



TOWN OF CHAPEL HILL

Town Council Meeting Agenda

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Mayor Pam Hemminger
Mayor pro tem Jessica Anderson
Council Member Donna Bell
Council Member Allen Buansi
Council Member Hongbin Gu

Council Member Nancy Oates
Council Member Michael Parker
Council Member Rachel Schaevitz
Council Member Karen Stegman

Wednesday, September 5, 2018 7:00 PM

RM 110 | Council Chamber

OPENING

PETITIONS FROM THE PUBLIC AND COUNCIL MEMBERS

Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the Status of Petitions to Council webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.

PUBLIC COMMENT - ITEMS NOT ON PRINTED AGENDA

ANNOUNCEMENTS BY COUNCIL MEMBERS

CONSENT

Items of a routine nature will be placed on the Consent Agenda to be voted on in a block. Any item may be removed from the Consent Agenda by request of the Mayor or any Council Member.

1. Approve all Consent Agenda Items.

[\[18-0693\]](#)

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.

2. Adopt the Recommended 2018-2019 Capital Fund Program for Public Housing Renovations.

[\[18-0694\]](#)

By adopting the resolution, the Council approves the recommended 2018-2019 Capital Fund Program Plan and authorizes the Manager to submit this 2018-2019 Annual Plan to the U.S. Department of Housing and Urban Development. Enacting the ordinance would establish the project budget for the 2018-2019 Capital Fund Program.

3. Continue the Public Hearing for the Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment Application to October 10, 2018. [\[18-0695\]](#)

By adopting the resolution, the Council continues the public hearing for the Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment Application to October 10, 2018.

4. Call a Public Hearing for October 10, 2018 to Receive Comments and Consider Enacting Amendments to Section 5-56 of the Town Code to Incorporate the Revised Flood Insurance Study and Flood Insurance Rate Maps. [\[18-0696\]](#)

By adopting the resolution, the Council calls a public hearing for October 10, 2018 to receive comments and to consider enacting the amendments to incorporate the revised Flood Insurance Study and Flood Insurance Rate Maps into the Flood Damage Prevention Ordinance, Chapter 5, Article IV of the Code of Ordinances.

5. Adopt Minutes from April 17, 24, and May 8, 15, 22 and June 12, 19, 2017 Meetings. [\[18-0697\]](#)

By adopting the resolution, the Council approves the summary minutes of past meetings which serve as official records of the meetings.

INFORMATION

6. Receive Upcoming Public Hearing Items and Petition Status List. [\[18-0698\]](#)

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

DISCUSSION

7. Consider a Resolution Recommending the Names of Mildred Council and Harold Foster for Placement on [\[18-0699\]](#)

the Peace and Justice Plaza Marker.

PRESENTER: Mayor Hemminger, Naming Committee Chair

RECOMMENDATION: That the Council adopt the resolution recommending the names of Mildred Council and Harold Foster for placement on the Peace and Justice Plaza Marker.

SPECIAL USE PERMIT

Special Use Permit: The Application for a Special Use Permit is Quasi-Judicial. Persons wishing to speak are required to take an oath before providing factual evidence relevant to the proposed application.

Witnesses wishing to provide an opinion about technical or other specialized subjects should first establish that at the beginning of their testimony.

- 8.** Open the Public Hearing: Application for Special Use Permit -The Oaks Condominiums Stormwater Drainage Improvements, 101 Oak Tree Drive. **[18-0700]**

PRESENTER: Michael Sudol, Planner II

Swearing of all persons wishing to present evidence

- a. Without objection, the preliminary report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and preliminary recommendation
- c. Presentation of evidence by the applicant
- d. Recommendation by the Planning Commission
- e. Recommendations by advisory boards and commissions
- f. Presentation of evidence by the public
- g. Comments and questions from the Mayor and Town Council
- h. Applicant's statement regarding proposed conditions
- i. Motion to recess Public Hearing to September 19, 2018
- j. Referral to Manager and Attorney.

RECOMMENDATION: That the Council open the public hearing, receive comments and evidence on the proposed Special Use Permit Modification, and recess the Public Hearing to September 19, 2018.

- 9.** Receive the FY18 Annual Affordable Housing Report and the FY19 Affordable Housing Development and Preservation Projection and 5-Year Targets. **[18-0701]**

PRESENTER: Sarah Osmer Viñas, Assistant Director, Housing and Community
Nate Broman-Fulks, Affordable Housing Manager, Housing and Community

RECOMMENDATION: That the Council receive the FY18 Affordable Housing Report and the proposed affordable housing development and preservation 5-year targets.

- 10.** Consider Authorization to Submit a Rental Assistance Demonstration (RAD) Application to the U.S. Department of Housing and Urban Development for the Redevelopment of Public Housing. [\[18-0702\]](#)

PRESENTER: Faith M. Thompson, Public Housing Director

RECOMMENDATION: That the Council adopt the resolution to approve submission of a Rental Assistance Demonstration application to the U.S. Department of Housing and Urban Development for the redevelopment of the Trinity Court and Craig Gomains public housing communities.

- 11.** Presentation: University of North Carolina at Chapel Hill Semi-Annual Main Campus Development Report. [\[18-0703\]](#)

PRESENTER: Evan Yassky, Executive Director, Facilities Planning and Design, Assistant University Architect

RECOMMENDATION: That the Council receive this report.

APPOINTMENTS

- 12.** Appointment(s) to the Community Design Commission. [\[18-0704\]](#)

REQUEST FOR CLOSED SESSION TO DISCUSS ECONOMIC DEVELOPMENT, PROPERTY ACQUISITION, PERSONNEL, AND/OR LITIGATION MATTERS



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 1., **File #:** [18-0693], **Version:** 1

Meeting Date: 9/5/2018

Approve all Consent Agenda Items.

Staff:

Sabrina M. Oliver, Director and Town Clerk
Amy T. Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: Items of a routine nature to be voted on in a block. Any item may be removed from the Consent Agenda by the request of the Mayor or any Council Member.



Recommendation(s):

That the Council adopt the various resolutions and ordinances.

Fiscal Impact/Resources: Please refer to each agenda item for specific fiscal notes.

Council Goals: Please refer to each agenda item for specific Council Goals.



Attachments:

- Resolution

**A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES
(2018-09-05/R-1)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the following resolutions and ordinances as submitted by the Town Manager in regard to the following:

2. Adopt the Recommended 2018-2019 Capital Fund Program for Public Housing Renovations. (R-2)(O-1)
3. Continue the Public Hearing for the Consolidated Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment Application to October 10, 2018. (R-3)
4. Call a Public Hearing for October 10, 2018 to Receive Comments and Consider Enacting Amendments to Section 5-56 of the Town Code to Incorporate the Revised Flood Insurance Study and Flood Insurance Rate Maps. (R-4)
5. Adopt Minutes from April 7, 24, and May 8, 15, 22 and June 12, 19, 2017 Meetings. (R-5)

This the 5th day of September, 2018.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
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Chapel Hill, NC 27514

Item Overview

Item #: 2., File #: [18-0694], Version: 1

Meeting Date: 9/5/2018

Adopt the Recommended 2018-2019 Capital Fund Program for Public Housing Renovations.

Staff:

Loryn Clark, Executive Director
Faith M. Thompson, Public Housing Director

Department:

Housing and Community

Overview: The Town receives annual federal Housing Capital Fund grant funds from the U.S. Department of Housing and Urban Development (HUD) for comprehensive renovation and improvements in our public housing neighborhoods. Town staff received notification from HUD that the amount of the 2018-2019 Capital Fund grant is \$782,242, approximately a 42% increase over the 2017-2018 allocation. We have revised our recommended plan based on this new information.



Recommendation(s):

That the Council:

1. Adopt the attached resolution approving the recommended 2018-2019 Capital Fund Program Plan;
2. Enact the attached project ordinance to establish the 2018-2019 Capital Fund Program budget;
and
3. Authorize the Town Manager to submit the 2018-2019 Capital Fund Plan to the U.S. Department of Housing and Urban Development.

Summary of Recommended Plan

Proposed Sources of Funds

Capital Fund Program

\$782,242

Key Issues:

- In March 2018, Housing staff met with residents of public housing to receive comments and suggestions on the use of the Capital Fund grant. Seventeen residents of Public Housing attended the meeting.
- Staff also mailed residents a survey inviting them to suggest uses for the Capital Fund Program. Twenty seven surveys were completed and returned.
- Staff considered the comments received from the meeting and the survey in developing the proposed activities.
- In response to the increased demand for affordable housing in our area, staff continues to review how we allocate our available resources and explores alternative options for providing public housing.
- Use of funds as proposed is consistent with our preliminary recommendations for improvements

identified in the Public Housing Master Plan.

Summary of Recommended Plan:







The recommended plan is based on the grant amount of \$782,242 to be allocated as follows:

- Public Housing Renovations \$500,000
- Building Improvements \$100,000
- Public Housing Master Plan Completion \$ 50,000
- Neighborhood Signage \$ 54,018
- Administrative costs \$ 78,224

Next Steps

- If this plan is approved by the Council, we would submit the Annual Plan to HUD.

Council Goals:

<input checked="" type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration



Attachments:

- Resolution approving the 2018-2019 Capital Fund Program
- Ordinance to establish the FY 2019 Capital Fund Program (CFP) Project Ordinance
- Summary of 2018-2019 Recommended Plan

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council approves the recommended 2018-2019 Capital Fund Program Plan and authorizes the Manager to submit this 2018-2019 Annual Plan to the U.S. Department of Housing and Urban Development. Enacting the ordinance would establish the project budget for the 2018-2019 Capital Fund Program.

A RESOLUTION APPROVING ACTIVITIES FOR THE 2018-2019 CAPITAL FUND PROGRAM (2018-09-05/R-2)

WHEREAS, the Town has received confirmation of the 2018-2019 Capital Fund Grant by the U.S. Department of Housing and Urban Development; and

WHEREAS, the 2018-2019 Capital Fund Program grant will provide \$782,242 for the renovation of Chapel Hill Public Housing properties.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that based on the Town's estimated allocation of \$782,242 of Capital Fund Program funds the Chapel Hill Town Council approves the following 2018-2019 Capital Grant Program Plan:

<u>Proposed Uses of Funds</u>	
• Public Housing Renovations	\$500,000
• Building Improvements	\$100,000
• Public Housing Master Plan	\$ 50,000
• Neighborhood Signage	<u>\$ 54,018</u>
• Administrative costs	<u>\$ 78,224</u>
TOTAL	\$782,242

BE IT FURTHER RESOLVED that the Council authorizes the Town Manager to submit this 2018-2019 Annual Action Plan to the U.S. Department of Housing and Urban Development.

This the 5th Day of September, 2018.

AN ORDINANCE ESTABLISHING THE 2018-2019 CAPITAL FUND PROGRAM (2018-09-05/O-1)

BE IT ORDAINED BY THE Council of the Town of Chapel Hill that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project is hereby established:

SECTION I

THE PROJECT AUTHORIZED IS THE CAPITAL Fund Project as approved by Council on September 5, 2018. Funds are contained in an Amendment to the Consolidated Annual Contributions Contracts between the Town and the United States Department of Housing and Urban development (HUD) dated March 12, 2018.

SECTION II

The Town Manager of the Town of Chapel Hill is hereby directed to proceed with the project within the terms of the Contract document(s), the rules and regulations of the U.S. Department of Housing and Urban development, and budget contained herein.

SECTION III

The following revenue is available to complete the project:

Capital Fund Program	\$782, 242
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SECTION IV

Public Housing Renovations	\$500,000
Building Improvements	\$100,000
Public Housing Master Plan	\$ 50,000
Neighborhood Signage	\$ 54,018
Administrative Costs	<u>\$ 78,224</u>
Total	\$782, 242

SECTION V

The Finance Officer of the Town of Chapel Hill is hereby directed to maintain within the Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban development as required by the Annual Contributions Contract and federal regulations.

Funds may be advanced from General funds for the purpose of making payments as due. Reimbursements requests should be made to HUD in an orderly and timely manner.

SECTION VII

The Manager is directed to report annually on the financial status of each project in Section IV and on the total revenues received.

This is the 5th day of September, 2018.

Recommended 2018-2019 Capital Fund Program Plan

The Town uses annual Capital Fund Program grants for comprehensive renovation and improvements to our public housing neighborhoods. Federal rules give priority to work needed to meet statutory requirements such as:

- Testing for and removing or otherwise controlling lead-based paint;
- Testing for and removing or otherwise controlling asbestos; and
- Renovations to meet the needs of disabled citizens.

RECOMMENDED 2018-2019 CAPITAL FUND PROGRAM

Source of Funds:

Capital Fund Program	\$782,242
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Proposed Uses of Funds

Public Housing Renovations	\$500,000
Building Improvements	\$100,000
Public Housing Master Plan	\$ 50,000
Neighborhood Signage	\$ 54,018
Administrative Cost	\$ 78,224

Public Housing Renovations:

FY17-18 we invested significant finances and time into the development of a Public Housing Master Plan. This Master Plan has taken into consideration the aging of our portfolio, the increases in family size, and the need for intentional, deliberate programming that would encourage interaction amongst all our residents across ethnic, racial, age, and physical mobility differences.

We have developed a programming component that will allow our residents to continue to improve their quality of life, obtain training for better employment, and assume leadership positions in the operations of their communities.

We recommend a more strategic renovation schedule that will allow us to make repairs and renovations in a manner that the older units and most densely occupied neighborhoods would receive attention first.

Renovation work in N. Columbia, Lindsay	\$57,890
Concrete repairs in Pritchard Park	\$43,000
Renovation of Church/Caldwell & N. Roberson frontage	\$85,000
Section 504 and Title VI Language access	\$50,000
Compliance for all of AMP I	
Appliance Replacement/Upgrade	\$45,000
Renovations for Community Connect, 505 Craig, 821 Airport Gardens	\$85,000
Maintenance personnel training	\$10,000

Building improvements	\$40,000	
Relocation expenses	\$17,000	
Continued improvements to surfaces (striping, curbs, sidewalks, driveways, fences, and walls)	\$30,000	
Tree trimming, reduction, and replanting	\$37,110	
Total		\$500,000

Building Improvements \$100,000

This includes the items that are not necessarily a part of renovation but add to the overall appeal and aesthetic of a family's home. It includes, but is not limited to, pressure washing the outside, painting the interior and exterior of the property, upgrade on the tile and carpeting, and installation of windows and/or screens.

Public Housing Master Plan \$50,000

Continued contractual relationship with David Paul Rosen & Associates to assist our efforts to improve, update, rehabilitate, and assess the status of our public housing portfolio and develop a financing structure and establish partnerships for development under the Rental Assistance Demonstration (RAD) Program.

Production of an inclusive and detailed assessment of all Public Housing which will assist in the development of long-range capital projects and other future planning initiatives.

Neighborhood Signage \$54,018

In our more recently renovated neighborhoods (North Columbia 2008) we were able to obtain beautiful and durable brick signage. This adds to the beauty and pride the residents have in that neighborhood. We would like to recreate that for each of the other neighborhoods.

Administrative Cost \$78,224

Administrative costs are those indirect costs associated with the performance of a sponsored activity (such as a grant or a contract or other similar agreement with an external funding source). This activity includes the administrative cost for coordinating and implementing Capital Fund activities. This would also provide additional software training for staff on HUD's newest programs.



TOWN OF CHAPEL HILL

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405 Martin Luther King Jr.
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Item Overview

Item #: 3., **File #:** [18-0695], **Version:** 1

Meeting Date: 9/5/2018

Continue the Public Hearing for the Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment Application to October 10, 2018.

Staff:

Ben Hitchings, Director
Judy Johnson, Operations Manager
Aaron Frank, Senior Planner

Department:

Planning & Development Services

Overview: The Council called a public hearing to receive comment on the proposed application for Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment for September 5, 2018. The applicant revised the request to allow self-storage to include an increase in allowable Floor Area Ratio in the OI-2 zoning district. Therefore, staff requests that the Council continue the public hearing to October 10, 2018, allowing adequate time for staff analysis.



Recommendation(s):

That the Council adopt a resolution continuing the public hearing to October 10, 2018.



Attachments:

- Resolution

A RESOLUTION TO CONTINUE THE PUBLIC HEARING FOR THE CONDITIONED SELF-STORAGE FACILITY AND OFFICE/INSTITUTIONAL-2 (OI-2) FLOOR AREA RATIO ADJUSTMENT LAND USE MANAGEMENT ORDINANCE TEXT AMENDMENT APPLICATION TO OCTOBER 10, 2018 (2018-09-05/R-3)

WHEREAS, the Council called a public hearing to receive comment on the proposed application for Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment for September 5, 2018; and

WHEREAS, staff requests the public hearing be continued to October 10, 2018 to allow additional time to analyze the revised request.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council continue the public hearing for the Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment Application to the October 10, 2018 Business Meeting.

This the 5th day of September, 2018.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council continues the public hearing for the Conditioned Self-Storage Facility and Office/Institutional-2 (OI-2) Floor Area Ratio Adjustment Land Use Management Ordinance Text Amendment Application to October 10, 2018.



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
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Chapel Hill, NC 27514

Item Overview

Item #: 4., File #: [18-0696], Version: 1

Meeting Date: 9/5/2018

Call a Public Hearing for October 10, 2018 to Receive Comments and Consider Enacting Amendments to Section 5-56 of the Town Code to Incorporate the Revised Flood Insurance Study and Flood Insurance Rate Maps.

Staff:

Lance Norris, Director
Chris Roberts, Manager of Engineering and Infrastructure
Sue Burke, Senior Engineer

Department:

Public Works

Overview: The Town of Chapel Hill has received the Letter of Final Determination dated April 19, 2018 from the U.S. Federal Emergency Management Agency (FEMA) and the North Carolina Department of Public Safety. This Letter completed the flood study and mapping revision and review process, and it began the six-month compliance period, during which the Town must adopt the revised Flood Insurance Study and Flood Insurance Rate Maps through amendments to its Flood Damage Prevention Ordinance. This action is necessary in order to maintain the Town's participation in the National Flood Insurance Program.

On October 18, 2017, the Town Council enacted an ordinance amendment for the portion of Chapel Hill in Orange County; this amendment is for the portion of Chapel Hill in Durham County.

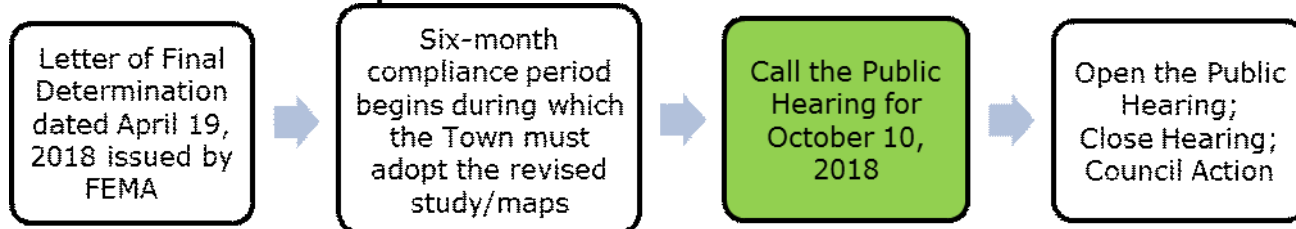


Recommendation(s):

That the Council call a public hearing for October 10, 2018 to receive comments and to consider enacting amendments to incorporate the revised Flood Insurance Study and Flood Insurance Rate Maps into the Flood Damage Prevention Ordinance, Chapter 5, Article IV of the Code of Ordinances.

Fiscal Impact/Resources: No fiscal impacts have been identified.







Where is this item in its process?



Item #: 4., File #: [18-0696], Version: 1

Meeting Date: 9/5/2018

Council Goals:

<input type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input checked="" type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration

**Attachments:**

- Resolution

A RESOLUTION TO CALL A PUBLIC HEARING FOR OCTOBER 10, 2018 TO RECEIVE COMMENTS AND TO CONSIDER ENACTING THE AMENDMENTS TO SECTION 5-56 OF THE TOWN CODE OF ORDINANCES TO INCORPORATE THE REVISED FLOOD INSURANCE STUDY AND FLOOD INSURANCE RATE MAPS INTO THE FLOOD DAMAGE PREVENTION ORDINANCE (2018-09-05/R-4)

WHEREAS, the Town of Chapel Hill has received the Letter of Final Determination dated April 19, 2018 from the U.S. Federal Emergency Management Agency (FEMA) and the North Carolina Department of Public Safety; and

WHEREAS, the letter started the six-month compliance period, during which the Town must adopt the revised Flood Insurance Study and Flood Insurance Rate Maps in order to maintain its participation in the National Flood Insurance Program.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council calls a public hearing for October 10, 2018 to receive comments and to consider enacting the amendments to incorporate the revised Flood Insurance Study and Flood Insurance Rate Maps into the Flood Damage Prevention Ordinance, Chapter 5, Article IV of the Code of Ordinances.

This the 5th day of September, 2018.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council calls a public hearing for October 10, 2018 to receive comments and to consider enacting the amendments to incorporate the revised Flood Insurance Study and Flood Insurance Rate Maps into the Flood Damage Prevention Ordinance, Chapter 5, Article IV of the Code of Ordinances.



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
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Item Overview

Item #: 5., **File #:** [18-0697], **Version:** 1

Meeting Date: 9/5/2018

Adopt Minutes from April 17, 24, and May 8, 15, 22 and June 12, 19, 2017 Meetings.

Staff:

Sabrina M. Oliver, Director
Amy Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: These minutes are prepared for the meetings listed below.



Recommendation(s):

That the Council approve the attached summary minutes of past meetings.



Attachments:

- Resolution
- April 17, 2017 Public Hearing
- April 24, 2017 Business Meeting
- May 8, 2017 Business Meeting
- May 15, 2017 Public Hearing
- May 22, 2017 Business Meeting
- June 12, 2017 Business Meeting
- June 19, 2017 Public Hearing

A RESOLUTION TO ADOPT SUMMARY MINUTES OF COUNCIL MEETINGS (2018-09-05/R-5)

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts summary minutes for meetings held on April 17, 24, and May 8, 15, 22 and June 12, 19, 2017.

This the 5th day of September, 2018.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council approves the summary minutes of past meetings which serve as official records of the meetings.

**DRAFT SUMMARY MINUTES OF A PUBLIC HEARING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, APRIL 17, 2017, AT 12:00 AM**

Council Members Present: Mayor Pam Hemminger, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Sally Greene, Council Member Ed Harrison, Council Member Nancy E. Oates, Council Member Maria T. Palmer, and Council Member Michael Parker.

Council Member(s) Absent: Mayor pro tem Donna Bell.

Staff members present: Town Manager Roger L. Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Planning Director Ben Hitchings, Development Manager Gene Poveromo, Principal Planner Judy Johnson, Assistant to the Manager Rae Buckley, Planner I Kayla Seibel, Community Sustainability Planner II Eric Feld, Senior Planner Kay Pearlstein, Police Chief Chris Blue, Fire Chief Matt Sullivan, Fire Marshal Darryl Rimmer, Police Officer Rick Fahrer, and Deputy Town Clerk Amy Harvey.

AGENDA ITEMS

Mayor Hemminger opened the meeting at 7:00 p.m. and noted that Mayor pro tem Bell was absent due to illness. She then mentioned an Orange County Commissioners Transit Plan forum on April 18th and said that local entertainment would begin happening on Fridays at 140 West Franklin Street. Mayor Hemminger pointed out that the UNC Science Expo as well as a 10-mile marathon would occur over the coming weekend.

0.1 [Proclamation: Parkinson's Awareness Month.](#)

Council Member Cianciolo read a proclamation declaring April as Parkinson's Awareness Month and presented it to Blake Teeter, of the National Parks Foundation, Jessica Shure, of the UNC Department of Neurology, and Frank Church, of the UNC School of Medicine.

Ms. Shure pointed out that UNC was one of only 44 national park foundation centers of excellence in the world. Those with Parkinson's Disease were fortunate to live in the area, she said, adding that it was possible to live well with the disease.

Professor Church spoke about his personal experience with Parkinson's and pointed out that a greater number of Chapel Hillians would be afflicted as the population ages. For the most part, those with Parkinson's Disease were the same as they had been before they had it, he said.

0.2 [Proclamation: "Your Bottles Means Jobs" Day.](#)

The Council watched a video on the plastic bottle recycling process in the Carolinas and Council Member Parker read a proclamation declaring April 22, 2017 (Earth Day) to be Your Bottles Mean Jobs Day in Chapel Hill. He presented the proclamation to Blair Pollock, of the Orange

County Solid Waste Department.

Mr. Pollock said that the video had shown how recycling plastic bottle creates wealth for the community. He provided background on the recycling industry and thanked the Town for the opportunity to proclaim that Your Bottle Means Jobs.

Council Member Palmer asked which groups in Town were not recycling and how the Town could incentivize more businesses and non-profits to do so.

Mr. Pollock replied that the breakdown in Orange County was about 40 percent residential, 40 percent commercial, and 20 percent apartments. So, there was a lot of potential in the commercial and non-residential waste stream, he said. Orange County had recently completed the second part of a waste composition study and would have fairly precise data by late May or June, and a better idea of what to target next, Mr. Pollock said.

1. [Open the Public Hearing: Application for Zoning Atlas Amendment - 302-306 Ransom Street \(Project 17-006\).](#)

Principal Planner Judy Johnson gave a PowerPoint presentation on the application to rezone a 22,000 square-foot lot at 302-306 Ransom Street, within the Cameron McCauley Historic District. She pointed out that zoning regulations had been different when the lot was established in 1921 and said that the applicant wanted to subdivide the property for sale. The request included rezoning a portion of the lot from R-4 to R-5, she explained.

Ms. Johnson noted an accompanying application for a minor subdivision, which the Planning Commission (PC) had conditionally approved. She said that two land uses would be allowed in general use zoning and each would require a special use permit (SUP). The proposal was to rezone 13,942 square feet (Lot 1) to R-5 while leaving 8,032 square feet (Lot 2) as R-4, Ms. Johnson said. She explained that rezoning Lot 1 would allow it to be subdivided. She recommended that the Council hear comments and then recess the public hearing to May 22, 2017.

Council Member Oates confirmed with Ms. Johnson that rezoning Lot 1 would allow four or five units. Only one unit would be allowed on Lot 2, with the potential for an accessory apartment, Ms. Johnson said.

Council Member Greene confirmed with Ms. Johnson that a driveway indicated on the map would remain, in totality, on its current lot.

Council Member Anderson verified with Ms. Johnson that the reason for rezoning was to put the lot in compliance with regulations. It would allow enough land area for a triplex while moving the lot line to a more logical location that would accommodate the driveway, Ms. Johnson explained.

Council Member Oates asked if approval would set a precedent for others in the neighborhood who might wish to rezone their properties to R-5.

Ms. Johnson replied that others certainly would have the ability to come before the Council with such requests. The Council might want to address those 50-year, and older, properties in the Land Use Management Ordinance (LUMO) rewrite, she said. Ms. Johnson pointed out that there were many non-conforming properties in the Historic District. It was difficult to improve those properties or change their parking because of the way the LUMO was written, she said.

Council Member Oates confirmed with Ms. Johnson that someone who bought the Ransom Street property would have to come to the Council with any request to rezone the R-4 lot.

Cowan Griffin, a friend and adviser to applicant Joyce Brown, explained that subdividing the property without rezoning would bring the lot line so close to the applicant's house that it would almost eliminate her driveway.

COUNCIL MEMBER GEORGE CIANCIOLO MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO RECESS THE PUBLIC HEARING TO MAY 22, 2017. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

1.1 [NCAA Championship Recap.](#)

Police Chief Chris Blue began a PowerPoint presentation on a recent downtown celebration following the Tar Heel basketball team's 2017 NCAA National Championship win and said that the partnership between Town staff, community partners, and celebrants had led to its success. He mentioned the Town's strong partnerships and messaging and said that the student population had exceeded staff's expectations. Chief Blue reviewed the planning process for the event and said that coordination with the University of North Carolina (UNC) had led to a culture of safety and mutual respect.

Fire Chief Matt Sullivan discussed measures that the Town had taken to protect the crowd of more than 50,000 celebrants who had flooded the downtown area within minutes of the victory. He said that those effort had been successful but that there still was room for improvement with respect to street fires. Chief Sullivan continued the staff's PowerPoint presentation and showed celebrants jumping over fires. He noted, however, that there had been only 10 emergency calls, compared with 42 following the last championship celebration in 2009. He discussed the approaches the Town had taken to protect the crowd and noted that about 30 different partners had helped out. The most important partnership had been with the community, Chief Sullivan said.

Mayor Hemminger thanked both chiefs and commented on how hard they had worked. She expressed appreciation for the extensive planning they had done and the partnerships they had forged.

Council Member Cianciolo discussed the process for extinguishing fires with Chief Sullivan, and Council Member Harrison said it was mind-boggling that staff had had to control that. Council Member Harrison commented on the wisdom of using buses as barriers to protect crowds. He joked that he hoped staff had chosen buses that ought to be retired.

Council Member Anderson thanked both chiefs and asked them to pass the Council's appreciation onto the Public Works Department as well. Cleaning up the mess afterward was a thankless job that staff had made look easy, she said.

Council Member Parker praised the staff for its great work during the celebration and for everything else they do as well. He confirmed with Chief Blue that the effect of fires on road surfaces was not much more than staining.

Mayor Hemminger pointed out that staff had watered down the streets beforehand and said that rain had helped out as well. She thanked Chiefs Blue and Sullivan for all of the coordinated efforts, for being proactive, and for helping people celebrate safely.

2. [Open the Public Hearing to Consider Adoption of the West Rosemary Street Development Guide as a Component of the Comprehensive Plan.](#)

Assistant to the Town Manager Rae Buckley gave a PowerPoint presentation on the Development Guide. She explained that the project's goal was to create a vision for future economic and commercial development along West Rosemary Street that would be consistent with the Northside Neighborhood Conservation District's (NCD) vision statements, and to show how that would look and feel. Ms. Buckley provided background on the West Rosemary Street area from when the Northside NCD was created in 2006 to the creation of a Downtown 2020 Strategy and Work Plan in 2016. She said that the goal of tackling tougher questions had been set in June and that planners were returning with the resulting Guide for Council review.

Ms. Buckley explained that there was a projected demand for multi-family apartments and high-rise condominiums along that corridor, and she pointed out that that was not what the Northside community wanted. She said that implementation of what was in the Guide would require public programs and private partnerships. However, those implementation steps would come forward separately and the Council would not be committing to funding any of them by adopting the Guide, Ms. Buckley said. She presented a summary of Town board and commission recommendations and said that the item was scheduled to return to the Council on May 22.

Stan Harvey, of Lord Aeck Sargent Consulting, gave a PowerPoint presentation and discussed community priorities as they apply to a Development Guide. He discussed the Northside community's concerns about student housing and its desire to curtail that. Mr. Harvey reviewed the Guide's table of contents and discussed community benefits, scale, building design, and an implementation plan. He addressed a market analysis and discussed the community benefits of economic development.

Mr. Harvey presented renderings that showed views from Northside and addressed a framework for where redevelopment might occur. He discussed traffic, green infrastructure, parking, and transit. Mr. Harvey mentioned 12 standards for open space, reviewed 6 key steps around which the implementation plan revolved, and outlined the next steps in the process.

Council Member Oates asked how not doing things that were cost prohibitive (such as burying

utility lines) would impact the design.

Mr. Harvey replied that most of the capital improvements in the Guide were relatively small scale. Utility lines were one of the most complicated pieces and they could sometimes be relocated or at least minimized, he said. He pointed out that addressing utilities would involve surrounding properties. The Town could at least get estimates from utility providers to understand what the implications might be, Mr. Harvey said.

Council Member Oates confirmed with Mr. Harvey that the market demand for townhomes in the area was low. Because of the land prices on West Rosemary Street, townhomes would only be feasible on side streets away from the intersections, Mr. Harvey said.

In response to a question from Council Member Anderson, Mr. Harvey said that he had been asked by some to provide the actual cost to a developer of 10-15 percent more affordable units in a development. In his opinion, one of the Town's greatest assets would be to partner for infrastructure, or structured parking, or other things that would reduce the overall development cost, he said. In return for making such contributions, the Town could expect some community benefits, he explained.

Council Member Parker asked if the focus groups had revealed any major differences among constituencies. For example, was the community speaking with a single voice about what it wanted, or were there many different opinions and desires, he asked.

Mr. Harvey replied that focus groups had included downtown, development, neighborhood representatives as well as Town staff and University interests. He would characterize the neighborhood as "having a lot of distrust, with an over-arching theme that every type of project has a community benefit," he said. He stated that downtown developers were interested in circulation and connectivity, but the neighborhood seemed fearful of being totally connected because of spillover traffic and other problems. Mr. Harvey added that he would not characterize those as huge, fundamental differences. The differences were primarily over priority and perspective, and he believed they had arrived at some consensus on vision and character, he said.

Hudson Vaughan, representing the Marion Cheek Jackson Center, pointed out that the original task had been to determine how to extend the values, character and diversity of Northside into the commercial district of West Rosemary St. and to preserve the minority business district there. He said that the neighborhood was not advocating for eliminating student housing but wanted to balance that with other interests and have only its fair share. Neighbors hoped the Town would define student housing and institute guidelines so that the Northside community would not have to protest projects before the Council, he said. Mr. Vaughan said that the plan for the area should be bold, and he urged the Council to strengthen it before it returned in May.

Kristen Smith, representing the Chapel Hill-Carrboro Chamber of Commerce, said that Chamber members shared the Council's goals of strategically investing in Downtown, enhancing the development review process, and seeking strategies to address student demand. She pointed out

ways in which the Guide encouraged private investment directed toward community benefits. Ms. Smith stressed the business community's need for certainty and said that the regulatory nature of the guidelines was unclear. She outlined elements of a "great plan" and offered the business community's help.

Scott Radway, of Scott Radway Design, said that the Guide included enough social and physical information for the Council to work forward and accomplish some of what had been discussed for a long time. He shared information from a letter he had sent to the Council regarding design aspects that he believed should be implemented. These addressed building height, set-backs, affordable housing, and density bonuses, Mr. Radway said.

Sophie Suberman, a Chapel Hill resident, posed the idea of perhaps lowering property values to give tax benefits to those whose property could then be used for community benefits. She expressed concern about the effect that having more affluent people and properties on West Rosemary Street could have on current residents' taxes. Ms. Suberman spoke in favor of creating space for small businesses and mentioned several ideas for making housing more affordable and accessible.

Council Member Parker praised the good work and overall excellent product that had been produced. He commented on the mismatch between what the Northside community and the development community wanted. Pointing out that the plan would ask developers to contribute something while also placing restrictions on development, he asked how that might be resolved so that it would be fair to all parties. Council Member Parker expressed concern about setting forth expectations without having a regulatory mechanism in place to enforce them. He stressed the importance of creating a real regulatory framework that would give certainty to all.

Council Member Parker said that it was incumbent upon the Town to say where it did want student housing if it was going to take the position that such housing should be restricted in the area. Where is it going to go, and how would the Town manage development projects already be in the pipeline, he asked.

Council Member Palmer pointed out that there were many types of students and that a particular type of undergraduate had been problematic for the neighborhood. She stressed the importance of UNC finding a way to build housing that undergraduate students want. Council Member Palmer wondered if it would be possible to restrict students to age 21, or older, in the area.

Council Member Greene noted an overlap between the proposed Development Guide and the Town's adopted Cultural Arts Master Plan, and said that concerns about preserving the culture of the area were valid and important. She mentioned that a Council committee had been discussing whether the Old Town Hall could be like a cultural hub, open to partnerships and community input. The next public meeting regarding that would be on May 3rd and those who attend could share their dreams for a new culturally-oriented museum space, said Council member Greene.

Council Member Harrison praised the planners and community members who had participated in the process. He said that implementing community benefits and determining how to pay for them would be complicated and that it would have to be "some version of regulatory at some

point." Council Member Harrison pointed out that many more steps would need to be taken and said he hoped Ms. Buckley and Mr. Harvey would still be around to help us with those.

Council Member Anderson urged the Council to think about what could be enforced and push those things forward. If the Town could not do all of it, then it should carefully think through its vision and follow that up with what can actually be enforced, she said. With regard to student housing, the area had passed the tipping point and the Council needed to think about where it wanted students, said Council Member Anderson. She pointed out that Charlottesville, for example, had specific zones for student housing. The Council needed to address that vis a vis transit needs as well, she said.

Council Member Cianciolo commented that the Guide showed the clear differences between the wants and needs of the community and those of the market. Considering the cost of land in the area, he was not convinced that the Town would get what it wanted in terms of commercial retail, he said. He stressed that any discussion of "community benefits" should include the community as a whole, not just Northside. The Town could not put the burden to provide benefits -- including affordable housing -- entirely on developers, he pointed out. Council Member Cianciolo asked staff to think about innovative ways, such as using TIFS, to generate income that could be applied to infrastructure in the area. Whatever was built there would generate a lot of taxes, some of which could be used for community improvements, he pointed out.

Council Member Oates said she was pleased to see density incentives and wondered about considering incentives for the AIA 2030 challenge as well. She stressed the need to pay attention to parking and said that the idea of bringing Northside to the commercial section of Rosemary Street, rather than the reverse, was a subtle but important shift in viewpoint.

Council Member Palmer remarked that a chart showing community vision and market demand was deceptive. Northside residents did not want to feel unwelcome in part of their neighborhood, she said, adding that some current businesses had already created a gated community feel. Council Member Palmer said that she did not think the community would be opposed to multi-family apartments if those apartments were affordable and welcoming and included community amenities on the first floor. She thought that community members feared having more apartments, like Shortbread Loft, where they did not feel welcome, she said.

Mayor Hemminger reviewed what the Council had said and praised planners for distilling many diverse opinions into one document. She said that there was a lot of development pressure on the Northside community and that a main goal was to let Rosemary Street be its own, vibrant place, rather than being the back of Franklin Street. Developers wanted the Town to tell them what it wanted, Mayor Hemminger said.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO RECESS THE PUBLIC HEARING TO MAY 22, 2017. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

3. [Update on the Chapel Hill Mobility Plan.](#)

Transportation Planner Kayla Seibel began the staff presentation and asked for Council feedback before sending the Mobility Plan to Town advisory boards for review. She introduced Todd Delk, of Stewart Engineering, to give a PowerPoint presentation.

Mr. Delk described the effort to unite the bike, greenway, transportation and transit plans into one multi-modal plan for the Town. He reviewed the extensive public process and said that the plan's main objectives were: to create an integrated system that included complete streets that link to transit, greenways and bikeways throughout Town; to remove barriers, gaps or impediments; to reduce stress for pedestrians and bicyclists; and to create a network where all ages would be comfortable. The Mobility Plan's goal was to achieve 35 percent biking, walking and transit commute mode share by 2025, he said.

Mr. Delk reviewed major components of the Plan and its short- and long-term recommendations. He discussed how the Town's facilities and investment compared to peer cities. Mr. Delk said that the draft plan would go to boards and commissions over the summer and return to the Council for a public hearing in the fall 2017. His firm would also be working on the ADA Transition Plan over the summer and would provide estimates and funding options for those improvements throughout Town, said Mr. Delk.

Council Member Parker asked about recommendations for getting more people to use transit. He pointed out that it seemed focused on pedestrian and bicycling, and noted that the Town had spent an enormous amount of money on its transit system.

Mr. Delk replied that recommendations regarding transit had been included in the report. Engineers had looked at transit stops all around the Town and at creating short connections to transit for those who did not choose longer trips on pedestrian and bike facilities, he said.

Council Member Harrison confirmed that Mr. Delk had seen the Town's 2011 Long-Range Transit Plan and mentioned that only one part of that had moved forward.

Eric Plow, a Chapel Hill resident, said that the Town's efforts to be more pedestrian-friendly had given pedestrians a false sense of safety. He predicted that there would be a death sooner or later as a result of that. Mr. Plow recommended that the Town return to the "natural law" where pedestrians watch out for cars.

Council Member Palmer requested that the Mobility Plan be available for review over summer.

ZAA and SUP

4. [Open the Public Hearing: Application for Zoning Atlas Amendment - Chapel Hill-Carrboro City Schools Maintenance Building Expansion, 1708 High School Road.](#)

Development Manager Gene Poveromo provided an overview of a proposal to develop and expand the Chapel Hill-Carrboro City School (CHCCS) maintenance building on High School Road. He gave a brief review of the two-step process for a Zoning Atlas Amendment (ZAA) and a Special Use Permit (SUP), Items 4 and 5, respectively.

Planner Eric Feld gave a PowerPoint presentation on the ZAA request, noting that it was the third step in a four-step process. He explained that the Council would consider whether the proposed rezoning was consistent with the Chapel Hill 2020 Comprehensive Plan. He showed the site and the surrounding area on a map and explained the proposal to rezone it from Residential-1 to Residential-5-Conditional to accommodate an expanded maintenance facility. Mr. Feld said that the Planning Commission had voted in favor of approval, and he recommended that the Council receive public comment and continue the hearing to May 22nd.

Blake Hall, a civil engineer with Timmons Group, gave a PowerPoint presentation on the reasons for the request and showed a proposed layout. He described the plan to subdivide the parcel in order to expand the maintenance facility and explained how it would conform with the Comprehensive Plan. Mr. Hall proposed a payment in lieu for bike and sidewalk improvements.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO RECESS THE PUBLIC HEARING TO MAY 22, 2017. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

SUPs

5. [Open the Public Hearing: Application for Special Use Permit Modification - Chapel Hill-Carrboro City Schools Maintenance Building, 1708 High School Road, Project #16-103.](#)

Mr. Feld gave a PowerPoint presentation on the proposal to modify an existing SUP for nine acres to allow a larger maintenance storage facility to be built on the 14.5-acre site. Doing so would require an SUP modification because the proposed facility would be greater than 20,000 square feet in floor area and the land disturbance would be more than 40,000 square feet, he explained. He also noted a requested modification to parking regulations.

Mr. Feld pointed out that the application was connected to a separate proposal to expand nearby Chapel Hill High School. A transportation impact analysis would ultimately indicate the extent of needed road improvements and staff believed that the applicant's intent to make those was reasonable, he said. Mr. Feld said that Town boards had recommended approval, with the exception of the Community Design Commission, which had voted 4-4. He recommended that the Council receive the report and continue the public hearing to May 22nd.

Mr. Hall provided more details regarding the proposal and a request to increase parking. He discussed the history of the heavily wooded site and described its terrain, drainage pattern, and other features. He explained that the proposed maintenance building would house computers, food, and other items that require an air conditioned facility. Mr. Hall also outlined plans for stormwater treatment, grading, and parking.

Council Member Oates asked about a property owner's request for a cut-through with vehicular access to the north.

Mr. Hall expressed concern about crossing a gas easement there and also about adding another access onto High School Road. He said that adding another access to the secure, contained facility was an issue as well, and that Planning Commission members had raised concerns about the stream impacts.

Scott Rubin, a Homestead Village resident, asked about bus hours and if there would be an outside intercom at the facility. He also wondered if EPA air quality standards would be violated, stating that diesel bus fumes in the area already were overwhelming at times. Mr. Rubin said that he hoped there would be additional buffers, noting that some had already been removed. He said that the maintenance facility looked down upon his property and light already shined into his windows. In addition, Mr. Rubben expressed concern about so much flammable material being stored in the middle of a pine forest.

Ashley Dennis, of Moseley Architects, replied that there would be no additional diesel vehicles on the property. If flammable materials were housed there, CHCCS would be required to provide proper storage, she said. Ms. Dennis stated that hours of operation would be the same as it currently was (7:00 a.m. to 5:00 p.m. at the latest) and that buses would not be serviced at the new facility, which was only for storage. There would be no loud speakers, she said.

Mayor Hemminger asked Ms. Dennis to talk directly with Mr. Rubin about his concerns after the meeting.

Council Member Palmer confirmed that the maintenance facility would include a staff lounge.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO RECESS THE ZONING ATLAS AMENDMENT PUBLIC HEARING TO MAY 22, 2017. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER SALLY GREENE, TO RECESS THE SPECIAL USE PERMIT MODIFICATION PUBLIC HEARING TO MAY 22, 2017. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

CONCEPT PLAN REVIEWS

6. [Concept Plan: Chapel Hill High School Expansion/Redevelopment, 1709 High School Road \(Project # 16-117\). \(R-1\)](#)

Senior Planner Kay Pearlstein outlined changes to the concept plan process and said that staff welcomed Council feedback on those. She then gave a PowerPoint presentation on the plan for expansion of Chapel Hill High School on High School Road. She indicated the 92-acre parcel on an area map and noted that it was in an R-1 zoning district. The area included an elementary

school and a middle school as well, she said. Ms. Pearlstein explained that the concept plan included demolition of two buildings, a new addition to the high school, a new building, and associated parking and roadways. The proposal was for 163,000 square feet of new floor area and would include a total of 350 parking spaces, she said.

Ms. Pearlstein noted that the plan would leave plenty of space for future expansion and that no rezoning would currently be required. She showed the proposed site plan and discussed a driveway that would cross the

Resource Conservation District (RCD), noting that the Community Design Commission (CDC) had expressed concern about that. However, the CDC had liked many of the proposed energy management facilities, and had made suggestions regarding rain gardens, impervious surface, facades, and the road, she said. Ms. Pearlstein recommended that the Council adopt R-1, transmitting comments to applicant.

Ms. Dennis presented the CHCCS's proposal to deconstruct two of four buildings, and explained what the new two-story buildings would house. She said that a current auditorium and gymnasium would remain, and that the total square footage on the site would increase by approximately 15,000 square feet. Ms. Dennis showed pictures of the existing facility, and discussed elevation changes.

Mr. Hall addressed environmental challenges, such as streams, buffers, and the RCD, and indicated their locations on the site. He noted that two buildings would be demolished and two would be renovated, and he said that a more contained and safer environment would be the result. Mr. Hall pointed out that the proposed main entrance was off Seawell School Road. He mentioned plans to realign perennial and ephemeral streams.

Ms. Dennis explained some of the architectural challenges with elevations, and grade changes. She discussed a plan to create purposeful areas for gathering within a more enclosed courtyard. She showed renderings of elevations, and said that a brick and metal facade would create more of a collegiate feel while retaining warm tones. Ms. Dennis showed a layout of classroom and administration space, and pointed out that making the courtyard and campus more enclosed would enhance security.

Mr. Hall said that the plan would increase the building footprint by about 15,000 square feet, but would reduce impervious surface by 6,000 square feet.

Council Member Cianciolo confirmed that an intermittent stream that ran through the parking lot would detain water and not threaten any buildings during heavy rain.

Council Member Anderson confirmed with Ms. Pearlstein that the applicant had changed the driveway in response to CDC comments, and might address that when it returns to the CDC for a building elevations review.

Council Member Anderson asked if any thought had been given to co-locating something such as Parks and Recreation at the location, and Ms. Pearlstein replied that she would talk with the applicant about that idea.

Council Member Parker confirmed with Ms. Dennis that student capacity would increase from the 1,500s to 1,600, with the potential for 1,750 students.

Council Member Oates asked about mold issues, and verified with Mr. Hall that the plan was to reroute stream drainage away from the building.

Council Member Palmer expressed disappointment over the lack of any significant increase in capacity. She said there was a desperate need for collaborative space with Durham Tech and others, and that public schools were not providing what was needed. She stressed the importance of sharing space with the Parks and Recreation Department. Council Member Palmer raised questions about sharing an entrance with Smith Middle School, but said that she was less nervous about that after hearing that it would mainly be a drop off area. She confirmed with Mr. Hall that students who drive to school would use a different parking lot.

Council Member Cianciolo confirmed that the new drop off lane would be longer than the existing one, and Mr. Hall noted that having a secondary access was very important to a school.

Mayor Hemminger encouraged the applicant to find a way to add more capacity, even slightly, noting that the project presented an opportunity to add more classroom space. She said she was pleased to see the solution to the stream situation and that she like the playing fields solution and the two entrances. Mayor Hemminger noted that there had been environmental challenges to the site, and said that the concept plan significantly addressed those.

Mayor Hemminger confirmed with Ms. Dennis that construction was currently planned to begin in the summer of 2018, and that it would be followed by the deconstruction of Building A. The entire process would take about two and a half years, Ms. Dennis said.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO ADOPT R-1. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR CHAPEL HILL HIGH SCHOOL, 1709 HIGH SCHOOL ROAD \(2017-04-17/R-1\)](#)

The meeting was adjourned at 10:37 p.m.

**DRAFT SUMMARY MINUTES OF A BUSINESS MEETING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, APRIL 24, 2017, AT 7:00 PM**

Council Members Present: Mayor Pam Hemminger, Mayor pro tem Donna Bell, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Ed Harrison, Council Member Nancy E. Oates, Council Member Maria T. Palmer, and Council Member Michael Parker.

Council Member(s) Absent: Council Member Sally Greene.

Staff members present: Town Manager Roger L. Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Communications Manager Catherine Lazorko, Planning Director Ben Hitchings, Housing and Community Assistant Director Sarah Vinas, Senior Planner Aaron Frank, Transit Director Brian Litchfield, Community Outreach Coordinator Len Cone, Police Officer Rick Fahrner, and Assistant Town Clerk Christina Strauch.

[OPENING](#)

Mayor Hemminger opened the meeting at 7:00 p.m.

[Proclamation: Bike Month.](#)

Council Member Harrison read a proclamation that listed the environmental and health benefits of bicycling and proclaiming May 2017 as Bike Month in the Town of Chapel Hill. The proclamation encouraged all citizens to leave their cars at home and use bicycles during the month of May, and every month. Council Member Harrison said that cycling had been an important part of his life for 50 years.

Amanda Huegerich received the proclamation and said that she had intentionally ridden to Town Hall in the rain to accept it, just as her dad, Jim Huegerich, would have done if he were in Town. Her family always biked to work and school and tried to make their lives "commuter-friendly on bicycles," as her father had taught them, she said.

Council Member Palmer expressed appreciation to the Huegerich family for leading by example.

[Proclamation: Community Dinner Night.](#)

Council Member Palmer read the proclamation regarding an annual Community Dinner that had celebrated the Town's rich cultural diversity for 20 years. She said that the Town owed a great deal of gratitude to the co-chairs, Mildred Council ("Mama Dip") and Nerys Levy, for organizing the award-winning dinner every year. Council Member Palmer pointed out that the dinner's proceeds go to people in need. The Town had supported all 20 dinners, she said. She noted that the upcoming Community Dinner would be held on April 29, 2017 and encourage all to come and join in the festivities.

Ms. Levy received the proclamation and thanked the Town for its ongoing support and enthusiasm. She pointed out that the Community Dinner probably was the most diverse and inclusive social event in the area.

[Proclamation: Chapel Hill Volunteers Week.](#)

Mayor Hemminger read the proclamation stressing the importance of volunteerism and pointed out that there were 63 million volunteers in the United States. She proclaimed April 23-29, 2017 to be Chapel Hill Volunteers Week and presented the proclamation to Amy Ryan, a volunteer and chair of the Town's Planning Commission.

Ms. Ryan spoke about how proud she was to receive the proclamation on behalf of Chapel Hill's volunteers. She thanked the hundreds of thousands of hours of time and service that volunteers had dedicated toward making Chapel Hill a better town.

Mayor pro tem Bell arrived at the meeting at 7:12 p.m.

[PETITIONS FROM THE PUBLIC AND COUNCIL MEMBERS](#)

- a. [Johnny Randall of NC Botanical Garden Request Regarding Town of Chapel Hill Financial Match for Cochrane Property.](#)

Johnny Randall, representing the NC Botanical Garden Foundation, requested \$50,000 in matching funds for a Clean Water Trust Fund grant that the Foundation had requested from the state in order to purchase the Cochrane property, a 12.8-acre natural area that is a gateway to a nature preserve system that links with 43,000 acres of the most biologically rich land in Orange County. The Foundation would provide \$25,000 and was also requesting \$100,000 from Orange County, he said. Mr. Randall explained that the Foundation was very likely to be successful with the purchase if they could raise the matching funds.

Council Member Cianciolo confirmed that the Cochrane land was one of three properties that would be needed to make the connection and that the other two properties were more important. He verified with Mr. Randall that the Cochrane property would allow the Botanical Garden to close Parker Road and create a real entrance to the preserve area. Council Member Cianciolo confirmed that there was a sense of urgency with the request and said that he would like the Manager to respond as quickly as possible.

Council Member Harrison pointed out that the Council had used contingency funds in the past for a similar request.

MAYOR PRO TEM DONNA BELL MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO RECEIVE AND REFER TO TOWN MANAGER AND MAYOR. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

b. [Will Hendrick of Justice in Action Committee Regarding Request for Chapel Hill Support of Center for Civil Rights.](#)

Will Hendrick, representing Justice in Action, asked the Council to pass a resolution supporting the UNC Center for Civil Rights and its pending opposition to a UNC Board of Governors' plan that, if enacted, would limit the Center's ability to litigate on behalf of its clients. Mr. Hendrick described the Center's history as a champion for civil rights and mentioned some of its advocacy and community involvement activities, such as working on behalf of the Rogers Road/Eubanks Neighborhood.

Mayor pro tem Bell said that she would like the Council to strongly support the petition and find a way to meet the Center's request. The Town should do all it could to support the Center through difficult times, she said, noting that the Center had been doing good work for decades.

Mayor Hemminger confirmed with Mr. Hendrick that the Council needed to act on or before a May 8th meeting and in advance of a Board of Governors' May 19th vote.

Council Member Anderson offered strong supported for the request and said that she strongly disagreed that the Center for Civil Rights was outside the University's scope of activity. The Center was important to a public university that was dedicated to research and furthering social causes, she said.

Council Member Palmer confirmed that the Manager was being asked to bring back a resolution of support on which the Council would vote.

MAYOR PRO TEM DONNA BELL MOVED, SECONDED BY COUNCIL MEMBER NANCY E. OATES, TO RECEIVE AND REFER TO TOWN MANAGER AND MAYOR. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

c. [Allen Buansi Support of Justice in Action Committee Request.](#)

Allen Buansi, a Chapel Hill native, expressed support for the Justice in Action petition. He said that he had become a civil rights attorney after being inspired by the Center for Civil Rights in 2003 and that part of his reason for choosing to attend UNC was that the Center was there. Mr. Buansi said that a resolution from the Council would send a strong message.

d. [Council Member Palmer Request Regarding Bollards on Rosemary Street for Bike Lane.](#)

Council Member Palmer requested that the Town place bollards on Rosemary Street to separate bike lanes from the other lanes. She told of an encounter she had had where she called the police because a driver who had left his car on the bike lane refused to move it. Painting lanes without protecting them with bollards created accidents waiting to happen, she said.

Council Member Oates asked that staff bring back cost estimates for installing bollards.

Mayor Hemminger commented that safety concerns regarding bollards would need to be researched as well.

COUNCIL MEMBER MARIA T. PALMER MOVED, SECONDED BY MAYOR PRO TEM DONNA BELL, TO RECEIVE AND REFER TO TOWN MANAGER AND MAYOR. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

PUBLIC COMMENT - ITEMS NOT ON PRINTED AGENDA

a. Community Members Comments Regarding Light Rail.

i. Ken Larsen Comments.

Ken Larsen, a Chapel Hill resident, asserted that those who supported light rail transit (LRT) had been duped. He said that GoTriangle had presented false information and had changed its story and responded to queries slowly, or not at all.

ii. Molly McConnell Comments.

Molly McConnell, a Chapel Hill resident, said that she lives modestly on Social Security income and needed to work part-time in order to buy groceries and put gas in her car on which she was completely dependent due to lack of sufficient bus service. The LRT plan would not improve that situation because of a lack of connecting bus service, she said. Ms. McConnell recommended pausing the LRT plan until the Town had a complete understanding and an independent assessment of it.

iii. Vivian Foushee Comments.

Vivian Foushee, a Chapel Hill native, said that approving LRT would support UNC, Duke, NCCU and landowners while ignoring seniors, working families, low-income people and minorities who live in Orange County, particularly those who live in Chapel Hill. She implored the Council to not saddle citizens with debt for 45 years for a rail line that would serve only a few and not be in service until 2029. If the universities want light rail, let them pay for it, said Ms. Foushee.

iv. Julie McClintock Comments.

Julie McClintock, a Chapel Hill resident, commented on the compressed timeline that she said had been brought about by Go Triangle's miscalculations. As a result, numerous complicated agreements were being rushed, said Ms. McClintock. She asked the Council to follow the negotiations more closely and to stay engaged. The Town had a transit plan with greatly reduced bus hours (down 22 percent from what had originally been promised) and a bus transit system that was not well funded and might not happen, she said. Ms. McClintock praised the Council for asking for more bus hours, but question that it would come to fruition given the compressed timeline. She implored the Council to be alert for an opportunity for a new transit plan.

v. [Del Snow Comments.](#)

Del Snow, a Chapel Hill resident, urged the Council to exercise its moral and ethical role in the decision-making process. The Town had approved one dense project after another based on the assurance of transit bus service along the corridors, but the proposed plan basically eliminated that and the additional bus hours being proposed were insufficient to accomplish real connectivity, she said. Ms. Snow said that Council members would be turning their backs on the five focus areas they approved for density if they did not take decisive action and represent all Town residents, not just developers and UNC. Approving light rail without BRT funding is a non-starter, said Ms. Snow. She asked the Council to state that light rail alone was not right for the community.

vi. [John Morris Comments.](#)

John Morris, a Chapel Hill resident, said that GoTriangle could only make the plan work through risky financial acrobatics that involve large, long-term loans. They had hidden that information, but the Davenport Report had uncovered that long-term borrowing, he said. Mr. Morris reviewed the terms of that borrowing and discussed the risks involved.

vii. [Diane Robertson Comments.](#)

Diane Robertson, Carrboro resident, argued that the need for robust bus service that would serve all residents would be tanked by the cost of this project. Most of the money that voters had approved for transit would be going to light rail and the debt associated with that, she said. Ms. Robertson expressed several additional concerns and said she was appalled by the lack of scrutiny regarding the risk factors that elected officials were giving the plan.

viii. [Terry Vance Comments.](#)

Terry Vance, a Chapel Hill resident, said that the proposed project was a boondoggle. As a clinical psychologist, she was trained to look at patterns and processes, she said, and stated that light rail was a perfect example of what was wrong with the Town's government. She quoted a discussion between County Commissioners and GoTriangle and refuted what GoTriangle had said. Dr. Vance argued that increasing affordable housing would reduce traffic congestion and said that extraneous policy or political motivations were wasting the Town's time and money.

Mayor Hemminger explained that the Durham County Commissioners, Orange County Commissioners, Metropolitan Planning Organization and GoTriangle would vote on Light Rail later in the week. Most Council members had asked to send a letter to the Orange County Commissioners, expressing gratitude to them for their negotiating efforts, she said.

Mayor Hemminger pointed out that the Council's task was to advocate for the bus hours and connectivity to stations that were important for Chapel Hill's citizens. To her, that meant being financially viable and serving citizens, especially those who are not connected to UNC

healthcare and UNC systems, she said. She argued that the Town should have a seat at the negotiating table, noting that Chapel Hill operated the largest transit system in Orange County.

Mayor Hemminger asked that the proposed letter to the County Commissioners be projected on the screen where all Council members could see and discuss it.

Mayor pro tem Bell expressed concern that the letter did not recognize some of what was already happening in Town. For example, there already were hours for additional bus service included in the current Transit Plan, she said. She noted that there was nothing in the letter about discussions between the Town and GoTriangle regarding how bus service could be reconfigured to increase capacity in Town and access to light rail transit (LRT).

Mayor pro tem Bell mentioned other elements that the letter did not address. She said she did not think that supporting LRT meant not supporting bus rapid transit (BRT). She recommended that the Council address the things that did exist, such as bus hours and an increase in service, and said she hoped the Town would have a seat at the table.

Council Member Palmer agreed with the contents of the Town's letter but said she thought it seemed a little watered down. The second paragraph read as though things were at a negotiating stage, she said. She pointed out that the Commissioners would be voting on whether or not to proceed, and she cautioned against giving the impression that the Council was not on board with that unless it could negotiate other things.

Council Member Palmer asked Mayor pro tem Bell if she was recommending adding a statement that said the Council strongly supported LRT.

Mayor pro tem Bell replied that she did not think it was necessary for the Council to express its concerns in the letter. However, if Council members did decide to do that, the letter should state whether or not they support LRT, she said. She acknowledged that the letter did not totally and completely contain everything the Council wanted to say to the Orange County Commissioners.

Council Member Anderson said that she was not opposed to LRT per se but felt terrified about the County and Town taking on so much debt and then not having a way to get out of it. She expressed concerns about using optimistic sales tax numbers and said that she was not confident about the ridership projections. Council Member Anderson pointed out that a Davenport Report had characterized the plan as risky and said that it allowed no room for error. She also expressed discomfort with a year-to-year agreement for funding with the Town's transit partners.

Council Member Anderson recommended that the Council get the best facts and expertise possible to evaluate LRT. She agreed that Town staff should be at the negotiating table. Council Member Anderson said that her reluctance was based on social justice: that the Town would invest in LRT rather than other things that citizens really need. It scared her to think that the Town would be giving up so much to get less than four miles of track, said Council Member Anderson.

Council Member Oates said she agreed with Council Member Anderson's remarks and with what the community members had said. The plan was incredibly risky and LRT would drain the money for BRT, thus increasing the Town's responsibility to pay for the latter, she said. The Council had made development decisions based on having good BRT up and down the major corridors and must follow through on that, said Council Member Oates. She said that she did not see how the Town could afford LRT. She agreed that it was a social justice issue and noted that some people would not be served by LRT.

Council Member Cianciolo commented that risk always accompanied looking into the future. However, he believed that Orange County and Chapel Hill must participate in the economic growth that would be coming to the Triangle, despite that risk, or else it would be isolated, he said. Council Member Cianciolo pointed out that 84 percent of the Town's tax base was residential and that the Town was trying to encourage commercial growth. That growth would not occur in Orange County unless it was willing to connect with the Triangle, he said. Council Member Cianciolo concluded that the future economic growth of the Town and County depended on moving ahead with the LRT project.

Council Member Harrison said that he had discussed several versions of the Council's letter with County Commissioners and believed that the current iteration was just about right in terms of what the Commissioners needed to hear from the Town. He said that the Town's requests were reasonable and that he hoped the County would agree with them.

Council Member Parker stated that "perfect is the worst enemy of good." He said that he had read the materials, including the Davenport Report, and had considered the risks. The Town needed to become a major part of what, if built, would eventually be a fully built-out regional transit system, he said. He argued that the series of risks were worth taking and said he believed there were sufficient risk mitigation measures built into the plan. Council Member Parker expressed support for the letter, including the request that the Town having a seat at the negotiating table.

Council Member Palmer proposed adding something explicit to the letter regarding the Town's full support for the County signing on to the LRT project. With regard to the projected costs, she pointed out that federal grants were highly scrutinized and that loans would go to GoTriangle with incredibly favorable terms. There was no risk of bankrupting the Town or Orange County, she said, adding that she did not think that fear was warranted.

Mayor Hemminger noted that there were different opinions among Council members, who, as stewards of the community, were advocating for what they believed in. She said that bus hours and connectivity were of great concern and that LRT and the Town's transit system needed to work together. She agreed that the Town needed a seat at the table. She said that she had been very disappointed when BRT funds were reduced, adding that those funds needed to be protected and possibly increased.

Mayor Hemminger proposed that the letter include a statement regarding the Town's enthusiasm for the Hillsborough Amtrak Station. She recommended deleting the word "fully" with respect to Council support, since not all Council members were in favor of the plan. Mayor Hemminger

said that she highly respects Council members' opinions. This plan had been evolving and was difficult to follow, but the Council had the best information currently available, she said. Mayor Hemminger pointed out that a Council vote on whether to move forward or not must be delivered during the current week.

Council Member Cianciolo suggested that the letter's first paragraph state, support and continued commitment "of the majority" of the Council and end with "and the Greater Triangle region, including the Durham-Orange Light Rail Project."

Council Member Palmer and Mayor Hemminger suggested additional minor changes and Council Members Parker and Bell said they supported Council Member Cianciolo's proposed wording.

With respect to a third bullet in the letter, Council Member Bell said that additional funds were being requested when it had never been clear why there could not be a plan that would fill the gap between what was planned and what currently existed. If such a plan existed, she would like to see it, she said.

Mayor Hemminger said that much time had been spent on wording and there were not yet any specific numbers. The letter was an attempt to say that the current bus hours might not be enough to connect as the Town wants, she said, and pointed out a sentence that asked the Town and County managers to continue working that out. Mayor Hemminger stressed her desire for staff to return with recommendations so that decisions would be made with the Town and not for or around it.

Mayor pro tem Bell confirmed with Mayor Hemminger that Orange County would vote the following week on an interlocal agreement, not the plan, and that the Council was asking for changes to that agreement.

Town Manager Roger Stancil reviewed what was proposed to be in the letter and stressed the importance of stating that the two managers would work through some of the issues that had been raised and return with a plan for addressing them.

Mayor pro tem Bell said that she had not received information that she had requested during a work session that included GoTriangle. If there was an understanding among staff that there would be deficits in the Town's ability to provide service, she wished that that information had been shared with the entire Council, she said. If the plan was to be voted on later in the week, then how did bullet 3 regarding the Durham-Orange Light Rail Project (DOLRT) fit to an agreed upon plan, she asked.

Mr. Stancil replied that asking what the deficit was and if enough was being projected were good questions, but that it was difficult to determine that when the Town was not at the table during serious negotiations. Therefore, the letter was stating that the Town wants to be part of the process of determining where service hours are and how to allocate them, he said. Mr. Stancil agreed that that was important. If you ride the train and you cannot find a bus to get where you want to go, it is really not a seamless transit system, he said.

Mayor pro tem Bell argued that the third bullet was not valid. She said that it seemed like Mr. Stancil was saying it was not certain that there were enough existing bus hours to fully support the light rail system in Orange County.

Mr. Stancil suggested perhaps changing the wording in the first sentence of the third bullet to read, "consider enhanced bus service for DOLRT stations."

Council Member Palmer recommended that the Town ask only for a seat at the table and a commitment to negotiate reallocating funds to serve the stations.

Council Member Harrison pointed out that the implementation plan would be the next step in the process and that the last sentence in the letter enabled the two managers and others to start working on that.

Council Member Anderson said that the Town had received enough information to know that it absolutely did not currently have enough bus hours in the plan. She said that aspects of the plan made her very uncomfortable and that some elements did not seem to be in place. She could not support a plan that was so expensive and where so many aspects were still unknown, she said.

Council Member Anderson said that it was important to include the concern about bus hours, if the Council intended to vote for the letter. Four miles of track would not function without a robust bus-feeder service to bring people from all over the county, she said.

Mayor Hemminger said that she thought "Commit to Bus Service for DOLRT stations" in the third bullet advocated for what the Town needed and asked for a commitment to provide it.

Council Member Cianciolo said that it was appropriate to express that concern but pointed out that the County Commissioners and others had similar needs. For LRT to succeed it must be an integrated system, he said. Council Member Cianciolo pointed out that the Council's letter was one of support, in which it was fine to make it clear that the Town would need additional bus service to make it work.

Council Member Parker said that it had been clear for a while that there were questions about the adequacy of funding for bus service to stations. He took that as a given and had no problem with the wording either way, he said. He pointed out that the process would be a long one, with County Commissioners voting on it every four years and negotiating on an ongoing basis. Council Member Parker stressed the importance of articulating the Town's needs and its right and responsibility to be a participant at the table.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER GEORGE CIANCIOLO, TO MOVE THE LETTER FORWARD TO THE COMMISSIONERS. THE MOTION WAS ADOPTED BY A VOTE OF 6-2, WITH MAYOR PAM HEMMINGER, MAYOR PRO TEM DONNA BELL, COUNCIL MEMBER GEORGE CIANCIOLO, COUNCIL MEMBER ED HARRISON, COUNCIL MEMBER MARIA T. PALMER, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH

COUNCIL MEMBER JESSICA ANDERSON, AND COUNCIL MEMBER NANCY E. OATES VOTING NAY .

ANNOUNCEMENTS BY COUNCIL MEMBERS

a. [Mayor Hemminger Regarding Hotel Summit.](#)

Mayor Hemminger said that a hotel summit had been held at The Frank with the Visitors Bureau, Downtown Partnership, Chapel Hill-Carrboro Chamber of Commerce, and UNC Visitors Center. The group had discussed many good ideas about better ways to communicate with hotels and hotel guests and would work on next steps, she said.

b. [Mayor Hemminger Regarding Ribbon Cutting for UNC Horizons Program.](#)

Mayor Hemminger mentioned a recent ribbon cutting ceremony for the UNC Horizons Program's new space in Carrboro. Horizons had a high success rate as a substance abuse program for pregnant and parenting women and their children, she said.

c. [Mayor Hemminger Regarding Tour of Recycling Center in Raleigh.](#)

Mayor Hemminger said that she and other elected officials had gone on a fascinating tour of a recycling center in Raleigh

d. [Mayor Hemminger Regarding the Northside Festival this Saturday, April 29.](#)

Mayor Hemminger announced an upcoming Northside Festival, hosted by the Jackson Center. There would be music, food, and activities, and a dedication of the Northside Gateway to the Northside Freedom Fighters, she said. Mayor Hemminger invited all to come to the Saturday celebration and tribute to a lot of hard work by many dedicated people over many years.

e. [Mayor Hemminger Regarding Community Dinner on Sunday, April 30.](#)

Mayor Hemminger pointed out that the Community Dinner, which had received a proclamation earlier in the meeting, would be held on Sunday.

f. [Mayor Hemminger Regarding UNC's Innovate Carolina Last Week.](#)

Mayor Hemminger noted that UNC's Innovate Carolina had occurred on the previous Wednesday. It had been an impressive display of more than 70 fascinating, world-changing ideas that had emerged from UNC, she said.

CONSENT

1. [Approve all Consent Agenda Items. \(R-1\)](#)

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY MAYOR PRO TEM DONNA BELL, TO ADOPT R-1. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES \(2017-04-24/R-1\)](#)

2. Approve Miscellaneous Budget Ordinance Amendments to Adjust Various Fund Budgets for FY 2016-17. (O-1)(O-2)(O-3)(R-2)

[AN ORDINANCE TO AMEND “THE ORDINANCE CONCERNING APPROPRIATIONS AND THE RAISING OF REVENUE FOR THE FISCAL YEAR BEGINNING JULY 1, 2016” \(2017-04-24/O-1\)](#)

[AN ORDINANCE TO AMEND THE CAPITAL PROJECTS ORDINANCE FOR VARIOUS CAPITAL PROJECTS \(2017-04-24/O-2\)](#)

[AN ORDINANCE TO AMEND THE 2003 STREETS AND SIDEWALKS BOND FUND FOR CAPITAL IMPROVEMENT PROJECTS \(2017-04-24/O-3\)](#)

[A RESOLUTION TO AMEND THE FEE SCHEDULE ADOPTED FOR FISCAL YEAR 2016-17 \(2017-04-24/R-2\)](#)

3. Approve the Traffic Calming Report and Recommendations for Southern Village Neighborhood. (R-3)(O-4)

[A RESOLUTION AUTHORIZING THE INSTALLATION OF TRAFFIC CALMING MEASURES ON SEVERAL TOWN STREETS \(2017-04-24/R-3\)](#)

[AN ORDINANCE AMENDING CHAPTER 21 OF THE TOWN CODE OF ORDINANCES REGARDING PARKING AS TO PARTICULAR STREETS \(2017-04-24/O-4\)](#)

4. Donate a Town-Owned Lot on Caldwell Street to Self-Help Ventures Fund for Affordable Housing. (R-4)

[A RESOLUTION AUTHORIZING DONATION OF A TOWN-OWNED LOT ON BROOKS STREET TO SELF-HELP VENTURES FUND TO CREATE AFFORDABLE HOUSING \(2017-04-24/R-4\)](#)

[INFORMATION](#)

5. [Receive Upcoming Public Hearing Items and Petition Status List.](#)

All items received as presented.

DISCUSSION

6. Orange County Partnership to End Homelessness Update.

Allison DeMarco, leadership team chair for the Orange County Partnership to End Homelessness, listed the names of the Partnership's participants and explained that it was jointly funded by Chapel Hill, Carrboro, Hillsborough and Orange County. She then introduced Corey Root, Orange County's new homeless programs coordinator.

Ms. Root provided details about the different agencies that work with homeless people and explained where the gaps were. She mentioned a new initiative, called Orange County Connect, which would help to standardize the way people enter the homeless system and how they are assessed and referred for services. Ms. Root discussed housing vouchers and the factors involved in prioritizing. She noted that there were gaps in the system and said that Orange County had been systematizing and working on trying to fill those gaps.

Council Member Palmer asked where a person who finds him/herself at risk could call.

Ms. Root replied that they were currently trying to define an entry and would post one or two number and places at some point.

Council Member Palmer asked about emergency housing for those who were trying to escape domestic violence.

Ms. Root replied that the Conflict Center addressed domestic violence. There was no shelter for victims in Orange County but the County did provide emergency response, she said. Ms. Root said that it was sometimes appropriate for victims to go to Homestart or to a hotel/motel voucher program.

Council Member Palmer asked about under-counting homeless people with HIV, and Ms. Root replied that there were flaws in the point-in-time count. However, she had been impressed by the way the community was addressing it, she said, noting that those people with HIV were being prioritized as among the most vulnerable in the community.

Council Member Palmer asked Ms. Root if she really thought that things were getting better.

Ms. Root replied that the point-in-time data for 2016 showed that numbers were very low, but there was not a consensus that homelessness had ended. From year to year, the weather affects those numbers, she said. Ms. Root added that HUD, which had said that things even out over time, was tying more and more funding to point-in-time data.

Council Member Anderson noted that there had been complaints from time to time about panhandlers on Franklin Street being detrimental to businesses and economic development. She asked if there were any strategies besides arresting people to address and/or have more

productive and informed community conversations about it.

Ms. Root mentioned the history of people being sent out from shelters and said that being able to get homeless people into permanent supportive housing quickly would help. She added that the street outreach program and multi-service center would help with that as well.

Council Member Cianciolo asked what percentage of the effort was federally funded and what the outlook was for federal funding going forward.

Ms. Root replied that very little of the Partnership to End Homelessness was federally funded. Last year's planning grant was \$6,700 and the total budget was \$119,000, she pointed out, adding that HUD required a coordinator in order to get federal funding. She said that ending homelessness had generally received bipartisan state support. Senator Richard Burr had written part of the legislation that President Obama signed in 2009, she said.

Mayor Hemminger said that she was pleased with all that the Partnership had been doing and appreciated the explanation of how the different pathways connect. She encouraged Council members to visit the shelters. Mayor Hemminger said that the Town would think about how to help those who have been successful in programs get into affordable housing and remain successful. She praised Ms. Root for trying to pull many factors together and for working collaboratively with others.

Mayor pro tem Bell noted the connection between wealth building and homelessness and asked if there were ways in which HUD's homelessness projects addressed that.

Ms. Root replied that income was key, along with affordable housing and appropriate services. There was much great collaborative work going on around the income-building piece, she said.

7. [Receive the Schools Adequate Public Facilities Ordinance \(SAPFO\) 2017 Annual Technical Advisory Committee Report.](#)

Perdita Holtz, representing the Orange County Planning Department, presented the 13th annual report by the Schools Adequate Public Facilities Ordinance Technical Advisory Committee (SAPFOTAC). She gave a brief summary of the process and asked the Council to review the report and provide comments to the Orange County Board of Commissioners. She explained that SAPFO was a capital planning investment tool that helped Orange County and local governments adequately assess the need for additional school capacity when there is new residential construction. The requirements and framework for SAPFO had been laid out in a 12-page memo of understanding (MOU) that had been included in the Council's materials, she said.

Ms. Holtz reviewed the main elements of the ordinance and pointed out that any proposed changes would need to go before the SAPFOTAC board for review. A draft 2017 report showed a small increase in elementary and high school levels and a decrease in middle school, she said, adding that the current level of service was in the mid-90s.

Council Member Palmer clarified with Ms. Holtz that "level of service" meant the number of students in relation to how many seats there were in schools.

Ms. Holtz said that 10-year projections did not show a need for new school capacity. She said that the County was interested in renovating and expanding existing facilities rather than constructing new ones. Ms. Holtz noted that voters had approved a bond issuance of \$125 million, \$120 million of which was primarily projected for school capital projects, and she discussed projects that would likely use bond funds. She said that the NC General Assembly was considering legislation related to class size and she discussed the possible impacts of that.

Council Member Anderson expressed concern about not taking future increases into account.

Ms. Holtz replied that one of the projection models did take some of the projected new growth into account, but that issue had been a concern over the years. The Town Council could comment on that and raise it as a concern, she said.

Council Member Anderson said that with bond funds coming through and construction projects underway, the current time was a great opportunity to add capacity.

Council Member Cianciolo said that he was less concerned about new development since one- and two-bedroom apartments did not typically include many school children. However, the number of seniors was projected to increase fairly significantly over the next decade or so, and their three- and four-bedroom homes would become available as they downsize, he pointed out. Council Member Cianciolo wondered if any of the models accounted for school children living in those larger homes.

Ms. Holtz replied that there was always a churning of exiting housing stock.

Council Member Palmer asked what impact the report had on planning. She noted a recent proposal to rebuild Chapel Hill High School without adding capacity and asked how the Town could get school boards to proactively plan for capacity.

Ms. Holtz pointed out that school superintendents, or their designees, serve on the SAPFOTAC and that the report goes to both school districts. She believed that the school districts were proactively planning for their needs, she said, but added that such planning was constrained by what Orange County was able to fund. The SAPFOTAC report was one of the planning tools that proved objective data, she said.

Council Member Parker pointed out that SAPFO had been in place for about 15 years. He asked if anyone had done a retrospective to see how the original 10-year projections had turned out.

Ms. Holtz replied that a summary of that was included in each year's report.

