



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 18., **File #:** [23-0460], **Version:** 1

Meeting Date: 5/24/2023

Close the Legislative Hearing and Consider a Conditional Zoning Application for Barbee Chapel Apartments at 5101 Barbee Chapel Road.

Staff:

Britany Waddell, Director
Judy Johnson, Assistant Director
Tas Lagoo, Senior Planner

Department:

Planning

See Summary Report on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Tas Lagoo, Senior Planner

- a. Without objection, the revised report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and revised recommendation
- c. Presentation by the applicant
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to close the Legislative Hearing
- g. Motion to adopt the Resolutions of Consistency and Reasonableness with the Comprehensive Plan
- h. Motion to enact an Ordinance to rezone the property

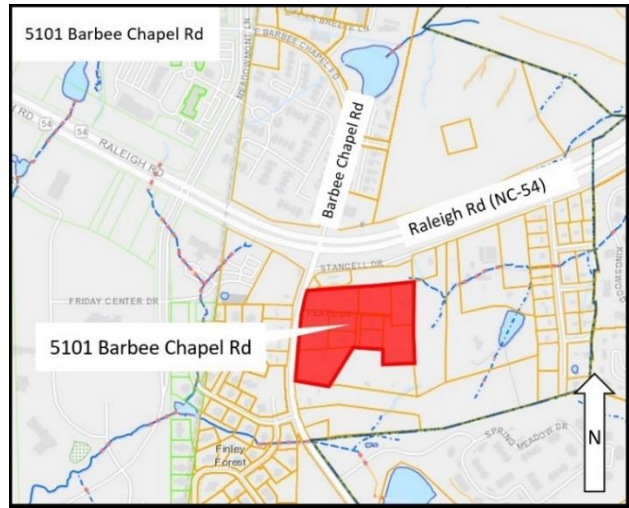
RECOMMENDATION: That the Council adopt Resolution A and enact Revised Ordinance A, approving the Conditional Zoning Application.



CLOSE THE LEGISLATIVE HEARING AND CONSIDER A CONDITIONAL ZONING APPLICATION FOR BARBEE CHAPEL APARTMENTS (PROJECT #CZD-22-3)

SUMMARY REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT
 Britany Waddell, Director
 Judy Johnson, Assistant Director
 Tas Lagoo, Senior Planner

PROPERTY ADDRESS	MEETING DATE	APPLICANT
5101 Barbee Chapel Road	May 24, 2023	McAdams on behalf of Toll Brothers Apartment Living (contract purchaser) and Don Pendergraft et. al. (property owners)
TOWN MANAGER'S RECOMMENDATION <p>That the Council 1) close the legislative hearing, 2) adopt the Resolution of Consistency and Reasonableness, and 3) enact the Ordinance approving the Conditional Zoning application.</p>		
UPDATES SINCE THE APRIL 19, 2023, LEGISLATIVE HEARING <p><u>Affordable Housing</u>: The applicant is proposing opportunities to offer rental units that are affordable at 60% AMI. <u>Parking</u>: The applicant is removing approximately 50 surface parking spaces. <u>Stormwater</u>: The applicant will design stormwater infrastructure that can accommodate a 50-year storm event.</p>		
ZONING <p><i>Existing</i>: Residential-2 (R-2) <i>Proposed</i>: Residential-6-Conditional Zoning District (R-6-CZD)</p>	PROJECT OVERVIEW <p>This proposal includes a multifamily development on approximately 10.5 acres of land consisting of:</p> <ul style="list-style-type: none"> 342 residential units (three buildings of multifamily flats and four buildings of townhomes) 23 - 31 affordable units 420,000 sq. ft. of floor area Parking in surface lots and townhome garages <p>The Transportation Impact Analysis describes necessary improvements for one limited access driveway and one full access driveway on Barbee Chapel Road.</p>	
PROCESS <p>Conditional Zoning is a legislative process that allows Town Council to review the rezoning application for consistency with Comprehensive Plan and establish standards that address impacts on surrounding properties.</p>	PROJECT LOCATION 	
DECISION POINTS <p><u>Modifications to Regulations</u>: The applicant is requesting modifications for the following:</p> <ul style="list-style-type: none"> Increase the maximum density; Increase the maximum floor area ratio; Increase the maximum setback and core building heights; Decrease the solar setback; Modify buffer widths and types. 		
ATTACHMENTS	<ol style="list-style-type: none"> 1. Technical Report & Project Fact Sheet 2. Draft Staff Presentation 3. Resolution A, Resolution of Consistency and Reasonableness 4. Revised Ordinance A (Approving the Application) 5. Resolution B (Denying the Application) 6. Modifications to Regulations (Applicant Request) and Narratives 7. Traffic Impact Analysis Executive Summary 8. Plan Set 9. Draft Applicant Presentation 	



TECHNICAL REPORT

UPDATES SINCE THE APRIL 19, 2023, LEGISLATIVE HEARING

Affordable Housing:

During the April 19, 2023, Legislative Hearing, Councilmembers expressed strong support for affordable housing. The applicant is proposing two alternatives to their original proposal which would both include rental units that are affordable at 60% Area Median Income (AMI):

- **Original Proposal:** 31 affordable units (10% of total market-rate units)
 - 16 units at 80% AMI and 15 units at 65% AMI
- **Alternative 1:** 30 affordable units (9.6% of total market-rate units)
 - 15 units at 80% AMI and 15 units at 60% AMI
- **Alternative 2:** 23 affordable units (7.2% of total market-rate units)
 - all units at 60% AMI

Staff Comment: The HAB's Guiding Principles for Affordable Housing in Rental Housing Development calls for 15% of units to be affordable to households earning 60% or less of AMI. When the HAB reviewed this project in December 2022, they unanimously approved the project with the condition that if only 10% of units were affordable, that those units reach deeper affordability levels (i.e., 60% or less AMI). The HAB also noted that if 15% of units were affordable an affordability mix at 65% and 80% AMI could be appropriate. Although the proposed alternatives do not meet the HAB's expectations regarding the percentage of affordable units, they are responsive to the HAB's expectation regarding units that are affordable at 60% AMI.

Revised Ordinance A currently reflects the original proposal but can be adjusted prior to approval in order to reflect Council's preference.

Parking:

The applicant has removed 49 surface parking spaces from their plans, thus reducing total parking from 495 spaces to 446 spaces. Several parking spaces from the central "Main Street" will be replaced with larger tree islands.

The revised parking configurations are reflected on page 2 (Sheet C2.00) of the applicant's site plans. An earlier iteration of the applicant's site plan is also included for reference.

Staff Comment: In general, the proposed reduction in parking spaces furthers Town goals of reducing automobile dependency and minimizing impervious surface. Changes to the parking configuration along the site's "Main Street" will also likely improve the pedestrian experience on the site. The revised total number of parking spaces falls approximately midway between the minimum and maximum parking requirements as defined in LUMO for this development. Staff therefore believes the amount of parking proposed is still adequate. This change has been included in Revised Ordinance A.

Stormwater Management:

The applicant will design stormwater infrastructure that can accommodate a 50-year storm event.

Staff Comment: The proposed stormwater design furthers Town goals of bolstering resiliency and minimizing impacts on waterways. This change has been included in Revised Ordinance A.

PROPOSED ZONING

The application proposes applying a Residential-6-Conditional Zoning District (R-6-CZD) to the project site.

The intent of Residential-6-Conditional Zoning District (R-6-CZD) is "to provide for residential development of appropriate intensities consonant with the suitability of land, availability of public services, accessibility to major activity centers and transportation systems, and compatibility with surrounding development." (Land Use Management Ordinance (LUMO) Section 3.3.9)

The applicant has submitted a Conditional Zoning application, which allows review of the development proposal in conjunction with the rezoning, and which allows site-specific standards to be applied as conditions through a legislative process.

Conditions are typically used to:

- Address conformance of the development with Town regulations and adopted plans.
- Modify use, intensity, and development standards to be more restrictive when addressing impacts reasonably expected to be generated by development.
- Modify intensity and development standards to be less restrictive when accommodating the applicant's proposed site plan (Modifications to Regulations).

SITE CONTEXT

Staff has identified the following physical and regulatory characteristics of the land which are relevant to consideration of a Zoning Atlas Amendment:

- The site consists of ten single-family lots and two private streets on approximately 10.5 acres.
- The site fronts on Barbee Chapel Road, a NCDOT-maintained collector road.
- The site is roughly a half-mile from the Friday Center and associated park & ride.
- The site is adjacent to the following zoning districts and uses:
 - North: Gas station and car wash in a Neighborhood Commercial (NC) Zoning District.
 - East and South: Several single-family homes and commercial properties in a Mixed-Use Village Conditional Zoning District (MU-V-CZD). All adjacent properties to the east and south are owned by NR Hillmont Property Owner LP and are subject to an active conditional zoning application for a multifamily and townhome development.
 - West: Several single-family homes in a Residential-2 (R-2) zoning district and the Finley Forest Condominiums in a Residential-4 (R-4) zoning district.
- The site contains no hydrological features. An intermittent stream is located off-site to the northeast.
- The site is in the Jordan Lake Watershed Protection District.

- The site is mostly flat.

PROPOSED MODIFICATIONS TO REGULATIONS

- 1) Section 3.8.2: Dimensional Regulations.** The applicant proposes modifications to the following dimensional regulations:

Dimensional Regulation	Required	Proposed
Maximum Density	15 dwelling units per acre	31 dwelling units per acre
Maximum Floor Area Ratio	0.303	0.840
Maximum Building Setback Height	39 feet	65 feet
Maximum Building Core Height	60 feet	65 feet
Minimum Solar Setback	8 feet	6 feet

Staff Comment: In general, it is preferable to propose zoning districts that have a defined intent that is consistent with the proposed development. Dimensional regulations can then be modified to allow development that is consistent with the guidance of the Future Land Use Map (FLUM). Town staff support the proposed modifications because the proposed residential development is consistent with the FLUM, but the LUMO does not include any residential zoning districts with dimensional regulations that fully implement the FLUM's guidance for this portion of the NC 54 Focus Area.

Staff has therefore advised the applicant to propose a residential zoning district and request modified dimensional regulations that will allow the proposed development to implement the FLUM. Additional justification is provided in the applicant's statement on Modifications to Regulations.

- 2) Section 5.6: Landscaping, screening, and buffering: Required buffers.** The table below shows the buffer required and proposed buffers for this development.

Location	Required	Proposed
North	Type C – 20 ft. Internal 4 large trees, 8 small trees, and 30 shrubs per 100 linear feet	6 ft. Modified Buffer 2 large trees, 2 small trees, and 40 shrubs per 100 linear feet
South	Type B – 10 ft. Internal 4 large trees, 7 small trees, and 12 shrubs per 100 linear feet	4 ft. – 10 ft. Modified Buffer 2 large trees, 2 small trees, and 40 shrubs per 100 linear feet
East	Type B – 10 ft. Internal 4 large trees, 7 small trees, and 12 shrubs per 100 linear feet	8 ft. – 10 ft. Modified Buffer 3 large trees, 4 small trees, and 40 shrubs per 100 linear feet
West	Type B – 15 ft. External 6 large trees, 8 small trees, and 15 shrubs per 100 linear feet	10 ft. – 15 ft. Modified Buffer 3 large trees, 6 small trees, and 50 shrubs per 100 linear feet

Staff Comment: Landscape buffers are intended to separate a proposed development from adjacent major streets and different adjacent land uses or zoning designations to

minimize potential nuisances like noise, dust, odor, litter, and glare of lights. Buffers are also intended to reduce the visual impact of unsightly aspects of adjacent development, provide for the separation of spaces, and to establish a sense of privacy.

Staff are supportive of these modifications because they will enable a more cohesive urban form and transition the anticipated development to the east and south of the project site while providing sufficient separation from uses to the north and west.

Additional justification is provided in the applicant's statement on Modifications to Regulations.

Council Findings and Public Purpose: The Council has the ability to modify the regulations according to Section 4.4.7 of the LUMO. Staff believes that the Council could modify the regulations if it makes a finding in this particular case that public purposes are satisfied to an equivalent or greater degree. If the Council chooses to deny a request for modifications to regulations, the developer's alternative is to revise the proposal to comply with the regulations.

CONSISTENCY WITH THE COMPREHENSIVE PLAN AND OTHER DOCUMENTS

North Carolina General Statute 160D-605 requires the Town Council to consider a statement of Plan consistency when reviewing any Zoning Atlas Amendment. Town staff has reviewed this application for compliance with the themes from the [2020 Comprehensive Plan](#)¹, the standards of the [Land Use Management Ordinance](#)², and the [Town of Chapel Hill, NC : Design Manual and Standard Details](#)³ and provides the following evaluation of consistency for the Barbee Chapel Apartments:

	Description of Plan Element	Staff Evaluation
Future Land Use Map (FLUM)	<ul style="list-style-type: none"> • Focus Area: NC 54, Sub-Area A • Designates the site for multi-story, mixed-use buildings with smaller multi-family buildings near residential frontages. • Encourages greater pedestrian and cyclist-friendly routes along tree-lined activated street frontages and discourages parking along streetscapes. • Encourages multimodal connections and cross-connectivity between sites to accommodate pedestrians, bicycles, and transit where appropriate. • Seeks mixed-income housing near transit, height and density transitions between new and existing development, and buffered 	<p>The proposed rezoning is generally consistent with the character envisioned by the FLUM as the proposal emphasizes providing multifamily residential.</p> <p>The applicant has proposed two apartment buildings along Barbee Chapel Road, locating most of the parking areas away from the road.</p> <p>The façade design of the new multifamily buildings will need to engage with the street and encourage activity along the street frontage to comply with the FLUM. The significant amount of surface parking surrounding the multifamily buildings may make it difficult to activate street frontages.</p>

¹ <http://www.townofchapelhill.org/home/showdocument?id=15001>

² https://www.municode.com/library/#!/nc/chapel_hill/codes/code_of_ordinances?nodeId=CO_APXALAUSMA

³ <http://www.townofchapelhill.org/town-hall/departments-services/public-works/engineering/design-manual-and-standard-details>

	protections between new development and lower intensity development and single-family neighborhoods.	Adding density to this area will support future transit stops and routes, along with pedestrian and bicycle travel.
Building Height	Up to 6 stories in Sub-Area A, each story measuring approximately 12 feet in height (About 72 ft. tall building)	Applicant proposes buildings measuring 3, 5, and 6 stories in height, with a maximum height of 65 ft.
Mobility And Connectivity	<ul style="list-style-type: none"> • A Bike/Ped Intersection Improvement is recommended at the intersection of NC 54 and Barbee Chapel Road • New multi-modal paths on both sides of NC 54 are emphasized. 	The application proposes a multi-modal path along its Barbee Chapel Road frontage that may extend north to NC 54 and connect with improvements proposed in the plan.
Climate Action and Response	<p>To reduce greenhouse gas (GHG) emissions and Vehicle Miles Traveled (VMT), the plan recommends:</p> <ul style="list-style-type: none"> • Walkable, bikeable, transit-served neighborhoods. • Higher density development and connectivity. • Better connectivity for all transportation modes. • Expanded transit availability and connectivity, wherever possible. 	<p>The site offers an opportunity for infill development next to an existing neighborhood, with access to transit stops within walking distance along NC 54 and at the Friday Center.</p> <p>The developer also proposes a new multi-modal path that could connect to future adjacent developments and multimodal routes along NC 54.</p>
Chapel Hill 2020 Goals	<p>Opportunities for this application to support goals of Chapel Hill 2020 include:</p> <ul style="list-style-type: none"> • Providing a range of housing options—apartments and townhouse rentals - for current and future residents (<i>A Place for Everyone.3</i>) • Promoting a safe, vibrant, and connected community by offering a segment of multimodal path (<i>Community Prosperity and Engagement.3</i>). Further, the site is within walking distance to existing bus stops at the Finley Forest Condominiums and Friday Center, as well as regional routes along NC 54 (<i>Getting Around.3</i>). Connections to existing transit lines as well the proposed multi-modal path supports a transportation system that accommodates transportation needs and demands while mitigating congestion and promoting air quality, sustainability, and energy conservation (<i>Getting Around.6</i>) • The project is adjacent to existing single- and multi-family development, contributing to a range of neighborhood types that addresses residential, commercial, social, and cultural needs and uses while building and evolving Chapel Hill's character for residents, visitors, and students (<i>Good Places New Spaces.5</i>). Further, the proposal provides higher density housing development that brings opportunity to strengthen the community, social equity, economic prosperity, and natural environment by providing a range of housing options for different income levels and life stages. (<i>Good Places New Spaces.8</i>). • The proposal seeks to reduce vehicular dependency by incorporating a multimodal path along its street frontage. When connected with future 	

	<p>development on adjacent properties this segment could provide residents greater pedestrian and bike access to destinations along NC 54. This supports the Parks Comprehensive Plan and the Greenways Master Plan by providing recreation opportunities and ensuring safe pedestrian and bicycle connections (<i>Nurturing Our Community.4</i>)</p> <ul style="list-style-type: none"> • The site offers access to the S and G routes that provide direct connections to UNC via transit. This supports the Town's goal of housing for Town, University, and the Health Care System employees that encourages them to reside in the community (<i>Town and Gown Collaboration.4</i>)
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REASONABLENESS OF THE ZONING ATLAS AMENDMENT

Reasonableness is determined by comparing the scale of permissible development under both the proposed and existing zoning, and by considering characteristics of the site and its surroundings. North Carolina General Statute 160D-605 requires the Town Council to consider a statement of reasonableness when reviewing any Zoning Atlas Amendment.

The factors listed below the applicant's proposed zoning district and overall proposed use program. Specific characteristics of the development proposal, compliance with regulations, and appropriate conditions to address potential impacts of the development are evaluated elsewhere.

Supporting Factors

- The proposed zoning is consistent with the Future Land Use Map character for the Focus Area, provided that zoning conditions are applied to ensure a compatible density.
- Rezoning to accommodate redevelopment may be considered reasonable.
- The proposed zoning allows only residential uses, which is consistent with other existing residential uses in the surrounding area.
- Provision of affordable housing in this location aligns with multiple themes of Chapel Hill 2020.
- The site is located within walking distance of the Friday Center and Meadowmont.
- Zoning conditions provide an opportunity to limit intensity and to establish standards that address any impacts on surrounding properties.

Other Considerations

- The proposed change in zoning district, including floor area proposed in the application, would allow roughly 9 times the amount of currently permissible development.
- The FLUM anticipates future transit service connecting existing development at Glen Lennox and Meadowmont as well as future transit-oriented, higher density development. Transit has not yet been improved along NC 54. This development proposes to increase the number of residents along this road and increase demand for transit.
- Further analysis and/or zoning conditions may be needed to determine whether adequate pedestrian connectivity, vehicular access, and transit service are in place to support the proposed zoning.

FINDINGS OF FACT

Staff provides the following evaluation of the application under the three Findings of Fact identified in LUMO Section 4.4. LUMO states that the Zoning Atlas shall not be amended unless at least one of the Findings are made.

FINDING #1: The proposed zoning amendment is necessary to correct a manifest error.	
Arguments	To date, no arguments in support or in opposition have been submitted or identified by staff.
Staff Evaluation	There appears to be no manifest error in the Town's Zoning Atlas.
FINDING #2: The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.	
Arguments	<p>Staff notes that the adjacent property is under consideration for a multi-family housing development.</p> <p>To date, no arguments in opposition have been submitted or identified by staff.</p>
Staff Evaluation	The Council could make the finding that the proposed zoning amendment is necessary because of changing conditions along the NC 54 corridor.
FINDING #3: The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.	
Arguments	<p>Staff notes that the Conditional Zoning application could contribute to the purposes of the Comprehensive Plan through the following:</p> <ul style="list-style-type: none"> • Promoting the Focus Area Character for the NC 54 Focus Area as described in the Future Land Use Map. • Facilitating development that implements FLUM guidance for use and height in the Focus Area. • Supporting goals of Chapel Hill 2020 including <i>A Place for Everyone, Community Prosperity and Engagement, Getting Around, Good Places-New Spaces, Getting Around, and Town & Gown Collaboration.</i> <p>To date, no arguments in opposition have been submitted or identified by staff.</p>
Staff Evaluation	The Council could make the finding that the proposed zoning amendment is necessary to achieve the purposes of the Comprehensive Plan.

Further information may be presented for the Council's consideration as part of the legislative hearing process. All information submitted at the legislative hearing will be included in the record of the hearing.








PROJECT FACT SHEET



Project Details

Site Description	
Project Name	Barbee Chapel Apartments
Address	5101 Barbee Chapel Road
Property Size (NLA)	455,841 sq. ft. (10.5 acres)
Gross Land Area (GLA)	501,425 sq. ft. (11.5 acres)
Durham County Parcel Identifier Numbers	9798-72-75-8083; 9798-72-95-9660; 9798-72-97-2169; 9798-82-25-0578; 9798-82-27-2292; 9798-82-34-8161; 9798-82-46-2809; 9798-72-82-2595; 9798-82-24-0401; 9798-72-94-8347; and 9798-82-15-1550
Existing Zoning	Residential-2 (R-2)
Proposed Zoning	Residential-6 CZD (R-6-CZD)


Site Development Standards

Topic	Comment	Status
Development Intensity		
Use (Sec. 3.7)	Multifamily dwelling units, over 7 units; Single-family dwelling units (townhomes)	✓
Inclusionary Zoning Ordinance (Sec. 3.10)	Voluntary – Rental housing proposed <i>Alternative 1:</i> 31 affordable apartments (16 @ 80% AMI and 15 @ 65% AMI) <i>Alternative 2:</i> 30 affordable apartments (15 @ 80% AMI and 15 @ 60% AMI) <i>Alternative 3:</i> 23 affordable apartments (all @ 60% AMI)	NA
Density (Sec. 3.8)	<i>Permitted:</i> 15 units per acre maximum <i>Proposed:</i> 31 units per acre	M
Dimensional Standards (Sec. 3.8)	<i>Setback height:</i> 39 ft. maximum <i>Proposed:</i> 65 ft. maximum <i>Core height:</i> 60 ft. maximum <i>Proposed:</i> 65 ft. maximum <i>Setbacks:</i> 8 ft. solar, 20 ft. street, 6 ft. interior – all minimums <i>Proposed:</i> 6 ft. solar, other setbacks comply	M
Floor area (Sec. 3.8)	<i>Maximum allowed:</i> 151,931 sq. ft. <i>Proposed:</i> 420,000 sq. ft.	M
Landscape		
Buffers (Sec. 5.6.2)	<u>Adjacent Use/Zoning</u>	<u>Required</u>
	<u>Proposed</u>	
	North	Gas station; car wash
		20 ft. Type C
		6 ft. Modified
		M

	South	Single Family	10 ft. Type B	4 ft. - 10 ft. Modified	
	East	Single Family	10 ft. Type B	8 ft. - 10 ft. Modified	
	West	Barbee Chapel Road	15 ft. Type B	10 ft. - 15 ft. Modified	
Tree Canopy (Sec. 5.7)	Minimum required: 114,025 sq. ft. (30% of NLA) Proposed: Application will comply				FP
Parking Landscape Standards (Sec. 5.9.6)	Final Plans application must comply				FP
Environment					
RCD Dimensional Standards (Sec. 3.6.3)	Impervious surfaces: Required: 10% of Stream Side zone area, maximum Proposed: None Land disturbance: Required: 20% of Stream side zone area, maximum Proposed: Stream Side Zone: 3,500 sq. ft. (<20%)				
Erosion Control (Sec. 5.3.1)	Orange County Erosion Control permit required				FP
Steep Slopes Land Disturbance (Sec. 5.3.2)	No steep slopes land disturbance proposed				
Stormwater Management (Sec. 5.4)	Meet or exceed LUMO standards				FP
Land Disturbance	Proposed: 480,000 sq. ft.				
Impervious Surface	Existing: 1.69 acres (14.7%) Maximum allowed: 8.06 acres (70%) Proposed: 8.06 acres (70%)				
Solid Waste & Recycling (Sec. 5.13)	Application must comply				FP
Jordan Riparian Buffer (Sec. 5.18)	Application must comply				FP
Access & Circulation					
Traffic Impact Analysis (Sec. 5.8)	TIA completed				
Road Improvements (Sec. 5.8)	The developer proposes improvements to Barbee Chapel Road to accommodate additional vehicular access points.				FP
Vehicular Access (Sec. 5.8)	Two vehicular access points are proposed along Barbee Chapel Road: <ul style="list-style-type: none">The northern access point will be limited to right-in/right-out traffic.The southern access point will be full-access.				FP

	Several stub-outs on the site will facilitate future connections to adjacent development to the east and south.	
Bicycle and Pedestrian Improvements (Sec. 5.8)	The developer proposes a multi-modal trail along Barbee Chapel Road.	
Transit Improvements (Sec. 5.8)	None requested	NA
Off-street Vehicular Parking (Sec. 5.9)	<i>Minimum required:</i> 408 spaces <i>Maximum allowed:</i> 513 spaces <i>Total Proposed:</i> 446 spaces <ul style="list-style-type: none"> • Surface Parking: 406 spaces • Covered Garages: 16 spaces • Townhouse Garages: 24 spaces 	
Bicycle Parking (Sec. 5.9)	<i>Minimum required:</i> 88 spaces <i>Proposed:</i> Application must comply	FP
Electric Vehicle Parking	The developer proposes EV chargers to serve at least 5% of surface parking spaces. All townhome garages will include 220-volt outlets.	C
Parking Design Standards (Sec. 5.9)	Application must comply	FP
Loading (Sec 5.9)	Application must comply	FP
Technical		
Fire	Built to Town Standards	FP
Recreation Area (Sec. 5.5)	<i>Minimum required:</i> 25,071 sq. ft. <i>Proposed:</i> 25,750 sq. ft. on-site and potential off-site extension of multiuse path. A payment based on 25% of the required recreation space will be provided if the off-site multiuse path or Barbee Chapel sidewalk extension are not constructed.	C
Lighting Plan (Sec. 5.11)	Built to Town Standards; not to exceed 0.3 footcandles at property line	FP
Signage (Sec. 5.14)	Built to Town Standards	FP
Schools Adequate Public Facilities (Sec. 5.16)	Application must comply	FP

Project Summary Legend

Symbol	Meaning
	Meets Requirements

M	Seeking Modification
C	Requires Council Endorsement
FP	Required at Final Plans
NA	Not Applicable



CONDITIONAL ZONING

May 24, 2023

Barbee Chapel Apartments

5101 Barbee Chapel Road,
Chapel Hill, NC 27517



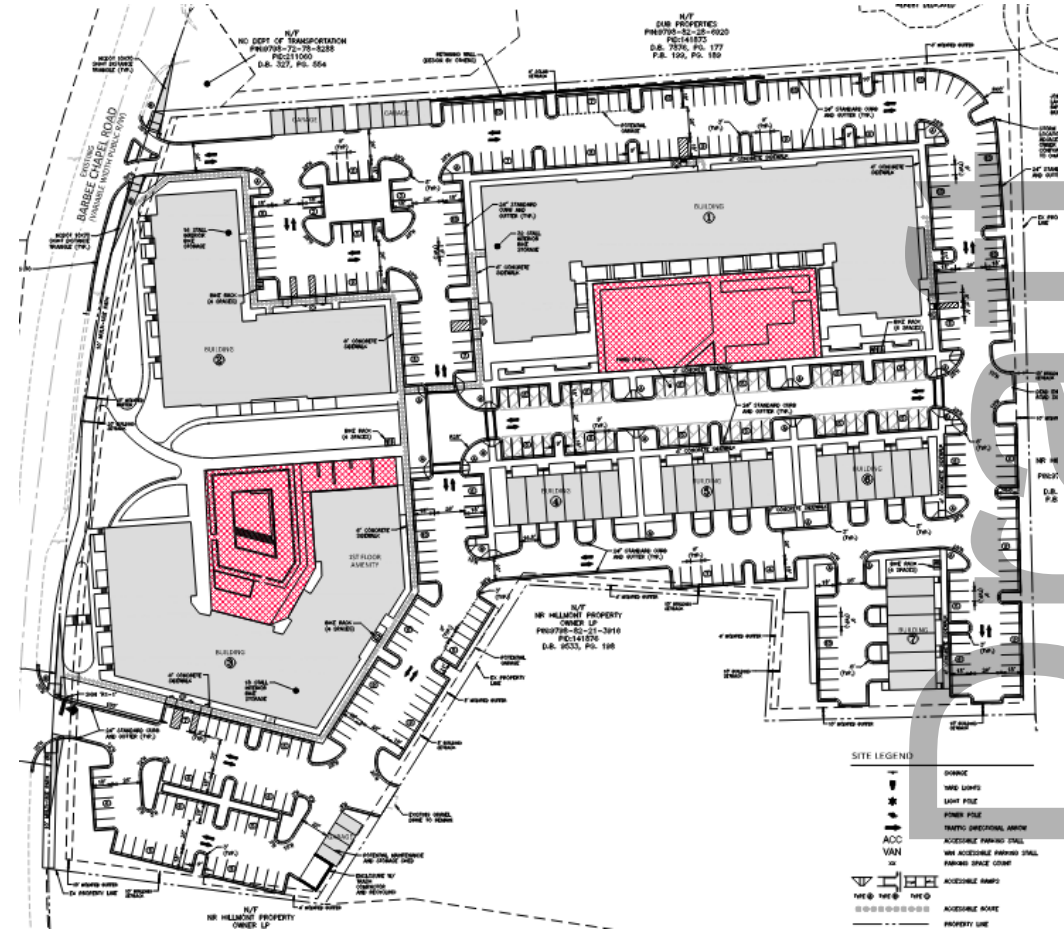


RECOMMENDATION

Close the Legislative Hearing

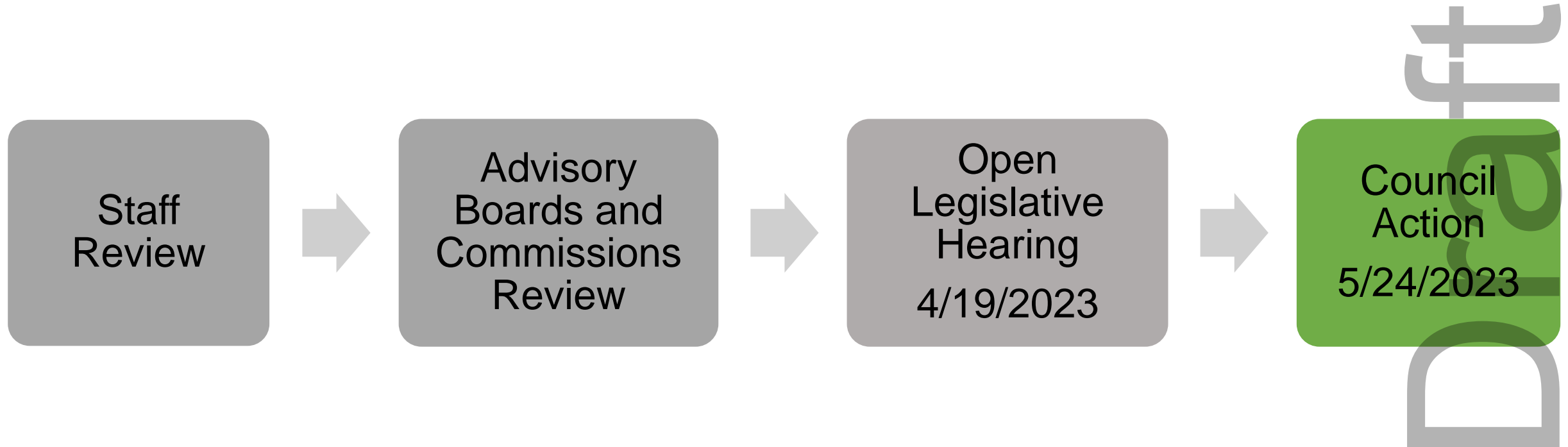
Adopt the Resolution of
Consistency and Reasonableness
(R-#)

Enact an Ordinance approving the
Conditional Zoning Atlas
Amendment (O-#)





PROCESS





UPDATES SINCE APRIL 19⁵²⁷

Affordable Housing: The applicant is proposing options to offer rental units that are affordable at 60% AMI.

- 30 units (15 @ 60% AMI and 15 @ 80% AMI)
- 23 units (all @ 60% AMI)

Parking: The applicant is removing 49 surface parking spaces.

Stormwater: The applicant will design stormwater infrastructure that can accommodate a 50-year storm event.

draft



Modification to Regulations

528

Section 3.8.2 - Dimensional Regulations

Dimensional Regulation	Required	Proposed
Maximum Density	15 dwelling units per acre	31 dwelling units per acre
Maximum Floor Area Ratio	0.303	0.840
Maximum Building Setback Height	39 feet	65 feet
Maximum Building Core Height	60 feet	65 feet
Minimum Solar Setback	8 feet	6 feet



Modification to Regulations

529

Section 5.6: Required Buffers

Location	Required	Proposed
North	Type C – 20 ft. Internal	6 ft. Modified Buffer
South	Type B – 10 ft. Internal	4 ft. – 10 ft. Modified Buffer
East	Type B – 10 ft. Internal	8 ft. – 10 ft. Modified Buffer
West	Type B – 15 ft. External	10 ft. – 15 ft. Modified Buffer

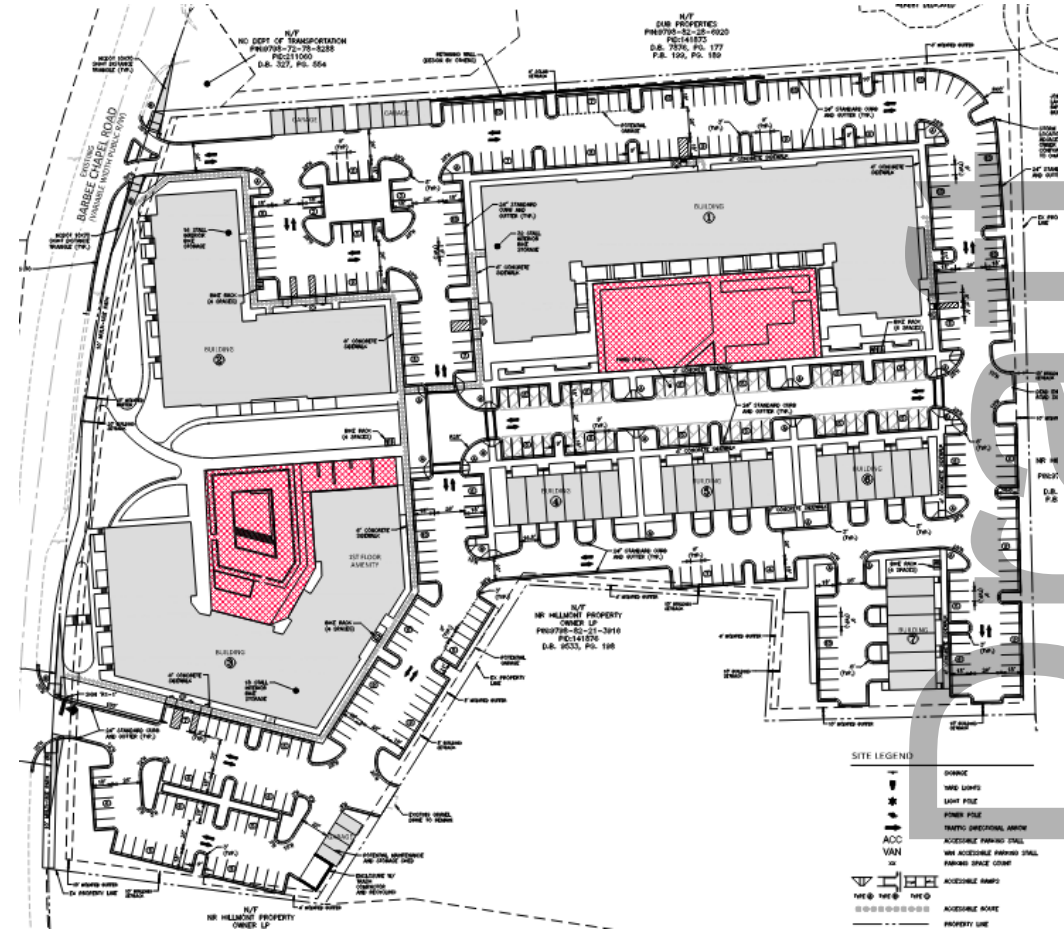


RECOMMENDATION

Close the Legislative Hearing

Adopt the Resolution of
Consistency and Reasonableness
(R-#)

Enact an Ordinance approving the
Conditional Zoning Atlas
Amendment (O-#)



RESOLUTION A
Resolution of Consistency and Reasonableness

A RESOLUTION REGARDING THE REASONABLENESS AND CONSISTENCY WITH THE COMPREHENSIVE PLAN OF AN APPLICATION FOR A CONDITIONAL ZONING ATLAS AMENDMENT FOR THE BARBEE CHAPEL APARTMENTS TO RESIDENTIAL-6-CONDITIONAL ZONING DISTRICT (R-6-CZD) (2023-05-24/R-15)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning submitted by McAdams, on behalf of contract purchaser Toll Brothers Apartment Living and property owners Don W Pendergraft, Frank Herlant, Stephen D Pendergraft, Sandy L Pendergraft, Square Wheel Ventures LLC, Quentin Todd Krantz, Donna Roberson Sayers, Roderick Lane Roberson, and Elmdale and Pearl Lane LLC, to rezone a 10.46-acre collection of parcels located at 5101 Barbee Chapel Drive on property identified as Durham County Property Identifier Numbers 9798-72-75-8083; 9798-72-95-9660; 9798-72-97-2169; 9798-82-25-0578; 9798-82-27-2292; 9798-82-34-8161; 9798-82-46-2809; 9798-72-82-2595; 9798-82-24-0401; 9798-72-94-8347; and 9798-82-15-1550, to allow a multifamily and townhome development; and

WHEREAS, the Council finds that the amendment, if enacted, is consistent with the Town's Comprehensive Plan, as explained by, but not limited to, the following elements of the Comprehensive Plan:

- Promoting the Focus Area Character for the NC-54 Focus Area as described in the Future Land Use Map (FLUM).
- Facilitating development that implements FLUM guidance for Character Types in the Focus Area.
- Contributing to a range of housing options for current and future residents, which aligns with the theme of *A Place for Everyone*.
- Locating housing within walking distance of public transit routes and multiuse paths. The location offers multimodal access to employment, education, services, and shopping, and aligns with the theme of *Getting Around*.
- Providing safe pedestrian and bicycle connections which aligns with the theme of *Nurturing Our Community*.
- Opportunities for new housing that expand the range of neighborhood types, evolve Chapel Hill's character for residents, and shapes land use in a way that strengthens community and protects the natural environment. These elements align with the theme of *Good Places New Spaces*.

WHEREAS, the Council finds that the amendment if enacted, is reasonable and in the public's interest, as explained by, but not limited to, the following considerations:

- The proposed zoning is compatible with the zoning of adjacent sites (Residential-2 (R-2), Residential-4 (R-4), Mixed Use-Village (MU-V), and Neighborhood Commercial (NC).
- Additional development activity is anticipated in the surrounding area, including other housing types. The uses allowed under the proposed zoning are compatible with existing residential uses in the surrounding area.
- The surrounding road network, pedestrian and bicycle facilities (existing and planned) and transit service (existing and planned) indicate a transportation network that supports medium-to-high density residential development.

- The proposed zoning is consistent with the Future Land Use Map character for the Focus Area, and with the list of appropriate uses.
- Zoning conditions provide an opportunity to establish standards that address impacts on surrounding properties.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed Conditional Zoning Atlas Amendment to be reasonable and consistent with the Town Comprehensive Plan.

This the 24th day of May 2023.

REVISED ORDINANCE A

(Approving the Conditional Zoning Application)

AN ORDINANCE AMENDING THE CHAPEL HILL ZONING ATLAS TO REZONE THE BARBEE CHAPEL APARTMENTS TO RESIDENTIAL-6-CONDITIONAL ZONING DISTRICT (R-6-CZD) (PROJECT CZD-22-3) (2023-05-24/O-3)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning submitted by McAdams, on behalf of contract purchaser Toll Brothers Apartment Living and owners Don W Pendergraft, Frank Herlant, Stephen D Pendergraft, Sandy L Pendergraft, Square Wheel Ventures LLC, Quentin Todd Krantz, Donna Roberson Sayers, Roderick Lane Roberson, and Elmdale and Pearl Lane LLC to rezone a 10.46-acre collection of parcels located at 5101 Barbee Chapel Road on properties identified as Durham County Property Identifier Number 9798-72-75-8083; 9798-72-95-9660; 9798-72-97-2169; 9798-82-25-0578; 9798-82-27-2292; 9798-82-34-8161; 9798-82-46-2809; 9798-72-82-2595; 9798-82-24-0401; 9798-72-94-8347; and 9798-82-15-1550 to Residential-6-Conditional Zoning District (R-6-CZD), to allow a multifamily and townhome development and finds that the amendment to the Zoning Atlas is:

- Consistent with the Town's Comprehensive Plan, per NCGS 160D-605;
- Reasonable and in the public's interest, per NCGS 160D-605; and
- Warranted because of changing conditions and warranted to achieve the purposes of the Comprehensive Plan, per LUMO 4.4

WHEREAS, the application, if rezoned according to the district-specific plan dated May 18, 2023, and the conditions listed below would, per LUMO 4.4.3(f):

- 1) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- 2) Conform with the Comprehensive Plan
- 3) Be compatible with adjoining uses
- 4) Mitigate impacts on surrounding properties and the Town as a whole
- 5) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- 6) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

MODIFICATIONS TO REGULATIONS

WHEREAS, the Council of the Town of Chapel Hill finds, in this particular case, that the proposed development with the following requested modification to regulations satisfies public purposes to an equivalent or greater degree:

- 1) Section 3.8.2 Dimensional Regulations - Density:** Increase the maximum allowable residential density from 15 dwelling units per acre to 31 dwelling units per acre (31 du/ac).

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the proposed density is consistent with the Town's Future Land Use Map.

- 2) Section 3.8.2 Dimensional Regulations – Floor Area Ratio:** Increase the maximum allowable floor area ratio from 0.303 to 0.840.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the proposed floor area ratio enables development that is consistent with the Town's Future Land Use Map.

- 3) Section 3.8.2 Dimensional Regulations – Building Height:** Increase the maximum setback height from 39 ft. to 65 ft.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the proposed setback height enables development that is consistent with the Town's Future Land Use Map.

- 4) Section 3.8.2 Dimensional Regulations – Building Height:** Increase the maximum core height from 60 ft. to 65 ft.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the proposed core height enables development that is consistent with the Town's Future Land Use Map.

- 5) Section 3.8.2 Dimensional Regulations – Setback:** Decrease the solar setback from 8 ft. to 6 ft.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the proposed modification allows for more productive use of the project site and results in only minimal encroachments into the regulatory setback.

- 6) Section 5.6.6 Schedule of Required Buffers:** Modify the buffer width and planting requirements as shown below:

Buffer	Width and Plantings
North	6 ft. Modified Buffer 2 large trees, 2 small trees, and 40 shrubs per 100 linear feet
South	4 ft. – 10 ft. Modified Buffer 2 large trees, 2 small trees, and 40 shrubs per 100 linear feet
East	8 ft. – 10 ft. Modified Buffer 3 large trees, 4 small trees, and 40 shrubs per 100 linear feet
West	10 ft. – 15 ft. Modified Buffer 3 large trees, 6 small trees, and 50 shrubs per 100 linear feet

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the modified buffers will provide an adequate level of separation and privacy while also enabling a streetscape and development pattern that is consistent with the Town's Future Land Use Map.

CONDITIONAL ZONING DISTRICT

NOW, THEREFORE, BE IT ORDAINED by the Council of the Town of Chapel Hill that the Council finds, in this particular case, the proposed rezoning, subject to the conditions below, satisfies the purposes of Residential-6-Conditional Zoning District (R-6-CZD).

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the Chapel Hill Zoning Atlas be amended as follows:

SECTION I

The following parcels, identified by Durham County Property Identifier Numbers 9798-72-75-8083; 9798-72-95-9660; 9798-72-97-2169; 9798-82-25-0578; 9798-82-27-2292; 9798-82-34-8161; 9798-82-46-2809; 9798-72-82-2595; 9798-82-24-0401; 9798-72-94-8347; and 9798-82-15-1550, and described below, shall be rezoned to Residential-6-Conditional Zoning District (R-6-CZD):

BEGINNING at an iron stake in the eastern property line of Barbee Chapel Road at the northwest corner of Elmer Pendergraft' as shown on plat hereinafter referred to, and running thence with his line North 87 degrees East 200 feet to an iron stake; thence North 5 degrees East 288 feet to an iron stake; thence north 86 degrees West 200 feet to Barbee Chapel Road; thence with said street South 5 degrees West 290 feet to the beginning as shown on the plat of property of Dallas H. Roberson and wife, recorded in Plat Book 35 at Page 34, to which plat reference is hereby expressly made for a more particular description of same. Reference is expressly made to Deed Book 235, at Page 279, and to Deed Book 169, at page 176.

BEGINNING at an iron stake in the east property line of the said road, which point is 30 feet from the center line thereof and in Dallas H. Roberson's line; running thence with said Roberson's and Pearl Sparrow's line North 87 degrees East 400 feet to a stake and pointers; running thence South 32 degrees West 332 feet to an iron stake, Murray Sparrow's corner; running thence with the said Sparrow's line North 80 degrees West 240 feet to an iron stake in the east property line of the said road 30 feet from the center line thereof; running thence along the east property line of the said road North 3 degrees East 224 feet to the beginning, containing 2 acres, more or less.

BEGINNING at a stake in the line of the property of Elmer O. Pendergraft and wife, Dallas Roberson's southeast corner; running thence with the said Roberson line North 5 degrees East 132 feet to an iron stake and North 87 degrees East 200 feet to an iron stake; running thence a new line South 5 degrees West 132 feet to an stake; thence South 87 degrees West 17 feet to a steak, the northeast corner of property of Elmer O. Pendergraft and wife, running thence with their line South 87 degrees West 183 feet to the beginning, as per plat by F.M. Carlisle, recorded in Plat Book Page Durham County Registry. See Deed Bok 135, at Page 238. See Deed Book 210, at Page 323, Office of Register of Deeds of Durham County, for location of property lines and corners of Elmer O. Pendergraft and wife, referred to herein.

BEGINNING at a stake the Northeast corner of other property of Dallas Roberson which beginning point is 8 feet South of a 30 foot road and 200 feet East of Barbee's Chapel Road; running thence North 87 degrees East 200 feet to a stake in the line of Pearl Sparrow (which stake is South 182 feet from the DuBose); running thence with the Pearl Sparrow line South 5 degrees 0 minutes West 118 feet to an iron the Northeast corner of Elmer Pendergraft; running thence with his line South 87 degrees West 200 feet to an iron in the line of Dallas Roberson; running thence with his line North 5 degrees East 118 feet to the

BEGINNING, being part of the land conveyed to Dallas Roberson and wife by deed recorded in Book 235, Page 279.

BEGINNING at a stake on the east side of said Barbee Chapel Road, sometimes known as the Old Chapel Hill to Raleigh Road or the C.C. Camp Road, said beginning point being the southwest corner of the Dubose Filling Station Lot; running thence along and with the said Dubose lot North 87 degrees East 374 feet to an iron stake in the west property line of the Sparrow Land; running thence along and with the said Sparrow land South 5 degrees West 182 feet to an iron stake in the middle of a 25-foot driveway leading from the Barbee Chapel Road eastward into the Sparrow land and between this property herein conveyed and the remaining property of Dallas Roberson; running thence along and with the center line of said 25-foot driveway North 83 degrees West 414 feet to an iron stake in the east property line of Barbee Chapel Road; running thence with the said Barbee Chapel Road North 19 degrees East 75 feet and North 25 degrees East 70 feet to an iron stake, the point and place of BEGINNING.

BEGINNING at an iron stake locate in the Eastern margin of the right-of-way of Barbee Chapel Road at the southwestern corner of the Dubose Filling Station lot known as "Tripp's Grocery", running thence from said beginning point along the southern margin of the Dubose Filling Station lot North 87 degrees 47 minutes 02 seconds East 371.90 feet to an iron stake; running thence with the Western margin of property of the North Carolina State Highway Commission South 01 degree 14 minutes 46 seconds West 188.16 feet to a stake located in the centerline of a private road known as Pearl Lane; running thence with the centerline of Pear Lane North 85 degrees 00 minutes 27 seconds West 414 feet to a stake located in the Eastern margin of the right-of-way of Barbee Chapel Road running thence with the Eastern margin of the right-of-way of Barbee Chapel Road the following courses and distances: North 15 degrees 43 minutes 13 seconds East 75 feet to a stake and North 20 degrees 33 minutes 25 seconds East 70 feet to the point and place of BEGINNING, containing 1.48 acres according to the unrecorded plat and survey thereof prepared by Freehold Land Surveys, Inc. dated October 22, 1981.

BEING all of that 0.278 acre, more or less, tract of land lying between the lands of Pendergraft (5101 Barbee Chapel Road, Parcel No. 141880), Square Wheel Ventures, LLC (105 Pearl Lane, Parcel No 141875), Krantz (110 and 111 Pearl Lane, Parcel Nos. 141877 and 141896), Roberson (115 Pearl Lane, Parcel No. 141894), Sayers (114 Pearl Lane, Parcel No. 141895), Herlant (102 Pearl Lane, Parcel No. 141881, and 6 Elmdale, Parcel No. 141878), NR Hillmont Property Owner LP (Deed Book 9533, Page 198, Parcel No. 141876), Pendergraft (24 Elmdale, Parcel no. 141879), and being portions of the lands conveyed to D.W. Sparrow and wife, Pearl Sparrow by Deed recorded June 11, 1940, in Book 135, Page 238, Durham County Registry, never subsequently re-conveyed. Said Parcel has a Durham County Parcel ID# 216988.

BEGINNING at an iron stake in the East side of a dead end street running between this property and the property, now or formerly, of Elmer Pendergraft, and which said lot is more properly described as BEGINNING at a stake in the East property line of said Street and which point is 30 feet East of Elmer Pendergraft's Northeast corner, now or formerly, of the property conveyed to him by Pearl Sparrow the following courses and distances: South 83 degrees East 165 feet; South 5 degrees West 132 feet; North 85 degrees West 165 feet to a stake in the East property line of said street, and which point is 30 feet East of Elmer Pendergraft's Southeast corner, now or formerly; running thence along the East side of said street North 5 degrees East 132 feet to the point and place of BEGINNING; as surveyed and platted by F.M. Carlisle Registered Engineer, on November 18, 1958.

All that certain lot or parcel of land situated, lying and being at the Southeastern intersection of Pearl Lane and an unnamed 30-foot street, as surveyed by F.M. Carlisle on April 1, 1961, and more particularly described as BEGINNING at the said intersection (which said intersection is South 85 degrees East 30 feet from the Northeast corner of the Dallas Roberson property, now or formerly); running thence with the South property line of Pearl Lane South 85 degrees East 165 feet to an iron; running thence South 5 degrees West 103 feet with the line of Pearl Sparrow, now or formerly, to an iron, the Northeast corner of the S.W. Wilburn property, also now or formerly; running thence with that line North 85 degrees West 165 feet to an iron in the East property line of said 30-foot unnamed street, which iron is opposite and 30 feet from the Northeast corner of the Elmer Pendergraft property, now or formerly; running thence with said street North 5 degrees East 103 feet to the point and place of BEGINNING, and BEING the same land conveyed to G.H. Moseley and wife, Mae Omie H. Mosely, by Pearl Sparrow (widow) by deed dated April 12, 1961, and recorded in Deed Book 275, Page 5, Durham County Registry.

LYING and being in Triangle Township, Durham County, on the north side of Pearl Lane and East of Barbee Chapel Road, and BEGINNING at an iron set in or near the centerline of Pearl Lane, a private road extending east from Barbee Chapel Road, said iron being located South 85 degrees 00 minutes 2.6 seconds East 414.0 feet from the intersection of Pearl Lane and the east margin of Barbee Chapel Road; and running thence with the east line of Harwell North 01 degree 14 minutes 46 seconds East 188.16 feet to an iron found, a corner with the Tripp Grocery land; thence along and with the Tripp Grocery line North 87 degrees 12 minutes 18 seconds East 230.94 feet to an iron found in the northwest corner of Roberson's land; thence with Roberson's line South 00 degrees 44 minutes 12 seconds West 219.65 feet to an iron set in or near the centerline of Pearl Lane; thence North 83 degrees 00 minutes 26 seconds West 232.81 feet to the point and place of BEGINNING and containing 1.08 acres, more or less.

BEGINNING at an iron pipe in the Western line of the property of Roderick Lane Roberson (formerly property of Dallas H. Roberson); said point of beginning also being in the southern line of the private road known as Pearl Lane where said road intersects with the property of Roderick Lane Roberson, and proceeding with the wester line of Roberson South 00 degrees 39 minutes 13 seconds West 67.80 feet to an iron; thence with the southern line of Roberson North 88 degrees 00 minutes 03 seconds East 152.01 feet to an iron; thence South 00 degrees 16 minutes 35 seconds West 270.66 feet to an iron; thence North 89 degrees 46 minutes 52 seconds West 232.30 feet to an iron; thence North 05 degrees 12 minutes 37 seconds East 103.61 feet to an iron; thence North 05 degrees 18 minutes 27 seconds East 132.11 feet to an iron; thence North 05 degrees 10 minutes 58 seconds East 102.49 feet to an iron in the southern line of Pearl Lane; thence to the point of beginning, containing 1.44 acres, more or less; as surveyed by Fred P. Johnston RLS and shown on an unrecorded map dated October 26, 1981.

BEGINNING at an iron stake which is located in the south line of the property which is now or formerly that of David St. Pierre Dubose, being the northwest corner of the property now or formerly belonging to Herman B. Lloyd, being the northeast corner of the property herein conveyed as shown on the survey referred to below, running thence South 00 degrees 50' 01" West 300.22 feet to a point located approximately 2 feet west of an iron stake; running thence South 88 degrees 00' 00" West 150 feet to an iron stake, this line being a common line with the property of Esther S. Roberson Tripp described in Deed Book 303, page 436, Durham County Registry; running thence North 00 degrees 43' 01" East 299.98 feet to an iron stake; running thence North 87 degrees 54' 11" East 149.98 feet to an iron stake, the point and place of BEGINNING as shown on the surveys of Freehold Land Surveys, Inc., dated July 30, 1981 and October 20, 1982, both entitled "Property of Roderick L. Roberson

and Donna Brown Roberson,” to which reference is hereby made, and being the same property conveyed to Esther S. Roberson Tripp and her late husband Dallas H. Roberson by a deed recorded in Deed Book 292, Page 499, Durham County Registry, to which reference is hereby made for a further description.

IN ADDITION TO THE PARCELS DESCRIBED ABOVE, the portion of Barbee Chapel Road that fronts the subject properties shall be rezoned up to its midpoint to Residential-6-Conditional Zoning District (R-6-CZD).

SECTION II

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the following conditions are hereby incorporated by reference:

1. Expiration of Conditional Zoning Atlas Amendment: An application for a Zoning Compliance Permit must be filed by a date precisely two years from the date of this approval or the land shall revert to its previous zoning designation. [LUMO 4.4.5(f)]
2. Consent to Conditions: This approval is not effective until the property owner(s) provide written consent to the approval. Written consent must be provided within thirty (30) business days of enactment by the Town Council.
3. Land Use Intensity: This Conditional Zoning Atlas Amendment authorizes the following:

Land Use Intensity	
Permitted Uses	Dwelling units, multifamily, over 7 units; Dwelling units, multifamily, 3 to 7 units; Dwelling units, single-family; Customary accessory uses
Gross Land Area (GLA)	501,425 sq. ft. (11.51 acres)
Permitted Floor Area	315,000 sq. ft. - 420,000 sq. ft.
Permitted Dwelling Units	262 units - 350 units
Minimum Affordable Units	See Condition #6
Maximum Total Impervious Surface	Per LUMO, 70% of GLA
Maximum Land Disturbance	480,000 sq. ft.
Maximum Land Disturbance in Resource Conservation District	3,500 sq. ft.
Maximum Land Disturbance in Jordan Buffer	3,500 sq. ft.
Minimum Tree Canopy Coverage	114,025 sq. ft.
Minimum Recreation Area	25,071 sq. ft.
Maximum Vehicular Parking	446 spaces or 1.3 spaces per unit
Minimum Bicycle Parking	88 spaces

4. Sustainability: Prior to issuance of the first Zoning Compliance Permit for building construction, the developer shall update the most recent version of the Energy Management Plan (EMP) to address the zoning conditions listed below and to provide certainty around expected performance/specification details for those items that are only generally described in this Conditional Zoning ordinance.

- a. Energy Management Plan: The final EMP shall include the following commitments for all construction, as applicable:
 - i. All-electric interior design
 - ii. Achieve National Green Building Standard Bronze Level or better
 - iii. All LED interior and exterior lighting
 - iv. Solar-ready construction
 - v. Only native or locally adapted species that are non-invasive and drought-tolerant
 - vi. Irrigation system with controller that meets EPA WaterSense standards
 - vii. Lighter-colored roof materials to reduce heat
 - viii. LED streetlights
 - ix. Low VOC finishes, formaldehyde free insulation and carpet pads, MERV 13 air filters
 - x. Programmable thermostats
 - b. Energy Efficiency: The Final Plans shall exceed the energy efficiency standard of the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE), as amended and in effect at the time of Conditional Zoning issuance (e.g., ASHRAE 90.1 2019). Comparable standards generally recognized as applicable to building energy consumption, as amended and in effect at the time of building permit issuance, may be used by the developer.
5. Electric Appliances: The developer shall install all-electric appliances in all dwelling units. No gas appliances shall be installed.

Housing

6. Affordable Housing Plan: The developer shall provide the following:
 - a. Affordable Units: The lesser of 31 affordable units or 10 percent of market rate units.
 - b. Unit Size: The affordable units will include studio, 1-bedroom, 2-bedroom, and 3-bedroom units in ratios approximately equivalent to the ratios of unit types among market rate units.
 - c. Location: The affordable units shall be evenly distributed throughout the development. No more than twelve (12) affordable units shall be located in any single building.
 - d. Pricing: At least forty-five percent (45%) of the affordable units will be reserved for those making 65% or less of the area median income (AMI) and the remaining affordable units will be reserved for those making 80% or less of AMI.
 - i. Maximum rental prices shall be calculated based on 30% of monthly household income at the specified AMI levels, adjusted for household size, minus housing-related costs.
 - ii. Housing-related costs include rent, utilities (heat, water, sewer, electric, and gas) and other fees required by the owner or property manager.
 - iii. Maximum housing costs are based on the Area Median Income for the Durham-Chapel Hill, NC HUD Metro Fair Market Rent Area published annually by the U.S. Department of Housing and Urban Development, found at https://www.huduser.gov/portal/datasets/il/il2022/select_Geography.odn.
 - iv. Area median income for a given unit size shall be calculated assuming 1.5 persons per bedroom for non-studio units. Area median income for a studio units shall be calculated assuming 1 person per unit.
 - e. Phasing: At least fifty percent of the affordable housing shall be completed prior to the Zoning Final Inspection of the first half of the market rate dwelling units. The remaining affordable dwelling units shall be completed prior to Zoning Final Inspection of 90 percent of the market rate dwelling units.

- f. Affordability Period: The affordable units will be affordable for a period of at least thirty (30) years.
- g. Design:
 - i. The affordable units will be finished with the same exterior design, trim, materials, and details as the market-rate units.
 - ii. The affordable units will meet the same energy efficiency standards as the market-rate units.
- 7. Housing Vouchers: The developer shall accept Housing Choice Vouchers from the renters of the affordable units for the 30-year period of affordability for the project.
- 8. Affordable Housing Performance Agreement: Prior to the issuance of a Zoning Compliance Permit, a performance agreement that incorporates the approved Affordable Housing Plan must be executed by the developer, the Town Manager (or designee), and if applicable, the non-profit agency that will administer the affordable housing units.

Transportation, Access, & Connectivity

- 9. Electric Vehicle Charging: The developer shall support the use of electric vehicles by providing the following:
 - a. The developer shall provide 220-volt outlets in each townhome unit.
 - b. At least 5 percent of parking spaces shall be served by electric vehicle chargers.
 - c. All installed electric vehicle chargers shall be "Level 2" or higher as defined by the Society of Automotive Engineers.
 - d. At least 20 percent of all parking spaces shall be made "EV ready" by installing conduit and ensuring the availability of space for necessary infrastructure.
- 10. Fire Access Road: The fire code official shall have the authority to require or permit modifications to the required access widths where they are inadequate for fire or rescue operations or where necessary to meet the public safety objectives of the jurisdiction. [2018 NCFC Section 503]
- 11. Access: The developer shall secure all necessary access rights for construction traffic as well as all future ingress and egress to this development.
- 12. Multiuse Path: The developer shall provide a 10-foot-wide multiuse path that meets or exceeds Town standards along the full Barbee Chapel Road frontage of the development. Final design must be approved by the Town Manager and the North Carolina Department of Transportation (NCDOT) prior to issuance of a Zoning Compliance Permit.
- 13. Multiuse Path Extension: Subject to approval from NCDOT, the developer shall provide an extension of the multiuse path from its northern property line to the existing multiuse path located adjacent to NC Highway 54. The developer shall not be required to construct the multiuse path extension if the acquisition of right-of-way from a private party is necessary for doing so. Final design must meet or exceed Town standards and must be approved by the Town Manager and NCDOT prior to issuance of a Zoning Compliance Permit.

If, for any reason, the developer does not provide the multiuse path extension prior to completion of the Zoning Final Inspection, the developer shall either (1) construct a sidewalk on the west side of Barbee Chapel Road connecting the existing sidewalk to the crosswalk required under condition #16 or (2) provide a payment equivalent to 25 percent of the recreation space requirement for the development.

14. NCDOT-Mandated Roadway Improvements: Approval by the Town and NCDOT of all roadway construction details shall be required prior to issuance of a Zoning Compliance Permit. Prior to issuance of a Zoning Final Inspection, the developer shall provide all roadway improvements and limit driveway access as mandated by NCDOT.
15. Barbee Chapel Road and NC Highway 54: Prior to issuance of a Zoning Final Inspection, the developer shall lengthen the northbound left-turn lane at the NC 54/Barbee Chapel Road intersection to approximately 450 feet and appropriate taper, using the existing pavement section in the vicinity of Pearl Lane. Prior to issuance of a Zoning Final Inspection, the developer shall provide a \$5,000 payment for revising signal timing.
16. Pedestrian Crosswalk and Refuge: Prior to issuance of a Zoning Final Inspection, the developer shall provide a high visibility pedestrian crosswalk and median refuge across the southern leg of the Barbee Chapel Road/southern site driveway intersection. If required by the Town Manager, the crosswalk shall include a Rectangular Rapid-Flashing Beacon or similar device.
17. Stormwater Management Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a stormwater impact analysis demonstrating that post-development peak flows for the 50-year storm events do not exceed the pre-development peak flows for the site at each point of analysis.

TOWN OF CHAPEL HILL – CONDITIONAL ZONING STANDARD CONDITIONS

The following standard conditions are supplemental to site-specific conditions as set by Town Council-approved ordinance. Unless modified by the site-specific conditions noted above, these standards apply to all development permitted by Conditional Zoning.

Transportation

18. Driveway Permit: The developer must obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within NCDOT or Town of Chapel Hill right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT and Town of Chapel Hill requirements. An approved permit will be issued upon receipt of approved plans, inspection fees, and any necessary performance and indemnity bonds.
19. Repairs in Public Right-of-Way: Prior to issuance of a Zoning Final Inspection, the developer shall repair all damage for work in existing Town of Chapel Hill public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design of such repairs must be reviewed and approved by the Town Manager and/or NCDOT prior to issuance of a Zoning Final Inspection. [Town Code 17-40]
20. Lighting: Prior to issuance of a Zoning Compliance Permit, the developer shall design street lighting along the site frontage. Design and construction details must be approved by the Town Manager and NCDOT. Lighting shall be installed prior to issuance of a Zoning Final Inspection.
21. Bicycle Parking: Prior to issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details that comply with the Town parking standards for required

and/or proposed bicycle parking spaces. The spaces must comply with the Spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines and the Class I and Class II bicycle parking standards required by the Town Design Manual. [LUMO 5.9.7]

22. Parking Lot: Any newly proposed parking lots, including additions to existing parking lots, shall be constructed to Town standards for dimensions and pavement design. [LUMO 5.9.5]
23. Parking Lot Landscape and Screening: The parking lot landscape design shall adhere to the standards of the Chapel Hill Land Use Management Ordinance. [LUMO 5.9.6]
24. Pavement Markings: Any pavement markings proposed within the public street rights-of-way shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadways.
25. Off-Site Construction Easements: Prior to any development associated land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
26. Sight Distance Triangles: Prior to issuance of a Certificate of Occupancy, the developer shall provide the Town of Chapel Hill with standard sight distance triangles at the proposed driveway locations. [Town Design Manual]
27. Low Vision Design Features: Any proposed pedestrian facilities should incorporate low vision design features as feasible. [LUMO 4.4.5]
28. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager and/or NCDOT. The Work Zone Traffic Control Plan shall comply with the U.S. Department of Transportation Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]

Landscaping and Building Elevations

29. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, review shall be required from the Community Design Commission for any proposed alternate buffer. [LUMO 5.6.8]
30. Tree Protection Fencing: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detail of a tree protection fence and a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site. The plans shall include continuous tree protection fencing around construction limits and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]
31. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approval. [LUMO 4.4.5]
32. Tree Canopy: A minimum of tree canopy coverage shall be provided through a combination of retained and replanted trees unless a modification to regulations is

approved. Calculations demonstrating compliance with Chapel Hill Land Use Management Ordinance Section 5.7.2 shall be included. [LUMO 5.7.2]

33. Retaining Wall Construction: If applicable, the final design and location of all retaining walls shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
34. Demolition Plan: Prior to beginning any proposed demolition activity, the developer must obtain demolition permits from both the Planning and Inspections departments. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit shall be issued prior to an Inspection's Demolition permit. Further, prior to the issuance of a demolition permit for all existing structures 500 square feet or larger, Orange County Solid Waste staff shall conduct a deconstruction assessment pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO).
35. Lighting Plan Approval: Prior to issuance of a Zoning Compliance Permit, the Community Design Commission shall review a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize upward light pollution and off-site spillage of light. [LUMO 8.5.5]

Environment

36. Stormwater Management Plan: Development projects must comply with *Section 5.4 Stormwater Management* of the Chapel Hill Land Use Management Ordinance. [LUMO 5.4]
37. Phasing Plan: If phasing of the project is proposed, then the applicant shall provide a Phasing Plan as part of the Zoning Compliance Permit. The Phasing Plan also shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase shall not begin until all public improvements in previous phases have been completed, and a note to this effect shall be provided on the final plans. [LUMO 4.5.3]
38. Erosion Control Bond: If one acre or more is to be uncovered by land-disturbing activities for the project, then a performance guarantee in accordance with *Section 5-97.1 Bonds* of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [Town Code 5-98]
39. Erosion Control Inspections: In addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices once per seven calendar days if no rain. The developer shall make any necessary repairs or adjustments to the devices and maintain inspection logs documenting inspections and any necessary repairs in accordance with NCG01 Self Inspection Guidelines.
40. Erosion Control: The developer shall provide the Town a copy of the approved erosion and sediment control permit from Durham County Erosion Control Division. During the construction phase, additional erosion and sediment controls may be required if the proposed measures do not contain the sediment. Sediment leaving the property is a violation of the Town's Erosion and Sediment Control Ordinance. [Town Code 5-98]

41. Sediment Control: The developer shall take appropriate measures to prevent and remove the deposit of wet or dry sediments on adjacent roadways. [Town Code 5-86]
42. Stormwater Control Measure: The proposed stormwater control measures for the site shall be designed to meet the current North Carolina Division of Environmental Quality Design Manual and Town of Chapel Hill Public Works Engineering Design Manual. [LUMO 5.4.3]
43. Storm Drain Inlets: The developer shall provide pre-cast inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-4A, SD-5A, SD-5C include all applicable details*, for all new inlets for private, Town and State rights-of-way. [Town of Chapel Hill Design Manual]
44. On-Site/Adjacent Stormwater Features: The final plans shall locate and identify existing site conditions, including all on-site and adjacent stormwater drainage features, prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [Town of Chapel Hill Design Manual]
45. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [Town of Chapel Hill Design Manual]
46. Performance Guarantee: A performance and maintenance guarantee in an amount satisfiable to the Town Manager shall be provided to meet the requirement of Section 4.9.3 of the Land Use Management Ordinance prior to the approval of a Final Plat. The performance guarantees and maintenance guarantees shall be satisfactory as to their form and manner of execution, and as to the sufficiency of their amount in securing the satisfactory construction, installation, or maintenance of the required stormwater control measure. The performance surety shall be an amount equal to one hundred and twenty-five percent (125%) of the total cost of uncompleted stormwater control measure(s) and conveyances prior to final plat recordation. The total cost of the storm water control measure(s) and conveyance(s) shall include the value of all materials, piping, and other structures, seeding and soil stabilization, design and engineering, grading, excavation, fill, and other work. The applicant shall submit unit cost information pertaining to all storm water control measure(s) and/or bids from the grading contractor hired to perform the work and any change orders related thereto as a method to determine the basis for cost of the work. The final cost determination shall be made by the Stormwater Management Division, taking into consideration any additional costs as deemed necessary for completion of the stormwater control measure(s) and conveyance(s).

Upon completion of the storm water control measures(s) and other improvements and acceptance by the Town after final site inspection, the one hundred and twenty-five percent (125%) of the performance surety shall be released to the developer and a maintenance bond in an amount of twenty-five (25) percent of the construction cost estimate shall be submitted by the developer prior to the issuance of final certificate of occupancy. No sooner than one year after the recording date of the deed(s), easements and maintenance agreement, the owner may request release of the remainder of the maintenance bond. Upon request by the owner, the Stormwater Management Division shall inspect the storm water control structure(s) to determine that the storm water measure(s) are performing as required by this Ordinance. The Stormwater Management

Division, upon determining that the storm water control(s) are performing as required by this Ordinance, and after any repairs to the storm water control structure(s) are made by the owner, shall release the remaining maintenance bond. [LUMO 4.9.3]

Water, Sewer, and Other Utilities

47. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, other applicable local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The developer shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.4.5]
48. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan; providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
49. Water/Sewer Line Construction: All public water and sewer plans shall be approved by and constructed according to OWASA standards. Where sewer lines are located beneath drive aisles and parking areas, construction methods approved by OWASA shall be employed to ensure that sewer lines will not be damaged by heavy service vehicles. [LUMO 5.12.1]
50. Irrigation: If permanent irrigation is proposed to support landscaping, an irrigation plan shall be submitted which includes the use of smart technologies to conserve water and energy.

Fire Safety

51. Fire Sprinklers: The developer shall install NFPA 13 fire sprinklers under the North Carolina Fire Protection Code (NC FPC) prior to issuance of a Certificate of Occupancy. [TOWN CODE 7-56]
52. Gates and Barricades: Where required or authorized by the fire code official and permanent or temporary (construction), any gates across fire apparatus access roads shall be a minimum width of 20 feet, be of swinging or sliding type, have an emergency means of operation, shall be openable by either forcible entry or keyed, capable of being operated by one person, and shall be installed and maintained according to UL 325 and ASTM F 2200. [NC FPC 2018, 503.5, 503.6, D103.5]
53. Grade and Approach: Fire apparatus access roads shall not exceed 10 percent in grade unless approved by the fire chief, and all approach and departure angles shall be within the limits established based on the Fire Department's apparatus. [NC FPC -2018, 503.2.7, 503.2.8 and D103.2]
54. Fire Protection and Utility Plan: A fire flow report for hydrants within 500 feet of each building shall be provided and demonstrate the calculated gallons per minute with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of North Carolina and accompanied by a

water supply flow test conducted within one year of the submittal. Refer to the Town Design Manual for required gallons per minute.

