



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 13., **File #:** [23-0410], **Version:** 1

Meeting Date: 5/10/2023

Close the Legislative Hearing and Consider Adopting the Complete Community Strategy as an Amendment to the Town's Comprehensive Plan, *Chapel Hill 2020*.

See Summary Report on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Judy Johnson, Assistant Planning Director

- a. Introduction and revised recommendation
- b. Comments from the public
- c. Comments and questions from the Mayor and Town Council
- d. Motion to close the Legislative Hearing
- e. Motion to adopt the Resolution amending the Town's Comprehensive Plan to include the Complete Community Strategy

RECOMMENDATION: That the Council close the legislative hearing and adopt the Resolution amending the Town's Comprehensive Plan to include the Complete Community Strategy.



CLOSE THE LEGISLATIVE HEARING AND CONSIDER ADOPTING THE COMPLETE COMMUNITY STRATEGY AS AN AMENDMENT TO THE TOWN'S COMPREHENSIVE PLAN, CHAPEL HILL 2020

SUMMARY REPORT

TOWN OF CHAPEL HILL
Mary Jane Nirdlinger, Deputy Town Manager
Britany Waddell, Planning Director
Judy Johnson, Assistant Planning Director

MEETING DATE

May 10, 2023

TOWN MANAGER'S RECOMMENDATION

That the Council adopt the resolution to update the Town's Comprehensive Plan to include the *Complete Community Strategy* and its components.

UPDATES SINCE THE HEARING

Since the April 19, 2023 Hearing, staff has been working to:

- Revisions to the Everywhere to Everywhere Greenways map including major destinations such as schools on the map.
- Continued revisions to the Natural Areas Map to incorporate park spaces and future open spaces on the base map. Staff is scheduling review of the map at upcoming advisory board meetings and review by partner agencies.

PROJECT VISION

The *Complete Community Strategy* has several objectives including:

- To build consensus about where and how to build.
- To determine where complete communities can be advanced, exploring trade-offs and opportunities.
- To identify strategic projects to implement the Town's vision for a connected and sustainable future.

PROJECT OVERVIEW

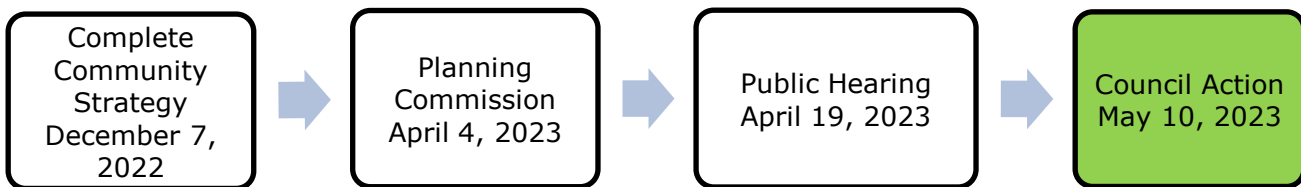
The *Complete Community Strategy* is a Council-led initiative to determine a new approach toward housing creation in Chapel Hill. The strategy details how Chapel Hill can purposefully grow to meet the projected housing needs. The Council adopted a resolution endorsing the *Complete Community Strategy* on [December 7, 2022](#)¹ acknowledging that an amendment to the Town's Comprehensive Plan, *Chapel Hill 2020*, would need to occur to incorporate the Strategy into the Plan.

DECISION POINTS

Does the Council agree with the following steps:

- Update the Town's Comprehensive Plan with the *Complete Community Strategy* as the guiding vision.
- Update the Town's Comprehensive Plan to include the Everywhere to Everywhere Greenways Plan
- Provide guidance on the creation of the Natural Areas Map and next steps.

PROCESS



ATTACHMENTS

1. Technical Report
2. Draft Staff Presentation
3. Resolution A
4. Draft Complete Community Strategy, Amendment to Chapel Hill 2020

¹ <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=5955330&GUID=C74831CF-A66F-46CC-BC7D-762C09193961>



TECHNICAL REPORT

KEY CONSIDERATIONS

CONSISTENCY WITH COMPREHENSIVE PLAN THEMES

Complete Community Strategy aligns with key themes established in *Chapel Hill 2020* including:

- **A Place for Everyone:** *Complete Community Strategy* includes recommendations:
 - Family-friendly, accessible exterior and interior places throughout the town for a variety of active uses (PFE.1).
 - A creative place to live, work, and play because of Chapel Hill's arts and culture (PFE.2).
 - A range of housing options for current and future residents (PFE.3).
 - A welcoming and friendly community that provides all people with access to opportunities (PFE.4).
 - A community of high civic engagement and participation (PFE.5).
- **Community Prosperity and Engagement:** *Complete Community Strategy* includes recommendations for promoting:
 - Promote a safe, vibrant, and connected (physical and person) community (CPE.3).
- **Getting Around:** *Complete Community Strategy* promotes expanding and delivering new greenways for everyday life. The strategy meets goals:
 - A well-conceived and planned, carefully thought out, integrated, and balanced transportation system that recognizes the importance of automobiles, but encourages and facilitates the growth and use of other means of transportation such as bicycle, pedestrian, and public transportation options (GA.1).
 - A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation (GA.2).
 - Connect to a comprehensive regional transportation system (GA.3).
 - Make an adaptable transportation system to support both dense and suburban development (GA.4).
 - Create a comprehensive transportation system that provides everybody safe and reasonable access to all the community offers (GA.5).
 - A transportation system that accommodates transportation needs and demands while mitigating congestion and promoting air quality, sustainability, and energy conservation (GA.6).
- **Good Places, New Spaces:** *Complete Community Strategy* sets policy objectives for efficient land use including:
 - A vibrant, diverse, pedestrian-friendly, and accessible downtown with opportunities for growing office, retail, residential, and cultural development and activity (GPNS.2).
 - A development decision-making process that provides clarity and consistency with the goals of the Chapel Hill 2020 comprehensive plan (GPNS.3).
 - A range of neighborhood types that addresses residential, commercial, social, and cultural needs and uses while building and evolving Chapel Hill's character for residents, visitors, and students (GPNS.5).

- A community that welcomes and supports change and creativity (GPNS.6).
- Open and accessible common spaces for community gathering, cultural uses, and community development (GPNS.7).
- **Nurturing Our Community** *Complete Community Strategy* focus on:
 - Become a model for North Carolina and beyond in wisely and justly reducing waste in a way that minimizes local environmental impact without imposing upon the environmental and social rights of others (NOC.1).
 - Maintain and improve air quality and water quality, and manage stormwater to heal local waterways and conserve biological ecosystems within the town boundaries and the Extra Territorial Jurisdiction (NOC.2).
 - Protect, acquire, and maintain natural/undeveloped open spaces and historic sites in order to protect wildlife corridors, provide recreation, and ensure safe pedestrian and bicycle connections. These spaces could include, among other things, Significant Natural Heritage Areas (SNHA) lands adjacent to and connecting various properties such as riparian lands, etc. (NOC.3).
 - Support the Parks and Recreation Master Plan and the Greenways Master Plan to provide recreation opportunities and ensure safe pedestrian and bicycle connections (NOC.4).
 - Adopt an integrated development review process that is fair and transparent and that incorporates the Chapel Hill 2020 environmental goals (NOC.5).
- **Town and Gown Collaboration:** *Complete Community Strategy* offers opportunities for collaborative:
 - Take full advantage of ideas and resources to create a thriving economy and incorporate and utilize the intellectual capital that the University and Town create (TGC.1).
 - Improve and expand access to the arts, culture, and intellectual pursuits for both the University and the Town (TGC.2).
 - The University and Town will collaborate to improve downtown parking options that support business, cultural, and academic purposes (TGC.3).
 - Housing for students that is safe, sound, affordable, and accessible and meets a demonstrated need conducive to educational and maturational needs of students, and housing for Town, University, and the Health Care System employees that encourages them to reside in the community (TGC.4).
 - The University, the UNC Health Care System, and the Town will coordinate closely to manage development in ways that respect history, traditions, and the environment while fostering revitalization and innovation (TGC.5).
 - Promote access for all residents to health-care centers, public services, and active lifestyle opportunities (TGC.6).

CONSISTENCY WITH FUTURE LAND USE MAP (FLUM) UPDATE

Complete Community Strategy strongly reflects the principles of growth and land use described in the FLUM Update. Specifically, The guiding statements for the FLUM include:

- Foster land use decisions that recognize, integrate, and sustain the Town's unique natural environment;
- Sustain and create a sense of place that is distinctive to Chapel Hill;
- Balance development/redevelopment while protecting and preserving the Town's natural environment and resources;
- Create, in strategic locations, compact, well-designed mixed use communities focused on transit and multimodal transportation systems that effectively respond to the need to reduce vehicular traffic and the Town's carbon footprint give the desirability of such locations for both households and employers that prefer sites that are walkable and located within vibrant, connected communities and the desire for

an equitable community where all community members have access to jobs, transit, and places to reside.