Council Member Parker confirmed with Ms. Holtz that no project had ever been denied a permit due to the SAPFO.

Mayor Hemminger said that the SAPFO was a handy planning tool that helped figure out when the need for a new school would arise. Due to state legislation, it was not an enforceable code, she said. Council members agreed that increasing capacity during renovation was cost effective if there was a way to do so and recommend that it be considered, Mayor Hemminger said.

Ms. Holtz confirmed with Mayor Hemminger that Town staff would put that comment in a letter form.

COUNCIL MEMBER GEORGE CIANCIOLO MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO FORWARD COUNCIL COMMENTS TO ORANGE COUNTY. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

8. [Community Design Commission Applicant Interviews.](#)

Mayor Hemminger read a statement about the Town's advisory board application and interviewing process. She explained that the purpose of Items 8 and 9 was to allow candidates from the Planning Commission (PC) and Community Design Commission (CDC) to meet with the Council and speak about why they should be considered for the board. Those who were not able to attend the meeting, had provided information that Council members had before them, she said. Mayor Hemminger said that the Council would make appointments to both commissions on May 8, 2017.

Polly Van de Velde asked to be appointed to a second term on the CDC. As a social worker with a master's degree in Health Policy and Management, she brought a unique appreciation and perspective on the impact of the built environment on the community, she said. Although she was not a design professional, she had a long-standing interest in design in general, and architecture and landscape in particular, she said. Ms. Van de Velde said that she was interested in how space would be seen and felt by those with disabilities, the aged, children and parents. The CDC had had an increased role in shaping policy recommendations, she said, adding that she had worked hard and wanted to follow through on those efforts.

Council Member Palmer asked Ms. Van de Velde for her opinion regarding form based code (FBC).

Ms. Van de Velde replied that the Town had made significant improvements and that FBC was headed in a better direction. It had been left a bit amorphous and the CDC had had to figure it out, but it was becoming much clearer, she said.

Council Member Oates asked if there were any knowledge or skill gaps that needed to be strengthened on the CDC.

Ms. Van de Velde replied that she had always thought the CDC needed more architects. She noted that a landscape architect was leaving and said she hoped to at least replace that skill.

9. [Planning Commission Applicant Interviews.](#)

Amy Ryan asked to be reappointed as the PC's design champion. She pointed out that she had been a member of Town advisory boards for 15 years and was the current PC chair. She described some of her experience on other Town boards and commissions as well as her current responsibilities as the PC's chair. Ms. Ryan noted several major Town planning initiatives and said that the next few years would be a rewarding time to serve on the PC.

Council Member Oates commented that board work could sometimes be frustrating and time consuming and she asked Ms. Ryan what kept her involved.

Ms. Ryan replied that she did not find it frustrating. Government work, or in any position that involves working with many people, means having to be able to take incremental steps, she said.

Anne Gordon, a lawyer and educator, said that she had moved to Chapel Hill for its diversity, proximity to a world class university, progressive values, environmental stewardship, proximity to the outdoors, and great public transportation system. She described herself as a long time social justice champion and said that her legal training gave her the ability to delve deeply into issues, talk with a number of stakeholders, and maybe persuade some of them. Ms. Gordon said that she had no misgivings about reaching out and asking people what they think about the future of the Town. She speaks Spanish, she said, and she mentioned that she had lived in and worked in other college towns.

Council Member Oates ascertained that Ms. Gordon had not yet been to a Planning Commission meeting.

Council Member Palmer asked Ms. Gordon for her opinion of FBC.

Ms. Gordon replied she understood that some had been unhappy at first with how the Ephesus Fordham FBC District was progressing but that better approaches to traffic had improved it and there was good potential for opening up a broader range of retail in the area. The worst thing would be to kill the downtown in the process, Ms. Gordon said, adding that her priority would be to integrate what exists in Town with what was being built on its outskirts.

Joseph Parrish, a UNC graduate with a degree in political science, said that he had run for political office before. He had received army officer training through ROTC and believed that his background and skills qualified him to sit on the CDC, he said. Mr. Parrish said that the Town needed to think of itself as part of the greater Triangle area and needed to think about how to stay competitive against Durham and Raleigh. The best way to do that was to promote commerce as much as possible, he said.

Mr. Parrish explained that he lived on Ephesus Church Road and had seen the progress and traffic benefits that were developing there. At the last PC meeting, members had discussed how development had declined sharply as a result of the recession and had not started improving again until the last couple of years, he said. Mr. Parrish stated that there was evidence of another recession on the horizon and that the Town needed to think about what it will do for the homeless, for public housing, and for low-income people when that time comes.

Council Member Palmer asked Mr. Parrish if there was anything else he wanted to say about FBC.

Mr. Parrish replied that it had been rough at first but had really improved with respect to facilitating traffic. As with any plan, you have to stick with it in the short term to gain long term benefits, he said.

Council Member Oates confirmed that Mr. Parrish had run for a seat at the NC House of Representatives

Janet Elbetri, a restaurant owner on Franklin Street, said that she had lived in Chapel Hill, off and on, for 26 years. She had been a history major at UNC and had spent much time thinking about political issues and how they relate to how people live, she said. Ms. Elbetri characterized being someone with a progressive orientation who absolutely must make a profit as an interesting experience that had given her a depth of vision and experience that would make her a good asset to the PC. As a downtown resident, she had been fascinated by the Town's development and wanted to help with that, she said.

In response to Council Member Palmer's question about FBC, Ms. Elbetri said that she was not well-informed about the complexities of that and had only a rudimentary understanding that it related to the way buildings look. She said that she was thrilled that something was happening in the Ephesus Fordham area.

Council Member Cianciolo pointed out that one of the reasons FBC was created was to bring more business to the Ephesus Fordham area. Noting that there were at least six new food establishments at Eastgate, he asked Ms. Elbetri how she would feel if she were reviewing projects on the PC that might draw business away from her own.

Ms. Elbetri replied that there may be circumstances where it would be appropriate to recuse herself even though she tended to believe that all succeed better together. She would worry less about business being diverted from one area to another than she would about the sheer mind-boggling number of other restaurants that exist in Town, she said.

Council Member Harrison pointed out that a lot of development could be happening on West Rosemary Street and said that it would be valuable to have someone who knows downtown area on the PC. However, the PC was a community body, not just a downtown body, he pointed out. He asked Ms. Elbetri how she would step back and evaluate developments on behalf of the entire community.

Ms. Elbetri replied that standards would have to be followed and that she could create a list of criteria that would have to be met. When her own profitability was at stake, she probably would have to step back, she said.

Council Member Palmer proposed that someone on Town staff contact the other applicants to make sure that they could commit to the number of hours the commissions would meet. They

should realistically assess their schedules, since they had not had time to come to tonight's interview meeting, she said.

APPOINTMENTS

10. Appointment to the Transportation and Connectivity Advisory Board.

Master Ballot

The Council appointed Susanne Kjemtrup-Lovelace, Ignaciou Tzoumas and Brian Hageman to the Transportation and Connectivity Advisory Board.

Mr. Stancil reported that Town Police and Fire personnel were monitoring the weather and had taken preventative action due to predictions of more rain. The Town had been getting bands of rain during meeting, but all was currently stable he said. Mr. Stancil noted that the Town was under a flood watch and advised everyone to be careful.

The meeting was adjourned at 10:25 p.m.

**DRAFT SUMMARY MINUTES OF A BUSINESS MEETING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, MAY 8, 2017, AT 7:00 PM**

Council Members Present: Mayor Pam Hemminger, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Sally Greene, Council Member Ed Harrison, Council Member Nancy E Oates, Council Member Maria T Palmer, and Council Member Michael Parker.

Council Member(s) Absent: Mayor pro tem Donna Bell.

Staff members present: Town Manager Roger L Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Communications Specialist Ran Northam, Parks and Recreation Director Jim Orr, Business Management Director Kenneth C Pennoyer, Business Management Assistant Director Amy Oland, Budget Manager Matt Brinkley, Fire Chief Matt Sullivan, Budget Analyst Alex Terry, Human Resource Development Director Cliff Turner, Communications and Public Affairs Director Sabrina Oliver, Assistant to the Town Manager for Administrative and Program Management Ross Tompkins, Executive Director for Technology Scott Clark, Transit Director Brian Litchfield, Public Works Director Lance Norris, Library Director Susan Brown, Fire Marshal Dace Bergen, Police Officer Rick Fahrner, and Deputy Town Clerk Amy Harvey.

OPENING

Mayor Hemminger opened the meeting at 7:01 p.m. She explained that the meeting would include a budget presentation, which would be just the start of the annual budget process. A final vote would not take place until June, and there would be plenty of time to ask questions and provide input before then, she said.

Mayor Hemminger said that Mayor pro tem Bell was absent, excused.

Proclamation: Municipal Clerks Week.

Mayor Hemminger read a proclamation for Municipal Clerks Week, which would run to May 13, and recognized Town clerks for their impartiality and neutrality while rendering equal service to all. She expressed appreciation to Communications and Public Affairs Director Sabrina Oliver, Deputy Town Clerk Amy Harvey, Assistant Town Clerks Christina Strauch, Beth Vazquez, and Betty Byrd for the vital services they perform and their exemplary dedication to the communities they represent.

PETITIONS FROM THE PUBLIC AND COUNCIL MEMBERS

- a. Mani Dexter of Justice in Action Committee Request for Council Support to Raise Minimum Age of Adult Criminal Prosecutions in North Carolina to 18 Years.

Mani Dexter, representing Justice in Action, asked the Council to officially support legislation (House Bill 280) to raise the minimum age for prosecution as an adult to 18 years old. She said that it was not a highly controversial topic, and pointed out that the Sheriffs' Association, John Locke Foundation, and other groups supported HB 280.

b. [Camille Witt Regarding Justice in Action Committee Request.](#)

Camille Witt, a junior at East Chapel Hill High, pointed out that she was part of the age demographic that could be tried as an adult in North Carolina. There were many reasons why people her age did not belong in the adult system, she said, adding that it was probably true that teens did not have the same cognitive processing abilities as adults. Ms. Witt argued that it was important not to hold people accountable forever for a mistake they made at the age of 16.

Council Member Cianciolo spoke in support of the petition. He moved the resolution and asked for staff to bring it back as soon as possible.

Council Member Oates explained that she had once been a probation officer in a state that treated 16 and 17 year-olds as adults. She expressed strong support for the petition, and said that the vast majority of young adults who are in the criminal justice system have committed non-violent crimes. Council Member Oates pointed out that the legislation included a safeguard for treating those who commit violent crimes as adults.

COUNCIL MEMBER GEORGE CIANCIOLO MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO RECEIVE AND REFER TO THE TOWN MANAGER AND MAYOR. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

c. [Julie McClintock Request for Council Response to Advisory Board Petitions.](#)

Julie McClintock, representing the Stormwater Advisory Board, requested an expeditious response to a petition that the Parks, Greenways and Recreation Board, the Environmental Stewardship Board, and the Stormwater Advisory Board had presented on March 6, 2017. The petition called on the Town to reinstall the resource conservation district to a flood-prone area, she said. Ms. McClintock stressed that prompt action was required because of an application to build apartments there. She requested that the Town Planning staff also provide a detailed explanation of how the proposed project would be made compatible with the Town's interest in stormwater mitigation, and to do that before granting the application. Ms. McClintock asked that the Town Manager provide a date for when action on the petition would be recommended to the Council.

Mayor Hemminger replied that she had set up a meeting to discuss the petition, and that staff had been talking with the applicant about making stormwater more effective in the area. She recommended that Ms. McClintock's request be forwarded to her as well as the manager.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER SALLY GREENE, TO RECEIVE AND REFER TO THE TOWN MANAGER AND MAYOR. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

PUBLIC COMMENT - ITEMS NOT ON PRINTED AGENDA

a. Delores Bailey Thanks for Council Support of EmPOWERment.

Delores Bailey, executive director of EmPOWERment, Inc., thanked the Council for supporting EmPOWERment's rental housing program. She said that Town funding had allowed them to hire a property manager and a project manager, and that the rental program was growing and healthy. Ms. Bailey said that EmPOWERment was looking forward to purchasing another home on McMasters Street and adding that to their inventory. She invited Council members to attend a reception on June 8th to meet the tenants at one of EmPOWERment's renovated apartments.

ANNOUNCEMENTS BY COUNCIL MEMBERS

a. Mayor Hemminger Regarding American Legion Task Force Meeting on May 9.

Mayor Hemminger announced that the American Legion Task Force would meet the following day at Town Hall, from 2:00 to 4:00 p.m.

b. Mayor Hemminger Regarding Arthur C. Nash House Public Comment Period.

Mayor Hemminger said that a Historic District Commission meeting would be held in Town Hall the following evening at 7:00 p.m. It would address possibly adding a house at 124 South Boundary Street to the National Register of Historic Places, she said, noting that the public comment period remained open.

c. Mayor Hemminger Regarding Changing Order of the Agenda.

Mayor Hemminger noted that the Council had changed the order of the evening's agenda.

d. Mayor Hemminger Regarding Public Participation.

Mayor Hemminger mentioned that a member of the audience had been made to feel uncomfortable when her name had been called out and her comments had been debated at the previous Council meeting. The Mayor assured the public that the Council wanted to hear from them, and wanted them to feel comfortable coming to Council meetings. She said that the Council promised to listen and to respect what citizens had to say, and their right to say it. Listening to the public was one of the main responsibilities of a Council member's job, and they would strive to do better, Mayor Hemminger said.

INFORMATION

1. [Receive Upcoming Public Hearing Items and Petition Status List.](#)

Items received as presented.

DISCUSSION

3. [Consider Adopting a Resolution of Support for the UNC Center for Civil Rights. \(R-1\)](#)

Town Manager Roger Stancil explained that staff had worked with Justice in Action to formulate a revised petition opposing a University of North Carolina at Chapel Hill (UNC) proposal to eliminate its Center for Civil Rights. Mr. Stancil read the petition and recommended that the Council approve it.

UNC Law Professor Ted Shaw, a Julius L. Chambers distinguished professor and the Center's director, explained that Julius Chambers had been the inspiration and founder of the Center for Civil Rights at UNC. Professor Shaw provided background on Mr. Chambers, including how he had started the first racially integrated law firm in the state, and had become chancellor at NC Central before helping to found the Center for Civil Rights. That Center had addressed issues of racial and economic justice and equity since 2001, Professor Shaw said. He said that the UNC Board of Governors was trying to destroy the Center by stopping it from litigating.

Orange County Commissioner Mark Dorosin said that he had been at the Center for nine years and that it had done much good work in the Chapel Hill area, including representing the Rogers/Eubanks Association in its struggle against a landfill. The Center had worked extensively with the Jackson Center, EmPOWERment, Inc., and other local organizations, and had produced a report on the legacy of segregation in Orange County, he said. Commissioner Dorosin stated that there had been much misinformation about the Center, and he refuted statements in the Board of Governors' proposal. He said that the Center's focus on addressing the legacy of race discrimination was at the core of the attack against it.

Council Member Cianciolo expressed strong support for the resolution and lauded the Center for its work.

Mayor Hemminger said that the Council was very supportive of making sure that all citizens had access to good representation. She appreciated the work the Center was doing, and was glad they were "fighting the good fight," she said.

COUNCIL MEMBER SALLY GREENE MOVED, SECONDED BY COUNCIL MEMBER NANCY E OATES, TO ADOPT R-1 AS AMENDED. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[A RESOLUTION TO OPPOSE THE UNIVERSITY OF NORTH CAROLINA BOARD OF GOVERNORS PROPOSAL TO EFFECTIVELY ELIMINATE THE UNIVERSITY OF](#)

NORTH CAROLINA AT CHAPEL HILL CENTER FOR CIVIL RIGHTS (2017-05-08/R-1) as Amended

4. Consider Providing \$50,000 to the Botanical Garden Foundation, Inc. for Matching Funds for Purchase of 12.8 Acres of Property near Morgan Creek. (R-2)(O-1)

Mr. Stancil gave a PowerPoint presentation regarding a petition from the North Carolina Botanical Garden Foundation, Inc. for Town funding to help with the purchase of 12.8 acres of open space along Morgan Creek. He gave an overview of the request, showing the Cochrane property on a map, and explaining the Council's options. Adopting Resolution 2 would allow \$500,000 from the 2015 Parks and Recreation Bond Funds to be used as a match for a grant to purchase the property, he said, adding that the accompanying ordinance would establish a budget for the project.

Mr. Stancil explained that the Foundation had also applied for a \$550,000 grant from the Clear Water Trust Fund, as well as \$100,000 from Orange County. The land did meet a need for additional open space in Town, as identified by the 2013 Open Space Master Plan, he said, and noted that the resolution and ordinance had been unanimously endorsed by the Parks, Greenways and Recreation Commission. Mr. Stancil pointed out that the resolution would authorize the Town Attorney to require that Chapel Hill be granted an easement or become a co-owner of the property to assure the rights of Town citizens to access the property.

Council Member Cianciolo confirmed with Mr. Stancil that the resolution only required the Foundation to obtain matching funds, and did not refer to any agreement with Orange County.

Mayor Hemminger explained that the Foundation would have to be able to complete the purchase in order to receive the \$50,000 from the Town. Staff had tried to include that in the resolution without being specific about where the other funding would come from, she said.

Council Member Oates clarified with Town Attorney Ralph Karpinos that the language would protect the land in perpetuity. If the purchase were to go through, there would be a provision in the deed that assures that, Mr. Karpinos said.

Council Member Harrison praised the plan for including an easement for Merritt Pasture and other lands. The transaction met Town values, and was a fine role for a town like Chapel Hill, he said.

COUNCIL MEMBER ED HARRISON MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ADOPT R-2. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

A RESOLUTION AUTHORIZING THE PAYMENT OF \$50,000 TO THE BOTANICAL GARDEN FOUNDATION, INC. FOR THE PURCHASE OF 12.8 ACRES OF PROPERTY NEAR MORGAN CREEK (2017-05-08/R-2)

COUNCIL MEMBER ED HARRISON MOVED, SECONDED BY COUNCIL MEMBER SALLY GREENE, TO ENACT O-1. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[AN ORDINANCE TO AMEND THE 2015 PARKS AND RECREATION IMPROVEMENTS BOND FUND FOR CAPITAL IMPROVEMENT PROJECTS \(2017-05-08/O-1\)](#)

2. [Presentation: Recommended Budget for FY 2017-2018. \(no attachment\)](#)

Mr. Stancil gave a PowerPoint presentation on the FY 2017-18 recommended budget. He said that he believed it reflected the Council's priorities, as expressed at the planning retreat, and throughout the year. Mr. Stancil noted the following list of Town issues and challenges: affordability; competitive advantage; managing growth/quality of life interests; economic development/tax base; diversity and social justice; and communications and decision making. He said that the budget attempted to address those issues for the coming year. The vision statement from the Chapel Hill 2020 Comprehensive Plan still applied, and the Council had set 21 goals for the coming year, he said.

Mr. Stancil stated that the recommended budget was balanced with a revenue neutral tax rate that was 1.6 cents lower than the current rate. The stormwater fee would increase by \$6.00 per 1,000 square feet, he said.

Mr. Stancil described a strong local economy, but pointed out that state and federal funding and regulations were uncertain. A proposal at the NC General Assembly to take towns' sales taxes, effective on July 1, 2018, had a lot of support, he said. Mr. Stancil pointed out that the federal government had proposed eliminating CDBG and HOME funds as well. The Town would have to adopt a tax rate and budget before some of those decisions were made, so he had taken a cautious approach to the budget in order to maintain resiliency, he said.

Mr. Stancil said that the general fund tax rate would go down from 38.8 cents to 37.6 cents in next fiscal year. The debt fund tax rate would go from 8.5 cents to 8.2 cents and the transit fund rate would go down from 5.1 cents to 5 cents, he said. The total change would be from 52.4 cents down to 50.8 cents, he said.

Mr. Stancil displayed a chart showing recommended resources to address challenges the Council had identified, and said that the budget contained resources to address them. It also would maintain current core services at the same level, address a 2.5 percent market, and other adjustments in employee compensation, and maintain Affordable Housing and Human Services support, he said. The Town would continue to plan for the future by investing in stormwater and other infrastructure improvements through bond funds, Mr. Stancil explained. He said that the recommended budget would not change the level of core municipal services, and would maintain healthcare benefits for employees. The budget anticipated adopting a six-week parental leave program, he said.

Mr. Stancil reviewed the status of Town initiatives, such as the Employee Healthcare Taskforce and the Employee Compensation Taskforce, as well as affordable housing (AH) initiatives and

strategies. He said that the budget maintained the current level of commitment to Human Service agencies, and increased funding to the Community Home Trust.

Mr. Stancil mentioned plans to rewrite the Land Use Management Ordinance (LUMO). He outlined several other planning initiatives, and said that funding to support all of them was included in the budget. He addressed economic development downtown, and discussed plans to leverage Town assets. Mr. Stancil noted ongoing stormwater improvements, and said that the proposed rate increase would go toward capital costs, debt service, and operational support. The budget included spending bond money on streets and sidewalks, he said.

Mr. Stancil provided costs and schedules for replacing the Police Department headquarters, and for purchasing the American Legion property. He said that the tax base was growing at 1.39 percent per year. It would take a significant amount of work by the Council, as well as, very large projects -- such as two University Malls -- to move that needle, he explained.

Director of Business Management Ken Pennoyer continued the staff's PowerPoint presentation with a review of the numbers. He said that the total projected FY 2017-18 budget was \$106,794,000, which represented a 1.5 percent increase over the previous budget. He noted that stormwater would go up 15 percent, and that the pay-as-you-go portion of capital was projected to decrease by 37.5 percent. Transit would go up 12.3 percent, he said.

Mr. Pennoyer said that property taxes make up 46.6 percent and sales taxes make up 21.5 percent of the projected general fund revenues for FY 2017-18. He compared that to 2012 and said that it created a little more diversification, and less emphasis on property taxes. The increase in sales tax had helped, but it would put the Town at risk if there were an economic downturn, he said. He noted that licenses and permits were projected to go down by 27 percent, and that the projected increase in property taxes for FY 2018 was only .3 percent.

Mr. Pennoyer reviewed general fund expenditures, and noted adjustments for salaries and health insurance costs. He said that the general fund budget had increased by .8 percent from the previous year. The transit budget was increasing 12.3 percent due to salary adjustments, variability of partner revenue, and a decrease in federal assistance, he said. He outlined the reasons why stormwater expenditures were going up, and said that the parking fund was increasing by 3.5 percent.

Mr. Pennoyer reported that the public housing fund was decreasing by 5.6 percent, and he explained that the amount of subsidy was going down. He noted that the debt service fund received most of its revenue from property tax, which had decreased to 8.2 cents from 8.5 in the prior revaluation. He said that fund balance was \$6.6 million, and the Town would be using \$15,000 of that to balance the FY 2018 budget.

Mr. Pennoyer outlined the next steps in the budget process, noting that adoption of the Town budget was anticipated on June 12, 2017. He gave a cursory review of sales tax distribution, and explained that losing that due to pending legislation would cause the Town to lose up to \$1.5 million.

Council Member Harrison verified with Mr. Pennoyer that the formula caused counties and towns to be affected differently by redistribution. The state was changing the adjustment factor for all jurisdictions, so the Town's new adjusted factor would determine how it would be affected, Mr. Pennoyer said.

Mr. Stancil added that the economic tier of each county also had an effect on the amount it would receive.

Council Member Anderson asked why the Town would not hold its tax rate at 52.4 cents, rather than reducing it to 50.8 cents, if it might lose \$1.5 million in sales tax revenue from the state.

Mr. Stancil replied that the Council could certainly make that decision. The Town was required to calculate and publish the revenue neutral tax rate, he explained.

Council Member Oates confirmed with Mr. Stancil that the stormwater budget included improvements for the Lake Ellen area. She asked if the Ephesus/Fordham (E/F) tax revenue was on pace, and Mr. Stancil replied that some projects had not occurred. He offered to provide specific data on where that stood, but said that "the report card looks pretty good."

Council Member Cianciolo praised staff for the many balanced budgets it had produced over the years. However, the Town needed more AH, and no longer had the inclusionary zoning ordinance that previous Councils had relied on, he said. He pointed out that the Town had pushed economic development to a point where buildings were selling for \$73 million in E/F and the value of some property along Rosemary Street was estimated at \$4 million an acre. Council Member Cianciolo emphasized the need to include more for AH in the budget, and said that he would not vote for it without that.

Council Member Greene stated that she felt strongly about the affordable housing component as well, and wondered if staff had completely understood the Council's priorities. She reviewed and praised the current Penny for Housing program, and said that the Housing Advisory Board (HAB) worked hard to apply the AH formula that the Council had approved. However, the HAB had come up short in 2016 and 2017 because of immediate needs, and had not been able to set aside funds for special projects, she said. Council Member Greene said that the HAB had made a compelling case for more money, and the community had expressed deep interest in investing in AH. She pointed out that the Town's inclusionary zoning ordinance was not designed to address the rental market, and urged staff to do better with the AH aspect of the budget.

Mr. Stancil completed his PowerPoint presentation, discussing future planning and pointing out that AH was an example of that. The Town had convened AH providers to try and establish performance measures to determine success in that area, and was developing a strategic plan, he said. He explained how "strategic plan prioritization" would use Council goals to guide work on the land use map, the LUMO rewrite, technology investments, and the focus on diversity and inclusion in workforce and community. He showed a chart that showed how the Council's strategic framework would create a logical process for how to allocate Town resources. Mr. Stancil also displayed a chart showing the Town's challenges, and the recommended budget resources to address them.

Lisa Van Deman, executive director at Kidzu Children's Museum, expressed gratitude for the Town's ongoing support, and said that Kidzu had continued to expand to meet community needs. She said that Kidzu's request for funding would support a tiered community engagement strategy, called "A Structure of Belonging" that would provide after-school and out-of-school outreach programs, with a focus on STEM learning and inter-generational family engagement, she said. Ms. Deman explained that the funds would directly support learning for more than 900 of the 13.4 percent of children and families living in poverty in Town. She mentioned seven local groups that were partnering in the initiative.

Maria Hitt, representing the Orange County Partnership for Young Children, described how her organization had been partnering with the Kidzu Museum on STEM-based learning. She mentioned an event during the previous summer that had drawn about 50 families who would not have otherwise been able to come to Kidzu. There was a need for the program, and she hoped the Town would consider the request, said Ms. Hitt.

Melanie Hatz Levinson, creative director at Kidzu, read notes written by Dr. Pat Parker, a professor at the UNC Department of Communications. The letter stated that two students from Dr. Parker's Collective Leadership course had partnered with Kidzu on a program to develop and strengthen its outreach efforts. Dr. Parker described the program, and said that her students were now eager to work with Kidzu in the fall to implement the STEM program, which she described as a vital benefit for children and families in under-served communities. In the letter, Dr. Parker asked the Council to strongly consider Kidzu's application.

Council Member Harrison said that he had expected some response in the budget to the public input regarding AH. The Town should build up a bank of funds, particularly considering the looming crisis with federal funding, he said. He said that the current Town staff was the most capable of addressing affordable housing that he had ever seen. Therefore, it was a good time to develop cash reserves through a certain amount of tax increase, he said.

Council Member Palmer raised questions about needed public housing repairs, but said that she would send detailed questions to staff. She agreed regarding the need for a major fund for AH, but said she did not want to continue doing the same thing because even \$1 million would not be enough. She said that she would like the budget to include a way to use or set aside funds for significant projects. Council Member Palmer discussed issues with current AH strategies. She recommended that "healthy community" also be listed under the Council's goals. If a crisis arose, where in its vision would the Council look for action, she asked, adding that there was no plan for the possibility of a large percentage of the community losing health insurance.

Council Member Palmer pointed out that recreation had not been mentioned in the budget, and she asked where that would belong. She wanted to think about affordable living, not just affordable housing, she said. She pointed out that transportation was also part of affordability, and said she wanted the budget to reflect the Council's concern and the efforts that it was making.

Council Member Parker said that the Town would not solve the problems by doing it on its own

at sub-optimal levels, he said. He stressed that the Town needed better coordination, and should leverage collective resources. He also said that everything the Town did seemed to be focused on building more housing, when there were faster ways of having a greater impact through providing direct subsidies for people to live in housing that already exists in Town. The Town could subsidize 12 people for a year with the amount of money it costs to build a unit of housing, he pointed out.

Council Member Anderson said she agreed with the suggestion to think about subsidizing, and approaches other than just building more housing. She would support more money for AH, but wanted to see a longer-term plan on how to achieve it, she said. Council Member Anderson also spoke in favor of looking at larger projects based on collaborations. She said she liked the idea of integrated housing, as long as the AH did not seem inferior to the homes around it. She probably supported more funding for AH in the budget, but wanted a better understanding of how it would be used, she said.

Council Member Anderson said she did not see anything in the budget regarding further modifications to E/F, and she asked for feedback regarding that. In addition, she noted a Council discussion about changing demographics and aging, and said she hoped the Town would find a way to support work that the Department of Aging was doing.

Council Member Oates cautioned that the Town should be very particular about who it partnered with on subsidies. She said that some developers who had renovated buildings had disappointed her in the way they had treated low-income residents. She pointed out that there were many good developers and landlords in Town, and urged the Council to be selective.

Mayor Hemminger said she agreed with Council Member Parker about partnering with Orange County, and with other possible partners such as UNC Healthcare. She mentioned the Green Tract, and said she would like to think about what collaborations on Town-owned land could look like. Mayor Hemminger pointed out that the Council had not seen the numbers to consider rent subsidies for different income ranges. She wanted to continue moving forward with economic development, and put some resources into managing a shared work space, she said. The Council was asking for a plan for AH, she said, and pointed out that just throwing more money at something did not necessarily mean it would work. Nor did doing the same thing over and over and expecting a different result, Mayor Hemminger said.

Council Member Greene noted an invitation to the Orange County Affordable Housing Coalition's May 19th meeting. The Town did have plans, and an AH strategy, she said, adding that those could be further refined.

Mayor Hemminger suggested that the budget allow for the possibility that the Town might lose \$1.4 million in sales tax, or lose CDBG funding. There has to be some ability to cover that, and the Town would not know the status of that funding until October at the earliest, she said. Mayor Hemminger commented that budgeting was hard work, and was even more difficult to do during extremely uncertain times.

APPOINTMENTS

6. [Appointments to the Community Design Commission.](#)

The Council appointed Edward (Ted) Hoskins and Polly Van de Velde to the Community Design Commission.

[Master Ballot](#)

7. [Appointments to the Environmental Stewardship Advisory Board.](#)

The Council appointed Andrienne Tucker, Gregory Ames and John Wallace to the Environmental Stewardship Advisory Board.

[Master Ballot](#)

8. [Appointments to the Housing Advisory Board.](#)

The Council appointed Millicent Bowie, Tai Huynh, Joyce Powell, Laura Cowan and Kayla Prestwood to the Housing Advisory Board.

[Master Ballot](#)

10. [Appointments to the Transportation and Connectivity Advisory Board.](#)

The Council appointed Jason Merrill, Ignacio Tzoumas and Joshua Kastrinsky to the Transportation and Connectivity Advisory Board.

[Master Ballot](#)

5. [Recommend a Chapel Hill Representative to the Orange County Animal Services Advisory Board to the Orange County Board of Commissioners. \(R-3\)](#)

No one selected yet and additional information was requested.

[Master Ballot](#)

9. [Appointments to the Planning Commission.](#)

The Mayor said the Council will have to bring it back again, however they did appoint John Rees and Amy Ryan to the Transportation and Connectivity Advisory Board to the Champions position.

[Master Ballot](#)

The meeting was adjourned at 9:11 p.m.

**DRAFT SUMMARY MINUTES OF A PUBLIC HEARING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, MAY 15, 2017, AT 7:00 PM**

Council Members Present: Mayor Pam Hemminger, Mayor pro tem Donna Bell, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Sally Greene, Council Member Ed Harrison, Council Member Nancy E Oates, Council Member Maria T Palmer, and Council Member Michael Parker.

Staff members present: Town Manager Roger L. Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Business Management Director Kenneth C. Pennoyer, Budget Manager Matt Brinkley, Assistant Business Management Director Amy Oland, Planning Director Ben Hitchings, Senior Planner Kay Pearlstein, Housing and Community Executive Director Loryn Clark, Police Officer Rick Fahrer, Fire Marshal Tommy Gregory, and Deputy Town Clerk Amy Harvey.

[AGENDA ITEMS](#)

1. [Open the Public Hearing: Recommended Budget for FY 2017-2018. \(no attachment\)](#)

Mayor Hemminger opened the public hearing at 7:00 p.m. She announced that the North American Travel Journalists Association was visiting the area, and would publish information about fun things to do in Orange County. Mayor Hemminger also mentioned the "Free the Mimosas" bill 155, pending state legislation that would allow restaurants to serve alcohol earlier on Sundays.

Council Member Greene announced an upcoming public meeting of the Orange County Affordable Housing Coalition at the Public Library.

Town Manager Roger Stancil gave a PowerPoint presentation on the Town's FY18 recommended budget. He said that it included no reductions or additions to current services. It addressed the Council's strategic priorities, and would keep employee compensation competitive with neighboring jurisdictions, he said. Mr. Stancil said that the neutral tax rate was 50.8 cents, a 1.6 cent reduction from the current rate. He explained that a revenue neutral tax rate meant that some people would pay more while others would pay less, or stay the same.

Mr. Stancil reviewed how the budget would address the Council's strategic priorities, which included maintaining the current level of investment in affordable housing (AH), planning for and managing the future, leveraging Town assets, addressing downtown improvements, replacing police headquarters, and funding stormwater and other infrastructure improvements.

Mr. Stancil said that the budget continued the Town's existing commitment of \$5.3 million for AH, DHIC funding, and support for the Northside Neighborhood Initiative. The Council would discuss other AH options at its Wednesday meeting, he said, adding that those would include a bond referendum, utilizing Town-owned properties, forming partnerships, and addressing

development regulations and fees. Staff was in the process of establishing performance measures and was beginning an employee survey of housing preferences, he said.

Mr. Stancil provided details on a proposed 2.5 percent raise for employees, as well as value added pay programs, and a proposed policy for six weeks of parental leave. He said that the recommended budget would continue existing health care benefits.

Director of Business Management Ken Pennoyer continued the PowerPoint presentation. He said that the total proposed FY18 budget was \$106.7 million, which was an increase of 1.5 percent. The General Fund would increase by 0.8 percent, Transit Fund would go up 12.3 percent, Parking Fund would go down 0.9 percent, Public Housing Fund would decrease 5.6 percent, and the Stormwater Fund would go up 15 percent, he said. Mr. Pennoyer explained that major revenues came from property taxes (up 0.3 percent) and sales taxes (up 6.9 percent). He pointed out that the Town could lose up to \$1.4 million in sales tax revenue from the state, but said that other state revenues were expected to stay about the same. The Town's Fund Balance use was down by about 0.3 percent, he said.

Mr. Pennoyer noted the staff recommendation to increase the stormwater fee by \$6.00 per 1,000 square feet of impervious surface. He said that on-street metered parking would increase by 25 cents per hour. He discussed Orange County's tax revaluation, and said that 45 percent of the homes in Town would decrease and 52 percent would increase. Mr. Pennoyer reviewed next steps in the budget process, which included three budget work sessions prior to adoption of a budget on June 12, 2017.

Mr. Stancil returned to say that staff was preparing responses to questions the Council had asked at its previous meeting. He hoped to deliver those replies the following day so the Council would have a chance to review them prior to its next work session, he said.

Council Member Cianciolo asked if a 29 percent decrease in fees assume that nothing would be built next year at Carraway Village, Obey Creek, and Glen Lennox.

Mr. Pennoyer replied that those projects had been factored in, and some fees had already been received.

Mr. Stancil explained how changes in state regulations had affected fees for building permits.

Council Member Palmer noted a 5.6 percent reduction in federal funds for housing, and asked how that might affect the Town.

Mr. Pennoyer replied that it would affect the Town's public housing support funds. The Town would use Fund Balance to make up part of the difference, he said.

Council Member Palmer clarified that the Town would not reduce what it spends on housing by that amount.

Council Member Oates confirmed with Mr. Stancil that the Town was working on obtaining

grant funds for the purchase of electric buses. Staff was preparing more detailed information to present to the Council the next day, he said.

Council Member Oates mentioned recent information about how the Town was attracting fewer families with children, and asked where those families were going.

Mr. Stancil replied that a fee had recently been enacted by Orange County to discourage larger apartments, which, in turn, had deterred high-density, multifamily projects. He posed one idea of perhaps partnering with others to rebuild a Town-operated property that would include more high-density units.

Mr. Stancil said that another way to address affordability would be to have an agreement among all entities in the County to waive fees for Affordable Housing (AH). He pointed out that the Town does waive those fees, and that it would make a great deal of money available for AH if all entities did so.

Council Member Anderson confirmed with Mr. Stancil that the Town's OPEB payment was included in the operating budget, and that he would provide detailed information in writing. Mayor Hemminger added that staff had moved it into a separate trust, so that it would be counted differently and the Town would receive more credit.

Mayor Hemminger clarified that HUD support would be going down by 12.4 percent. The Town's housing budget would be down only 5.6 percent because the decrease had been offset by a reduction in capital expenditures due to fewer major maintenance projects in the next year's budget, she said.

Dmitriy Nikitin, a graduate student at the Gillings School of Public Health, spoke in support of the Nickel for Housing proposal. He summarized his current financial situation, and said that AH was hard to find in Chapel Hill. Mr. Nikitin said that having students housed farther away from their schools led to poorer performance and social isolation. He urged the Council to go forward with the Nickel for Housing proposal.

Maggie West, speaking on behalf of the Orange County Affordable Housing Coalition, said that, as co-director of the Community Empowerment Fund (CEF), she worked every day with people whose lack of housing impacted many aspects of their lives. She wanted to remind the Council that AH had been identified as a major Town priority, and that a sense of urgency needed to be reflected in the Town's budget. Ms. West presented an argument for why increasing funding beyond A Penny for Housing was essential.

Yvonne Cleveland, a Chapel Hill resident, told about how she had obtained a home through Habitat for Humanity, and emphasized the importance of having AH in Town. She spoke in support of the Penny for Housing Fund, and said she was praying that the Council would find a way to increase it to a nickel. Ms. Cleveland mentioned people who had benefited from the AH Reserve Fund, but pointed out that there were many more who needed help. She submitted a petition from 66 people who were in favor of A Nickel for Housing.

Becca Zerkin , a Chapel Hill resident, offered her support for the Nickel for Housing initiative. She thanked Council members for their service, and for the kindness and thoughtfulness with which they led the Town.

Robert Dowling , executive director pf Community Home Trust, discussed the Trust's current inventory and thanked the Council for its ongoing support. He requested an \$11,270 increase in funding to meet the needs within the community for housing for very low income people. Mr. Dowling said that there was a growing scarcity of apartments that rent for \$500 a month or less, and that these were not being created through inclusionary zoning. He said that communities were relying more on local funding as federal subsidies decline or perhaps disappear. Mr. Dowling asked the Council to not view his request as ingratitude. The Community Home Trust was very grateful for all the support the Council had provided over many years, but was asking for more, he said.

Kathy Atwater, a Chapel Hill resident, said that the Northside Land Bank had acquired 18 properties through partnerships with Habitat for Humanity, Community Home Trust, and EmPOWERment, Inc., and had 16 units of AH in process. As a life-long Northside resident, she had seen many changes, and was now seeing positive ones, she said. Ms. Atwater pointed out that many who once lived in Northside, but had moved away, were coming back because of the AH that was being provided there.

Jared Brown Rabinowitz, a Housing Advisory Board (HAB) member, urged the Council to adopt the Nickel for Housing initiative, and added that the HAB thought the Opportunity Fund portion of that was key. He pointed out that the Council had an opportunity to prevent the kind of "gentrification" that he had seen take place in other communities.

Mayor Hemminger noted that the Council had also receiving input from many via email and phone. Citizens would have many more opportunities to comment as the Council dove deeper into some aspects, such as AH, at works sessions, she said. Mayor Hemminger stressed that the Council took all comments into consideration when trying to figure out how to make Town resources match Town values.

CONCEPT PLAN REVIEWS

2. [Concept Plan: Amity Station, Mixed-Use Development, 322 West Rosemary Street \(Project # 16-095\). \(R-1\)](#)

Director of Planning and Development Services Ben Hitchings reviewed changes to the concept plan review process. He then gave a PowerPoint presentation regarding Amity Station, a three-parcel site on West Rosemary Street. He noted that the site was in Focus Area 1, and the Town/Village Center Medium Residential and the Residential 3 zoning categories. Mr. Hitchings pointed out that the concept plan was the third that the applicant had submitted since 2015. He displayed a table comparing the three plans, noting that the greatest change had been a reduction in height. He said that the applicant had submitted an alternative proposal for the site as well, and that it included five site plans.

Mr. Hitchings reminded the Council that the Town was in the process of finalizing a West Rosemary Street Development Guide, and he pointed out that the Amity Station was in the middle of that guide's study area. He reviewed Housing Advisory Board and Community Design Commission comments and showed a rendering of the front elevation. The applicant was anticipating needing to rezone the R-3 portion of the site to TC-2 as well, and was asking for a height variance based on the density bonus for floor area related to the AH proposal. Mr. Hitchings recommended that the Council adopt R-1, transmitting comments to the applicant.

Jared Martinson, an architect with MHA Works, gave a PowerPoint presentation regarding Amity Station. He reviewed a process timeline, which ran from a community meeting in 2014 to the present, and showed a list of the many meetings and focus groups in which MHA Works had participated. He said that the plan had improved due to that input, and he showed the differences between a previous concept proposal and the current one. Mr. Martinson said that the new plan attempted to apply the ideas of the Northside Conservation District. Amity Station would be a bridge between the neighborhood and the downtown, he said.

Mr. Martinson pointed out that the project contained both market rate and affordable housing (AH) as well as commercial office space. It proposed a streetscape that would engage the public way, flexible interior spaces, and a courtyard that could be defined by residents of the building, he said. He listed several community benefits that the project would bring.

Andy King, of MHA Works, continued the PowerPoint presentation, explaining that the proposal was for approximately 35 AH units, and that a yet-to-be-determined, non-profit partner would participate in the design of an integrated, mixed income, mixed use development that manifests the community's AH goals. He pointed out that the applicant did not plan to build about 100,000 square feet of the density bonus that would be allowed for the amount of AH he was offering.

Mr. King described a welcoming ground floor that would encourage an active streetscape with multiple small retail spaces. He showed design approaches that would break down the scale of the building, described the commercial and office space areas, and showed images of a typical entrance, facade, and internal spaces. Mr. King showed photos of Nunn Alley as it currently was adjacent to renderings of proposed area improvements. He emphasized that nothing in the proposal would change Nunn Alley itself.

Mr. Martinson discussed additional benefits, which included community uses, job creation, interior/exterior public art, and way-finding and culture. He showed examples of other projects that MHA Works had designed.

Dan Jewell, of Coulter Jewell Thames PA, said that Amity Station proposed a diverse, multi-generation, mixed-use building that offered more than 15,000 square feet of commercial and office space, and compelling community benefits. He requested that the Council ask the Town Manager to initiate a development agreement (DA), rather than a special use permit (SUP) process, in order to allow a continued open dialogue throughout the design and approval process. A DA would allow the project to more deeply involve the developing principles of the West Rosemary Street Development Guide, Mr. Jewell said.

Council Member Anderson verified with Mr. Martinson that the proposal included working with a non-profit AH developer throughout the design process. The applicant would pay for all design fees, donate the land, and build the building, and an AH non-profit developer would then purchase it, Mr. Martinson said.

The applicant, Larry Short, explained that he would donate the land and pay the soft costs to get the project through the process. He would also pay for the infrastructure for AH and would finance the construction of that, he said. He would be selling the "sticks and nails," meaning all that was not included in that, to an AH provider, he said.

Council Member Anderson said there had been much community input about things that were not being addressed. Not much had changed, so she did not understand why the project was back again, she said.

Mr. Martinson replied that there had been changes in the square footage, and that the new concept included more office and retail.

Council Member Anderson asked staff how many concept plan changes the Council had to look at.

Mr. Hitchings replied that there was a minimum waiting period with some proposals before the Council would hear an item again. However, that was not the case with concept plans, which could be resubmitted with no minimum or maximum waiting period, he explained.

Mr. King pointed out that the 2015 plan had included a significant number of four-bedroom units, which the applicant had since eliminated because of the Town's request to discourage students. In addition, the applicant had conceded to an age restriction of 21 (college juniors), Mr. King said.

Council Member Cianciolo confirmed with Mr. Short that nothing would be off the table during a DA discussion.

Council Member Parker asked if the office space would be market rate or subsidized, noting that incubator and start-up companies could not afford to pay the going rate per square foot.

Mr. Martinson replied that there was about 6,000 square feet of dedicated commercial office space on the Nunn Alley elevation, roughly 10,000 square feet of flexible office space with a minimum of 1,000 square feet dedicated to affordable commercial use. Beyond that, there were a number of ideas in the development guide regarding opportunities for affordable office and commercial space that the applicant wanted to discuss with the Town, Mr. Martinson said.

Council Member Parker asked what the applicant's justification was for going beyond the four-story limit that was in the Northside Neighborhood Conservation District guidelines.

Mr. King replied that they could bring it down at least two stories if they remove the Affordable

Housing (AH) component and the additional office space that was currently being proposed. Those elements had ebbed and flowed during discussions and were all still on the table, he said.

Mr. Martinson said that the current plan provided the most community benefit. If the height were decreased, then the AH and commercial space would decrease, he said.

Council Member Greene said she agreed that there were trade-offs and a balancing act that must be accommodated. She confirmed with Mr. Martinson that MHA Works would share its numbers during a DA process.

Council Member Oates confirmed with Mr. Short that the AH building would be sold to a non-profit for the cost of constructing the building. She also confirmed with him that he would be transparent with those numbers.

Mr. Short pointed out that the AH would be sustainable with Section 8 vouchers because a non-profit would not have to pay real estate taxes.

Council Member Oates asked about the Nunn Lane access agreement and Town Attorney Ralph Karpinos said that he would check Town files. There was public access through there, but it was not wide enough to be a road, he said.

Mayor Hemminger clarified that Nunn Lane was wide enough for cars, but that Nunn Alley, at the other end was only wide enough for pedestrians.

Council Member Oates asked if there was an agreement with the Town regarding the property in the middle, and Mr. Karpinos agreed to check Town files. He said he thought there was an agreement to keep Nunn Alley open as a public pedestrian walkway from Rosemary Street, but it was not wide enough to be a vehicular access.

Council Member Oates asked about the applicant's five alternative plans, and Mr. Martinson replied that the team had submitted five separate site plan applications to staff for review. They had been exploring other options, but the one being presented was the preferred concept, he said.

Mayor Hemminger confirmed with Mr. Jewell that stormwater would be handled under the buildings, parking lot, and courtyard.

Craig Knight, a Chapel Hill resident, said that his great-grandmother had owned the lot that his uncle PH Craig currently owned. He shared some of his memories of the property before and after his uncle and the Town had improved the area. Mr. Knight requested that the Town widen Nunn Alley to the minimum standard of 27 feet, with a sidewalk and lighting. The concept plan being presented would greatly harm his uncle and his uncle's property, he said.

PH Craig, owner of two properties in the area, said that the applicant had previously proposed widening Nunn Alley enough for a fire truck, but he did not want to allow him to use it. He said

that he would like to see a 27-foot wide road with sidewalk, lights, curb, and gutter there. It was time for the Town to correct the way the alley had been laid out 100 years ago, he said. Mr. Craig added that building six stories next to that little alley would decrease the value of surrounding properties. He was against the "gigantic" project as proposed, he said, stating that it would go back farther into the residential area than any other proposed project.

George Berrett, a Northside resident representing the Marion Cheeks Jackson Center, reviewed the history of the applicant's proposals, and pointed out that the Council had said it would not approve a plan until those who had spoken against it at meetings were speaking in favor of it. He was one of those who had spoken against it and was still not excited about the concept plan, he said.

Mr. Berrett described nearby Shortbread Lofts and said it was hard to trust that a commercial space by the same developer would be an asset to the community. Neighbors had asked for an age restriction of 22 years or higher, he pointed out. He said that six to seven stories went against the vision in the Rosemary Imagined Plan and the West Rosemary Street Development Guide. Mr. Berrett urged the Council to look at whether the applicant had accomplished what the Council had charged him to do.

Hudson Vaughan, representing the Marion Cheeks Jackson Center, read a letter from the Northside neighborhood and Friends of Northside, which included 77 signatures from those who were concerned about the Amity Station concept. Mr. Vaughan said that the concept plan was largely unchanged after a year of feedback from the neighborhood, and despite the Council's instructions to not return until it had the neighborhood's support. Mr. Vaughan gave several examples of areas where the applicant had not responded to feedback, and to requests for information.

Kathy Atwater continued reading the letter from Northside, which stated that developers had come back to the Council with a third concept plan despite neighbors having told them that it was not what they wanted to see in the area. Therefore, the Northside community felt duly apprehensive about the developer's commitment to promises going forward, she said. Ms. Atwater read that it was unreasonable to ask Northside to continue participating in a process where community perspectives were not directly incorporated into planning. She said that the concept being proposed was not consistent with the Council's vision of a vibrant, diverse, family-friendly Northside and Rosemary Street.

Ray Falk, a Chapel Hill resident who lives at the northeast corner of the Amity Station site, said that the proposed height seemed comparable to what was already there and that he did not object to it. Mr. Falk said that he understood that Nunn Alley would be left as it was.

Council Member Cianciolo said that he had the sense that the neighbors did not think Amity Station was "ready for prime time." He had been to a number of community meetings and had sensed the frustration, he said, adding that some on the Council also felt that they kept seeing the plan without enough changes. Council Member Cianciolo said he was strongly in favor of trying a DA, through which all could quickly find out if there was potential for common ground.

Council Member Harrison said that he had walked the area and tried to imagine what the Amity Station building would look like. Because there was a 30-foot, or so, difference in ground elevation between the site and the bottom of Shortbread Lofts, it would seem much taller than the proposed six to seven stories, he said. Council Member Harrison pointed out that reducing height was one possibility in a DA. He was in favor of a DA because that would keep the dialogue open, he said.

Council Member Anderson expressed frustration over seeing such a little amount of change after so many meetings. She expressed concern that the community would grow tired, and said that she was puzzled by why the concept plan was before the Council again without neighborhood input being incorporated. Seeing the same thing over and over was taking time away from other things the Council could be doing, she said.

Council Member Anderson said she was a little wary of entering into a DA process and agreeing to a plan because all were worn down and the neighbors had stopped showing up. She also commented on problems with data in the Council's packet and said it caused her to doubt other information presented.

Council Member Greene expressed concern about the lack of agreement between the applicant and the neighbors. She was in favor of offering a DA, but wanted to be clear that a DA does not necessarily end with a contract, she said. If the applicant was realistic about trade-offs and about what the real values were, then there was some potential for some agreement, she said.

Council Member Parker said that the design was substantially the same as in the previous concept plan presentation, so his comments from then were still valid. If the applicant was ready to proceed, and would otherwise file for a rezoning and SUP, then a DA would be preferable, he said. Council Member Parker said that DA conversations would address trade-offs, and that the Town would need transparency on the numbers.

Council Member Palmer expressed support for a DA, adding that the goals did not seem that far apart. Raising the age restriction from 21 to 22, and from junior to graduate, would not be a great difference, she said, and noted that there had been no age limit in the previous concept plan. The applicant was moving in the right direction, and she did not have a problem with more height if an entire building of AH was the return, she said. Council Member Palmer said that she did not think that the neighbors and the Jackson Center would get tired of fighting because they were committed to seeing something good come out of negotiations.

Mayor pro tem Bell said she supported the idea of a DA and that the Council had to make decisions about how to balance its interests. It was difficult to come up with a shared project if you do not have shared interests, she pointed out. Mayor pro tem Bell said that it was the Council's job to decide if wider Town priorities could be addressed by this one piece of land. She expressed gratitude to the Jackson Center and EmPOWERment and said that the development team had been very kind and had tried to be as open and thoughtful as possible. Mayor pro tem Bell said that she liked DAs because participants negotiate only what needed to be negotiated, and she proposed that the Manager return with a plan for one for Amity Station.

Council Member Greene stressed that a DA must absolutely include an AH provider as an essential component. She pointed out that such negotiations address what retail space entails, and noted that Northside residents had expressed disappointment with the types of businesses that occupy the first level at Shortbread Lofts.

Council Member Oates said she liked the building's exterior, and that the interface with Northside had been much improved. She noted that the flex space was vague, and said it needed to be something that engaged and improved the neighborhood. She wondered how parking would be prevented from becoming commuter parking, and if provisions would be made for AH parking. The applicant needed to make sure it was not restricting access to PH Craig's property, she said.

Council Member Oates suggested that the applicant think about how the plan fit in with the Rosemary Street Development Guidelines. She pointed out that low-wealth graduate students need housing, and said that raising the age limit to 22 would not limit the market. The fact that Mr. Short already owned the land meant that he could be more flexible with what the community wanted, she said. Council Member Oates said that she did not see much difference from the last concept plan.

Council Member Anderson said that she would want to nail down details of the AH component in a DA. She would also want the Council to think carefully about the idea of office/retail space that was not popular being turned into market-rate housing. In addition, the applicant's idea of reserving the right to switch to condos in the future needed scrutiny, she said. Council Member Anderson said she wanted to know what the inclusionary zoning ordinance would mean if the AH portion were sold to somebody else.

Council Member Harrison compared neighborhood participation and sentiment during the Obey Creek and Glen Lennox DAs and said it seemed as though Northside residents were assuming something much more intense. That lays the grounds for a DA, he said.

Mayor Hemminger said that the project seemed massive to her. She pointed out that the commercial space needed to be activated. A DA would be okay, she said, adding that the plan still needed to address height, age restriction, commercial space, and parking for the AH units.

Mayor Hemminger asked staff about the applicant's five-lot concept plan, and Mr. Karpinos replied that the plan was not clear, but was something that the applicant could build by right.

Council Member Parker asked what the plan contained, and Mr. Martinson described a mixed-use project of four-story buildings that would each stand alone, and have their own parking.

Council Member Oates commented that the five-lot plan looked like it would bring a lower return on investment. She asked why the applicant would not, therefore, make enough modifications in the current plan to satisfy the neighborhood.

Mr. Martinson replied that they were not certain it would bring a lower return. Mr. Short could

build the five buildings by right, and would not have to provide any community benefits, he said.

Council Member Anderson verified that the applicant had not shared the alternate plan with the Northside neighborhood.

They had spoken about a by-right option early in the process but had not, at that time, looked at what it might be, Mr. Martinson said.

Council Member Cianciolo asked why the applicant would ask the manager and staff to spend time and energy working on a DA if they knew they might go forward with an alternate plan. "You can't have it both ways," he said, and advised the applicant to either move forward with the alternate plans, or put them on hold until they see where the DA is going.

Mr. Jewell replied that the alternate five plans were what they could fall back on if the DA fell apart. Mr. Short would not enter into a six-figure application fee for a DA, and spend so much design time on it, if he did not intend to end up with a better product in the end, he said. The five site plans were simply a fallback position if nothing else could be built on the property, said Mr. Jewell.

Council Member Palmer said that it would be a big loss for the Town if the Council was so intransigent that developers started building all that they could by right. She did not want more student rentals, she said, stating that the applicant could make a lot more money building those than he could with family housing and affordable commercial. She hoped to do the DA and avoid that, Council Member Palmer said.

Mayor pro tem Bell asked if staff was reviewing the five site plans.

Mr. Hitchings replied that staff was in the process of determining whether the application was complete and whether it was a common development or five distinct projects. The answer to that would determine next steps, such as whether or not the applicant needed to apply for a SUP, he said.

Mayor pro tem Bell ascertained from Mr. Hitchings that staff work would take approximately six to 10 hours and would involve several staff members. She asked if that would be a good use of staff time if the Council decided to proceed with a DA.

Mr. Hitchings replied that the Town had an obligation to review applications that come in.

Council Member Cianciolo said he would feel better if the applicant halted the review of other applications during the DA process. Doing so would show that they were committed to the DA, he said.

Mayor pro tem Bell said she wondered why Council members were hearing about another concept plan when they and the applicant had just agreed to the shared benefits of having a DA.

Mayor Hemminger explained that she had wanted to make sure that Council saw the alternate plan, since she could not speak on the Council's behalf about what its interest was. The applicant had the right to file an alternate plan, and staff was working on it, she said.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ADOPT R-1. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR AMITY STATION, MIXED USE DEVELOPMENT, 322 W. ROSEMARY STREET \(2017-05-15/R-1\)](#)

The meeting was adjourned at 9:35 p.m.

**DRAFT SUMMARY MINUTES OF A BUSINESS MEETING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, MAY 22, 2017, AT 7:00 PM**

Council Members Present: Mayor Pam Hemminger, Mayor pro tem Donna Bell, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Sally Greene, Council Member Ed Harrison, Council Member Nancy E. Oates, Council Member Maria T. Palmer, and Council Member Michael Parker.

Staff members present: Town Manager Roger L. Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Communications Manager Catherine Lazorko, Principal Planner Judy Johnson, Planning Director Ben Hitchings, Senior Planner Kay Pearlstein, Assistant to the Manager Rae Buckley, Transportation Planning Manager Bergen Watterson, Police Chief Chris Blue, Support Services Captain Josh Mecimore, Downtown Special Project Manager Sarah Poulton, Manager's Intern Toney Thompson, Fire Marshal Tommy Gregory, Police Officer Rick Fahrner, Assistant Town Clerk Beth Vazquez, and Deputy Town Clerk Amy Harvey.

OPENING

Mayor Hemminger opened the meeting at 7:00 p.m.

Proclamation: Police Memorial Day.

Council Member Oates read a proclamation recognizing May 15, 2017 as Peace Officers Memorial Day, and the week of May 15-19 as National Police Week. The proclamation commended Town police officers for their courage and devotion, and for risking their lives to enforce the law and ensure public safety. The proclamation, also honored those who had fallen or become disabled in the line of duty, and recognized their families' sacrifices.

Council Member Oates invited all to attend the 2017 Orange County Peace Officers Memorial Service on May 30, 2017 at the Chapel Hill Police Department.

Police Chief Chris Blue and Police Captain Josh Mecimore received the proclamation, and Chief Blue asked Captain Mecimore, commander of the Honor Guard, to make remarks.

Captain Mecimore thanked the Town on behalf of its law enforcement employees. He said that such praise and appreciation would encourage an already motivated workforce. The knowledge that those they serve recognize the difficult task they have undertaken, and the dedication and professionalism with which they carry it out, was of the utmost importance to Town employees, he said. Captain Mecimore thanked the Town Council for recognizing the dedication and service of Detective Ted Cole, who had died in service to the community in 1969.

ANNOUNCEMENTS BY COUNCIL MEMBERS

- a. [Mayor Hemminger Regarding Navy Band Memorial Marker Installation and Reception on Saturday, May 22.](#)

Mayor Hemminger announced that Mayor pro tem Bell would represent the Council at a ceremony to install a historical marker to recognize an African American band that had served in the U. S. Navy. She said that the ceremony would be on May 22, 2017 at 10:00 a.m. at the intersection of West Franklin and South Roberson Streets and that a reception would follow at the Hargraves Center.

- b. [Mayor Hemminger Regarding Orange County Peace Coalition Memorial Day Commencement.](#)

Mayor Hemminger said that the Orange County Peace Coalition would hold a Memorial Day Commencement at the Chapel Hill Public Library from 2:00-3:30 p.m. on Memorial Day. The ceremony would focus on immigrants and refugees as victims of war, she explained.

- c. [Mayor Hemminger Regarding Orange County Veterans Memorial Groundbreaking Ceremony.](#)

Mayor Hemminger announced that the Orange County Veterans Memorial Groundbreaking Ceremony would take place on November 10, 2017, from 3:00 to 4:00 p.m. at the Southern Human Services Campus.

- d. [Mayor Hemminger Regarding Light Rail Station Area Planning Joint Advisory Board Session on May 24.](#)

Mayor Hemminger announced a Light Rail Station Area Planning Joint Advisory Board session from 5:30 to 8:00 p.m. on May 24, 2017 at the Chapel Hill Public Library. She said that the consulting team would be there to solicit comments from the Town's Development Review Board regarding the gateway site.

- e. [Mayor Hemminger Regarding Food for Summer Website and Volunteers.](#)

Mayor Hemminger mentioned that the Food for Summer website was available for people to sign up for volunteer shifts. She explained that there were 20 sites across Town where volunteers could help bridge the meals gap for children who receive free or reduced lunches during the school year.

- f. [Council Member Parker Regarding Introduction of Visiting Doctor from China Observing Local Government.](#)

Council Member Parker introduced and welcomed Eusin Wu, a visiting scholar from China who was attending the Council meeting. Dr. Wu was studying how the United States makes laws, and had come to observe how a town council does business, he said.

- g. [Council Member Harrison Regarding Death of Longtime Northside Resident Estelle Mabry.](#)

Council Member Harrison said that Estelle Mabry, a longtime Northside resident, had recently passed away. Ms. Mabry was one of the first people he had been sent to talk with during his early years on the Council, he said. She had represented Northside residents for many years, he said, adding that he was sad about her passing, but glad that he had gotten to know her.

[CONSENT](#)

1. Approve all Consent Agenda Items. (R-1)

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY MAYOR PRO TEM DONNA BELL, TO ADOPT R-1. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES \(2017-05-22/R-1\)](#)

2. Approve Miscellaneous Budget Ordinance Amendment to Adjust Various Fund Budgets for FY 2016-17. (O-1)

[AN ORDINANCE TO AMEND “THE ORDINANCE CONCERNING APPROPRIATIONS AND THE RAISING OF REVENUE FOR THE FISCAL YEAR BEGINNING JULY 1, 2016” \(2017-05-22/O-1\)](#)

3. Call a Public Hearing to Consider a Land Use Management Ordinance Text Amendment to Section 5.1.3 for June 19, 2017. (R-2)

[A RESOLUTION CALLING A PUBLIC HEARING FOR MONDAY, JUNE 19, 2017 TO CONSIDER A LAND USE MANAGEMENT ORDINANCE TEXT AMENDMENT TO AUTHORIZE THE TOWN MANAGER TO REVISE AND MAINTAIN THE PUBLIC WORKS ENGINEERING DESIGN MANUAL \(2017-05-22/R-2\)](#)

4. Support Legislative Efforts to Raise the Minimum Age of Adult Criminal Prosecutions in North Carolina to 18 Years. (R-3)

[A RESOLUTION IN SUPPORT OF LEGISLATIVE EFFORTS TO RAISE THE MINIMUM AGE OF CRIMINAL RESPONSIBILITY TO EIGHTEEN YEARS \(2017-05-22/R-3\)](#)

[INFORMATION](#)

5. [Receive Upcoming Public Hearing Items and Petition Status List.](#)

All reports were accepted as presented.

DISCUSSION

6. [Consider an Application for a Zoning Atlas Amendment - 302-304 Ransom Street and 301 McCauley Street. \(R-4\)\(O-2\)\(R-5\)](#)

Senior Planner Judy Johnson provided a PowerPoint overview of the Zoning Atlas Amendment (ZAA) application for a half-acre lot in the Cameron-McCauley Historic District. She reviewed the request to subdivide a larger lot and rezone a half-acre portion from Residential 4 to Residential 5 to create a more logical subdivision, and sell each structure separately. Ms. Johnson recommended that the Council adopt R-4 and enact O-2.

Council Member Oates confirmed with Ms. Johnson that any future owner would need Historic District Commission approval to change the number of dwelling units, square footage, height, setback, or other ordinance restrictions.

COUNCIL MEMBER MARIA T. PALMER MOVED, SECONDED BY COUNCIL MEMBER SALLY GREENE, TO CLOSE THE PUBLIC HEARING. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

COUNCIL MEMBER MARIA T. PALMER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ADOPT R-4. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION REGARDING THE CHAPEL HILL ZONING ATLAS AMENDMENT FOR 302-304 RANSOM STREET AND 301 MCCAULEY STREET AND CONSISTENCY WITH THE COMPREHENSIVE PLAN \(PIN 9788-24-7882, PROJECT #17-006\)\(2017-05-22/R-4\)](#)

COUNCIL MEMBER MARIA T. PALMER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ENACT O-2. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[AN ORDINANCE AMENDING THE CHAPEL HILL ZONING ATLAS FOR 302-304 RANSOM STREET AND 301 MCCAULEY STREET \(ORANGE COUNTY PARCEL IDENTIFIER # 9788-24-7882, PROJECT#17-006\)\(2017-05-22/O-2\)](#)

7. [Consider Adopting the West Rosemary Street Development Guide as a Component of the Comprehensive Plan. \(R-6\)](#)

Director of Organizational and Strategic Initiatives Rae Buckley gave a PowerPoint presentation regarding the West Rosemary Street Development Guide, and an option to adopt it as a component of the Chapel Hill 2020 Comprehensive Plan. She said that the Planning Commission (PC) had recommended adding a vision statement and a Dos and Don'ts section, which she then explained. Ms. Buckley said she had developed the Dos and Don'ts with the

help of EmPOWERment, Inc., the Marion Cheek Jackson Center, and community members. Hudson Vaughan, executive director at the Jackson Center, had recently edited some of the content, she pointed out, and said that the PC had recommended that Council look over the new material carefully before adopting the guide.

Ms. Buckley gave a project overview, and discussed components of the guide, section by section. She said that public feedback had generally been about creating a regulatory framework (adding "teeth") and closing the gap between what the Northside neighborhood wanted, and what the market could provide. She addressed each of those considerations, and discussed fiscal impacts and resources. Ms. Buckley reviewed Town board recommendations, and said that staff's final recommendation was to adopt the West Rosemary Street Development Guide, including the Dos and Don'ts and Vision Statement, as a component of the Chapel Hill 2020 Comprehensive Plan.

Council Member Parker confirmed with Ms. Buckley that the Council would be voting on the revised Dos and Don'ts that Mr. Vaughan had sent in over the weekend.

Mayor Hemminger confirmed with Ms. Buckley that the public had not had much opportunity to see that revised version. However, it was on the Town website, Ms. Buckley said, and Mayor Hemminger had staff bring it up on the screen.

Council Member Cianciolo asked who had participated in the Dos and Don'ts stakeholder meeting, and Ms. Buckley said five or fewer long-time neighborhood residents, two Council members, Jackson Center and EmPOWERment staff members, and people who were there to describe an art project. Council Member Cianciolo verified that no one from the greater community had attended. He pointed out that Rosemary Street was an asset for the entire Town.

Ms. Buckley replied that there was nothing new that had not been part of the larger public process.

Council Member Harrison confirmed that the Council would be adopting the Implementation Plan as part of the Development Guide. The implementation phase would include codifying what the Town could and figuring out what it could not, he said. Council Member Harrison said he was not sure how the Town would provide community benefits without codifying that in some way. With respect to "by right" land use, in particular, there would have to be something in code, which he could not see any way to achieve outside of a rezoning, he said.

Ms. Buckley replied that staff was trying to provide information on tools that other communities had used to try to get at that issue. Staff had examples to look at, but needed to do some further exploration, she said.

Council Member Greene said she understood a community benefit agreement to be a contract, like a development agreement (DA). So, it would be a promise, as with any legally-binding agreement, she pointed out, and asked with whom the agreement would be.

Ms. Buckley replied that the agreements she had looked into were between developers and community groups. However, there was likely flexibility to decide among parties in a contract, she said.

Council Member Greene confirmed that there had been no discussion regarding who would represent the neighborhood.

Ms. Buckley stated that the cultural resources plan seemed doable, but the community benefits agreement needed further study and conversation.

Council Member Greene said she agreed with Council Member Cianciolo's view that the entire Town had a stake in Rosemary Street. The planning question was whether it was possible to develop a vibrant commercial and economic development corridor along West Rosemary that would be consistent with the vision statement of the Northside Neighborhood Conservation District (NCD), she said. Council Member Greene confirmed with Ms. Buckley she was working with that vision.

Ms. Buckley said that she was excited about the potential of having Northside as an asset. The Town had made an incredible amount of investment in that neighborhood, she pointed out. The intent behind the guide was to leverage that, to continue it, and to see some returns, she said.

Mayor pro tem Bell said that some things in a community benefit agreement would be similar to what the Town would negotiate in an SUP process. It seemed like things had already occurred in Town that would fit the description of a community resource plan, she said. The Town was continuing to identify what those things were, and some might be projects in which the Town would want part ownership, she said. For example, it might include improvements to the Hargraves Center, which the Town had identified as a priority. There were things, too, to which she could imagine developers easily agreeing, she said.

Mayor pro tem Bell pointed out that Rosemary Street had once been the only place where African Americans were allowed to have businesses. As a result, their ability to grow wealth had been greatly impeded, she said, and stressed the need to consider that history when developing that part of Town. Mayor pro tem Bell pointed out that not all decisions the Council made benefit everyone in Town equally. There was a definite understanding in Northside that change was coming, but there was also hope that there would be consideration of their history, and that Northside would be a place where wealth could be built, and accessible to those to whom it had not always been in the past, said Council Member Bell.

Council Member Palmer said that the NCD had taken some of the wealth away from the Northside community by creating a situation where property was worth less because it could not be developed. She did not see how the current plan would create wealth for the African American community, she said, but she added that this did not mean she wouldn't support it.

Council Member Palmer verified with Ms. Buckley that buildings over four stories, which were on the Don'ts list, were also in the regulations and code. She said that the guidelines would tell an applicant who plans to negotiate a DA or apply for an SUP that s/he would be more likely

to get approval when meeting some of the things listed in the guide. However, it did not make sense to have expanding the Hargraves Center as a guideline for developing Rosemary Street, she said. Council Member Palmer proposed that the guide should tell developers how to comply with downtown and Northside regulations.

Ms. Buckley agreed, and said that the regulation regarding height was in the current zoning overlay. With regard to investing in Hargraves, such an investment would link to the longtime interest and community conversation about how to create more greenspace and active community spaces in the downtown district, she said.

Council Member Palmer said she understood that the community wanted the Town to invest in the Hargraves Center. However, the guide pertains to Rosemary Street, and Hargraves is not located there, she said.

Ms. Buckley referred to "the planning question" of where the dividing line was between downtown and Northside, and the effort to think about all of the opportunities, if the area were viewed as a whole. She said that Northside residents cared about how development would interact with their neighborhood, and that planners had identified opportunities for new development to create a sense of community, in the footprint or otherwise.

Council Member Greene mentioned that she had been on the committee that had originally recommended the Northside NCD. That project had involved much discussion about whether the commercial side of Rosemary Street should even be in the NCD, she said, explaining that the residents had wanted commercial development, but wanted it to be an extension of their neighborhood. Council Member Greene said she agreed with Mayor pro tem Bell that the Northside neighborhood needed special attention.

Council Member Palmer said that all made sense, but not in the context of guidelines for developing West Rosemary Street.

Council Member Parker explained the notion that West Rosemary Street was embedded in the Northside community. Therefore, as the street develops and benefits are created, some of those benefits should be shared with the broader community. That was what the Community Benefit Agreement was trying to achieve, he said.

Council Member Palmer replied that she was beginning to understand it better, but thought there should be a statement about how money resulting from the development of West Rosemary Street would stay in the Northside neighborhood for developing recreational facilities and community spaces.

Mayor Hemminger pointed out that the guide says "contribution," which could be a payment or actual physical work.

Council Member Palmer said that it would be clearer and have more "teeth", if it could be in the code.

Council Member Cianciolo said that the Community Benefit Agreement seemed like a separate negotiation. He praised the guide, but said that it still did not make it clear to developers what it would take to do development there. Council Member Cianciolo said he was opposed to including the guide in the Comprehensive Plan because people see the Comprehensive Plan as fixed rules, and a lot of the Dos and Don'ts were negotiations. He proposed saying that the guide was what the Town expected.

Meg McGurk, executive director of the Downtown Partnership, commended the process, and expressed support for the guide, but said that some areas needed further consideration. Northside was an asset to the community and the guide met the vision of the Northside NCD, but it contained contradictory elements with respect to private investment and economic activity, she said. As it stood, it would be impossible for developers to not "cherry pick" from the guide, said Ms. McGurk. She said that she and the Partnership's membership were committed to making the plan work.

Council Member Palmer confirmed with Ms. McGurk that she was recommending that the Council move forward, but had some questions.

Ms. McGurk replied that the Dos and Don'ts represented Northside's vision and that recent suggestions from the Jackson Center had modified and improved that. She said that many of the questions that people had would be worked out through the very clear implementation plan that is also in the guide.

George Barrett, a Chapel Hill resident, read a statement from Delores Bailey, executive director of EmPOWERment, Inc., regarding her concerns about the future of Northside. Ms. Bailey stated that she was particularly concerned about the neighborhood having changed so much that students thought it belonged to them, and that the permanent residents were intruding. Ms. Bailey stated in her letter that allowing development on Rosemary would harm the Northside community. Where else in Town do businesses sit in homeowners' yards, she asked. She included examples of problems that could arise from having commercial businesses so close to the neighborhood.

Mr. Barrett, speaking as a Northside community member, said that the guide was very clear and direct, and based on previous plans and communications. He recommended keeping some version of the Dos and Don'ts because they provided specificity and reflected community views and voices that had been consistent over many years.

Brandon Pendergraft, a Chapel Hill resident whose father was developing a building on Church Street, commented on the task of weighing the effects of development on a community against the economically prosperous area that could result. He said that he had grown up in Northside and wanted prosperity there, but he pointed out that the neighborhood had become smaller and changed in many ways. Mr. Pendergraft said he supported the Dos and Don'ts, but thought that improving Hargraves should be done in another way.

Clem Self, a lifetime Northside resident whose parents had been the fifth family to live on North Graham Street, discussed changes to the community over the years and the "horrendous" traffic

increase that had resulted. "This is a neighborhood - not just a bunch of people that will be behind a wall," she said. Ms. Self told Council members to stop and think about who the developers are, adding that many of them did not even live in Town. Northside residents were the ones who pay the taxes and vote, she said. She asked Council members how they would feel if a similar situation were occurring in their neighborhoods.

Council Member Anderson said that she supported the Dos and Don'ts, but was struggling to understand what the implications would be without the implementation plan. One should inform the other, she said, adding that the implementation guide would address what could realistically be done. She said that it would be appropriate to use municipal funds to get community benefits, but the Council needed to understand those numbers. The Dos and Don'ts should be informed by what was possible, she said. Council Member Anderson stated that she was "okay with not having huge amounts of development in the area."

Council Member Parker confirmed with Ms. Buckley that a time-frame for the implementation plan had not yet been established. He congratulated her and staff for their impressive work, but expressed concern that many elements would require contributions from developers and the Town, and pointed out that there was no idea what the magnitude of those subsidies might be. Council Member Parker said he was "horribly concerned" that the Development Guide was making promises that the Town did not yet know it could keep. He was not advocating against moving ahead, but wanted the implementation plan to go forward as soon as possible, he said.

Council Member Parker asked if there was a way to endorse the guide in principle, but not put it in the Comprehensive Plan until the Council could more fully understand if it could deliver the promises it was making.

Town Manager Roger Stancil replied that they could certainly continue to refine it, and bring something back that the Council could attach.

Council Member Palmer suggested changing the wording to say, "approval of any DA or SUP without a community agreement" rather than "approval of any development..." She argued against including that for "any development" since the Town was trying to attract investment. There needed to be some balance, she said. Council Member Palmer also proposed being more specific about how a development would contribute to Northside.

Council Member Harrison stressed the importance of making it clear that community benefits were requirements. He said he agreed with others that the African American neighborhoods in America had a particular history of promises not being kept. He requested information from staff on how the guide could be used in land use analysis if the Council decided not to put it in the Comprehensive Plan. Perhaps such issues would be addressed during the Land Use Management Ordinance revision, Council Member Harrison said.

Council Member Cianciolo said that the guide, including the Do's and Don't, would be a step toward determining how proposed economic development would benefit the Northside neighborhood. Benefits for Northside would require subsidies, he said, and he noted that the Town had created a synthetic TIF for roadway improvements in the Ephesus Fordham Focus

Area. He proposed that the Council consider using some of the funds generated from new taxes to support improvements at Northside. Council Member Cianciolo recommended postponing the Council's decision to a later Council meeting, since the public had not yet had time to consider the Dos and Don'ts.

Council Member Greene pointed out that the notion of using a TIF had been listed, and said she thought that was a good way to think about the project. She noted that an affordable housing page contained many costly ideas, and said that the amount that had to go into low-income housing in particular was staggering. Council Member Greene said that the guide was a great vision, but pointed out that the Town did not even know who the community stakeholders/partners would be, nor where it would find a substantial part of the funding. She was not ready to vote on it yet because it could set up expectations that the Town could not fill, she said. Council Member Greene asked that that be done toward an implementation plan first.

Council Member Oates spoke in favor of moving forward, arguing that it would be a disservice to current investors to not state what the Council had in mind. She pointed out that the community and Council had had ample chances to discuss the guide, which she would like to approve and attach to the Comprehensive Plan. As the Council's liaison to the Historic District Commission (HDC), she had observed that the HDC views the guidelines as rules while applicants view them as suggestions, she said. Council Member Oates said that implementation would be worked out with trade-offs along the way. She was ready to vote in favor of the edited version of the Dos and Don'ts, she said.

Mayor Hemminger said she agreed that Northside was an asset and a unique area that deserved to be treated differently than other parts of town. The Town was trying to weigh economic development and growth pressure, and was endeavoring to do so with, not against, the neighborhood, she said. She advised Council members to state what they wanted, and she noted that there would be opportunities to tweak that vision.

Mayor Hemminger said she was looking forward to moving forward, and making the Development Guide a part of the Comprehensive Plan. She pointed out that the Northside neighborhood had been consistent in its messages over numerous meetings, and its message was unlikely to change. Mayor Hemminger pointed out that there was no way of knowing what subsidies might be needed until a project came forward. There was much leeway in the Dos and Don'ts, and she wanted the Town to help Northside be the best it could be, she said.