55. Aerials: Where a building exceeds 30 feet in height OR 3 stories above the lowest level of Fire Department Access, overhead power and utility lines shall not be allowed within the aerial apparatus access roadway and the roadway shall have an unobstructed width of 26 feet exclusive of the shoulders. At least one of the apparatus access roadways shall be located within a minimum of 15 feet and maximum of 30 feet from one complete side of the building. [NC FPC 2018 D105.1, D105.2, D105.3, D105.4]
56. Fire Apparatus Access Road: Any fire apparatus access roads (any public/private street, parking lot access, fire lanes and access roadways) used for fire department access shall be all-weather and designed to carry the imposed load of fire apparatus weighing at least 80,000 lbs. Fire apparatus access roads shall have a minimum width of 20 feet exclusive of shoulders with an overhead clearance of at least 13 feet 6 inches for structures not exceeding 30 feet in height and shall provide access to within 150 feet of all exterior portions of the building. Structures exceeding 30 feet in height shall be provided with an aerial apparatus access road 26 feet in width in the immediate vicinity of the building or portion thereof and shall provide at least one of the required access roads to be located not less than 15 feet and not more than 30 feet from the structure parallel to one entire side of the structure. [NC FPC 2018 502.1, 503.1.1, 503.2.1, D102.1 Second access dependent upon NCDOT approval]
57. Dead End Access Roads: Dead end fire apparatus access roads exceeding 150 feet shall have a designated turn around. The turnaround shall meet one of the design standards of NC FPC 2018, Appendix D table D 103.4.
58. Building Height: Buildings exceeding 30 feet or three stories in height must have at least two means of fire apparatus access separated by at least one half the diagonal distance of the building. [NC FPC 2018, D104.1, D104.3 dependent upon NCDOT approval]
59. Fire Access: Prior to issuance of a Certificate of Occupancy, fire access shall be reviewed and approved by the Town of Chapel Hill.
60. Fire Apparatus Access Road Authority: The fire code official shall have the authority to increase the minimum access widths where they are deemed inadequate for fire and rescue operations. [NC FPC 2018 503.2.2]
61. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Protection Code, and National Fire Protection Association Standard #13. [NC Fire Protection Code 2018 Section 501.1 & 3312]
62. Fire Hydrant and FDC Locations: The Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department Connections shall be located on the street side of the building within 100 feet of a hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC 2018 Section 501.5.1.1]

63. Firefighting Access During Construction: Vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC FPC 2018, Section 3310.1]
64. Premise Identification: Approved building address numbers, placed in a position acceptable to the fire code official, shall be required on all new buildings. [NC FPC 2018, 505.1]
65. Automatic Fire Sprinkler System Required: An automatic fire sprinkler system meeting the requirements of NFPA Standard #13D and Town Code 7-56 is required to be installed in residential construction.
66. Fire Apparatus Access for Chapel Hill Fire Department: All fire department access determinations shall be based upon Chapel Hill Fire Department apparatus specifications (data specifications provided by Office of the Fire Marshal/Life Safety Division) and field verification. All proposed fire department access designs shall be reviewed and shall also pass field inspection.
67. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]
68. Fire Lane: Prior to issuance of a Certificate of Occupancy, any fire lane shall be marked and signed in accordance with Town standards, with the associated plans approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC, Sections 2018 503.3, D103.6, D103.6.1, D103.2]

Solid Waste Management and Recycling

69. Solid Waste Management Plan: Prior to issuance of a Zoning Compliance Permit, a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager and Orange County Solid Waste (OCSW). The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. If a refuse compactor is proposed or if the collection enclosure is not accessible by Town vehicles, the developer shall provide documentation of an agreement for solid waste collection by a private provider prior to issuance of a Zoning Compliance Permit. [Orange County Solid Waste]
70. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard (Regulated Recyclable Materials), all present in construction waste, must be recycled. All haulers of construction waste containing Regulated Recyclable Materials must be properly licensed with Orange County Solid Waste. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]

71. Deconstruction Assessment: For any existing structure 500 square feet or larger a deconstruction assessment shall be conducted by OCSW staff prior to the issuance of a demolition permit pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO). Prior to any demolition or construction activity on the site, the developer shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be held at the same pre-construction meeting held with other development/enforcement officials.

State and Federal Approvals

72. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]
73. North Carolina Department of Transportation Approvals: Prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT. [NC Department of Transportation]

Miscellaneous

74. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [Town Design Manual Chapter 10]
75. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [Town Code 17-42]
76. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. The sign shall be non-illuminated and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.4]
77. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [Town Code 7-7]

78. Detailed Plans: Prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Chapel Hill Land Use Management Ordinance and the Design Manual. [LUMO 4.4.5]
79. Certificates of Occupancy: No Certificates of Occupancy shall be issued until all required public improvements are complete or have been bonded. A note to this effect shall be placed on the final plats.
- If the Town Manager approves a phasing plan, no Certificates of Occupancy shall be issued for a phase until all required public improvements for that phase are complete, and no Building Permits for any phase shall be issued until all public improvements required in previous phases are completed to a point adjacent to the new phase. A note to this effect shall be placed on the final plats.
80. Traffic Signs: The developer shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.
81. New Street Names and Numbers: The name of the development and its streets and house/building numbers shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
82. As-Built Plans: Prior to the issuance of the last Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [Town Design Manual Chapter 10]
83. Vested Right: This Conditional Zoning or Conditional Zoning modification constitutes a site-specific vesting plan (and is defined as such in the Chapel Hill Land Use Management Ordinance) establishing a vested right as provided by N.C.G.S. Section 160D-108.1 and the Chapel Hill Land Use Management Ordinance. During the period of vesting this permit may be subject to subsequent changes to Town regulations to the extent such regulations have been enacted under authority other than the Town's zoning authority.
84. Continued Validity: Continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
85. Non-Severability: If any of the above conditions is held to be invalid, approval in its entirety shall be void.
86. Not Comprehensive: The listing of these standard conditions, and the specific stipulations applicable to this Permit, is not intended to be comprehensive and does not exclude other state and local laws and regulations which may be applicable to this Permit and development project.

BE IT FURTHER RESOLVED that the Council hereby approves the application for

Conditional Zoning for the Barbee Chapel Apartments at 5101 Barbee Chapel Road.

This the 24th day of May 2023.

RESOLUTION B
Denying the Conditional Zoning Application

A RESOLUTION DENYING AN AMENDMENT OF THE CHAPEL HILL ZONING ATLAS TO REZONE THE BARBEE CHAPEL APARTMENTS TO RESIDENTIAL-6-CONDITIONAL ZONING DISTRICT (R-6-CZD) (2023-05-24/R-16)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Conditional Zoning application, proposed by McAdams, on behalf of contract purchaser Toll Brothers Apartment Living and property owners Don W Pendergraft, Frank Herlant, Stephen D Pendergraft, Sandy L Pendergraft, Square Wheel Ventures LLC, Quentin Todd Krantz, Donna Roberson Sayers, Roderick Lane Roberson, and Elmdale and Pearl Lane LLC, to rezone a 10.46-acre collection of parcels located at 5101 Barbee Chapel Drive on property identified as Durham County Property Identifier Numbers 9798-72-75-8083; 9798-72-95-9660; 9798-72-97-2169; 9798-82-25-0578; 9798-82-27-2292; 9798-82-34-8161; 9798-82-46-2809; 9798-72-82-2595; 9798-82-24-0401; 9798-72-94-8347; and 9798-82-15-1550, if rezoned to Residential-6-Conditional Zoning District (R-6-CZD) according to the rezoning plan dated February 21, 2023, and the conditions listed would not:

- a) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- b) Conform with the Comprehensive Plan
- c) Be compatible with adjoining uses
- d) Mitigate impacts on surrounding properties and the Town as a whole
- e) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- f) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

BE IT FURTHER RESOLVED that the Council hereby denies the application for an amendment of the Chapel Hill Zoning Atlas to rezone the Barbee Chapel Apartments to Residential-6-Conditional Zoning District (R-6-CZD).

This the 24th day of May 2023.

February 21, 2023

Judy Johnson
Town of Chapel Hill Planning Department
405 Martin Luther King Jr Boulevard
Chapel Hill, North Carolina 27514

Re: Barbee Chapel Apartments Modifications to Regulations

Due to site constraints and peculiarities of the Land Use Management Ordinance, modifications to required standards are necessary to create a multi-family development that meets the Town's vision and intent for such developments. The requested modifications are necessary to allow for a cohesive and well-designed multi-family project that meets the goals and intent of the Chapel Hill Comprehensive Plan. To develop this land as multi-family project, modifications to density will be necessary which subsequently require modifications to floor area and building height. Modifications to buffers and setbacks will be required as well.

DENSITY

Permitted Density (maximum): 15 DU/AC

Proposed Density (maximum): 31 DU/AC

The Land Use Management Ordinance Article 3.8.2 sets forth density requirements for the Barbee Chapel Apartments development.

The R-6 zoning district is the densest residential district outside of Town Center districts, and the maximum density is capped at 15 du/ac. This would only allow for 156 apartment units on site. The subject site falls within the NC 54 Corridor Sub-Area A in Chapel Hill's Future Land Use Map. This area calls for multi-family residential use with a typical height of 6 stories for active street frontage. A multi-family project of that size and scale (6 stories, 3 buildings, and townhomes) would include over 156 units. Chapel Hill does not yet have an appropriate zoning district to allow for higher density projects where they are designated on the future land use map, outside of the Town Center areas. While zoning districts such as OI-3 or OI-4 exist that allow unlimited multi-family density, the project team was advised by Planning Staff to seek a zoning district that meets the intent of the land use and request a density modification. To meet the goals and intentions of the Future Land Use Map, a higher density allowance is necessary.

The applicant is proposing an increased density to 31 dwelling units per acre (based on gross land area) not to exceed 350 units.

FLOOR AREA RATIO**Permitted FAR (maximum): 0.303****Proposed FAR (maximum): 0.840**

The Land Use Management Ordinance Article 3.8.2 sets forth floor area requirements for the Barbee Chapel Apartments development.

Under the proposed R-6 zoning district, the maximum floor area ratio is 0.303. This equates to roughly 151,931 square feet of allowed floor area. For reference, this is roughly equivalent to one of the buildings on the site. Meeting the requirement of a 0.303 floor area ratio at this site would warrant a low density, one- or two-story or single building development, not meeting the intent of the Comprehensive Plan.

The applicant is proposing an increased floor area ratio of 0.840 to allow for multiple 4-story and 5-story multi-family buildings and 24 townhomes.

BUILDING HEIGHT**Permitted Building Height (maximum): Setback 39'; Core 60'****Proposed Building Height (maximum): 60' feet or 5 stories**

The Land Use Management Ordinance Article 3.8.2 sets forth building height requirements for the Barbee Chapel Apartments development.

Under the R-6 zoning district, the maximum building height at the setback is 39 feet and 60 feet at the core. Given the topography of the land and environmental features, it will be difficult to meet the 39-foot setback height along Barbee Chapel Rd. On the Future Land Use Map – Update to Chapel Hill 2020, this property falls under the NC 54 Corridor Sub-Area A, which calls for a Typical Height of 6 stories, Transitional Area Height of up to 4 stories, and Activated Street Frontage Height of 6 stories; This building will fall within those proposed ranges. Height per the LUMO is measured from mean finish grade to parapet.

The modification to the maximum building height will allow for the development of a more activated street frontage along Barbee Chapel Rd and encourage pedestrian activity in the corridor.

BUFFERS

LANDSCAPE BUFFER	REQUIRED TYPE	PROPOSED TYPE
NORTH (NC ZONE)	Type C- 20' Internal	6' Modified Buffer
SOUTH (HILLMONT)	Type B- 10' Internal	4'-10' Modified Buffer
EAST (HILLMONT)	Type B- 10' Internal	8'-10' Modified Buffer
WEST (BARBEE CHAPEL RD)	Type B- 20' External	10'-15' Modified Buffer

The Land Use Management Ordinance Article 5.6.6 sets forth buffer requirements for the Barbee Chapel Apartments development.

Buffer modifications are being requested for all the buffers required on the site. The required planting numbers cannot be met on the site to ensure that the trees and shrubs will survive and remain healthy. In lieu of trees, additional shrubs will be planted in the buffers. Existing buffers and landscaping adjacent to the North, East, and South sides of the property will provide extra screening and landscaping for the surrounding properties.

The applicant is requesting a modification for the western buffer along Barbee Chapel Rd. The required buffer of 20' would not create an activated streetscape or pedestrian and bicycle-friendly environment. The modified buffer would meet the intent of the Comprehensive Plan to create an activated street frontage. Similar to the South, East, and North buffers, the reduced plantings will ensure the health and survival of the trees.

SETBACKS

SETBACK	REQUIRED	PROPOSED
STREET	20'	20'
INTERIOR (NEIGHBORING PROPERTY LINES)	10'	8'
SOLAR (NORTHERN PROPERTY LINE)	8'	6'

The Land Use Management Ordinance Article 3.8.2 sets forth setback requirements for the Barbee Chapel Apartments development.

All residential structures (apartment buildings and townhomes) will fall within the required setbacks for the R-6 district, however a deviation is needed to allow for garages in some areas of the development. These structures are slightly longer than a traditional parking space and would encroach in the setbacks, therefore a reduction is requested.

CONCLUSION

In conclusion, the requested modifications remain in the spirit of the goals of Chapel Hill and align with the future land use of the Comprehensive Plan. As noted above, providing density on this site requires modifications to the R-6 zoning district, including increasing density allowance, increasing floor area ratio permitted, increasing building height permitted, reducing buffers, and reducing setbacks to further align with Chapel Hill's goals.

Thank you for your consideration of these requested modifications for the R-6 zoning district as a part of the Barbee Chapel Apartments CZP application.

Sincerely,

MCADAMS



Jessie Hardesty
Planner III, Planning + Design

BARBEE CHAPEL APARTMENTS – Conditional Zoning Permit

**Barbee Chapel Rd
Chapel Hill, NC (Durham County)**

AFFORDABLE HOUSING PROPOSAL

The developer is proposing that a total of 31 apartments be rented at affordable rates, with 15 units at 65% AMI and 16 units at 80% AMI levels. The affordable units will be located throughout the project, rather than concentrated in a single building or location, and there will be an appropriate mix of units (efficiency, 1 BR, 2 BR and 3 BR).

DEVELOPER’S PROGRAM

Toll Brothers Apartment Living is excited to present a Rezoning Application for approximately 11 acres located along the east side of Barbee Chapel Road near the intersection with Stancell Rd and NC Hwy 54. The site is south of the existing Valero gas station and Clean Wheels Car Wash and currently is bisected by a private road, Pearl Lane. The current use of the assemblage is single-family dwellings on the former Pearl Sparrow Farm, built when the location was on the outer edge of Chapel Hill and long before the construction of Meadowmont Village, The Courtyard by Marriott hotel, the William and Ida Friday Center for Continuing Education and the associated UNC Park & Ride lots that are used by university and hospital staff, all of which are within a 10-minute (0.4 miles or 2,112 feet) walk of this site. The proposed development reflects the changing character of this area of Chapel Hill and the need for market-rate and affordable housing. Additionally, by building garden style apartments with surface parking, the developer is able to provide more moderately priced apartments than would be possible with other development types.

The development team aspires to prioritize the town’s goals for Connectivity, Placemaking and Sustainability rather than replicate the car-centric development more commonly seen in our region and throughout the country.

CONNECTIVITY: Significant effort is made to prioritize pedestrian and bicycle movement within the project and to create connections to the nearby transit corridor. Indeed, this location is a five-minute walk to regional bus lines (GoTriangle) on NC-54 that serve both the university and employers in Durham County (notably Southpoint and RTP) and a 10-minute walk along public sidewalks to the town’s high-frequency bus service to UNC at the Friday Center. Combined, the two bus systems provide bus service to the UNC Campus and UNC Hospital at less-than-five-minute intervals during peak travel times, as well as bus service on nights and weekends, a rarity in this region.

The developer proposes a multi-modal greenway along Barbee Chapel Road for the full length of its property line, extending the multi-modal network for residents in nearby apartments (The Morgan) and condominium (Finley Forest) communities. This multimodal path, if continued on the Hillmont property to the south, will provide area pedestrians and cyclists off-road connectivity to The Farm, UNC’s recreational area at the south and to goods and services at Meadowmont Village to the north, East 54 to the west and Falconbridge to the east. Additionally, this plan proposes direct connections to adjacent parcels to increase connectivity and help reduce bottlenecks and congestion that are associated with disconnected sites.

PLACEMAKING: The buildings in this community, ranging in height from three to five stories, frame a large tree-lined formal green and smaller shaded formal and informal parks as central features for the future community. They provide outdoor rooms for formal programming such as community cook-outs and outdoor movies and informal gatherings or quiet time outdoors. The proposed pedestrian-and-bicycles-only entrance from Barbee Chapel Road, between Buildings 2 and 3, provides a glimpse into the apartment community to passers-by and reinforces the pedestrian-oriented design, with its easy ped-bike connectivity to the larger community. The proposed site plan offers connections to possible future development on adjacent properties, allowing the proposed and future adjacent developments to be experienced as one “place” rather than individual projects.

SUSTAINABILITY: The proposed development will require approval of an erosion and sediment control plan through Durham County. The plan will minimize impacts to off-site areas and keep erosive sediment-laden runoff on site for treatment prior to discharging into any existing waterways. The erosion control plan will be broken into a multi-phased approach with initial erosion control measures, mid stage control measures, and final stage stabilization. Throughout the length of the project, numerous erosion control measures will be used, such as sediment basins, inlet protection, silt fence, construction entrances, and short-term vegetated stabilization. Final stage stabilization will include establishing vegetative cover, final cleaning of the proposed systems, as-built documentation, and close out of project.

The stormwater management approach for this project will include both conventional and green stormwater strategies and devices. The conventional infrastructure will be comprised of a reinforced pipe drainage network which collects overland sheet flow & shallow concentrated flow. Overland sheet flow will be utilized where possible prior to entering the sewer network, thereby taking advantage of any infiltrative properties of the soil. Underground stormwater control measures will be located at the low points of the site and locations most suitable to capture runoff. Stormwater control measures will meet local requirements for sediment removal, nutrient removal, and runoff detention. It's anticipated that site runoff will match existing drainage patterns, discharging to the NE stream or Barbee Chapel r/w after treatment. In addition, the developer commits to using vegetated swales along Barbee Chapel Road and pervious pavers as enhanced landscaping features that reduce and/or slow water runoff from the site. The developer also plans to provide electric vehicle (EV) charging for 5% of the total number of parking spaces provided.

November 16, 2022

Judy Johnson
Town of Chapel Hill Planning Department
405 Martin Luther King Jr Boulevard
Chapel Hill, North Carolina 27514

RE: Barbee Chapel Apartments Justification and Statements of Compliance

STATEMENT OF JUSTIFICATION

The proposed zoning brings the subject parcels into greater conformance with the Town's Comprehensive Plan. The property is currently zoned R-2, and R-6 zoning is requested to fulfill the themes and goals of the comprehensive plan elaborated on below. Falling within the 54 Corridor Focus Area, Sub-Area A specifically calls for multifamily residential, which the current zoning district does not allow. Statements below further support the case for the requested R-6 zoning district to permit a multifamily and townhome development.

STATEMENT OF COMPLIANCE WITH COMPREHENSIVE PLAN

Toll Brothers Apartment Living is proposing a multi-family development on Barbee Chapel Road in accordance with the CH2020 Comprehensive Plan. The proposed plan addresses the following themes with their corresponding goals: A Place for Everyone, Community Prosperity and Engagement, Getting Around, Good Places, New Spaces, Nurturing our Community, and Town and Gown Collaboration. Similarly, it meets the intent of the NC 54 Corridor Sub-Area A focus area of the Future Land Use Map.

THEME 1: A PLACE FOR EVERYONE

Barbee Chapel Apartments meets the following goals under Theme 1:

- A range of housing options for current and future residents
- Family-friendly, accessible exterior and interior places throughout the town for a variety of active uses

One of the goals of Theme 1 is to provide a range of housing options for current and future residents. This property is located within the 54 Corridor Focus Area, and the Future Land Use Map Update to Chapel Hill 2020 shows the sub areas of the corridor, calling out various land uses and densities. Sub Area A calls for multi-family residential, shops & offices, and commercial as primary land uses and townhouses, parks, and institutional land uses as secondary uses. This proposal fulfills each of these by providing a multi-family and townhome development, contributing to the range of housing types desired by the Town. Additionally, the project intends to have 10% affordable units at the 65% and 85% AMI levels evenly dispersed throughout the development.

THEME 2: COMMUNITY PROSPERITY AND ENGAGEMENT

Barbee Chapel Apartments meets the following goals under Theme 2:

- Promote a safe, vibrant, and connected community

A goal of Theme 2 is to promote a safe, vibrant, and connected community as well as foster success of local businesses. The proposed development is situated between various other residential communities, providing a safe retreat for residents. The site is also near Meadowmont Village and Falconbridge Center, which provides residents with a variety of options to support local business restaurants, retail, and services. The site is also just up the street from The Farm, a recreation center for faculty, staff, and alumni of UNC-Chapel Hill. Overall, this residential development will contribute to a community that is well connected.

THEME 3: GETTING AROUND

Barbee Chapel Apartments meets the following goals under Theme 3:

- A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation
- Connect to a regional transportation system
- Create a comprehensive transportation system that provides everybody safe and reasonable access to all the community offers

The proposed project will be well connected to adjacent neighborhoods and a commercial node across Hwy 54, within a mile of the property. Significant effort is made to prioritize pedestrian and bicycle movement within the project and to create connections to the nearby transit corridor. Indeed, this location is a five-minute walk to regional bus lines (GoTriangle) on NC-54 that serve both the university and employers in Durham County (notably Southpoint and RTP) and a 10-minute walk (0.4 miles or 2,112 feet) along public sidewalks to the town's high-frequency bus service to UNC at the Friday Center. Unless otherwise prohibited, residents likely will use existing private sidewalks along Finley Forest Drive to reach buses at the Friday Center in ten minutes or less. Combined, the two bus systems provide bus service to the UNC Campus and UNC Hospital at less-than-five-minute intervals during peak travel times, as well as bus service on nights and weekends, a rarity in this region. The developer proposes a multi-modal greenway along Barbee Chapel Road along the full length of its property line, further extending the multi-modal network for access to goods and services at Meadowmont Village. Whether it is a moderate walk, a bike ride, a short drive, or hopping on the bus, future residents of the proposed multi-family project will have multiple transportation options to choose from to access nearby retail, businesses, and services. A new traffic impact study will be completed to help guide the development design to minimize traffic impacts and not subtract from the quality of life of existing neighbors and future residents.

THEME 4: GOOD PLACES, NEW SPACES

Barbee Chapel Apartments meets the following goals under Theme 4:

- Future land-use, form, and density that strengthen the community, social equity, economic prosperity, and natural environment
- A range of neighborhood types that addresses residential, commercial, social, and cultural needs and uses while building and evolving Chapel Hill's character for residents, visitors, and students
- Open and accessible common spaces for community gathering, cultural uses, and community development

The proposed development provides new housing options to the 54 Corridor and will be consistent with the future land use plans for the area. Apartments and townhomes will provide the desired density to this area while maintaining the residential feel of neighboring communities and creating a new vibrant space for Chapel Hill residents. The site design will include multiple plaza and courtyard spaces, an amenity with a clubhouse and pool, and a dog park, offering multiple opportunities for community gathering. Green spaces will be organized along the main street through the development and will offer a connection point for the adjacent property to facilitate the creation of one "place" rather than individual projects.

THEME 5: NURTURING OUR COMMUNITY

Barbee Chapel Apartments meets the following goals under Theme 5:

- Maintain and improve air quality and water quality, and manage stormwater to heal local waterways and conserve biological ecosystems within the town boundaries and the Extra-Territorial Jurisdiction
- Support the Parks and Recreation Master Plan and the Greenways Master Plan to provide recreation opportunities and ensure safe pedestrian and bicycle connections

There is a very small portion of a stream buffer located in the northeast corner of the site that will be taken into consideration in the development of the property. Proximity to commercial nodes, bus stops, and trails supports the Climate Action Plan, by promoting walking and biking or public transportation to reduce vehicle use and emissions, therefore reducing carbon footprint and improving air quality. Stormwater will be detained and treated onsite with an underground facility and green stormwater infrastructure, ensuring that adjacent neighborhoods are not impacted from development. At minimum, the developer commits to using vegetated swales along Barbee Chapel Road and pervious pavers and raingardens within the site as part of its stormwater management strategy.

THEME 6: TOWN AND GOWN COLLABORATION

Barbee Chapel Apartments meets the following goals under Theme 6:

- Promote access for all residents to healthcare centers, public services, and active lifestyle opportunities
- Housing for students that is safe, sound, affordable, and accessible and meets a demonstrated need conducive to educational and maturational needs of students, and **housing for Town, University, and Healthcare System employees that encourages them to reside in the community**

By contributing to the range of housing options, this development will provide residents of varying ages, including recent UNC graduates and employees, with new rental housing opportunities. The proposed project is less than 5 miles from UNC campus and UNC Hospitals and approximately a 10-minute walk to a UNC Park and Ride lot. Additionally, there are multiple UNC medical offices even closer in Meadowmont, at the corner of Fordham Blvd and Manning Dr, and at the intersection of Hwy 54 and I-40. Recent graduates whose employment is outside of Chapel Hill will also find appeal here due to its affordability and proximity to the Durham and RTP job cores, allowing Chapel Hill to diversify its population as students turn into young professionals.

STATEMENT OF COMPLIANCE WITH DESIGN GUIDELINES

Toll Brothers Apartment Living multi-family project will be built in compliance with the Town's Design Guidelines.

The architecture will be carefully designed with high-quality materials and a design that fits within the overall community. Apartment buildings have been designed to create central courtyard amenity spaces for residents, that will serve as the community and social hubs for the project. Parking will be a combination of surface and structured tabletop to keep the costs of the project lower helping with affordability and will be evenly dispersed throughout the project.

Landscape buffers will be designed in accordance with the Town's design manual and with the use of best practices to provide appropriate transitions between the building and streetscapes and adjacent land uses.

Vehicular connectivity will be provided to Barbee Chapel Rd and future development to the east, and internal roadways will avoid dead-end streets. Pedestrian connections will be provided throughout the project.

Stormwater management facilities, water, sewer, and other utilities will be provided in accordance with the applicable guidelines, standards, and regulations.

Sincerely,

MCADAMS



Jessie Hardesty
Planner II, Planning + Design

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd.
 (919) 968-2728 fax (919) 969-2014
 www.townofchapelhill.org

Parcel Identifier Number (PIN): 9798-72-97-2169 (multiple parcels included, see cover sheet) Date: 09/29/2022

Section A: Project Information

Project Name: Barbee Chapel Apartments

Property Address: 5101 Barbee Chapel Rd Zip Code: 27517

Use Groups (A, B, and/or C): A Existing Zoning District: R-2

Project Description: Residential development including townhomes and multifamily buildings

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: McAdams - Spencer Christiansen

Address: 2905 Meridian Pkwy

City: Durham State: NC Zip Code: 27713

Phone: 919-287-0722 Email: christiansen@mcadamsco.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: *Spencer Christiansen* Date: 9/29/2022

Owner/Contract Purchaser Information:

☐ Owner

☒ Contract Purchaser

Name: Toll Brothers Apartment Living - Michael Skena

Address: 900 Perimeter Park Dr, Suite B3

City: Morrisville State: NC Zip Code: 27560

Phone: 202-577-6491 Email: mskena@tollbrothers.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: *MSkena* Date: 9/29/2022

Click [here](#) for application submittal instructions.



CONDITIONAL ZONING

TOWN OF CHAPEL HILL

Planning Department

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.

**PROJECT FACT SHEET****TOWN OF CHAPEL HILL**

Planning Department

Section A: Project Information**Use Type:** (check/list all that apply)
☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: _____
Overlay District: (check all that apply)
☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone
Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	455,841	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	45,584	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	501,425	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area**Special Protection Areas:** (check all those that apply)
☒ Jordan Buffer ☒ Resource Conservation District ☐ 100 Year Floodplain ☐ Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	470,000
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	2,200

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	73,616	73,616	350,998	350,998
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	14.7%	14.7%	70% max	70% max
If located in Watershed Protection District, % of impervious surface on 7/1/1993	n/a	n/a	n/a	n/a



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	18	18	8	8
Number of Floors	1-2	1-2	5	5
Recreational Space	n/a	n/a	25,071 sf	25,071 sf

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	23,500	23,500	476,360	476,360
Total Square Footage of All Units	0	0	360,300	360,300
Total Square Footage of Affordable Units	0	0	tbd	tbd
Total Residential Density	0	0	33 du/ac	33 du/ac
Number of Dwelling Units	0	0	370	370
Number of Affordable Dwelling Units	0	0	tbd	tbd
Number of Single Bedroom Units	0	0	220	220
Number of Two Bedroom Units	0	0	107	107
Number of Three Bedroom Units	0	0	40	40

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial	0	0			
Restaurant	0	0	# of Seats	0	0
Government	0	0			
Institutional	0	0			
Medical	0	0			
Office	0	0			
Hotel	0	0	# of Rooms	0	0
Industrial	0	0			
Place of Worship	0	0	# of Seats	0	0
Other	0	0			

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	20'	n/a	20'
	Interior (neighboring property lines)	10'	n/a	10'
	Solar (northern property line)	8'	n/a	8
Height (maximum)	Primary	n/a	2 stories	5 stories
	Secondary	n/a	2 stories	5 stories
Streets	Frontages	15'	~660 feet	~660 feet
	Widths	15'	n/a	15'



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Barbee Chapel Rd	varies	varies	2	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
Barbee Chapel	10'	Concrete	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	381	490	482
Handicap Spaces	8	n/a	8
Total Spaces	389	n/a	490
Loading Spaces	n/a	n/a	0
Bicycle Spaces	84	n/a	84
Surface Type	asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North (adjacent to NC zoning)	20' Type C	10' Modified	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
South	10' Type B	4'-10' Modified	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
East	10' Type B	10' Modified	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
West (Barbee Chapel)	20' Type C	10-15' Modified	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section I: Land Use Intensity

Existing Zoning District:

Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-6	.303	0.05			0.70	151,931	25,072
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input checked="" type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 968-2728 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	<input type="text"/>
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
TBD	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
N/A	Description of Public Art Proposal , if applicable		
X	Statement of Justification		
X	Response to Community Design Commission and Town Council Concept Plan comments , if applicable		
X	Affordable Housing Proposal , if applicable		
X	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	<input type="text"/>
X	Written Narrative describing the proposal , including proposed land uses and proposed conditions		
X	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
x	Jurisdictional Wetland Determination – if applicable		
N/A	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
N/A	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
N/A	Reduced Site Plan Set (reduced to 8.5" x 11")		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

BARBEE CHAPEL APARTMENTS

March 10, 2023

**VEHICULAR PARKING ANALYSIS**

STRUCTURE	UNIT TYPE	UNIT COUNT					VEHICULAR PARKING REQUIRED BY CODE	
		STUDIO	1BR	2BR	3BR	SUBTOTAL	MIN	MAX
BUILDING 1	Apartment	9	135	19	10	173	188	236
BUILDING 2	Apartment	4	31	32	4	71	87	109
BUILDING 3	Apartment	8	23	43	0	74	91	114
BUILDING 4	Townhome				6	6	11	14
BUILDING 5	Townhome				6	6	11	14
BUILDING 6	Townhome				6	6	11	14
BUILDING 7	Townhome				6	6	11	14
RESIDENTIAL TOTALS		21	189	94	38	342	408	513

PARKING PROVIDED

Surface Parking	431
Garages	16
Townhouse Parking	48
Subtotal	495

**BARBEE CHAPEL APARTMENTS
RESIDENTIAL DEVELOPMENT
TRANSPORTATION IMPACT ANALYSIS**

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

April 2023



**BARBEE CHAPEL APARTMENTS
RESIDENTIAL DEVELOPMENT
TRANSPORTATION IMPACT ANALYSIS
EXECUTIVE SUMMARY**



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

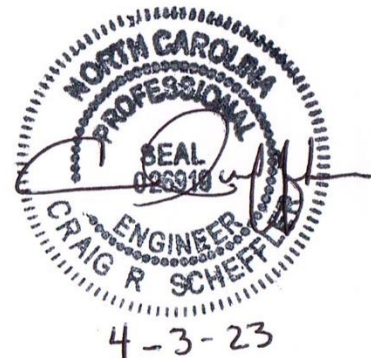
Prepared by:

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*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

April 2023





EXECUTIVE SUMMARY

Project Overview

A new residential community, known as Barbee Chapel Apartments, is being proposed in eastern Chapel Hill along Barbee Chapel Road just south of Stancell Drive / NC Highway 54. **Figure ES-1** shows the general site location. The project proposes to construct approximately 370 multi-family residential units and is anticipated to be fully complete and occupied by 2024. This report analyzes the full build-out scenario for Barbee Chapel Apartments for the year 2025 (one year after anticipated completion), the no-build scenario for 2025, as well as 2022 existing year traffic conditions. It also analyzes a scenario for 2026 where the site is built-out, along with full build-out of the adjacent proposed Hillmont residential development.

The current proposed site concept plan shows a provision for two full movement access driveways serving the site that connect to Barbee Chapel Road. No other external roadway vehicular access connections are proposed. This site concept plan shows a potential internal driveway connection to the adjacent proposed Hillmont development, though no formal analysis of this driveway and potential site traffic impacts was conducted for this study. **Figure ES-2** displays the overall site concept plan and nearby land uses and roadways. The Barbee Chapel Apartments development is expected to provide individual vehicle parking spaces located on surface lots. This report analyzes and presents the transportation impacts that Barbee Chapel Apartments development will have on the following intersections in the project study area:

- NC 54 (Raleigh Road) & Meadowmont Lane / Friday Center Drive
- NC 54 (Raleigh Road) & Barbee Chapel Road / East Barbee Chapel Road
- NC 54 (Raleigh Road) & Little John Road
- Little John Road & Stancell Drive
- Barbee Chapel Road & Stancell Drive
- Barbee Chapel Road & Proposed Site Driveway #1
- Barbee Chapel Road & Proposed Site Driveway #2
- Barbee Chapel Road & Finley Forest Drive / Potential Future Hillmont Development Site Driveway

Existing Conditions

Study Area

The site is located in eastern Chapel Hill in Durham County along Barbee Chapel Road and south of NC 54. The study area contains two signalized intersections along NC 54 at Meadowmont Lane/Friday Center Drive and Barbee Chapel Road. NC 54 is a major east-west arterial providing connectivity between downtown Chapel Hill and south Durham. Barbee Chapel Road is a collector facility providing connectivity for primarily residential development east of Chapel Hill. Remaining study area network roadways are either minor collector or local access streets.

Site Traffic Generation

With the addition of new trips during the weekday AM, noon, and PM peak hours, there are potential site traffic impacts to study area intersections. **Table ES-1** shows the site trip generation details, with rates taken from the Institute of Transportation Engineers (ITE) *Trip Generation Manual, Version 10*.

Background Traffic

Background traffic growth for the 2026 analysis years is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Two development sites near the project study area were considered for specific development related growth. All remaining estimated



Town of Chapel Hill: Transportation Impact Analysis
Barbee Chapel Apartments – Proposed Residential Development

traffic volume increases are assumed to occur due to overall region-wide ambient growth (assumed 4.0 percent per year) based on NCDOT/Town historic growth data and taking into consideration the on-going rebound to pre-COVID traffic levels caused by the pandemic.

Table ES-1. Weekday Vehicle Trip Generation Summary

Description	Density	Daily			AM Peak			Noon Peak*			PM Peak		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
Mid-Rise Multi-family (ITE LUC 221)	370 Units	844	844	1,688	26	73	99	39	46	85	78	51	129

* - No Noon Peak ITE Data Available – Used Average of AM and PM Peak Data X 0.75

Impact Analysis

Peak Hour Intersection Level of Service

Existing traffic operations at all study area intersections are acceptable during all three peak hours analyzed, except for the stop-controlled movement at the NC 54 / Little John Road intersection. The projected ambient and background development traffic growth will increase impacts by 2025, worsening delays in the vicinity of this intersection and queuing along Barbee Chapel Road at its intersection with NC 54. The addition of peak hour site-generated trips to the projected 2025 background traffic volumes, further worsens these deficient traffic operations, particularly for the northbound approach at NC 54 / Barbee Chapel Road. Additional mitigation improvements were tested at these locations in the 2025 and 2026 analysis scenarios to increase capacity and queue storage. A traffic operations summary for each intersection, related to vehicular delays (intersection total average if signalized, critical movement if stop-controlled) and the corresponding traffic simulation Level-of-Service (LOS_s) is shown in **Table ES-2**.

Vehicular Access Analysis

Vehicular site access to the project is to be accommodated at a two proposed full movement driveway access connections to Barbee Chapel Road about 600 and 925 feet south of Barbee Chapel Road's intersection with NC 54. The proposed driveway has a single inbound and two outbound lanes, as shown on the concept plan. All driveway connections to Barbee Chapel Road would have acceptable design distances for driveway separations from intersections, and driveway separation from other access driveways based on standards found in the 2017 *Town of Chapel Hill Public Works Design Manual* and the 2003 *NCDOT Policy on Street and Driveway Access to North Carolina Highways*. Additional driveway throat length (50 foot minimum) is necessary for the southern driveway if it is built as currently shown on the site concept plan.

Signal Warrant Analysis

Based on projected 2025 and 2026 traffic volumes and proposed access plans, no unsignalized study area intersection would warrant the installation of a traffic signal, based on the Peak Hour warrant methodology found in the 2009 *Manual on Uniform Traffic Control Devices (MUTCD)*.

Crash Analysis

Data from the NCDOT Traffic Safety Unit was collected as part of the recent Hillmont Residential TIA for the five-year period 2/1/2017 to 1/31/2022 for the segment of Barbee Chapel Road in the vicinity of the proposed Barbee Chapel Apartments site. There were 18 crashes reported along the Barbee Chapel Road study area corridor between Finley Forest Drive and NC 54 over the five year period. The primary crash types were left-turn and angle crashes and crashes clustered near the NC 54/Barbee Chapel Road intersection. Overall, the number of crashes along Barbee Chapel Road in the project study area is higher than state-wide averages for similar facilities, but the overall severity is lower.



Town of Chapel Hill: Transportation Impact Analysis
Barbee Chapel Apartments – Proposed Residential Development

Table ES-2. Peak Hour Intersection Capacity Analysis Summary

Intersections	Peak Hour	1 - 2022 Existing		2 - 2025 No-Build		3 - 2025 Build		4 - 2025 Mitigated		5 - 2026 Mitigated With Hillmont	
		LOS _s	Delay	LOS _s	Delay	LOS _s	Delay	LOS _s	Delay	LOS _s	Delay
NC 54 (Raleigh Road) & Meadowmont Lane / Friday Center Drive	AM	B	16.7	B	18.4	B	18.1	B	16.8	B	18.7
	NOON	B	16.0	B	17.0	B	17.7	B	17.2	B	18.3
	PM	C	24.5	C	31.4	C	33.5	C	21.0	C	22.6
NC 54 (Raleigh Road) & Barbee Chapel Road / East Barbee Chapel Road	AM	C	23.3	C	30.4	C	33.2	C	27.8	D	35.2
	NOON	B	15.9	B	17.2	B	19.8	B	19.5	C	22.4
	PM	C	22.2	C	27.0	C	29.7	C	24.1	C	26.4
NC 54 (Raleigh Road) & Little John Road [#]	AM	E	39.7	F	61.1	E	45.4	E	47.9	F	54.8**
	NOON	D	25.7	D	32.9	E	41.9	E	40.4	E	40.4**
	PM	F	116	F	236	F	304	F	289	F	117**
Barbee Chapel Road & Stancell Drive [#]	AM	B	10.6	B	11.1	B	11.4	B	11.4	B	12.6
	NOON	A	9.4	A	9.6	A	9.8	A	9.8	B	10.2
	PM	A	9.7	A	9.9	B	10.1	B	10.1	B	10.6
Little John Road & Stancell Drive [#]	AM	C	17.9	D	30.3	A	9.8	B	13.8	B	12.2
	NOON	A	9.9	B	12.6	C	20.2	B	12.2	A	8.7
	PM	D	29.5	F	450	F	562	F	510	F	166
Barbee Chapel Road & Finley Forest Dr / Proposed Hillmont Site Driveway [#]	AM	B	10.3	B	14.6	F	204	B	12.8	B	13.3
	NOON	A	7.2	A	8.9	A	9.8	A	8.8	A	9.4
	PM	C	15.3	C	18.3	C	20.2	C	18.3	D	25.8
Barbee Chapel Road & Proposed Northern Site Driveway #1 [#]	AM	N/A	N/A	N/A	N/A	F	329	A	5.9	A	7.3
	NOON	N/A	N/A	N/A	N/A	A	5.4	A	4.7	A	5.0
	PM	N/A	N/A	N/A	N/A	A	7.9	A	5.0	A	5.1
Barbee Chapel Road & Proposed Southern Site Driveway #2 [#]	AM	N/A	N/A	N/A	N/A	F	152	A	7.9	A	9.3
	NOON	N/A	N/A	N/A	N/A	A	4.8	A	5.4	A	5.9
	PM	N/A	N/A	N/A	N/A	A	6.3	A	9.4	B	10.9

N/A – Not Applicable or No Improvements Necessary

BOLD/ITALICS – Critical Movement or Overall Intersection Requires Mitigation Per Town TIA Guidelines

- Worst-Case LOS/Delay for Unsignalized/Stop-Controlled Critical Movement

** - Delay Calculated as Weighted Average of Left and Right-Turn Movements for Northbound Approach

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the 2001 Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.



Town of Chapel Hill: Transportation Impact Analysis
Barbee Chapel Apartments – Proposed Residential Development

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Long Range Planning Level Daily V/C Analysis	The projected 1,700 daily trips generated by the site were analyzed in comparison to daily demand estimates for the 2045 horizon year of the Triangle Regional Travel Demand Model. Results indicate that, regardless of site development and long-term projects to improve capacity along the NC 54 corridor, future facility demands may result in congested conditions at peak times during the day. Daily site traffic impacts are most pronounced along the Barbee Chapel Road corridor between the site driveways and NC 54.
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using TransModeler maximum queue length estimates for the 2025 and 2026 Build Scenarios. At the intersection of Barbee Chapel Road and NC 54, the northbound approach queues may exceed existing storage due to site traffic impacts. Lengthening the northbound queue storage to the vicinity of Pearl Lane and adjustments to signal timing may be necessary to mitigate this issue. Additional lengthening of the westbound left-turn bay at the NC 54 and Little John Road is necessary to accommodate additional site traffic related to the Hillmont development. Separation of the Little John Road northbound approach to left and right-turn lanes improves operational efficiency in this vicinity. No other intersection maximum queue results indicate potential queue spillback.
Appropriateness of Acceleration/Deceleration Lanes	Generally, existing roadway facilities have appropriate auxiliary turn lanes to facilitate traffic flow. Additional southbound and northbound turn lanes at the Barbee Chapel Road intersection with Finley Forest Drive / Future Hillmont Site Driveway would provide a safety and operational benefit by removing these traffic movements from the high volume through traffic streams along Barbee Chapel Road.
Pedestrian and Bicycle Analysis	Existing pedestrian access and connectivity is lacking along the Barbee Chapel Road corridor but is provided near the site via the paved off-road path along Stancell Drive. No bicycle facilities exist along Barbee Chapel Road within the project study area. The paved off-road path along Stancell Drive provides connectivity to other paved paths along the NC 54 corridor and pedestrian sidewalk/bicycle lanes in the Meadowmont and Friday Center areas.
Public Transportation Analysis	Public transportation service to the study area, and to the proposed site is adequate, with bus stops and multiple local and regional bus routes servicing the Friday Center and Meadowmont development. No bus service extends directly to serve the site, however.

Mitigation Measures/Recommendations

Planned Improvements

There are no North Carolina Department of Transportation or Town of Chapel Hill improvement projects for study area roadway facilities within the analysis year time frame of 2022-2026.

Background Committed Improvements

Several previous traffic impact studies for development projects in and near the study area recommended signal timing reoptimization for signalized intersections along the NC 54 (Raleigh Road) corridor by their respective build-out years. It is assumed that periodic signal timing reoptimization may occur for the NC 54 corridor by the year 2025, whether or not specifically needed by any of the proposed background traffic generating developments included in this study. No other geometric improvements or changes to study area transportation network facilities constructed by private development projects are expected by the 2025 Build-Out Year+1.



Applicant Committed Improvements

Based on the preliminary site plans and supporting development information provided, there are several specific transportation-related improvements proposed for the Barbee Chapel Apartments project. Internal and external improvements (shown schematically in **Figure ES-3**) include:

- Provision of two full movement access driveways connecting to Barbee Chapel Road.
- Provision of sidewalk along east side of Barbee Chapel Road

Necessary Improvements

Based on traffic capacity analyses for the 2025 design year for the Barbee Chapel Apartments development and analyses of existing study area turning bay storage lengths and site access, the following improvements are recommended as being necessary for adequate transportation network operations and safety (see **Figure ES-3**).

- Lengthen the northbound left-turn lane at the NC 54 / Barbee Chapel Road intersection to approximately 450 feet and appropriate taper, using the existing pavement section in the vicinity of Pearl Lane. Monitor and reoptimize coordinated signal timings at the signalized intersection.
- With the extension of the northbound left-turn lane and necessary taper, it is recommended that the northern proposed Site Driveway #1 be limited to right-turn in/right-turn out (RIRO) access.
- Along the site frontage, a consistent three-lane cross section on Barbee Chapel Road is recommended, allowing a development of a southbound left-turn lane with 100 feet of storage and appropriate taper at the southern proposed Site Driveway #2. This driveway should feature full ingress/egress access.
- A high visibility pedestrian crosswalk and median refuge is recommended across the south leg of the Barbee Chapel Road / southern Site Driveway #2 intersection.
- A sidewalk extension is recommended along the west side of Barbee Chapel Road to connect to existing sidewalk at Finley Forest and the recommended pedestrian crosswalk/median refuge.
- As mandated by NCDOT, construct a northbound right-turn lane with 50 feet of full storage at the northern Site Driveway #1.
- As mandated by NCDOT, construct a northbound right-turn lane with 100 feet of full storage at the southern Site Driveway #2.

These improvements are recommended due to site transportation needs due to the Barbee Chapel Apartments development.

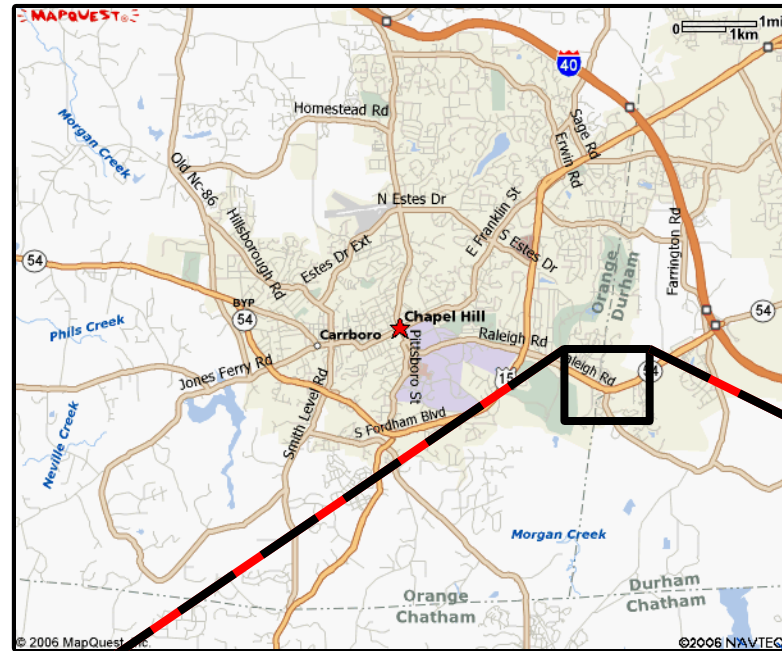
Additional Necessary Improvements recommended in the Hillmont Residential TIA include the following. These are related to specific impacts from the Hillmont development traffic and would not be necessary if the Hillmont site is not constructed.

- Construct a right-turn lane at the northbound Barbee Chapel Road approach at the NC 54 intersection, with 125 feet of storage utilizing existing pavement and widening along frontage of the existing gas station up to its existing access driveway along Barbee Chapel Road.
- Upgrade NC 54 / Barbee Chapel Road signal for northbound right-turn overlap signal phase and retime signal. For the 2026 future year analysis, if both the Barbee Chapel Apartments and Hillmont sites are constructed, monitor and re-time the signal upon completion of the Hillmont site.







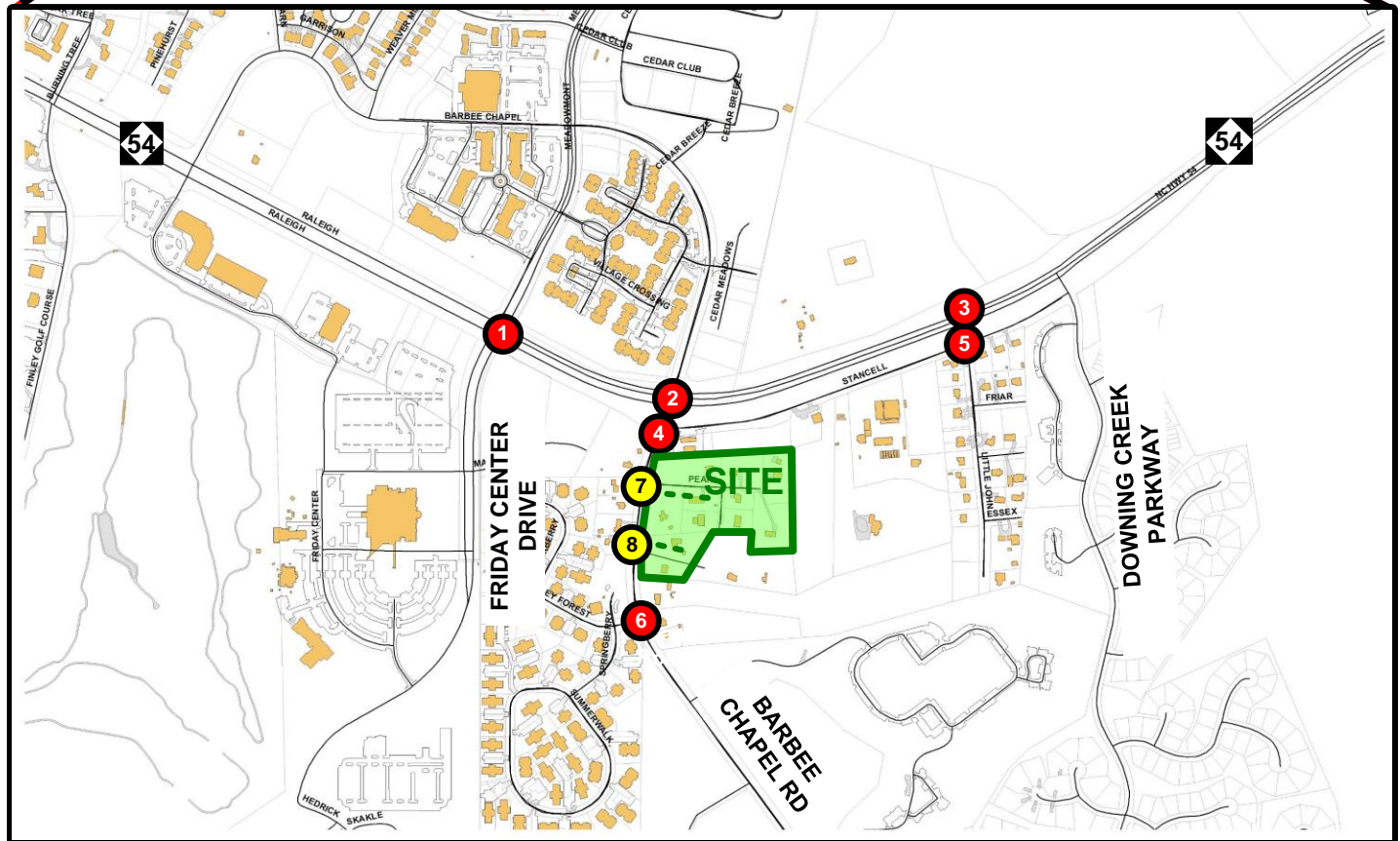
Town of Chapel Hill: Transportation Impact Analysis
Barbee Chapel Apartments – Proposed Residential Development

- Construct a 150 foot southbound left-turn lane and appropriate taper at the Barbee Chapel Road and Finley Forest Drive / Hillmont Site Driveway intersection. The intersection design and adjustment in alignment for through travel lanes along Barbee Chapel Road should allow for the creation of a northbound left-turn lane with 100 feet of minimum storage and appropriate taper.
- Stripe separate left-turn and through/right-turn lanes at the Finley Forest Drive approach.
- Provide a pedestrian crosswalk across the south leg of the Barbee Chapel Road / Finley Forest Drive approach.
- Restripe the current northbound approach at the NC 54 / Little John Road intersection for separate left-turn and right-turn lanes, with small amount of roadway widening, as needed.
- Extend the existing westbound left-turn bay at the NC 54 / Little John Road intersection to 250 feet of vehicle storage and appropriate taper.
- Extend the existing paved off-road multi-use path on the south side of Stancell Drive across the proposed Barbee Chapel Apartments site frontage.
- Per Town Mobility Plan recommendations, remaining sidewalk north of Finley Forest Drive to NC 54 along Barbee Chapel Road should be constructed.



LEGEND

-  = Existing Building Footprint
-  = Existing Study Area Intersection
-  = Proposed Site Driveway
-  = Proposed Barbee Chapel Apts Site



Source: Town of Chapel Hill GIS Files

HNTB



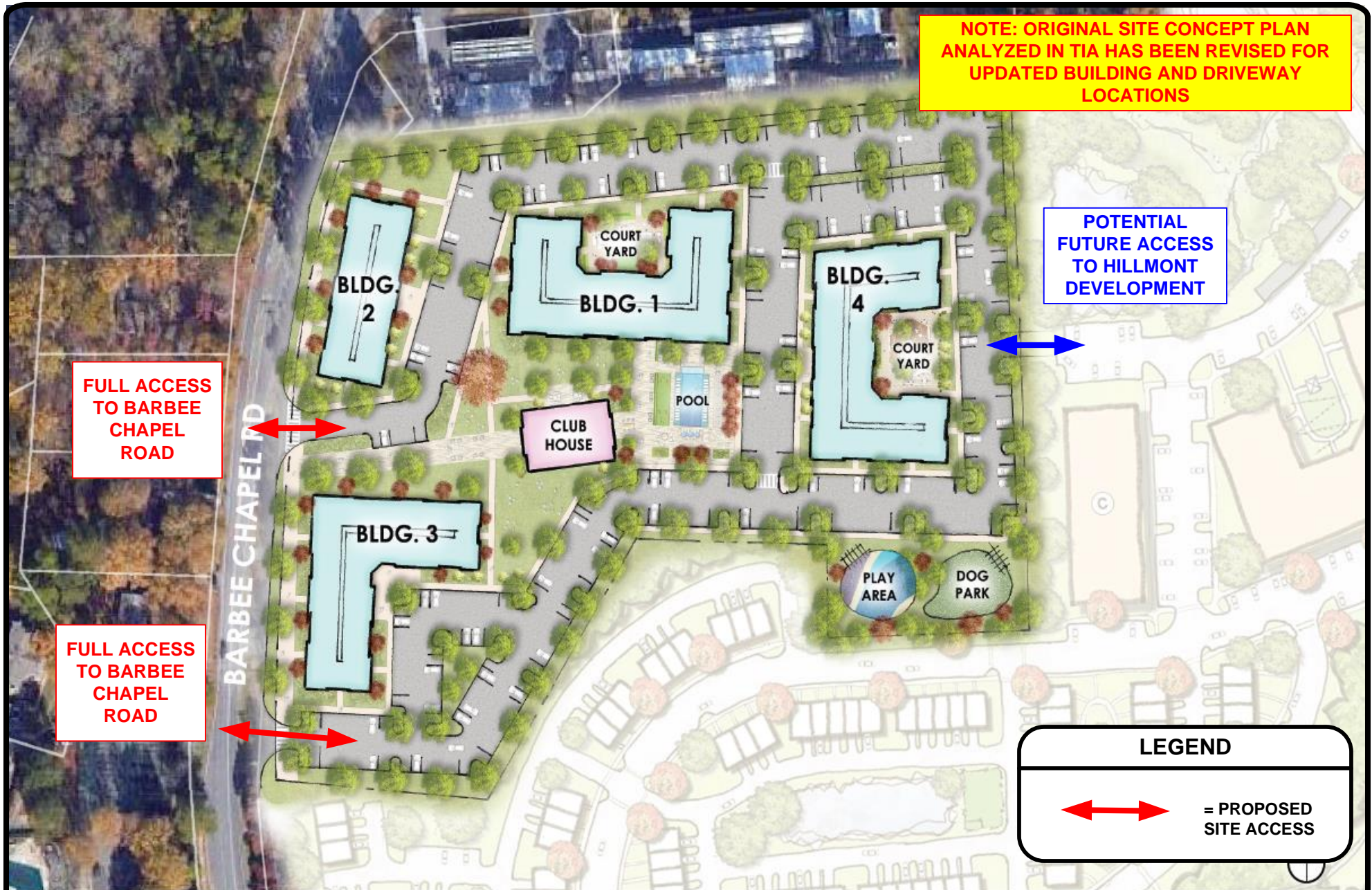
Barbee Chapel Road Apartments Transportation Impact Analysis

PROJECT STUDY AREA

DATE: April 2023

FIGURE ES-1

**NOTE: ORIGINAL SITE CONCEPT PLAN
ANALYZED IN TIA HAS BEEN REVISED FOR
UPDATED BUILDING AND DRIVEWAY
LOCATIONS**



HNTB



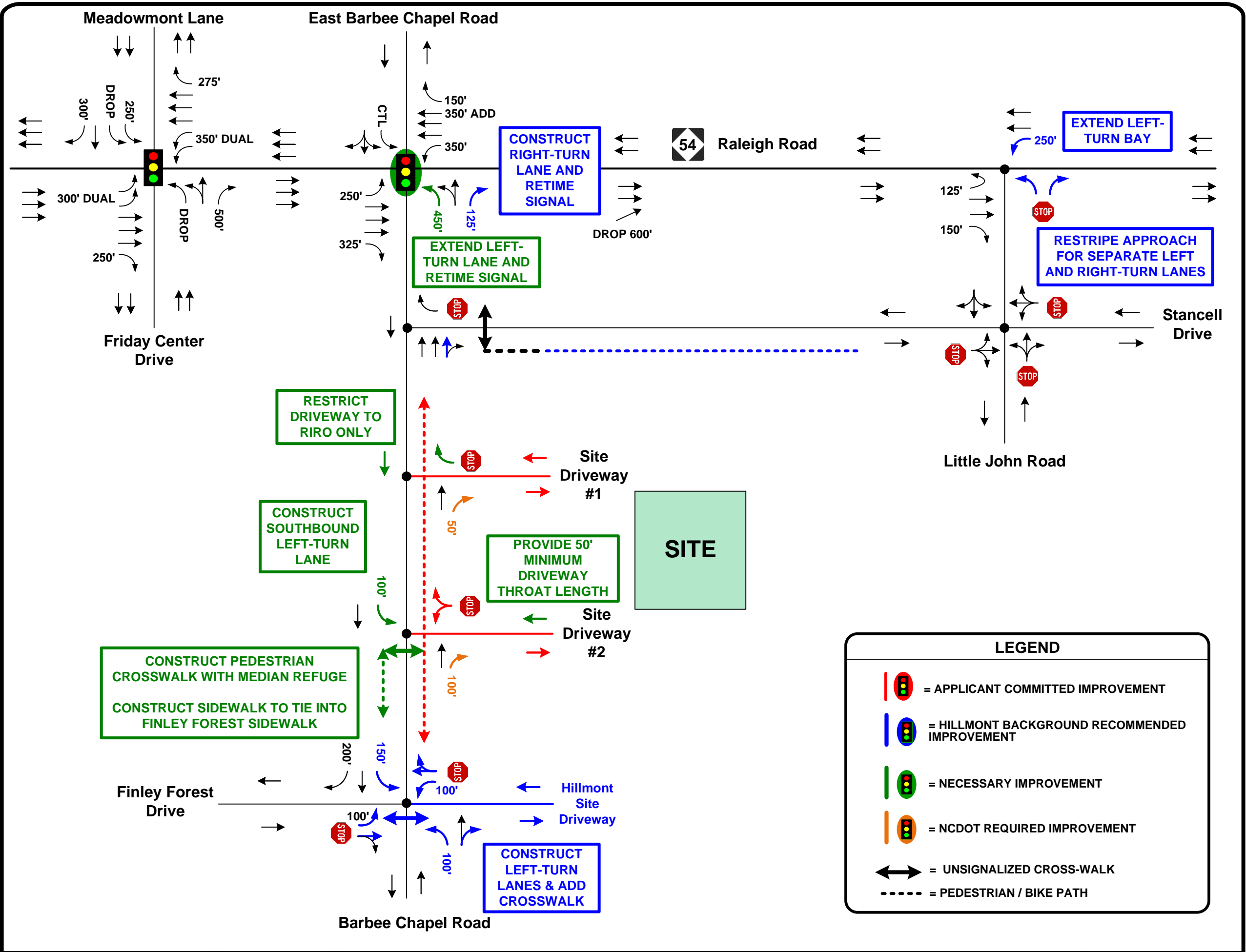
**NOT TO
SCALE**

Barbee Chapel Road Apartments Transportation Impact Analysis

PRELIMINARY SITE PLAN

DATE: April 2023

FIGURE ES-2



BARBEE CHAPEL APARTMENTS

5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517

CONDITIONAL ZONING PERMIT DRAWINGS

PROJECT NUMBER: TLA-22001

DATE: SEPTEMBER 29, 2022

REVISED: MAY 18, 2023

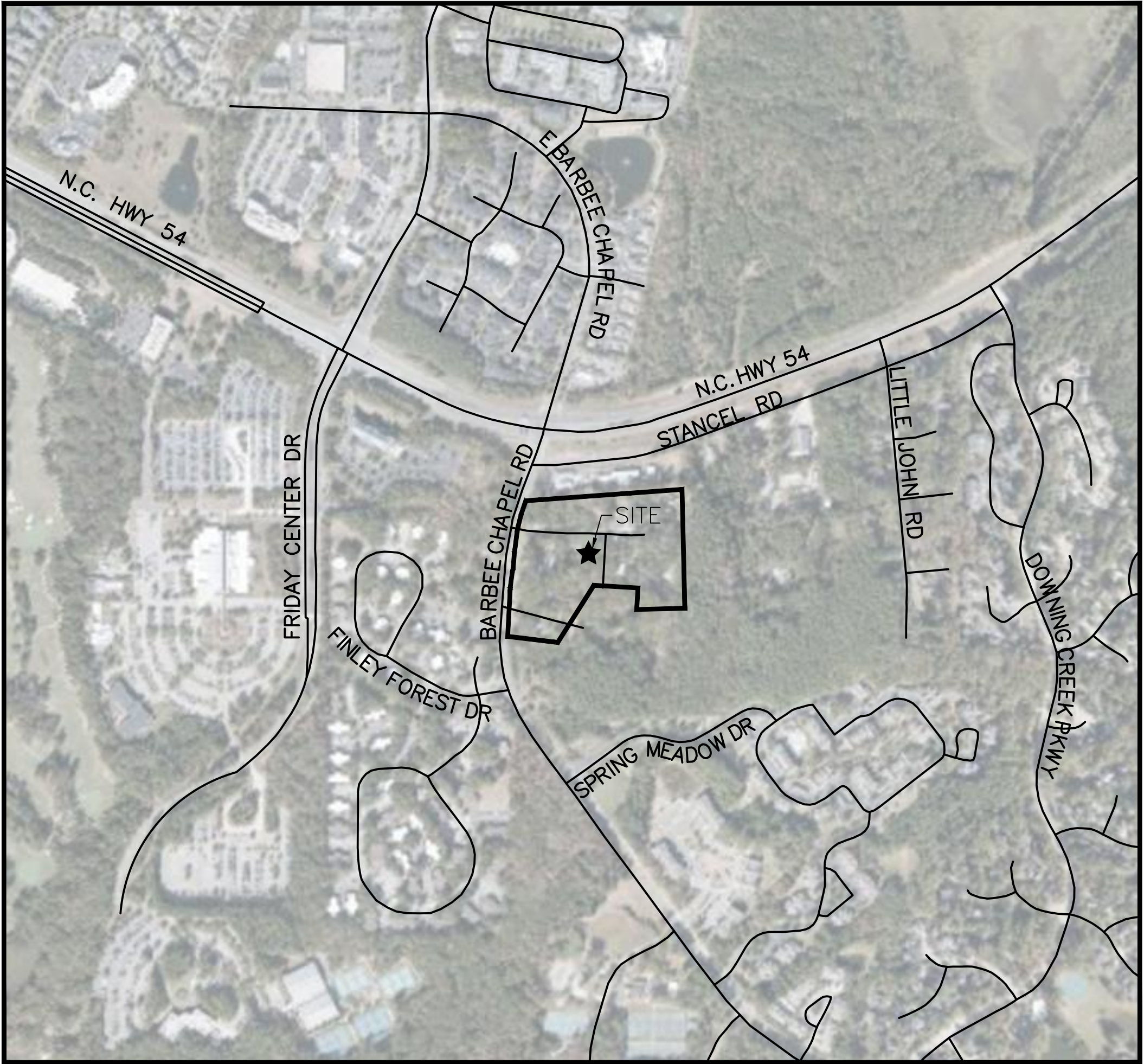
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SITE AREA	455,841 SF / 10.46 AC	
GROSS LAND AREA	455,841 SF + 10%(455,841 SF) = 501,425 SF / 11.51 AC	
ZONING	EXISTING	R-2
	PROPOSED	R-6
RIVER BASIN	CAPE FEAR	
WATERSHED	JORDAN LAKE - UPPER NEW HOPE	
WATERSHED PROTECTION	JORDAN LAKE WATERSHED, F/I-B	
EXISTING USE	SINGLE FAMILY	
PROPOSED USE	MULTI-FAMILY	
UNITS	PROPOSED	262-350 TOTAL UNITS
DENSITY	PROPOSED	31 UNITS/ACRE
IMPERVIOUS	EXISTING	1.69 AC (14.7% OF GLA)
	MAX ALLOWED	8.06 AC (70.0% OF GLA)
	ALLOWED	39'
BUILDING HEIGHT	PROPOSED	65'
	REQUIRED	0.05 * 501,425 SF = 25,071 SF
RECREATION SPACE	PROPOSED	25,071 SF
	REQUIRED	
VEHICULAR PARKING	STUDIO	MIN 1 PER UNIT, MAX 1.25 PER UNIT
	1-BED	MIN 1 PER UNIT, MAX 1.25 PER UNIT
	2-BED	MIN 1.4 PER UNIT, MAX 1.75 PER UNIT
	3-BED	MIN 1.75 PER UNIT, MAX 2.25 PER UNIT
	PROPOSED	PER LUMO
	EV PARKING	> 5% OF PROPOSED PARKING
	BIKE PARKING	1 PER 4 UNITS
SETBACKS	REQUIRED	STREET = 20' INTERIOR = 10' SOLAR = 8'
	PROPOSED	STREET = 20' INTERIOR = 8' SOLAR = 6'
BUFFERS	REQUIRED	NORTH: 20' TYPE C EAST/SOUTH: 10' TYPE B WEST: 20' TYPE C
	PROPOSED	NORTH: 6' MODIFIED EAST: 8-10' MODIFIED SOUTH: 4-10' MODIFIED WEST: 10-15' MODIFIED
DISTURBED AREA	480,000 SF (11.0 AC)	

SHEET INDEX

- C0.00 PROJECT NOTES
- C0.01 AREA MAP
- C1.00 EXISTING CONDITIONS
- C1.01 STEEP SLOPES PLAN
- C2.00 SITE PLAN
- C2.01 SOLID WASTE PLAN
- C2.02 FIRE PROTECTION PLAN
- C3.00 GRADING PLAN
- C4.00 UTILITY PLAN
- C7.00 CONSTRUCTION MANAGEMENT PLAN
- C8.00 SITE DETAILS
- C9.00 SCM A PLAN VIEW
- C9.01 SCM B PLAN VIEW

ADDITIONAL SHEETS BY OTHERS

- L1.00 OVERALL SITE PLAN
- L1.01 PLANTING PLAN ZONE 01
- L1.02 PLANTING PLAN ZONE 02
- L1.03 PLANTING PLAN ZONE 03
- L1.04 PLANTING DETAILS AND PLANTING SCHEDULE
- L2.00 TREE PROTECTION PLAN
- A1.00 SITE PLAN
- A2.00 BUILDING ELEVATIONS
- A2.01 BLDG ELEVATIONS
- A2.02 TOWNHOME ELEVATIONS



VICINITY MAP

1" = 500'





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fax 919. 361. 2269
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PHONE: 919.287.0722

CLIENT

TOLL BROTHERS APARTMENT LIVING
1140 VIRGINIA DR
FORT WASHINGTON, PA, 19034
CONTACT
PHONE: 202.577.6491



PROJECT DIRECTORY

ARCHITECT
CI DESIGN INC.
414 FAYETTEVILLE STREET
RALEIGH, NORTH CAROLINA 27601
PHONE: 410.384.4244



REVISIONS

NO.	DATE	
1	11.23.2022	REVISED PER 1ST CZP COMMENTS
2	02.21.2023	REVISED PER 2ND CZP COMMENTS
3	05.18.2023	REVISED PER CZP ORDINANCE
4		
5		
6		

CONDITIONAL ZONING PERMIT DRAWINGS FOR:

BARBEE CHAPEL APARTMENTS
5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517
PROJECT NUMBER: TLA-22001

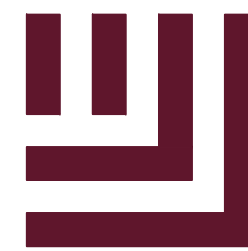
OWASA UTILITY EASEMENT
(D.B. 8392, PG. 452)

N/F
DUB PROPERTIES
PIN:9798-82-28-6920
PID:141873
D.B. 7876, PG. 177
P.B. 199, PG. 189

N/F
NC DEPT OF TRANSPORTATION
PIN:9798-72-78-8288
PID:211060
D.B. 327, PG. 554

PRIVATE VARIABLE WIDTH
SCM MAINTENANCE AND
ACCESS EASEMENT
HEREBY DEDICATED

INTERMITTENT STREAM
PER TOWN OF
CHAPEL HILL



McADAMS

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CLIENT

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1140 VIRGINIA DR
FORT WASHINGTON, PA, 19034
Contact
PHONE: 202.577.6491

Toll Brothers
APARTMENT LIVING

BARBEE CHAPEL APARTMENTS CONDITIONAL ZONING PERMIT DRAWINGS 5101 BARBEE CHAPEL RD CHAPEL HILL, NC 27517



REVISIONS

NO.	DATE	REVISION
1	11.23.2022	REVISED PER 1ST CZP COMMENTS
2	02.21.2023	REVISED PER 2ND CZP COMMENTS
3	05.18.2023	REVISED PER CZP ORDINANCE
4		
5		
6		

PLAN INFORMATION

PROJECT NO. TLA-22001
FILENAME TLA22001-S1
CHECKED BY SJC
DRAWN BY WHM
SCALE 1" = 40'
DATE 09.29.2022

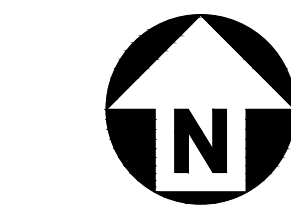
SHEET

SITE PLAN

C2.00

SEE SHEET C0.00 FOR ALL PROJECT, SITE,
GRADING, STORM DRAINAGE AND UTILITY
NOTES

ALL CONSTRUCTION SHALL BE IN
ACCORDANCE WITH THE CURRENT TOWN
OF CHAPEL HILL AND NCDOT ENGINEERING
DESIGN AND CONSTRUCTION STANDARDS



GRAPHIC SCALE
1 inch = 40 ft.

