.)



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 12., **File #:** [20-0018], **Version:** 1

**Meeting Date:** 1/8/2020

---

**Open the Public Hearing: Land Use Management Ordinance Text Amendment for Proposed Changes to Section 3.11 Regarding Massing Standards in the Blue Hill District.**

See the Staff Report on the next page.

---

**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

**PRESENTER:** Corey Liles, Principal Planner  
Tony Sease, Civitech, Inc

- a. Introduction and preliminary recommendation
- b. Recommendation of the Planning Commission
- c. Comments from the public
- d. Comments and questions from the Mayor and Town Council
- e. Motion to recess the Public Hearing to February 12, 2020
- f. Referral to the Manager and Attorney.

**RECOMMENDATION:** That the Council open the Public Hearing, receive public comment, and continue the Public Hearing to February 12, 2020.



# OPEN THE PUBLIC HEARING FOR LAND USE MANAGEMENT ORDINANCE TEXT AMENDMENT TO SECTION 3.11 REGARDING MASSING & PERMEABILITY STANDARDS IN THE BLUE HILL DISTRICT

## STAFF REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT  
Judy Johnson, Interim Director  
Corey Liles, Principal Planner

|  |  |   |
|--|--|---|
| <b>PROJECT LOCATION</b><br>Blue Hill Form District   | <b>PUBLIC HEARING DATE</b><br>January 8, 2020  | <b>REQUESTED BY</b><br>Town of Chapel Hill  |
| <b>STAFF'S RECOMMENDATION</b><br>That the Council open the Public Hearing, receive public comment, and continue the Public Hearing to February 12, 2020.   |  |   |
| <b>ITEM OVERVIEW</b><br>This text amendment introduces modifications to Section 3.11 of the Land Use Management Ordinance, in response to a petition received by Council on <a href="#">March 14<sup>th</sup>, 2018</a> <sup>1</sup> . Existing standards for massing in the Blue Hill District would be updated to include: <ul style="list-style-type: none"> <li>Maximum Building Length (measured along street frontage)</li> <li>Maximum Building Depth (measured perpendicular to street)</li> <li>Minimum separation between buildings, with criteria to make this inviting space</li> </ul> Possible additional text amendments, in response to related interests identified by Council, could address the following topics: <ul style="list-style-type: none"> <li>Encouraging a variety of housing types</li> <li>Accommodating standalone parking decks, for better massing outcomes</li> <li>Reducing the amount of space devoted to parking</li> </ul>  |  |   |
| <b>ADDITIONAL CONTEXT</b> <ul style="list-style-type: none"> <li>The objectives of new massing standards include increasing pedestrian connections, increasing visual permeability, and reducing the visual impact of taller buildings</li> <li>Council received an introduction to the new standards and provided feedback at the <a href="#">June 5, 2019 Council Work Session</a>.<sup>2</sup></li> <li>The Council Committee on Economic Sustainability received a Market Analysis from Noell Consulting and discussed economic considerations for new standards at the <a href="#">November 1, 2019 meeting</a>.<sup>3</sup></li> <li>Civitech, Inc, the project design consultant, evaluated possible dimensional requirements in order to produce recommended standards that balance market feasibility of development with positive impacts on the built environment.</li> <li>The current work on Blue Hill Massing builds on a text amendment adopted on <a href="#">June 27, 2018</a><sup>4</sup> that encourages recreation space to be integrated into the public realm.</li> </ul> |  | <b>PROCESS</b> <ol style="list-style-type: none"> <li>1 Receive and Refer Council Petition</li> <li>2 Recreation Space Amendment</li> <li>3 Research Additional Potential Standards</li> <li>4 Council Work Session</li> <li>5 Economic Analysis and Further Research</li> <li>6 Advisory Board Review</li> <li>7 <b>Council Public Hearing</b></li> <li>8 Consider Action on Text Amendment</li> </ol> |
| <b>ATTACHMENTS</b>   | <ol style="list-style-type: none"> <li>1. Draft Staff Presentation</li> <li>2. Draft Resolution of Consistency with the Comprehensive Plan</li> <li>3. Draft Ordinance A (Enacting the Text Amendment)</li> <li>4. Market Analysis for Future Development Density</li> </ol> |   |
|  |  | <b>FISCAL IMPACT/RESOURCES</b><br>There are no fiscal impacts with the proposed text amendments.  |

<sup>1</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3378092&GUID=CF613ECB-AE0E-4A16-8801-9292A08A4231>

<sup>2</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3970013&GUID=2D2A1854-2847-42AB-B394-5206C2BA7317>

<sup>3</sup> <https://www.townofchapelhill.org/businesses/council-economic-sustainability-committee>

<sup>4</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3537544&GUID=633504CC-12D7-458A-8158-8CDEF868585F>



DRAFT



# January 8, 2020

# Petition Interests

As Submitted March 14, 2018

1. Increase **non-residential development** with density bonuses or other mechanisms
2. Identify strategies for providing more **affordable housing**
3. Address building size and massing concerns to improve **place-making and permeability**

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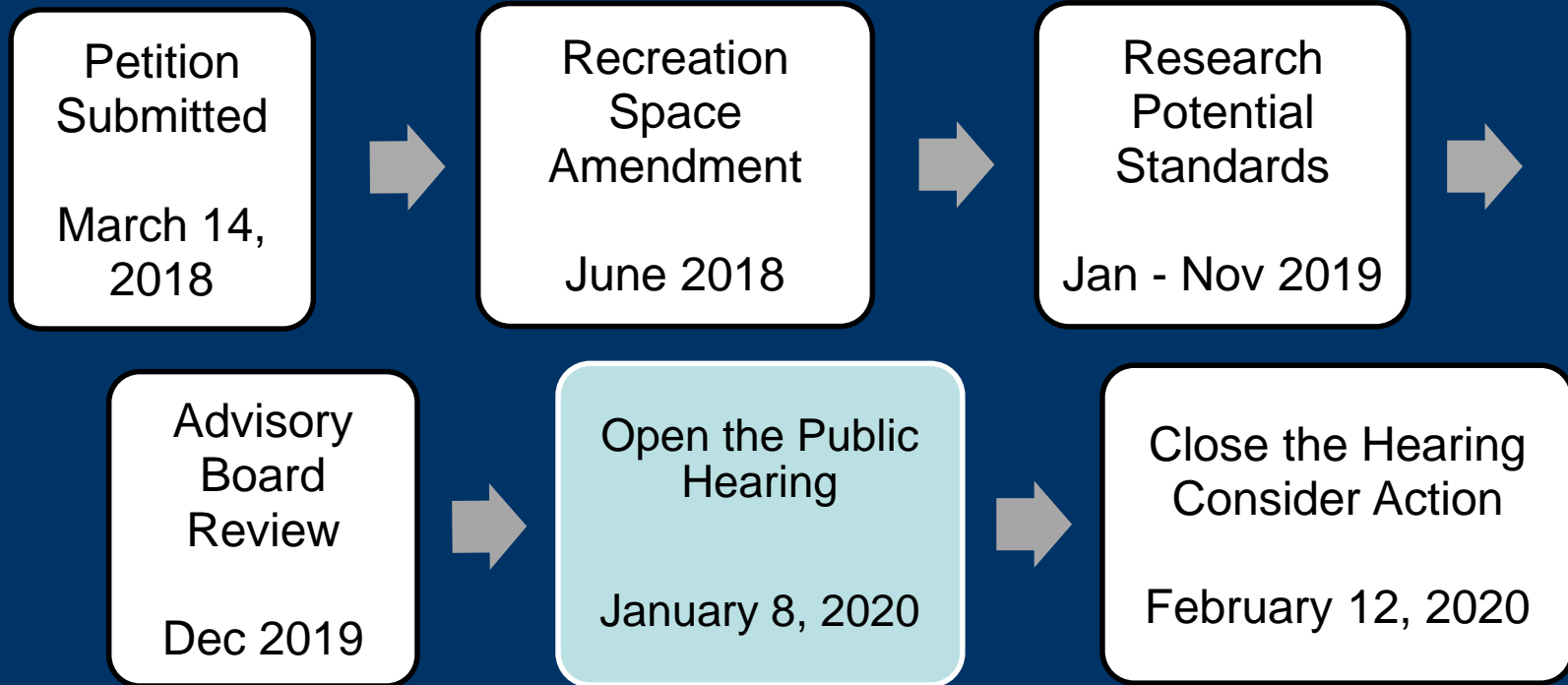
# Staff Recommendation

- Open the public hearing and receive public comment
- Continue the public hearing to February 12, 2020

DRAFT



# LUMO Text Amendment Process

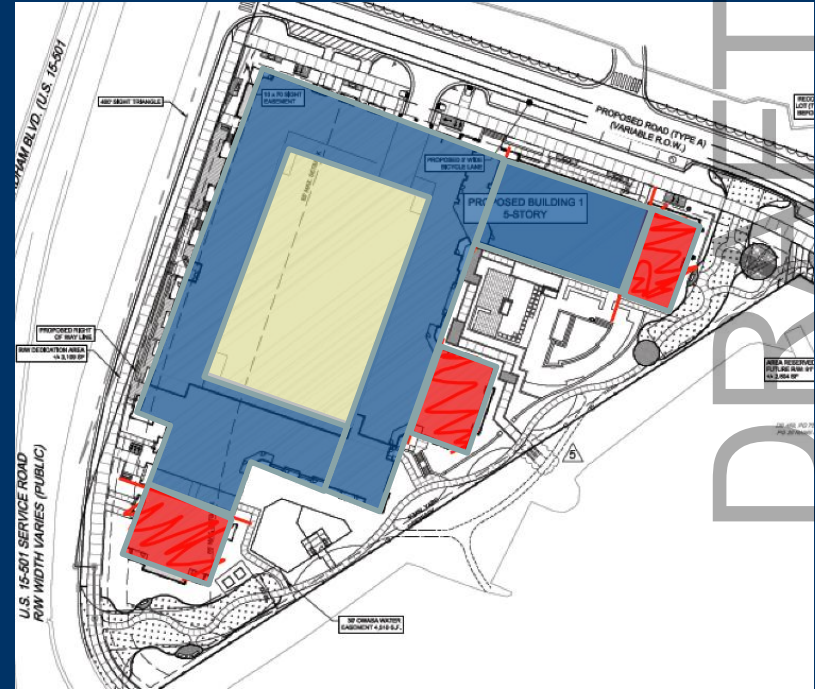


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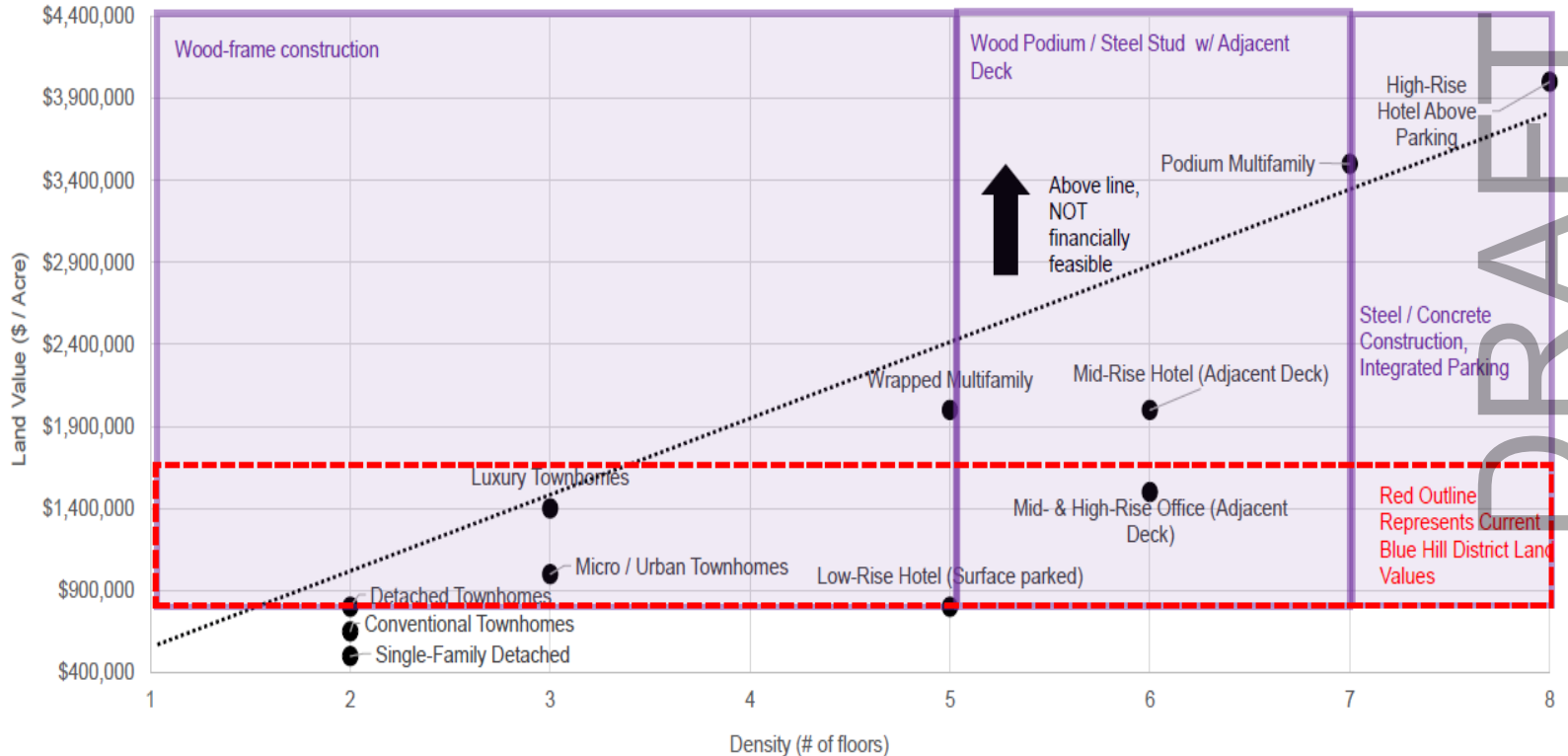
# June 5 Work Session:

## Measures Identified for Blue Hill

- 1) Maximum building width
- 2) Maximum building depth
- 3) Separate requirements for lined or internal buildings
- 4) Maximum building footprint
- 5) Maximum building coverage
- 6) Maximum lot width
- 7) Finer grained upper-story %



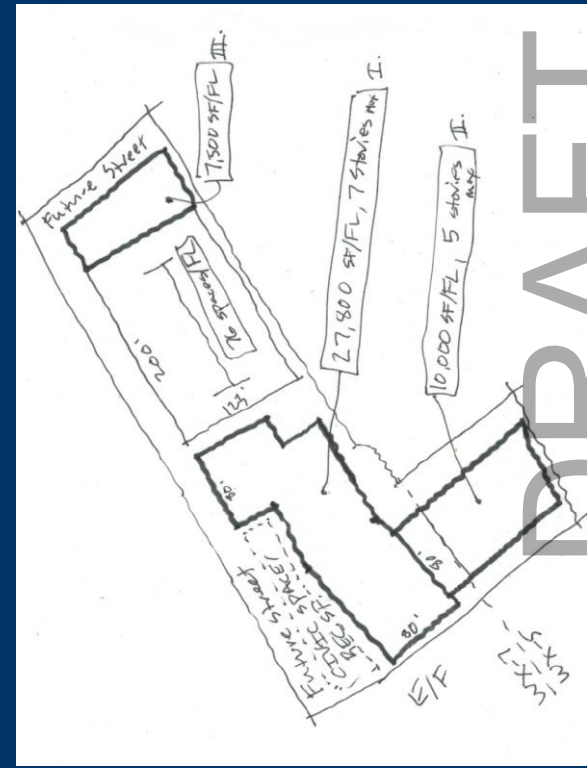
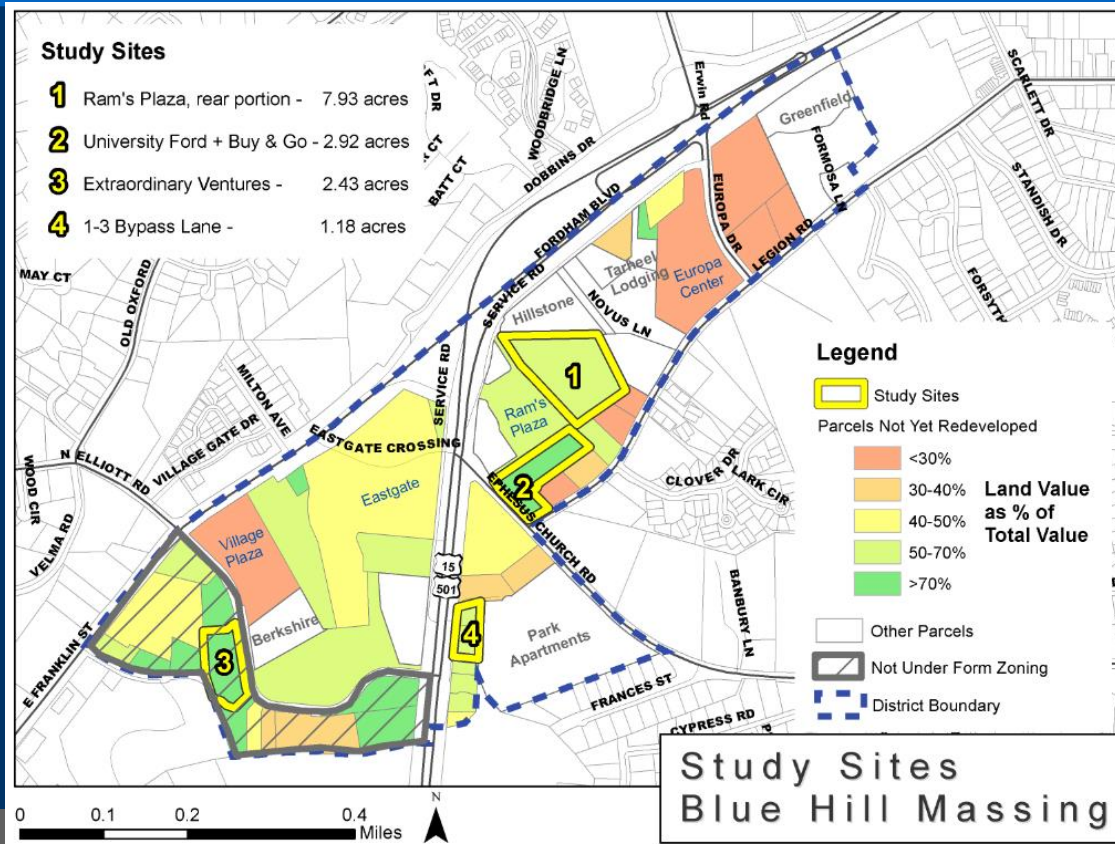
# November 1<sup>11</sup> CCES: Market Overview





# November 1 CCES:

## Study Sites for Test Building Concepts



# Findings

## Smaller buildings create opportunities to:

- ☐ Encourage development of smaller sites
- ☐ Accommodate missing middle housing
- ☐ Add commercial space in smaller increments

## Need to balance smaller buildings with:

- ☐ Overall buildout size of the District
- ☐ Timeframe of buildout
- ☐ Achieving community benefits

DRAFT

# Recommended Text Amendments

## Core Package

- Maximum building dimensions
- Minimum separation and activation of unbuilt area

## Possible Standalone Additions

- Exempt townhomes from minimum nonresidential
- Reduce on-site parking for mixed use
- Structured parking setback reduction

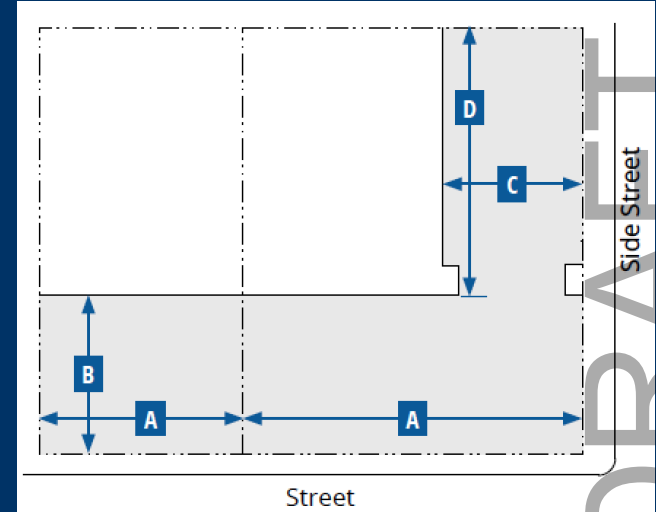


# Maximum Building Dimensions – Options

## Zoning District: WX-5, WX-7, WR-7

*If wrapping structured parking on at least two sides:*

- 1) 330' x 200' maximum plus Secondary wing up to 75' x 100'
- 2) Minimum 30' separation for multiple buildings exceeding #1
- 3) Building separation and pedestrian route occurs at least every 330', subject to allowable administrative adjustments for site conditions



# Maximum Building Dimensions – Options

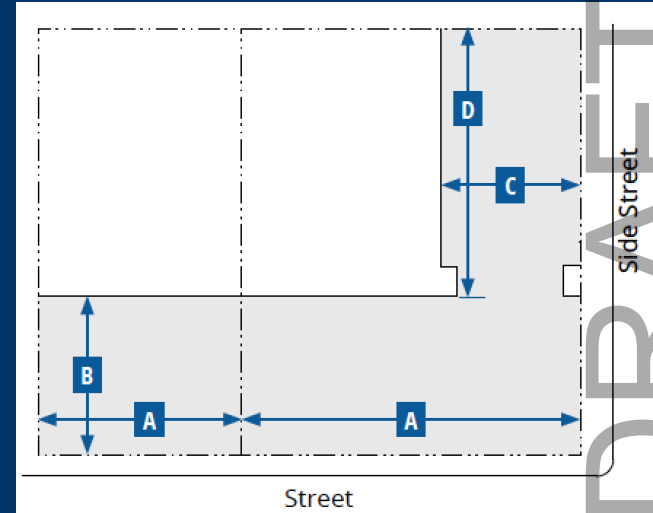
**Zoning District: WX-5, WX-7, WR-7**

*If not wrapping structured parking:*

Option 1) 330' x 120' maximum plus  
secondary wing of 75' x 90' OR

275' x 210' maximum plus  
secondary wing of 75' x 90', or

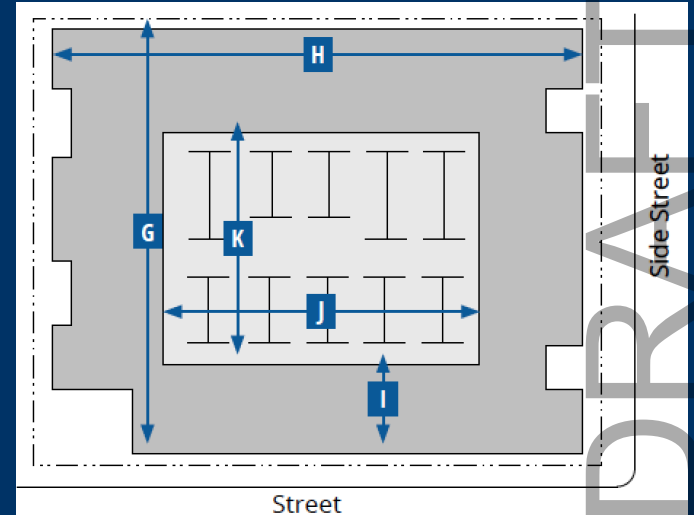
Option 2) 220' x 120' maximum plus  
secondary wing of 75' x 90', or



# Maximum Structured Parking Dimensions

**Zoning District: WX-5, WX-7, WR-7**

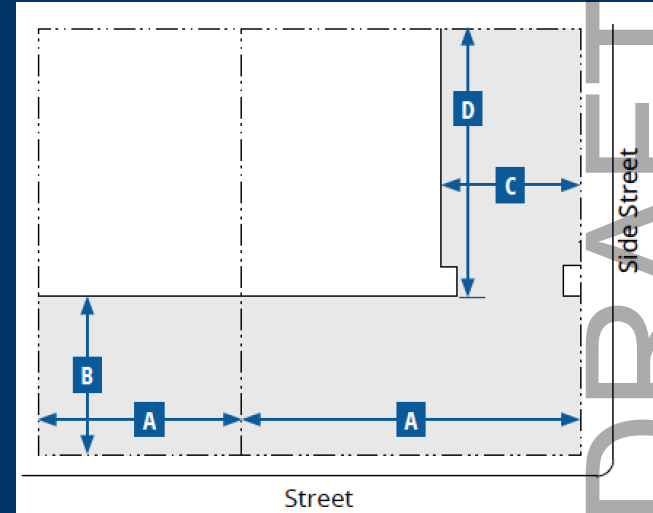
*Structured parking, wrapped or not:*  
Maximum plan dimensions of 230' x 180'



# Maximum Building Dimensions - WR-3

## *Zoning District: WR-3*

- 1) 220' x 120' maximum, plus secondary wing allowed at 75'x100'
- 2) Minimum 20' separation for multiple buildings exceeding #1





# Inviting Space Between Buildings

*Keep unbuilt area from feeling 'left over';  
Add to green space experience of Blue Hill*

- 1) Pedestrian connections
- 2) Adequate lighting
- 3) Balconies, awnings, etc allowed  
(3' encroachments each side)
- 4) Elevated walkways allowed to  
connect buildings, if unenclosed

*New framework for  
Building Pass-throughs*



# Encourage Housing Variety

*Support housing types that are smaller in scale than multifamily and may serve as 'Missing Middle'*

- 1) Remove 10% commercial floor area requirement for Attached Living (townhomes and row houses)
- 2) Create a new category for Stacked Townhouses; 10% commercial requirement not applicable



## Reduce Space Devoted to Parking

*Making Blue Hill less auto-oriented can also reduce the scale of the built environment*

- 1) Allow 50% parking reduction for mixed use projects, consistent with MU-V
  - Requires at least 25% residential floor area and 25% commercial floor area
- 2) POTENTIAL FUTURE EFFORT – explore opportunity for Blue Hill payment-in-lieu, to fund a possible parking project



# Support Standalone Parking Decks

*Support more structured parking separated from buildings to reduce building scale*

- Allow a CDC Design Alternative to reduce the structured parking setback for all levels of a deck, not just 2<sup>nd</sup> and 3<sup>rd</sup> level





# Staff Recommendation

- Open the public hearing and receive public comment
- Continue the public hearing to February 12, 2020

DRAFT

## RESOLUTION OF CONSISTENCY

A RESOLUTION FINDING THAT THE PROPOSED AMENDMENTS TO SECTION 3.11 OF THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE TO UPDATE STANDARDS FOR BUILDING MASSING IN THE BLUE HILL DISTRICT ARE CONSISTENT WITH THE COMPREHENSIVE PLAN (2020-##-##/R-#)

WHEREAS, the Council of the Town of Chapel Hill has considered the Town-initiated proposal to amend the Land Use Management Ordinance to respond to the interests outlined in the petition submitted by Council members on March 14, 2018; and

WHEREAS, upon consideration the Council finds that the amendments, if enacted, are reasonable and in the public's interest and are warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Family-friendly, accessible exterior and interior places throughout the town for a variety of active uses (Goal A Place for Everyone.1)
- Promote a safe, vibrant, and connected (physical and person) community (Goal Community Prosperity and Engagement.3)
- A development decision-making process that provides clarity and consistency with the goals of the Chapel Hill 2020 comprehensive plan (Goal Good Places New Spaces.3)
- Open and accessible common spaces for community gathering, cultural uses, and community development (Goal Good Places New Spaces.7)
- Future land use, form, and density that strengthen the community, social equity, economic prosperity, and natural environment (Goal Good Places New Spaces.8)

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed zoning text amendments to be reasonable and consistent with the Town Comprehensive Plan.

This the \_\_\_\_ day of \_\_\_\_\_, 2020.

**ORDINANCE A**

(Enacting the Land Use Management Ordinance Text Amendment)

**AN ORDINANCE AMENDING SECTION 3.11 OF THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE TO UPDATE STANDARDS FOR BUILDING MASSING IN THE BLUE HILL DISTRICT (2020-##-##/O-#)**

WHEREAS, on May 12, 2014, the Town Council amended the Land Use Management Ordinance to establish Form District Regulations for the Ephesus Church Road/Fordham Boulevard area of Chapel Hill, now identified as the Blue Hill District; and

WHEREAS, on March 14, 2018, Council Members petitioned the Mayor and Town Manager to consider solutions for the Blue Hill District that would address community interests, one of these being building size and massing concerns; and

WHEREAS, on January 7, 2019, the Planning Commission considered Land Use Management Ordinance text amendments on building size and massing and forwarded a recommendation to the Public Hearing before the Council; and

WHEREAS, the Council of the Town of Chapel Hill has considered the Town-initiated proposal to amend the Land Use Management Ordinance in response to the interest outlined in the petition; and

WHEREAS, the Council finds that reinvestment in properties in the Blue Hill District is appropriate and especially significant based on the findings of the Ephesus Church-Fordham Small Area Plan; and

WHEREAS, upon consideration the Council finds that the ordinance is warranted because of changed or changing conditions in the area or in the jurisdiction generally; and

WHEREAS, the Council further finds that the ordinance is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Family-friendly, accessible exterior and interior places throughout the town for a variety of active uses (Goal A Place for Everyone.1)
- Promote a safe, vibrant, and connected (physical and person) community (Goal Community Prosperity and Engagement.3)
- A development decision-making process that provides clarity and consistency with the goals of the Chapel Hill 2020 comprehensive plan (Goal Good Places New Spaces.3)
- Open and accessible common spaces for community gathering, cultural uses, and community development (Goal Good Places New Spaces.7)
- Future land use, form, and density that strengthen the community, social equity, economic prosperity, and natural environment (Goal Good Places New Spaces.8)

NOW, THEREFORE, BE IT ORDAINED by the Council of the Town of Chapel Hill that the Council amends Section 3.11. – Blue Hill Form District of the Land Use Management Ordinance, Appendix A of the Town Code, as follows:

**SECTION 1**

**Section 3.11.2.3 Walkable Residential (WR-3 and WR-7) Subsection 3. Mass** is hereby revised to read as follows:

*"[New diagrams to be developed to replace existing diagram]"*

| <b>Building Height</b>                    |  |   |
|---|--|---|
| (A)                                       | Building height (max)  |   |
|   | - WR-7   | 7 stories, not to exceed 90'  |
|   | - WR-3   | 3 stories, not to exceed 45'  |
| (B)                                       | Building height for principal structures (min)   | 2 stories*  |
| <b>Building Footprint and Aggregation</b> |  |   |
|   | <b><u>WR-3</u></b>   |   |
|   | - <b><u>Maximum width</u></b>  | <b><u>220'</u></b>  |
|   | - <b><u>Maximum depth</u></b>  | <b><u>130'</u></b>  |
|   | - <b><u>One additional secondary wing allowed at:</u></b>  | <b><u>75' width x 100' depth</u></b>  |
|   | <b><u>WR-7, If wrapping structured parking on at least two sides:</u></b>  |   |
|   | - <b><u>Maximum width</u></b>  | <b><u>330'</u></b>  |
|   | - <b><u>Maximum depth</u></b>  | <b><u>200'</u></b>  |
|   | - <b><u>One additional secondary wing allowed at:</u></b>  | <b><u>75' width x 100' depth</u></b>  |
|   | <b><u>WR-7, If not wrapping structured parking:</u></b>  |   |
|   | - <b><u>Option 1 Maximum width and depth:</u></b>  | <b><u>330' x 120'</u></b>   |
|   | - <b><u>Option 2 Maximum width and depth:</u></b>  | <b><u>275' x 210'</u></b>   |
|   | - <b><u>One additional secondary wing (for either option) allowed at:</u></b>  | <b><u>75' width x 100' depth</u></b>  |
|   | <b><u>For Structured Parking:</u></b>  |   |
|   | - <b><u>Maximum footprint dimensions:</u></b>  | <b><u>230' width x 180' depth</u></b>   |
|   | <b><u>Minimum building separation when in aggregate multiple buildings placed in proximity would otherwise exceed the above criteria (see Pedestrian Connectivity)</u></b> | <b><u>30' such that no grouping of buildings exceeds the maximum widths and depths as noted in this section</u></b> |
| <b>Mass Variation</b>                     |  |   |
| (C)                                       | Average floor plate area (max <b><u>as percent of ground story floor plate area</u></b> ) above 3 <sup>rd</sup> floor  |   |
|   | - <b><u>Second and Third stories</u></b>   | <b><u>Not Applicable</u></b>  |



|                                 |  |   |
|---------------------------------|--|---|
|                                 | <b><u>- Fourth story</u></b>   | <b><u>100% for a 4 story building; Otherwise, 80%</u></b>   |
|                                 | <b><u>- Fifth story and above</u></b>  | <b><u>70% of floor plate area of ground floor, with no floor plate exceeding 80% of ground floor area**</u></b> |
|                                 | <del>— 3-story buildings or less</del>   |   |
|                                 | <del>— 4-story buildings or greater</del>  | <del>70% of floor plate area of third floor, with no floor plate exceeding 80% of third floor area**</del>      |
|                                 | Buildings 4 stories or greater shall meet either the step back or module offset standard below |   |
| Ⓓ                               | Building step back above 2 <sup>nd</sup> or 3 <sup>rd</sup> floor (min)                        | 10' step back above 2 <sup>nd</sup> or 3 <sup>rd</sup> floor  |
| Ⓔ                               | Module offset  |   |
|                                 | - Module width (max)   | 80'   |
|                                 | - Depth of offset (min)  | 6'  |
|                                 | -Width of offset (min)   | 12'   |
| <b>Story Height</b>             |  |   |
| Ⓕ                               | Ground story height, floor to ceiling (min)  | 9'  |
| Ⓖ                               | Upper story height, floor to ceiling (min)   | 9'  |
| <b>Ⓕ Ground Floor Elevation</b> |  |   |
|                                 | Ground floor elevation (min/max)   | 2'/4'   |

\*The second story shall be at least 2/3rds the floor area of the first story."