Mayor pro tem Bell pointed out that consultants had been consistently clear about how not everything could be done, and that some things, such as buried power lines, were unrealistic. The Northside community recognized that the Dos and Don'ts were not a recipe, but were things that developers needed to consider for an area that was under pressure, she said. Mayor pro tem Bell said that the Northside neighborhood wanted the Council to not treat West Rosemary Street as a warehouse district that all of a sudden becomes the Town's goldmine. She emphasized the equity issue involved and said that including the guide in the LUMO would give it a level of validity.

Council Member Greene said that she was becoming convinced, but still worried that the

Council could be setting itself up to make a promise it could not fulfill. She hoped and trusted that by supporting the guidelines the Council was committing to fulfilling those huge promises, she said. She recalled that when the Northside NCD was being formed a member of the committee, who was an investor, had ascertained that Northside's representatives all understood that they were voluntarily depressing the market value of their properties by voting to not allow duplexes. Everyone at that table had had a higher value than the highest and best use of their properties, she said. Council Member Greene pointed out that the Development Guide continued many years of hard work trying to preserve the Northside neighborhood.

Council Member Parker remarked that no one was denying the vision or the Town's commitment to the Northside neighborhood. However, a vision was not a plan and many of the things listed in the guide were promises that would not be realized, he said. While he wholeheartedly and thoroughly endorsed the vision, he was not sure that it was detailed enough to be in the Comprehensive Plan, he said. Council Member Parker said that Hudson Vaughan's recent modification to the Dos and Don'ts had significantly improved them. He encouraged the Council to use that version whether the Do's and Don'ts become part of the Comprehensive Plan or remain a statement of intent.

Council Member Palmer moved to use the revised Dos and Don'ts and to change the language to substitute "approval of any development agreement or special use permit" for "approval of any development" on West Rosemary Street.

Mayor Hemminger wondered if that would lead to problems if some tool other than DAs or SUPs might be proposed in the future. She also wondered how that wording would affect "by right" situations.

Council Member Greene suggested saying, "approval of any development other than by right," and Council Member Palmer agreed.

Council Member Parker proposed leaving out the part about neighborhood stakeholders because that would mean empowering a group without knowing who they might be. It would give the power to a community benefits agreement to a group that did not yet exist yet, he pointed out. Council Member Parker recommended saying, "any zoning SUP or Development Agreement without a community benefits agreement."

Council Member Greene said she would agree with putting the Development Guide in the Comprehensive Plan if the majority of Council members did not intend to vote for it otherwise. She asked the manager what difference that would make to staff's day-to-day work toward an implementation plan and its work with developers.

Mr. Stancil replied that a Council endorsement would step the guide up a tier and allow it to be sited as one more statement of support. If the Council endorsed it, but did not make it part of the Comprehensive Plan, it would still provide Council guidance about how the Town does business and staff would treat it with great respect and due diligence, he said.

Council Member Anderson advocated for figuring out what the implementation plan was, and

then putting what could realistically be done and enforced in the Comprehensive Plan. There needed to be some delineation between what the Council thinks is a great vision, and what it can actually ask people to do, she said. Council Member Anderson said that she would like to endorse the guide, and then have a concrete timeline for when an implementation plan could be partnered with it.

Council Member Parker confirmed with Mr. Stancil that the speed at which staff could move forward with the implementation plan would not be affected by whether or not the guide was in the Comprehensive Plan.

Mayor pro tem Bell moved to adopt the Development Guide as a component of the Comprehensive Plan, as amended to include the revised Dos and Don'ts. Council Member Oates seconded.

Council Member Cianciolo asked to amend the motion to remove making the guide a component of the Comprehensive Plan.

Mayor pro tem Bell did not accept that as a friendly amendment, arguing that developers might not be aware of the guide if it were not in the Plan. If it was in the Comprehensive Plan then people would see the guide as a shared understanding of what the vision was, and would be during future conversations regarding the LUMO, she said.

Council Member Greene asked how the guide differed from the Stormwater Master Plan, which the Council had voted to not include in the Comprehensive Plan.

Mayor pro tem Bell replied that she could not specifically recall that vote. She probably had not had a strong opinion, and had followed what seemed to be a shared understanding by her colleagues who had more knowledge about that than she did, she said.

Council Member Cianciolo said that he believed that staff would direct developers to the Development Guide. He moved that the Council adopt the guide without including it in the Comprehensive Plan. Council Member Palmer seconded.

Mayor Hemminger said that she believed that everything should be in the Comprehensive Plan. Including the guide would make a bigger statement about the Council's intentions, and would provide more validity, clarity, and "teeth," she said.

Council Member Harrison mentioned that the Town's managers who implemented the Parks and Recreation Plan, the Greenways Plan, the Stormwater Master Plan, and the Bicycle Facilities Plan treat all of those plans as though they were in the Comprehensive Plan.

COUNCIL MEMBER GEORGE CIANCIOLO MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO REMOVE THE COMPREHENSIVE PLAN ELEMENT. THE MOTION FAILED BY A VOTE OF 3-6, WITH COUNCIL MEMBER JESSICA ANDERSON, COUNCIL MEMBER MARIA T. PALMER, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH MAYOR PAM HEMMINGER,

MAYOR PRO TEM DONNA BELL, COUNCIL MEMBER GEORGE CIANCIOLO, COUNCIL MEMBER SALLY GREENE, COUNCIL MEMBER ED HARRISON, AND COUNCIL MEMBER NANCY E. OATES VOTING NAY .

MAYOR PRO TEM DONNA BELL MOVED, SECONDED BY COUNCIL MEMBER NANCY E. OATES, TO ADOPT R-6 AS AMENDED. THE MOTION WAS ADOPTED BY A VOTE OF 7-2, WITH MAYOR PAM HEMMINGER, MAYOR PRO TEM DONNA BELL, COUNCIL MEMBER SALLY GREENE, COUNCIL MEMBER ED HARRISON, COUNCIL MEMBER NANCY E. OATES, COUNCIL MEMBER MARIA T. PALMER, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH COUNCIL MEMBER JESSICA ANDERSON, AND COUNCIL MEMBER GEORGE CIANCIOLO VOTING NAY .

[A RESOLUTION TO ADOPT THE WEST ROSEMARY STREET DEVELOPMENT GUIDE AS A COMPONENT OF THE CHAPEL HILL 2020 COMPREHENSIVE PLAN \(2017-05-22/R-6\) as Amended \(PDF\)](#)

Ms. Buckley introduced Sarah Poulton, the new downtown special projects manager. Ms. Poulton has 10 years of experience and a wealth of knowledge, Ms. Buckley added. She will move the Downtown 2020 Workplan forward, and come back with implementation ideas from the West Rosemary Guide, she said.

ZAA and SUP

8. [Consider an Application for Zoning Atlas Amendment - Chapel Hill-Carrboro City Schools Maintenance Building, 1708 High School Road. \(R-7\)\(O-3\)\(R-8\)](#)

Director of Planning and Development Services Ben Hitchings reviewed the zoning atlas amendment (ZAA) and special use permit (SUP) processes. He explained that a ZAA discussion focuses on whether a use is appropriate for a site while the SUP discussion focuses on whether or not a project meets four specific findings. Item 8 was a continuation of public hearings on both of those processes, Mr. Hitchings said.

Senior Planner Kay Pearlstein gave a PowerPoint presentation of an overview on the ZAA, noting that the public hearing was continuing from April 17, 2017. She showed the existing site and surrounding area on a map, and explained the request to rezone approximately 5.4 acres from R-1 to R-5 Conditional. Ms. Pearlstein said that the Planning Commission had recommended approval, and that staff close the public hearing and enacting O-3.

Architect Ashley Dennis, representing the applicant, said that he had spoken with a concerned neighbor and addressed his concerns.

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY MAYOR PRO TEM DONNA BELL, TO CLOSE THE PUBLIC HEARING. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO ADOPT R-7. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION REGARDING THE CHAPEL HILL ZONING ATLAS AMENDMENT FOR THE CHAPEL HILL-CARRBORO CITY SCHOOLS MAINTENANCE BUILDING, 1708 HIGH SCHOOL ROAD \(ORANGE COUNTY PARCEL IDENTIFIER #9779-79-3970, PROJECT #16-104\) AND CONSISTENCY WITH THE COMPREHENSIVE PLAN \(2017-05-22/R-7\)](#)

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY MAYOR PRO TEM DONNA BELL, TO ENACT O-3. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[AN ORDINANCE AMENDING THE CHAPEL HILL ZONING ATLAS FOR THE CHAPEL HILL-CARRBORO CITY SCHOOLS MAINTENANCE BUILDING, 1708 HIGH SCHOOL ROAD \(ORANGE COUNTY PARCEL IDENTIFIER #9779-79-3970, PROJECT #16-104\) \(2017-05-22/O-3\)](#)

SUPs

9. [Consider an Application for a Special Use Permit Modification - Chapel Hill-Carrboro City Schools Maintenance Building, 1708 High School Road. \(R-9\)\(R-10\)](#)

Ms. Pearlstein provided a PowerPoint overview of the SUP modification request, and noted documents to be entered into the record. She said that an existing SUP had encumbered about nine acres and the proposal was to modify the boundary to allow for a larger maintenance and storage facility. She described the proposed 23,000 square-foot maintenance/storage facility on a 14.4-acres site. The proposal included 68 vehicular and 8 bicycle parking spaces, she said.

Ms. Pearlstein reported that most Town boards and commissions had recommended approval, but the Community Design Commission had voted 4-4. She showed a photo of the site, and reviewed the site plan. Key considerations pertained to the need for a rezoning, a modification to exceed the maximum number of vehicular parking spaces, and sidewalk and bike infrastructure improvements, she explained. Ms. Pearlstein noted that the applicant had talked with one neighbor and addressed his concerns. Staff recommended closing the public hearing and adopting R-9, she said.

Council Member Greene confirmed with Ms. Pearlstein that the applicant had agreed with all proposed changes

Mayor Hemminger verified that the applicant planned to increase its stormwater capability, and Brandon McLamb, representing the applicant, described the plan to capture more water than was required.

Mayor Hemminger pointed out that stormwater would be a major issue with another nearby

project. Whatever the applicant could do to capture water on site would help with the other future project as well, she said.

COUNCIL MEMBER SALLY GREENE MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO CLOSE THE PUBLIC HEARING. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ADOPT R-9. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION APPROVING AN APPLICATION FOR SPECIAL USE PERMIT MODIFICATION FOR THE CHAPEL HILL-CARRBORO CITY SCHOOLS MAINTENANCE BUILDING, 1708 HIGH SCHOOL ROAD \(PROJECT #16-103\) \(2017-05-22/R-9\)](#)

10. [Provide Council Direction to the Metropolitan Planning Organization \(MPO\) Representatives on Potential Transportation Projects.](#)

Mayor Hemminger pointed out that she was the Council's designated representative to the Metropolitan Planning Organization (MPO), and Council Member Parker was the alternate. They and Council Member Harrison were the Council's representatives to Go Triangle, had some concerns about transportation projects and wanted feedback from other Council members, she said.

Transportation Planning Manager Bergen Watterson gave a PowerPoint presentation on several potential transportation projects that were in various phases of development. She began by discussing a project to improve the West Franklin/East Main intersection, and outlined two options: to proceed with intersection improvements, and provide feedback on design alternatives; or to abandon those improvements and pursue a bicycle and pedestrian project instead. Ms. Watterson said that the task was to first tell the NC Department of Transportation (DOT) whether or not to proceed with the design alternatives.

Ms. Watterson described a design for a "four-legged" roundabout with turn lanes. Staff recommended that the Town work with Carrboro and the DOT to pursue that design, she said, noting that it would include realigning Brewer Lane. She pointed out that the design was only conceptual, and just a first step in the process. Details regarding feasibility, funding, and neighborhood impacts were still being worked out, and expressing the Council's preference for the design would not guarantee its construction, she said.

Mayor Hemminger explained that the DOT had come to an MPO meeting asking for input. Since only Council representatives could vote, she wanted to get input from the entire Council, she explained. Mayor Hemminger said that she liked the roundabout idea, and that Carrboro's mayor had agreed that the area was currently dangerous and confusing. Before voting, however, she wanted to make sure that the Council was informed, and she had asked staff to look over the material and make suggestions. Mayor Hemminger pointed out that the

roundabout would include going one way on Merritt Mill Road and the closing of one end of Brewer Lane.

Council Member Greene asked if a roundabout would create "an identity crisis" for Crook's Corner, which would no longer be on a corner.

Mayor Hemminger replied that other property owners, such as Al's Garage, had expressed concern about how much property would be taken away.

Ms. Watterson said that the design alternatives being presented would have less impact on properties at the intersection than some other designs would.

Mayor pro tem Bell asked why Brewer Lane would become a dead end.

Ms. Watterson explained that it was like a fifth leg of the intersection, and one suggestion had been to close it off from the roundabout and have cars take a different route to East Main Street.

Council Member Palmer asked if there would be an entrance from the roundabout to Al's Garage, and Ms. Watterson replied that the design phase had not reached that phase. Council Member Palmer wondered if closing off Brewer Lane would allow Al's Garage to expand, and Ms. Watterson replied that DOT could address that.

Council Member Parker confirmed with Ms. Watterson that the project was programmed for FY 2019, so construction would likely begin in summer 2018. He expressed concern about existing non-signalized pedestrian crossings in Town and asked how people were kept safe at roundabouts.

Ms. Watterson replied that designers of roundabouts generally say that they are safer for pedestrians because vehicles slow down, and vehicles are facing crosswalks by the time they come upon them. If the Town were to pursue the roundabout design, there would be a pedestrian safety campaign for both drivers and pedestrians, she said.

Council Member Harrison recommended letting the Town of Carrboro sort out what to do about Brewer Lane and Al's Garage, since they were both located in its jurisdiction. He currently avoided that area when riding a bicycle, he said. However, he used two roundabouts regularly and felt they were much safer, and more usable than the intersections had been prior to their construction, he said.

Council Member Oates noted that the design included pedestrian islands and commented on how much safer that would be than what currently existed.

Ms. Watterson then discussed several other project modifications. These included US 15-501 and NC 54 preliminary projects, she said, noting that staff was seeking guidance on general descriptions, not specific designs or treatments. If/when funding was available for those projects, there would be a lengthy public process regarding design, she said.

Ms. Watterson mentioned a number of existing Town plans: The Chapel Hill 2020 Comprehensive Plan; the Chapel Hill Bike Plan, the Mobility and Connectivity Plan; the Ephesus Fordham Focus Area Plan; and the Orange County Transit Plan. She also discussed Town goals that would be used to evaluate and modify project descriptions.

Ms. Watterson said that US 15-501 projects were broken into three segments: NC 86 to NC 54; NC 54 to Ephesus Church; and Ephesus Church to Interstate 40. She discussed proposed intersection improvements at Manning Drive, and at NC 86 and NC 54 interchanges with US 15-501. The DOT was considering widening US 15-501 to six or eight lanes along the entire corridor, she said, noting that an ongoing feasibility study had begun in 2015. Ms. Watterson said that an upcoming MPO-funded corridor study would span from University Drive in Durham to Franklin Street in Chapel Hill. The Town also had plans to install multi-use paths along much of that corridor, she said.

Council Member Greene clarified that the extent of the projects being proposed on US 15-501 ran all the way to NC 86.

Ms. Watterson said that the DOT had not shared information on specific designs. However, the entire corridor of NC 54 from US 15-501 to Barbee Chapel Road was being considered one project, she said. She explained that the concept plan was based on a 2012 Corridor Study that had shown six lanes and superstreets along every intersection except Hamilton Road. Ms. Watterson cautioned again that this was only a concept plan, and there would be plenty of opportunity to discuss design elements with the DOT if the project received funding. The Council's current task was to think broadly about what it did and did not want, she said.

Council Member Cianciolo confirmed with Ms. Watterson that DOT's funding estimates generally included design, right of way, and construction.

Council Member Harrison pointed out that the listed projects had come out of a NC 54 study, which neither the City of Durham nor the Town of Chapel Hill had ever adopted. The MPO said it "did it for us," he said.

Ms. Watterson explained that superstreets were designed to give priority to traffic along primary corridors so it could flow more efficiently. They restrict left turns out from side streets, and are generally safer because there are fewer conflict points, she said.

Council Member Parker asked about pedestrians and cyclists, and Council Member Harrison replied that cyclists had to perform as pedestrians to get across superstreet intersections.

Ms. Watterson said that a multi-use path had been proposed for NC 54. With regard to the Barbee Chapel Road interchange, she showed an overpass with elevated ramps. She explained that a superstreet would not be efficient there because the volume of vehicles would cause a pile-up at the U-turn opportunity.

Ms. Watterson provided a list of the pros and cons of superstreets. She explained that the Council was being asked to suggest modifications to the US 15-501 projects, suggest

modifications to the NC 54/Barbee Chapel Road project, do both, or leave the project descriptions as they were.

Council Member Harrison asked about the MPO's timeline, and Ms. Watterson said it was unclear. If projects were submitted with the next prioritization round, the Town would likely find out if they were being funded in about January 2019, and projects would begin in the early 2020s, she said.

Council Member Greene questioned turning one residential section of US 15/501 into a mixed-use corridor. She said that doing so would be a big surprise to some since the Town had been opposed to widening that section for a long time. She asked the Council's representatives how and when that conversation had shifted.

Council Member Harrison replied that the notion had probably come out of the US 15-501 from Chatham County study that had been done in recent years. He also mentioned various factors that had made the Manning Drive interchange problematic over the years.

Council Member Palmer recalled the DOT coming to talk with the Transportation and Connectivity Board about improvements to US 15-501, and said she did not remember them saying anything about six lanes. The board had tried hard to get more information, but had never heard back, she said. Council Member Palmer confirmed with Ms. Watterson that the study was still ongoing and that no concrete recommendations or designs had been shared with the Town.

Council Member Palmer said that she would be very uncomfortable with saying go ahead, and that she did not exactly understand what the Council was voting on.

Mayor Hemminger explained that the Council's representatives wanted input from the full Council. She spoke about how a superstreet from NC 54 all the way up to Eastgate would block off several well-traveled crossings. Representative had been "kind of in shock" when they saw the list, she said. They were glad that DOT wanted to help improve traffic flow, but did not think the concept of a superstreet was where the Town was going, she said. However, Council representatives wanted to know how other Council members felt before speaking on the Council's behalf, Mayor Hemminger said.

Council Member Parker said that fixing the problematic intersection in front of St. Thomas Moore would resolve many of the other problems on US 15-501. He did not think anyone wanted to make US 15-501 six or eight lanes and the superstreet concept did not fit in with the Town's transportation and transit goals, he said.

Council Member Harrison commented that there clearly were spot problems, and the intersection such as the one planned by Glen Lennox made a lot of sense. He recommended looking at where the real problems were, adding that the Town certainly could use another full lane near Eastgate. However, doing the entire road as outlined would be overkill, and would defeat the community's purposes, he said.

Council Member Anderson said that she did not even like the existing superstreet by the Europa

Hotel. She could not provide anything other than an opinion, though, since she had no expertise as a transportation planner, she said.

Mayor Hemminger said she was hoping the Council would choose the option to propose modifications to the US 15-501 and the NC 54/Barbee Chapel Road projects, which Ms. Watterson had outlined as the Council's first two choices.

Council Member Greene said that she had thought when the state removed the "strategic corridor" status from US 15-501 that it had understood that the Town was not interested in having a thoroughfare there, but would like help finding other solutions. She pointed out that the Town had the funds, but was still waiting for permission to do a Hawk Signal in the area. She had thought the Town was in a different position with DOT than talking about a six- or eight-lane thoroughfare that would dissect the community, said Council Member Greene.

Council Member Palmer expressed support for Council Member Harrison's suggestion to ask for a study of intersections and solutions. She did not like the idea of a superstreet, but understood the need for it, she said. She asked if the Council could make specific recommendations.

Mayor Hemminger replied that the Council should leave the details to staff. The Council was merely asking to remove the "superstreet" designation and pursue other options, she said.

Council Member Cianciolo said he was not in favor of six lanes along the full length of US 15-501. However, the Town did need improvements along a half-mile stretch near Interstate 40, he said. He noted that Wegmans and other developments would be going in that area, which was already backed up during rush hour.

Mayor Hemminger replied that the Council's representatives had been meeting with DOT about that whole interchange and corridor. So, they had been taken aback to see some of the pieces being discussed tonight, she said.

COUNCIL MEMBER ED HARRISON MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO ADOPT R-10.1. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION PROVIDING INPUT TO METROPOLITAN PLANNING ORGANIZATION \(MPO\) REPRESENTATIVES ON POTENTIAL TRANSPORTATION PROJECTS \(2017-05-22/10.1\)](#)

[APPOINTMENTS](#)

11. [Recommend a Chapel Hill Representative to the Orange County Animal Services Advisory Board to the Orange County Board of Commissioners. \(R-11\)](#)

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER NANCY E. OATES, TO ADOPT R-11 AS AMENDED. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION RECOMMENDING A CHAPEL HILL REPRESENTATIVE TO FILL A SEAT ON THE ORANGE COUNTY ANIMAL SERVICES ADVISORY BOARD \(2017-05-22/R-11\)](#) as Amended

The Council Recommends Heather Payne as the Chapel Hill Representative to the Orange County Animal Services Advisory Board.

[Master Ballot](#)

The Council recommends Heather Payne to the Orange County Animal Services Advisory Board to the Orange County Board of Commissioners.

14. [Appointments to the Library Board of Trustees. \(R-12\)](#)

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER GEORGE CIANCIOLO, TO ADOPT R-12 AS AMENDED. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

[A RESOLUTION MAKING A RECOMMENDATION TO THE ORANGE COUNTY BOARD OF COMMISSIONERS REGARDING THE ORANGE COUNTY RESIDENT SEAT ON THE CHAPEL HILL LIBRARY BOARD OF TRUSTEES \(2017-05-22/R-12\)](#) as Amended

The Council appointed Blaine Schmidt and James Stround to the Library Board of Trustees.

[Master Ballot](#)

12. [Appointments to the Board of Adjustment.](#)

The Council appointed Jodi Bakst, Devon Bass, Brian Godfrey, Katherine Murphy, Joseph Parrish, and Carl Schuler to the Board of Adjustment.

[Master Ballot](#)

13. [Appointments to the Human Services Advisory Board.](#)

The Council appointed Mary Andrews, Tisha Buelto and Carolyn Fanelli to the Human Services Advisory Board.

[Master Ballot](#)

15. [Appointments to the Orange Water and Sewer Board of Directors.](#)

The Council appointed John Morris and Ruchir Vora to the Orange Water and Sewer Board of Directors.

Master Ballot

REQUEST FOR CLOSED SESSION TO DISCUSS ECONOMIC DEVELOPMENT,
PROPERTY ACQUISITION, PERSONNEL, AND/OR LITIGATION MATTERS

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ENTER INTO CLOSED SESSION AS AUTHORIZED BY GENERAL STATUTE SECTION 143-318.11 (A)(3), TO CONSULT WITH THE TOWN ATTORNEY REGARDING POSSIBLE LITIGATION. THE MOTION WAS ADOPTED UNANIMOUSLY (9-0) .

The meeting was adjourned and the Council went into closed session at 10:15 p.m.

**DRAFT SUMMARY MINUTES OF A BUSINESS MEETING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, JUNE 12, 2017, AT 7:00 PM**

Council Members Present: Mayor Pam Hemminger, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Ed Harrison, Council Member Nancy E. Oates, Council Member Maria T. Palmer, and Council Member Michael Parker.

Council Member(s) Absent: Mayor pro tem Donna Bell, and Council Member Sally Greene.

Staff members present: Town Manager Roger L. Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Community Safety Communications Specialist Ran Northam, Planning Director Ben Hitchings, Executive Director of Housing and Community Loryn Clark, Planning Manager for Sustainability John Richardson, Business Management Director Ken Pennoyer, Assistant Business Management Director Amy Oland, Budget Manager Matt Brinkley, Library Director Susan Brown, Executive Director for Community Safety Chris Blue, Transit Director Brian Litchfield, Public Housing Director Faith Thompson, Parks and Recreation Director Jim Orr, Executive Director for Technology Scott Clark, Director of Human Resources Development Cliff Turner, Planner Jay Heikes, Senior Ombuds Jim Huegerich, Manager Intern Toney Thompson, Budget Analyst Alex Terry, Assistant to the Town Manager Ross Tompkins, Assistant Town Clerk Beth Vazquez, and Communications and Public Affairs Director and Town Clerk Sabrina Oliver.

OPENING

1. [Adopt a Resolution of Town Council Support of the Paris Agreement. \(no attachment\)](#)

Mayor Hemminger opened the meeting at 7:00 p.m. She said that Council Member Greene was out of the country and Mayor pro tem Bell had not been able to attend the meeting. She mentioned that the Food for Summer program had been launched earlier that day. Mayor Hemminger introduced a resolution in support of the Paris Climate Accord, noting that Orange County had already passed a similar resolution.

Council Member Anderson, liaison to the Environmental Sustainability Committee, read a resolution that addressed the effects of global warming and climate change, and the Town's and the University of North Carolina's carbon reduction pledge. Due to the absence of federal leadership and President Trump's withdrawal from the Paris Accord, state and local governments must commit to aggressive action, she read. Therefore, the Council was committing to proportionally upholding its commitment to reduce greenhouse gas emissions by 26 to 28 from 2005 levels by the year 2025, Council Member Anderson read.

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO ADOPT R-0.1. THE MOTION WAS ADOPTED UNANIMOUSLY (7-0) .

[A RESOLUTION TO PROPORTIONALLY UPHOLD THE COMMITMENT MADE BY THE UNITED STATES IN THE PARIS AGREEMENT TO REDUCE GREENHOUSE EMISSIONS \(2016-06-12/R-0.1\)](#)

1.1. [Proclamation: Immigrant Heritage Month.](#)

Mayor Hemminger gave tribute to the many wonderful immigrants who had helped the Town become what it was today.

Council Member Palmer read a proclamation regarding immigrants' contributions to the social and economic framework of North Carolina. Chapel Hill would remain true to its commitment to be a welcoming place, and was proclaiming June 2017 to be Immigrant Heritage Month in Chapel Hill, she read. The proclamation encouraged all Town citizens to recognize the accomplishments of immigrants, past and present, and to reflect upon the importance of diversity in the Town and across the country, she read. Council Member Palmer pointed out that June 20, 2017 was World Refugee Day.

Constanza Johnson, representing El Centro Hispano, said that it was an honor to receive the proclamation, and that she was grateful to be part of such a supportive and collaborative community.

Flicka Bateman, representing The Refugee Support Center, said that there were about 1,200 refugees in Orange County. Those people were primarily from Burma, but 32 of them were from Syria, and about 50 were from the Democratic Republic of Congo, she said. Ms. Bateman mentioned that the Support Center was always looking for funding, and for people who can speak those languages to help out. She thanked the Town for supporting refugees and immigrants.

Mayor Hemminger praised the proclamation's recipients for making the Town more inclusive, and for helping families succeed. She said that the Council would recognize groups that had not been able to attend the meeting at a later time. She pointed out it was National Refugee Awareness Week as well.

[PETITIONS FROM THE PUBLIC AND COUNCIL MEMBERS](#)

2. Petitions from the Public and Council Members.

- a. Transportation and Connectivity Advisory Board Request to Reduce Speed Limit on Rosemary Street from 25 MPH to 20 MPH.

[PUBLIC COMMENT - ITEMS NOT ON PRINTED AGENDA](#)

- a. [Diane Willis Regarding New Ephesus Fordham Intersection.](#)

Diane Willis, a Chapel Hill resident, requested that the Town itemize the "so-called improvements" that would warrant an \$8 million expenditure at an Ephesus Fordham intersection. That had been wasteful, considering the bad result, and would become worse as development continued, she said. Ms. Willis described the problems that she had seen, and stated that such poor planning should be an election issue.

Mayor Hemminger acknowledged that the project had experienced complications, and was behind schedule. She asked staff to provide an update that could be widely distributed to the community.

b. [Ashley Thomas Thanks to Council for Funding and Support.](#)

Ashley Thomas, founder and executive director of Bridge 2 Sports, thanked the Council for having provided funding and support. She pointed out that Bridge 2 Sports had recently collaborated with organizations such as GoTriangle, which had helped transport people with disabilities during a recent event.

[ANNOUNCEMENTS BY COUNCIL MEMBERS](#)

a. [Council Member Parker Congratulations to Carrboro Women's Soccer Team for Championship Win.](#)

Council Michael Parker pointed out that the Carrboro Women's Soccer Team had become state champions for the third consecutive year. He congratulated the team, and noted that many Chapel Hill residents, including an assistant coach, had participated.

[CONSENT](#)

3. [Approve all Consent Agenda Items. \(R-1\)](#)

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ADOPT R-1. THE MOTION WAS ADOPTED UNANIMOUSLY (7-0) .

[A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES \(2017-06-12/R-1\)](#)

4. Award a Bid for Street Patching, Milling, and Resurfacing on Town-Maintained Streets. (R-2)

[A RESOLUTION AUTHORIZING THE TOWN MANAGER TO EXECUTE A CONTRACT WITH BARNHILL CONTRACTING IN AN AMOUNT OF \\$641,825.75 FOR STREET RESURFACING \(2017-06-12/R-2\)](#)

5. Grant a Permanent Easement to OWASA to Relocate Sanitary Sewer for the Booker Creek Road Culvert Replacement Project. (R-3)

[A RESOLUTION AUTHORIZING THE TOWN MANAGER TO EXECUTE ALL REQUIRED DOCUMENTS TO GRANT A PUBLIC SEWER EASEMENT TO OWASA ACROSS TOWN-OWNED PROPERTY LOCATED ALONG BOOKER CREEK ROAD \(2017-06-12/R-3\)](#)

6. Adopt Minutes for the April 11, June 20, June 27, September 12, September 19 and October 26, 2016 Meetings. (R-4)

[A RESOLUTION TO ADOPT SUMMARY MINUTES OF COUNCIL MEETINGS \(2017-06-12/R-4\)](#)

[INFORMATION](#)

7. [Receive Upcoming Public Hearing Items and Petition Status List.](#)

All reports were accepted as presented.

[DISCUSSION](#)

8. [Consider the Final 2017-18 Budget and Related Items. \(O-1\)](#)

Town Manager Roger Stancil gave a PowerPoint presentation regarding the FY 2017-18 recommended Town budget. He explained that Item 8 addressed a change in the process for adopting fees, and Item 9 would establish the recommended budget for the fiscal year beginning July 1st.

Mr. Stancil said that the budget was balanced and included a 2 percent increase in Human Service agencies funding. The budget also recommended increasing the Affordable Housing (AH) Development Reserve to \$1.1 million and the AH Opportunity Fund to \$1.2 million, he said. He connected the Council's strategic goals with the Town's resources and actions, and noted that 75 percent of the budget was directed toward people. He discussed funding for the downtown area and efforts toward leveraging Town assets.

Mr. Stancil provided details about the Town's investment in AH. He said that the recommended budget provided resources to begin a Connectivity and Mobility Plan, complete the Ephesus Fordham Design Guidelines, rewrite the Land Use Management Plan (LUMO), and plan for the future of Rogers Road. The budget included a \$6 stormwater rate increase that would support bond projects that voters had approved in a recent referendum, he said. The budget also addressed Lower Booker Creek sub-watershed projects, and would begin the purchase of new buses through a financing agreement with the Town's funding partners, he said.

Mr. Stancil explained that he would report on strategic priorities based on active entities on June 26th. He provided details on the budget's various components and noted that there was not a proposed reduction in service. The tax rate had been adjusted downward (from 52.4 cents to 50.8 cents) to a revenue neutral rate, he explained. He characterized the budget as a prudent way to address some unknowns regarding what the North Carolina General Assembly and the US Congress would decide to do.

Mayor Hemminger thanked the manager and Town department heads for listening and working with the Council. She said that Mr. Stancil had returned with a balanced budget that reflected those discussions.

Robert Dowling, executive director of the Community Home Trust, thanked the Town for its support of AH in general and the Community Home Trust, in particular. The Trust continued to add homes to its inventory of 255, he said. Mr. Dowling praised the Town Manager for coming up with a plan that would increase resources for AH in 2017-18 and beyond.

Council Member Cianciolo praised the AH plan, and agreed with Mr. Dowling about the benefits of having opportunity funds available. He encouraged the manager to compare Town employees' salaries and benefits package to nearby communities, and see if anything could be done to make the Town's more attractive. It was commendable that the Town had not raised its tax rate in recent years, but it would have to raise them at some point, and he would like to see that go toward supporting Town employees, Council Member Cianciolo said.

Council Member Oates thanked the manager and staff for their hard work, but objected to the proposed 2.5 percent across-the-board salary increase. That would perpetuate a system where the rich get richer and the poor get poorer, she said, also noting that women continued to make 79 cents to the male dollar. Council Member Oates challenged the manager to present a rationale for preserving that imbalance. She proposed that everyone making below \$100,000 get a 2.5 percent increase, and everyone above that receive a flat \$1,000 increase in pay.

Council Member Harrison praised the idea of amending the code to include stormwater fees. In the past, the Town had gone for 12 years without raising those, he pointed out. He said that the larger transit budget would lead to fairer pay for transit employees, and he stressed that the Chapel Hill transit budget was not about the Orange County Transit Plan. He was proud of the recommended budget, Council Member Harrison said, and he congratulated all who had worked on producing it.

Council Member Parker thanked the manager and staff and noted the difficulty of producing a budget when there were a number of competing priorities. The Council had wanted to do more for AH and it ultimately did, he said. He was glad to have a budget that would meet many of the Council's priorities without having to raise taxes, he said. In the end, it was the kind of budget that the Town ought to have - one in which everyone got something while no one got everything, said Council Member Parker.

Mayor Hemminger expressed gratitude for many of the budget's pieces pertaining to Human Services funding, AH, and the plan to develop more partnerships. She said that the Town needed

to have a plan, goals, and strategies before it could raise taxes. She pointed out that the Town was fortunate to have amassed a healthy fund balance that could be leveraged if something timely came along.

Mayor Hemminger pointed out that the Town needed to communicate with the county, the state and its local partners. She had recently had conversations with other elected officials who had not been aware of some of the Town's efforts, she said. She recommended that the Town broadcast its plans for Northside, the DHIC project, Homestead Road, and Public Housing a little more effectively. It had been a great year, and not one staff member was afraid of change, Mayor Hemminger said.

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER ED HARRISON, TO ENACT O-0.1. THE MOTION WAS ADOPTED UNANIMOUSLY (7-0) .

[AN ORDINANCE AMENDING CHAPTER 23 OF THE CODE OF ORDINANCES REGARDING THE SCHEDULE OF STORMWATER FEES \(2017-06-12/O-0.1\)](#)

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ENACT O-1. THE MOTION WAS ADOPTED BY A VOTE OF 6-1, WITH MAYOR PAM HEMMINGER, COUNCIL MEMBER JESSICA ANDERSON, COUNCIL MEMBER GEORGE CIANCIOLO, COUNCIL MEMBER ED HARRISON, COUNCIL MEMBER MARIA T. PALMER, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH COUNCIL MEMBER NANCY E. OATES VOTING NAY .

9. [Consider Approval of Fee Waiver for Application for a Limited Special Use Permit for Proposed Chapel Hill Cooperative Preschool Special Use Permit Application to Increase Parking Area. \(R-5\)](#)

Town Attorney Ralph Karpinos addressed the Chapel Hill Cooperative Preschool's request that Council authorize the manager to accept a request for a limited Special Use Permit (SUP) to increase parking without charging an application fee. He explained that the Chapel Hill Cooperative Preschool had already received site plan approval from the Planning Commission (PC), and was proposing to add parking spaces beyond what that approval would require. The increase in spaces could reduce the risk of traffic backing up in the right-of-way at Mt. Carmel Church Road, and reduce related safety concerns, he said.

Mr. Karpinos pointed out that nothing in the request to waive fees was intended to indicate a recommendation to the Council regarding what evidence might show when/if such an application were submitted. In this particular case, staff believed that the potential public benefits warranted the Council considering waiving the application fee, he said.

Council Member Anderson confirmed with Planning Director Ben Hitchings that staff would need to see the applicant's exact proposal before being able to say what the expedited process would involve.

Mayor Hemminger noted that the regular SUP process would include two public hearings.

Mr. Hitchings stressed that the Town absolutely would have to follow that framework and all ordinance requirements. They would have to determine what "limited" meant, in practice, and see an actual application to understand it, he said.

Council Member Parker confirmed with Mr. Hitchings that the application would also go before Town advisory boards.

Mayor Hemminger clarified that the "limited" part pertained to the particulars of the SUP, not to the process.

Mr. Karpinos agreed that nothing about expediting the application would involve short-cutting required hearing procedures and review by advisory boards and commissions.

Council Member Anderson said she felt confused about whether the scope included traffic flow or just parking.

Mr. Karpinos replied that staff would need to see the application to determine that. The Council was currently only being asked to authorize the manager to waive the application fees, he said.

Mayor Hemminger said that the Council was also being asked to set up having the application come forward in the SUP process.

Council Member Anderson commented on the difficulty of authorizing an expedited process, and waiving fees without telling the public what was being allowed.

Mr. Karpinos replied that the Council would not be allowing anything other than a fee waiver and staff direction to move the project through the process. Whatever happened when the application eventually came before the Council would be based on the evidence, as with any other SUP application, he said.

Council Member Harrison confirmed with Mr. Karpinos that the applicant would ultimately have to meet the four findings of fact, as with any other SUP application.

Council Member Oates asked if it was the case that the Council would only be able to comment on parking during the SUP process, and would not be able to make any conditions, such as hours.

Mr. Karpinos replied that the application would propose adding parking to the site, and the Council would have the authority to put reasonable conditions on the SUP. He pointed out that the applicant already had an approval. If the applicant did not like the conditions that the Council put on any approval, it could decline that permit, and build what it already had approval to build, he said.

Council Member Oates asked if the NC Department of Transportation (DOT) would step in if the

applicant went ahead and built what it had been approved for, without any extra spaces, and traffic became a nightmare.

Mr. Karpinos replied that the applicant already had approval from the PC that required a certain number of parking spaces, and also a requirement to monitor traffic impacts and provide an annual traffic management report. Therefore, staff would be monitoring those issues, he said.

Council Member Oates asked if there was any recourse to enforce, rather than just monitor, if traffic was determined to be a significant hazard.

Mr. Karpinos replied that the DOT certainly had authority to police and control its highways. If it determined that some additional work needed to be done, it could put improvements in, he said. He added, however, that he did not know that the DOT could require the applicant to do any more than had already been authorized and directed.

Council Member Oates asked if anyone could do anything to correct the situation if it turned out to be a mistake, and a serious traffic problem developed.

Mr. Karpinos replied that he was not sure there was anything the Town could do when it approves a development, and then traffic increases and becomes an issue.

Mayor Hemminger explained that the Town's goal was to get a better outcome from a flawed process. The applicant currently had approval to build, and was required to include only 31 parking spaces. For safety and traffic reasons, the Town had offered them a limited SUP process to add up to 47 spaces, which would help alleviate future problems that might or might not arise, she explained. Mayor Hemminger said that the offer had opened the process up to hear concerns from the public, and to possibly address those as the application goes through the SUP process. The Council was currently only being asked to waive the fee, she said.

Monte Brown, a Chapel Hill resident, said that the Council's "real problem" was that the PC had approved the application based on a misrepresentation by the applicant. He gave a PowerPoint presentation that showed traffic backed up at the site, and said that a recent traffic impact analysis (TIA) had not been done because no one had requested one. Mr. Brown requested that the Town go back and do it right. Giving the applicant more parking spaces would enable them to grow larger, he said.

Karyn Traut, a Chapel Hill resident, showed photos of backed-up traffic, and said she supported a petition from Mr. Brown and others that asked the Town to have a TIA done, and reopen the discussion. Ms. Traut asked the Council to resolve the problem before someone got killed at that dangerous location.

Richard Andrews, a Chapel Hill resident, said that he and his wife had witnessed accidents in the area, and were grateful for the roundabout that would be built there. However, they had serious concerns about the preschool proposal, he said, and stated that misinformation regarding the proposed number of staff had allowed the applicant to avoid getting a TIA, and the SUP process. Mr. Andrews read sections of the neighborhood petition.

Terry Vance, a Chapel Hill resident, said that the petition showed how the process had been corrupted, "maybe by good will on the Town's part." The Town had wanted to enable a good school, but the Chapel Hill Cooperative Preschool had misrepresented the facts in order to get approvals, she said. Dr. Vance argued that the best scenario would be for the Town to delay the parking approval, and ask the Town Attorney to see if inaccurate representation during the approval process would warrant reconsideration of the site plan approval. Because Town staff had not caught inaccuracies upon which approvals were based, the Town should pay for a new public SUP process based on actual facts, she said.

Richard Lawrence, a Chapel Hill resident, played an audio recording from a PC meeting, and asked Council to reconsider everything that had taken place, and revisit the application.

Janet McCauley, a Chapel Hill native who spends half of her time in Virginia, said that citizens had been speaking from the heart, and providing good and truthful information. She asked the Council to listen to those who feel that they have not been represented.

Council Member Anderson asked Mr. Karpinos if the applicant not providing accurate information would be grounds for undoing the PC's approval. She also asked what would happen if the applicant went above the 80 student/20 staff limit.

Mr. Karpinos explained that the PC's decision had been appealed to the Board of Adjustment (BOA), and had then been taken to court, where the parties would have an opportunity to raise issues about whether the data was correct, and if the PC had acted correctly. He encouraged Council members to read the PC's approval, which had addressed certain parking concerns. He said that the PC's adopted resolution had addressed issues regarding monitoring of parking and traffic, and had required certain annual updates (with adjustments if necessary). He said that and the SUP would be required to increase the size of the building.

Mr. Karpinos explained that the Council did not review decisions by the PC or the BOA. If someone wanted to take some independent legal action and review that on behalf of the neighbors or Council, then the Council could direct hiring an attorney and taking some legal action, he said, but he added that he had never seen that happen. Mr. Karpinos explained that the process was PC to BOA to court, and the Council had no role in that other than some outside independent approach that he had never seen, and about which he could not provide advice.

Council Member Anderson expressed concern about the capacity in the current, approved plan.

Mr. Karpinos pointed out that the BOA had limited the number to 80/20 but that was being challenged, and could be eliminated by the superior court. However, the PC's approval remained in place, and it included provisions that gave the Town a role in monitoring traffic, enrollment, and parking, he said. Mr. Karpinos explained that the PC's resolution also required an annual update, and required that the applicant take steps to adjust conditions if there were traffic and/or parking problems in the future.

Council Member Cianciolo asked what the penalty would be if the applicant exceeded the

plan. He pointed out that there had been a similar plan with Saint Thomas Moore, but nothing in the resolution had stated what would happen if the plan did not work.

Mr. Karpinos noted that traffic was already backing up on Mt. Carmel Church Road. At some point, the state and Town would have to decide if there was a need for additional public improvements, he said.

Council Member Anderson remarked that exacerbating traffic and coming back later and saying that taxpayers have to fix the problem would not be a great solution. She asked why the Town was using 2013 data.

Mr. Karpinos replied that he did not have any information about that. He suggested that the Council discuss it with the Town's traffic engineer.

Mayor Hemminger said that such information could be prepared for the limited SUP process, if the Council decided to go in that direction.

Council Member Anderson said she felt "a little stuck", and that she understood why the neighbors were not pleased.

Council Member Parker asked what remedies, if any, there would be if the applicant did not adhere to the transportation management plan (TMP) that was required in the PC's resolution.

Mr. Karpinos replied that the enforcement authority and remedies would be the same as with any other Land Use Management Ordinance (LUMO) violation. It would seek compliance, and if it did not get that voluntarily, then it would seek a court order to require it, he said.

Council Member Oates asked if that could be done regardless of whether the Town approved the SUP for extra parking spaces. It sounded as though there would be recourse if the Council took no action, and then a problem arose, she said.

Mr. Karpinos replied that there might be, depending on what the problem was, and the remedies that the Town would seek. At the current time, the applicant had authority to build the school, was required to build 31 parking spaces on site, and was required to provide a TMP, he said. Mr. Karpinos explained that the court was being asked to either strike all of the BOA's conditions by determining that the petitioners did not have standing to come to the BOA, or, if it determines that they did have standing, it was being asked to strike the 80/20 limits from the conditions. He said he did not know what action the court would take on the standing, but if it got to the merits of the 80/20 condition, he thought the Town's position would be that the 80/20 conditions should be imposed. However, if the court threw it out on the basis of standing, the Town might be left with the PC's decision, Mr. Karpinos said.

Council Member Oates said that she was inclined to say that the Town should not do a limited SUP. If the preschool's plan turned out to not be a good one, then it would be up to them to fix it, she said. She expressed hesitancy about getting involved by approving extra parking spaces. Council Member Oates said she trusted that the applicant would not put children at

risk. It was their responsibility to fix problems if there were ever an incident, she said.

Mayor Hemminger said that she held the opposite view. If the school were built with only 31 parking spaces, there would be a problem out into the road, and safety issues, and this resolution was the Town's opportunity to alleviate part of that problem by adding parking spaces, she said. She pointed out that the intersection was already failing, and said that approving Resolution 5 would give the Town time to try and find solutions to the flow issue and other concerns. If the Council did not like where the process led, then it had the authority to deny the SUP, Mayor Hemminger pointed out.

Council Member Oates commented that the applicant would still build what it had planned from the beginning.

Mayor Hemminger replied that the Town would at least have made an attempt to improve the situation. The applicant already had the right to build and NC law, as currently written, gave the court the right to say that the neighbors do not have standing, she pointed out. The Council did have an opportunity to create a better income, however, said Mayor Hemminger.

Council Member Cianciolo pointed out that the resolution the PC approved called for a number of things, including that the TMP must be reviewed and approved by the Town Manager. He asked if anything would prevent the Council from giving direction to the Manager regarding what it would consider an acceptable TMP.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO ADOPT R-5 AS AMENDED. THE MOTION WAS ADOPTED BY A VOTE OF 6-1, WITH MAYOR PAM HEMMINGER, COUNCIL MEMBER JESSICA ANDERSON, COUNCIL MEMBER GEORGE CIANCIOLO, COUNCIL MEMBER ED HARRISON, COUNCIL MEMBER MARIA T. PALMER, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH COUNCIL MEMBER NANCY E. OATES VOTING NAY .

[A RESOLUTION WAIVING APPLICATION FEES FOR A LIMITED SPECIAL USE PERMIT APPLICATION FOR CHAPEL HILL COOPERATIVE PRESCHOOL \(2017-06-12/R-5\) as Amended \(PDF\)](#)

10. [Report: 2017-22 Orange County Master Aging Plan \(MAP\).](#)

Loryn Clark, executive director for the Office of Housing and Community, began the presentation on the Orange County Master Aging Plan (MAP). She said that the MAP had been developed with a high level of community and Town staff engagement, and she mentioned the Town departments that had participated. Town staff had provided input for the action plan, she said, adding that activities in the plan were consistent with work that the Town already had underway. Ms. Clark presented a list of Town programs that support its aging population, and said she did not anticipate needing an increase in resources.

Janice Tyler, director at the Orange County Department of Aging, gave a PowerPoint

presentation regarding citizens age 60 and over. She pointed out that that demographic was expected to represent 26 percent of Orange County's population by 2035. The MAP had been created in 2000, and was updated every five years, she said. She provided background on the sources of MAP's framework, and expressed hope that Chapel Hill would be the second city in North Carolina to join the plan. Ms. Tyler reviewed MAP's data collection and needs assessment processes. The MAP was an integrated county-wide plan that shared the responsibility for caring for the aging with other agencies, counties, and Town departments, she said.

Ms. Tyler presented a broad view of how the MAP's content had been developed. She said that groups had focused on the following areas: outdoor spaces and buildings; safe, accessible and affordable travel within the community; improved housing choices and quality AH; opportunities for social participation; respect and social inclusion; civic participation and employment; community support and health services; and communication and information. She discussed the objectives of each focus area, and outlined next steps. Ms. Tyler expressed gratitude to the Town for supporting many of the initiatives.

Mayor Hemminger thanked Ms. Tyler for leading the effort, and said the Town was looking forward to good outcomes for its older citizens.

Council Member Anderson praised the amount of thought that had gone into the process, the evaluation metrics, the number of people involved, and the way that the MAP had been rolled out. She encouraged everyone to support the group and the amazing work they were doing.

Council Member Oates added her thanks for the work done, particularly the attention paid to transportation and housing, and to the needs of low-income seniors.

Council Member Harrison said that he had talked with Ms. Tyler during the process, and was carefully watching the outdoor spaces and building aspect of the MAP. He mentioned that the Town Managers had asked to be able to revise the Town's Design Manual without having to come to the Council. Much of that was related to the Town's low vision standard, Council Member Harrison said.

Ms. Tyler encouraged the Council to consider having the Town join the network. Chapel Hill would be the second Town in North Carolina to be an "age-friendly" community, she said.

Mayor Hemminger said that Ms. Clark would bring something back to the Council regarding that.

11. [Presentation: Progress Report on the Chapel Hill Station Area Planning Project for the Durham-Orange Light Rail Transit Initiative. \(R-6\)](#)

Director of Planning and Development Services Ben Hitchings introduced the update on station area planning related to the Light Rail Transit (LRT) Initiative. If the Town decided to invest in Durham-Orange LRT, it would want to maximize benefits to the community by having a strong plan for development around the stations, he pointed out. Mr. Hitchings explained that Resolution 6 would endorse the general direction of the work being done, and approve working

with six advisory boards over the summer.

Scott Polikov, a principal with Gateway Planning, gave a PowerPoint overview of what planners had done since his last meeting with the Council. He pointed out that the policy and plans were being driven by Council goals. He noted some of the comments and concerns that had been expressed at recent community meetings, and said that planners had taken those to heart.

Council Member Harrison asked for a definition of "character zone." It sounded like a better version of form based code, which he had voted against for the Ephesus/Fordham Focus Area because he felt it was not ready to be adopted, he said. He asked if "character zone" was a more precise term than "urban" and if examples were available.

Mr. Polikov explained that different character zones would enable more intensity, a more significant mix of uses, and more shared parking opportunities than others that were more single-family oriented. He provided details on how a character zone would align the design and the regulatory tools with the desired development character outcome.

Council Member Harrison asked if Durham would become involved in that approach during its sub-area planning late in the summer.

Patrick McDonough, of GoTriangle, replied that he would ask Durham staff about that in the morning.

Mr. Polikov continued his presentation. He discussed his meetings with Town boards and commissions, and said that discussions with UNC regarding the tax base were needed. He showed a summary of identified interests, and said he had worked with staff regarding themes that needed to be carried through the process. He also summarized his meetings with stakeholders in the development community.

Mr. Polikov asked the Council to consider enabling Gateway Planning to move forward with an approach that would break stations into three groups: Suburban Reinvention, Neighborhood Destinations, and University Villages. He recommended essential policy elements for each. Gateway Planning had discussed this in general terms with boards and commissions, and he was bringing the policy framework for Council consideration, he said.

Mr. Polikov discussed AH, including density bonuses. He noted the need to create and test a model to make sure that the policies and mechanisms can work. He said that Gateway would work with Ms. Clark to develop a tool to measure whether or not the Town's zoning calibration was sufficient to achieve some AH without needing additional subsidies. Planners were also looking at non-traditional, creative sources, Mr. Polikov said, and pointed out the need for a discussion with all of the major universities regarding housing assistance.

Mr. Polikov said that Resolution 6 approval would allow Gateway Planning to develop greater detail and get additional feedback from Town boards and commissions over the summer. They would initiate a more formal process for the Gateway Station, and continue conversations with UNC, and perhaps take that to the next level, he said.

Council Member Parker asked if ways were being built in that would let the Town make use of the planning work even if LRT did not happen. For example, he said, generating good neighborhoods with ordinary buses in those areas of Town. He asked if there were ways, regardless of LRT, to connect between station areas, rather than having a series of isolated islands. In addition, if LRT happened in 2028, would there be opportunities for the Town to engage in land banking before prices increased, Council Member Parker asked.

Mr. Polikov replied that there was no downside to creating great neighborhoods in the remaining special places that could be developed. He said that the Town would not want to be unready for LRT when it happens. In addition, good, walkable mixed-use neighborhoods were always to the Town's advantage, he said. Mr. Polikov added that Gateway's services included specifically working on and identifying actions and policies for those connections.

Council Member Parker clarified that he was asking about physical connections beyond transportation. He wanted to know what could be planned that would transport people between stations in a more seamless field, so that riders would not feel like they were just taking a bus from point A to point B. What might happen between stations that would create the feeling of a bigger, more connected place, he asked.

Mr. Polikov replied that if zoning policies encouraged housing types that were mixed in with small inviting public spaces and properly designed streets, and with appropriately scaled transitions and street types, then the edges of developments would be ready to connect to the thing next to it. That idea would be contrary to buffers and would involve educating neighborhoods to understand the advantages, he said.

Council Member Palmer shared her experience of living in Louisville, Kentucky, where a 100-year-old plan for parks still provided the connective tissue for the city. The Town needed to be proactive, she said, adding that it would be worth thinking ahead, and buying property between stations that could be developed into interesting destinations.

Mr. Polikov agreed that Louisville was a great example. The original architect had designed the streets to be civic links rather than mere places for cars to drive, he said. Through zoning policies and planning, streets can crescendo into the next space and the next neighborhood, and that was something that planners could encourage and work on for sure, he said.

Council Member Palmer asked that planning recommendations also include things that the Town not allow -- such as a concrete wall that had been erected in one neighborhood to prevent passersbys from seeing in residents' windows.

Council Member Harrison commented on the benefits of having "environmental complexity," but cautioned against creating too much intensity between the nodes where high density is concentrated.

Council Member Anderson asked that the detailed notes from the advisory board meetings,

which Mr. Polikov had mentioned, be sent to her. She asked Mr. Hitchings how he saw station area planning being folded into the LUMO rewrite and the future land use map process.

Mr. Hitchings replied that many of the six station areas already aligned with the future focus areas on the land use map, and were places where the Town had encouraged mixed use and more activity. There would be an opportunity to get input on that when updating the map, and current discussions would be reflected in that work, he said. Mr. Hitchings said that the Town was also poised to have special zoning districts that match the various station area character types that Mr. Polikov had described. The Town was poised to fold those into an updated suite of zoning districts in a revised LUMO document, he said.

Council Member Anderson mentioned a June 9th article in The Washington Post about some cities not getting the infrastructure funding they had expected. She asked if there had been conversations with the FTA about where funding for the project stood.

Mr. McDonough replied that the Washington Post article was about President Trump's budget, which did not have formal standing because it was Congress that would make the budget for the coming fiscal year. He believed that the FTA, which reports to the president, was trying to not upset Mr. Trump while continuing to work with Congress, which had recently appropriated funds contrary to the president's wishes, he said. Mr. McDonough discussed a couple of bellwether projects that might indicate future decisions. He pointed out that the administration's "Infrastructure Week" ended up being about other things.

Council Member Anderson said that some citizens had commented about the short notice prior to the station area planning workshops.

Mr. Polikov replied that that was a valid comment. However, planners had made up for that by making themselves available afterward, and holding subsequent meetings, he said. There had been no recent complaints about accessibility, Mr. Polikov pointed out.

Council Member Oates and Mr. Polikov compared their recollections about workshop discussions regarding rezoning. She had heard a strong desire to not rezone ahead of time, but he did not remember hearing such a discussion. There were a lot of tables, Mr. Polikov pointed out, and said that the meeting minutes might reflect such a discussion. He did recall one man cautioning against up-zoning too quickly, he said.

Mr. Polikov said that there was no simple answer to rewriting the code, and that the Town would need to look at it station by station. On the other hand, there might be stations where the Town would not want to do anything until after the code rewrite was finished, he said.

Council Member Anderson asked Mr. Polikov if he was recommending rezoning before any projects were proposed.

Mr. Polikov replied that he would strongly encourage that with Gateway because there were multiple owners there, and the Town would want to encourage a master developer context. Zoning behaves as the master developer when there is not likely to be someone

assembling the property, and the zoning tool can bind property owners together with a common infrastructure, he said. Mr. Polikov gave examples of how property owners could then each decide how to work together over time regarding phasing.

Council Member Oates confirmed with Mr. Polikov that landowners seemed amenable to cooperating and calibrating a common zoning tool. She asked about costs, mentioning a request to move a station 400 feet, and stating that she had no idea if that was worth doing.

Mr. McDonough replied that he hoped to have an answer to that later in the week. He introduced Matthew Clark, GoTriangle's new government affairs manager, and Mr. Clark said that he, too, was strongly committed to bringing back an answer.

Council Member Oates and Mr. McDonough discussed various federal and state deadlines. She inquired about Resolution 6, and Mr. Hitchings explained that it contained three elements: endorsing the general direction related to station area planning; asking for Council permission to continue working with the six development-related advisory boards; and, continuing to work with the Town's institutional partners. Mr. Hitchings elaborated on each of those, and stressed that they were about planning for land use around stations, and did not pertain to the system investment.

Council Member Oates asked if anyone had "any sway" with UNC regarding a commitment to build workforce housing for its employees.

Mr. Polikov replied that such conversations had begun. The University had said it could not be relied upon to solve the general AH challenge in Town, but there had been talk about staff-focused housing assistance, he said. The University understood that AH needed to be part of the discussion and did not take it off the table, he pointed out. Mr. Polikov noted that UNC's master planning process had just begun, and said that there might be an opportunity before March to at least set a protocol that housing assistance be considered. That would be a big step, he said.

Mayor Hemminger said she was pleased that Gateway Planning had listened to the Town, and had helped design a better Gateway Station. She congratulated Mr. Polikov for reaching out to UNC, and said she was very supportive of that communication. Mayor Hemminger asked Mr. Polikov to provide the Council with best practice tools for the character zones.

Mr. Polikov replied that Gateway Planning had about 25 adopted codes, and that not one of them was the same as another. The Town had an opportunity to build on what it had already done, and tailor that to what it needed, he said.

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO ADOPT R-6. THE MOTION WAS ADOPTED BY A VOTE OF 6-1, WITH MAYOR PAM HEMMINGER, COUNCIL MEMBER JESSICA ANDERSON, COUNCIL MEMBER GEORGE CIANCIOLO, COUNCIL MEMBER ED HARRISON, COUNCIL MEMBER MARIA T. PALMER, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH COUNCIL MEMBER NANCY E. OATES VOTING NAY .

[A RESOLUTION TO PROVIDE POLICY DIRECTION FOR THE DURHAM-ORANGE TRANSIT STATION AREA PLANNING PROJECT \(2017-06-12/R-6\)](#)

[ANNOUNCEMENTS BY COUNCIL MEMBERS](#)

a. [Mayor Hemminger Regarding Smart Cities Conference at NC State.](#)

Mayor Hemminger said that she had been on a panel with other elected officials at a Smart Cities conference, and would update the Council on technology issues in the fall.

b. [Mayor Hemminger Regarding Inter-City Hillsborough Visit.](#)

Mayor Hemminger said that Hillsborough would be coming to Chapel Hill on the following day for an inter-city visit. She would participate in a panel about revitalizing the downtown, she said

c. [Mayor Hemminger Regarding UNC Communicators Gathering on Wednesday.](#)

Mayor Hemminger noted that she would be speaking at a UNC Communicators gathering, and would encourage UNC to use the Orange County Visitors Bureau, Town hotels, and other resources when scheduling conferences and other events.

d. [Mayor Hemminger Regarding Ackland Strategic Planning Committee.](#)

Mayor Hemminger said that the Ackland Strategic Planning Committee would meet on Thursday.

e. [Mayor Hemminger Regarding Advisory Board Breakfast Friday.](#)

Mayor Hemminger pointed out that the Advisory Board Breakfast would be held on Friday. She encouraged the Council to attend, noting that it would be an opportunity to thank volunteers for their service.

f. [Council Member Palmer Regarding Washington DC Men's Chorus at Binkley Baptist Church on Thursday.](#)

Council Member Palmer said that a Washington DC Men's Chorus performance at the Binkley Baptist Church at noon on Thursday would be free and open to the public.

[APPOINTMENTS](#)

12. [Appointments to the Chapel Hill Cultural Arts Commission.](#)

The Council appointed Sabine Gruffat, Justin Haslett, Andrew Kornylak, Rachel Schaevitz and Laura Williams to the Chapel Hill Cultural Arts Commission.

[Master Ballot](#)

13. [Appointment to the Chapel Hill Downtown Partnership.](#)

The Council appointed Mark Sherburne to the Chapel Hill Downtown Partnership.

[Master Ballot](#)

16. [Appointments to the Parks, Greenways, and Recreation Commission. \(R-7\)](#)

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO ADOPT R-7 AS AMENDED. THE MOTION WAS ADOPTED UNANIMOUSLY (7-0) .

[A RESOLUTION MAKING A RECOMMENDATION TO THE ORANGE COUNTY BOARD OF COMMISSIONERS REGARDING THE ORANGE COUNTY RESIDENT SEAT ON THE CHAPEL HILL PARKS, GREENWAYS, AND RECREATION COMMISSION \(2017-06-12/R-7\) as Amended](#)

The Council appointed Nicholas Dominkovics, Kokou Nayo and Emma Armstrong-Carter to the Parks, Greenways, and Recreation Commission.

[Master Ballot](#)

15. [Appointments to the Historic District Commission.](#)

The Council appointed Alan Rimer and James White to the Historic District Commission.

[Master Ballot](#)

14. [Appointments to the Community Policing Advisory Committee.](#)

The Council appointed Calvin Deutschbein, Caleb Harrison, Malcolm "Tye" Hunter and Elizabeth Wayne to the Community Policing Advisory Committee.

[Master Ballot](#)

The meeting was adjourned at 10:36 p.m.

**DRAFT SUMMARY MINUTES OF A PUBLIC HEARING
OF THE CHAPEL HILL TOWN COUNCIL
MONDAY, JUNE 19, 2017, AT 7:00 PM**

Council Members Present: Mayor Pam Hemminger, Council Member Jessica Anderson, Council Member George Cianciolo, Council Member Sally Greene, Council Member Ed Harrison, Council Member Nancy E. Oates, Council Member Maria T. Palmer, and Council Member Michael Parker.

Council Member(s) Absent: Mayor pro tem Donna Bell.

Staff members present: Town Manager Roger L. Stancil, Deputy Town Manager Florentine Miller, Town Attorney Ralph Karpinos, Planning Director Ben Hitchings, Planning Manager for Sustainability John Richardson, Human Resource Development Director Cliff Turner, Manager of Engineering and Infrastructure Chris Roberts, Senior Planner Corey Liles, Senior Planner Kay Pearlstein, Senior Ombuds Jim Huegerich, Human Resource Development Consultant Anita Badrock, Manager's Intern Toney Thompson, Administrative Assistant LaTisha Perry, Fire Marshal Darryl Rimmer, and Deputy Town Clerk Amy Harvey.

AGENDA ITEMS

Mayor Hemminger opened the meeting at 7:00 pm., and said Mayor pro tem Bell was absent, excused.

0.1 Proclamation: World Refugee Day.

Council Member Greene read a proclamation declaring June 20, 2017 as World Refugee Day in accordance with a UN resolution to promote awareness, empathy, support, and respect for refugees. The Town encouraged citizens to welcome refugees and to celebrate the triumph of the human spirit as exemplified by those who had been displaced by violence, persecution, or natural disaster, she said.

0.2 Proclamation: Immigrant Heritage Month.

Council Member Harrison, noting that he was the son of an immigrant, read the proclamation declaring June 2017 to be Immigrant Heritage Month in the Town of Chapel Hill. The proclamation encouraged citizens to recognize immigrants' accomplishments, and to reflect upon the importance of diversity and opportunity in Chapel Hill and across the nation.

Azraa Ayesha, a UNC student and member of the Refugee Community Partnership there, spoke about the experience of working to create sustainable solutions to the problems that resettled families confront. She thanked the Chapel Hill community for the recognition, and for providing resources that allow connections between UNC students and the refugee community.

Eh KerPow, a student at Chapel Hill High School, said that he had come to the US five years

earlier, seeking a better education and life. Life had been difficult for him and his parents, but Chapel Hill had been very welcoming, and had given them more opportunities, he said. Mr. KerPow said that local organizations had been encouraging, and helpful to refugees from Burma.

Mayor Hemminger mentioned a groundbreaking ceremony that would occur the following day for a sewer system on Eubanks Road. She said she hoped as many Council members as possible would attend.

Mayor Hemminger gave some information about her son's upcoming wedding.

Town Manager Roger Stancil announced that the Town Library's new book mobile would be parked in front of the fire station on Monday at 6:00 p.m. The "circulator" had been a multi-departmental effort, and all who had helped put it together would be at the event, he said.

1. [Outcomes from the 2014 & 2015 Updates to the Town's Human Resources Ordinance.](#)

Mr. Stancil introduced Human Resource Development Director Cliff Turner, and Senior Ombuds Jim Huegerich to update the Council on activities since the Town adopted a new Human Resource Ordinance a couple of years prior. He pointed out that Human Resource Development had been named for the Town's interest in developing its talent.

Mr. Turner provided an update on the 2015 Personnel Ordinance revision, and how its changes were impacting the Town organization. He discussed Human Resource Development's mission, and the importance of allocating resources toward employee development and opportunities. Mr. Turner described the process for revising the Personnel Ordinance, and making the process for resolving conflicts more collaborative and flexible.

Mr. Huegerich discussed Town values, and advances that the department had made for employees, such as contracting with UNC to develop a wellness clinic. He described a mental health assistance program that was available statewide -24 hours a day to employees, and their household members. Mr. Huegerich said that the Ombuds Program, which had been modeled on one at UNC, helped employees get unstuck and navigate Town government. He told about claims and conflicts, and stressed the importance of empowering employees. The Ombuds program helped people to understand the value of dialogue, he explained. Mr. Huegerich said that the Town was creating a place where employees felt valued.

Mr. Turner then summarized other changes that had been made to support the shift in Town culture: an improved Employee Performance Management and Development System; more collaboration with Human Resource Development, and the Town's Legal Department regarding disciplinary decisions; more employee training in conflict resolution skills; and use of formal resources when appropriate. He elaborated on these and described how they had affected communication and engagement between management and employees.

Mr. Turner said that serious disciplinary actions had been reduced by 44 percent, and that grievances had gone up 75 percent in the second year. He said that employees had come to trust that they would be heard. Mr. Turner pointed out that training was vital, that the Ombuds had

helped to intervene earlier, and that many workplace issues could be resolved by talking in a fair, confidential way. Human Resourced Development would continue to monitor, expand, and survey, and would make changes based on feedback, he said.

Council Member Palmer pointed out that there had been fewer employee suspensions but the same number of terminations. She asked if the new program had been more effective in addressing the more serious offenses, and Mr. Turner said he would return with an answer.

Council Member Palmer said that problems with race relations had become more pronounced nationally. She asked if some of the increase in training was related to racism.

Mr. Stancil replied that he had attended an REI (Racial Equity Institute) training session in Durham and had invited Orange County Manager Bonnie Hammersley to do REI training for Town and county employees, beginning in September. That would be followed by training regarding multicultural relationships within the community, he said.

Miriam Thompson, representing the local NAACP, said that she had brought a battery of concerns to the process. These included the grievance and appeal structure, the need for better employee/supervisor relations, more opportunities for employee growth and advancement, more transparent and equitable promotion practices, and opportunities for promotions from within. Ms. Thompson said that the NAACP had been invited to report on how the ordinance was being implemented, and how it was advancing employee morale, trust, growth, opportunities, and performance. She commended Mr. Stancil and Town staff for initiating the report, and discussed what needed to be done in the future.

Mayor Hemminger thanked Ms. Thompson and others who had participated, and praised the effort.

Council Member Anderson agreed that it had been a "phenomenal" effort. Some of the numbers were probably not statistically significant, so it was a good idea to do the surveys, and gather qualitative data, she said.

Tina Vasquez, a racial equity consultant who had recently moved to Chapel Hill, said she was excited about living in a community that was addressing such issues, and connected with REI. She hoped to be able to contribute to the effort in some way, she said.

2. [Consider an Ordinance Amendment to Authorize the Town Manager to Adopt a Policy to Provide Paid Parental Leave and Protections for Town Employees. \(O-1\)](#)

Mr. Stancil gave an overview of the proposed amendment. He explained that a Council discussion had led to the creation of a taskforce that surveyed Town employees, and developed the recommendation. Ninety-three percent of those surveyed said they supported the proposal, even if they would not use it themselves, he said. Mr. Stancil explained that adopting the ordinance amendment would authorize parental leave as a benefit for Town employees. Staff would develop a personnel policy to implement six weeks of paid leave per calendar year for those whom the Town had employed for at least a year, he said.

Council Member Anderson asked if the time off could be later than immediately after the birth. She wondered about a situation where a Town employee's spouse worked elsewhere, she said.

Mr. Stancil replied that that could be arranged, on a case-by-case basis. The Town's interest was to be part of the planning effort, so that an employee's work could be covered, he said.

Council Member Palmer asked about removing the "once per year" provision, noting that unplanned things happen.

Mayor Hemminger proposed leaving that to the Manager's discretion if there were an unusual situation.

Council Member Palmer said that having to ask the Manager for permission would seem capricious. Why put it in the ordinance, and then force someone in an exceptional circumstance to ask permission, she asked.

Mr. Stancil replied that staff would take that into consideration when writing the policy.

Mayor Hemminger confirmed with Mr. Stancil that the taskforce was continuing to work on a broader policy that would include other life situations/emergencies as well. She also confirmed with him that there was a process for Town employees to donate time to each other.

Council Member Harrison verified that Human Resource Development would always be the place where an employee's request would end up.

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO ENACT O-1. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[AN ORDINANCE AMENDING CHAPTER 14 OF THE TOWN CODE OF ORDINANCES TO PROVIDE PAID PARENTAL LEAVE AND PROTECTIONS\(2017-06-19/O-1\)](#)

3. [Chapel Hill Downtown Partnership Annual Report.](#)

Meg McGurk, executive director of the Downtown Partnership, presented information on the partnership's mission, goals, and accomplishments. She said that the organization had recently gone through a strategic planning process that had resulted in a three-year work plan. Ms. McGurk showed pictures of West Rosemary Street before and after recent improvements, and discussed how the partnership had been involved. She discussed how place-making efforts included making the downtown area a clean, safe, beautiful, accessible, and family-friendly destination. Ms. McGurk outlined her work plan for the coming year, and described the many ways in which the partnership strove to help downtown businesses succeed.

Council Member Parker confirmed with Ms. McGurk that the partnership would invest in

maintaining and improving downtown cleanliness if it had more funding.

Council Member Palmer asked how an idea for adding a splash pad to the downtown had been coming along. She also mentioned the potential for making the top of the Rosemary Street parking deck an attraction, and asked Ms. McGurk if she would retract the idea of putting food trucks up there.

Ms. McGurk replied that creating an attraction on the deck was on her agenda, and a splash pad would be "fantastic." The partnership was considering doing a place-making experiment on West Franklin Street over the summer, she said, added that they were constantly looking for opportunities to add color, texture, and liveliness to the downtown.

Council Member Greene confirmed with Ms. McGurk that the partnership worked closely with the Arts Commission staff regarding One Percent for Art projects.

Council Member Anderson expressed enthusiasm for "pop up experiments," but noted that many people only learn about them afterward. She said that parents in the community always want a splash pad, and even drive their children to other towns that have them. She expressed support for the idea of having something permanent, however. Such activities would lead to more families coming, and spending money downtown, Council Member Anderson said.

Council Member Harrison confirmed with Ms. McGurk that the partnership maintained a searchable index of downtown businesses, with the exception of pop-ups.

Mayor Hemminger mentioned that there were improved planter boxes, lighting, and parking downtown. She praised the Downtown Partnership for staying well-connected to downtown entities. She expressed appreciation for the partnership's ability to help the Town develop and analyze exactly what businesses existed downtown, and encouraged Ms. McGurk to keep up the good work. Mayor Hemminger noted that the partnership and the Orange County Visitors Bureau were linked together in multiple ways, and were good sources for citizens to learn what was going on.

4. [Open a Public Hearing to Consider a Land Use Management Ordinance Text Amendment to Section 5.1.3 Related to Revising the Public Works Engineering Design Manual.](#)

Manager of Engineering and Infrastructure Chris Roberts introduced the text amendment and outlined the process, from presentation to the Planning Commission (PC) on May 16th to final action by Council on June 26, 2017. He explained that enactment would authorize the Town Manager to revise and maintain the design manual in accordance with the Town's general performance standards, and best management practices. Mr. Roberts said that benefits of the changes would include a higher frequency of revisions, a more efficient and cost-effective revision process, and a better ability to keep up to date with new technologies and emerging practices. He said that the next step was to receive public comment, and continue the hearing to June 26th, for Council action.

Mayor Hemminger said that moving forward with the text amendment would make the process

more efficient.

Council Member Harrison noted that the design manual was important to the public, as well as applicants. He recommended that it be more prominent on the Town's website.

Council Member Palmer expressed enthusiasm for the proposed change, noting that incorporating design manual changes regarding low vision amenities, for example, would lead to more efficiency.

5. [Consider Action for Amending the Water and Sewer Management, Planning and Boundary Agreement \(WASMPBA\). \(R-1\)](#)

Senior Planner Corey Liles gave a PowerPoint overview of the amendment to a joint, multi-agency agreement regarding public water and sewer services. Orange County and Carrboro, which were two of the five parties to the WASMPBA agreement, were seeking the amendment and staff was recommending that the Town approve it, he said. Mr. Liles explained that the amendment would change the designation of two areas, which were both outside Town jurisdiction, and allow them to be served by OWASA water and sewer.

Orange County Planning Systems Coordinator Perdita Holtz continued the PowerPoint presentation. She provided background on the multi-agency agreement, which had been signed in 2001, and which defined water and sewer utility service areas in Orange County. She showed a section of land at US-40 and NC 86, and explained that Orange County and Hillsborough had been working on an inter-local agreement to add 84.16 acres to that economic development district.

Patricia McGuire, planning director for the town of Carrboro, continued the PowerPoint presentation, and discussed a 20.5-acre area at Smith Level Road within Carrboro's planning jurisdiction. That area had not been included in the service area, but had not been listed under "exceptions" either, she explained. Ms. McGuire said that Carrboro sought to make OWASA service consistent with the zoning that had been in place for many years.

Mr. Liles said that staff was recommending approval of both requests. It would benefit the two areas, he said, adding that the Town might want to do something similar in the future.

Mayor Hemminger said that it had become increasingly important for the Town to incorporate denser areas, and others that were likely to become denser, and get them on water and sewer. The idea made sense and was better for the watershed, she said.

COUNCIL MEMBER JESSICA ANDERSON MOVED, SECONDED BY COUNCIL MEMBER MICHAEL PARKER, TO ADOPT [ADOPTED R-1](#). THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[A RESOLUTION APPROVING AMENDMENTS TO APPENDIX A OF THE WATER AND SEWER MANAGEMENT, PLANNING AND BOUNDARY AGREEMENT \(WASMPBA\) TO DESIGNATE 84.16 ACRES IN THE HILLSBOROUGH EDD AREA AND 20.6 ACRES IN](#)

[THE SMITH LEVEL ROAD AREA AS "PRIMARY SERVICE AREA" \(2017-06-19/R-1\) \(PDF\)](#)

6. [Receive Information on Proposed Amendments to the Joint Planning Agreement \(JPA\).](#)

Mr. Liles gave a PowerPoint presentation on the Joint Planning Agreement (JPA) between Chapel Hill, Orange County, and the towns of Carrboro and Hillsborough. He noted that the JPA, which had been in place for several decades, provided coordinated land use planning for a large portion of southern Orange County, and had established the Rural Buffer (RB) around the towns. The current focus was on determining the Council's interest in amending the JPA, and adding the 207.8-acre southern transition area to the RB, he said.

Mr. Liles recommended that the Council adopt the resolution in support of maintaining the current southern transition area designation. Doing so would preserve options for future land use decision-making, he said. Any addition to the rural buffer would need to go through the joint planning process, which would include a public hearing in October, Mr. Liles explained.

Perdita Holtz continued the PowerPoint presentation, explaining that the JPA, adopted in 1986, determined how development review and permitting would occur, and placed some limitations on annexations. All of the jurisdictions involved must approve amendments, Ms. Holtz pointed out. She showed the RB and the southern transition area on a map. She also indicated three other geographic areas - Millhouse Road, Sunrise Road, and Old Lystra Road, and said that only Old Lystra Road would require a joint planning process to change it from a transition area to RB. Ms. Holtz said that Orange County wanted to know if elected officials were interested in making that change.

Mr. Liles reviewed some of the staff's analysis, and provided more details about the southern transition area, which was bordered by Chatham County, Old Lystra Road, and NC 15-501. He presented possible future scenarios and the pros and cons of making that area part of the RB. He pointed out the possibility for economic development in one corner, if the property remained in the transition area. Mr. Liles discussed existing and future land use, and the feasibility of extending water and sewer service in conjunction with Obey Creek infrastructure development. He recommended that the Council adopt the resolution to maintain the current designation, which would keep options open, and allow for managed growth.

Council Member Harrison said he thought residents expected the area to remain low intensity neighborhood commercial. In addition, the Wilson Creek valley was protected by an Obey Creek development agreement, and he would feel uncomfortable using the rest of that corridor for a sewer line, he said. It would be a drastic change, Council Member Harrison said.

Mr. Liles replied that the two were not interlinked. If sewer were not extended, there could still be reason to preserve the transition area for development not serviced by public sewer, he said.

Council Member Anderson asked if there had been any consideration given to putting only part of the area into the RB.