SITE LEGEND

	SIGNAGE
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	TRAFFIC DIRECTIONAL ARROW
	ACCESSIBLE PARKING STALL
	VAN ACCESSIBLE PARKING STALL
	PARKING SPACE COUNT
	ACCESSIBLE RAMPS
	ACCESSIBLE ROUTE
	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE
	RECREATIONAL AREA 25,071 SF

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

BARBEE CHAPEL APARTMENTS

5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517

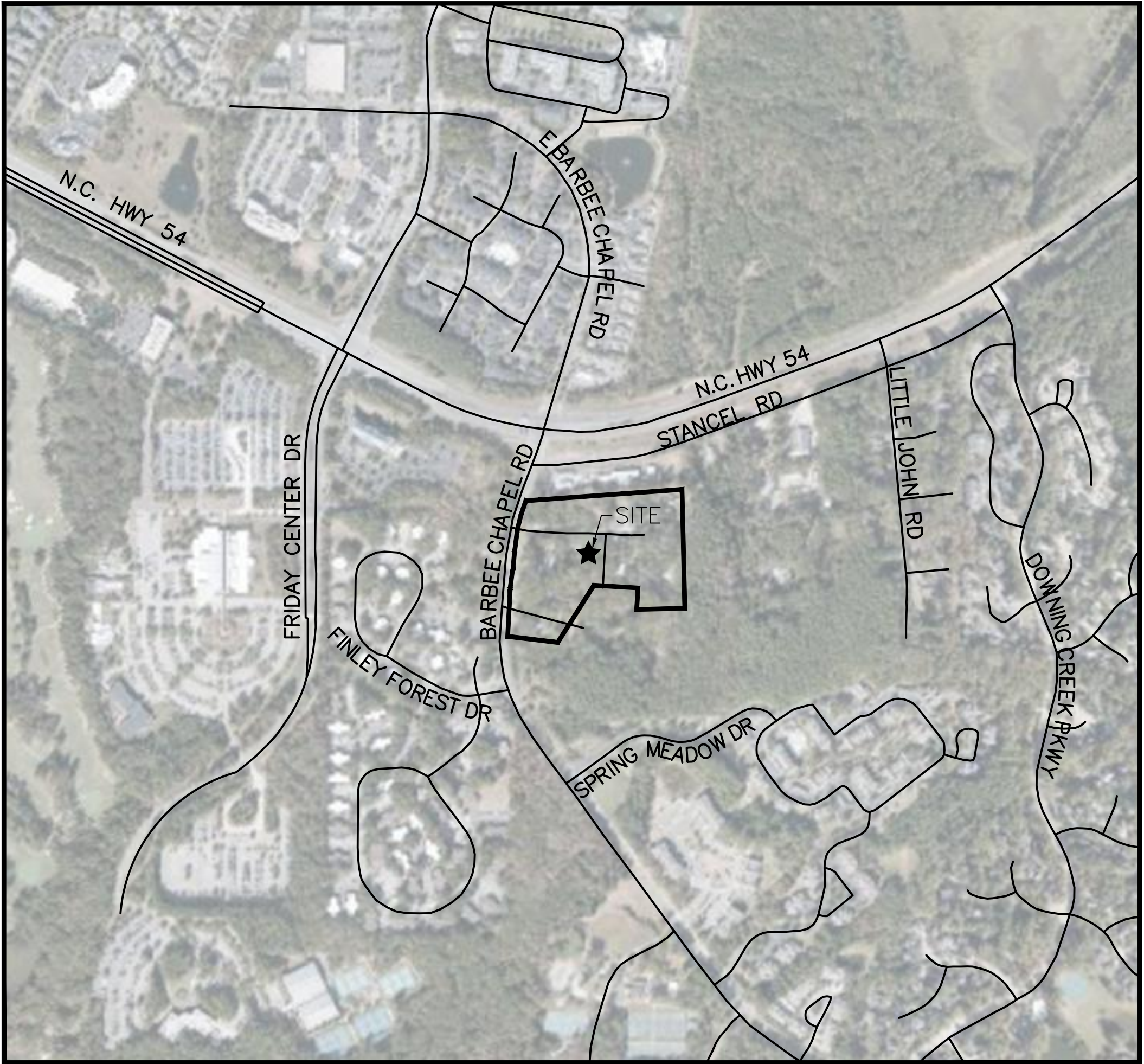
SITE DATA		
PIN	9798-04-72-8235, 9798-04-72-7580, 9798-04-72-9483, 9798-04-72-9596, 9798-04-82-2404, 9798-04-82-2505, 9798-04-82-3481, 9798-04-82-1515, 9798-04-72-9722, 9798-04-82-4628	
SITE AREA	455,841 SF / 10.46 AC	
GROSS LAND AREA	455,841 SF + 10%(455,841 SF) = 501,425 SF / 11.51 AC	
ZONING	EXISTING	R-2
	PROPOSED	R-6
RIVER BASIN	CAPE FEAR	
WATERSHED	JORDAN LAKE - UPPER NEW HOPE	
WATERSHED PROTECTION	JORDAN LAKE WATERSHED, F/I-B	
EXISTING USE	SINGLE FAMILY	
PROPOSED USE	MULTI-FAMILY	
UNITS	PROPOSED	326 MULTI-FAMILY UNITS 24 TOWNHOME UNITS
		350 TOTAL UNITS
DENSITY	PROPOSED	31 UNITS/ACRE
IMPERVIOUS	EXISTING	1.69 AC (14.7% OF GLA)
	MAX ALLOWED	8.06 AC (70.0% OF GLA)
BUILDING HEIGHT	ALLOWED	39'
	PROPOSED	60'
RECREATION SPACE	REQUIRED	0.05 * 501,425 SF = 25,071 SF
	PROPOSED	25,071 SF
VEHICULAR PARKING	REQUIRED	
	STUDIO	MIN 1 PER UNIT, MAX 1.25 PER UNIT
	1-BED	MIN 1 PER UNIT, MAX 1.25 PER UNIT
	2-BED	MIN 1.4 PER UNIT, MAX 1.75 PER UNIT
	3-BED	MIN 1.75 PER UNIT, MAX 2.25 PER UNIT
	PROPOSED	PER LUMO
EV PARKING	PROPOSED	> 5% OF PROPOSED PARKING
BIKE PARKING	REQUIRED	1 PER 4 UNITS
	PROPOSED	PER LUMO
SETBACKS	REQUIRED	STREET = 20' INTERIOR = 10' SOLAR = 8'
	PROPOSED	STREET = 20' INTERIOR = 8' SOLAR = 6'
BUFFERS	REQUIRED	NORTH: 20' TYPE C EAST/SOUTH: 10' TYPE B WEST: 20' TYPE C
	PROPOSED	NORTH: 6' MODIFIED EAST: 8-10' MODIFIED SOUTH: 4-10' MODIFIED WEST: 10-15' MODIFIED
DISTURBED AREA	480,000 SF (11.0 AC)	

CONDITIONAL ZONING PERMIT DRAWINGS

PROJECT NUMBER: TLA-22001

DATE: SEPTEMBER 29, 2022

REVISED:FEBRUARY 21, 2023



VICINITY MAP

1" = 500'



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PROJECT DIRECTORY

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REVISIONS

NO.	DATE	
1	11.23.2022	REVISED PER 1ST CZP COMMENTS
2	02.21.2023	REVISED PER 2ND CZP COMMENTS
3		
4		
5		
6		

CONDITIONAL ZONING PERMIT DRAWINGS FOR:

BARBEE CHAPEL APARTMENTS
5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517
PROJECT NUMBER: TLA-22001

ORANGE COUNTY SOLID WASTE STANDARD PLAN
NOTES (CONSTRUCTION WASTE):

- 1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- 2. PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- 3. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- 4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- 5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ('ACM') AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

LANDSCAPE PROTECTION NOTES:

- 1. PLAN SHOWS RARE AND SPECIMEN TREES IN ACCORDANCE WITH THE ORDINANCE THAT WAS IN EFFECT AT THE TIME OF APPROVAL.
- 2. LANDSCAPING SHALL BE COORDINATED TO PRESERVE EXISTING TREES AS MUCH AS POSSIBLE. CONFLICTS BETWEEN PROPOSED PLANTINGS AND EXISTING TREES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR REMEDIATION.
- 3. ALL IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC CONTROLLERS THAT ACTIVATE THE SYSTEM ACCORDING TO A DESIRED FREQUENCY AND DURATION, AND SHALL ALSO BE EQUIPPED WITH RAIN OR SOIL MOISTURE SENSORS THAT WILL PREVENT IRRIGATION DURING PERIODS OF RAINFALL OR WHEN THERE IS SUFFICIENT MOISTURE IN THE GROUND FOR PLANT HEALTH AND SURVIVAL IN ACCORDANCE WITH THE LOCAL GOVERNMENT WATER CONSERVATION ORDINANCES.

PAVEMENT MARKING/SIGNAGE NOTES:

- 1. ALL SIGNAGE SHALL BE COORDINATED WITH THE TOWN OF CHAPEL HILL.
- 2. ALL SIGNAGE SHALL MEET MUTCD STANDARDS AND SPECIFICATIONS.
- 3. ALL SIGNAGE SHALL MEET NCDOT PEDESTRIAN SAFETY SPECIFICATIONS.
- 4. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST NORTH CAROLINA DEPARTMENT OF TRANSPORTATION (NCDOT) AND/OR TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- 5. ALL SIGNS SHALL BE PRISMATIC AND ADHERE TO THE MINIMAL RETROREFLECTIVITY STANDARDS FOUND IN THE LATEST VERSION OF THE MUTCD.
- 6. ALL PAVEMENT MARKINGS ON PUBLIC STREETS SHALL BE THERMOPLASTIC AND ARE TO BE PLACED PER NCDOT STANDARDS (REFERENCE 2012 NCDOT DETAILS (1205.01-1205.12)
- 7. SIGN DESIGNS FOR STREET NAME SIGNS SHALL BE APPROVED BY TRANSPORTATION/ENGINEERING DEPARTMENT STAFF TO ENSURE COMPLIANCE WITH MUTCD SPECIFICATIONS. DESIGNS MUST BE APPROVED BY TOWN STAFF PRIOR TO ACCEPTANCE OF STREETS OR ISSUANCE OF 1ST CO.
- 8. ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPOPER LETTER HEIGHTS, AND RETROREFLECTIVITY.

CONSTRUCTION MANAGEMENT NOTES:

- 1. ALL LARGE TRUCKS AS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER/LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES & EXITS AS SHOWN ON THIS PLAN. LANE CLOSURES SHALL BE ESTABLISHED AS SHOWN ON THIS PLAN AND CONSTRUCTION PERSONNEL SHALL BE IN ATTENDANCE TO MANAGE AND DIRECT VEHICULAR AND PEDESTRIAN TRAFFIC.
- 2. ENTRANCE AND EXIT GATES SHALL BE CLOSED UNLESS CONSTRUCTION OR DELIVERY VEHICLES ARE ENTERING OR EXITING THE CONSTRUCTION SITE.
- 3. THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH ALL APPLICABLE NCDOT STANDARDS. REFER TO THE TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
- 4. NO OPEN BURNING SHALL BE PERMITTED.
- 5. THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT LISTS THE FOLLOWING:
 - PROPERTY OWNER'S REPRESENTATIVE & TELEPHONE NUMBER
 - CONTRACTOR'S REPRESENTATIVE & TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR REGULATORY INFO AT TIME OF BUILDING PERMIT
 - SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.
- 6. FENCING AROUND PROJECT SHALL INCLUDE ACCESS GATES WITH A 20-FOOT SWING OR SLIDE MOTION.
- 7. CONSTRUCTION FENCE SHALL BE MODIFIED AS REQUIRED DURING CONSTRUCTION PHASING FOR PEDESTRIAN CIRCULATION.
- 8. PRIOR TO ANY TRAFFIC LANE AND/OR SIDEWALK CLOSURES, THE APPLICANT SHALL CONTACT THE CHAPEL HILL TRAFFIC ENGINEERING OFFICE (919-969-5096 OR 919-969-5100) AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LAND CLOSURE PERMIT.
- 9. ROAD CLOSURES ON PUBLIC STREETS MUST BE COORDINATED WITH AND APPROVED BY THE TOWN OF CHAPEL HILL.
- 10. TEMPORARY STREET ROAD SIGNS ARE REQUIRED AT EACH STREET INTERSECTION WHEN CONSTRUCTION OF NEW ROADS ALLOWS FOR THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF APPROVED SIZE, WEATHER RESISTANT AND BE MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
- 11. CONTRACTOR TO PROVIDE DEDICATED ONSITE PARKING SPACES FOR INSPECTORS AT EACH BUILDING AND NEAR THE JOB TRAILER FOR THE DURATION OF CONSTRUCTION
- 12. ROADS WITH CURB AND GUTTER AND THE FIRST LIFT OF ASPHALT WILL NEED TO BE CONSTRUCTED BEFORE COMBUSTIBLES ARE ON SITE IN ORDER TO MEET REQUIREMENTS FROM FIRE CODE, STORMWATER, AND OWASA. HYDRANTS SHALL BE ACTIVE IN THE AREAS FOR CONSTRUCTION.

GENERAL NOTES:

- 1. CONTRACTOR TO NOTIFY SURROUNDING PROPERTIES 7 DAYS PRIOR TO STARTING CONSTRUCTION.
- 2. CONTRACTOR TO PROVIDE NOTICE TO THE TOWN OF CHAPEL HILL REGARDING SPECIFIC DATES FOR ANY NECESSARY ROAD CLOSURES AND LANE REDUCTIONS.
- 3. GENERAL CONTRACTOR TO COORDINATE WITH SPECIFIC PROPERTIES AFFECTED BY THE PROPOSED ROAD CLOSURES IF REQUIRED TO ENSURE CONTINUOUS ACCESS TO THE AFFECTED PROPERTIES.
- 4. ALL SHOWN PARKING SPACE MARKINGS SHALL BE PER THE TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.
- 5. MINIMUM CORNER CLEARANCES FROM THE CURBLINE OF INTERSECTING STREETS SHALL BE AT LEAST 20' FROM THE POINT OF TANGENCY. NO DRIVEWAYS OR PARKING SPACES SHALL ENCRACH ON THIS MINIMUM CORNER CLEARANCE.
- 6. WITHIN THE SIGHT DISTANCE TRIANGLES SHOWN, NO OBSTRUCTION BETWEEN 2' AND 8' IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- 7. ALL CONSTRUCTION SHALL CONFORM TO THE LATEST TOWN OF CHAPEL HILL, NCDOT AND OWASA STANDARDS AND SPECIFICATIONS.
- 8. ALL DIMENSIONS SHOWN ON SITE PLAN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 9. OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) STANDARDS FOR EXCAVATIONS; FINAL RULE 29CFR PART 1926, SUBPART "P" APPLIES TO ALL EXCAVATIONS EXCEEDING FIVE (5) FEET IN DEPTH. EXCAVATION EXCEEDING TWENTY (20) FEET IN DEPTH REQUIRES THE DESIGN OF A TRENCH SAFETY SYSTEM BY A REGISTERED PROFESSIONAL ENGINEER, PROVIDED BY CONTRACTOR RESPONSIBLE FOR EXCAVATION.
- 10. EQUIPMENT AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED PROVIDED APPROVAL HAS BEEN OBTAINED FROM THE OWNER IN WRITING PRIOR TO ORDERING OR INSTALLATION. THE CONTRACTOR SHALL WAIVE ANY CLAIM FOR ADDITIONAL COST RELATED TO THE SUBSTITUTION OF ALTERNATE EQUIPMENT.
- 11. CONTRACTOR SHALL MAINTAIN AN "AS-BUILT" SET OF DRAWINGS TO RECORD THE EXACT LOCATION OF ALL PIPING PRIOR TO CONCEALMENT. DRAWINGS SHALL BE GIVEN TO THE OWNER UPON COMPLETION OF THE PROJECT WITH A COPY OF THE TRANSMITTAL LETTER TO THE ENGINEER.
- 12. CONTRACTOR IS RESPONSIBLE FOR COORDINATING CONSTRUCTION ACTIVITIES WITH THE APPROPRIATE UTILITY COMPANIES FOR ANY REQUIRED RELOCATION (I.E. POWER POLES, TELEPHONE PEDESTALS, WATER METERS, ETC.).
- 13. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF CHAPEL HILL ENGINEERING DEPARTMENT, ORANGE COUNTY SOIL AND EROSION DEPARTMENT, ENGINEER, AND OWNER/REPRESENTATIVE.
- 14. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 15. ALL STREET NAME SIGNS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD INCLUDING MIXED CASE LETTERING, PROPER LETTER HEIGHTS, AND RETROREFLECTIVITY.
- 16. ALL ASPHALT EDGES SHALL BE SAW CUT TO PROVIDE A GOOD LONGITUDINAL JOINT. MILL 1.5 FEET AT 1.5 INCHES DEEP MINIMUM TO PROVIDE A LONGITUDINAL LAP JOINT FOR FINAL SURFACE LAYER. NO MILLING SHALL BE LEFT FOR A PERIOD OF TIME GREATER THAN 48 HOURS BEFORE A STREET IS TO BE REPAVED/RESURFACED.
- 17. SEPARATE BUILDING PERMITS ARE REQUIRED FOR RETAINING WALLS, DUMPSTER ENCLOSURES, MONUMENTS, SIGNS, OR OTHER ACCESSORY STRUCTURES OR ELEMENTS.
- 18. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- 19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.
- 20. EXISTING CONTOURS ARE BASED ON SURVEY COMPLETED BY SUMMIT. EXISTING UTILITIES SHOWN ARE BASED ON SURVEY AND THE BEST AVAILABLE RECORDS. THE CONTRACTOR, HOWEVER, SHALL VERIFY CONDITIONS PRIOR TO BEGINNING CONSTRUCTION. ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY. FOR NECESSARY PLAN OR GRADE CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 21. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THEIR ORIGINAL CONDITION OR TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
- 22. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE THE BASE FLOOD ELEVATION PLUS 2 FEET.
- 23. A ZONE FOR FIRE DEPARTMENT LADDERS AND FIREFIGHTING OPERATIONS MUST BE PROVIDED, REQUIRING ALL LINES TO BE BURIED SURROUNDING STRUCTURES.
- 24. IF APPLICABLE, BACK WASH WATER FROM THE POOL SHALL DISCHARGE INTO THE SANITARY SEWER SYSTEM, NOT STORM SEWER, AND SHALL NOT EXCEED 50 GALLONS PER MINUTE.
- 25. CONTRACTOR TO CONTACT THE CHAPEL HILL STORMWATER MANAGEMENT DIVISION AT 919-969-7246 TO SCHEDULE SITE INSPECTION AT LEAST TEN (10) DAYS IN ADVANCE OF REQUESTING THE CERTIFICATE OF OCCUPANCY.
- 26. IMPROVEMENTS, STRUCTURES, FIXTURES, SIGNS, TABLES, CHAIRS, PLANTERS, OR ANY OTHER OBJECT SHALL NOT BE PLACED IN SIDEWALK AREAS FOR ANY PERIOD OF TIME.
- 27. HVAC CONDENSATE AND FLOOR DRAINS FROM THE ROOFED PARKING AREA SHALL NOT BE CONNECTED TO THE STORM SEWER SYSTEM. NO ELEVATOR SUMP PUMP DISCHARGE MAY ENTER THE STORM SEWER SYSTEM.
- 28. ANY ROOF DRAINS OR OTHER PLUMBING INTENDED TO DISCHARGE TO THE STORM SEWER SYSTEM NOT SHOWN ON THE APPROVED PLANS ARE NOT APPROVED. ANY DISCHARGE DIRECTED TO THE STORM SEWER SYSTEM THAT IS NOT APPROVED WILL NEED TO APPROVAL FROM THE TOWN OF CHAPEL HILL STORMWATER MANAGEMENT DIVISION.
- 29. THE NORTH CAROLINA DEPARTMENT OF INSURANCE SHALL REVIEW AND APPROVE ANY PROJECTS LISTED IN TABLE 104.1 OF THE NORTH CAROLINA ADMINISTRATION AND POLICIES CODE BEFORE THE TOWN OF CHAPEL HILL WILL BEGIN ITS BUILDING PERMIT REVIEW.
- 30. A SINGLE ELECTRICAL SERVICE SHALL BE PROVIDED TO SERVE THE STRUCTURE WITH THE EXCEPTION OF THE FIRE PUMP, IN ACCORDANCE WITH ARTICLE 230.2(A) OF THE 2017 NORTH CAROLINA ELECTRICAL CODE.
- 31. CURB AND GUTTER AND ATLEAST THE FIRST LIFT OF ASPHALT FOR THE ROADS MUST BE PLACED PRIOR TO THE START OF CONSTRUCTION.
- 32. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED HANDICAPPED PARKING SPACES AND DESIGN ALL HANDICAPPED PARKING SPACES, RAMPS, CROSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO THE AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) CODE, AND TOWN STANDARD.
 - A. THE NUMBER OF PARKING SPACES SHALL COMPLY WITH NCBC 2018 SECTION 1106.1.1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE. NO SLOPE SHALL EXCEED 2% IN ANY DIRECTION. SIGNAGE SHALL BE PLACES IN ACCORDANCE WITH NCBC 2018 REQUIREMENTS, MUTCD AND ACC A 117.1.
 - B. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 EDITION, CROSS SLOPE LIMITED TO 2%. CALL TOWN OF CHAPEL HILL BUILDING INSPECTIONS OFFICE FOR INSPECTION PRIOR TO PLACEMENT OF CONCRETE.
 - C. SLOPES GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.
- 33. FINAL LOCATION OF GAS LINE INSTALLED BY DOMINION ENERGY TO BE VERIFIED IN FIELD PRIOR TO THE INSTALLATION OF ANY FURNISHINGS REQUIRING GAS CONNECTIONS, INCLUDING BUT NOT LIMITED TO FIRE PITS, FIRE TABLES AND OUTDOOR GRILLING STATIONS. CONTRACTOR SHALL COORDINATE WITH DOMINION ENERGY, LANDSCAPE ARCHITECT, ARCHITECT AND OWNER FOR CONNECTIONS TO GAS LINE. CONNECTIONS TO BE PROVIDED BY A LICENSED GAS FITTER/TECHNICIAN AND SHALL CONFIRM TO ALL LOCAL AND STATE REGULATIONS.

GRADING & STORM DRAINAGE NOTES:

- 1. CONTRACTOR SHALL NOTIFY NC 811 (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF NC 811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 2. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL HOLD A PRE-CONSTRUCTION CONFERENCE WITH THE ORANGE COUNTY SOIL AND EROSION CONTROL OFFICER, TOWN OF CHAPEL HILL STORM WATER MANAGEMENT DIVISION, AND OWNER'S REP/ENGINEER.
- 3. CONTRACTOR TO CONTACT JAMES HUGGINS WITH THE TOWN OF CHAPEL HILL AT 919-969-5088 TO POST EROSION CONTROL BOND, ALONGS WITH A PERFORMANCE GUARANTEE PER, PRIOR TO ANY LAND DISTURBANCE.
- 4. GRADING AND CONTOURS ARE BASED ON NORTH AMERICAN VERTICAL DATUM 88 (NAVDS8).
- 5. SOIL UNDER BUILDINGS AND PAVED AREAS SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER AND SHOULD MEET OR EXCEED TOWN OF CHAPEL HILL STANDARDS.
- 6. GRADING IN AREAS DESIGNATED AS "ACCESSIBLE" SHALL COMPLY WITH ALL FEDERAL AND LOCAL ACCESSIBILITY RULES AND GUIDELINES. EVEN THOUGH PLANS MAY NOT SHOW ALL SPOT ELEVATIONS IN THESE REGIONS, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE AREAS ARE GRADED TO AMERICAN DISABILITY ACT (ADA) COMPLIANT SPECIFICATIONS.
- 7. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AREAS WHERE SPILL CURB IS NECESSARY TO CONVEY RUNOFF TO THE NEAREST CATCH BASIN OR DROP INLET. THE OWNER AND/OR ENGINEER SHALL NOT BE HELD RESPONSIBLE FOR CURBING INSTALLED PRIOR TO PAVING THAT DOES NOT DRAIN PROPERLY.
- 8. ALL PROPOSED INLETS, CATCH BASINS, AND DROP INLETS SHALL BE PROTECTED BY EROSION CONTROL MEASURES AS SHOWN AND SPECIFIED ON THE EROSION CONTROL PLAN.
- 9. THE CURB INLETS AND YARD INLETS SHALL BE CONSTRUCTED IN THE LOCATIONS SHOWN UNLESS OTHERWISE DIRECTED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR REPORTING ANY DISCREPANCIES IN THE CATCH BASIN ELEVATIONS OR THE PROPOSED PIPE SLOPES TO THE ENGINEER. THE CONTRACTOR IS ALSO RESPONSIBLE TO REPORT ANY CONFLICTS BETWEEN ANY UTILITY, STORM DRAIN LINE, WATER LINE, SEWER LINE OR ANY OTHER PROPOSED OR EXISTING STRUCTURE TO THE ENGINEER.
- 10. THE CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS. THE CONTRACTOR SHALL FIELD VERIFY GRADES SURROUNDING ALL BUILDINGS PRIOR TO GRADING ACTIVITIES AND REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.
- 11. PIPE SPECIFIED AS RCP MAY BE SUBSTITUTED IF APPROVED BY THE TOWN OF CHAPEL HILL WITH APPROVED MATERIALS PER THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS OUTSIDE OF PUBLIC RIGHT OF WAY AND EASEMENTS. ALL BEDDING FOR ALTERNATE MATERIALS SHALL CONFORM TO NCDOT, AASHTO AND ASTM SPECIFICATIONS.
- 12. THE MINIMUM PIPE SIZE WITHIN A PUBLIC RIGHT-OF-WAY IS 15".
- 13. FOR ALL PIPE OUTLETS 60" AND GREATER (SINGLE) AND 36" (MULTIPLE) HEADWALLS/ENDWALLS SHALL BE USED AND A 4" HIGH BLACK POLY COATED CHAIN LINK FENCE PLACED OVER THE WALL.
- 14. FOR NPDES PERMIT COMPLIANCE: ALL SLOPES 3:1 AND STEEPER MUST BE STABILIZED WITHIN 7 DAYS, ALL OTHER AREAS MUST BE STABILIZED WITHIN 14 DAYS.
- 15. ALL STORM PIPE SPECIFIED AS REINFORCED CONCRETE (RCP) SHALL BE MINIMUM CLASS III PIPE.
- 16. ALL STORM PIPE SHALL BE LAID AT LEAST 10" HORIZONTALLY OR 18" VERTICALLY FROM ANY WATER MAIN AND 24" VERTICALLY FROM ANY SEWER MAIN. REFER TO NCAC 027 RULES FOR EXEMPTIONS.
- 17. GEOTEXTILE FABRIC OR APPROVED EQUIVALENT ARE REQUIRED AT ALL DISSIPATOR PADS.

FIRE DEPARTMENT NOTES:

- 1. SITE SHALL COMPLY WITH THE LATEST NATIONAL BUILDING AND FIRE CODES.
- 2. FUNCTIONAL FIRE PROTECTION SHALL BE PROVIDED PRIOR TO THE ARRIVAL OF COMBUSTIBLE MATERIALS ON THE SITE.
- 3. FIRE ACCESS ROUTE SHALL HAVE A MINIMUM RADIUS OF 28' (FACE OF CURB) TO ALLOW FIRE APPARATUS ACCESS THROUGH SITE (IFC 503.2.4).
- 4. ANY GATES ACROSS FIRE APPARATUS ACCESS ROADS SHALL BE A MINIMUM WIDTH OF 20', BE OF SWINGING OR SLIDING TYPE AND HAVE AN EMERGENCY MEANS OF OPERATION. GATES IN FIRE TRUCK APPARATUS ACCESS ROUTES SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS AND MUST BE CAPABLE OF BEING OPERATED MY ONE PERSON. ALL GATES IN FIRE TRUCK APPARATUS ACCESS ROUTES SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL375 AND ASTM F2200.
- 5. ALL PORTIONS OF THE FIRST FLOOR OF THE BUILDING MUST BE WITHIN 150' OF THE FIRE ACCESS ROUTE (IFC 503.1.1), UNLESS OTHERWISE APPROVED BY THE FIRE MARSHALL.
- 6. BUILDING ADDRESSES SHALL BE PLACED ON BOTH SIDES OF THE BUILDING ON A CLEARLY VISIBLE PLACARD FOR LOCATION PURPOSES.
- 7. ALL FIRE TRUCK ACCESSIBLE ROUTES SHALL BE RATED FOR 80,000 LB AND HAVE A MINIMUM CLEAR WIDTH OF 26' (IFC 503.2.1) UNLESS OTHERWISE APPROVED BY THE FIRE MARSHALL.
- 8. FIRE RISER ROOM SHALL BE EQUIPPED WITH AN EXTERNAL LOCK BOX.
- 9. RISER ROOM SHALL HAVE ADEQUATE DRAINAGE FOR EMERGENCY RPZ DISCHARGE.
- 10. PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, NC FPC 507.2.1.
- 11. ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE WITH THE CURRENT EDITION OF 2018 NC FIRE CODE CHAPTER 33.
- 12. OPEN BURNING OF TREES, LIMBS, STUMPS, AND CONSTRUCTION DEBRIS ASSOCIATED WITH THIS DISSECTION IS PROHIBITED.
- 13. DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANCE AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
- 14. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- 15. A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES EXCEPT FOR WALL MOUNTED FDC'S UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. THE FDC'S WHERE REQUIRED MUST BE PHYSICALLY PROTECTED BY AN APPROVES BARRIER FROM IMPACTS.
- 16. ANY REQUIRED FDC'S FOR ANY BUILDING SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR THE CURRENT, APPROVED EDITION OF NFPA 13, 13D, 13R, OR 14 OF THE NCFPC 2018 AND TOWN ORDINANCES; 7-38 FOR LOCATIONS. FDC'S SHALL BE INSTALLED ON THE STREET/ADDRESS SIDE OF THE BUILDING AND WITHIN 100' OF A HYDRANT OR UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL AND SHALL NOT BE OBSTRUCTED OR HINDERED BY PARKING OR LANDSCAPING.
- 17. WHERE A FIRE HYDRANT IS LOCATED ON A FIRE APPARATUS ACCESS ROAD, THE MINIMUM ROAD WIDTH SHALL BE 26 FEET (7925 mm), EXCLUSIVE OF SHOULDERS (SEE FIGURE D103.1).
- 18. FIRE APPARATUS ACCESS ROADS SHALL NOT BE OBSTRUCTED IN ANY MANNER, INCLUDING THE PARKING OF VEHICLES. THE MINIMUM WIDTHS AND CLEARANCES ESTABLISHED IN SECTIONS 503.2.1 AND 503.2.2 SHALL BE MAINTAINED AT ALL TIMES. 2018 NCFPC 503.4 (FIRE)
- 19. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING-FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND TO BE REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. 2018 NCFPC SECTION 503.3 AND APPENDIX D D 103.6, D 103.6.1, D 103.6.2.
- 20. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE THE INSTALLATION AND MAINTENANCE OF GATES OR OTHER APPROVED BARRICADES ACROSS FIRE APPARATUS ACCESS ROADS, TRAILS, OR OTHER ACCESSWAYS; NOT INCLUDING PUBLIC STREETS, ALLEYS, OR HIGHWAYS. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. 2018 NCFPC SECTION 503 AND APPENDIX D103.
- 21. THE GRADE OF THE FIRE APPARATUS ACCESS ROAD SHALL BE WITHIN THE LIMITS ESTABLISHED BY THE FIRE CODE OFFICIAL BASED ON THE FIRE DEPARTMENT'S APPARATUS.
 - 503.2.8 ANGLES OF APPROACH AND DEPARTURE. THE ANGLES OF APPROACH AND DEPARTURE FOR FIRE APPARATUS ACCESS ROADS SHALL BE WITHIN THE LIMITS ESTABLISHED BY THE FIRE CODE OFFICIAL BASED ON THE FIRE DEPARTMENT'S APPARATUS.
 - D 103.2 GRADE. FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE. EXCEPTION: GRADES STEEPER THAN 10 PERCENT AS APPROVED BY THE FIRE CHIEF. 2018 NCFPC SECTION 503 AND APPENDIX D.

ORANGE WATER AND SEWER AUTHORITY UTILITY
NOTES:

- 1. STANDARDS AND SPECIFICATIONS - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS LATEST REVISED EDITION.
- 2. PRECONSTRUCTION CONFERENCE - A PRECONSTRUCTION CONFERENCE WITH THE OWASA CONSTRUCTION INSPECTOR IS REQUIRED BEFORE BEGINNING ANY UTILITY CONSTRUCTION.
- 3. PROJECT ACCEPTANCE - IN ADDITION TO A FINAL INSPECTION APPROVED BY THE OWASA CONSTRUCTION INSPECTOR, THE FOLLOWING DOCUMENTS MUST BE RECEIVED AND APPROVED BY OWASA BEFORE ACCEPTANCE OF THE PROJECT AND THE SETTING OF METERS:
 - ENGINEER'S CERTIFICATION OF PUBLIC SEWER - ORIGINAL DOCUMENT
 - ASSET LETTER - ORIGINAL DOCUMENT
 - LETTER OF DEDICATION - ORIGINAL DOCUMENT
 - AS BUILT DRAWINGS (INCLUDING 1"=100' SCALE SITE PLAN) AS BUILTS OF SEWER CONSTRUCTION SUBJECT TO REVIEW AND APPROVAL BY NCDENR DIVISION OF WATER QUALITY.
 - MANHOLE DATA SHEETS
 - RECORDED PLAT
 - ORIGINAL RECORDED WATER AND SEWER DEEDS OF EASEMENT - PREPARED USING OWASA'S STANDARD FORM.
- 4. SEWER STATEMENT - SEWER LINES UNDER CONSTRUCTION SHALL BE PLUGGED WITH A MECHANICAL PLUG AT THE FIRST MANHOLE UPSTREAM FROM THE POINT OF CONNECTION. PLUG SHALL BE PLACED IN THE OUTLET CONNECTION AND SECURED WITH STEEL CABLE. PLUG SHALL REMAIN IN PLACE UNTIL ACCEPTANCE OF LINES BY OWASA. WATER, STONE, DIRT, OR ANY OTHER DEBRIS SHALL NOT BE ALLOWED TO ENTER THE OWASA SANITARY SEWER SYSTEM DURING FLUSHING OPERATIONS OR AT ANY OTHER TIME. CONSTRUCTION TAKING PLACE IN THE VICINITY OF ANY EXISTING OWASA SEWER LINES OR MANHOLES SHALL NOT CAUSE ANY INFLOW OF SURFACE WATER OR DEBRIS TO ENTER THE REMAIN ACCESSIBLE AT ALL TIMES. THE OWNER AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES INCURRED TO THE OWASA SANITARY SEWER SYSTEM AND FINES IMPOSED BY THE STATE OF NORTH CAROLINA DIVISION OF WATER QUALITY DUE TO SEWER SPILLS OR OVERFLOWS.
- 5. SEWER SERVICES - SEWER SERVICES LOCATED WITHIN PUBLIC RIGHT-OF-WAY OR OWASA SEWER EASEMENTS MUST BE CONSTRUCTED OF DUCTILE IRON PIPE FROM THE TAP UP TO AND INCLUDING THE FIRST CLEAN-OUT. EXCEPT FOR DEAD END MANHOLES, ALL 4" INCH SEWER SERVICES MUST BE TAPPED INTO THE SEWER MAIN. ALL 6" SERVICES MUST BE CONNECTED TO A MANHOLE. CLEANOUTS SHALL BE SPACED NO MORE THAN 75 FEET APART. CLEANOUTS LOCATED IN PAVEMENT AREAS SHALL BE HEAVY DUTY TRAFFIC RATED CONSTRUCTION.
- 6. BLOCKING AND RODDING - RETAINER GLANDS TO BE USED ON ALL MECHANICAL JOINTS IN ADDITION TO RODDING AND BLOCKING.
- 7. EXISTING VALVES - CONTRACTOR RESPONSIBLE FOR VERIFYING THAT EXISTING VALVE AT THE POINT OF CONNECTION TO THE OWASA SYSTEM IS ADEQUATE FOR PERFORMING AND PASSING HYDROSTATIC PRESSURE AND LEAKAGE TEST. CONTRACTOR, AT HIS EXPENSE, MAY OPTIONALLY REPLACE VALVE OR INSTALL A NEW VALVE FOR THE PURPOSE OF PERFORMING A PRESSURE TEST FOR NEW MAIN INSTALLATION. IF CONTRACTOR ELECTS TO PRESSURE TEST AGAINST EXISTING VALVE, CONTRACTOR ACCEPTS RESPONSIBILITY FOR ENSURING PASSING PRESSURE TEST IN ACCORDANCE WITH OWASA REQUIREMENTS. IN ANY CASE, NO CLAIM WHATSOEVER SHALL BE MADE AGAINST OWASA FOR FAILURE OF PRESSURE TEST. EXISTING WATER VALVES SHALL BE OPERATED BY OWASA PERSONNEL ONLY. VALVES THAT SEPARATE PRIORITY APPROVED WATER AND UNAPPROVED WATER ARE TO REMAIN CLOSED AT ALL TIMES. VALVES MAY BE TEMPORARILY OPENED FOR LOADING AND FLUSHING BY THE OWASA INSPECTOR ONLY.
- 8. DECHLORINATION REQUIREMENTS - THE CONTRACTOR SHALL BE RESPONSIBLE FOR NEUTRALIZATION OF CHLORINATED WATER AT THE POINT OF DISCHARGE FROM THE MAIN BEING TESTED. THIS SHALL OCCUR FOLLOWING CHLORINATED TO DISINFECT A MAIN OR ANY OTHER TIME WHEN ELEVATED LEVELS OF CHLORINE COULD POTENTIALLY BE DISCHARGED INTO THE ENVIRONMENT BY THE CONTRACTOR. AT THE TIME THE DISINFECTION AND PURITY TESTING PROCEDURES ARE DISCUSSED WITH THE OWASA CONSTRUCTION INSPECTOR, THE PROCEDURE FOR DECHLORINATION WILL BE COVERED. ABSOLUTELY NO FLUSHING, DISINFECTION, OR PURITY SAMPLING IS TO TAKE PLACE WITHOUT PRIOR APPROVAL OF A SAMPLING PLAN BY THE OWASA INSPECTOR.
- 9. PLEASE BE ADVISED THAT OWASA APPROVAL OF THIS PROJECT IS FOR COMPLIANCE WITH OWASA POLICIES, STANDARDS, AND SPECIFICATIONS ONLY. ALL OTHER MATTERS PERTAINING TO THIS PROJECT ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. OWASA APPROVAL DOES NOT PRECLUDE THE DEVELOPER, PROJECT ENGINEER, CONTRACTOR, OR OTHER AGENTS OR PARTIES ACTING ON THEIR BEHALF FROM FULL COMPLIANCE WITH OWASA CURRENT STANDARDS, SPECIFICATIONS, AND PROCEDURES OR FROM COMPLYING WITH ANY AND ALL STATUTES, RULES, REGULATIONS, AND ORDINANCES WHICH MAY BE IMPOSED BY OTHER GOVERNMENT AGENCIES (LOCAL, STATE, AND FEDERAL) WHICH MAY HAVE JURISDICTION. VIOLATIONS WILL RESULT IN THE OWASA PROJECT APPROVAL BEING RESCINDED.
- 10. CONTACT NC 811 (811 OR 1-800-632-4949) AND OWASA (919-968-4421) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO ANY EXCAVATION OR CONSTRUCTION TO HAVE EXISTING UTILITIES LOCATED.
- 11. DISCHARGE FROM THIS PROJECT MUST BE IN COMPLIANCE WITH THE OWASA SEWER USE ORDINANCE. A GREASE INTERCEPTOR SHALL BE PROVIDED WHEN IN THE OPINION OF OWASA IT IS NECESSARY FOR THE PROPER HANDLING OF WASTEWATER CONTAINING EXCESSIVE AMOUNTS OF GREASE. ALL INTERCEPTION UNITS MUST BE OF THE TYPE AND CAPACITY WHICH IS CERTIFIED BY THE PROJECT ENGINEER AS MEETING THE REQUIREMENTS OF OWASA.
- 12. BACKFLOW PREVENTION WILL BE REQUIRED IN ACCORDANCE WITH OWASA CROSS-CONNECTION CONTROL ORDINANCE AND MANUAL.
- 13. DOMESTIC SERVICE TO INCLUDE REDUCED PRESSURE BACKFLOW PREVENTION ASSEMBLY.
- 14. FIRE SERVICE TO INCLUDE RPDA BACKFLOW DEVICE.
- 15. FIRE PROTECTION SYSTEMS - PRESSURE TESTING, CHLORINATION, AND PURITY TESTING SHALL BE COMPLETED BEFORE THE INSTALLATION OF THE RPDA UNIT.
- 16. REMOTE READ-OUT DEVICES - RPDA AND RPZ DEVICES LOCATED INSIDE BUILDINGS MUST BE EQUIPPED WITH AN AMR METER TO BE PURCHASED FROM OWASA AND INSTALLED BY THE CONTRACTOR. CONTACT THE OWASA CONSTRUCTION INSPECTOR FOR DETAILS OF THIS INSTALLATION.
- 17. FOR FIRE SERVICE BACKFLOW DEVICES, USE A DOUBLE CHECK DETECTOR, REDUCED PRESSURE ZONE ASSEMBLY MEETING THE STANDARDS OF THE OWASA CROSS CONNECTION CONTROL ORDINANCE AND MANUAL. INSTALL THE DEVICE IN AN INTERNAL RISER ROOM WITH EXTERNAL ACCESS. CLEARANCES SHALL COMPLY WITH THE OWASA CROSS CONNECTION CONTROL ORDINANCES AND MANUAL. ACCESS TO RISER ROOM FROM OUTSIDE SHALL INCLUDE PROVISIONS FOR THE FIRE DEPARTMENT SUCH AS A KNOX BOX.
- 18. ALL BUILDINGS WITH FIRE SUPPRESSION LINES MUST HAVE BACKFLOW DEVICES LOCATED INSIDE THE BUILDING IN AN ABOVE GROUND LOCATION ADJACENT TO THE OUTSIDE WALL WHERE THE WATERLINE ENTERS THE BUILDING.
- 19. FOR IRRIGATION SERVICE BACKFLOW DEVICE, USE A REDUCED PRESSURE ZONE ASSEMBLY MEETING THE STANDARDS OF THE OWASA CROSS CONNECTION CONTROL ORDINANCE AND MANUAL. INSTALL THE IRRIGATION DEVICE INSIDE AN ABOVE GROUND HOT BOX.
- 20. UNDERGROUND VAULTS FOR METERS SHALL BE DRAINED BY PVC SCHEDULE 40 DRAINS TO DAYLIGHT INTO SLOPES. CONNECTION TO STORM STRUCTURES IS ONLY ALLOWED WITH THE CONSENT OF OWASA. DRAIN SIZES SHALL BE 2" DIAMETER FOR METERS OR DEVICES LESS THAN 2" AND SHALL BE 4" DIAMETER FOR DEVICES OVER 2".
- 21. CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH OWASA STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND PROPER GEOTECHNICAL INFORMATION FOR SOIL LOADING.
- 22. IF HYDRAULIC ELEVATORS ARE USED THE SUMP MUST BE PLUMBED TO SANITARY SEWER LINES.
- 23. FIRE HYDRANTS MUST BE FULLY FUNCTIONAL AND PHYSICALLY APPROVED BY OWASA BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT ON TO THE SITE.



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BARBEE CHAPEL APARTMENTS
CONDITIONAL ZONING PERMIT
DRAWINGS
5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517



REVISIONS

NO.	DATE	REVISED PER	1ST CZP COMMENTS
11.23.2022			
02.21.2023			REVISED PER 2ND CZP COMMENTS

PLAN INFORMATION

PROJECT NO.	TLA-22001
FILENAME	TLA22001-N1
CHECKED BY	SJC
DRAWN BY	WHM
SCALE	NTS
DATE	09.29.2022

SHEET

PROJECT NOTES

C0.00

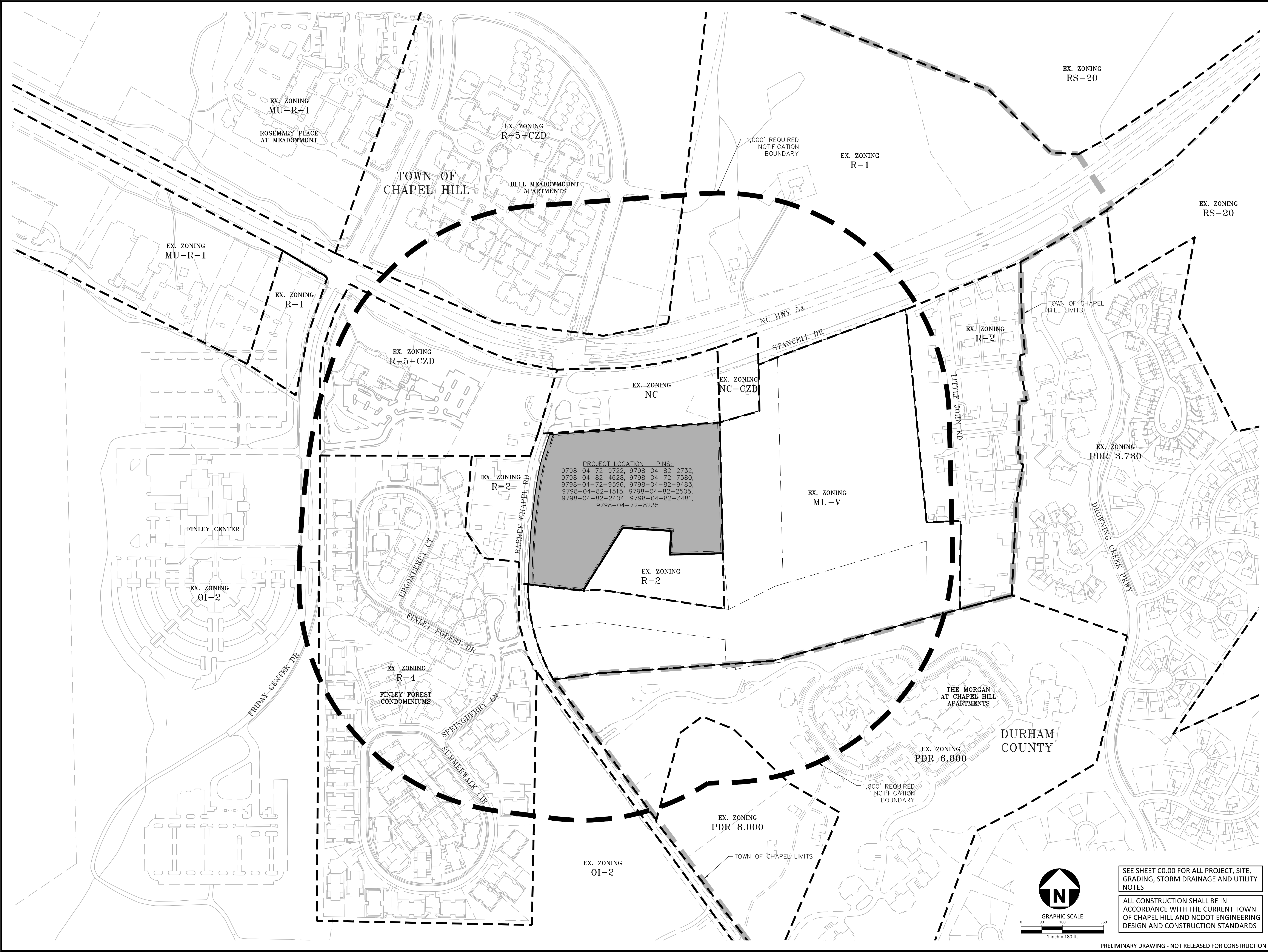


811
Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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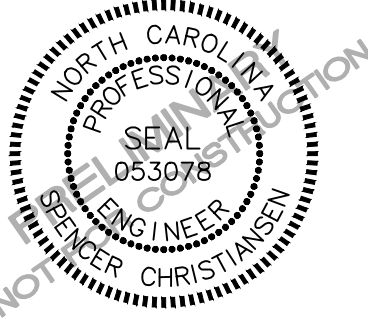



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REVISIONS			
NO.	DATE	REVISION	BY
11.23.2022		REVISED PER 1ST CZP COMMENTS	
02.21.2023		REVISED PER 2ND CZP COMMENTS	

PLAN INFORMATION	
PROJECT NO.	TLA-22001
FILENAME	TLA22001-AM1
CHECKED BY	SJC
DRAWN BY	WHM/JLL
SCALE	1" = 180'
DATE	09.29.2022
SHEET	

AREA MAP
C0.01

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

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**BARBEE CHAPEL APARTMENTS
CONDITIONAL ZONING PERMIT
DRAWINGS
5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517**

REVISIONS

NO.	DATE	REVISION
11.23.2022	REVISED PER 1ST CZP COMMENTS	
02.21.2023	REVISED PER 2ND CZP COMMENTS	

PLAN INFORMATION

PROJECT NO.	TLA-22001
FILENAME	TLA22001-XC1
CHECKED BY	SJC
DRAWN BY	WHM/LUL
SCALE	1" = 40'
DATE	09.29.2022

SHEET

EXISTING CONDITIONS

C1.00

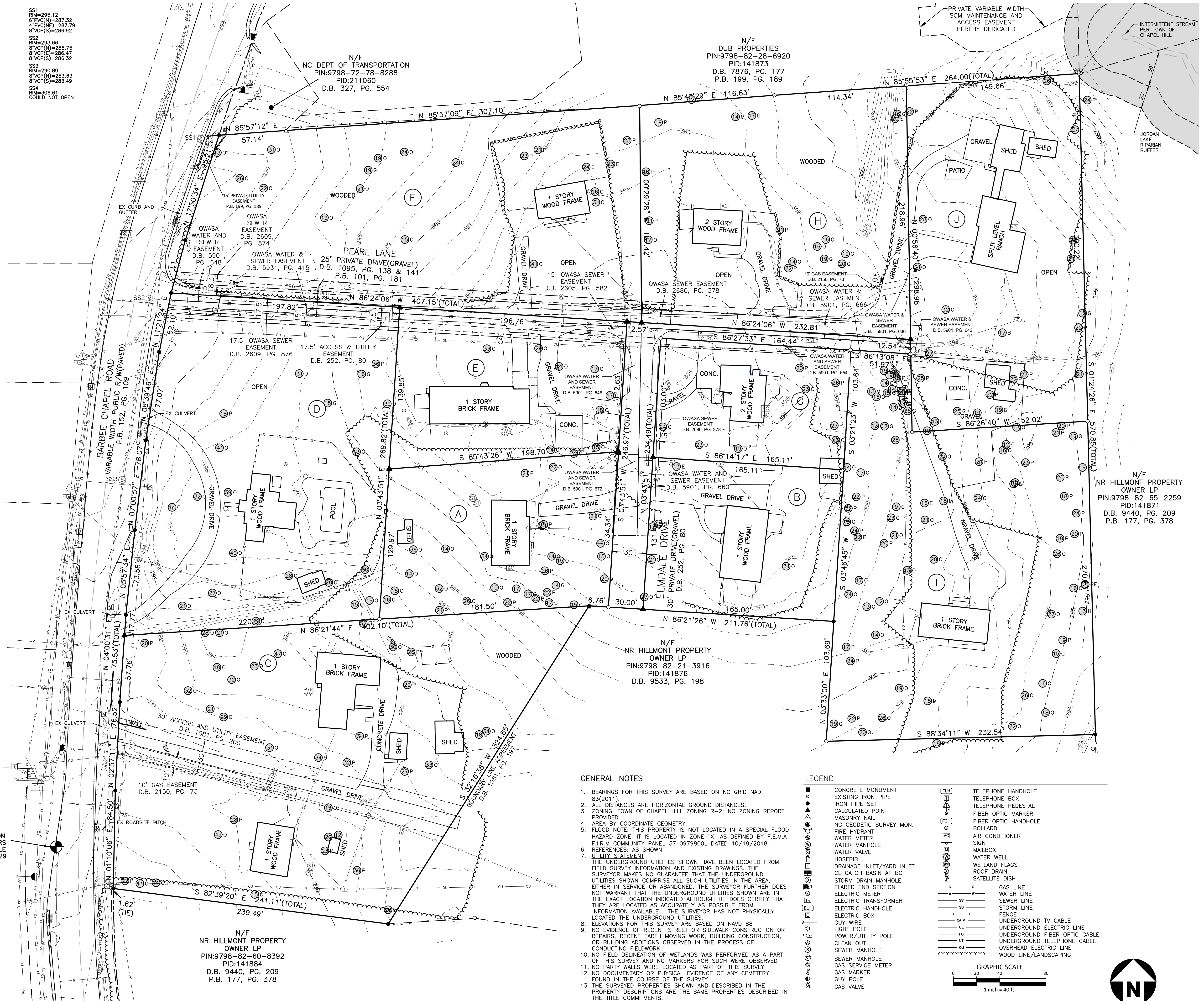
(A) PARCEL A DON PENDERGRAFT PIN:9798-72-94-8347 PID:141879 2 ELMDALE DR D.B. 1613, PG. 446 25,810 SQ.FT. 0.59 AC.	(G) PARCEL G QUENTIN KRANTZ PIN:9798-82-24-0401 PID:141877 110 PEARL LN D.B. 8911, PG. 653 17,024 SQ.FT. 0.39 AC.
(B) PARCEL B FRANK HERLANT PIN:9798-82-34-0401 PID:141878 6 ELMDALE DR D.B. 8911, PG. 659 21,676 SQ.FT. 0.50 AC.	(H) PARCEL H QUENTIN KRANTZ PIN:9798-82-27-2292 PID:141896 111 PEARL LN D.B. 8911, PG. 656 47,038 SQ.FT. 1.08 AC.
(C) PARCEL C STEPHEN PENDERGRAFT, ET AL. PIN:9798-72-82-2595 PID:141882 5105 BARBEE CHAPEL RD D.B. 9659, PG. 517 79,258 SQ.FT. 1.82 AC.	(I) PARCEL I DONNA SAYERS PIN:9798-82-34-6161 PID:141895 114 PEARL LN D.B. 2598, PG. 537 62,768 SQ.FT. 1.44 AC.
(D) PARCEL D SANDY PENDERGRAFT, ET AL. PIN:9798-72-75-8083 PID:141880 5101 BARBEE CHAPEL RD D.B. 7565, PG. 832 P.B. 35, PG. 34 59,827 SQ.FT. 1.37 AC.	(J) PARCEL J RODERICK ROBERSON PIN:9798-82-46-2809 PID:141894 115 PEARL LN D.B. 1463, PG. 403 45,142 SQ.FT. 1.04 AC.
(E) PARCEL E FRANK HERLANT PIN:9798-72-95-9660 PID:141881 102 PEARL LN D.B. 2605, PG. 579 24,839 SQ.FT. 0.57 AC.	AREA IN PEARL LN AND ELMDALE DR THAT IS NOT INCLUDED IN ANY LOT 10,090 SQ.FT. 0.23 AC.
(F) PARCEL F SQUARE WHEEL VENTURES LLC PIN:9798-72-97-2169 PID:141875 105 PEARL LN D.B. 8420, PG. 922 62,368 SQ.FT. 1.43 AC.	
PARCEL A 25,810 SQ.FT./0.59 AC.	
PARCEL B 21,676 SQ.FT./0.50 AC.	
PARCEL C 79,258 SQ.FT./1.82 AC.	
PARCEL D 59,827 SQ.FT./1.37 AC.	
PARCEL E 24,839 SQ.FT./0.57 AC.	
PARCEL F 62,368 SQ.FT./1.43 AC.	
PARCEL G 17,024 SQ.FT./0.39 AC.	
PARCEL H 47,038 SQ.FT./1.08 AC.	
PARCEL I 62,768 SQ.FT./1.44 AC.	
PARCEL J 45,142 SQ.FT./1.04 AC.	
REMAINDER AREA 10,090 SQ.FT./0.23 AC.	
TOTAL AREA 45,5841 SQ.FT./10.46 AC.	

TREE LEGEND

10E	ELM
12G	SWEET GUM
9HW	MISC. HARDWOOD
16H	HICKORY
15M	MAPLE
31O	OAK
18P	PINE
16PO	POPLAR
14SY	SYCAMORE

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



- GENERAL NOTES**
- BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83(2011).
 - ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
 - ZONING: TOWN OF CHAPEL HILL ZONING R-2; NO ZONING REPORT PROVIDED.
 - AREA BY COORDINATE GEOMETRY.
 - FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL 3710979800L DATED 10/19/2018.
 - REFERENCES: AS SHOWN.
 - UTILITY STATEMENT
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
 - ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88.
 - NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS, RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK.
 - NO FIELD DELINEATION OF WETLANDS WAS PERFORMED AS A PART OF THIS SURVEY AND NO MARKERS FOR SUCH WERE OBSERVED.
 - NO PARTY WALLS WERE LOCATED AS PART OF THIS SURVEY.
 - NO DOCUMENTARY OR PHYSICAL EVIDENCE OF ANY CEMETERY FOUND IN THE COURSE OF THE SURVEY.
 - THE SURVEYED PROPERTIES SHOWN AND DESCRIBED IN THE PROPERTY DESCRIPTIONS ARE THE SAME PROPERTIES DESCRIBED IN THE TITLE COMMITMENTS.

LEGEND

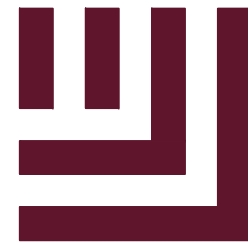
CONCRETE MONUMENT	TELEPHONE HANDHOLE
EXISTING IRON PIPE	TELEPHONE BOX
IRON PIPE SET	TELEPHONE PEDESTAL
CALCULATED POINT	FIBER OPTIC MARKER
MASONRY NAIL	FIBER OPTIC HANDHOLE
NO GEODETIC SURVEY MON.	BOLLARD
FIRE HYDRANT	AIR CONDITIONER
WATER METER	SIGN
WATER MANHOLE	MAILBOX
WATER VALVE	WATER WELL
HOSEBIB	WETLAND FLAGS
DRAINAGE INLET/YARD INLET	ROOF DRAIN
CL CATCH BASIN AT BC	SATELLITE DISH
STORM DRAIN MANHOLE	
FLARED END SECTION	
ELECTRIC METER	
ELECTRIC TRANSFORMER	
ELECTRIC HANDHOLE	
ELECTRIC BOX	
GUY WIRE	
LIGHT POLE	
POWER/UTILITY POLE	
CLEAN OUT	
SEWER MANHOLE	
SEWER MANHOLE	
GAS SERVICE METER	
GAS MARKER	
GUY POLE	
GAS VALVE	

GRAPHIC SCALE
0 20 40 80
1 inch = 40 ft.





M:\Projects\TLA\TLA22001\04-Production\Engineering\Construction Drawings\Current Drawings\2 - CDP Drawings\TLA22001-SS1.dwg, 2/21/2023 5:13:06 PM, Spencer Christensen



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REVISIONS

NO.	DATE	REVISION
11.23.2022	REVISED PER 1ST CZP COMMENTS	
02.21.2023	REVISED PER 2ND CZP COMMENTS	

PLAN INFORMATION

PROJECT NO.	TLA-22001
FILENAME	TLA22001-SS1
CHECKED BY	SJC
DRAWN BY	WHM
SCALE	1" = 40'
DATE	09.29.2022

SHEET

STEEP SLOPES PLAN

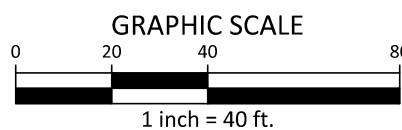
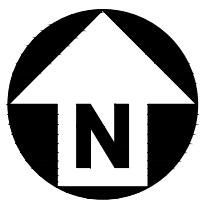
C1.01

STEEP SLOPE LEGEND

	SLOPES 0% - 10% (10.16 AC) (442,918 SF)
	SLOPES 10% - 15% (0.15 AC) (6,548 SF)
	SLOPES 15% - 25% (0.06 AC) (2,651 SF)
	SLOPES >25% (0.00 AC) (0 SF)
	EXEMPT MANMADE SLOPES >25% (0.09 AC) (3,724 SF)

GENERAL NOTES:

1. THERE WILL BE NO DISTURBANCE OF STEEP SLOPES REQUIRING A MODIFICATION REQUEST ON THIS PROJECT.



SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

CLIENT

HILL BROTHERS APARTMENT LIVING
 40 VIRGINIA DR
 RT WASHINGTON, PA, 19034
 ncontact
 ONE: 202.577.6491



BARBEE CHAPEL APARTMENTS
CONDITIONAL ZONING PERMIT
DRAWINGS
5101 BARBEE CHAPEL RD
CHAPEL HILL, NC 27517



REVISIONS

DATE	
11.23.2022	REVISED PER 1ST CZP COMMENTS
02.21.2023	REVISED PER 2ND CZP COMMENTS

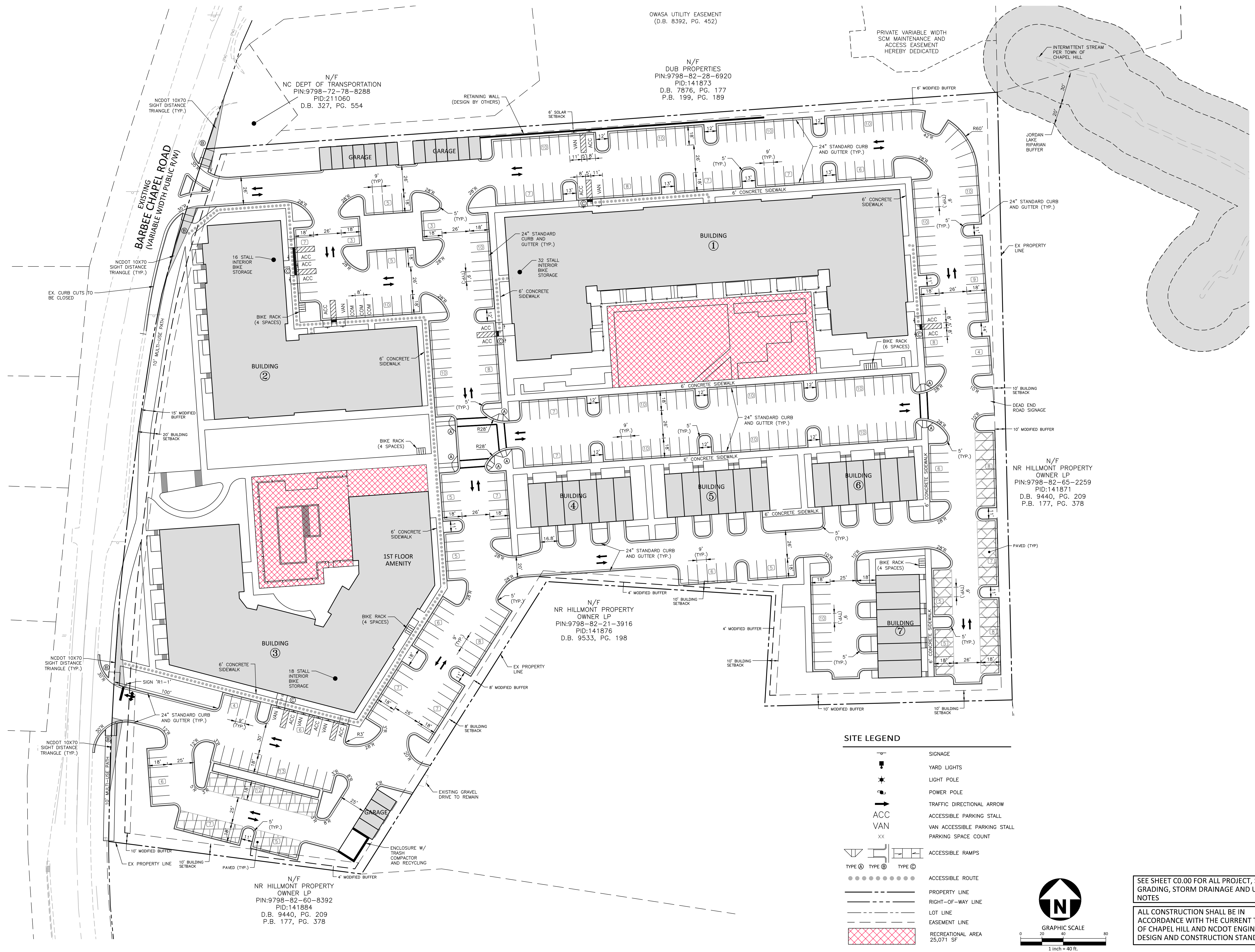
PLAN INFORMATION

PROJECT NO.	TLA-22001
FILENAME	TLA22001-S1
CHECKED BY	SJC
DRAWN BY	WHM
SCALE	1" = 40'
DATE	09.29.2022

HEET

ITE PLAN

C2.00

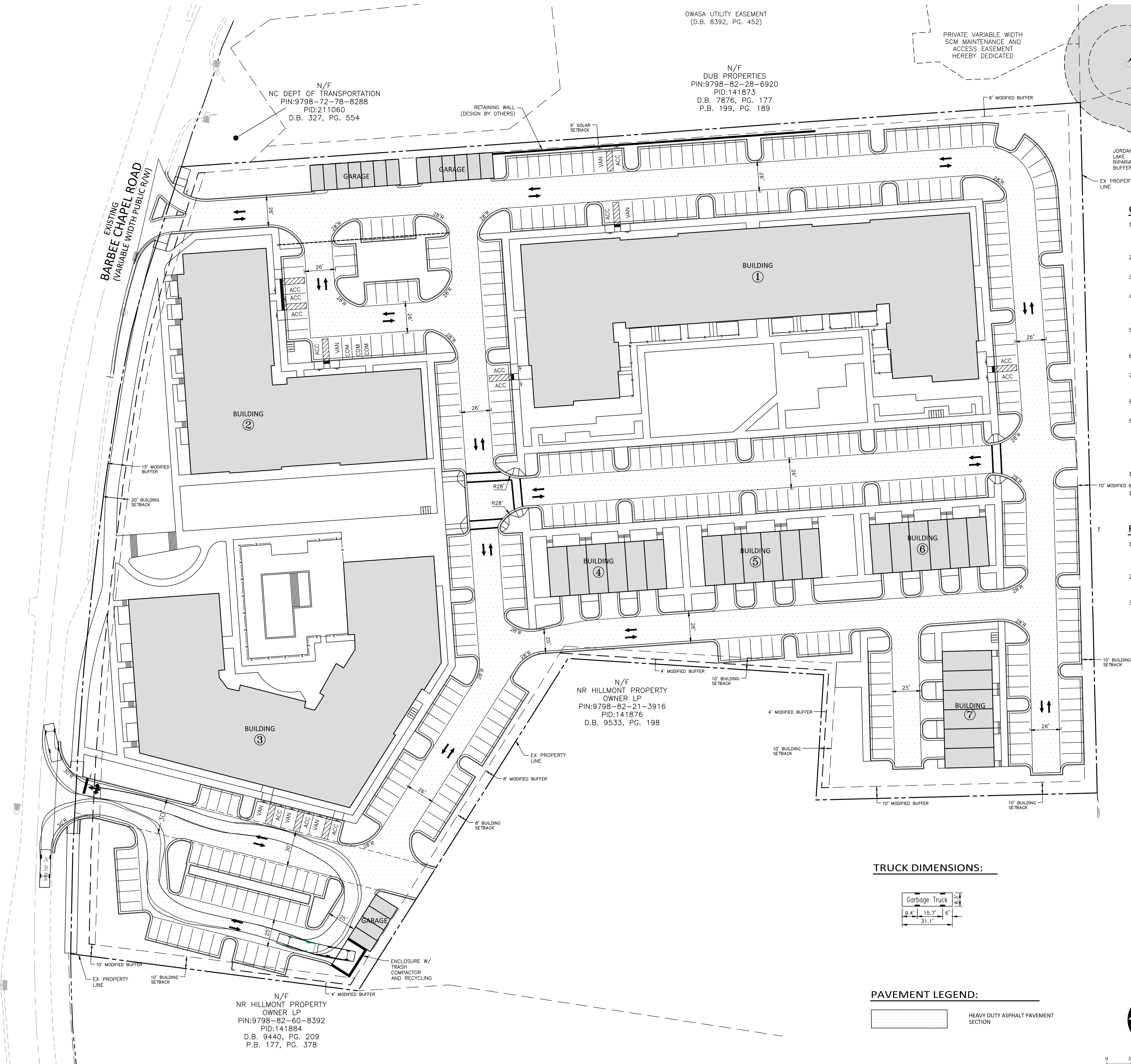


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NOTES

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

I:\Projects\TLA\22001\04-Production\Engineering\Construction Drawings\Current Drawings\2 - CZP Drawings\TLA22001-SW1.dwg, 2/21/2023 5:13:25 PM, Spencer Christensen



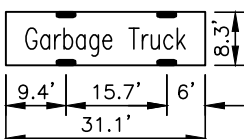
GENERAL SOLID WASTE AND RECYCLING NOTES:

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF (919-968-2788). THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
- THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
- ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- ITEMS TO BE RECYCLED WILL INCLUDE ALL MATERIALS ACCEPTED BY ORANGE COUNTY SOLID WASTE (INCLUDED BUT NOT LIMITED TO):
 - 9.1.1. GLASS (CLEAR, BROWN AND GREEN)
 - 9.1.2. PLASTIC
 - 9.1.3. NEWSPAPERS, MAGAZINES AND OTHER PAPER
 - 9.1.4. METAL CANS
 - 9.1.5. CARDBOARD
- ADEQUATE SITE LIGHTING SHALL BE PROVIDED IN/AROUND THE SOLID WASTE AND RECYCLING STORAGE AREAS.
- HEAVY DUTY ASPHALT AND CONCRETE SECTIONS ARE PROVIDED ON SHEET C2.01. THESE SECTIONS APPLY UNLESS OTHERWISE INSTRUCTED BY THE GEOTECHNICAL ENGINEER.

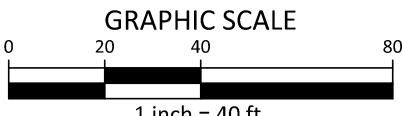
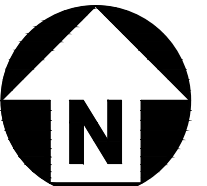
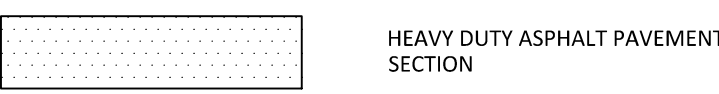
RESIDENTIAL REFUSE COLLECTION NOTES:

- CERTAIN REFUSE (PAINT, MEDICAL WASTE, ETC.) CANNOT BE COLLECTED FROM STANDARD REFUSE RECEPTACLES. RESIDENTS ARE ADVISED TO CONTACT THE TOWN OF CHAPEL HILL PUBLIC WORKS DEPARTMENT FOR ADDITIONAL INFORMATION ABOUT REFUSE REQUIRING SPECIAL HANDLING AND REFUSE, YARD WASTE, LEAF, AND WHITE GOOD COLLECTION SCHEDULE.
- REFUSE, RECYCLING, AND YARD WASTE CONTAINERS ALONG WITH LOOSE YARD WASTE PILES MAY NOT BE STORED IN THE PUBLIC STREET RIGHT-OF-WAY BUT BE STORED OUT OF SIGHT FROM THE STREET OR SCREENED.
- CONTAINERS AND LOOSE PILES SHALL BE BROUGHT TO THE STREET AND PLACED BEHIND THE CURB OR EDGE OF PAVEMENT ON THE COLLECTION DAY AND BE REMOVED BY 7:00 PM ON THE DAY OF COLLECTION.