CONSISTENCY WITH LAND USE MANAGEMENT ORDINANCE (LUMO) STANDARDS

Complete Community Strategy meets the standards set in Section 4.2(c) of Chapel Hill's Land Use Management Ordinance:

- The proposed amendment is consistent with the goals and policies in the comprehensive plan, *Chapel Hill 2020*, and
- The proposed amendment enhances the public health, safety, and welfare of the town.

ELEMENTS

The *Chapel Hill 2020* Comprehensive Plan was adopted in 2012 as a framework for the community and for the Town in managing Chapel Hill's future. Since 2012, many new components to the Town's Comprehensive Plan have been adopted. The *Complete Community Strategy* would add an important, guiding vision to the various comprehensive plan elements.

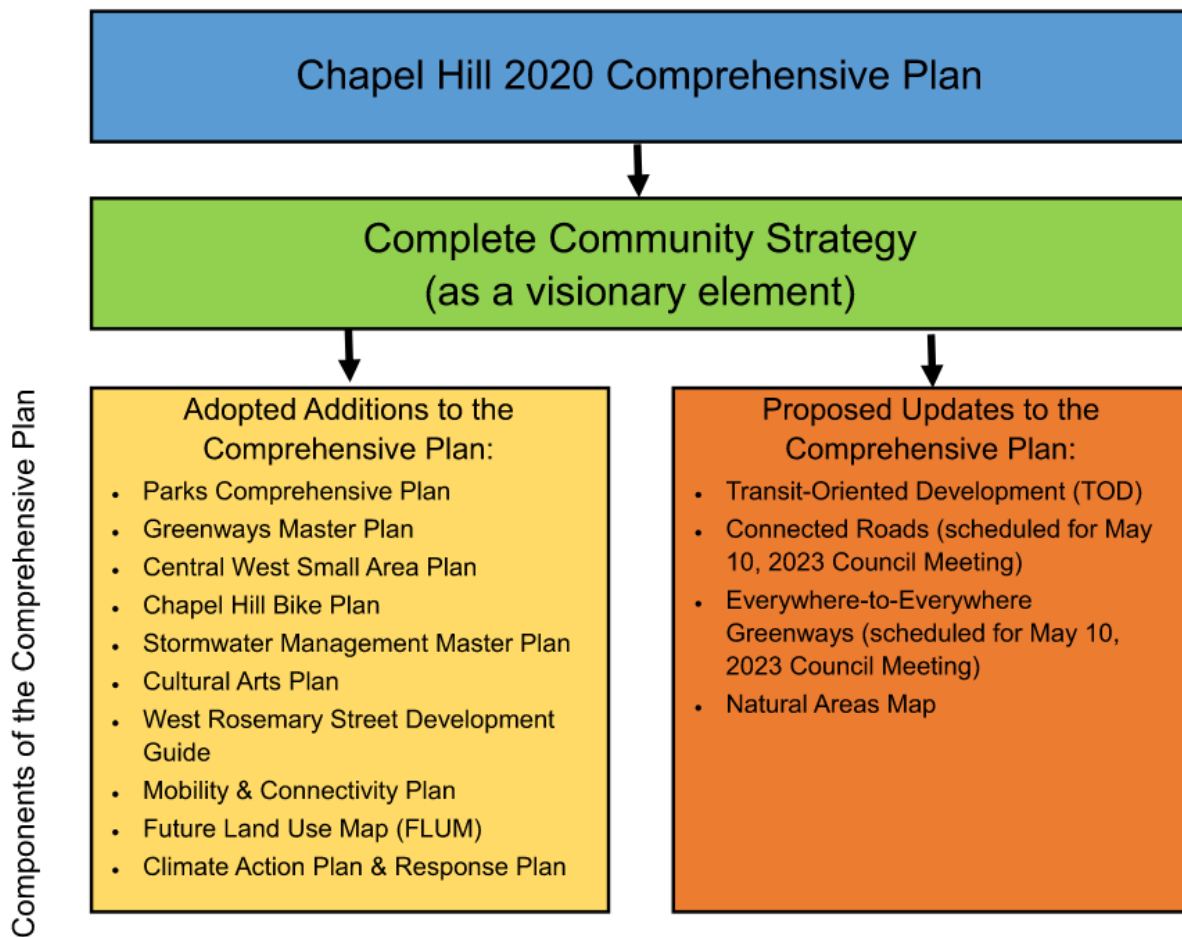


IMAGE A

The relationship between the 2020 Comprehensive Plan and its components is shown in Image A. The Comprehensive Plan is a series of visionary documents where the Council details its policies and visions. Town staff implements the Council's vision through the Land Use Management Ordinance (LUMO) and other regulating documents like the Engineering Design Manual.