Mr. Liles replied that that had been considered. However, staff had wanted to go ahead and bring the item to the Council's attention, and had not seen the possibility of deciding on a boundary everyone could agree on in the time available, he said. It would probably take some time to determine which parcels should remain for future development, and which could be proposed for RB, Mr. Liles said.

Council Member Oates asked if the public had been led to believe that the area would be preserved as RB if Obey Creek were approved.

Mr. Liles replied that he was not certain. He was not aware of any such provision in the Orange County approval process, he said.

Council Member Oates asked if there would be an opportunity for public participation.

Mr. Liles replied that the item would go to a joint public hearing if adding the area to the RB were being considered. It would then be considered for Council action at a Town public hearing, he said.

Council Member Oates confirmed with Mr. Liles that initiating the JPA amendment would not lock the Town into a rezoning. She verified that there would be enough time for public comment, and for Council members to change their minds.

Council Member Parker confirmed with Mr. Liles that staff had not spoken with current property owners in the area. If directed to look at dividing the land, then that would be an opportunity to engage with them, said Mr. Liles. In addition, there would be public notice given if a joint public hearing were held, he pointed out.

Council Member Palmer asked why there was not an option to consider making the area to be part of the primary service area.

Mr. Liles replied that a primary service area was a designation under the WASMPBA agreement, and that the land, currently in OWASA's long-term interest area, would need to be considered for that before any future water and sewer could serve the area.

Council Member Greene said that there seemed to be an argument for eventually making most of the southern area RB. Obey Creek made that an interesting possibility, subject to much conversation, she said, noting that the Town did have the back side of Obey Creek as a nature preserve. Maybe there could be some development in an area near the tip of the point, she said. Council Member Greene said she was interested in going forward with conversations about potentially putting most, if not all, of the area in the RB.

Council Member Harrison said that the area would be a logical water and sewer boundary, if the watershed line for Wilson Creek was anywhere east of the point.

Mr. Liles recalled that someone from OWASA had said that a pump station would be required for sewer in the area toward the point, because it did not drain toward Wilson Creek.

Council Member Palmer said she saw no positive side to making the area part of the RB. Lots would have to be two acres, houses would be bigger and more expensive, and there would be more problems with drainage and septic systems, she said. Since the Town could not afford to buy the land and make it into a park, she did not see any advantage to adding it to the RB, she said.

Council Member Parker agreed that the area seemed to be working well the way it was, and said he did not see a compelling reason to put it in the RB. However, if the Council did decide to do so, it should look carefully at how the property might be divided up, respect the legitimate interest of the current property owners, and not foreclose possibilities for future generations, he said.

Council Member Oates recommended talking with landowners to see if they have strong feelings about changes, and asking the public if they understood that at least part of the area would be preserved as RB.

Mayor Hemminger agreed with Council Member Parker's comment about not trying to fix something that was not broken. She did not want to curtail the options, she said, adding that there might be some affordable housing, or economic development opportunities there in the future. She, too, spoke against creating an area that would permit large homes as the only option, but said that there might be opportunities to carve out chunks that could be zoned differently. One size fits all would not help the Town at the current time, she said.

Mayor Hemminger mentioned other possibilities, such as changing an area off Millhouse Road from RB to ETJ, in order to allow water and sewer to the park that would be developed there. Doing so would allow bathroom facilities on the parcel, and maybe even gym space in the future, she said.

Mayor Hemminger asked about the process for changing RB property to ETJ, and Mr. Liles said that it would follow state statute, which would include Town and County public hearings.

Ms. Holtz added that the Board of County Commissioners (BOCC) had expressed interest in moving forward with that idea during a presentation in February 2017.

Mayor Hemminger said that it would be beneficial for the Council to send a letter to the BOCC chair, if it wanted to move forward with a public process to determine whether there was any reason to not make that change. She pointed out that the Town planned to extend light industrial into a nearby area.

Mayor Hemminger also mentioned changing a designation of land on Sunrise Road from transition area to being under the Town's purview. Not having to go through both Town and county planning processes would make it easier and less costly for Habitat for Humanity there, she said. Mayor Hemminger confirmed with Council members that they would support her writing a letter to that effect to the BOCC.

Council members agreed that they were not ready to recommend changes to the southern transition area, but would like to explore changing the three northern properties.

COUNCIL MEMBER ED HARRISON MOVED, SECONDED BY COUNCIL MEMBER MARIA T. PALMER, TO ADOPT R-1.1. THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[A RESOLUTION IN SUPPORT OF MAINTAINING THE CURRENT DESIGNATION OF THE SOUTHERN TRANSITION AREA OF THE TOWN OF CHAPEL HILL \(2017-06-19/R-1.1\) \(PDF\)](#)

7. [Consider Adopting a Calendar of Council Meetings through December 2017. \(R-2\)\(R-3\)](#)

Mr. Stancil provided information on a potential pilot project to hold the Council's business meetings on Wednesdays rather than Mondays, effective September 2017. The Council could then decide in December whether or not to continue with the change, he said. Mr. Stancil explained that meeting on Wednesdays would avoid rescheduling for holidays and would give Council and staff more time to communicate about meeting information.

Council Member Anderson confirmed with Mr. Stancil that a schedule for work sessions could be determined after the Council decided whether or not to change its business meetings schedule.

Council Member Parker expressed support for the pilot, but recommended making the decision about continuing it earlier than December.

Mr. Stancil replied that the Council could address it during its first meeting in November.

Council Member Harrison noted that the Council of Town Governments met on the 4th Wednesdays, but said that Council delegates could attend those meetings.

Council Member Palmer expressed surprise that the Town would consider the idea without community input. She pointed out that some religious organizations had extensive Wednesday programming, and said they had contacted her with concerns about the change.

Council Member Greene said she understood that the change made sense, and would help staff and Council. However, a variety of community groups met on Wednesdays, she said, and asked about changing Council meetings to Tuesdays.

Mr. Stancil pointed out that the Town shared a cable channel with the Town of Carrboro, which met on Tuesdays.

Council Member Cianciolo commented that the occasions when someone would have to make a choice would likely be rare, and people could always view the recorded meeting. He said that the change was worth trying and reevaluating after two months.

Council Member Oates agreed that it was worth trying for a few months, because it would make a huge difference in the staff's work life, and their ability to provide the Council with clear answers. Local churches could always send representatives to read statements, she said.

Council Member Palmer argued that changing the meeting day would preclude some from becoming Council members. She would not have been able to hold a class she was teaching if meetings were held on Wednesday, she said. Council Member Palmer noted that church choirs typically met on Wednesdays. She said that the Council was considering making a change with no community input and no powerful reason.

Council Member Anderson said that trying the change as a pilot would reveal whether or not it made a huge impact on community participation. She expressed reluctance to focus specifically on those of the Christian faith who attend church on Wednesday, noting that any day the Council chose would inconvenience someone. She said that the change would not only be more convenient for staff, but would facilitate getting the best information to Council. Basing the decision on how the Council gets information was the only fair way to approach it, said Council Member Anderson.

Mayor Hemminger pointed out that there were many other ways (phone calls, emails, and handwritten letters) for citizens to communicate with Council members. She spoke in favor of trying a pilot program, and said that doing so would provide benefits to the public as well. She heard the concerns, but thought that there would be concerns with whatever choice the Council made, Mayor Hemminger said. She spoke in favor of reevaluating in November rather than December.

COUNCIL MEMBER GEORGE CIANCIOLO MOVED, SECONDED BY COUNCIL MEMBER JESSICA ANDERSON, TO ADOPT R-2. THE MOTION WAS ADOPTED BY A VOTE OF 7-1, WITH MAYOR PAM HEMMINGER, COUNCIL MEMBER JESSICA ANDERSON, COUNCIL MEMBER GEORGE CIANCIOLO, COUNCIL MEMBER SALLY GREENE, COUNCIL MEMBER ED HARRISON, COUNCIL MEMBER NANCY E. OATES, AND COUNCIL MEMBER MICHAEL PARKER VOTING AYE AND WITH COUNCIL MEMBER MARIA T. PALMER VOTING NAY .

[A RESOLUTION ADOPTING A CALENDAR OF COUNCIL MEETINGS THROUGH DECEMBER 2017 \(2017-06-19/R-2\)](#)

[CONCEPT PLAN REVIEWS](#)

8. [Concept Plan: North Estes Mixed-Use Center, 850 N. Estes Drive \(Project # 17-044\). \(R-4\)](#)

Senior Planner Kay Pearlstein gave a PowerPoint overview of the concept plan for a mixed-use development on North Estes Drive. She said that the applicant had revised its plan since the Community Design Commission (CDC) review, and she noted those improvements. Ms. Pearlstein showed the 14.7-acre site on area, and aerial maps, discussed nearby properties, and

pointed out that the property was in the Horace Williams Airport Hazard Overlay Zone. The property was also in Focus Area 3 and was part of the Central West Small Area Plan, she said. She explained that Residential-1 was the existing zoning, and that the applicant was proposing changing it to Mixed-Use Village to allow more square footage.

Ms. Pearlstein said that the plan included 327,535 square feet of floor area, 206 dwelling units, and 602 parking spaces. The proposal was for rental dwelling units, which would not be covered by the Town's Inclusionary Zoning Ordinance, she said. However, due to the rezoning, the applicant would be subject to the Council's Affordable Housing (AH) policy, which expects that 15 percent of the units would be affordable, Ms. Pearlstein explained. She said that the Housing Advisory Board had not yet reviewed the concept plan, and that the version the CDC had seen was different than the one now being presented to the Council. She outlined the CDC's reactions and suggestions, and recommended that the Council adopt R-4, transmitting its comments to the applicant.

Landscape Architect Scott Murray, also speaking for developers Bill Michener and Chester Brown, explained that the plan that had been presented to CDC had included a small grocery store. That store was no longer an option, and they had changed other aspects of the plan due to the CDC's comments, he said. Mr. Murray explained that having garden style apartments to reduce costs had led to multi-use rather than vertical mixed use. In a PowerPoint presentation, he showed views of the property, and compared the former plan with the current one. He discussed vehicle circulation routes, greenspace, connectivity, plan layout, and parking. With regard to the Airport Hazard Zone, the FAA had determined that a two-story office building in the C District would not be a hazard, he said. Mr. Murray discussed how the concept plan conformed with Town goals, and said that it was close to what had been outlined in the Central West Small Area Plan.

Council Member Anderson asked about traffic flow, and Mr. Murray replied that Town staff and the NC Department of Transportation (DOT) had said that any of three access points would be reasonable. He described each of those points.

Council Member Harrison confirmed with Mr. Murray that the easternmost intersection would have a stop sign until the DOT agreed that signalization was warranted. He commented on how a mere stop sign would create extremely long wait at times, and Mr. Murray pointed out that most congestion occurred during school hours. Office and retail traffic would not sync with those peak hours, Mr. Murray said.

Mr. Murray explained that the next step, if the applicant received favorable feedback from Council, would be to conduct a traffic impact analysis (TIA).

Council Member Harrison said that the peak time was about three hours long and that turning left would be difficult after 3:30 p.m.

Mr. Murray replied that he hoped improvements would include traffic signal re-timing, but Council Member Harrison said that that would not reduce the number of trips on the street. Any applicant needed to understand that there would not be more than two travel lanes there, Council

Member Harrison said.

Council Member Parker confirmed with Mr. Murray that the concept plan did accommodate the Town's plan to construct a multi-use path in the area.

Council Member Oates clarified with Mr. Murray that the FAA had concluded that two-story buildings in area C would not create a hazard. The area outside of that would be three and four stories, Mr. Murray said. He added that he had not yet discussed that with the FAA, but thought it would be acceptable as well since the top elevation would be lower than the building that had been determined to not be a hindrance to navigation.

Council Member Oates asked about the status of possibly cutting through the Shadowood property, and Mr. Murray replied that the CDC had suggested that as a pedestrian connection. Council Member Oates confirmed that there had been no discussion about making it a vehicle access point. She also confirmed that another property owner on Estes Drive supported a vehicular connection.

Council Member Oates asked for more information on how the AH plan would work.

Mr. Murray replied that a proposal was not yet ready, and that their plans would depend on what else, such as traffic, they would be required to mitigate. He understood the Town's position on AH and would work with the Housing Advisory Board to formulate a plan, he said.

Council Member Oates asked Mr. Murray to give his definition of workforce rents, and he replied that it was 60-80 percent of the area median income. He said that 70-80 percent might be a more reachable target, however. It depended upon other factors, including how many units they would be able to do at that level, he said. Mr. Murray could not say at the current time what the monthly rent would be.

Council Member Oates stressed that the Council took AH seriously. It did not "fly well" when developers promise it, but later say that the numbers do not work out, she said.

"We hear you loud and clear," Mr. Murray replied.

Council Member Greene asked about the scale of the green gathering spaces compared to the green at Southern Village.

Mr. Murray indicated one greenspace was more than 200 feet long and 40 feet wide at one end and 80 feet wide at the other. He offered to return with visual comparisons to Southern Village, and Council Member Greene said that would help. The new plan was obviously an improvement over the one that the CDC had seen, but there was still an awful lot of pavement, she said.

Council Member Parker confirmed where the structured and surface parking areas would be and inquired about internal circulation. He asked which areas were meant to be actual streets and which would be areas that traverse parking lots.

Mr. Murray indicated the two streets that would create the primary circulation space.

Council Member Harrison said he agreed with the CDC that the stormwater system needed to be an amenity rather than a mere structure. He confirmed with Mr. Murray that any underground sand filters would be grassed over.

Mr. Murray explained that having more garden-like apartments and lower rents would lead to more surface parking and generally a larger footprint. That was why the stormwater structures had become a little more utilitarian, he explained, noting that large ponds were difficult to do in an urban context.

Dixon Pitt, CDC chair, said that the current plan was quite a bit better than what the CDC had seen, but that some CDC comments still applied. CDC members like to see parking decks screened, high quality materials, and attractive design, he said. Since the current plan was not the same as the CDC had seen, he would avoid commenting more at the current time, said Mr. Pitt.

Mayor Hemminger mentioned that she had been at the CDC presentation, and understood that the current plan was different. Many of the CDC's comments had centered around whether or not the plan met the Central West Planning Guide, she said. She confirmed with Mr. Pitt that the CDC would address that when looking at the new plan as well.

Shauna Farmer, a Coker Hills resident, asked Council members to temper any enthusiasm for the development with the knowledge that little is known about how it would affect traffic. The Central West Plan had been approved with the assumption that intersection and traffic improvements would be made before such density happened, she said. Ms. Farmer asked the Council to temper its positive comments until issues of traffic, especially as it related to pedestrian and bicycle users on Estes Drive, were better understood and potential problems had been mitigated.

Buffie Webber, a former Central West Planning Committee member, said she was pleased to see the changes that had been made since the presentation before the CDC. She said that the Central West Committee had spent a lot of time thinking about how the area should be a place where people would be less likely to use their cars. She discussed the Town's responsibility for assuring multi-modal access on Estes Drive. The Committee had paid attention to spreading traffic out over the day, and she did not know what the effect would be of having office and residential, as the applicant was proposing, Ms. Webber said.

Elaine Marcus, an Estes area resident, expressed concern about waiting too long to address traffic concerns, and described access problems that already existed due to recent new development. She asked the Town to look at the "bigger big" picture when addressing new development and traffic issues.

Council Member Palmer expressed concern about traffic issues, but said she was excited about having apartments where people would not have to drive to UNC and other locations. She hoped they would not be just transition housing, but homes that would attract teachers, families,

professionals, university researchers, and others, she said. She expressed a desire to see a Weaver Street Market satellite at that location, noting that it would serve the entire area, and allow people to purchase food without having to use a car. That would be as much of a service to a community as having AH, she said, and recommended that the store include a greenspace next to it.

Council Member Parker, a former Central West Committee co-chair, said that the concept plan incorporated many of the features that the committee had wanted, but still had a way to go. The plan failed as a destination to which those in surrounding areas would want to come, he said. In addition, the plan did not establish a connected street and trail network. It did not minimize the visual impact from cars, since there was an enormous amount of surface parking right at the street front, he said. Council Member Parker said that the Town had been investing in traffic modeling, and wondered if a more robust technique would reveal how to address traffic impacts better than a TIA. While he appreciated the green along MLK, that area would be much more attractive surrounded by buildings than by a parking lot, he said.

Council Member Greene agreed that the current plan was an improvement, but said that it was still unfocused and uninspired. Traffic was a huge problem, and some of the proposals for solving it would not be effective or good planning, she said. She reviewed the history of the planning for green space at Southern Village, and recommended that the applicant might talk with that developer. Council Member Greene said that she understood it was early in the designing process, but the design did not seem thought out, and the green spaces were "lost in asphalt."

Council Member Harrison said that the easternmost exit needs something higher than a stop sign, and that a roundabout there would not slow things down much if it were well designed. He encouraged the applicant to put stormwater underground as much as possible, and to create a facility that would be better than just utilitarian. Having a long parking lot adjacent to neighbors was a dreary prospect, said Council Member Harrison, adding that not having it right up against the boundary would help. He said that he did not know if DOT would accept all of the reconstruction that had been proposed for bus rapid transit, but pointed out that the community seemed to want that. That would be quite disruptive to a major facility, and the applicant needed to realize that Martin Luther King Jr. Boulevard would be different in the future, he said.

Council Member Anderson agreed with what Council Members Greene and Parker had said, and expressed concern about increasing traffic at an already bad intersection. The concept plan was not exciting, and did not include a community amenity or features that would draw those who live and work there to the outdoor spaces, she said.

Council Member Cianciolo agreed that the plan was not exciting without something to draw people to it. It did not satisfy that particular Central West goal, and would not add much to the community, he said. Council Member Cianciolo said he did not know what such a draw might be, and that he understood it was difficult to find at the current time.

Council Member Oates said she agreed with her colleagues. Including a grocery store might persuade her that the plan was a good concept, she said. She stressed that traffic was a huge

concern for her, and that the only way it would work would be to go through adjacent property out to Somerset and persuade DOT to put a roundabout there. She said she was serious about AH, and would want to see concrete numbers. Council Member Oates confirmed with the applicant that the internal streets would be privately maintained.

Council Member Palmer mentioned that the Town needed amenities such as a splash park and a farmer's market. She told the applicant to be creative, and think of uses that would attract people and serve the community. For example, moving the green space could make it more of an amenity, she said.

Mayor Hemminger recommended that the applicant make sure there was enough space in the plan to accommodate bus rapid transit. She said that the corner intersection needed to make a welcoming statement of some sort. She agreed with much of what the Council had said, she said, adding that she appreciated the applicant's response to the CDC's comments, and the additional green spaces. The plan was on a better path, but more thought needed to be given to attracting people other than those who live there, she said.

Mayor Hemminger said she preferred that stormwater be hidden as an amenity to having it as a merely functional system. With regard to the "sea" of surface parking, she would rather have a bigger parking deck that was wrapped or screened, she said. She noted that all Council members had expressed concern about traffic. The plan was getting closer, she was excited about the proposal for more commercial and office space, and liked the greenway connectivity, she said. Mayor Hemminger said she thought there was a partnering opportunity to make the project more interesting. She pointed out that the reason for having a Central West Plan was to avoid having just another apartment complex with an opening onto Martin Luther King Jr. Blvd. She had huge concerns about traffic in the area, Mayor Hemminger said.

Mr. Murray replied that he appreciated the Council's comments, and sincerely wanted to do what was right for Chapel Hill. However, the "Catch 22" was that structured parking would need to be justified by a critical mass of retail that would take the 350,000 square-foot plan to 400,000 or 500,000 square feet. Should the Town deviate from the Central West Small Plan in terms of density in order to get what it wants, he asked.

Mayor Hemminger replied that the Council did not like the "sea of parking", and was willing to consider structured parking, knowing that it goes with commercial/office very well.

Mr. Murray pointed out that structured parking also goes with higher rents. He could certainly work on something like that if that was what the Council wanted, he said.

Council Member Parker remarked that it did not have to be all one level of apartments. In many cities, developers had blended market rate and sub-market rate apartments for the benefit of all, he said.

Mayor Hemminger agreed, adding that she had seen examples, such as Holiday Valley in Boulder, CO, which was a great example of a mix of uses. There was a big park in the center, blended commercial/retail on the first levels, and living areas on the second and third stories, she

said. It was fascinating to see and it was thriving because it was place-making, said Mayor Hemminger.

Council Member Palmer pointed out that density in such projects was much higher, however, and that Mr. Murray was asking if the Council would be okay with more density if the plan includes amenities.

Mr. Murray agreed, adding that there was a disconnect between the density that was spelled out in the Central West Plan, and the realities of structured parking.

Council Member Palmer said that she had heard Mr. Murray say that doing more office space would make it more financially viable to build structured parking. However, she did not want to give up apartments because there were not enough of those within walking distance of schools and downtown, she said. Council Member Palmer said she would be okay with higher density if that would allow structured parking.

Council Member Oates raised the idea of a grocery store again. She pointed out that many area residents would walk to it, so it wouldn't require a parking deck. She said she felt frustrated because the Council had given comments, and the feedback was that it would not work.

Mr. Murray replied that all were on the same team and said he apologized if he had given a different impression. He was just trying to balance a challenging situation and would work through it with the Town, he said.

COUNCIL MEMBER MICHAEL PARKER MOVED, SECONDED BY COUNCIL MEMBER NANCY E. OATES, TO [ADOPTED R-4](#). THE MOTION WAS ADOPTED UNANIMOUSLY (8-0) .

[A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR NORTH ESTES MIXED USE CENTER, 850 N. ESTES DRIVE \(2017-06-19/R-4\)](#)

Mayor Hemminger reminded Council members that their last meeting of the year would be on Monday, June 26, 2017. The meeting was adjourned at 11:07 p.m.



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 6., **File #:** [18-0698], **Version:** 1

Meeting Date: 9/5/2018

Receive Upcoming Public Hearing Items and Petition Status List.

Staff:

Sabrina Oliver, Director and Town Clerk
Amy Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council accept the reports as presented.

Background:

Two pages on our website have been created to track:

- public hearings scheduled for upcoming Council meetings; and
- petitions received, including their status and who you can call for information.

The goal is to provide, in easily available spaces, information that allows people to know when Council will be seeking their comments on a particular topic of development and to know the status of a petition submitted at Council meetings.

In addition to being on the website, these pages will be included in each agenda for Council information,

Fiscal Impact/Resources: Staff time was allocated to create the semi-automated web pages, and additional staff time will be needed for maintenance.

Council Goals: Foundational Program: Govern with quality and steward public assets



Attachments:

- Scheduled Public Hearings <<http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/scheduled-agenda-items>>
- Status of Petitions to Council <<http://www.townofchapelhill.org/town-hall/mayor-and-council/council-minutes-and-videos/petition-status>>

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

Scheduled Public Hearings

This webpage lists public hearings that are scheduled for a *specific Council meeting date*, although periodically, some may be continued to a future date. Public hearings may relate to the Land Use Management Ordinance (LUMO), Residential or Commercial Development, Budget, Transportation, or Housing issues. Meeting materials are posted at [Council Meeting Agendas, Minutes and Videos](#).

Interested in a development project not yet scheduled for Council review? See the [Development Activity Report](#) for the project's current status.

September 5

- 101 Oak Tree Drive, The Oaks Condominiums - Drainage Improvements Special Use Permit Modification (Project #18-046)
- Text Amendment: (Project #18-023) Allow Conditioned-Self Storage in Office/Institutional-2 District, and Increase Floor Area Ratio in Office/Institutional-2 Zoning District

September 19

- Concept Plan Review: 101-111 Erwin Road Mixed-Use Development.
- Consider an Application for Zoning Atlas Amendment - Eastowne Redevelopment Medical Office Building - 1.
- Consider a Special Use Permit Modification - Eastowne Redevelopment Medical Office Building - 1.

STATUS OF PETITIONS TO COUNCIL

Petitions submitted during the Town Council meetings are added to the list below, typically within five business days of the meeting date.

To contact the department responsible, click on the department name. Meeting materials are posted at [Council Meetings, Agendas, Minutes and Videos](#).

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
06/27/2018	Susanne Kjemtrup / Brian Hageman	Transportation and Connectivity Advisory Board Request for an Electric Vehicle Provision in the Land Use Management Ordinance.	Planning & Sustainability	
06/13/2018	Mayor pro tem Jessica Anderson	Request to Amend Bus Advertising Policy.	Transit Brian Litchfield , Transit Director Phone: 919-969-4908	Staff is preparing information to respond to this request.
06/13/2018	Mayor Pam Hemminger	Regarding Reviewing Policies, Procedures, and Practices for Development.	Planning & Sustainability	Staff is preparing information to respond to this request.
06/13/2018	Ondrea Austin	CHALT's Request to Revise the Tree Ordinance.	Planning & Sustainability	Staff is preparing information to respond to this request.
06/13/2018	Julie McClintock	Regarding Potential Purchase of P.H. Craig's 77-acre Tract of Land.	Town Manager	Staff is preparing information to respond to this request.
06/13/2018	Steve Moore	Accessibility of Historical Old Chapel Hill Cemetery Files.	Parks & Recreation Jim Orr , Director Parks and Recreation Phone: 919-968-2785	In June/July 2018, staff digitized the files and expects to have them available to view and download on the Town's web site by the end of the summer. A hard copy of the records will also be shared with the Chapel Hill Historical Society.
06/13/2018	Jeff Charles	Request to Form Study Group to Upgrade BikePed Path on Homestead Road.	Planning & Sustainability	Staff is preparing information to respond to this request.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
05/23/2018	Mt. Carmel Church Road Residents	Request Regarding Chapel Hill Cooperative Preschool	Planning & Sustainability Town Attorney Ralph Karpinos , Attorney Phone: 919-968-2746	Staff is preparing information to respond to this request.
05/23/2018	Matt Tynan	Request Regarding Traffic Safety/Calming Measures	Police Chris Blue , Police Chief Phone: 919-968-2766 Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Staff is preparing information to respond to this request.
05/23/2018	Jenn Weaver and Julia Sendor	Request for Funding a Position at the Orange County Food Council	Town Manager Housing & Community Loryn Clark , Executive Director Phone: 919-969-5076	Orange County is drafting a proposed interlocal agreement and job description. If the County establishes this position and hires an employee, and the Council is interested in partially funding the position, the Town could allocate funds at that time.
05/09/2018	Maria Palmer	Request for Town of Chapel Hill to Stop Support of UNC Sports until Silent Sam Statue is Removed.	Police Chris Blue , Police Chief Phone: 919-968-2766 Town Manager	Staff is preparing information to respond to this request.
04/11/2018	Transportation and Connectivity Board and Planning Commission	Request the Town Adopt a Vision Zero Policy.	Planning & Sustainability	Staff is preparing information to respond to this request.
03/14/2018	Council Members Anderson, Gu, and Schaevitz	Request Regarding Addressing Blue Hill District Community Interests.	Planning & Sustainability	At the 06/27/18 business meeting, the Council enacted ordinance amendments to encourage non-residential development and address building size in the district.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
03/07/2018	Kidzu Children's Museum	Request for Town Assistance to Explore the Southern Village Site for New Museum.	Town Manager	Kidzu and the Town signed a Letter of Intent and Good Faith Agreement in June 2018 to enter into negotiations for a formal agreement, which will be presented to Council by Spring 2019.
02/21/2018	Kimberly Brewer	Request to Make Tiny Homes a Legal and Affordable Housing Option.	Housing & Community Loryn Clark , Executive Director Phone: 919-969-5076 Planning & Sustainability	Staff has met with the petitioner and is preparing additional information to respond to this request.
01/31/2018	Environmental Stewardship Advisory Board	Request for Council Support of a Resolution Endorsing a Federal Revenue-Neutral Carbon Free and Dividend Program.	Planning & Sustainability Public Works Lance Norris , Public Works Director Phone: 919-969-5100	At the 06/20/18 public hearing, Council enacted an ordinance amendment to apply Architecture 2030 Challenge fossil fuel reduction targets to new and renovated Town buildings.
11/29/2017	Council Members Anderson and Parker	Regarding East Rosemary Street Design Guidelines.	Planning & Sustainability Town Manager	Staff is preparing information to respond to this request.
11/15/2017	Whit Rummel	Request to Reconsider Land Use of Certain Properties along Estes Drive.	Planning & Sustainability	Staff is preparing information to respond to this request.
09/06/2017	Tom Henkel from the Environmental Stewardship Advisory Board	Request for Modification to the Ephesus-Fordham Form-Based Code for the Purposes of Energy Efficiency.	Planning & Sustainability	Where feasible, modifications will be considered as part of the development process for the Blue Hill Design Guidelines.
02/13/2017	Transportation and Connectivity Advisory Board	Request for Increased Staff Time to the Town Staff Bicycle and Pedestrian Committee; and Request for a Process to Update and Modify Bicycle and Pedestrian Projects Reviewed by the Board.	Town Manager Planning & Sustainability	Regular updates on bicycle and pedestrian projects are now being provided at board meetings. Staff will propose a way to consider future staffing resources at an upcoming board meeting.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
01/23/2017	Transportation and Connectivity Advisory Board	Request to Support Low/No Vision Guidelines to be Included in the Town's Engineering Manual as Stated in the April 11, 2016 Petition to Council	Public Works Lance Norris , Public Works Director Phone: 919-969-5100 Planning & Sustainability	Request incorporated into process to update Public Works Engineering Design Manual.
11/07/2016	Heather Payne	Regarding Development Proposed at 111 Purefoy Road.	Planning & Sustainability Town Attorney Ralph Karpinos , Attorney Phone: 919-968-2746	A revised application was submitted to the Town on 05/26/2017. Public information meetings were held 06/29/2017 and 07/13/2017.
11/07/2016	Mayor Hemminger	Regarding Parking and Transit Needs in Downtown Area.	Planning & Sustainability Police Chris Blue , Police Chief Phone: 919-968-2766 Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Staff shared information about different strategies and best practices and will return with recommendations in Fall 2018.
05/09/2016	Stormwater Management Utility Advisory Board	Request for Orange County Commissioners to Increase Staffing in Soil and Erosion Control Division and Improve Efficiency of Temporary Soil Erosion and Sediment Controls During Construction.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Petition forwarded to Orange County. Consider changes to soil erosion and sediment control as part of Public Works Engineering Design Manual updates.
04/11/2016	Transportation and Connectivity Advisory Board	Request to Incorporate Proposed No-Vision and Low-Vision Pedestrian Facilities Guidelines into Design Manual and Development Code as Required	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Request incorporated into process to update Public Works Engineering Design Manual.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
04/11/2016	Transportation and Connectivity Advisory Board	Request for Senior Citizen Pedestrian Mobility and Complete Street Implementation	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Request incorporated into process to update Public Works Engineering Design Manual.
02/22/2016	Ken Larsen	Regarding Town Formulas for Development Parking Space	Planning & Sustainability	Referred to the Future Land Use and Land Use Management Ordinance rewrite process, which began in Fall 2017.

Last modified on 8/30/2018 3:15:11 AM



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 7., File #: [18-0699], Version: 1

Meeting Date: 9/5/2018

Consider a Resolution Recommending the Names of Mildred Council and Harold Foster for Placement on the Peace and Justice Plaza Marker.

Committee Members:

Mayor Pam Hemminger
Mayor pro tem Jess Anderson
Council Member Michael Parker
Council Member Donna Bell

Committee:

Naming Committee

Overview: The Council of the Town of Chapel Hill approved naming the space in front of the old Post Office at 179 East Franklin Street the "Peace and Justice Plaza," and the placement of a stone marker at the site that would display the names of citizens who had given much of their lives to the causes of peace and justice in our community. The Naming Committee recommends that Mildred Council and Harold Foster be recognized for their commitment to social justice in Chapel Hill.

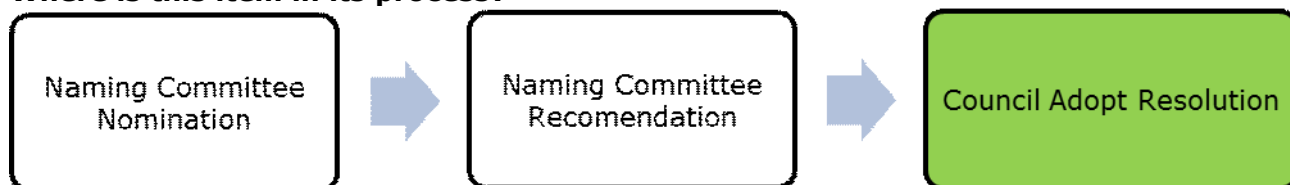


Recommendation(s):

That the Council adopt the resolution to honor Mildred Council and Harold Foster on the Peace and Justice Plaza Marker.

Fiscal Impact/Resources: Cost of engraving will come from existing FY 2019 Parks and Recreation Budget

Where is this item in its process?



Council Goals:

<input checked="" type="checkbox"/>		Create a Place for Everyone	<input checked="" type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration



Attachments:

- Resolution

A RESOLUTION RECOMMENDING THE NAMES OF MILDRED COUNCIL AND HAROLD FOSTER FOR PLACEMENT ON THE PEACE AND JUSTICE PLAZA MARKER (2018-09-05/R-6)

WHEREAS, the Council of the Town of Chapel Hill approved naming the space in front of the old Post Office the "Peace and Justice Plaza" and approved the placement of a stone marker at the site that would display the names of citizens who had given much of their lives to the causes of peace and justice in our community; and

WHEREAS, the Council of the Town of Chapel Hill also approved adding the names to the marker of deceased social activists Joe and Lucy Straley, Yonni Chapman, Rebecca Clark, Rev. Charles M. Jones, Daniel H. Pollitt, Mildred Ringwalt, Charlotte Adams, Joe Herzenberg, Hubert Robinson, James R. Brittain, Henry "Hank" Anderson III, Gloria Williams, Bill Thorpe, and Dean E. Smith; and

WHEREAS, the Council Naming Committee recommends honoring both Mildred Council and Harold Foster for their lifelong contributions to social justice in Chapel Hill, and that their names be engraved on the marker along with the above names.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the names of Mildred Council and Harold Foster be included and engraved in alphabetical order on the Peace and Justice Plaza marker.

This the 5th day of September, 2018.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Mayor Hemminger, Naming Committee Chair

RECOMMENDATION: That the Council adopt the resolution recommending the names of Mildred Council and Harold Foster for placement on the Peace and Justice Plaza Marker.



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 8., File #: [18-0700], Version: 1

Meeting Date: 9/5/2018

Open the Public Hearing: Application for Special Use Permit -The Oaks Condominiums Stormwater Drainage Improvements, 101 Oak Tree Drive.

See the Staff Report on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Michael Sudol, Planner II

Swearing of all persons wishing to present evidence

- a. Without objection, the preliminary report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and preliminary recommendation
- c. Presentation of evidence by the applicant
- d. Recommendation by the Planning Commission
- e. Recommendations by advisory boards and commissions
- f. Presentation of evidence by the public
- g. Comments and questions from the Mayor and Town Council
- h. Applicant's statement regarding proposed conditions
- i. Motion to recess Public Hearing to September 19, 2018
- j. Referral to Manager and Attorney.

RECOMMENDATION: That the Council open the public hearing, receive comments and evidence on the proposed Special Use Permit Modification, and recess the Public Hearing to September 19, 2018.



CONSIDER AN APPLICATION FOR SPECIAL USE PERMIT MODIFICATION – The Oaks Condominiums Stormwater Drainage Improvements

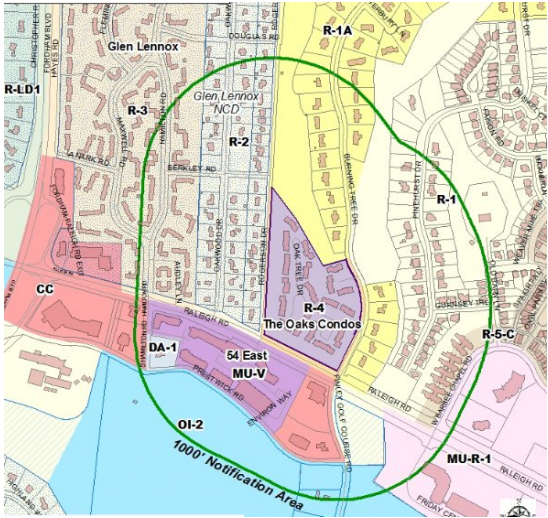
STAFF REPORT

TOWN OF CHAPEL HILL PLANNING AND DEVELOPMENT SERVICES

Ben Hitchings, Director

Judy Johnson, Operations Manager

Michael Sudol, Planner II

PROPERTY ADDRESS 101 Oak Tree Drive, PIN 9798-45-1394	DATE September 5, 2018	APPLICANT John R. McAdams Company for The Oaks HOA
STAFF RECOMMENDATION That the Council open the public hearing, receive comments and evidence on the proposed Special Use Permit Modification, and recess the Public Hearing to September 19, 2018.		
STAFF ANALYSIS The applicant is asking for a modification to the landscape buffer regulations. See attached Technical Report for additional information.		
PROCESS <p>The Special Use Permit (SUP) Modification application is before the Council for approval. The Council must consider the four findings for approval, which indicate that the use or development:</p> <ul style="list-style-type: none"> is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare; would comply with all required regulations and standards of the Land Use Management Ordinance; is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity; and conforms to the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the Comprehensive Plan. 	DECISION POINTS <ul style="list-style-type: none"> Modifications to the landscape buffer on Burning Tree Drive. To install the drainage system, the applicant proposes removing a total of 30 trees; 23 are within the Burning Tree Drive buffer. The applicant is proposing to replant 15 trees in the buffer and along the drainage easement. <p>The 1971 SUP landscape plan prohibited disturbing the trees in this area, which have since matured into large shade trees. Installing the upgraded stormwater drainage system triggers the threshold for a major change to the landscape conditions of the original SUP.</p>	
PROJECT OVERVIEW <p>The Oaks Condominiums is an existing multifamily development at the intersection of Burning Tree Drive and NC 54. This application proposal is to install a storm drainage conveyance system to reduce existing flooding issues on site. The design and layout of the proposed system are constrained by the existing buildings and infrastructure for the Condominiums.</p> <p>This project may disturb approximately 34,000 square feet of land to install stormwater infrastructure including concrete pipes, junction boxes, culverts, and swales. A 77-foot section of 24-inch pipe is proposed under Burning Tree Drive and within an existing storm drain easement.</p> <p>As part of the original SUP for the site, a landscape plan must be provided and approved by the CDC.</p> <p>The site is currently zoned Residential-4 (R-4).</p>	PROJECT LOCATION 	
ATTACHMENTS	<ol style="list-style-type: none"> 1. Technical Report 2. Draft Staff Presentation 3. Resolution A 4. Resolution B 5. Project Details 6. Application Form & Materials 7. Submitted Plans 	

TECHNICAL REPORT

- 1971 Special Use Permit approved for The Oaks Condominiums with the approved plans noting two natural areas along Burning Tree Drive to remain undisturbed.
- 1974 Special Use Permit Modification approved with additional landscaping between the buildings and Hwy. 54.
- June 20, 2018 Concept Plan for The Oaks Condominiums presented to Council.

Connections to other Documents:

Town staff reviewed this application for compliance with the themes from the [2020 Comprehensive Plan](#)¹, the standards of the [Land Use Management Ordinance](#)², and the [Town of Chapel Hill, NC : Design Manual and Standard Details](#)³ and offers the following evaluation:

Comprehensive Plan Themes: The following are themes from the 2020 Comprehensive Plan, adopted June 25, 2012:

Council Goals:

<input type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
		Support Community Prosperity			Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration

Staff believes The Oaks Condominium stormwater improvement proposal complies with the above themes of the 2020 Comprehensive Plan.

Land Use Plan: The [2020 Land Use Plan](#)⁴, a component of the 2020 Comprehensive Plan, designates this site for Medium Residential (4-8 units per acre).

Resource Conservation District and Jordan Buffer Encroachments:

There is Resource Conservation District (RCD) where the drainage improvements are proposed. Table 3.6.3-2 of the Land Use Management Ordinance allows driveways and utility service lines in all three zones of the Resource Conservation District where there is a practical necessity. The proposal includes removing two maple trees and installing a 36-inch pipe and end wall with riprap in a portion of a 50-foot Streamside RCD zone.

There is a 50-foot Jordan Buffer where the stormwater drainage system is proposed. A Jordan Buffer Authorization is needed for land disturbance for the drainage system in the 50-foot protected area on each side of the stream bank. The Town's Stormwater staff has issued Jordan Buffer Authorization.

Proposed Modification for Approval:

- 1) Section 5.6.6 Buffer Modification: The Land Use Management Ordinance requires a 20-foot Type C landscape buffer with 6 large trees, 10 small trees and 36 shrubs per 100 linear feet. The applicant proposes a modified Type "C" buffer adjacent to Burning Tree Drive, classified as a

¹ <http://www.townofchapelhill.org/home/showdocument?id=15001>

² https://www.municode.com/library/#!/nc/chapel_hill/codes/code_of_ordinances?nodeId=CO_APXALAUSMA

³ <http://www.townofchapelhill.org/town-hall/departments-services/public-works/engineering/design-manual-and-standard-details>

⁴ <http://www.townofchapelhill.org/home/showdocument?id=1215>

Collector Road, on the east edge of the property. The requested modification proposes less plant material and less width than required due to conflicts with the proposed stormwater system.

The canopy trees include oak, cedar, hickory, mulberry, and elm. To install the drainage system, the applicant proposes to remove a total of 30 trees, 23 of which are in the Burning Tree Drive buffer. The applicant proposes to replant 15 trees.

Staff Comment: Staff believes that Council could find a public purpose for fewer plantings and less buffer width. The stormwater system improvements will reduce flooding on the property, make the area safer during rain events, reduce flood damage to homes, and reduce the need for flood-prone property owners to obtain Flood Insurance.

Council Findings and Public Purpose: The Council may modify the regulations according to Section 4.5.6 of the Land Use Management Ordinance. Staff believes that the Council could modify the regulations if it makes a finding in this particular case that public purposes are satisfied to an equivalent or greater degree. If the Council chooses to deny a request for modifications to regulations, the applicant's alternative is to revise the proposal to comply with the regulations.

For additional information on the proposed modifications, please refer to the applicant's attached materials.



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The Oaks Condominiums Drainage Improvements

Special Use Permit
Modification

Public Hearing
September 5, 2018



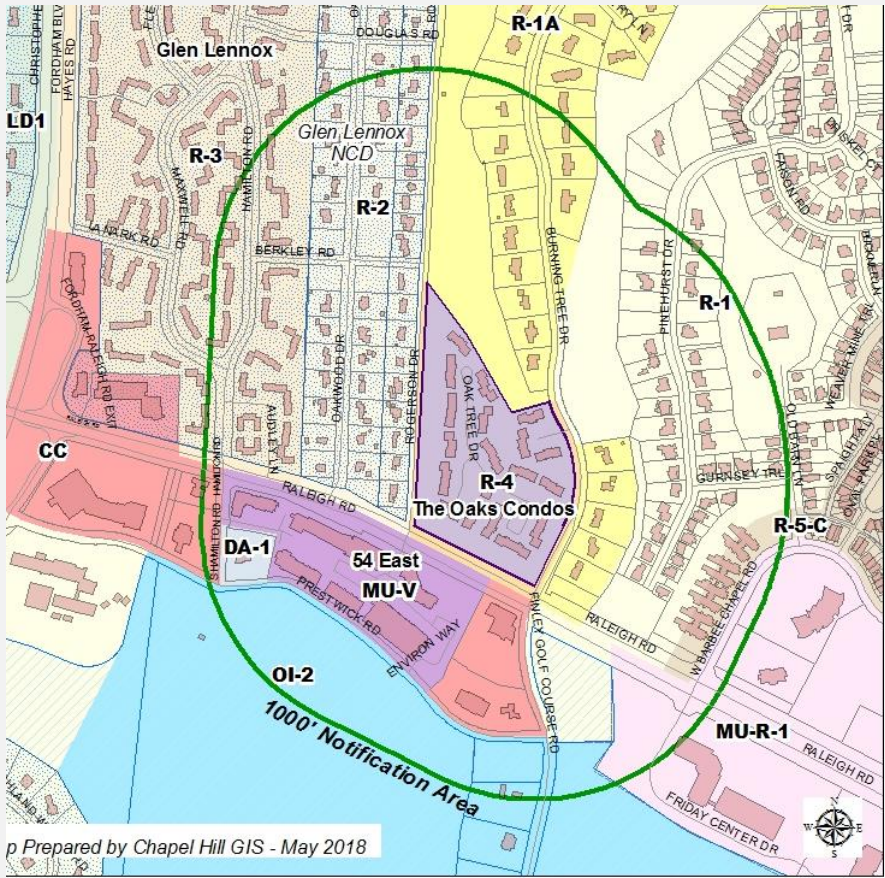
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- Open the Public Hearing;
- Receive comment;
- Recess Public Hearing to September 19th

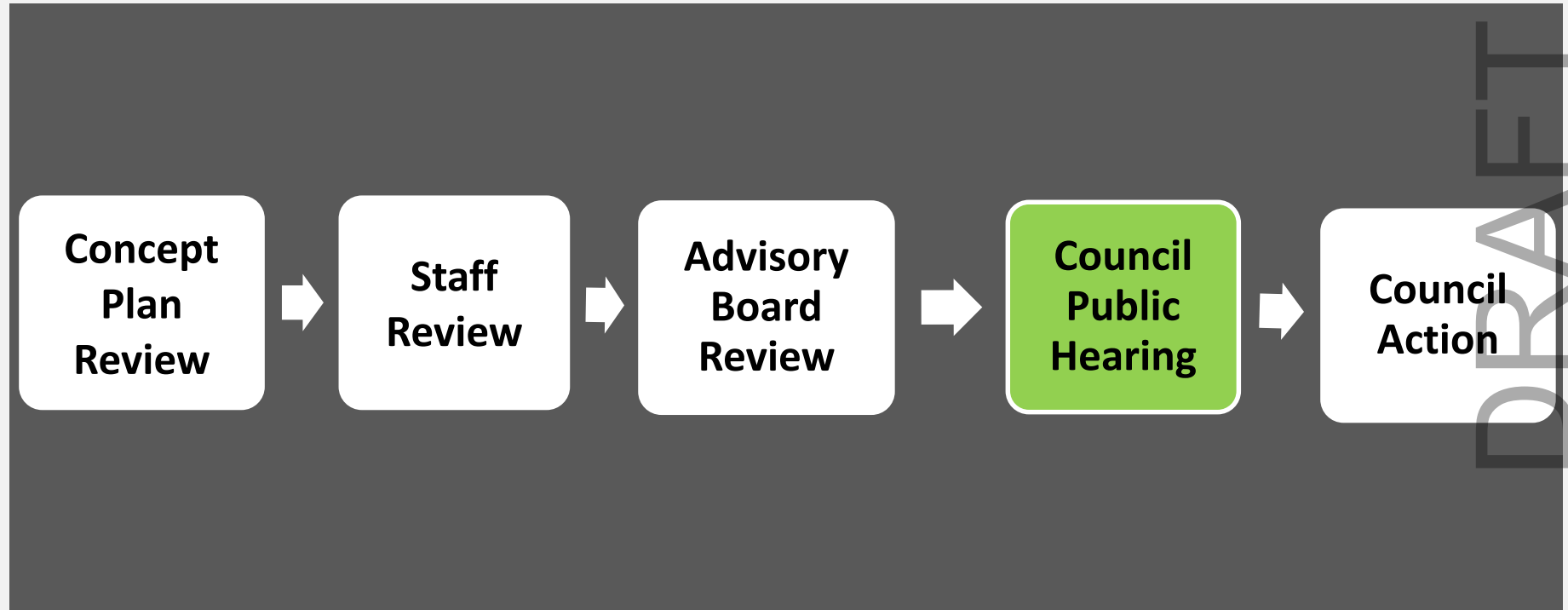


Existing Conditions – The Oaks Condominiums

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Description – The Oaks Condominiums

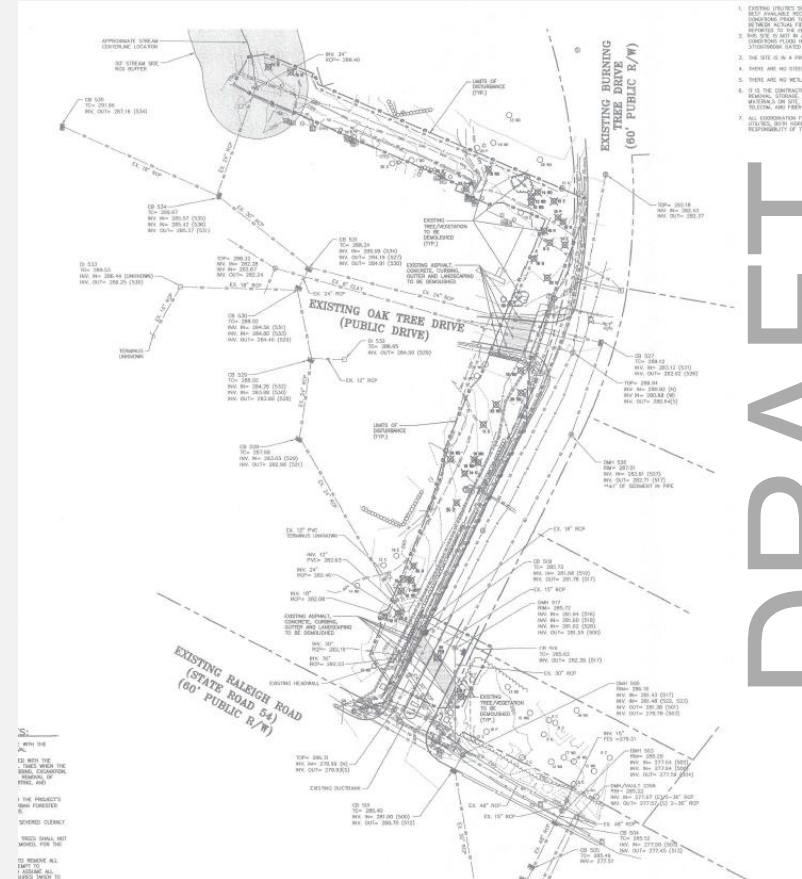
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Repeated flooding

Install additional
storm pipes

Remove 30 trees

Replace 15 trees



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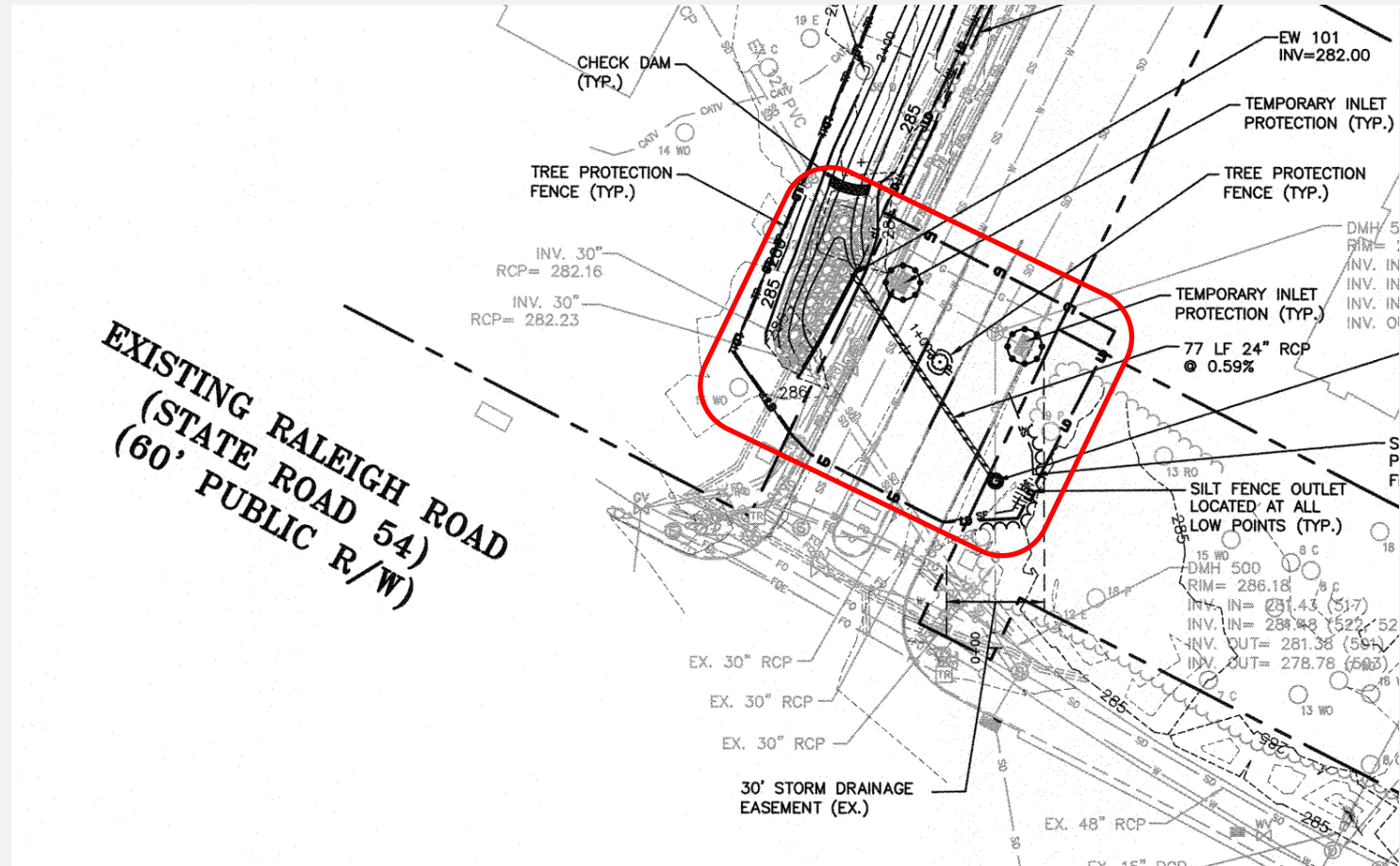
Flooding Description – The Oaks Condominiums

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Town Project Connection – The Oaks Condominiums

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Existing Conditions – The Oaks Condominiums

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Landscape Proposal – The Oaks Condominiums

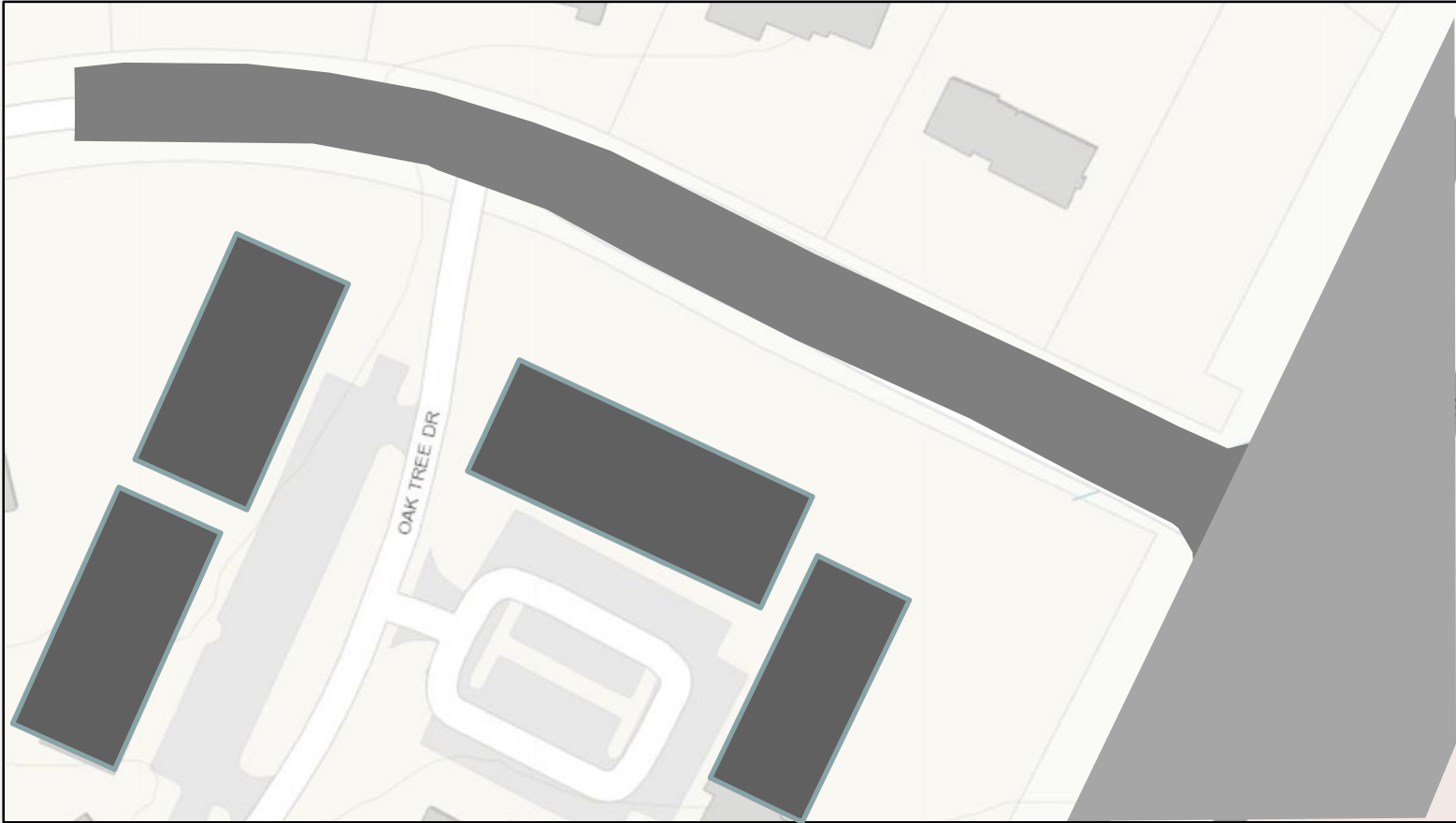
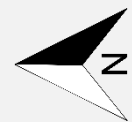
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Existing Area – The Oaks Condominiums

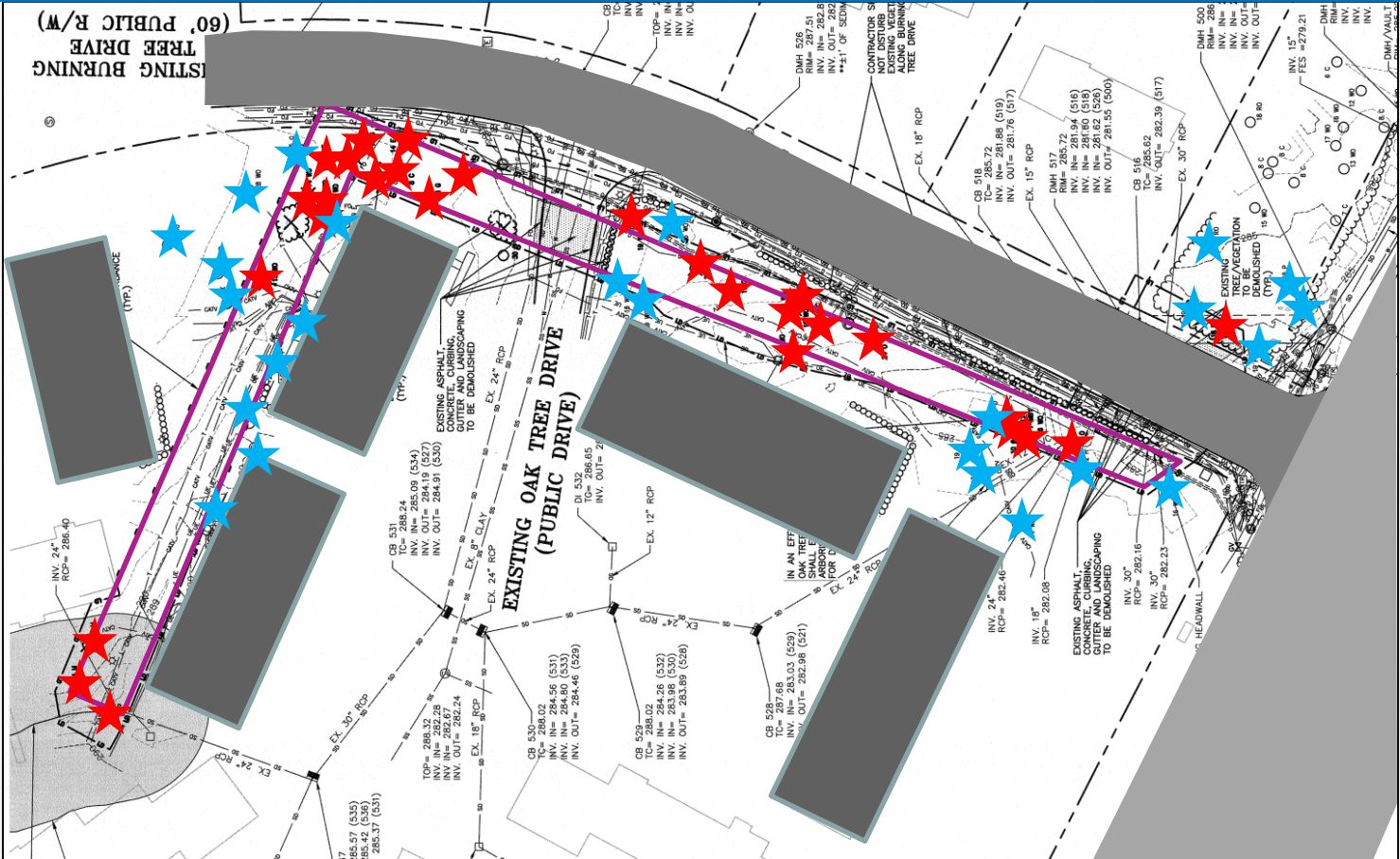
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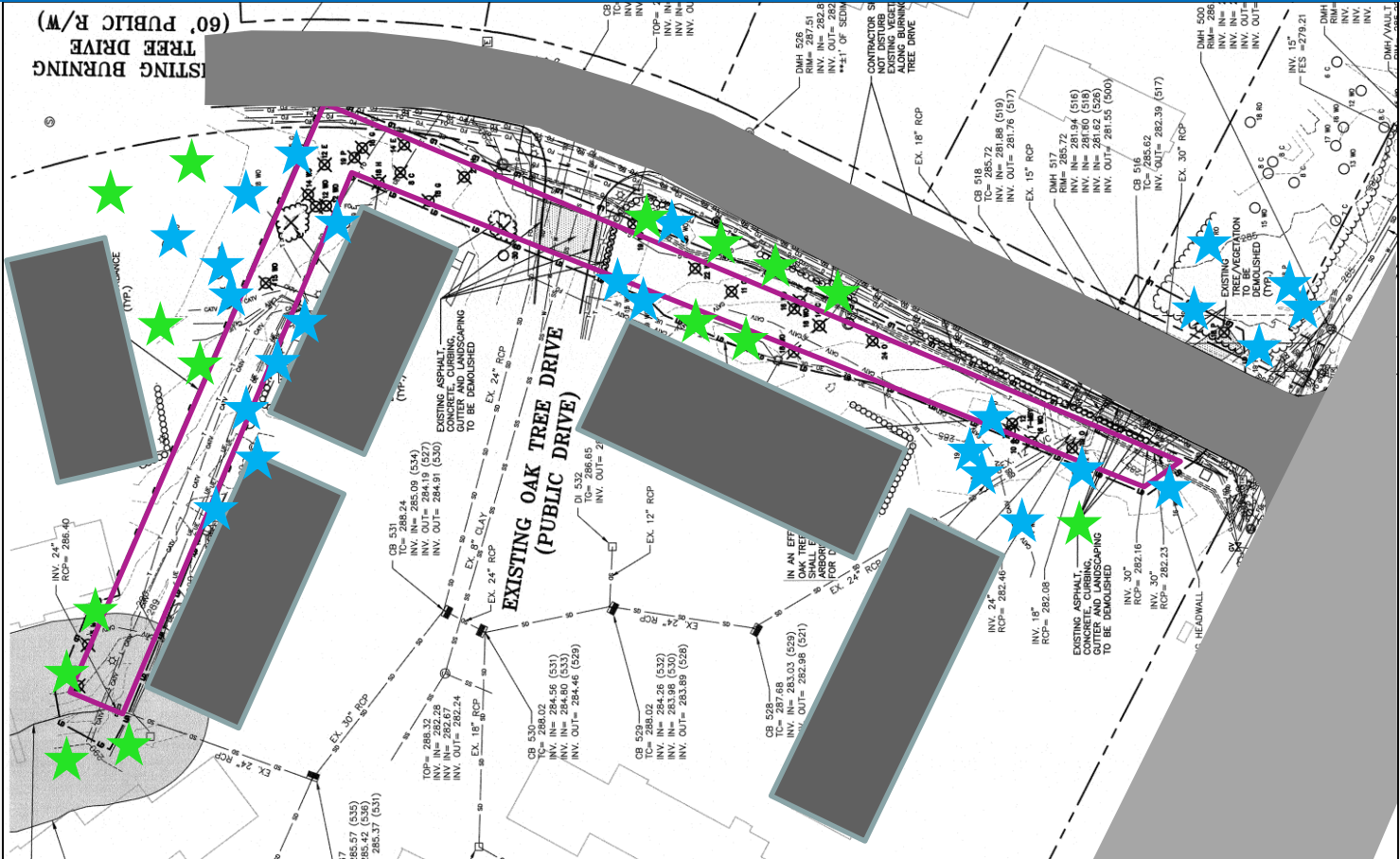
Existing Site Plan – The Oaks Condominiums

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Proposed Site Plan – The Oaks Condominiums



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Board/Commission	Recommendation	Conditions
Planning Commission	Approval	None
Community Design Commission	Approval	None
Environmental Stewardship	Approval	None

DRAFT

- Open the Public Hearing;
- Receive comment;
- Recess Public Hearing to September 19th



DRAFT

RESOLUTION A
(Approving the Special Use Permit Modification Application)

A RESOLUTION APPROVING AN APPLICATION FOR A SPECIAL USE PERMIT MODIFICATION FOR THE OAKS CONDOMINIUMS STORMWATER DRAINAGE IMPROVEMENTS (PROJECT #18-046)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit Modification application, proposed by John R. McAdams Company for the Oaks Homeowners Association, located at 101 Oak Tree Drive on property identified as Orange County Property Identifier Number 9798-45-1394, if developed according to the Site Plan dated July 24, 2018 and the conditions listed below would:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

MODIFICATIONS TO REGULATIONS

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that it finds, in this particular case, that the proposed development with the following requested modifications to regulations satisfies public purposes to an equivalent or greater degree:

Section 5.6.6 Buffer Modification: To modify the eastern property line buffer from the required minimum 20 foot Type "C" buffer adjacent to Burning Tree Drive to a variable width buffer with reduced planting quantities.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the stormwater system improvements will reduce flooding on the property, make the area safer during rain events, reduce flood damage to homes, and reduce the need for flood-prone property owners to obtain Flood Insurance.

STIPULATIONS SPECIFIC TO THE OAKS CONDOMINIUMS

1. Construction Deadline: That construction begin by _____ (two years from the date of approval) to be completed by _____ (four years from the date of approval). [LUMO 4.5.5]
2. Land Use Intensity: This Special Use Permit Modification authorizes the following:

Use: Multi-Family Residential	
Gross Land Area	680,407 sq. ft.
Maximum Land Disturbance	33,214 sq. ft.

3. Stormwater Structures: No stormwater management structures are permitted in the rights-of-way or building setbacks. This includes the outlet structure and stabilization, any underdrains, side slopes, and the downgradient toe of french drains. Further, the discharge must be in a sheet flow condition.
4. Jordan Buffer Authorization: Prior to issuance of a Zoning Compliance Permit, a Jordan Buffer Authorization must be approved and issued by the Town's Stormwater Management Department.

TOWN OF CHAPEL HILL – SPECIAL USE PERMIT STANDARD STIPULATIONS
The following standard stipulation are supplemental to site-specific conditions as set by Town Council-approved resolution. Unless modified by the site-specific conditions, these standards apply to all development permitted by Special Use Permits.

Access

5. Accessibility Requirements: Prior to issuance of a Certificate of Occupancy, the developer shall provide the minimum required handicapped infrastructure according to the Americans with Disabilities Act and associated codes and standards.

Transportation

6. Driveway Permit: It will be necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within the NCDOT right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved roadway and signal construction plans, inspection fees, and any necessary performance and indemnity bonds.
7. Off-Site Construction Easements: Prior to any land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
8. Repairs in Public Right-of-Way: Prior to issuance of a Certificate of Occupancy, the developer shall repair all damage for work in the public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design must be reviewed and approved by the Town Manager and NCDOT prior to issuance of a Zoning Compliance Permit. [Town Code 6.10]
9. Street Closure Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a street closure plan, subject to Town Manager and NCDOT approval, for any work requiring street, sidewalk, or lane closure. [Town Code 21.7.1]
10. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager and NCDOT. The Work Zone Traffic Control Plan shall comply with the Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]

Landscaping and Building Elevations

11. Invasive Exotic Vegetation: That prior to issuance of a Zoning Compliance Permit, the applicant shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal from the landscape buffer areas prior to planting. [Town Design Manual]
12. Minimum Landscape Caliper Size: That prior to issuance of the Certificate of Occupancy, all proposed landscape materials shall be planted with a minimum as identified in the Town Design Manual. [Town Design Manual]
13. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, approval from the Community Design Commission shall be required for any proposed alternate buffer. [LUMO 5.6.8]
14. Landscape Protection: Prior to issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include a complete and currently updated tree survey showing critical root zones of all rare and specimen trees and labeled according to size and species, and indicate which trees will be removed and which will remain. [LUMO 5.7.3]
15. Tree Protection Fencing Prior to Construction: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site and a detail of the tree protection fence. Tree protection fencing shall be provided around construction limits and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]
16. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approvals. [LUMO 4.5.3]
17. Tree Canopy: That a minimum of tree canopy coverage be provided through a combination of retained and replanted trees, unless a modification to regulations is approved. Calculations demonstrating compliance with LUMO Section 5.7.2 shall be included. [LUMO 5.7.2]
18. Demolition Plan: Prior to beginning any proposed demolition activity, it will be necessary to obtain demolition permits from both Planning and Inspections. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit may be acquired from Planning prior to proceeding with a demolition permit application to Inspections.

Environment

19. Stormwater Management Plan: Development projects must comply with the Section 5.4 Stormwater Management of the Land Use Management Ordinance. [LUMO 5.4]
20. Phasing Plan: If phasing of the project is proposed, that prior to issuance of a Zoning Compliance Permit, the property owner shall obtain approval of a Phasing Plan that provides details of which improvements are to be constructed during each phase. The

phasing plan shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase may not begin until all public improvements in previous phases are complete, with a note to this effect on the final plans and plats. [LUMO 4.9.2]

21. Erosion Control Bond: If one acre or more is uncovered by land-disturbing activities for this project, then a performance guarantee in accordance with Section 5-97.1 Bonds of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [LUMO 4.5.2]
22. Silt Control: That the developer take appropriate measures to prevent and remove the deposit of wet or dry silt on adjacent roadways. [LUMO 4.5.2, Town Code Chapter 5]
23. Erosion Control Inspections: That, in addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs. [LUMO 4.5.2]
24. Curb Inlets: The developer shall provide pre-cast curb inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-5A, for all new curb inlets for private, Town and State rights-of-way. [LUMO 4.5.2]
25. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [LUMO 4.9.2]
26. On-Site/Adjacent Stormwater Features: That the final plans locate and identify existing site conditions including all on-site and adjacent stormwater drainage features on the plans prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [LUMO 4.9.2]
27. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [LUMO 4.9.2]

Water, Sewer, and Other Utilities

28. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, and other local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The property owner shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be

submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]

29. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan, providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
30. OWASA Approval: That prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12.1]

Fire Safety

31. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Code, and NFPA 13. [NC Fire Protection Code Section 507.5.6]
32. Firefighting Access during Construction: As required by NC Fire Code (Section 1410.1 Required Access), vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC Fire Code, Section 1410.1]
33. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]

Solid Waste Management and Recycling

34. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled. All haulers of construction waste must be properly licensed. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]

State and Federal Approvals

35. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]

Miscellaneous

36. Offsite Construction Easements: That prior to any land disturbance on abutting properties the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
37. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [LUMO 4.5.2, TOWN CODE 17-42]
38. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [LUMO 4.5.2, TOWN CODE 17-42]
39. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. (§5.14.3(g) of Land Use Management Ordinance). The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.3]
40. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [TOWN CODE, Article 9]
41. Detailed Plans: That prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]
42. Traffic Signs: That the property owners shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.
43. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built

plans should be in DXF binary format using State plane coordinates and NAVD 88.
[LUMO 4.9.2]

44. Vested Right: This Special Use Permit constitutes a site specific development plan establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance.
45. Continued Validity: That continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
46. Non-Severability: That if any of the above conditions is held to be invalid, approval in its entirety shall be void.

BE IT FURTHER RESOLVED that the Council hereby approves the application for a Special Use Permit Modification for 101 Oak Tree Drive.

This the _____ day of _____, 2018.

RESOLUTION B

DENYING THE SPECIAL USE PERMIT MODIFICATION

A RESOLUTION DENYING AN APPLICATION FOR A SPECIAL USE PERMIT MODIFICATION FOR THE OAKS CONDOMINIUMS STORMWATER DRAINAGE IMPROVEMENTS (PROJECT #18-046)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit application, proposed by John R. McAdams Company for the Oaks Homeowners Association, located at 101 Oak Tree Drive on property identified as Orange County Property Identifier Number 9798-45-1394, if developed according to the Site Plan dated July 24, 2018 and the conditions listed below would not:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

BE IT FURTHER RESOLVED that the Council hereby denies the application for a Special Use Permit Modification for the Oaks Condominiums Stormwater Drainage Improvements.

This the _____ day of _____, 2018.



Project Details

Overview

Site Description	
Project Name	The Oaks Condominiums Stormwater Drainage Improvements
Address	101 Oak Tree Drive
Property Description	14.2 acres
Existing	Multi-family development - The Oaks Condominiums
Orange County Parcel Identifier Numbers	9798-45-1394
Zoning	Residential-4 (R-4) No rezoning proposed

Development Intensity








Topic	Comment	Status
Use/Density (Sec 3.7)	Multi-family development; 130 condominiums and clubhouse	✓
Dimensional Standards (Sec. 3.8)	22 ft. street, 8 ft. interior, 9 ft. solar setbacks	✓
Floor area (Sec. 3.8)	Not applicable	NA
Modifications to Regulations (Sec. 4.5.6)	Landscape buffer on Burning Tree Drive, east property line	✓
Adequate Public Schools (Sec. 5.16)	Not applicable	NA
Inclusionary Zoning (Sec. 3.10)	Not applicable	NA

Landscape


Buffer – North (Sec. 5.6.2)	Not applicable (20' External Type "C" required)	NA
Buffer – East (Sec. 5.6.2)	20' Internal Type "C"; providing fewer plants and less width. See Modifications section.	✓
Buffer – South (Sec. 5.6.2)	Not applicable (30' Internal Type "D")	NA
Buffer - West (Sec. 5.6.2)	Not applicable (15' Internal Type "B")	NA
Tree Canopy (Sec. 5.7)	Minimum 30 percent canopy	✓
Landscape Standards (Sec. 5.9.6)	Constructed to Town standards	✓

Environment

Resource Conservation District (Sec. 3.6)	Encroachment into the RCD is proposed to install drainage pipes. Utility service lines are permitted in all zones of the RCD where there is a practical necessity.	✓
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Erosion Control (Sec. 5.3.1)	More than one acre of land disturbance proposed; Performance bond required.	
Steep Slopes (Sec. 5.3.2)	Not applicable	NA
Stormwater Management (Sec. 5.4)	Underground Stormwater treatment measure	
Land Disturbance	33,214 sq. ft.	
Impervious Surface (Sec. 3.8)	Not applicable	NA
Solid Waste & Recycling	Not applicable	NA
Jordan Riparian Buffer (Sec. 5.18)	Jordan Buffer Authorization approval issued by Town's Stormwater Division for removing trees	
Access and Circulation		
Road Improvements (Sec. 5.8)	Not applicable	NA
Vehicular Access (Sec. 5.8)	Not applicable	NA
Bicycle Improvements (Sec. 5.8)	Not applicable	NA
Pedestrian Improvements (Sec. 5.8)	Not applicable	NA
Traffic Impact Analysis (Sec. 5.9)	Not applicable	NA
Vehicular Parking (Sec. 5.9)	Not Applicable	NA
Transit (Sec. 5.8)	Not applicable	NA
Bicycle Parking (Sec. 5.9)	Not applicable	NA
Parking Lot Standards (Sec. 5.9)	Not applicable	NA
Technical		
Fire	Not applicable	NA
Site Improvements	New stormwater drainage system.	
Recreation Area (Sec. 5.5)	Not applicable	NA
Lighting Plan (Sec. 5.11)	0.3 foot-candles at property line	
Homeowners Association (Sec. 4.6)	Application made on behalf of the Association.	

Project Summary Legend

Symbol	Meaning	Symbol	Meaning
	Meets Requirements	NA	Not Applicable
M	Seeking Modification	FP	Required at Final Plan

SPECIAL USE PERMIT APPLICATION



TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd.
 Chapel Hill, NC 27514
 phone (919) 969-5066 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9798451394

Date: July 26, 2018

Section A: Project Information

Project Name: The Oaks Condominiums
 Property Address: NW quadrant of the NC54 & Burning Tree Dr Zip Code: 27517
 Use Groups (A, B, and/or C): A Existing Zoning District: R-4
 Project Description: Installation of storm drainage conveyance system to reduce existing flooding issues.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Amos Clark, PE
 Address: 2905 Meridian Pkwy
 City: Durham State: NC Zip Code: 27713
 Phone: (919) 361-5000 Email: clark@mcadamsco.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: [Signature] Date: 7/3/2018

Owner/Contract Purchaser Information:

☒ Owner

☐ Contract Purchaser

Name: Oaks Owners Association c/o Community Association Services, Inc.
 Address: 5915 Farrington Road, Suite 104
 City: Chapel Hill State: NC Zip Code: 27517
 Phone: (919) 403-1400 Email: edbedford@cas.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: [Signature] Date: 7/12/18

Click [here](#) for application submittal instructions.