TRUCK DIMENSIONS:



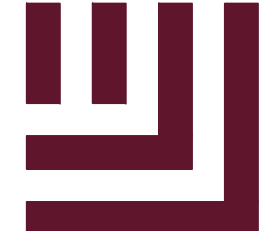
PAVEMENT LEGEND:



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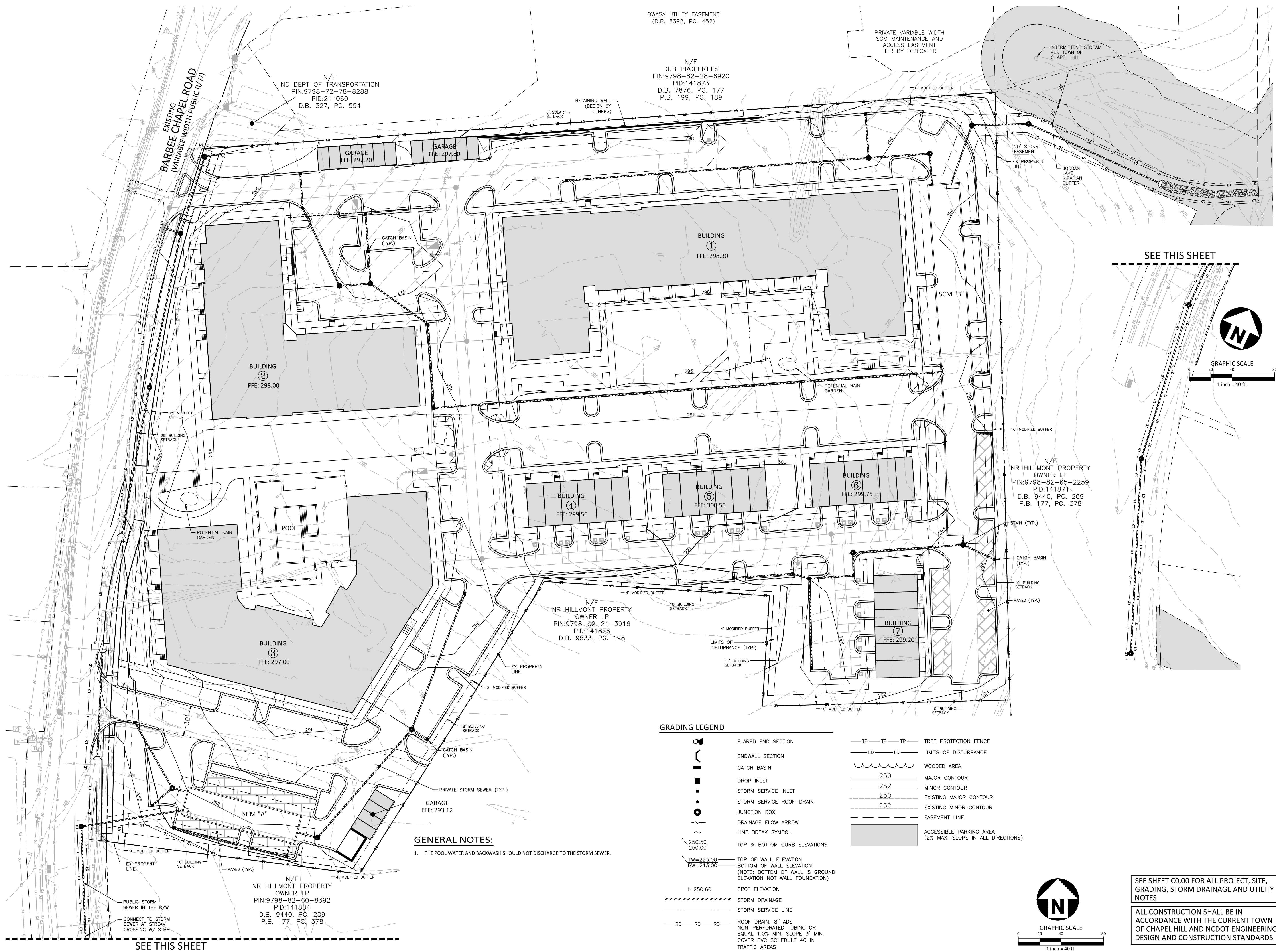
PLAN INFORMATION

PROJECT NO.	TLA-22001
FILENAME	TLA22001-SW1
CHECKED BY	SJC
DRAWN BY	WHM/JLL
SCALE	1" = 40'
DATE	09.29.2022

SHEET

SOLID WASTE PLAN

C2.01

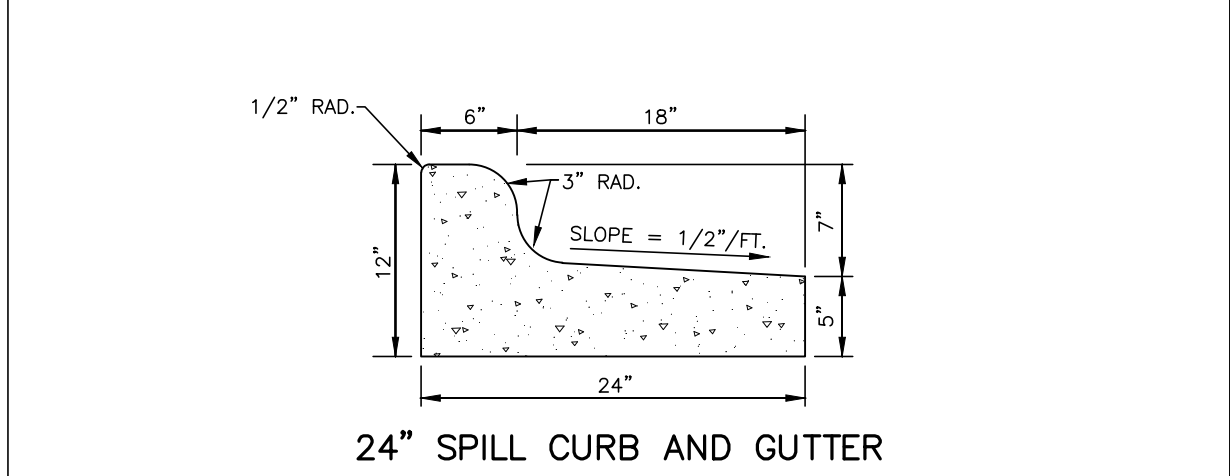
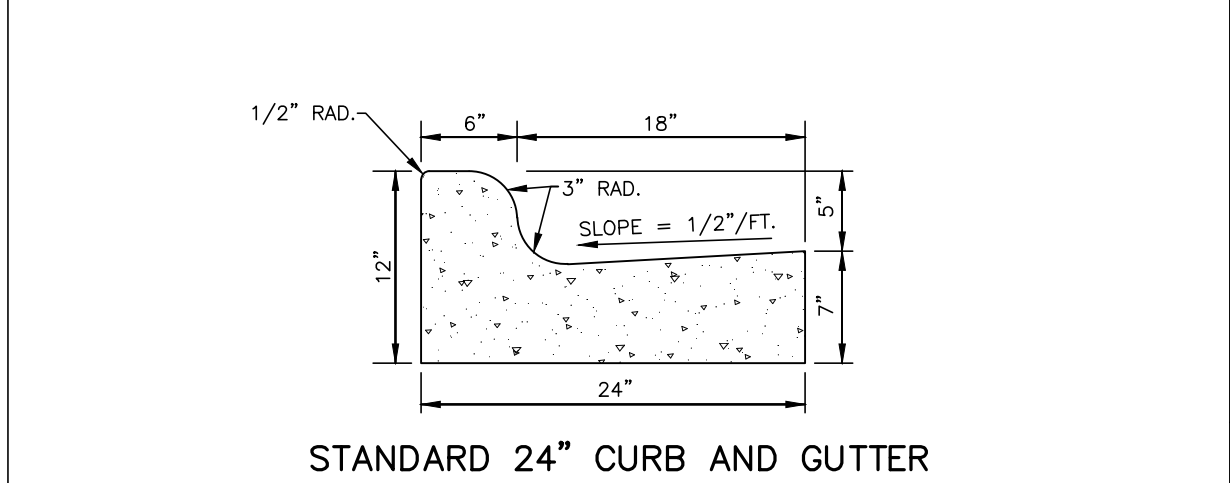
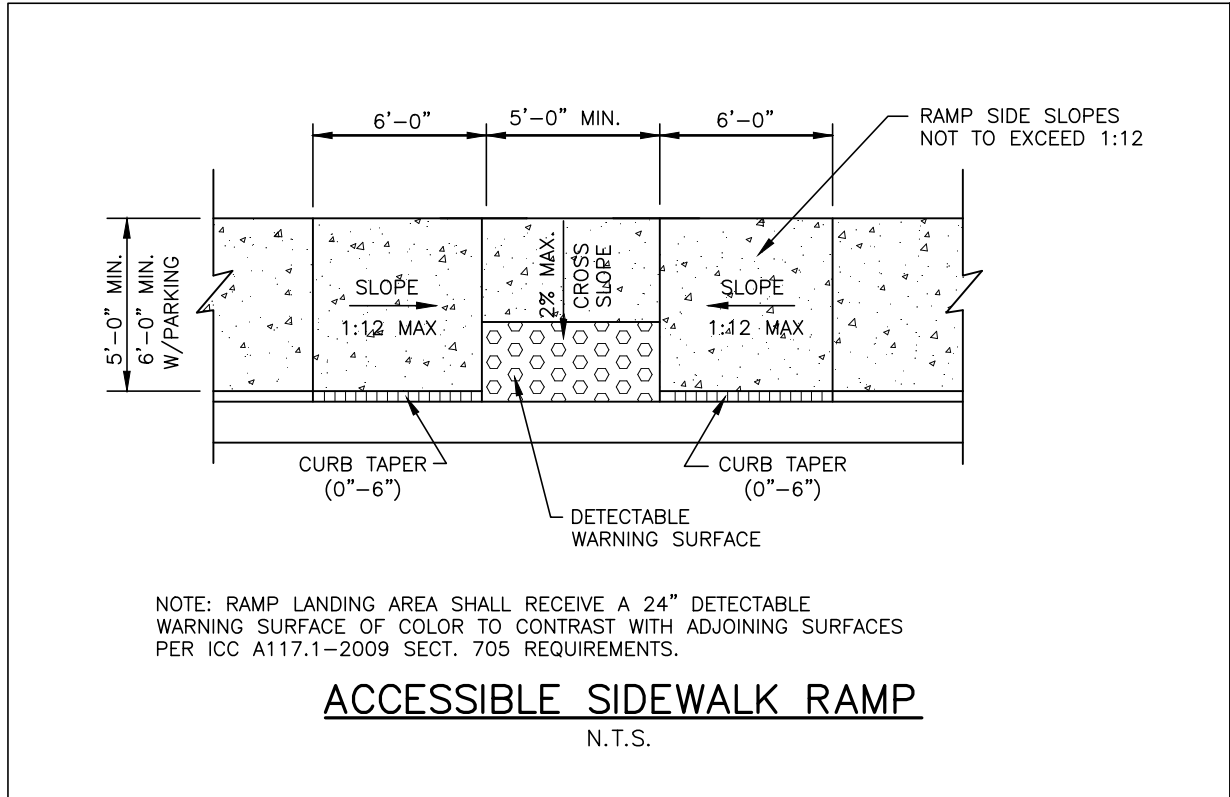
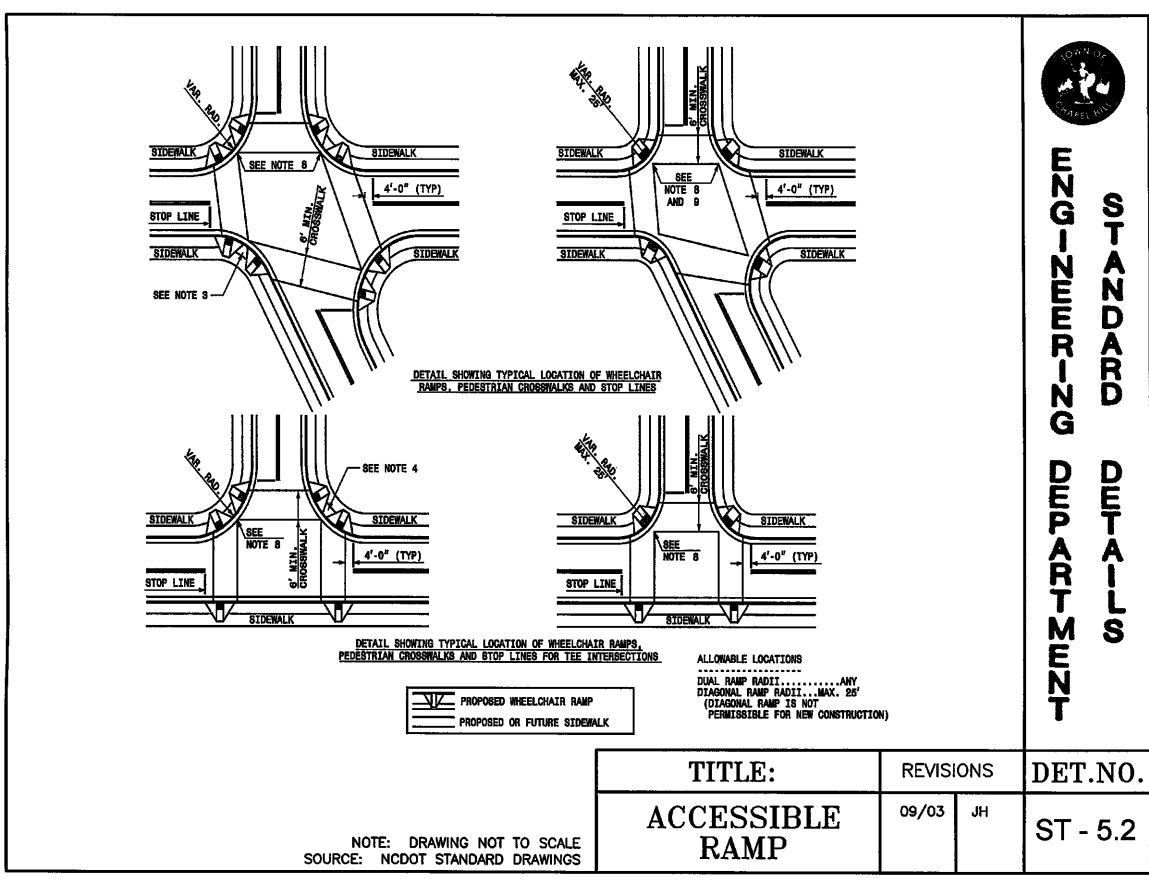
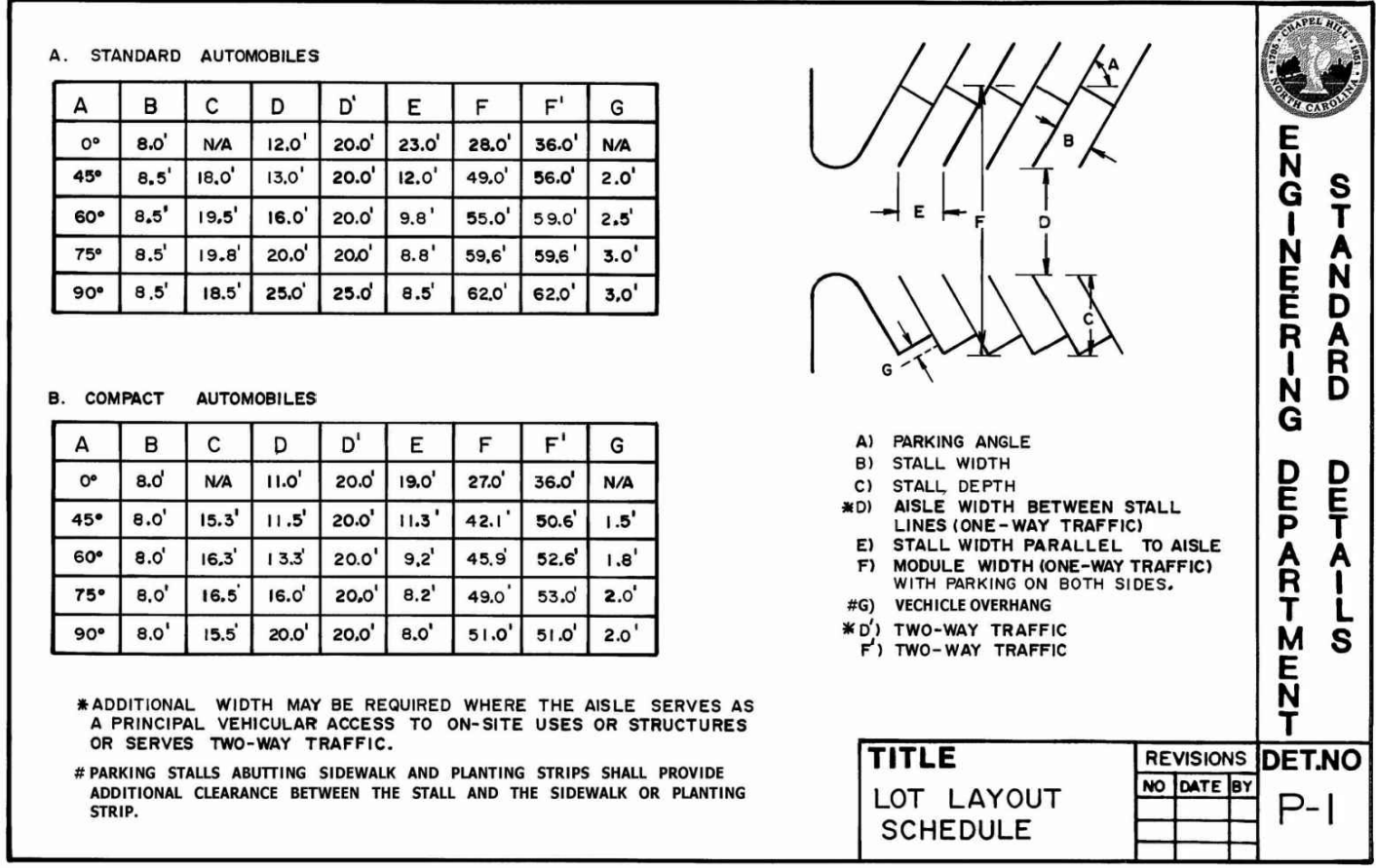
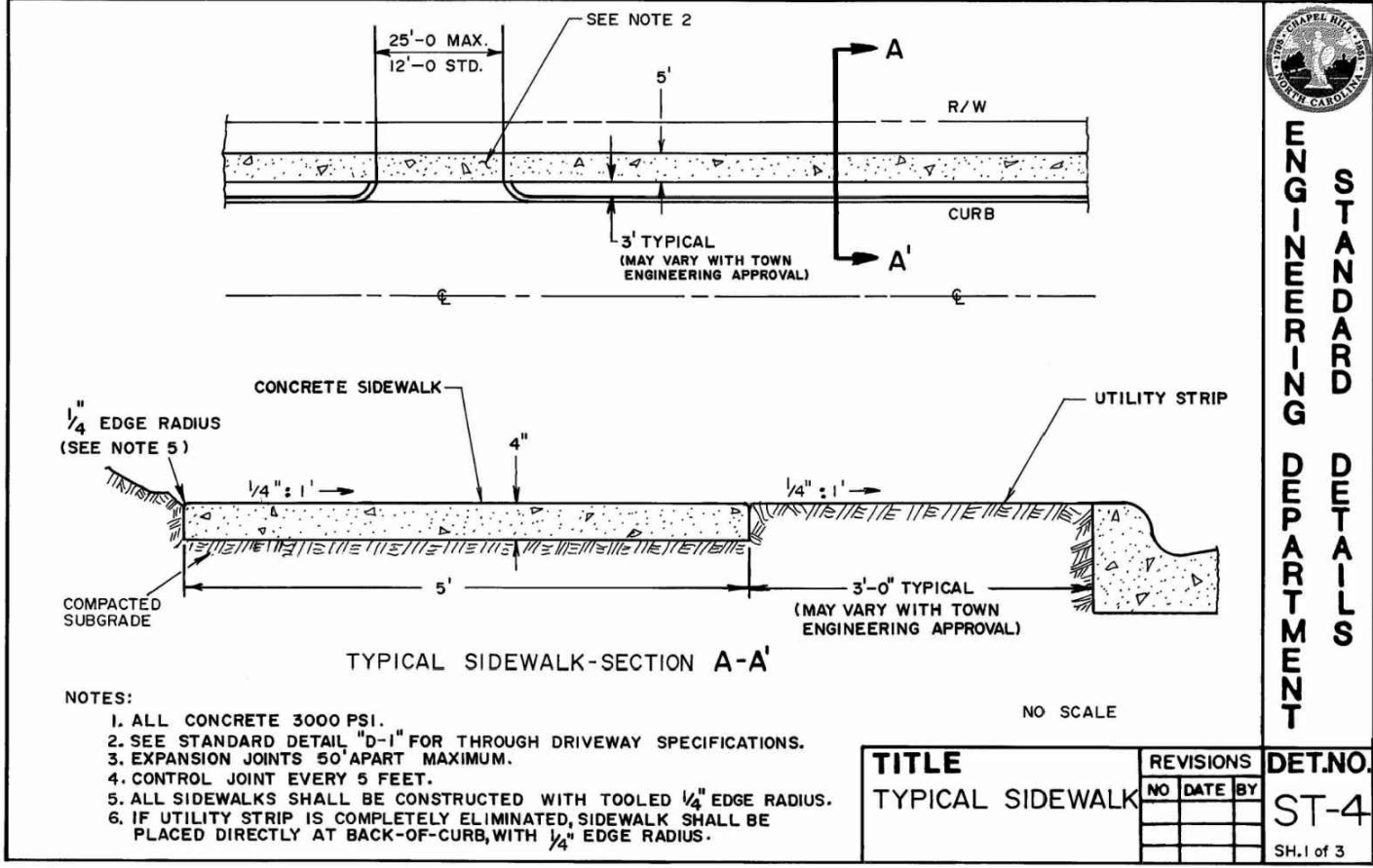
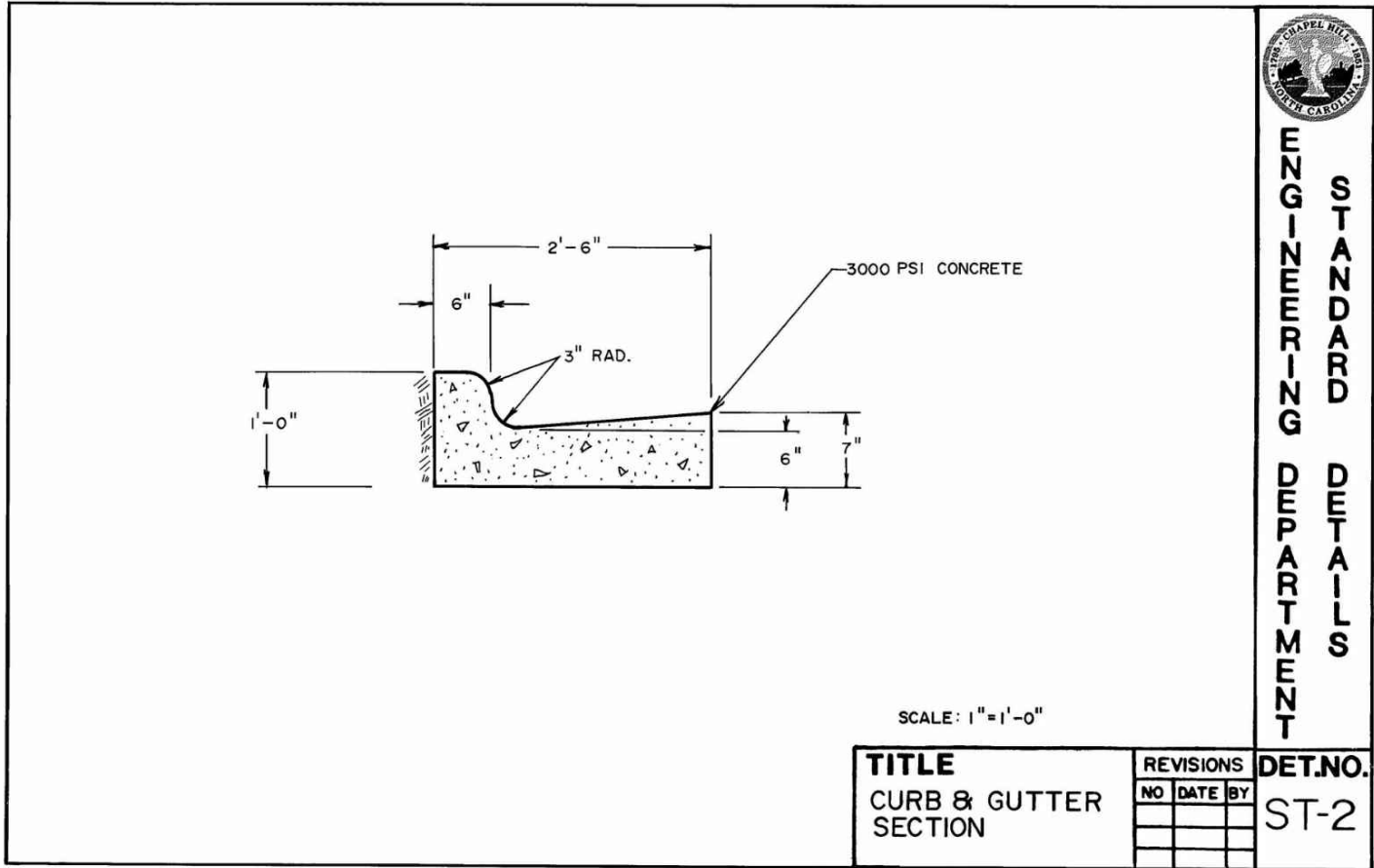


SEE SHEET C0.00 FOR ALL PROJECT, SITE,
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NOTES

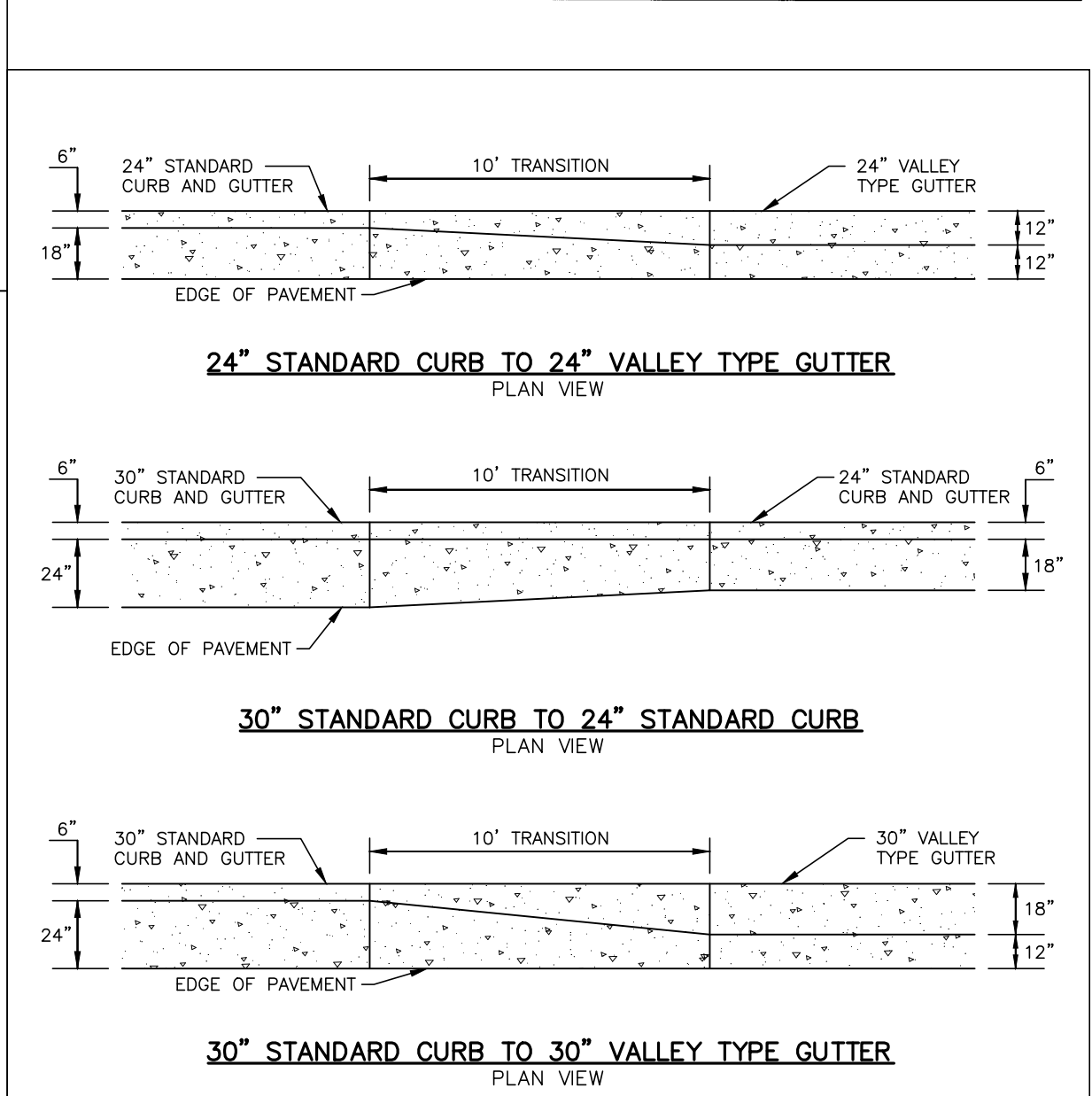
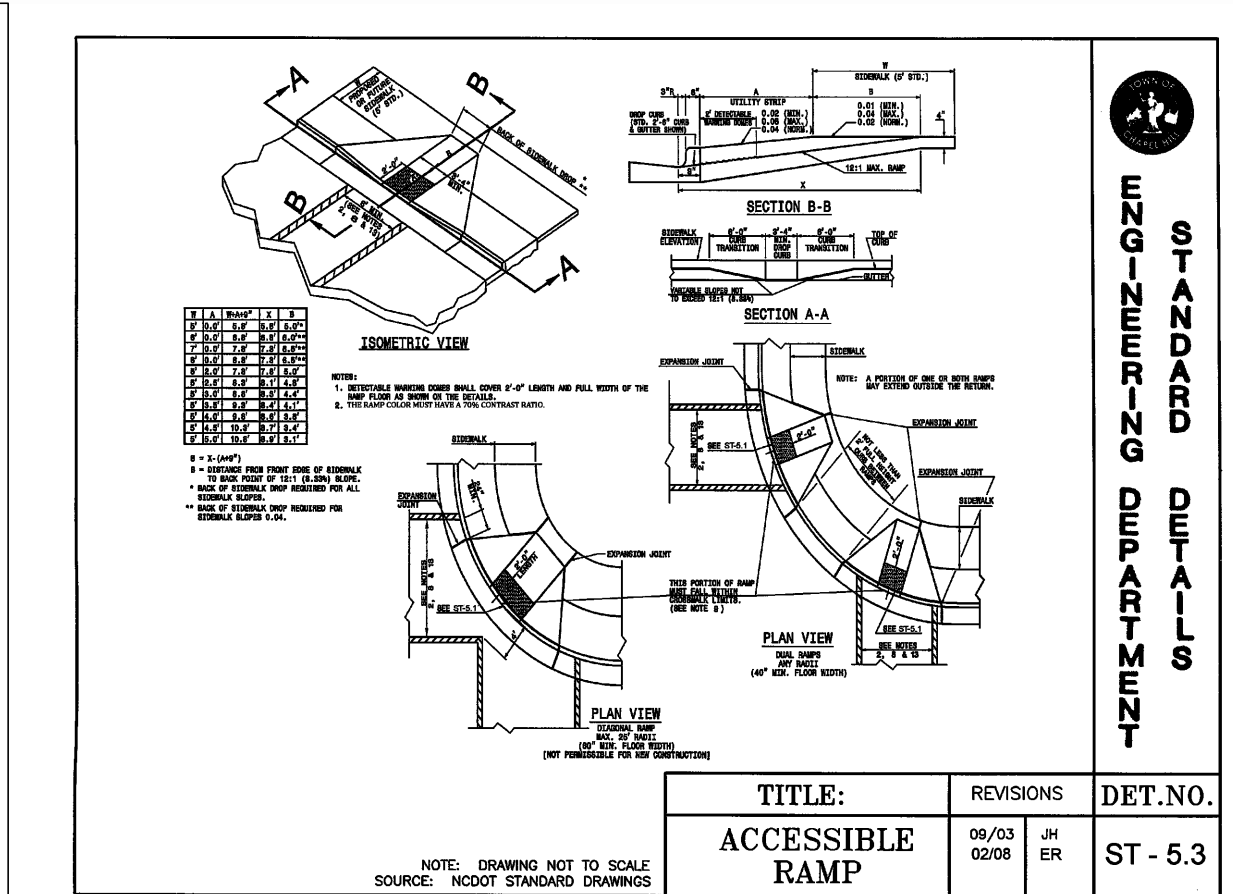
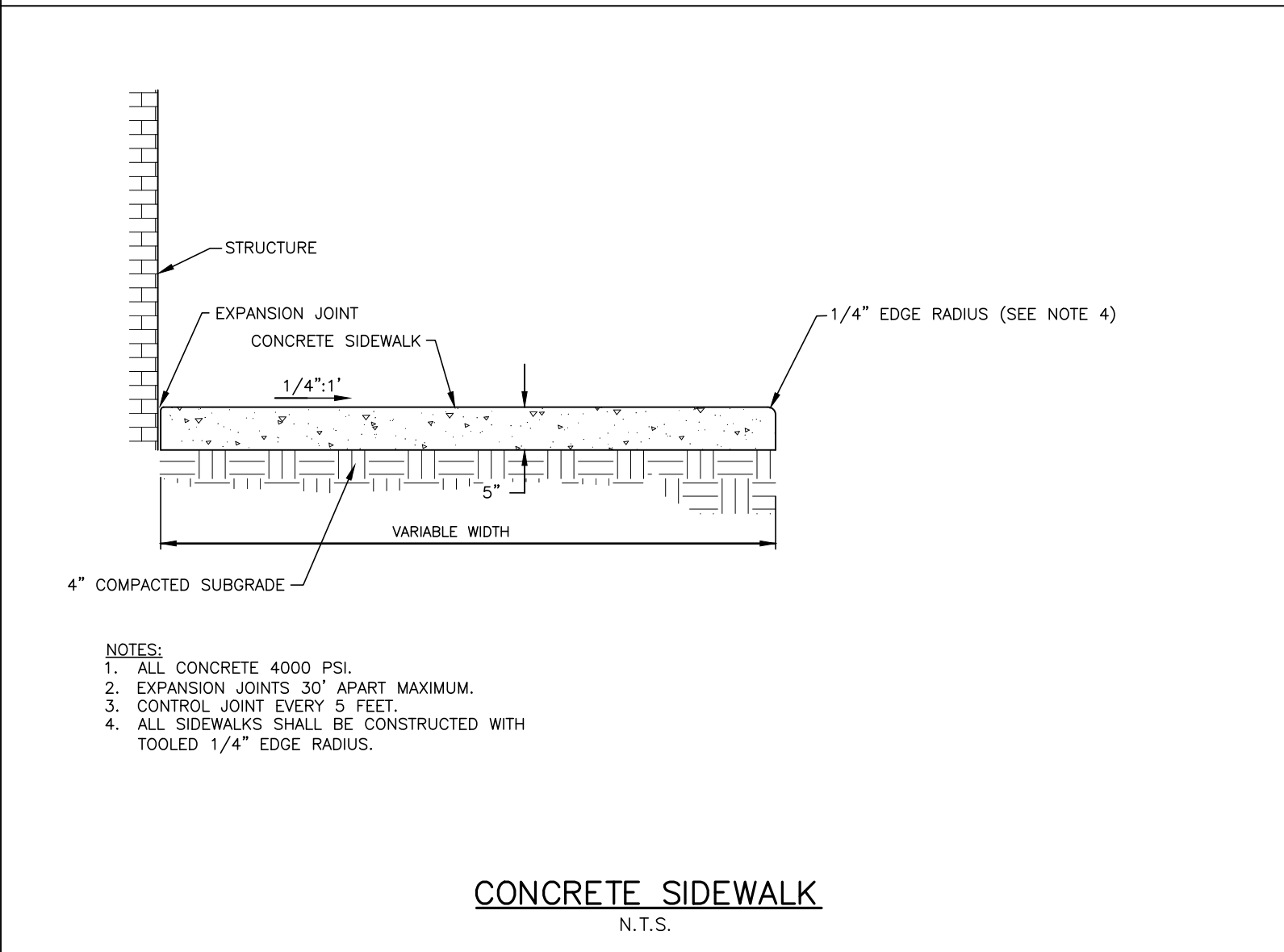
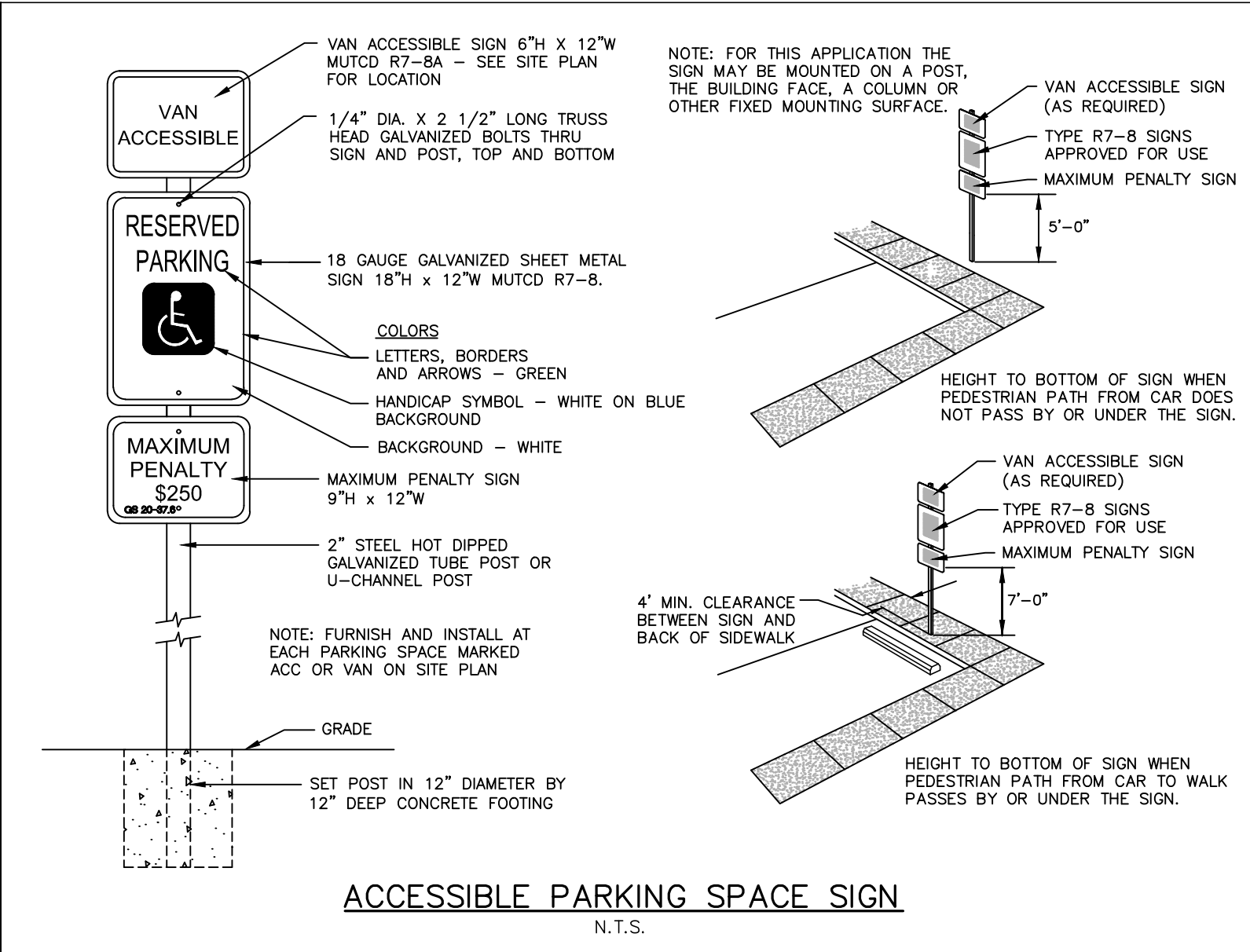
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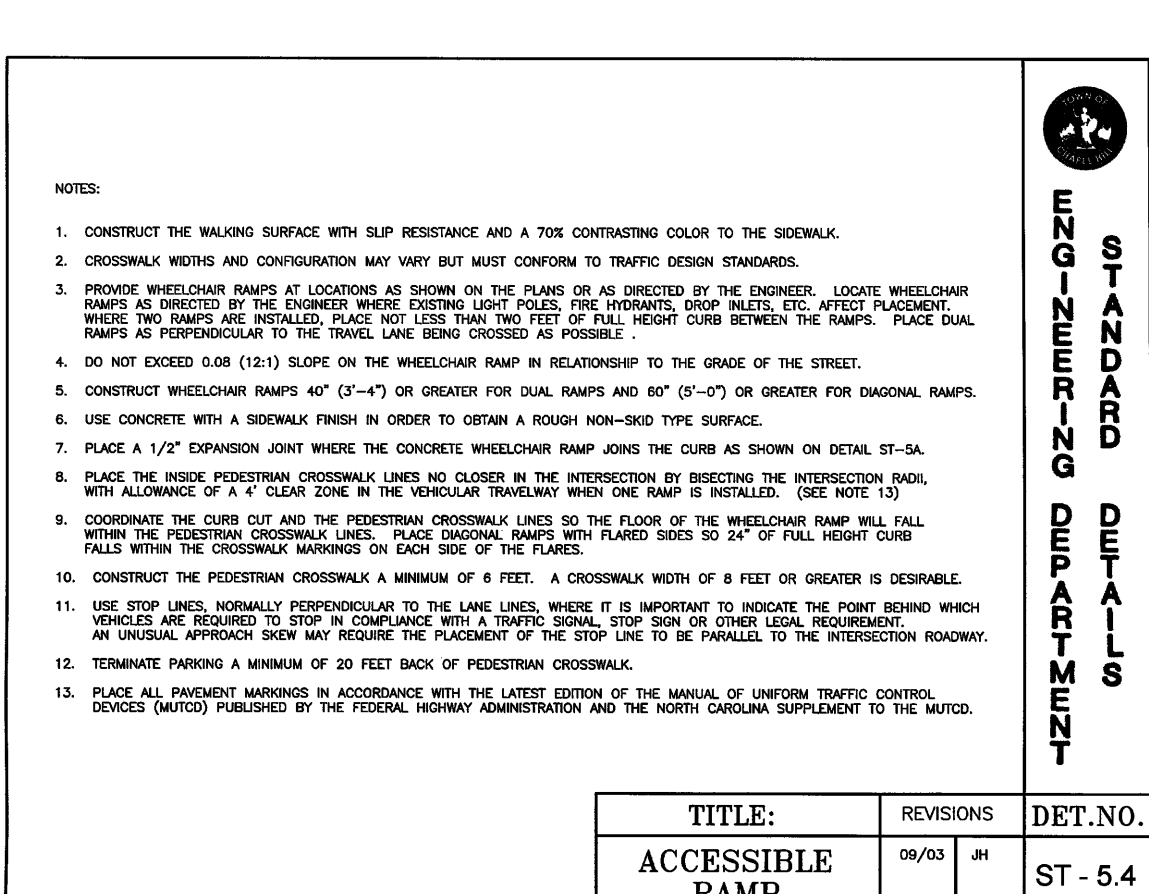
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



- NOTES:**
1. 10' MAXIMUM BETWEEN DUMMY JOINTS. 15' MAXIMUM BETWEEN DUMMY JOINTS ON MACHINE POURS.
 2. 1/2" EXPANSION JOINT EVERY 50'.
 3. 3000 PSI CONCRETE MINIMUM, 4" SLUMP MAXIMUM.
 4. LIQUID MEMBRANE CURING COMPOUND SHALL MEET THE REQUIREMENTS OF SECTION 1026-2 OF NCDOT STANDARDS AND SPECIFICATIONS FOR ROADS AND STRUCTURES.
 5. ALL CONSTRUCTION JOINTS SHALL BE FILLED WITH FILLER AND SEALER IN ACCORDANCE WITH NCDOT ROADWAY STANDARD DETAIL 846.01. THE JOINT MATERIAL SHALL CONFORM TO SECTION 1026-2 OF THE NCDOT STANDARDS AND SPECIFICATIONS FOR ROADS AND STRUCTURES.
 6. REFER TO NCDOT DETAIL 846.01 FOR CURB AND GUTTER SUPERELEVATION RATES.



- NOTES:**
1. TRANSITIONS NOT TO BE LOCATED IN A CURB RADIUS.
 2. SEE TYPICAL CURB DETAILS FOR SPECIFIC DIMENSIONS AND INFORMATION.
 3. DUMMY JOINTS SHALL BE USED AT TRANSITION POINTS OR EXPANSION JOINTS IF MADE WITH SEPARATE POURS.
 4. ROLL CURB MAY BE SUBSTITUTED FOR VALLEY TYPE GUTTER, BASED ON SITE REQUIREMENTS.



- NOTES:**
1. CONSTRUCT THE WALKING SURFACE WITH SLIP RESISTANCE AND A TONE CONTRASTING COLOR TO THE SIDEWALK.
 2. CROSSWALK WIDTHS AND CONFIGURATION MAY VARY BUT MUST CONFORM TO TRAFFIC DESIGN STANDARDS.
 3. PROVIDE WHEELCHAIR RAMPS AT LOCATIONS AS SHOWN ON THE PLAN OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMPS AS DIRECTED BY THE ENGINEER. WHERE EXISTING LIMIT POLES FOR INTERSECTIONS, STOP SIGNS, ETC. ARE PLACED, PLACE DUAL RAMPS AS PERPENDICULAR TO THE TRAVEL LANE BEING CROSSED AS POSSIBLE.
 4. DO NOT EXCEED 0.08 (8:1) SLOPE ON THE WHEELCHAIR RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET.
 5. CONSTRUCT WHEELCHAIR RAMPS 40" (3'-4") OR GREATER FOR DUAL RAMPS AND 60" (5'-0") OR GREATER FOR DIAGONAL RAMPS.
 6. USE CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
 7. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AS SHOWN ON DETAIL ST-5A.
 8. PLACE THE WIDE PEDESTRIAN CROSSWALK LINES NO CLOSER IN THE INTERSECTION BY SUSPECTING THE INTERSECTION RADIUS, WITH ALLOWANCE OF A 4' CLEAR ZONE IN THE VOLUMETRIC TRAVELWAY WHEN THE RAMP IS INSTALLED. (SEE NOTE 10)
 9. COORDINATE THE CURB CUT AND THE PEDESTRIAN CROSSWALK LINES SO THE FLOOR OF THE WHEELCHAIR RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES. PLACE DUAL RAMPS WITH FLARED SIDES SO 24" OF FULL HEIGHT CURB FALLS WITHIN THE CROSSWALK MARKINGS ON EACH SIDE OF THE FLARES.
 10. CONSTRUCT THE PEDESTRIAN CROSSWALK A MINIMUM OF 8 FEET. A CROSSWALK WIDTH OF 8 FEET OR GREATER IS DESIRABLE.
 11. USE STOP LINES NORMALLY PERPENDICULAR TO THE LANE LINES, WHERE IF IS NECESSARY TO INCREASE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER LEGAL REQUIREMENT. AN UNUSUAL APPROACH SIGN MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTION ROADWAY.
 12. TERMINATE PARKING A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK.
 13. PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.



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PLAN INFORMATION	
PROJECT NO.	TLA-22001
FILENAME	TLA22001-D1
CHECKED BY	SJC
DRAWN BY	WHM/LJL
SCALE	NTS
DATE	09.29.2022

SHEET
SITE DETAILS

C8.00

GENERAL NOTES

- ## STORMWATER MANAGEMENT SYSTEM MATERIAL SPECIFICATIONS

- ## STATEMENT OF RESPONSIBILITY

- ## FOUNDATION NOTES

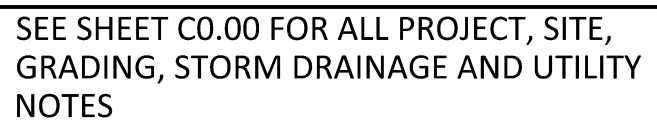
- BEDDING NOTES

- ## BACKFILL MATERIAL NOTES

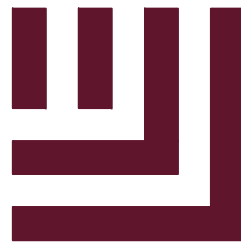
- ## UNDERGROUND VAULT CONSTRUCTION NOTES

- ## SYSTEM TESTING NOTES

-
- BARBEE CHAPEL ROAD
VARIABLE WIDTH PUBLIC R/W (PAVED)
- PARKING (TYP.)
- UNDERGROUND CONCRETE VAULT
VAULT AREA = 2,800 SF
TOP ELEVATION = 288.00
BOTTOM ELEVATION = 282.75
(STRUCTURAL DESIGN BY OTHERS)
- SCM A
- OUTLET CONTROL STRUCTURE
4 LF WEIR = 287.00
3' L X 0.5' H AREA ORIFICE = 285.50
24" DIP INV. OUT = 282.25
- STORMWATER ACCESS EASEMENT
- PROPERTY LINE
- JUNCTION BOX (TYP.)
24" RCP INV. IN = 281.30
- 84 LF 24" RCP @ 1.13%
- GRAPHIC SCALE
0 10 20 40
1 inch = 20 ft.
- 1" = 20'
- STORMWATER CONTROL MEASURE 'A' PLAN VIEW



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FILENAME	TLA22001-SCMA
CHECKED BY	MCT
DRAWN BY	OVL
SCALE	1" = 20'
DATE	09.29.2022

SHEET

SCM A PLAN VIEW

C9.00

STORMWATER CONTROL MEASURE 'B' CONSTRUCTION SPECIFICATIONS

GENERAL NOTES

- PRIOR TO CONSTRUCTION, ANY DISCREPANCIES IN THE PLANS AND NOTES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
- PRIOR TO ANY CONSTRUCTION OR PLACEMENT OF ANY BACKFILL, THE ONSITE GEOTECHNICAL ENGINEER SHALL INSPECT THE EXCAVATION AREA FOR THE UNDERGROUND SCM WITHIN THIS AREA TO ASSESS WHETHER SUITABLE SOILS EXIST AT THE SUBGRADE LEVEL. IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE UNDERGROUND SCM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
- THE FACILITY SHALL NOT BE USED AS A TEMPORARY EROSION CONTROL DEVICE (I.E. SEDIMENT TRAP OR SEDIMENT BASIN) DURING CONSTRUCTION.
- PRIOR TO PLACING STORMFILTER CARTRIDGES WITHIN THE UNDERGROUND SYSTEM, THE CONTRACTOR SHALL REQUEST AN ONSITE MEETING WITH THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR TO ENSURE THE UPSTREAM DRAINAGE AREA IS COMPLETELY STABILIZED (I.E. GOOD VEGETATIVE COVER). IF THE CONTRACTOR DECIDES TO PLACE THE STORMFILTER CARTRIDGES PRIOR TO APPROVAL FROM THE DESIGN ENGINEER AND THE EROSION CONTROL INSPECTOR, THEN THE CONTRACTOR SHALL EXCAVATE/REPLACE, AS NECESSARY, THE COMPONENTS NEEDED FOR THE SYSTEM TO FUNCTION PROPERLY AT HIS / HER EXPENSE SHOULD THE STORMFILTER CARTRIDGES NOT FUNCTION PROPERLY (I.E. WILL NOT DRAIN DUE TO SEDIMENT DEPOSITION) DUE TO AN UNSTABILIZED UPSTREAM DRAINAGE AREA.
- ONCE CONSTRUCTED, THE STORMFILTER CARTRIDGES SHALL NOT RECEIVE STORMWATER RUNOFF UNTIL THE ENTIRE CONTRIBUTING DRAINAGE AREA TO THE UNDERGROUND SYSTEM HAS BEEN COMPLETELY STABILIZED AND SITE CONSTRUCTION IS COMPLETE.
- ALL COMPONENTS OF THE UNDERGROUND SCM SYSTEM (STORMFILTER MANHOLE, CONCRETE VAULT, JOINT / RISER CONNECTIONS, ENDCAPS, ACCESS MANHOLES, ETC.) SHALL BE DESIGNED BY OTHERS. ANY VARIATIONS OR CHANGES MADE FROM THESE SPECIFICATIONS AND DRAWINGS DURING THE ORDERING AND/ OR INSTALLATION OF ALL COMPONENTS MUST BE APPROVED BY THE DESIGN ENGINEER. THE STRUCTURAL DESIGN OF THE UNDERGROUND SCM, ALONG WITH ITS ASSUMPTIONS, IS ALSO BY OTHERS. THE JOHN R. McADAMS COMPANY, INC. AND ITS EMPLOYEES ASSUME NO LIABILITY WITH RESPECT TO ANY ASPECT OF THE STRUCTURAL DESIGN FOR THE UNDERGROUND SCM SYSTEM.
- ALL PIPE / RISER CONNECTIONS AND JOINTS ASSOCIATED WITH THE UNDERGROUND SCM SYSTEM SHALL BE WATER TIGHT. THE MECHANISM FOR ACHIEVING THIS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR REVIEW.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM VARIOUS PARTS OF THE UNDERGROUND SCM SYSTEM SITE. IT IS ANTICIPATED THAT PUMPING WILL BE NECESSARY IN THE EXCAVATION AREAS. DURING PLACEMENT OF FILL WITHIN THIS AREA (OR OTHER AREAS AS NECESSARY), THE CONTRACTOR SHALL KEEP THE WATER LEVEL BELOW THE BOTTOM OF THE EXCAVATION. THE MANNER IN WHICH THE WATER IS REMOVED SHALL BE SUCH THAT THE EXCAVATION BOTTOM AND SIDE SLOPES ARE STABLE.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADHERE TO ALL CURRENT OSHA REGULATIONS FOR CONFINED SPACE ENTRY AND PROVIDE SUCH DURING ENGINEER WALK-THROUGH/INSPECTION.
- ALL PIPE PENETRATIONS THROUGH A CONCRETE STRUCTURE (I.E. STORMFILTER CARTRIDGE / DETENTION SYSTEM, STORM DRAINAGE MANHOLES, ETC.) SHALL BE MADE WATERTIGHT USING NON-SHRINK CEMENTITIOUS GROUT.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.

STORMWATER MANAGEMENT SYSTEM MATERIAL SPECIFICATIONS

- THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM IS TO BE DESIGNED BY OTHERS. ANY CHANGES TO THE PLANS SHALL BE PROVIDED TO THE DESIGN ENGINEER FOR REVIEW. PRIOR TO INSTALLATION, SHOP DRAWINGS OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE PROVIDED TO THE DESIGN ENGINEER AND TO THE TOWN OF CHAPEL HILL FOR REVIEW.
- FILTER CARTRIDGES SHALL BE CONTECH STORMFILTERS WITH PHOSPHOSORB MEDIA. INSTALLATION OF THE STORMWATER DEVICE SHALL BE PER THE MANUFACTURER'S INSTALLATION GUIDELINES AND SPECIFICATIONS.
- ACCESS RISERS SHALL BE INSTALLED PER STRUCTURAL SPECIFICATIONS. ACCESS STEPS / LADDERS SHALL BE ATTACHED TO THE RISERS TO ALLOW FOR ACCESS INTO THE STORMWATER MANAGEMENT SYSTEM.
- THE 24"Ø DIP OUTLET BARREL OF THE DETENTION SYSTEM SHALL BE CLASS 350 DIP, MEETING THE REQUIREMENTS OF ASTM A716. THE PIPE JOINTS SHALL BE LOCKING JOINTS PER ANSI/AWWA C110/A21.10 OR ANSI/AWWA C153/A21.53 STANDARDS.
- THE CONTRACTOR SHALL INSTALL THE STORMFILTER SYSTEM PER MANUFACTURER'S SPECIFICATIONS. CONTRACTOR TO PROVIDE A LETTER FROM MATERIAL SUPPLIER(S) STATING MATERIALS MEET THE SPECIFIED STANDARDS PRIOR TO INSTALLATION.
- COVER AND REVIEW OF SITE CONDITIONS TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE SYSTEM TO BE THE RESPONSIBILITY OF THE MANUFACTURER.

STATEMENT OF RESPONSIBILITY

- ALL REQUIRED MAINTENANCE AND INSPECTIONS OF THIS FACILITY SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER, PER THE EXECUTED OPERATION AND MAINTENANCE AGREEMENT FOR THIS FACILITY.

FOUNDATION NOTES

- ONCE THE EXCAVATION IS COMPLETE AND PRIOR TO INSTALLATION OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM, THE ONSITE GEOTECHNICAL ENGINEER SHALL VERIFY THE BEARING CAPACITY OF THE UNDERLYING SOILS TO SERVE AS A FOUNDATION FOR THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. IF THE ONSITE GEOTECHNICAL ENGINEER DEEMS THE FOUNDATION SOILS AS UNSUITABLE, THEN THE UNSUITABLE MATERIAL SHOULD BE REMOVED DOWN TO A SUITABLE DEPTH AND THEN BUILT BACK UP TO THE CORRECT ELEVATION WITH A COMPACTED BACKFILL MATERIAL THAT IS APPROVED BY THE ONSITE GEOTECHNICAL ENGINEER. THE APPROVED BACKFILL MATERIAL SHOULD HAVE A GRADATION THAT WILL NOT ALLOW THE MIGRATION OF FINES, WHICH COULD CAUSE SETTLEMENT OF THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM. IF NECESSARY, A GEOTEXTILE FABRIC CAN BE USED TO SEPARATE THE UNDERLYING SOILS AND THE BACKFILL MATERIAL. THIS GEOTEXTILE FABRIC (IF USED) IS TO BE SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER.
- PLEASE NOTE THAT IF THE CONTRACTOR CONSTRUCTS AND COVERS UP THE EXCAVATION FOR THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM PRIOR TO INSPECTION, THEN THIS AREA SHALL BE UNCOVERED AND TESTED (TO THE ENGINEER'S AND OWNER'S APPROVAL) AT THE CONTRACTOR'S EXPENSE.
- THE FOUNDATION SUBGRADE SHALL BE GRADED TO A UNIFORM OR SLIGHTLY SLOPING GRADE PRIOR TO PLACEMENT OF THE BEDDING MATERIAL. IF THE FOUNDATION SUBGRADE WILL BE EXPOSED FOR AN EXTENDED PERIOD OF TIME DURING CONSTRUCTION, THEN IT SHOULD BE GRADED TO A SLIGHT SLOPE SUCH THAT SATURATION OF THE SUBGRADE DOES NOT OCCUR.
- THE BEDDING MATERIAL FOR THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM SHALL BE SPECIFIED BY THE ON-SITE GEOTECHNICAL ENGINEER. TYPICALLY, A WELL-GRADED GRANULAR MATERIAL WILL BE USED FOR THE BEDDING. PLEASE NOTE THAT IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. ENGINEERED FABRIC, STIFF GEOGRID, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.
- THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE, AND MAINTAIN ANY PUMPING EQUIPMENT, ETC. NEEDED FOR REMOVAL OF WATER FROM THE EXCAVATION. IT IS BEST TO BEGIN THE CONSTRUCTION OF THE DETENTION SYSTEMS AT THE DOWNSTREAM END WITH THE OUTLET ALREADY CONSTRUCTED TO ALLOW A ROUTE FOR WATER TO ESCAPE.
- THE CONTRACTOR SHALL PROVIDE A FOUNDATION DRAIN FOR THE UNDERGROUND DETENTION SYSTEM DESIGNED BY OTHERS. THE UNDERDRAIN SYSTEM SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATION AND SHALL POSITIVELY DRAIN TO DOWNSTREAM STRUCTURE. THE ONSITE GEOTECHNICAL ENGINEER SHALL DETERMINE IF FOUNDATION DRAINS ARE NOT REQUIRED FOR THE UNDERGROUND SCM SYSTEM. THE DESIGN ENGINEER SHALL BE NOTIFIED FOLLOWING THIS DETERMINATION.

BEDDING NOTES

- THE EXCAVATION SUB GRADE MUST BE TRANSIT LEVEL.
- THE EXCAVATION PIT SHALL BE LINED (ON THE BOTTOM AND ALL FOUR SIDES) WITH A NON-WOVEN GEO-TEXTILE (GEOTEX 401 OR APPROVED EQUIVALENT). THE ONSITE GEOTECHNICAL ENGINEER SHALL APPROVE FABRIC FOR USE.
- THE SUBGRADE FOR THE DETENTION SYSTEM CAN BE A CONCRETE SLAB, OR CLEAN GRANULAR MATERIAL WITH A MAXIMUM AGGREGATE SIZE OF 3/4". THE BEDDING SHALL BE FREE FROM ROCK FORMATIONS, PROTRUDING STONES, FROZEN LUMPS, ROOTS, AND OTHER FOREIGN MATERIAL.
- PREPARE THE SUBGRADE PER THE ONSITE GEOTECHNICAL ENGINEER'S DIRECTION (APPROXIMATELY 5'-6" BELOW GRADE ON WHICH SLAB WILL SET). THE BEDDING MATERIAL SHOULD BE GRADED SUCH THAT A SMOOTH UNIFORM GRADE IS ESTABLISHED TO ALLOW FOR OPTIMUM PLACEMENT OF THE SAND FILTER.
- THE SUBGRADE MUST SUPPORT THE DETENTION SYSTEM WITHOUT DIFFERENTIAL SETTLEMENT BETWEEN PIECES.
- IF CONSTRUCTION EQUIPMENT WILL BE OPERATING FOR AN EXTENDED PERIOD OF TIME ON THE BEDDING, THEN THE APPROPRIATE MEASURES (E.G. STIFF GEOGRID, ETC.) SHALL BE TAKEN TO ENSURE THE INTEGRITY OF THE BEDDING IS NOT COMPROMISED.

BACKFILL MATERIAL NOTES

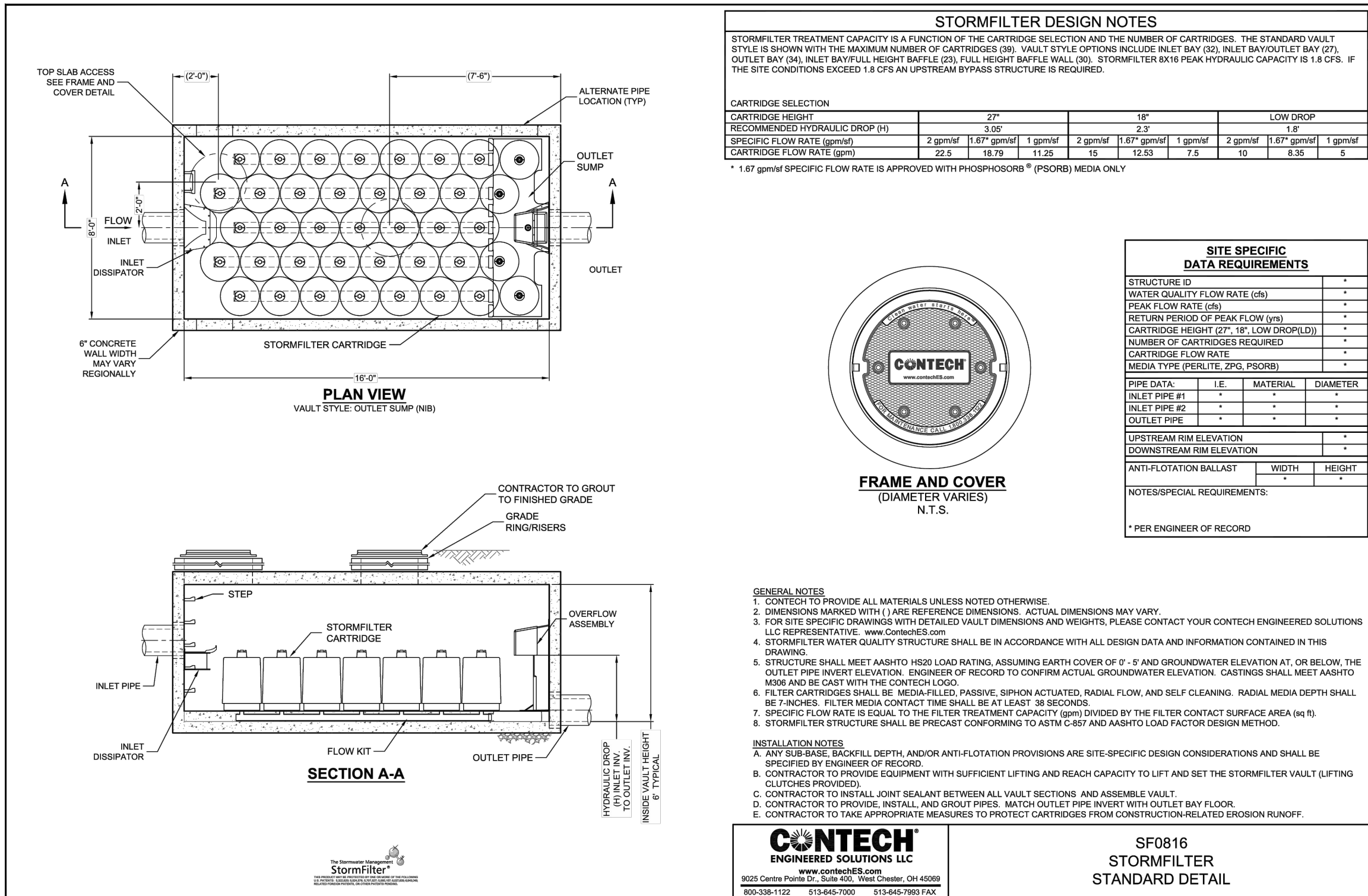
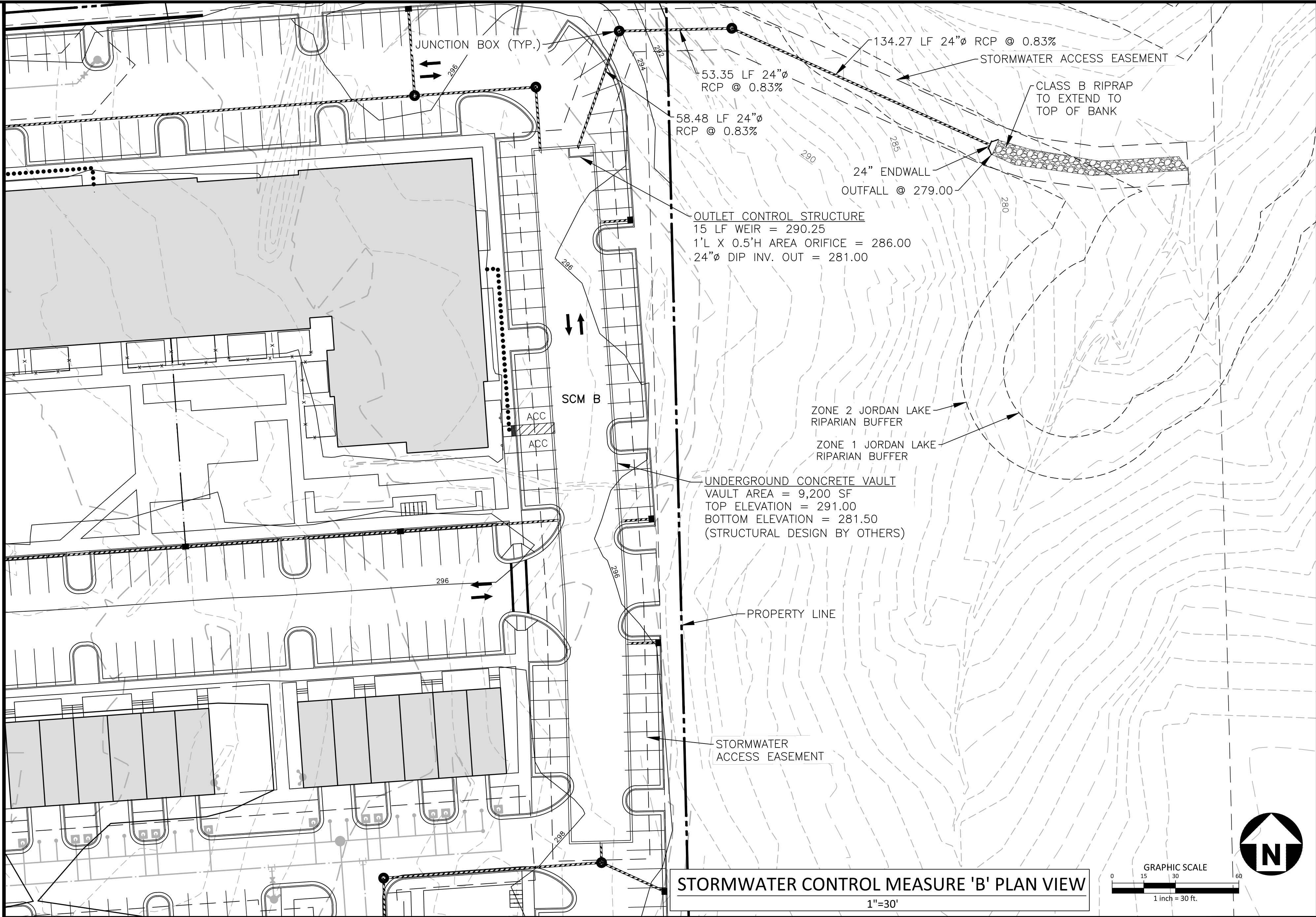
- THE ON-SITE GEOTECHNICAL ENGINEER SHALL SPECIFY THE BACKFILL MATERIAL FOR THE STORMWATER MANAGEMENT SYSTEM.
- THE BACKFILL MATERIAL SHOULD BE FREE OF ROCKS, FROZEN LUMPS, AND OTHER FOREIGN MATTER THAT COULD CAUSE HARD SPOTS WITHIN THE BACKFILL MATERIAL, OR THAT COULD DECOMPOSE AND CREATE VOIDS.
- HIGHLY PLASTIC SILTS, HIGHLY PLASTIC CLAYS, ORGANIC SILTS, ORGANIC CLAYS, AND PEATS SHOULD NOT BE USED AS A BACKFILL MATERIAL.
- THE BACKFILL MATERIAL SHOULD BE PLACED IN 6" LOOSE LIFTS AND COMPACTED TO 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D698). THE FILL SOILS SHALL BE COMPACTED AT A MOISTURE CONTENT WITHIN +/- TWO PERCENT OF ITS OPTIMUM MOISTURE CONTENT.
- ANY MATERIAL STOCKPILING ON TOP OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE APPROVED BY THE STRUCTURAL DESIGN ENGINEER OR DETENTION SYSTEM MANUFACTURER.

UNDERGROUND VAULT CONSTRUCTION NOTES

- UNDERGROUND VAULT CONFIGURATION IS TO BE DESIGNED AND PROVIDED BY OTHERS.
- ABSOLUTELY NO RUNOFF SHALL ENTER THE UNDERGROUND VAULT UNTIL ALL CONTRIBUTING DRAINAGE AREAS HAVE BEEN STABILIZED.
- MANHOLE ACCESS SHALL BE PROVIDED FOR THE UNDERGROUND VAULT. MANHOLES SHALL BE IN COMPLIANCE WITH TOWN OF CHAPEL HILL STANDARD DETAILS BUT SHALL BE A MINIMUM OF 24 INCHES IN DIAMETER TO COMPLY WITH OSHA CONFINED SPACE REQUIREMENTS (OR MINIMUM OSHA REQUIREMENTS FOR CONSTRUCTION). CONTRACTOR SHALL PROVIDE ACCESS LADDERS FOR ACCESS BELOW ALL MANHOLES. MANHOLE COVERS SHALL ALLOW FOR PROPER VENTILATION.

SYSTEM TESTING NOTES

- PRIOR TO PLACEMENT OF THE BACKFILL MATERIAL AND STORM FILTER CARTRIDGES, CONTRACTOR SHALL TEST FOR WATER TIGHTNESS. ENTRANCES AND EXITS SHALL BE PLUGGED AND THE SYSTEM COMPLETELY FILLED WITH WATER TO DEMONSTRATE WATER TIGHTNESS. WATER TIGHTNESS MEANS NO SIGNIFICANT FOR A PERIOD OF 24 HOURS. SIGNIFICANT LEAKAGE TO BE DETERMINED BY THE CERTIFYING ENGINEER. CONTRACTOR SHALL CALL AND SCHEDULE THE FIELD TESTING OF THE SYSTEM (WATER-TIGHTNESS) WITH THE ENGINEER AT LEAST 2 WORKING DAYS PRIOR TO THE TEST. THE CONTRACTOR SHALL PROVIDE REPORTS TO THE ENGINEER VERIFYING THE WATER TIGHTNESS OF THE STORMWATER VAULT.