## **SECTION 2**

**Section 3.11.2.3 Walkable Residential (WR-3 and WR-7) Subsection 4. Form** is hereby revised to read as follows:

“[No change to diagram]

|                          |  |                      |
|--------------------------|--|----------------------|
| <b>Transparency</b>      |  |                      |
| Ⓐ                        | Ground story (min)   | 20%                  |
| Ⓑ                        | Upper story (min)  | 20%                  |
| Ⓒ                        | Blank wall distance (max)                                      | 50'                  |
| <b>Pedestrian Access</b> |  |                      |
| Ⓓ                        | Principal entrance facing the public realm                     | Required             |
| Ⓔ                        | Principal entrance spacing along street-facing facade (max)    | 50'                  |
| Ⓕ                        | Building <b><u>Pedestrian</u></b> pass- <b><u>throughs</u></b> | 330' maximum spacing |

|                                      |                    |   |
|--------------------------------------|--------------------|---|
|                                      | Width (min)        | 12'   |
|                                      | Height (min)       | Equal to the height of the adjacent first floor ceiling |
| <b>© Building Elements Permitted</b> |                    |   |
|                                      | Front porch, stoop |   |
|                                      | Balcony            |   |
|                                      | Forecourt          |   |

### **SECTION 3**

**Section 3.11.2.4. Walkable Mixed Use (WX-5 and WX-7), Subsection 3. Mass** is hereby revised to read as follows:

*"[New diagrams to be developed to replace existing diagram]"*

| <b>Building Height</b>                    |  |   |
|---|--|---|
| Ⓐ   | Building height (max)  |   |
|   | - WX-7   | 7 stories, not to exceed 90'  |
|   | - WX-5   | 5 stories, not to exceed 60'  |
| Ⓑ   | Building height for principal structures (min)   | 2 stories*  |
| <b>Building Footprint and Aggregation</b> |  |   |
|   | <b><u>If wrapping structured parking on at least two sides:</u></b>  |   |
|   | - <b><u>Maximum width</u></b>  | <b><u>330'</u></b>  |
|   | - <b><u>Maximum depth</u></b>  | <b><u>200'</u></b>  |
|   | - <b><u>One additional secondary wing allowed at:</u></b>  | <b><u>75' width x 100' depth</u></b>  |
|   | <b><u>If not wrapping structured parking:</u></b>  |   |
|   | - <b><u>Option 1 Maximum width and depth:</u></b>  | <b><u>330' x 120'</u></b>   |
|   | - <b><u>Option 2 Maximum width and depth:</u></b>  | <b><u>275' x 210'</u></b>   |
|   | - <b><u>One additional secondary wing (for either option) allowed at:</u></b>  | <b><u>75' width x 100' depth</u></b>  |
|   | <b><u>For Structured Parking:</u></b>  |   |
|   | - <b><u>Maximum footprint dimensions:</u></b>  | <b><u>230' width x 180' depth</u></b>   |
|   | <b><u>Minimum building separation when in aggregate multiple buildings placed in proximity would otherwise exceed the above criteria (see Pedestrian Connectivity)</u></b> | <b><u>30' such that no grouping of buildings exceeds the maximum widths and depths as noted in this section</u></b> |

| <b>Mass Variation</b>           |   |   |
|---------------------------------|---|---|
| ©                               | Average floor plate area (max <b><u>as percent of ground story floor plate area</u></b> ) above 3 <sup>rd</sup> floor |   |
|                                 | <b><u>- Second and Third stories</u></b>  | <b><u>Not applicable</u></b>  |
|                                 | <b><u>- Fourth story</u></b>  | <b><u>100% for a 4 story building; Otherwise, 80%</u></b>   |
|                                 | <b><u>- Fifth story and above</u></b>   | <b><u>70% of floor plate area of ground floor, with no floor plate exceeding 80% of ground floor area**</u></b> |
|                                 | - 3-story buildings or less   |   |
|                                 | - 4-story buildings or greater  | 70% of floor plate area of third floor, with no floor plate exceeding 80% of third floor area**                 |
|                                 | Buildings 4 stories or greater shall meet either the step back or module offset standard below                        |   |
| Ⓓ                               | Building step back above 2 <sup>nd</sup> or 3 <sup>rd</sup> floor (min)   | 10' step back above 2 <sup>nd</sup> or 3 <sup>rd</sup> floor  |
| Ⓔ                               | Module offset   |   |
|                                 | - Average module width (max)  | 80'   |
|                                 | - Depth of offset (min)   | 6'  |
|                                 | - Width of offset (min)   | 12'   |
| <b>Story Height</b>             |   |   |
| Ⓕ                               | Ground story height, floor to ceiling (min)   |   |
|                                 | - Residential   | 9'  |
|                                 | - Nonresidential  | 13'   |
| Ⓖ                               | Upper story height, floor to ceiling (min)  | 9'  |
| <b>Ⓗ Ground Floor Elevation</b> |   |   |
|                                 | - Residential (min/max)   | 2'/4'   |
|                                 | - Nonresidential (min/max)  | 0'/2'   |

\*The second story shall be at least 2/3rds the floor area of the first story

\*\*Greater floor plate area is permitted above the 3<sup>rd</sup> floor for a building that includes non-residential uses, subject to provision of a 20' building setback, as described in Section 3.11.2.7.T."

**SECTION 4**

**Section 3.11.2.4. Walkable Mixed Use (WX-5 and WX-7), Subsection 4. Form** is hereby revised to read as follows:

*"[No change to diagram]"*

| <b>Transparency</b>                  |   |  |
|--------------------------------------|---|--|
| Ⓐ                                    | Ground story (min)  |  |
|                                      | - Residential   | 20%  |
|                                      | - Nonresidential  | 60%  |
| Ⓑ                                    | Upper story (min)   | 20%  |
| Ⓒ                                    | Blank wall distance (max)                                   |  |
|                                      | - Residential   | 50'  |
|                                      | - Nonresidential  | 30'  |
| <b>Pedestrian Access</b>             |   |  |
| Ⓓ                                    | Principal entrance facing the public realm                  | Required   |
| Ⓔ                                    | Principal entrance spacing along street-facing facade (max) |  |
|                                      | - Residential   | 50'  |
|                                      | - Nonresidential  | 100'   |
| Ⓕ                                    | <del>Building</del> <b>Pedestrian pass-throughs</b>         | 330' maximum spacing   |
|                                      | <del>Width (min)</del>                                      | <del>±2'</del>   |
|                                      | <del>Height (min)</del>                                     | <del>Equal to the height of the adjacent first floor ceiling</del> |
| <b>Ⓖ Building Elements Permitted</b> |   |  |
|                                      | Front porch, stoop  |  |
|                                      | Balcony   |  |
|                                      | Awning/canopy   |  |
|                                      | Gallery   |  |
|                                      | Forecourt"  |  |

**SECTION 5**

**Section 3.11.2.5. Frontages, Subsection TYPE A FRONTAGE Parking Location** is hereby revised in the chart to read as follows:

| <b>"Parking Location</b>  |
|---|
| Surface parking: Not permitted in the Build-to-Zone   |
| Structured or covered parking: 30' minimum behind front building façade for all floors. A smaller setback may be permitted <del>for the second and third floors</del> with a design alternative." |



## **SECTION 6**

**Section 3.11.2.5. Frontages, Subsection TYPE B FRONTAGE Parking Location** is hereby revised in the chart to read as follows:

| <b>"Parking Location</b>  |
|---|
| Surface parking: 2 bays maximum permitted between building and street   |
| Structured or covered parking: 30' minimum behind front building façade for all floors. A smaller setback may be permitted for the first through third floors with a design alternative." |

## **SECTION 7**

**Section 3.11.2.5. Frontages, Subsection TYPE E FRONTAGE Parking Location** is hereby revised in the chart to read as follows:

| <b>"Parking Location</b>   |
|--|
| Surface parking: Not permitted in the Build-to-Zone  |
| Structured or covered parking: 30' minimum behind front building façade for all floors. <b><u>A smaller setback may be permitted with a design alternative."</u></b> |

## **SECTION 8**

**Section 3.11.2.7. Measurements and Exceptions, Subsection F. Outdoor Amenity Space, subsection 4e.** is hereby revised to read as follows:

- "e. Where pedestrian pass-throughs **or other spaces between buildings** are provided, they may qualify as outdoor amenity space if ~~they are unobstructed above by any building elements and meet all other~~ **it meets all** requirements of this section **3.11.2.7.F.4.** ~~A building element used for shade purposes such as a pergola or canopy, which allows partial views to the sky, may be considered as unobstructed above."~~

## **SECTION 9**

**Section 3.11.2.7. Measurements and Exceptions, Subsection I. Build-to Requirements** is hereby revised to insert a new subsection 5. as follows:

- "5. Structured parking may count towards meeting the build-to requirement only where ground story conditioned space is provided with a minimum depth of 30' behind the structured parking façade."**

## **SECTION 10**

**Section 3.11.2.7. Measurements and Exceptions, Subsection S. Building Pass-Throughs** is hereby revised to read as follows:

S. **Pedestrian Building-pass-throughs.**

1. **Publicly accessible passages between buildings shall be provided in conjunction with any building separation provided such that no grouping of buildings exceeds the maximum building width.** Building pass-throughs shall be a minimum height equal to the first floor ceiling height of the adjacent building, except under any of the following circumstances:
  - a. Life safety service is required;
  - b. The height of the adjacent building is four stories or greater, in which case the pass-through shall be a minimum height equal to the second floor ceiling; or
  - c. The length of the building pass-through is greater than 50', in which case the pass-through shall be a minimum height equal to the second floor ceiling.
2. Building **Pedestrian** pass-throughs shall **include sidewalks with** a minimum width of 12' **8' and a minimum 8' clear zone provided to allow pedestrians to move from one side of a building to another, through a privately owned or publicly dedicated area.** except when the adjacent building is 4 stories or greater or when the length of the pass-through is greater than 50'. In such cases, the building pass-through shall be a greater width, with consideration of the following criteria:
  - a. The width of the pass-through should be in proportion to the height of the pass-through and in proportion to the associated building;
  - b. The pass-through should have prominent entrances;
  - c. The pass-through should be a safe and enjoyable public passage; and
  - d. The scale of the pass-through should invite use by pedestrians.
3. Variation to the dimensional requirements of a building pass-through may be granted through a design alternative, provided that varied massing, higher façade transparency, increased lighting, furnishings, and/or building entrances are incorporated to make the pass-through an inviting space.
- ~~34.~~ **Design Considerations.**
  - a. Building **Pedestrian** pass-throughs shall be adequately lit as per Section 3.11.4.5. (Site Lighting), with 0.5 (min) and 15.0 (max) foot candles at any point.
  - b. **Building elements and structures used for shade purposes may be provided within the minimum required space between buildings, so long as pedestrian through access is maintained.**
  - c. **Unenclosed overhead walkways may be provided to connect buildings, so long as they provide must have a clear height above the pedestrian through access of at least 10 feet.** Building pass-throughs shall serve as a publically accessible passage between or through buildings that allows pedestrians to move from one side of a building to another, through a privately owned or publically dedicated area.
- ~~45.~~ **Pass-Through Spacing.**
  - a. The maximum building **pedestrian** pass-through spacing may be increased by five percent (5%) through an administrative adjustment where one or more of the following applies:
    - i. Proposed to protect sensitive natural areas or save healthy existing trees;
    - ii. Required to protect natural conditions, such as watercourses, riparian buffers, natural rock formations or topography;
    - iii. Required based on some unusual aspect of the development site or the proposed development that is not shared by landowners generally within the Blue Hill District (e.g., unusual lot size or configuration);

- iv. Required due to the presence of existing utilities or other easements; or
- v. Proposed because there are no other options for ingress and egress.

**vi. Where an administrative adjustment to building size has been granted for maximum building width or depth in a corresponding location.**

- b. Where the Community Design Commission makes a finding that a proposed design alternative for ~~building~~ **pedestrian** pass-throughs will provide access that at a minimum meets the purpose or intent of Section 3.11.2.1.B and where one or more of the site constraints listed below applies, the Community Design Commission may approve an alternatively designed ~~building~~ **pedestrian** pass-through **spacing** up to the maximum allowable block length as part of a Certificate of Appropriateness:
    - i. Proposed to protect sensitive natural areas or save healthy existing trees;
    - ii. Required to protect natural conditions, such as watercourses, riparian buffers, natural rock formations or topography;
    - iii. Required based on some unusual aspect of the development site or the proposed development that is not shared by landowners generally within the Blue Hill District (e.g., unusual lot size or configuration); or
    - iv. Required due to the presence of existing utilities or other easements.
- v. Based on design considerations associated with the provision of public space in excess of the minimum requirements, and/or in support of a walkable public realm.”**

## **SECTION 11**

### **Section 3.11.2.7. Measurements and Exceptions, Subsection T. Mass Variation, subsection 1.** is hereby revised to read as follows:

- “1. *Upper Story Floor Plate Area.* The maximum upper story floor plate area shall be based on the **conditioned floor** area measured for the ~~third~~ **ground** story and applies at the fourth story and above. Where multiple stories are subject to the floor plate area requirement, both an average upper story and maximum upper story floor plate area apply.
- a. *Bonus.* An upper story bonus is permitted for a building or a site that includes a non-residential use as listed in the Permitted Use Table under 3.11.3.4. Where non-residential square footage is required under Section 3.11.3.5.A.4, the bonus described in this subsection is only available for square footage that exceeds the minimum required. For each square foot of non-residential use provided, the floor plate area of an upper story may increase by one (1) square foot in excess of the average upper story and maximum upper story floor plate, subject to provision of a 20' building step back in accordance with Section 3.11.2.7.T.2.b.”

## **SECTION 12**

**Section 3.11.2.7. Measurements and Exceptions** is hereby revised to insert a new Subsection U as follows:

### **"U. Building Footprint, Width, and Depth.**

#### **1. Maximum Building Dimensions**

- a. Maximum building width is measured as a line parallel to the primary frontage for each site.**
- b. Maximum building depth is measured as a line perpendicular to the street for each frontage applicable to the site, and applies to side facades. On corner lots, each street-facing façade is subject to the maximum building width and not depth.**
- c. The maximum building width and/or depth may be increased by five percent (5%) through an administrative adjustment where one or more of the following applies:**
  - i. Based on some unusual aspect of the development site or the proposed development that is not shared by landowners generally within the Blue Hill district (e.g., unusual lot size, configuration, or surrounding parcelization patterns);**
  - ii. Based on design considerations due to existing or proposed utilities or easements;**
  - iii. Based on design considerations for the accommodation of life safety, ingress or egress requirements.**
  - iv. Based on design considerations associated with the provision of public space in excess of the minimum requirements, and/or in support of a walkable public realm.**

#### **2. Building Separation**

- a. Multiple buildings may be constructed on a lot provided that each building meets the maximum building dimensions.**
- b. The minimum separation between two buildings on a lot shall be measured parallel to the street frontage."**

## **SECTION 13**

**Sec. 3.11.3. Use Requirements, Subsection 3.11.3.4. Permitted Use Table, Residential Uses** is hereby revised to read as follows:

| <b>"PERMITTED USES</b>             | <b>WR-3</b> | <b>WR-7</b> | <b>WX-5</b>           | <b>WX-7</b>           | <b>Def./Stds.</b>   |
|------------------------------------|-------------|-------------|-----------------------|-----------------------|---------------------|
| <b>Residential Uses</b>            |             |             |                       |                       |                     |
| Household living, as listed below: |             |             |                       |                       | Sec. 3.11.3.5.A     |
| Detached living                    | --          | --          | --                    | --                    | Sec. 3.11.3.5.A.1.a |
| Attached living                    | P           | P           | <del>L</del> <b>P</b> | <del>L</del> <b>P</b> | Sec. 3.11.3.5.A.1.b |
| Multifamily living                 | P           | P           | L                     | L                     | Sec. 3.11.3.5.A.1.c |
| Group living                       | --          | P           | L                     | L                     | Sec. 3.11.3.5.A.2   |
| Social service living              | --          | --          | S                     | S                     | Sec. 3.11.3.5.A.3   |

"



## **SECTION 14**

**Section 3.11.3.5. Use Categories, Subsection A. Residential Uses, subsection 4.** is hereby revised to read as follows:

- "4. *Limited Use.* **Unless exempted below, r**~~Residential uses in the WX-5 and WX-7 subdistricts~~ **Limited Use category** must include a non-residential use as part of the same application, in order to accomplish the Form District intent for a mixture of uses. For purposes of this section, a non-residential use includes any use listed in the Permitted Use Table (Sec. 3.11.3.4) that is not listed in the residential use category. To satisfy this requirement, the application must satisfy at least one of the criteria below. A building or site with non-residential floor area exceeding the minimum defined below may utilize the Upper Story Floor Area Bonus established in Section 3.11.2.7.T.1.a.
- a. *Mixed Use Building.* Where each building contains a vertical mix of uses, a minimum of 10% of the building floor area must contain a non-residential use. A certificate of occupancy must be issued for at least 50% of the non-residential floor area prior to issuance of a certificate of occupancy for more than 90% of the residential floor area.
  - b. *Mixed Use Site.* A site with multiple buildings may include buildings with a single use, so long as a minimum of 15% of the total floor area for the site contains a non-residential use.
  - c. **Exemption for stacked townhouses. A non-residential use is not required in an application for Multifamily Living that is limited such that no more than two units are stacked vertically at any single location."**

## **SECTION 15**

**Section 3.11.4.1. Parking and Access Standards, Subsection C. Required Parking, subsection 1.** is hereby revised to read as follows:

- "1. *Reductions.*
- a. A reduction of up to twenty (20) percent of the minimum number of required vehicular parking spaces may be permitted through the granting of an alternative ratio by the town manager if, based on substantial evidence, the manager finds that compliance with the full minimum off-street vehicular parking space requirements of this section would not be required by the applicant's proposed use. This reduction applies to bicycle parking spaces as well, provided that the ratio between Class A and Class B spaces remains the same as the requirement in this section.
  - b. A total reduction of up to forty (40) percent of the minimum number of required vehicular and bicycle parking spaces may be permitted for projects serving the elderly or handicapped, following a positive recommendation from the planning director and approval of the town manager.
  - c. Motorcycle and scooter parking may substitute for required parking spaces. Existing parking may be converted to take advantage of this provision.
    - i. Motorcycle and scooter parking may substitute for up to five (5) vehicle spaces or five (5) percent of the required parking spaces, whichever is less. For every two (2) motorcycle or scooter parking spaces provided, the vehicle parking space requirement is reduced by one (1) space.

- ii. Motorcycle and scooter parking spaces must be identified or designated through the use of signage or pavement markings.
- d. A reduction of up to twenty (20) percent of the minimum parking requirements may be achieved by providing a transportation management plan subject to approval by the town manager or subject to approval by the town council if the proposed use requires town council approval. The transportation management plan shall identify efforts to promote the use of alternate modes of transportation and may include required parking and/or payment to the Town of Chapel Hill Parking Fund in accord with Chapter 11A of the Chapel Hill Code of Ordinances for a portion of the required spaces.
- e. **A reduction of up to fifty (50) percent of the minimum number of required vehicular parking spaces is permitted if the mix of uses within a proposed development contains at least twenty-five (25) percent of the floor area devoted to Residential uses and at least twenty-five (25) percent of the floor area devoted to Commercial uses.**
- ef. A reduction of the number of required spaces may be achieved through a shared parking analysis certified by a professional engineer and subject to approval by the town manager. Such an analysis may include, where appropriate, considerations of peak hour usage, mode split, internal capture, remote parking as defined in this section, transportation demand management, and other approved parking management strategies.
- fg. Nothing in this section precludes an applicant from pursuing Shared Parking as outlined in Section 5.9.3."

## **SECTION 16**

**Section 3.11.4.8.B Defined Terms** is hereby revised to insert and remove the following definitions in appropriate alphabetical order:

*"Building depth* means the largest total dimension of a building footprint measured perpendicular to the primary frontage.

*Building width* means the largest total dimension of a building footprint measured in parallel to the primary frontage.

~~*Building Pass-through* means a publically accessible passage between or through buildings that allows, at a minimum, pedestrians and bicyclists to move from one (1) side of building to another through a privately owned or publically dedicated area. A building pass-through includes but is not limited to a through-street, an alley, a bicycle and pedestrian pass-through, trail, greenway or other similar passage; vehicles may be allowed as desired by the applicant.~~

**Pedestrian Pass-through means a publically accessible passage between buildings that allows, at a minimum, pedestrians to move from one (1) side of building to another through a privately owned or publically dedicated area. A pedestrian pass-through includes but is not limited to a through-street, an alley, a bicycle and pedestrian pass-through, trail, greenway or other similar passage. Vehicles may be allowed as desired by the applicant, provided that the design of the pass-through prioritizes pedestrian movements.**

**SECTION 17**

This ordinance shall be effective upon enactment.

This the \_\_\_\_\_ day of \_\_\_\_\_, 2020.

# TOWN OF CHAPEL HILL




## BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

### Exhibit 1

#### Conventional Commercial Product Matrix for Relevant Blue Hill District Future Development



The Chapel Hill office market is limited due to being located on the fringe of the Raleigh-Durham-Chapel Hill Combined Statistical Area (CSA), with most office space occupied by healthcare providers, companies tied to local universities, and professional service firms serving the local market. Most seek space in the 5,000 to 10,000 SF range and if growing, the company typically graduates to a more central location to make itself more attractive and accessible to a larger population. As such, commercial space in the Blue Hill District will primarily come in the form of retail and/or local population servicing firms. Future space will primarily be service, food & beverage offerings and entertainment as the area attracts increased residential population, with larger format dry good stores seeking cheaper land with more of a highway orientation.

| Product Type                               | Example   | Description   | Typical FAR | Typical Acreage | NNN Rent Needed | Average Value Per SF | Typical Dev. Cost Per SF | Typical Land Value Per Bldg. SF | Typical Land Value Per Acre |
|--|---|---|-------------|-----------------|-----------------|----------------------|--------------------------|---------------------------------|-----------------------------|
| Mid-High Rise, Adjacent Deck               |    | Type I construction, but with adjacent pre-cast deck. Typically 100,000 SF +/-.   | 0.5-3.0     | 1-6             | \$30.00         | \$575                | \$400-450                | \$25                            | \$1M+                       |
| Low-Mid Rise (2-5 Stories), Surface Parked |   | Various construction types, but not concrete, with surface parking. Typically 100,000 SF +/-.                               | 0.35-0.75   | 4               | \$25.00         | \$425                | \$300-350                | \$22                            | \$500k+                     |
| Single Story, Surface Parked               |  | Often steel frame for larger spans, but can be wood. Office or retail use, but retail buildings may have more fenestration. | 0.1-1.0     | 1-10            | \$24.00         | \$375                | \$275-300                | \$20                            | \$175k+                     |

SOURCE: Noell Consulting Group



## TOWN OF CHAPEL HILL BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

### Exhibit 2

#### Conventional Multifamily Product Matrix for Relevant Blue Hill District Future Development



When excluding properties catering only to local students, the Chapel Hill multifamily market is driven by a mix of young and mature professionals, couples, and families both new to market and those between homes, with a notable concentration of empty-nester / retiree move-downs. Those without kids tend to seek the same locational attributes: a convenient location with proximity to work and lifestyle amenities. Many choose the Blue Hill District area to get away from the "college scene" and also a convenient location for split-commuting couples / roommates.



Since the recession only one apartment community has been delivered in the Blue Hill District, a 264 unit podium and deck-wrapped community called Berkshire Chapel Hill, however, there are two projects currently under construction - Trilogy Chapel Hill, a 328 unit project by Leon Capital Group and a 272 unit project off Fordham Boulevard by Ram Realty, both projects are wrapped product, but the Fordham Blvd site also features a partial podium to allow for retail.

| Product Type          | Example   | Description  | Typical Units/Acre | Typical Acreage | PSF Rent Needed | Typical Unit Rent | Average Household Income | Average Value Per Unit | Typical Dev. Cost Per Unit | Typical Land Value Per Unit | Typical Land Value Per Acre |
|-----------------------|---|--|--------------------|-----------------|-----------------|-------------------|--------------------------|------------------------|----------------------------|-----------------------------|-----------------------------|
| Podium                |    | 6-12 Stories, but most are 6-7 to remain wood frame above 1-2 floors of parking podium | 100-150            | 3 to 4          | \$2.20+         | \$1,850           | \$85k+                   | \$310,000              | \$250,000                  | \$28,000                    | \$3-4M                      |
| Wrap                  |   | 4-5 Stories, around or adjacent to structured parking                                  | 60-100             | 4 to 7          | \$2.00+         | \$1,700           | \$70k+                   | \$285,000              | \$225,000                  | \$25,000                    | \$2M                        |
| Garden-Urban          |  | 3-4 Stories, surface parked, typically with elevators                                  | 20-40              | 10 to 15        | \$1.60+         | \$1,300           | \$50k+                   | \$200,000              | \$165,000                  | \$20,000                    | \$600k                      |
| Garden With Elevators |  | 3-4 Stories, surface parked  | 15-20              | 15 to 20        | \$1.40+         | \$1,200           | \$40k+                   | \$180,000              | \$150,000                  | \$18,000                    | \$300k                      |

SOURCE: Noell Consulting Group, CoStar

# TOWN OF CHAPEL HILL

## BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

### Exhibit 3

#### Conventional For-Sale Product Matrix for Relevant Blue Hill District Future Development



|   |                    |       |
|---|--------------------|-------|
| <b>1 Winmore, 2010 - Present</b>                |                    |       |
| Average Size (SF)                               | Average Price (\$) | \$/SF |
| 2,300   | \$273,925          | \$119 |
| <b>2 Summit Park Meadowmont, 2001 - 2066</b>    |                    |       |
| Average Size (SF)                               | Average Price (\$) | \$/SF |
| 4,428   | \$857,683          | \$194 |
| <b>3 Murray Hill Meadowmont, 2016 - Present</b> |                    |       |
| Average Size (SF)                               | Average Price (\$) | \$/SF |
| 2,729   | \$825,833          | \$303 |
| <b>4 Creekside Commons, 2019 - Present</b>      |                    |       |
| Average Size (SF)                               | Average Price (\$) | \$/SF |
| 2,249   | \$302,022          | \$134 |
| <b>5 Chapel Run, 2018 - Present</b>             |                    |       |
| Average Size (SF)                               | Average Price (\$) | \$/SF |
| 1,628   | \$273,471          | \$168 |

Townhome product in the Chapel Hill area since the recession has been primarily built as an entry-level product for those seeking to reside in the Chapel Hill area. Communities average around 1,600 to 2,300 SF in size with averaging pricing roughly \$270,000 to \$300,000.

Higher end product has been limited, with a small development in Meadowmont offering larger, higher-end product targeting empty-nester / move-down types with pricing in the \$800,000s. The sizes for this product are a significant reduction in the previous townhomes sold in Meadowmont, which averaged around 4,400 SF and resale in the mid to high \$800,000s.

With the demonstrated pricing, the entry-level townhome product can pay roughly \$150,000 an acre with the higher end product paying upwards of \$1.5 million an acre.

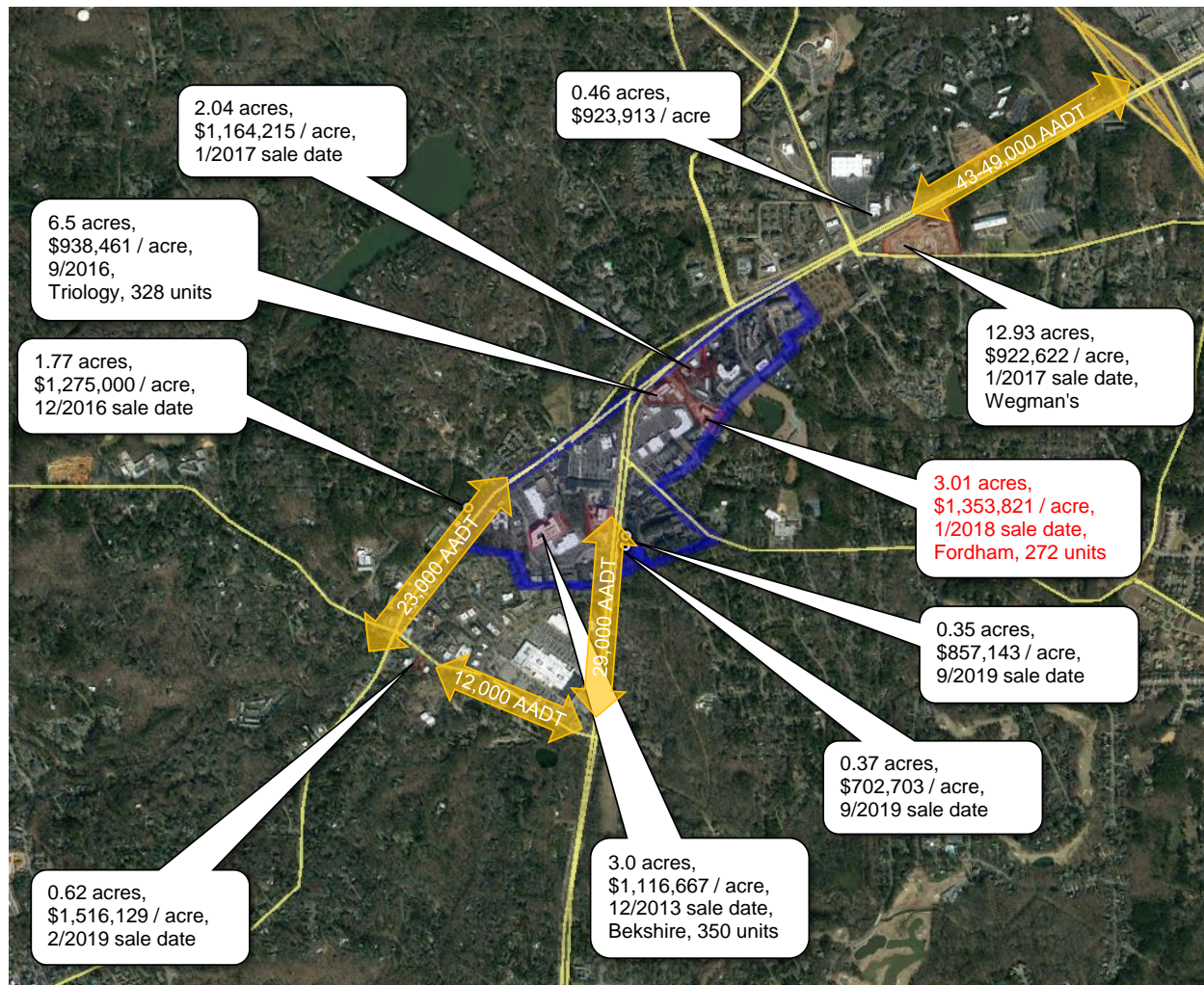
| Product Type           | Example | Description  | Typical Units/Acre | Typical Acreage | PSF Value Needed | Minimum Sales Price | Average Household Income | Typical Dev. Cost Per Unit | Typical Raw Land Value Per Unit | Typical Raw Land Value Per Acre |
|------------------------|---------|--|--------------------|-----------------|------------------|---------------------|--------------------------|----------------------------|---------------------------------|---------------------------------|
| Luxury Townhomes       |         | 3-4 Stories, typically 22'-32' widths, 2-car garage, rooftop or yard, typically alley loaded | 8-14               | 3-15            | \$250/SF+        | \$700,000           | \$160k+                  | \$455,000                  | \$175,000                       | \$1.4M                          |
| Urban/Micro Townhomes  |         | 3-4 Stories, typically 12'-18' widths, surface or tandem garage                              | 12-28              | 0.5 to 15       | \$275/SF+        | \$300,000           | \$75k+                   | \$210,000                  | \$54,000                        | \$800k-\$1M                     |
| Detached Townhomes     |         | 2-3 Stories, typically 17'-24' widths, 2-car garage typically front loaded, sometimes w/yard | 10-12              | 3-15            | \$200/SF+        | \$400,000           | \$100k+                  | \$280,000                  | \$72,000                        | \$700-800k                      |
| Conventional Townhomes |         | 3-4 Stories, typically 18'-28' widths, 2-car garage typically front loaded, sometimes w/yard | 8-12               | 10+             | \$195/SF+        | \$360,000           | \$90k+                   | \$252,000                  | \$64,800                        | \$650k                          |
| Entry-Level Townhomes  |         | 2 Stories, typically 12'-20' widths, surface parking, some with 1-car garage                 | 8-12               | 10 to 20        | \$100/SF+        | \$150,000           | \$35-45k                 | \$112,500                  | \$15,000                        | \$150k                          |

SOURCE: Noell Consulting Group



## TOWN OF CHAPEL HILL BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

Exhibit 4  
Recent Land Sales in/near the Blue Hill District

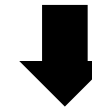


Land costs in the local area range depending on locational attributes such as in-place zoning, ability to upzone, street frontage, and drive counts of said streets. Additionally, the size of the lot and developable area play an important role.