**PROJECT FACT SHEET**TOWN OF CHAPEL HILL
Planning Department**Section A: Project Information****Use Type:** (check/list all that apply)☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: _____**Overlay District:** (check all that apply)☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone**Section B: Land Area**

Net Land Area (NLA): Area within zoning lot boundaries		NLA=		sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=		sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area**Special Protection Areas:** (check all those that apply)☒ Jordan Buffer ☒ Resource Conservation District ☐ 100 Year Floodplain ☒ Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	33,214
Area of Land Disturbance within RCD	2,641
Area of Land Disturbance within Jordan Buffer	

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)				
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%				
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings				
Number of Floors				
Recreational Space				

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq.ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street			
	Interior (neighboring property lines)			
	Solar (northern property line)			
Height (maximum)	Primary			
	Secondary			
Streets	Frontages			
	Widths			

**Section F: Adjoining or Connecting Streets and Sidewalks**

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			
Handicap Spaces			
Total Spaces			
Loading Spaces			
Bicycle Spaces			
Surface Type			

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

**Section I: Land Use Intensity**

Existing Zoning District:

Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input type="checkbox"/> Private		



173 **SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning Department

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	7,785
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
N/A	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
N/A	Description of Public Art Proposal		
X	Statement of Justification		
X	Response to Community Design Commission and Town Council Concept Plan comments		
N/A	Affordable Housing Proposal, if applicable		
X	Provide existing Special Use Permit, if Modification		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	314.40
X	Written Narrative describing the proposal		
X	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
X	Jurisdictional Wetland Determination – if applicable		
X	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
N/A	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
X	Reduced Site Plan Set (reduced to 8.5" x 11")		

Stormwater Impact Statement (1 copy to be submitted)

- Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- Description of land uses and area (in square footage)
- Existing and proposed impervious surface area in square feet for all subareas and project area
- Ground cover and uses information
- Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- Time of concentration calculations and assumptions
- Topography (2-foot contours)
- Pertinent on-site and off-site drainage conditions
- Upstream and/or downstream volumes
- Discharges and velocities
- Backwater elevations and effects on existing drainage conveyance facilities
- Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- Water quality volume calculations
- Drainage areas and sub-areas delineated
- Peak discharge calculations and rates (1, 2, and 25-year storms)
- Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- Volume calculations and documentation of retention for 2-year storm



174 **SPECIAL USE PERMIT APPLICATION**
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable

**Planting Plan**

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable

**Construction Management Plan**

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)



MEMORANDUM > THE OAKS CONDOMINIUMS

July 24, 2018

To: Judy Johnson
Town of Chapel Hill Planning Department

From: D. Amos Clark, PE

Re: **The Oaks Condominiums**
CAS-10000

Dear Ms. Johnson:

The Oaks Condominiums is an existing multi-family residential community located at the intersection of NC54 and Burning Tree Drive. In order to minimize flooding on the north side of the development, a bypass pipe has been proposed to divert stormwater around the development and discharge on the upstream side of Burning Tree Drive into the existing culverts running under Burning Tree Drive.

As a result of bypass pipe addition, impacts will be made to the existing perennial stream located at the north side of the development. Thus, we are encroaching in the Resource Conservation District (RCD).

After performing the due diligence associated with the design of this project and inspection of the FEMA floodmap, no FEMA delineated floodway or floodplain is located in the vicinity of the project. Thus, floodproofing is not required.

Please feel free to contact me at (919) 361-5000 should you have any questions or need any further information.

Sincerely,

MCADAMS

A handwritten signature in black ink, appearing to read 'D. Amos Clark', with a long horizontal line extending to the right.

D. Amos Clark, PE

Division Director, Engineering + Environmental

THE OAKS CONDOMINIUMS

SPECIAL USE PERMIT PLANS LOCATED AT THE INTERSECTION OF BURNING TREE DRIVE & NC 54 (RALEIGH ROAD) PROJECT NUMBER: CAS-10000

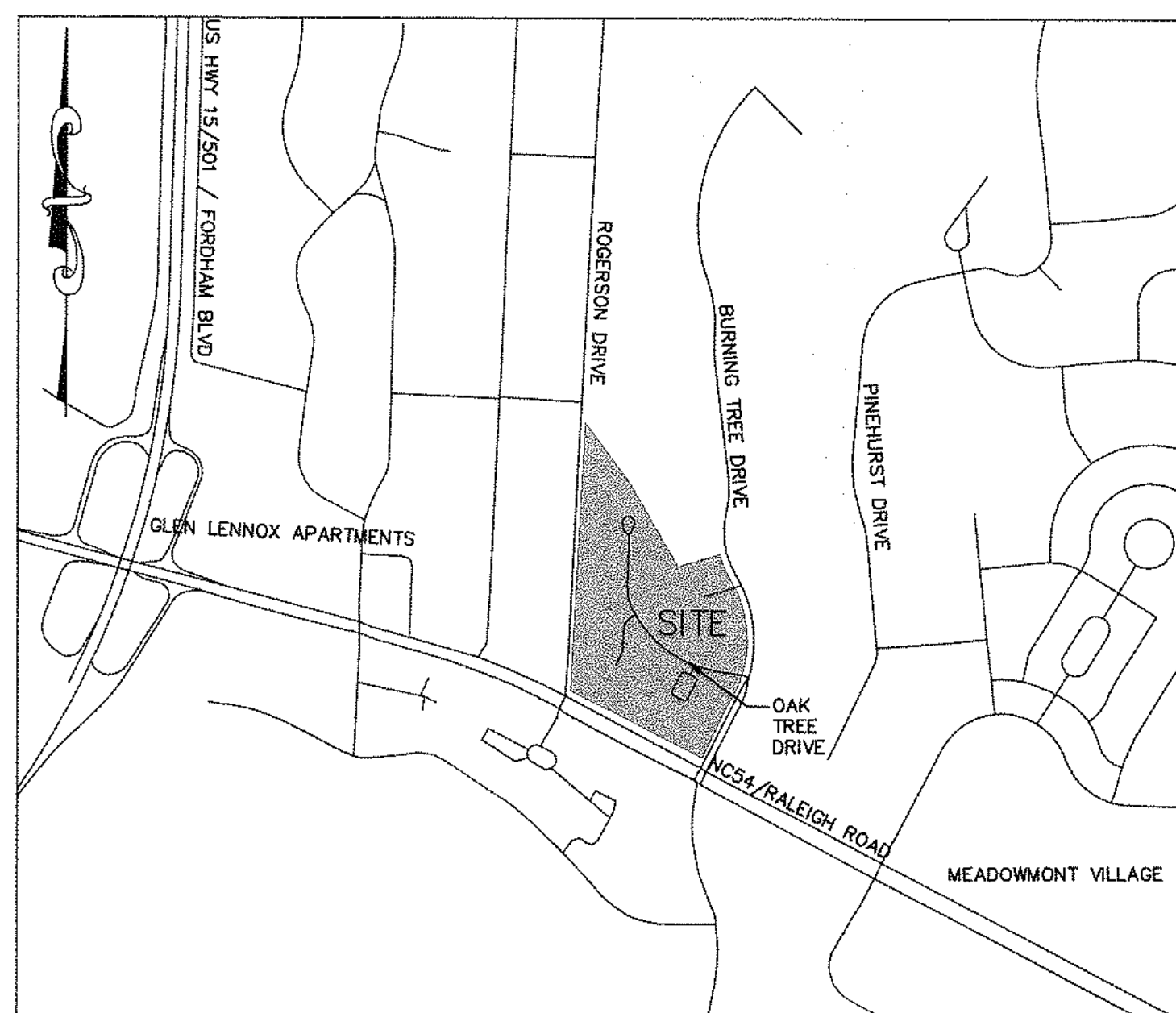
DATE: JULY 24, 2018

179

OWNER:
CAS, INC.
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517
CONTACT: ED BEDFORD
PHONE: (919) 403-1400
EMAIL: edbedford@casnc.com

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LS-2	LANDSCAPE PLAN AREA 'A'
LS-3	LANDSCAPE PLAN AREA 'B'

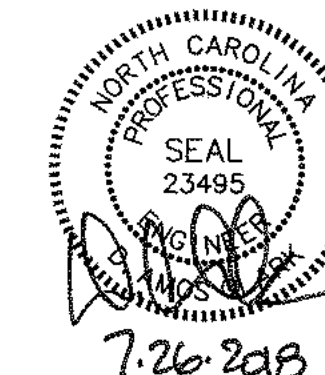


VICINITY MAP
NTS



Know what's below.
Call before you dig.

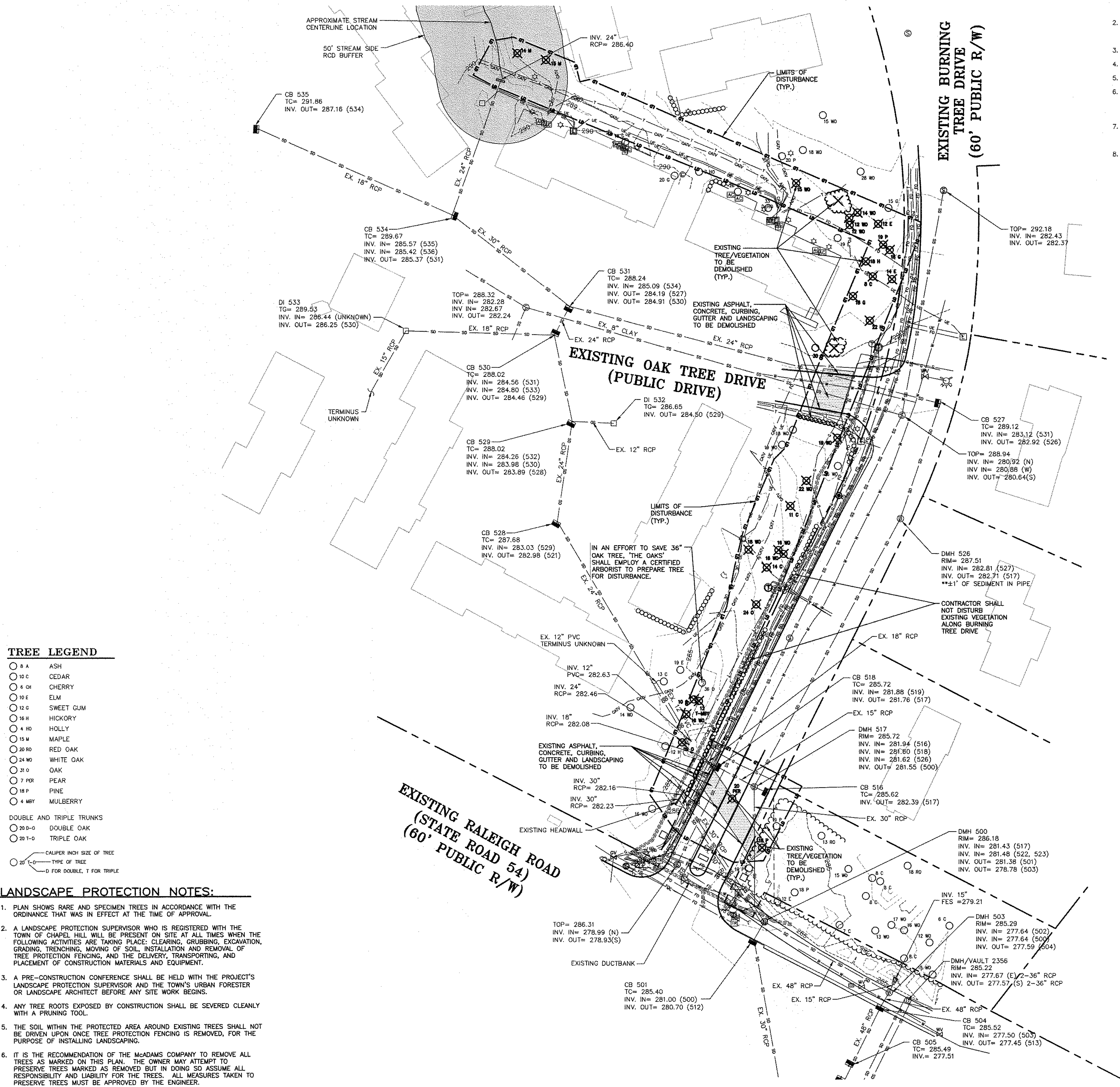
CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT
LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION
OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED.
CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE
THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811".
REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



THE JOHN R. McADAMS
COMPANY, INC.

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Durham, North Carolina 27713
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Contact: D. Amos Clark, PE
clark@mcadamsco.com

X:\Projects\CAS-10000\Storm Construction Drawings\CAS10000-XC.dwg, 7/28/2018 10:34:25 AM, Baker, Natalie



TREE LEGEND

- 8 A ASH
 - 10 C CEDAR
 - 6 CH CHERRY
 - 10 E ELM
 - 12 G SWEET GUM
 - 16 H HICKORY
 - 4 HO HOLLY
 - 15 M MAPLE
 - 20 RO RED OAK
 - 24 WO WHITE OAK
 - 31 O OAK
 - 7 PE PEAR
 - 18 P PINE
 - 4 MB MULBERRY
- DOUBLE AND TRIPLE TRUNKS
- 20 D-O DOUBLE OAK
 - 20 T-O TRIPLE OAK
- CALLER INCH SIZE OF TREE
- 20 T-O TYPE OF TREE
 - D FOR DOUBLE, T FOR TRIPLE

LANDSCAPE PROTECTION NOTES:

- PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT'S LANDSCAPE PROTECTION SUPERVISOR AND THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
- THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON ONCE TREE PROTECTION FENCING IS REMOVED, FOR THE PURPOSE OF INSTALLING LANDSCAPING.
- IT IS THE RECOMMENDATION OF THE MCADAMS COMPANY TO REMOVE ALL TREES AS MARKED ON THIS PLAN. THE OWNER MAY ATTEMPT TO PRESERVE TREES MARKED AS REMOVED BUT IN DOING SO ASSUME ALL RESPONSIBILITY AND LIABILITY FOR THE TREES. ALL MEASURES TAKEN TO PRESERVE TREES MUST BE APPROVED BY THE ENGINEER.

GENERAL NOTES:

- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THIS SITE IS NOT IN ANY SPECIAL FLOOD HAZARD AREAS OR FUTURE CONDITIONS FLOOD HAZARD AREAS, AS SHOWN ON FIRM PANEL 3710979800 DATED FEBRUARY 2, 2007.
- THE SITE IS IN A PROTECTED WATERSHED OVERLAY DISTRICT.
- THERE ARE NO STEEP SLOPES ON SITE.
- THERE ARE NO WETLANDS ON SITE.
- IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE PROPER REMOVAL, STORAGE, AND REUSE OF ANY EXISTING INFRASTRUCTURE MATERIALS ON SITE, INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELECOM, AND FIBER OPTIC.
- ALL COORDINATION FOR LOCATION AND FIELD VERIFICATION OF UTILITIES, BOTH HORIZONTALLY AND VERTICALLY, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- BUILDING FOOTPRINT INFORMATION FROM ORANGE COUNTY GIS.

LEGEND

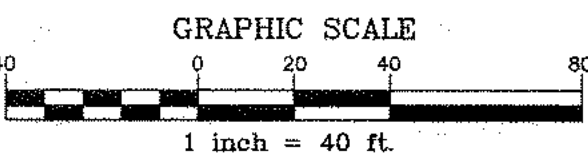
- BOLLARD
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- AIR CONDITIONING UNIT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- STEAM MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- CATCH BASIN
- DROP INLET
- STORM DRAINAGE MANHOLE
- STORM DRAIN
- OVERHEAD UTILITY LINE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- FIBER OPTICS
- WATER LINE
- SANITARY SEWER LINE
- GAS LINE
- FENCE LINE
- LIMITS OF DISTURBANCE
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPERTY LINE

DEMOLITION LEGEND

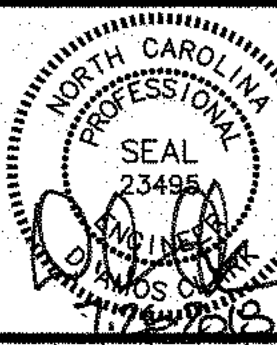
- TREE/VEGETATION TO BE DEMOLISHED
- AREA TO BE DEMOLISHED

DEMOLITION NOTES

- THE CONTRACTOR SHALL FIELD VERIFY AND LOCATE EXISTING UTILITIES ON SITE PRIOR TO DEMOLITION.
- THE CONTRACTOR SHALL VERIFY THAT THERE ARE NO UTILITY OR OTHER CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL PERFORM DEMOLITION ACTIVITIES AS NOTED AND SHOWN ON THESE PLANS AND SPECIFICATIONS AND AS DIRECTED BY THE OWNER.
- IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS AND PAY FEES REQUIRED FOR DEMOLITION AND HAUL-OFF FROM THE APPROPRIATE AUTHORITIES. THESE FEES ARE TO BE INCLUDED WITH THE BID.
- THE CONTRACTOR SHALL PREPARE ALL DOCUMENTS AND ACQUIRE APPROPRIATE PERMITS AS REQUIRED PRIOR TO THE COMMENCEMENT OF DEMOLITION.
- THE DEMOLITION PLAN IS INTENDED TO DEPICT GENERAL DEMOLITION AND UTILITY WORK. IT IS NOT INTENDED TO IDENTIFY EACH ELEMENT OF DEMOLITION OR RELOCATION. CONTRACTOR SHALL COORDINATE WITH THE OWNER AND APPROPRIATE UTILITY COMPANY PRIOR TO WORK.
- CONTRACTOR TO COMPLETELY DEMOLISH AND DISPOSE OF OFFSITE IN A LAWFUL MANNER EXISTING IMPROVEMENTS, INCLUDING FOUNDATIONS AND ALL APPURTENANCES LOCATED ON AND AROUND THE PROPERTY INCLUDING BUT NOT LIMITED TO SIGNS, CURBS, SIDEWALKS, ETC.
- REMOVE AND DISPOSE OF ANY CONDUITS, LIGHT POLE BASES, DEBRIS AND RUBBISH REQUIRING REMOVAL FROM THE WORK AREA IN AN APPROVED LANDFILL. CONTRACTOR SHALL MAKE EVERY ATTEMPT TO RECYCLE ANY DEBRIS AND RUBBISH THAT IS RECYCLABLE.
- REMOVE AND/OR PLUG EXISTING UTILITIES AS SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING EACH UTILITY COMPANY TO COORDINATE REMOVAL OF ALL UTILITIES AND FOR DETERMINING HORIZONTAL AND VERTICAL LOCATIONS OF UTILITIES PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL REMOVE, RELOCATE AND/OR INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AND TREE PROTECTION PRIOR TO BEGINNING DEMOLITION WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES TO REMAIN IN PLACE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE REPAIRED AT NO ADDITIONAL EXPENSE TO THE OWNER.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS TO AVOID UNNECESSARY DAMAGE TO EXISTING ROAD AND PARKING SURFACES. ANY UNNECESSARY DAMAGE DUE TO CONSTRUCTION ACTIVITIES AND/OR CONSTRUCTION TRAFFIC SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- FINISH SURFACE TO BE REMOVED OR DEMOLISHED SHALL BE SAW CUT ALONG LINES OF JOINTS WHICH WILL PERMIT A NEAT AND SMOOTH SURFACE WHEN RESTORED, INCLUDE REPAIRS IF REQUIRED.
- ALL EXISTING ITEMS TO REMAIN WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE SOLE EXPENSE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL MAINTAIN ALL UTILITY SERVICES TO THE ADJACENT BUILDINGS AND PROPERTIES THROUGHOUT CONSTRUCTION.



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REVISIONS:

180

CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

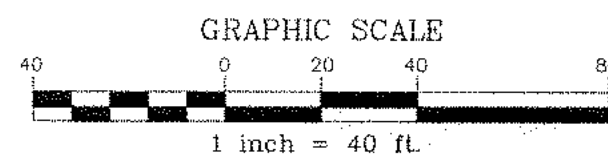
THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA

EXISTING CONDITIONS AND DEMOLITION PLAN

PROJECT NO.: CAS-10000
FILENAME: CAS10000-XC
CHECKED BY: DAC
DRAWN BY: SMP/NB
SCALE: 1" = 40'
DATE: 07-24-2018
SHEET NO.: C-1

McAdams

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



1. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO ENSURE PROPER REMOVAL, STORAGE, AND REUSE OF ANY EXISTING INFRASTRUCTURE MATERIALS ON SITE, INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELECOM, FIBER OPTIC, AND IRRIGATION.
2. ALL COORDINATION FOR LOCATION AND FIELD VERIFICATION OF UTILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
3. ALL COORDINATION WITH APPLICABLE UTILITY OWNERS FOR RELOCATION (I.E. NATURAL GAS, FIBER OPTIC, ETC.), DUE TO CONFLICTS WITH PROPOSED CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR AT NO ADDITIONAL EXPENSE TO THE OWNER.
4. CONTRACTOR IS RESPONSIBLE FOR A TRAFFIC DIVERSION AND CONTROL PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL TRAFFIC DIVERSION AND CONTROL MEASURES WITH THE HOA AND THE TOWN.
5. CONTRACTOR IS RESPONSIBLE FOR ENSURING NO SEDIMENT SHALL LEAVE THE SITE WHILE PAYING A STRICT ADHERENCE TO THE EROSION CONTROL PLAN. ADDITIONAL MEASURES MAY NEED TO BE PLACED TO ENSURE NO SEDIMENT LAIDEN RUNOFF EXISTS THE SITE AT NO ADDITIONAL EXPENSE TO THE OWNER.
6. THE CONTRACTOR IS RESPONSIBLE FOR HIRING AN ON-SITE GEOTECHNICAL ENGINEER AS PART OF THE PROJECT. THE ON-SITE GEOTECHNICAL ENGINEER SHALL BE A SUB TO THE CONTRACTOR AND PROVIDE FIELD TESTING REPORTS AND PARTICIPATIONS FOR ALL FOUNDATION, MINERAL, BEDDING, COMPACTION, AND PAVEMENT ASPECTS OF THE PROJECT.
7. THE ON-SITE GEOTECHNICAL ENGINEER IS RESPONSIBLE FOR ENSURING AND CERTIFYING THAT THE BEDDING AND BACKFILL CONDITIONS FOR THE PROPOSED CULVERT AND HEADWALLS ARE ADEQUATELY TESTED AT AN APPROPRIATE FREQUENCY.
8. THE CONTRACTOR SHALL REPLACE ALL DISTURBED SUBGRADE AND PAVEMENT PER THE TOWN OF CHAPEL HILL DETAIL SHOWN ON SHEET D-1 UNLESS DIRECTED OTHERWISE BY THE ON-SITE GEOTECHNICAL ENGINEER.
9. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING ALL APPLICABLE OSHA REQUIREMENTS DURING THE PROJECT, INCLUDING BUT NOT LIMITED TO BARRICADES, EXCAVATIONS, TRENCH SHORING, CONFINED SPACE ENTRY, MATERIALS HANDLING, PERSONAL PROTECTIVE EQUIPMENT, AND EMERGENCY ACTION PLANS.
10. ALL JUNCTION BOXES TO BE 4" DIAMETER.

Diagram illustrating the components of a road cross-section:

- HEADWALL
- JUNCTION BOX
- STORM DRAINAGE
- STORM DRAINAGE EASEMENT
- LIMITS OF DISTURBANCE
- 5' CONTOUR
- 1' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- PROPERTY LINE



McAfee



REVISIONS:

181₅₄ 517

ER: CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 1
CHAPEL HILL, NORTH CAROLINA 27617

OWNER:

**THE OAKS
CONDOMINIUMS**
CHAPEL HILL, NORTH CAROLINA

GRADING AND STORM DRAINAGE PLAN

PROJECT NO. CAS-10000

FILENAME: CAS10000-G

CHECKED BY: DAC

DRAWN BY: SMP / NR

SCALE: AS NOTED

DATE: 07-24-2018

SECRET NO

C-2

McADAMS

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FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

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TEMPORARY SEEDING SCHEDULE

SEEDING DATE	SEEDING MIXTURE	APPLICATION RATE
JAN 1 - MAY 1	RYE (GRAIN)	120 LBS/AC
	KOBE LESPEDEZA	50 LBS/AC
MAY 1 - AUG 15	GERMAN MILLET	40 LBS/AC
AUG 15 - DEC 30	RYE (GRAIN)	120 LBS/AC

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 4,000 LB/AC GROUND AGRICULTURE LIMESTONE AND 750 LB/AC 10-10-10 FERTILIZER (FROM AUG 15 - DEC 30, INCREASE 10-10-10 FERTILIZER TO 1000 LB/AC).

MULCH

APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

JAN 1 - AUG 15: REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REFERTILIZE, AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

AUG 15 - DEC 30: REPAIR AND REFERTILIZE DAMAGED AREAS IMMEDIATELY. TOP DRESS WITH 50 LB/AC OF NITROGEN IN MARCH. IF IT IS NECESSARY TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 50 LB/AC KOBE LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

NOTE: USE THE TEMPORARY SEEDING SCHEDULE ONLY WHEN DATE IS NOT CORRECT TO USE THE PERMANENT SEEDING SCHEDULE.

PERMANENT SEEDING SCHEDULE

SEEDING DATE	SEEDING MIXTURE	APPLICATION RATE
AUG 25 - OCT (BEST)	TALL FESCUE	200 LBS/AC
	RYE (GRAIN)	50 LBS/AC
	GERMAN MILLET	50 LBS/AC
FEB - APR 15 (POSSIBLE)	TALL FESCUE	200 LBS/AC
	RYE (GRAIN)	50 LBS/AC
	GERMAN MILLET	50 LBS/AC

SOIL AMENDMENTS

FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 4,000 LB/AC GROUND AGRICULTURE LIMESTONE AND 1000 LB/AC 10-10-10 FERTILIZER.

MULCH

APPLY 4000 LB/AC STRAW. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING, OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE

INSPECT AND REPAIR MULCH FREQUENTLY. REFERTILIZE IN LATE WINTER OF THE FOLLOWING YEAR; USE SOIL TESTS OR APPLY 150 LB/AC 10-10-10 FERTILIZER. MOW REGULARLY TO A HEIGHT OF 2-4 INCHES.

SEEDBED PREPARATION

AREAS TO BE SEED TO BE SCARIFIED 4" DEEP. A FIRM, WELL PULVERIZED, UNIFORM SEEDBED SHOULD BE PROVIDED. FERTILIZER SHALL BE PLACED DURING SCARIFICATION AS FOLLOWS:

LIME: 45 LBS / 1,000 SF
PHOSPHOROUS: 20 LBS / 1,000 SF
FERTILIZER: 17 LBS / 1,000 SF

MAINTENANCE PLAN

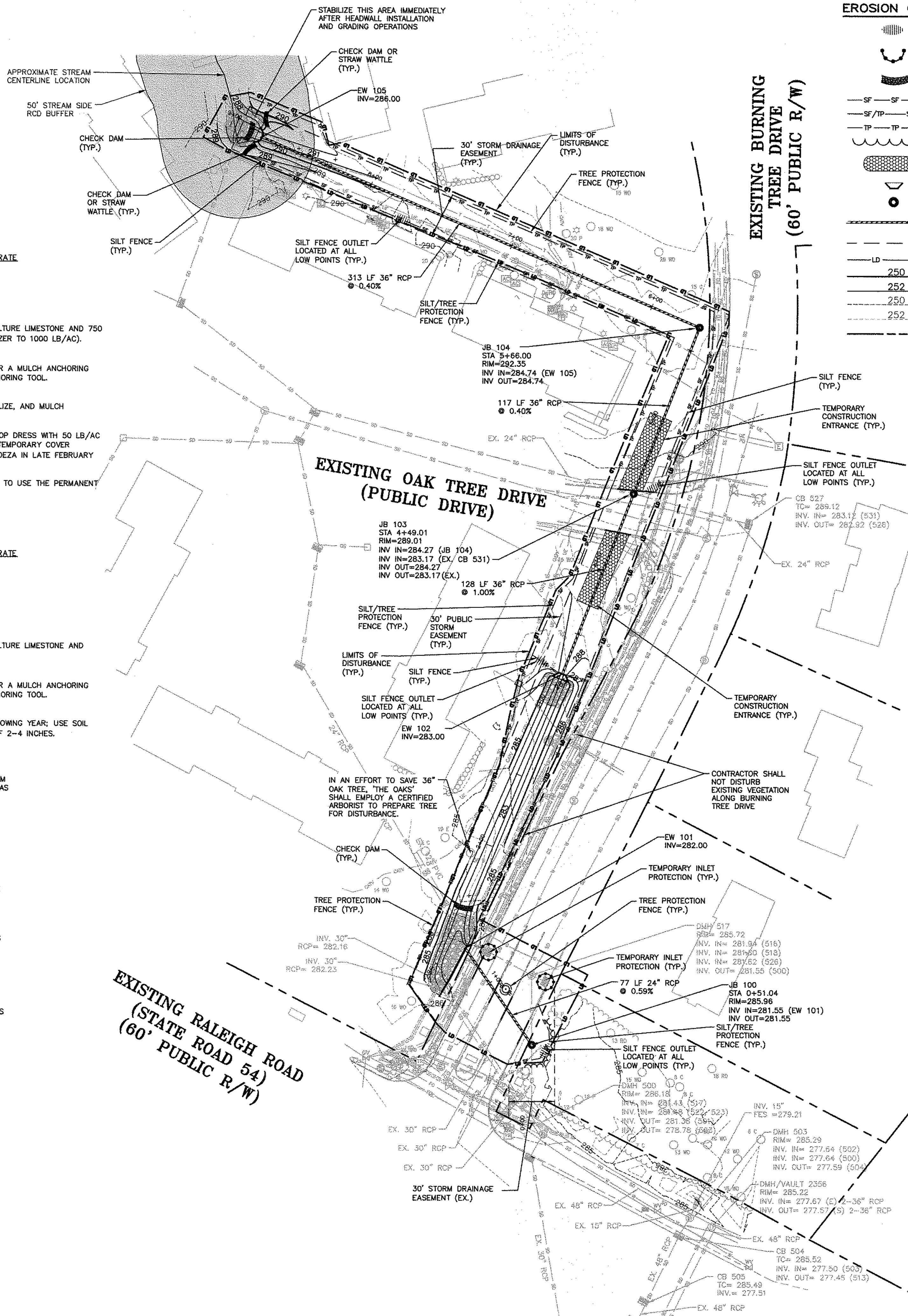
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL BUT IN NO CASE LESS THAN ONCE EVERY WEEK. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL MEASURES AS DESIGNED.
- SILT FENCES SHALL BE INSPECTED AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT DEPOSITS SHALL BE REMOVED AS NEEDED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL EVENT, AND TO REDUCE PRESSURE ON THE FENCE. FENCING MATERIALS AND SEDIMENT DEPOSITS SHALL BE REMOVED, AND THE AREA BROUGHT TO GRADE FOLLOWING STABILIZATION OF UPGRADED DISTURBED AREAS.
- DIVERSION DITCHES MUST REMAIN IN PLACE UNTIL PROJECT IS STABILIZED.
- SEED AND MULCH DENUDED AREA WITHIN 14 DAYS AFTER ANY PHASE OF GRADING.
- MAINTAIN SOIL EROSION CONTROL MEASURES UNTIL PERMANENT GROUND COVER IS ESTABLISHED.

OFFSITE SPOIL NOTE:

IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.

GROUND STABILIZATION

SITE AREA DESCRIPTION	STABILIZATION TIME FRAME	STABILIZATION TIME FRAME EXCEPTIONS
PERIMETER DIKES, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW) ZONES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED
SLOPES 3:1 OR FLATTER	14 DAYS	7-DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE (EXCEPT FOR PERIMETERS AND HOW ZONES)



EROSION CONTROL LEGEND

	SILT FENCE OUTLET
	INLET PROTECTION FOR EXISTING STRUCTURES
	CHECK DAM
	SILT FENCE
	SILT/TREE PROTECTION FENCE
	TREE PROTECTION FENCE
	WOODED AREA
	CONSTRUCTION ENTRANCE/EXIT
	HEADWALL
	JUNCTION BOX
	STORM DRAINAGE
	STORMWATER EASEMENT
	LIMITS OF DISTURBANCE
	5' CONTOUR
	1' CONTOUR
	EXISTING 5' CONTOUR
	EXISTING 1' CONTOUR
	PROPERTY LINE

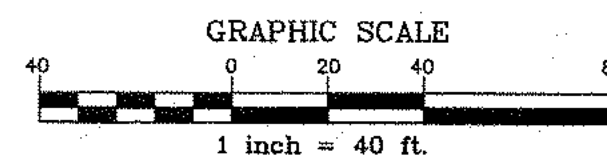
EROSION CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL DEVICES MUST BE INSTALLED AND INSPECTED PRIOR TO ANY GRADING ON SITE. THE CONTRACTOR SHALL CALL FOR A INSPECTION BY ORANGE COUNTY SEDIMENTATION AND EROSION CONTROL (SEC) ONCE INITIAL MEASURES ARE IN PLACE.
- REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND A PRE-CONSTRUCTION CONFERENCE SCHEDULED WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING LAND DISTURBANCE.
- SEDIMENT/EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED ONE HALF THE CAPACITY OF THE DEVICE.
- IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR THE INSPECTION OF EROSION CONTROL DEVICES AFTER EVERY RAINFALL, THE CONTRACTOR SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES AND OFFSITE ROADWAYS DAILY. MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES. REMOVE DEPOSITION OF WET OR DRY SILT ON ADJACENT ROADWAYS AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.
- A COPY OF THE APPROVED EROSION CONTROL PLAN MUST BE ON FILE AT THE JOB SITE AT ALL TIMES.
- CONSTRUCTION, MAINTENANCE, AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GRADING CONTRACTOR UNLESS OTHERWISE NOTED.
- ANY GRADING BEYOND THE DENUDED LIMITS SHOWN ON THE PLAN IS A VIOLATION OF THE COUNTY EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
- NO DEBRIS SHALL BE TRACKED ONTO ANY EXISTING PAVED AREAS OR PUBLIC RIGHT OF WAY. IF THE SITUATION OCCURS WHERE MUD, ROCK AND DEBRIS IS TRACKED ONTO PAVEMENT, THE CONTRACTOR SHALL CLEAN THE PAVEMENT AND INSTALL ADDITIONAL MEASURES TO PREVENT THE FUTURE OCCURRENCE.
- DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT ON SITE. THE EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL FIELD MEASURES AS NECESSARY TO PROVIDE ADEQUATE PROTECTION FROM RECEIVING WATER COURSES.
- PROTECTION OF EXISTING VEGETATION: AT THE START OF GRADING INVOLVING THE STRIPPING OF TOPSOIL OR LOWERING OF EXISTING GRADE AROUND A TREE, A CLEAN, SHARP, VERTICAL CUT SHALL BE MADE AT THE EDGE OF THE TREE SAVE AREA AT THE SAME TIME AS OTHER EROSION CONTROL MEASURES ARE INSTALLED. THE TREE PROTECTION FENCING SHALL BE INSTALLED ON THE SIDE OF THE CUT FARTHEST AWAY FROM THE TREE TRUNK AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE. NO STORAGE OF MATERIALS, FILL, OR EQUIPMENT AND NO TRESPASSING SHALL BE ALLOWED WITHIN THE BOUNDARY OF THE PROTECTED AREA AND SHALL BE POSTED ON THE PROTECTION FENCE. A PROTECTION FENCE CONSTRUCTED OF MATERIAL RESISTANT TO DEGRADATION BY SUN, WIND, AND MOISTURE FOR THE DURATION OF THE CONSTRUCTION, SHALL BE INSTALLED AT THE SAME TIME AS THE EROSION CONTROL MEASURES AND SHALL BE IN PLACE UNTIL ALL CONSTRUCTION IN THE VICINITY OF THE TREES IS COMPLETE.
- A CONSTRUCTION SEQUENCE HAS BEEN PROVIDED. INSTALLATION OF ALL PROPOSED SEDIMENTATION & EROSION CONTROL MEASURES IN THE SEQUENCE(S) PROVIDED AND MAINTENANCE OF THOSE DEVICES IS REQUIRED. THE CONTRACTOR MAY BE ALLOWED, WITH PRIOR APPROVAL FROM THE OWNER, TO COORDINATE CHANGES TO THE PLAN WITH THE ON-SITE SEDIMENTATION & EROSION CONTROL INSPECTOR AND THE ENGINEER.
- PROVIDE INLET PROTECTION AROUND ALL SITE STORM INLETS. PROTECT OPEN PIPES UNDER CONSTRUCTION WITH EITHER LUMBER OR WITH MESH AND GRAVEL WEIRS. RUNOFF SHALL NOT BE ALLOWED IN ANY OPEN TRENCH.
- CONTRACTOR TO VERIFY SILT FENCE OUTLET PLACEMENT AT LOW POINTS AS THEY EXIST OR DEVELOP ADDITIONAL SILT FENCE OUTLETS AS REQUIRED TO PREVENT EROSION DURING AND AFTER CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES. IF ADDITIONAL SILT FENCE OUTLETS ARE NECESSARY, CONTRACTOR TO ADD ADDITIONAL SILT FENCE OUTLETS PER ENGINEER, NCEC EROSION CONTROL INSPECTOR, OR OWNER DIRECTION. IF PONDING OF WATER OR SEDIMENT OCCURS ALONG SILT FENCE, CONTRACTOR SHALL INSTALL AN ADDITIONAL SILT FENCE OUTLET.

CONSTRUCTION SEQUENCE

- OBTAIN A LAND-DISTURBING PERMIT. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL OFFICER, WESLEY POOLE (919)245.2587. PRECONSTRUCTION MEETING SHALL INCLUDE A REPRESENTATIVE FROM OWASA, TOWN OF CHAPEL HILL, TOWN'S URBAN FORESTER, AND OWNER.
NOTE: INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR INSPECTORS TO LEAVE INSPECTION REPORTS, COMPLIANCE NOTICES, ETC.
- TRAFFIC CONTROL PLAN TO BE PROVIDED BY CONTRACTOR
- INSTALL GRAVEL CONSTRUCTION ENTRANCE(S) PER PLAN. ALSO INSTALL TEMPORARY SILT FENCING WITH OUTLETS AS SHOWN.
- CONTRACTOR SHALL CLEAR ONLY THOSE AREAS NECESSARY TO ACCESS AND INSTALL INITIAL PERIMETER DEVICES. INSTALL INLET PROTECTION ON EXISTING INLETS AS NECESSARY.
- INSTALL INLET PROTECTION PER ORANGE COUNTY SEC STANDARDS AND SPECIFICATIONS ON ALL INLETS.
- CALL 919.245.2587 FOR ON-SITE INSPECTION BY ORANGE COUNTY EROSION CONTROL.
- BEGIN GRADING TO EXCAVATE FOR PROPOSED STORM PIPE.
- NO MUD SHALL BE TRACKED ONTO EXISTING PAVEMENT. ADDITIONAL MEASURES MAY BE NECESSARY TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
- PROVIDE ALL DISTURBED AREAS WITH GROUND COVER WITHIN 14 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN. NOTE: SLOPES IN EXCESS OF 3H:1V SHALL BE STABILIZED WITHIN 7 DAYS AND FOR MODERATE SLOPES (SLOPES LESS THAN 3H:1V) SHALL BE STABILIZED WITHIN 10 DAYS.
- CONSTRUCT STORM DRAIN SYSTEM AS SHOWN.
- INSTALL INLET PROTECTION ON ALL INLET STRUCTURES DURING CONSTRUCTION.
- AT THE CONCLUSION OF CONSTRUCTION OR IF LAND-DISTURBING ACTIVITY IS STOPPED FOR MORE THAN 14 CONSECUTIVE CALENDAR DAYS, PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THE S&E PLAN.
- WHEN THE SITE IS AT FINAL GRADE AND NO FURTHER GRADING IS NECESSARY, CONTRACTOR SHALL STABILIZE THE SITE PER THE PERMANENT SEEDING SCHEDULE.
- WHEN CONSTRUCTION IS COMPLETE, CALL ORANGE COUNTY EROSION CONTROL TO OBTAIN FINAL INSPECTION AND CERTIFICATE OF COMPLETION TO CLOSE OUT EROSION CONTROL PERMIT.

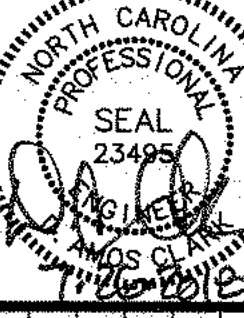
TOTAL DISTURBED AREA = 33,214 SF. (0.76 AC.)



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS
COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-02983
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MCADAMS



REVISIONS:

182

CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL PLAN

PROJECT NO. CAS-10000

FILENAME: CAS10000-EC1

CHECKED BY: DAC

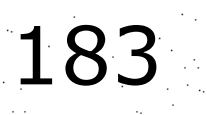
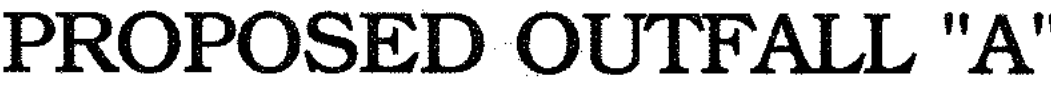
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SCALE: 1" = 40'

DATE: 07-24-2018

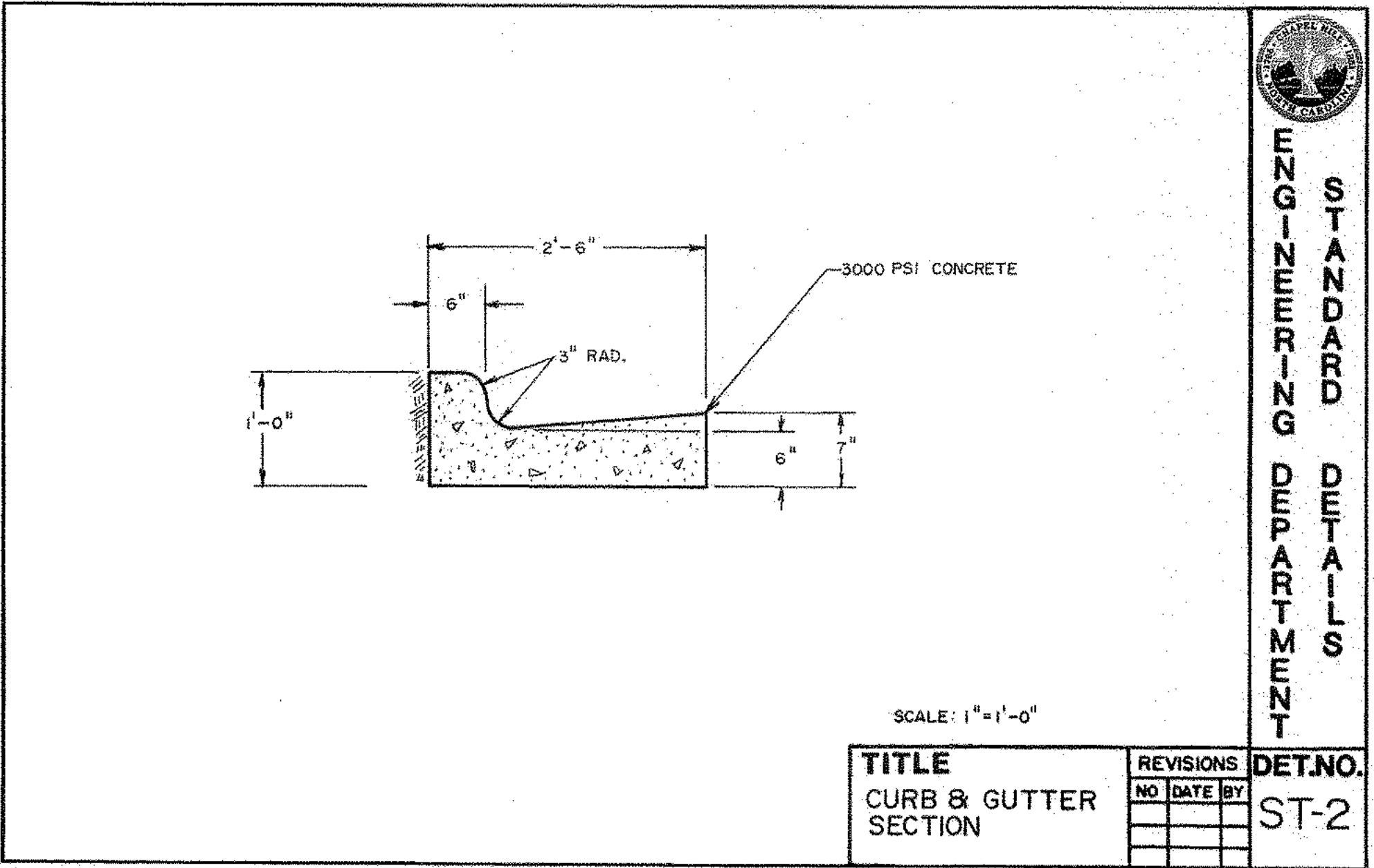
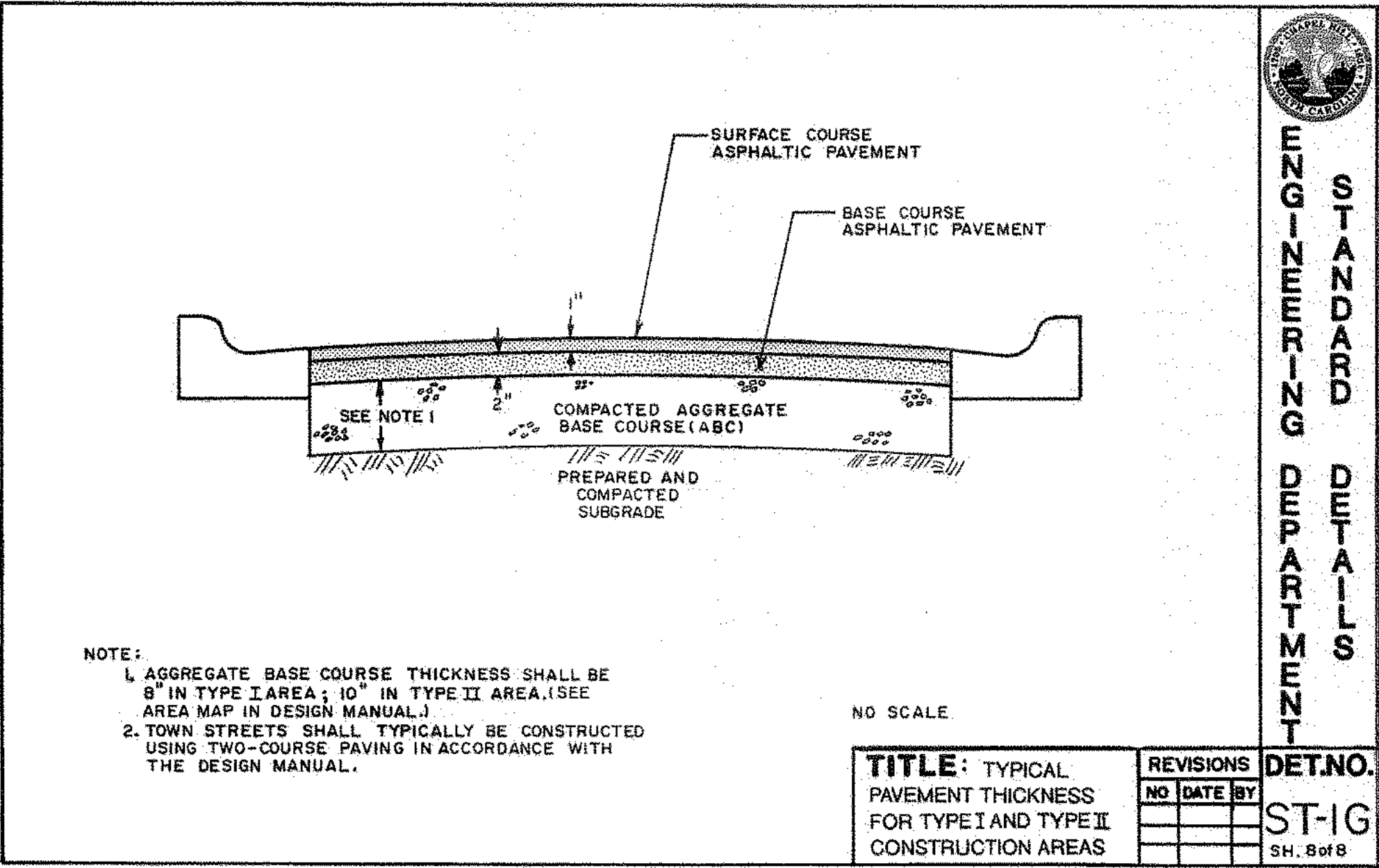
SHEET NO. C-3

MCADAMS



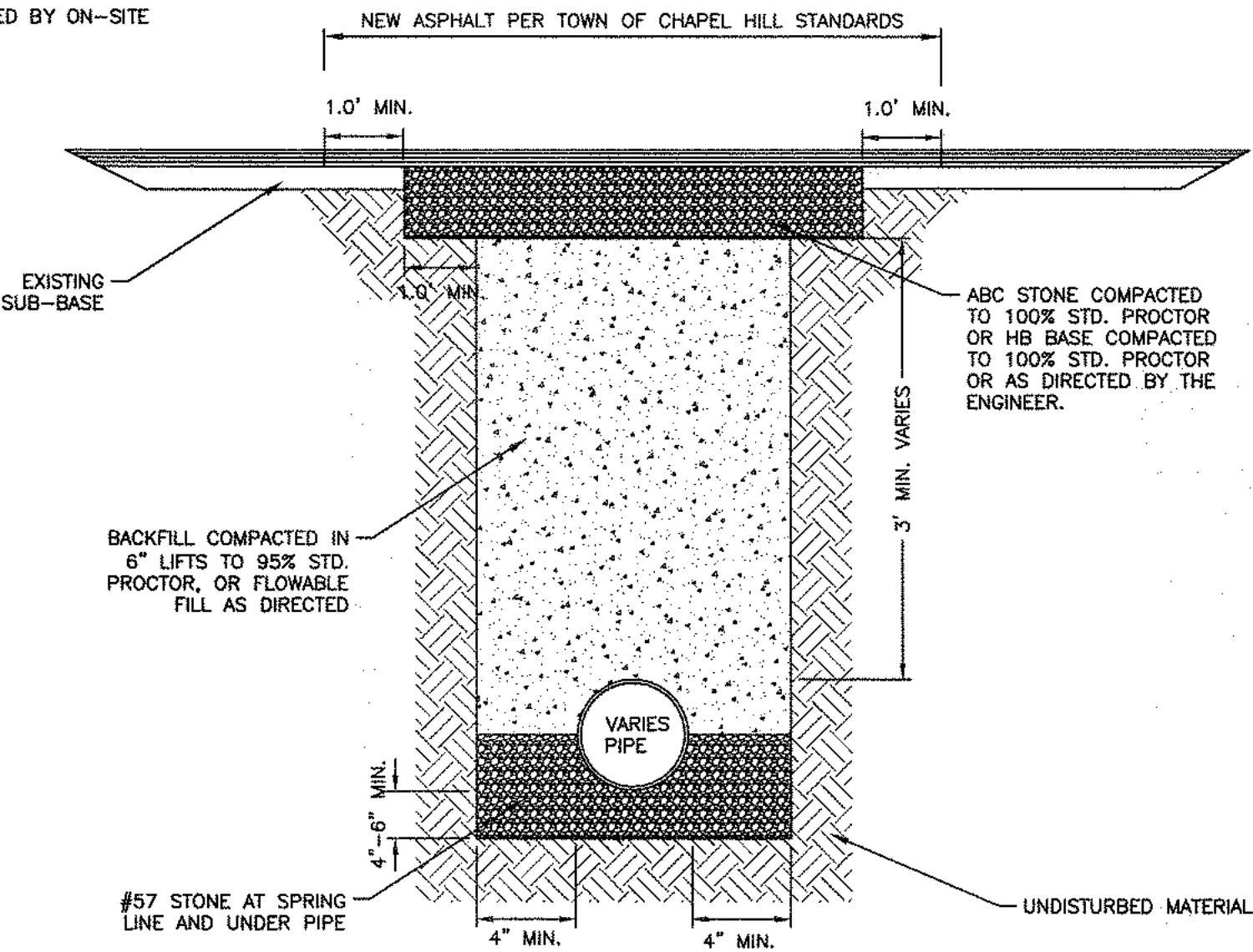
FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

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NOTES:

1. BEDDING AND BACKFILL MATERIAL TO BE DETERMINED BY ON-SITE GEOTECHNICAL ENGINEER.

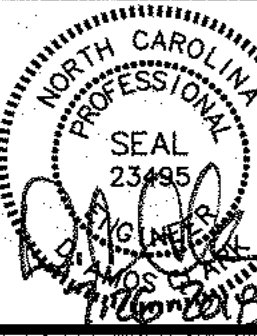


TRENCH CUT INSTALLATION

N.T.S.

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COMPANY, INC.
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REVISIONS:

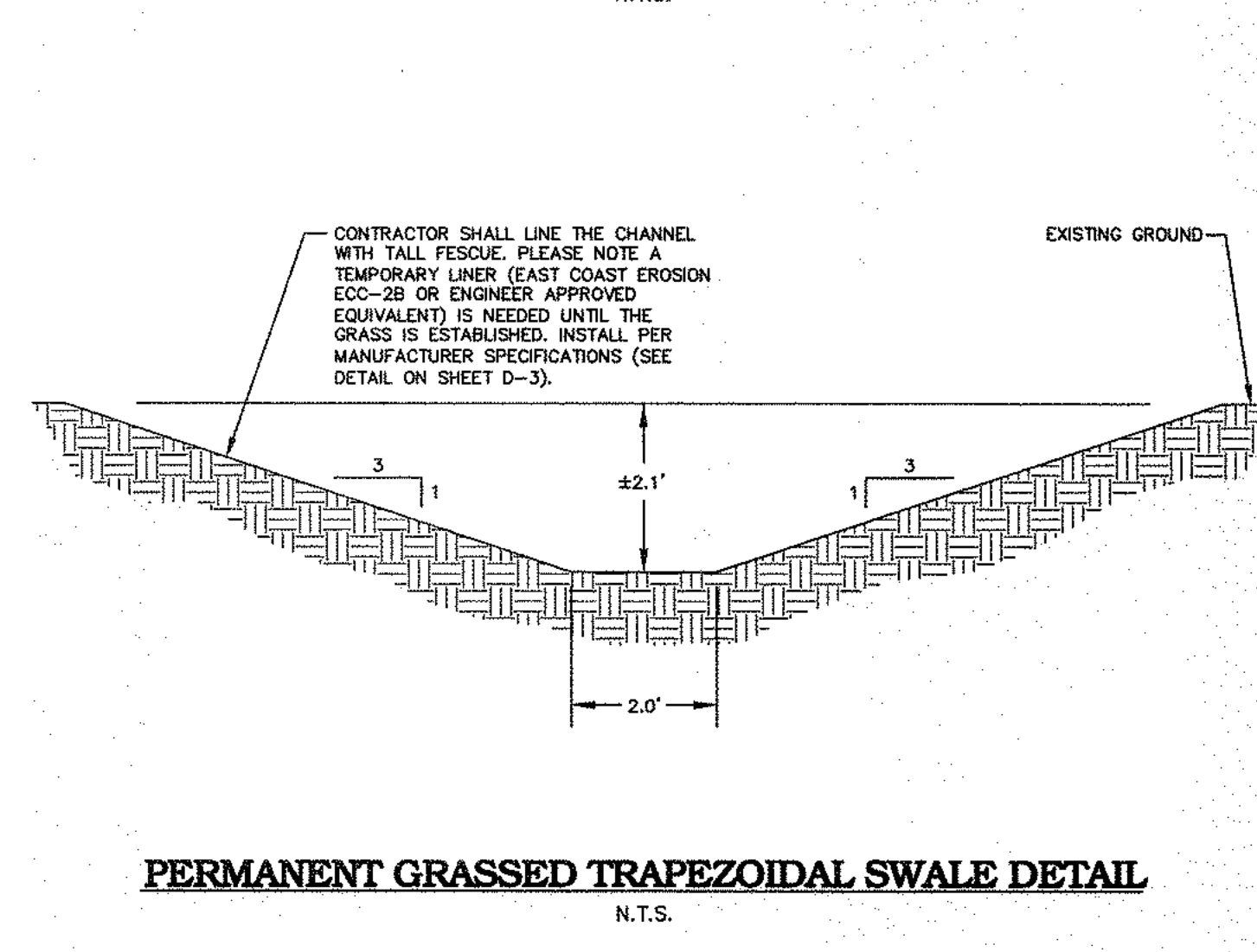
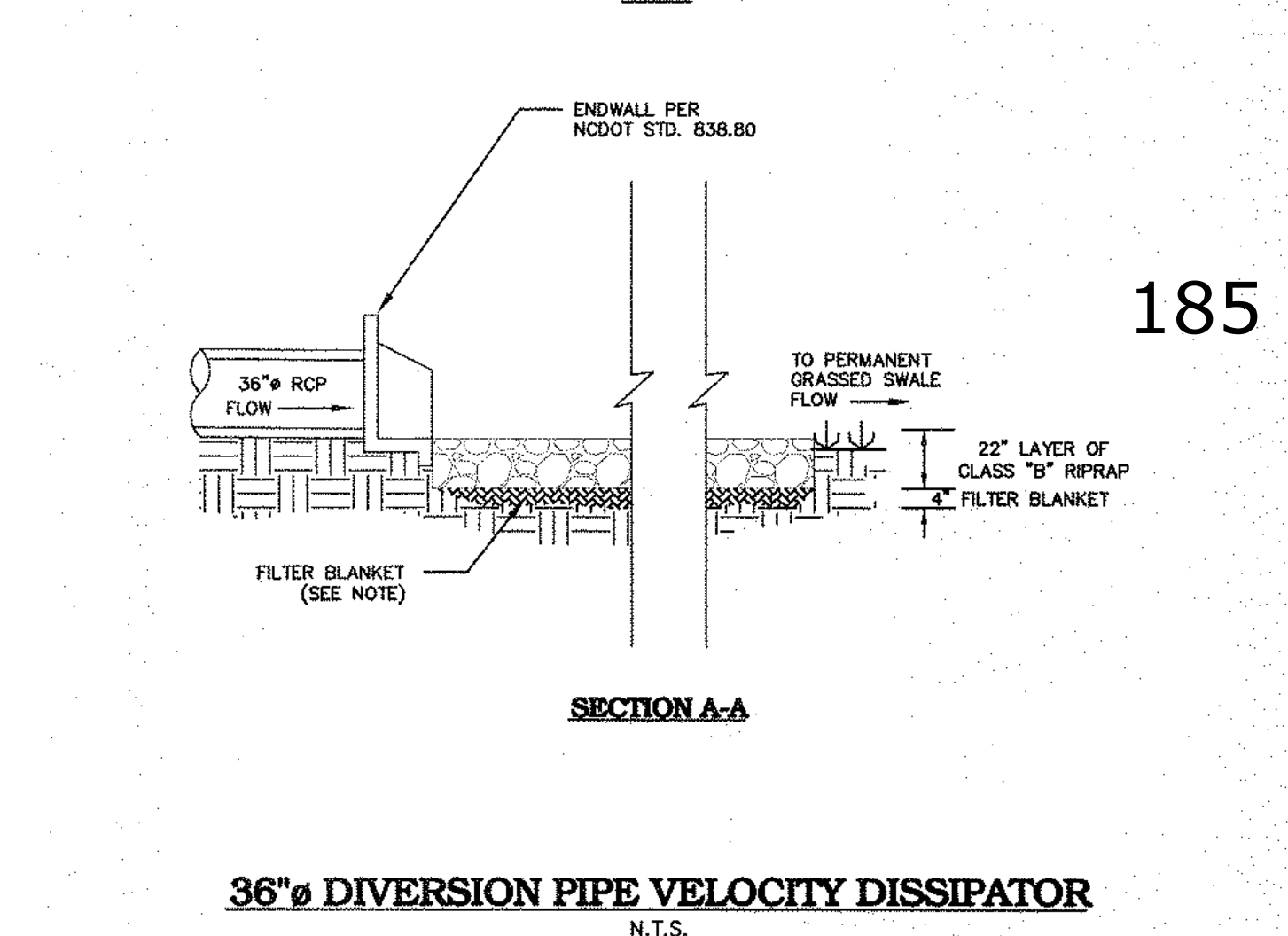
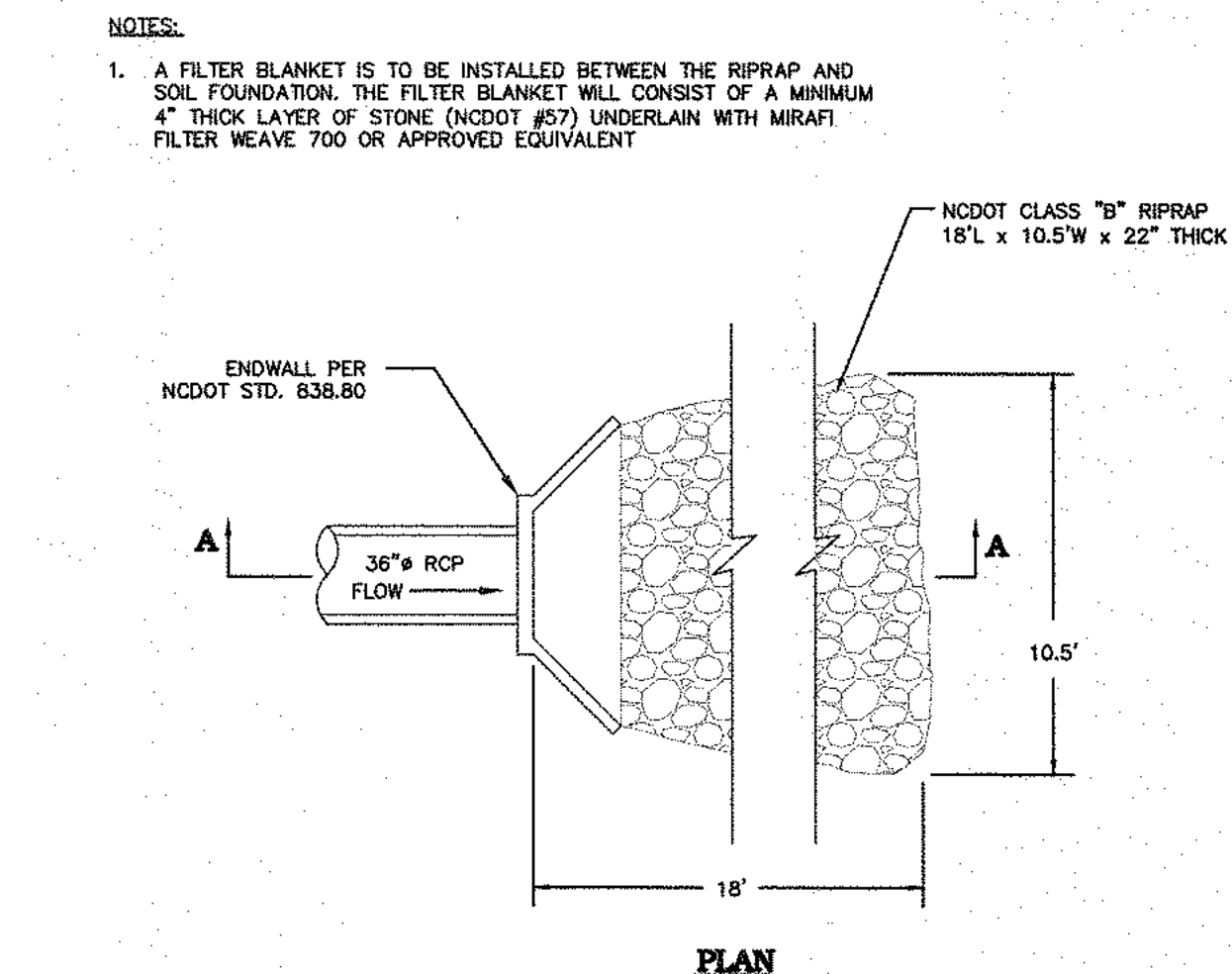
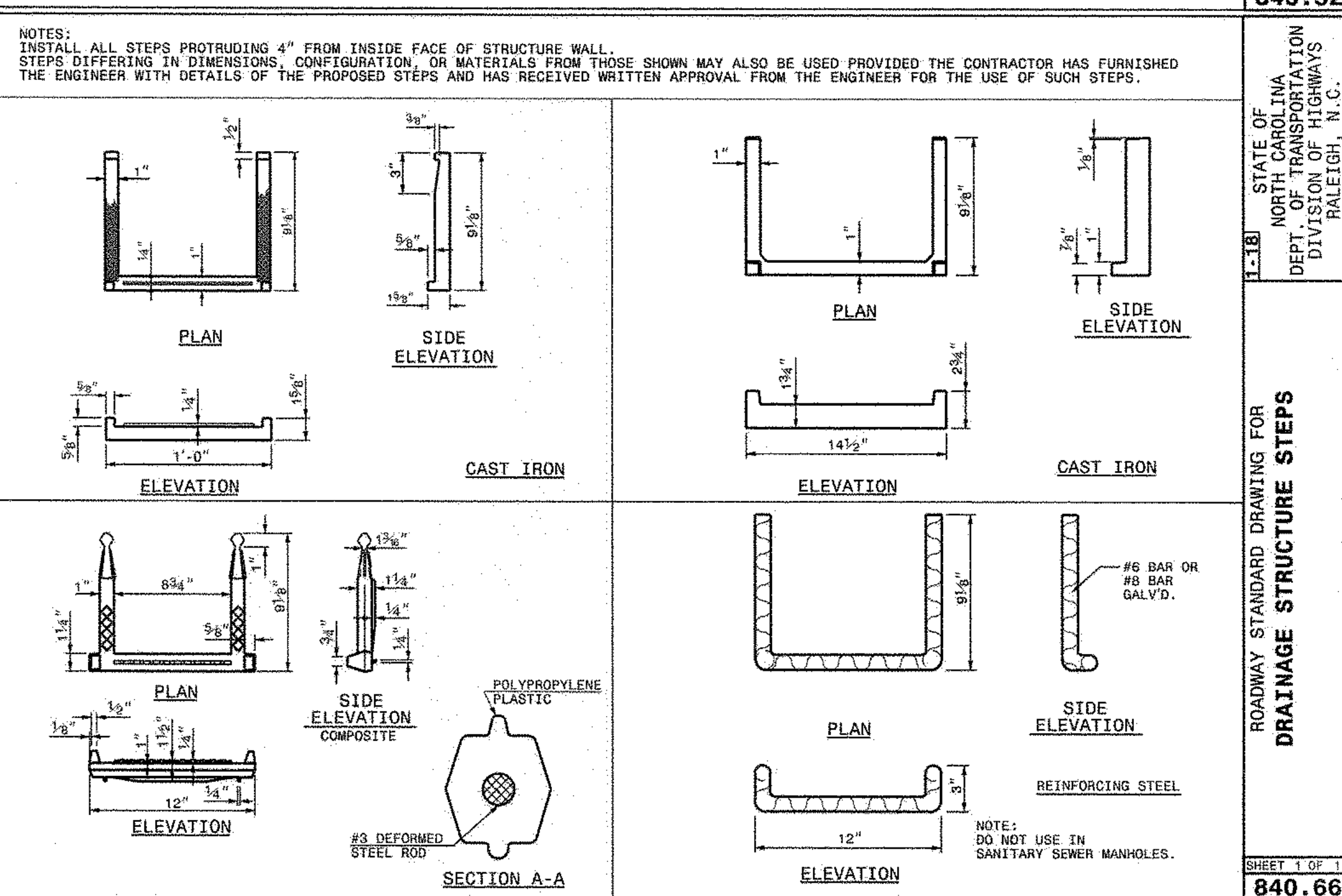
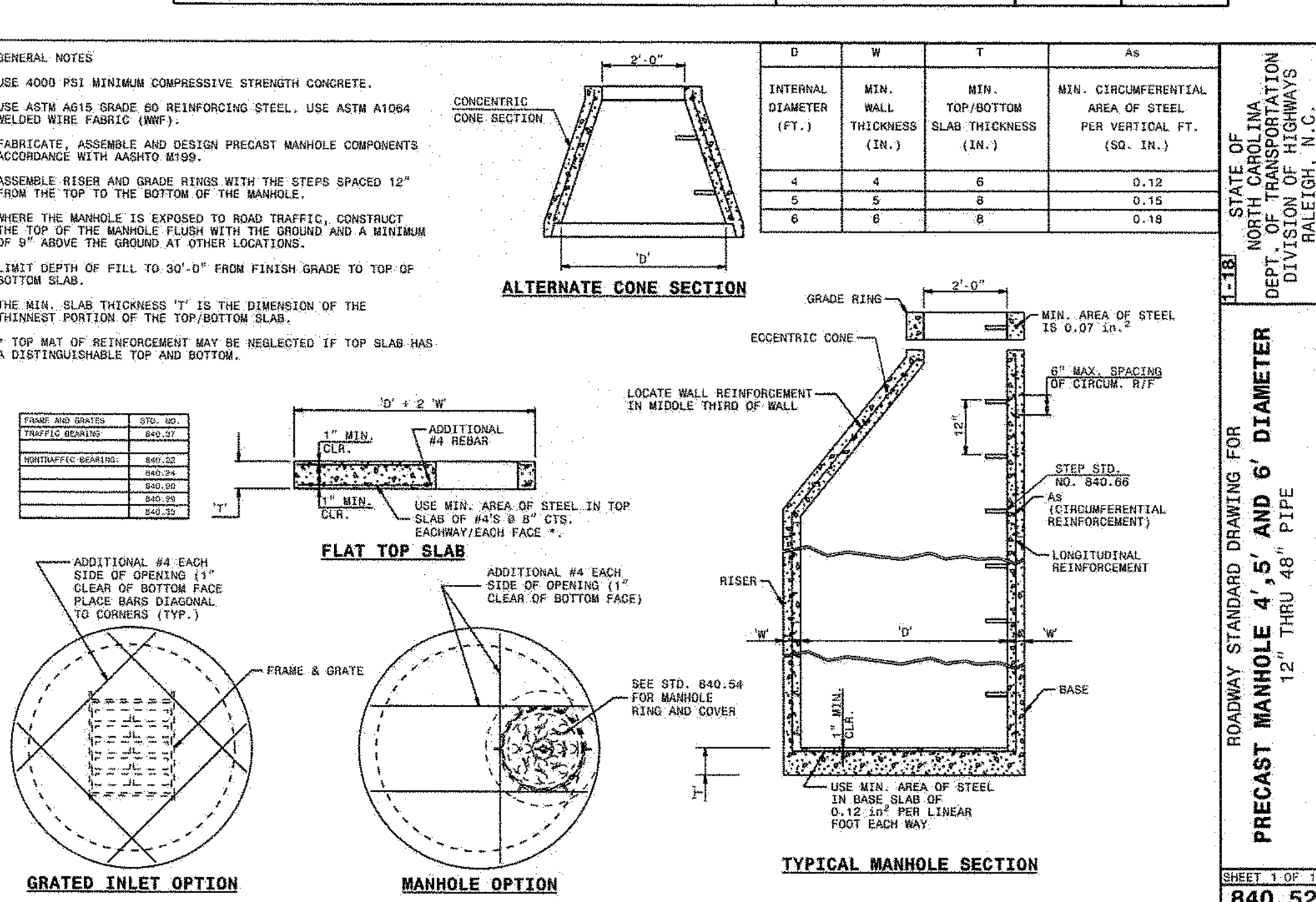
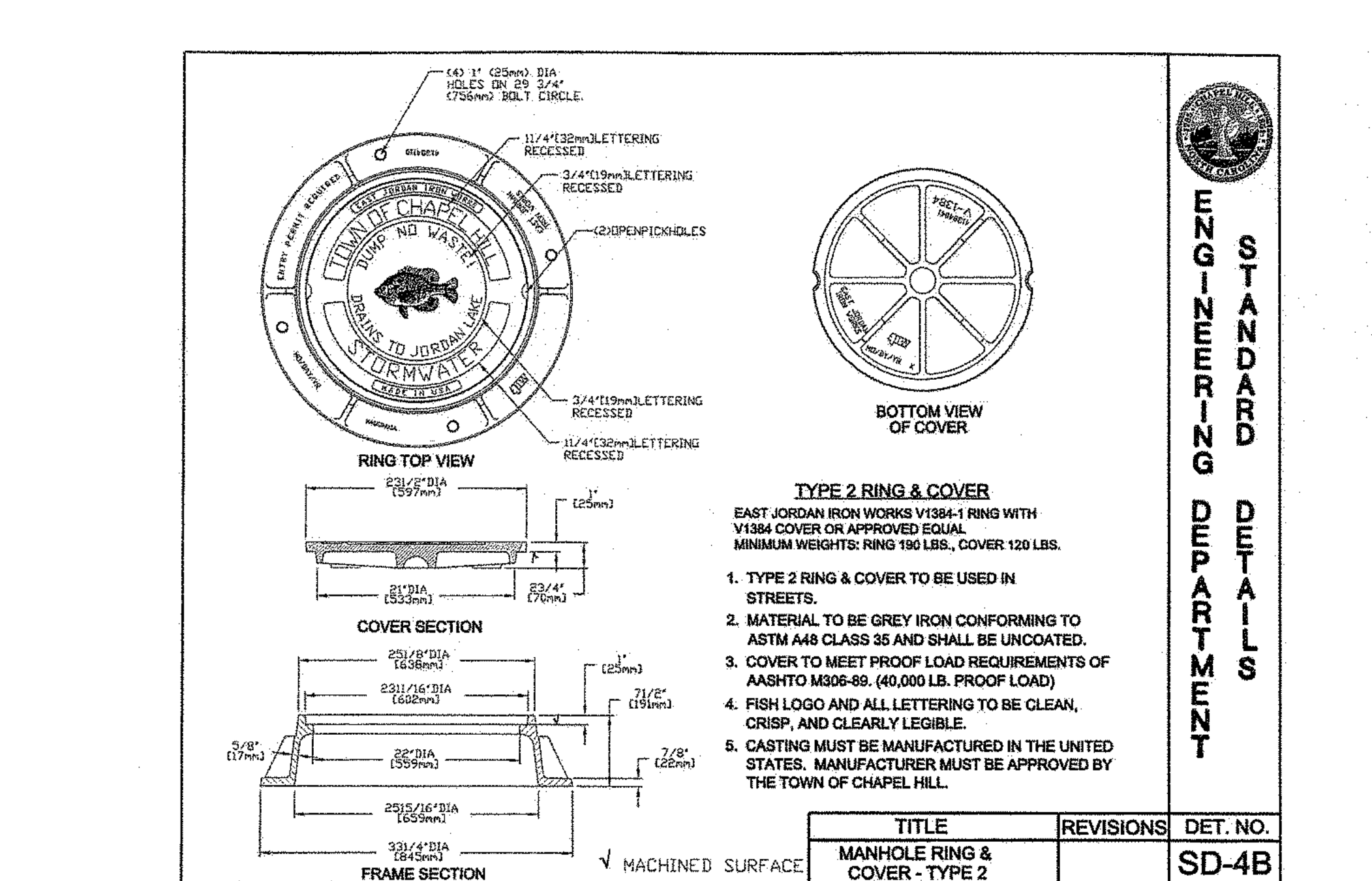
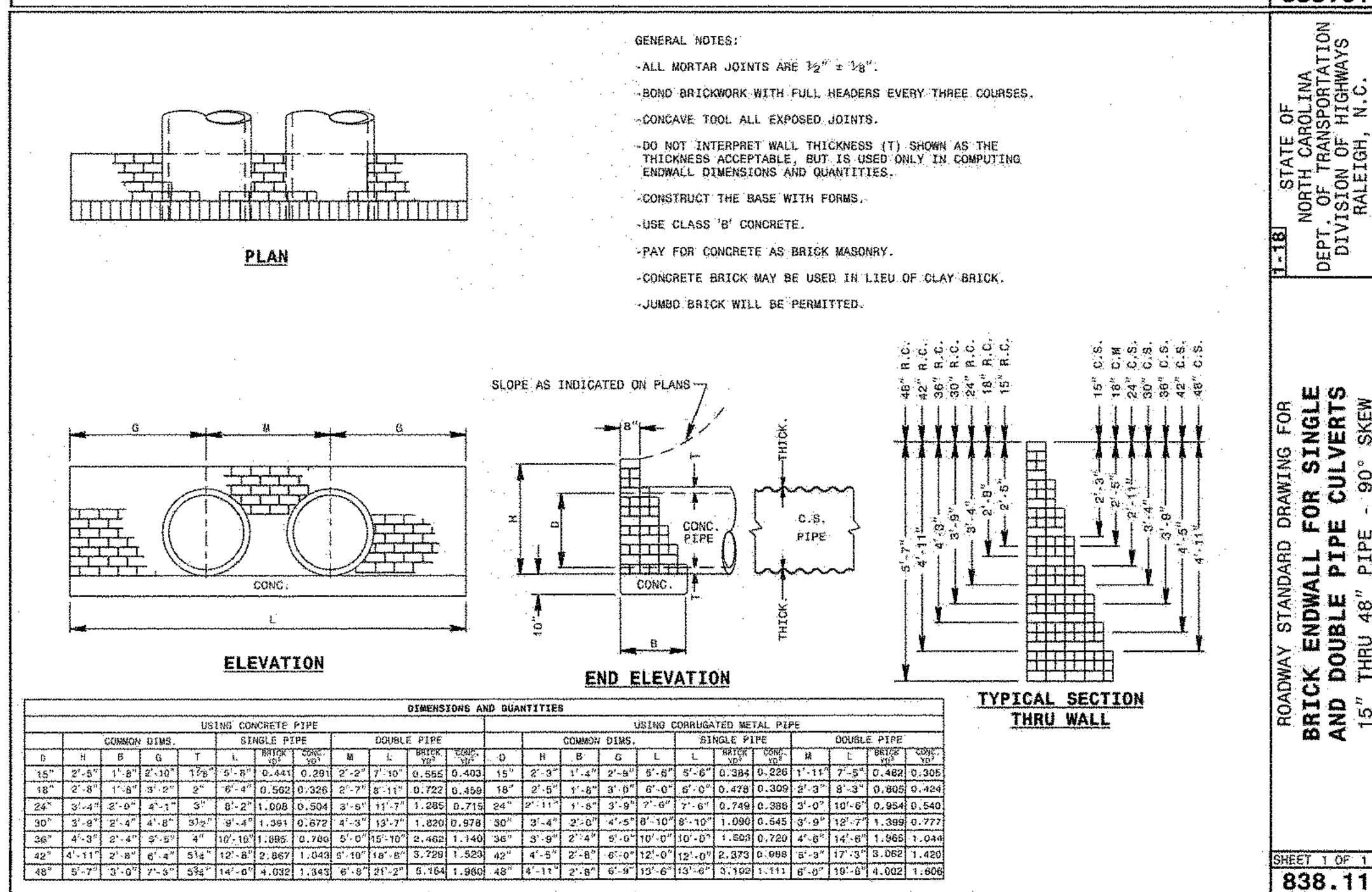
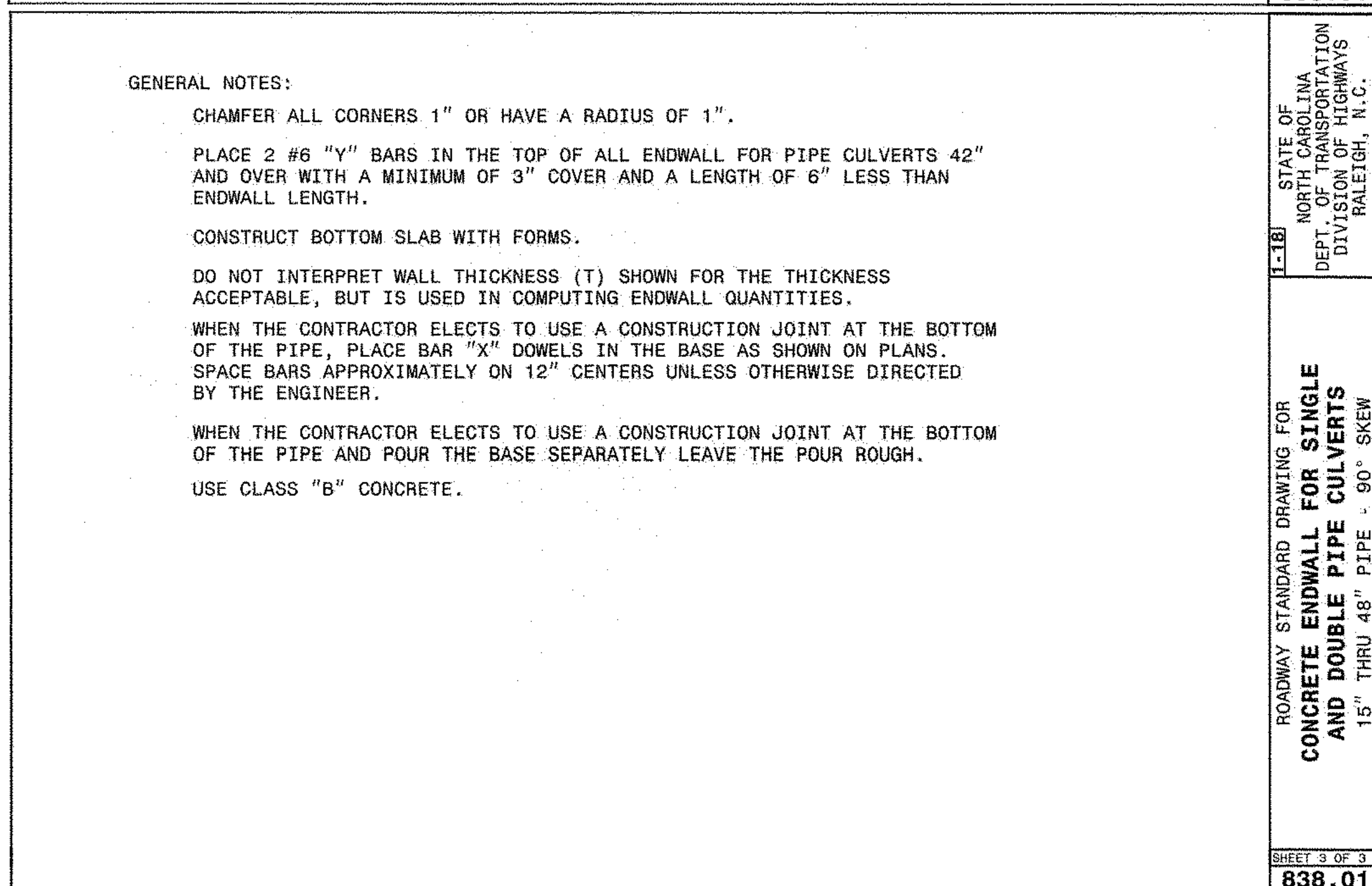
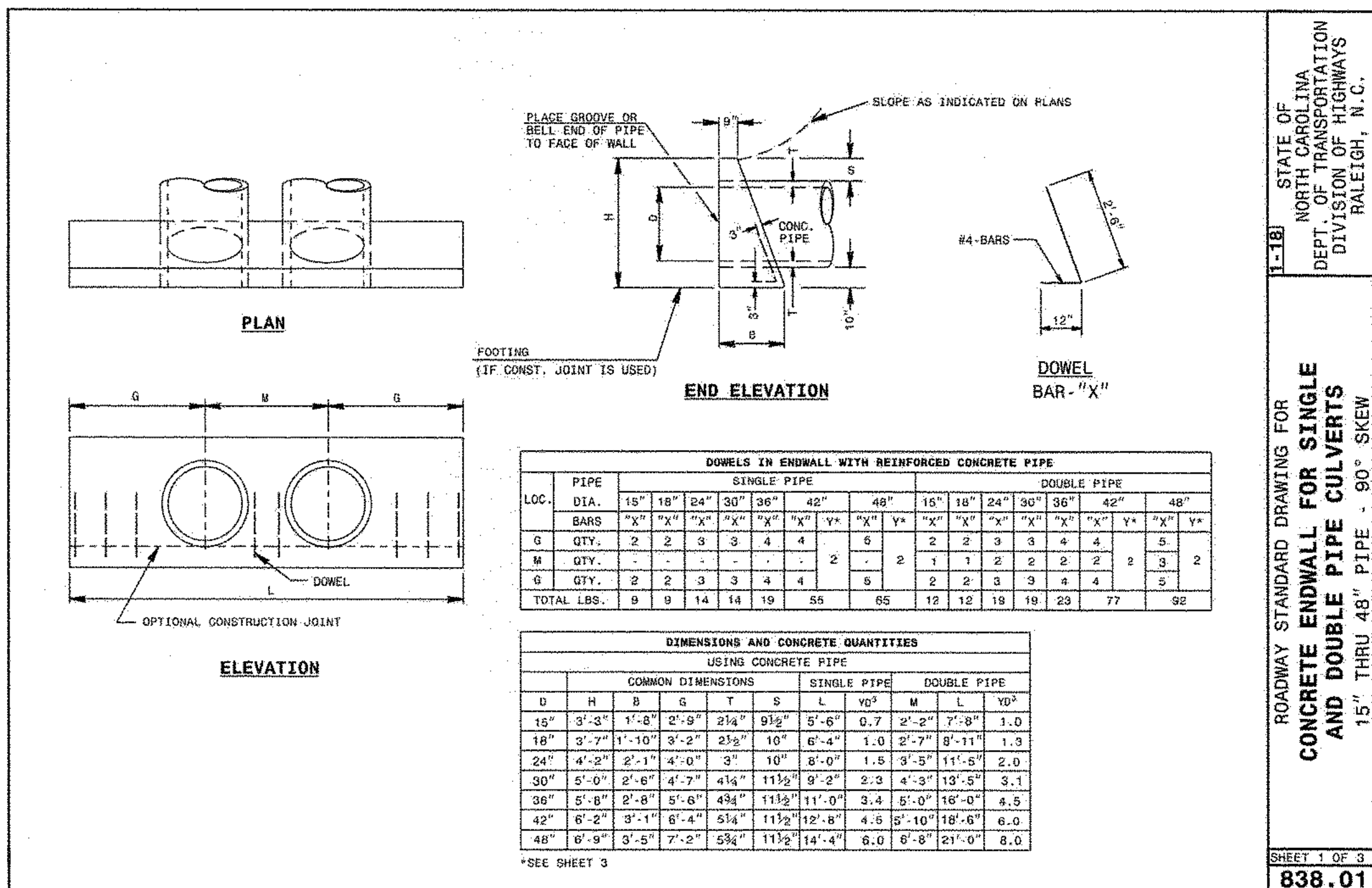
OWNER:
CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA

SITE DETAILS

PROJECT NO. CAS-10000
FILENAME: CAS10000-D1
CHECKED BY: DAC
DRAWN BY: SMP
SCALE: NTS
DATE: 07-24-2018
SHEET NO. D-1





X:\Projects\CAS\CAS-10000\Storm Construction Drawings\Current Drawings\CAS10000-EI.dwg, 7/26/2018 11:11:17 AM, Botorque, Nolde

Channel Installation Instructions:

- Dig a 6" by 6" trench both up-slope, down-slope, and along the top side of the channel. Prepare the slope soil surface (raking, seeding and fertilizing). Note: if used with stormwater discharge, place the up-slope trench at the face of the discharge structure footer.
- Begin by placing the center blanket a minimum of 12" down-slope of the up-slope trench. Secure the blanket at the bottom of the trench with staples placed 12" apart. Backfill and compact the trench. Apply seed, and fold the blanket over soil, secure with a row of staples placed 12" apart across the width of the blanket (See Diagram A).
- Roll the blanket vertically down the slope. Secure using the appropriate staple pattern below, specified by slope (See Staple Patterns).
- Continue placing blankets up the slopes on both sides, with a minimum 4" overlapping (Diagram B), and securing each blanket in the beginning trench (Diagram A).
- Additional horizontal blankets can be joined using a minimum 4" overlapping or shingle style in the direction of water flow. Connect the blankets by placing staples approximately 5" apart across the width of the blankets (Diagram C).
- For maximum performance a check slot should be placed at 25'-40' intervals. Place a row of staples 4" apart along the entire width of the channel. A second row should be placed 4" below in a staggered pattern (Diagram D).
- The end of the blanket must be secured in a 6" x 6" trench by a row of staples placed at 12" intervals (Diagram E).
- At the top edge of the side slope, fasten the blanket in a 6" x 6" trench with staples placed at 12" intervals. Install an additional row of staples 1'-0" down slope of the trench along the width of the fabric (Diagram F).