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PHONE: 202.577.6491



BARBEE CHAPEL APARTMENTS CONDITIONAL ZONING PERMIT DRAWINGS 5101 BARBEE CHAPEL RD CHAPEL HILL, NC 27517



REVISIONS

NO.	DATE	REVISED PER	1ST CZP COMMENTS
11.23.2022		REVISED PER	1ST CZP COMMENTS
02.21.2023		REVISED PER	2ND CZP COMMENTS

PLAN INFORMATION

PROJECT NO. TLA-22001
FILENAME TLA22001-SCMB
CHECKED BY MCT
DRAWN BY OVL
SCALE 1" = 30'
DATE 09.29.2022

SHEET

SCM B PLAN VIEW

C9.01

SEE SHEET C0.00 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL AND NCDOT ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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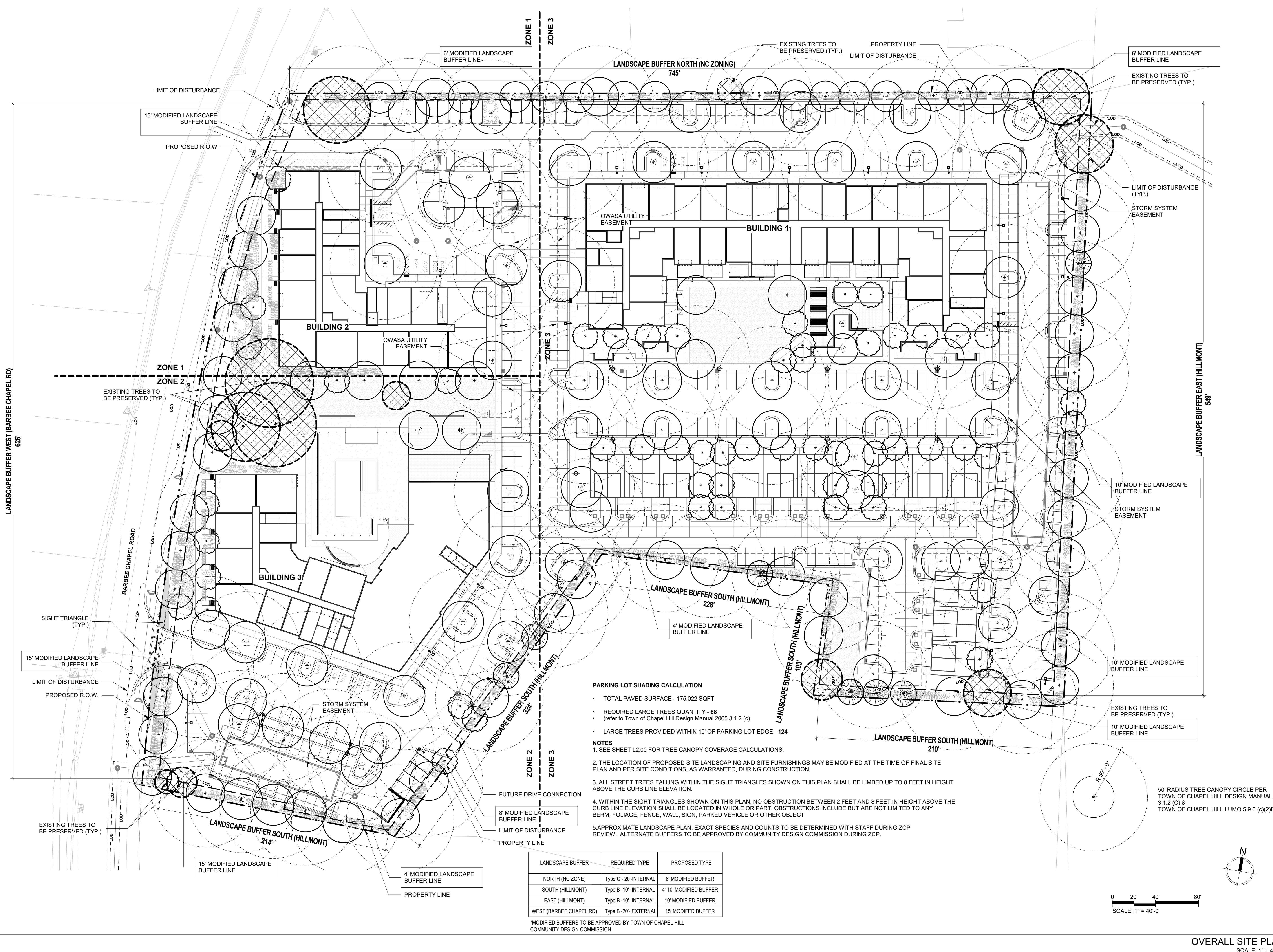
PLAN INFORMATION

PROJECT NO.: P200798

SCALE: AS INDICATED
DATE: 09/29/2022

OVERALL SITE PLAN

L1.00



PARKING LOT SHADING CALCULATION

- TOTAL PAVED SURFACE - 175,022 SQFT
- REQUIRED LARGE TREES QUANTITY - 88
(refer to Town of Chapel Hill Design Manual 2005 3.1.2 (c))
- LARGE TREES PROVIDED WITHIN 10' OF PARKING LOT EDGE - 124

NOTES

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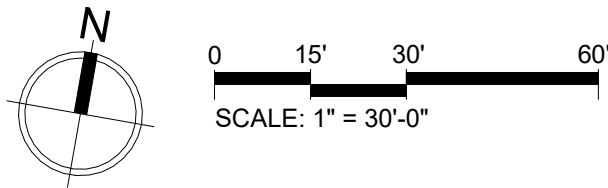
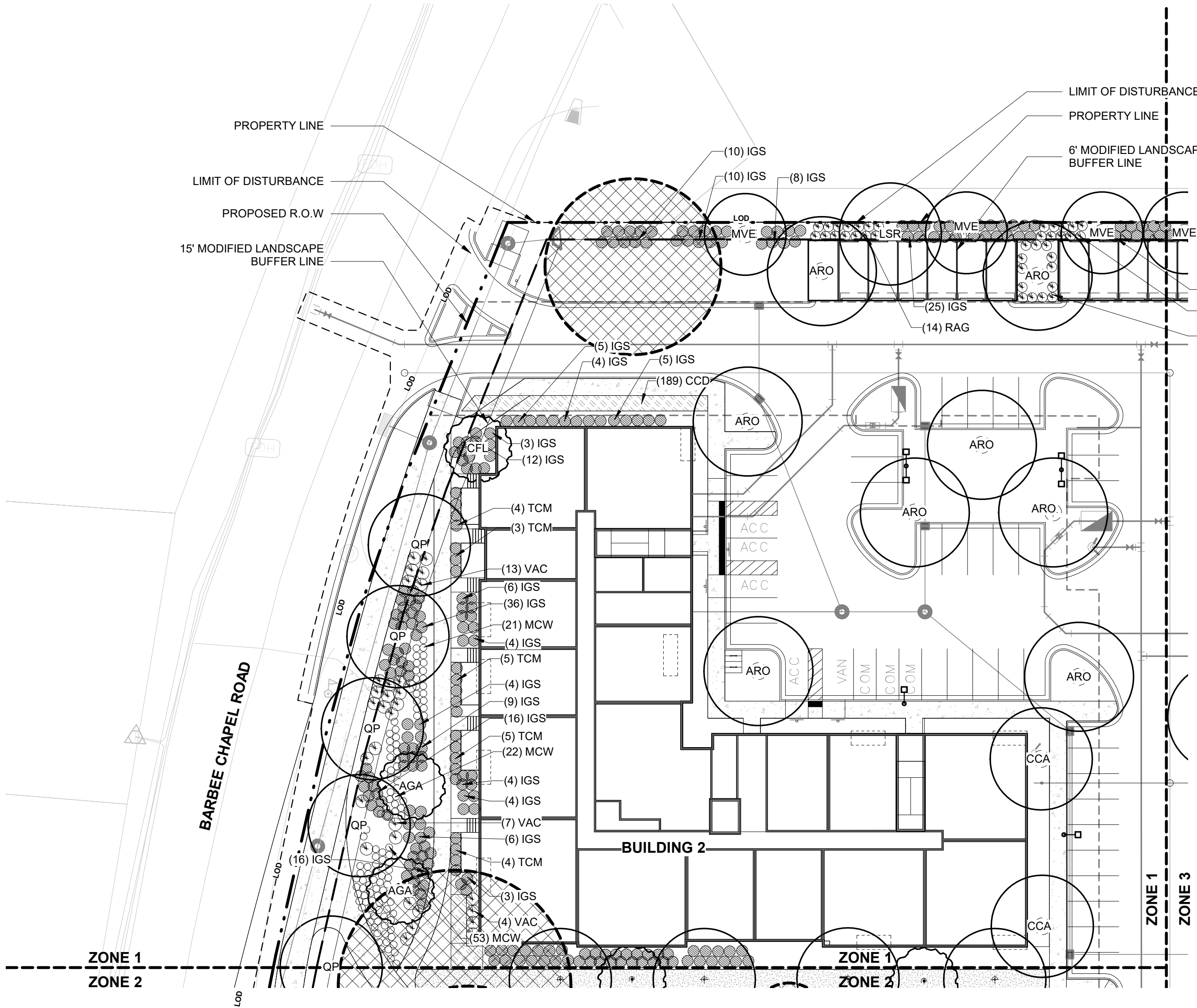
LANDSCAPE BUFFER	REQUIRED TYPE	PROPOSED TYPE
NORTH (NC ZONE)	Type C - 20'-INTERNAL	6' MODIFIED BUFFER
SOUTH (HILLMONT)	Type B -10'- INTERNAL	4'-10' MODIFIED BUFFER
EAST (HILLMONT)	Type B -10'- INTERNAL	10' MODIFIED BUFFER
WEST (BARBEE CHAPEL RD)	Type B -20'- EXTERNAL	15' MODIFIED BUFFER

*MODIFIED BUFFERS TO BE APPROVED BY TOWN OF CHAPEL HILL COMMUNITY DESIGN COMMISSION

TREE SCHEDULE-KEY			
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
CANOPY TREES			
ARO	Acer rubrum 'October Glory'	October Glory Red Maple	3" Cal
CCA	Carpinus caroliniana 'CCSQU'	Palisade® American Hornbeam	4" Cal
LSR	Liquidambar styraciflua 'Rotundiloba'	Seedless Sweetgum	4" Cal
MVE	Magnolia virginiana 'Emerald Tower'	Upright Sweetbay Magnolia	3" Cal
QFA	Quercus falcata	Southern Red Oak	4" Cal
QP	Quercus phello	Willow Oak	4" Cal
EVERGREEN CANOPY TREES			
PTA	Pinus taeda	Loblolly Pine	2.5" Cal
UNDERSTORY TREES			
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	7'-8" Ht.
CFL	Cornus florida	Flowering Dogwood	7'-8" Ht.
Grand total			

SHRUB & ORNAMENTAL GRASS SCHEDULE-KEY			
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
ORNAMENTAL GRASS			
MCW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	#3
SHRUB			
HIN	Hamamelis x intermedia	Hybrid Witch Hazel	#3
IGS	Ilex glabra 'Shamrock'	Inkberry Holly	#3
IVE	Ilex verticillata	Winterberry Holly	#3
IVH	Itea virginica 'Henry's Garnet'	Virginia sweetspire	#3
RAG	Rhus aromatica 'Grow-low'	Dwarf Sumac 'Gro-low'	#3
TCM	Taxus canadensis 'Marshall'	Spreading Yew	#3
VAC	Viburnum acerifolium	Mapleleaf Viburnum	#3

PERENNIAL SCHEDULE - KEY			
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
CCD	Carex cherokeensis	Cherokee Sedge	#1



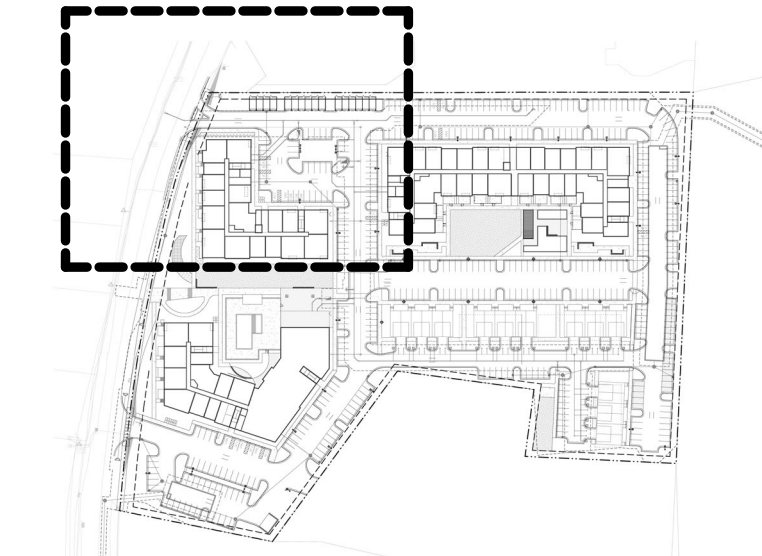
LEGEND

- ---

LIMITS OF DISTURBANCE
- ---

TREE PROTECTION FENCE
- ---

PROPERTY LINE
- CANOPY TREES
- UNDERSTORY TREES
- EVERGREEN TREES
- EXISTING TREES TO BE PRESERVED
- PARKING LOT LIGHTING
- STREET LIGHT



- NOTES**
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REVISIONS

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PLAN INFORMATION

PROJECT NO.: P200798

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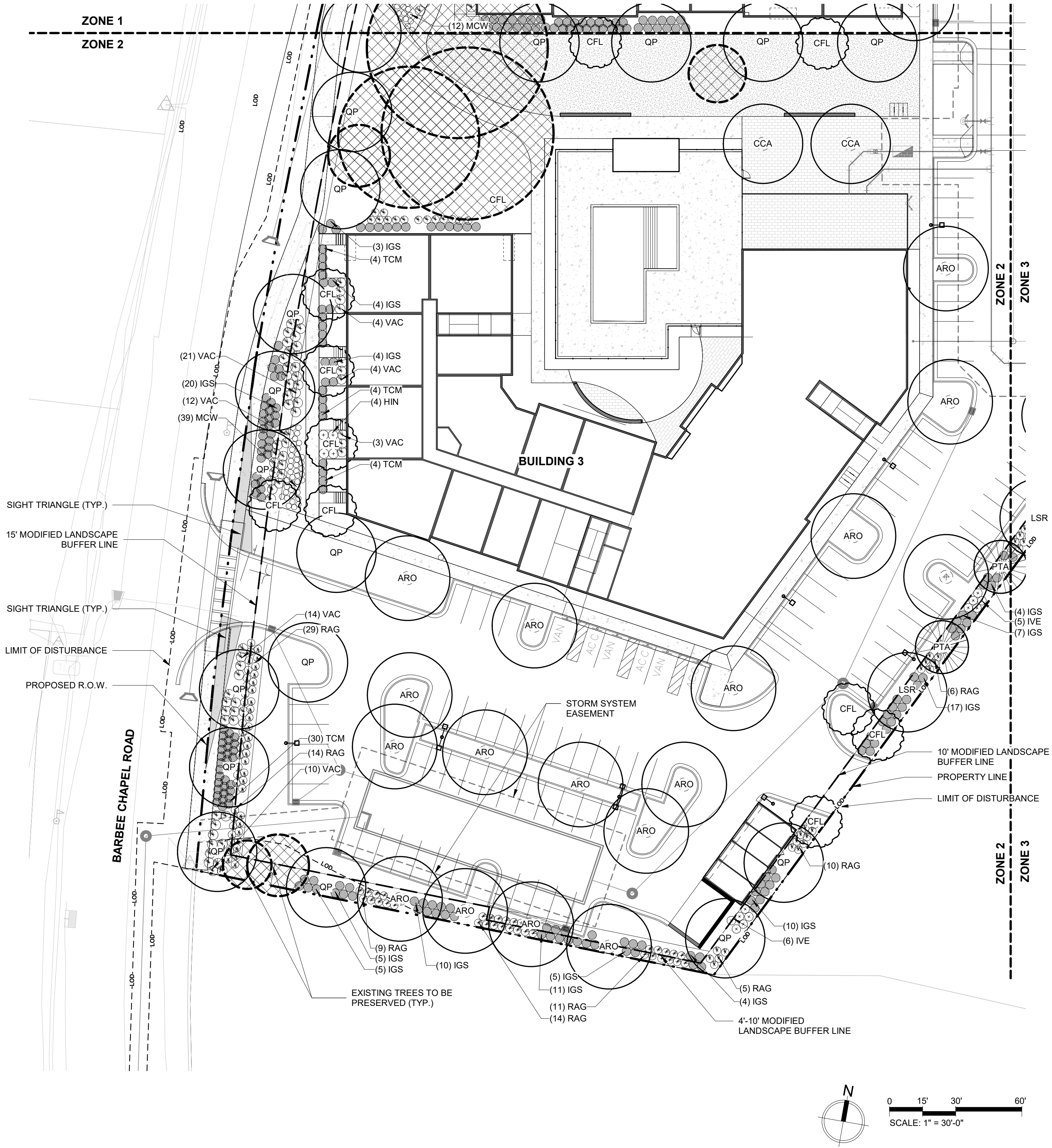
PLANTING PLAN ZONE 01

L1.01

TREE SCHEDULE-KEY			
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
CANOPY TREES			
ARO	Acer rubrum 'October Glory'	October Glory Red Maple	3" Cal
CCA	Carpinus caroliniana 'CCSQU'	Palisade® American Hornbeam	4" Cal
LSR	Liquidambar styraciflua 'Rotundiloba'	Seedless Sweetgum	4" Cal
MVE	Magnolia virginiana 'Emerald Tower'	Upright Sweetbay Magnolia	3" Cal
QFA	Quercus falcata	Southern Red Oak	4" Cal
QP	Quercus phello	Willow Oak	4" Cal
EVERGREEN CANOPY TREES			
PTA	Pinus taeda	Loblolly Pine	2.5" Cal
UNDERSTORY TREES			
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	7'-8" Ht.
CFL	Cornus florida	Flowering Dogwood	7'-8" Ht.
Grand total			

SHRUB & ORNAMENTAL GRASS SCHEDULE-KEY			
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
ORNAMENTAL GRASS			
MCW	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhty Grass	#3
SHRUB			
HIN	Hamamelis x intermedia	Hybrid Witch Hazel	#3
IGS	Ilex glabra 'Shamrock'	Inkberry Holly	#3
IVE	Ilex verticillata	Winterberry Holly	#3
IVH	Itea virginica 'Henry's Garnet'	Virginia sweetspire	#3
RAG	Rhus aromatica 'Grow-low'	Dwarf Sumac 'Gro-low'	#3
TCM	Taxus canadensis 'Marshall'	Spreading Yew	#3
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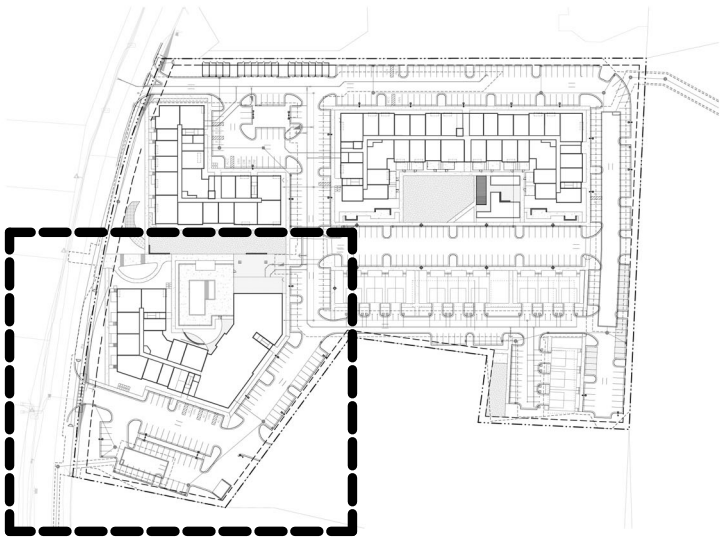
PERENNIAL SCHEDULE - KEY			
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
CCD	Carex cherokeensis	Cherokee Sedge	#1



LEGEND

- LOD --- LIMITS OF DISTURBANCE
- TP - TREE PROTECTION FENCE
- - - - - PROPERTY LINE
- CANOPY TREES
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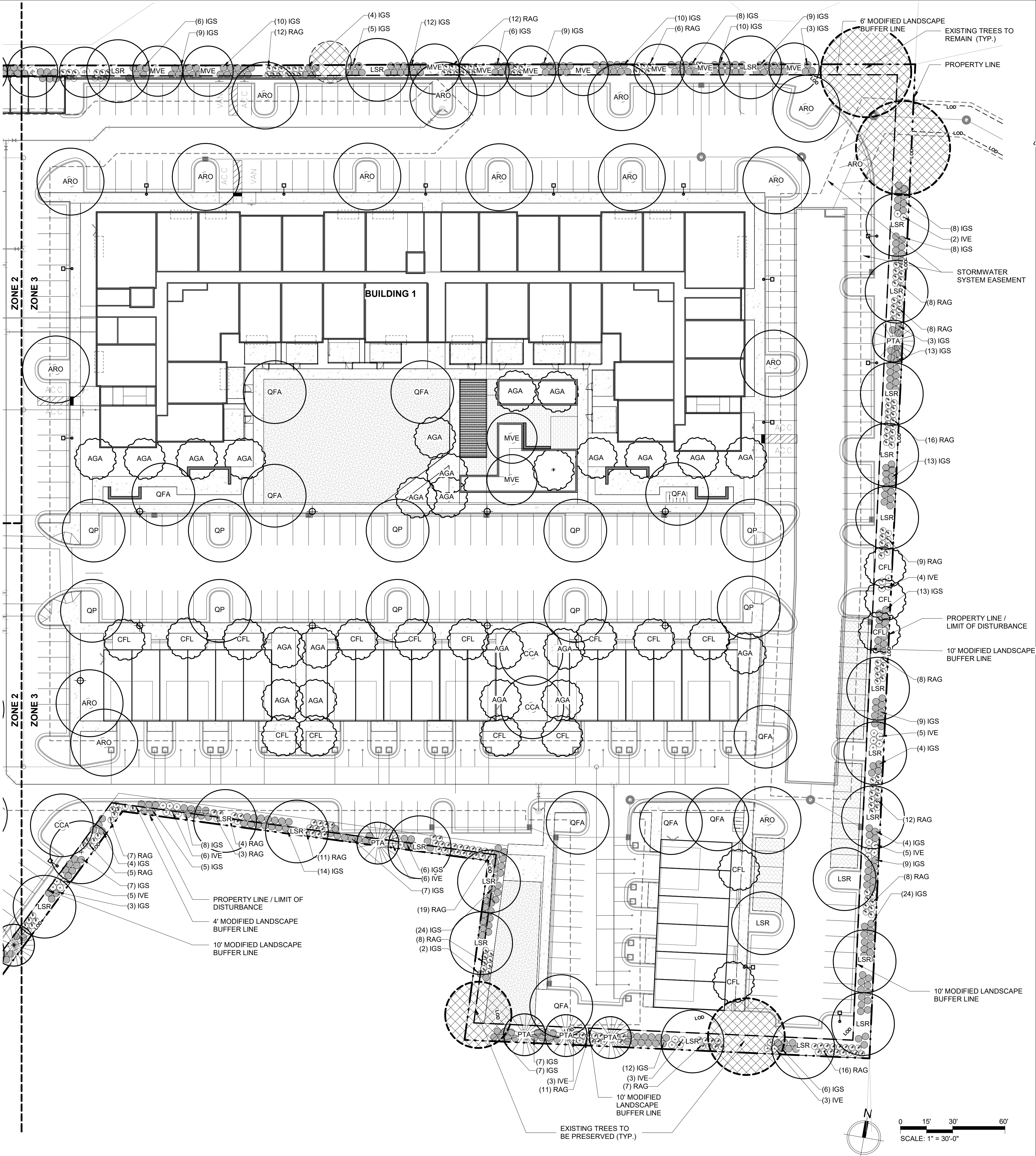
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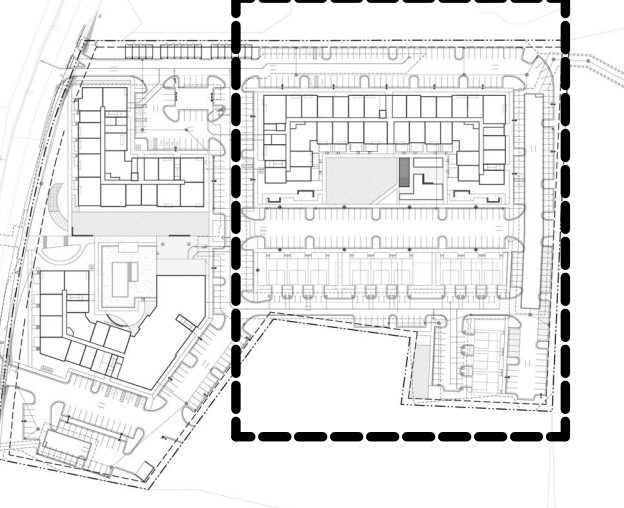
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PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE
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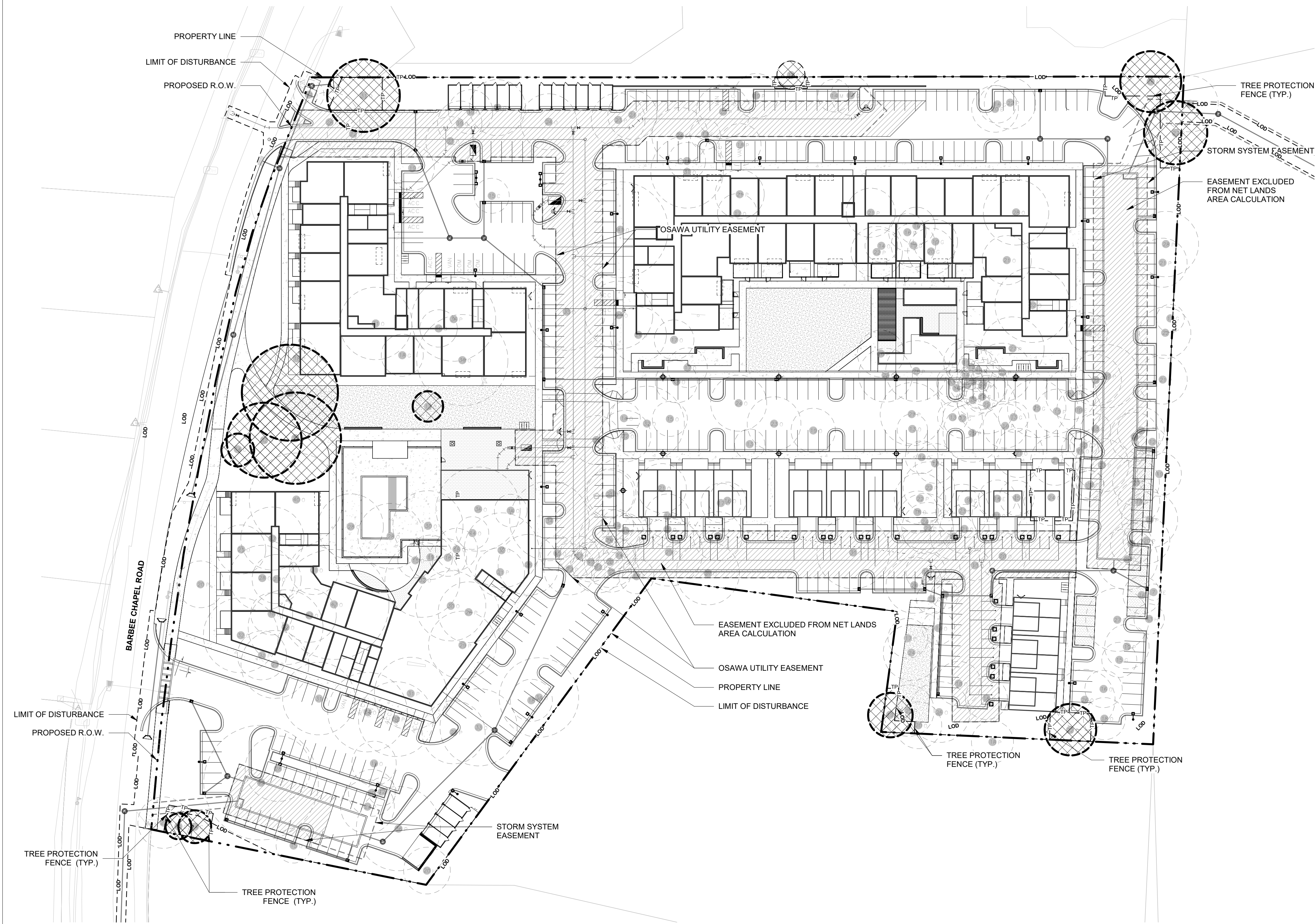


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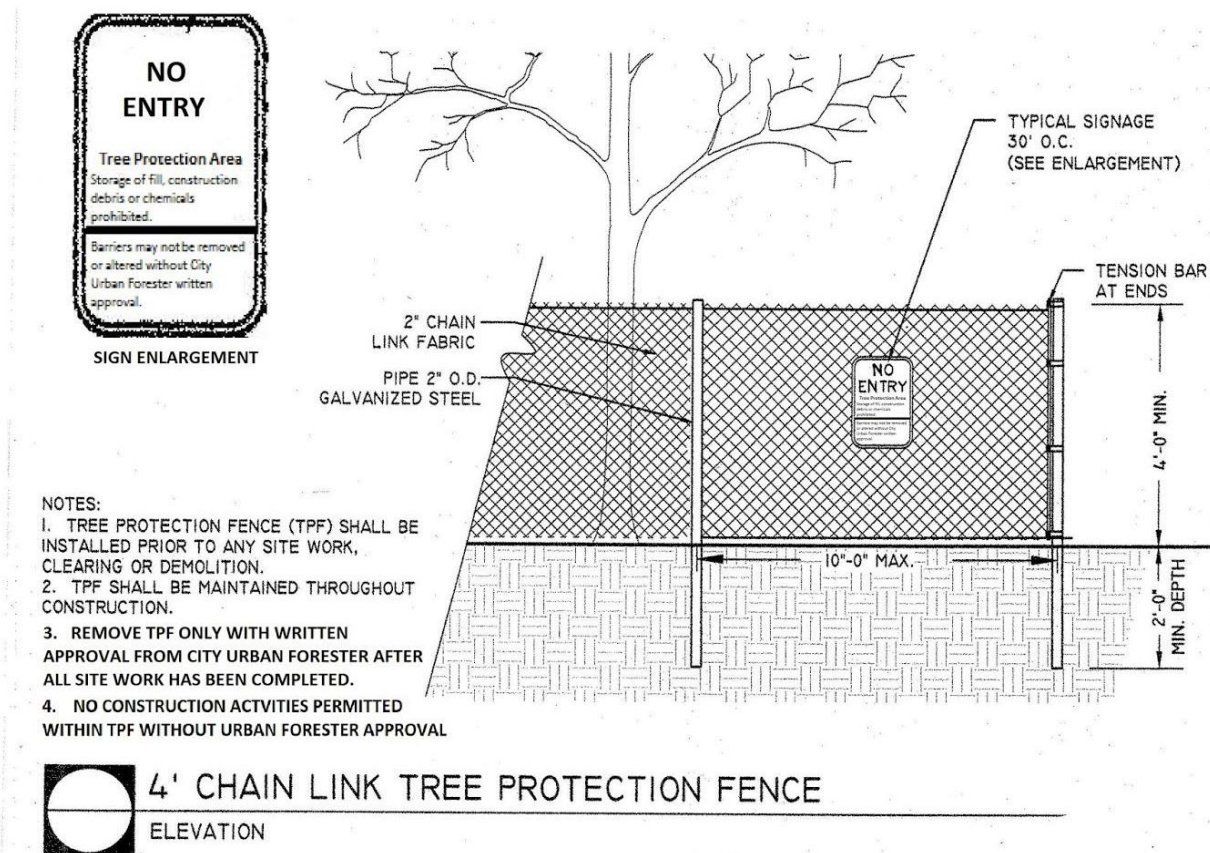
PLAN INFORMATION

PROJECT NO.: P200798

SCALE: AS INDICATED
DATE: 09/29/2022



1
TREE PROTECTION PLAN
SCALE: 1" = 50'-0"



- NOTES:
1. TREE PROTECTION FENCE (TPF) SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION.
 2. TPF SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
 3. REMOVE TPF ONLY WITH WRITTEN APPROVAL FROM CITY URBAN FORESTER AFTER ALL SITE WORK HAS BEEN COMPLETED.
 4. NO CONSTRUCTION ACTIVITIES PERMITTED WITHIN TPF WITHOUT URBAN FORESTER APPROVAL.

4' CHAIN LINK TREE PROTECTION FENCE
ELEVATION

2
TREE PROTECTION FENCE DETAIL
SCALE: 3/16" = 1'-0"

LEGEND

- PRESERVED EX. TREES
CRITICAL ROOT ZONE
- SIZE (TRUNK DIAMETER)
- SPECIES TYPE
- EXISTING SPECIMEN TREES TO BE REMOVED
- 18" P
- LIMITS OF DISTURBANCE
- TREE PROTECTION FENCE.
- PROPERTY LINE
- UTILITY EASEMENT
- EASEMENT AREA EXCLUDED FROM NET LANDS AREA CALCULATION

EXISTING TREE LEGEND

- A ASH
- B BEECH
- C CEDAR
- E ELM
- G SWEET GUM
- H HICKORY
- M MAPLE
- O OAK
- P PINE

- RARE TREES (refer to LUMO Section 5.7.6) - 0
- SIGNIFICANT TREE STANDS - *NONE* (refer to Tree Evaluation Report)
- SPECIMEN TREES (refer to LUMO Section 5.7.6) - 240
- SPECIMEN TREES TO BE PROTECTED - 13
- SPECIMEN TREES TO BE REMOVED - 227
- LOT SIZE - 455,841 SQF
- NET LOT SIZE (excl. easements and ROWs) - 380,084 SQF
- 30% REQUIRED TREE CANOPY COVERAGE (Multi-Family Residential) - 114,025 SQF
- AREA OF EXISTING CANOPY PROTECTED - 11,535 SQF
- CANOPY DEFICIT - 102,490 SQF
- REPLACEMENT TREES REQUIRED (as per LUMO Section 5.7.2(c)) - 177
- REPLACEMENT TREES PROPOSED -
Proposed Canopy Trees: 131
Credits on Trees over 4" Cal (refer to LUMO Section 5.7.2 (c)): 75
Total: 206

NOTES:

1. Protective fencing, Fences, or other equally effective measures as determined by the town manager, shall be used to protect areas identified on an approved landscape protection plan during demolition and construction activity. Protective fencing shall be installed according to town standards. Field adjustments may be allowed subject to prior approval by the town manager. All land disturbing activity, storage of equipment, building material, soil, and other debris shall be kept outside the protected areas.
2. Landscaping activities taking place after the removal of protective fencing shall be accomplished with light machinery or hand labor and in accordance with the town's landscaping standards and specifications. This requirement should be noted on the plans.
3. Prior to the commencement of any activities requiring a zoning compliance permit, a pre-construction conference with the town's urban forester or landscape architect shall take place to review procedures for protection and management of all protected landscape elements identified on the landscape protection plan.
4. On-site supervision. For all development other than that related to single-family and two-family dwellings on individual zoning lots, the following on-site supervision is required:
 - i. The applicant shall designate as landscape protection supervisors one or more persons who have completed instruction in landscape protection procedures with the town.
 - ii. It shall be the duty of the landscape protection supervisor to ensure the protection of new or existing landscape elements, as defined in the landscape protection plan. The approved landscape protection supervisor shall supervise all site work to assure that development activity conforms to provisions of the approved landscape protection plan. At least one (1) identified landscape protection supervisor shall be present on the development site at all times when activity that could damage or disturb soil and adjacent landscape elements occurs such as:
 - Clearing and grubbing;
 - Any excavation, grading, trenching or moving of soil;
 - Removal, installation, or maintenance of all landscape elements and landscape protection devices; or
 - Delivery, transporting, and placement of construction materials and equipment on site.



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CLIENT

TOLL BROTHERS APARTMENT LIVING
1140 VIRGINIA DR
FORT WASHINGTON, PA, 19034
PHONE: 202.577.6491



BARBEE CHAPEL APARTMENTS

CONDITIONAL ZONING PERMIT

DRAWINGS

5101 BARBEE CHAPEL RD

CHAPEL HILL, NORTH CAROLINA, 27517



REVISIONS

NO.	DATE	REVISION DESCRIPTION
1	11/21/2022	1ST ROUND COMMENTS
2	02/21/2023	REVISED PER 2ND CZP COMMENTS

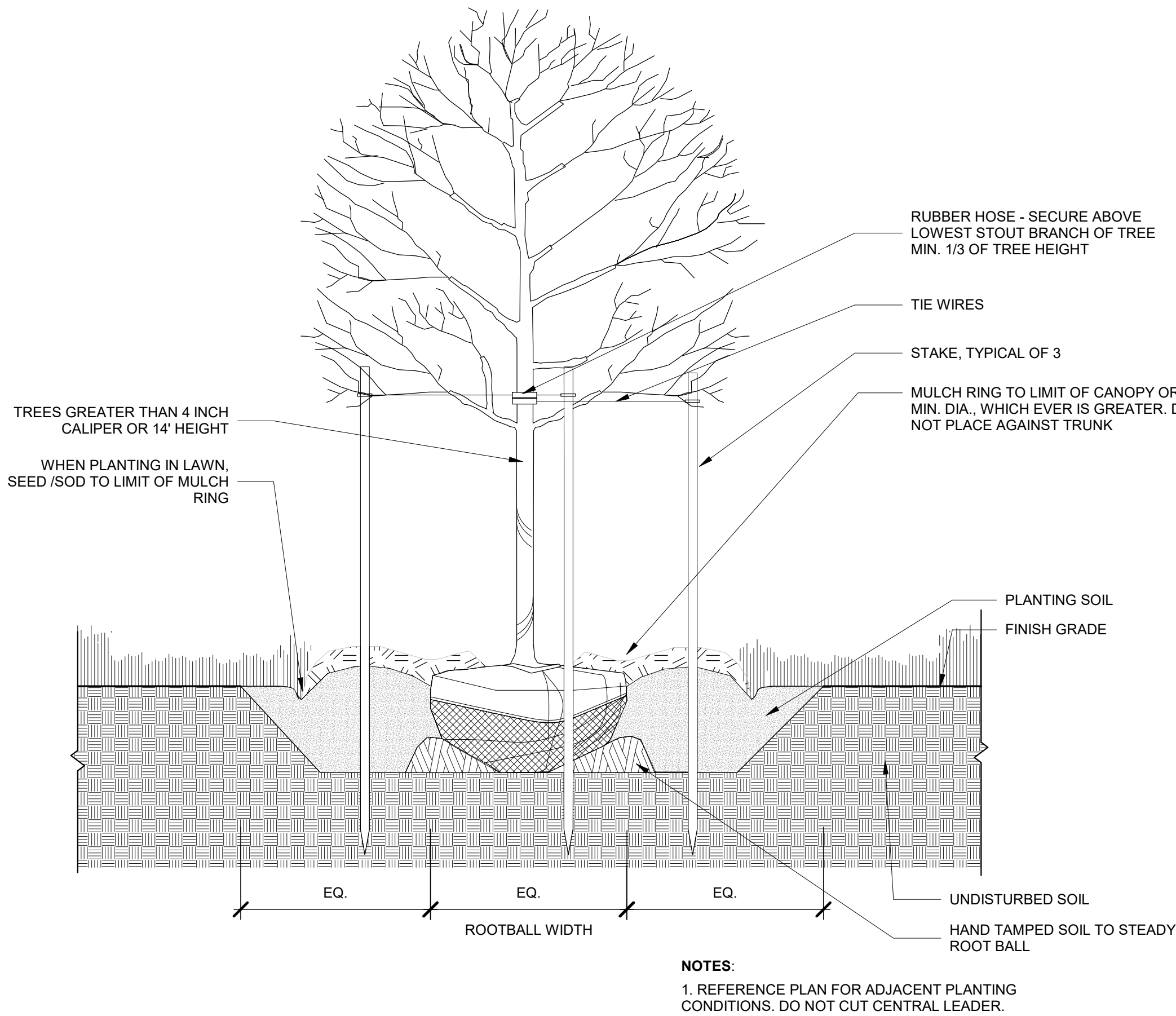
PLAN INFORMATION

PROJECT NO.: P200798

SCALE: AS INDICATED
DATE: 09/29/2022

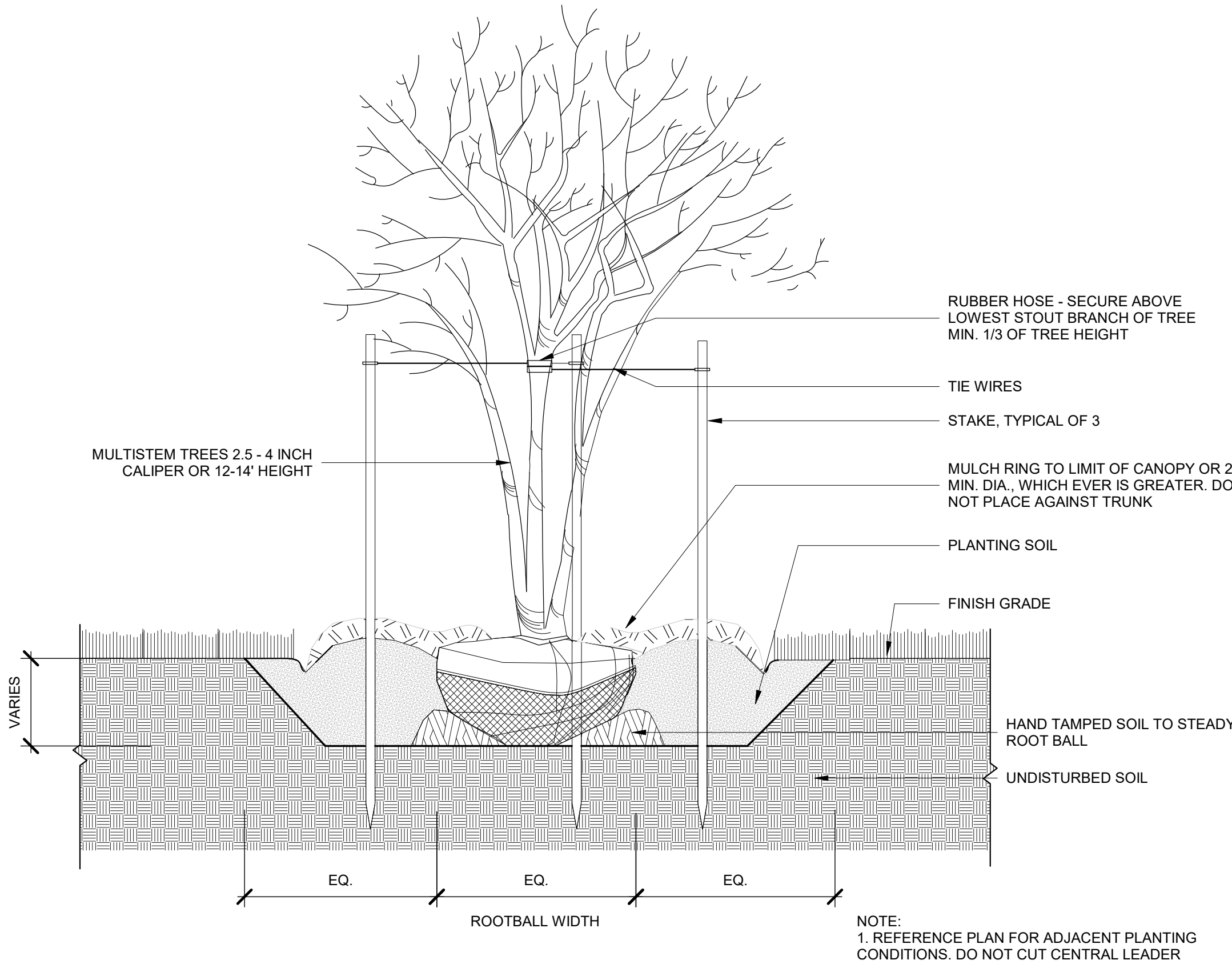
TREE PROTECTION PLAN

L2.00



SHADE TREE PLANTING
SCALE: 3/4" = 1'-0"

3



ORNAMENTAL TREE PLANTING
SCALE: 3/4" = 1'-0"

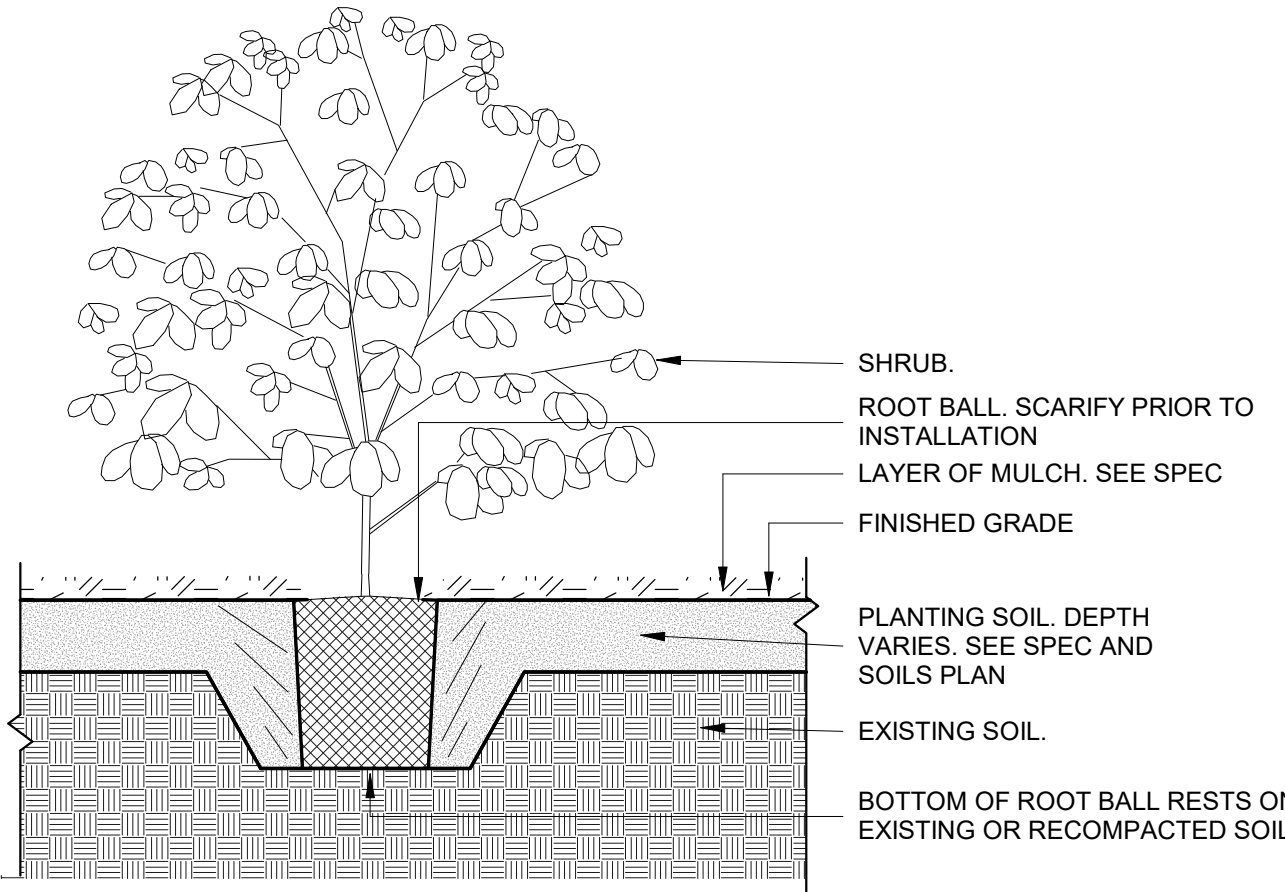
1

TREE SCHEDULE						
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE	ROOT	COUNT	COMMENTS
CANOPY TREES						
ARO	Acer rubrum 'October Glory'	October Glory Red Maple	3" Cal	B&B	50	Limb lowest branch to 7'-0"
CCA	Carpinus carolinana 'CCSQU'	Palisade® American Hornbeam	4" Cal	B&B	7	Limb lowest branch to 7'-0"
LSR	Liquidambar styraciflua 'Rotundiloba'	Seedless Sweetgum	4" Cal	B&B	26	Limb lowest branch to 7'-0"
MVE	Magnolia virginiana 'Emerald Tower'	Upright Sweetbay Magnolia	3" Cal	B&B	16	
QFA	Quercus falcata	Southern Red Oak	4" Cal	B&B	10	Limb lowest branch to 7'-0"
QP	Quercus phello	Willow Oak	4" Cal	B&B	22	Limb lowest branch to 7'-0"
EVERGREEN CANOPY TREES						
PTA	Pinus taeda	Loblolly Pine	2.5" Cal	B&B	7	
UNDERSTORY TREES						
AGA	Amelanchier x grandiflora 'Autumn Brilliance'	Apple Serviceberry	7'-8" Ht.	B&B	26	
CFL	Cornus florida	Flowering Dogwood	7'-8" Ht.	B&B	29	
Grand total					193	

SHRUB & ORNAMENTAL GRASS SCHEDULE				
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE	COMMENTS
SHRUB				
HIN	Hamamelis x intermedia	Hybrid Witch Hazel	#3	48" o.c.
IGS	Ilex glabra 'Shamrock'	Inkberry Holly	#3	36" o.c.
IVE	Ilex verticillata	Winterberry Holly	#3	48" o.c.
IVH	Itea virginica 'Henry's Garnet'	Virginia sweetspire	#3	36" o.c.
RAG	Rhus aromatica 'Grow-low'	Dwarf Sumac 'Gro-low'	#3	48" o.c.
TCM	Taxus canadensis 'Marshall'	Spreading Yew	#3	24"-30" spd.
VAC	Viburnum acerifolium	Mapleleaf Viburnum	#3	36" o.c.

When selecting shrub species, a minimum of 50% of the total number of required shrubs should be evergreen.

PERENNIAL SCHEDULE				
PLANT ID	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING INCHES
CCD	Carex cherokeensis	Cherokee Sedge	#1	18



SHRUB PLANTING DETAIL
SCALE: 3/4" = 1'-0"

2



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PHONE: 202.577.6491



BARBEE CHAPEL APARTMENTS

CONDITIONAL ZONING PERMIT

DRAWINGS

5101 BARBEE CHAPEL RD

CHAPEL HILL, NORTH CAROLINA, 27517



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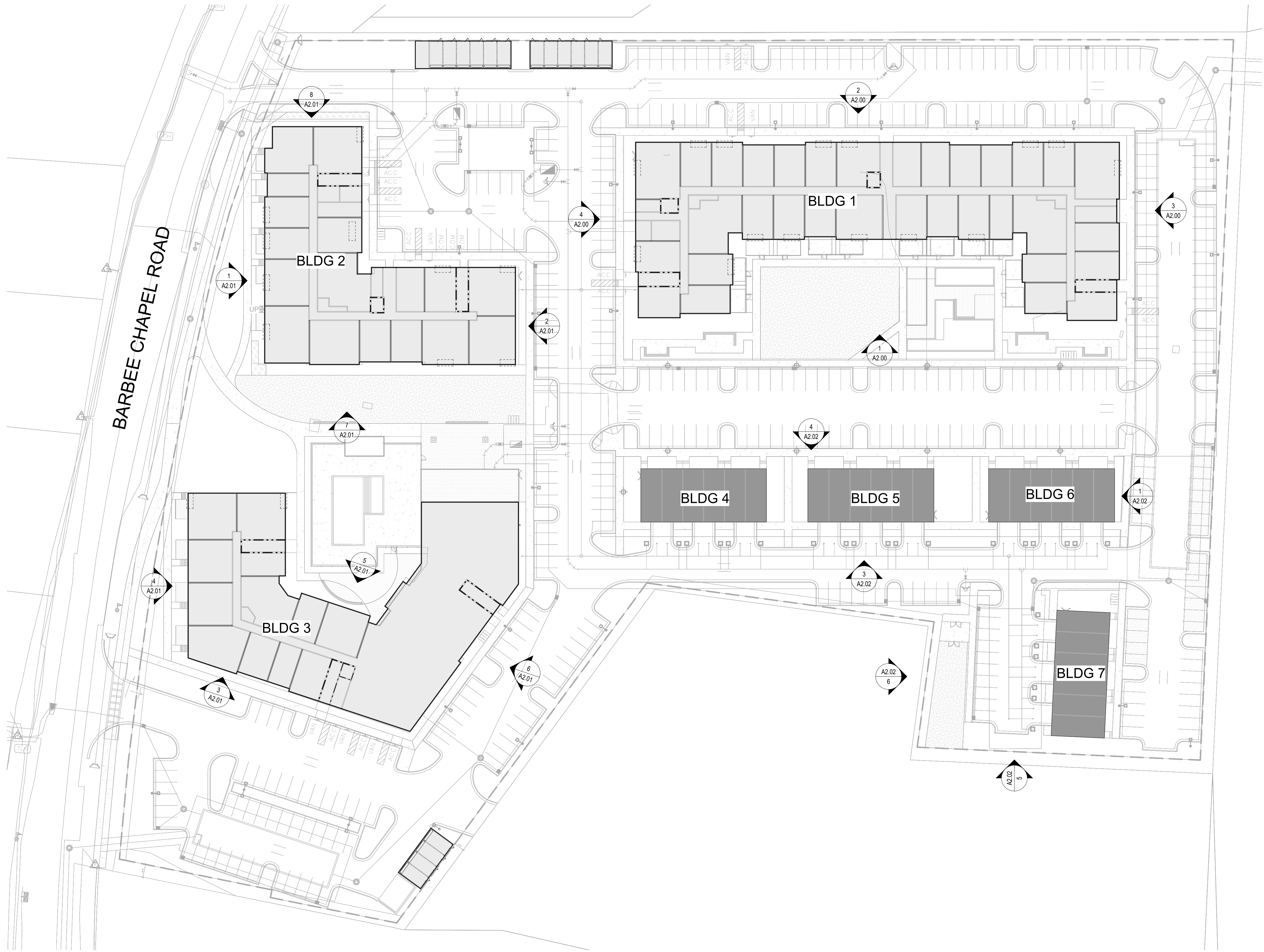
PLAN INFORMATION

PROJECT NO.: P200798

SCALE: AS INDICATED
DATE: 09/29/2022

PLANTING DETAILS AND
PLANTING SCHEDULE

L1.04



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PLAN INFORMATION

PROJECT NO.: P200798

SCALE: AS INDICATED
DATE: 09.29.2022

SITE PLAN

A1.00

250 Summer Street
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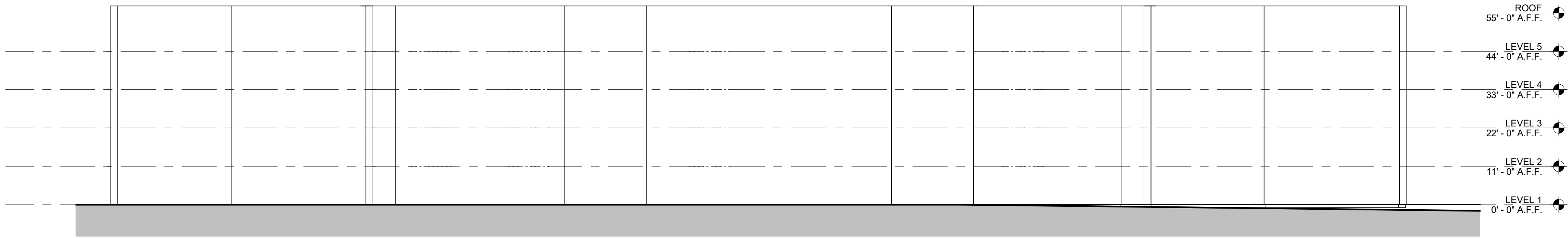
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CONDITIONAL ZONING PERMIT
DRAWINGS
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CHAPEL HILL, NORTH CAROLINA, 27517

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PROJECT NO.: P200798

BUILDING ELEVATIONS

A2.00



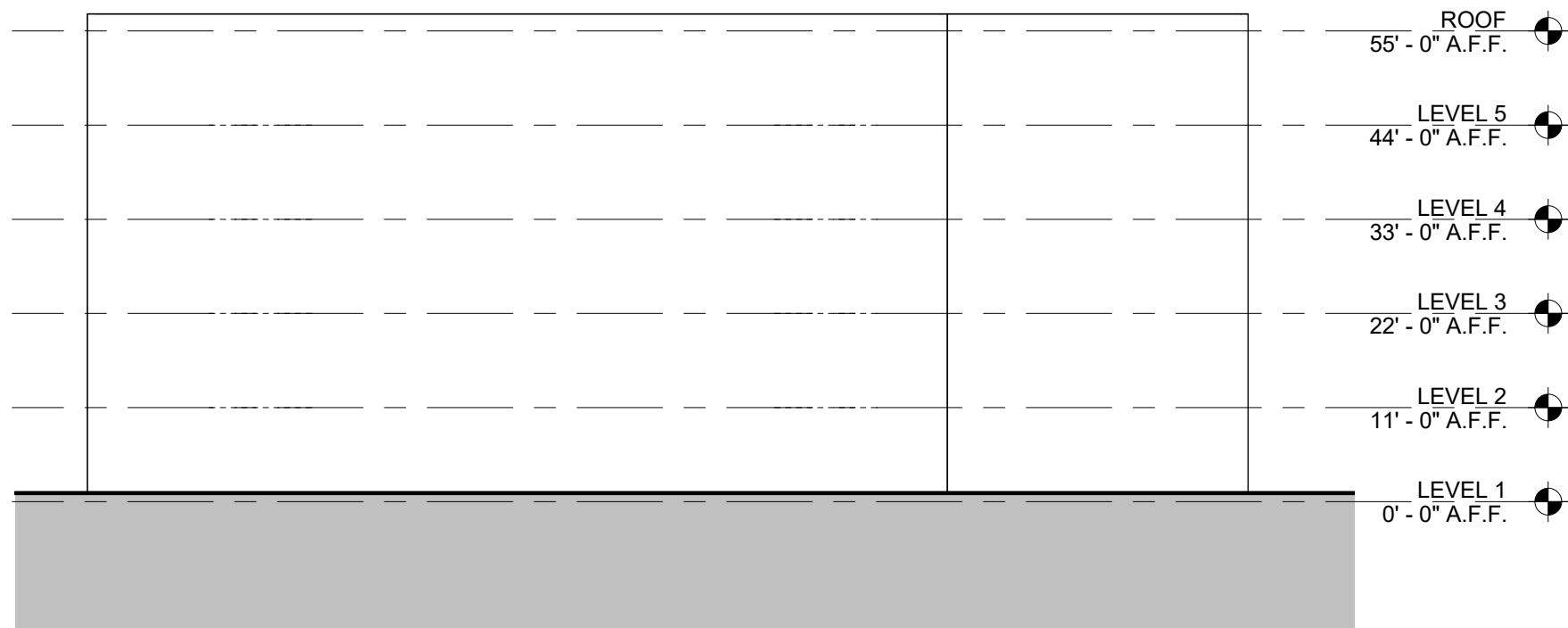
BLDG 1- SOUTH ELEV
1" = 20'-0"

1



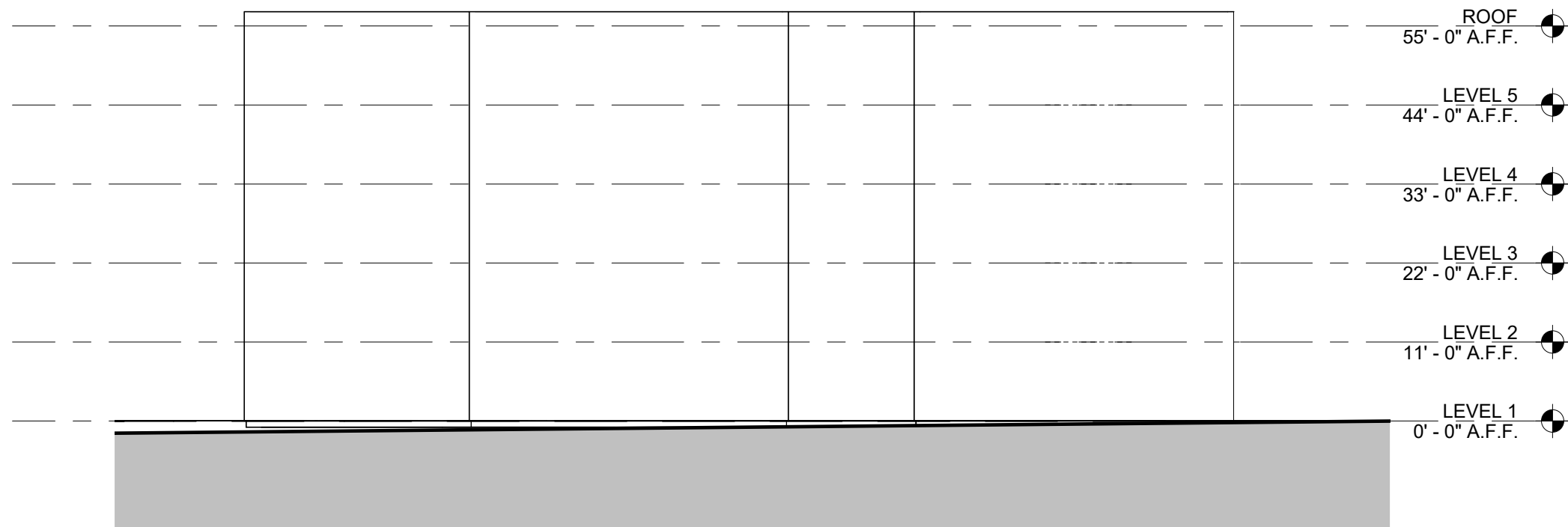
BLDG 1 - NORTH ELEV
1" = 20'-0"

2



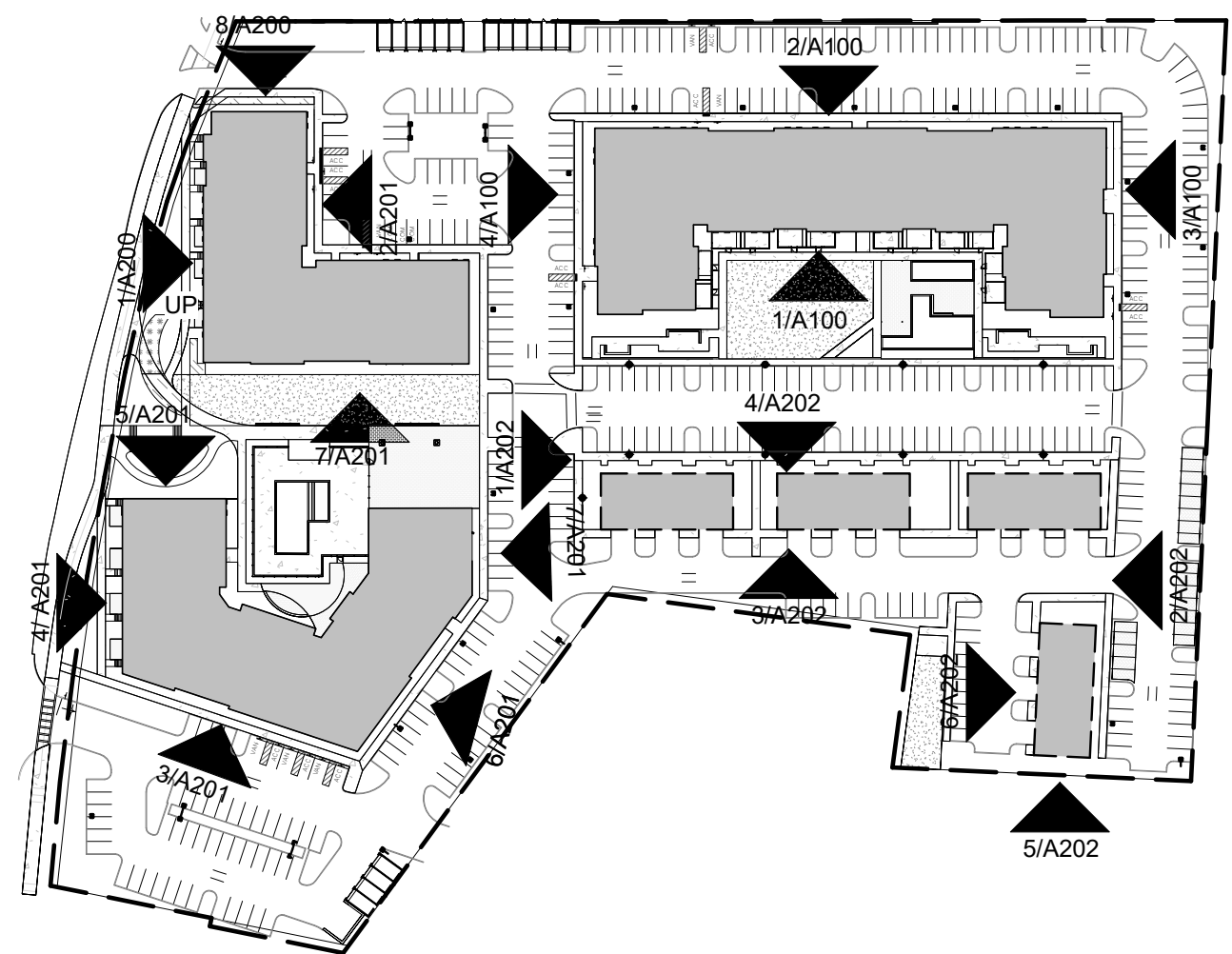
BLDG 1- WEST ELEV
1" = 20'-0"

4



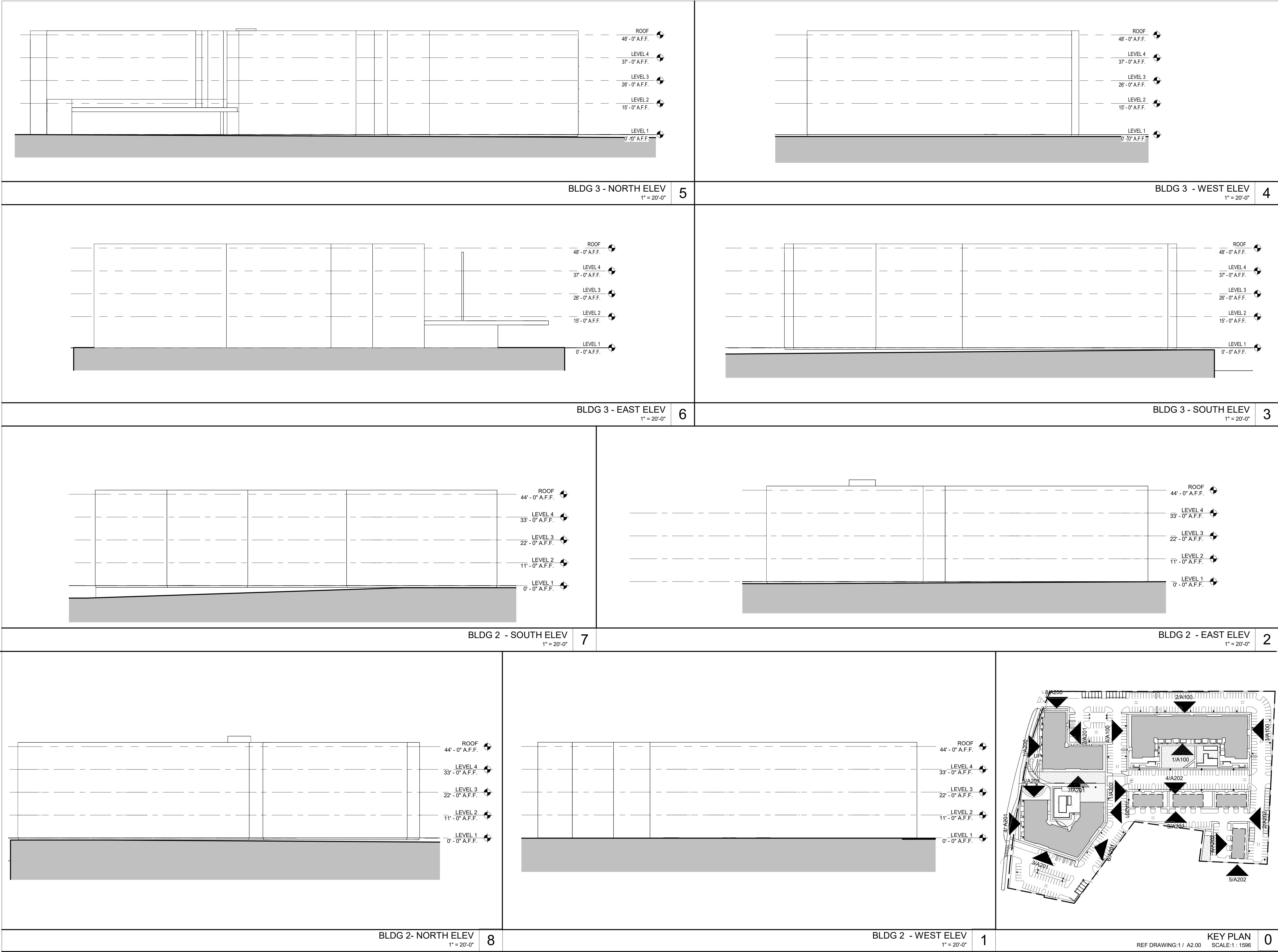
BLDG 1 - EAST ELEV
1" = 20'-0"

ELEV
1" = 20'-0"



KEY PLAN

REF DRAWING:1 / A2.00 SCALE:1 : 1596



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BARBEE CHAPEL APARTMENTS

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DRAWINGS

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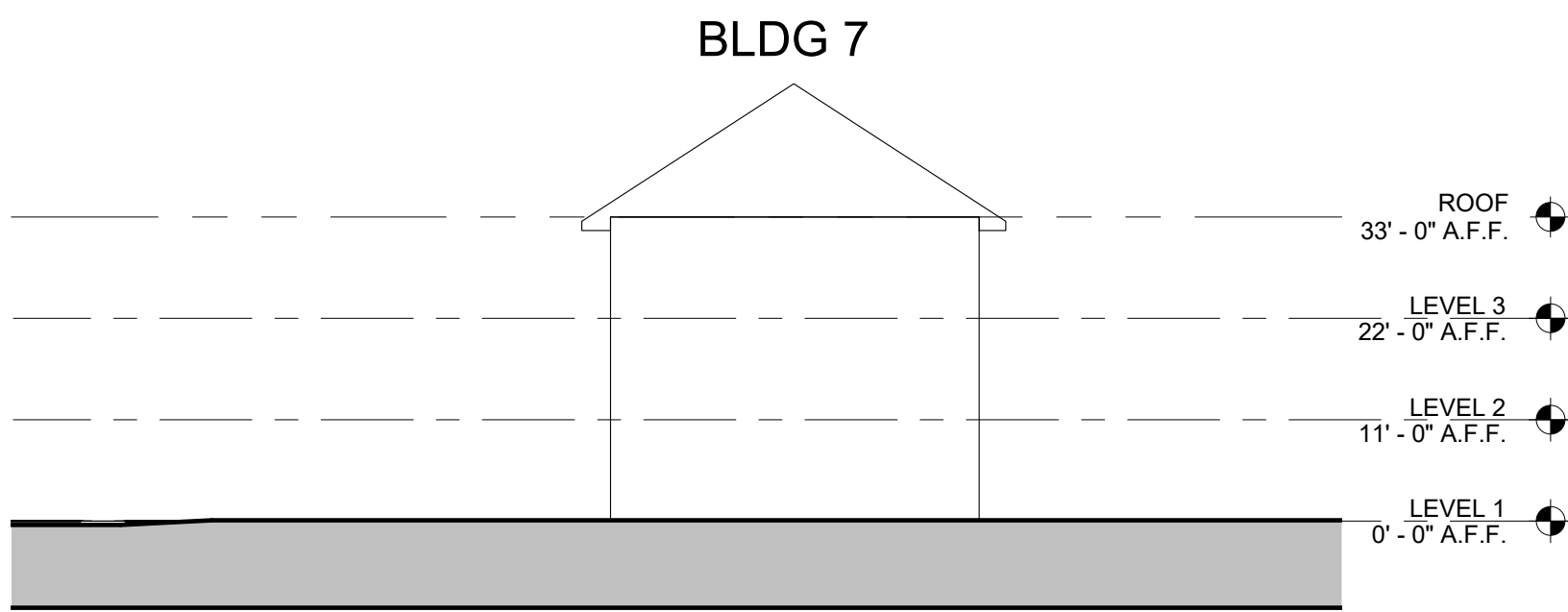
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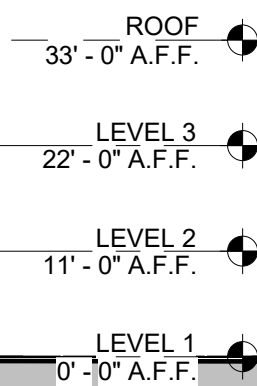
TOWNHOME ELEVATIONS

A2.02

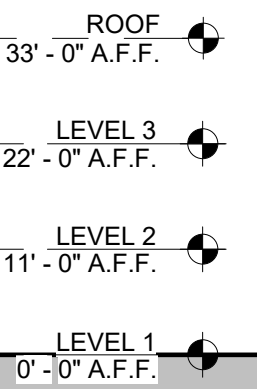


6

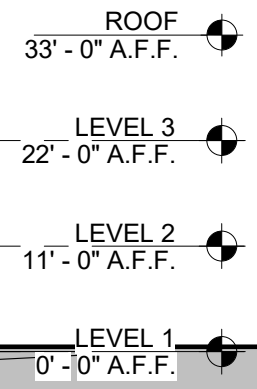
5



4



3



1



0



Toll Brothers
APARTMENT LIVING

**ROCKWOOD
DEVELOPMENT**

Barbee Chapel Apartments

Town Council
May 24, 2023



Barbee Chapel Apartments



Toll Brothers
APARTMENT LIVING

ROCKWOOD
DEVELOPMENT



613 Barbee Chapel Apartments

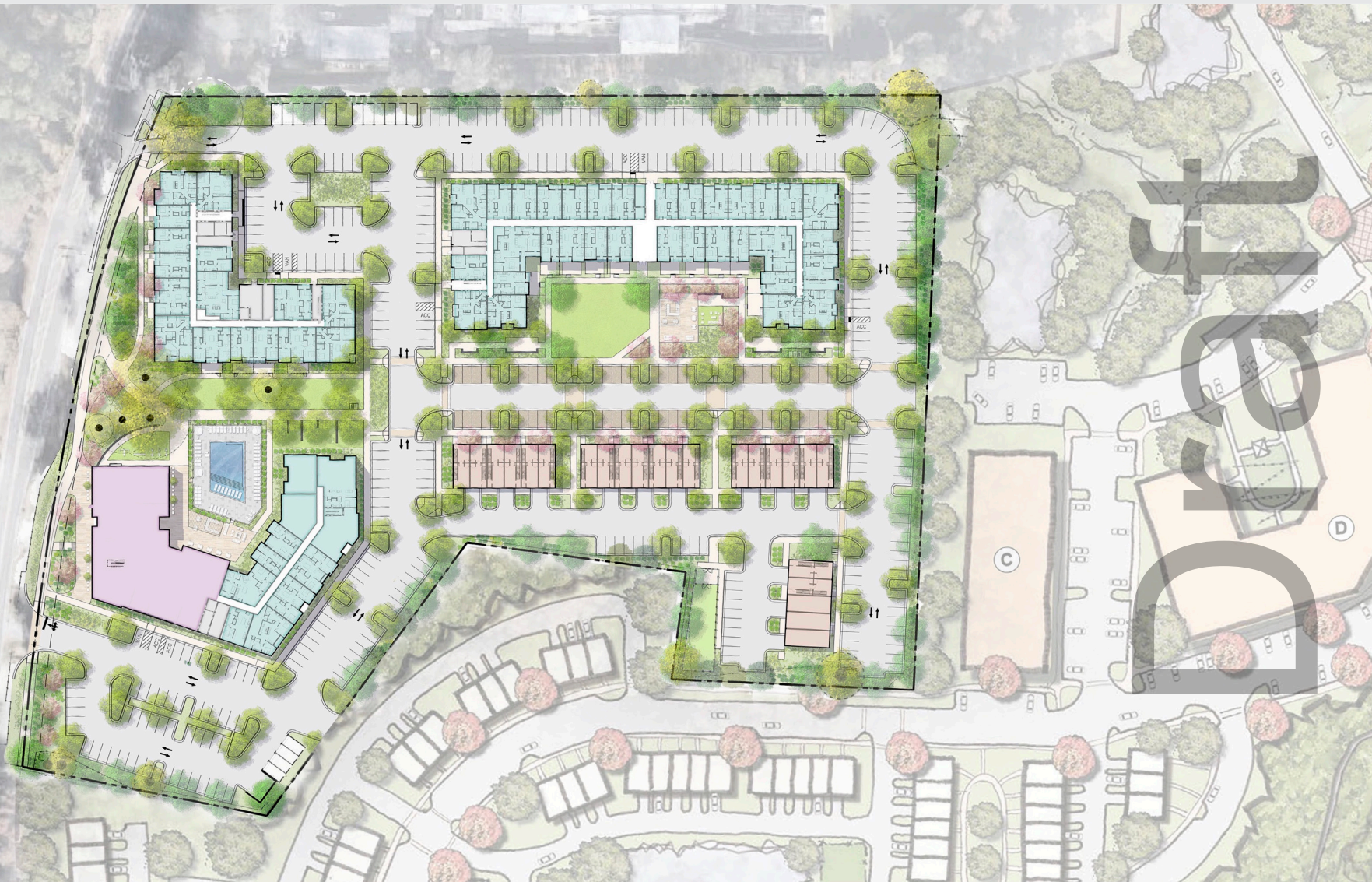
Council Comments at April 19 Meeting

What we heard from Town Council:

- Reduce Parking
- Decrease Impervious Surface
- Improve Stormwater Management
- Increase Affordable Housing Options

Draft

Barbee Chapel Apartments



615 Barbee Chapel Apartments

Updates to Site Plan

- **Reduce Parking**
 - ORIGINAL: 495 total spaces
(1.4 spaces/unit)
 - REVISED: **49 FEWER spaces**, or 446 total spaces
(1.3 spaces/unit)
 - Converted Parking Spaces to Tree Islands along “main street”
 - Decreases impervious surfaces
 - Allows for larger tree species
 - Increases shade / reduces heat island effect
 - Supports campus-like feel

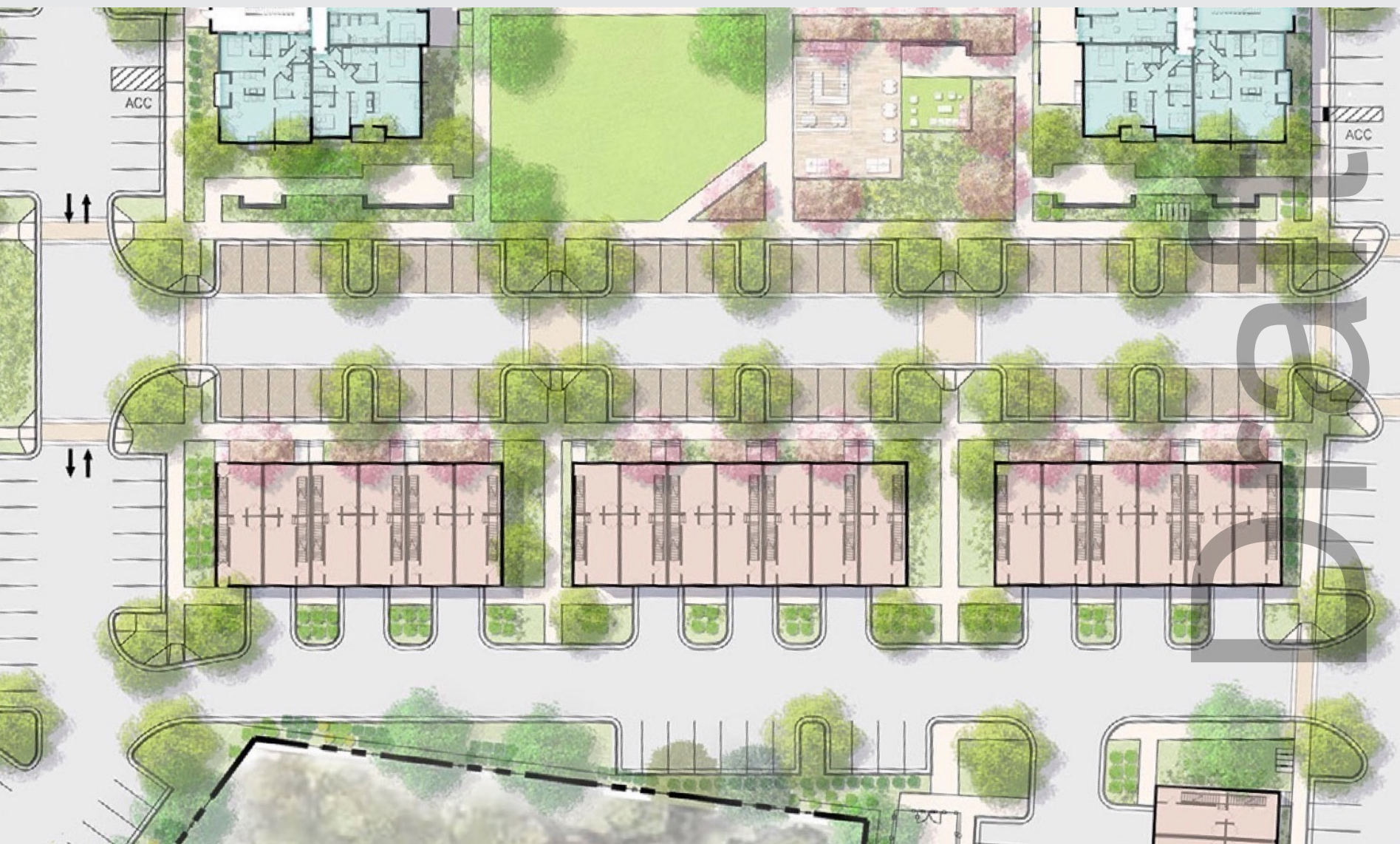
draft

Barbee Chapel Apartments⁶¹⁶

Updates to Site Plan

- **Decrease Impervious Surfaces**
 - More Pervious Surface, in part because of converted parking spaces
 - Added Permeable Surface along parts of the “main street”
- **Improve Stormwater Management**
 - Committing to installing infrastructure for 50-year storm event (vs 25-year event required by ordinance)

Barbee Chapel Apartments



Barbee Chapel Apartments

Affordable Housing Plan / Options

Original Proposal:

- **Affordable Units:** 31 units
 - 15 units at 65% AMI
 - 16 units at 80% AMI

Council Feedback:

- Not enough affordable housing and wanted to reach lower AMI
- Also, HAB's preference for including 60% AMI



Barbee Chapel Apartments

Affordable Housing Plan / Options

Two Alternate Scenarios:

** these incorporate updated HUD AMI numbers **

Alternate 1:

- **Affordable Units:** 30 units
 - 15 units at 80% AMI
 - 15 units at 60% AMI

Alternate 2:

- **Affordable Units:** 23 units
 - all at 60% AMI





May 18, 2023

Town of Chapel Hill
 Planning Department
 405 Martin Luther King Blvd.
 Chapel Hill, NC 27514

Dear Town of Chapel Hill Council Members,

Please see below our responses and proposals for the major items discussed at our April 19, 2023 council hearing.