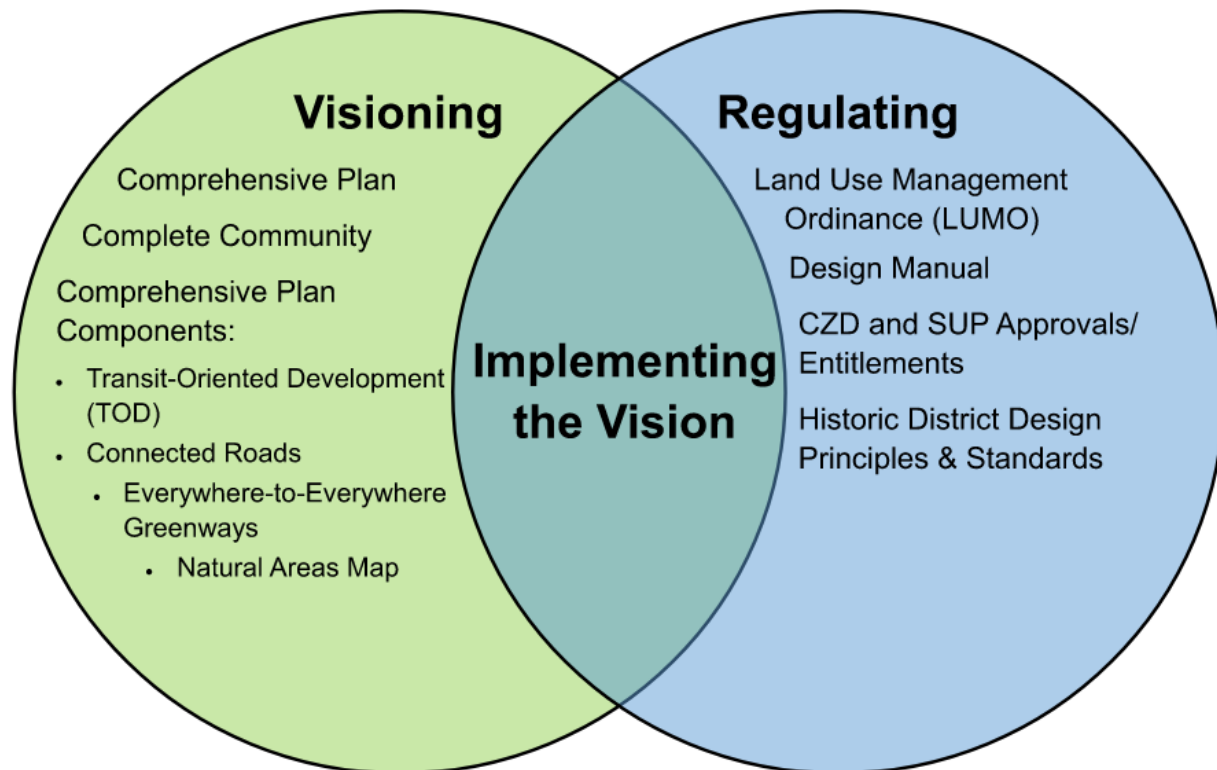


IMAGE B

Tonight, we bring forward the following new elements:

1. *Complete Community Strategy*: The *Complete Community Strategy* expands the vision of the 2020 Comprehensive Plan and weaves together the various plan elements that have amended the 2020 Comprehensive Plan since its adoption in 2012. The *Complete Community Strategy* document details the vision of the Town's Comprehensive Plan and provides a road map that guides future decisions about how the Town should evolve over time.

The key tenets of the *Complete Community Strategy* include:

Assets: Qualities of Chapel Hill that make it a unique and desirable place. Decisions about the future should be made to protect and enhance these elements.

Design Attributes: Qualities of the physical environment that Chapel Hill has and desires to provide more of to the people who live, work, and visit the community. Creating connected, attractive, human-scaled places supports climate goals and a more inclusive community.

Programs & Amenities: Strategies to attract, support, and provide the programs

and amenities that people in the community need and desire on an everyday basis supports an active, complete, and vibrant place.

Social Equity Drivers: Qualities of a place for everyone that provides equitable access to the necessities and amenities that support a healthy, safe, and fulfilling community.