Small lot, proximity to major retail core, entitled: \$1.5 million / acre



Large lot in Blue Hill District, significant Fordham or Franklin Street frontage: \$1.25 million / acre



Outside Blue Hill District & outside major retail core, strong street frontage with high traffic count: \$1.0 million / acre



Smaller, challenged development parcels and/or more limited access/visibility: \$800,000 / acre

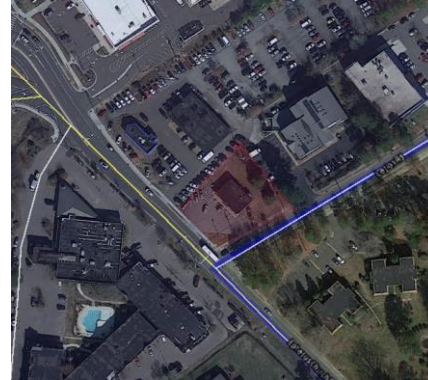
Source: NCG, CoStar, NCDOT

## TOWN OF CHAPEL HILL BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

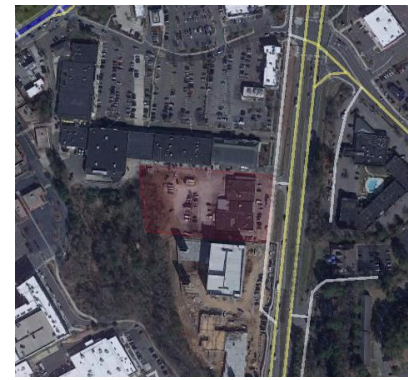
### Exhibit 5 Redevelopment Potential of Existing Shopping Centers



**Performance Automall Wegman's**  
Value: \$922,622 / acre



**106 Ephesus Church Road**  
Est. Value: \$1,045,000 / acre



**Mariakakis Plaza**  
Est. Value: \$2,050,000 / acre



**Eastgate / Galleria**  
Est. Value: \$3,000,000 / acre



One of the challenges, in terms of attracting new development into the Blue Hill District, is that the area is home to many high performing retail centers such as Eastgate Crossing where high occupancies and high retail rents lead to high economic values of the property. These high values limit redevelopment opportunities to only the highest performing and dense commercial and residential building types. These higher density projects require higher rents to justify the costs of construction. For example, podium multifamily product in the Southeastern United States typically requires rents in the range of \$2.20 / SF to justify the costs of new construction. Currently Berkshire Chapel Hill is achieving rents in the \$1.70 / SF range.

Even older shopping centers in the area, such as Mariakakis Plaza, have an estimated value of \$2,000,000+ / acre based on their estimated occupancy and market rents. Opportunity exists on larger sites that aren't producing as high economically such as the former Performance Automall that was bought for roughly \$925,000 / acre. Additionally, sites such as 106 Ephesus Church Road where small retail buildings limit the economic value of the property make such sites redevelopable, but the small nature of the site presents other challenges such as the need for assemblage with other nearby properties.

Source: NCG

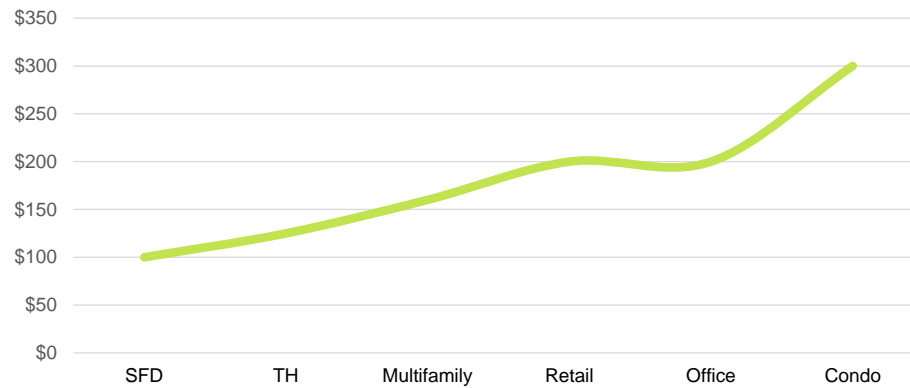


## TOWN OF CHAPEL HILL BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

### Exhibit 6

Typical Current Construction Costs (Hard Costs Only) By Product Type in the Southeast

#### Construction Costs (\$/SF)



- ❑ Development costs = land, construction, and soft costs (architectural, engineering, financing, legal fees, etc)
- ❑ Soft costs consistent at around 20-25% of total development costs
- ❑ Profit margins consistent at around 20-25% of total development costs (certain profit margin hurdles are needed to get financing approval for the project and investor buy-in)
- ❑ Assuming land price is set by the market, the only significant variable in a development proforma is density

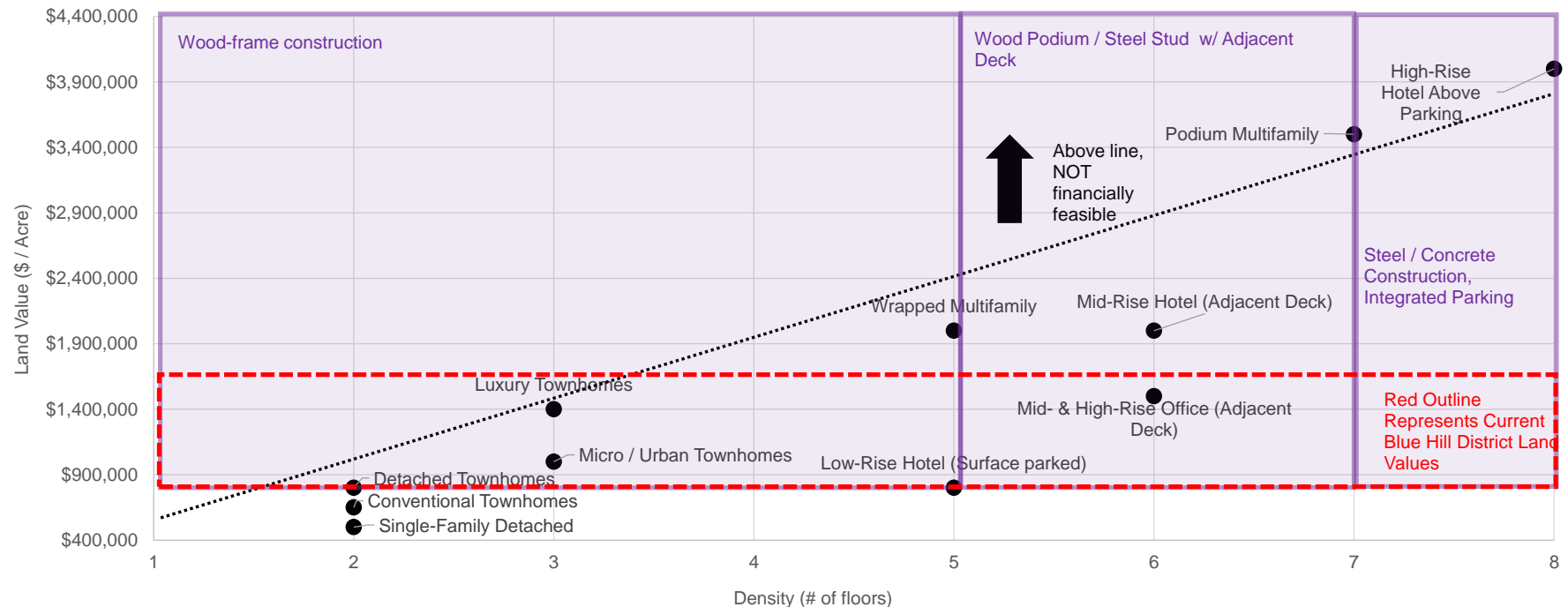


Source: NCG

## TOWN OF CHAPEL HILL BLUE HILL DISTRICT MARKET ANALYSIS FOR FUTURE DEVELOPMENT DENSITY

### Exhibit 7

#### Feasible Development Types By Land Value, Density, and Market Values



- The chart above shows typical building heights for various uses, typical land values (per acre) they can justify paying, and current Blue Hill District land values outlined in red. The black line shows what is financially feasible given current market values and typical construction costs for each product type, across various land values and densities.
- Key Conclusions:**
- Land values are typically too expensive to support new single-family detached homes and/or conventional townhomes (under \$700k) within the District. Surface parked hotels will also be difficult to financially justify going forward.
- Wrapped multifamily and mid-rise hotels with either surface parked or adjacent deck configurations can justify paying more for land than current values. This additional benefit to their proforma may result in the ability to extract more community benefits in the future. Mid and high-rise office developments with adjacent parking decks may fall into this category as well if they are allowed greater than 6 stories.
- Market values do not currently support the ability to financially justify full podium multifamily developments or hotels above structured parking. These development types may come soon, but they will be financially thin and will have little ability to contribute significantly to community benefits.
- Three varieties of townhomes; detached townhomes, micro/urban townhomes, and luxury townhomes represent ideal development types currently supportable in the District, yet are under represented today. While financially they will have a hard time contributing significantly to community benefits, they may represent a strong opportunity for lowering overall density and/or creating transitions.

Source: NCG



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 13., **File #:** [20-0019], **Version:** 1

**Meeting Date:** 1/8/2020

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**Open the Public Hearing: Land Use Management Ordinance Text Amendment - Proposed Changes to Sections 8.3 and 8.4 Regarding Advisory Board Officer Term Limits; Consider Enacting LUMO and other Town Code Amendments Regarding Term Limits for Town Advisory Board Officers.**

See the Staff Report on the next page.

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

**PRESENTER:** Anya Grahm, Senior Planner

- a. Introduction and recommendation
- b. Recommendation of the Planning Commission
- c. Comments from the public
- d. Comments and questions from the Mayor and Town Council
- e. Motion to adjourn the Public Hearing
- f. Motion to adopt the Resolution of Consistency with the Comprehensive Plan
- g. Motion to enact the ordinance to approve the changes to the Land Use Management Ordinance
- h. Motion to enact the ordinance to approve the changes to the Town Code of Ordinances.

**RECOMMENDATION:** That the Council open the Public Hearing and receive comment, close the Public Hearing, adopt the Resolution of Consistency, enact Ordinance A, and enact Ordinance B regarding the advisory board officer clause.



**OPEN THE PUBLIC HEARING FOR LAND USE MANAGEMENT ORDINANCE TEXT AMENDMENT – PROPOSED CHANGES TO SECTIONS 8.3 AND 8.4 REGARDING ADVISORY BOARD OFFICER TERM LIMITS; CONSIDER ENACTING OTHER TOWN CODE AMENDMENTS REGARDING TERM LIMITS FOR TOWN ADVISORY BOARD OFFICERS**

**STAFF REPORT**

TOWN OF CHAPEL HILL PLANNING DEPARTMENT

Judy Johnson, Interim Director

Becky McDonnell, Planner II

Anya Grahn, Senior Planner

Amy Harvey, Deputy Town Clerk, Communications and Public Affairs

|   |  |
|---|--|
| <p><b>AMENDMENT REQUEST</b></p> <p>Amend the Officer section of the Historic District Commission and Board of Adjustment sections of the Land Use Management Ordinance to refer to the Advisory Board Membership Policy, which allows advisory board members to serve as a Vice-Chair for a maximum of two consecutive years and also be eligible to serve as a Chair for a maximum of two consecutive years (with no officer serving more than four consecutive years).</p> <p>Amend Sections of the Town Code to make similar changes for other Town Advisory Boards (no formal public hearing required).</p> | <p><b>DATE</b></p> <p>January 8, 2020</p>  |
| <p><b>STAFF RECOMMENDATION</b></p> <p>That the Council open the public hearing on the Land Use Management Ordinance text amendment, receive public comment, close the hearing, and enact amendments to the LUMO and Town Code (Ordinances A and B).</p>   |  |
| <p><b>PROCESS</b></p> <p>The Council must consider whether one or more of the <b>three findings</b> for enactment of the Land Use Management Ordinance Text Amendment applies:</p> <ol style="list-style-type: none"> <li>1. To correct a manifest error in the chapter; or</li> <li>2. Because of changed or changing conditions in a particular area or in the jurisdiction generally; or</li> <li>3. To achieve the purposes of the Comprehensive Plan.</li> </ol>   | <p><b>OVERVIEW</b></p> <ul style="list-style-type: none"> <li>• The <a href="#">Parks, Greenways, and Recreation Commission petitioned</a><sup>1</sup> the Town Council to permit current officers to serve an additional year as an officer.</li> <li>• The Council Committee on Boards and Commissions recommended amending the Advisory Board Membership Policy to resolve this issue for all boards and commissions, and on <a href="#">November 13, 2019</a><sup>2</sup> the Council amended the Policy.</li> <li>• This amendment request would create consistency between the recently updated Policy and applicable sections of the Town Code and the LUMO.</li> </ul> |
| <p><b>DECISION POINTS</b></p> <p>The Land Use Management Ordinance text amendments (Ordinance A) would update Board of Adjustment (Section 8.3) and Historic District Commission (Section 8.4) of the Land Use Management Ordinance so that any reference to board officer length of term policies would refer back to the Advisory Board Membership Policy.</p> <p>The Town Code text amendments (Ordinance B) would update the relevant sections of the Town Code similarly for other advisory boards and also make other minor technical corrections to errors identified by Council members and staff.</p>  |  |
| <p><b>ATTACHMENTS</b></p>   | <ol style="list-style-type: none"> <li>1. Draft Staff Presentation</li> <li>2. Resolution of Consistency A (for proposed Land Use Management Ordinance amendment)</li> <li>3. Ordinance A (Enactment of Land Use Management Ordinance Text Amendment Proposal)</li> <li>4. Resolution B (Deny Land Use Management Ordinance Text Amendment Proposal)</li> <li>5. Ordinance B (Enactment of Change to Broader Town Code Sections)</li> </ol>  |

<sup>1</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4149001&GUID=979BD6A6-6597-4853-A7A7-AB233584EC4E&Options=&Search=>

<sup>2</sup> <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4224803&GUID=A8B50079-510D-4915-A602-DCB60A70BB2D&Options=&Search=>





# Land Use Management Ordinance Text Amendment Advisory Board Officer Term Limits

January 8, 2020

DRAFT

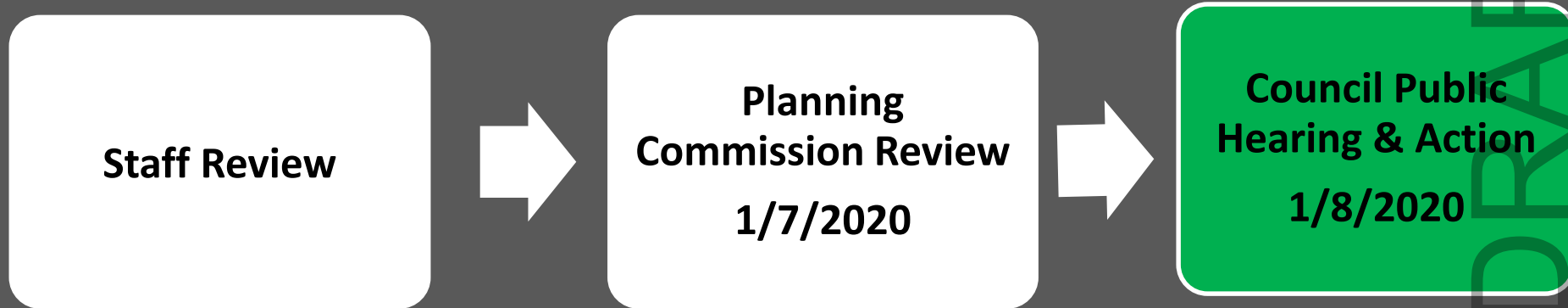
## RECOMMENDATION

### Staff recommends:

- That the Council open the public hearing on the Land Use Management Ordinance text amendment, receive public comment, and consider adopting Resolution A and enacting Ordinance A; and
- That the Council consider enacting Ordinance B.

DRAFT

# Text Amendment Process



## Text Amendment Background

- The Parks, Greenways, and Recreation Commission petitioned the Town Council to permit current officers to serve an additional year as an officer.
- The Council Committee on Boards and Commissions recommended amending the Advisory Board Membership Policy, and the Town Council updated the policy accordingly on November 13, 2019.

DRAFT



## What's in your packet?

- Resolution of Consistency with the Comprehensive Plan
- Ordinance A
- Resolution B
- Ordinance B

DRAFT

# Special Use Permit Modifications Amendment

Board of Adjustment:

## “8.3.3. Officers

~~The board shall elect one (1) member to serve as chair and preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. The term of the chair and other offices shall be one (1) year, with eligibility for reelection to a second term. Officers and terms of officers shall be in accordance with the council's advisory board membership policy. The chair or any member temporarily acting as chair is authorized to administer oaths to any witnesses in any matter coming before the board.”~~

# Special Use Permit Modifications Amendment

Historic District Commission:

“8.4.4. Officers.

Officers and terms of officers shall be in accordance with the council's advisory board membership policy. ~~The commission shall elect one (1) member to serve as chair and preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. The term of the chair and other officers shall be one (1) year, with eligibility for re-election to a second term.”~~

DRAFT

## RECOMMENDATION

### Staff recommends:

- That the Council open the public hearing on the Land Use Management Ordinance text amendment, receive public comment, and consider adopting Resolution A and enacting Ordinance A; and
- That the Council consider enacting Ordinance B.

DRAFT



## RESOLUTION OF CONSISTENCY

(Enacting the Land Use Management Ordinance Text Amendment proposal)

A RESOLUTION REGARDING AMENDING ARTICLE 8, SECTIONS 8.3 AND 8.4 OF THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE RELATED TO THE BOARD OF ADJUSTMENT AND HISTORIC DISTRICT COMMISSION AND CONSISTENCY WITH THE CHAPEL HILL 2020 COMPREHENSIVE PLAN (2020-01-08/R-5)

WHEREAS, the Planning Commission reviewed the text amendments to the Land Use Management Ordinance Article 8, Sections 8.3 and 8.4 on January 7, 2020 and recommended that the Council enact the text amendments; and

WHEREAS, the Council called a Public Hearing to amend Article 8, Sections 8.3 and 8.4 of the Land Use Management Ordinance as it relates to expanding the term length for advisory board officers for the Council's January 8, 2020 meeting; and

WHEREAS, the Council of the Town of Chapel Hill has considered the proposed text amendment to the Land Use Management Ordinance (LUMO) Article 8, Sections 8.3 and 8.4 related to the Board of Adjustment and Historic District Commission, and finds that the amendment, if enacted, is reasonable and in the public's interest and is warranted, to achieve the purposes of the Comprehensive Plan as explained by, but not limited to, the following goals of the Chapel Hill 2020 Comprehensive Plan:

- A community of high civic engagement and participation (Goal Create a Place for Everyone.5)
- Adopt an integrated development review process that is fair and transparent and that incorporates the Chapel Hill 2020 environmental goals (Goal Nurture our Community.5)
- A development decision-making process that provides clarity and consistency with the goals of the Chapel Hill 2020 Comprehensive Plan (Goal Develop Good Places New Spaces.3)

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed text amendment to be reasonable and consistent with the Town Comprehensive Plan.

This the 8th day of January, 2020.

## ORDINANCE A

(Enacting the Land Use Management Ordinance Text Amendment proposal)

AN ORDINANCE AMENDING ARTICLE 8, SECTION 8.3 AND SECTION 8.4 OF THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE RELATED TO THE ADVISORY BOARD OFFICER CLAUSE FOR THE BOARD OF ADJUSTMENT AND THE HISTORIC DISTRICT COMMISSION (2020-01-08/O-2)

WHEREAS, the Parks, Greenways, and Recreation Commission petitioned the Town Council to permit the current officers to serve an additional year and recommended a change to policy; and

WHEREAS, on September 23, 2019, the Council Committee on Boards and Commission discussed adjusting the term limitations for advisory board officers after individual Council members heard from multiple boards regarding their challenges to fill the officer positions; and

WHEREAS, the Council Committee on Boards and Commissions recommended that the full Council consider amending the Advisory Board Membership Policy to allow a member to serve as a Vice-Chair for a maximum of two consecutive years, and also be eligible to serve as a Chair for a maximum of two consecutive years (thus no officer would serve more than four consecutive years) and further, recommended that the Council amend the relevant sections of the Town Code of Ordinances to refer to the Advisory Board Membership Policy; and

WHEREAS, on November 13, 2019, the Council adopted a resolution to amend the Advisory Board Membership Policy to expand the term length for advisory board officers and called a public hearing to amend the Land Use Management Ordinance; and

WHEREAS, the Planning Commission reviewed the text amendments to the Land Use Management Ordinance Article 8, Sections 8.3 and 8.4 on January 7, 2020 and recommended that the Council enact the text amendments; and

WHEREAS, the Council called a Public Hearing to amend Article 8, Sections 8.3 and 8.4 of the Land Use Management Ordinance as it relates to expanding the term length for advisory board officers for the Council's January 8, 2020 meeting; and

WHEREAS, the Council of the Town of Chapel Hill has considered the proposed text amendment to the Land Use Management Ordinance (LUMO) Article 8, Sections 8.3 and 8.4 related to the Board of Adjustment and Historic District Commission, and finds that the amendment, if enacted, is reasonable and in the public's interest and is warranted, to achieve the purposes of the Comprehensive Plan as explained by, but not limited to, the following goals of the Chapel Hill 2020 Comprehensive Plan:

- A community of high civic engagement and participation (Goal Create a Place for Everyone.5)
- Adopt an integrated development review process that is fair and transparent and that incorporates the Chapel Hill 2020 environmental goals (Goal Nurture our Community.5)
- A development decision-making process that provides clarity and consistency with the goals of the Chapel Hill 2020 Comprehensive Plan (Goal Develop Good Places New Spaces.3)

NOW, THEREFORE, BE IT ORDAINED by the Council of the Town of Chapel Hill that the Town Code of Ordinances, Appendix A. Land Use Management Ordinance, Article 8, Administrative Mechanisms be amended as follows:

Section 1. Section 8.3 – Board of Adjustment, Section 8.3.3. Officers, is hereby revised to read as follows:

"8.3.3. Officers.

~~The board shall elect one (1) member to serve as chair and preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. The term of the chair and other offices shall be one (1) year, with eligibility for reelection to a second term. Officers and terms of officers shall be in accordance with the council's advisory board membership policy.~~ The chair or any member temporarily acting as chair is authorized to administer oaths to any witnesses in any matter coming before the board."

Section 2. Section 8.4 – Historic District Commission, Section 8.4.4. Officers, is hereby revised to read as follows:

"8.4.4. Officers.

Officers and terms of officers shall be in accordance with the council's advisory board membership policy. ~~The commission shall elect one (1) member to serve as chair and preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. The term of the chair and other officers shall be one (1) year, with eligibility for re-election to a second term."~~

Section 3. This ordinance shall be effective upon enactment.

This the 8<sup>th</sup> day of January, 2020.

## RESOLUTION B

(Denying the Land Use Management Ordinance Text Amendment Proposal)

A RESOLUTION DENYING AMENDING THE LAND USE MANAGEMENT ORDINANCE ARTICLE 8, SECTIONS 8.3 AND 8.4 RELATED TO THE BOARD OF ADJUSTMENT AND THE HISTORIC DISTRICT COMMISSION (2020-01-08/R-6)

WHEREAS, the Planning Commission reviewed the text amendments to the Land Use Management Ordinance Article 8, Sections 8.3 and 8.4 on January 7, 2020 and recommended that the Council enact the text amendments; and

WHEREAS, the Council of the Town of Chapel Hill has considered the proposed text amendment to the Land Use Management Ordinance (LUMO) Article 8, Sections 8.3 and 8.4 related to the Board of Adjustment and Historic District Commission, and finds that the amendment, if enacted, is unreasonable and not in the public's interest and inconsistent with the Town's Comprehensive Plan.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed Land Use Management Text Amendments to be unreasonable, not in the public interest, and inconsistent with the Town's Comprehensive Plan.

This the 8th day of January, 2020.



## ORDINANCE B

AN ORDINANCE AMENDING CHAPTER 2, CHAPTER 12 AND CHAPTER 23 OF THE TOWN OF CHAPEL HILL CODE OF ORDINANCES RELATED TO THE ADVISORY BOARD OFFICER CLAUSES FOR THE ADVISORY BOARDS (2020-01-08/O-3)

WHEREAS, the Parks, Greenways, and Recreation Commission petitioned the Town Council to permit the current officers to serve an additional year and recommended a change to policy; and

WHEREAS, on September 23, 2019, the Council Committee on Boards and Commission discussed adjusting the term limitations for advisory board officers after individual Council members heard from multiple boards regarding their challenges to fill the officer positions; and

WHEREAS, the Council Committee on Boards and Commissions recommended that the full Council consider amending the Advisory Board Membership Policy to allow a member to serve as a Vice-Chair for a maximum of two consecutive years, and also be eligible to serve as a Chair for a maximum of two consecutive years (thus no officer would serve more than four consecutive years) and further, recommended that the Council amend the relevant sections of the Town Code of Ordinances to refer to the Advisory Board Membership Policy; and

WHEREAS, on November 13, 2019, the Council adopted a resolution to amend the Advisory Board Membership Policy to expand the term length for advisory board officers and called a public hearing to amend the Land Use Management Ordinance.

NOW, THEREFORE, BE IT ORDAINED by the Council of the Town of Chapel Hill as follows:

Section 1. Chapter 2, Administration, Article VII, Human Services Advisory Board, Section 2-123 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 2-123. - Meetings; chairperson.

The human services advisory board shall regularly hold meetings at such time and places as it shall determine. ~~It shall annually elect one member to serve as chairperson and preside over its meetings. It may create and fill such other offices and committees as it may deem necessary.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy.

All meetings of the board shall be open to the public, and reasonable notice of the time and place thereof shall be given to the public in accord with Chapter 143, Article 33C of the North Carolina General Statutes.

The board shall keep a record of its meetings, including attendance of its members; its resolutions, findings, recommendations and actions.

A quorum of the board, necessary to take any official action, shall consist of a majority of members excluding any vacant seats. The concurring vote of a simple majority of those members present shall be necessary to take any official action. "

Section 2. Chapter 2, Administration, Article VIII, Transportation and Connectivity Advisory Board, Section 2-133 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 2-133. - Meetings; chairman.

The transportation and connectivity advisory board shall regularly hold meetings at such times and places as it shall determine. ~~In September of each year, it shall select a chair and vice-chair from its members to serve for a term of one (1) year.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy.

All meetings of the board shall be open to the public in accordance with the Open Meetings Law of North Carolina, and reasonable notice of the time and place thereof shall be given to the public in accordance with Chapter 143, Article 33C of the North Carolina General Statutes. The board shall keep a record of its meetings, including attendance of its members and actions. A quorum of the board, necessary to take an official action, shall consist of a majority of members excluding any vacant seats. The concurring vote of a simple majority of those members present shall be necessary to take any official action. "

Section 3. Chapter 2, Administration, Article IX, Chapel Hill Public Library Advisory Board, Section 2-143 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 2-143. - Meetings; chairman.

The Chapel Hill Public Library Advisory Board shall regularly hold meetings at such times and places as it shall determine. ~~It shall select from its membership a member to serve as chairman and such other officers as it deems appropriate to serve for a term of two (2) years.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy."

Section 4. Chapter 2, Administration, Article XI, Housing Advisory Board, Section 2-163 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 2-163. - Meetings, chairperson.

The housing advisory board shall regularly hold meetings at such times and places as it shall determine. ~~In September of each year, it shall select a chair and vice chair from its members to serve for a term of one (1) year.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy.

All meetings of the board shall be open to the public in accord with the Open Meetings Law of North Carolina, and reasonable notice of the time and place thereof shall be given to the public in accord with Chapter 143, Article 33C of the North Carolina General Statutes. The board shall keep a record of its meetings, including attendance of its members and actions. A quorum of the board, necessary to take an official action, shall consist of a majority of members excluding any vacant seats. The concurring vote of a simple majority of those members present shall be necessary to take any official action. "

Section 5. Chapter 2, Administration, Article XII, Environmental Stewardship Advisory Board, Section 2-173 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 2-173. - Meetings, chairperson.

The environmental stewardship advisory board shall regularly hold meetings at such times and places as it shall determine. ~~In September of each year, it shall select a chair and a vice chair from its members to serve for a term of one (1) year.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy.

All meetings of the board shall be open to the public in accordance with the Open Meetings Law of North Carolina, and reasonable notice of the time and place thereof shall be given to the public in accordance with Chapter 143, Article 33C of the North Carolina General Statutes. The board shall keep a record of its meetings, including attendance of its members and actions. A quorum of the board, necessary to take an official action, shall consist of a majority of members excluding any vacant seats. The concurring vote of a simple majority of those members present shall be necessary to take any official action."

Section 6. Chapter 2, Administration, Article XIII, Cultural Arts Commission, Section 2-179 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 2-179. - Meetings, chairperson.

The cultural arts commission shall regularly hold meetings at such times and places as it shall determine. Meetings of the commission shall be in compliance with the Open Meetings Law of North Carolina. ~~It shall select a chair from its members, and such other officers as it deems appropriate, to serve for a term of one (1) year.~~

A quorum of the commission, necessary to take an official action, shall consist of a majority of the current membership of the commission, not counting any vacant seats. The concurring vote of a simple majority of those members present shall be necessary to take any official action.

Officers and terms of officers shall be in accordance with the council's advisory board membership policy."

Section 7. Chapter 12, Parks and Recreation, Article II, Parks, Greenways and Recreation Commission, Section 12-20 of the Town Code of Ordinances is hereby revised to read as follows:

"Sec. 12-20. - Meetings; chairman.

The parks, greenways and recreation commission shall hold meetings at such time and places as it shall determine, and shall adopt by laws, rules and regulations governing its procedure. ~~It shall select from its membership a commissioner to serve as chair, and such other officers as it deems appropriate to serve for a term of one year.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy."

Section 8. Chapter 23, Water, Sewers and Drainage, Article I, Stormwater Management Utility, Section 23-13 of the Town Code of Ordinances pertaining to the Stormwater Management Utility Advisory Board is hereby revised to read as follows:

"Sec. 23-13. - Officers.

The board shall elect one member to serve as chair and to preside over its meetings, and shall create and fill such offices and committees as it may deem necessary. ~~The term of the chair and other officers shall be one (1) year, with eligibility for re-election to a second term. The chair or any member acting as chair is authorized to administer oaths to witnesses coming before the board.~~

Officers and terms of officers shall be in accordance with the council's advisory board membership policy."

Section 9. This ordinance shall become effective January 8, 2020.

This the 8<sup>th</sup> day of January, 2020.



# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 14., **File #:** [20-0020], **Version:** 1

**Meeting Date:** 1/8/2020

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**Concept Plan Review: Phi Gamma Delta, 108 West Cameron Avenue.**

See the Staff Report on the next page.

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**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

**PRESENTER:** Anya Grahn, Senior Planner

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adopt a resolution transmitting Council comments to the applicant.

**RECOMMENDATION:** That the Council adopt the resolution transmitting comments to the applicant.





## CONCEPT PLAN REVIEW: PHI GAMMA DELTA, (Project #102)

### STAFF REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT  
Judy Johnson, Interim Director  
Anya Grahn, Senior Planner

|   |                                |  |
|---|--------------------------------|--|
| <b>ADDRESSES</b><br>108 West Cameron Avenue | <b>DATE</b><br>January 8, 2020 | <b>APPLICANT</b><br>Kevin R. Hornik, The Brough Law Firm,<br>on behalf of Epsilon of Phi Gamma Delta, Inc. |
|---|--------------------------------|--|

### STAFF'S RECOMMENDATION

That the Council adopt the resolution transmitting comments to the applicant.

### PROCESS

- Hear the applicant's presentation
- Receive Historic District Commission comments (September 10, 2019 meeting)
- Hear public comments
- Offer suggestions to the applicant

Statements by individual Council members on a concept plan are not a commitment to an official position for a formal application.

### DECISION POINTS

The applicant requests a conditional zoning, which requires a Concept Plan review by Council.

Staff advised the applicant to discuss their preferred process with Council.

### PROJECT OVERVIEW

**Floor Area:** approximately 13,449 sq. ft.

**Land Area:** 21,602 sq. ft. (0.49 acres)

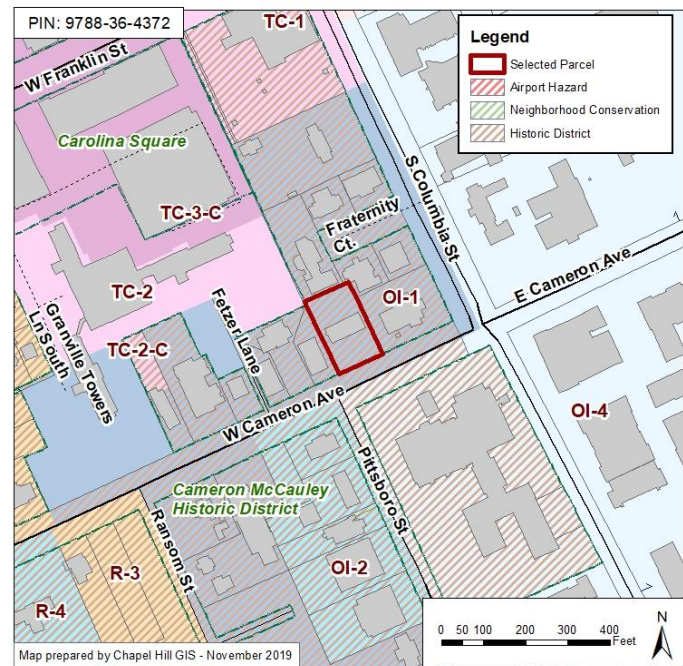
**Current Zoning:** Office/Institutional-1 (OI-1)

**Proposed Zoning:** Office/Institutional-3-Conditional Zoning (OI-3-CZ)

The Concept Plan includes rezoning of the site to OI-3-CZ.

The existing fraternity dwelling exceeds the amount of floor area for the current zoning district and is considered as a non-conforming feature. The Ordinance does not allow expansion or changes to a nonconforming feature so the applicant is requesting a zoning change. The zoning change would permit administrative approvals of the requested changes to the property.