Affordable Housing: Not enough affordable housing, not reaching low-enough AMI and/or not the right mix.

- Our previous proposal called for 31 units designated for affordable housing: 16 units at 80% AMI and 15 units at 65% AMI
- Council requested that we provide more affordable housing and/or meet a lower AMI threshold. Staff reminded us of HAB's preference for including 60% AMI, so we have created alternate scenarios that might better match Town Council's priorities. These numbers use the recently-issued HUD AMI calculations (2022).
 - Alternate 1 – 312 market-rate units; 30 Affordable Units (9.6%)
 - 30 TOTAL (15 at 80% AMI, 15 at 60% AMI)
 - Alternate 2 – 319 market-rate units; 23 Affordable Units (7.6%)
 - 23 TOTAL (All at 60% AMI)

Parking: Too much, too visually dominant

- Original Proposal:
 - 495 TOTAL (1.4 spaces per unit)
 - 455 surface
 - 16 garages
 - 24 TH garages
- New Proposal: 49 FEWER parking spaces
 - 446 TOTAL (1.3 spaces per unit)
 - 406 surface
 - 16 garages
 - 24 TH garages
 - Better design to reduce visual dominance of parking
 - More tree islands along "main street" to replicate rhythm of street trees
 - Larger tree islands to allow for larger tree species

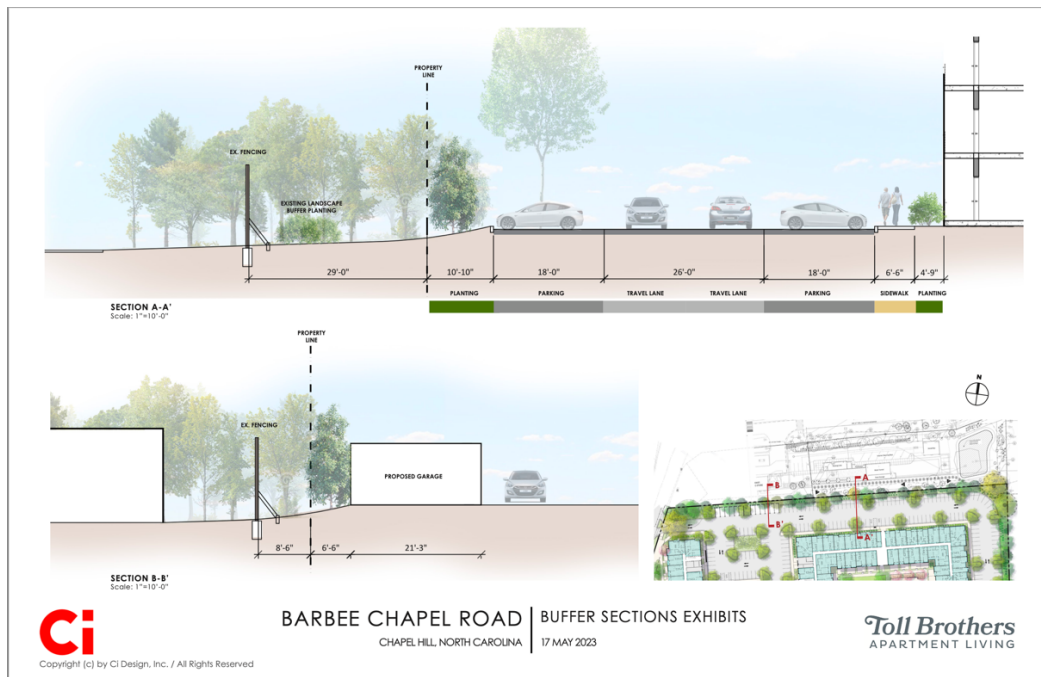
- This combination will increase shade, reduce the potential for a heat island effect, and reinforce the “outdoor room” being created along this east-west corridor
- Compare to Nearby Apartment Properties
 - Bell Meadowmont: ~1.8 Parking spaces per unit
 - The Morgan: ~1.8 Parking per unit

Impervious Surface & Stormwater Management:

- Impervious Surface
 - Converted parking spaces to tree islands and other green spaces, creating more permeable surface (approx. 4,000 sf) and reinforcing the east-west and the north-south green corridors.
- Added permeable surfaces along main street (approx. 6,000 sf)
- Increased Stormwater Management to 50-year storm event (from 25-year-storm event)

North Buffer:

- Mayor Hemminger asked questions about the reduced northern buffer along the Stancell Drive Car Wash property.
- The existing buffer on the Stancell Car Wash property is a 15-20 ft planted buffer that includes a 10-ft fence. The Toll project would add a mostly-evergreen planted buffer ranging from 6 ft to 15 ft in width. The combined variable buffer of 21-to-40 ft provides a generous transition between these two uses.



Greenspace Dimensions and Acreage:

The site plan provides a variety of spaces, ranging from large spaces for gatherings and programs, to smaller, more intimate spots for solitude or conversation. Below are dimensions and acreages for some of those spaces, to demonstrate the variation.

- Barbee Chapel Frontage – creates a passive, campus-like setting:
 - Tree-save area, oak allee and lawn: One-half acre
 - Dimensions of lawn-proper adjacent to Building 2: 55 ft x 180 ft, about one-fifth acre
- Central Green space + active use area – for programmed uses and larger gatherings
 - Dimensions: 200 ft x 70 ft, about one-third acre
- Pollinator Gardens & Dog Park: One-quarter acre
 - Pollinator Gardens – 2,850 sf each

Dog Park – 4,600 sf



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 19., **File #:** [23-0461], **Version:** 1

Meeting Date: 5/24/2023

Open and Close a Public Hearing to Consider Closing a Portion of Public Right-of-Way of Hamilton Road within the Glen Lennox Development.

Staff:

Lance Norris, Director
Chris Roberts, Manager of Engineering and Infrastructure

Department:

Public Works

Overview: The Glen Lennox Development includes a proposed realignment of Hamilton Road that involves closing a portion of the existing public right-of-way and dedicating new right-of-way. This realignment is in accordance with Section 5.4 (a)(2) of the Glen Lennox Development Agreement.

More information about the Glen Lennox Development Agreement may be found at:

<https://www.townofchapelhill.org/government/departments-services/planning/development-activity-report/glen-lennox>

This process followed the two requirements of North Carolina General Statute Sec. 160A-299:

- Council adopted a resolution declaring its intent to close the public right-of-way and to call a public hearing.
- All publication and posting requirements of this statute have been met.



Recommendation(s):

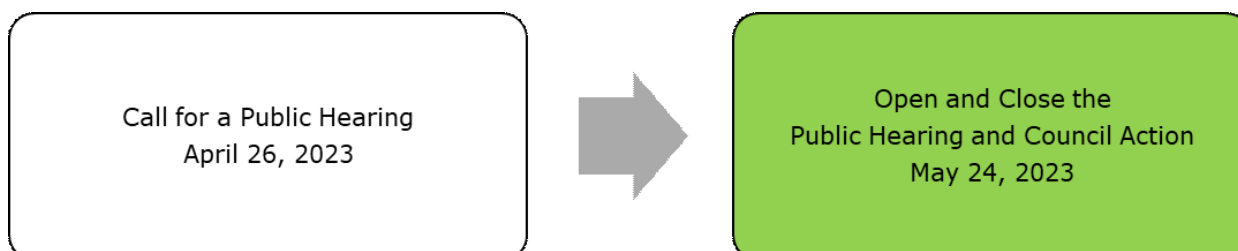
That the Council adopt a resolution closing a portion of the public right-of-way to support the realignment of Hamilton Road within the Glen Lennox Development.

Fiscal Impact/Resources: The applicant paid for the commercial right-of-way fee to the Town.

Key Issues:

- The sole adjacent property owner is Glen Lennox Apartments, LLC, who is requesting the closure and will receive the entire requested right-of-way areas.

Where is this item in its process?



Item #: 19., File #: [23-0461], Version: 1**Meeting Date: 5/24/2023**

**Attachments:**

- Resolution
- Closure Request Letter from Ballentine Associates with Exhibit of Requested Hamilton Road Right-of-Way Closure
- Staff Presentation
- NC Statute 160A-299

A RESOLUTION TO APPROVE A REQUEST TO CLOSE A PORTION OF PUBLIC RIGHT-OF-WAY OF HAMILTON ROAD WITHIN THE GLEN LENNOX DEVELOPMENT (2023-05-24/R-17)

WHEREAS, the Town of Chapel Hill has received a request, from Ballentine Associates to close a portion of public right-of-way for a realignment of Hamilton Road within the Glen Lennox Development; and

WHEREAS, the sole abutting property of this public right-of-way is owned by the requesting party, Glen Lennox Apartments, LLC; and

WHEREAS, the realignment of Hamilton Road is in accordance with Section 5.4 (a)(2) of the Glen Lennox Development Agreement; and

WHEREAS, the Council finds, upon review of the facts and of information received at the Public Hearing on May 24th, 2023 that closing this portion of public right-of-way to support a realignment of Hamilton Road would not be contrary to the public interest and that no individual owning property in the vicinity of the proposed closures would be deprived of reasonable means of ingress and egress to his or her property by the closing of said right-of-way.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby approves the closure of this portion of public right-of-way for a realignment of Hamilton Road within the Glen Lennox Development as described in the Closure Request Letter.

This the 24th day of May, 2023.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Chris Roberts, Engineering and Infrastructure Manager

- a. Introduction and recommendation
- b. Comments from the public
- c. Comments and questions from the Mayor and Town Council
- d. Motion to close the public hearing
- e. Motion to adopt the resolution approving the right-of-way closure.

RECOMMENDATION: That the Council close a portion of public right-of-way for a realignment of Hamilton Road within the Glen Lennox Development.



Ballentine

Associates, PA

Integrity. Service. Results.

11 Jan 23

Mr. Chris Roberts, PE
Manager of Engineering & Infrastructure
Town of Chapel Hill Public Works Department
6850 Millhouse Road
Chapel Hill, NC 27514-5705

Subject: Glen Lennox South Infrastructure
Hamilton Road Realignment

Dear Chris,

The proposed development of Glen Lennox South Infrastructure includes the realignment of a portion of Hamilton Road between Hobbes Street and NC Highway 54. The realignment will be performed in accordance with Section 5.4 (a)(2) of the Glen Lennox Development Agreement and will involve abandoning a portion of the existing public right-of-way and dedication of new right-of-way. It is our understanding that the Town Council must approve the right-of-way abandonment part of this and that you are the person who must initiate this process. A DACP Application has already been submitted for this project, so we need to start the abandonment process as soon as possible.

To support this request, I have attached the following items:

- Hamilton Road Right-of-Way Abandonment Exhibit dated 11 Jan 23.

Our understanding is that the first step in the process will be for your staff to prepare a Council consent agenda item, which will establish a Council Public Hearing on the matter at a subsequent Council meeting. We are hopeful this item can be included in the next available Council consent agenda and scheduled for the soonest public hearing possible thereafter.

Thanks very much for your assistance with this and please don't hesitate to call me should you have any questions or if you require additional information.

Yours very truly,
BALLENTINE ASSOCIATES, PA

Dillon W. Smith, PE
Director of Engineering



Public Hearing for the Partial Right-Of-Way Closure – Hamilton Road

Date: May 24, 2023



DRAFT

Staff Recommendation

- That the Council open and close a Public Hearing to consider closing a portion of the public right-of-way to support the realignment of Hamilton Road within the Glen Lennox Development.
- Adopt Resolution R-* to close the requested right-of-way area.

DRAFT

Right-of-Way Closure Process

- Recorded Plat
- General Statute 160A-299
 - Council Adopt a Resolution Declaring Its Intent to Close the Right-of-way
 - Call a Public Hearing
 - Publish a Notice of Resolution Once a Week for Four Successive Weeks Prior to the Hearing
 - Notice of the Closing and Public Hearing Posted in Two Places
 - If Approved, A Certified Copy of the Order filed with the Register of Deeds (by applicant or fronting property owners)
 - Recorded New Plat (by applicant or fronting property owners)

DRAFT



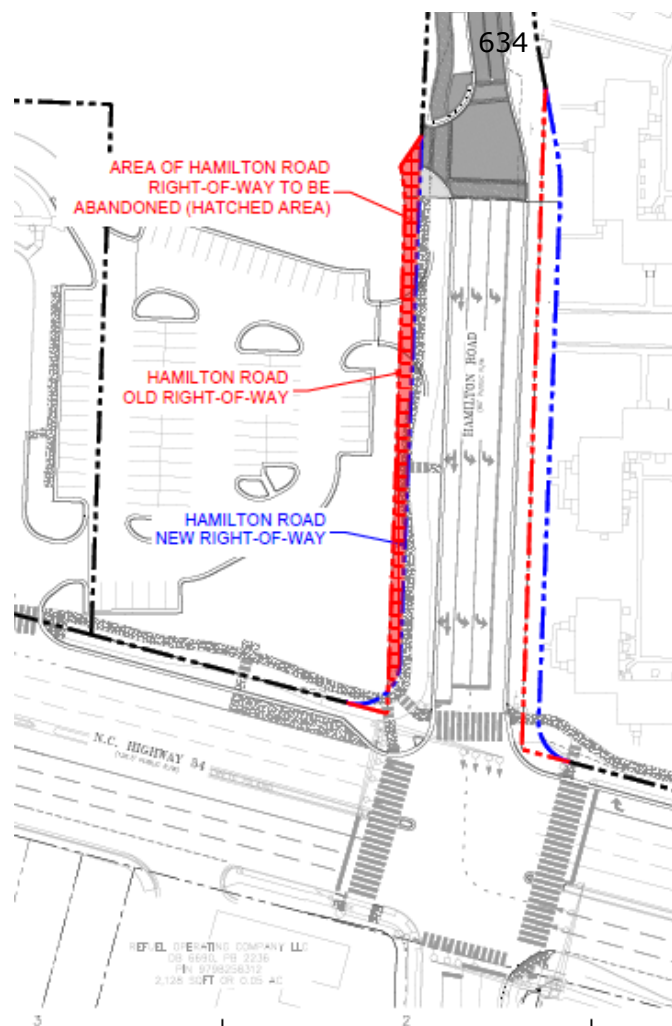
Where is this in the process?

Call for a Public Hearing
April 26, 2023



Open and Close the
Public Hearing and Council
Action
May 24, 2023

DRAFT



DRAFT

Key Issues

- The closure of portions of the public right-of-way is for the re-alignment of the southern portion of Hamilton Road.
- This re-alignment is in accordance with Section 5.4 (a)(2) of the Glen Lennox Development Agreement and will include right-of-way dedication to maintain the existing right-of-way width.
- The sole adjacent property owner is Glen Lennox Apartments, LLC, who is requesting the closure and will receive the entire requested right-of-way areas.

DRAFT

Staff Recommendation

- That the Council open and close a Public Hearing to consider closing a portion of the public right-of-way to support the realignment of Hamilton Road within the Glen Lennox Development.
- Adopt Resolution R-* to close the requested right-of-way area.

DRAFT

§ 160A-299. Procedure for permanently closing streets and alleys.

(a) When a city proposes to permanently close any street or public alley, the council shall first adopt a resolution declaring its intent to close the street or alley and calling a public hearing on the question. The resolution shall be published once a week for four successive weeks prior to the hearing, a copy thereof shall be sent by registered or certified mail to all owners of property adjoining the street or alley as shown on the county tax records, and a notice of the closing and public hearing shall be prominently posted in at least two places along the street or alley. If the street or alley is under the authority and control of the Department of Transportation, a copy of the resolution shall be mailed to the Department of Transportation. At the hearing, any person may be heard on the question of whether or not the closing would be detrimental to the public interest, or the property rights of any individual. If it appears to the satisfaction of the council after the hearing that closing the street or alley is not contrary to the public interest, and that no individual owning property in the vicinity of the street or alley or in the subdivision in which it is located would thereby be deprived of reasonable means of ingress and egress to his property, the council may adopt an order closing the street or alley. A certified copy of the order (or judgment of the court) shall be filed in the office of the register of deeds of the county in which the street, or any portion thereof, is located.

(b) Any person aggrieved by the closing of any street or alley including the Department of Transportation if the street or alley is under its authority and control, may appeal the council's order to the General Court of Justice within 30 days after its adoption. In appeals of streets closed under this section, all facts and issues shall be heard and decided by a judge sitting without a jury. In addition to determining whether procedural requirements were complied with, the court shall determine whether, on the record as presented to the city council, the council's decision to close the street was in accordance with the statutory standards of subsection (a) of this section and any other applicable requirements of local law or ordinance.

No cause of action or defense founded upon the invalidity of any proceedings taken in closing any street or alley may be asserted, nor shall the validity of the order be open to question in any court upon any ground whatever, except in an action or proceeding begun within 30 days after the order is adopted. The failure to send notice by registered or certified mail shall not invalidate any ordinance adopted prior to January 1, 1989.

(c) Upon the closing of a street or alley in accordance with this section, subject to the provisions of subsection (f) of this section, all right, title, and interest in the right-of-way shall be conclusively presumed to be vested in those persons owning lots or parcels of land adjacent to the street or alley, and the title of such adjoining landowners, for the width of the abutting land owned by them, shall extend to the centerline of the street or alley.

The provisions of this subsection regarding division of right-of-way in street or alley closings may be altered as to a particular street or alley closing by the assent of all property owners taking title to a closed street or alley by the filing of a plat which shows the street or alley closing and the portion of the closed street or alley to be taken by each such owner. The plat shall be signed by each property owner who, under this section, has an ownership right in the closed street or alley.

(d) This section shall apply to any street or public alley within a city or its extraterritorial jurisdiction that has been irrevocably dedicated to the public, without regard to whether it has actually been opened. This section also applies to unopened streets or public alleys that are shown on plats but that have not been accepted or maintained by the city, provided that this section shall not abrogate the rights of a dedicator, or those claiming under a dedicator, pursuant to G.S. 136-96.

(e) No street or alley under the control of the Department of Transportation may be closed unless the Department of Transportation consents thereto.

(f) A city may reserve a right, title, and interest in any improvements or easements within a street closed pursuant to this section. An easement under this subsection shall include utility, drainage, pedestrian, landscaping, conservation, or other easements considered by the city to be in the public interest. The reservation of an easement under this subsection shall be stated in the order of closing. The reservation also extends to utility improvements or easements owned by private utilities which at the time of the street closing have a utility agreement or franchise with the city.

(g) The city may retain utility easements, both public and private, in cases of streets withdrawn under G.S. 136-96. To retain such easements, the city council shall, after public hearing, approve a "declaration of retention of utility easements" specifically describing such easements. Notice by certified or registered mail shall be provided to the party withdrawing the street from dedication under G.S. 136-96 at least five days prior to the hearing. The declaration must be passed prior to filing of any plat or map or declaration of withdrawal with the register of deeds. Any property owner filing such plats, maps, or declarations shall include the city declaration with the declaration of withdrawal and shall show the utilities retained on any map or plat showing the withdrawal. (1971, c. 698, s. 1; 1973, c. 426, s. 47; c. 507, s. 5; 1977, c. 464, s. 34, 1981, c. 401; c. 402, ss. 1, 2; 1989, c. 254; 1993, c. 149, s. 1; 2015-103, s. 1.)



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 20., **File #:** [23-0462], **Version:** 1

Meeting Date: 5/24/2023

Appointments to the Chapel Hill Public Library Advisory Board.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Chapel Hill Public Library Advisory Board for two seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Tiffany W.E. Allen, Chapel Hill Public Library Advisory Board Chair

SUBJECT: Recommendation for the vacancy(s)

DATE: May 16, 2023

RECOMMENDATION: The Chapel Hill Public Library Advisory Board met on Monday, May 8, 2023 to review applications and Monday, May 15, 2023 to interview applicants and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Patrick Gunsch, Reappointment, Town Resident
- Michael Delafield, Appointment, Town Resident

SPECIAL REQUEST(s): NONE

BACKGROUND: The Chapel Hill Public Library Advisory Board received several applications and board members were very pleased with the exceptional quality of applicants. Having two seats to fill, we recommend Patrick Gunsch for reappointment and Michael Delafield for appointment. Their skills, perspectives, background, and expertise will add to the breadth of experience currently represented on the board.]

Note: Communications and Public Affairs notes that the Chapel Hill Public Library Advisory Board reviewed the following applications: Lucas Beal, Michael Delafield, Meredith Graham, Patrick Gunsch, Jie Li, Malea Mull, David Nahm, Tara Queen, Matthew Tulchin, and Megan Williams. No additional applications were received between Wednesday May 15, 2023 and Wednesday May 17, 2023 for the Chapel Hill Public Library Advisory Board.

BALLOT**CHAPEL HILL PUBLIC LIBRARY ADVISORY BOARD****MAY 24, 2023**

Total Membership: 9 (eight (8) trustees appointed by the Council and one (1) appointed by the County)

Current Membership: 9 (5 Female, 4 Male, 1 Asian or Pacific Islander, 8 Caucasian, [6] 35-54, [2] over 55, [1] Age Unknow)

Upcoming Vacancies: 2 (Town Resident)

Number of Applicants: 10

Chapel Hill Public Library Advisory Board
Please vote for up to two (2) Town Resident applicants.

_____ Lucas Beal	_____ Malea Mull
_____ Michael R Delafield	_____ David Nahm
_____ Meredith Graham	_____ Tara Queen
_____ Patrick Gunsch (incumbent)	_____ Matthew Tulchin
_____ Jie Li	_____ Megan Williams

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

clucasb@gmail.com

Email Address

Lucas

First Name

Beal

Last Name

Middle Initial

106 Highgrove Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (336) 682-0640

Primary Phone

Business: (919) 786-8609

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a young professional with three children aged 5, 3, and 10 months, I look forward to continuing to assist the Chapel Hill Public Library by bringing the perspective of a family with young children. I would love to help the board keep our young families engaged and active in this community. I have loved working with the Library Advisory Board over past three years achieve our goals of becoming fine free and I look forward to continuing the work of being an easily accessible asset to all members of our amazing town.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Public speaking is and has always been an interest of mine. In my professional life, I am an attorney who drafts and negotiates commercial agreements and would be happy to use this experience to assist the Library.

[C. Lucas Beal Resume - 2020.doc](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Attorney

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

CHRISTOPHER LUCAS BEAL

106 Highgrove Drive, Chapel Hill, NC 27516 - (336) 682-0640 - clucasb@gmail.com

LICENSURE

North Carolina Bar, 2011

LEGAL EXPERIENCE

Hutchison PLLC, Raleigh, NC

Senior Associate Attorney, April 2019-current

Currently advise life sciences and biotechnology companies (ranging in size from small start ups, private equity backed companies, and publicly traded companies) in regulatory compliance, privacy, employment matters. Review of packaging and website content to ensure FDA compliance. Draft and negotiate commercial contracts including service agreements, consulting agreements, and clinical trial agreements. Perform HIPAA risk assessments and privacy risk assessment. Serving as a seconded chief privacy officer for a biotechnology company.

PRA Health Sciences, Inc., Raleigh, NC

A Clinical Research Organization (CRO)

Legal Counsel, February 2017-April 2019

Draft and negotiate agreements with Sponsor, vendors, and consultants for clinical services relating to domestic and international clinical trials. Advise and direct global team of contract associates in negotiating clinical trial agreements and all other ancillary contracts associated with investigative sites for clinical trials. Provide general legal support for project services for global pharmaceutical, biotech, and medical device studies. Review and draft data privacy agreements. Partnered with Privacy Officer in rolling out new Data Privacy compliance program. Provided training regarding legal and regulatory matters to departments within the CRO. Mentored new members of Legal team.

Contracts Associate II, September 2016-February 2017

Built templates for clinical trial agreements, letter of indemnification, and payment terms for multiple studies in addition to negotiating contracts and budgets on behalf of pharmaceutical companies. Served as escalation point for legal language and contractual issues. Developed contract playbooks and negotiation parameters. Provided mentorship to Contract Associates and Contract Representatives including advising on legal language and specific site issues, and ensured that all contracts were handled in accordance with department and client guidelines. Monitored contract negotiations to ensure tight deadlines were met.

Contracts Associate, June 2015-September 2016

Drafted and negotiated clinical trial agreements and budgets on behalf of multiple pharmaceutical companies. Ensured that clinical trial agreement's contractual and budgetary provisions were in compliance with company and sponsor processes, systems, fallback and strategies. Implemented new processes to shorten negotiation time.

North Carolina Department of Commerce, Raleigh, NC

Legal Specialist for Division of Employment Security, November 2012 – June 2015

Presided over unemployment benefits hearings as an administrative law judge. Probed both claimants and employers to determine claimant's qualification and eligibility for benefits. Drafted decisions based on testimony and case law.

John Pendergrass Attorney at Law, Pittsboro, NC*Associate Attorney, August 2011- November 2012*

Advocated for claimants and employers in unemployment benefits cases before the Division of Employment Security. Interviewed potential clients and led benefit hearings. Drafted stipulations and conducted negotiations with employers and opposing counsels. Filed EEOC claims and assisted clients through interviews with EEOC officers. Presented to UNC Dental School Students regarding Employment issues within the dental field.

Karen McKeithen Schaede, Attorney at Law, PLLC, Greensboro, NC**Law Clerk, October 2010 – August 2011**

Assisted attorney in incorporation proceedings, mergers and acquisitions of small businesses. Assisted in HIPAA reviews of medical and dental practices. Drafted employment contracts, leases, and corporate documents.

Legal Aid of North Carolina, Inc., Ahoskie, NC*Martin Luther King, Jr. Intern, Summer 2010*

Advised clients on housing, consumer, employment and estate laws. Successfully appealed unemployment benefit decision and successfully petitioned court for delayed birth certificate. Conducted hearings before Clerk of Court and District Court Judge; Drafted motions, orders, complaints, and answers.

BUSINESS EXPERIENCE**BB&T, Charlotte, NC***BB&T At Work Sales Officer, March 2008-August 2008*

Counseled a wide array of businesses including sole proprietorships and major corporations regarding employee benefits. Presented BB&T products to companies' employees and marketed for new client accounts in Charlotte.

COMMUNITY INVOLVEMENT**Chapel Hill Public Library Advisory Board Member****Chapel of the Cross – New Member Committee****F3****EDUCATION****Elon University School of Law, Greensboro, NC***Juris Doctor, May 2011**Honors:* Elon Law Scholarship

Activities: Business Law Association; First Year Mock Trial Team; Student Bar Association;
Career Services Committee; *Delta Theta Phi*; Running Club, President, Vice President

University of North Carolina, Chapel Hill, NC*Bachelor of Arts in Political Science and Economics, May 2006**Honors:* Dean's List; *Alpha Delta* General Excellence Scholarship**PERSONAL**

Traveling, cooking, fitness, swimming, running, reading, and ACC basketball

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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☒ I Agree

mikedelafield@gmail.com

Email Address

Michael

First Name

R

Middle Initial

Delafield

Last Name

102 Saddle Ridge Rd.

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 616-3471

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Grievance Hearing Board (former Personnel Appeals Committee)

How did you find out about this opportunity? (select all that apply)

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I'm an attorney who has worked in the area of public education law for the past 20 years, at both the K-12 and higher education levels. I have been involved in all manner of employee disputes and have advised my clients on navigating such situations, always with an eye towards fairness to all parties, appropriately addressing wrongdoing when it occurs, and maintaining productive and healthy employee/employer relationships throughout the process and beyond.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am familiar with relevant state and federal employment laws and regulations, including laws pertaining to discrimination. I have served on several committees and boards as part of my employment with the UNC System Office, including the committee tasked with providing human resources guidance to the UNC constituent institutions throughout the COVID pandemic.

[MRD Resume 2022.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Attorney

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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☒ I Agree *

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Michael R. Delafield

102 Saddle Ridge Rd. | Chapel Hill, NC 27514
mikedelafield@gmail.com | 919.616.3471

WORK EXPERIENCE

University of North Carolina System Office | Chapel Hill, NC | 2012-present
 Senior Associate General Counsel (2019-present) & Chief Legal Counsel, NCSSM (2012-present)
 Associate General Counsel (2016-2019)
 Assistant General Counsel (2012-2016)

System Office Primary Responsibilities

- Counsel and support the Board of Governors Committees on Educational Planning, Policies and Programs; Strategic Initiatives; Military and Veterans Affairs; and the Subcommittee on Laboratory Schools
 - Advise System Office staff on committee governance and compliance issues
 - Advise on and draft relevant policy amendments
 - Ensure compliance with the North Carolina Open Meetings Law, the North Carolina Public Records Law, and Board of Governors policy with regard to the conduct of committee meetings
- Responsible for providing a broad range of legal services as needed for all divisions at the System Office, including Finance and Administration, Human Resources, Government Relations, and Strategy and Policy
- Primary responsibility for the Division of Academic Affairs, including the following departments: Academic Programs, Faculty, and Research (program approvals and discontinuations, international programs); Student Affairs (civil rights, admissions, mental health, financial aid, campus safety and security, post-secondary education complaints); Digital Learning; Data and Analytics (FERPA, data sharing agreements, data security); and Academic and Regulatory Affairs (encompassing the North Carolina State Approving Agency and the State Authorization unit)
- Participate in or serve as legal counsel to working groups and committees, both at the System Office and systemwide, to address policy needs and strategic goals, including but not limited to:
 - Applicant Community Standards Questions Policy
 - Revision of Tuition and Fees Policies
 - System Office COVID Response
 - Return to On-Site Operations
 - Disciplinary Appeals
 - Interagency working group to facilitate COVID-19 vaccination sites at constituent institutions, including drafting amendment to interagency Mutual Aid Agreement to facilitate on-campus vaccination sites
- Co-chaired State Residency Committee from 2013 until its discontinuation in 2019. Advised SEAA and CFI in the transition of the residency function from the institutions to the centralized Residency Determination System (RDS). Currently serve on Higher Education Collaborative Advisory Committee (HECAC), the cross-sector RDS advisory committee
- Provide legal advice and counsel for various UNC K-12 initiatives including lab schools, Cooperative Innovative High Schools, and teacher and principal preparation programs
- Advise the State Government Relations team on strategies to protect and advance university interests with regard to General Assembly proposals, actions, and information requests, including meeting with state legislators to discuss legislative matters
- Advise associated and affiliated entities of the System office, including the UNC Foundation, UNC Gift Planning, LLC, and the North Carolina Arboretum. Serve as System Office Legal Affairs liaison to PBS NC
- Perform outreach and support for constituent institutions, including:
 - Convening and participating in periodic systemwide calls with staff and with general counsel to discuss topics or issues of common concern, including regular calls with

- the Vice Chancellors for Student Affairs and with the attorneys handling lab school matters
- o Responding to inquiries from campus counsel regarding interpretations of Board of Governors policy, specific campus-related issues, or other legal, compliance or policy matters that may have systemwide implications
- o Assisting in the organization of and presenting at systemwide attorney meetings
- Manage and mentor assistant attorneys, legal fellows, and legal externs and interns

North Carolina School of Science and Mathematics (NCSSM) Primary Responsibilities

- Advise and support the board of trustees, chancellor, and senior administrators in all aspects of the enterprise, including academic affairs, associated entities, campus safety and security, compliance and risk management, contracts and procurement, counseling, development and advancement, facilities, governance issues, human resources, information technology, public records including FERPA and the North Carolina Public Records Act, strategic initiatives and outreach including distance education and summer programs, and student affairs including housing, student conduct, and Title IX
- Serve on or as counsel for working groups and committees as needed, including but not limited to:
 - o NCSSM-Morganton Campus Operation Steering Team
 - o Protection of Minors on Campus Implementation Team
 - o Enterprise Risk Management Team
 - o Student Risk Assessment Team
- Draft policies and maintain policy manual
- Serve as State Ethics Liaison

Schwartz and Shaw, PLLC | Raleigh, NC | 2003-2012 Associate Attorney

- Represented boards of education across the State of North Carolina, including a number of retainer clients
- Conducted investigations into employee and student misconduct
- Represented clients in all phases of litigation, including administrative hearings, mediations, and in state and federal court, at trial and appellate levels
- Drafted and revised board policies and regulations
- Advised superintendents and local boards of education on a broad array of governance, compliance, policy, and legal matters, including but not limited to personnel matters, student conduct matters, civil rights, board governance, mandatory reporting requirements, and risk management

The Law Offices of John T. Orcutt | Raleigh, NC | 1999-2003 Associate Attorney

- Represented debtor clients in all aspects of Chapter 7 and Chapter 13 bankruptcy proceedings

EDUCATION

University of Maine School of Law

- Juris Doctor, 1999; Articles Editor, *Maine Law Review*

Princeton University

- Bachelor of Arts in History, 1993

Memberships

- National Association of College and University Attorneys (NACUA)
- North Carolina Bar Association (Education Law Section Chair, 2009-10)

Bar Admissions

- North Carolina, 1999
- Eastern and Middle Districts of North Carolina, 1999

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

mcgraham@email.wm.edu

Email Address

Meredith

First Name

C

Middle Initial

Graham

Last Name

411 Granville Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (804) 347-4142

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Radio

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I will bring extensive library and music performance experience to the Chapel Hill Public Library Advisory Board and the Cultural Arts Commission. As a recent graduate from Duke University with a PhD in music, I spent much of my time working at the Duke Libraries and Rubenstein Archive. In these internship experiences, I was able to learn about the many services the library provides, especially the ways that librarians connect patrons with digital resources. Working in the libraries over the period of six years, I helped the library staff develop a digital archive for instructors, contributed to a website about early modern women philosophers, and served as a reference librarian in the Rubenstein Archive, helping patrons find documents critical to their research. I bring the perspective of a musicologist to the Cultural Arts Commission. As a performer and scholar of music, I can provide an updated scholarly view of the ways that Chapel Hill can be innovative in the arts programs that it develops. I am also a cellist and singer and currently perform in the SONAM Chorus, a choir that supports local non-profits through benefit concerts. Through this ensemble, I have amplified the music of local composers, raised awareness of local non-profit organizations, and brought people together to learn about and perform music.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am a young, new homeowner in Chapel Hill and would like to contribute to the local community. I work in the education division at the National Humanities Center, developing professional development courses for K-12 teachers. Each of these courses is filled with open-access materials and primary sources and activities, so teachers can take our course information directly to their classrooms. Since beginning my job, I have also worked to make our courses more inclusive of teachers from different backgrounds and places and responsive to a modern classroom. I look forward to participating on either the Chapel Hill Public Library Advisory Board or the Cultural Arts Commission. It would be a privilege to serve my community.

[MGRAHAM Resume Chapel Hill March 2022.pdf](#)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Education Digital Projects
Coordinator

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree *

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Meredith C. Graham, PhD

meredith.graham@duke.edu | meredithgraham.net

EDUCATION

Duke University, Durham, NC
 PhD, Musicology; May 2021
 Certificate in College Teaching; May 2021
 MA, Musicology; May 2017

The University of Florida, Gainesville, FL
 MM, Musicology; August 2015

The College of William & Mary, Williamsburg, VA
 BA, History and Music; May 2013

PROFESSIONAL EXPERIENCE

Education Digital Projects Coordinator, National Humanities Center (NHC), Durham, NC 2021– Present

- Develop online humanities courses for K-12 teachers and university faculty
- Manage online educational resources in the Humanities in Class Digital Library
- Collaborate with NHC staff to create a marketing strategy for the online courses

Associate in Research, Philosophy Department, Duke University 2021–Present

- Manage the Outreach & Assessment team for Project Vox (<http://projectvox.org/>), a digital humanities project in philosophy
- Mentor graduate and undergraduate students in public writing and communication skills
- Maintain the project's website, monthly blog, newsletters, and social media accounts
- Collaborate with SSHRC grant members to promote the work of the Extending New Narratives project partners

David M. Rubenstein Rare Book & Manuscript Library Internship, Duke University 2020–2021

- Created digital exhibit using Omeka and Timeline JS to showcase the tobacco advertising materials at the Hartman Center for Sales, Advertising, and Marketing History
- Developed a course guide for the digital tobacco exhibit for teachers and professors
- Processed archival materials
- Responded to scholarly reference questions

Project Manager, Project Vox, Duke University 2019–2020

- Managed team of 13 people including faculty, librarians, graduate students, and undergraduates
- Edited successful international funding application on behalf of the project
- Published and edited an Outreach & Assessment Manual for digital projects
- Maintained WordPress website that has over 110,000 unique users to date
- Coordinated publication schedule for new encyclopedic entries and original translations

Story+ Graduate Mentor, Franklin Humanities Institute, Duke University Summer 2019

- Mentored team of undergraduates as they planned two campus exhibits to examine the impact of influencer culture beginning with the publishing practices of Walt Whitman
- Directed archival research in the Rubenstein Library

Outreach & Assessment Coordinator, Project Vox, Duke University 2017–2019

- Managed monthly blog featuring scholars of early modern philosophy
- Coordinated social media outreach campaigns related to newly published content
- Gathered user feedback on site features and content as well as the project's impact on philosophy as a discipline through analytics and assessment surveys

Meredith C. Graham, PhD

- Harsha Murthy Fellow in Digital Scholarship, Duke University** 2018–2019
- Advertised events offered by Digital Scholarship Services (DSS)
 - Organized and publicized a lecture series for graduate students to learn about the digital humanities
 - Developed assessment system to track the student work completed at DSS
- National Humanities Center Intern, Durham, NC** Summer 2018
- Compiled a literature review about how universities evaluate digital projects for tenure promotion
 - Trained staff to use Omeka Classic, Omeka S, and WordPress
 - Applied metadata to book projects resulting from research completed at the NHC
 - Wrote a survey for previous fellows to gather information about their recent publications and to assess their time spent at the NHC
 - Created a proposal for the NHC staff to plan for website improvements
- Humanities Writ Large Research Assistant, Duke University** Spring 2017
- Content editor for the Musical Festivals Database, <https://musicalfestivals.org/>
 - Crafted an outreach strategy for the site launch by creating a brand, logo, and a social media plan to alert librarians and researchers to the open-source site
 - Organized an online questionnaire through Qualtrics for future assessment

PERFORMANCE EXPERIENCE

- SONAM Chorus; Durham, NC; Alto** 2017–Present
- Duke Chapel Evensong Singers; Durham, NC; Alto** 2015–2017
- The Gainesville Orchestra; Gainesville, FL; Cellist** 2014–2015
- Holy Trinity Episcopal Church; Gainesville, FL; Choral Section Leader** 2013–2015
- Bruton Parish Church; Williamsburg, VA; Choral Section Leader** 2011–2013

TEACHING EXPERIENCE

- Instructor of Record, Duke University**
- Modern Women Making Music MUSIC190S Spring 2020
 - Introduction to Music Theory MUSIC161 Spring 2018
 - Introduction to Music Theory MUSIC161 Spring 2017
- Graduate Teaching Assistant, Duke University**
- Music & Modernism MUSIC259, Supervisor: Dr. Anthony Kelley Fall 2019
 - Music Theory I MUSIC261, Supervisor: Dr. Robert Parkins Fall 2017
 - Music Theory I MUSIC261, Supervisor: Dr. Anthony Kelley Fall 2016
- Graduate Teaching Assistant, University of Florida**
- “What is the Good Life?” HUM2305, Supervisor: Dr. Constance Shehan Summer 2015
 - Medieval & Renaissance Music MUH3211, Supervisor: Dr. Jennifer Thomas Spring 2015
 - Baroque & Classical Music MUH3212, Supervisor: Dr. Margaret Butler Fall 2014
 - The American Musical MUL2693, Supervisor: Dr. Margaret Butler Spring 2014
 - Introduction to Music Literature MUL2010, Supervisor: Phillip Klepacki Fall 2013

Profile

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Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

pgunsch@gmail.com

Email Address

Patrick

First Name

Gunsch

Last Name

Middle Initial

405 Palafox Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (919) 370-6200

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Experience in facilities management and amenity services. Experience in finance. Enthusiasm for books, learning, and the availability of public resources.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have worked in both corporate and non-profit organizations and bring extensive knowledge in the areas of operations and financial management. Experiences include process improvement, budget management, financial planning, facilities management, strategic planning, business case development, resource planning, construction project management, capital planning, and master planning. I have also led service-oriented organizations that include grounds, maintenance, custodial, engineering, sustainability, and safety. I have a strong appreciation for the Chapel Hill Library and its role as a critical resource within our community. I am currently a member of the Chapel Hill Public Library Advisory Board and my seat is up for renewal. I would be greatly enthused to continue volunteering my time and expertise in support of the Board and the Library.

[Pat Gunsch Resume Jan23.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Executive In Residence,
Operations and Strategy

Occupation

Are you a caregiver for or identify with a disability?

☒ Yes ☐ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Patrick M. Gunsch

MBA, PE, CFM • Operations and Finance

pgunsch@gmail.com • 919-370-6200
[linkedin.com/in/patgunsch/](https://www.linkedin.com/in/patgunsch/) • Raleigh-Durham-Chapel Hill, NC

Summary

Dynamic, innovative, and inclusive corporate real estate, facilities, and finance leader with 15+ years of multifaceted expertise in analyzing complex challenges, engaging cross-functional stakeholders, and translating mission-critical business objectives into achievable strategies and measurable results.

Areas of Expertise

- Strategic Planning & Implementation
- Project Management
- Facilities Management
- Cost Containment
- Property Asset & Portfolio Management
- Business Process Improvement
- Corporate Real Estate
- Complex Business Operations
- Executive Reporting
- Finance & Budget Administration

Highlights

- Lauded for empowering and inclusive leadership that champions diversity and builds cost-effective teams to optimize productive, safe, and sustainable workplaces in support of strategic business priorities.
- Excelled in leadership roles with increasing responsibility to meld background in engineering, finance, and corporate real estate to propel Facilities, Planning, and Operations functions to highest levels of success.
- Delivered \$60M LEED-certified headquarters building on time and within budget, introducing state-of-the-art flexible, collaborative workspaces.

Education

Master of Business

Administration in Finance

University of Texas at Austin
Austin, TX

Bachelor of Science in Civil Engineering

Purdue University
West Lafayette, IN

Certifications

Professional Engineer (PE)

Licensed in North Carolina

Certified Facility Manager (CFM)

International Facilities
Management Association

Professional Affiliations

CoreNet

International Facilities

Management Association

Professional Engineers of North
Carolina (Past Board Member)

Regional Transportation Alliance
Durham Engineers Club

Professional Experience

Duke University, Durham, NC

2022 – Present

Executive in Residence, Institute for Enterprise Engineering, Pratt School of Engineering

Develop strategic and operational plans, identify and implement process improvements, and build industry relationships and collaborations in support of rapidly growing Engineering Master's program.

- Develop long range and short-term budget forecasts, oversee program processes, oversee continuous improvements, track operational metrics, and facilitate strategic planning.
- Build strategic industry partnerships, and liaise with educational and professional organizations to explore new program opportunities.

Green Heron Strategic Solutions, Chapel Hill, NC

2022 – Present

Owner

Provide consultative services, advanced analytics, and program implementation. Leverage diverse background in finance and operations to deliver cost-effective solutions for select executive clientele.

- Develop **advanced business analytics** and **novel pricing strategies**, engaging internal and external stakeholders to support improved supply chain decisions and enhanced customer value.
- Apply expertise from **diverse background** in finance, operations, and tech transfer, and **experience in industries** including manufacturing, life sciences, technology, construction, contract research, and higher ed.

RTI International, Research Triangle Park, NC
Senior Director, Facilities Operations & Planning (2016 – 2022)

2006 – 2022

Managed \$250M building portfolio, administering Capital Planning, Construction Project Management, Engineering, Sustainability, Environment Health and Safety (EHS), and Building Operations, guiding up to 55 talented team members, maintaining \$20M annual budget, and supporting 900K-square feet of lab and office space. Partnered with executive leadership on critical strategic initiatives (e.g. climate action, pandemic response).

- Delivered \$60M, 190K-sf Class A building, creating **central campus hub** with amenities, flexible workspaces.
- Achieved **30% reduced energy consumption** over 5 years, cutting carbon footprint and utility costs.
- Overhauled **Environment Health and Safety program** to lessen turnover and fortify regulatory compliance.
- **Facilitated divestiture of semiconductor business**, completing facility due diligence, and successfully transitioning personnel and operations.
- Developed **lease vs. build/own business case** for vivarium operation, yielding continuity and cost savings.

Senior Manager, Facilities Operations (2014 – 2016)

Led facilities operation that ensured reliable and cost-competitive infrastructure for 2,000-person research campus and local leases. Implemented projects to improve central plant reliability, reduce vendor costs, ensure safety, and improve capital planning and project prioritization.

- Spearheaded **central plant efficiencies** in high-pressure steam distribution system that eliminated 2-3 days of annual shutdowns for maintenance and emergency repairs.
- Enhanced **overall safety program** through revamping policies (e.g., LOTO, confined entry), implementing new programs (e.g., IR scanning), and improving safety training to reduce risk and strengthen business continuity.
- Initiated **long-term facility and environmental improvements** to boost savings in energy consumption and total operating costs.

Senior Manager, FSS Finance and Business Operations (2011 – 2014)

Administered strategic planning, finance, and process improvement for \$32M organization including Corporate Real Estate, EHS, Security, and Logistics. Managed Hospitality Services and supported Lease Portfolio Management.

- Crafted **space efficiency analytics model** and quarterly reporting that improved facility utilization and augmented critical lease and construction decisions to expand, maintain, reduce, or eliminate space.
- Developed **shared services model for Facilities organization**, gaining buy-in from C-Suite leadership and establishing KPIs and quarterly performance reporting to monitor and improve service levels.
- Collaborated with Accounting and Procurement to identify and implement **process improvements in lease tracking across 75+ countries**, streamlining lease approvals, and ensuring reliability of lease payments.

Business Analyst, Office of Innovation and Commercialization (2010 – 2011)

Collaborated with research groups to produce investment business cases and market valuations for innovative technologies. Tracked strategic investment portfolio and facilitated executive business reviews across organization.

- Conceptualized and launched **novel performance scorecards** for executive leadership to monitor \$16M in strategic investments in advanced business capabilities, licensing opportunities, and spinouts.
- Engaged with inventors and industry consultants to value **innovative discoveries** in medical devices, nanotechnology, and health monitoring. Modeled value creating milestones and reviewed licensing agreements.

Senior Financial Analyst, Corporate Financial Planning and Analysis (2006 – 2010)

Executed high-level planning and financial analysis for executive and board reporting for \$700M federal contractor during period of rapid growth. Aided in critical initiatives including mergers and acquisitions (M&A), spinouts, and international expansion. Devised talent development and mentoring programs.

- Aided executive decision-making to bring online 125K square feet of new office capacity, including analysis of lease, build-own, vs. build-leaseback, resulting in new **\$30M LEED Gold office building and data center**.
- Partnered with CEO of tech spinout to **develop financial business model**, securing \$3m in startup funding.
- Launched and led training and development program for CFO to **broaden in-house skills and develop next generation leaders** across 400+ person Finance, Accounting, and Procurement org.

Additional Experience

Financial Planner/Team Lead, Lenovo

Financial Planner, IBM

Financial Analyst, Dell

Facilities Manager, Hayssen Flexible Systems

Project Engineer/Manager, Beers-York Construction

Project Manager, Maddox Industrial Contractors

Awards

RTI President's Awards: IDRT COVID Response (2021), Horizon Building Design & Construction (2018), Water Quality Program (2017), AgBio Divestiture (2013)

American InHouse Design Award by Graphic Design USA: RTI Sustainability Report, 2019

USGBC Sustainable Business Awards, Finalist: Horizon Building, 2019

STAR Commercialization Award: Financial Support for Sixis Technology Spinout, 2009

Professional Development

LEAD Amplify, RTI Leadership Development Program, Graduate, 2020

PENC Leadership Institute, Graduate, 2018

DE&I Awareness and Ally Training

High proficiency in Microsoft Office (PowerPoint, Excel, Word)

Professional Service

Business Ethics Leadership Alliance, **Roundtable Panelist**: "The Investment of ESG: Strategy & Solutions", 2022

Raleigh-Durham International Airport, **Industry Advisor**, Pandemic Response Advisory Task Force, 2020 – 2021

Professional Engineers of North Carolina, **Board Member**, Triangle Chapter, 2015 – 2019

NC State PENC Student Chapter, **Forum Panelist**: "Engineering Careers and Licensure", 2018

Facilities@RTP, Facilities Industry Consortium, **Founder and Chair**, 2017 – 2018

Research Triangle Foundation, **Forum Panelist**: "Emergency Preparedness for RTP", 2017

Additional Service

Chapel Hill Public Library, **Advisory Board Member**, 2022 – Current

Orange County Animal Services, **Volunteer**, 2022 – Present

Durham Academy First Lego League Robotics Team, **Coach**, 2021 – 2023

YMCA Girls Basketball League, **Asst. Coach**, 2019 – 2020

Carrboro Recreational Baseball, **Asst. Coach**, 2018 – 2019

Profile

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☒ I Agree

jieli7@hotmail.com

Email Address

Jie

First Name

Li

Last Name

500 Formosa lane, Apt # 5303

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Orange Water and Sewer Authority (OWASA) Board of Directors

How did you find out about this opportunity? (select all that apply)

☒ Brochure

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I was a retired librarian, which may be helpful for the library services.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am a Chinese who may be helpful for language services.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

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Ethnicity *

☒ Asian or Pacific Islander

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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☒ I Agree *

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Profile

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☒ I Agree

maleamull27@gmail.com

Email Address

Malea

First Name

Mull

Last Name

Middle Initial

143 W Franklin St.

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (828) 303-6400

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Downtown Partnership

Select a Seat Category for the Chapel Hill Downtown Partnership *

☒ Chapel Hill Town Resident

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Chapel Hill Downtown Partnership

How did you find out about this opportunity? (select all that apply)

☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Having only lived in Chapel Hill for almost two years now, I have already seen major changes economically, physically, and in the community. As a student of the university, I feel as though I will provide a different perspective than most as I live in the heart of the town and am engulfed in the community.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Currently, I am studying public policy and have had experiences with local government and the community. I feel as though this has allowed me to be more connected with the town of Chapel Hill and their local government and policy efforts.

[Malea Mull - Resume.docx.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 18-24

Full-time student

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Malea Mull

1624 Terra Cotta Dr.
Hickory, NC 28602

(828) 303-6400
maleamull27@gmail.com

310 South Rd.
Chapel Hill, NC 27516

EDUCATION

The University of North Carolina at Chapel Hill, Chapel Hill, NC

May 2025

- **Majors:** Bachelor of Arts in Public Policy, Bachelor of Arts in Advertising and Public Relations
- **Schools:** Hussman School of Journalism and Media
- **GPA:** 3.642/4.00
- **Honors:** Chancellor's List in Fall 2021 and Spring 2022 (3.5+ Semester)
- **Relevant Coursework:** Introduction to Economics, Justice in Public Policy, State and Local Politics, Policy Innovation and Analysis, Politics and Public Policy, International Relations and Global Politics, Introduction to Advertising and Public Relations

PROFESSIONAL EXPERIENCE

Hickory Wine Shoppe, *Head Server/Waitress/Kitchen Staff/Staff Trainer* Hickory, NC

May 2019 - Present

- Greeted, assisted, and served customers throughout high-volume clientele
- Assigned task shifts and oversaw the training and mentoring of new staff
- Plated and served food dishes to customers
- Bussed tables and maintained a clean and efficient workplace
- Oversaw the use and management of social media accounts and created content to supply information to the community

LeGrande Salon and Day Spa, *Receptionist*, Hickory, NC

March 2021 - August 2022

- Greeted and assisted clients via phone and in person
- Booked appointments for stylists and oversaw appointment books
- Trained and assisted new receptionists and assigned duties
- Managed retail and inventory stock
- Directed social media platforms and promotional deals

LEADERSHIP & RELEVANT EXPERIENCE

Walk. Support. Glow, *Fundraising Committee*, Chapel Hill, NC

September 2022 - Present

- Assisted in organizing fundraising events
- Attended and led weekly leadership meetings focused on advancing fundraising efforts
- Focus on the development of the organization through monitorial efforts

Future Business Leaders of America, *Vice President*, Hickory, NC

August 2019 - May 2021

- Networked with business professionals to recharter and sponsor regional chapter
- Assisted in leading weekly meetings of 50+ students that focused on personal professional development and portfolio skills
- Awarded one of the top three students in North Carolina for business programs
- Mentored underclassmen students to prepare them to take on executive roles within the chapter
- Presided in the absence of the chapter president

INTERESTS

Football, Literature, US History, Cycling Classes, Portuguese

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

dcnahm@gmail.com

Email Address

David

First Name

C

Middle Initial

Nahm

Last Name

100 Spencer Court

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 717-1893

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Thank you for taking the time to consider my application to the Chapel Hill Public Library Advisory Board. I moved with my family back to Chapel Hill in 2021. We previously lived in Carrboro and Chapel Hill from 1999 to 2007 (my spouse and I are both graduates of UNC). Professionally, I am an attorney. I am also a published novelist. In my legal career, I have served my local bar associations in various roles (secretary, chair of the professionalism committee, member of CLE committee). For several years, I was the member of the board of a nonprofit where I served as both vice-president and chair of the governance committee. During my tenure there, I oversaw the identification and selection of new board members and rewrote the bylaw of the organization. I have also been a member of an advisory board for regional nonprofit which provided services to the elderly. In addition to practicing law, I am a writer. I published my first novel, *Ancient Oceans of Central Kentucky*, in 2014 (a copy of which is currently available in the Chapel Hill Public Library), and have recently finished writing my second. I have published a number of short stories over the years. Literature is my passion and I love the Chapel Hill Public Library. We have a young child and spend a great deal of time at the library--checking out books or coming to story time. The library is one of the essential services to a town and it would be an honor to be able to give some of my time to support it.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Experienced serving on nonprofit board of directors and advisory boards. Have served in various leadership roles on boards, both as officers (vice-president, secretary) and as committee chair (governance, professionalism). Familiar with reviewing financial statements, budgets, and other financial documents. Knowledgeable in corporate documents, governance, contracts, etc. I have created, prepared and presented a number of continuing legal education programs. Comfortable with public speaking and presentations. As mentioned before, I am a life-long lover of reading. My family and I are regular guests of the Chapel Hill Public Library.

[DCN CV 2023.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Attorney

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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☒ I Agree *

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DAVID CONNERLEY NAHM

100 Spencer Court, Chapel Hill, North Carolina 27514 • dcnahm@gmail.com • (919) 717-1893

LEGAL AND PROFESSIONAL EXPERIENCE

Morningstar Law Group
Attorney, 2022-present

Raleigh, North Carolina

Commercial Real Estate: Drafted commercial real estate purchase agreements, deeds, easements, rights of way and other real estate documents. Experienced drafting covenants for residential and commercial developments, reviewing commercial development documents, and working with local governments for the approval of real estate development projects. Extensive experience reviewing titles and resolving complicated title issues. Experienced in negotiation, drafting and reviewing complex commercial leases.

The Law Office of Thomas A. Earls
Attorney, 2021-2022

Cary, North Carolina

Commercial Real Estate: Negotiated, drafted and reviewed commercial real estate purchase agreements. Conducted commercial real estate closings. Drafted condominium documents.

Clark & Bradshaw, PC
Partner, 2015-2021
Associate Attorney, 2009-2015

Harrisonburg, Virginia

Commercial Real Estate: Drafted commercial real estate purchase agreements, deeds, easements, rights of way and other real estate documents. Experienced drafting covenants for residential and commercial developments, reviewing commercial development documents, and working with local governments for the approval of real estate development projects. Extensive experience reviewing titles and resolving complicated title issues. Experienced in negotiation, drafting and reviewing complex commercial leases.

Corporate and Business Law: Negotiated and drafted contracts a wide range of corporate contracts and documents, including asset purchase, stockholder and employment agreements. Represented corporate clients with regard to employment issues. Advised client in multi-million dollar acquisition of energy corporation assets and real estate. Clients have included banks, construction companies, insurance agencies, oil and propane companies, and real estate developers.

Local Government, Municipal and Zoning Law: Advised local towns on various government and legal matters including updating on new statutes and legislative matters, employment issues and zoning and special land use. Represented clients with zoning variance and municipal ordinance amendment requests before boards of zoning appeal and city and county governing bodies. Successfully represented clients on appeals of city tax assessments to board of equalizations.

Wharton, Aldhizer & Weaver, PLC
Associate Attorney, 2007-2009

Harrisonburg, Virginia

EDUCATION

University of North Carolina at Chapel Hill School of Law

Chapel Hill, North Carolina

Juris Doctor, 2007

Dean's List, Fall 2006

First Amendment Law Journal, Staff Writer, 2005-2006

Civil Legal Clinic, 2006-2007

Innocence Project

Domestic Violence Advocacy Project

Centre College

Danville, Kentucky

Bachelor of Arts, English, 1997

Vantage Point Literary Magazine, Editor, 1996-1997

Centre College Jazz Band 1996-1997

Centre College Poetry Prize, 1997

TEACHING EXPERIENCE

James Madison University

Harrisonburg, Virginia

Adjunct Faculty, 2012-2014

Courses Taught:

Justice Studies 301.2: Issues in Constitutional Law (Fall 2012)

Justice Studies 301.3: Law and Literature (Spring 2013, 2014, 2015)

Justice Studies 301.4 Law and Justice (Fall 2013)

Eastern Mennonite University

Harrisonburg, Virginia

Adjunct Faculty, 2011-2012

Pre-law Advisor, 2011-2012

Courses Taught:

Political Science 302: Constitutional Issues (Spring 2011, Fall 2012)

History 342 A: Reading for History and Law (Fall 2011)

BAR ADMISSIONS AND LEADERSHIP

States Bar Admissions

State of North Carolina (2021)

Commonwealth of Massachusetts (2010)

Commonwealth of Virginia (2007)

Federal Bar Admissions

United State District Court, Eastern District of Virginia (2015)

Bankruptcy Court of the Eastern District of Virginia (2013)

Bankruptcy Court of the Western District of Virginia (2008)
 United States District Court, Western District of Virginia (2008)

Harrisonburg-Rockingham Bar Association

Resolutions Committee 2018-2021

Secretary 2009-2010

Bar Professionalism Committee 2009-2021, Chair 2011-2021

Law Library Committee 2008-2021

PROFESSIONAL AND COMMUNITY SERVICE

The Collins Center, Board of Directors, September 2014-2021

Governance Committee Chair, 2018-2021

Harrisonburg Board of Zoning Appeals, Board Member, April 2013-July 2014

Blue Ridge Legal Services Volunteer, 2007-2021

Pro Bono Referral Program Team Leader, 2017-2021

Pro Bono Award, 2009 and 2018

Harrisonburg Downtown Renaissance, Organization Committee, 2008-2009

Inter-Faith Council MATCH Program, Mentor, Chapel Hill, North Carolina, 2002-2004

Inter-Faith Council, Volunteer, Chapel Hill, North Carolina, 2002-2005

WXYC 89.3 FM, Disc Jockey, Chapel Hill, North Carolina, 2004-2007

PRESENTATIONS

As chair of the Harrisonburg-Rockingham County Professionalism Committee, oversaw the creation of the local bar association's annual professionalism seminar. Devised program topics, selected panelists and speakers, and compiled or drafted written materials for seminars.

In addition, moderated the following panel discussions:

Harrisonburg-Rockingham Bar Association Professionalism Seminar, October 2014: "The Economics of Civility." Moderated panel discussion on professional civility with panel of judges including Justice Donald W. Lemons (Supreme Court of Virginia), Judge B. Waugh Crigler (United States Magistrate Judge), Judge James V. Lane (Virginia Circuit Court) and Judge John A. Paul (Virginia General District Court).

Harrisonburg-Rockingham Bar Association Professionalism Seminar, October 2011: "Ethical Issues of Technology and Social Media." Moderated panel discussion on ethical issues for attorneys related to e-mail, electronic discovery, and social media.

PUBLICATIONS

Novel

Ancient Oceans of Central Kentucky: A Novel, Two Dollar Radio, August, 2014

One of NRP's "Great Reads of 2014," December 2014

"Ten Indie Titles the National Book Award Overlooked," Electric Literature, September 2014

Short Stories

- "The Legal Description of Several New Kingdoms," *Midnight Breakfast*, October 2014
- "The Hole in the Ground Where the Garbage Goes," *Wyvern*, September 2014
- "The Terror Traditionally Associated with the Development of Real Estate," *Blunderbuss*, August 2014
- "Exciting New Moneymaking Opportunities Await," Vol. 1 Brooklyn, August 2014"
- "A Mountain Where There Is No Mountain," *Little Fiction*, August 2014
- "Listen to the Voices at the Far End of Summer," *BODY*, August 2014
- "Youth in its Splendor," *MonkeyBicycle*, March 2014
- "A Selection of Uncited Sources," *Pithead Chapel*, January 2014
- "Discrete Mathematics' by Olaf and Lemeaux," *Lady Churchill's Rosebud Wristlet*, November, 2005
- "Vacations with Mother and Father," *McSweeney's Internet Tendency*, March, 2005
- "Spirit and Opportunity," *Eyeshot*, 2005
- "Time in the Cupboard," *Trunk Stories*, 2005
- "Sitting on a Bench in the Park," *Lady Churchill's Rosebud Wristlet*, June, 2004
- "Professional Sympathy," *Surgery of Modern Warfare*, 2004

Essays and Interviews

- "Interview," *Weekly Reader KMSU Radio*, May 2015
- "Interview," *Other People Podcast*, September 2014
- "Writers Recommend," *Poets and Writers*, August 2014
- "Book Notes," *Largehearted Boy*, August 2014
- "Interview," *Lumina Journal*, August 2014

Legal

- The Docket Call*, Virginia State Bar Young Lawyer Division Newsletter, Corporate Law Columnist, 2008-2010

Profile

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☒ I Agree

taralqueen@gmail.com

Email Address

Tara

First Name

L

Middle Initial

Queen

Last Name

114 Mallard Ct

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (864) 316-1397

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Parks, Greenways & Recreation Commission

How did you find out about this opportunity? (select all that apply)

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a single mother to two young children, one who is on the Autism Spectrum. We are frequent visitors to Chapel Hill's parks and trails and the CHPL. I love exploring our community with my children and enjoy mountain biking and trail running on our beautiful trails.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am a research scientist in UNC's School of Public Health specializing in data science.

[TLQ_CV_02_02_2023.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Research Scientist

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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Tara L. Queen, PhD *Curriculum vitae*
tlqueen@unc.edu

Education

North Carolina State University, Raleigh, NC
 Ph.D., Psychology (2011)

North Carolina State University, Raleigh, NC
 M.S., Psychology (2008)

Meredith College, Raleigh, NC
 B.A. Psychology, Spanish (2006)
 Magna Cum Laude

Employment and research experience

Senior Research Scientist

University of North Carolina at Chapel Hill
 Department of Health Behavior, Gillings School of Global Public Health
 August 2022-present

Survey Statistician

University of North Carolina at Chapel Hill
 Department of Health Behavior, Gillings School of Global Public Health
 Lineberger Comprehensive Cancer Center, School of Medicine
 October 2021- July 2022

Research Associate

University of North Carolina at Chapel Hill
 Lineberger Comprehensive Cancer Center, School of Medicine
 February 2016-March 2020

Postdoctoral Fellow, Assistant Research Professor

University of Utah
 Department of Psychology
 August 2013 – February 2016

Postdoctoral Research Fellow

University of Michigan
 Survey Research Center, Institute for Social Research
 September 2011 – August 2013

Graduate Research Assistant

North Carolina State University
 Department of Psychology
 August 2006 – August 2011

Peer-reviewed publications

Under review

Hall, M., Grummon, A.H., Queen, T.L., Lazard, A.J., Higgins, I.C.A., Richter, A.P.C., & Tailie, L.S. (*under review*). How pictorial warnings change parents' purchases of sugar-sweetened beverage for their children: Mechanisms of impact *International Journal of Behavioral Nutrition and Physical Activity*.

Lazard, A.J., Kalan, M.E., Nicolla, S., Hall, M., Ribisl, K., Sheldon, J.M., ... & Brewer, N.T. (*under review*). Optimizing messages and images for e-cigarette warnings. *Tobacco Control*.

Published/in press

Kahn, B.Z., Reiter, L.P., Kritikos, K.I., Gilkey, M.B., Queen, T.L., & Brewer, N.T. (*in press*). Framing of national HPV vaccine recommendations and willingness to recommend at ages 9-10. *Human Vaccines and Immunotherapeutics*.

Goldstein, A. O., Jarman, K. L., Kowitt, S. D., Queen, T. L., Kim, K. S., Shook-Sa, B. E., ... & Ranney, L. M. (2021). Effect of Cigarette Constituent Messages With Engagement Text on Intention to Quit Smoking Among Adults Who Smoke Cigarettes: A Randomized Clinical Trial. *JAMA Network Open*, 4, e210045-e210045.

Agans, R. P., Zeng, D., Shook-Sa, B. E., Boynton, M. H., Brewer, N. T., Sutfin, E. L., ... & Ribisl, K. M. (2021). Using social networks to supplement RDD telephone surveys to oversample hard-to-reach populations: a new RDD+ RDS approach. *Sociological Methodology*, 51, 270-289.

Kong, A. Y., Queen, T. L., Golden, S. D., & Ribisl, K. M. (2020). Neighborhood disparities in the availability, advertising, promotion, and youth appeal of little cigars and cigarillos, United States, 2015. *Nicotine and Tobacco Research*, 22, 2170-2177.

D'Angelo, H., Rose, S. W., Golden, S. D., Queen, T., & Ribisl, K. M. (2020). E-cigarette availability, price promotions and marketing at the point-of sale in the contiguous United States (2014–2015): National estimates and multilevel correlates. *Preventive Medicine Reports*, 101152.

Mills, S. D., Golden, S. D., Queen, T. L., Kong, A. Y., & Ribisl, K. M. (2020). Are state-level income-based disparities in adult smoking declining?. *Preventive Medicine*, 133, 106019.

Lothary, A. F., Queen, T. L., & Hess, T. M. (2019). Motivation as a mechanism: the longitudinal relationship between personal resources and activity engagement. *Innovation in Aging*, 3, S812.

Queen, T. L., Butner, J., Berg, C. A., & Smith, J. (2019). Activity engagement among older adult spousal caregivers. *The Journals of Gerontology: Series B*, 74, 1278-1282.

Osman, A., Queen, T., Choi, K., & Goldstein, A. O. (2019). Receipt of direct tobacco mail/email coupons and coupon redemption: Demographic and socioeconomic disparities among adult smokers in the United States. *Preventive Medicine*, 105778.