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the product specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

EAST COAST
erosion control
443 Bricker Road Berwyn, PA 19506
Toll Free: 1-800-582-4005 * Phone: +1-610-488-8496 * Fax: +1-610-488-8494

DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

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Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

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DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

3.5 staples/yd² MED. to HIGH FLOW CHANNEL

3.8 staples/yd² HIGH FLOW CHANNEL

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

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DRAWN BY: MR DRAWING #: EC-CHANNEL REV. # 1 DATE: 1/2/09

Slope Installation Guidelines:

These guidelines are recommendations only. Any questions with the installation should be confirmed with your local distributor.

- Dig a 6" by 6" trench both up-slope and down-slope of the area the matting is to be applied. Prepare the slope soil surface (raking, seeding and fertilizing).
- Begin by placing the blanket a minimum of 12" down-slope of the up-slope trench. Secure the blanket at the bottom of the trench with staples placed 12" apart. Backfill and compact the trench. Apply seed, and fold the blanket over soil, secure with a row of staples placed 12" apart across the width of the blanket (See Diagram A).
- Roll the blanket vertically down the slope. Secure using the appropriate staple pattern below, specified by slope (See Staple Patterns).
- Parallel blankets must be overlapped by a minimum of 4", and secured with a row of staples placed approximately 3'-0" apart (See Diagram B).
- Additional vertical blankets can be joined using a minimum 4" overlapping or shingle style (See Diagram C) in the direction of water flow. Connect the blankets by placing staples approximately 5" apart across the width of the blankets (See Diagram D).
- For maximum performance a check slot should be placed at 25'-40' intervals. Place a row of staples 4" apart along the entire width of the slope. A second row should be placed 4" below in a staggered pattern. Then continue with general installation (See Diagrams D).
- The end of the blanket must be secured in a 6" x 6" trench by a row of staples placed at 12" intervals (Diagram E).

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

In addition to meeting all data available on the specification sheet, equivalent products shall meet the following requirements:

- The product must be listed with the NTPP database.
- The product must meet the Type 2.C specification requirements established by the Erosion Control Technology Council (ECTC).
- The product must meet the Federal Highway Administration's (FHWA) PP-03 Section 713.17 specification.

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443 Bricker Road Berwyn, PA 19506
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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Slope Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

All product material and performance specifications are available from East Coast Erosion Blankets via the product specification sheet. Utilization of a 11 gauge staple, a minimum 6" long by 1" crown, is recommended. The tightly compressed blankets are wrapped and include a product label, code and installation guide.

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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

Specifications and Equivalency:

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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

Channel Installation Detail

Up-slope Trench Installation Detail (Diagram A)

Down-slope Trench Installation Detail (Diagram E)

Staple Patterns:

0.7 staples/yd² 0.1 SLOPES

1.2 staples/yd² 3:1 SLOPES

1.75 staples/yd² 2:1 SLOPES

3.8 staples/yd² 1:1 SLOPES

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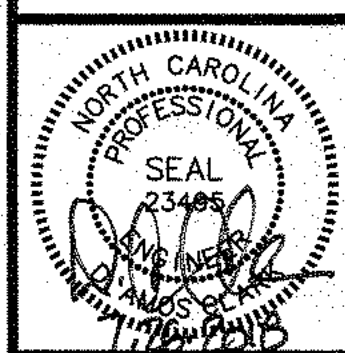
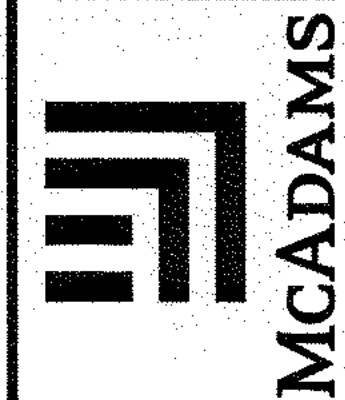
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DRAWN BY: MR DRAWING #: EC-SLOPE REV. # 1 DATE: 1/2/09

THE JOHN R. MCADAMS
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License No.: C-0283
(800) 733-8646 • McAdamsCo.com



REVISIONS:

CAS, INCORPORATED
5916 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA

EROSION CONTROL DETAILS

PROJECT NO. CAS-10000
FILENAME: CAS10000-EI
CHECKED BY: DAC
DRAWN BY: SMP
SCALE: NTS
DATE: 07-24-2018
SHEET NO. D-3



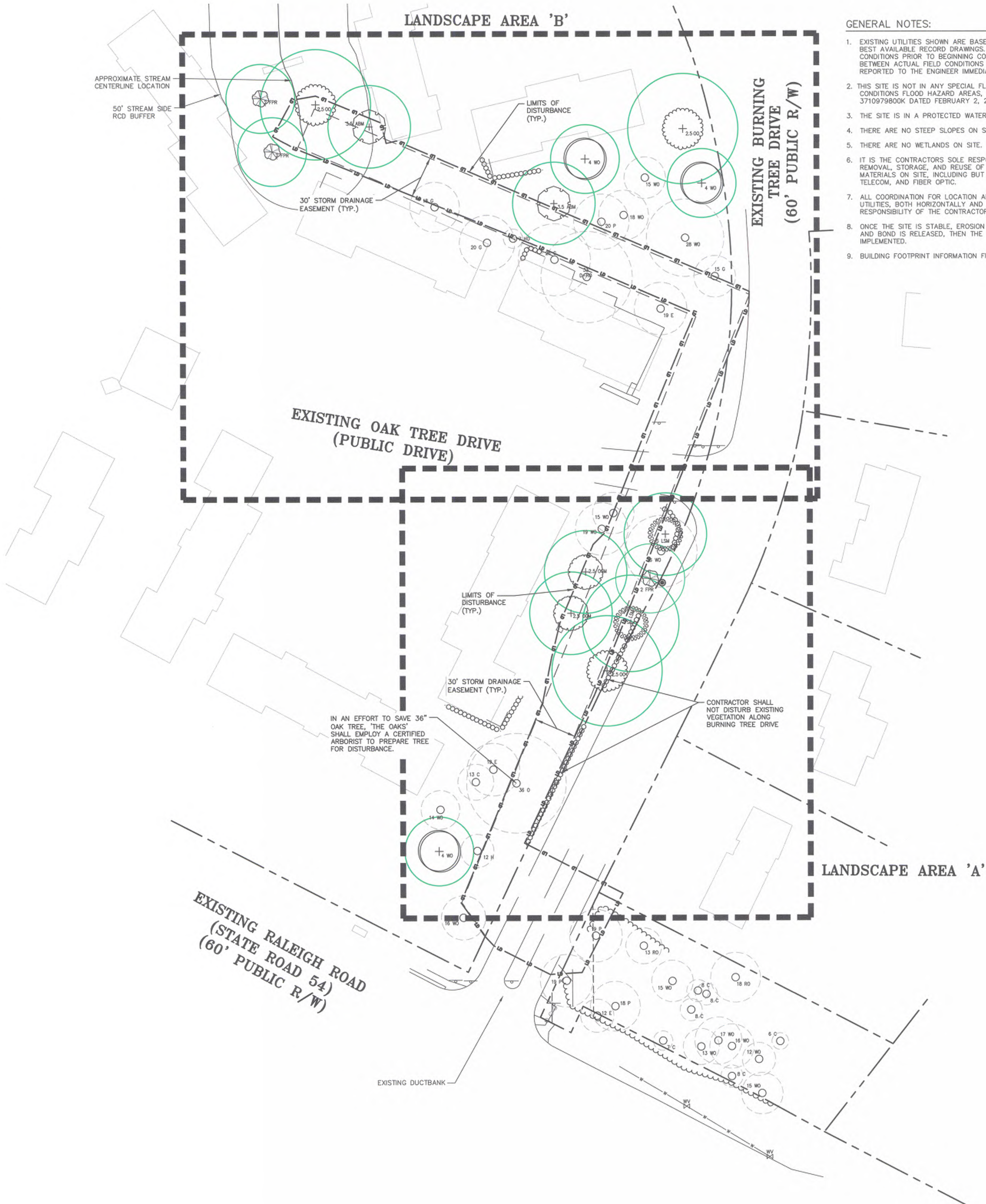
THE OAKS CONDOMINIUMS – TREE REPLACEMENT LIST					
BOTANICAL NAME	COMMON NAME	VARIETY	SIZE	QTY.	CANOPY
ACER RUBRUM	RED MAPLE	OCTOBER GLORY	2.5"	2	35'-40'
ACER RUBRUM	RED MAPLE	AUTUMN BLAZE	3.5"	2	35'-40'
ACER SACCHARUM	SUGAR MAPLE	LEGACY	5"	2	35'-40'
CERCIS CANADENSIS	REDBUD	FOREST PANSY	2"	3	25'-30'
QUERCUS LYRATA	OVERCUP OAK		2.5"	3	40'-45'
QUERCUS PHELLOS	WILLOW OAK		4"	3	40'-45'
			TOTAL	15	

TREE LEGEND

- 8 A ASH
10 C CEDAR
4 CH CHERRY
10 E ELM
12 G SWEET GUM
16 H HICKORY
4 HO HOLLY
15 M MAPLE
20 RO RED OAK
24 WO WHITE OAK
31 O OAK
7 PER PEAR
18 P PINE
4 MBY MULBERRY
- 2.5 00M OCTOBER GLORY RED MAPLE
3.5 00M AUTUMN BLAZE RED MAPLE
5 00M LEGACY SUGAR MAPLE
2 00M FOREST PANSY REDBUD
2.5 00M OVERCUP OAK
4 00M WILLOW OAK
- DOUBLE AND TRIPLE TRUNKS
20 D-0 DOUBLE OAK
20 T-0 TRIPLE OAK
- CAULIP INCH SIZE OF TREE
20 1-0 TYPE OF TREE
D FOR DOUBLE, T FOR TRIPLE

LANDSCAPE PROTECTION NOTES:

- PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT'S LANDSCAPE PROTECTION SUPERVISOR AND THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
- THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON ONCE TREE PROTECTION FENCING IS REMOVED, FOR THE PURPOSE OF INSTALLING LANDSCAPING.
- IT IS THE RECOMMENDATION OF THE McADAMS COMPANY TO REMOVE ALL TREES AS MARKED ON THIS PLAN. THE OWNER MAY ATTEMPT TO PRESERVE TREES MARKED AS REMOVED BUT IN DOING SO ASSUME ALL RESPONSIBILITY AND LIABILITY FOR THE TREES. ALL MEASURES TAKEN TO PRESERVE TREES MUST BE APPROVED BY THE ENGINEER.
- SYMBOL SIZE FOR PROPOSED TREES REPRESENTS TREES AT 15 YEARS OF GROWTH. CANOPY DIAMETERS ARE REPRESENTATIVE OF TREES AT FULL MATURITY.



GENERAL NOTES:

- EXISTING UTILITIES SHOWN ARE BASED ON FIELD SURVEYS AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
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- BUILDING FOOTPRINT INFORMATION FROM ORANGE COUNTY GIS.

LEGEND

- BOLLARD
SANITARY SEWER MANHOLE
SANITARY SEWER CLEANOUT
WATER VALVE
WATER METER
FIRE DEPARTMENT CONNECTION
FIRE HYDRANT
AIR CONDITIONING UNIT
TELEPHONE PEDESTAL
TELEPHONE MANHOLE
STEAM MANHOLE
ELECTRIC BOX
LIGHT POLE
CATCH BASIN
DROP INLET
STORM DRAINAGE MANHOLE
EXISTING TREE
EXISTING TREE CANOPY
PROPOSED TREE
PROPOSED TREE CANOPY
SD STORM DRAIN
OU OVERHEAD UTILITY LINE
UE UNDERGROUND ELECTRIC
UT UNDERGROUND TELEPHONE
FO FIBER OPTICS
W WATER LINE
SS SANITARY SEWER LINE
G GAS LINE
X-X FENCE LINE
--- STORM DRAINAGE EASEMENT
--- LIMITS OF DISTURBANCE
--- PROPERTY LINE

THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, NC 27713
License No.: C-0283
(800) 733-5646 • McAdamsCo.com

REVISIONS:

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OWNER:

CAS, INCORPORATED
5915 FABRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

PROJECT NO. CAS-10000
FILENAME: CAS10000-LS
CHECKED BY: DAC/DAP
DRAWN BY: SMP/NB
SCALE: 1" = 40'
DATE: 07-24-2018
SHEET NO. LS-1

THE OAKS CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
OVERALL LANDSCAPE PLAN

McADAMS

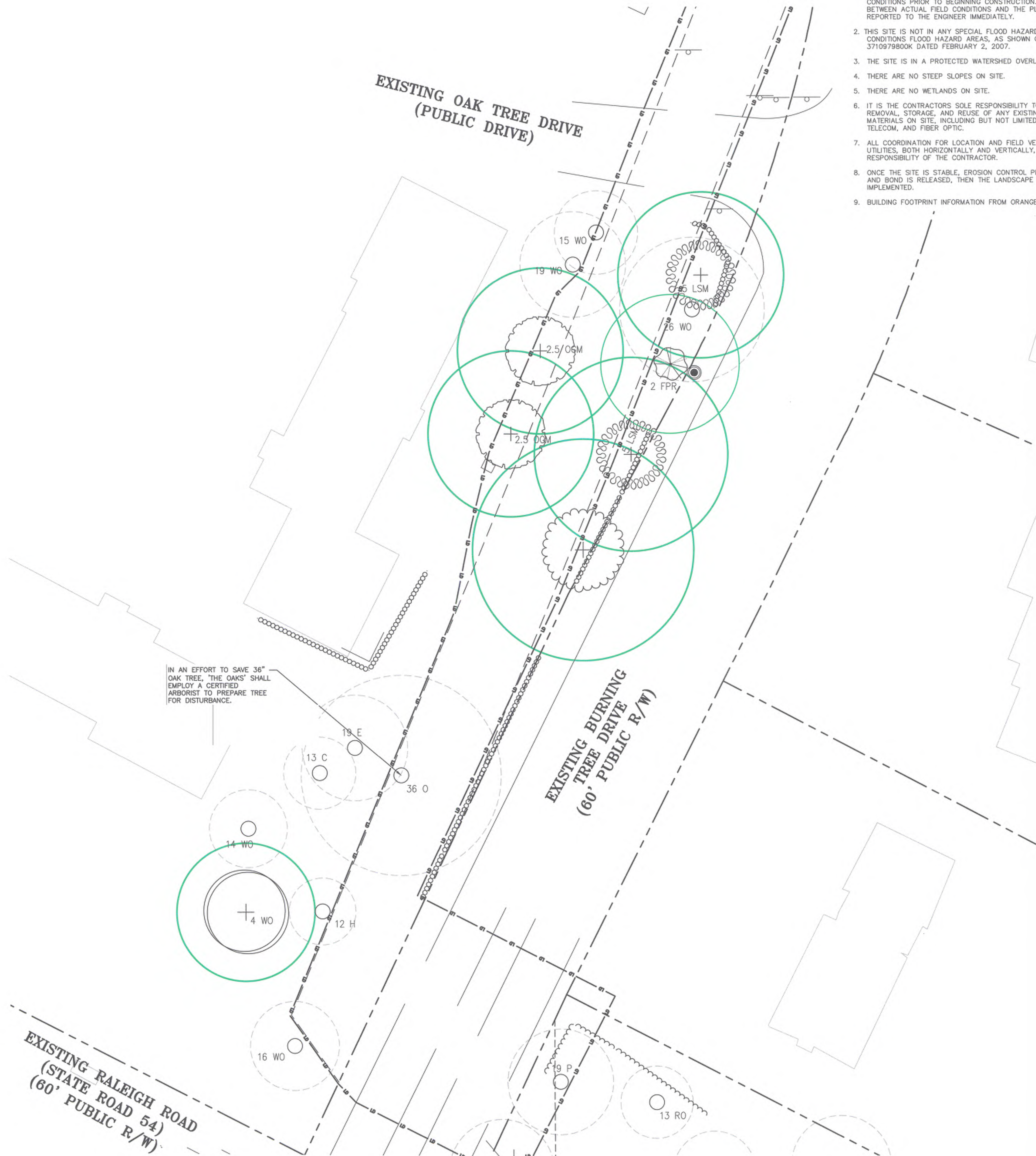
X:\Projects\CAS-10000\Storm\Construction Drawings\Current Drawings\CAS10000-LS1.dwg, 7/26/2018 3:10:29 PM, Babarquez, Natalia

TREE LEGEND

- 8 A ASH
- 10 C CEDAR
- 8 CH CHERRY
- 10 E ELM
- 12 G SWEET GUM
- 16 H HICKORY
- 4 HO HOLLY
- 15 M MAPLE
- 20 RO RED OAK
- 24 WO WHITE OAK
- 31 O OAK
- 7 PR PEAR
- 18 P PINE
- 4 MBY MULBERRY
- 2.5 OG+ OCTOBER GLORY RED MAPLE
- 3.5 ABM+ AUTUMN BLAZE RED MAPLE
- 5 LSM+ LEGACY SUGAR MAPLE
- 2 FPR+ FOREST PANSY REDBUD
- 2.500+ OVERCUP OAK
- 4 WO+ WILLOW OAK
- DOUBLE AND TRIPLE TRUNKS
- 20 D-O DOUBLE OAK
- 20 T-O TRIPLE OAK
- 20 T-O CALIPER INCH SIZE OF TREE
- 20 T-O TYPE OF TREE
- D FOR DOUBLE, T FOR TRIPLE

LANDSCAPE PROTECTION NOTES:

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LEGEND

- BOLLARD
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- AIR CONDITIONING UNIT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- STEAM MANHOLE
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- DROP INLET
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- EXISTING TREE CANOPY
- PROPOSED TREE
- PROPOSED TREE CANOPY
- SD STORM DRAIN
- OU OVERHEAD UTILITY LINE
- UE UNDERGROUND ELECTRIC
- UT UNDERGROUND TELEPHONE
- FO FIBER OPTICS
- W WATER LINE
- SS SANITARY SEWER LINE
- G GAS LINE
- X-X FENCE LINE
- STORM DRAINAGE EASEMENT
- LD LIMITS OF DISTURBANCE
- PROPERTY LINE

188

THE OAKS CONDOMINIUMS

CHAPEL HILL, NORTH CAROLINA
LANDSCAPE AREA 'A'

PROJECT NO. CAS-10000
FILENAME: CAS10000-LS
CHECKED BY: DAC/DAP
DRAWN BY: SMP/NB
SCALE: 1" = 20'
DATE: 07-24-2018
SHEET NO. LS-2

McADAMS

REVISIONS:

CAS, INCORPORATED
5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

OWNER:

THE JOHN R. McADAMS
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2905 Meridian Parkway
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License No.: C-02983
(800) 753-5646 • McAdamsCo.com



x:\Projects\CAS-10000\Storm Construction Drawings\Current Drawings\CAS10000-LS1.dwg, 7/26/2018 3:10:45 PM, Boharquez, Notelle

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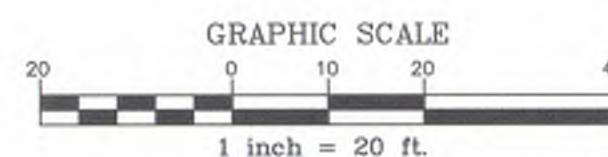
LEGEND

●	BOLLARD
○	SANITARY SEWER MANHOLE
○	SANITARY SEWER CLEANOUT
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X	FENCE LINE
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- - -	LIMITS OF DISTURBANCE
- - -	PROPERTY LINE

189

EXISTING OAK TREE DRIVE
(PUBLIC DRIVE)

EXISTING BURNING
TREE DRIVE
(60' PUBLIC R/W)



THE JOHN R. McADAMS
COMPANY, INC.
2805 Meridian Parkway
Durham, North Carolina 27713
C-0283
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REVISIONS:

OWNER:
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5915 FARRINGTON ROAD, SUITE 104
CHAPEL HILL, NORTH CAROLINA 27517

THE OAKS
CONDOMINIUMS
CHAPEL HILL, NORTH CAROLINA
LANDSCAPE AREA 'B'

PROJECT NO. CAS-10000
FILENAME: CAS10000-LS
CHECKED BY: DAC/DAP
DRAWN BY: SMP/NB
SCALE: 1" = 20'
DATE: 07-24-2018
SHEET NO. LS-3

McADAMS

FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION



190
TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 9., File #: [18-0701], Version: 1

Meeting Date: 9/5/2018

Receive the FY18 Annual Affordable Housing Report and the FY19 Affordable Housing Development and Preservation Projection and 5-Year Targets.

Staff:

Loryn Clark, Executive Director
Sarah Osmer Viñas, Assistant Director
Nate Broman-Fulks, Affordable Housing Manager

Department:

Housing and Community

Overview: Tonight, we present the Fiscal Year (FY) 18 Annual Affordable Housing Report, including results from the fourth quarter of the fiscal year. This report is designed to track and share:

- Our progress towards affordable housing targets,
- The status of projects funded with Town resources, and
- General housing conditions in the County.

We will also present projections for FY19 and proposed five-year targets for affordable housing development and preservation.



Recommendation(s):

That the Council receive the FY18 Affordable Housing Report and the proposed affordable housing development and preservation five-year targets.

Council Goals:

<input checked="" type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration



Attachments:

- Draft Staff Presentation
- FY18 Affordable Housing Annual Report
- Staff Report: FY19 Proposed Affordable Housing Targets
- Housing and Community FY18 Annual Report

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Sarah Osmer Viñas, Assistant Director, Housing and Community
Nate Broman-Fulks, Affordable Housing Manager, Housing and Community

RECOMMENDATION: That the Council receive the FY18 Affordable Housing Report and the proposed affordable housing development and preservation 5-year targets.

AFFORDABLE HOUSING

FY 18 ANNUAL REPORT FY 19 PROJECTIONS & 5- YEAR TARGETS

Council Business Meeting
September 5, 2018



DRAFT

Agenda

1. Sharing Q4 and Annual FY18 Results

2. FY19 Projections & 5-Year Targets



FY 18 Annual Affordable Housing Targets

80

Development



55

Preservation



DRAFT

FY 18 Q4 Units Developed and Preserved

3

Development



14

Preservation



DRAFT

FY 18 Total Units Developed and Preserved

99

Development



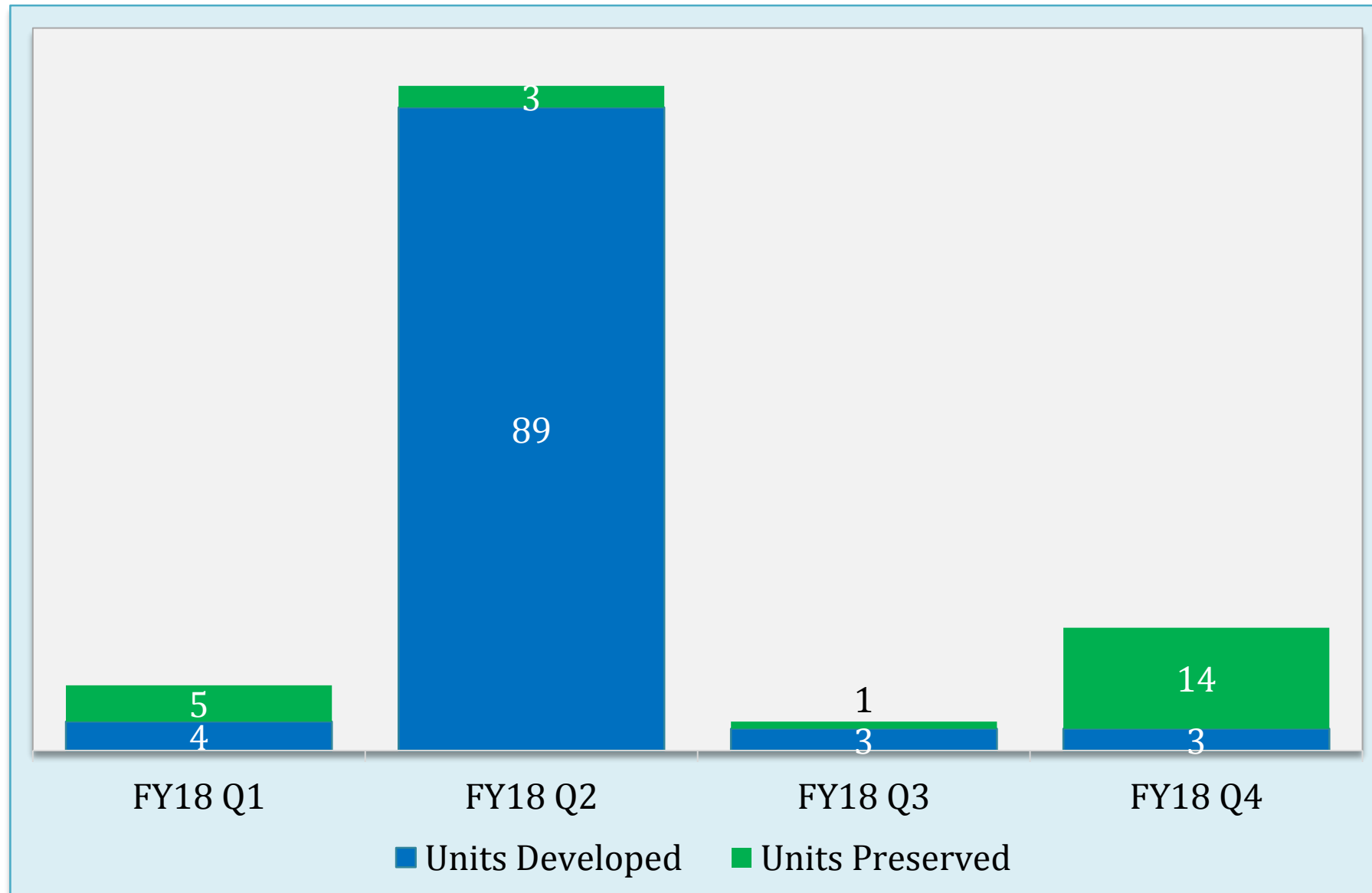
23

Preservation



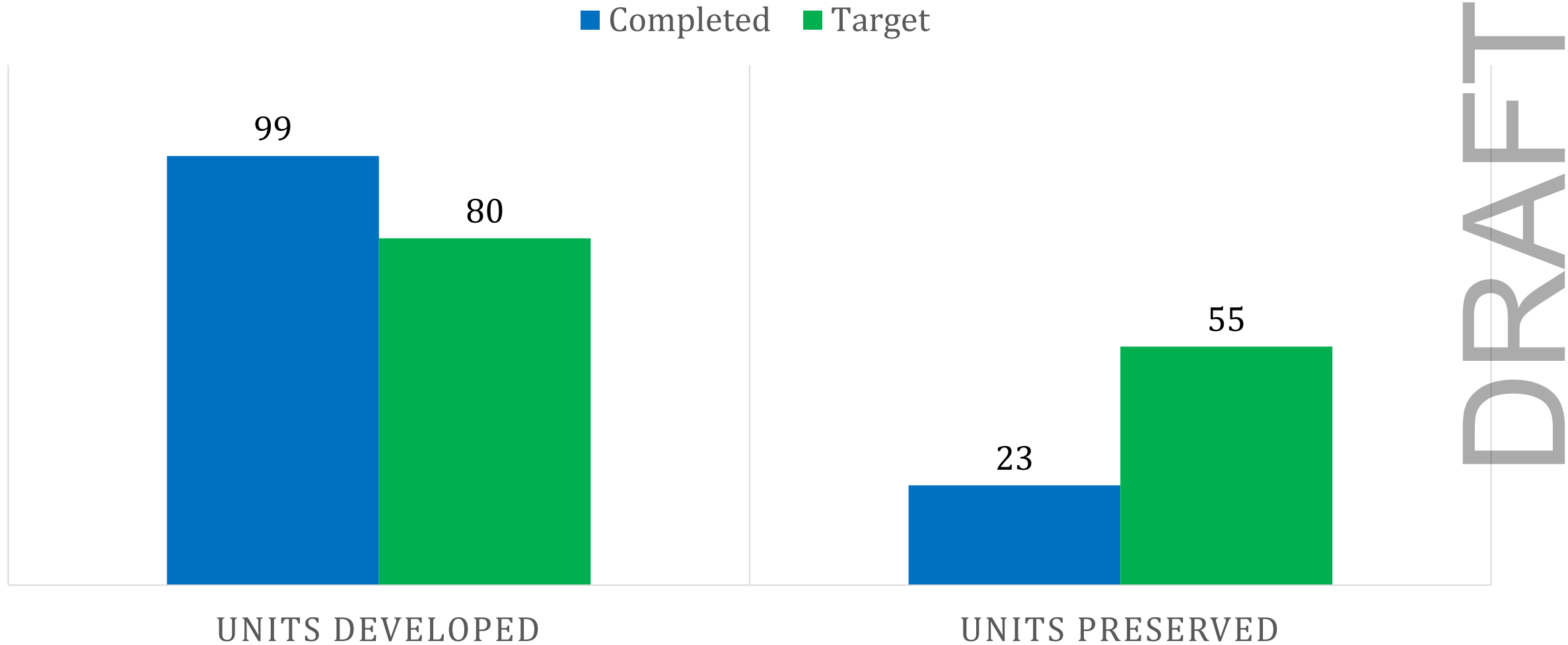
DRAFT

FY18 Units Developed and Preserved by Quarter

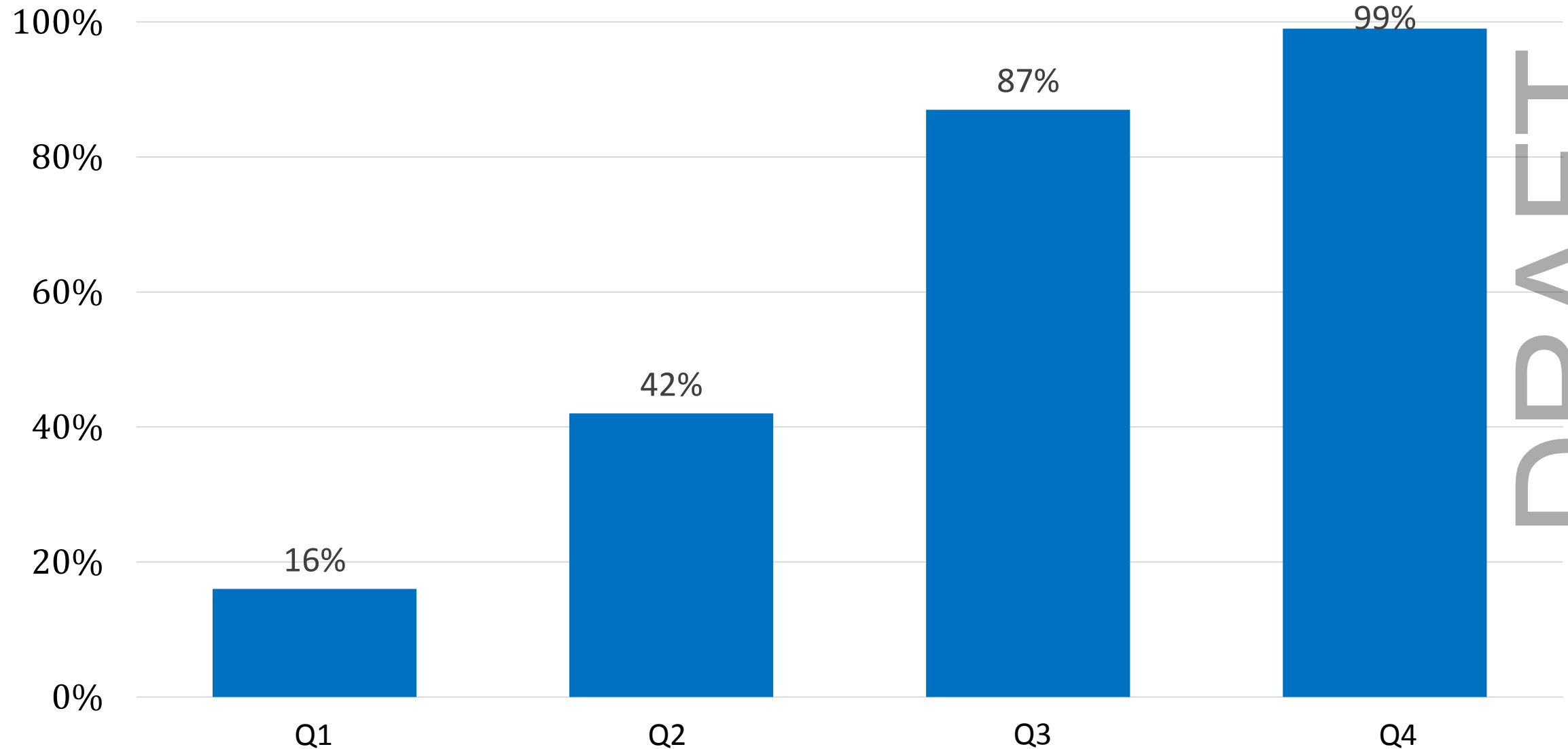


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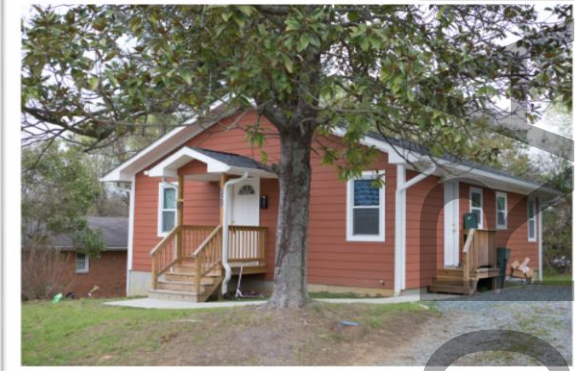
FY18 Units Completed vs. Annual Targets



FY18 Percentage of Project Funding Allocated by Quarter



2018 Project Highlights



FY18 Key Results

1. Exceeded development target - 99 units developed
2. Supported 23 preservation projects
3. 99% of funding allocated
4. Supported innovative and large projects
 - Tiny house duplex
 - Greenfield Tax Credit development
 - Northside Neighborhood Initiative



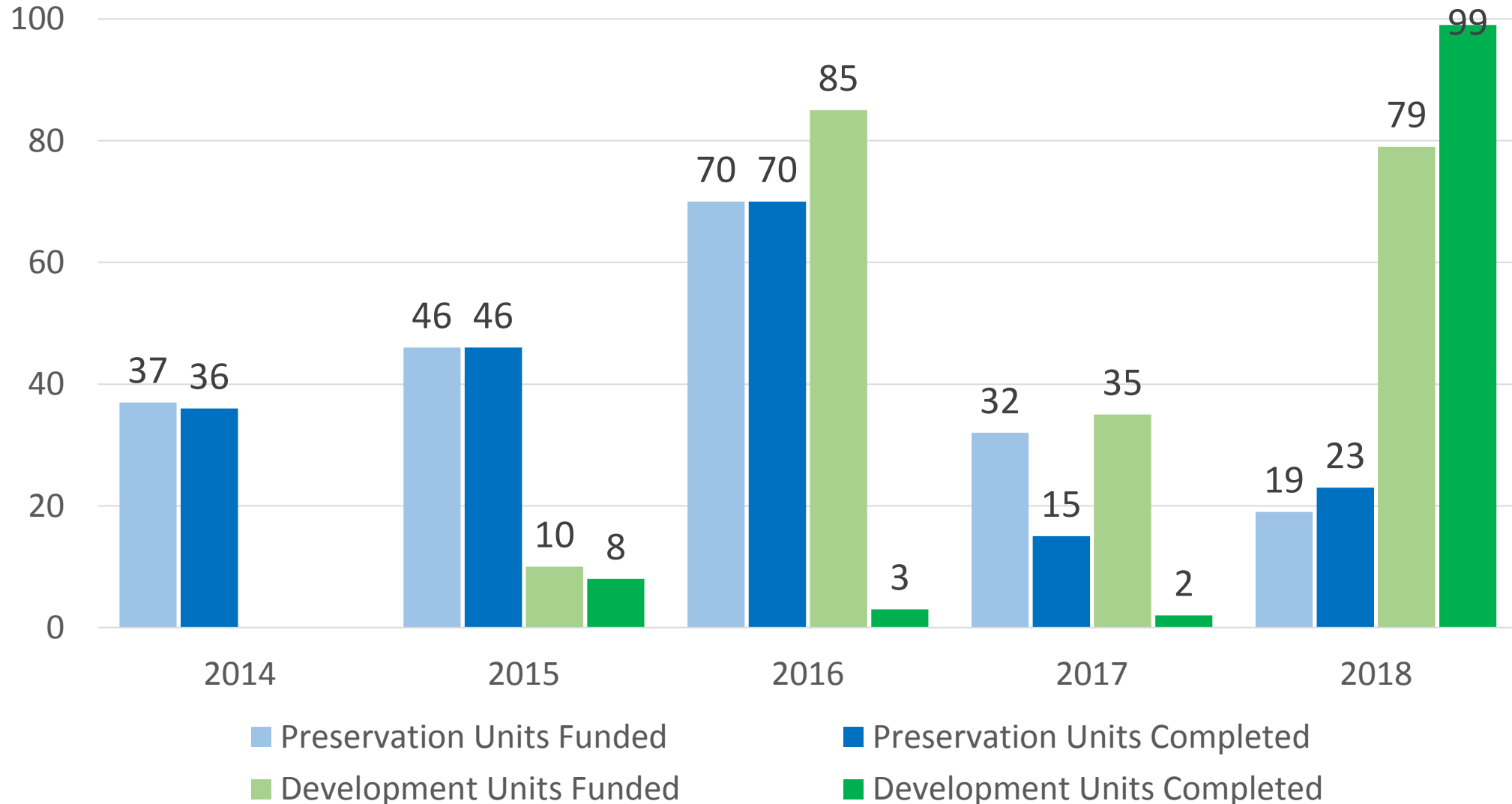
Affordable Housing Projections & Targets

- **Methodology**
 - Historical data – Town funding allocations and units supported
 - 5-Year projection data generated by Town and our affordable housing partners
- **New this year:**
 - Create Five-Year Targets
 - Shift from annual target to projection



Affordable Housing Generated with Town Resources

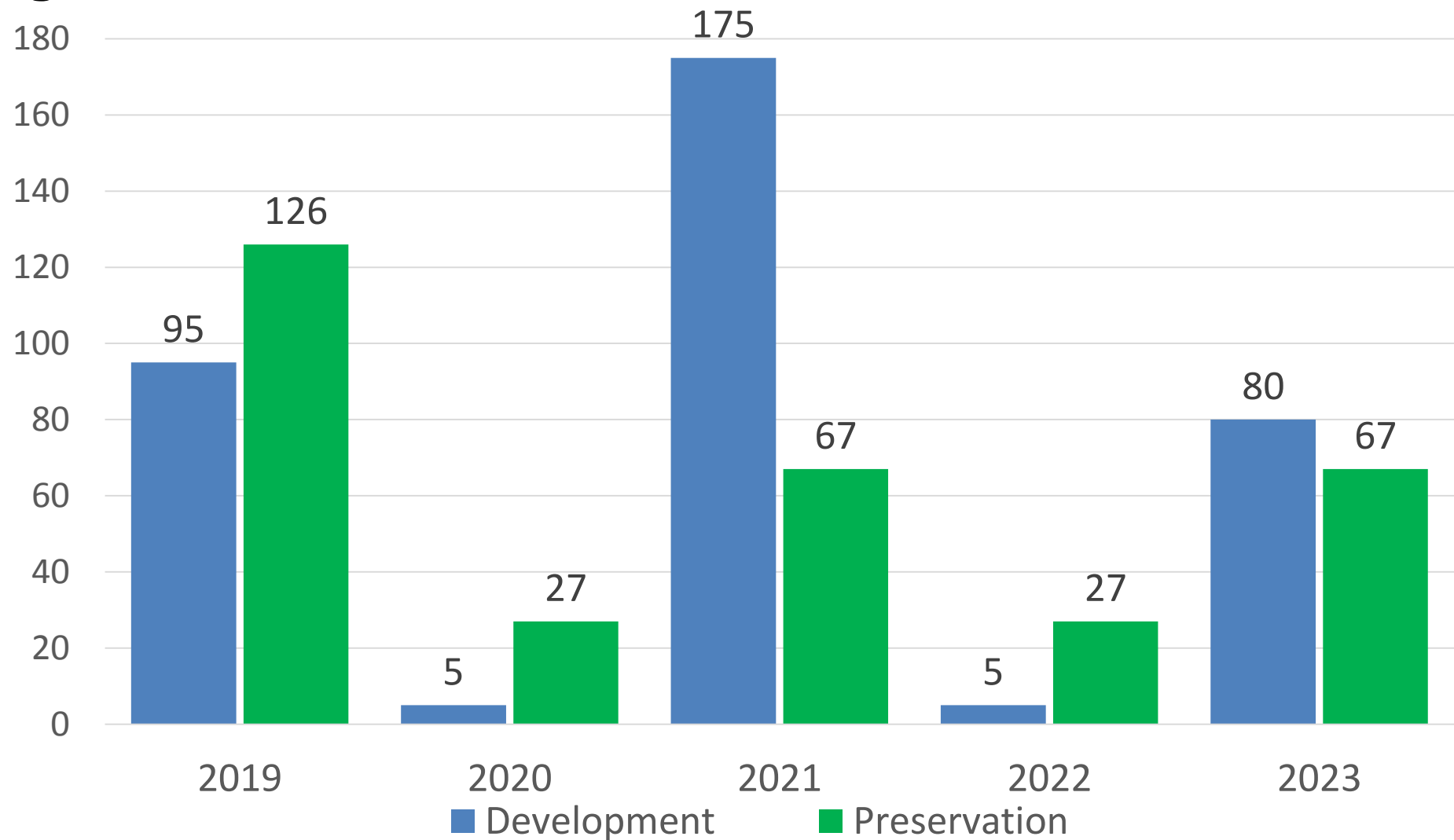
Looking Back...



DRAFT

Affordable Housing Five-Year Projections

Looking Forward...



DRAFT

FY 19 Projection

95

Development



125

Preservation



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Five Year Targets

400

Development



300

Preservation



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Resource Needs Over 5 Years

- **\$14,000,000 – \$18,000,000**

Resource needs based on:

- Current estimated subsidy needed by project
- Historical averages of subsidy needed

DRAFT

Resource Needs Over 5 Years

Estimated Subsidy Needs		
Provider	Project Type	Subsidy Need
Nonprofits	Rental	\$ 2,412,000
Town	Rental	\$ 7,736,000
Nonprofits	Ownership	\$ 5,178,000
Town	Ownership	\$ 3,036,000
Total		\$ 18,362,000

Estimated Funding Available		
Source		Amount
Bond	\$	10,000,000
Affordable Housing Development Reserve	\$	3,440,000
Affordable Housing Fund	\$	907,000
Community Development Block Grant	\$	1,013,100
HUD Capital Grant	\$	2,782,000
Total		\$ 18,142,100
Total without Bond		\$ 8,142,100

Next Steps

- Report Back Quarterly on Five Year Affordable Housing Targets for FY19-2023



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AFFORDABLE HOUSING

FY 18 ANNUAL REPORT FY 19 PROJECTIONS & 5- YEAR TARGETS

Council Business Meeting
September 5, 2018



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AFFORDABLE HOUSING ANNUAL REPORT

FISCAL YEAR 2018

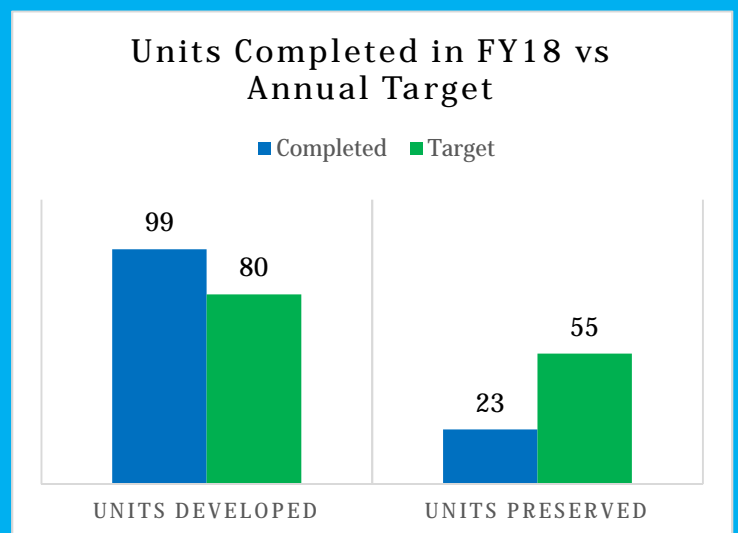
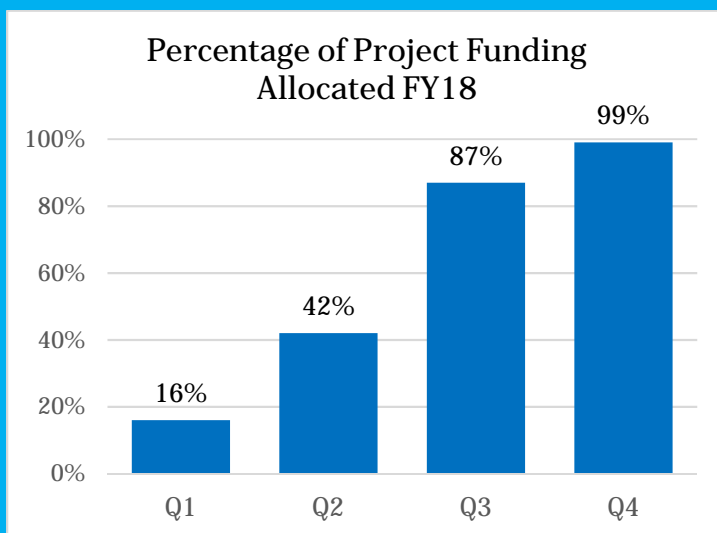
(JULY 1, 2017-JUNE 30, 2018)

OUR GOAL

To increase access to housing for individuals across a range of incomes, and to constantly strive for more equitable outcomes and opportunities for historically underserved populations.

2018 KEY RESULTS

- The Town exceeded our development target, supporting the development of 99 affordable units this fiscal year.
- The Town supported 23 affordable housing preservation projects in FY18.
- 99% of funding available for affordable housing projects was allocated this fiscal year.
- In collaboration with our partners, the Town supported the development of the first permanently affordable tiny home duplex, as well as the first Low Income Housing Tax Credit affordable housing development, Greenfield Place, in over a decade.
- Supported the Northside Neighborhood Initiative (NNI), a collaboration between UNC, Self Help, the Jackson Center and affordable housing providers. In FY18, eight properties were acquired and eight properties were sold by the NNI Land Bank to be preserved as permanently affordable housing.

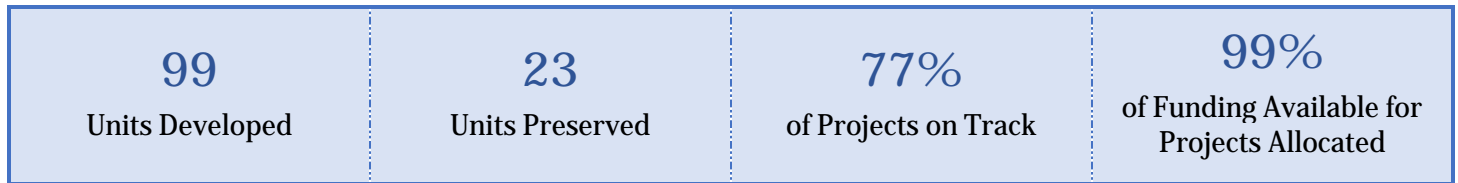


TO LEARN MORE: www.chapelhillaffordablehousing.org.

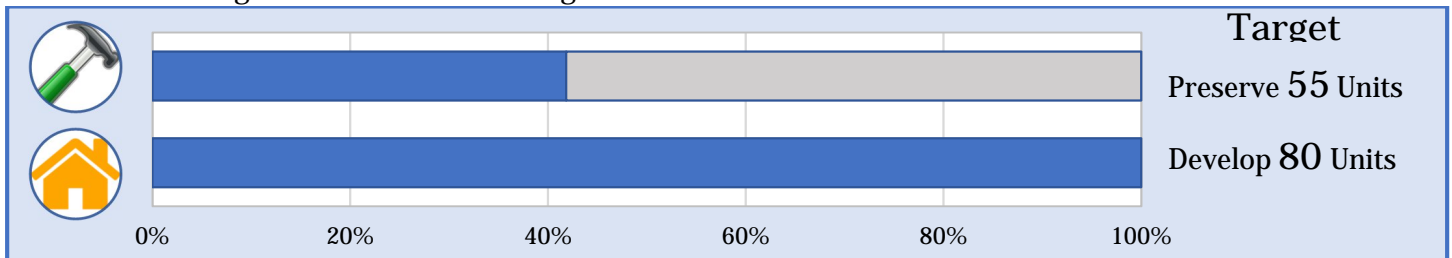
FY18 Quarter 4 Key Takeaways

- The Town supported the development of three units this quarter and 99 total for this fiscal year
- The Town supported 14 preservation projects this quarter, for a total of 23 for the fiscal year
- The Town allocated 99% of funding available for affordable housing projects this fiscal year

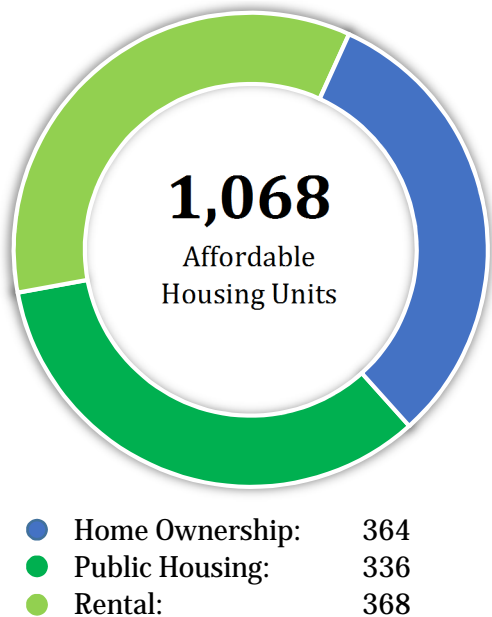
FY18 Town Performance-to-Date



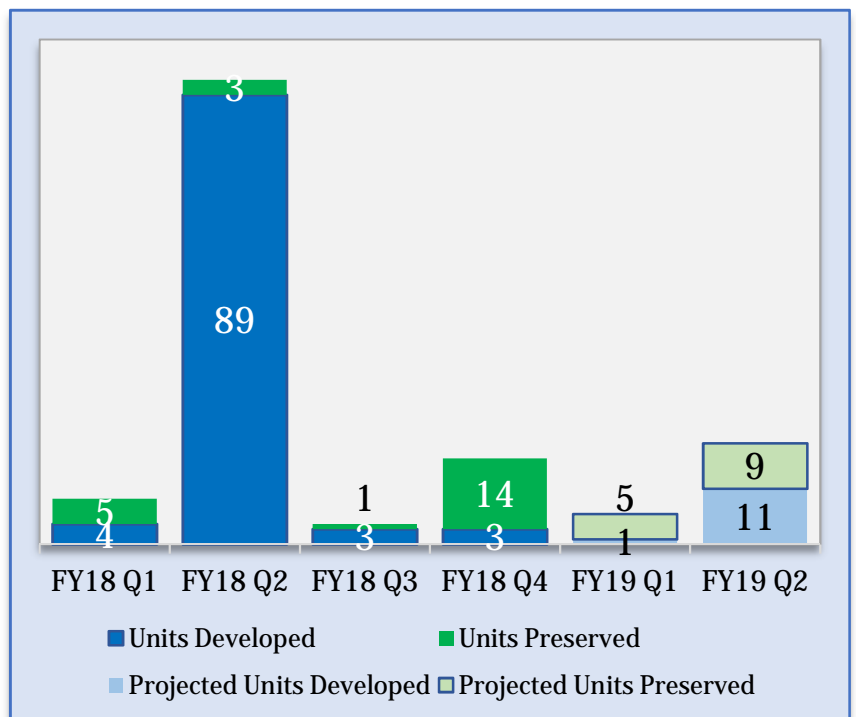
Year-to-Date Progress Towards FY18 Targets
































Number of Subsidized Units in Town








Actual and Projections by Quarter – Number of Units









FY18 Q4 Update | Affordable Housing Projects Underway Supported by Town Funds

Project Type	Provider	Project or Development Name	Number of Units	Projected Completion	Status
	Community Home Trust	Brooks Street Acquisition	1	FY18 Q4	✓
	Self-Help	Homeowner Rehabilitation	1	FY18 Q4	✓
	Town of Chapel Hill	Transitional Housing Conversion from Police Substation	1	FY18 Q4	✓
	Habitat for Humanity	Homeowner Rehabilitation	10	FY19 Q1	
	Community Home Trust	Homebuyer Subsidy	2	FY19 Q1	
	Community Home Trust	Courtyards Acquisition	2	FY19 Q1	
	Church of the Advocate	Pee Wee Homes Tiny Homes	3	FY19 Q2	
	Rebuilding Together	Homeowner Rehabilitation	4	FY19 Q2	
	Town of Chapel Hill	Transitional Housing Acquisition from CASA	4	FY19 Q2	
	Community Home Trust	Graham Street Acquisition	1	FY19 Q2	
	Town of Chapel Hill	Sykes Street Transitional Housing Acquisition	4	FY19 Q2	
	Habitat for Humanity	Northside Land Acquisition and Second Mortgage Assistance Project	7	FY19 Q2	
	Habitat for Humanity	Lindsay St & McMasters St Homes	2	FY19 Q2	
	DHIC	Greenfield Commons	69	FY19 Q3	
	Community Empowerment Fund	Rental and Utility Assistance Program	24	FY19 Q4	
	CASA	Merritt Mill Road Multi-Family Development	24	FY20 Q4	

FY18 Q4 Update | Housing & Community Work Plan Highlights

Major Projects in Affordable Housing	Notes	Status
Affordable Housing Quarterly Report	<ul style="list-style-type: none"> Staff shared quarterly reports with Council throughout the year 	
Annual Housing & Community Report	<ul style="list-style-type: none"> FY18 Report completed and will be shared with Council in September FY17 Report completed and shared with Council in work plan update at 9/6/17 Business Meeting 	
Expand Collaboration	<ul style="list-style-type: none"> Staff is conducting meetings with the school system to explore partnership opportunities Managers discussions ongoing FY19 Performance Agreement in place for Northside Neighborhood Initiative 	
2200 Homestead Road Development Project	<ul style="list-style-type: none"> HAB, CDC and Council reviewed Concept Plan in June 2018 and staff is conducting next steps based on feedback received, including identifying development partners, informing project costing, and defining income levels Public input sessions held on 2/15/18 and 3/1/18 Council designated site for mixed income affordable housing development at 9/6/17 Business Meeting 	
Public Housing Master Plan	<ul style="list-style-type: none"> Staff provided update to Council in June 2018 Staff coordinated the completion of structural assessment of units Staff is implementing outreach and communication plan 	

Analyze Other Town Properties for Affordable Housing Development	<ul style="list-style-type: none"> Council approved the prioritization of three Town properties in June 2018 Initiated the analysis of Town properties for affordable housing development through an interdepartmental team 	
Acquire Properties for Affordable Housing Development and Preservation	<ul style="list-style-type: none"> The Town is scheduled to acquire four CASA properties at the end of August 2018 Sykes Street quadraplex acquired on 4/13/18 to be brought into transitional housing inventory Former police substation in Northside renovated and brought into transitional housing inventory on 4/9/18 	
Create Investment Plan for Affordable Housing	<ul style="list-style-type: none"> Council approved resolution stating intent to proceed with \$10 million bond Council preliminary discussion of affordable housing bond priorities took place at 2/7/18 Work Session Framework for Investment Plan shared with Council at 10/4/17 Work Session 	
Develop Strategies to address Manufactured Home Park Redevelopment Threat	<ul style="list-style-type: none"> Council approved prioritizing three Town-owned sites for affordable housing development in June 2018 Staff continuing to collaborate with Orange County and neighboring jurisdictions on implementation of coordinated strategy Staff provided an update to Council on 3/22/18 Resident engagement and partnerships are ongoing 	
Explore creation of Employee Housing Incentives	<ul style="list-style-type: none"> Staff to return to Council with proposed pilot program in the fall of 2018 Presentation on staff's exploration was presented to Council on 2/21/18 	
Manage Affordable Housing Funding Programs - CDBG, HOME, AHDR, AHF	<ul style="list-style-type: none"> Staff developed grant reporting and tracking tool to assist staff in better tracking outcomes and performance of agencies the Town funds Staff brought consideration of CDBG and HOME funding recommendations to Council in June 2018 Staff brought consideration of CASA funding application to Council at the 5/2/18 meeting Council approved the Housing Advisory Board's recommendation for the second funding cycle of the Affordable Housing Development Reserve for FY18 at the 1/31/18 Business Meeting Submitted Annual Action Plan for FY17-18 and Consolidated Annual Performance and Evaluation Report 	
Develop Communications and Marketing Strategy	<ul style="list-style-type: none"> Staff launched and presented creation of the new affordable housing website to Council at 5/2/18 meeting Engaged Liaison firm to assist with communications and marketing strategy implementation 	

Notes & Citations

- The Median Home Value data source is Zillow.com.
- The Area Median Income data source is the 2015 American Community Survey and is representative of a family of four.
- The total budget for affordable housing strategies captures all Town expenditures for affordable housing. This includes the Affordable Housing Fund, CDBG Funds, and operating funds, among others.
- The metrics displaying percentage of Renters and Homeowners that pay more than 30% of their income on Housing was provided by the 2017 David Rosen & Associates Comprehensive Affordable Housing Analysis. The data source is HUD Comprehensive Housing Affordability Strategy (CHAS) data for 2008-2012; DRA. (p. 17, Table 5)
- The percentage of housing units that are affordable to households with income under 80% AMI includes market-created affordable units and units subsidized by the Town. The data source for this metric and corresponding chart is the County-wide data inventory created through the Orange County Affordable Housing Coalition.
- The data source for the percentage of subsidized housing units within ¼ mile of a bus stop is the Town of Chapel Hill GIS & Analytics Division. This metric measures the walkable distance between an affordable housing unit and a public bus stop.

- The graph displaying data on 'Percent of Households that are Cost-burdened by Income Level' was provided by the 2017 David Rosen & Associates Comprehensive Affordable Housing Analysis. The data source is the HUD Comprehensive Housing Affordability Strategy (CHAS) data for 2008-2012; DRA. (p. 16, Chart 3)
- The percent of budget allocated metric displays the percentage of the Town budget for affordable housing projects allocated as of the date of the quarterly report.
- The data source for the number of units subsidized by the Town is the County-wide data inventory created through the Orange County Affordable Housing Coalition.
- The data source for subsidized housing unit development projections is the County-wide data inventory created through the Orange County Affordable Housing Coalition.
- The legend for the green/yellow/red light project tracker is the following:
 - ✓: The project has been completed
 - Green: The project is on track to meet its original project scope and schedule
 - Yellow: The project has been delayed in meeting its original project scope and schedule
 - Red: The project has stalled and will not meet its original project scope and schedule



Fiscal Year (FY) 2019 Affordable Housing Projection & Five-Year Targets August 2018

The purpose of this report is to share staff FY19 projections for affordable housing development and preservation, as well as propose five-year targets for FY19-23. This report includes background about how the projections and targets were developed, the methodology used, and proposed five-year affordable housing targets.

BACKGROUND

Key Terms



Preservation: activities that maintain affordability of existing housing stock

- Homebuyer subsidy for existing units
- Housing rehabilitation
- Rental and utility assistance



Development: activities that create new affordable housing units

- Construction of new rental or homeownership units
- Purchase/rehabilitation of an existing market rate unit and conversion to affordable unit

Methodology

Consistent with the methodology used to develop the Town's FY18 Affordable Housing Targets, staff analyzed both historical and future projection data for development and preservation.

Our data source for historic data is the Town's affordable housing grants and loans database, which tracks all projects funded by the Town over the last ten years. For future projections, we drew from the Orange County Affordable Housing Inventory, which was updated most recently in August 2018.

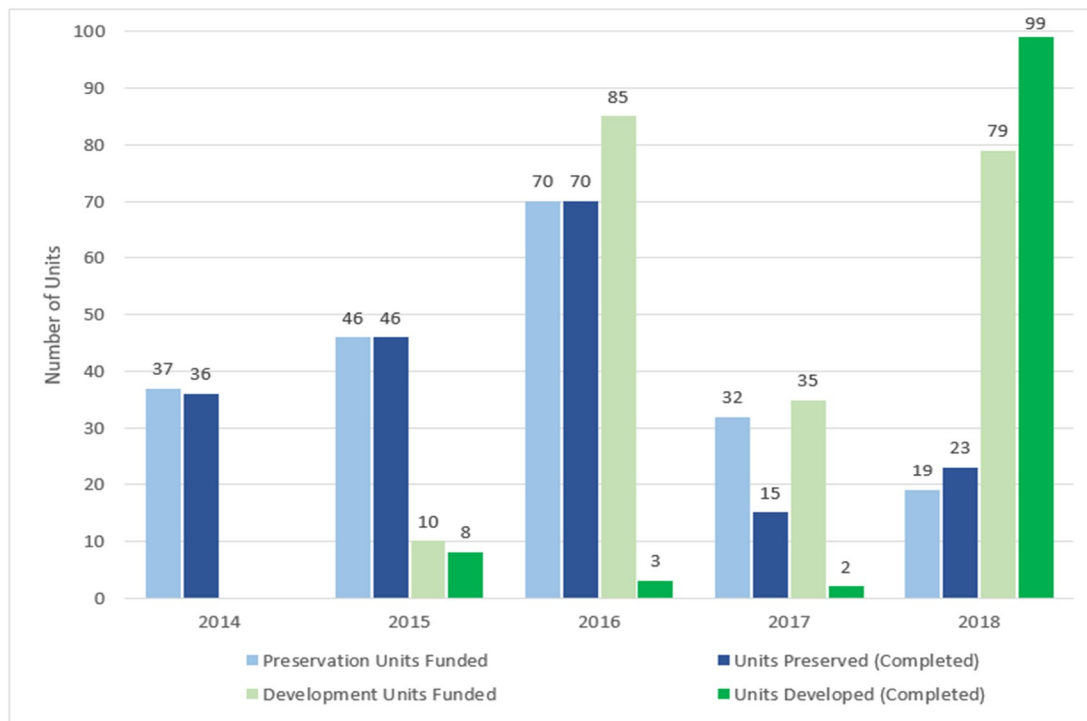
ANALYSIS

Historical Data

- Over the past five years, the Town has provided funding support to 209 development units and 411 preservation units. Over the same period, 112 development units and 367 preservation units have been completed.

- The number of development units funded and completed has increased dramatically, in large part due to the creation of the Affordable Housing Development Reserve, which has given the Town increased capacity to stimulate additional affordable housing development.
- As the graph illustrates, preservation counts have fluctuated over the past five years. This has largely been dependent on the number of public housing preservation projects completed. We do anticipate the number of preservation units completed each year will begin to increase closer to FY15 levels with the implementation of the Public Housing Master Plan.

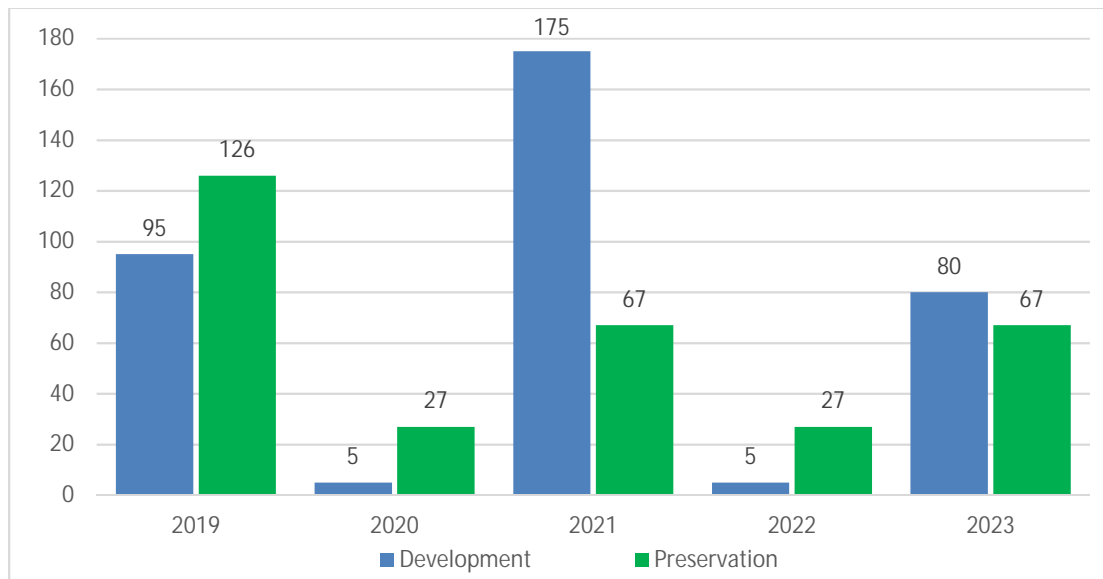
Affordable Housing Generated through Town Resources (2014 – Present)



Future Projections

- Based on our analysis of the data illustrated in the graph below, staff anticipate the rise in development projects witnessed in recent years to continue over the next five years.
- Based on the raw unit counts of projects in the known pipeline, we project that over the next five years 360 units will be developed and 308 units preserved in Chapel Hill. Sixty-percent of these total units are Town projects.
- It can also be reasonably assumed that if the Affordable Housing Bond Referendum is passed in November, there will be an opportunity for new projects that are not currently in our projections to be realized.

Projections over the Next Five Years



FY19 PROJECTION & FIVE-YEAR TARGETS

Based on our analysis of historical and projection data, staff propose shifting from an annual target to an annual projection. Additionally, we propose establishing a Five-Year Development and Preservation Target to work towards the Town's long-term affordable housing goals. Establishing multi-year targets also accounts for the annual variation in unit counts and longer timelines associated with affordable housing development and preservation projects.

Fiscal Year 2019 Projection

- 95 Units Developed
- 125 Units Preserved

Five-Year Affordable Housing Targets (FY19-23)

- 400 Units Developed
- 300 Units Preserved

Resource Needs

We estimate the Town subsidy needed to achieve the 5-year affordable housing targets to be:

- \$14,000,000 – \$18,000,000

The resource need estimates are based on current estimates for subsidy by project and historical averages of subsidy needed. If the affordable housing bond is approved in November, we anticipate having sufficient funding available to achieve our targets. If the bond is not approved, we will need to adjust our five-year target based on available resources.