### PROJECT LOCATION



### ATTACHMENTS

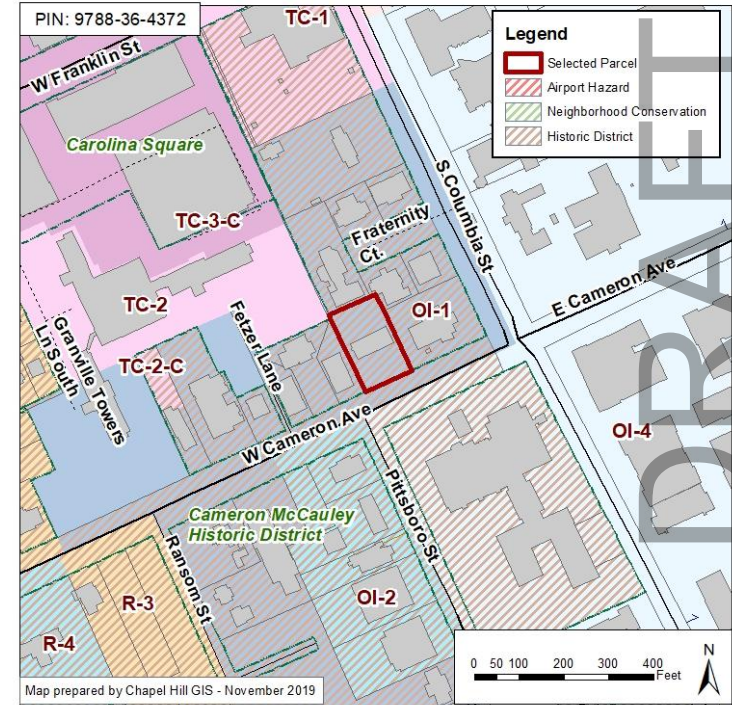
1. Draft Staff Presentation
2. Resolution A
3. Historic District Commission (HDC) Comments from September 10, 2019
4. Applicant's Response to HDC Comments November 11, 2019
5. Application
6. Plan Set

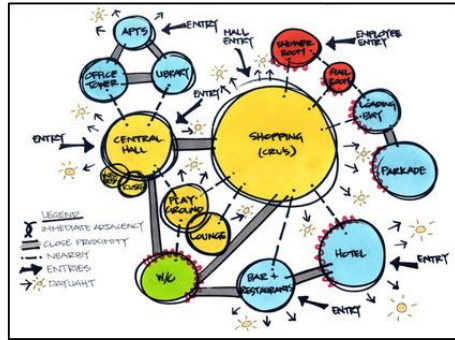


# Phi Gamma Delta, 108 West Cameron Ave Concept Plan

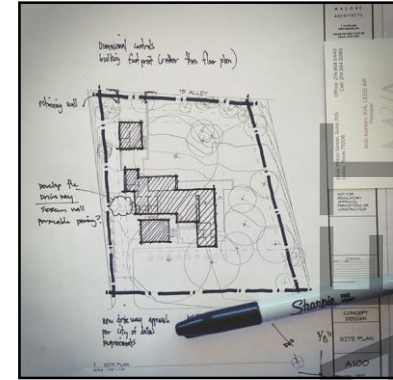
Town Council  
Public Hearing

January 8, 2020

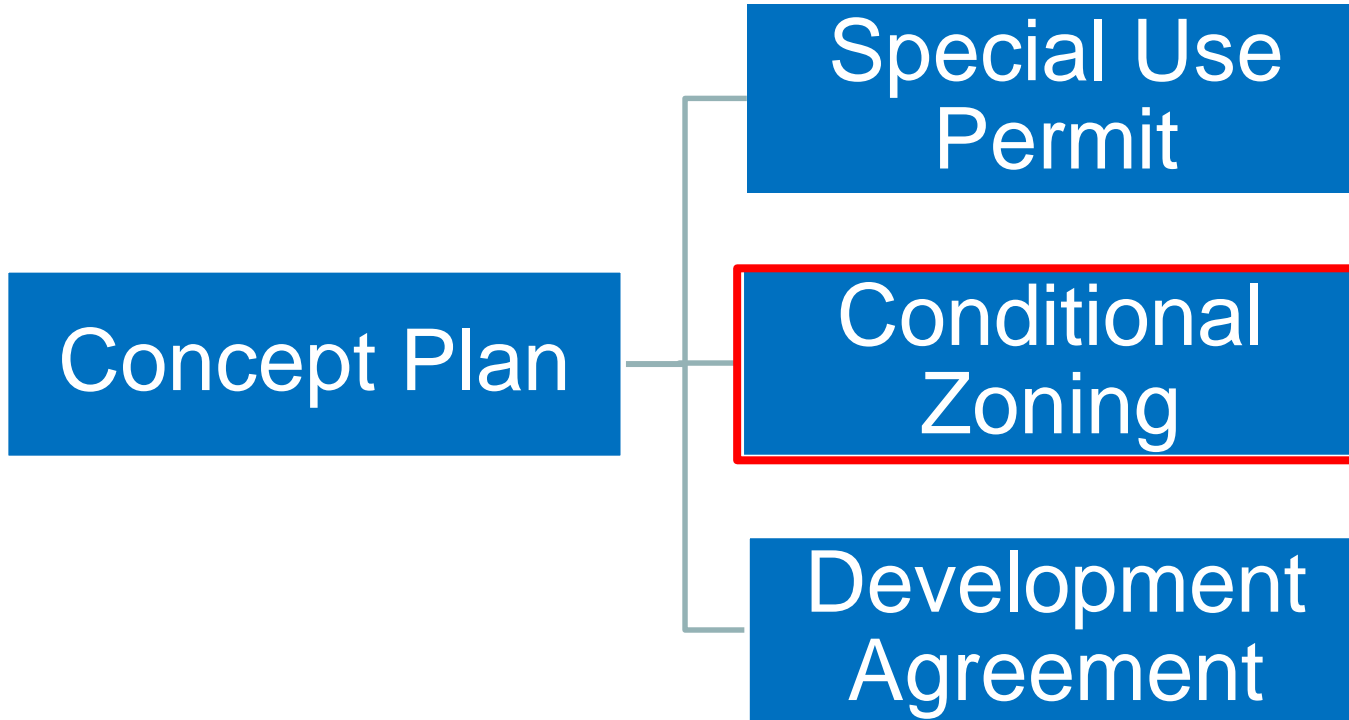




## Concept Plans



- **No Decision; Feedback Only**
  - Applicant presents rough initial sketch
  - Staff does not conduct formal review of concept
  - Instead forwards sketch for preliminary feedback



DRAFT



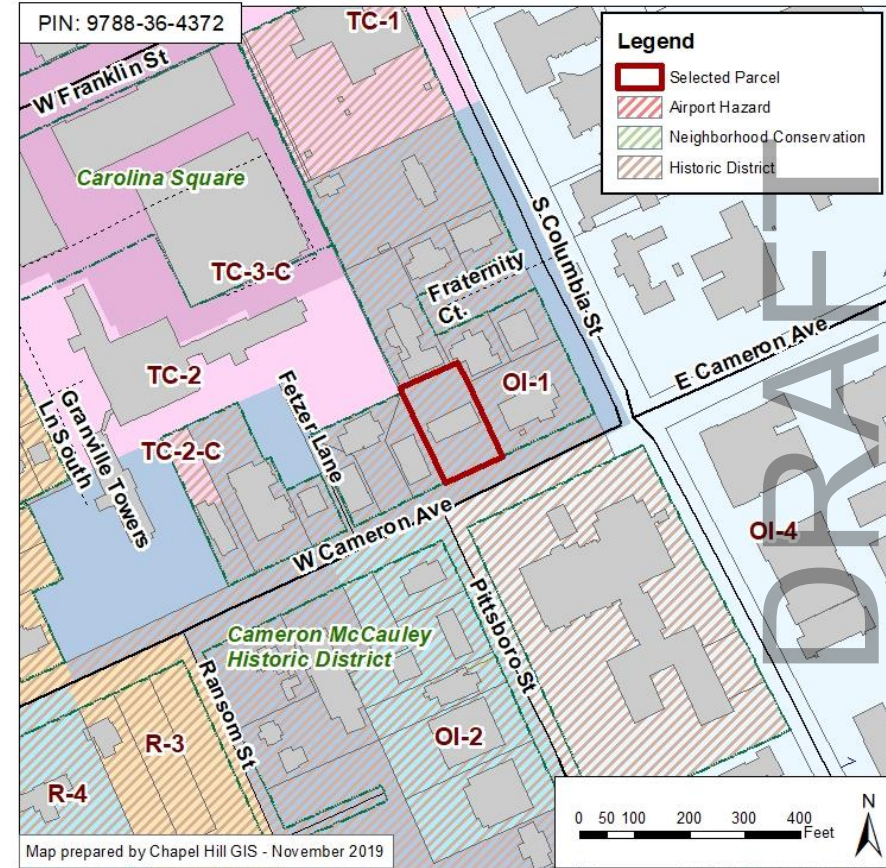
- Adopt Resolution A, transmitting comments to the applicant regarding the proposed development.

DRAFT

# Phi Gamma Delta– Project Summary

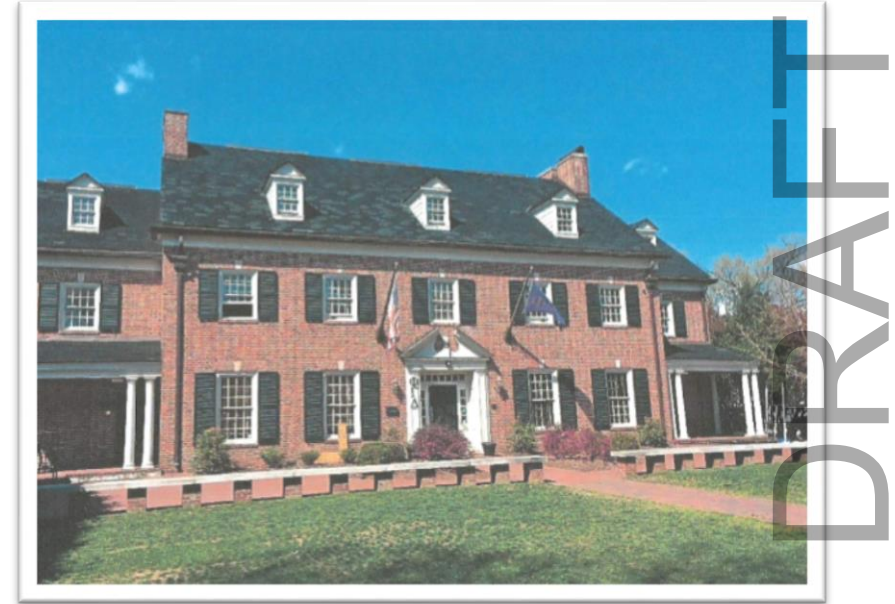
- 21,602 SF (0.49 acres)
- Zoning
  - Currently OI-1
  - Proposing OI-3-CZ
- Cameron-McCauley Historic District
- Additional floor area of 1,044 SF
- Removal of parking

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# Phi Gamma Delta – Existing Conditions

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Historic Design Commission

September 10, 2019

DRAFT

- Adopt Resolution A, transmitting comments to the applicant regarding the proposed development.

DRAFT

A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR PHI GAMMA DELTA, 108 WEST CAMERON AVENUE (2020-01-08/R-7)

WHEREAS, a Concept Plan has been submitted for review by the Council of the Town of Chapel Hill for Phi Gamma Delta, PIN 9788-36-4372; and

WHEREAS, the Council has the opportunity tonight to hear this applicant's presentation, receive a set of comments from the Historic District Commission, hear public comments, and offer suggestions to the applicant; and

WHEREAS, the Council has heard presentations from the applicant and members of the public; and

WHEREAS, statements by individual Council members this evening are not an official position or commitment on the part of a Council member with respect to the position he or she may take when and if a formal application for development is subsequently submitted to the Council for formal consideration; and

WHEREAS, the Council has discussed the proposal, with Council members offering reactions and suggestions.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council transmits comments to the applicant regarding this proposal, as expressed by Council members during discussions on January 8, 2020 and reflected in minutes of that meeting.

This the 8th day of January, 2020.

SUMMARY OF A CONCEPT PLAN REVIEW  
108 WEST CAMERON STREET  
HISTORIC DISTRICT COMMISSION  
SEPTEMBER 10, 2019

The Historic District Commission (HDC) conducted a concept review for 108 West Cameron Street on September 10, 2019. The project proposed approval for the after-the-fact replacement of screened openings with glass windows on the porch; installation of a staircase from the rear deck to ground level as an emergency exit; installation of fieldstone rear patio; removal of on-site parking area and replacement with grass. Key points made by members of the Commission about the concept plan include:

- The Commission did not want to encourage the enclosure of covered patios and decks as a way to gain more square footage; however, they found that adding windows enhanced the design of the heavy brick patio structure.
- The Commission approved the After-the-fact Certificate of Appropriateness for the improvements described above. The Commission was only in support of these types of improvements specific to this site.

Submitted by: Bob Epting, Chair-Historic District Commission.



To: Anya Grahn, Catherine Callemyn, Judy Johnson  
From: The Brough Law Firm, PLLC on behalf of Epsilon of Phi Gamma Delta, Inc.  
Date: November 11, 2019  
Re: Response to Historic District Commission Concept Plan Comments

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To Whom It May Concern,

Please find, below, our response to the comments provided by the Town of Chapel Hill Historic District Commission regarding the Commission's review of our Concept Plan.

Following the Historic District Commission's review of our Concept Plan on September 10, 2019, the Commission provided the following comments:

"The Commission did not want to encourage the enclosure of covered patios and decks as a way to gain more square footage; however, they found that adding windows enhanced the design of the heavy brick patio structure."

"The Commission approved the After-the-Fact Certificate of Appropriateness for the improvements described above. The Commission was only in support to these types of improvements specific to this site."

The Town has required a response to the above comments. Our response to the Commission's comments is as follows:

No changes impacting or deviating from the Concept Plan reviewed and recommended for approval by the Historic District Commission are proposed.

Should you require anything further from my client on this matter, please feel free to contact me via email at [khornik@broughlawfirm.com](mailto:khornik@broughlawfirm.com) or via telephone at (919) 929-3905.

Sincerely,

THE BROUGH LAW FIRM, PLLC

Kevin R. Hornik

**CONCEPT PLAN APPLICATION**

Parcel Identifier Number (PIN): 9788364372

Date: August 8, 2019

**Section A: Project Information**

Project Name: Conditional Zoning of Phi Gamma Delta Fraternity Property at 108 W. Cameron Ave.

Property Address: 108 W. Cameron Ave., Chapel Hill, North Carolina Zip Code: 27516

Use Groups (A, B, and/or C): B Existing Zoning District: OI-1

Project Description: Conditional Zoning of the Subject Property to an OI-3 Conditional District, in order to increase the permissible floor-area ratio and to eliminate required on-site parking.

**Section B: Applicant, Owner and/or Contract Purchaser Information****Applicant Information** (to whom correspondence will be mailed)

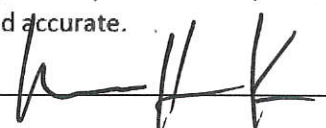
Name: Kevin R. Hornik, The Brough Law Firm, PLLC

Address: 1526 E. Franklin St., Suite 200

City: Chapel Hill State: North Carolina Zip Code: 27514

Phone: (919) 929-3905 Email: khornik@broughlawfirm.com

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature: 

Date: 8/8/2019

**Owner/Contract Purchaser Information:**☒ Owner☐ Contract Purchaser

Name: Epsilon of Phi Gamma Delta, Inc.

Address: 1801 Great Oaks Drive

City: Raleigh State: North Carolina Zip Code: 27608

Phone: (919) 593-2841 Email: jhughes@newhopetech.org

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature: Signature to follow [KRH]

Date: 8/8/2019





## Concept Plan Overview

| Site Description                        |   |
|---|---|
| Project Name                            | Conditional Zoning of 108 W. Cameron Ave.                                     |
| Address                                 | 108 W. Cameron Ave., Chapel Hill, North Carolina 27516                        |
| Property Description                    | Phi Gamma Delta Fraternity House  |
| Existing Land Use                       | Fraternity House  |
| Proposed Land Use                       | Fraternity House (no changes are proposed to the use or site)                 |
| Orange County Parcel Identifier Numbers | 9788364372  |
| Existing Zoning                         | OI-1  |
| Proposed Zoning                         | OI-3 Conditional Zoning District  |
| Application Process                     | Conditional Zoning (Legislative Approval)                                     |
| Comprehensive Plan Elements             | N/A   |
| Overlay Districts                       | Cameron-McCauley Historic District; Jordan Lake Watershed Protection District |

## Regulatory Land Use Intensity

| Design/LUMO Standards |                             | Requirement   | Proposal   | Status |
|-----------------------|-----------------------------|---|--|--------|
| Sec. 3.7              | Use/Density                 | Fraternity Dwelling/10 units per acre                 | Fraternity Dwelling/10 units per acre (permitted as principal use in OI-3) |        |
| Sec 3.8               | Net Land Area               | 21,602.8sq.ft. (0.496 ac.)                            | 21,602.8sq.ft. (0.496 ac.)   |        |
| Sec 3.8               | Gross Land Area             | 23,763.1sq.ft. (0.546 ac.)                            | 23,763.1sq.ft (0.546 ac.)  |        |
| Sec. 3.8              | Dimensional Standards       | Street 24   | 0  |        |
|                       |                             | Interior 8  | 0  |        |
|                       |                             | Solar 11  | 0  |        |
| Sec. 3.8              | Floor area                  | .264 (6,273.5sq.ft.)* SUP permits 10,870sq.ft. (.457) | .566 (13,449.9sq.ft.)  |        |
| Sec. 4.5.6            | Modification to Regulations | NA  | NA   |        |
| Sec. 5.5              | Recreation Space            | NA  | NA   |        |





## Site Design

| Design/LUMO Standards |            |  | Requirement  | Proposal   | Status  |
|-----------------------|------------|--|--|--|---|
| Landscape             | Sec. 5.6   | East                                       | Type B Buffer  | No Buffer Requirement  |   |
|                       | Sec. 5.6   | North                                      | Type B Buffer  | No Buffer Requirement  |   |
|                       | Sec. 5.6   | South                                      | Type B Buffer  | No Buffer Requirement  |   |
|                       | Sec. 5.6   | West                                       | Type B Buffer  | No Buffer Requirement  |   |
|                       | Sec. 5.7   | Tree Canopy                                | 30%  | 20%  |   |
|                       | Sec. 5.11  | Lighting Plan (footcandles)                | N/A  | N/A  |   |
| Environment           | Sec. 3.6   | Resource Conservation District             | N/A  | N/A  |   |
|                       | Sec. 5.18  | Jordan Riparian Buffer                     | N/A  | N/A  |   |
|                       | Sec. 5.3.2 | Steep Slopes                               | N/A  | N/A  |   |
|                       | Sec. 5.4   | Stormwater Management                      | N/A  | N/A  |   |
|                       |            | Land Disturbance                           | N/A  | N/A  |   |
|                       | Sec. 5.4   | Impervious Surface                         | Approx. 18,000sq.ft. based on Orange County GIS measurement tool | Proposed: 16,634.2sq.ft. (.7 of Gross Land Area, per LUMO, Sec. 3.8) | Current Status: 11,091sq.ft. (concrete parking area removed; see attached Survey) |
|                       | Sec. 5.13  | Solid Waste & Recycling                    | N/A  | N/A  | Solid waste and recycling will remain as currently operated.                      |
|                       |            |  |  |  |   |
| Housing               |            | Affordable Housing Proposal, if applicable | N/A  | N/A  |   |





| Design/LUMO Standards |           | Requirement                       | Proposal   | Status  |
|-----------------------|-----------|-----------------------------------|--|---|
| Access & Circulation  | Sec. 5.8  | Street Standards                  | N/A  |   |
|                       | Sec. 5.8  | Vehicular Access                  | Yes  | Yes   |
|                       | Sec. 5.8  | Bicycle Improvements              | No   | No  |
|                       | Sec. 5.8  | Pedestrian Improvements           | Yes  | Yes   |
|                       | Sec. 5.8  | Distance from bus stop            | Approx. 200ft.<br>(Cameron Ave. at<br>Pittsboro St. Bus<br>Stop) | Approx. 200ft.  |
|                       | Sec. 5.8  | Transit Improvements              | N/A  | N/A   |
|                       | Sec. 5.9  | Vehicular Parking Spaces          | 1 space per 3<br>residents* SUP<br>requires 8-12 spaces          | 0 on-site (off-site<br>parking provided for<br>8-12 vehicles) |
|                       | Sec. 5.9  | Bicycle Parking Spaces            | N/A  | 0   |
|                       | Sec. 5.9  | Parking Lot Standards             | N/A  | N/A   |
| Other                 |           | Homeowners Association            | N/A  | N/A   |
|                       | Sec. 5.5  | Recreation Space                  | N/A  | N/A   |
|                       | Sec. 5.12 | Utilities                         | Public Utility Service   | Public Utility Service  |
|                       | Sec. 5.16 | School Adequate Public Facilities | N/A  | N/A   |
|                       |           |                                   |  |   |

| Symbol | Meaning        | Symbol   | Meaning                |
|--------|----------------|----------|------------------------|
|        | Meets Standard | <b>M</b> | Modification necessary |
| NA     | Not Applicable | UNK      | Not known at this time |



## Checklist

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning and Sustainability at (919)968-2728 or at [planning@townofchapelhill.org](mailto:planning@townofchapelhill.org).

|     |  |                |        |
|-----|--|----------------|--------|
| X   | Application fee <a href="#">(refer to fee schedule)</a>  | Amount Paid \$ | 380.00 |
| X   | Pre-application meeting – with appropriate staff   |                |        |
| X   | Digital Files - provide digital files of all plans and documents   |                |        |
| X   | Project Fact Sheet   |                |        |
| X   | Statement of Compliance with Design Guidelines (2 copies)  |                |        |
| X   | Statement of Compliance with Comprehensive Plan (2 copies)   |                |        |
| N/A | Affordable Housing Proposal, if applicable (Rezoning Policy or Inclusionary Ordinance)   |                |        |
| X   | Mailing list of owners of property within 1,000 feet perimeter of subject property <a href="#">(see GIS notification tool)</a>   |                |        |
| X   | Mailing fee for above mailing list   | Amount Paid \$ | 268.00 |
| N/A | Developer's Program – brief written statement explaining how the existing conditions impact the site design. Including but not limited to:   |                |        |
|     | <ul style="list-style-type: none"> <li>Natural features of site</li> <li>Access, circulation, and mitigation of traffic impacts</li> <li>Arrangement and orientation of buildings</li> <li>Natural vegetation and landscaping</li> <li>Impact on neighboring properties</li> <li>Erosion, sedimentation, and stormwater</li> </ul> |                |        |
| N/A | Resource Conservation District, Floodplain, & Jordan Buffers Determination - necessary for all submittals  |                |        |
| N/A | Reduced Site Plan Set (reduced to 8.5"x11")  |                |        |

## Plan Sets (10 copies to be submitted no larger than 24"x36")

Plans should be legible and clearly drawn. All plan sets sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property Boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks and buffers
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable





### Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names.
- f) 1,000' notification boundary

### Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries

### Proposed Site Plan

- a) Existing building locations
- b) General location of proposed structures
- c) Parking areas
- d) Open spaces and landscaped areas
- e) Access points and circulation patterns for all modes of transportation
- f) Approximate locations of trails, pedestrian and bicycle connections, transit amenities, and parking areas
- g) Approximate location of major site elements including buildings, open areas, natural features including stream buffers, wetlands, tree stands, and steep slopes
- h) Proposed land uses and approximate location



Concept Plans are intended to be an opportunity for the Town Council and some Boards and Commissions, and the community to review and consider major development proposals and their potential benefits and impacts. Applicants propose a Concept Plan with the expectation of receiving feedback on their development idea.

The following are questions that the Council may ask of an applicant during the discussion of a Concept Plan. The attached application addresses the topics below. Please contact our staff if you have any questions or if we can provide additional information ([planning@townofchapelhill.org](mailto:planning@townofchapelhill.org))

1. Would this project demonstrate compliance with the Comprehensive Plan?
  - a. Compliance with:
 

|                      |             |
|----------------------|-------------|
| ➤ Small Area Plan    | <b>Yes.</b> |
| ➤ Overlay Zone / NCD | <b>Yes.</b> |
| ➤ Study Area         | <b>Yes.</b> |
| ➤ Land Use Plan      | <b>Yes.</b> |
2. Would the proposed project comply with the Land Use map?  
**Yes.**
3. Would the proposed project require a rezoning?  
**Yes, Applicant proposes a conditional rezoning to an OI-3-CZ district.**
4. What is the proposed zoning district?  
**OI-3-CZ (proposed deviations from underlying OI-3 standards are minor and relate to on-site parking).**
5. Would the proposed project require modifications to the existing regulations?  
**Proposed project requires conditional zoning to allow all required on-site parking to be located off-site.**
6. If there is a residential component to the project, does the applicant propose to address affordable housing?  
**No.**
  - Has the applicant presented its Concept Plan to the Housing Advisory Board (this is a voluntary step in the process)? **N/A**
  - Has the applicant met with appropriate Town staff to discuss affordable housing policy, expectations and options? **N/A**
  - Is the project for ownership or rental? **Ownership.**
7. Are there existing conditions that impact the site design (i.e. environmental features such as RCD, slopes, erosion and sedimentation, retention of trees and tree stands, stormwater drainage patterns, significant views into and out of the site)  
**Site will not be redesigned or modified beyond what is currently in place at this time.**
8. Has the applicant addressed traffic impacts? Traffic and circulation issues?  
**Proposed project does not create additional traffic impacts beyond what currently exists.**
9. Has the applicant discussed the project with adjacent neighbors?  
**Yes. Applicant's neighbors (also fraternity houses) are aware of Applicant's proposed plan.**





|                       |                            |
|-----------------------|----------------------------|
| G. Nicholas Herman    | herman@broughlawfirm.com   |
| Robert E. Hornik, Jr. | hornik@broughlawfirm.com   |
| T.C. Morphis, Jr.     | morphis@broughlawfirm.com  |
| Albert M. Benshoff    | benshoff@broughlawfirm.com |
| S. Ellis Hankins      | hankins@broughlawfirm.com  |
| Kevin R. Hornik       | khornik@broughlawfirm.com  |
| Brady N. Herman       | bherman@broughlawfirm.com  |

August 8, 2019

Town of Chapel Hill  
Office of Planning and Sustainability  
405 Martin Luther King Jr. Boulevard  
Chapel Hill, North Carolina 27514

Re: Phi Gamma Delta Concept Plan Application for Conditional Zoning of 108  
W. Cameron Ave.

To Whom It May Concern,

Please find enclosed the required Concept Plan Application materials submitted by Epsilon of Phi Gamma Delta (hereinafter, the "Applicant"). In addition to the required application materials is a brief explanation of the procedural history of this particular Applicant and the various approvals already granted by the Town of Chapel Hill and a general description of the Applicant's proposed rezoning.

Sometime prior to February 22, 1947 (*See*, attached survey entitled "Property of the Epsilon of Phi Gamma Delta"), a structure was built at 108 W. Cameron Avenue (hereinafter, the "Subject Property") which came to be used as a fraternity house for Epsilon of Phi Gamma Delta.

In May of 1996, the structure burned down as a result of a tragic fire, leaving only portions of the exterior façade standing.

On July 7, 1997, the Town of Chapel Hill Board of Commissioners issued a Special Use Permit to the Applicant for the construction or reconstruction of a fraternity house located at the Subject Property (*See*, attached Special Use Permit). Construction began sometime in 1998 and was completed in the summer of 1999.

On March 26, 2018, the Applicant received a ZCP from the Town for the construction of a "[r]aised patio (loggia) with screened porch below; doors/transom/lighting; parking lot restriping; and stormwater drainage redesign; to be completed in accordance with a Certificate of Appropriateness issued by the Town of Chapel Hill Historic District Commission on April 12, 2012, and per plans approved on March 26, 2018, on file in the Chapel Hill Planning Department and attached." (hereinafter, the "Addition").

Sometime in late-2018, the Addition was completed, and glass windows were installed to replace the screened openings previously approved by the Town.

As a result of the installation of glass windows, as opposed to the approved screen panels, the Addition is considered “floor area” under the Land Use Management Ordinance (the “LUMO”). The additional floor area and the removal of all on-site parking caused the Subject Property to violate the terms of the LUMO and the SUP approved for the Subject Property.

As a result, the Applicant seeks a Conditional Zoning of the Subject Property to a conditional zoning district allowing the increase in floor area and the removal of all on-site parking.

Due to the peculiar procedural status of the Applicant’s request, much of the information requested in the Area Map, Existing Conditions Plan, and Proposed Site Plan sections of the Concept Plan Application is omitted. As the existing structures has already been approved by the Town, and because the Applicant does not request approval to construct new or additional structures at this time, there is no need to provide an Area Map, Existing Conditions Plan, or Proposed Site Plan. Rather, the relevant information requested under each section is provided in the Concept Plan Application and this letter.

In lieu of the Area Map, Existing Conditions Plan, and Proposed Site Plan documents requested on the Concept Plan Application is an as-built survey, which describes the current condition of the Subject Property.

The Applicant proposes to rezone the Subject Property to an OI-3 Conditional Zoning District, which would mirror most of the general standards provided for the OI-3 district with one modification.

The Applicant seeks a waiver of the on-site parking requirement. The Special Use Permit issued by the Town for the Subject Property requires 8 to 12 parking spaces on-site. Section 5.9 of the LUMO requires that fraternity and sorority houses provide at least 1 parking spot per every 3 residents of the house in non-Town Center zoning districts. However, Section 5.9 waives the minimum parking requirements for uses located within the OI-3 and OI-4 Districts. The Applicant proposes that all required parking spaces be located off site. The Applicant will certify in writing to the Town Manager that the Applicant has provided or will provide 8-12 off-site parking spaces for the Applicant’s residents.

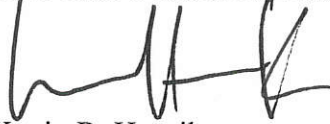
The attached Concept Plan Application form describes the existing conditions on the Subject Property, as well as the Applicant’s proposed zoning and land use standards.

Town of Chapel Hill  
Office of Planning and Sustainability  
August 8, 2019  
Page 3

If the Town requires any further information, please feel free to contact me at [khornik@broughlawfirm.com](mailto:khornik@broughlawfirm.com), or (919) 929-3905, or the applicant at [jhughes@newhopetech.org](mailto:jhughes@newhopetech.org), or (919) 593-2841.

Sincerely,

THE BROUGH LAW FIRM, PLLC

A handwritten signature in black ink, appearing to read 'KHORNIK', with a stylized flourish at the end.

Kevin R. Hornik

KRH:  
Enclosures



## Notes

- 1) This survey was performed without the benefit of a title report. This survey is subject to any facts and easements which may be disclosed by a full and accurate title search.
- 2) This property is subject to all easements, buffers and restrictions shown hereon and all others of record not shown hereon.
- 3) This property is not in a special flood hazard zone per DFIRM panel 9788, map #3710978800K, effective Nov. 17, 2017.
- 4) This property is zoned OI-1 per Chapel Hill GIS.
- 5) This property is located within the Cameron-McCauley Historic District (HD-2) per Chapel Hill GIS.
- Dimensional Standards for OI-1 per ToCH LUMO
- Minimum street setback : 24'
- Minimum interior setback : 8'
- Minimum solar setback : 11'
- 6) This property has a special use permit on file in book 1776, page 335, Orange County Registry.

## Lot Area:

N.L.A: 21,602.8 s.f. (0.496 ac.)  
G.L.A: 23,763.1 s.f. (0.546 ac.)

| Impervious Surfaces |             |
|---------------------|-------------|
| existing house      | 2,760 s.f.  |
| porches             | 293 s.f.    |
| addition            | 1,005 s.f.  |
| conc. driveway      | 2,234 s.f.  |
| brick walk          | 1,812 s.f.  |
| conc. patio         | 1,309 s.f.  |
| stone walls         | 604 s.f.    |
| brick patio         | 555 s.f.    |
| slate walk          | 308 s.f.    |
| conc. @ slate walk  | 103 s.f.    |
| stairs & landing    | 75 s.f.     |
| conc. walk          | 33 s.f.     |
| Total               | 11,091 s.f. |

I CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK 90, PAGE 2); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED AS DRAWN FROM SOURCES NOTED HEREON; THAT THE RATIO OF PRECISION IS A MAXIMUM OF 1:10,000; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). WITNESS MY SIGNATURE, LICENSE NUMBER, AND SEAL THIS 2nd DAY OF AUGUST, 2019.



## As-Built Survey

PROPERTY OF  
Epsilon of Phi Gamma Delta Inc.