- Mills, S. D., Golden, S. D., Henriksen, L., Kong, A. Y., Queen, T. L., & Ribisl, K. M. (2019). Neighbourhood disparities in the price of the cheapest cigarettes in the USA. *Journal of Epidemiology and Community Health*, 73, 894-896.
- Rust, S. M., Myers, A. E., D'Angelo, H., Queen, T. L., Laska, M. N., & Ribisl, K. M. (2019). Tobacco marketing at snap-and wic-authorized retail food stores in the United States. *Health Education & Behavior*, 46, 541-549.
- Orlan, E. N., Queen, T. L., Ribisl, K. M., & Sutfin, E. L. (2019). One-item susceptibility measure predicts waterpipe and little cigar/cigarillo uptake in a national sample of adolescents and young adults in the United States. *Tobacco Prevention & Cessation*, 5.
- Ranney, L. M., Kowitt, S. D., Queen, T. L., Jarman, K. L., & Goldstein, A. O. (2019). An Eye Tracking Study of Anti-Smoking Messages on Toxic Chemicals in Cigarettes. *International Journal of Environmental Research and Public Health*, 16, 4435.
- Jarman, K. L., Kowitt, S. D., Queen, T. L., Ranney, L. M., Kim, K., Jones, E. E., ... & Goldstein, A. O. (2018). Do smokers recall source or Quitline on cigarette constituent messages?. *Tobacco Regulatory Science*, 4, 66-82.
- Kowitt, S. D., Lazard, A. J., Queen, T. L., Noar, S. M., & Goldstein, A. O. (2018). Adolescents' Aided Recall of Targeted and Non-Targeted Tobacco Communication Campaigns in the United States. *International Journal of Environmental Research and Public Health*, 15, 2363.
- Schmidt, A. M., Jarman, K. L., Ranney, L. M., Queen, T. L., Noar, S. M., Ruel, L., ... & Goldstein, A. O. (2018). Public knowledge and credibility perceptions of the FDA as a tobacco regulator. *Nicotine and Tobacco Research*, 20, 1310-1316.
- Mills, S. D., Henriksen, L., Golden, S. D., Kurtzman, R., Kong, A. Y., Queen, T. L., & Ribisl, K. M. (2018). Disparities in retail marketing for menthol cigarettes in the United States, 2015. *Health & Place*, 53, 62-70.
- Meernik, C., Ranney, L., Lazard, A., Kim, K.S., Queen, T.L., ... & Goldstein, A.O. (2018). The effect of cigarillo packaging elements on young adult perceptions of product flavor, taste, smell, and appeal. *PlosOne*, 13, e0196236.
- Valle, C.G., Queen, T.L., Martin, B.A., Ribisl, K.M., Mayer, D.K., & Tate, D.F. (2017). Optimizing tailored communications for health risk assessment: A randomized factorial experiment of the effects of expectancy priming, autonomy support, and exemplification. *Journal of Medical Internet Research*, 20, e7613.
- Leeman, J., Myers, A.E., Grant, J.C., Wangen, M., & Queen, T.L. (2017). Implementation strategies to promote community-engaged efforts to counter tobacco marketing at the point of sale. *Translational Behavioral Medicine – Practical Policy Research*, 7, 405-414.

Queen, T.L. & Hess, T.M. (2017). Linkages between resources, motivation, and engagement in everyday activities. *Motivation Science*, 4, 26-38.

Queen, T.L., Baucom, K.J.W, Baker, A.C., Mello, D., Berg, C.A., & Wiebe, D.J. (2017). Neighborhood disorder and glycemic control in late adolescents with Type 1 diabetes. *Social Science and Medicine*, 183, 126-129.

Giasson, H.L., Queen, T.L., Larkina, M., & Smith, J. (2017). Age group differences in perceived age discrimination: associations with self-perceptions of aging. *The Gerontologist*, 57, S160.

Sucy, Y., Queen, T.L., Huntbach, B.,Berg, C.A.(2017). Iowa gambling task performance prospectively predicts changes in glycemic control among adolescents with type 1 diabetes. *Journal of the International Neuropsychological Society*, 23, 204-213.

Suchy, Y., Turner, S.L., Queen, T.L., Duraccio, K., Wiebe, D.J.,& Berg, C.A. (2016). The relation of questionnaire and performance-based measures of executive functioning with type 1 diabetes outcomes among late adolescents. *Health Psychology*, 35, 661-669.

Queen, T.L., Butner, J., & Berg, C.A. (2016). A micro-developmental view of parental well-being in families coping with chronic illness. *Journal of Family Psychology*, 30, 843-853.

Berg, C.A., Queen, T.L., Turner, S.A.,.....Wiebe, D.J. (2017). Adolescent disclosure to parents and daily management of type 1 diabetes. *Journal of Pediatric Psychology*, 42, 75-84.

Turner, S.L., Queen, T.L., Wiebe, D.J., & Berg, C.A. (2016). Variations in daily sleep quality and type 1 diabetes management in late adolescents. *Journal of Pediatric Psychology*, 41, 661-669.

Baucom, K.J.W., Queen, T.L., Wiebe, D.J., Turner, S.L., Wolfe, K.L., Godbey, E.I. & Fortenberry, K.T. (2015). Depressive symptoms, daily stress, and adherence in late adolescents with type 1 diabetes. *Health Psychology*, 34, 522-530.

Queen, T.L., Stawski, R.S., Ryan, L.H., & Smith, J. (2014). Loneliness in a day: Activity engagement, time alone, and experienced emotions *Psychology and Aging*, 29, 297-305.

Smith, J., Ryan, L.H., Queen, T.L., Becker, S., & Gonzalez, R. (2014). Snapshots of mixtures of affective experiences in a day: Findings from the Health and Retirement Study. *Journal of Population Ageing*, 7, 55-79.

Queen, T.L., Hess, T.M., Ennis, G.E., Dowd, K., & Grün, D. (2013). Information search and decision making: Effects of age and complexity on strategy use. *Psychology and Aging*, 27, 817.

Hess, T.M., Queen, T.L., & Ennis, G. (2013). Age and self-relevance effects on information search during decision-making. *The Journals of Gerontology, Series B: Psychological Sciences and Social Sciences*, 68, 703-711.

Hess, T.M., Queen, T.L., & Patterson, T.R. (2012). To deliberate or not to deliberate: Interactions between age, task characteristics, and cognitive activity on decision making. *Journal of Behavioral Decision Making*, 25, 29-40.

Queen, T.L. & Hess, T.M. (2010). Age differences in the effects of conscious and unconscious thought on decision making. *Psychology and Aging*, 25, 251-261.

Hess, T.M., Emery, L.J., & Queen, T.L. (2009). Task demands moderate stereotype threat effects on memory performance. *The Journals of Gerontology, Series B: Psychological Sciences and Social Sciences*, 64B, 482-486.

Chapters

Uchino, B., Ong, A., Queen, T.L., & Kent, R.G. (2016). Close social relationships, support, and aging. In V.L. Bengtson & R.A. Settersten (Eds.), *Handbook of Theories of Aging*.

Queen, T.L. & Berg, C.A. (2015). Collaborative Decision Making in Couples. In T.M. Hess, J. Strough, & C. Lockenhoff (Eds.), *Aging and Decision Making: Empirical and Applied Perspectives*.

Hess, T.M. & Queen, T.L. (2014). Aging influences on judgment and decision processes: Interactions between ability and experience. In P. Verhaeghen & C. Hertzog (Eds.), *Emotion, Social Cognition, and Everyday Problem Solving During Adulthood*.

Smith, J. & Queen, T.L. (2013). Aging & adult development. In R. Biswas-Diener & E. Diener (Eds), Noba textbook series: Psychology. Champaign, IL: DEF Publishers. www.nobaproject.com

Research grants

Funded

Principal investigator: *Health Influences on Trajectories of Activity Engagement in Older Couples*. NIH/NIA R03

Co investigator: *Self-Regulation and Collaborative Coping with Type 1 Diabetes over the Life Span*. NIH/NIDDK DP3

Co investigator: *Interactions Between Life-Space and Quality of Life in Spousal Dyads Coping with Chronic Conditions*. Consortium for Family and Health Research, University of Utah

Awards & honors

2014 Trainee Poster Award, Social Science Category, Center on Aging Annual Research Retreat, University of Utah

2013 Invited participant, Mechanisms of Motivation, Cognition, and Aging Interactions Conference

2012 A. Regula Herzog Young Investigators Award, Institute for Social Research -Survey Research Center

- 2012 Travel sponsorship from the Michigan Center on the Demography of Aging to RAND Summer Institute
- 2009 Invited participant, APA Science Leadership Conference: Enhancing the Nation's Health through Psychological Science
- 2007 APA Division 20 Award for Proposed Master's Research
- 2006 Outstanding Student in Psychology Award, Meredith College

Selected presentations

Queen, T.L., Berg, C.A., Hanson, H., & Smith, K. (2014). Profiles of cognitive functioning: Is familial excessive longevity a protective factor in older age? Paper presented at the 67th annual meeting of the Gerontological Society of America, Washington, DC.

Ryan, L.H. & Queen, T.L. (2014). Meaning matters: Implications for affect and life satisfaction. Paper presented at the 67th annual meeting of the Gerontological Society of America, Washington, DC.

Queen, T.L., Stawski, R.S., & Berg, C.A. (2014). Associations between cognitive ability and coping strategies in older couples dealing with prostate cancer. Poster presented at the 15th biennial meeting of the Cognitive Aging Conference, Atlanta, GA.

Smith, J., Ryan, L.H., Becker, S., Queen, T.L., & Gonzalez, R. (2014). The effects of a restless night and feeling unwell on experienced well-being after age 50: Does marriage matter?. Paper presented at the 82nd annual meeting of the Population Association of America, Boston, MA.

Queen, T.L., Gonzalez, R., & Langa, K. (2013). The impact of arthritis on longitudinal changes in activity engagement in older adulthood. Paper presented at the 66th annual meeting of the Gerontological Society of America, New Orleans, LA.

Gonzalez, R., Queen, T.L., Becker, S., & Smith, J. (2013). Need for cognition and time allocation decisions in older adults. Paper presented at the 66th annual meeting of the Gerontological Society of America, New Orleans, LA.

Stawski, R.S., Queen, T.L., Ryan, L.H., & Smith, J. (2013). The influence of stressful life events and anxiety on older adults' wellbeing. Paper presented at the 20th IAGG World Congress of Gerontology and Geriatrics.

Queen, T.L. Ryan, L.H., Smith, J. & Gonzalez, R. (2013). Need for cognition influences the structure of a day and emotions experienced during daily activities. Poster presented at the 25th annual meeting of the Association for Psychological Science.

Smith, J., Ryan, L.H., Queen, T.L., Becker, S., Stawski, R.S., & Gonzalez, R. (2013). The timing of routine activities shapes emotional experiences. Poster presented at the 25th annual meeting of the Association for Psychological Science.

Queen, T.L. & Ryan, L.H. (2012). Emotional complexity within a day: Providing context for affective reports. Paper presented at the 65th annual meeting of the Gerontological Society of America, San Diego, CA.

Hess, T.M., Ennis, G.E., & Queen, T.L. (2012). Intrinsic and extrinsic motivational influences on adult age differences in information-search strategies. Paper presented at the 65th annual meeting of the Gerontological Society of America, San Diego, CA.

Ryan, L.H. , Queen, T.L., & Smith, J. (2012). Reconstructing yesterday: Examining age and cognitive influences on memory for emotions. Poster presented at the 65th annual meeting of the Gerontological Society of America, San Diego, CA.

Stawski, R.S., Queen, T.L., Ryan, L.H., & Smith, J. (2012). The impact of stressful life events on global and experienced wellbeing in old age: Findings from the ROBUST study. Paper presented at the 65th annual meeting of the Gerontological Society of America, San Diego, CA.

Queen, T.L., Ryan, L.H., Guo, F., Zhang, Y., & Lepkowski, J. (2012). The problem with happy: Order effects in surveys of wellbeing. Paper presented at the 24th annual meeting of the Association for Psychological Science.

Queen, T.L., Stawski, R.S., Ryan, L.H., & Smith, J. (2012). Evaluated and experienced wellbeing: Does memory matter? Poster presented at the 14th biennial meeting of the Cognitive Aging Conference, Atlanta, GA.

Queen, T.L. & Hess, T.M. (2012). Aging and affective forecasts: Examining the role of motivation. Poster presented at the 14th biennial meeting of the Cognitive Aging Conference, Atlanta, GA.

Queen, T.L., Ennis, G.E., Hess, T.M. (2011). Aging and decision making: The role of motivation and relevance in information search. Poster presented at the 64th annual meeting on the Gerontological Society of America, Boston, MA.

Queen, T.L. & Hess, T.M. (2010). Age differences in risk preference. Poster presented at the 63rd annual meeting on the Gerontological Society of America, New Orleans, LA.

Queen, T.L., Ennis, G.E., Hess, T.M., Dowd, K., & Grünh, D. (2010). The impact of task complexity on age differences in information search strategies and decision outcomes. Poster presented at the 13th biennial meeting of the Cognitive Aging Conference, Atlanta, GA.

Queen, T.L. & Hess, T.M. (2009). The role of age and affect in risk perception: A prospect theory approach. Poster presented at the 62nd annual meeting on the Gerontological Society of America, Atlanta, GA.

Hess, T.M., Queen, T.L., & Patterson, T.R. (2009). The benefits of conscious vs unconscious thought on effective decision making in adulthood. Poster presented at the 62nd annual meeting on the Gerontological Society of America, Atlanta, GA.

Licciardello, T. & Hess, T.M. (2008). Age differences in the effects of conscious and unconscious thought on decision making. Poster presented at the 12th biennial meeting of the Cognitive Aging Conference, Atlanta, GA.

Licciardello, T. & Hess, T.M. (2008). Age differences in the effects of conscious and unconscious thought on decision making. Poster presented at the 2008 meeting of the NC Cognition Group, Raleigh, NC.

Hess, T.M., Swaim, E., & Licciardello, T. (2007). Impact of aging and motivation on consumer judgments. Poster presented at the 60th annual meeting on the Gerontological Society of America, San Francisco, CA.

**Note: Formerly Tara Licciardello*

Continuing education

- 2016 Multilevel Modeling; Structural Equation Modeling (Curran-Bauer Analytics)
- 2013 Structural Equation Modeling (Instructor: Jonathon Butner)
- 2013 Multilevel Modeling Workshop (Association for Psychological Science Annual Convention)
- 2012 Center for Statistical Consultation & Research Workshop: Introduction to R Modeling
- 2012 RAND Summer Institute on Aging
- 2011 Introduction to the Health and Retirement Study Workshop

Teaching experience

University of North Carolina- Chapel Hill, Guest Lecturer: Advanced Research Methods
 University of Utah, Primary Instructor: Aging & Adult Development
 University of Michigan, Guest Lecturer: Psychology & Aging
 North Carolina State University, Primary Instructor: Lifespan Developmental Psychology

Professional service & memberships

2008- 2011 APA Science Student Council, Developmental Psychology Representative
 APA Division 20, Adult Development and Aging
 Gerontological Society of America
 American Diabetes Association

Ad hoc reviewer: Developmental Psychology, Journals of Gerontology: Psychological Science, Psychology and Aging, Frontiers in Psychology, PLOS One, Journal of Research on Adolescence, Journal of Behavioral Medicine

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

matthewtulchin@gmail.com

Email Address

Matthew

First Name

Tulchin

Last Name

Middle Initial

3 Sutton Pl

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (347) 922-4369

Primary Phone

Mobile: (347) 922-4369

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Chapel Hill Public Library Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Grievance Hearing Board (former Personnel Appeals Committee)

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I was born and raised in Chapel Hill, graduated CHHS in 1991, and then left for many years before moving back with my wife and 2 sons in 2011. Thus, I have good understanding of how much the town has changed over the years. In addition, my children attend CHCCS, our family frequents the town's parks, and we are all members of the public library. Finally, I have experience with employment law and employee grievances, including having served on the Town's grievance hearing board the past 3 years.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I grew up going to the public library, am currently a member, and value and believe in what the public library offers the town of Chapel Hill. I am a lawyer who has worked in both the private and public sector and I have experience with employment law and employee grievances.

[Nikki Abija TCAB Oath.pdf](#)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Attorney

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.



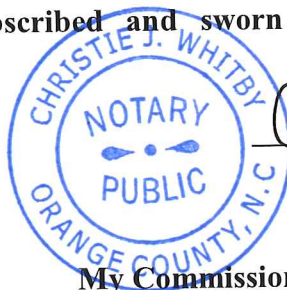
STATE OF NORTH CAROLINA
COUNTY OF ORANGE

OATH OF OFFICE

I, Adrienne-Nicole (Nikki) Abiza, do solemnly swear (or affirm) that I will support and maintain the Constitution and laws of the United States, and the Constitution and laws of North Carolina not inconsistent therewith, and that I will faithfully discharge the duties of my office as a member of the Transportation and Connectivity, so help me God.
Advisory Board

A. Abiza
Signature

The above oaths were subscribed and sworn to before me this the 25 day of January, 2021.



Christie J. Whitby
Notary Public

My Commission Expires

10/8/2025

Profile

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Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

mpwilliams@unc.edu

Email Address

Megan

First Name

P

Middle Initial

Williams

Last Name

205 Westside Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 623-3767

Primary Phone

Home: (919) 623-3767

Alternate Phone

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Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am interested in serving to support the Library's "creating connections" mission. As a nurse, I find that community outreach is at the heart of health promotion, and I would be honored to serve the Chapel Hill community in this role.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I bring board leadership and service experience as Past-president of the North Carolina Nurses Association.

[MPWilliams UNC CV.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Faculty

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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**THE UNIVERSITY OF NORTH CAROLINA AT CHAPEL HILL
SCHOOL OF NURSING**

CURRICULUM VITAE

NAME: Megan Parpart Williams **PHONE:** (919) 623-3767

HOME ADDRESS: 205 Westside Drive, Chapel Hill, NC 27516

EMAIL: mpwilliams@unc.edu

LICENSURES and CERTIFICATIONS:

Licensure:

Registered Nurse {North Carolina}
License Number: 161638
Status: Active
Compact Status: Multi State
Original Date of Licensure: 9/22/1998
Expiration: 9/30/2023

Family Nurse Practitioner {North Carolina}
License Number: 201693
Status: Inactive
Initial Approval Date: 12/19/2002
Expiration:

Certifications:

Family Nurse Practitioner (FNP-BC) by the American Nurses
Credentialing Center (AACN)
Certification #0372453
Expiration: 10/15/2022

BLS for Healthcare Providers by the American Heart Association (AHA)
Expiration: 8/2024

EDUCATION:

Degree	Institution & Location	Dates	Major
EdD	UNC-Chapel Hill, Chapel Hill, NC	2010-2017	Education/Curriculum & Instruction
MSN	Duke University, Durham, NC	1999-2002	Nursing/Family Nurse Practitioner
BSN	UNC-Wilmington, Wilmington, NC	1995-1998	Nursing

AS	William Peace University, Raleigh, NC	1993-1995	Biology
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PROFESSIONAL EXPERIENCE:**ACADEMIC EMPLOYMENT:**

Institution or Firm	Position/Rank	Dates
UNC-Chapel Hill	Associate Professor	2019-
UNC-Chapel Hill	Assistant Professor	2018-2019
UNC-Chapel Hill	Assistant Professor: Lead Faculty Undergraduate Division	2017-2018
UNC-Chapel Hill	Assistant Professor	2008-2017
UNC-Chapel Hill	Clinical Instructor	2003-2008

OTHER EMPLOYMENT:

Institution or Firm	Position/Rank	Dates
UNC-Chapel Hill Campus Health Services (CHS)	Family Nurse Practitioner (fall/spring; weekends prn)	2018-
UNC-Chapel Hill Campus Health Services (CHS)	Family Nurse Practitioner (fall/spring; weekends; 8 hrs/month)	2011-2017
Targetcare, Inc	Family Nurse Practitioner (per diem)	2010-2017
MinuteClinic	Family Nurse Practitioner (per diem)	2008-2010
Duke University Medical Center	Family Nurse Practitioner	2004-2006
Oxford Family Physicians	Family Nurse Practitioner	2002-2004
Duke University Medical Center	Clinical Nurse	1998-2006

HONORS

Date	Honor
February 2015	UNC-CH School of Nursing Alumni Association Honorary Alumni Award
May 2012	2012 UNC-Wilmington School of Nursing Outstanding Alumni Award
October 2010	NCNA Outstanding Service Award
January 2009	Johnson and Progue Scholarships Faculty Mentor
August 2007	UNC-CH School of Nursing Outstanding Clinical Teaching Award ABSN program

BIBLIOGRAPHY AND PRODUCTS OF SCHOLARSHIP (as applicable):**Invited Presentations**

October 26, 2018 Title: The Meaning and Importance of Curriculum Development for the 21st Century. Nurse Educator Update, Center for Lifelong Learning, Chapel Hill, North Carolina.

May 24, 2018 Title: Simulation: Bringing Reality to the Virtual World. Excellence in Teaching for Nurse Educators, Center for Lifelong Learning, Chapel Hill, North Carolina.

March 23, 2018, Title: Mentoring, Growing Leaders and Planning for Succession. Center for Lifelong Learning (CLL) Excellence in Nursing Leadership, Chapel Hill, North Carolina.

May 24, 2017 Title: Simulation: Bringing Reality to the Virtual World. Excellence in Teaching for Nurse Educators, Center for Lifelong Learning, Chapel Hill, North Carolina.

May 7, 2016 UNC-CH School of Nursing Graduation Speaker, Chapel Hill, North Carolina.

April 7, 2016, Title: Annual Nursing Professions Panel. Alpha Epsilon Delta pre-health honor society, Chapel Hill, North Carolina.

April 21, 2014, Title: Nursing Forward. Davidson Community College, Association of Nursing Students, Davidson, North Carolina.

Nursing Notes. "North Carolina Nursing Student Reaches Out In Food Bank Program". *Nursing Notes Live*. N.p., 2013. Web. 21 Apr. 2016. <http://mediccast.com/nursingnotes/2013/12/north-carolina-nursing-student-reaches-out-in-food-bank-program/>

November 16, 2013 Title: Pediatric Nursing, North Carolina Area Health Education Center,

April 4, 2013, Title: Invest in Nursing. NC Area Health Education Center, Rex Healthcare, Raleigh, North Carolina.

August 14, 2007, Title: Communication Skills: Using SBAR in the Clinical Setting. Clinical Faculty Workshop, UNC-CH School of Nursing, Chapel Hill, North Carolina.

August 14, 2007, Title: Clinical Guidelines: "Just what is your style?" Clinical Faculty Workshop, UNC-CH School of Nursing, Chapel Hill, North Carolina.

August 22, 2008, Title: Developing Clinical Relationships, Clinical Faculty Workshop, UNC-CH School of Nursing, Chapel Hill, North Carolina.

October 3, 2008, Title: Communication Skills: Do You Speak SBAR? NCANS Conference, Durham, North Carolina.

Refereed

September 15, 2022, Title: Academic-Practice Partnerships to Strengthen the Nursing Workforce, North Carolina Nurses Association Annual Convention, Raleigh, North Carolina

April 4, 2016, Title: Advanced Practice Nurses Interested in Careers in Academia, North Carolina Nurses Association, Nurse Practitioner Spring Symposium; Wilmington, North Carolina.

April 7, 2008, Title: Unfolding Case Study: An Integrative Approach, 5th Annual Education Summit 2008, UNC Friday Center, presented by the NC Board of Nursing, Chapel Hill, NC

Poster Presentations:

September 2022, Williams, M.P. Lessons Learned: Photo Elicitation as a Tool for Program Evaluation. National League for Nursing, Las Vegas, NV.

October 2019, Williams, M.P., Brisky, C. & Rimmner, S. Transforming the Future of Nursing Education through a Nurse Faculty Fellowship Program. American Association Colleges of Nursing, Orlando, FL.

September 2019, Williams, M.P. & Li, Y. North Carolina nurse leader project: A replication study to assess nurse leadership capacity. North Carolina Nurses Association, Winston-Salem, NC.

April 2017, Williams, M. P. Defining Nurse Leadership: Nurses' Perceptions of Nurse Leadership and the Conditions that Influence Its Development. Sigma Theta Tau Alpha Alpha Chapter, Chapel Hill, NC.

Publications:

Williams, M. P., & Li, Y. (2019). North Carolina nurse leader project: A replication study to assess nurse leadership capacity. *JONA: The Journal of Nursing Administration*, 49(5), 256-259. doi:10.1097/NNA.0000000000000747

Fleming, L., Lorenzen, R., Stanek, J., Williams, M., & Mendel, H. (2019). Transitions in care model for a senior-level clinical immersion experience. *Nurse Educator*, 1. doi:10.1097/NNE.0000000000000657

Williams, M. (2015). Proud to be an NCNA member. *Tar Heel Nurse*, 77(5), 11.

Williams, M. (2015). President's message: The pursuit of nursing excellence. *Tar Heel Nurse*, 77(5), 4.

Williams, M. (2015). President's message: Road Construction Ahead. *Tar Heel Nurse*, 77(4), 4.

Williams, M. (2015). President's message: Happy Nurses Week 2015!. *Tar Heel Nurse*, 77(3), 4.

Williams, M. (2015). President's message: Expert power. *Tar Heel Nurse*, 77(2), 3.

Williams, M. (2015). President's message: How will you make a difference in 2015?. *Tar Heel Nurse*, 77(1), 4.

Williams, M. (2014). President's message: Lean forward. *Tar Heel Nurse*, 76(4), 4.

Williams, M. (2014). President's message: Are you invested in NCNA?. *Tar Heel Nurse*, 76(3), 4.

Williams, M. (2014). President's message: Our shared responsibility. *Tar Heel Nurse*, 76(2), 4.

Williams, M. (2013). President's message: Bringing the vision to life. *Tar Heel Nurse*, 75(4),

Dissertation

Williams, M. P. (2017). Defining nurse leadership: Nurses' perceptions of nurse leadership and the conditions that influence its development (Doctoral dissertation). Retrieved from [ProQuest Dissertations Publishing](#).

RESEARCH ACTIVITIES:

Research Grants:

01/01/16 - 12/31/16 (PI)
 "North Carolina Nurse Leaders Project"
 Junior Faculty Development Award
 Annual Direct Costs: \$7500
 Total Direct Costs: \$7500

TEACHING ACTIVITIES:

Training Grants:

07/01/18-06/30/22 (PI)
 "Invest in Nursing: An Educational Redesign to Strengthen the Primary
 Care Workforce" Health Resources Services Administration Nurse
 Education, Practice, Quality and Retention-Registered
 Nurses in Primary Care Award (NEPQ-RNPC)
 Total Funding: \$2,396,978.00

PROFESSIONAL SERVICE:

Memberships and Positions Held in Professional Organizations

Organization	Role	Dates
North Carolina Foundation for Nursing	Board Member, President	2020-present
Piedmont Health Board Quality Committee	Member	2019-present
North Carolina Nurses Association	Member	1998-present
North Carolina Nurses Association	President	2013-2015
North Carolina Nurses Association	President-elect	2011-2013
North Carolina League for Nursing	Member	2008-present
North Carolina League for Nursing	Board member	2008-2013
American Nurses Association House of Delegates	NCNA Delegate	2010 & 2012
American Nurses Association Congress on Nursing Practice and Economics	Elected member	2010-2012
North Carolina Nurses Association	Triangle Region President	2009-2010

North Carolina Nurses Association	Triangle Region Secretary	2008-2009
UNC-Wilmington Alumni Board	School of Nursing Representative	1999-2003

UNIVERSITY SERVICE

University Committees

Committee	Role	Dates
Faculty Assembly Delegation	Chair	2018-2021
Faculty Assembly Delegation	Alternate	2016-2018
College of Arts and Sciences Curriculum 2019	Member Experiential Education Taskforce	2016-2017
Faculty Council	Elected SON Representative	2014-2017
Carolina Leadership Mentor	Mentor	2009-2012

School of Nursing Committees

Committee	Role	Dates
Faculty Executive Committee	BEC Chair	2019-
Baccalaureate Executive Committee	Chair	2019-
SON Curriculum Implementation Team	Team Lead	2018-2019
Student Health Action Coalition (SHAC)	Faculty Advisor	Fall 2018
SON Curriculum 2019 Steering Committee	BSN Chair	2017-2018
Appointment, promotion and reappointment (SON APR)	Elected member	2016-2019
SON Quality & Safety Series	Member	2016-2018
SON Executive Dean/Associate Dean for Academics	Search Committee Member	2017
vSim & Coursepoint+ task force	Task force member	2016-2018
Baccalaureate Executive Committee	At-large member	2015-; 2007-2012
SON Workload Task force	Member	2016-2017
BEC Philosophy and Conceptual Framework	Task force chair	2016-2017
SON Interprofessional Education Committee	Member	2015-2017
Association of Nursing Students	Faculty Advisor	2007-2017
UNC Academic-Practice Partnership Workgroup	Appointed member	2016
BEC Program Objectives revision	Task force	2016
Faculty Development Committee	Member	2006-2011



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 21., **File #:** [23-0463], **Version:** 1

Meeting Date: 5/24/2023

Appointments to the Cultural Arts Commission.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Cultural Arts Commission for seven seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Justin Haslett, Cultural Arts Commission Chair

SUBJECT: Recommendation for filling Commission vacancies

DATE: May 17, 2023

RECOMMENDATION: The Cultural Arts Commission met on April 19, 2023 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Meredith Graham, Appointment
- Nic Johnson, Appointment
- Kemisa Kassa, Appointment
- Laurie Hinzman, Appointment

BACKGROUND: The Commission had held these seats open as we reimagined our name, charge, and membership. As we regroup in the Fall as the Community Arts & Culture Advisory Board, this diverse slate of applicants will serve us, the Council, and the community well.

Note: Communications and Public Affairs notes the February [Cultural Arts Commission Request](https://chapelhill.legistar.com/View.ashx?M=F&ID=11638022&GUID=590F67C1-7E63-4863-908A-18B6B39C2731) [<https://chapelhill.legistar.com/View.ashx?M=F&ID=11638022&GUID=590F67C1-7E63-4863-908A-18B6B39C2731>](https://chapelhill.legistar.com/View.ashx?M=F&ID=11638022&GUID=590F67C1-7E63-4863-908A-18B6B39C2731) and that the Cultural Arts Commission reviewed the following applications: Ian Bowater, Susana Burns, Liana Morgan Chevres, Meredith Graham, Leavelle Irving, Nic Johnson, Kemisa Kassa, Jennifer Lawson, Dante McIntyre, Rebecca Rogers, Ray Schwartz, and Laurie Hinzman White. No additional applications were received between April 19, 2023 and Wednesday May 17, 2023 for the Cultural Arts Commission.

BALLOT**CULTURAL ARTS COMMISSION****MAY 24, 2023**

Total Membership: 11 (Ten (10) Town Residents, one (1) Carrboro Resident)

Current Membership: 7 (4 Female, 3 Male; 2 African American, 1 Asian or Pacific Islander, 0 Hispanic, 3 Caucasian, and 1 Not Answered; [0] 18-24, [1] 25-34, [2] 35-54, [4] over 55)

Upcoming Vacancies: 4 (Town Residents)

Current Vacancies 3 (Town Residents)

Number of Applicants: 12

Town Resident**Please vote for up to seven(7) applicants.**

_____ Ian Botwater	_____ Kemisa Kassa
_____ Susana Burns	_____ Jennifer Lawson(incumbent)
_____ Liana Morgan Chevres	_____ Dante McIntyre
_____ Meredith Graham	_____ Rebecca Rogers*
_____ Leavelle Irving	_____ Ray Schwartz
_____ Nic Johnson	_____ Laurie Hinzman White

Council Member Signature

**Applicant applied for more than one board.*

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

ianbowater7@gmail.com

Email Address

Ian

First Name

Bowater

Last Name

125 Windsor Circle

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (310) 871-3906

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Over fifty years of professional experience as a writer, actor and director in theatre and film industry. Served on drama and theatre panels for the London arts council. Served on the Dance panel of Greater London arts. Director of the Shaw Theatre in London. Directed of three international festivals. Former member of the Orange County Art Commission. Wrote and performed in plays locally. Currently a performer, and screenwriter. Latest release out this year is "Gilpin" a film about the actor to first play Emperor Jones on Broadway, About the perform at the Oslo Impro festival with my company Paul and Ian's One Man show,

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Throughout my career as an Arts practitioner I have a vast amount of experience of writing grants and budget proposals. I am very active in the approach to finding new performance spaces, both formal and new/unusual venues. A major feature of my career in the Arts is as an advocate for the under-served communities. I am not afraid to take on established and reactionary forces who want to keep the Arts safe and bourgeois.

[Resume-lan.doc](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Screenwriter/actor/director

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Ian Bowater

125 Windsor Circle, Chapel Hill NC 27514

Tel - 310 871 3906

E-mail - ianbowater7@gmail.com

Nationality: British and American

British Equity #: 109029

Screenwriter

Full-time freelance writer since 1992. Contracted by a number independent producers in the U.S. and Europe including, Mark Damon Productions; Raju Patel; Movies Film Production, Netherlands; Legende Films, Paris; Prodigy Productions; LCS productions; Odessa Films, Paris. MPS Produktions Munich, Michael Goerden Production, Cologne, Masterbond Film, London. Melwood Pictures, Los Angeles. Written over thirty screenplays.

Produced Credits

1994 - "Unconditional Love" with Arthur Bjorn Egeli, director. Winner of the Jury Prize, Hampton Film Festival (1994). Winner Gold Medal, Houston Film Festival. Second Prize, Delhi Film Festival.

2001 - "Fiendliche Übernahme" (Hostile Takeover) for MPS Produktions Munich - Carl Schenkel, Director - Susanne Porsche & Michael Roehrig, Producers

2013 - "Ghost Forest" Arthur Egeli Director - premiered at Arizona Film Festival.

2014 - "Into The Breach" Stageplay for the ArtsCenter Carrboro - Producer Jeri Lynn Schulke, Director Gregor McElvogue.

2017 - Murder On The Cape - Director Arthur Egeli - available on Netflix

2019 - Gilpin - Director Arthur Egeli - release date late 2019

Current projects in active development

"Coyote Gold" – Arthur Bjorn Egeli, director, Prodigy Productions.

"Ninety Feet Closer To Hell" – Nadim George director – in pre-production.

Recent Theatre Experience - (2013 to Present)

"My Name Is Yin" – Director for 10x10 In the Triangle.

"Celebration" – Granddad – for Little Green Pig Theatrical Concern

"HMLT" – The Ghost – for Little Green Pig Theatrical Concern

"Paris '76" – Jacques Dirigible, The Deconstructivist Comedian.

"Glorious" – St. Clair – for Theatre In The Park

"The Changeling" – Alibius for Little Green Pig.

Paul and Ian's One Man Show – one half of the thought provoking duo.

Other Film Industry experience.

Script Consultant - Legende Productions, Paris. Working with Producer Alain Goldman (1492 - Conquest of Paradise; Casino) and writer Roselyne Bosch (1492). Worked on two Bosch projects, "The Experiment" with Costa Gavras and "En Cas De Malheur" developed with Sidney Pollack. Roselyne is French but writes in English. Translation work involves polishing dialogue and Americanizing the descriptive passage. Both scripts were American stories, set in the U.S. with American characters.

1993 – Contract Screenwriter – Contracted for one year by Odessa Films, Paris to create three scripts. These included an adaptation of a contemporary novel plus two original pieces.

1992/3 – Director of Creative Affairs – Odyssey Distributors. Responsible for acquisitions and development of film projects destined for foreign distribution.

1990 – Free-lance reader and script doctor – Various film companies and independent producers including HBO, Carolco and Prodigy Productions. Raju Patel on "Jungle Book".

1989 – Story Analyst – Odyssey Entertainment, Los Angeles. Reading scripts and other published material this film production company, averaging ten scripts per week.

Previous Theatre Life

1985-1988 – Teacher/Director – The Actor's Center, London – This training center founded by British Actors Equity, provides training to working actors based in London.

1983-1988 – Director, The Shaw Theatre – A community theatre in the heart of London. The theatre's eclectic program presented theatre, music, dance, mime and children's events. The theatre was a host venue for the London International Theatre Festival, the London Mime Festival. Some of the international companies presented by the Shaw Theatre included the London debuts of The Negro Ensemble Company (USA); Grips Theater (Berlin); Teatro Cambray (Cuba) and the Ballet Folklorico de Nicaragua.

1979-1983 – Associate Director, Theatre Royal Stratford East – Stratford East has an illustrious history as the home of Joan Littlewood's famous Theatre Workshop. That work continues to the present under the direction of Philip Hedley. Presenting children's theatre and community tours. Founding Director of Actorshop – a bespoke improvisational theatre working in the East End and further afield.

1973-1979 - Director, Writer and actor with Newham Theatre-in-Education company, creating theatre for all ages from Kindergarten to High School.

Profile

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Public Records Statement

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☒ I Agree

susana_burns@yahoo.com

Email Address

Susana

First Name

J

Middle Initial

Burns

Last Name

103 Westbury Ct

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 932-4304

Primary Phone

Home: (919) 414-0934

Alternate Phone

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What district do you live in? *

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[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

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Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Docent at the Nasher Museum for ten years. Math instructor/tutor at Durham Technical community college. Manager for Billing and Customer service Department of the Venezuelan Telephone Company under Verizon ownership. Lived in Caracas for 10 years.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Born in Rosario, Argentina and came to the US to study Mathematics at the University of Oregon, Eugene, Oregon.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Retired

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Profile

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Public Records Statement

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☒ I Agree

irmorganchevres@students.chccs.k12.nc.us

Email Address

liana Morgan

First Name

R

Middle Initial

Chevres

Last Name

106 Taylor St

Street Address

Suite or Apt

chapel hill

City

NC

State

27514

Postal Code

Home: (919) 708-2032

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

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If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Chapel Hill Youth Council

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I've been involved in the arts as long as I can remember. I participate in theater, visual arts, dance, and music. As someone from a multicultural family, I bring the perspective of multiple different cultures represented in Chapel Hill. I am very passionate about the arts and to have a diverse and engaging community, we must represent that through the art we support. Without art, a community is just its bones. A big aspect of culture is art, it is the meat of the community, and it is what makes it feel really alive. I also bring the youth perspective. As a high school student who has lived in Chapel Hill the majority of my life, I can provide the perspective of what youth want to see more and what programs would be most engaging to get citizens involved in the arts at a young age.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have experience as an artist in theater, dance, drawing, painting, singing, and guitar. Although I am not bilingual, I've grown up in a bilingual household where I experience the harmony of two different cultures. Because of that, I have an appreciation of art from different cultures, instead of a narrow perspective of what art can be.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 18-24

high school student

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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☒ I Agree

mcgraham@email.wm.edu

Email Address

Meredith

First Name

C

Middle Initial

Graham

Last Name

411 Granville Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (804) 347-4142

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

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If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

☒ Chapel Hill Resident

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Radio

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I will bring extensive library and music performance experience to the Chapel Hill Public Library Advisory Board and the Cultural Arts Commission. As a recent graduate from Duke University with a PhD in music, I spent much of my time working at the Duke Libraries and Rubenstein Archive. In these internship experiences, I was able to learn about the many services the library provides, especially the ways that librarians connect patrons with digital resources. Working in the libraries over the period of six years, I helped the library staff develop a digital archive for instructors, contributed to a website about early modern women philosophers, and served as a reference librarian in the Rubenstein Archive, helping patrons find documents critical to their research. I bring the perspective of a musicologist to the Cultural Arts Commission. As a performer and scholar of music, I can provide an updated scholarly view of the ways that Chapel Hill can be innovative in the arts programs that it develops. I am also a cellist and singer and currently perform in the SONAM Chorus, a choir that supports local non-profits through benefit concerts. Through this ensemble, I have amplified the music of local composers, raised awareness of local non-profit organizations, and brought people together to learn about and perform music.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am a young, new homeowner in Chapel Hill and would like to contribute to the local community. I work in the education division at the National Humanities Center, developing professional development courses for K-12 teachers. Each of these courses is filled with open-access materials and primary sources and activities, so teachers can take our course information directly to their classrooms. Since beginning my job, I have also worked to make our courses more inclusive of teachers from different backgrounds and places and responsive to a modern classroom. I look forward to participating on either the Chapel Hill Public Library Advisory Board or the Cultural Arts Commission. It would be a privilege to serve my community.

[MGRAHAM Resume Chapel Hill March 2022.pdf](#)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Education Digital Projects
Coordinator

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree *

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Meredith C. Graham, PhD

meredith.graham@duke.edu | meredithgraham.net

EDUCATION

Duke University, Durham, NC
 PhD, Musicology; May 2021
 Certificate in College Teaching; May 2021
 MA, Musicology; May 2017

The University of Florida, Gainesville, FL
 MM, Musicology; August 2015

The College of William & Mary, Williamsburg, VA
 BA, History and Music; May 2013

PROFESSIONAL EXPERIENCE

Education Digital Projects Coordinator, National Humanities Center (NHC), Durham, NC 2021– Present

- Develop online humanities courses for K-12 teachers and university faculty
- Manage online educational resources in the Humanities in Class Digital Library
- Collaborate with NHC staff to create a marketing strategy for the online courses

Associate in Research, Philosophy Department, Duke University 2021–Present

- Manage the Outreach & Assessment team for Project Vox (<http://projectvox.org/>), a digital humanities project in philosophy
- Mentor graduate and undergraduate students in public writing and communication skills
- Maintain the project's website, monthly blog, newsletters, and social media accounts
- Collaborate with SSHRC grant members to promote the work of the Extending New Narratives project partners

David M. Rubenstein Rare Book & Manuscript Library Internship, Duke University 2020–2021

- Created digital exhibit using Omeka and Timeline JS to showcase the tobacco advertising materials at the Hartman Center for Sales, Advertising, and Marketing History
- Developed a course guide for the digital tobacco exhibit for teachers and professors
- Processed archival materials
- Responded to scholarly reference questions

Project Manager, Project Vox, Duke University 2019–2020

- Managed team of 13 people including faculty, librarians, graduate students, and undergraduates
- Edited successful international funding application on behalf of the project
- Published and edited an Outreach & Assessment Manual for digital projects
- Maintained WordPress website that has over 110,000 unique users to date
- Coordinated publication schedule for new encyclopedic entries and original translations

Story+ Graduate Mentor, Franklin Humanities Institute, Duke University Summer 2019

- Mentored team of undergraduates as they planned two campus exhibits to examine the impact of influencer culture beginning with the publishing practices of Walt Whitman
- Directed archival research in the Rubenstein Library

Outreach & Assessment Coordinator, Project Vox, Duke University 2017–2019

- Managed monthly blog featuring scholars of early modern philosophy
- Coordinated social media outreach campaigns related to newly published content
- Gathered user feedback on site features and content as well as the project's impact on philosophy as a discipline through analytics and assessment surveys

Meredith C. Graham, PhD

- Harsha Murthy Fellow in Digital Scholarship, Duke University** 2018–2019
- Advertised events offered by Digital Scholarship Services (DSS)
 - Organized and publicized a lecture series for graduate students to learn about the digital humanities
 - Developed assessment system to track the student work completed at DSS
- National Humanities Center Intern, Durham, NC** Summer 2018
- Compiled a literature review about how universities evaluate digital projects for tenure promotion
 - Trained staff to use Omeka Classic, Omeka S, and WordPress
 - Applied metadata to book projects resulting from research completed at the NHC
 - Wrote a survey for previous fellows to gather information about their recent publications and to assess their time spent at the NHC
 - Created a proposal for the NHC staff to plan for website improvements
- Humanities Writ Large Research Assistant, Duke University** Spring 2017
- Content editor for the Musical Festivals Database, <https://musicalfestivals.org/>
 - Crafted an outreach strategy for the site launch by creating a brand, logo, and a social media plan to alert librarians and researchers to the open-source site
 - Organized an online questionnaire through Qualtrics for future assessment

PERFORMANCE EXPERIENCE

- SONAM Chorus; Durham, NC; Alto** 2017–Present
- Duke Chapel Evensong Singers; Durham, NC; Alto** 2015–2017
- The Gainesville Orchestra; Gainesville, FL; Cellist** 2014–2015
- Holy Trinity Episcopal Church; Gainesville, FL; Choral Section Leader** 2013–2015
- Bruton Parish Church; Williamsburg, VA; Choral Section Leader** 2011–2013

TEACHING EXPERIENCE

- Instructor of Record, Duke University**
- Modern Women Making Music MUSIC190S Spring 2020
 - Introduction to Music Theory MUSIC161 Spring 2018
 - Introduction to Music Theory MUSIC161 Spring 2017
- Graduate Teaching Assistant, Duke University**
- Music & Modernism MUSIC259, Supervisor: Dr. Anthony Kelley Fall 2019
 - Music Theory I MUSIC261, Supervisor: Dr. Robert Parkins Fall 2017
 - Music Theory I MUSIC261, Supervisor: Dr. Anthony Kelley Fall 2016
- Graduate Teaching Assistant, University of Florida**
- “What is the Good Life?” HUM2305, Supervisor: Dr. Constance Shehan Summer 2015
 - Medieval & Renaissance Music MUH3211, Supervisor: Dr. Jennifer Thomas Spring 2015
 - Baroque & Classical Music MUH3212, Supervisor: Dr. Margaret Butler Fall 2014
 - The American Musical MUL2693, Supervisor: Dr. Margaret Butler Spring 2014
 - Introduction to Music Literature MUL2010, Supervisor: Phillip Klepacki Fall 2013

Profile

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Public Records Statement

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☒ I Agree

kingdomembassygovernment@gmail.com

Email Address

Leavelle

First Name

Irving

Last Name

Middle Initial

102 PineGate Circle Apartment-7

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (984) 215-7564

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a Missionary, Substance Abuse and Mental Health Counselor. As a local Pastor that is employed at UNC Medical Hospital.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

As a Cherokee that was raised in a middle class household amongst a plethora of diversity; I was born for such a time as this!!!

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

Leavelle Irving

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Ethnicity *

☒ African American

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Hospitality Advocate _____

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Profile

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Public Records Statement

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☒ I Agree

nicworks20@gmail.com

Email Address

Nic

First Name

C

Middle Initial

Johnson

Last Name

1743 Legion Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (252) 883-4049

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a gay black man who has lived in Chapel Hill for fifteen years. I am a writer and artist connecting to my local and southern arts community. Like many, I experience anxieties and fears of being in shared spaces. The terrors of worse case scenarios, as well as feeling out of place among people. However, when I experience arts and culture in the community, I am reminded of shared healing, shared creativity and shared wisdom. I believe creative public spaces communicate the sense of the people within a community; their aspirations, their history, and their current challenges. I can visit a city or small town and learn a great deal simply by walking by murals, visiting public spaces, and reading literature. Public art and culture is also an invitation to reimagine what is familiar; a request to remember moments and names that nourish connection; and, an opportunity to breathe and ground in self and place. I'd welcome the chance to share this perspective with my fellow members as we advise town council and promote the arts.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

My personal talents lie in ideas, active listening, and curiosity. Since coming to Chapel Hill in 2008, I have developed my talents in writing, journalism, marketing, event planning, project management, fundraising and recruitment. The majority of my work has been for local organizations; including the Resourceful Communities Program, the Chamber for a Greater Chapel Hill-Carrboro, the Camille Berry for Chapel Hill Town Council Campaign, and most recently, the Orange County Arts Commission and Eno Arts Mill. Outside of Orange County, I've managed concurrent events nationally and internationally, working with stakeholders from various parts of the globe. In doing this, I have cultivated connections across institutions and identities; as well as gained a greater appreciation for the conversations involved in decision-making. Lastly, I have extensive prior board experience and enjoy the spirit of collaboration. I served five years on my HOA board, including two years as president. And, three years as a member of the Young Nonprofit Professionals Network of the Triangle, ending my tenure on the Exec Committee as National Liaison to the YNPN National Network. If accepted, I'd welcome the chance to participate in the community as a member of the Chapel Hill Cultural Arts Commission.

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

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Ethnicity *

☒ African American

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Writer and artist

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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☒ I Agree *

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Profile

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Public Records Statement

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☒ I Agree

kemisakassa2@gmail.com

Email Address

Kemisa

First Name

Kassa

Middle Initial

Last Name

204 Valley Park Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (984) 215-8262

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

former member

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am graduating from a Women Gender and Sexuality Studies masters program this May. In my program I had the opportunity to critically think, interrogate social issues and incorporate multiple perspectives on how I view the world. I want to be apart of this board because I value art in its ability to promote community and critically thinking on all its viewers no matter their age, race, gender, class, sexual orientation, immigration status, or religion.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have a lot of experience working on teams and volunteering in the community. I value making connections and building bonds and I believe these values are important when working to serve a diverse community. The skills I bring are cultural competency, critical thinking, creative problem solving, compassion and leadership experience. I am interested in several types of art styles including mixed media, panting, murals, and graphic design.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ African American

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Administrative Assistant

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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Profile

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☒ I Agree

nolajen@gmail.com

Email Address

Jennifer (jenni)

First Name

Lawson

Last Name

Middle Initial

726 Bradley Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (504) 388-4853

Primary Phone

Alternate Phone

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What district do you live in? *

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If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

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Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Email

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Back in New Orleans, I was involved with music (classical and jazz mostly, but also rock and other genres) and the literary scene. (I produced a literary radio show and live music shows which put me in close contact with the whole scene.) I also have great interest in the fine arts. I was raised with a key appreciation for the arts, so I am very invested in the practice and promotion of the arts. I have also served on the commission October 2018.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

By trade, I am an audio engineer and producer. For enjoyment, I am an amateur budding artist. I can write well and have music experience and knowledge of many genres. I come to this commission from a position of appreciation, and knowledge of media and inner workings of arts organizations. I am also a person with high ethical standards.

[Lawson_resume_2018.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

audio engineer

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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Jenni Lawson

726 Bradley Rd. Chapel Hill, NC 27516 (504)338-4853 nolajen@gmail.com

Radio Experience

WWNO 89.9 fm (New Orleans), Production Manager, 1994-2017

- Oversee all of WWNO's studio production, including the management of ISDN and studio rentals, supplies, maintenance, and training of staff.
- Produce music and talk programs for WWNO, including *The Reading Life*, *Continuum*, and *Where Y'Eat*. Past shows include *Rendez-Vous*, *Bach On Sunday*, and *Crescent City*.
- Record remote classical music performances for broadcast.
- Produce concert recordings for *New Orleans in Concert*.
- Serve as Broadcast Coordinator for the international program *Le Show with Harry Shearer*.

New Orleans Hornets/Pelicans (NBA), Radio Engineer, 2002 – 2017

- Set up and engineer courtside equipment for game broadcasts of visiting teams at Hornets/Pelicans home games, including the LA Lakers, NY Knicks, and Chicago Bulls.
- Serve as Board Operator and Engineer for live Hornets broadcasts.
- Engineer *The Gerry V Show*, (2002 – 2004).

Tulane Football Radio, Producer/Engineer 2007- Present

- Set up and engineer on-site equipment for game, pre-and-post-game broadcasts, both at home and on the road.

Freelance Sporting Events Engineer 2003- Present

- Set up and engineer on-site equipment for game radio broadcasts for visiting NFL, college football, and college basketball teams.

WWOZ 90.7 fm (New Orleans), Recording Engineer, 2007 - present

- Assist in the remote recording and live broadcasts of festival concerts, including the New Orleans Jazz & Heritage Festival.

New Orleans Voodoo (Arena Football League), Radio Engineer, 2004 – 2008

- Set up and engineer on-site equipment for game broadcasts of visiting teams at Voodoo home games.

KUHF 87.7 fm (Houston, TX), Production Assistant, 2005

- Assist in the remote recording of classical concerts.
- Edit HSO concert recordings into broadcasts and other assigned production work.

Freelance Field Producer/Stringer, 1996 – Present

- Remote audio gathering for NPR, PRI, APM, CBC, BBC, *The Osgood Files*, and others.

WTIX 690 am (New Orleans) *The Mike Church Show*, Intern, 1994

- Kept log, pulled carts, screened phone calls, served as on-air "sidekick", wrote and distributed press releases, light production work, substitute board op.

WWNO 89.9 fm (New Orleans), Production Assistant, 1991-1994

- Assisted in recording of classical concerts and live broadcasts of classical and jazz concerts.
- Made requested dubs of concerts and programs.

WTUL 91.5 fm (New Orleans), DJ/Announcer, 1993 -1996

KLSU 91.1 fm (Baton Rouge), Chief Announcer, 1986 -1987

- Hired, trained, supervised, and disciplined all announcers.
- Assigned announcer/program schedule.
- Also took over the production and promotion duties of the Program Director, 1987.
- Editor of KLSU newsletter.

KLSU 91.1 fm (Baton Rouge), DJ/Announcer, 1985 -1988

Editing is my forte, and I have experience in Audition, Protools, Wavelab, and Sadie, though I adapt easily to new technologies.

Other media experience includes several aspects of film production, television/video production, and print media.

Awards

Named to *Gambit Weekly's* "40 Under 40" list of outstanding people in New Orleans under 40 years old; November 18, 2004 issue.

Education

B.A. in Drama and Communications, 1995, University of New Orleans

- Study emphasis on Film Production and Television/Video Production
- 4.0 GPA on all work in major, Dean's List every semester
- Minor in Psychology

Associate Degree in Television, 1989, WKG Video and Electronic College (Baton Rouge)

- Highest Scholastic Award

Louisiana State University, Broadcast Journalism major, 1984-1987

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

dantem27@gmail.com

Email Address

Dante

First Name

E

Middle Initial

Mcintyre

Last Name

425 Hillsborough Street

Street Address

Apt 306

Suite or Apt

Chapel Hill

City

NC

State

27707

Postal Code

Mobile: (919) 695-6645

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Orange County-ETJ (Blue)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Just helping the community

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Just helping the community

[IMG_0167.PNG](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ African American

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Associate

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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4:41

my.indeed.com

Dante McIntyre

Durham, NC 27707

dantem27@gmail.com

+1 919 937 8219

Authorized to work in the US for any employer

Willing to relocate anywhere

+

 Add your headline or summary

Work Experience

+

Stocker

BJ's Wholesale Club - Stoughton, MA

June 2019 to Present

Recover clerk, stocking

Store Clerk

Harris teeter

August 2017 to May 2019

Many customer calls about my excellent customer service and I received a letter from the head of the company in recognizing my customer service

Scheduling Coordinator

Bosch - Boston, MA

January 2012 to January 2016

I have multiple years of experience in scheduling not only for my occupation, but also for non paid internships along with volunteering my time for our community

Profile

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Public Records Statement

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☒ I Agree

canalady@gmail.com

Email Address

Rebecca

First Name

B

Middle Initial

Rogers

Last Name

102 Copperline Drive

Street Address

Apt. B

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (706) 825-1601

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

- ☒ Brochure
☒ Speaker at an event
☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

People's Academy

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a former board member of the Greater Augusta Arts Council, the non-profit entity that serves as the official public art agency for Augusta, GA govt. I served 3 years on its Public Art Advisory Panel, one chair-elect, half a year as chair. I am not a working artist myself but have experience with the "back-of-the-house" work involving grant applications, developing calls for art, and jurying artists' submissions. I served 2 terms on the Board of Trustees of Historic Augusta, a private, nonprofit membership organization dedicated to the preservation of the historic built environment of Augusta and Richmond County, GA. Prior to retirement, I worked for the Augusta Canal National Heritage Area, an affiliated unit of the National Park Service. I have participated in a number of nonprofit board member trainings offered by the Georgia Center for Nonprofits and similar entities.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I grew up in Chapel Hill, leaving after I earned my undergraduate degree in 1975. I'm happy to have returned to what I consider my 'hometown.' now that I'm retired. I still have family connections here, including my brother Michael Brown, an artist who created many of the town's first murals. I worked in non-profit marketing, communications, and program development for most of my career. I have written a number of successful small to mid-sized grants for arts and historic preservation projects. One in which I take special pride is the successful effort to save the "Mother" church of the CME denomination, an African-American denomination that traced its origin to Augsuta in 1845. I wrote a number of grants in support of this work and coordinated the project which involved moving the structure from a contaminated site to a safe location.

Question applies to Historic District Commission

Do you have special interest, experience, or education/training in history, architecture, archaeology, or related fields? If yes, please explain.

I received an AB in American Studies from UNC-CH in 1975. My career has given me occasions to work with the National Park Service, the National Trust for Historic Preservation, the Georgia Trust for Historic Preservation, Partners for Sacred Places, and other similar entities.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

retiree. Former
communications and
marketing manager

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

zenmp@hotmail.com

Email Address

Ray

First Name

Schwartz

Last Name

2017 south lakeshore drive

Street Address

Suite or Apt

Chapel hill

City

NC

State

27514

Postal Code

Home: (919) 975-4922

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

was brought to my attention by a friend

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a native Chapel Hillian, educated in the CHCCS system. I was introduced to serious arts education at Phillips Junior High and leveraged that training (and a 10th grade year at Chapel Hill High) to access the North Carolina School for the Arts for the remainder of high school. I attended the Virginia Commonwealth University for undergrad, enjoyed a successful 13-year professional career in dance, arts advocacy, and community engagement facilitation, undertook graduate study at the University of Texas at Austin, and have recently completed 16 years as a teacher and administrator in an international institute of higher education. Since 1992, have worked regionally, nationally, and internationally in multiple roles in education and administration, congress and arts festival coordination and production, and community engagement facilitation. Over the years I have been responsible for the generation, implementation, and supervision of an array of national and international projects where a wide spectrum of institutional stakeholders, public officials, activists, students, community businesses, and other interested parties collaborated to support cultural exchange and coalition building. I am versed in the planning, coordination, logistics, promotion, and realization of projects which include wide varieties of content, diverse formats, and multi-focal partnerships. I believe in the transformative power of education and art practice - which I have nurtured, performed, taught, and administered throughout my career. I aim to foster the development of citizen artistry, and the ability to articulate corporeal and expressive discourses that contribute successfully to the goals of students, colleagues, and the communities in which we act. My principal focus is Dance and related movement arts. I began, though, in Theater and Musical Theater and have collaborated with actors, directors, playwrights, composers, production specialists, and dramaturgs in a variety of creative contexts over my career. I have a long history of collaboration with live musicians within dance education contexts, and with choral ensembles, electronic music artists, rock and reggae bands, symphony orchestras, chamber groups, composers and more in the realization of interdisciplinary performance projects. As well, in projects like the annual Eyes, Ears and Feet festival, a collaboration incubator between musicians, composers, dancers, choreographers, and visual media artists at the University of Texas at Austin, where each year new interdisciplinary collaborations were generated, I was the co-artistic and administrative director from 2004-2006. I am also very familiar with visual arts practices as I have been involved in a multitude of collaborations with artists and scenographers in distinctive media for the greater part of my professional life.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am interested in serving on the board because I have experience in board service and believe in the idea of generating collective movement towards a specific purpose. My core values in regard to this are transparency, collaboration, communication, accountability and inclusivity. The values and actions that would guide the processes and execution of my service are the following: Actively seeking to recognize and encourage the strengths and potentials of the people I work with in order to promote an environment that supports excellence. Honoring humanity and individuals, in that one recognizes the affective and behavioral aspects of colleagues as important contributions to a productive professional environment. Cultivating mutual responsibility, in which shared impulses are valued and harnessed towards the realization of visionary proposals for creative growth. Fostering an environment conducive to the free exchange of ideas, in which all stakeholders are encouraged to both listen and speak with consideration and civility when working together to achieve common interests, with the understanding that sometimes we will agree to disagree. Here is some relevant experience to add to my application: BOARD OF DIRECTORS: INTERNATIONAL SOMATIC MOVEMENT AND THERAPY ASSOCIATION. (2020-PRESENT) • Finance committee. • Standards and Practices committee • Co-chair of the equity, justice, and accessibility committee. LANGUAGES: Native English speaker. Fluent proficiency in spoken and written Spanish communication and comprehension. COMMUNITY ENGAGEMENT AND ARTS FESTIVALS Developed, planned, and coordinated: vision, logistics, communication, operations, promotion, programming, and collaboration for arts and culture festivals and educational intensives www.performatica.org, www.zenmonkeyproject.com. (2001-2020) EDUCATION AND PROGRAM ADMINISTRATION Taught courses and coordinated program. Managed resources, recruited faculty, increased enrollment and community participation. Developed methodologies for excellence, assessment, evaluation, advising, and attended to daily caretaking requirements. Universidad de las Américas Puebla, San Andrés Cholula, Puebla, México. <https://blog.udlap.mx/danza/> (2006 – 2022) MOVEMENT ARTS COMPANY CREATION AND MANAGEMENT Created choreography, performed in work by others, worked with multi-disciplinary collaborators, initiated community engagement projects. Directed marketing, public relations, grant writing, educational and service outreach. Steve's House Dance Collective, Zen Monkey Project, Them, and Sheep Army/Elsewhere dance Theater. (1992-2006) INDEPENDENT ARTMAKING, RESEARCH, SCHOLARSHIP, AND JOURNALISM Participated in and presented results in numerous regional, national, and international conferences, performances, community settings, and publications. (1992-Present)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

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Ethnicity *

☒ Prefer not to Answer**Gender ***

☒ Male**If other, please describe:**

Please select your age from the following list. *

☒ 35-54**Education**

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No**Have you participated in the Peoples Academy?**

☐ Yes ☒ No**Are you a Town of Chapel Hill employee?**

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Profile

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Public Records Statement

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☒ I Agree

hinzworld@gmail.com

Email Address

Laurie Hinzman

First Name

White

Middle Initial

Last Name

309 Glenwood Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (919) 442-8654

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Cultural Arts Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Peoples Academy

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I served on a neighborhood committee for the town of South Orange, NJ I have a professional background in Design and Design leadership. Strong interest in Art, Dance, and other Cultural Activities

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Interest in the Chapel Hill community and its future. Management experience.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

I do not have training in architecture or building. I have a strong interest and passion.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Artist, Real Estate Broker

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 22., **File #:** [23-0464], **Version:** 1

Meeting Date: 5/24/2023

Appointments to the Historic District Commission.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Historic District Commission for three seats.



Attachments:

- Council Committee Recommendation
- HDC Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Council Committee: Historic District Commission Interviews
(Council Members Parker and Ryan)

SUBJECT: Recommendation for the vacancy(s)

DATE: May 18, 2023

RECOMMENDATION: The Council Committee: Historic District Commission Interviews met on Thursday, May 18, 2023 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Polly Van de Velde, Reappointment, Town Resident and ETJ members
- Josh Gurlitz, Reappointment, Town Resident and ETJ members
- Rebecca Rogers, Appointment, Town Resident and ETJ members

SPECIAL REQUEST(s): The Committee supports the Historic District Commission recommendations.

BACKGROUND: The Committee expects that Polly Van de Velde and Josh Gurlitz will continue to do an excellent job on the board. The Committee sees Rebecca Rogers professional preservation work done in Augusta, Georgia and her participation in the Peoples Academy as an asset to the Commission.

Note: Communications and Public Affairs notes that the Council Committee reviewed the following applications: Polly Van de Velde, Rebecca Rogers, and Josh Gurlitz, and Nikkima Santos.

MEMORANDUM

TO: Mayor and Town Council

FROM: Anya Grahn-Federmack, Principal Planner

SUBJECT: Recommendation for the vacancy(s)

DATE: May 10, 2023

RECOMMENDATION: The Historic District Commission (HDC) met on Tuesday, May 9, 2023, and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Polly Van de Velde, Reappointment, Historic District Commissioner
- Rebecca Rogers, Appointment, Historic District Commissioner
- Josh Gurlitz, Reappointment, Historic District Commissioner

SPECIAL REQUEST(s): No Comment

BACKGROUND: The Historic District Commission recommended the appointments of Polly Van de Velde, Rebecca Rogers, and Josh Gurlitz.

They chose to take no action on the application of Nikkima Santos as she was not in attendance and they did not take action on Phillip "Ty" Chapman as he had withdrawn his application for the HDC.

Note: Communications and Public Affairs notes that the Historic District Commission reviewed the following applications: Polly Van de Velde, Rebecca Rogers, and Josh Gurlitz, and Nikkima Santos. No additional applications were received between May 9, 2023, and May 17, 2023, for the Historic District Commission.

BALLOT
HISTORIC DISTRICT COMMISSION

MAY 24, 2023

Total Membership: 9 (Nine (9) Town Residents and ETJ)
Current Membership: 9 (3 Female, 6 Male; 9 Caucasian; [3] 35-54, [6] over 55)
Upcoming Vacancies: 3
Number of Applicants: 4

Town Resident
Please vote for up to three (3) applicants.

_____ Josh Gurlitz (incumbent)
_____ Rebecca Rogers*
_____ Nikkima Santos
_____ Polly Van de Velde (incumbent)

**Applicant applied for more than one board.*

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

josh@joshgurlitz.com

Email Address

Josh

First Name

Gurlitz

Last Name

208 Spring Lane

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 929-9717

Primary Phone

Home: (919) 537-5875

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Historic District Commission: Eligible

Which Board is your First Choice? *

☒ Historic District Commission

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have lived in the East Rosemary district for 40 years. I will bring the perspective of a district resident with a strong background in design. My interests include historic residential and commercial architectural expression as well as an interest in urban morphology (how villages and towns grow and develop over time).

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am an architect with an interest in both historic and contemporary design. I have also received an award from the American Planning Association (APA) for my work as a volunteer planner and urban designer. I have served on the HDC in the 1980's and have served on other town commissions including several Comprehensive Plan update teams.

Question applies to Historic District Commission

Do you have special interest, experience, or education/training in history, architecture, archaeology, or related fields? If yes, please explain.

Yes. I have an undergraduate degree in Architecture, a Masters of Architecture (both from Syracuse University). I have studied the history of domestic design (development of house forms and design from pre-history through the 1970's). I have worked professionally to restore buildings on the National Register of Historic Places and on buildings within historic districts.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Architect

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree *

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Profile

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Public Records Statement

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☒ I Agree

canalady@gmail.com

Email Address

Rebecca

First Name

B

Middle Initial

Rogers

Last Name

102 Copperline Drive

Street Address

Apt. B

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (706) 825-1601

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Historic District Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

☒ Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

- ☒ Brochure
☒ Speaker at an event
☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

People's Academy

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a former board member of the Greater Augusta Arts Council, the non-profit entity that serves as the official public art agency for Augusta, GA govt. I served 3 years on its Public Art Advisory Panel, one chair-elect, half a year as chair. I am not a working artist myself but have experience with the "back-of-the-house" work involving grant applications, developing calls for art, and jurying artists' submissions. I served 2 terms on the Board of Trustees of Historic Augusta, a private, nonprofit membership organization dedicated to the preservation of the historic built environment of Augusta and Richmond County, GA. Prior to retirement, I worked for the Augusta Canal National Heritage Area, an affiliated unit of the National Park Service. I have participated in a number of nonprofit board member trainings offered by the Georgia Center for Nonprofits and similar entities.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I grew up in Chapel Hill, leaving after I earned my undergraduate degree in 1975. I'm happy to have returned to what I consider my 'hometown.' now that I'm retired. I still have family connections here, including my brother Michael Brown, an artist who created many of the town's first murals. I worked in non-profit marketing, communications, and program development for most of my career. I have written a number of successful small to mid-sized grants for arts and historic preservation projects. One in which I take special pride is the successful effort to save the "Mother" church of the CME denomination, an African-American denomination that traced its origin to Augsuta in 1845. I wrote a number of grants in support of this work and coordinated the project which involved moving the structure from a contaminated site to a safe location.

Question applies to Historic District Commission

Do you have special interest, experience, or education/training in history, architecture, archaeology, or related fields? If yes, please explain.

I received an AB in American Studies from UNC-CH in 1975. My career has given me occasions to work with the National Park Service, the National Trust for Historic Preservation, the Georgia Trust for Historic Preservation, Partners for Sacred Places, and other similar entities.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

retiree. Former
communications and
marketing manager

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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☒ I Agree

santos.nikkima@gmail.com

Email Address

Nikkima

First Name

M

Middle Initial

Santos

Last Name

1718B Legion Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (984) 528-2167

Primary Phone

Mobile: (984) 528-2170

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

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Which Boards would you like to apply for?

Historic District Commission: Eligible

Which Board is your First Choice? *

None Selected

How did you find out about this opportunity? (select all that apply)

- ☒ Speaker at an event
- ☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Pam Hemmiger

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

- ☒ Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have a love of history and a desire to preserve the truth of our past. We have done amazing things as people and the trekking of oyr story is the intricate part of evolution.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I come from a long line of community organizers. In every place I've ever lived I have been a voice for the voiceless sometimes providing food, clothing and shelter to those in need. In my current community I have assisted my neighbors with resources, organized a neighborhood cleanup and an accountability system. I have instilled the importance of knowing the good and the bad of history is how we continue to take the "lead" out of the paint. History preservation is the only way we can show where we've been so we get a better idea of where we are going.

Question applies to Historic District Commission

Do you have special interest, experience, or education/training in history, architecture, archaeology, or related fields? If yes, please explain.

I always wanted to be an archeologists but didn't know how to get into the field. My parents always took us on trips where we explored places like Monticello which wouldn't have been there if people didn't feel the need to preserve history. I want future generations to have the same nostalgic memories i have. I have a natural affinity for things of the past. Even down to the furniture i choose on my home.

[Nikki_Cv_updated.docx.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ American Indian/Alaskan Native Aleutian

Gender *

☒ Prefer not to say

If other, please describe:

Please select your age from the following list. *

☒ 35-54

DEVELOPMENTAL COACH

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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NIKKIMA M. SANTOS

1718B Legion Rd. Chapel Hill, NC 27517 cell 347-440-2071 fax (888) 506-6695 nikkima.santos@gmail.com

SUMMARY

Seasoned sales and marketing professional with strong leadership skills.

Works well independently in a fast paced environment with a proven track record of exceeding quotas set.

KEY SKILLS

Office Skills:	<i>Office Management</i>	<i>Accounts Receivable</i>	<i>Calendaring</i>
	<i>Records Management</i>	<i>Accounts Payable</i>	<i>Front-Desk Reception</i>
	<i>Database Administration</i>	<i>Spreadsheets/Reports</i>	<i>Executive Support</i>
	<i>Bookkeeping</i>	<i>Event Management</i>	<i>Travel Coordination</i>
Computer Skills:	<i>MS Word</i>	<i>MS Outlook</i>	<i>Windows</i>
	<i>MS Excel</i>	<i>MS Publisher</i>	<i>Citrix</i>
	<i>MS PowerPoint</i>	<i>FileMaker Pro</i>	<i>Oracle</i>
	<i>Kronos</i>	<i>Unify</i>	<i>Lotus Notes</i>

RELEVANT ACCOMPLISHMENTS

As a At Home Reservationist at Hyatt

- Responsible for making and canceling reservations.
- Pitching and transferring customers to credit card service
- Booking convention block. reservations in Passkey

As a Sales and Service Representative at 1800flowers.com:

- Responsible for placing orders and resolving customer's delivery and billing issues.
- Top Seller and consistently received excellent customer survey ratings
- Responsible for the effective and efficient handling of customer needs
- Completed transactions in real-time, while working simultaneously with multiple software applications.
- Consistently followed up on promises and commitments on a timely basis.
- Problem solved and appropriately identified and escalated unresolved issues.
- Consulted with managers and other work staff via instant messenger in order to get customers issues resolved quickly and efficiently.
- Received excellent reviews on all management reviews and surveys.

As a Secretary at Saint Peters University:

- Aided in the management of three departments bookkeeping (accounts payable & receivable).
- Assigned & supervised daily college tasks for college work study students.
- Assisted in the coordination of the Association of Jesuit Colleges & Universities conference on Multicultural Affairs.
- Provided daily reception and administrative support for up to four departments. Prepared annual reports.
- Aided in coordination of multiple college functions including parties, award ceremonies & banquets.
- Scheduled meetings and appointments and handled all travel arrangements.

As an Administrative Assistant at Hoffman LaRoche Pharmaceuticals:

- Conducted Oncology research utilizing companies' library and online search engines.
- Prepared statistical and annual reports.
- Handled all travel arrangements for 2. managers.
- Made arrangements for onsite and telephone conferences.

WORK HISTORY

2018-Present **Guest Services**
Hyatt (home)

2016-17	BDC Guest Services	Performance Auto Mall	Chapel
Hill, NC 27517			
2015-16	Outbound Sales Agent	Time Warner Cable, Morrisville, NC	
2011-13	Sales and Service Representative	1800 flowers.com, Dallas, TX	
2011-12	E Storage & Sales Representative	Uhaul.com, Dallas, TX	
2001-03	Secretary	Saint Peter's University, NJ	
1999-08	Receptionist	Nightingale Bamford School, NY	
1999-08	Administrative Assistant	Dr. Samuel Guillory, Ophthalmologist, NY	
1999-08	Editor's Assistant	Pearson Education Publishing, NY	
1999-99	Administrative Assistant	Hoffman LaRoche Pharmaceuticals, NJ	

EDUCATION

Current coursework in Urban Studies and Public Policy, BA Saint Peter's University Jersey City, NJ

James J. Ferris High School, Diploma, Jersey City, NJ

Profile

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Public Records Statement

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☒ I Agree

polly.vandavelde@gmail.com

Email Address

Maria (polly)

First Name

Middle Initial

.van.de Velde

Last Name

832 Pinehurst Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Home: (919) 619-2171

Primary Phone

Home: (919) 619-8491

Alternate Phone

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What district do you live in? *

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[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

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Which Boards would you like to apply for?

Historic District Commission: Eligible

Which Board is your First Choice? *

☒ Historic District Commission

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

current member

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a current and past member of the Community Design Commission, I have gained a broad perspective of land planning and development issues. Having been involved from the beginning on evaluating and helping redefine the requirements related to the Blue Hill District, I appreciate the complexity of setting standards and policies that both satisfy the many factions of Chapel Hill citizenry, and the development needs of a town that will continue to grow. The importance of setting policy that will result in everyone feeling a sense of ownership is of tantamount importance. Having also been party to much of the negotiation regarding the Eastowne-UNC Healthcare development agreement, I appreciate the challenges for the town to enhance the experience of town residents while maintaining a collaborative relationship with the University.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Involvement in town projects have included Chapel Hill 2020, membership on the Obey Creek Compass Committee and participation in developing the design guideline manual for Blue Hill. My skill sets include good listening, communication, team building and interviewing. From many years working in medical research I have statistical and analytical skills as well. I would like the opportunity to continue working to enhance town well being.

Question applies to Historic District Commission

Do you have special interest, experience, or education/training in history, architecture, archaeology, or related fields? If yes, please explain.