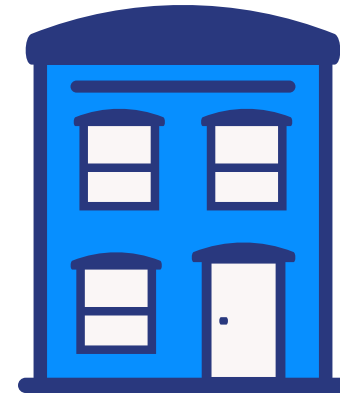
HOUSING AND COMMUNITY

Fiscal Year 2017-18 Annual Report

AFFORDABLE HOUSING SUCCESSES

**\$6.23
Million**

Town budget for
affordable housing
strategies.



Supported the
development of
Greenfield, a 169 unit
housing project.

99

New affordable
housing units
developed with
Town support.

43%

New admissions to
public housing
homeless at time of
admission.

23

Affordable homes
preserved with Town
support.



Created dynamic
dashboard tool to
share housing data
with the community.

13

Low-income
households provided
with rental and utility
assistance.

OUR MISSION:
Creating Partnership
Catalyzing Affordable Housing
Building Community



99%

Funding available for
projects allocated for
affordable housing.

OUR VISION:
A vibrant and inclusive community where
all residents have access to affordable
housing and opportunities to thrive.



HOUSING AND COMMUNITY

Fiscal Year 2017-18 Annual Report

COMMUNITY CONNECTIONS SUCCESSES

32K

Residents served by programs funded through our Human Services Program.

45

Low-income youth employed through our Summer Youth Employment Program.

88%

Human Services agencies who are satisfied with our funding process.



Established DACA Renewal Assistance Program for Chapel Hill residents.

\$419K

Town budget for Human Services Program.



Facilitated provision of Spanish interpretation at Council meeting for 1st time in Town history.



Together with UNC, created new housing guide for students living off campus.

15

Countries represented in community meetings with refugee and immigrant residents.

3K

Readership of our online newsletter for UNC students living off campus.

41

Community engagement meetings held with residents and stakeholder groups.



221 TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 10., File #: [18-0702], Version: 1

Meeting Date: 9/5/2018

Consider Authorization to Submit a Rental Assistance Demonstration (RAD) Application to the U.S. Department of Housing and Urban Development for the Redevelopment of Public Housing.

Staff:

Loryn B. Clark, Executive Director
Faith M. Thompson, Public Housing Director

Department:

Housing and Community

Overview: The U.S. Department of Housing and Urban Development (HUD) created the [Rental Assistance Demonstration \(RAD\) program <https://www.hud.gov/RAD>](https://www.hud.gov/RAD) to allow public housing agencies the ability to leverage public and private debt and equity to reinvest in revitalizing the nation's public housing stock.

The Town identified RAD as a primary source of financing for the redevelopment of our public housing communities. On [November 1, 2017 <http://chapelhill.granicus.com/MediaPlayer.php?view_id=21&clip_id=3338&meta_id=179033>](http://chapelhill.granicus.com/MediaPlayer.php?view_id=21&clip_id=3338&meta_id=179033), we presented analysis conducted by the Town's consultant, David Paul Rosen and Associates (DRA) that recommended the Town pursue RAD financing for the redevelopment of the Craig Gomains and Trinity Court public housing neighborhoods. That evening, the Council authorized the Town Manager to submit a Rental Assistance Demonstration (RAD) Program non-binding letter of interest to the U.S. Department of Housing and Urban Development (HUD). In response to our letter of interest, HUD has invited the Town to submit an application for funding by September 4, 2018.



Recommendation(s):

That the Council adopt the resolution to approve submission of a Rental Assistance Demonstration application to the U.S. Department of Housing and Urban Development for the redevelopment of the Trinity Court and Craig Gomains public housing communities.

Background

- The resolution adopted by the Council on November 1, 2017 authorized the Town Manager to:
 - explore the feasibility of a HUD Section 18 application for Craig Gomains;
 - submit a Rental Assistance Demonstration program non-binding letter of interest to the U.S. Department of Housing and Urban Development;
 - explore the financial feasibility of a 9% tax credit development application; and
 - issue a Request for Qualifications/Request for Proposals to identify a development partner for a 9% tax credit application.

We have completed these tasks and continue to work with David Rosen & Associates (DRA) to analyze the development potential and financing structure for our public housing sites.

Key Issues

- The application was due September 4. Due to the Council's summer recess, HUD allowed the Town to submit a letter signed by the Mayor to accompany the application based on the Council's November 1, 2017 action, and ask that the Council formally authorize submittal of an application at tonight's meeting.

- If the Council approves submission of an application, there would be additional opportunity for the Council to consider whether to accept funding and pursue this redevelopment project.
- Increasing the number of permanently affordable rental units is a goal identified in both the Town's [Affordable Housing Strategy](http://www.townofchapelhill.org/town-hall/departments-services/housing-and-community/affordable-housing-policy/affordable-housing-strategy) <<http://www.townofchapelhill.org/town-hall/departments-services/housing-and-community/affordable-housing-policy/affordable-housing-strategy>> and [Affordable Rental Housing Strategy](http://www.townofchapelhill.org/home/showdocument?id=22547) <<http://www.townofchapelhill.org/home/showdocument?id=22547>>.

Preliminary Plan

- We have been working with a consultant, David Paul Rosen and Associates (DRA), to evaluate the development potential of all of our public housing sites. Our preliminary plan is to submit a RAD application that proposes comprehensive renovations and redevelopment in two-phased approach.
- Phase I: Rehabilitation of the Trinity Court neighborhood.
 - The Trinity Court units have been vacant for several months.
 - Our preliminary plan is to use RAD funds and also apply for Low Income Housing Tax Credits to renovate the existing 40 units.
 - Renovation of the existing units would not require a rezoning.
 - As we learn more about the condition of the units, we may return to the Council to discuss alternative approaches increasing the density or demolishing the units and selling the land to invest in other public housing properties.
- Phase II: Redevelopment of Craig Gomains community.
 - Craig Gomains was identified as the site with the most potential for redevelopment.
 - The preliminary analysis indicates that the Town could potentially develop up to 120 units on this site (currently 40 units).
 - At minimum, the new development would replace the 40 units of public housing
 - The remaining units would serve households ranging from 50% to 100% of the AMI.
 - Our preliminary plan is to use RAD funds and also apply for Low Income Housing Tax Credits to redevelop the site.
 - Based on our preliminary thinking, redevelopment of this site would require a special use permit, and depending on the proposed density, possibly a rezoning.

Resident Outreach

HUD requires notification and consultation with residents in advance of, and throughout the conversion process.

- Prior to submission of an application the Town must:
 - conduct at least two meetings with residents of projects proposed for initial application;
 - Provide opportunity for residents of proposed projects to comment; and
 - Address resident comments in writing.

To date, we have held three meetings: two with residents of the Craig Gomains neighborhood and one with all residents of Chapel Hill Public Housing invited.

- A total of 67 residents attended these meetings.
 - Staff shared several key messages:
 - No one is required to move now;
 - All present residents can return to the renovated units without any rescreening; and
 - Rent will continue to be calculated at no more than 30% of household income.
- We are working on a relocation plan to implement upon receipt of the RAD conversion. We would ensure that the Relocation Plan adheres to the provision set forth in the Uniform Relocation Assistance and Real Property Acquisition Policies Act of 1970.
- The relocation plan will ensure that displacement of residents will not differentiate the treatment of households based on race, nationality, color, religion, national origin, sex, sexual orientation,

marital status, familial status, disability or any other basis protected by the federal Fair Housing Amendments Act, the Americans with Disabilities Act, Title VI of the Civil Rights Act of 1964, Title VII of the Civil Rights Act of 1964, Title VIII of the Civil Rights Act of 1968, as well as any otherwise arbitrary, or unlawful discrimination.

- The Town will make every effort to minimize the impact of relocation on residents in the affected community.
- Each resident head of household will be receive an individual interview with Town staff to determine housing needs, special service and any other items applicable to their relocation.







Next Steps

If the Council adopts the resolution, we would:

- Continue our work with David Rosen and Associates (DRA) to select a development partner;
- Continue development plans on the best use of the Trinity Court property;
- Engage residents for ideas about renovations and what services they need;
 - Seek resident assistance in the scope of work for the development team;
 - Continue "all-site" meetings with residents about the process; and
- Return to the Council if the Town's application is approved to provide more detailed plans for the renovation and redevelopment of our sites, and determine if the Council wishes to accept RAD financing.

Fiscal Impact/Resources: There is not a fiscal impact associated with approving the resolution. If HUD approves the application, we would return to Council to determine if the funds should be accepted.

Council Goals:

<input checked="" type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration



Attachments:

- Resolution
- Draft Staff Presentation

A RESOLUTION APPROVING THE SUBMISSION OF THE TOWN OF CHAPEL HILL PUBLIC HOUSING RENTAL ASSISTANCE DEMONSTRATION (RAD) APPLICATION (2018-09-05/R-7)

WHEREAS, the Town of Chapel Hill has a special interest in helping to create affordable, safe housing options in Chapel Hill; and

WHEREAS, HUD introduced the Rental Assistance Demonstration (RAD) program to address the lack of consistent, sustainable funding to address repair and replacement needs of public housing properties; and

WHEREAS, the Town has been invited to submit an application for consideration under the RAD program; and

WHEREAS, the RAD program would afford the Town the opportunity to develop more affordable housing units.

NOW, THEREFORE, BE IT RESOLVED that the Council of the Town of Chapel Hill authorizes the Town Manager to submit an application to the U.S. Department of Housing and Urban Development for RAD financing for the renovation of the Trinity Court public housing neighborhood and redevelopment of the Craig Gomains public housing neighborhood.

BE IT FURTHER RESOLVED that the Town Manager is hereby designated as the authorized representative of the Town to act in connection with submittal of further documentation required for the RAD application.

This the 5th day of September, 2018.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Faith M. Thompson, Public Housing Director

RECOMMENDATION: That the Council adopt the resolution to approve submission of a Rental Assistance Demonstration application to the U.S. Department of Housing and Urban Development for the redevelopment of the Trinity Court and Craig Gomains public housing communities.

Chapel Hill Public Housing Rental Assistance Demonstration (RAD) Update

FAITH M. THOMPSON, PUBLIC HOUSING DIRECTOR

SEPTEMBER 5, 2018

DRAFT

Overview

- Background
- Timeline
- Staff recommendations
- Next Steps
- Requested action

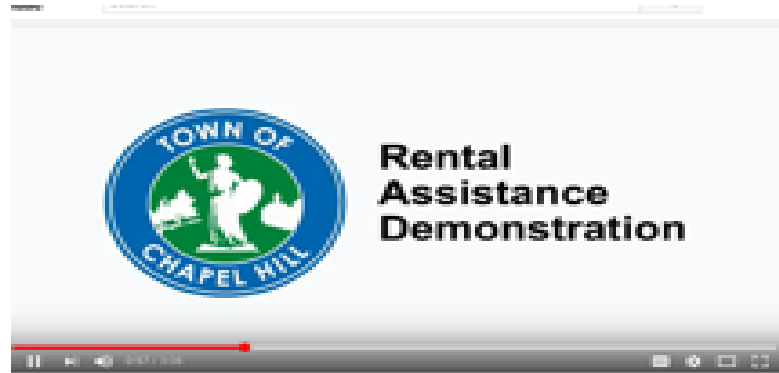


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Background

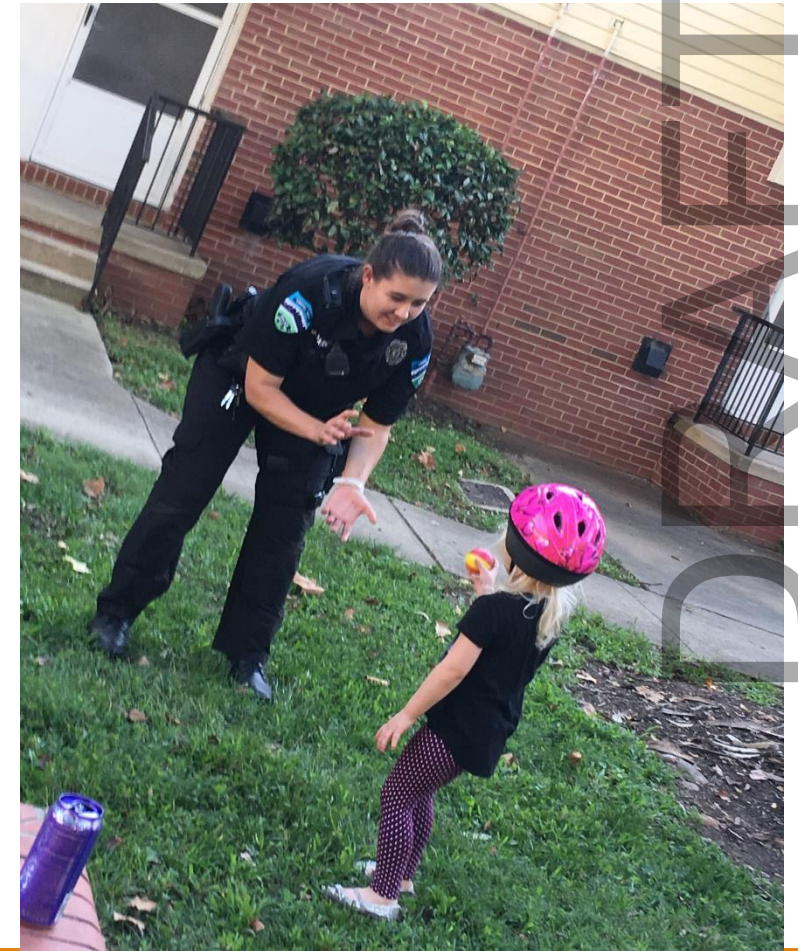


DAVID PAUL ROSEN & ASSOCIATES
DEVELOPMENT, FINANCE AND POLICY ADVISORS

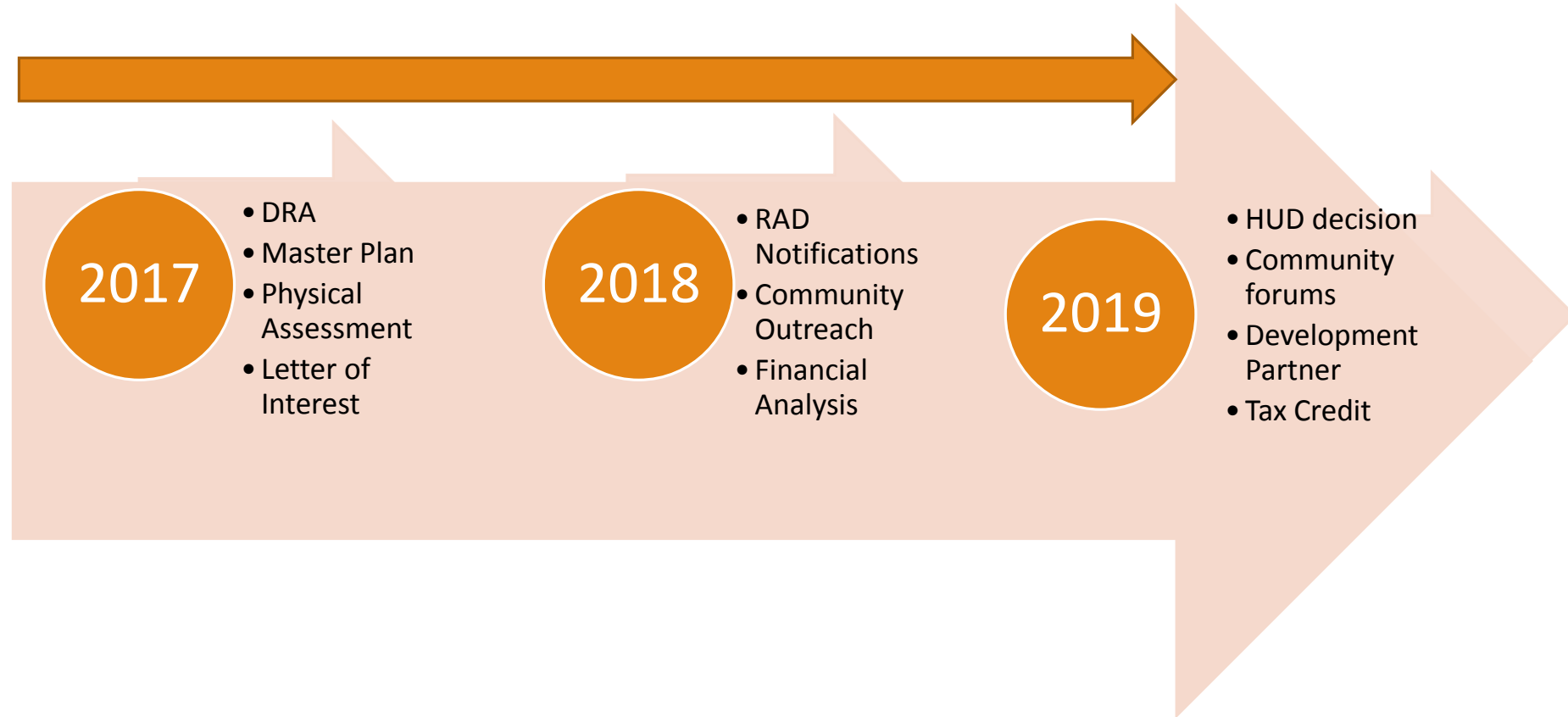


FACT SHEETS FOR PUBLIC HOUSING RESIDENTS

This series of fact sheets is intended to help residents of public housing learn about RAD. All fact sheets are posted on RAD's website at www.hud.gov/rad, under the 'Residents' tab. This fact sheet provides a summary of the program with a focus on elements that affect residents.



Timeline



DRAFT

Staff Recommendations

CONDUCT THE RENOVATIONS / CONVERSION IN 2 PHASES

Phase I: 2019 – 2021
Trinity Court

Phase II: 2020 – 2023
Craig Gomains

APPLY FOR LOW INCOME HOUSING TAX CREDITS FOR BOTH PHASES



DRAFT

Next Steps

- ❑ Submit the formal application
- ❑ Review Public Housing Master Plan
- ❑ Community Engagement activities
- ❑ Continue to develop a relocation plan for Craig Gomains
(2020 – 2023)

DRAFT

Requested Action

Adopt Resolution 2018-09-05/R-7

Authorize the Town Manager to submit an application to the U.S. Department of Housing and Urban Development for Rental Assistance Demonstration (RAD) financing for the renovation of the Trinity Court public housing neighborhood and redevelopment of the Craig Gomains public housing neighborhood.

DRAFT



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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 11., File #: [18-0703], Version: 1

Meeting Date: 9/5/2018

Presentation: University of North Carolina at Chapel Hill Semi-Annual Main Campus Development Report.

Staff:

Ben Hitchings, Director
Judy Johnson, Operations Manager
Aaron Frank, Senior Planner

Department:

Planning and Development Services

Overview: Tonight, the University staff will present the second of two semi-annual reports. On June 15, 2005, the Council adopted a resolution requesting that representatives from the University of North Carolina at Chapel Hill participate in semi-annual meetings to provide the Council with updates on University development activity.



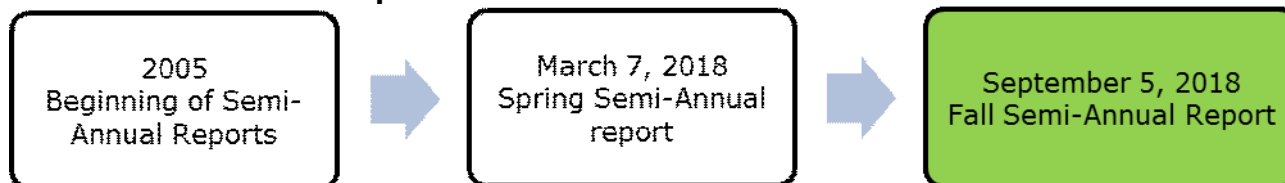
Recommendation(s):

That the Council receive this report.

Decision Points:

- University staff will also present its upcoming effort to update the UNC Masterplan.
- UNC staff will present a Carolina North Annual Report in October of this year.

Where is this item in its process?



Council Goals:

<input type="checkbox"/>		Create a Place for Everyone	<input type="checkbox"/>		Develop Good Places, New Spaces
<input type="checkbox"/>		Support Community Prosperity	<input type="checkbox"/>		Nurture Our Community
<input type="checkbox"/>		Facilitate Getting Around	<input checked="" type="checkbox"/>		Grow Town and Gown Collaboration



Attachments:

- Draft UNC Presentation
- Status of Capital Improvement Projects - UNC at Chapel Hill Facilities Services
- University of North Carolina at Chapel Hill September 2018 Semi-Annual Report

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Evan Yassky, Executive Director, Facilities Planning and Design, Assistant University Architect

RECOMMENDATION: That the Council receive this report.

UNIVERSITY MASTER PLAN

Presentation to Town of Chapel Hill Council
September 2018



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

AYERS
SAINT
GROSS





235

AGENDA

1 Introduction

2 Big Ideas

3 Draft Master Plan

4 Discussion

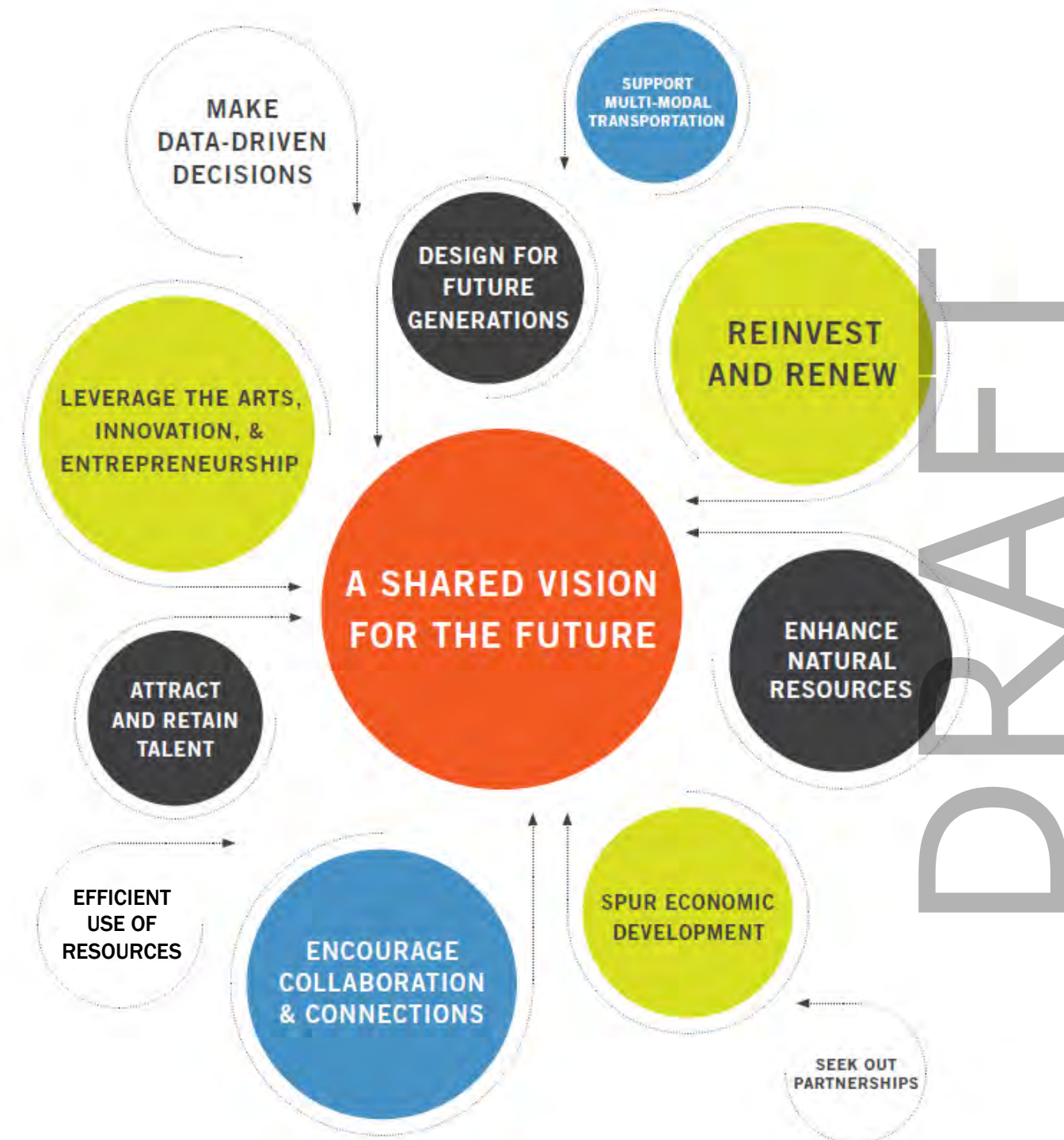
DRAFT

INTRODUCTION

DRAFT

What is a master plan?

- Aligns physical campus with the university's Strategic Framework, *Blueprint for Next*
- Comprehensive and long-range (10-20 year) vision for campus
- Advances near-term priority projects within a broader context
- Identifies opportunities for many areas of the university to work towards shared objectives
- Flexible framework to support decision-making
- Foundation for entitlement processes with the Town of Chapel Hill



What defines this master plan?

Alignment with the Strategic Framework.

Pillars

Of the public, for the public.
Innovation made fundamental.

Strategic Initiatives

The New Graduate
The Great Convergence
Modernizing Student Support
Carolina Whole Health
Culture of Innovation
Arts Everywhere

Ideas that are operational and aspirational.

Operational

- Achieve greater efficiency and higher utilization
- Transform how Carolina works

Aspirational

- Bold ideas
- Leading edge strategies
- Innovative implementation partnerships

DRAFT

BIG IDEAS



Welcome
Open to all.



Connections
Link it together.



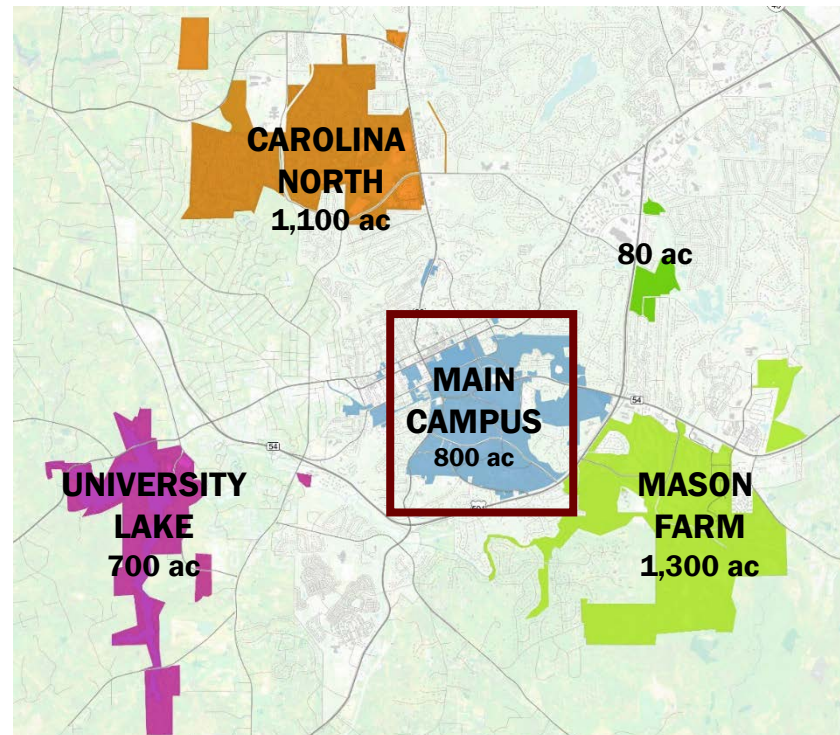
Hubs
Mix it up.

239
Enhance existing assets and create new environments contributing to a vibrant campus.



The Campus Today

- **Defined by natural features**
 - 3,980 total acres - Not all land is developable
 - Access constrained
- **Mature campus core**
 - 21.3 million GSF built over more than two centuries
 - 20.0 million GSF (94%) on the 800-acre Main Campus
 - 7.1 million GSF (33%) built since 2001
- **Renewal needed**
 - 6.4 million GSF (30%) in buildings rated severe or poor condition



CAMPUS SYSTEMS

The Big Ideas inform physical planning strategies across transportation, open space, and infrastructure systems.



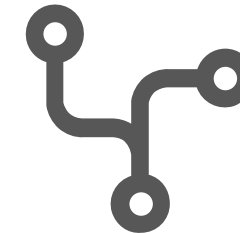
Transportation

- Prioritize open space and the pedestrian environment.
- Promote alternate modes – transit, bike.
- Meet critical parking and access needs and think ahead to new technologies.



Open Space

- The campus landscape is central to the success of the campus.
- Each project should enhance the open space and connectivity networks.
- Landscapes should reflect native regional ecologies.



Infrastructure

- Locate buildings to minimize utility conflicts.
- Plan for future utility distribution and reduce energy consumption.
- Incorporate stormwater management techniques into every project involving campus landscapes.

DRAFT

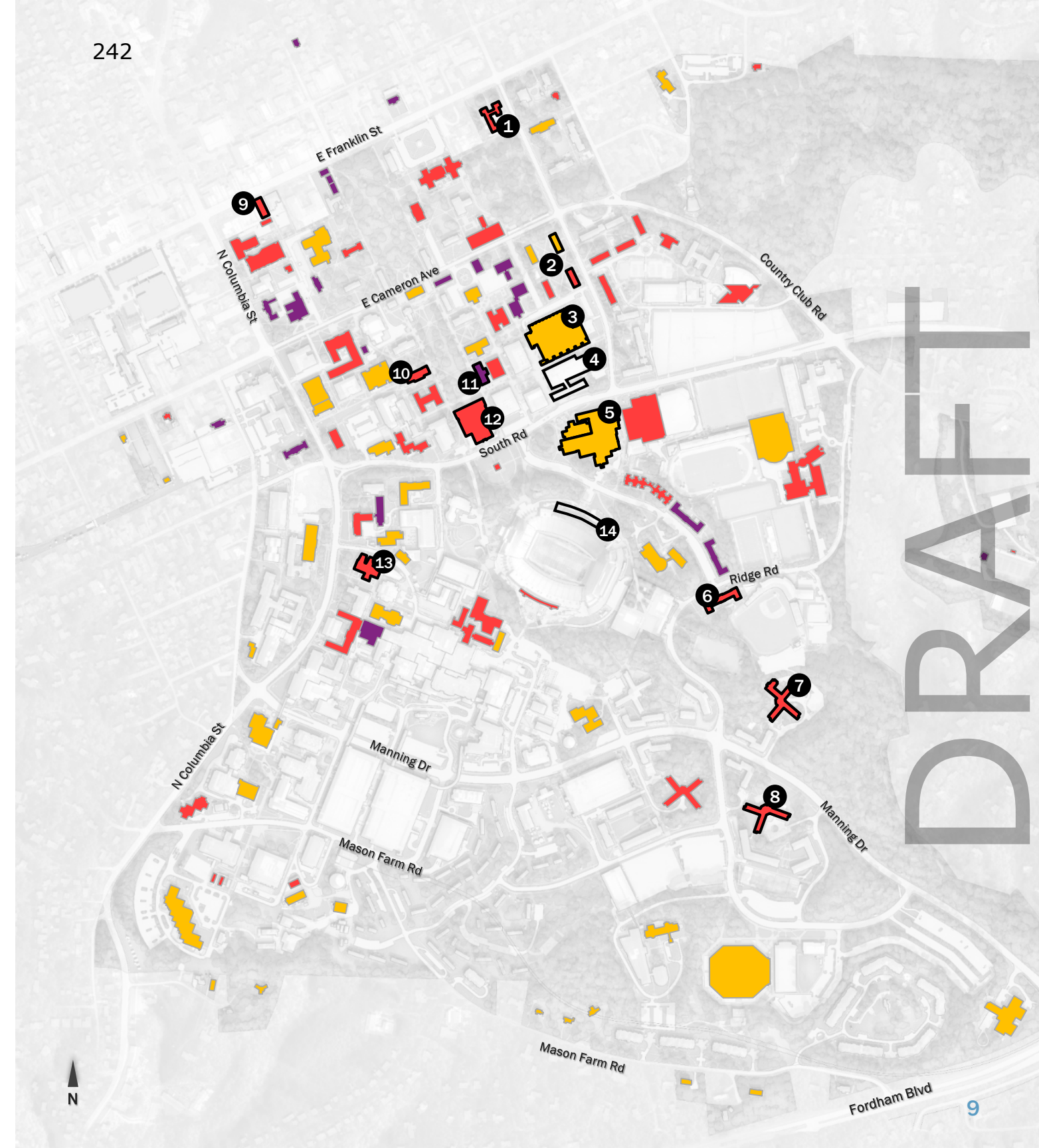
Opportunities for Change

- 6.4 million GSF (30% of campus space) in buildings rated worst, severe, or poor condition
- Major proposed renovations with programmatic changes:

1. Spencer
2. Upper Quad
3. Davis Library
4. Graham Student Union
5. Student Recreation Center
6. Avery
7. Ehringhaus
8. Hinton James
9. 134 E. Franklin
10. Gardner
11. Bingham
12. Wilson
13. Carrington
14. Kenan North

- WORST CONDITION (FCI > .7)
- SEVERE (FCI .3 - .7)
- POOR (FCI .1-.3)
- MAJOR RENOVATION WITH PROGRAMMATIC CHANGE PROPOSED

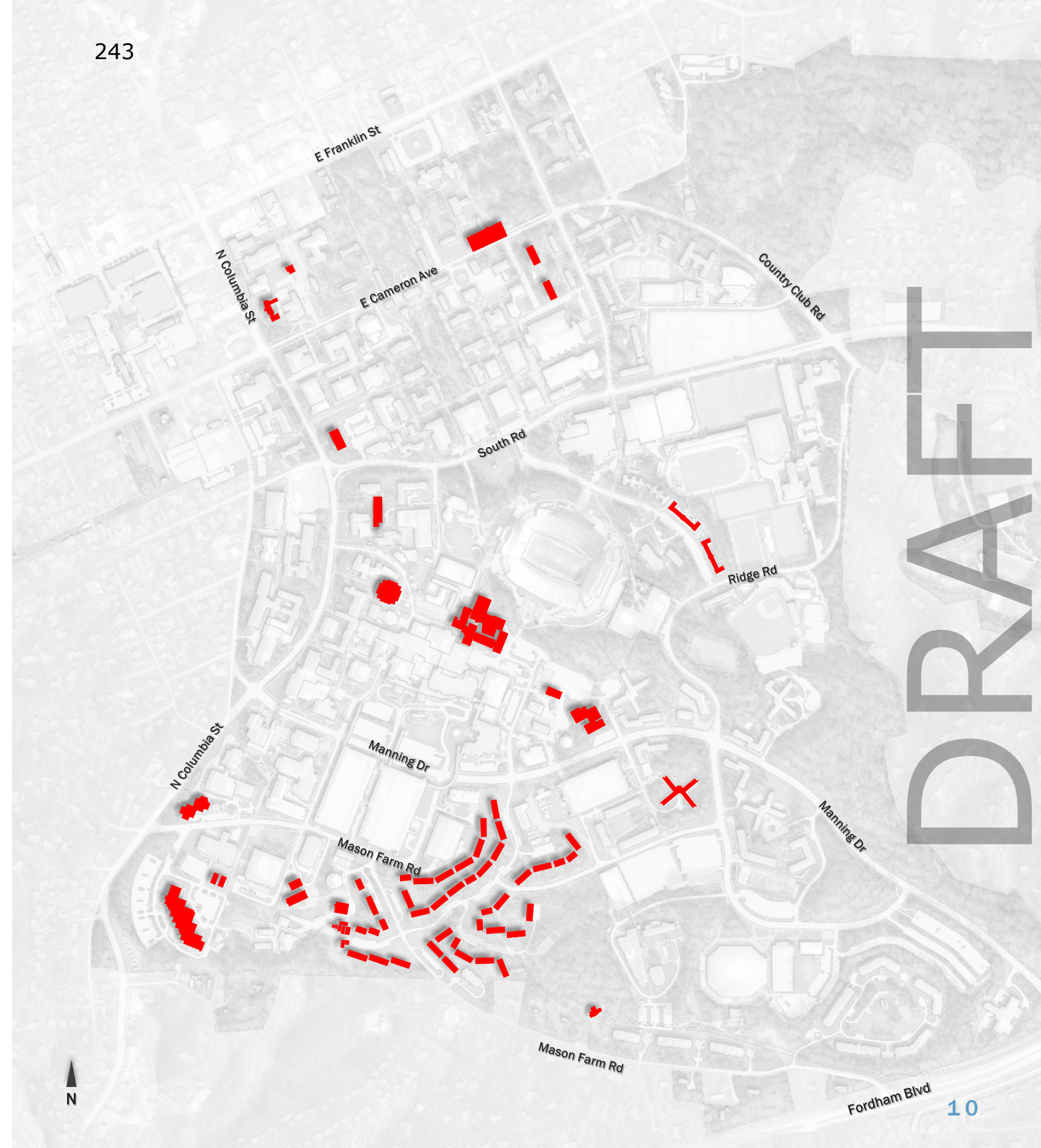
Facilities Condition Index (FCI) measures the ratio of deferred maintenance needs to building replacement cost. Data Provided by Engineering Information Services, May 2018.



Opportunities for Change

- The condition and/or potential redevelopment capacity of several buildings makes them candidates for redevelopment over the long-term.
- Total proposed demolition: 1.2 million GSF
(Including 200,000 GSF for the planned demolition of Odum Village)

■ POTENTIAL DEMOLITION



BIG IDEAS

DRAFT



Welcome

Open to all.

Strategic Framework

Pillars

Of the public, for the public.
Innovation made fundamental.

Strategic Initiatives

The New Graduate
The Great Convergence
Modernizing Student Support
Carolina Whole Health
Culture of Innovation
Arts Everywhere

DRAFT

Welcome

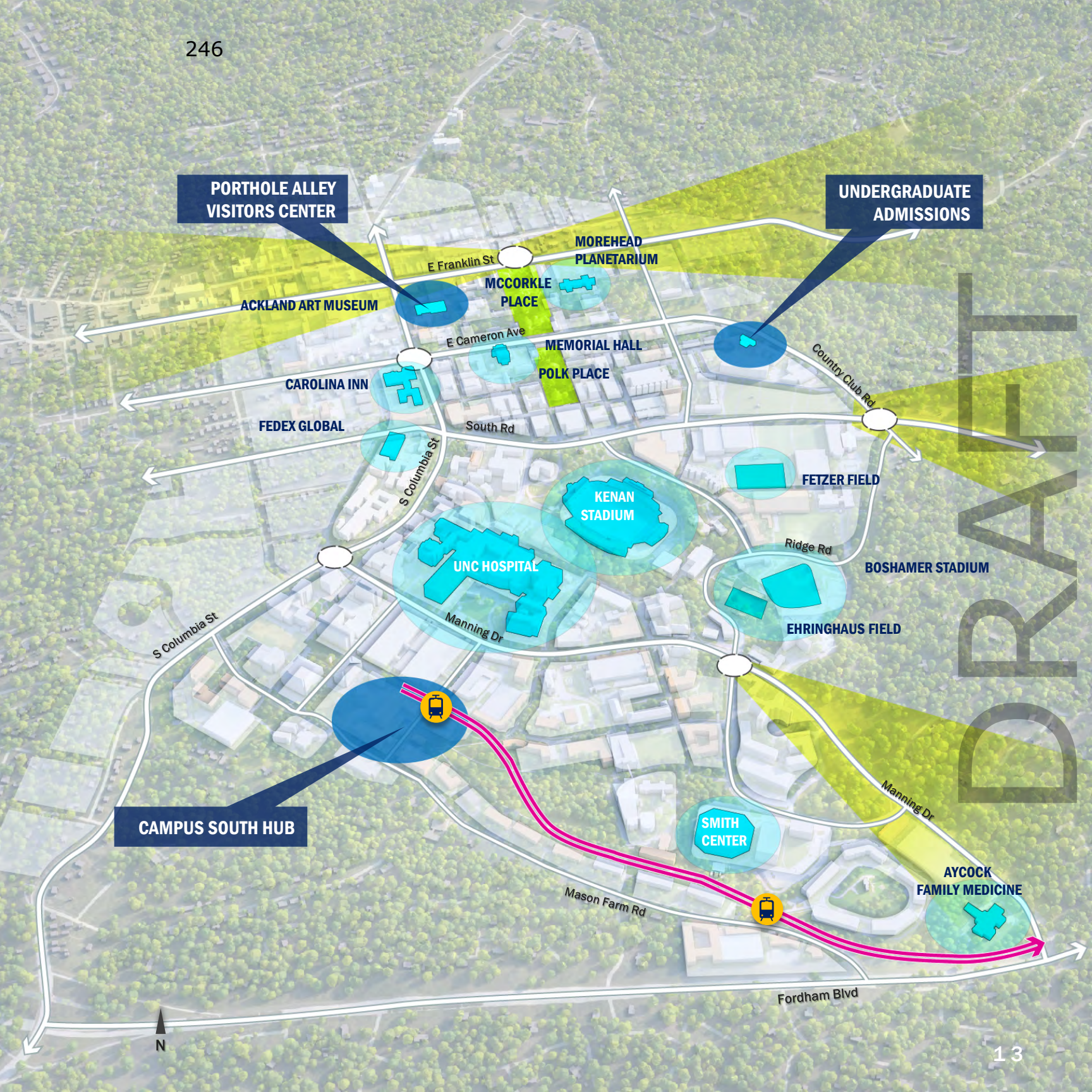
Open to all.

UNC Chapel Hill is of and for the public. Its community encompasses students, faculty, staff, patients, partners, spectators, and guests.

How can the campus be more welcoming?

- Visitor arrival and circulation
- Improved visitor touchpoints
- Design - openness and transparency across campus

- MAJOR VEHICULAR CIRCULATION
- ARRIVAL POINTS
- PLANNED LRT LINE
- PLANNED LRT STATION
- EXISTING VISITOR TOUCHPOINT
- NEW/ENHANCED VISITOR TOUCHPOINT



Welcome

Open to all.

UNC Chapel Hill is of and for the public. Its community encompasses students, faculty, staff, patients, partners, spectators, and guests.

Public interface

- Convenient multi-modal access for visitors, especially light rail
- Cluster outward-facing and independent functions to create critical mass

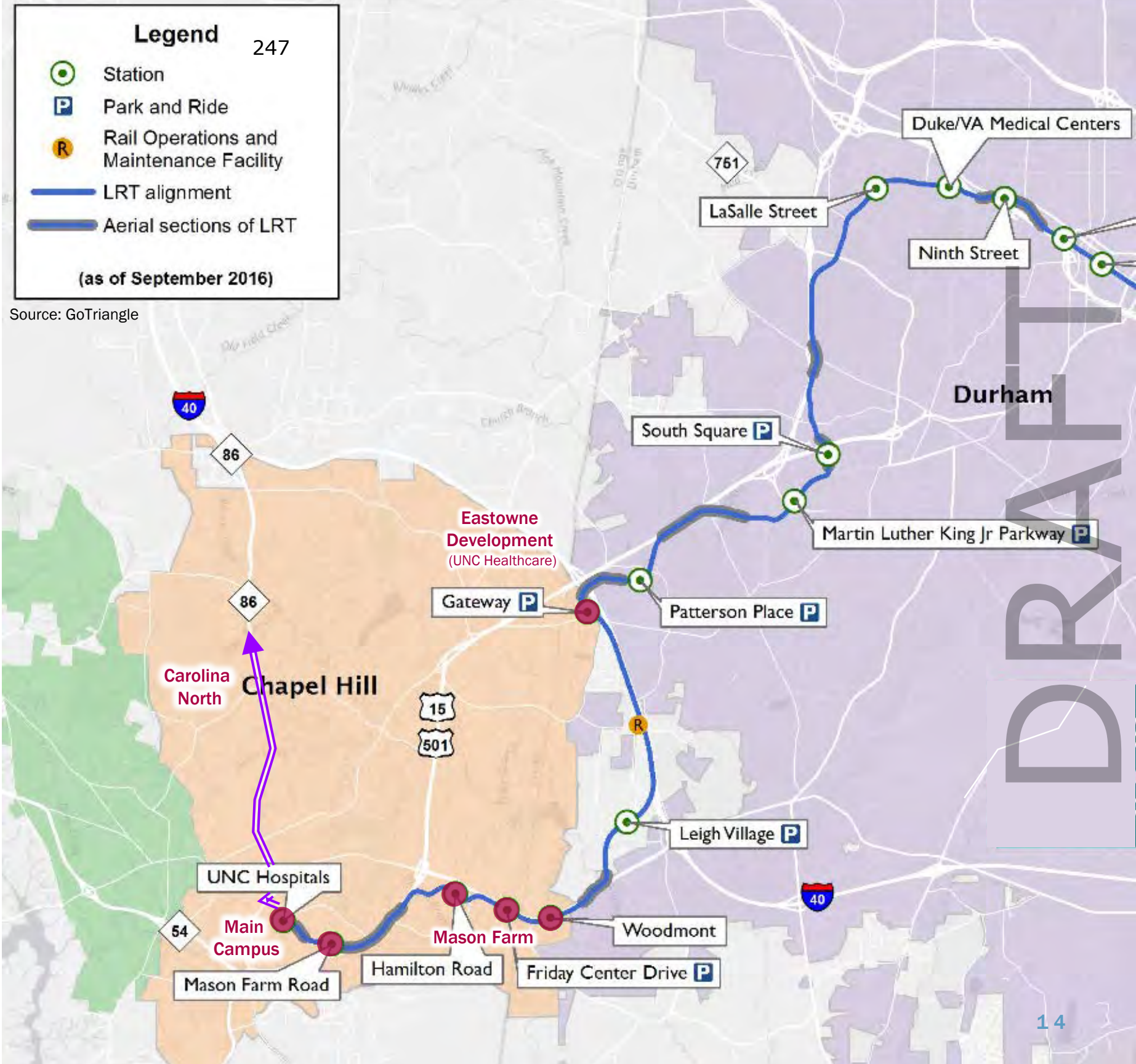
The New Graduate

- Differing engagements with the university and the campus

Consistently Carolina

- Buildings, landscapes, and character
- Branding

PROPOSED BRT CONNECTION
LRT STOP ADJACENT TO UNC PROPERTY





Connections

Link it together.

Strategic Framework

Pillars

Of the public, for the public.
Innovation made fundamental.

Strategic Initiatives

The New Graduate
The Great Convergence
Modernizing Student Support
Carolina Whole Health
Culture of Innovation
Arts Everywhere

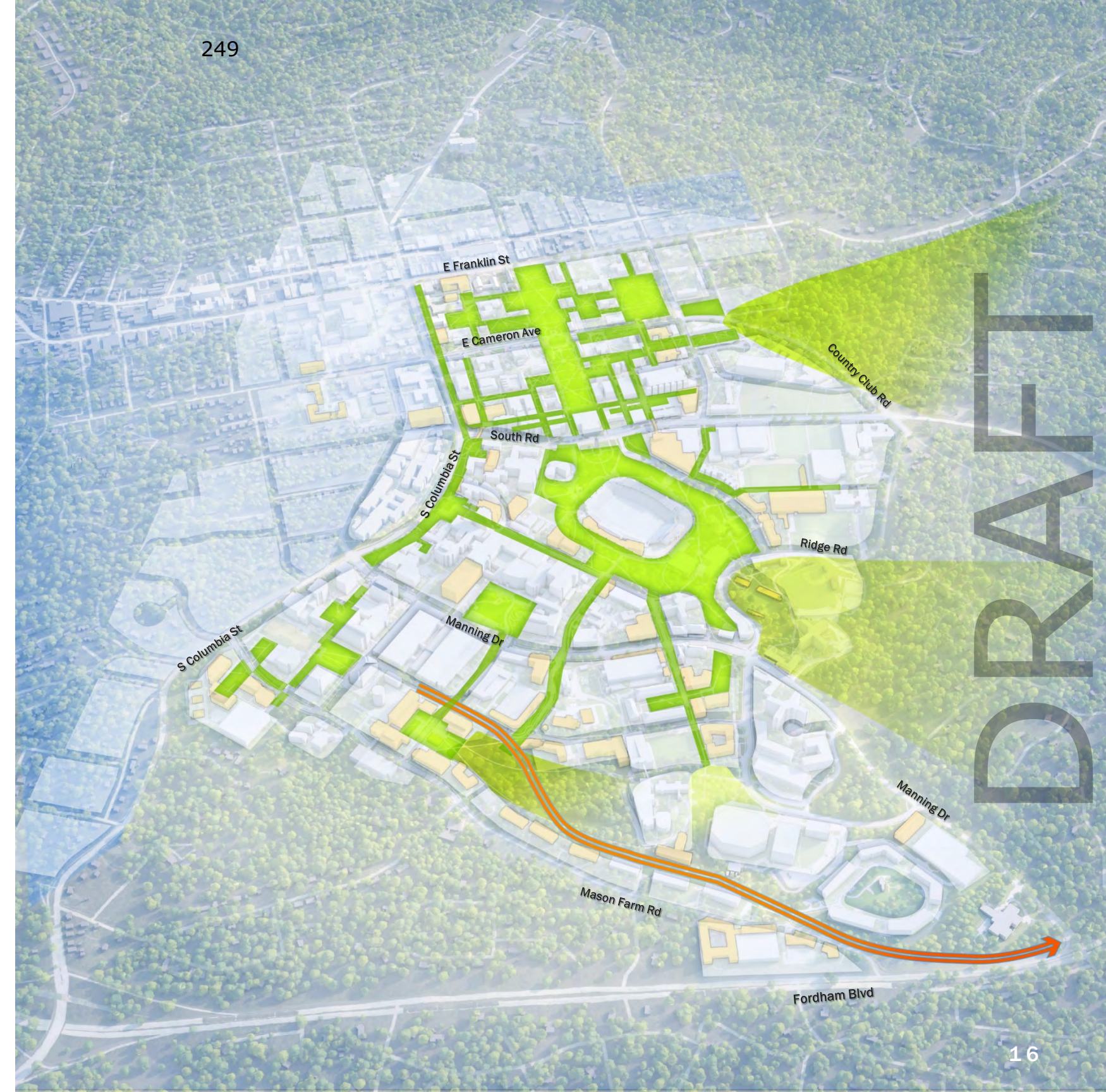
DRAFT

Connections

Link it together.

The built environment is a powerful tool to connect people to place and to one another.

- MAJOR PEDESTRIAN CONNECTION
- MAJOR THEMATIC CORRIDOR
- ACTIVITY NODE
- PROPOSED PEDESTRIAN BRIDGE



Connections

Link it together.

The network of campus connections links the western research corridor to the eastern student experience corridor.

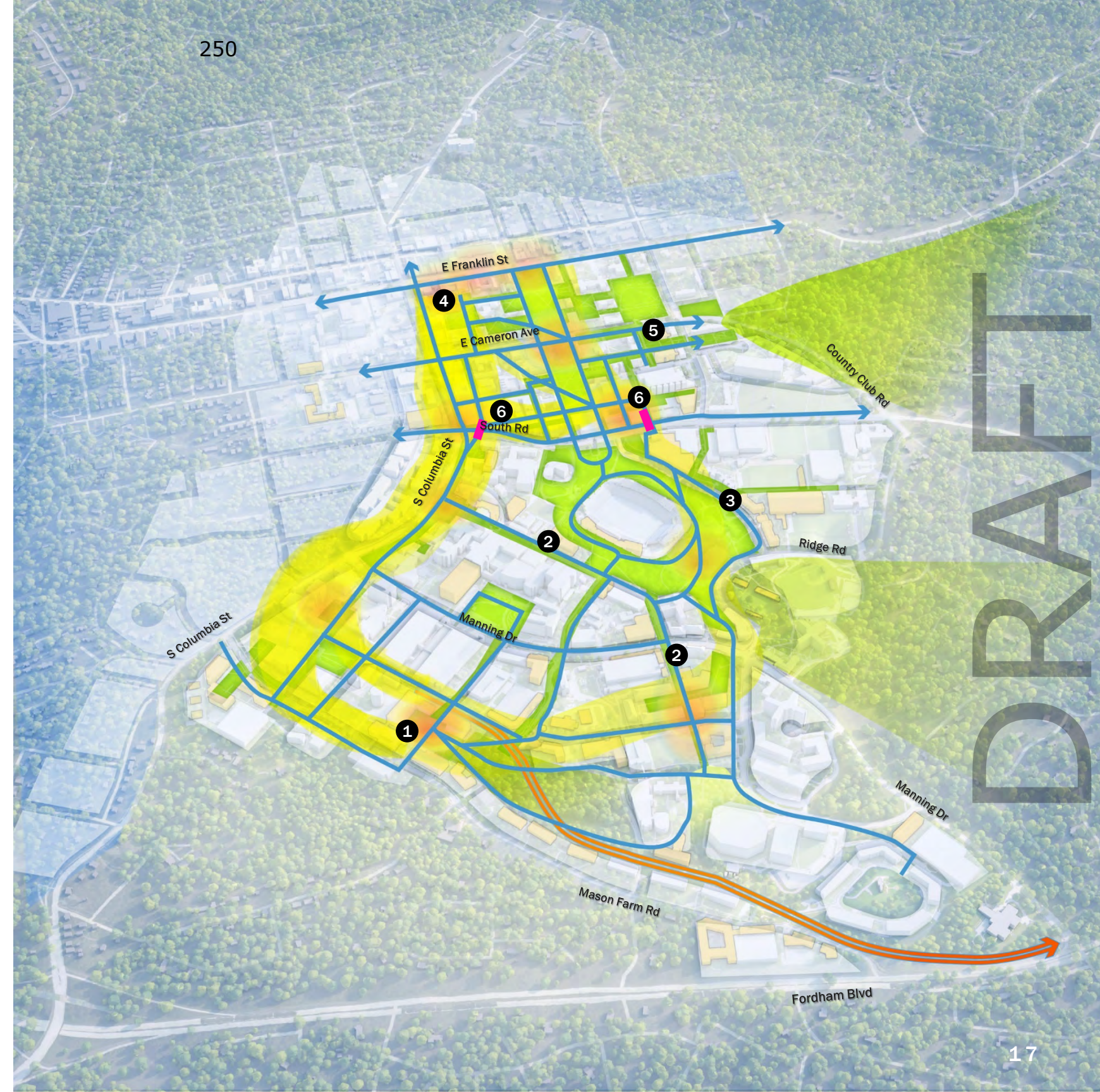
What makes a strong connection?

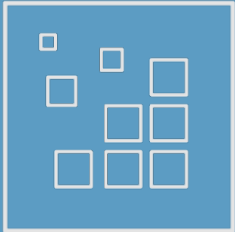
- Accessibility
- Visual connection
- Comfort
- Safety
- Lighting
- Materials
- Planting
- Art
- Signage and wayfinding

Connectivity enhancements

1. Creating a grid in South Campus
2. Paul Hardin Drive Extension
3. Stadium Drive
4. Porthole Alley
5. Upper Quad
6. Bridges over South Road

- MAJOR PEDESTRIAN CONNECTION
- MAJOR THEMATIC CORRIDOR
- ACTIVITY NODE
- PROPOSED PEDESTRIAN BRIDGE





Hubs

Mix it up.

Strategic Framework

Pillars

Of the public, for the public.
Innovation made fundamental.

Strategic Initiatives

- The New Graduate
- The Great Convergence
- Modernizing Student Support
- Carolina Whole Health
- Culture of Innovation
- Arts Everywhere

DRAFT

Hubs

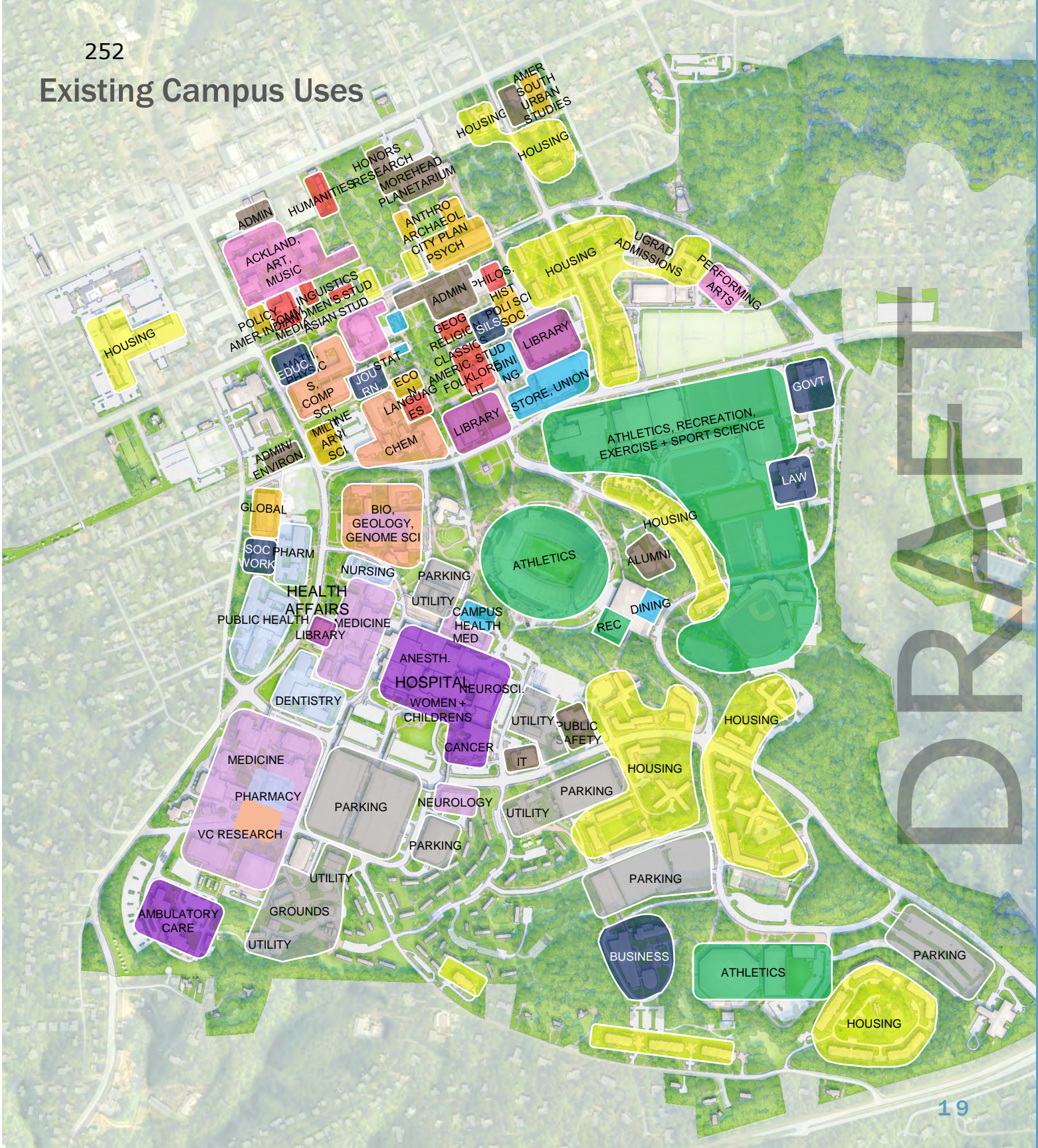
Mix it up.

Proximity is powerful and shapes community. The mix of uses and programs in each building should reinforce the culture we aspire to have.

What makes a hub?

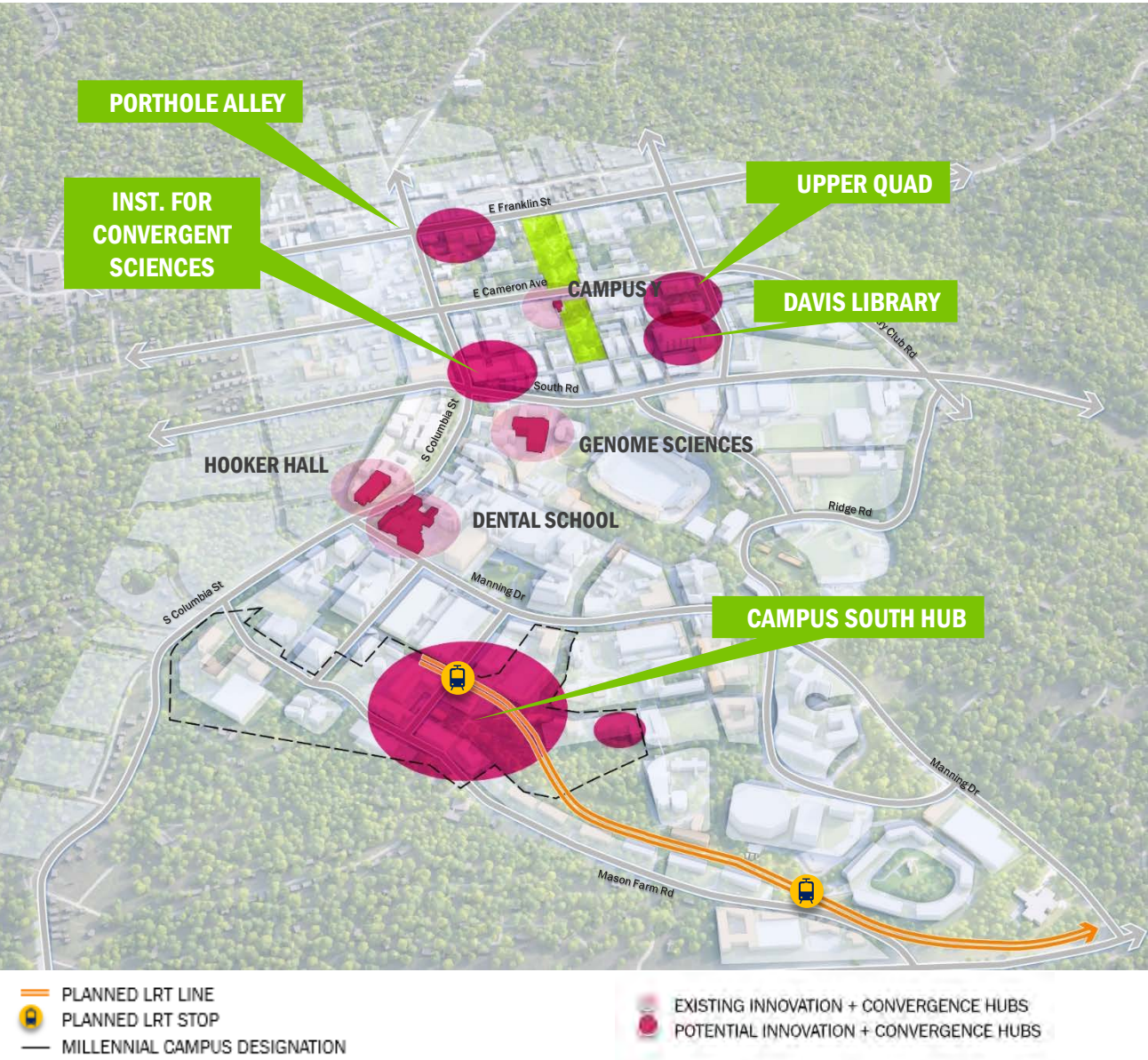
- Density
- Proximity
- Intentional mix of uses and disciplines
- See and be seen
- Space to collaborate
- Work environments

- ADMINISTRATION, SPECIAL FACILITIES
- ATHLETICS, REC, ESS
- FINE ARTS
- HOSPITAL
- HOUSING STUDENT
- HUMANITIES
- LIBRARY
- MEDICINE
- NATURAL SCIENCES + MATHEMATICS
- OTHER HEALTH AFFAIRS
- OTHER SCHOOLS + COLLEGES
- SERVICES
- SOCIAL SCIENCES



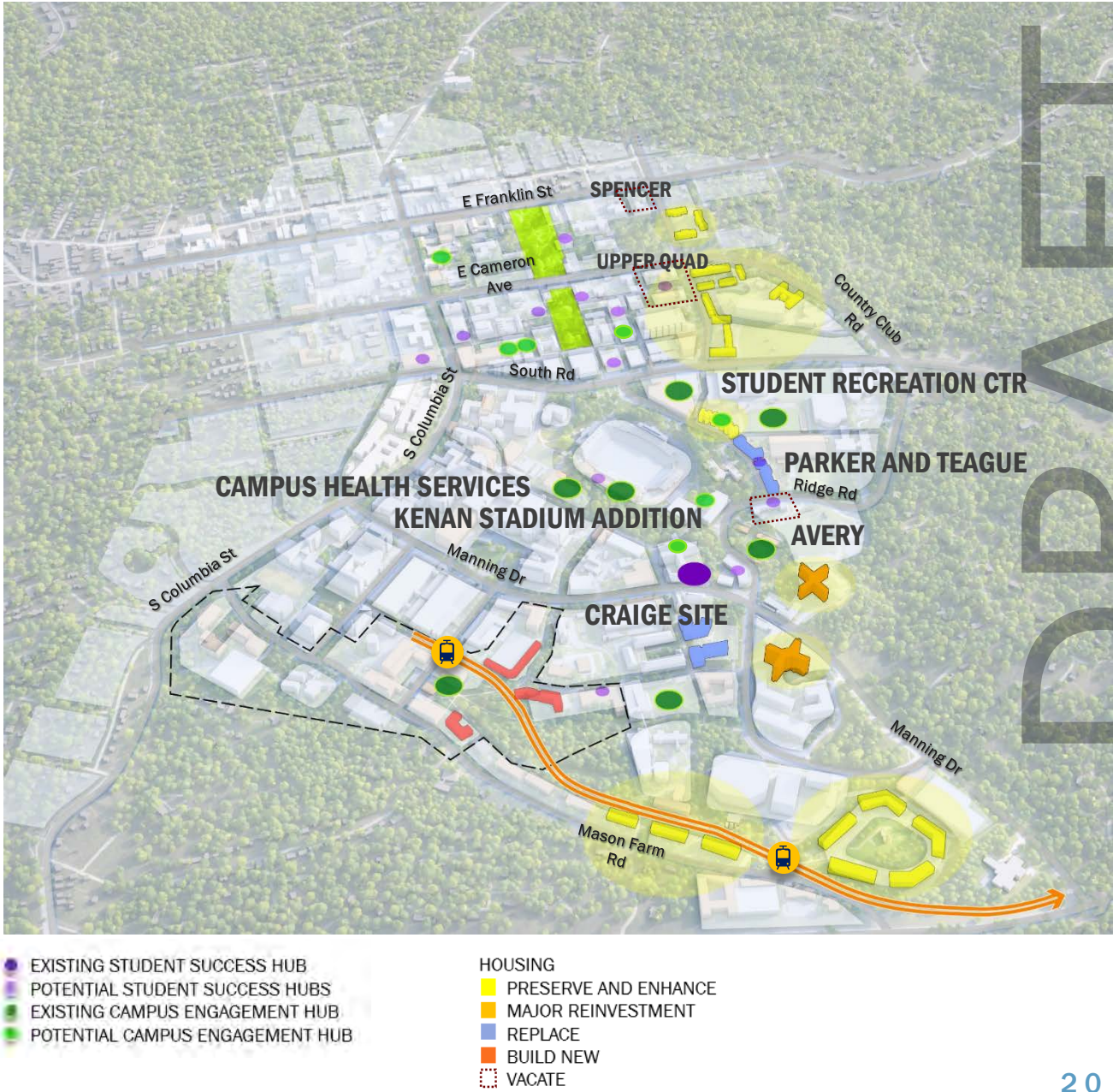
Innovation + Convergence Hubs

- Enable creative collisions between faculty of different disciplines.
- Create space on campus to foster entrepreneurship and partnerships.

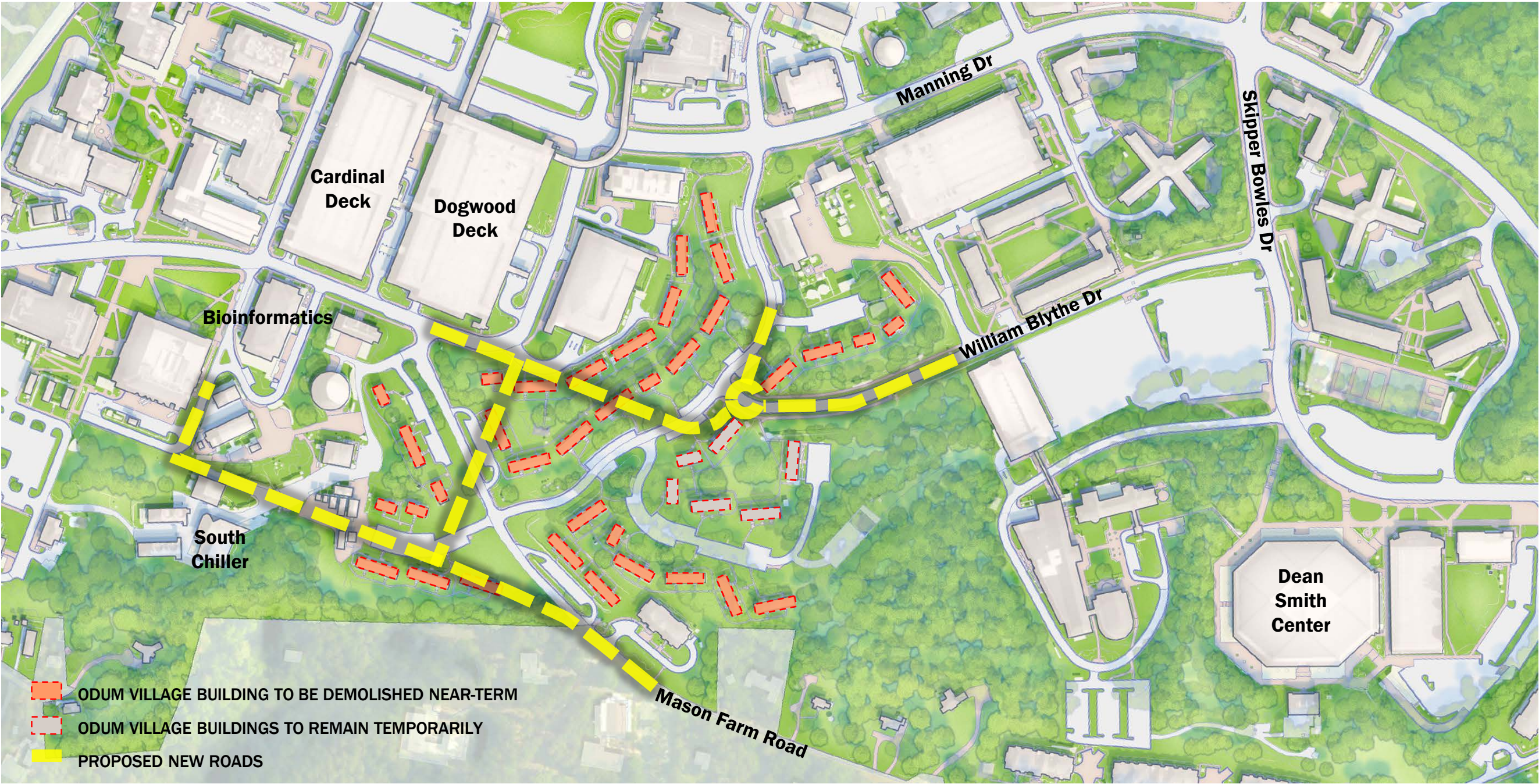


Student Support Hubs

- Distribute Counseling and other support hubs throughout campus.
- Support holistic health and wellness.
- Realign housing mix to meet modern needs.



Campus South Existing Conditions



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Campus South Hub Concept

The Campus South Hub Concept is proposed for the future. No elements are planned for implementation at this time.



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Outlying Parcel Strategies

What uses can not be successfully accommodated on the Main Campus?

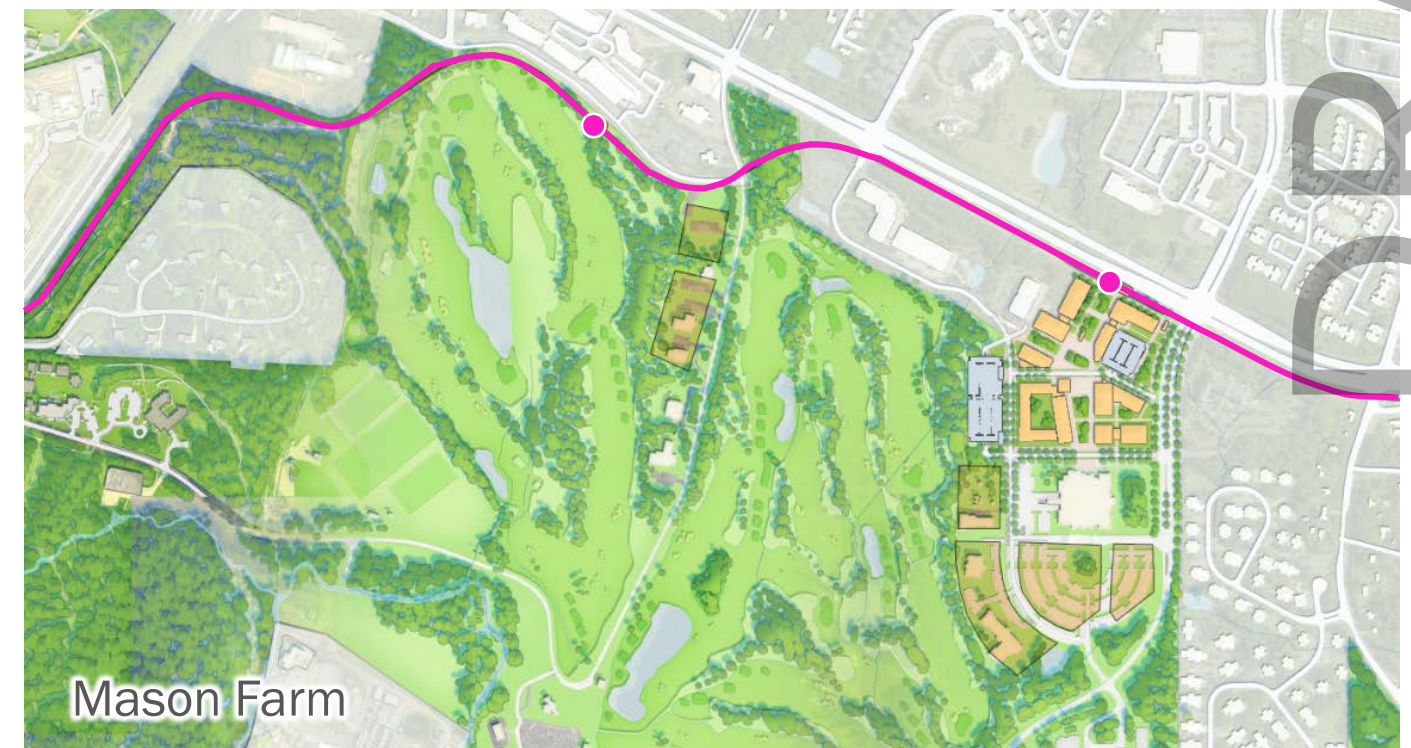
- Portions of Campus Recreation and Athletics operations
- Full space profile needed to double research funding
- Administrative office space

How should we manage these assets to optimize their value over time?

- Create intentional clusters, build on existing assets.
 - **Carolina North:** recreation facilities, housing, support
 - **Mason Farm:** Friday Center, conferencing, centers and institutes, research, administrative, housing, support, and partnerships
- Make it feel like Carolina.
- Respect the long-term framework.
- Showcase commitment to the Three Zeros goals.

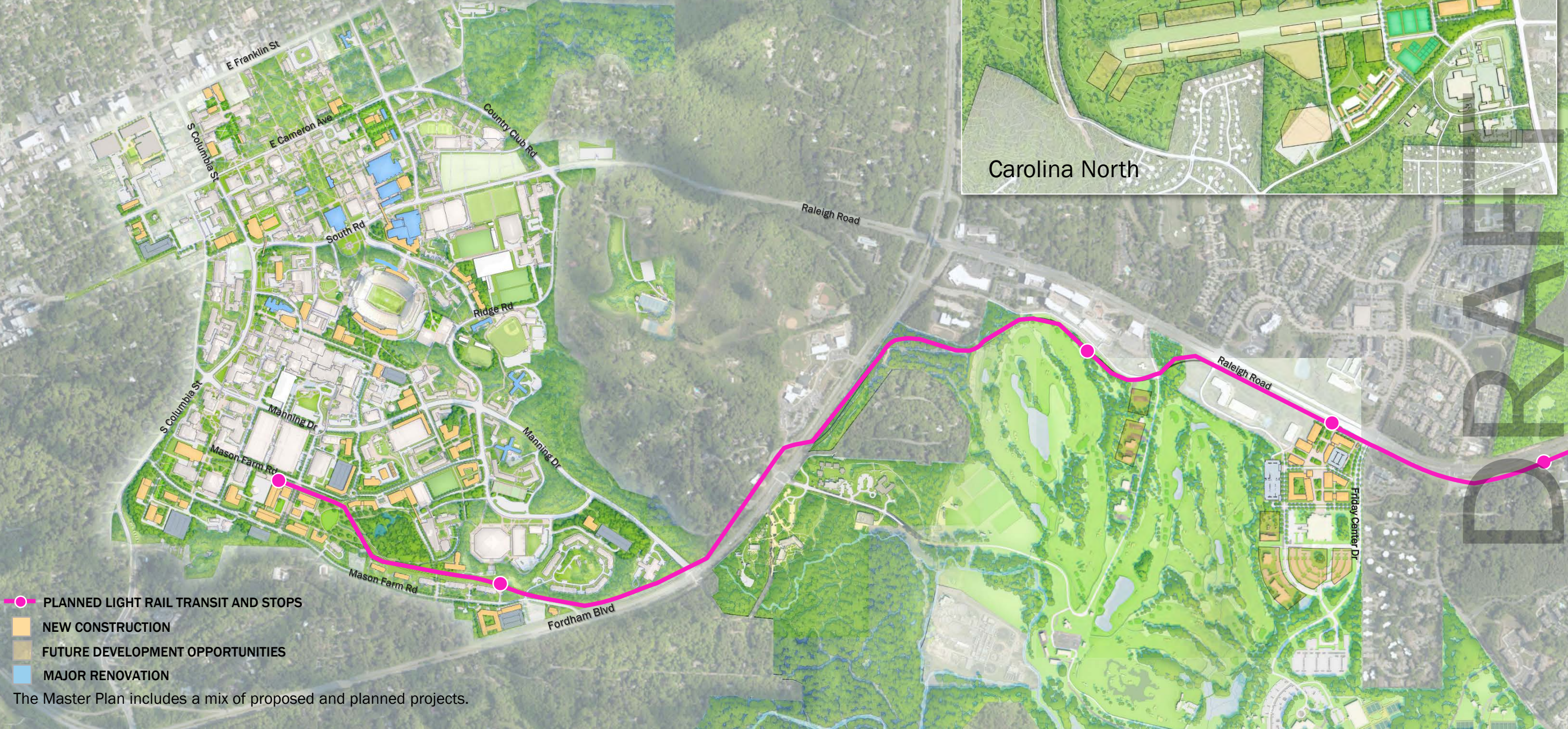
- PLANNED LIGHT RAIL TRANSIT AND STOPS
- NEW CONSTRUCTION
- FUTURE DEVELOPMENT OPPORTUNITIES

The Master Plan includes a mix of proposed and planned projects. All projects indicated for Mason Farm and Carolina North are proposed for the future.