PROPERTY ADDRESS: 108 West Cameron Avenue

PIN REFERENCE: 9788-36-4372  
DEED REFERENCE: 90-2  
PLAT REFERENCE: 64-64

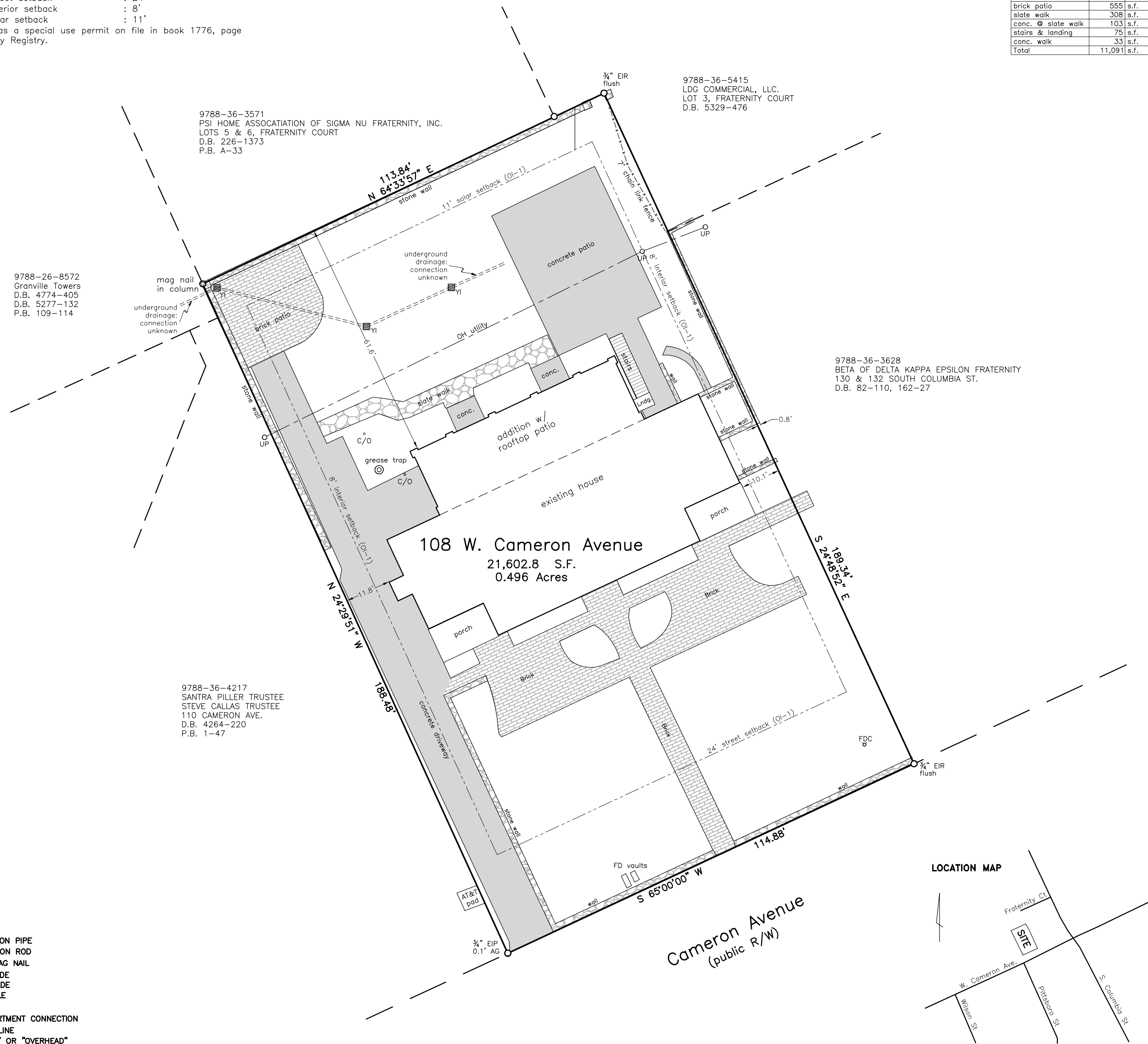
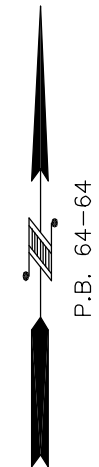
## OWNER'S ADDRESS

Epsilon of Phi Gamma Delta Inc.  
c/o Charles Bell - Alumni Treasurer  
1801 Great Oaks Dr.  
Raleigh, NC 27608

Chapel Hill Township  
Orange County  
North Carolina

SCALE: 1" = 20'

Rev: Aug. 2, 2019  
July 11, 2019



FREEHOLD LAND SURVEYS, INC. c-165

mailing address: P.O. BOX 188, CARRBORO, NC 27510  
office address: 1777 FORDHAM BLVD. SUITE 104  
CHAPEL HILL, NC 27514  
phone: 919-929-8090  
website: www.freeholdlandsurveys.com

STEPHEN M. HALLSTROM PROFESSIONAL LAND SURVEYOR L-5083

J2828



2012 APPENDIX B  
BUILDING CODE SUMMARY  
FOR ALL COMMERCIAL PROJECTS

Name of Project: **Patio Addition to the Phi Gamma Delta House**  
Address: **108 W. Cameron Ave., Chapel Hill, NC, 27514**  
Proposed Use: **Addition to existing structure**  
Owner: Authorized Agent: **Jack Haggerty, Architect; 205 W. Main St.; Carrboro NC 27510**  
**919 967-5191 jack@jackhaggertyarchitect.com**

Owned By: **Private**  
Code Enforcement Jurisdiction **Town of Chapel Hill**

LEAD DESIGN PROFESSIONAL: Jack Haggerty, Architect  
DESIGNER FIRM NAME LICENSE # TELEPHONE # E-MAIL  
Architectural: Jack Haggerty, Architect Jack Haggerty 51782 6892 919-967-5191 jack@jackhaggertyarchitect.com  
Electrical: Alamance Consulting Eng. G. Kevin Bengal 25043 336-449-4558 alamance@ace-nc.net  
Fire Alarm: Alamance Consulting Eng. G. Kevin Bengal 25043 336-449-4558 alamance@ace-nc.net  
Sprinkler-to be submitted under separate permit  
Structural: Excel Engineering Rob Munach 19339 919-542-7578 rob@robmunachpe.com

2012 EDITION OF NC CODE FOR: X Addition  
EXISTING: ☐ Reconstruction ☐ Alteration ☐ Repair  
CONSTRUCTED ☐ ORIGINAL USE ☐ RENOVATED ☐ CURRENT USE

**BUILDING DATA**  
Construction Type: ☐ I-A ☐ II-A ☐ III-A ☐ IV ☐ V-A  
☐ I-B ☐ II-B ☒ III-B ☐ V-B  
Mixed construction: ☐ No ☐ Yes Types: \_\_\_\_\_  
Sprinklers: ☒ Yes ☐ No NFPA 13 ☐ NFPA 13R ☐ NFPA 13D  
Standpipes: ☐ No ☐ Yes Class ☐ I ☐ II ☐ III ☐ Wet ☐ Dry  
Fire District: ☒ No Flood Hazard Area: ☒ No  
Building Height: 48' Number of Stories: 4  
Mezzanine: ☒ No  
Gross Building Area:  
FLOOR EXISTING (SQ FT) NEW (SQ FT) SUB-TOTAL  
3<sup>rd</sup> Floor 2,372  
2<sup>nd</sup> Floor 2,724  
1<sup>st</sup> Floor 2,724 1,044 unhd.  
Basement 3038.5 1,044 unhd.  
TOTAL 2,372 1,044 unhd. No new hld. sq.ft.

**ALLOWABLE AREA**  
Primary Occupancy: Assembly ☐ A-1 ☐ A-2 ☐ A-3 ☐ A-4 ☐ A-5  
☐ Business ☐ Educational ☐ Factory ☐ F-1 Moderate ☐ F-2 Low  
Hazardous ☐ H-1 Detonate ☐ H-2 Deflagrate ☐ H-3 Combust ☐ H-4 Health ☐ H-5 HPM  
Institutional ☐ I-1 ☐ I-2 ☐ I-3 ☐ I-4  
I-3 Condition ☐ 1 ☐ 2 ☐ 3 ☐ 4 ☐ 5  
☐ Mercantile ☐ Residential ☐ R-1 ☒ R-2 ☐ R-3 ☐ R-4  
Storage ☐ S-1 Moderate ☐ S-2 Low ☐ High-piled  
Utility and Miscellaneous ☐ Parking Garage ☐ Open ☐ Enclosed ☐ Repair Garage  
Secondary Occupancy: N/A  
Special Uses: N/A - 419 Group R-2 but no effect on dwelling units  
Special Provisions: N/A  
Mixed Occupancy: N/A

ALLOWABLE HEIGHT AREA INCREASE  
NO HEIGHT OR AREA INCREASE IS REQUIRED OR REQUIRED

**FIRE PROTECTION REQUIREMENTS**  
Life Safety Plan Sheet #, if Provided **A-2, PLAN**  
Information below is for addition shown in drawings.

| BUILDING ELEMENT                                      | FIRE SEPARATION DISTANCE (FEET) | RATING REQUIRED | PROVIDED (REDUCTION) | DETAIL # AND SHEET # | DESIGN # FOR RATED ASSEMBLY | DESIGN # FOR RATED PENETRATION | DESIGN # FOR RATED JOINTS |
|---|---------------------------------|-----------------|----------------------|----------------------|-----------------------------|--------------------------------|---------------------------|
| Structural Frame, including columns, girders, trusses |                                 |                 |                      |                      |                             |                                |                           |
| Bearing Walls   |                                 |                 |                      |                      |                             |                                |                           |
| Exterior  |                                 |                 |                      |                      |                             |                                |                           |
| North   | 27"                             | 1               |                      |                      |                             |                                |                           |
| East  | 30"                             | 1               |                      |                      |                             |                                |                           |
| West  | 30"                             | 1               |                      |                      |                             |                                |                           |
| South   | 70"                             | 1               |                      |                      |                             |                                |                           |
| Interior  |                                 |                 |                      |                      |                             |                                |                           |
| Nonbearing Walls and Partitions                       |                                 |                 |                      |                      |                             |                                |                           |
| Exterior walls  |                                 |                 |                      |                      |                             |                                |                           |
| North   |                                 |                 |                      |                      |                             |                                |                           |
| East  |                                 |                 |                      |                      |                             |                                |                           |
| West  |                                 |                 |                      |                      |                             |                                |                           |
| South   |                                 |                 |                      |                      |                             |                                |                           |
| Interior walls and partitions                         |                                 |                 |                      |                      |                             |                                |                           |
| Floor Construction                                    |                                 |                 |                      |                      |                             |                                |                           |
| Including supporting beams and joists                 |                                 |                 |                      |                      |                             |                                |                           |
| Roof Construction                                     |                                 |                 |                      |                      |                             |                                |                           |
| Including supporting beams and joists                 |                                 |                 |                      |                      |                             |                                |                           |
| Shaft Enclosures - Exit                               |                                 |                 |                      |                      |                             |                                |                           |
| Shaft Enclosures - Other                              |                                 |                 |                      |                      |                             |                                |                           |
| Corridor Separation                                   |                                 |                 |                      |                      |                             |                                |                           |
| Occupancy Separation                                  |                                 |                 |                      |                      |                             |                                |                           |
| Party/Fire Wall Separation                            |                                 |                 |                      |                      |                             |                                |                           |
| Smoke Barrier Separation                              |                                 |                 |                      |                      |                             |                                |                           |
| Tram Separation                                       |                                 |                 |                      |                      |                             |                                |                           |
| Incidental Use Separation                             |                                 |                 |                      |                      |                             |                                |                           |

\* Indicate section number permitting reduction

LIFE SAFETY SYSTEM REQUIREMENTS

Emergency Lighting: ☐ No ☒ Yes  
Exit Signs: ☐ No ☒ Yes  
Fire Alarm: ☐ No ☒ Yes  
Smoke Detection Systems: ☒ No ☐ Yes ☐ Partial \_\_\_\_\_  
Panic Hardware: ☒ No ☐ Yes

EXIT REQUIREMENTS

NUMBER AND ARRANGEMENT OF EXITS

| FLOOR, ROOM OR SPACE DESIGNATION | MINIMUM <sup>1</sup> NUMBER OF EXITS |                | TRAVEL DISTANCE                          |                                       | ARRANGEMENT MEANS OF EGRESS <sup>2,3</sup> (SECTION 1015.2) |                                |
|----------------------------------|--------------------------------------|----------------|--|---------------------------------------|---|--------------------------------|
|                                  | REQUIRED                             | SHOWN ON PLANS | ALLOWABLE TRAVEL DISTANCE (TABLE 1015.1) | ACTUAL TRAVEL DISTANCE SHOWN ON PLANS | REQUIRED DISTANCE BETWEEN EXIT DOORS                        | ACTUAL DISTANCE SHOWN ON PLANS |
| SCREENED ENCLOSURE               | 2                                    | 2              | 250'                                     | 20'                                   | SEE PLAN  | SEE PLAN                       |
| RAISED PATIO                     | 1                                    | 1              | 250'                                     | 35'                                   |   |                                |

<sup>1</sup> Corridor dead ends (Section 1017.3)  
<sup>2</sup> Buildings with single exits (Table 1019.2). Spaces with one means of egress (Table 1015.1)  
<sup>3</sup> Common Path of Travel (Section 1014.3)

EXIT WIDTH

| USE GROUP OR SPACE DESCRIPTION | AREA <sup>1</sup> sq. ft. | AREA <sup>1</sup> PER OCCUPANT (TABLE 1001.1) | CALCULATED OCCUPANT LOAD (a+b) | EGRESS WIDTH PER OCCUPANT (TABLE 1005.1) |       | EXIT WIDTH (in) <sup>2,3,4,5,6</sup> |       |
|--------------------------------|---------------------------|---|--------------------------------|--|-------|--------------------------------------|-------|
|                                |                           |   |                                | STAIR LEVEL                              | LEVEL | STAIR LEVEL                          | LEVEL |
| PATIO                          | 1,044                     | 200 GROSS                                     | 49                             | 2"                                       | 20"   |                                      | 70"   |

<sup>1</sup> See Table 1004.1.1 to determine whether net or gross area is applicable.  
See definition "Area, Gross" and "Area, Net" (Section 1002)  
<sup>2</sup> Minimum stair width (Section 1009.1); min. corridor width (Section 1017.2); min. door width (Section 1008.1)  
<sup>3</sup> Minimum width of exit passageway (Section 1021.2)  
<sup>4</sup> See Section 1004.5 for converging exits.  
<sup>5</sup> The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1005.1)  
<sup>6</sup> Assembly occupancies (Section 1025)

STRUCTURAL DESIGN

DESIGN LOADS:

Importance Factors: Wind (I<sub>w</sub>) 1.0  
Snow (I<sub>s</sub>) 1.0  
Seismic (I<sub>e</sub>) 1.0  
Live Loads: Roof \_\_\_\_\_ psf  
Mezzanine \_\_\_\_\_ psf  
Floor 100 \_\_\_\_\_ psf  
Ground Snow Load: 10 \_\_\_\_\_ psf  
Wind Load: Basic Wind Speed 90 mph (ASCE-7)  
Exposure Category B  
Wind Base Shears (for MWFRS) V<sub>x</sub> = 1.6 V<sub>y</sub> = 5.2

SEISMIC DESIGN CATEGORY ☐ A ☐ B ☒ C ☐ D

Provide the following Seismic Design Parameters:  
Occupancy Category (Table 1604.5) ☐ I ☒ II ☐ III ☐ IV S<sub>s</sub> = 2.1 %g  
Spectral Response Acceleration ☐ 2.1 %g ☐ 3.0 %g  
Site Classification ☐ Field Test ☒ Presumptive ☐ Historical Data  
Basic structural system (check one):  
Bearing Wall \_\_\_\_\_ Dual w/Special Moment Frame  
Building Frame \_\_\_\_\_ Dual w/Intermediate R.C. or Special Steel  
Moment Frame ☒ Inverted Pendulum  
Seismic base shear V<sub>s</sub> = 3.0 V<sub>e</sub> = 2.0  
Analysis Procedure ☒ Simplified \_\_\_\_\_ Equivalent Lateral Force \_\_\_\_\_ Modal  
Architectural, Mechanical, Components anchored?

LATERAL DESIGN CONTROL: Earthquake \_\_\_\_\_ Wind ☒ \_\_\_\_\_

SOIL BEARING CAPACITIES:

Field Test (provide copy of test report) \_\_\_\_\_ psf  
Presumptive Bearing capacity \_\_\_\_\_ 2000 \_\_\_\_\_ psf  
Pile size, type, and capacity \_\_\_\_\_

PLUMBING FIXTURE REQUIREMENTS

NO OCCUPANT INCREASE

ACCESSIBLE PARKING

| LOT OR PARKING AREA      | TOTAL # OF PARKING SPACES |          | # OF ACCESSIBLE SPACES PROVIDED |                                 | TOTAL # ACCESSIBLE PROVIDED |
|--------------------------|---------------------------|----------|---------------------------------|---------------------------------|-----------------------------|
|                          | REQUIRED                  | PROVIDED | REGULAR WITH 5' ACCESS AISLE    | VAN SPACES WITH 5' ACCESS AISLE |                             |
| PARKING IN REAR OF BLDG. | 8-12                      | 9        |                                 | 1                               | 1                           |
| TOTAL                    |                           |          |                                 |                                 |                             |

General Notes

The scope of work shall include all labor, materials, equipment, temporary services (including toilet, space heating, generators, etc.) building and other permits and fees necessary to complete the job as shown on these documents.

All Work shall conform to all applicable State and Local Codes, Regulations and Ordinances, and shall be constructed to the highest standards of craftsmanship by properly licensed and qualified Subcontractors of the respective trades. All defective work shall be reconstructed to the approval of the Architect at no cost to the Owner. It shall be the Contractor's responsibility to report any code or workmanship discrepancies to the Owner before proceeding with the Work; otherwise, it is assumed that the represented conditions are accurate and satisfactory, and that the Work can be performed as indicated in the Construction Documents.

All equipment and materials shall be installed according to manufacturers' instructions unless noted otherwise. The Contractor shall provide the owner with a one year warranty on all workmanship and materials, with such warranty beginning at the date of Substantial Completion.

If any material is discovered during excavation or demolition which is in any way considered to contain asbestos or other hazardous or toxic material, construction shall be stopped immediately and the condition reported to Owner.

Drawings shall not be scaled. If there is a discrepancy or absent dimension, contact Architect for clarification.

The Contractor shall take all reasonable precautions to minimize water entering building during construction, and that the building and site remain secure and safe at all times, providing all necessary components for construction safety, care of adjacent existing property and construction. The Contractor shall comply with all County, State and Federal Regulations regarding safety.

General Contractor shall keep job site clean, free of trash and orderly. Work area, interior and exterior, shall be cleaned at end of project.

All new construction shall be plumb, straight and square, and in proper alignment.

General Contractor shall protect all existing construction and finishes to remain, and shall repair any that are disturbed by his operations.

General Contractor shall engage qualified sprinkler contractor for design and extension of sprinklers to Basement ceiling. Piping to sprinkler shall be above ceiling. Sprinkler cost and associated construction shall be included in General contractor's proposal.

General Site Notes

General Contractor shall coordinate w/ Owner on location for material storage.

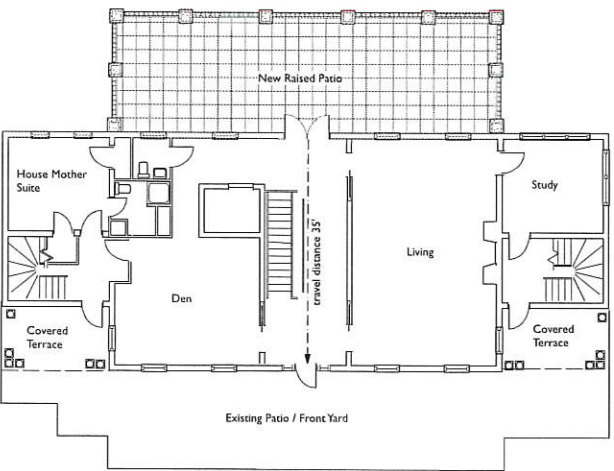
Erosion Control: Contractor shall do all that is possible to minimize soil erosion and siltation caused by his operations. He shall comply with all applicable Town of Chapel Hill regulations relating to erosion prevention and control.

Earth Excavation: Footing trenches shall extend into adequate bearing soil a minimum of 6", and be a minimum of 12" below finish grade or as indicated on drawings. Provide fences, barricades or any other safety devices around all open trenches, excavations or any other hazardous area. Protect all graded and excavated areas from traffic and erosion.

General Contractor shall protect all existing construction to remain.

Termite Treatment shall be according to N.C. State Building Code.

All plantings shall have 1 year warranty.



First Floor Life Safety Plan



Location Map

Project Team

Jack Haggerty, Architect - Designer  
Alamance Engineers- Plumbing, Mechanical, Electrical & Fire Alarm  
Rob Munach, P.E. - Structural Design

Sheet Index

a drawing for extension of sprinkler system will be supplied by sprinkler contractor

COVER - Appendix B

A-1 - Site Plans, New & Exist.; Demolition Plan

A-2 - Raised Patio and Screened Enclosure Plan

~~A-3 - Drain Plan; Reflected Ceiling Plan~~

A-4 - North Elevation

A-5 - West Elevation; Details

~~A-6 - Section and Elevation Details~~

~~S-1 - Structural Plan and Details (Excel Engineering)~~

~~P-1 - Patio Drain Plan (Alamance Consulting Engineers)~~

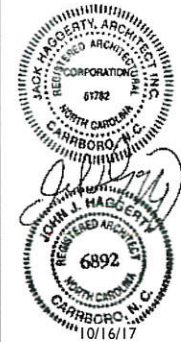
~~E-1 - Lighting Plan (Alamance Consulting Engineers)~~

~~E-2 - Electrical Plan (Alamance Consulting Engineers)~~

~~E-3 - Panel Schedule & Notes (Alamance Consulting Engineers)~~

~~FA-1 - Fire Alarm Plan (Alamance Consulting Engineers)~~

**Jack Haggerty, Architect**  
205 W. Main St., Ste. 213, Carrboro, NC 27510  
919-967-5191



**Phi Gamma Delta**  
**Fraternity House**  
108 W. Cameron St., Chapel Hill, North Carolina

for  
construction

COVER

October 13, 2017

1 of 13

Zoning - Approved Plan Set  
7 sheets 3/26/18 Mike Klein, AICP



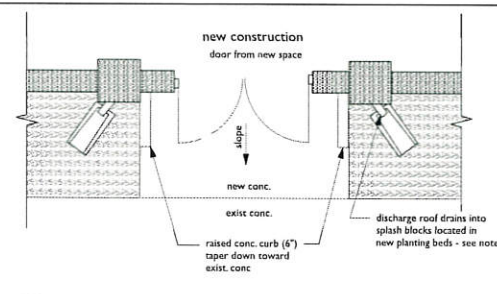
## Demolition Notes

- All demolition work may not be shown. General Contractor shall coordinate demolition work with work shown on other drawings
- General Contractor shall provide means of temporary support at areas where walls are removed.
- General Contractor shall coordinate w/ fraternity representatives regarding any utility stoppage or disruptions.
- General Contractor shall provide protection and warning around any open excavations
- General Contractor shall protect existing mechanical equipment and re-install any bollards disturbed by construction
- General Contractor shall protect existing downspouts and divert temporarily from construction activity.
- General Contractor shall keep building interior secure and protected from the weather during construction.
- General Contractor shall coordinate w/ Sprinkler Contractor on any req'd demolition for installation of sprinklers.

adj. - adjacent  
a.f.f. - above finished floor  
blk. - block/blocking  
cab(s) - cabinet(s)  
c/cg. - ceiling  
col. - column  
cont. - continuous  
conc. - concrete  
ds. - downspout  
dtl. - detail  
dwg. - drawing  
elec. - electric  
elev. - elevation  
eq. - equal  
e.w.c. - electric water cooler

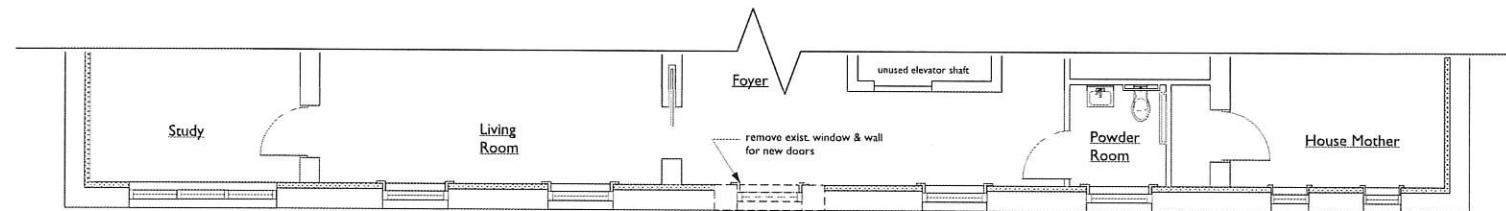
flg. - flooring  
fr. ext. - fire extinguisher  
gwb. - gypsum wall board  
ht. - height  
insul. - insulation  
lav. - lavatory  
mat. - material  
max. - maximum  
mfr. - manufacturer  
min. - minimum  
misc. - miscellaneous  
moist. resist. gwb. - moisture resistant gypsum wall board  
o.c. - on center  
opng. - opening

reinf. - reinforcement  
r.o. - rough opening  
sch. - schedule  
s.h. - sill height  
sim. - similar  
spec. (s). - specifications  
std. - steel  
t.o.p. - top of wall  
typ. - typical  
u.o.n. - unless otherwise noted  
vert. - vertical  
wd. - wood

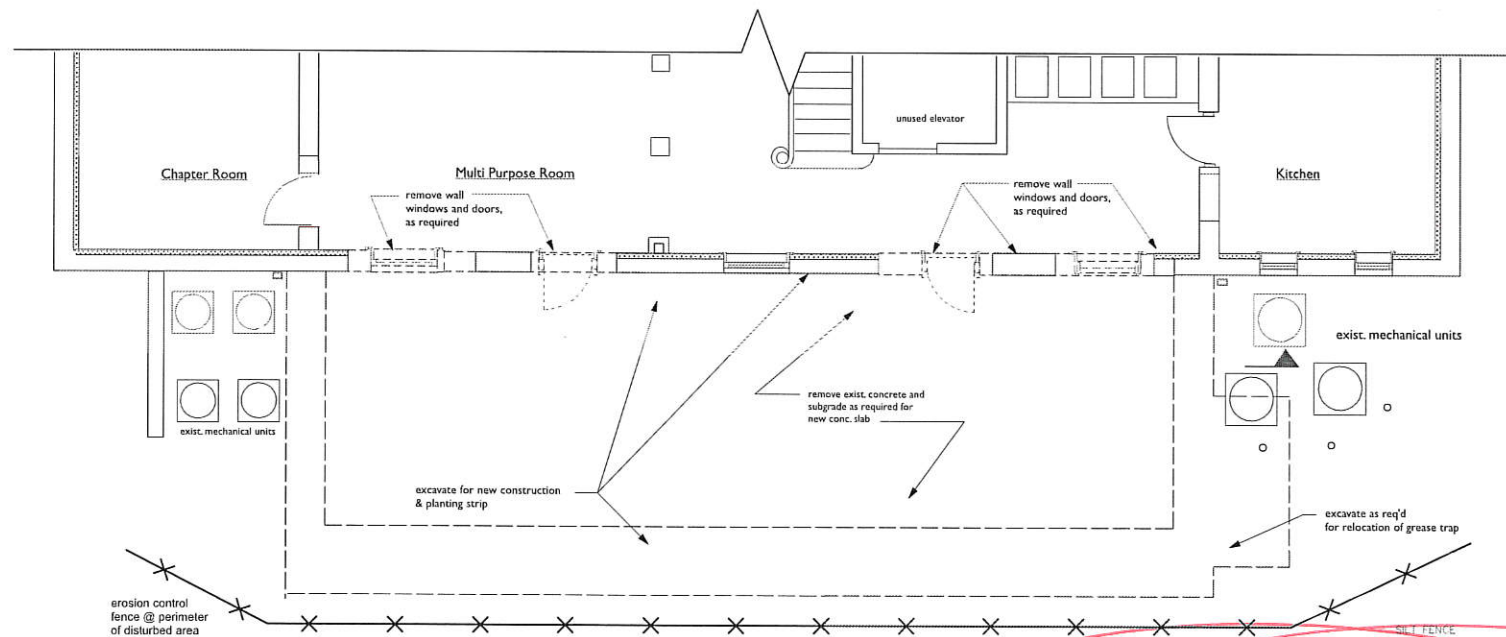


I  
A-1  
Patio Drain and Walk Detail - 1/4"

Note - 4 roof drains are proposed in order to disperse patio stormwater run-off, w/ each roof drain draining 260 s.f.

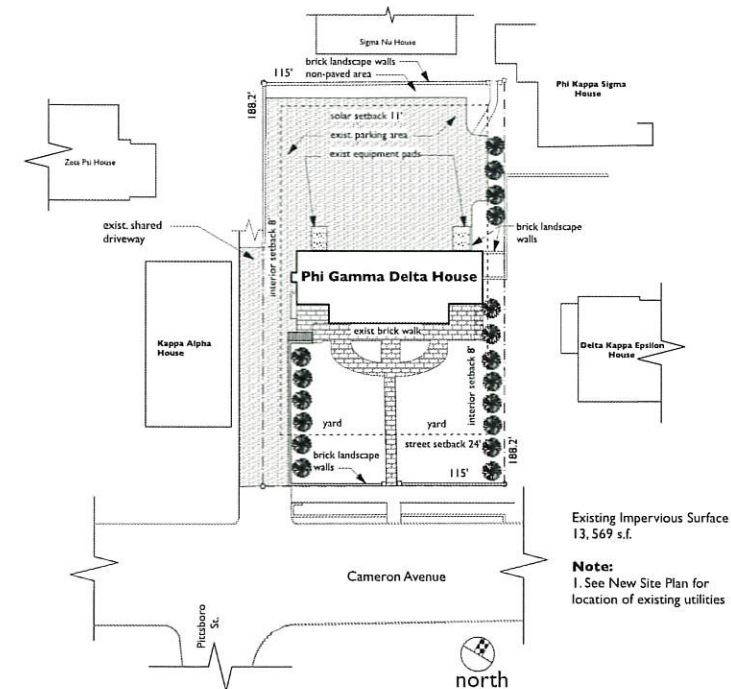
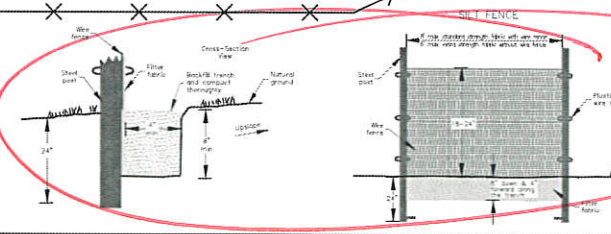


2  
A-1  
First Floor Demolition Plan- 3/16"



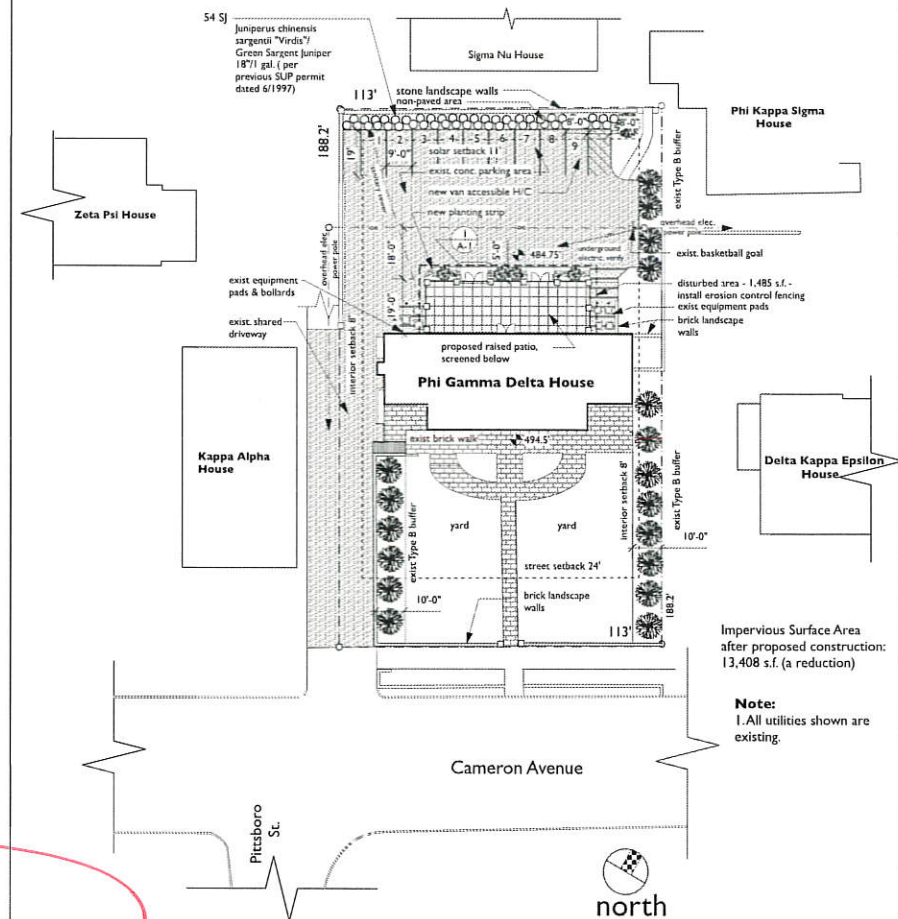
3  
A-1  
Parking Area Demolition Plan- 3/16"

4  
A-3  
Silt Fence Detail  
Town of Chapel Hill - nts  
install @ perimeter of  
disturbed area



Existing Site Plan - 1" = 40'

Lot size - 21,643 s.f.



Proposed Site Plan - 1" = 30'

Lot size - 21,643 s.f.