In specific regard to suitability for membership on the Historic District Commission I appreciate the need to preserve and protect the parts of Chapel Hill that have historical as well as architectural importance. They are part of the fabric of the entire town that deserve special consideration. My longstanding special interest in architecture has been honed by my Community Design Commission tenure. I grew up in New England with a long tradition of preservation. The house I grew up in was built in 1848. I appreciate historical design elements and preserving their integrity. I am currently a member of the HDC and have served as Deputy Vice Chair for past year and the current year. As a member of the HDC sub-committee that has been working on promoting and enhancing awareness of the historic districts as well as historical events and places within the town, I would like to continue to move that effort forward.

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Psychiatric Social Worker-
Retired

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 23., **File #:** [23-0465], **Version:** 1

Meeting Date: 5/24/2023

Appointments to the Orange Water and Sewer Authority Board of Directors.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Orange Water and Sewer Authority Board of Directors for two seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Council Committee: Orange Water and Sewer Authority Board of Directors Interviews
(Council Members Huynh, Miller-Foushee, and Parker)

SUBJECT: Recommendation for the vacancy(s)

DATE: May 18, 2023

RECOMMENDATION: The Council Interview Committee: Orange Water and Sewer Authority met on Thursday, May 18, 2023 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Kyle Onda, Appointment, Town Resident
- Amanda Frisard, Appointment, Town Resident

SPECIAL REQUEST(s): None

BACKGROUND: Kyle Onda was highly recommended by some of the people already on the OWASA board. He also has academic and professional experience dealing with water issues. Amanda Frisard has a combination of diversity and represents people with disabilities. She's also participated in the Peoples Academy which shows her commitment to the town and community service. Her background in business administration could bring a level of expertise to the board.

Note: Communications and Public Affairs notes that the Council Interview Committee: Orange Water and Sewer Authority reviewed the following applications: Ryan O'connor, Nilay Patel, Amanda Frisard, Kyle Onda, La-eula Davis, Jesus Gonzalez-ventura, Brian Sanders and Aaron Westrick.

BALLOT**ORANGE WATER AND SEWER AUTHORITY ADVISORY BOARD OF DIRECTORS****MAY 24, 2023**

- Total Membership: 9 (The OWASA Board of Directors is composed of nine (9) members: five (5) appointed by the Council of Chapel Hill (must be residents of the Town of Chapel Hill); two (2) appointed by the Council of Carrboro; and two (2) appointed by the Orange County Commissioners.
- Any vacancy in membership on the Authority shall be filled for the unexpired term by the political subdivision which made the original appointment.)
- Current Membership: 8 (0 Female, 4 Male, 4 did not answer; 3 Caucasian, 1 Hispanic, and 4 did not answer; [0] 18-24, [0] 25-34, [2] 35-54, [2] over 55, and [4] did not answer)
- Current Vacancies: 1 (Town Resident)
- Upcoming Vacancies: 1 (Town Resident); 1 (Orange County Resident)
- Number of Applicants: 8

Orange Water and Sewer Authority Board of Directors
Please vote for up to two (2) Town applicants.

_____ Le-eula Davis
 _____ Amanda Frisard*
 _____ Jesus Gonzalez-ventura
 _____ Ryan O'connor

_____ Kyle Onda
 _____ Nilay Patel
 _____ Brian Sanders
 _____ Aaron Westrick

**Applicant applied for more than one board.*

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

aaron.westrick@gmail.com

Email Address

Aaron

First Name

Westrick

Last Name

703 Highgrove Dr.

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (919) 225-7548

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Question applies to Chapel Hill Downtown Partnership

Select a Seat Category for the Chapel Hill Downtown Partnership *

☒ Chapel Hill Town Resident

Which Board is your First Choice? *

None Selected

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

e-mail from Sarah Poulton given my previous involvement in People's Academy

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I'm a 16-year resident of Chapel Hill and was part of a group that bought the Lumina Theater in 2019 to keep it alive. We were initially successful in getting the business on the right track after taking over in November and were successful in charting a new course given COVID getting outdoor movies running (safely) and taking the time to complete indoor renovations. My current non-profit involvement includes being a board member with Strowd Roses Foundation, Treasurer of the Carrboro Athletic Boosters, and Assistant Scout Master for BSA Troop 39. Professionally, I'm a finance executive (currently CFO of a marketing services company) with a passion for business, and I would love to be part of continuing to strengthen Chapel Hill's downtown for years to come.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

My professional background is in finance, strategy, acquisitions, and consulting. My family loves living in a college town and the breadth of enriching opportunities it brings in a relatively small package. As I mentioned, I have a passion for business and strengthening the community I love and would look forward to the opportunity to be part of the OWASA Board. I am also keenly interested in the Chapel Hill Downtown Partnership.

[Aaron Westrick Resume 2022.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Finance

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

AARON T. WESTRICK

Chapel Hill, NC • 919-225-7548

aaron.westrick@gmail.com • www.linkedin.com/in/aaron-westrick

OVERVIEW

Accomplished CFO with significant board and private equity experience and broad finance, strategy, and business analytics background as well as P&L leadership experience. Bring a broad perspective to the finance function through a blend of experience in consulting, general management, IT, and corporate and operational finance. Leverage strong business partnerships, analytical skills, and high performing team leadership to deliver insights and action. Keen ability to see the big picture and connect details to align strategy and drive execution. Instrumental in leading the growth and ultimate sale of LORD Corporation to Parker Hannifin for 16.5x EBITDA.

STRENGTHS

Strategy
Business Analysis
Management
Financial Planning & Analysis

Mergers & Acquisitions
Treasury, Pension/401k, & Risk

Accounting, Consolidation & Reporting

EXPERIENCE

Ruffalo Noel Levitz (RNL)

2020 - 2022

RNL is a \$150MM private equity owned, tech-enabled marketing services firm serving the higher education market.

CFO

- **M&A** - Signed and closed a key acquisition during first 45 days delivering key technologies and talent.
- **Business Management** - Implementing accountability framework to drive business execution.
- **Cash Flow** - Identified and executing on \$10MM working capital and \$1MM cost improvements.

PARKER HANNIFIN / LORD CORPORATION

2005 - 2020

LORD Corporation was a \$1B private global manufacturing company focused on specialty adhesives and vibration and motion control. LORD was sold to Parker Hannifin in 2019.

Director, Finance & Controller - Cary, NC

2016 - 2020

Reported to CFO and led a 25-person team responsible for all finance functions (except tax, treasury and audit) as well as leading strategy.

- **Corporate Sale** - Core team member delivering sale of the company for \$3.7B (16.5x EBITDA) to Parker Hannifin.
- **Board Involvement** - Attended all Board meetings and facilitated Strategy Committee meetings.
- **Restructuring** - Oversaw planning and implementation to reorganize business units to streamline for growth and deliver \$15MM of cost savings.
- **Relentless Focus on Cost** - Championed enterprise-wide program yielding savings of \$10MM/year.
- **Speed/Automation/Analytics** - Drove efficiency and built a scalable architecture and analytics capability.
 - o Compressed the month-end close schedule to 4 days from 6.
 - o Streamlined account reconciliation thru implementation of Blackline online tool.
 - o Implemented PowerBI platform to automate reporting and provide dynamic business insights.
 - o Redeployed resources to business finance support roles.

- **High Performance Team** - Upgraded talent and finance function capabilities to deliver on growth goals.
 - Rebuilt a significant portion of the team and restructured for efficiency and business alignment.
 - Partnered with businesses to deliver cross-functional training and deepen working relationships.
 - Shifted corporate resources to focus on manufacturing support and succession planning.

Director, Strategy & Corporate Development - Cary, NC

2013 - 2016

Reported to CFO and led a 5-person team. Delivered on a mandate to develop and implement growth strategy.

- **Corporate Development** - Developed acquisition strategies, identified and cultivated targets, developed investment theses, and led valuation, due diligence, negotiations, and closing of deals.
 - Developed network of 75+ advisors and business contacts to drive opportunities and execution.
 - Evaluated 50+ opportunities across Aerospace, Chemicals, Sensing, and Oil & Gas.
 - Completed three acquisitions ranging in size from \$5MM to \$50MM.
- **Strategic Planning** - Developed business-level growth strategies and execution framework.
 - Developed new strategic planning framework focused on accelerating the company's growth.
 - Actively managed initiative portfolio across business units to drive prioritization and execution.
 - Championed development and implementation of balanced metrics beyond financial ones including Net Promoter Score and Return on Innovation Investment.

General Manager, EPM Global Business - Cary, NC

2013

Reported to COO with P&L responsibility for \$300MM global business unit representing 35% of the LORD's sales and 50% of profits. Set the global strategy and lead cross functional teams of sales/marketing, technology, and operations.

- **Pricing/Branding** - Actively managed price segmentation strategy across brands and regions to maximize and defend share and portfolio value.
- **Technology Roadmaps** - Oversaw development of roadmap and related portfolio prioritization to drive offensive and defensive strategies for this high share business.
- **Manufacturing/Distribution** - Managed global manufacturing and distribution network to maximize profit.

Director, Finance & IT [Division CFO] - Europe - Geneva, Switzerland

2010 - 2012

Reported to regional President and managed 18-member team. Responsible for leading all aspects of the \$175MM region's finance and information systems activities across 12 countries.

- **Corporate Strategy** - Member of the company's corporate strategy core leadership team.
- **Finance/Accounting** - Significantly upgraded accounting rigor and developed regional FP&A capabilities.
 - Led risk assessment and established accounting policies that reduced adjustments by 95% (>\$3MM).
 - Established a Business Analysis function to support key decisions for investments, pricing, channel strategies, business profitability, and manufacturing strategy.
 - Streamlined planning/forecasting processes and increased engagement with key regional and U.S. leaders.
 - Successfully managed difficult situations such as demotion of my predecessor and several reorganizations.
- **Information Systems** - Elevated team from local to pan-regional/global and implemented execution rigor.
 - Built capabilities by doubling the group staffing and reorganizing along functional lines.
 - Implemented portfolio process for timely/prioritized project management.
 - Expanded regional Manager's role to oversee all non-U.S. ERP systems.

Director, Treasury & Business Analysis - Cary, NC

2007 - 2010

Reported to CFO and led 6-person team. Managed all aspects of the company's Treasury, Retirement Plans, and Insurance as well as Business Analysis.

- **Debt** - Executed debt restructuring in the midst of the financial crisis in February 2009.
- **Tax Strategies** - Partnered with Tax on tax-neutral strategies to repatriate \$30MM from China and Europe.
- **Cash Pooling** - Implemented international notional cash pool allowing 90% reduction of operating cash.
- **International Banking** - Consolidated European cash management under a single platform.
- **Pension & 401k** - Overhauled and strengthened pension and 401k management advisory structures.
- **Insurance** - Initiated international broker RFP and transition from adhoc network to a globally integrated broker.
- **Divestitures** - Provided valuation and financial leadership to divest two business lines of \$8MM and \$15MM.

Manager, Business Analysis - Cary, NC

2005 - 2007

Managed 4-person corporate team. Responsibilities included M&A, business profitability review, manufacturing strategy, pricing, treasury/tax strategy, and capital planning. Started with LORD as a Business Analyst in 2005.

PFIZER - New York, NY / Dublin, Ireland

2003 - 2005

Manager, Treasury Planning

2004 - 2005

Corporate Finance Development Program

2003 - 2004

DELOITTE CONSULTING - Cincinnati, OH

1999-2001

Developed analyses to support strategic and operational decisions and implement change at a variety of companies.

EDUCATION

MBA, **MIT SLOAN SCHOOL OF MANAGEMENT** - Cambridge, MA

2001 - 2003

BS / Electrical Engineering, **MICHIGAN STATE UNIVERSITY** - East Lansing, MI

1994 - 1998

Profile

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☒ I Agree

77bsanders@gmail.com

Email Address

Brian

First Name

Sanders

Last Name

Middle Initial

412 Clayton Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 260-2286

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Question applies to Environmental Stewardship Advisory Board

Select a Seat Category for the Environmental Stewardship Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Orange Water and Sewer Authority (OWASA) Board of Directors

How did you find out about this opportunity? (select all that apply)

☒ Speaker at an event

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am interested in maintaining the environmental health of our community and the safety of our water. For the Water Board - I have been interested in water throughout my life, from visiting my grandparents who's house had a cistern, to co-authoring a paper on urban water catchment ponds in grad school, to helping a friend design a 27,000 gallon cistern for their house in the Texas hill country - I have been interested and concerned with our lack of respect for water. For the Environmental Board - My wife and I pick up trash through our neighborhood just about every morning, to date we have collected over 680 large bags of trash. This has made me come to realize that if that much trash is on just the streets we walk in the morning, how much more is out there and what more can we do to clean up the greater Chapel Hill. I would hope to bring a pragmatic approach to the board based on my engineering background and my general business acumen.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have read extensively on water - from conservation to treatment. I am interested in water conservation, treatment, use, catchment, storage, and water pollution. Water is an important part of our environment, but only one part, helping keep all our environment clean is very important for not only our health, the health of the animals and plants we share it with, but I believe keeping Chapel Hill an attractive place to live and work is important for the health of our community.

[Advisory Boards -
Brian Sanders.doc](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Other

Gender *

☒ Male

If other, please describe:

Two Races - Caucasian/Native American

Please select your age from the following list. *

☒ over 55

Marketing Director

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Brian O. Sanders

412 Clayton Road, Chapel Hill, NC, 27514

77bsanders@gmail.com | 919-260-2286 | www.linkedin.com/in/brian-o-sanders

September 25, 2022

Subject: Orange Water and Sewer Authority Board of Directors & Environmental Stewardship Advisory Board

Thank you for the opportunity to submit my application for this advisory position.

I am interested in working with either the environmental or water/sewer board – to me both are essential to help maintain the appeal of living in Chapel Hill.

I have been interested in water since I was a child. Visiting my grandparents, who's house still had a cistern under their back porch, using a bucket in the shower to capture extra water during many droughts in Texas, helping a friend design a cistern and water filtration for their house in the Texas hill country have all contributed to my interest and concern for the public's general lack of respect for clean water.

Watching the news about major water infrastructure failures, the lead content in many of the pipes transporting our water, major contamination scandals – I am becoming concerned that we must get much more serious about our water infrastructure.

I would hope to bring a passionate as well as a pragmatic approach to working on the water board. And like everyone else I want to feel confident every time I turn on my tap the water will flow and it will be safe.

Water is a critical element of our environment, but only one element, and I am interested in supporting the health of our entire environment. My wife and I collect trash in our neighborhood most mornings and during the pandemic we have collected over 680 large plastic bags of trash. This amount of trash has made me realize there is a significant challenge in Chapel Hill with pollution.

I have an engineering degree as well as two business degrees. I have worked as a software developer, systems engineer, technology consultant, product manager, integration executive, and in multiple marketing positions across the technology industry.

Thank you for your consideration.

Sincerely, Brian Sanders

Profile

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Public Records Statement

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☒ I Agree

kyle.onda@ondawater.org

Email Address

Kyle

First Name

Onda

Middle Initial

Last Name

100 Valley View Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (303) 550-4432

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Which Board is your First Choice? *

☒ Orange Water and Sewer Authority (OWASA) Board of Directors

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences
What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have lived in the OWASA service area for 11 years, most of that time in Carrboro but moved to Chapel Hill last year. Most of that time, I have been a graduate student at UNC in the departments of Environmental Sciences & Engineering (MSPH '14) and City & Regional Planning (MCRP '14, PhD '22). I bring a broad perspective on the importance of water and sanitation utilities to public health, as well as its interrelationships with urban and economic development. I have studied in both the US and international contexts the challenges involved in balancing environmental sustainability, asset management, long-range planning, and water rate affordability. I have served as a consultant to water infrastructure companies and utilities in the past to evaluate prospective water rate setting and water metering practices, evaluate the impact to water demand of various water demand management programs, and to create water rate affordability and equity measures. I currently am the technical lead for "Internet of Water" project (<https://internetofwater.org>), which advocates for federal, state, and local agencies to publish findable, accessible, and interoperable water data to improve integrated water resources management, and provides technical assistance in doing so. I am also currently the co-chair of the Technology Committee of the American Water Resources Association. In these roles, I regularly interact with people and data from federal and state water quantity, water quality, and drinking water regulatory agencies, as well as academics involved in flood, drought, water quality and water use modeling. I thus bring a wide perspective on how local water and sanitation utilities can impact and be impacted by regional water quantity and quality issues.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I'm familiar with GIS, household-level water demand modeling, surface water availability forecasting, land use and environmental planning, economic Cost-Benefit Analysis, data visualization.

[CV_KyleOnda.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

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Ethnicity *

☒ Other

Gender *

☒ Male

If other, please describe:

White + Asian

Please select your age from the following list. *

☒ 25-34

Associate Director for
technology at an urban
planning think tank

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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KYLE ONDA

Chapel Hill, NC | 303-550-4432 | kyle.onda@ondawater.org

EDUCATION

University of North Carolina at Chapel Hill

PhD, City & Regional Planning

2022

MCRP, City & Regional Planning

2014

MSPH, Environmental Sciences and Engineering

2014

Stanford University

BS, Environmental Engineering

2011

Conferred with Distinction, *Phi Beta Kappa*

PROFESSIONAL EXPERIENCE

Center for Geospatial Solutions, Lincoln Institute of Land Policy

Associate Director, Internet of Water

January 2022 – Present

- Supervised development of open source water data infrastructure components for serving hydrologic feature data linked to environmental sensor data streams.
- Provide direct technical assistance water data standardization and water data infrastructure improvement projects for federal, state, and non-governmental organizations.

Xylem, Inc

Data Scientist (Consultant)

January 2021 - Present

- Developed the [Water Equity Lens](#), a proof-of-concept suite of metrics visualized in ArcGIS Online for water and wastewater utilities to evaluate the spatial and social equity of their service delivery.
- Developed data models, data standards, and data ingestion workflows for utility operational data and U.S. Census data for implementation of the Water Equity Lens with pilot client utilities.

Internet of Water, Nicholas Institute of Environmental Policy Solutions, Duke University

Data Architect

June 2019 – January 2022

- Developed community-managed system for persistent identification of environmental features and best practices for publishing data linked to these features.
- Developed templates, tutorials, and curricula for data architecture modernization and data science for local and state public agencies producing water-related data.
- Developed (successful) proposal for two \$80,000 USGS WRI grants supporting the development of an open linked water data system, and managed the resulting project.
- Convened and facilitated stakeholder meetings with representatives from Federal government agencies, state water resources and environmental protection agencies, and non-governmental organizations for mutual learning about data architecture for

- open data, and data and metadata standardization
- Created open-source software tools and community processes to aid in comparison and eventual harmonization of scientific, legal, and administrative data standards and controlled vocabularies used by federal and state agencies for water resources management and water quality science and regulation

Valor Water Analytics

Lead Statistician (Consultant)

March 2017 – December 2020

- Designed water demand and revenue forecasting tool in R based on hierarchical time series modeling of customer-level water meter data with mixed hourly, daily, and monthly frequency, daily weather observations, and parcel characteristics.
- Evaluated impact of experimental and quasi-experimental interventions to detect water leaks and encourage water conservation in Southern California
- Designed randomization blocking scheme of water bill reminder program experiment for customers at risk of bill nonpayment

Department of City & Regional Planning, University of North Carolina at Chapel Hill

Research Assistant

August 2015 – May 2019

- Compiled, managed, cleaned, analyzed nationwide parcel, real estate, aerial imagery, land cover, building footprint, and utility service areas for study of impact of U.S. Coastal Barrier Resources Act on development rates
- Compiled, managed, cleaned, analyzed, and spatially and temporally harmonized multiresolution nationwide (India) data on population, employment, climate, industrial activity, land cover, freshwater availability, groundwater levels, groundwater quality for study of drivers of urbanization in India

Jameel Abdul Latif Poverty Action Lab (Patna, Bihar, India)

Intern

May 2015 – August 2015

- Supported enumerator training and fieldwork for randomized evaluation of neighborhood-level electricity billing intervention
- Provided data quality assurance for baseline and midline surveys using statistical detection of multivariate outliers

Croatian Institute

Summer Associate

May 2014 – August 2014

- Designed data management, summary, and visualization tools in Excel for survey of financial institutions' socially responsible investment activities

Department of Environmental Sciences & Engineering, University of North Carolina at Chapel Hill
Research Assistant **August 2011 – May 2014**

- Helped conduct systematic literature review of water quality tests and water infrastructure access worldwide for study measuring the prevalence of global exposure to water supplies at high risk of fecal contamination.
- Designed, implemented, analyzed nationally representative survey of plumbing code enforcement officials to measure the legal and practical degree of last-mile domestic water safety regulation in the United States

Department of Civil & Environmental Engineering, Stanford University
Research Assistant **June 2009 – August 2011**

- Managed survey fieldwork in rural Senegal on village water system technical and financial sustainability.
- Analyzed primary household surveys and source and point-of-use water quality testing for indicator bacteria for studies of hygiene behavior and child health in Tanzania and Mozambique

South African Municipal Workers' Union
Research Assistant **March 2010 – June 2010**

- Organized, promoted, attended community meetings in peri-urban townships discussing the impacts of pre-paid water meters on community sanitation and health
- Reorganized electronic documents and records filing system for water and sanitation studies

Water Quality Control Division, Colorado Department of Public Health and Environment
Engineering Aide **May 2008 – August 2008**

- Assembled and formatted data for lakes and streams biological habitat data (temperature, DO, BOD, nitrates, phosphorous)
- Sampled streams for flow, water chemistry, periphyton, macroinvertebrate and fish populations

PEER-REVIEWED PUBLICATIONS

Marston, L., Abdallah, A., Bagstad, K., Dickson, K., Glynn, K., Larsen, S., Melton, F., **Onda, K.** et al. Water-Use Data in the United States: Challenges and Future Directions. *Journal of the American Water Resources Association* 58 (4): 485–95, 2022.

Branham, J., Kaza, N., BenDor, T.K., Salvesen, D., and **Onda K.** Removing Federal Subsidies from High-hazard Coastal Areas Slows Development. *Frontiers in Ecology and the Environment* 20 (9): 500–506, 2022.

Onda K., Tewari M. Water systems in California: Ownership, geography, and affordability. *Utilities Policy*, 72(101279), 2021.

- Branham, J., **Onda, K.**, BenDor, T., Kaza, N., and Salvesen, J. "How Does the Removal of Federal Subsidies Affect Investment in Coastal Protection Infrastructure?" *Land Use Policy*, 102, 2021.
- Onda, K.**, Branham, J., BenDor, T., Kaza, N., and Salvesen, J. "Does Removal of Federal Subsidies Discourage Urban Development? An Evaluation of the US Coastal Barrier Resources Act." *PLOS ONE*, 15(6), 2020.
- Onda, K.**, Sinha, P., Gaughan A.E., Stevens, F.R., and Kaza, N. "Missing Millions: Undercounting Urbanization in India." *Population and Environment*, 41(2):126-150, 2019.
- Bain, R., Cronk, R., Hossain, R., Bonjour, S., **Onda, K.**, Wright, J., Yang, H., Slaymaker, T., Hunter, P., Pruss-Ustun, A., and Bartram, J. "Global Assessment of Exposure to Faecal Contamination through Drinking Water Based on a Systematic Review." *Tropical Medicine & International Health*, 19(8):920-927, 2014.
- Onda, K.**, Crocker, J., Kayser, G., and Bartram, J. "Country clustering applied to the water and sanitation sector: A new tool with potential applications in research and policy." *International Journal of Hygiene and Environmental Health*, 217(2):379-385, 2014.
- Marks, S.J., **Onda, K.**, and Davis, J. "Does sense of ownership matter for rural water system sustainability? Evidence from Kenya." *Journal of Water, Sanitation, and Hygiene for Development*, 2(3):122-133, 2013.
- Onda, K.**, LoBuglio, J., and Bartram, J. "Global Access to Safe Water: Accounting for Water Quality and the Resulting Impact on MDG Progress." *International Journal of Environmental Research and Public Health*, 9(3):880-894, 2012.

LANGUAGES

English-- fluent; French-- advanced; Portuguese-- basic

SKILLS

Data Science & Architecture: R, Stata, GCP, AWS, DigitalOcean, ArcGIS, QGIS, R spatial packages, OGC APIs, GitHub, Docker.
Communication and Publishing: Photoshop, LaTeX, Markdown, R Shiny web applications

PROFESSIONAL ACTIVITIES

Co-Chair, Technology Committee, American Water Resources Association (2021-23)

AWARDS

Royster Doctoral Fellowship	May 2014 - August 2019
Best Master's Project, UNC-Chapel Hill Dept. of City & Regional Planning	May 2014
Student Achievement Award, UNC-Chapel Hill Dept. of Environmental Sciences & Engineering	May 2014
Undergraduate Summer Research Scholarship, Stanford University	June-September 2009
Undergraduate Summer Research Scholarship, Stanford University	June-September 2010

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

nilaycpatel@gmail.com

Email Address

Nilay

First Name

Patel

Last Name

Middle Initial

1012 Shagbark Court

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Home: (919) 818-8775

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Orange County-ETJ (Blue)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Which Board is your First Choice? *

☒ Reimagining Community Safety Task Force

How did you find out about this opportunity? (select all that apply)

☒ Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Prior 11 yr service in US Navy, resigned as Commander with honorable discharge. Fulltime family medicine physician. I have 4 children who go to chapel hill public schools. I have a strong interest in the safety of our community. A community cannot thrive if it's residents are not safe.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

See above.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Asian or Pacific Islander**Gender ***

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

Physician

Occupation

Are you a caregiver for or identify with a disability?

☒ Yes ☐ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

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☒ I Agree

ryan@mcspinc.com

Email Address

Ryan

First Name

C

Middle Initial

O'connor

Last Name

317 Azalea Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Home: (513) 687-4728

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Orange County-ETJ (Blue)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

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Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Orange Water and Sewer Authority (OWASA) Board of Directors

How did you find out about this opportunity? (select all that apply)

☒ Brochure

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

CPA with public and private accounting and finance experience. Currently am CFO a construction company who specializes in sewer and large diameter pipe repairs.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I love working in collaborative environments with creative folks looking for efficient solutions. In my free time, I love exploring the outdoors (hiking, playing sports, etc), cooking and travelling. My wife and I love providing experiential learning to our children where we too our just as much part of the adventure and learning - doing our best to "get comfortable being uncomfortable".

[Ryan O Connor Resume 10.27.22.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Prefer not to Answer

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 35-54

CFO

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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Contact

ryan@mcspsc.com

513-687-4728

Top Skills

Financial Analysis

Financial Reporting

Process Creation

Certifications

Certified Public Accountant

(IL, TX, working on
reciprocity in OH)

Ryan O'Connor

Chapel Hill, North Carolina, United States

Experience

Municipal and Contractors Sealing Products, Inc.

Chief Financial Officer

August 2021 - Present (1 year 3 months)

~ Leads all areas of fiscal strategy, planning, financial review, analysis and reporting for the company.

<https://mcspsc.com/>

The Guild (formerly CREA Management)

Controller

October 2019 - July 2021 (1 year 10 months)

Austin, Texas Area

~ Responsible for the review, analysis and reporting of property and management company financials.

<https://www.creacommunities.com/>

<https://theguild.co/for-living>

Christopher Investment Company

Vice President of Accounting

March 2017 - October 2019 (2 years 8 months)

Austin, Texas

~ Operational accounting, financial reporting, budgeting, tax preparation and planning, and various areas of fiscal analysis tailored for decision making.

<http://christopherinv.com>

Potbelly Sandwich Works

Senior Accountant

October 2014 - March 2017 (2 years 6 months)

Chicago, Illinois

~ GAAP accounting, financial analysis, and process improvement for all company owned Potbelly shop "occupancy" related items as well as budgeting, SEC financial reporting, internal controls and joint venture 'carve out' financial statements.

Pricewaterhouse Coopers, LLC

Assurance Experienced Associate

July 2013 - October 2014 (1 year 4 months)

Greater Chicago Area

~ Quarter and YE testing and filing for fully integrated audit clients (public companies) within the Consumer and Industrial Products industry group.

Education

Ithaca College

Bachelor of Science (B.S.), Accounting · (2009 - 2012)

Profile

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☒ I Agree

jesusxchapelhilpr@gmail.com

Email Address

Jesus

First Name

A

Middle Initial

Gonzalez-ventura

Last Name

100 Spring Meadow Drive

Street Address

202

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Question applies to Justice in Action Committee

Select a Seat Category for the Justice in Action Committee *

☒ Chapel Hill or Carrboro planning jurisdiction

Which Board is your First Choice? *

☒ Orange Water and Sewer Authority (OWASA) Board of Directors

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

During 2021 an email originated from me to Town Council in Carrboro and Chapel Hill, Councilmember Michael Parker suggested OWASA Board of Directors. After a moment of consideration and research I concur.

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

One of a working class queer male, first-generation college graduate, immigrant, son of a former Korean War Veteran and non-citizen child-care worker and domestic worker. The perspective of a great uncle of three and uncle of ten, the perspective of "one health". A perspective cognizant of the unfathomable realities those of us who struggle to thrive.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Interested in how we can work to ensure utilities are owned by the public, furthermore, make clean water, air and responsive waste removal in this region of North Carolina.

[JAGV_ResumenMayo2023.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Hispanic

Gender *

☒ Nonbinary or third gender

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Server & Self-employed

Occupation

Are you a caregiver for or identify with a disability?

☒ Yes ☐ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Jesus Gonzalez-Ventura

Education

University of North Carolina Chapel Hill	2014-2018
Bachelor of Arts in Public Policy	
Honors Carolina Laureate	
University of Cape Town (Western Province, South Africa)	2017
Honors Seminar in History of Cape Town	
Honors Seminar in Art History Methods	
Internship at NGO- Wola Nani	
University of Central Florida	2018-hold
15 credits General Social Work Practice	
University of North Carolina Chapel Hill	
Department of City and Regional Planning	2021-hold
Yoga Teacher Training at Carolina Yoga Company	2021

Job History

Academic Tutor at Self-employed	2012-2014
Dog Sitter at Self-employed	2013-2015
Host & Food Runner Sheraton Hotels	2014-2015
Academic Sitter at Middle Education Level at [(Dr. Hogan)^2] Residence	2015
Undergraduate Research Assistant at Anton Lab CAS Lab	2014
Administrative Assistant at Dr. Kyle Worsham #156543213	2015-2016
Undergraduate Research Assistant at Earp Lab	2016
Graduate Research Assistant at Dr. Reshawna Chapple LCSW, PhD	2018
Intern United Way Heart of Florida 2-1-1	2018
Pizza Maker at "Little Caesars LLC"	
Axe Throwing Coach at Axes at Armor	2020-2021
DEXA Technician/Medical Records at ("BWC PA") Dr. Andre' Hall #1760645572	2019-2020
Sex Worker at Self-employed	2019-
Host at First Watch	2021
Graduate Teaching Assistant at UNC Public Policy	2021
Counter Sales at Amante Pizza Gourmet	2021-2022
Cashier at Weaver Street Market Co-Op	2022
Community Organizer WORKING AMERICA AFL-CIO	2021-2022
Assistant Field Director at AFL-CIO	2022
Professional Fundraiser at ACLU	2023
Beginner Teacher at Durham Public Schools	2023
Server at First Watch	2023-

Skills

HIPPA Certification, eMedical Records
 Information and Referral: iCarol, REFER
 HTML, JavaScript, R, Tableau
 POS
 Spanish fluent
 IRB Document Translation
 Philanthropy, Public Speaking, Community Organizing, Canvassing, Advocacy

Profile

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Public Records Statement

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☒ I Agree

frisard30022@yahoo.com

Email Address

Amanda

First Name

L

Middle Initial

Frisard

Last Name

117 Wild Iris Ln

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (602) 369-0619

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

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If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

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Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Peoples Academy

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

My perspective related to the transportation board comes on a multitude of levels. First, I was born in North Carolina and lived in Chapel Hill from 1983-1986 while my mom was in grad school at UNC. I now live in CH with my family more that 35 years later so I can share the growth I see and how transportation can adapt to it. I also have a 10th grade daughter I drive to East Chapel Hill high school and pick up everyday so I am daily user of CH roads. My perspective related to the OWASA board is based on my belief that water in an innate human right and one that must be preserved to make sure we have access and enough for our residents. As someone who grew up in Arizona and now see the water issues they are facing, I want to continue helping to make sure Chapel Hill has all the water it needs.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

When I live in a town/city, I like to be informed and involved. This is similar to what I feel Chapel Hill offers its citizens. I have served on previous boards in towns I lived in ie Metrolina Native American Association-Charlotte, NC and Mayor's Committee for People with Disabilities-Chandler, AZ and now serve on the State (of NC) Advisory Council on Indian Education. In addition, with a bachelor's degree in Political Science/Business Administration I also have a working knowledge of how government works.

[Amandaresume1.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ American Indian/Alaskan Native Aleutian

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 35-54

SAHM

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☐ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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frisard30022@yahoo.com / **Amanda Coronado Frisard** / 602-369-0619

EDUCATION

1998 **B.A.** - Political Science/Business Administration, magna cum laude, Northern Arizona University (NAU) Flagstaff, AZ

ACTIVIITIES

2023 *town member*, Peoples Academy, Chapel Hill, NC
 Present - 2021 *council member*, State (of NC) Advisory Council on Indian Education (SACIE), Raleigh, NC
 2021 - 2019 *precinct delegate*, Precinct 140 Mecklenburg County, Charlotte, NC
 2021 - 2016 *board member*, Metrolina Native American Association (MNAA), Charlotte, NC
 2021 - 2015 *school volunteer*, Charlotte-Mecklenburg Schools (CMS), Charlotte, NC
 2015 - 2010 *board member*, Mayor's Committee for People with Disabilities, Chandler, AZ
 2010 - 2009 *co-president*, MOMS Club Ocotillo South, Chandler, AZ
 2009 - 2008 *administrative vice-president*, MOMS Club Ocotillo South, Chandler, AZ
 2008 - 2007 *2's class room parent*, East Valley JCC, Chandler, AZ

EXPERIENCE

Present - 2006 ***Homemaker/Stay-at-home Mom***
 2005 - 2002 ***Junior Decorator-Intern***, Locklear Interiors, Roswell, GA
 Assisted owner in all custom design aspects: space planning, furniture, accessories, window treatments, lighting, kitchen & bath remodeling and home builder services
 2002 - 1999 ***Analyst-Account Management Group***, BlackRock Inc., New York, NY
 Compiled quarterly/annual reports for internal/external communication, wrote RFP's for new product placement and consolidated PowerPoint reports for client investment distribution
 1999 - 1998 ***Investor Relations Account Executive***, RCG Capital Group, Scottsdale, AZ
 Oversaw publicly traded companies investor relations, organized investor conference calls, broadcast media input and instituted corporate event planning/brand marketing
 1997-1993 ***CE Intern***, State Farm Insurance, Tempe, AZ
 Administrative assistant capacities within homeowners' underwriting, auto and fire insurance claims, Human Resources and Public Relations

Profile

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☒ I Agree

davisl750@gmail.com

Email Address

La-eula

First Name

Davis

Last Name

Middle Initial

115 Culbreth Park Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (919) 810-2561

Primary Phone

Home: (919) 942-9970

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Orange Water and Sewer Authority Board of Directors: Eligible

Which Board is your First Choice? *

☒ Orange Water and Sewer Authority (OWASA) Board of Directors

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a long term resident of Chapel Hill I have seen the community develop around me without input from the labor force that makes the town run and function day by day, I have experience with the university, the school systems and the health care system.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have experience with the university, the school systems and the health care system.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ African American

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ over 55

Retired/pt

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 24., **File #:** [23-0466], **Version:** 1

Meeting Date: 5/24/2023

Appointments to the Transportation and Connectivity Advisory Board.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Transportation and Connectivity Advisory Board for three seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Josh Mayo, Transportation Planner I

SUBJECT: Recommendation for the vacancy(s)

DATE: May 15th, 2023

RECOMMENDATION: The Transportation and Connectivity Advisory Board met on Monday, May 15th, 2023 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration

- Samuel Green, Appointment, Chapel Hill Resident
- Amanda Frisard, Appointment, Chapel Hill Resident

SPECIAL REQUEST(s): The board also appreciates Bob Warren's application and recommends Warren for any future openings.

BACKGROUND: None

Note: Communications and Public Affairs notes that the Transportation and Connectivity Advisory Board reviewed the following applications: Samuel Green, Matthew Gregiore, Amanda Frisard, Ken Faulkner, Eric Plow, John Rees, and Robert Warren. No additional applications were received between May 15th and May 17th for the Transportation and Connectivity Advisory Board.

BALLOT**TRANSPORTATION AND CONNECTIVITY ADVISORY BOARD****MAY 24, 2023**

Total Membership:	9	(The Transportation and Connectivity Advisory Board consists of nine (9) members. Four (4) must be residents of the Town, one (1) bicycle advocate, one (1) greenways advocate, two (2) Regional Collaboration. In addition, one (1) will be appointed by the UNC Chapel Hill Student Body President.)
Current Membership:	8	(2 Female, 4 Male, 2- unknown; 0 Asian or Pacific Islander, 6 Caucasian, 2 unknown; [0] 18-24, [1] 25-34, [1] 35-54, [4] over 55, [2] unknown)
Upcoming Vacancies	2	(Town Resident) (UNC Chapel Hill Student)
Current Vacancies:	1	(Town Resident)
Number of Applicants:	7	

Transportation and Connectivity Advisory Board
Please vote for up to two (2) Town Resident.

_____ Ken Faulkner
 _____ Amanda Frisard
 _____ Samuel Green
 _____ Mathew Gregoire
 _____ Eric Plow
 _____ John Rees
 _____ Robert Warren

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

kgfaulkner@gmail.com

Email Address

Ken

First Name

Faulkner

Last Name

Middle Initial

519 Dogwood Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 748-0510

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

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If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

☒ Chapel Hill Resident

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Bicycle Advocate and Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

None Selected

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am an avid walker and cyclist that routinely bicycles throughout Chapel Hill. I can bring the perspective of the non-driver and also help generate ideas to reach the goal of no pedestrian/cyclist accidents to our area.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Road and mountain cyclist (2000 miles per year).

Question applies to Planning Commission

Do you have special interest, experience, or education/training in city planning, design field, environment, housing, transportation or related fields? If yes, please explain.

My interest is to promote growth but in a way that preserves the historic nature of our community.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Adjunct Faculty at UNC,
Retired Executive

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

frisard30022@yahoo.com

Email Address

Amanda

First Name

L

Middle Initial

Frisard

Last Name

117 Wild Iris Ln

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (602) 369-0619

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Peoples Academy

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

My perspective related to the transportation board comes on a multitude of levels. First, I was born in North Carolina and lived in Chapel Hill from 1983-1986 while my mom was in grad school at UNC. I now live in CH with my family more that 35 years later so I can share the growth I see and how transportation can adapt to it. I also have a 10th grade daughter I drive to East Chapel Hill high school and pick up everyday so I am daily user of CH roads. My perspective related to the OWASA board is based on my belief that water in an innate human right and one that must be preserved to make sure we have access and enough for our residents. As someone who grew up in Arizona and now see the water issues they are facing, I want to continue helping to make sure Chapel Hill has all the water it needs.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

When I live in a town/city, I like to be informed and involved. This is similar to what I feel Chapel Hill offers its citizens. I have served on previous boards in towns I lived in ie Metrolina Native American Association-Charlotte, NC and Mayor's Committee for People with Disabilities-Chandler, AZ and now serve on the State (of NC) Advisory Council on Indian Education. In addition, with a bachelor's degree in Political Science/Business Administration I also have a working knowledge of how government works.

[Amandaresume1.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ American Indian/Alaskan Native Aleutian

Gender *

☒ Female

If other, please describe:

Please select your age from the following list. *

☒ 35-54

SAHM

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☐ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree *

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frisard30022@yahoo.com / **Amanda Coronado Frisard** / 602-369-0619

EDUCATION

1998 **B.A.** - Political Science/Business Administration, magna cum laude, Northern Arizona University (NAU) Flagstaff, AZ

ACTIVIITIES

2023 *town member*, Peoples Academy, Chapel Hill, NC
 Present - 2021 *council member*, State (of NC) Advisory Council on Indian Education (SACIE), Raleigh, NC
 2021 - 2019 *precinct delegate*, Precinct 140 Mecklenburg County, Charlotte, NC
 2021 - 2016 *board member*, Metrolina Native American Association (MNAA), Charlotte, NC
 2021 - 2015 *school volunteer*, Charlotte-Mecklenburg Schools (CMS), Charlotte, NC
 2015 - 2010 *board member*, Mayor's Committee for People with Disabilities, Chandler, AZ
 2010 - 2009 *co-president*, MOMS Club Ocotillo South, Chandler, AZ
 2009 - 2008 *administrative vice-president*, MOMS Club Ocotillo South, Chandler, AZ
 2008 - 2007 *2's class room parent*, East Valley JCC, Chandler, AZ

EXPERIENCE

Present - 2006 ***Homemaker/Stay-at-home Mom***
 2005 - 2002 ***Junior Decorator-Intern***, Locklear Interiors, Roswell, GA
 Assisted owner in all custom design aspects: space planning, furniture, accessories, window treatments, lighting, kitchen & bath remodeling and home builder services
 2002 - 1999 ***Analyst-Account Management Group***, BlackRock Inc., New York, NY
 Compiled quarterly/annual reports for internal/external communication, wrote RFP's for new product placement and consolidated PowerPoint reports for client investment distribution
 1999 - 1998 ***Investor Relations Account Executive***, RCG Capital Group, Scottsdale, AZ
 Oversaw publicly traded companies investor relations, organized investor conference calls, broadcast media input and instituted corporate event planning/brand marketing
 1997-1993 ***CE Intern***, State Farm Insurance, Tempe, AZ
 Administrative assistant capacities within homeowners' underwriting, auto and fire insurance claims, Human Resources and Public Relations

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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☒ I Agree

green.samuel.miles@gmail.com

Email Address

Samuel

First Name

M

Middle Initial

Green

Last Name

136 Weaver Dairy Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (704) 650-0385

Primary Phone

Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Social Media

☒ Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Suggestion to join a local municipal board from a mentor.

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have lived in Chapel Hill at two different times; Once as an undergraduate student between 2013 to 2017, and now as a transportation planning professional since June 2021. I bring multiple lived experiences, and want to make this town a better, more connected place to live, study, and play in. As a student living off campus for three years, I regularly relied on my bike to transport me to and from UNC-Chapel Hill's main campus. I'd also routinely use the bus system to get around campus and throughout various parts of town. Today, I regularly ride my bike from my home on Weaver Dairy Road to nearby shopping and services along East Franklin Street and Fordham Boulevard like Eastgate Crossing Village Plaza, Booker Creek Basin Park, Community Center Park, and the Chapel Hill Public Library. Professionally, I am currently a transportation planner for WSP USA, Inc, one of the world's biggest Civil Engineering, Planning, and Environmental Consulting Firms. I have worked with them throughout North Carolina, New York, New York, and Florida for over 5 years supporting municipality goals to improve their local transit, bicycle, and pedestrian, and trail networks. I aim to make the Triangle region a more mature transit, car-free environment. I don't expect Chapel Hill to become New York City, Washington DC, or Copenhagen, Denmark within the next 5 years, but I hope that most Chapel Hill citizens can have mobility choices in the near future, and are less dependent on single-occupancy vehicles. I still use the Chapel Hill Transit Bus System, and I consider myself an advocate of using public transportation. I also try to use the GoTriangle CRX to get to work most days I travel to Raleigh, but recent operator shortages have stymied that personal goal until the end of March 2023. My girlfriend, a medical student at UNC School of Medicine, regularly listens to me lecture her friends and other students to utilize existing bus services and explain how transit services in Chapel Hill can be improved. I thoroughly enjoy serving as an unofficial representative for Chapel Hill Transit and GoTriangle, explaining to everyone that their car trip can be replaced by a bus or bike ride.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have over five years of experience delivering planning and design projects for multiple municipalities in the Triangle and hope I can apply my professional knowledge, technical skills, and enthusiasm for transportation and mobility to the Town I currently live in. I have experience planning and designing multi-use paths, trails, bus stops, Bus-Rapid Transit corridors, equitable transit-oriented development, bus routes, and multi-modal transit hubs in North Carolina using products like ArcGIS, and AutoCAD, and I have been trained to lead public and stakeholder engagement, as well as developing cost estimates for capital projects. I am also plugged into the existing plans, designs, and construction of local major capital and operational projects currently undertaken by the Town of Chapel Hill and UNC-Chapel Hill. I regularly author, develop, and participate in similar projects throughout the Triangle. I also work to support local municipalities adopt plans, designs, locally preferred alternatives, and overall direction to improve transportation in their area. I hope I can bring lessons learned and best practices from other local communities that are delivering transportation improvement projects to this board. When I was at UNC-Chapel Hill for my undergraduate Environmental Science degree (UNC-Chapel Hill Class of 2017), I had the privilege of serving as Student Body Vice President in 2016-2017. One of my roles as Vice President was to serve as a student liaison to the Transportation and Parking Department. I sat on the University's Advisory Committee on Transportation and coordinated regularly with that department on initiatives and plans like Improving Safe Rides, P2P, and the student parking experience, as well as implementing the now-phased-out Tar Heel Bike share. I have lived experience how UNC-Chapel Hill's Transportation and Parking department functions, and some of the overarching mobility goals for students, faculty, and staff. I hope my experience and lessons learned serving as Student Body Vice President for UNC in 2016-2017, as well as being a planning professional with technical and soft knowledge of transportation and connectivity will make me an asset to an integral board for the Town of Chapel Hill.

[Green Samuel February 2023 Resume.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 25-34

Transportation Planner

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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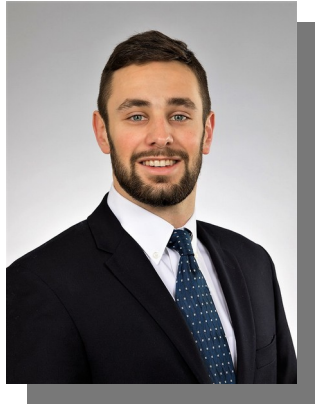
☒ I Agree *

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SAMUEL GREEN

PLANNER



Years with WSP

5 years

Years total

6 years

CAREER SUMMARY

Sam's passion as a planner is focused around comprehensive, multi-modal transportation solutions. He studied environmental sciences and geography at UNC-Chapel Hill. As Student Body Vice-President, he had an opportunity to combine his executive responsibilities, political understanding, and academic training by leading an initiative to develop a more multi-modal transportation approach to student travel by expanding the reach of UNC's fleet of buses and campus shuttles, implementing creative parking solutions, initiating partnerships in transit network companies, and implementing a bike-share. At WSP, Sam has brought that experience and lessons learned to a wide range of transportation and land use projects in New York and North Carolina, including transit corridor improvement studies, bus rapid transit plans, transit-oriented development planning, station area planning, bus network redesigns, multi-modal center development, and first-mile/last-mile plans. Sam uses his facilitation skills to interact, engage, and educate the community in the planning process so the community can drive their mobility and land use solutions. He also has many opportunities to collaborate with and present to a broad array of clients and stakeholders with diverse professional and personal backgrounds.

Additionally, Sam is a skilled researcher and technical writer and has assumed increasingly responsible roles in authoring technical reports and environmental documents. He uses his proficiency at synthesizing his spatial research onto appealing projections using Adobe products for final reports, publications, and meeting materials.

EDUCATION

B.S., Environmental Sciences, University of North Carolina – Chapel Hill, 2017

PROFESSIONAL MEMBERSHIPS

American Planning Association
North Carolina Association of Environmental Professionals
American Council of Engineering Companies

PROFESSIONAL EXPERIENCE

Bus Rapid Transit (BRT) Studies

- **City of Raleigh, Wake County Bus Rapid Transit 30% Design, NEPA, and TOD Planning, Raleigh, NC:** Sam is a part of a project team that will lay the groundwork to implement the first four bus-rapid-transit lines in Raleigh, North Carolina. Sam is responsible for developing Operations and Maintenance Plans that reviews existing transit routes, ridership, and associated operational cost differentials for operating BRT in Raleigh versus existing conditions. He translates data findings and works with a team to develop financial and economic development reports that have received a “Medium-High” rating or will be submitted to the Federal Transit Administration's Capital Investment Grant Small Starts programs as the project progresses. Sam is responsible for using GIS to develop analysis on alternatives based on land-use, environmental, demographic and ROW impacts. He uses those materials to work with project stakeholders to drive project buy-in and can guide the environmental impacts process. As part of the Equitable Development Around Transit Study (EDAT), Sam also developed a citywide growth analysis and policy guidebook that ensures that growth around transit is equitable and affordable for all city residents.



SAMUEL GREEN

PLANNER

The findings of the guidebook come from his public engagement data and materials for transit-oriented development planning associated with the four BRT corridors in Wake County. Sam also generates meeting materials for stakeholder meetings, reports that were submitted to the FTA and Raleigh City Council, organizes corridor tours, and develops visually appealing print and video materials for project reports and facilitates community meetings and public engagement. Sam worked with the entire project team to author and illustrate a Quality Assurance and Control Plan, and style guide that ensures a high standard of work for all submissions, regardless of the author. He was also in charge of implementing an online project file sharing, document storage and organizational database that will be used over the projects seven-year lifespan.

- **Town of Cary, Cary Multi-Modal Center Feasibility Study**, Cary, NC: Sam was the Deputy Project Manager and planner responsible for researching and incorporating existing and future mobility options to be designed into a new multi-modal center in Cary, NC's downtown that will offer intercity passenger rail, commuter rail, BRT, local and regional bus service, active mobility services, transit-oriented development, and other civic amenities. Defined spatial, programming, and functional requirements of all forms of transportation to, from and around the proposed multi-modal center site including, micro-mobility, pedestrian and bicycle access, rideshare, car-share, vehicle parking, bus transit, bus rapid transit, commuter rail, and passenger regional rail. He determined Bus Rapid Transit routing between the proposed site and downtown Raleigh based on economic development potential, BRT operations, demographic data, physical and environmental constraints, and stakeholder input. Sam also developed a preliminary routing of BRT service into the town considering economic development, potential impacts to property, ROW, on-street parking, and driveway access. Developed site design criteria that incorporated all factors determining the best site, design, and functional appeal for the proposed multi-modal center, and completed a CE document as a part of the NEPA process. Developed and presented sizing needs, BRT routing, and site selection materials for the Town of Cary Department Directors Meetings. Authored a RAISE Grant for federal funding to assist in the planning and design for the multi-modal center.
- **City of Raleigh, Western Boulevard Corridor Study**, Raleigh, NC: Planner responsible for spatial analysis, mapping, and alternatives analysis of four corridor alternatives between Cary and Raleigh North Carolina. Provided analysis of existing transit, land use, demographic, and environmental conditions in the corridor to check that the locally preferred alternative would meet the project objectives and provide the best service. To build buy-in with stakeholders for two municipalities involved, as well as the North Carolina Department of Transportation, preliminary bus operations, property impacts, and ROW analysis was completed. Additionally, Sam worked with transit designers to identify potential areas that would require potential traffic flow reconfiguration or would be significant areas of development based on existing traffic, land use, and community conditions.

Transit Planning and Facilities

- **City of Durham, GoDurham Better Bus Project**, Durham, NC: Deputy Project Manager of a project that will provide quick-build, short- and long-



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term designs as well as cost estimates for street, sidewalk, trail, and bus stop improvements. The goal of the project is to remove historic barriers to transit by providing safe access to bus stops, as well as designing strategies that improve bus speed and reliability for the most utilized GoDurham bus service areas. Improvements recommended in this project target services with the biggest delays, or corridors with the highest ridership to maximize the benefit-cost analysis and put improvements into the Durham communities that utilize transit the most. The project consists of six individual projects that identify GoDurham bus access and service improvements system wide. The tasks are:

- Two Transit Emphasis Corridors

- Improve Bus Speed and Reliability

- Access to Transit

- Durham Station Transit Emphasis Zone in Downtown Durham

- Village Transit Center Stop Improvements

Sam was responsible for leading the City of Durham to Identify alternative locations for a Village Transit Center Mobility Hub to improve the transit amenities and character at the most utilized stops in the GoDurham System other than Durham Station. Sam developed preliminary layouts of three transit hubs and compared the strengths and opportunities of all three alternatives against project goals and objectives.

He also oversees an engagement task that cross cuts all other tasks for the project and implemented a goal that utilizes engagement to show where improvements will be and how community engagement determined improvements. The engagement process was outlined by the City of Durham's new Equitable Community Engagement Blueprint that aimed project participation to with communities who historically had been marginalized during design and construction and be representative of the GoDurham ridership's demographic characteristics. He also works with the City of Durham on a Federal Grant Management and Application Strategy Program. This program can set the City of Durham and GoDurham up for continued advancement to deliver their transit promises to the community as part of the Better Bus Project by identifying existing and new Federal funding opportunities from the Bipartisan Infrastructure Law and other FTA Grants. The program has already resulted in one federal funding grant for the city to construct improvements at Durham Station. The program has organized and aligned Durham's priority projects to be highly competitive for future federal grant opportunities.

- **GoCary Bus Operational and Maintenance Facility**, Town of Cary, North Carolina: Deputy Project Manager for the planning and design of the new multi-building and multi-story bus operations and maintenance facility to support anticipated fleet growth of the GoCary system over the next 40-years. Sam has organized stakeholder engagement, coordination with FTA, and prepared technical materials to advance the project towards final design and construction. Sam has worked with the project team to conduct a Safety and Security Assessment, incorporate sustainable design elements, LEED standards, and accounted for the GoCary fleet to convert to zero-emission vehicles during the lifespan of the facility.



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- **NCDOT Integrated Mobility Division, Statewide Transit Technology RFP Assistance**, North Carolina: Planner supporting NCDOT IMD to develop an RFP that will allow the state to procure transit software for all North Carolina transit agencies. Sam organized a transit technology survey and three workshops and listening session with state agencies to determine the essential and preferred specifications to be included in the RFP for transit technology. The goal of this RFP is to advance North Carolina's transit service offerings, and to move transit in the State to Mobility as a Service, improving mobility opportunities to anyone needing transit for health, academic, professional, or personal reasons.
- **Metropolitan Transportation Authority, Utica Avenue Transit Improvements Study**, New York, NY: Planner responsible for developing series of screenings based on project goals and objectives for various subway, subway shuttle, LRT, and BRT investment packages to enhance the mobility along the Utica Avenue Corridor, one of the busiest SBS and local bus routes in Brooklyn, NY. Through this process, Sam used qualitative and quantitative reasoning based on transit operations, land use analysis, capital cost, community impacts, environmental impacts, construction methods, rail operating plans, and traffic impacts. He then defined, evaluated, and analyzed on those series of screenings with stakeholder presentations and project reports that drove the project forward ensuring that there will be a menu of transit improvements with multiple land use and development scenarios to enhance mobility of Utica Avenue in Brooklyn. He also led an effort to study potential environmental effects during construction and transit operations for all potential investment packages.
- **Kay Bailey Hutchinson Convention Center Master Plan**, City of Dallas; Sam led the analysis and reporting of the existing conditions of the area and transportation network surrounding the Convention Center, Downtown, and Cedars Entertainment District. He authored a Transportation Existing Conditions report that described the existing Light Rail, Commuter Rail, Intercity Passenger Rail, bus network, and future High-Speed Rail network that will be present in the project area. Sam also coordinated his findings with the Area Plan team to ensure that Urban Design principles and project goals were consistent in the Master Plan document. Sam also worked with the project manager to ensure the project maintained its accelerated schedule that the client required.
- **Portal North Bridge & Hudson Tunnel Project Capital Investment Grant Program Submission**, NJ TRANSIT/Port Authority of New York & New Jersey/Gateway Development Commission; Planner responsible for gathering, reviewing, and synthesizing data and text for submittals to Federal Transit Administration under Section 5309 Capital Investment Grant Program. Sam edited an update of the Portal North Bridge Financial Plan and associated submittals for the 2020 Core Capacity Grant Program and worked with a team to collect and report updated data for operations and maintenance, capital costs, financial plans, ridership, and standard cost categories. Sam is coordinating an effort to update the Section 5309 Capital Investment Grant Program New Starts Submission for the Hudson Tunnel Project based on updated 2021 Financial and demographic data.
- **Metropolitan Transportation Authority, Queens Bus Network Redesign**,



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New York, NY: Planner responsible for spatial analysis and graphics that effectively rework the entire proposed bus network in Queens, New York. Provided graphics that would be shown to the public of every proposed route in Queens, NY so feedback could be collected to ensure community buy-in.

- **Raleigh Union Station Bus Facility 30% Design**, Raleigh, NC: Sam was the planner responsible for developing planning materials and directing community and stakeholder engagement. He generated a facility needs assessment that will properly allocate space for all transit and non-transit-oriented space for a 40-story, mixed use building in Downtown Raleigh. He also facilitated a design workshop that determined a conceptual design that would be taken into 30% design. The structure of the bus facility will house retail, office, housing, and transit space, and will be a catalyst for further development in the city's warehouse district. Sam analyzed federal grants, stakeholder surveys, published plans, and existing and future ridership data for local and regional transit, commuter rail transit, intercity passenger rail, bus rapid transit, and bicycle shares to determine the spatial needs for all programming associated with the building.
- **First-Mile/ Last-Mile Solutions Study**, Research Triangle Park Foundation, NC: Sam was responsible for providing a menu of solutions to the Research Triangle Park Foundation and steering committee on how future employees within Research Triangle Park, a 55,000-tenant ranging over 7,000-acre network between Chapel Hill, Durham and Raleigh, NC, would move within, to, through and from and within the park. The study was unique because the solutions needed to be functional and appealing because the plan was coupled with future park land use developments and was going to be used as a marketing device to attract future companies to the area. The final plan documented and analyzed existing and future conditions of the park through field research, survey, and published plans, then identified potential mobility solutions that could promote alternative forms of transit in the park ranging from autonomous vehicles to electric scooters. The plan also included a phased, comprehensive, implementation strategy consistent with the needs of the client. Sam was responsible for identifying mobility options and implementation strategies as well as facilitating discussions with stakeholders to educate them about the study and seek feedback.
- **Late Night Transit Alternative Feasibility Study**, UNC-Chapel Hill, NC: Sam led an internal audit of the operating budget, utilization, perception, and status of all late-night transportation options available on UNC's campus, a campus of over 30,000 students. After the comprehensive review, it was determined that the existing mobility options available did not reflect the current safety and transportation needs of students, faculty, and staff. Sam identified and authored a new, comprehensive Late-Night Transit Plan that reflected best alternatives within the operating budget of the University's Five-Year Transportation Plan. The plan involved developing a strategy to supplement the effective bus operations with a Transit Network Coordinating service. He researched and refined the study and service areas in and around the university to provide the most cost effective, safe, timely, and reliable service considering significant stakeholder concern. In addition, Sam collaborated with university leadership to define an implementation strategy using available smartphone technology, bus



tracking, and ride-hailing services.

- **Transit Hub Feasibility Study**, UNC-Charlotte, NC: Sam worked with University of North Carolina-Charlotte's leadership and transportation officials to identify a location for a central transit hub that could reduce congestion and foster a transit identity at UNC-Charlotte. He designed a conceptual facility to meet the future needs of the campus community based on stakeholder input, campus initiatives, and university growth plans. The study required a generation of a comprehensive siting criteria approach to determine the most strategic spot for the hub on campus, the space could incorporate and connect safe bus, pedestrian, bicycle, ride-share, and vehicle operations. He was responsible for previous studies research, spatial analysis, preliminary site selection, definition of the siting criteria, bus routing and operations, stakeholder meeting materials, environmental research, map generation, and conceptual design.
- **Bike-share Planning and Implementation**, UNC-Chapel Hill, NC: Sam was responsible for surveying, researching, and coordinating with the University's Advisory Committee on Transportation to implement a sustainable bikeshare plan that was put in place the fall of 2017. The plan involved defining the purpose and need, identifying bicycle corridors on and around UNC-Chapel Hill's campus, and phased implementation areas. In his role, he traveled to different departments and neighboring governing bodies to encourage regional buy-in to the bike-share program, selected a preferred vendor and sponsor through procurement procedures, and developed and coordinated a marketing campaign to ensure user buy-in and continued success.
- **Community Connectivity Plan**, Chatham County, NC: Data Analyst and mapper of demographic features, census statistics, transit demand and destination data, and community features for a report delivered to the North Carolina Department of Transportation (NCDOT). The recommendation of this plan was implemented by NCDOT in conjunction with Chatham County to connect the communities within and around the County with high-quality transportation services.
- **CATS LYNX System Update**, Charlotte, NC: Sam was responsible for producing and mapping corridor alternatives needed for reports, project management meetings, and public outreach. He assisted in facilitating public interactive sessions and translating traffic, population, employment data and citizen feedback into definitive, quantifiable data in two study corridors. Sam developed assessments of the various modal and alignment alternatives, using environmental, demographic and employment data to ultimately determine which alternatives were adopted as the locally preferred alternatives for two corridors. To ensure overall system connectivity, this study evaluated rail alignment, existing and future bus operations, and service integration through Center City Charlotte to determine how best to connect the future corridors and comprehensive transportation initiatives for Charlotte Area Transit System.
- **Compliance Review of Subrecipient**, North Carolina, NCDOT Integrated Mobility Division: Sam conducted compliance reviews on behalf of NCDOT Integrated Mobility Division to validate that sub recipients can manage the Federal Transit Administration funded programs were in accordance with the grant application, grant agreement and all applicable laws and



regulations using sound management practices. He performed desktop and on-site reviews to determine if sub-recipients of CARES, 5311, 5310, 5307, and 5339 administration and operating fund grants have the legal, financial, and technical capacity to carry out the intended use of federal and/or state funds. He additionally provided solutions, suggested steps to resolutions, and best-practices to transit agencies across North Carolina so they can build and transit identity and best serve their transit-dependent populations.

Corridor Studies

- **U²C Transit Oriented Development Pilot**, Jacksonville Transit Authority, Florida: Sam authored an Existing Conditions Report for the six U2C Autonomous Circulator corridors. The report used socioeconomic and real estate data, existing zoning plans, and City, Neighborhood and Community plans to generate a narrative for all six corridors, and the 21 proposed stations areas and their neighborhood character. In this report, he also identified soft sites and underutilized parcels that could become areas of catalytic
- TOD areas to support the new or enhanced transit system. Sam also led an effort to document the primary and secondary station typologies for the U2C, and the developable scale and land uses that will generally be found in those station areas.
- **First Coast Commuter Rail Study**, Jacksonville Transit Authority, Florida: Sam authored a Station Area Existing Conditions and TOD Opportunities Report for 14 potential Commuter Rail Stations between Downtown Jacksonville and St. Augustine Florida. The report focused on market analysis and taxable parcel values, existing and future land uses, soft site identification, existing transit and micro-mobility identity, station area and neighborhood character, zoning, and previous plans. Findings were used to develop a TOD readiness value, as well as a TOD opportunities and barriers report. Sam also completed a report to document the primary and secondary station typologies for the First Coast Commuter Rail, and associated station areas with typologies.
- **US 15-501 Corridor Study**, Durham, NC: Sam was responsible for developing a community profile that synthesized the existing population characteristics, pedestrian and bicycle environment, and transportation identity of a major road corridor between Durham and Chapel Hill, North Carolina that will transform into a major transit corridor. He developed fresh public outreach techniques with traditional methods to capture a broad network of residents and businesses within the corridor, and travelers utilizing the corridor. He authored a community profile report with figures designed in ArcGIS and Adobe Illustrator to give better understanding to the project stakeholders of the background and the existing and proposed features and conditions along the corridor. The report characterized how improved bus transit, implementation of light rail transit, increased pedestrians, and bicycle facilities, and how vehicle traffic would function harmoniously and change the profile of the corridor over time.
- **Avent Ferry Corridor Transit Study**, Raleigh, NC: Sam reviewed and synthesized ridership data for all of NC State University's Wolfline and



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GoRaleigh routes in the corridor to determine the most utilized and underutilized routes and stops. Sam also worked with commercial architects to develop a comprehensive land use plan that improves livability in the Avent Ferry Corridor near NC State's campus, as well as improves alternative mobility options for corridor users.

- **Ridge Road Extension Project**, CRTPO, Charlotte, NC: Sam was responsible for mapping all environmental, roadway, and transportation characteristics surrounding the study area of a project that will extend Ridge Road from Benfield Road to Eastfield Road intended to improve community connectivity in Charlotte, NC. He studied previous research, community plans, urban design and land use plans in the area and authored an Urban Design Transportation Memo that will be used to screen the potential alternatives. Organized comments and feedback from public comment and meetings. The project developed a conceptual, complete-street roadway plans, intersection improvement plans, and conceptual traffic control plans for the preferred alternative.

NEPA Projects

- **Bay Park Conveyance Project**, Nassau County Department of Public Works, New York; Sam coordinates the documentation, reporting, mapping, and organization of all easements that will be required of connecting a force main that would link two sewage treatment plants in Nassau County, New York as a part of the Western Bays Resiliency Initiative. Sam has attended and facilitated public hearings, was embedded at the Department of Public Works Office to assist in any planning or easement related-project needed, participated as an easement expert to potential design-build teams, authored and submitted Reports of Physical Inspection of Real Property to the New York Department of Environmental Conservation. He led an effort to identify and document impacts and mitigation techniques to public properties so Nassau County could provide appropriate outreach to all municipalities affected. Sam has coordinated with surveyors to and engineers to generate easement acquisition maps of over 50 public and private properties. He also completed the necessary documentation with the New York State Parks, Recreation, New York State Department of Transportation, and Historic Preservation to request temporary and permanent easements over State Parklands.
- **Mid Currituck Bridge Project**, NCDOT: Sam completed noise and traffic fieldwork and analysis along the proposed seven-mile bridge alignment across the Currituck Sound at potentially sensitive locations. He also worked with a team to document and report on environmental findings and analysis on the bridge design's required environmental documentation and permitting.
- **Express Design Preparation Project Scoping Reports**, NCDOT, Feasibility Studies Unit: Sam was the planner responsible for finding and reporting all environmental, social, historical, transportation and geographical data and information for potential roadway improvement projects in North Carolina. He generated NEPA CE Checklists and authored Project Scoping Reports that synthesized the potential impacts to proposed roadway and ferry projects. Additionally, he developed comprehensive maps on Adobe Illustrator displaying the findings of the studies and showing their potential effects.



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US 52 Corridor from Salisbury to Misenheimer

US 421 from Erwin to I-95

I-277 Improvements

NC 12 Ocracoke Island Hotspot Analysis

I-77 and I-85 Interchange Improvements

- **Minimum Criteria Bridge Documents**, NCDOT, Bridge Unit: Sam was charge of completing environmental documents, meeting materials, and designed figures that described the potential social, geographical, and environmental constraints and improvements of potential bridge replacement projects in the western region of North Carolina.

B-5871

B-5876

B-5883

B-5891

B-5895

- **State Transportation Improvement Program Design Projects**, NCDOT, Project Management Unit: Sam was responsible for preparing all mapping materials for the project, conducted site visits, coordinated local official coordination, attended public meetings, and completed a Community Impact Assessment for the projects. He generated internal and external scoping materials, project information sheets, and public involvement materials, as well as coordination with state environmental officials to mitigate environmental impacts.

Interchange Construction on I-77 in Iredell County, I-5962

Interstate Widening on I-40 in Catawba County, I-5991

Widening with a multi-use path on NC 122 in Edgecombe County, U-4424

- **NCDOT Project ATLAS**, NCDOT: Sam led a group of 15 employees that successfully researched, documented, and described all ongoing, completed, or approved planning reports and ordinances for 62 counties, rural and metropolitan planning organizations in North Carolina. Because of Sam's leadership, the work was completed in 4 weeks. As a result of the success of the first initiative, Sam led a second initiative to provide quality control and quality assurance for Project ATLAS's reporting of all North Carolina public schools, and over 600 plans in 30 databases that were prepared by other consultants. Sam was also selected to attend a training for the database that taught him how to effectively teach others to use Project ATLAS and was responsible for teaching the application to all WSP employees working on NCDOT projects.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

matthew@igregoire.com

Email Address

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First Name

Gregoire

Last Name

Middle Initial

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Suite or Apt

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State

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Postal Code

Mobile: (828) 707-1107

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ 4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Bicycle Advocate and Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Internet

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a current graduate student at UNC Chapel Hill, and I am well versed in the state of our bike infrastructure, greenways, and public transportation network. About 90% of my transportation around town, including commuting to campus, is done by bike, bus or walking, and I am able to speak to issues regarding safety and equity for community members who choose to get around town in these ways. My impression is that perspectives from students and multi-modal commuters are underrepresented in our local government, so I hope I'll be able to offer a useful and new perspective on these issues.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I'm a current graduate student in computer science at UNC Chapel Hill. I graduated with my BS from UNC in 2021, and am currently working towards my PhD. I have no experience in civics or local politics, but it's something that I've recently become very interested in and I'm excited to help and offer my perspective to the town.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ 18-24

Graduate Student

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

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Public Records Statement

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☒ I Agree

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Alternate Phone

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What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Board of Adjustment

Select a Seat Category for Board of Adjustment *

☒ Orange County-Extra Territorial Jurisdiction Resident (ETJ)

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

☒ Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am an avid bicyclist, I also drive around Chapel Hill, and I also take the bus. I have lived in Chapel Hill since 1972.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am an avid bicyclist, I also drive around Chapel Hill, and I also take the bus. So I am very familiar with transportation issues in Chapel Hill.

Question applies to Board of Adjustment

Do you have special interest, experience, or education/training in city planning or related fields? If yes, please explain.

Although I am not an attorney, I have some familiarity with the legal process.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

retired

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☒ Yes ☐ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

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☒ I Agree

jreesnc@gmail.com

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John

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B

Middle Initial

Rees

Last Name

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Postal Code

Home: (919) 599-0502

Primary Phone

Alternate Phone

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What district do you live in? *

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[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

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Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

☒ Chapel Hill Resident

Which Board is your First Choice? *

☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

☒ Advisory Board or Council member

☒ Social Media

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Hi, my name is John Rees. And I believe I could contribute to the transportation board based on my previous experience of serving on the Chapel Hill Planning Commission. I served from 2016 until mid 2023 and this has made me very familiar with the town's development review process. As a past liaison to the transportation board, I am already familiar with the board's operation. I also serve on the vision zero task force and have always had a focus on transportation and especially transportation safety for people not in cars. I do realize that personal vehicles are the dominant mode of transportation, and can keep this fact in mind when working with the board. However, I am focused on bike walking and transit. I have provided assistance to the town on the greenways by helping collect counts on the towns greenway system as well and helping perform traffic counts for various projects. As an advisory board veteran, I can share my experiences to help the T board grow and continue to be effective. I have also served on the board and been president of the Carolina Tarwheels Bicycle Club as well as the Bicycle Alliance of Chapel Hill.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am a recent member and also past chair of the Planning Commission, and have acquired several years of experience. I have attended several workshops and talks held by the UNC department of regional planning. I attended a week long Tactical Urbanism workshop. I have also presented, representing the town, on two occasions at the MPO Triangle Bicycle and Pedestrian workshop. I have read books by several celebrated planners, such as "Walkable City" by Jeff Speck, "Happy City" by Charles Montgomery, "Urban Code", by Anne Mikoleit and Moritz Purckhaur, "Dream Cities" by Wade Graham, "City of Light – the Making of Modern Paris" by Rupert Christensen. I have attended the BikeWalk NC conferences on several occasions and have also participated with the Bike Walk NC organization

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Computer Architect

Occupation

Are you a caregiver for or identify with a disability?

☐ Yes ☒ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

☒ I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

☒ I Agree

bobwarren411@gmail.com

Email Address

Robert

First Name

B

Middle Initial

Warren

Last Name

214 Weaver Mine Trail

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (919) 418-7449

Primary Phone

Home: (919) 933-8905

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

☒ Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

☒ Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to EZ Rider Advisory Committee

Are you a consumer of the EZ Rider service?

☒ Yes ☐ No

Question applies to EZ Rider Advisory Committee

Where do you work or study? *

- ☒ Chapel Hill
☒ None of these apply

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

- ☒ Chapel Hill Resident

Which Board is your First Choice? *

- ☒ Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

- ☒ Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am visually impaired (progressive retinal disease) and have not driven for 20 years. I have been using Chapel Hill transit and GoTriangle in order to get to work (until recently). I am also a user of the EZ Rider paratransit system for the last 10 years or so as well as the GoTriangle Access system. I continue to use the fixed route buses when it is convenient (I live in Meadownmont). I have served on the Town's EZ Rider Advisory Committee (EZRAC) since 2018 and was its chair for about 2 years. I am also the EZRAC representative to the NSBRT advisory committee. Based on these experiences I believe I can be a strong advocate for the disability community (those with vision, mobility, and/or cognitive challenges).

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have been an advocate for ways to help those with a visual impairment for many years, including testing and publicizing the North Carolina online accessible absentee ballot voting system available to that community. Recently I have been pursuing getting crosswalks that have regular crossing signals upgraded to accessible pedestrian signal (APS) systems. I have 50 years of experience in technology so have a keen interest in emerging technologies that will help the visually impaired. (Actually, it is often the case that providing such technology improves things for all.) Finally, I am a member of several area blind/low vision groups and so have a large community of people to draw on for input on issues related to transportation.

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☒ Caucasian/Non-Hispanic

Gender *

☒ Male

If other, please describe:

Please select your age from the following list. *

☒ over 55

Retired (doing some consulting)

Occupation

Are you a caregiver for or identify with a disability?

☒ Yes ☐ No

Have you participated in the Peoples Academy?

☐ Yes ☒ No

Are you a Town of Chapel Hill employee?

☐ Yes ☒ No

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