Draft Master Plan

257



- PLANNED LIGHT RAIL TRANSIT AND STOPS
- NEW CONSTRUCTION
- FUTURE DEVELOPMENT OPPORTUNITIES
- MAJOR RENOVATION

The Master Plan includes a mix of proposed and planned projects.

**STATUS OF CAPITAL IMPROVEMENT PROJECTS
THE UNIVERSITY OF NORTH CAROLINA AT CHAPEL HILL
FACILITIES SERVICES**

July 1, 2018

PROJECTS COMPLETED SINCE LAST REPORT (JANUARY 1, 2018)

1. Porthole Alley (531)	\$3,630,000
2. Elevator repairs – Ehringhaus, Hinton James & Carmichael (568)	\$2,300,000
3. School of Dentistry Vacuum System (578)	\$1,252,822
4. Carolina Performing Arts at Carolina Square (123 W Franklin St (592)	\$3,000,000
5. Energy Services Utility Improvements in Academic Affairs Area (606)	\$9,749,222
6. Emergency Power Improvements for UNC Marine Sciences (615)	\$414,200
7. Replace Electrical Service Panels in (5) Campus Buildings (621)	\$650,000
8. Emergency Declaration Boiler Replacement in Art Lab Building (686)	\$75,000
9. Carr Building Emergency Project- Replace Sanitary Sewer Line (695)	\$200,000
Total	\$21,271,244

PROJECTS UNDER CONSTRUCTION:

Renovations to Mary Ellen Jones Building (501) - \$117,292,391

(Funding - University Non-Appropriated)

Construction began March 2016 and is 81% complete. Project completion is expected in September 2018.

Campus Wide Sidewalk Improvements for Pit Area Walkway (538) - \$2,450,000

(Funding - University Non-Appropriated)

Construction began June 2016 and will continue over three summers. Project completion is expected in August 2018.

Kenan Lab - Energy Conservation (543&599) - \$24,000,000

(Funding - University Non-Appropriated, University SL Debt, State COPS R&R, State Appropriations)

Kenan Lab Fire Alarm - Construction began July 2017 and was completed October 2017.

Kenan Lab 7th & 8th Floor Renovation - Construction began September 2017 and is 63% complete. Construction completion is expected December, 2018.

Finley Fields – Practice Field Renovation and Expansion (608) - \$15,399,225

(Funding – Educational Foundation)

Construction began November, 2016. Fields are 90% complete. Project completion is expected in August, 2018

Davis Library Sprinklers and Fire Alarm Panel Replacement (551) - \$8,627,500

(Funding - University Non-Appropriated)

Construction began June 2017 and is 52% complete. Construction completion is expected April 2019.

Cheek Clark – Emergency Declaration Repair Roof Structure and Renovation (598) \$5,412,020**(Funding: University Non-Appropriated)**

Construction began June 2017 and is 90% complete. Construction completion is expected July 2018.

Emergency Declaration – Van Hecke-Wettach Asbestos (601) \$8,170,000**(Funding: University Non-Appropriated)**

Phase 1 & 2 completed. Final Phase 4 will be done over summer 2018.

Fetzer Field Renovation/Indoor Practice Facility (610&611) \$55,000,000**(Funding: Educational Foundation)**

Construction began June 2017 and is 75% complete. Construction completion is expected December 2018.

Morehead Planetarium and Health Science Library elevator modernization (627) \$825,000**(Funding: State Appropriated – Repair & Renovation)**

Construction began October 2017 and is 50% complete. Construction completion is expected November 2018.

New Women's Field Hockey Stadium and Field (656) \$15,246,648**(Funding: Educational Foundation)**

Construction began October 2017 and is 75% complete. Construction completion is expected September 2018.

Built – Up Roof Replacement & Envelope Repairs – Hanes Art Center (626) \$1,160,000**(Funding: State Appropriated – Repair & Renovation)**

Construction began May 2018 and is 15% complete. Construction completion is expected August 2018.

Everett, Lewis, and Stacy Window & HVAC Improvements (643) \$4,500,000**(Funding - University Non-Appropriated)**

Construction began May 2018 and is 20% complete. Construction completion is expected August 2018.

Mountain Area Health Education Center (637) \$8,000,000**(Funding – State Appropriated)**

Construction began December 2017 and is 30% complete. Construction completion is expected November 2018.

Medical Education Bldg- Berryhill Vivarium Migration (644) \$21,590,000**(Funding - University Non-Appropriated; State Bond)**

Construction began March 2018 and is 25% complete. Construction completion is expected March 2019.

Kenan Flagler School of Business 1st, 2nd and 4th floor Renovations (667) - \$1,651,197.00**(Funding – University Non-Appropriated)**

Construction began June 2018 and is 30% complete. Construction completion is expected September 2018.

Kenan Stadium Seating Enhancement Project- Accessibility Upgrade (670) - \$7,000,000**(Funding – University Non-Appropriated)**

Construction began June 2018 and is 50% complete. Construction completion is expected August 2018.

Smith Center Video Board (680) - \$6,000,000**(Funding – University Non-Appropriated)**

Construction began May 2018 and is 30% complete. Construction completion is expected September 2018.

Ambulatory Care Center – ASC Reception Waiting Upgrades (692) - \$930,307**(Funding – UNC Chapel Hill Hospital)**

Construction began March 2018 and is 50% complete. Construction completion is expected September 2018.

ITS Manning Flywheel Installation (685) - \$825,000**(Funding – University Non-Appropriated)**

Project is in construction.

PROJECTS IN DESIGN:**Craige Parking Deck – Exterior Improvements (368) - \$750,000****(Funding - University Non-Appropriated)**

Artist selection process underway.

Cogeneration Environmental Site Investigation/Remediation (467) - \$774,000**(Funding - University Non-Appropriated)**

Site survey underway.

Campus Way Finding Signage (514) - \$2,466,250**(Funding - University Non-Appropriated)**

Project is on hold.

Sitterson Bus Stop (541) - \$700,000**(Funding - University Non-Appropriated)**

Project is on hold.

Power Generation & Chilled Water Plant Addition (547) - \$106,307,988**(Funding - University Non-Appropriated)**

Project is on hold.

Campus Master Plan (570) - \$2,150,000**(Funding - University Non-Appropriated)**

Draft plan presented to Board of Trustees in May, 2018.

Morehead Planetarium Building, Renovation of Classrooms, Offices (585) \$7,576,122**(Funding – Foundation/gifts)**

Project in Design Development Phase.

Campus Safety Upgrade (588) \$4,750,000**(Funding: University Non-Appropriated)**

Project Phase I – Camera & TV upgrades- is on hold.

Wilson Hall Annex (603) \$31,450,173**(Funding: University Non-Appropriated)**

Project is on hold.

Beard Hall 2nd Floor Renovation (607) \$9,713,728**(Funding: University Non-Appropriated)**

Project in bidding phase.

Chase Dining Hall Second Floor Renovation (613) \$4,440,674**(Funding: University Non-Appropriated)**

Project in bidding phase

Install Fire Alarm Panels in (4) Buildings (619) \$811,500**(Funding: State Appropriated – Repair & Renovation)**

Project on hold. Bids were opened and exceeded project budget. Have received R&R supplement. Will re-bid for Summer 2019 and 2020 construction.

Wilson Library Slate Roof, Dome Roofing Replacement, and Envelope Repair (623) \$2,495,000**(Funding: State Appropriated – Repair & Renovation)**

Project in bidding phase.

Medical Education Building Replacement (633) \$78,600,000**(Funding: State Bond)**

Project is in design development phase.

Taylor Campus Health Sports Medicine and Specialty Clinics Renov (642) \$2,750,000**(Funding - University Non-Appropriated)**

Project is in construction documents phase.

Horace William Airport Property Solar and Energy Storage Demo (645) \$1,700,310**(Funding – University debt)**

Project is in construction documents phase

Taylor Air Flow Reduction Energy Project (653) \$520,000.**(Funding - University Non-Appropriated)**

Project is in construction documents phase.

Thurston Bowles Air Flow Reduction Energy Project (654) \$1,300,000.**(Funding - University Non-Appropriated)**

Project is in construction documents phase.

New East – Install New ADA Compliant Elevator (655) \$1,650,000**(Funding – State Appropriation)**

Project is in construction documents phase.

Media and Communications Studio (657) \$10,000,000**(Funding – University Non-Appropriated)**

Project is in construction documents phase.

Science Complex III & Institute of Convergent Science (658) \$500,000**(Funding – University Non-Appropriated)**

Project is in programming phase.

Translational Research Building (659) - \$900,000

(Funding – University Non-Appropriated)

Project is in programming phase.

Marsico Hall – Renovation for Vivarium Expansion (662) - \$2,550,000

(Funding – State COPS)

Project is in construction documents phase.

Marsico Hall – Mechanical, Electrical, and Plumbing Upfits & Recommissioning (663) - \$800,000

(Funding – State COPS)

Project is in schematic design phase.

Lineberger Cancer Center- Faculty Recruitment Lab Renovation (664) - \$1,400,000

(Funding – University Non-Appropriated)

Project is in schematic design phase.

Marsico Quad Improvements (665) - \$200,000

(Funding – State COPS)

Project is on hold.

Kenan Flagler School of Business McColl Bldg Addition & Renovation (666) - \$1,000,000

(Funding – State Appropriation)

Project is in Advanced Planning phase.

Burnett Womack 4th Floor Renovation (668) - \$976,677

(Funding – University Non-Appropriated)

Project is in schematic design phase.

UNC Parking Decks- LED Lighting Safety Upgrades (669) - \$896,000

(Funding – University Non-Appropriated)

Project is in schematic design phase.

Glaxo Research Bldg- Infrastruct Support for Cryo-Electron Micro (671) - \$850,000

(Funding – University Non-Appropriated)

Project is in bidding phase.

UNC School of Media & Journalism - Media & Communication Studio (672) - \$600,000

(Funding – University Non-Appropriated)

Project is in Advanced Planning phase.

Carolina Union Auditorium Renovation (673) - \$1,500,000

(Funding – University Non-Appropriated)

Project is in Design Development

UNC Chapel Hill Outdoor Education Center Pond Retrofit (674) - \$352,355

(Funding – University Non-Appropriated/Fund Raising)

Project is on hold.

Cameron Cogen – Dry Sorbent Injection System (675) - \$5,000,000

(Funding – University Non-Appropriated)

Project is in Design/Build. First bid package awarded.

Foundation Water Proofing - Ackland Art Museum (676) - \$400,000**(Funding – State Appropriation)**

Preliminary design is complete and in review.

Supplement to Replace Laboratory Ventilation System Morehead Lab (677) - \$845,000**(Funding – State Appropriation)**

Project is in Schematic Design/Design Development.

Replace Electrical Switchgear - Mitchell Hall, Dey Hall (678) - \$700,000**(Funding – State Appropriation)**

Reevaluating electrical upgrade priorities.

Art Lab Building Roof Replacement and Fall Protection (679) - \$285,678**(Funding – State Appropriation)**

Scope has been changed to Ventilation Upgrades (safety priority). Project is in Designer Award.

Carmicheal Residence Hall Deck (681) - \$849,660**(Funding – University Non-Appropriated)**

Project is in Schematic Design

Institute of Marine Sciences Fisheries Research Lab (682) - \$380,598**(Funding – University Non-Appropriated)**

Project is in Design Development.

Joyner Residence Hall HVAC Improvements (683) - \$6,616,825**(Funding – University Non-Appropriated)**

Project is in schematic design.

Kenan Stadium – Fire Alarm Upgrades (684) - \$1,060,000**(Funding – University Non-Appropriated)**

Project is in Designer Selection.

Carmichael Residence Hall Curtain Wall Replacement (687) - \$2,501,730**(Funding – University Non-Appropriated)**

Project is on hold.

Chase Hall Second Floor Renovation (688) - \$980,247**(Funding – University Non-Appropriated)**

Project is on hold.

Friday Center Bus Loop Road Repair (689) - \$400,000**(Funding – University Non-Appropriated)**

Project is at SCO Review.

Parking Deck at S1 Lot (690) - \$1,300,000**(Funding – University Non-Appropriated)**

Designer agreement is being negotiated.

Kenan Stadium – Backflow Preventers and Booster Pumps (691) - \$500,000**(Funding – University Non-Appropriated)**

Project will be re-bid for Winter 2018 construction.

NRB MBRB Vivarium Enabling Project Renovations (693) - \$850,000**(Funding – University Debt)**

Project is in design development phase.

West Drive Street Improvements (694) - \$650,000**(Funding – State COPS)**

Project is on hold until ME Jones is substantially completed.

School of Dentistry Pipe Remediation (696) - \$150,000**(Funding – University Non-Appropriated)**

Project is in designer selection phase.

Hwy 54 Park& Ride Lot Stormwater Pond Repair&Retrofit (697) - \$330,000**(Funding – University Non-Appropriated)**

Project is in design.

Ambulatory Care Center – Musculoskeletal Enhancement Service - \$7,177,219**(Funding – UNC Chapel Hill Hospital)**

Project is in construction documents phase.

SUMMARY OF MAJOR CAPITAL IMPROVEMENT ACTIVITY:

	<u>No. of Projects</u>	<u>Dollar Value</u>
Completed since 1/2018	9	\$ 21,271,244
Under Construction	19	\$ 304,079,288
In Design	52	\$ 310,406,734

HISTORICAL RECORD OF ACTIVITY:

<u>UNDER CONSTRUCTION</u>			<u>IN DESIGN</u>	
<u>Date</u>	<u>No. of Projects</u>	<u>Dollar Value</u>	<u>No. of Projects</u>	<u>Dollar Value</u>
Feb. 1987	14	\$ 39,924,000	27	\$183,061,220
Aug. 1987	13	\$ 26,817,520	25	\$210,316,100
Feb. 1988	12	\$ 42,354,520	26	\$222,477,900
Aug. 1988	14	\$ 61,721,870	34	\$254,328,430
Feb. 1989	15	\$157,882,770	40	\$168,321,630
Aug. 1989	20	\$158,003,370	29	\$170,550,730
Feb. 1990	18	\$153,331,770	34	\$174,785,500
Aug. 1990	14	\$161,479,980	29	\$165,398,600
Feb. 1991	10	\$191,489,780	26	\$147,486,500
Aug. 1991	11	\$202,564,380	28	\$132,000,800
Jan. 1992	9	\$193,656,480	31	\$123,015,800
Aug. 1992	16	\$196,850,380	25	\$132,470,400
Jan. 1993	15	\$178,790,400	27	\$137,062,000
July 1993	9	\$ 91,072,000	21	\$121,141,100
Jan. 1994	6	\$ 90,707,300	33	\$154,615,300
July 1994	15	\$101,999,300	28	\$147,370,700
Jan. 1995	13	\$ 66,320,700	52	\$175,385,600
July 1995	14	\$101,192,800	46	\$164,311,800
Jan. 1996	11	\$ 89,901,800	67	\$246,980,600
July 1996	17	\$ 92,701,100	61	\$299,168,300
Jan. 1997	19	\$131,072,400	63	\$282,872,700
July 1997	37	\$235,425,600	44	\$223,235,350
Jan. 1998	33	\$158,837,100	50	\$278,691,575
July 1998	36	\$183,705,300	43	\$285,946,375
Jan. 1999	26	\$153,298,200	42	\$314,955,275
July 1999	20	\$175,689,300	44	\$374,499,175
Jan. 2000	18	\$173,787,000	38	\$380,677,875
July 2000	20	\$171,732,100	44	\$402,994,475
Jan. 2001	20	\$265,311,575	56	\$255,342,400
July 2001	30	\$277,577,875	57	\$509,245,260
Jan. 2002	28	\$282,315,475	51	\$533,569,700
July 2002	25	\$297,186,000	51	\$533,569,700
Jan. 2003	18	\$246,220,200	52	\$700,266,390
July 2003	15	\$239,095,165	58	\$677,135,478
Jan. 2004	18	\$345,073,797	59	\$607,602,868
July 2004	24	\$435,597,765	61	\$837,011,823
Jan. 2005	32	\$540,484,649	77	\$997,282,175
July 2005	42	\$604,951,066	62	\$848,018,466
Jan. 2006	39	\$606,059,278	50	\$681,154,808
July 2006	36	\$753,387,157	55	\$697,916,808
Jan. 2007	39	\$493,513,761	60	\$729,086,980
July 2007	38	\$559,519,076	50	\$586,321,980
Jan. 2008	29	\$510,723,322	46	\$733,693,000
July 2008	27	\$570,815,114	51	\$715,328,000
Jan. 2009	25	\$429,973,546	47	\$906,213,000
July 2009	24	\$633,089,281	40	\$577,740,422
Jan. 2010	18	\$600,252,605	22	\$409,120,032
July 2010	18	\$618,429,022	32	\$539,620,032
Jan. 2011	15	\$605,745,206	30	\$474,190,032
July 2011	19	\$802,905,823	28	\$292,000,000
Jan. 2012	15	\$742,125,183	28	\$313,100,000
July 2012	17	\$655,508,823	31	\$309,600,000
Jan. 2013	12	\$550,585,206	34	\$389,726,000
July 2013	10	\$311,575,000	34	\$334,449,095
Jan. 2014	9	\$338,372,095	45	\$337,177,000
July 2014	14	\$349,553,714	42	\$376,843,592
Jan. 2015	19	\$377,846,839	50	\$423,639,550
July 2015	17	\$365,166,669	48	\$304,163,543
Jan. 2016	12	\$333,622,316	46	\$324,057,991
July 2016	29	\$434,745,367	43	\$341,359,544
Jan. 2017	18	\$175,227,717	37	\$372,416,500
July 2017	22	\$266,078,688	32	\$349,812,207
Jan. 2018	18	\$274,080,528	29	\$344,807,071
July 2018	19	\$304,079,288	52	\$310,406,734

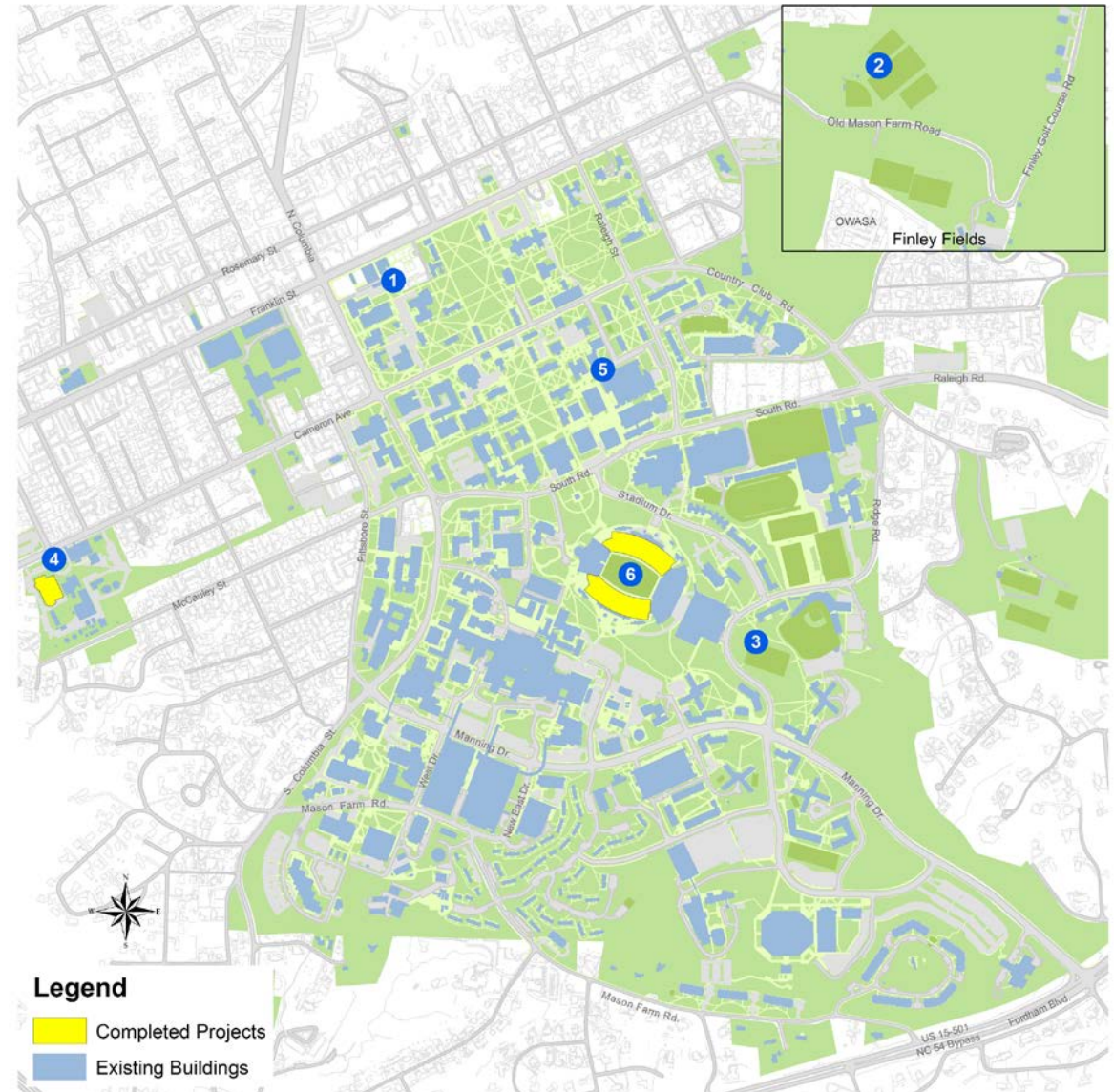


THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Town of Chapel Hill
Semi-Annual Update
September 5, 2018

Capital Improvement Projects Completed

1. Porthole Alley Phase 1: Improvements to pedestrian, bicycle and vehicular access
2. Finley Fields North
3. Field Hockey Stadium
4. Cheek Clark
5. Energy Services Utility Improvements – Academic Affairs Area
6. Kenan Stadium Seating Enhancement Project



Porthole Alley Phase 1



Finley Practice Fields



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Field Hockey Stadium



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Cheek Clark



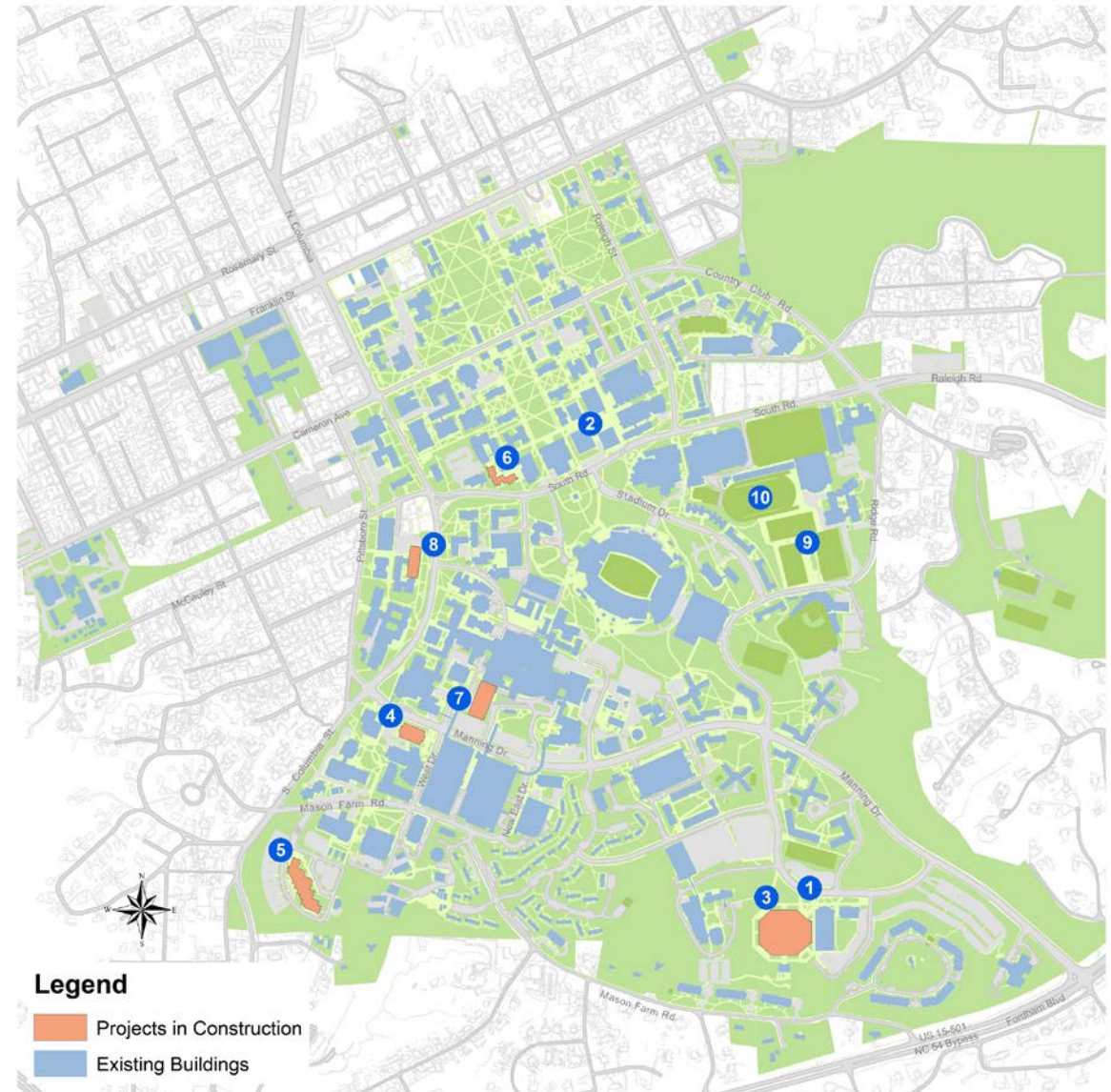
Kenan Stadium Seating Enhancement



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Capital Improvement Projects in Construction

1. Media and Communications Studio
2. Campus Wide Sidewalk Improvements for Pit Area
3. Smith Center Video Board
4. Mary Ellen Jones Renovation
5. Ambulatory Care Center – Musculoskeletal Enhancement Service
6. Kenan Labs Renovation
7. UNC Hospitals Surgical Tower
8. Beard Hall 2nd Floor Renovation
9. Indoor Practice Facility
10. Fetzer Field Renovation



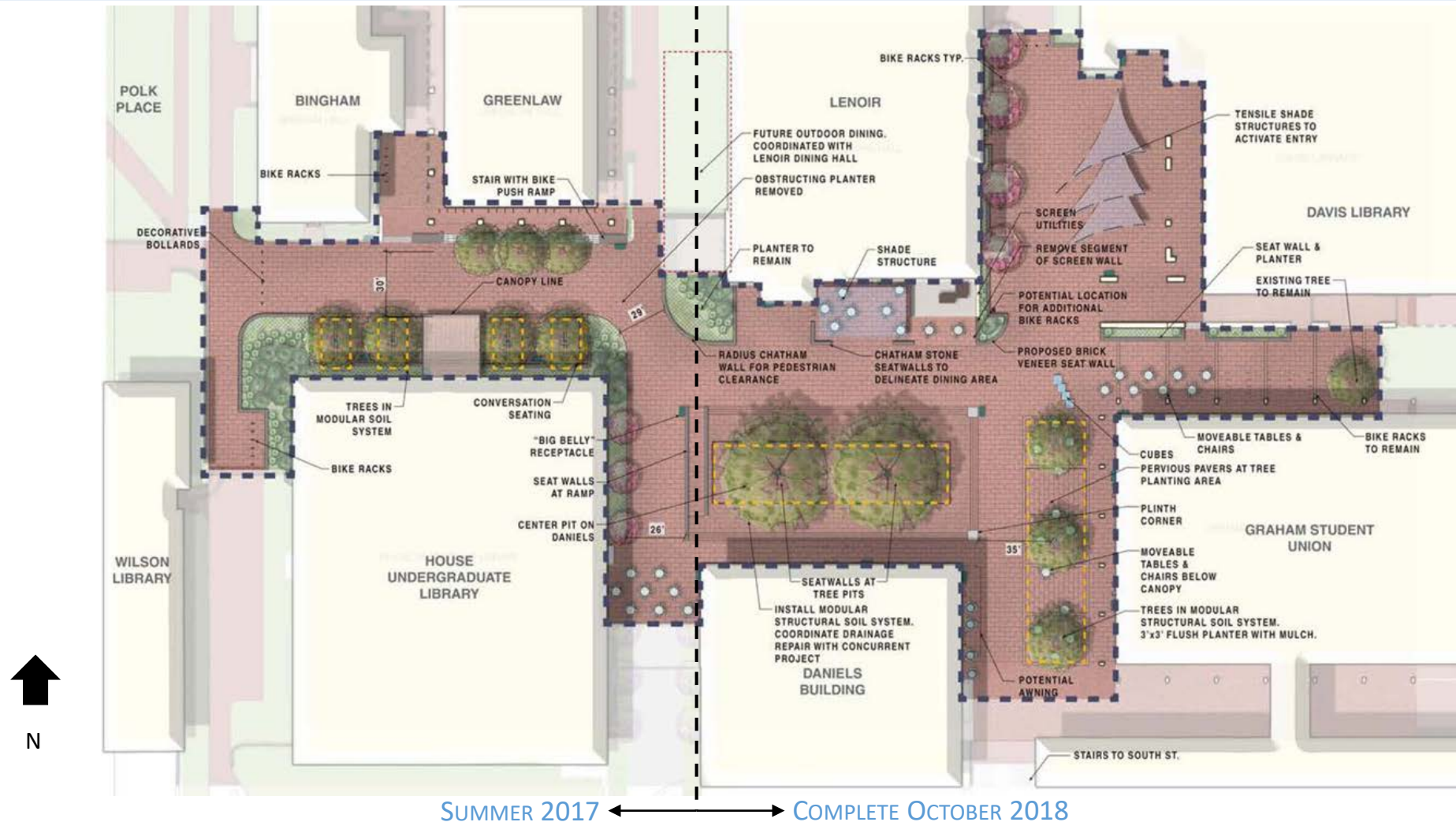
Media & Communications Studio



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

EXISTING CONDITIONS

Kenan Stadium Seating Enhancement



SUMMER 2017 → COMPLETE OCTOBER 2018



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

LONG RANGE MASTER PLAN

Mary Ellen Jones



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

NORTH ELEVATION

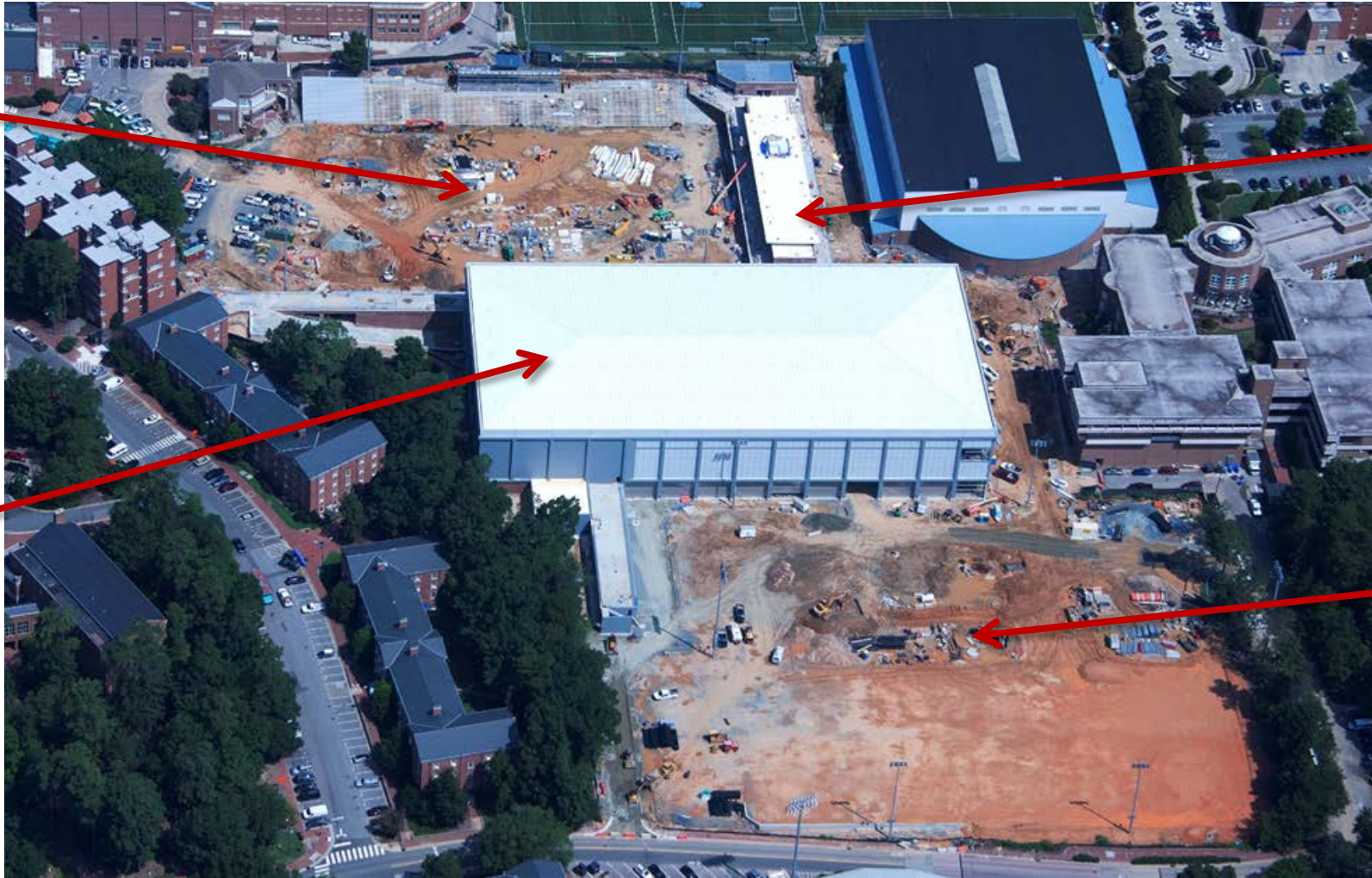
Soccer Stadium and Indoor Practice Facility

SOCCER STADIUM

SOCCER TEAM
BUILDING

INDOOR PRACTICE
FACILITY

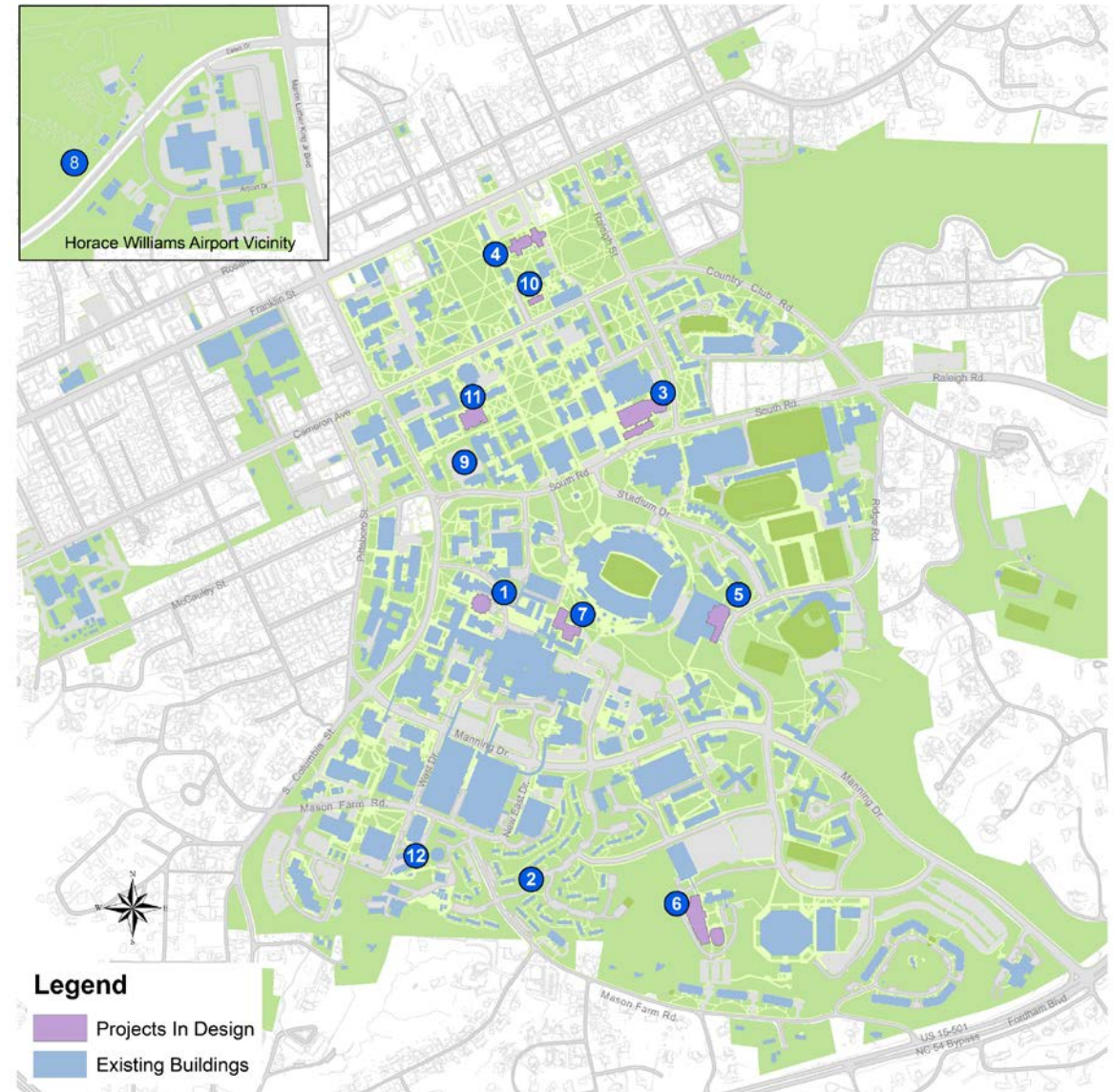
PRACTICE FIELDS



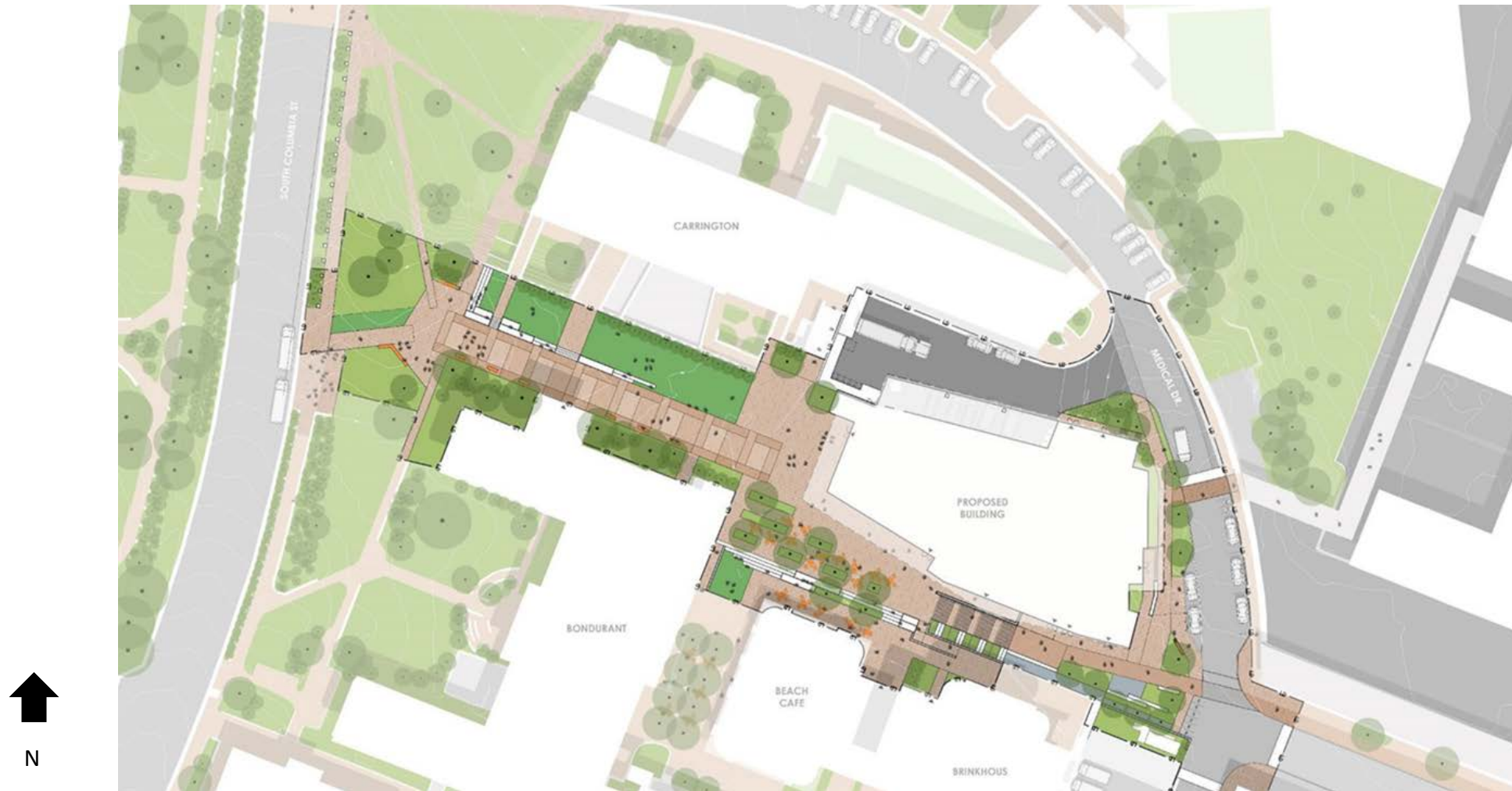
THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Capital Improvement Projects in Design

1. Medical Education Building
2. Odum Village Demolition
3. Carolina Union Auditorium Renovation
4. Morehead Planetarium Renovation
5. Chase Dining Hall Expansion
6. Kenan-Flagler Business School McColl Addition/Renovation Feasibility Study
7. Taylor Campus Health Sports Medicine & Specialty Clinic Renovation
8. Horace Williams Airport Solar & Energy Storage Demo
9. Science Complex Ph. 3 Feasibility Study
10. New East Elevator
11. UNC School of Media & Journalism: Media & Communication Studio
12. Translational Research Building



UNC Medical Education Building



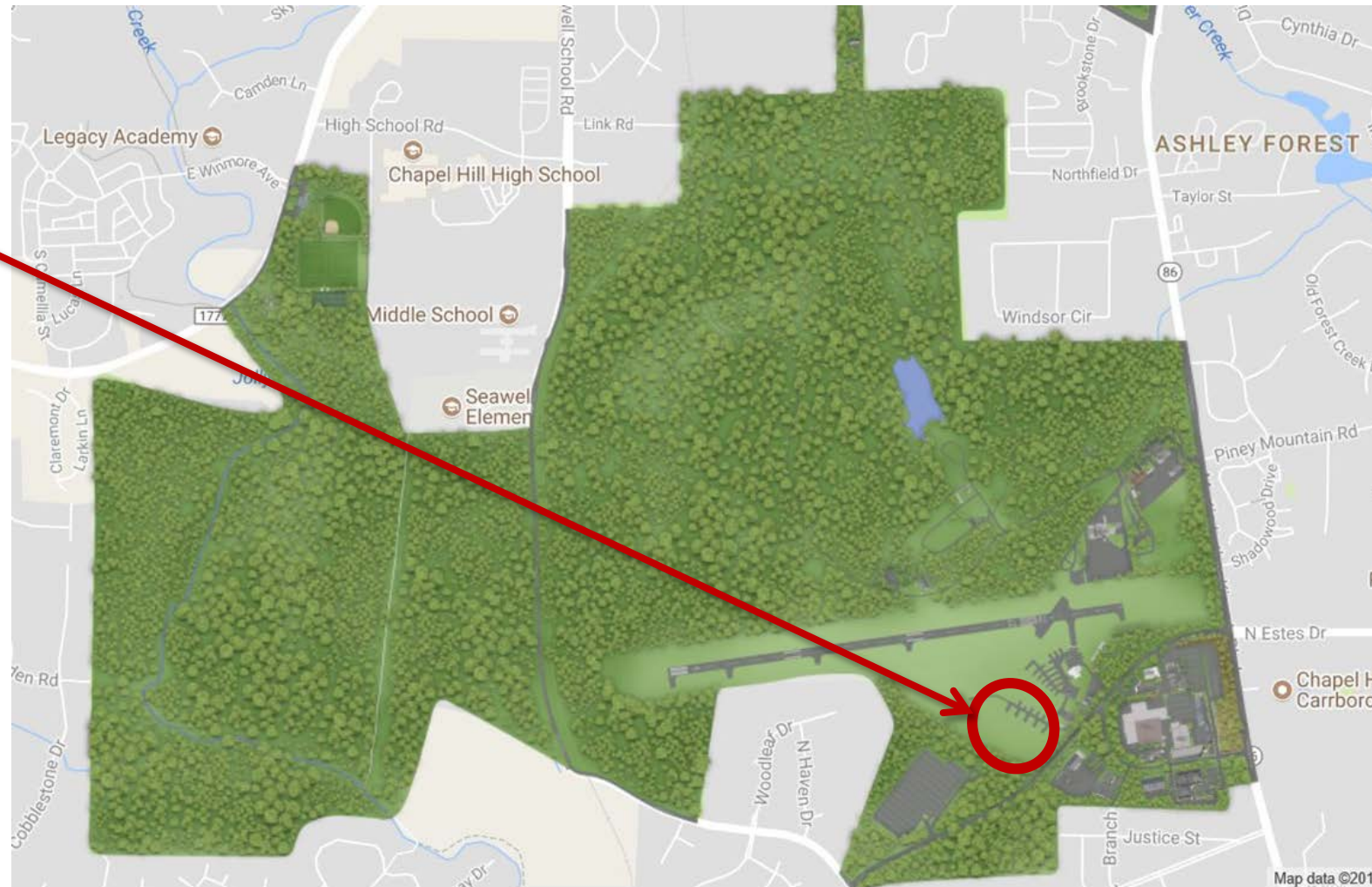
THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

PROPOSED SITE PLAN



Odum Village Demolition

PROJECT SITE



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THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Campus Master Plan



THE UNIVERSITY
of NORTH CAROLINA
at CHAPEL HILL

Surgical Tower Project

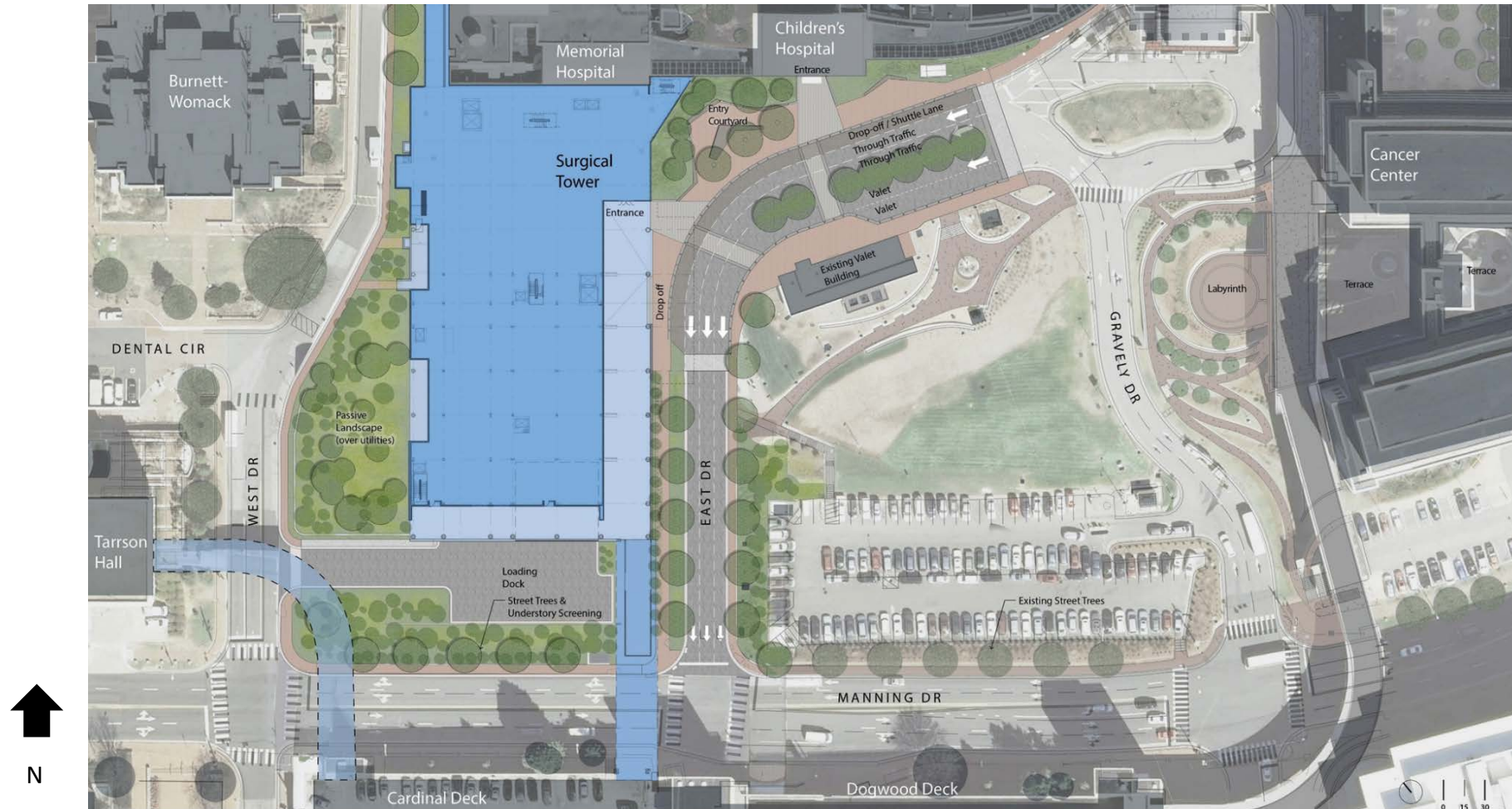
Project Scope

- 7 Levels
- 24 Operating Rooms
- 56 Pre and Post Bays
- 56 ICU Beds

Project Schedule

- | | |
|------------------------------|---------------------------|
| ▪ Schematic Design | September 2017 |
| ▪ Design Development | April 2018 |
| ▪ Working Drawings | December 2018 |
| ▪ Utility Construction Start | September 2018 |
| ▪ Construction Completion | February 2022 |
| ▪ Occupancy | February-March-April 2022 |

Surgical Tower Project



Surgical Tower Project





286
TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 12., File #: [18-0704], Version: 1

Meeting Date: 9/5/2018

Appointment(s) to the Community Design Commission.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk

Department:







Communication and Public Affairs



Recommendation(s):

That the Council make appointments to the Community Design Commission for two (2) Chapel Hill Residents and one (1) Historic District Resident.

Council Goals:

<input checked="" type="checkbox"/>		Create a Place for Everyone	<input checked="" type="checkbox"/>		Develop Good Places, New Spaces
<input checked="" type="checkbox"/>		Support Community Prosperity	<input checked="" type="checkbox"/>		Nurture Our Community
<input checked="" type="checkbox"/>		Facilitate Getting Around	<input type="checkbox"/>		Grow Town and Gown Collaboration



Attachments:

- Advisory Board Recommendations
- Ballot
- Applications

Note: Applications submitted prior to February 20, 2018 were completed before changes were made to the application and may appear incomplete.

MEMORANDUM

TO: Mayor and Town Council

FROM: Michael Sudol, Planner II

SUBJECT: Recommendation for the Community Design Commission vacancy(s)

DATE: August 28, 2018

RECOMMENDATION: The Community Design Commission met on Tuesday, August 28, 2018, and by a Unanimous vote have made the following recommendation(s) to the Town Council for consideration:

- Megan Patnaik, Appointment, Chapel Hill Resident
- Victor R Lancaster, Appointment, Chapel Hill Resident
- Susan L Lyons, Appointment, Chapel Hill Historic District Resident

SPECIAL REQUEST(S): The applicant for the Historic District seat is technically ineligible, as she does not live within the Historic District. However, the Commission has requested that a special exception be made due to the fact that the seat has been vacant for many months, that the applicant has previously lived within the Historic District, and that she was President of both Preservation Chapel Hill and the Chapel Hill Historical Society.

BACKGROUND: The Community Design Commission noted the following strengths of the applicants that were recommended:

Megan Patnaik: Architect with 10 years of experience working locally;

Victor R Lancaster: Retired Engineer with a unique perspective and demonstrated commitment to the position, having appeared multiple times before the Commission;

Susan L Lyons: Previously lived within the Historic District, and was President of both Preservation Chapel Hill and the Chapel Hill Historical Society.

Note: Communications and Public Affairs notes that the Community Design Commission reviewed the following applications: Bennett T Dansby, Victor R Lancaster, Susan L Lyons, Megan Patnaik, and Marci Vaughn. No additional applications have been received between August 28, 2018 and August 29, 2018 for the Community Design Commission.

BALLOT

COMMUNITY DESIGN COMMISSION

SEPTEMBER 5, 2018

Total Membership: 9 (8 Chapel Hill Residents; 1 Chapel Hill Historic District Resident)

Current Membership: 6 (4 Female, 2 Male; 6 Caucasian; (1) 35-54, (4) over 55, (1) undisclosed age)

Number of Vacancies: 3 (2 Chapel Hill Residents, 1 Chapel Hill Historic District Resident)

Number of Applicants: 5

APPLICANTS

Chapel Hill Resident

You may vote for up to four (4) applicants

_____ Bennett Taylor Dansby

_____ Megan Patnaik

_____ Victor R. Lancaster

_____ Marci Vaughn

_____ Susan L. Lyons*

_____ Other; Please list _____

Chapel Hill Historic District Resident

You may vote for up to one (1) applicant

_____ Other; Please list _____

 Council Member Signature

* This applicant is technically ineligible, as she does not live within the Historic District. However, the Commission has requested that a special exception be made due to the fact that the seat has been vacant for many months, that the applicant has previously lived within the Historic District, and that she was President of both Preservation Chapel Hill and the Chapel Hill Historical Society.

Profile

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

Bennett

First Name

T

Middle Initial

Dansby

Last Name

tbcdansby@gmail.com

Email Address

906 Roosevelt Dr.

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (510) 435-1551

Primary Phone

Mobile: (510) 435-3645

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

- ☒ 4-9 years
☒ Greater than 10 years
-

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Board is your First Choice? *

- ☒ Planning Commission

Which Boards would you like to apply for?

Community Design Commission: Eligible

Planning Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission *

- ☒ Chapel Hill Resident

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

- ☒ Chapel Hill Resident
-

How did you find out about this opportunity? (select all that apply by holding down the shift key)

- ☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

My desire to serve on the Planning Commission comes from the observation that the developers that come before the town tend to have an advantage in presenting their building priorities. Growing up in Chapel Hill as the son of an Architect who focused on restoration I was exposed to many of the parameters that once guided the planning of our town. I have spent thirty years of my life understanding material, labor, and costs associated with the built environment. Locally I have worked with builders such as Cam Ward, craftsmen like Scott Bertram, and property owners such as CHCPS. Nationally I spent three years in California restoring, remodeling, and retrofitting historic homes in Berkeley and another five years at Yale serving on the faculty of the Architecture School. I am certainly capable of deciphering the priorities of developers in relation to those of our town and communicating them in a way that is logical and fair. I am also capable of understanding and communicating what expectations are feasible, reasonable and achievable for a developer in our community.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Recently I was elected VP of the FPG PTA. For the last two years I served on the Frank Porter Graham Bilingue SIT. Before that I was on the Chapel Hill Cooperative Preschool board of directors for three years. I am also experienced with downtown Chapel Hill - raised on North St. and worked for just about every establishment on Franklin. I believe in being open to the facts and fair with my assessments. I have a keen sense of how to decipher information and communicate it effectively.

[bTd Resume 1 .pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

General Manager of a Retail
Store

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.” Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Professional Profile

I am an effective collaborator who excels at delivering high-pressure, time-sensitive projects. Every task is approached with care, value and competence. My career includes a faculty position at Yale, consultancies with a diverse network of clientele, and being the recipient of prestigious commissions, grants and awards.

Experience

General Manager 2016-Present **Townsend Bertram & Company** Carrboro, NC

- Management of personnel, buying, marketing, budgets, accounting, and strategy

Consultant 1998-Present Chapel Hill, NC

- Chapel Hill Cooperative Preschool as the buyer's agent and developer of design and site plan approval
- Event technology solutions for Janssen, Emergent, and the American Astronomical Society
- Program and facilities design for Yale, UNC and NCSU
- CMS development and training for Yale Schools of Forestry, Nursing, and Architecture
- CRM software training for 3M, Sepracor, Endo, Innovex, King, and Novo Nordisk

Lecturer 2008-2013 **Yale School of Architecture** New Haven, CT

- Co-author of University-wide safety protocols
- Co-author of SPE Foundation Grant
- Designer of website and marketing materials
- Responsible for teaching students how to design, render, model and construct their work
- Co-developer of databases built for material sales, scheduling, and equipment management
- Advisor to successful student entry for the International Contemporary Furniture Fair
- Advisor to student-designed pavilions for the New Haven Arts and Ideas Festival
- Developer of 3d models and re-creations for University carvings, castings, and sculptures
- Co-designer of modifications to existing machines for improved efficiency and safety

Web Designer 2007-2008 **Yale School of Nursing** New Haven, CT

- Developer of new technology resources for faculty, students, and staff

Photographer 2005-2006 **Patrick McMullan Co** New York, NY

- Event photographer and production assistant for website and publications

Production Manager 2006-2007 **Accolade Furniture** Wallingford, CT

- Developer of production models leading to better efficiency and sustainability
- Manager of several large-scale mill projects, budgets, and sales
- Designer of website, marketing materials, furniture and custom projects

Instructor 2004-2006 **University of California ASUC Art Studio** Berkeley, CA

- Developer of classes in photography, printing, and digital technology

Logistics Manager 2003-2005 **Terry Contractors Inc** Berkeley, CA

- Manage ordering, purchasing and delivery of building materials and hardware to job sites
- Carpentry, demolition, permitting, and estimates

Education

BFA Studio Art 2002 **University of North Carolina** Chapel Hill

- *John Hope Franklin Award*, Duke Center for Documentary Studies
- *Alexander Julian Prize*, UNC Chancellor's Award
- *St. Andrews Society Award*, UNC Distinguished Scholarship

Profile

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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☒ I Agree

Victor

First Name

R

Middle Initial

Lancaster

Last Name

vrlan@aol.com

Email Address

1904 WHITE PLAINS RD.

Street Address

1904 WHITE PLAINS RD.

Suite or Apt

CHAPEL HILL

City

NC

State

27517

Postal Code

Home: (919) 903-8404

Primary Phone

Mobile: (919) 441-2382

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Board is your First Choice? *

☒ Community Design Commission

Which Boards would you like to apply for?

EZ Rider Advisory Committee: Eligible

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission *

☒ Chapel Hill Resident

Question applies to EZ Rider Advisory Committee

Are you a consumer of the EZ Rider service?

☐ Yes ☒ No

Question applies to EZ Rider Advisory Committee

Where do you work or study? *

☒ None of these apply

How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Advisory Board or Council member

☒ Other (provide additional information below)

Polly

If you chose "Other" from the advertising opportunity listed above, please specify specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a resident of the Town of Chapel Hill I am very interested in preserving the charm, grace and character of the town that I live in. At the same time, growth of this town is unavoidable and needs to be carefully controlled in a systematic manner. I have been active in the petition that resulted in the purchase of the American Legion property for the purpose of providing more park and open space for the residents of Chapel Hill and will continue to do so. My engineering design background will be a benefit to the Planning Commission for providing detailed pragmatic reviews of upcoming plans and proposals along with the visual design aspects of this work. I am also applying for the EZ-Rider Advisory board because i believe this is an important feature of living in Chapel Hill that needs thoughtful attention. I was a former EZ-Rider user.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Victor Lancaster's comprehensive experience encompasses over 10 years in design, development and production of several class II and III medical devices (Model 101 capillary electrophoresis, LWA and SP-1 instruments, Cycle and Tango blood pressure monitors, Mark 1 dental preparation appliance and BioFlash chromatography column) along with missile and space systems heat transfer/thermal design and development (heat pipe manifold design currently in orbit on the Space Station). This experience also includes ideation through commercialization of new and innovative concepts in the context of pragmatic documentation of DFRC, DFM/A, DFS and MCBF services to rigorous FDA, ISO, MDD, IVDD and EU requirements for Fortune 500 and venture funded firms. Mr. Lancaster's expertise more recently involved the conjugate flow/thermal problems (CFD) in next generation AV/telecommunication and Internet servers, John Deere Commercial mowers, Gilbarco fuel delivery systems and passenger train brake systems. Patents and Publications US Patent 6,171,486 "Liquid Chromatography Column" and European Patent "Chromatography Media Packing System", 08/970,286. Lancaster, V. R. & Modlin, D. N., Flow Cells for Bioanalytical and Bioprocess Applications with Optimized Dynamic Response and Flow Characteristics, ASME Fluids Division Summer meeting, June 1994.

[ACV_vlancaster_82215.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Retired Engineer

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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VICTOR LANCASTER

1904 White Plains Rd.,
Chapel Hill, NC 27517

vrlan@aol.com

Cell 919-441-2382
Office: 919-903-8404

PROFESSIONAL EXPERIENCE

GLG Councils, Gerson Lehrman Group, NY, NY

Engineering Consultant

2007 - Present

- Providing as needed part time design/consulting services via the internet to several venture fund advisors seeking to invest in emerging medical device companies and technologies. Design services utilize SolidWorks and Pro/Engineer design tools for polymer and metallic parts.

TecTran Brake/CES, Burlington, NC

Mechanical Design Engineer

6/2014 – 9/2015

- Mechanical Design Engineer responsible for creating and developing part and assembly models and drawings/illustrations (300+) using CREO 3.0 producing part, service and maintenance manuals for Siemens/Portland passenger train brake system.
- Designed, developed and outsourced build of Siemens/Calgary passenger train brake systems' bushing assembly tools and fixtures to ANSI B4.1, B4.2, GD&T, and ASME Y14.5. Also, designed track brake shock and vibration fixture for IEC-61373 shock and vibration testing.
- Calculated Belleville washer preload force for determining VDI 2230 bolt torques to retract brake pads.
- Developed initial dual piston hydraulic caliper concept and layout for newest Siemens/Calgary passenger train brake.

Gilbarco, Inc./Aerotek, Greensboro, NC

Design Specialist 3/2013 – 7/2013

- Mechanical Engineer responsible for design changes of electro-mechanical fuel dispensing products and design verification/validation of Pro/E models, part and assembly drawings using GD&T, PTC CREO 2.0 with Windchill 10.1/PDMLink . Work includes direction and organization of new part design, SLA/3D printing or machined prototyping of electro-mechanical subassemblies, redesign of injection molded and sheet metal parts and planning and initiation of design reviews and DFMEA reviews with multiple discipline teams.

John Deere/Entegee, Fuquay Varina, NC

Mechanical Design Engineer

7/2012 - 8/2012

- Mechanical Engineer responsible for project management of electro-mechanical ruggedized commercial mower attachment kits and design verification of Pro/E models, part and large (5000 parts) assembly models and drawings using Pro/E WF 4 with Windchill/INTRALINK 9.1. Work included BOM verification of label kits for worldwide customers, placement of labels in Pro/E assembly models while working with multiple departments.

Meggitt Training Systems/HCLA, Cary, NC

Mechanical Design Consultant

4/2011 - 4/2012

- Lead Mechanical Engineer for BATUS SAT, SIT, MAT and MIT automated electro-mechanical ruggedized outdoor live fire targeting products for military customers. Responsible for project milestones to complete Pro/E models, part and assembly drawings of precision welded sheet metal and machined components for demonstration and production units using Pro/E CREO 1, WF 5 with Windchill/INTRALINK 9.1. I provided structural/dynamic analysis of crash stop safety subassembly for MAT vehicle. I created Pro/E models of SA 80 electro-mechanical thermal sight system and laser light module. Work included ideation of solutions to design problems to accommodate new vendor capabilities. ITAR certified.

Porticos/A Prime Solutions, Morrisville, NC

Design Engineer

1/2011 - 3/2011

- Completed preliminary CFD conjugate fluid/thermal finite element analysis on DOE funded residential electro-mechanical dryer using CFdesign 2011 version and SolidWorks 2010. Analysis indicated unique design to be plausible and capable of exchanging vacuum generated waste heat into heat for drying clothing.

Montie Design, Morrisville, NC

CFD Consultant

5/2010 - 12/2010

- Performed DFM/DFA analysis, MCBF evaluation and analysis and BS/EN/IEC 60601, ISO 14971, and FDA 21 CFR part 11 assessments of the Intuity glucometer precision polymer gear mechanism, a class II medical device, for Buhler Motors.
- Completed CFD conjugate fluid/thermal analysis on Extreme networks electro-mechanical audio/video server, BlackDiamond 8X (25 Ghz) using SolidWorks 2011 and CFdesign 2011 demonstrating compliance to NEBS GR-63-CORE, ETS 300-019, GD&T and MRD requirements.

IBM/CTG - Research Triangle Park, NC**Design Engineer**

8/2007-10/2007

- Completed design and performed fit checks on injection molded polymer and sheet metal components, from an Engineer who left unexpectedly, using Pro/E Wildfire 3.0 and Mathcad for IBM 1U and 2U next generation blade e-servers. Deflection and force analysis on polymer components was also performed.

SUNTECH MEDICAL INC./NDSL - Morrisville, NC**Product Engineer**

2005-2007

- Directed a 4-8 person cross functional product development team to complete design and successfully transfer to production the Cycle electro-mechanical blood pressure monitor. This work included Phase 5 review, FDA accepted 510K submission, CE/UL/CSA/TUV & CB certification to class II medical device, for ergometer applications to BS/EN/IEC 60601, ISO 9001, ISO 13485, ISO 14971, MDD, FDA 21 CFR 820 and ISO 9919 standards. The Phase 5 review included review and release of electrical/electronic schematics, flow diagrams and part and assembly drawings along with design history, technical information files and completion of performance tests to EN 1060-1 &-3 and AAMI SP-10: 2002.
- Directed the development of the redesign of the Oscar 2 blood pressure monitor intended for 24 hours of patient wear. The redesign included wireless transmission of BP measurements root cause analysis changes.

BD BIOSCIENCES – San Jose, CA**Project Engineer/Manager**

1998–2005

- Directed 8-12 person engineering/plastics/SW/FW engineering team to design, development and transfer to production a new product, the FACS Lyse Wash Assistant™ (LWA), an automated IVDD clinical blood lyse dispense/cell wash electro-mechanical instrument which used DOE optimized vertical centrifugation to separate white blood cells from whole blood and in compliance with 21CFR 820.
- Successfully obtained CE/UL/CSA/TUV CB certification of the IVDD SP-1™, European built clinical automated aliquot electro-mechanical instrument and LWA instrument using BS/EN/IEC 60601, ISO 9001, ISO 13485, ISO 14971.
- Scheduled, conducted and documented peer design reviews (FMEA, DFS & DFM), hazards and risks analysis, customer site visits and surveys in a multi-discipline matrix environment.

CORE COMPETENCIES

- Product design, development, documentation, production, performance, reliability, clinical and regulatory testing of IVDD and MDD medical devices and laboratory instruments from concept to commercialization.
- Proficient with CFXDesign 2011, SolidWorks 2004-2011, Pro/MECHANICA, Pro/ENGINEER CREO 3.0, WILDFIRE 5 (Introduction, Advanced Part, Assembly & Surfacing courses by RAND) Windchill 10.1, PDMLink, COSMOS, CAEDS, CATIA, AutoCAD, MS Office suite & Project, OpenOffice, SINDA, FLOWTHERM, TRASYS, Mathcad Prime, SAP, LOTUS NOTES, VISIO, Costpoint, Visual Basic, NI LabVIEW, Rational/Rational Rose, IssueView & VxWorks.

EDUCATION, PATENTS & PUBLICATIONS

- Master of Science, Mechanical Engineering, University of Santa Clara
- Bachelor of Science, Mechanical Engineering, San Jose State University
- Registered Professional Mechanical Engineer, M-20947, Certified Energy Auditor & Toastmaster. Liquid Chromatography Column, US patent 6,171,486.



Chromatography Media Packing System, 08/970.286.



APPLICATION FOR MEMBERSHIP ON ADVISORY BOARD, COMMISSION, Submit Date: Jul 01, 2018
COMMITTEE OR TASK FORCE

Profile

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

Susan

First Name

L

Middle Initial

Lyons

Last Name

susan.lyons@hemsleyfraser.com

Email Address

Unit 430

Street Address

140 West Franklin Street

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 932-6410

Primary Phone

Mobile: (919) 932-6416

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Board is your First Choice? *

☒ Community Design Commission

Which Boards would you like to apply for?

Chapel Hill Downtown Partnership: Eligible

Community Design Commission: Eligible

Question applies to Chapel Hill Downtown Partnership

Select a Seat Category for the Chapel Hill Downtown Partnership *

☒ Chapel Hill Downtown Property Owner

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission *

☒ Chapel Hill Resident

How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Internet

If you chose "Other" from the advertising opportunity listed above, please specify specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have lived in Chapel Hill this time since 1993. For 16 years I lived in the Rocky Ridge Farm National Register District. Prior to that we lived in Stoneridge and before that at Sharon Heights Apartments. I bring a broad perspective as a citizen with focus on historic preservation and town history. I am interested in creating a community that maintains its unique character and unique look and feel that makes this such a wonderful community. At the same time, we need to carefully consider how to grow this community and still maintain that character. This is a challenging situation but one that is essential. It's about buildings, space, trees, preservation, and growth. Every single element helps us sustain some of our town character and still move forward. I am particularly interested in maintaining community spaces that are vibrant and exciting downtown as well as around town and still ensure that we maintain plantings, trees and space that and other elements that provide a special look and feel to this community.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

As a consultant, I spent five years facilitating design/build planning meetings for towns, NC State transportation projects, Army Corps of Engineers and other building projects throughout NC and the East Coast. Former President of Preservation Chapel Hill Former President of Chapel Hill Historical Society 16 years living at 400 Laurel Hill Road Our decision to move to 140 West is based in our belief that we need a vibrant downtown In my current work, I head US Operations for a small global learning and development firm. My work has provided me the opportunity to spend time in many locations across US and in UK. Those experiences also fuel my interest in how we shape the look and feel of our community as we move forward.

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Director, US Operations,
Hemsley Fraser Group

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.” Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, applications should be submitted prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

Megan

First Name

Patnaik

Last Name

megan@ellencassillyarchitect.com

Email Address

617 Shady Lawn Rd

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (919) 699-8484

Primary Phone

Home:

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Board is your First Choice? *

☒ Community Design Commission**Which Boards would you like to apply for?**

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission *

☒ Chapel Hill Resident

How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I moved to Chapel Hill a year ago as I fell in love with a rustic mid century modern home designed by mid century designer Harriet Gordon. I have always been drawn to Chapel Hill's rich history in the built environment that meshes the historic with modern, which shares a commonality of well designed and crafted architecture that responds to the hilly wooded landscape. I have a passion for design and how it shapes our community. The foundation of my perspective is rooted in working with various commercial, non-profit, and residential clients who have shaped their own community in Durham, Chapel Hill, Raleigh, and Greensboro. My experience has allowed me to understand what draws individuals and groups to design and build in the Triangle.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have over ten years of a diverse architectural experience ranging from residential design, construction management, commercial interior design, and community based design. I work for a Durham based architectural firm Ellen Cassilly Architect whose work focuses in residential and commercial architecture in both Durham and Chapel Hill. The work that our firm has produced has helped to reshape Durham's landscape. I was able to explore my interest in community based design while studying for my masters in architecture at North Carolina State University. I worked with a Raleigh based non-profit who built work force housing neighborhoods in downtown Raleigh. Today I continue to work with non-profit organizations with several of my projects at Ellen Cassilly Architect. My passion for design has lead me to serve on a few advisory boards over the years. Spent time on the advisory council for George Smart's North Carolina Modernist House initiative as well as served as the advisory board chair for the interior architecture program at the University of North Carolina in Greensboro where I received my undergraduate degree. For my digital resume you can visit: <http://meganpatnaik.com/aboutme/>

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Architectural Project Manager

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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☒ I Agree

Marcia

First Name

Vaughn

Last Name

Middle Initial

vaughnmarcia@gmail.com

Email Address

206 Somerset Drive

Street Address

206 Somerset Drive

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (336) 413-5303

Primary Phone

Home:

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Board is your First Choice? *

☒ Community Design Commission

Which Boards would you like to apply for?

Historic District Commission: Eligible

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission *

☒ Chapel Hill Resident

How did you find out about this opportunity? (select all that apply by holding down the shift key)

☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

My perspective is two-fold . . . that of a resident who spends a great deal of time out and about in Chapel Hill - with driving and involvement in schools, shopping, dining, attending church, attending UNC events; and professionally, as someone whose work requires me to travel throughout our community every day. As a Realtor, I'm an advocate for living in downtown Chapel Hill and want to see the lifestyle opportunities in that area be further developed and enhanced. I'm also a huge fan of UNC and believe town and gown relations require close attention and careful consideration. Regarding the historic district of Chapel Hill, I'm concerned as both Realtor and resident that we do all we can to maintain the integrity and design of our town's historic properties. In short, I'm a cheerleader for our community and would like to give back to this great town by helping to consider goals, planning, policies, research and the challenges facing related issues. I'm willing to do whatever is required of members of these commissions.

Question applies to Historic District Commission

Do you have special interest, experience, or education in history, architecture, archaeology, or related fields? If yes, please explain.

As a Realtor only, which involves me in discussions of architecture and design on a regular basis.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I'm a Real Estate Broker, licensed by the State of North Carolina's Real Estate Commission. I've served as a Board member, including in positions of leadership, for 5 nonprofit organizations. I have a Master's degree in Social Work.

[MV_Bio.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity

☒ Caucasian/Non-Hispanic

Gender

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Broker/Realtor®

Occupation

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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From Marcia Vaughn . . .

Here's how I came to understand the world of real estate and relocation . . .

I've moved from the North to the South, from a small town to a big city, from one college town to another, from being near family to being near none, and, doing so while purchasing new homes 10 different times! With several of those moves, my husband and I changed jobs, settled our children in new schools, located new doctors, made new friends, hunted for a new church, joined civic groups, identified shopping centers, found favorite restaurants, all of it hard work as we reached out to become part of our new community.

Here's what I know for sure . . .

Moving and especially relocation can be scary, exhausting and stressful, but most often it ultimately proves a fun, exciting and rewarding adventure that results in an individual, couple or family settling into a home and lifestyle that suits them well and improves their quality of life.

How I can help buyers . . .

By being a trustworthy advisor and confidante, and a tenacious advocate for your wants and needs. By working persistently on your behalf to find the home that's right for you while CAREFULLY hearing and heeding what you're telling me throughout the process.

How I can help sellers . . .

By working hard to earn your trust as you offer me the privilege of presenting your home to the real estate marketplace. My guiding principle is to work diligently to price and market your property in a manner designed to optimize the financial benefit to you while hearing and honoring what you tell me you need to feel respected and protected throughout the selling process.

Who I am . . .

I was a social worker (M.S.W.) for over two decades and enjoyed working with people in need because I was able to help them identify and utilize available resources for problem-solving. I use similar skills - researching, resourcing, outreach, clear communication - when working with real estate clients, albeit in a much brighter light. As a social worker, I co-authored a guidebook on international adoption, worked in that field in Kenya

and with orphanages around the globe. I've served as a board member, including in positions of leadership, for 5 non-profit organizations.

What's important to me personally?

My family! They're my everything, including the furry members – two big, constantly shedding golden retrievers. For fun, I'm a hobby musician and as a singer, I've swung the pendulum from singing backup for a pop singer to singing in the chorus of Piedmont Opera.