Lot line location; building and drive location; landscape walls and walk locations and building footprint are taken from S.U.P. application filed with the town of Chapel Hill in 6/1997

**Jack Haggerty, Architect**  
205 W. Main St., Ste. 213, Carrboro, NC  
27510 919-967-5191



**Phi Gamma Delta  
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for  
construction

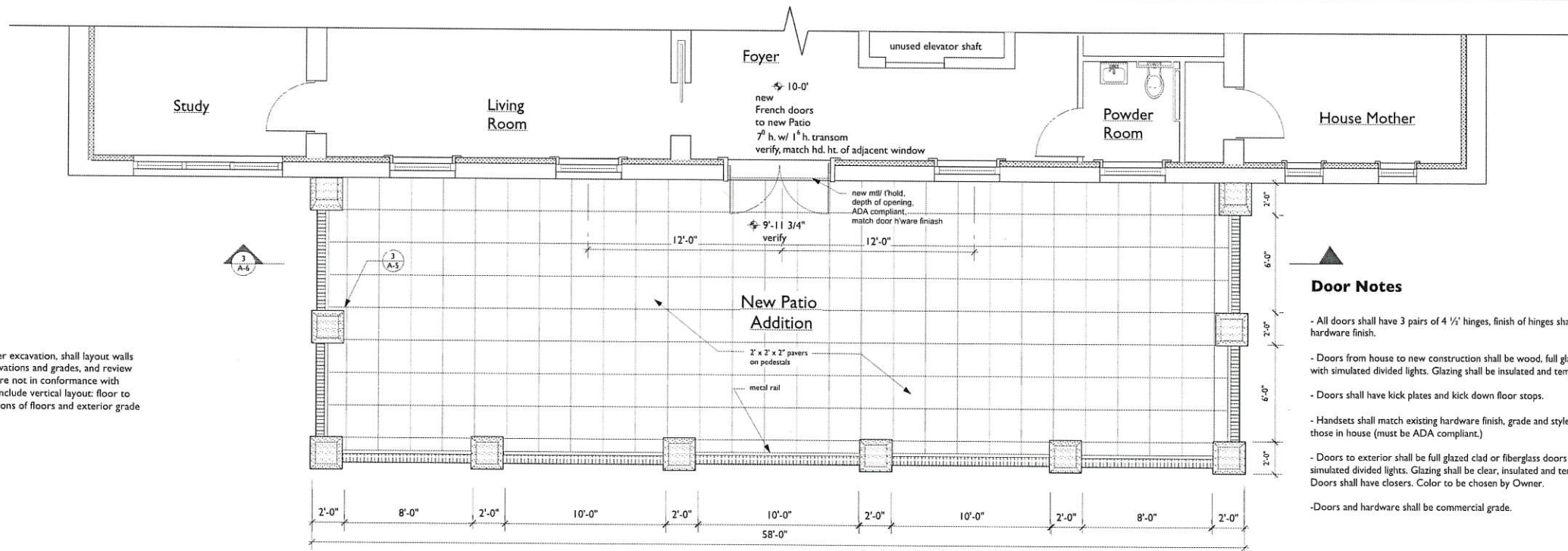
10/13/17 A-1

13



**Lay-Out Note**

General Contractor, prior to and after excavation, shall layout walls and openings, and proposed floor elevations and grades, and review with Architect if existing conditions are not in conformance with proposed construction. Layout shall include vertical layout: floor to floor, top of openings, finished elevations of floors and exterior grade outside of doors.

**Door Notes**

- All doors shall have 3 pairs of 4 1/2" hinges, finish of hinges shall match hardware finish.
- Doors from house to new construction shall be wood, full glazed, with simulated divided lights. Glazing shall be insulated and tempered.
- Doors shall have kick plates and kick down floor stops.
- Handsets shall match existing hardware finish, grade and style of those in house (must be ADA compliant).
- Doors to exterior shall be full glazed clad or fiberglass doors with simulated divided lights. Glazing shall be clear, insulated and tempered. Doors shall have closers. Color to be chosen by Owner.
- Doors and hardware shall be commercial grade.

1  
A-2  
**First Floor Plan- 1/4"**

**Concrete**

Concrete Slabs and Footings: Mix design for concrete shall develop a minimum strength of 3000 psi in 28 days, or as indicated in drawings.

Concrete for sidewalks shall be air-entrained type, and shall be placed on gravel or compacted subgrade with construction joints every 5' on center.

All cast-in-place concrete shall be poured continuously with no cold joints.

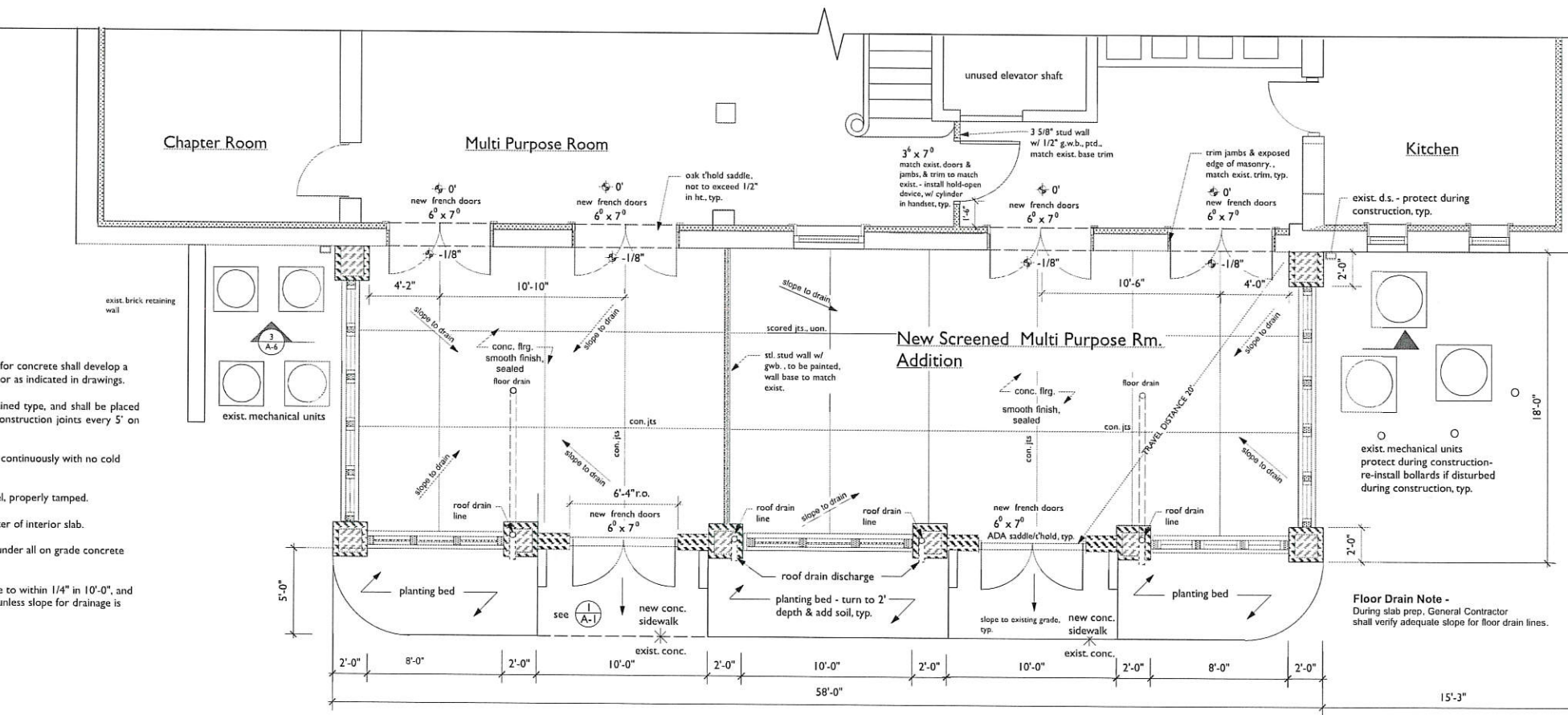
Concrete shall be placed on washed gravel, properly tamped.

Install expansion joint material @ perimeter of interior slab.

Install 12 mil. polyethylene vapor barrier under all on grade concrete slabs.

All concrete shall be poured level and true to within 1/4" in 10'-0", and not to exceed 1/2" in entire run of floor, unless slope for drainage is indicated.

Interior slab shall have broom finish.



2  
A-2  
**Basement Plan- 1/4"**

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27510  
919-967-5191



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for  
construction

10/13/17

A-2

13



Masonry

All masonry work shall comply with recommendations of the Brick Institute of America and the Carolinas Concrete Masonry Association.

Concrete Masonry Units (CMU): Provide manufacturer's standard units as indicated on Drawings. Provide units complying with ASTM C 90, Grade N-1.

Mortar for Unit Masonry: Provide commercial mortar mix, type "S", for all exposed brick and CMU masonry work.

Brick shall match brick at fraternity house in size, color and texture. Brick bond shall match that of brick at the same building. Provide sample for owner review prior to ordering.

Layout walls in advance for accurate spacing of bond patterns, with uniform joint widths and to properly locate openings.

Clean mortar from all walls as work progresses. At the end of the job clean masonry walls with stiff brushes and cleaning compound as recommended by the manufacturer.

General Contractor and Masonry Contractor shall coordinate on work to be installed in masonry – See electrical and architectural plans.

Aluminum Railing Note

Railings at Patio shall be by Superior Aluminum Products, Inc., Series 9100.

Rail height shall be 36", with double top rail and ring inserts.

Rails shall be side-mounted, with intermediate heavy-duty base mounts. All rail components shall be by Superior Aluminum Products, Inc.

Finish shall be dark bronze.

Location of anchor-verticals and bases are schematic. Manufacturer shall determine number and location of anchor verticals and mounting bases based on support required for rails and length of rail run.

Exterior Finish Notes

Brick

- Exterior brick walls shall be sealed with clear sealant.
- Sealer shall be silane/siloxane based.
- Brick shall be clean and dry before application of sealant.
- apply per manufacturer's instructions.

Screening Frames

- Pressure treated material shall be stained with a solid color stain.
- Prep surface and apply stain per manufacturer's recommendation.
- Color to be chosen by Owner.



North Elevation - 1/4"

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for construction

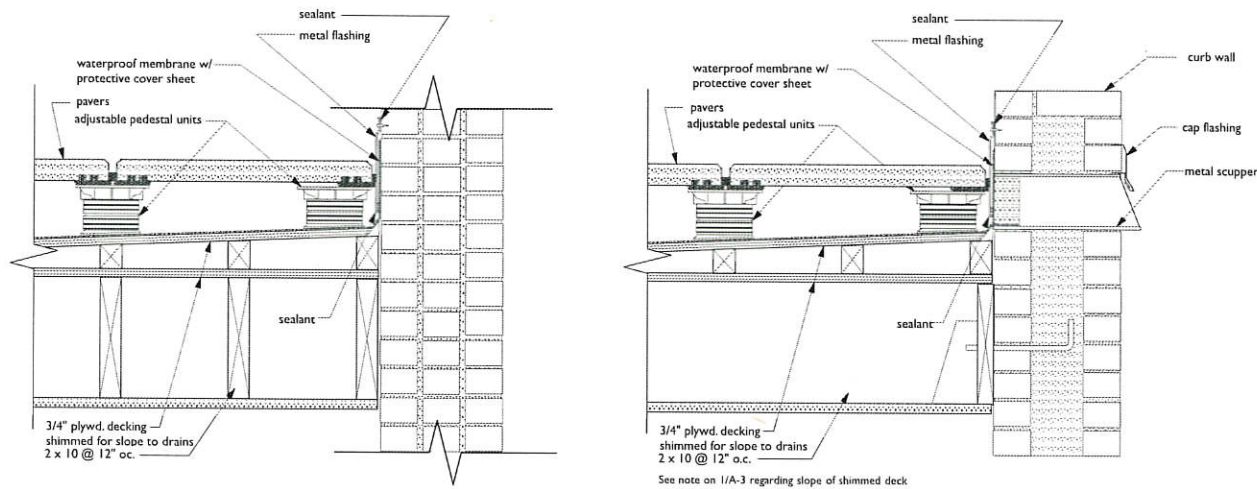
Oct. 13, 2017

A-4

13

Jack Haggerty, Architect, Inc. reserves his common law copyright and other property rights in these drawings. These drawings are not to be reproduced, changed, copied in any form or manner or assigned to any third party without first obtaining the written permission and consent of Jack Haggerty, Architect, Inc.

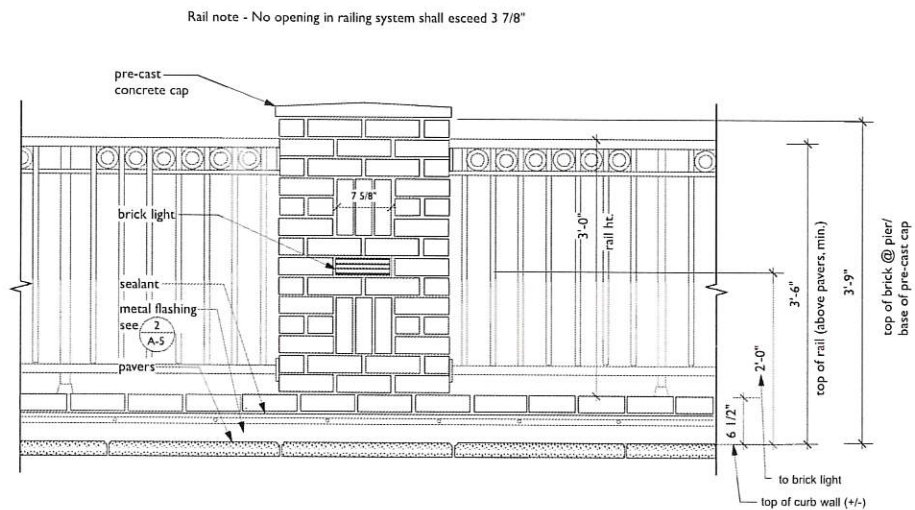




2  
A-5

Flashing @ Existing House Wall - 1 1/2"

Flashing @ Patio Curb - 1 1/2"

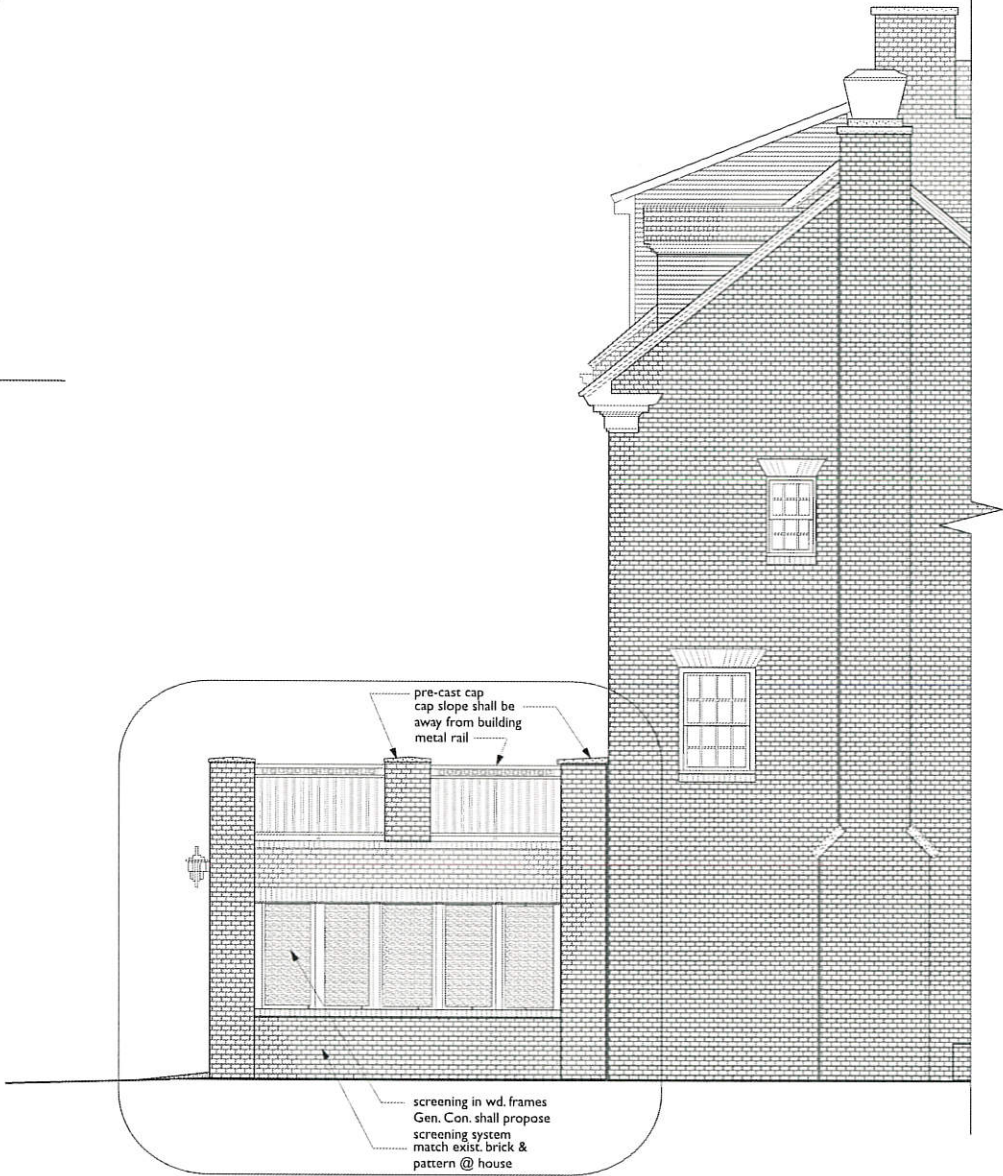


3  
A-5

Piers @ Patio - 1"

**Paver and Pedestal System** shall be Terra-Stand Pedestal system by Tectura Designs and Wausau. Installation shall include all components necessary for system – spacers (3/16”), Terra-Tabs, shims, waffle reducers and pedestals and any other required components. Pavers shall be by Tectura Design Pavers, and shall be compatible with pedestal system. Color of pavers to be selected by Owner from manufacturer’s standard palette , allow for two colors in checkerboard pattern Contractor experienced with pedestal/paver system shall install system.

**Waterproof Membrane Note:** General Contractor shall consult with Paving/Pedestal System Contractor and Roofing Contractor on roofing membrane recommendation – type of membrane, thickness, type of protective cover sheet and required slope for membrane drainage. Roofing membrane shall be compatible with paver/pedestal system and roofing substrate. Coordinate roofing membrane installation with roof drains, scuppers and perimeter flashing to achieve water-tight installation.



New Patio Addition

1  
A-5

West Elevation - 1/4"

Note: East Elevation of Raised Patio is identical to the West Elevation

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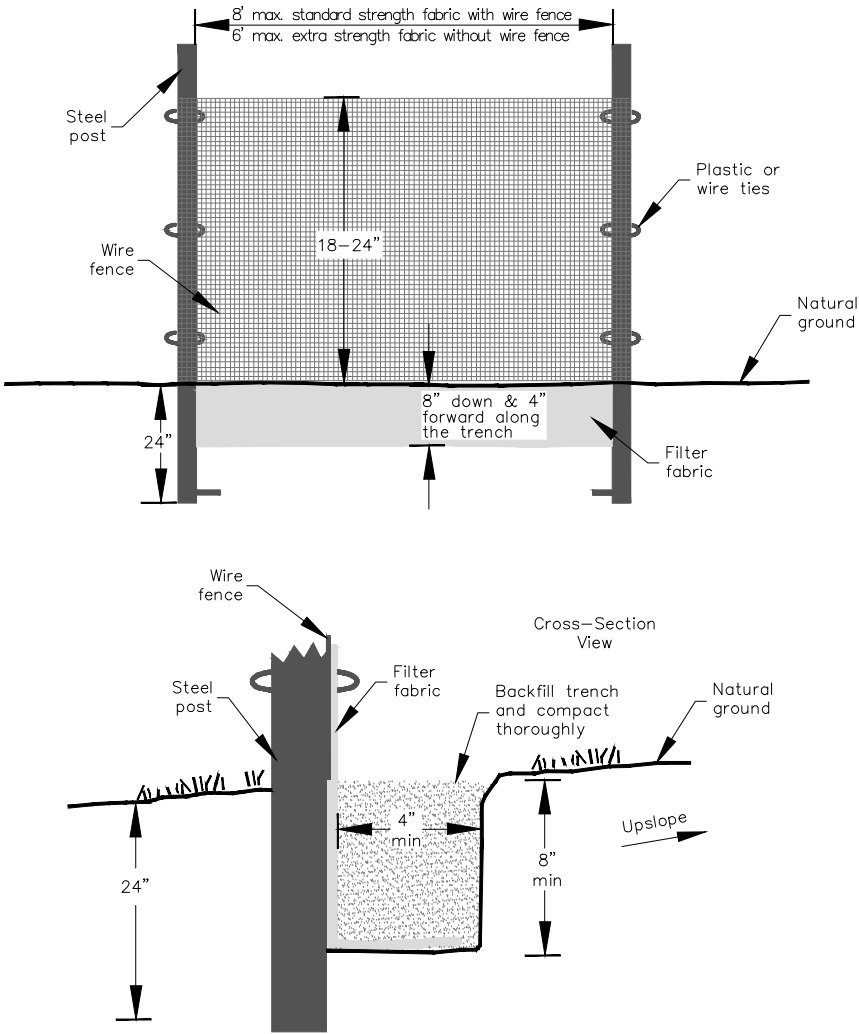
for  
construction

Oct. 13, 2017

A-5

13

SILT FENCE



GENERAL NOTES:

- 1. Use silt fence only when drainage area does not exceed ¼ acre and never in areas of concentrated flow.
- 2. Silt fence shall not be removed unless site is stabilized and inspected by Town of Chapel Hill staff.

NOTE: DRAWING NOT TO SCALE



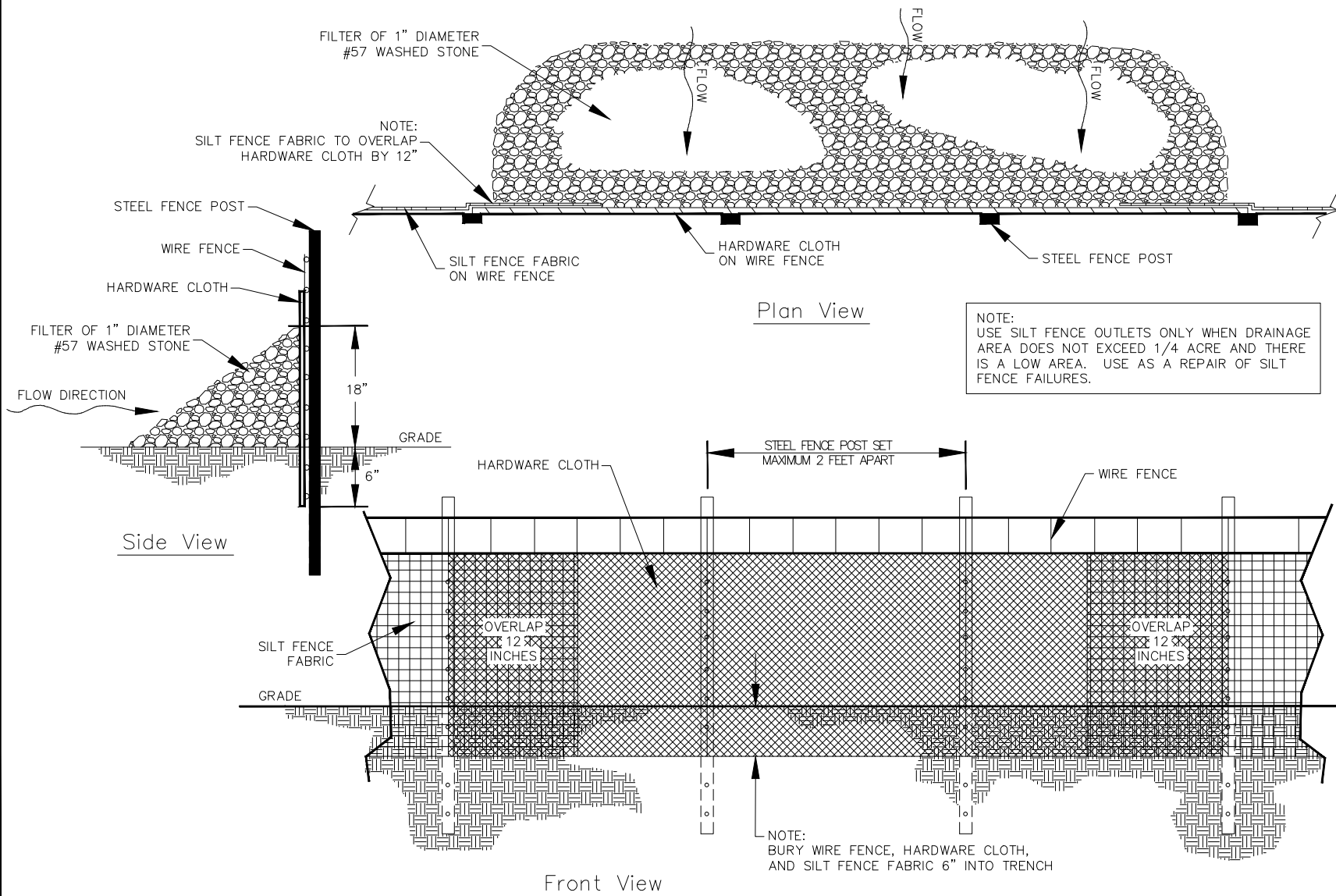
ENGINEERING  
STANDARD  
DEPARTMENT  
DETAILS

| TITLE:     |  | REVISIONS |    | DET. NO. |
|------------|--|-----------|----|----------|
| SILT FENCE |  | 08/13     | 15 | SD-18    |



# ENGINEERING STANDARD DEPARTMENT DETAILS

## SILT FENCE OUTLET



NOTE: DRAWING NOT TO SCALE

| TITLE:            | REVISIONS |    | DET. NO. |
|-------------------|-----------|----|----------|
| SILT FENCE OUTLET | 08/13     | 15 | SD-19    |





# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

---

**Item #:** 15., **File #:** [20-0021], **Version:** 1

**Meeting Date:** 1/8/2020

---

**Concept Plan Review: 408 Hillsborough Street Alterations.**

See the Staff Report on the next page.

---

**The Agenda will reflect the text below and/or the motion text will be used during the meeting.**

**PRESENTER:** Anya Grahn, Senior Planner

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adopt a resolution transmitting Council comments to the applicant.

**RECOMMENDATION:** That the Council adopt the resolution transmitting comments to the applicant.





# CONCEPT PLAN REVIEW: 408 HILLSBOROUGH STREET ALTERATIONS (Project 19-103)

## STAFF REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT  
Judy Johnson, Interim Director  
Anya Grahn, Senior Planner

|   |                                |   |
|---|--------------------------------|---|
| <b>ADDRESSES</b><br>408 Hillsborough Street | <b>DATE</b><br>January 8, 2020 | <b>APPLICANT</b><br>George J. Retschle, Ballentine Associates PA<br>on behalf of 408 The Hill, LLC – Ted Kairys |
|---|--------------------------------|---|

### STAFF'S RECOMMENDATION

That the Council adopt the resolution transmitting comments to the applicant.

### PROCESS

- Hear the applicant's presentation
- Receive Historic District Commission comments (September 10, 2019 meeting)
- Hear public comments
- Offer suggestions to the applicant

Statements by individual Council members on a concept plan are not a commitment to an official position for a formal application.

### DECISION POINTS

The applicant requests a conditional zoning permit, which requires a Concept Plan review by Council.

Staff advised the applicant to discuss their preferred process with Council.

### PROJECT OVERVIEW

**Floor Area:** approximately 10,000 SF (16 dwelling units total in 4 existing apartment buildings)

**Land Area:** 1.37 acres

**Current zoning:** Residential-2 (R-2), and Franklin-Rosemary Historic District

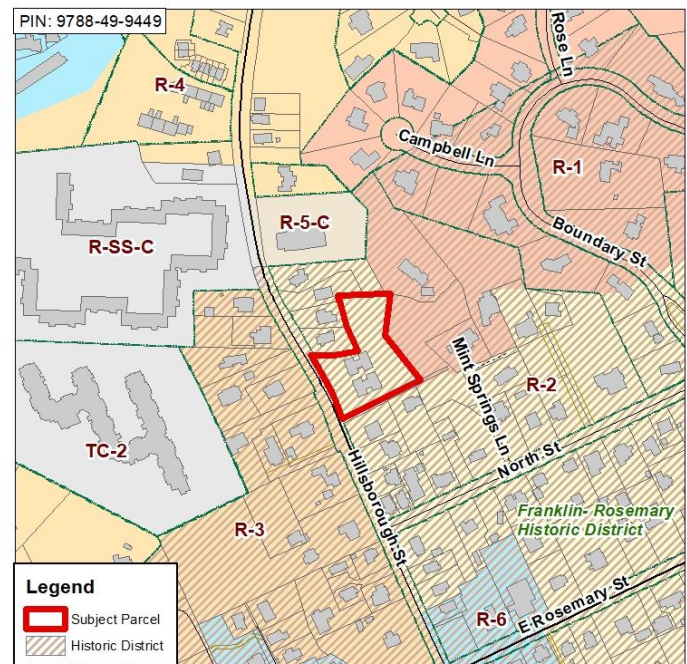
**Proposed zoning:** Office/Institutional-1-Conditional Zoning (OI-1-CZ)

The Concept Plan includes:

- rezoning the site to OI-1-CZ.

The existing multi-family residences do not meet existing zoning standards and are considered a legal non-conforming use. The Ordinance does not allow expansion or changes to a nonconforming use so the applicant is requesting a zoning change. The zoning change would permit administrative approvals of the requested changes to the property.

### PROJECT LOCATION



### ATTACHMENTS

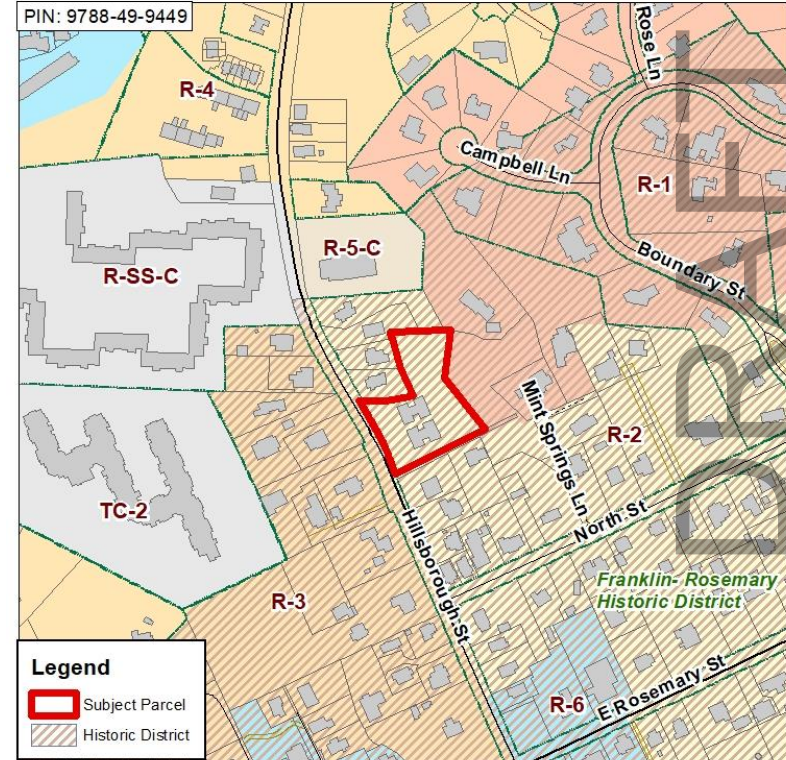
1. Draft Staff Presentation
2. Resolution A
3. Historic District Commission's Comments from September 10, 2019 and Applicant's Responses
4. Application
5. Developer's Program and Statements of Compliance
6. Plan Set

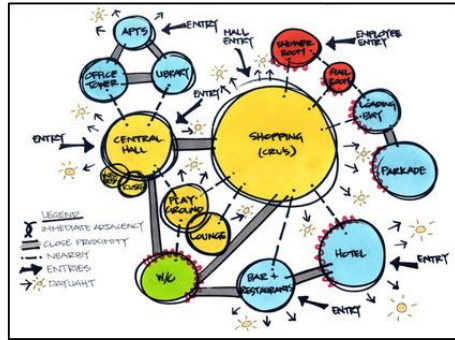


# 408 Hillsborough Street Concept Plan

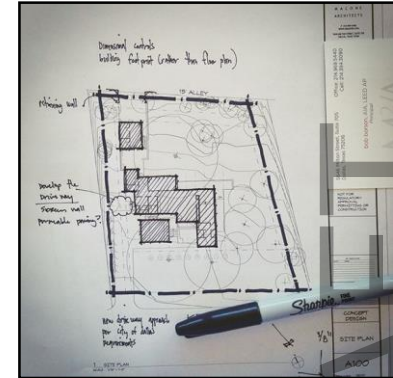
Town Council  
Public Hearing

January 8, 2020

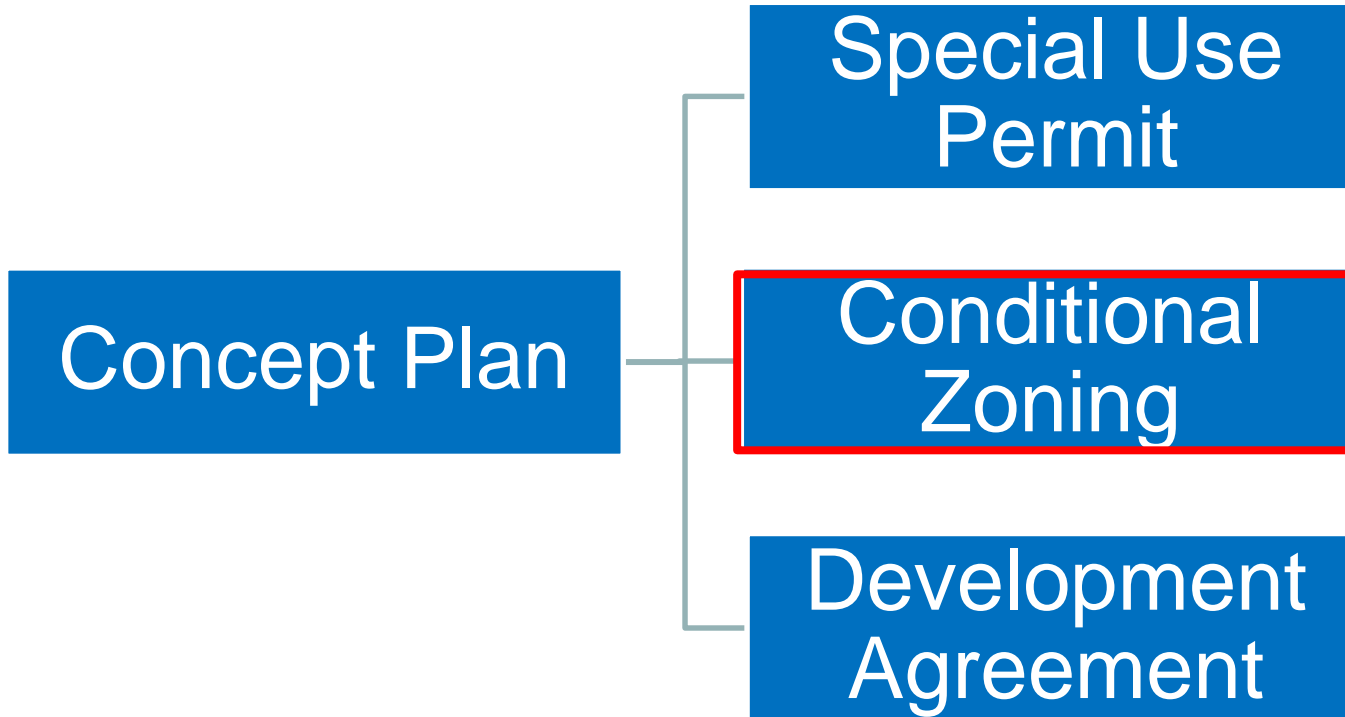




## Concept Plans



- **No Decision; Feedback Only**
  - Applicant presents rough initial sketch
  - Staff does not conduct formal review of concept
  - Instead forwards sketch for preliminary feedback



DRAFT



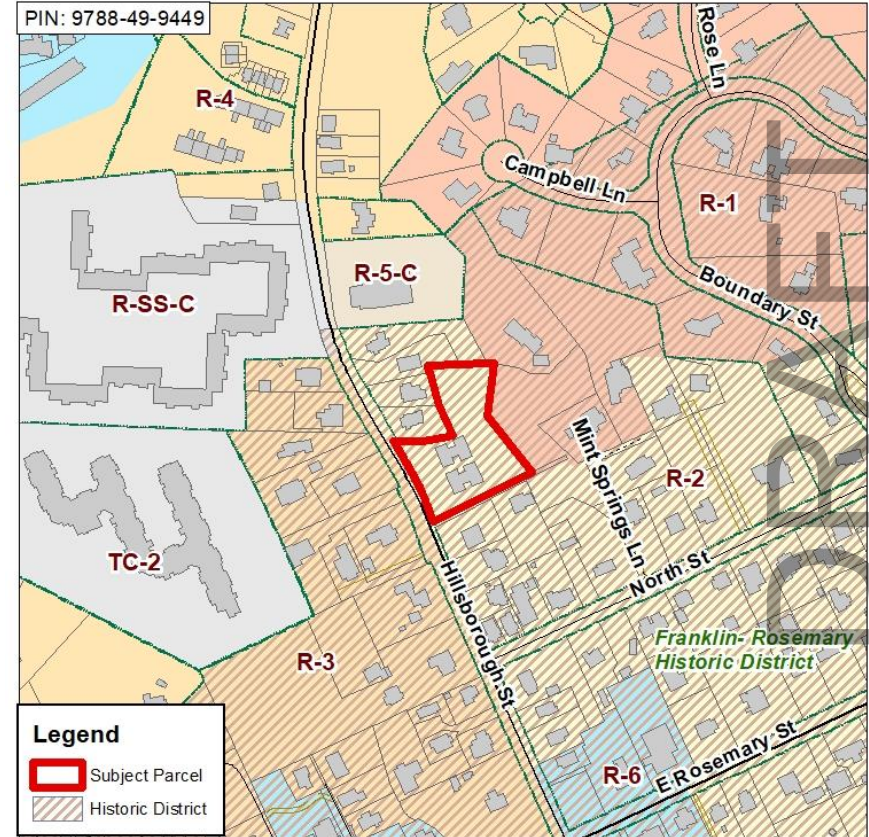
- Adopt Resolution A, transmitting comments to the applicant regarding the proposed development.

DRAFT

# 408 Hillsborough– Project Summary

- 1.37 acre site
- Zoning
  - Currently R-2 and Franklin-Rosemary Historic District
  - Proposing OI-1-CZ
- Historic District Design Guidelines
- Rehab existing building and make site improvements

200



# 408 Hillsborough Street– Existing Conditions



201



DRAFT

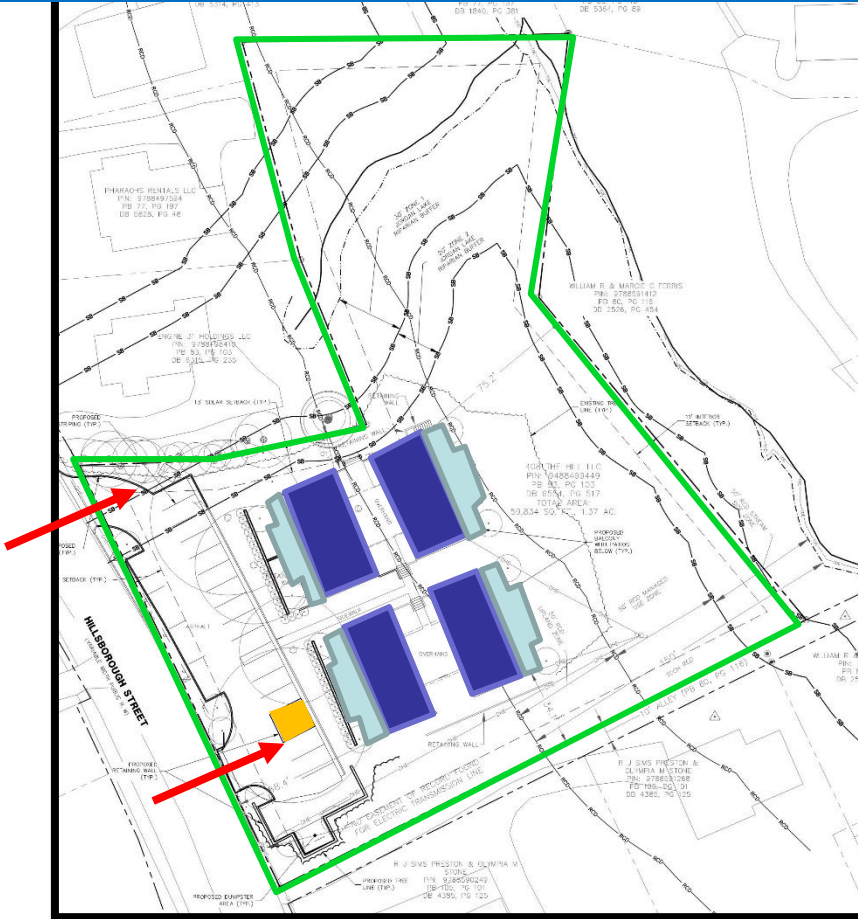
# 408 Hillsborough Street– Concept Plan

202

## Proposed Improvements:

- Construction of balconies/decks
- Relocation of garbage
- Slight modification of parking lot

DRAFT





Historic District Commission

September 10, 2019

DRAFT

- Adopt Resolution A, transmitting comments to the applicant regarding the proposed development.

DRAFT

A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR 408 HILLSBOROUGH STREET (2020-01-08/R-8)

WHEREAS, a Concept Plan has been submitted for review by the Council of the Town of Chapel Hill for 408 Hillsborough Street, PIN 9788-49-9449 and

WHEREAS, the Council has the opportunity tonight to hear this applicant's presentation, receive a set of comments from the Historic District Commission, hear public comments, and offer suggestions to the applicant; and

WHEREAS, the Council has heard presentations from the applicant and members of the public; and

WHEREAS, statements by individual Council members this evening are not an official position or commitment on the part of a Council member with respect to the position he or she may take when and if a formal application for development is subsequently submitted to the Council for formal consideration; and

WHEREAS, the Council has discussed the proposal, with Council members offering reactions and suggestions.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council transmits comments to the applicant regarding this proposal, as expressed by Council members during discussions on January 8, 2020 and reflected in minutes of that meeting.

This the 8th day of January, 2020.

SUMMARY OF A CONCEPT PLAN REVIEW  
408 HILLSBOROUGH STREET  
HISTORIC DISTRICT COMMISSION  
SEPTEMBER 10, 2019

The Historic District Commission (HDC) conducted a concept review for 408 Hillsborough Street on September 10, 2019. The project proposed renovating an existing Mid Century Modern multi-family building. Key points made by members of the Commission about the concept plan include:

- The site is historically significant for its Mid Century Modern buildings, designed by South African architect Terry Wahl. It has architectural significance as an exemplar of a significant style and period.
- The greatest challenge is the terrain of the site due to the ravine and downhill slope. If the applicant were to address the parking lot, they would fix what is unattractive about this site.
- The buildings are simple, symmetrical, and rectangular. Any changes to the facades should emphasize the strong horizontality of the design. Columns, railings, and other upgrades should be visually minimized.
- The Commission was in favor of the preservation of this property; however, its support of the project should not encourage multi-family development in the neighborhood.
- The buildings should maintain their red color.

Submitted by: Bob Epting, Chair-Historic District Commission.



**RESPONSE TO CONCEPT PLAN REVIEW COMMENTS****408 HILLSBOROUGH STREET****HISTORIC DISTRICT COMMISSION****SEPTEMBER 10, 2019**

1. **The site is historically significant for its Mid-Century Modern buildings, designed by South African architect Terry Wahl. It has architectural significance as an exemplar of significant style and period.**
  - The concept plan is committed to maintain the heritage of the 1960s Mid-Century Modern multi-family buildings and ensuring their vitality and efficiency for the 21<sup>st</sup> century of family and community life.
  
2. **The greatest challenge is the terrain of the site due to the ravine and downhill slope. If the applicant were to address the parking lot, they would fix what is unattractive about this site.**
  - The proposed concept has the dumpster/ recycling relocated to the opposite end of the parking lot, concealed by retaining wall and grade from the street elevation. This minimizes the visual impact location of the site approach from Hillsborough Street to the south, fixing a large portion of what is considered “unattractive” about the site.
  - Even though the proposed parking location generally stays the same, it will be cleaned up with repaired curbs and entry grade. This is also addressing the unattractive
  
3. **The buildings are simple, symmetrical, and rectangular. Any changes to the facades should emphasize the strong horizontality of the design. Columns, railings, and other upgrades should be visually minimized.**
  - The basis of the design intent is to maintain and reinforce the horizontality of the facades. This keeps with the character of the mid-century modern structures.
  - The proposed 2<sup>nd</sup> floor balconies on the east elevations and the west (street-facing) elevations have been removed from the concept. The respective columns and railings are, therefore, nonexistent. The existing low railings on the entry decks and stairs in-between buildings will be replaced with horizontal railings/guards that meet the current building code. Any added patio along the west elevations is to be hidden from the street by vegetation.
  
4. **The commission was in favor of the preservation of this property; however, its support of the project should not encourage multi-family development in the neighborhood.**
  - The site has existed historically as multi-family housing and is not new development. The 1965 multi-family buildings predate over half of the immediate adjacent structures.
  - These images below show existing multi-family/Two-family occupancies of the properties immediately surrounding 408 Hillsborough Street. All of these are located within the Franklin-Rosemary Historic District.





415 Hillsborough looking West from Hillsborough Street (TTF Fam Building Type)



413 and 417 Hillsborough looking West from Hillsborough Street (Both are TTF Fam Building Types)





404 and 406 Hillsborough looking East from Hillsborough Street (406 is TTF Fam Building Type)

**5. The buildings should maintain their red color.**

- This is a COA issue to be addressed at the January 14<sup>th</sup> Historic District Commission meeting.



## CONCEPT PLAN APPLICATION

Parcel Identifier Number (PIN): 9788-49-9449

Date: 13 Aug 2019

### Section A: Project Information

Project Name: 408 Hillsborough Street

Property Address: 408 Hillsborough St., Chapel Hill, NC Zip Code: 27514

Use Groups (A, B, and/or C): B Existing Zoning District: R-2

Project Description: The project will include 4 decks each to be installed on an existing 10,000 SF apartment building.  
The project will also modify the curb and pavement at the two entrances, restripe parking spots and add a dumpster area with retaining wall.

### Section B: Applicant, Owner and/or Contract Purchaser Information

#### Applicant Information (to whom correspondence will be mailed)


Name: George J. Retschle – Ballentine Associates PA

Address: 221 Providence Rd

City: Chapel Hill State: NC Zip Code: 27514

Phone: (919) 489-4789 Email: georger@bapa.eng.pro

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: 13 Aug 2019

#### Owner/Contract Purchaser Information:

☒ **Owner**

☐ **Contract Purchaser**

Name: 408 The Hill, LLC - Ted Kairys

Address: 721 Mt Carmel Church Rd

City: Chapel Hill State: NC Zip Code: 27517

Phone: (919) 929-5444 Email: ted@kairysproperties.com

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: 13 Aug 2019





## Concept Plan Project Fact Sheet

| Site Description                        |   |
|---|---|
| Project Name                            | 408 Hillsborough Street                                   |
| Address                                 | 408 Hillsborough Street, Chapel Hill, NC 27514            |
| Property Description                    | +/-1.37 acres, 4 existing apartment buildings             |
| Existing Land Use                       | Apartment Buildings                                       |
| Proposed Land Use                       | Apartment Buildings                                       |
| Orange County Parcel Identifier Numbers | 9788-49-9449  |
| Existing Zoning                         | R-2   |
| Proposed Zoning                         | OI-1 CZ   |
| Application Process                     | HDC, SUP/Rezoning   |
| Comprehensive Plan Elements             | PFE, CPE, GA, GPNS, NOC, TGC                              |
| Overlay Districts                       | Historic Overlay District, Resource Conservation District |

| Topic   | Requirement                                | Proposal | Status |
|---|--|----------|--------|
| <b>Use/Density</b><br>( <a href="#">Sec. 3.7</a> )                    | A / 4.0 units per acre                     |          |        |
| <b>Dimensional Standards</b><br>( <a href="#">Sec. 3.8</a> )          | Street: 26'<br>Interior: 11'<br>Solar: 13' |          |        |
| <b>Floor area</b><br>( <a href="#">Sec. 3.8</a> )                     | 0.93                                       |          |        |
| <b>Modifications to Regulations</b><br>( <a href="#">Sec. 4.5.6</a> ) |  |          |        |
| <b>Adequate Public Schools</b><br>( <a href="#">Sec. 5.16</a> )       |  |          |        |
| <b>Inclusionary Zoning</b><br>( <a href="#">Sec. 3.10</a> )           |  |          |        |
| <b>Landscape</b>  |  |          |        |
| <b>Buffer – North</b><br>( <a href="#">Sec. 5.6.2</a> )               | 15' External, 10' Internal                 |          |        |
| <b>Buffer – East</b><br>( <a href="#">Sec. 5.6.2</a> )                | 15' External, 10' Internal                 |          |        |
| <b>Buffer – South</b><br>( <a href="#">Sec. 5.6.2</a> )               | 15' External, 10' Internal                 |          |        |
| <b>Buffer – West</b>  | 20' External                               |          |        |



|  |                                |  |  |
|--|--------------------------------|--|--|
| ( <a href="#">Sec. 5.6.2</a> )                                     |                                |  |  |
| <b>Tree Canopy</b><br>( <a href="#">Sec. 5.7</a> )                 | 30%                            |  |  |
| <b>Landscape Standards</b><br>( <a href="#">Sec. 5.9.6</a> )       |                                |  |  |
| <b>Environment</b>   |                                |  |  |
| <b>Resource Conservation District</b> ( <a href="#">Sec. 3.6</a> ) |                                |  |  |
| <b>Erosion Control</b><br>( <a href="#">Sec. 5.3.1</a> )           |                                |  |  |
| <b>Steep Slopes</b><br>( <a href="#">Sec. 5.3.2</a> )              |                                |  |  |
| <b>Stormwater Management</b><br>( <a href="#">Sec. 5.4</a> )       |                                |  |  |
| <b>Land Disturbance</b>  |                                |  |  |
| <b>Impervious Surface</b><br>( <a href="#">Sec. 3.8</a> )          | 0.50(GLA) = 0.76 acres         |  |  |
| <b>Solid Waste &amp; Recycling</b>                                 |                                |  |  |
| <b>Jordan Riparian Buffer</b> ( <a href="#">Sec. 5.18</a> )        |                                |  |  |
| <b>Access and Circulation</b>                                      |                                |  |  |
| <b>Road Improvements</b><br>( <a href="#">Sec. 5.8</a> )           |                                |  |  |
| <b>Vehicular Access</b><br>( <a href="#">Sec. 5.8</a> )            |                                |  |  |
| <b>Bicycle Improvements</b><br>( <a href="#">Sec. 5.8</a> )        |                                |  |  |
| <b>Pedestrian Improvements</b><br>( <a href="#">Sec. 5.8</a> )     |                                |  |  |
| <b>Traffic Impact Analysis</b><br>( <a href="#">Sec. 5.9</a> )     |                                |  |  |
| <b>Vehicular Parking</b><br>( <a href="#">Sec. 5.9</a> )           | 1.4/Unit (Min) 1.75/Unit (Max) |  |  |
| <b>Transit</b><br>( <a href="#">Sec. 5.8</a> )                     |                                |  |  |
| <b>Bicycle Parking</b><br>( <a href="#">Sec. 5.9</a> )             |                                |  |  |
| <b>Parking Lot Standards</b><br>( <a href="#">Sec. 5.9</a> )       |                                |  |  |
| <b>Technical</b>   |                                |  |  |



|   |                          |  |  |
|---|--------------------------|--|--|
|   |                          |  |  |
|   |                          |  |  |
| Fire  |                          |  |  |
| Site Improvements   |                          |  |  |
| Schools Adequate Public Facilities<br>( <a href="#">Sec. 5.16</a> ) |                          |  |  |
| Recreation Area<br>( <a href="#">Sec. 5.5</a> )                     | (0.025 X GLA) = 1,645 SF |  |  |
| Lighting Plan<br>( <a href="#">Sec. 5.11</a> )                      |                          |  |  |
| Homeowners Association<br>( <a href="#">Sec. 4.6</a> )              |                          |  |  |

| Symbol | Meaning        | Symbol   | Meaning                |
|--------|----------------|----------|------------------------|
|        | Meets Standard | <b>M</b> | Modification necessary |
| NA     | Not Applicable | UNK      | Not known at this time |



## Checklist

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning and Sustainability at (919)968-2728 or at [planning@townofchapelhill.org](mailto:planning@townofchapelhill.org).

|   |  |                |        |
|---|--|----------------|--------|
| ✓ | <b>Application fee</b> ( <a href="#">refer to fee schedule</a> )   | Amount Paid \$ | 380.00 |
| ✓ | <b>Pre-application meeting</b> – with appropriate staff  |                |        |
| ✓ | <b>Digital Files</b> - provide digital files of all plans and documents  |                |        |
| ✓ | <b>Concept Project Fact Sheet</b>  |                |        |
| ✓ | <b>Statement of Compliance with Design Guidelines</b> (1 copies)   |                |        |
| ✓ | <b>Statement of Compliance with Comprehensive Plan</b> (1 copies)  |                |        |
| ✓ | <b>Affordable Housing Proposal, if applicable</b> (Rezoning Policy or Inclusionary Ordinance)  |                |        |
| ✓ | <b>Mailing list of owners of property within 1,000 feet perimeter of subject property</b> ( <a href="#">see GIS notification tool</a> )  |                |        |
| ✓ | <b>Mailing fee for above mailing list</b>  | Amount Paid \$ | 226.00 |
| ✓ | <b>Developer's Program</b> – brief written statement explaining how the existing conditions impact the site design. Including but not limited to:  |                |        |
|   | <ul style="list-style-type: none"> <li>• Natural features of site</li> <li>• Access, circulation, and mitigation of traffic impacts</li> <li>• Arrangement and orientation of buildings</li> <li>• Natural vegetation and landscaping</li> <li>• Impact on neighboring properties</li> <li>• Erosion, sedimentation, and stormwater</li> </ul> |                |        |
| ✓ | <b>Resource Conservation District, Floodplain, &amp; Jordan Buffers Determination</b> - necessary for all submittals   |                |        |
| ✓ | <b>Reduced Site Plan Set (reduced to 8.5"x11")</b>   |                |        |

## Plan Sets (1 copies to be submitted no larger than 24"x36")

Plans should be legible and clearly drawn. All plan sets sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property Boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks and buffers
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable



# **Concept Plan Application**

**For:**

408 HILLSBOROUGH STREET

408 Hillsborough Street  
Chapel Hill, NC

**Applicant:**



Walk to Campus... Live in Style

408 The Hill, LLC  
721 Mt. Carmel Church Rd  
Chapel Hill, NC 27517  
(919) 929-5444

**Civil Engineer:**



**Ballentine  
Associates, P.A.**

221 Providence Road  
Chapel Hill, NC 27514  
(919) 929-0481

**Architect:**



310 ½ W Franklin St  
Chapel Hill, NC 27516  
(919) 929-5244

| <u>Issue Dates</u> | <u>Description</u>     |
|--------------------|------------------------|
| 13 Aug 19          | Concept Plan Submittal |

## Project Narrative and Developer's Program

The project site is situated on  $\pm 1.37$  acres east of Hillsborough Street, near the northern edge of the Franklin-Rosemary Historic District. The site consists of four, two-story apartment buildings, each of which includes four dwelling units for a total of 16 existing dwelling units. The buildings each total approximately 2,500 sf of floor area and are connected in pairs by roof structures, which create two "H's" when the buildings are viewed in plan view. The site includes an existing non-conforming parking lot with 19 parking spaces. There is a perennial stream running parallel to the eastern property line that is mostly outside of the parcel boundary with a small corner crossing the northeast corner of the property. There is also an intermittent stream that runs along the northwest corner of the parcel. Slopes in the developed portion of the site are generally less than 15%, while the natural slopes in the RCD area along the east edge of the site are generally steeper than 15% and some portions are steeper than 25%. The predominant soil on the site is Wedowee Sandy Loam with the remaining quarter of the site Appling-Urban land complex.

### I. Changes to the Existing Buildings

We are committed to saving the 1960's Mid-century Modern multifamily housing and ensuring its viability and efficiency for the 21<sup>st</sup> century of family and community life. The historic modernist buildings will be maintained largely in their form and prominence on the site.

**We propose to make the following changes to the historic multifamily buildings:**

#### Windows

Guidelines, pg 41:

1. *Retain and preserve windows and doors that are important in defining the overall historic character of buildings within the historic districts.*
2. *Retain and preserve the details, features, and material surfaces of historic windows and doors.*

Guidelines, pg 49:

2. *Improve the energy efficiency of historic buildings through appropriate methods.*

We are replacing the windows on the east and west facades of the buildings. The windows will be replaced with simple contemporary ones that maintain the historic character of the modernist building. These windows will also upgrade the energy efficiency of the building from single pane to double pane glazing.

#### Balconies

Guidelines, pg 9:

3. *Introduce new site features, building additions, new buildings, and other structures in ways that are compatible with the visual and associative characteristics of the historic district.*

Guidelines, pg 57:

5. *Design and detail decks and any related steps and railings so they are compatible with the historic building in scale, material, configuration, and proportion.*

We are constructing balconies to the east and west facades of the buildings. The balconies will be horizontal elements that mimic the proportions of the horizontal bands of wood siding currently on the east and west facades.

Railings on the balconies are intended to be horizontal rods that resemble the horizontal character of the historic modernist buildings.

## **Patios**

### Guidelines, pg 9:

2. *Introduce new site features, building additions, new buildings, and other structures in ways that are compatible with the visual and associative characteristics of the historic district.*

### Guidelines, pg 17:

7. *Introduce compatible new walls and fences, as needed, in ways that do not compromise the historic character of the site or district. Site new fences and walls in configurations and locations that are compatible with the character of the building, site, and district.*
8. *Construct new walls and fences in traditional materials and designs that are compatible with the character of the building, site, and district.*

Patios will be constructed below the balconies on the ground level of the east and west facades of the buildings. On the east façade, which is not seen from the street and is screened from neighbors by heavy vegetation, the patios are raised from the ground level to meet the finished floor. On the west façade, which is the street facing façade, privacy walls are established, which conceal the patios. These walls are 4' high and are screened with planted vegetation.

## **II. Changes to the Existing Site**

### **Maintain Existing Parking and Trees**

#### Guidelines, pg 19:

1. *Retain and preserve walkways, driveways, and offstreet parking areas that are important in defining the overall historic character of sites within the historic districts.*
2. *Retain and preserve the features, materials, patterns, dimensions, details, and configurations of historic walkways, driveways, and offstreet parking areas.*
7. *Introduce compatible new walls and fences, as needed, in ways that do not compromise the historic character of the site or district. Site new walkways, driveways, and offstreet parking areas in locations that are compatible with the character of building*

#### Guidelines, pg 11:

1. *Retain and preserve site features and plantings that are important in defining the overall historic character of sites and streetscapes within the historic district.*

The existing parking lot remains with the same generic layout. The dumpster location is moved from the street entrance of the site to a location on the southern end of the parking lot, screened by vegetation and depressed into the slope of the topography. Where the dumpster currently exists, will be 2 parking spaces (one new and one relocated from vegetated street buffer).

There are currently four large significant trees that we intend to keep, including the 33" Walnut currently in the parking lot.

### **Removal of Sidewalk on South Facade**

We will remove the sidewalk currently up against the south façade of the building. This is intended to remove the underutilized walkway in favor of returning the existing impervious surface back to natural, permeable ground cover.

Stormwater management requirements will be met through a combination of impervious reduction and low impact development techniques. Sedimentation and erosion control will be handled through the installation of temporary measures during construction and permanent measures will be installed when construction has been completed. State-of-the art technologies and methodologies will be used to meet S&E requirements.

### **Statement of Compliance with the Comprehensive Plan**

Below is a brief outline expressing several ways in which this project will embrace & conform to the ideas and themes driving the Comprehensive Plan:

#### A Place for Everyone

- The project proposes to improve the common areas and landscape to provide areas that are more welcoming for residents to interact with the community.

#### Community Prosperity and Engagement

- This project will create construction opportunities in the short term and will provide improved residential dwelling units for people who will patronize local businesses.

#### Getting Around

- The proposed improvements will provide safer connections to Hillsborough Street. Bus service is readily available within walking distance both north and south of the site.

#### Good Places, New Spaces

- This project will protect the character of the existing buildings and landscape to maintain the special character of the historic district.

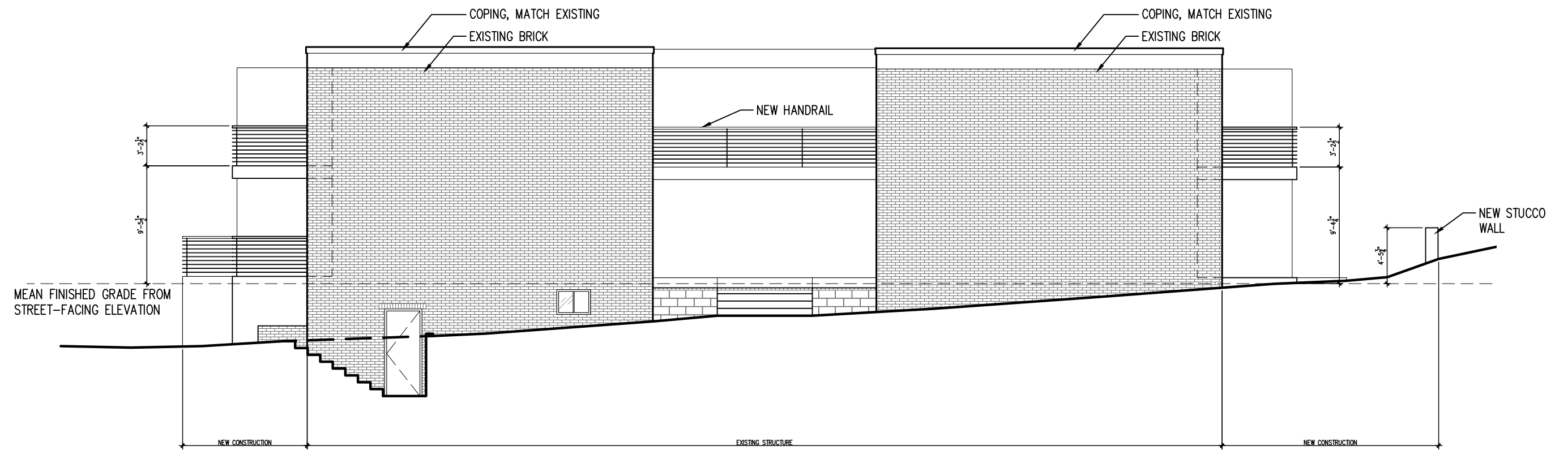
#### Nurturing Our Community

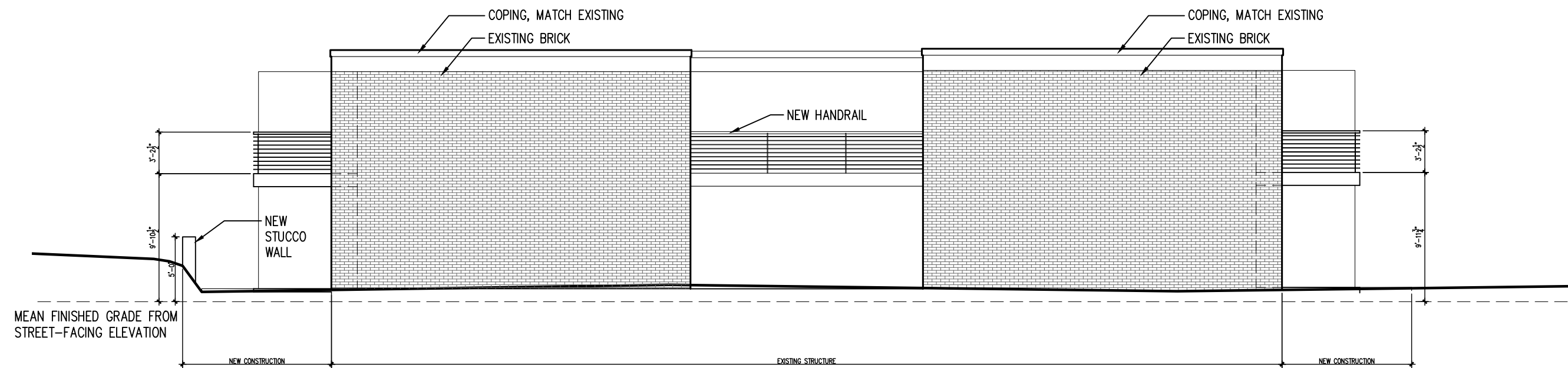
- A significant amount of natural area will be preserved on this property and residents will be able to immerse themselves in and enjoy the preserved natural areas.

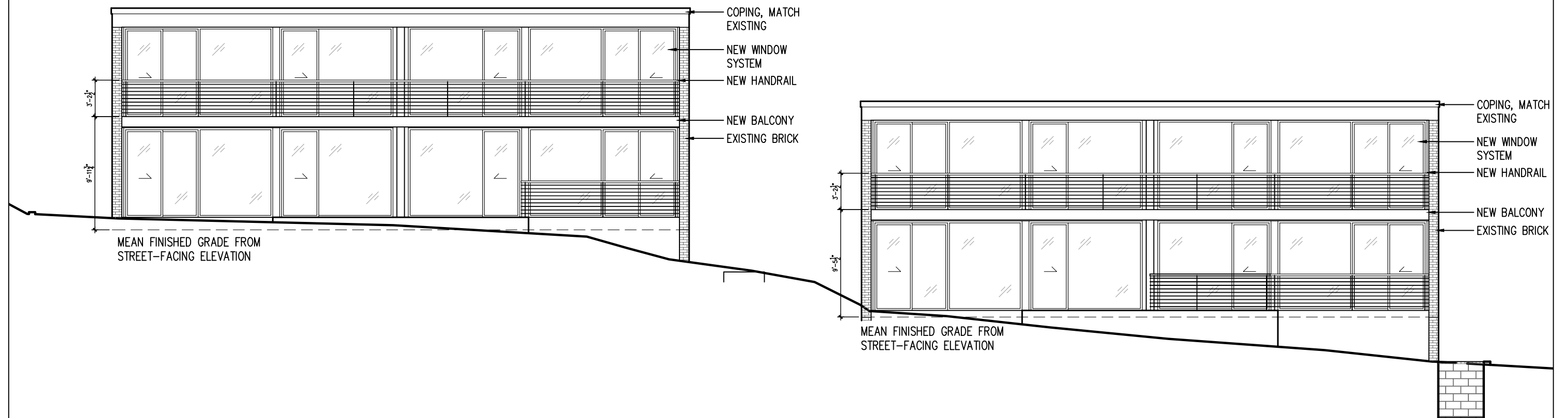
#### Town and Gown Collaboration



- The project is in a location convenient to campus and bus service close by for student who choose to live in one of the apartments on site.





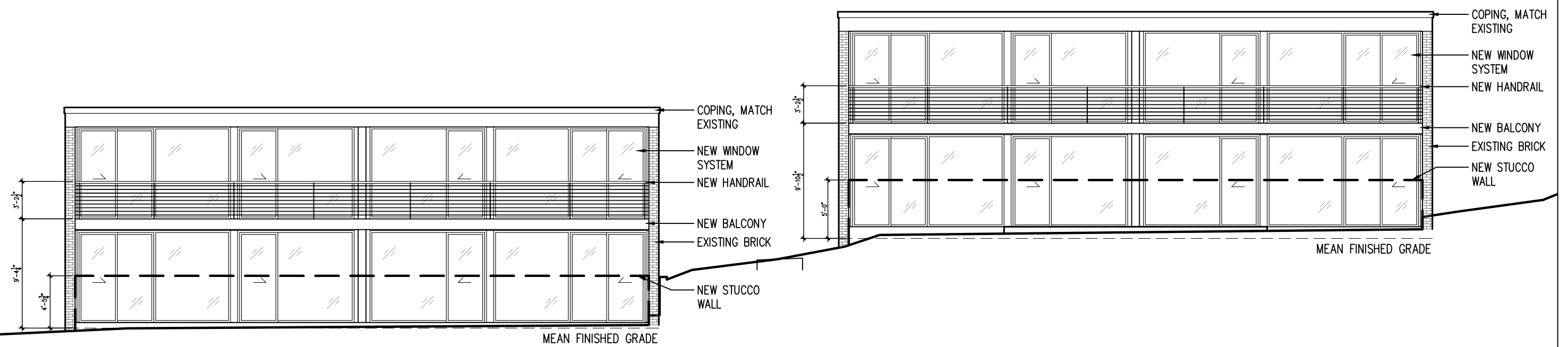


408 HILLSBOROUGH | EAST ELEVATION  
 Scale: 1/4" = 1'-0"

0 1' 2' 4' 8' 12'

S Z O S T A K





408 HILLSBOROUGH | WEST ELEVATION  
 Scale: 1/4" = 1'-0"

0 1' 2' 4' 8' 12'





# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 16., **File #:** [20-0022], **Version:** 1

**Meeting Date:** 1/8/2020

---

### Appointments to the **Community Policing Advisory Committee.**

**Staff:**

Sabrina Oliver, Director/Town Clerk  
Amy Harvey, Deputy Town Clerk  
Alisha Cordell, Administrative Assistant

**Department:**

Communications and Public Affairs  
  
Technology Solutions and CaPA

**Recommendation(s):**

That the Council make appointments to the Community Policing Advisory Committee for two (2) seats.

**Attachments:**

- Recommendation
- Ballot
- Applications

Note: Applications submitted prior to February 20, 2018 were completed before changes were made to the application and may appear incomplete.

**MEMORANDUM**

TO: Mayor and Town Council

FROM: Allan Chrisman, Committee Chair

SUBJECT: Recommendation for the vacancy(s)

DATE: November 12, 2019

**RECOMMENDATION:** The Community Policing Advisory Committee met on Tuesday, November 12, 2019 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Joseph Adileh, Appointment, Town Resident
- Yuwsuf Bell, Appointment, Town Resident

**SPECIAL REQUEST(s):** No Comment

**BACKGROUND:** The Community Policing Advisory Committee currently has two vacancies due to one person declining their appointment and another from a member who moved out of state. The Community Policing Advisory Committee has recommended the appointment of two members.

*Note:* Communications and Public Affairs notes that the Community Policing Advisory Committee reviewed the following applications: Joseph Adileh, Yuwsuf Bell, and Joseph Horrigan. No additional applications have been received between Tuesday, November 12, 2019 and Wednesday, January 2, 2020 and for the Community Policing Advisory Committee.

**BALLOT****COMMUNITY POLICING ADVISORY COMMITTEE****JANUARY 8, 2020**

Total Membership: 9 (Nine Town Residents)

Current Membership: 7 (3 Female, 4 Male; 1 African American, 5 Caucasian, and 1 Hispanic; [1] 18-24, [1] 25-34, [1] 35-54, [3] over 55, [1] Unk)

Upcoming Vacancies: 2 (2 Town Resident)

Number of Applicants: 3

**Town Resident**  
**Please vote for up to two (2) applicants.**

\_\_\_\_\_ Joseph Adileh

\_\_\_\_\_ Yuwsuf Bell

\_\_\_\_\_ Joseph Horrigan

\_\_\_\_\_ Other; please list \_\_\_\_\_

---

**Council Member Signature**



---

**Profile**

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

**Public Records Statement**

**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

---

☒ I Agree

adilehj12@gmail.com

Email Address

Joseph

First Name

Adileh

Middle Initial

Last Name

106 n elliott rd

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home:

Primary Phone

Home:

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Community Policing Advisory Committee: Eligible

### Which Board is your First Choice? \*

☒ Community Policing Advisory Committee

### How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify specify:

### Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

supporting the youth by building relationships to eliminate racial profiling

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am deeply rooted in the community and I am a strong supporter of community outreach. I have been involved with non-profit organizations including the Hannah Ruth Foundation , Blue Ribbon, Youth Leadershi Institute, Creative SWAG, and Spoke N' Revolutions/Triangle Bikeworks. I have been lucky enough to volunteer at the Ronald McDonald House, the Seymour Senior Center, Manley Estate Assisted Living, and Lincoln Center.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

### Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

**Ethnicity**

---

☒ Other**Gender**

---

☒ Male**If other, please describe:**

---

Arab/Latino

**Please select your age from the following list. \***

---

☒ 25-34**Construction**

---

Occupation

**Are you a Town of Chapel Hill employee?**

---

☐ Yes ☒ No

---

**Ethics Statement**

## ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

---

☒ I Agree \*

*Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.*



---

**Profile**

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

**Public Records Statement**

**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

---

☒ I Agree

ybbell87@gmail.com

Email Address

Yuwsuf

First Name

B

Middle Initial

Bell

Last Name

1749 Dobbins Dr

Street Address

2F

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 740-4541

Primary Phone

Home:

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Community Policing Advisory Committee: Eligible

### Which Board is your First Choice? \*

☒ Community Policing Advisory Committee

### How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify specify:

### Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Experience Critical thinking Optimism Ambition

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Community Acitivism- helping people register to vote, canvassing, educating, etc. Public speaking experience Coach of youth basketball

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

### Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

#### Ethnicity

☒ African American

#### Gender

☒ Male

If other, please describe:

---

Please select your age from the following list. \*

---

☒ 25-34

Counselor, Event supervisor

Occupation

Are you a Town of Chapel Hill employee?

---

☒ Yes ☐ No

---

## Ethics Statement

### ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

---

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.” Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

---

☒ I Agree \*

*Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.*

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**Profile**

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

**Public Records Statement**

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**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

---

☒ I Agree

jphorrigan5@gmail.com

Email Address

Joseph

First Name

P

Middle Initial

Horrigan

Last Name

120 Turvey Court

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 949-0873

Primary Phone

Home:

Alternate Phone

---

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ 0-12 months

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The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

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Community Policing Advisory Committee: Eligible



### Which Board is your First Choice? \*

☒ Grievance Hearing Board (former Personnel Appeals Committee)

### How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Newspaper

If you chose "Other" from the advertising opportunity listed above, please specify specify:

### Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a physician. I work at Duke. I previously worked at UNC. I am no-nonsense, professional, and efficient. I am unaffiliated with any political party and I do not have any specific agenda.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am 57 y.o. and I am a distinguished member of my medical profession. I first started living in Chapel Hill in 1988 and I recently returned to Chapel Hill after living in Durham for several years.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

### Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

**Ethnicity**

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☒ Caucasian/Non-Hispanic

**Gender**

---

☒ Male

**If other, please describe:**

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**Please select your age from the following list. \***

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☒ over 55

Physician

Occupation

**Are you a Town of Chapel Hill employee?**

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☐ Yes ☒ No

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**Ethics Statement**

## ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

---

☒ I Agree \*

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# TOWN OF CHAPEL HILL

Town Hall  
405 Martin Luther King Jr.  
Boulevard  
Chapel Hill, NC 27514

## Item Overview

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**Item #:** 17., **File #:** [20-0023], **Version:** 1

**Meeting Date:** 1/8/2020

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### Appointment to the **Transportation and Connectivity Advisory Board.**

**Staff:**

Sabrina Oliver, Director/Town Clerk  
Amy Harvey, Deputy Town Clerk  
Alisha Cordell, Administrative Assistant

**Department:**

Communications and Public Affairs  
  
Technology Solutions and CaPA



**Recommendation(s):**

That the Council make an appointment to the Transportation and Connectivity Advisory Board for one (1) seat.



**Attachments:**

- Recommendation
- Bicycle Advocate Seat Recommendation
- Ballot
- Applications

Note: Applications submitted prior to February 20, 2018 were completed before changes were made to the application and may appear incomplete.



**MEMORANDUM**

TO: Mayor and Town Council

FROM: Jason Merrill, Transportation and Connectivity Advisory Board Chair

SUBJECT: Recommendation for vacancy

DATE: December 17, 2019

**RECOMMENDATION:** The Transportation and Connectivity Advisory Board met on Tuesday, October 22, 2019 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Heather Brutz, Appointment, Bicycle Advocate

**SPECIAL REQUEST(s):** None

**BACKGROUND:** None

*Note:* Communications and Public Affairs notes that the Transportation and Connectivity Advisory Board reviewed the following applications: Nathan Boucher, Heather Brutz, Kyle Compton, Evan Kirk, Rahi Patel, and Neal Wolgin. One [1] additional application (Hanna Jardel) has been received between December 17, 2019 and January 2, 2020 for the Transportation and Connectivity Advisory Board.

**TRANSPORTATION AND CONNECTIVITY ADVISORY BOARD**

*To assist the Chapel Hill Town Council in creating an inclusive connected community by recommending, advocating and planning for comprehensive, safe, effective and sustainable multi-modal transportation and connectivity*

**RECOMMENDATION****Bicycle Advocate Seat****December 17, 2019**

**Recommendation:**   **Approved** ☒      **Approval with Conditions** ☐      **Denied** ☐

**Motion:**      Brian Hageman moved and Rudy Juliano seconded to recommend that Heather Brutz serve as the Bicycle Advocate on the Transportation and Connectivity Advisory Board.

**Vote:**      **6-0**

**Ayes:**   **Jason Merrill (Chair), Joshua Kastrinsky, Eric Allman, Rudy Juliano, Jack Whaley, and Brian Hageman**

**Nays:**   **none**

Prepared by: Jason Merrill, Chair, Transportation and Connectivity Advisory Board  
Jomar Pastorelle, Transportation Planner I

**BALLOT****TRANSPORTATION AND CONNECTIVITY ADVISORY BOARD****JANUARY 8, 2020**

Total Membership: 9 (Four (4) Town Residents, one (1) Bicycle Advocate, one (1) Greenways Advocate, two (2) Residents from Orange, Durham, Alamance, or Chatham county. In addition, one (1) will be appointed by the UNC Chapel Hill Student Body President.)

Current Membership: 8 (1 Female, 7 Male; 7 Caucasian, and 1 Unknown; [1] 25-34, [4] 35-54), and [2] over 55, [1] Unknown)

Current Vacancies: 1 (1 Bicycle Advocate)

Number of Applicants: 5

**Bicycle Advocate**  
**Please vote for up to one (1) applicant.**

\_\_\_\_\_ Heather Brutz

\_\_\_\_\_ Evan Kirk

\_\_\_\_\_ Kyle Compton

\_\_\_\_\_ Rahi Patel

\_\_\_\_\_ Hanna Jardel

\_\_\_\_\_ Other; please list \_\_\_\_\_

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**Council Member Signature**

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**Profile**

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

**Public Records Statement**

**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

---

☒ I Agree

brutzh@gmail.com

Email Address

Heather

First Name

Brutz

Middle Initial

Last Name

303 Copperline Dr.

Street Address

Apt. G

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (240) 281-0234

Primary Phone

Business: (919) 515-0277

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Housing Advisory Board: Eligible

Transportation and Connectivity Advisory Board: Appointed



Question applies to Housing Advisory Board

**Select a Seat Category for the Housing Advisory Board \***

---

☒ Homeowner or Tenant

Question applies to Transportation and Connectivity Advisory Board

**Select a Seat Category for the Transportation and Connectivity Advisory Board \***

---

☒ Bicycle Advocate and Chapel Hill Resident

**Which Board is your First Choice? \***

---

☒ Transportation and Connectivity Advisory Board

**How did you find out about this opportunity? (select all that apply by holding down the shift key)**

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☒ Email

**If you chose "Other" from the advertising opportunity listed above, please specify specify:**

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**Interests & Experiences**

**What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?**

I used to work for the Transportation for America campaign within Smart Growth America. I was the Field Director for the campaign and worked to engage stakeholders that were supportive of transportation policies that promoted a transportation system that supported environmentally sound, equitable, economically strong communities. Some of the relevant work that I did there included education around well-designed streets that are safe for all users, including bicyclists and pedestrians (Complete Streets) and the importance of access to public transit. I am passionate about supporting a holistic approach to transportation that makes it possible for all people to have transportation options, including biking, walking, and transit. I conducted focused education on ways that our transportation system could better serve distinct populations, including minority populations in urban areas, senior citizens, people in rural areas, Millennials, and suburban commuters. I built coalitions that included representatives from organizations as diverse as the Nashville Chamber of Commerce, the Urban League, the Navajo Nation Department of Transportation, the AARP, and local and national bicycle and pedestrian advocacy groups. I believe strongly in seeking feedback from all stakeholders to create a holistic approach to a transportation system that benefits everyone. I currently am the Transportation Finance and Operations Manager at the NC Clean Energy Technology Center, where I work with both private and public fleets across the state on ways that they can implement clean transportation technologies. In my current position, I have done research for the U.S. EPA on smart mobility initiatives across the United States. I wish to work to ensure that our transportation system in Chapel Hill is meeting the needs of all residents, including (but not limited to) students, low-income residents, senior citizens, and local businesses. I will actively seek feedback from a diverse range of stakeholders, using my experience in coalition-building around transportation to seek common ground so that decisions are made that best meet everyone's needs. I am equally happy to serve on the Transportation and Connectivity Advisory Board or the Housing Advisory Board. With regards to my experience on housing, I am co-chair of the Housing Committee for the Chapel Hill-Carrboro NAACP, where I work in solidarity with low-income residents of Chapel Hill to elevate their concerns as housing decisions are made.

**Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.**

I have been transit dependent in Chapel Hill in the past and still use transit a couple times per month.

[Heather Brutz resume.doc](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

**Demographics**

In order to consider this application and provide some balance to the various boards, this personal information is required:

**Ethnicity**

☒ Caucasian/Non-Hispanic

**Gender**

☒ Female

**If other, please describe:**

Please select your age from the following list. \*

☒ 35-54

Sustainable Transportation  
Specialist

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

## Ethics Statement

### ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree \*

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**HEATHER BRUTZ**

brutzh@gmail.com  
(240) 281-0234  
linkedin.com/in/hbrutz

**EDUCATION**

**UNIVERSITY OF NORTH CAROLINA, Kenan-Flagler Business School** – Chapel Hill, NC 2015  
**Master of Business Administration (MBA)**, Full-Time Program

- Beta Gamma Sigma member—awarded to the top 20% of the graduating class

**WILLIAMS COLLEGE** – Williamstown, MA 2002  
**Bachelor of Arts**, Political Science and Environmental Studies, graduated *cum laude*

**EXPERIENCE**

**NC CLEAN ENERGY TECHNOLOGY CENTER, NC STATE UNIVERSITY** – Raleigh, NC Current  
**Clean Transportation Program Manager**

- Provided technical assistance to businesses and government agency fleets on implementation of clean transportation technologies
- Directed the NC Smart Fleet initiative and increased the number of participating fleets by 55%
- Wrote textbook for national fleet management organization on sustainable fleet management

**UNC KENAN-FLAGLER SUSTAINABILITY CAPSTONE** – Chennai, India and Eastern NC 2015  
**Student Consultant**

- Investigated options for a water ferry system on the Albemarle Sound and recommended option for further investigation
- Researched market for off-grid solar products in India for a multinational solar company

**DUPONT** – Wilmington, DE 2014  
**Market Driven Leadership Development Program Intern, DuPont Photovoltaic Solutions**

- Identified potential new markets in U.S. and Europe for a protective film, including an emerging field with the potential to be a \$50M market
- Created idea for potential new product working in conjunction with 4 scientists and engineers and created roadmap for further testing and development steps

**TRANSPORTATION FOR AMERICA** – Washington, DC 2010-2013  
**Deputy Field Director (2012-2013)**

- Created and implemented outreach strategies for the 8-person field team to build bipartisan support for federal transportation policies that promote local control, economic development, and public health

**Regional Organizer (2010-2012)**

- Built relationship with and mobilized stakeholders in southern and western states, including Tennessee, Florida, New Mexico, Idaho, South Dakota, and Washington
- Supervised organizers in California, Montana, Minnesota, Oregon

**PARTNERSHIP PROJECT** – Washington, DC 2009-2010  
*Nonprofit organization that coordinates the advocacy efforts of national environmental organizations*  
**Clean Energy Works Field Coordinator**

- Managed the development of a database to track the coordinated actions of 220 field organizers in 10 environmental organizations to build support for a federal comprehensive clean energy and climate bill
- Organized a DC Lobby Day with over 200 businesses encouraging Congress to pass a climate bill

**ADDITIONAL**

- Fluent in Spanish





STATE OF NORTH CAROLINA  
COUNTY OF ORANGE

OATH OF OFFICE

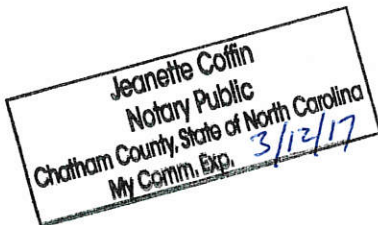
I, Heather Brutz, do solemnly swear (or affirm) that I will support and maintain the Constitution and laws of the United States, and the Constitution and laws of North Carolina not inconsistent therewith, and that I will faithfully discharge the duties of my office as a member of the Transportation and Connectivity Advisory Board, so help me God.

Heather M. Brutz  
Signature

The above oaths were subscribed and sworn to before me this the 29th day of November, 2016.

Jeanette Coffin  
Notary Public

My Commission Expires 3/12/17



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**Profile**

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**Public Records Statement**

**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

---

☒ I Agree

kjhcompton@gmail.com

Email Address

Kyle

First Name

Compton

Last Name

52 Davie Circle

Street Address

Unit B

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home:

Primary Phone

Home:

Alternate Phone

---

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ 1-3 years

---

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Planning Commission: Eligible

Transportation and Connectivity Advisory Board: Eligible

Question applies to Planning Commission

**Select a Seat Category for the Planning Commission \***

☒ Chapel Hill Resident

Question applies to Transportation and Connectivity Advisory Board

**Select a Seat Category for the Transportation and Connectivity Advisory Board \***

☒ Bicycle Advocate and Chapel Hill Resident

**Which Board is your First Choice? \***

☒ Transportation and Connectivity Advisory Board

**How did you find out about this opportunity? (select all that apply by holding down the shift key)**

☒ Internet

**If you chose "Other" from the advertising opportunity listed above, please specify specify:**

**Interests & Experiences**

**What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?**

In regards to the Transportation and Connectivity Advisory Board, I have been biking regularly as an adult for over ten years. I have commuted and biked for leisure in all kinds of densities with varying forms of bicycle infrastructure. I am a huge proponent of bike safety and creating a more empathetic culture between bikers and drivers. For both this board and the Planning Commission I bring an inter-disciplinary perspective with my career in education and now my schooling in law and social work.

**Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.**

I bring an interest in proactive policies that will work to prevent issues from developing. My legal training allows me to read and analyze local ordinances and policies. My social work training has instilled an equity and social justice lens, especially in regards to racial equity. I have also completed the Racial Equity Institute's Phase I and Groundwater trainings.

[Compton Resume CH.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

---

## Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

### Ethnicity

☒ Caucasian/Non-Hispanic

### Gender

☒ Male

If other, please describe:

Please select your age from the following list. \*

☒ 25-34

### Student

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

---

## Ethics Statement



## ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

---

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☒ I Agree \*

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## KYLE COMPTON

52 Davie Circle #B Chapel Hill, NC 27514

### EDUCATION

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#### **University of North Carolina School of Law**, Chapel Hill, NC

*Juris Doctor*, expected May 2021

- Dean's Fellow 2018–2019
- Julius L. Chambers Civil Rights Appellate Advocacy Team, Competing Member 2018–2019
- First Amendment Law Review, Staff member 2018–2019
- Education Law and Policy Society, Special Events Chair 2018–2019

#### **University of North Carolina at Chapel Hill, School of Social Work**, Chapel Hill, NC

*Master of Social Work*, expected May 2021

- Coursework: Social Welfare & Social Work, History of Oppression, and Social Work Practice with Communities

#### **The George Washington University**, Washington, DC

*Bachelor of Arts*, Philosophy in Public Affairs, January 2011

### EXPERIENCE

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#### **Community Empowerment Fund**, Chapel Hill, North Carolina

*MSW Intern*, Academic Year 2019–2020

- Perform coordinated entry intake for people seeking shelter or who are at risk of experiencing homelessness
- Support Legal Referrals team and advise them on promising practices
- Research low-barrier shelter programs and draft policy memo

#### **Southern Coalition for Social Justice**, Durham, North Carolina

*Youth Justice Project Intern*, Summer 2019

- Compiled appendix on school data collection in thirteen southern states and drafted corresponding policy memo
- Explained research findings and strategized with attorneys at a North Carolina education justice workshop
- Drafted legal memo on alternative education programs in North Carolina

#### **State of North Carolina Internship Program**, Raleigh, North Carolina

*Judicial Intern, Court of Appeals of North Carolina*, Summer 2018

- Authored opinions of the court and drafted bench briefs in preparation of court dates

#### **Youth Justice Clinic**, Chapel Hill, North Carolina

*Research Assistant*, Summer 2018

- Completed a nationwide survey of “sexting” laws in each state

#### **Squash Haven**, New Haven, CT

*Academic and Community Service Coordinator*, September 2014–August 2016

- Orchestrated service projects and conducted daily academic enrichment lessons for 100 students grades 5–12

#### **English First-Balikpapan**, Balikpapan, Indonesia

*English Language Teacher*, September 2012–July 2014

- Led daily English language lessons for 40 students ages 6–adult and directed dual-language parent orientations

#### **Sughrue Mion, PLLC**, Washington, DC

*Patent Specialist*, July 2011–August 2012

- Partnered with lawyers, clients, and team to prepare, file, and report new patent applications

#### **Greenbrier Learning Center**, Arlington, VA

*AmeriCorps Member*, August 2010–June 2011

- Coordinated educational themes and activities for 40 students grades 3–5

### SKILLS AND INTERESTS

---

200 hour certified yoga instructor with focus on yoga for kids who have multiple adverse childhood experiences (ACEs)

---

**Profile**

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**Public Records Statement**

**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

---

☒ I Agree

vjardel312@gmail.com

Email Address

Hanna

First Name

Jardel

Middle Initial

Last Name

307 Kirkwood Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home:

Primary Phone

Home:

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

**Select a Seat Category for the Transportation and Connectivity Advisory Board \***

☒ Bicycle Advocate and Chapel Hill Resident

**Which Board is your First Choice? \***

☒ Transportation and Connectivity Advisory Board

**How did you find out about this opportunity? (select all that apply by holding down the shift key)**

☒ Other (provide additional information below)

**If you chose "Other" from the advertising opportunity listed above, please specify specify:**

John Rees suggested that I might be interested in serving the community as a member of this advisory board.

**Interests & Experiences**

**What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?**

I live in Chapel Hill and am a student at UNC Chapel Hill. I regularly commute by bicycle to campus and to Carrboro. I have been involved with transportation empowerment through bicycle-centric non-profit organizations (Velocipede Bike Project in Baltimore, MD from 2015-2018, The ReCyclery Carrboro 2018-present). Through these organizations I work to empower all community members to not only solve their present transportation challenges but also to keep those solutions affordable in self-sufficient bicycle repair. I am also well aware of transportation challenges that affect the queer community which may not affect other, more majority or otherwise powerful, parts of Chapel Hill's demographic.

**Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.**

I am capable of forming logical, coherent, and nuanced arguments when presented with large quantities and varied formats of material: I have a BA in Cultural Anthropology and am a PhD student in epidemiology at UNC Chapel Hill. Additionally, I have no plans to leave this address, but if I do it will be only after my program concludes in at least 3 years, as we own this property.



[12-17-19\\_CH\\_Resume.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

---

## Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

### Ethnicity

☒ Caucasian/Non-Hispanic

### Gender

☒ Female

If other, please describe:

Please select your age from the following list. \*

☒ 25-34

Student

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

---

## Ethics Statement

## ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

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☒ I Agree \*

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**Profile**

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

**Public Records Statement**

**I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.**

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☒ I Agree

evankirk29@gmail.com

Email Address

Evan

First Name

M

Middle Initial

Kirk

Last Name

706A Greenwood Rd

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (919) 810-9845

Primary Phone

Home:

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Stormwater Management Utility Advisory Board: Eligible  
Transportation and Connectivity Advisory Board: Eligible

Question applies to Stormwater Management Utility Advisory Board

**Select a Seat Category for the Stormwater Management Utility Advisory Board \***

☒ University of North Carolina at Chapel Hill Employee

Question applies to Transportation and Connectivity Advisory Board

**Select a Seat Category for the Transportation and Connectivity Advisory Board \***

☒ Bicycle Advocate and Chapel Hill Resident

**Which Board is your First Choice? \***

☒ Transportation and Connectivity Advisory Board

**How did you find out about this opportunity? (select all that apply by holding down the shift key)**

☒ Social Media

**If you chose "Other" from the advertising opportunity listed above, please specify specify:**

**Interests & Experiences**

**What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?**

I commute to work at the University daily by bicycle. I also work for Carrboro Recreation and Parks and routinely travel to assignments by bicycle. I ride an e-bike, mainly on streets with no bicycle lane or painting. For stormwater, I have 3 years of experience studying stormwater finance at the Environmental Finance Center at UNC Chapel Hill School of Government. I have surveyed every utility in the state for stormwater rates in the last two years and I have drafted multiple reports on stormwater financing and funding. I also was a researcher for the Jordan Lake Nutrient Management study commissioned by the NC Legislator. My colleague and I explored governance and finance models for meeting the requirements under the Jordan Lake Rules. I spoke at the Nutrient Symposiums at the NC Botanical Garden and met with stormwater and elected officials throughout the Jordan Lake watershed, including our very own Mayor Hemminger.

**Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.**

Masters Degree in City and Regional Planning at UNC Masters Certificate in GIS Sciences 6 months of bicycle commuting as an employee and 7 years of bicycle and bus commuting as a student.



[Evan\\_Kirk\\_CV.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

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## Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

### Ethnicity

☒ Caucasian/Non-Hispanic

### Gender

☒ Male

If other, please describe:

Please select your age from the following list. \*

☒ 25-34

Research Project Director

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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## Ethics Statement

## ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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## Evan M. Kirk

**Project Director**, Environmental Finance Center at the University of North Carolina at Chapel Hill

UNC School of Government CB# 3330 • Chapel Hill, North Carolina • 27599-3330  
(919) 962-2789 • [emkirk@sog.unc.edu](mailto:emkirk@sog.unc.edu)

### Professional Experience

#### **Project Director, Environmental Finance Center** *2019–Present*

University of North Carolina at Chapel Hill | Chapel Hill, NC

- Conducts applied research on water and wastewater finance.
- Provides analysis and technical assistance for environmental service providers.
- Leads educational workshops related to water and wastewater rate-setting.
- Uses data to create visual aids and draft decision guides for policy decisions.

#### **Research Assistant, Environmental Finance Center** *2017–2019*

University of North Carolina at Chapel Hill | Chapel Hill, NC

- Conducted 2019 NC Stormwater Fees Survey including 88 fee structures; presented findings to 2019 Charlotte Elected Officials Stormwater Workshop
- Conducted applied research for Jordan Lake Nutrient Management Study and created 'revenue' funding Excel tool
- Co-presented two webinars for 2016 Hawaii water rates survey

#### **Leaders in Environment and Finance Fellow** *Summer 2018*

Envirolink | Raleigh, NC

- Researched and drafted report on the nutrient trading framework in North Carolina
- Created management capacity survey for water and wastewater utilities using technical, managerial, and financial metrics
- Assisted in the creation of utility asset management program database framework

#### **Student Rates Specialist, Environmental Finance Center** *2016–2017*

University of North Carolina at Chapel Hill | Chapel Hill, NC

- Collected data and performed QAQC for water and wastewater rates in 8 states
- Drafted water and wastewater rates survey summary reports

### Relevant Reports

Riggs E., Kirk E. (2019). **The Stormwater Finance Landscape: Where We've Come from and Where We've Yet to Go**. UNC Environmental Finance Center. [https://efc.sog.unc.edu/sites/default/files/2019/NC%20Stormwater%20Landscape\\_Final%20Draft\\_0.pdf](https://efc.sog.unc.edu/sites/default/files/2019/NC%20Stormwater%20Landscape_Final%20Draft_0.pdf).

Riggs E., Hughes J., Kirk E. (2018). **Paying for Nutrient Reduction and Management in Jordan Lake: Summary of Second Year of Research**. UNC Environmental Finance Center. <https://efc.sog.unc.edu/sites/default/files/2018/Paying%20for%20Nutrient%20Management%20Nutrient%20Study%20Final%20Report%20Year%202.pdf>.

Riggs E., Hughes J., Leopard K., Kirk E. (2017). **Paying for Nutrient Reduction and Management in Jordan Lake: Summary of First Year of Research**. UNC Environmental Finance Center. <https://efc.sog.unc.edu/sites/default/files/2017/Paying%20for%20Nutrient%20Management%20Nutrient%20Study%208.15.pdf>.

### EDUCATION

**Master of City and Regional Planning**  
UNC-Chapel Hill (2019)

**Masters Certificate in GIS Sciences**  
UNC-Chapel Hill (2017)

**B.S. in Environmental Sciences**  
UNC-Chapel Hill (2016)

### FIELDS OF WORK

Land Use Planning  
Environmental Planning  
Energy and Sustainability  
Environmental Finance

### RELEVANT SKILLS

ArcGIS  
Visual Basic  
Microsoft Excel  
Microsoft Access  
Qualtrics  
SQL

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**Profile**

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☒ I Agree

rahi9507@gmail.com

Email Address

Rahi

First Name

Patel

Last Name

Middle Initial

316 W Rosemary St

Street Address

Apt 201

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (704) 241-3417

Primary Phone

Home:

Alternate Phone

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Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

**What district do you live in? \***

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

**If you are a Chapel Hill Resident, How long have you lived here?**

☒ 1-3 years

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The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

**Which Boards would you like to apply for?**

Planning Commission: Eligible

Transportation and Connectivity Advisory Board: Eligible

Question applies to Planning Commission

**Select a Seat Category for the Planning Commission \***

☒ Chapel Hill Resident

Question applies to Transportation and Connectivity Advisory Board

**Select a Seat Category for the Transportation and Connectivity Advisory Board \***

☒ Bicycle Advocate and Chapel Hill Resident

**Which Board is your First Choice? \***

☒ Planning Commission

**How did you find out about this opportunity? (select all that apply by holding down the shift key)**

☒ Other (provide additional information below)

**If you chose "Other" from the advertising opportunity listed above, please specify specify:**

Former member of planning commission- Travis Crayton

**Interests & Experiences**

**What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?**

As a student, I am interested in how the town's long term plans can be leveraged to encourage active transportation and transit connectivity, provide affordable housing for students and other residents, and protect existing residents from displacement.

**Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.**

I have experience working in the transportation planning field at the federal level. As a federal employee, I had the opportunity to engage with projects from a variety of cities and states across the U.S. I also had the opportunity to observe how agencies across jurisdictions collaborate to implement and plan projects, which I believe would be valuable experience to bring to the Planning Commission. Outside work experience, I have an interest in planning, design, and architecture which I have pursued academically. My coursework has given me an overview of the community engagement and design strategies that are at the forefront of current planning discourse.



[PatelRahi\\_PlanningCommission\\_Resume.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

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## Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

### Ethnicity

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☒ Asian or Pacific Islander

### Gender

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☒ Male

If other, please describe:

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Please select your age from the following list. \*

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☒ 18-24

Student

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Occupation

Are you a Town of Chapel Hill employee?

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☐ Yes ☒ No

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**Rahi Patel**

University of North Carolina at Chapel Hill, Class of 2021

(704) 241-3417 | [rahip@live.unc.edu](mailto:rahip@live.unc.edu)[www.linkedin.com/in/rahi-patel](http://www.linkedin.com/in/rahi-patel)**WORK EXPERIENCE****U.S. Dept. of Transportation, Volpe National Transportation Systems Center, Student Trainee-Economist | May 2019-August 2019**

- Worked in the Transportation Planning Division. Work included: Researching active transportation planning options for the National Park Service Washington Support Office, developing Safety and Partnership sections for the National Park Service Alaska Region's Long Range Transportation Plan, writing a carbon emissions reduction report for the City of Cambridge municipal fleet, analyzing waste hauling truck safety options for the New York City Business Integrity Commission, and supporting U.S. DOT projects in collaboration with the Association for Southeast Asian Nations Smart Cities Initiative.

**St. Gabriel Mercy Center Youth Summer Enrichment Program Teacher | May 2018-July 2018**

- Developed and executed lesson plans for a summer youth program in Mound Bayou, Mississippi.

**MIT Launch Application Reviewer. | 2016-April 2017 | Nov. 2017-April 2018**

- Evaluated applicants based on past entrepreneurial experience, capacity for collaboration, and personal ambition/skills.

**EDUCATION & AWARDS****University of North Carolina at Chapel Hill | 2017-2021 | 3.83 GPA**

- **BA, Economics & BA, Urban Studies and Planning Candidate:** *Urban Planning Degree is Interdisciplinary Studies Degree, comprised of UNC Urban & Regional Planning, UNC Geography, UNC Environment and Ecology, and Duke Art, Art History, & Visual Studies Departments*
- **Robertson Scholars Leadership Program:** *The Robertson Scholarship is a full merit scholarship program at Duke University and the University of North Carolina at Chapel Hill. The program requires a semester in residence at the "sister campus" and provides full access to programs and courses at both institutions.*
- 1<sup>st</sup> Place: UNC Public Administration Leadership Challenge | 2017

**RELEVANT COURSEWORK**

- PLAN636: Urban Transport Planning, *Prof. Noreen McDonald*
- PLAN651: Urban Design, *Prof. Andrew Whittemore*
- PLAN761: Housing and Public Policy, *Prof. Roberto Quercia (ongoing)*
- ECON345 (Duke University): Urban Economics, *Prof. David Becker*

**EXTRACURRICULAR ACTIVITIES****University of North Carolina Honor System, Counsel-Attorney General's Staff | 2017- Present**

- Investigate and defend fellow students accused of Honor Code violations before the UNC student-run Honor Court.

**University of North Carolina Parr Center for Ethics, Undergraduate Fellow | 2017-2018**

- Help the Parr Center create and implement new programs across campus, Chapel Hill, the state, and the country. Primary role in the planning, organization, and case writing for the National High School Ethics Bowl competition.