A Complete Community includes:

- Diversity of housing types (both rental and ownership opportunities)
- Live/work/learn/play in the same walkshed
- Abundant active transportation and transit connections
- Designed for walking and cycling
- Pedestrian-oriented design
- Mixed-use buildings including housing, community, office, and retail uses

As the Town reviews new development applications for compliance with the Town's Comprehensive Plan, the tenets of the strategy (social equity drivers, assets, programs and amenities, and design attributes) provide a strategic approach to growth.

2. Everywhere to Everywhere Greenways Map:

The Everywhere to Everywhere Map in Appendix A is based on corridors identified by the Keesmaat Group to support the Complete Community Framework. Town staff reviewed the corridors, compared them to the facilities proposed in the Mobility and Connectivity Plan, and looked at the technical feasibility of the recommendations. The map has been updated to include major destination points such as schools and parks.

Staff recommends adding 14 new segments of greenway (in pink) and one additional at-grade crossing (red cross) to the Mobility Plan. These additions represent 6.5 miles of future greenways and bike lanes to support the Council's vision of a connected community.

3. Natural Areas Map: Town staff has initiated efforts to create a Natural Area Suitability Analysis as attempts to identify areas within the Town's Jurisdictional Limits that exhibit characteristics consistent with criteria defining natural habitat. The initial criteria has used three sub-models: Natural Habitat, Hydrology and Land Use/Land Cover.

The Town staff developed the draft Natural Areas Map to balance the competing goals of development with environmental protection. This draft map identifies the existing environmental resources in Chapel Hill. The objectives of the map will include:

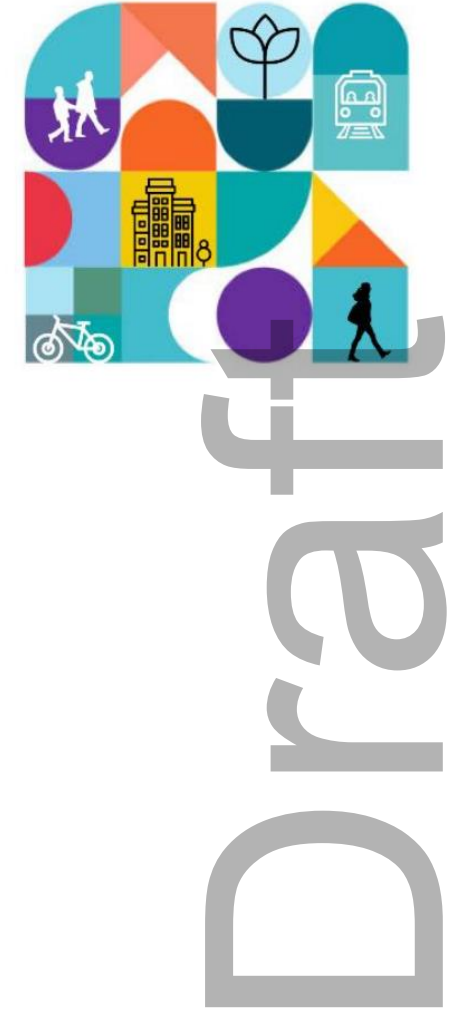
- Balance development with conservation
- Preserve and enhance the ecology, natural resources, and habitats
- Encourage forest and mature tree protection
- Habitat corridors

The draft map is being shared for input and guidance on the development of the process. The Natural Areas Map, once completed, will be shared with Advisory Boards and stakeholders as well as Town Council for consideration as an element of the Town's Comprehensive Plan. We anticipate bringing this map forward in the next couple of months.

ADDITIONAL INFORMATION FOR COUNCIL

Town staff have been working to address necessary changes to the Town's Engineering Design Manual.

Design Manual: Town staff has been working to update the Engineering Design Manual, last approved in 2005, to reflect the changing conditions. We anticipate the updated Design Manual to be approved by the Town Manager shortly. Once approved, additional information will be shared with the Town Council



Complete Community Strategy: Amendment to Chapel Hill 2020

Town of Chapel Hill
May 10, 2023

Recommendation

- Close the hearing;
- Adopt Resolution #X to update the Town's Comprehensive Plan with *Complete Community Strategy* and its recommendations.





Spring/Fall 2022

- Consultant presents to Council and Council Committee for Economic Sustainability (CCES)
- Stakeholder interview sessions (2 rounds)
- Community Meeting



Winter 2022-2023

- Consultant presents to Council and Council Committee for Economic Sustainability (CCES)
- December 7, 2022 Council adopt Complete Community Framework



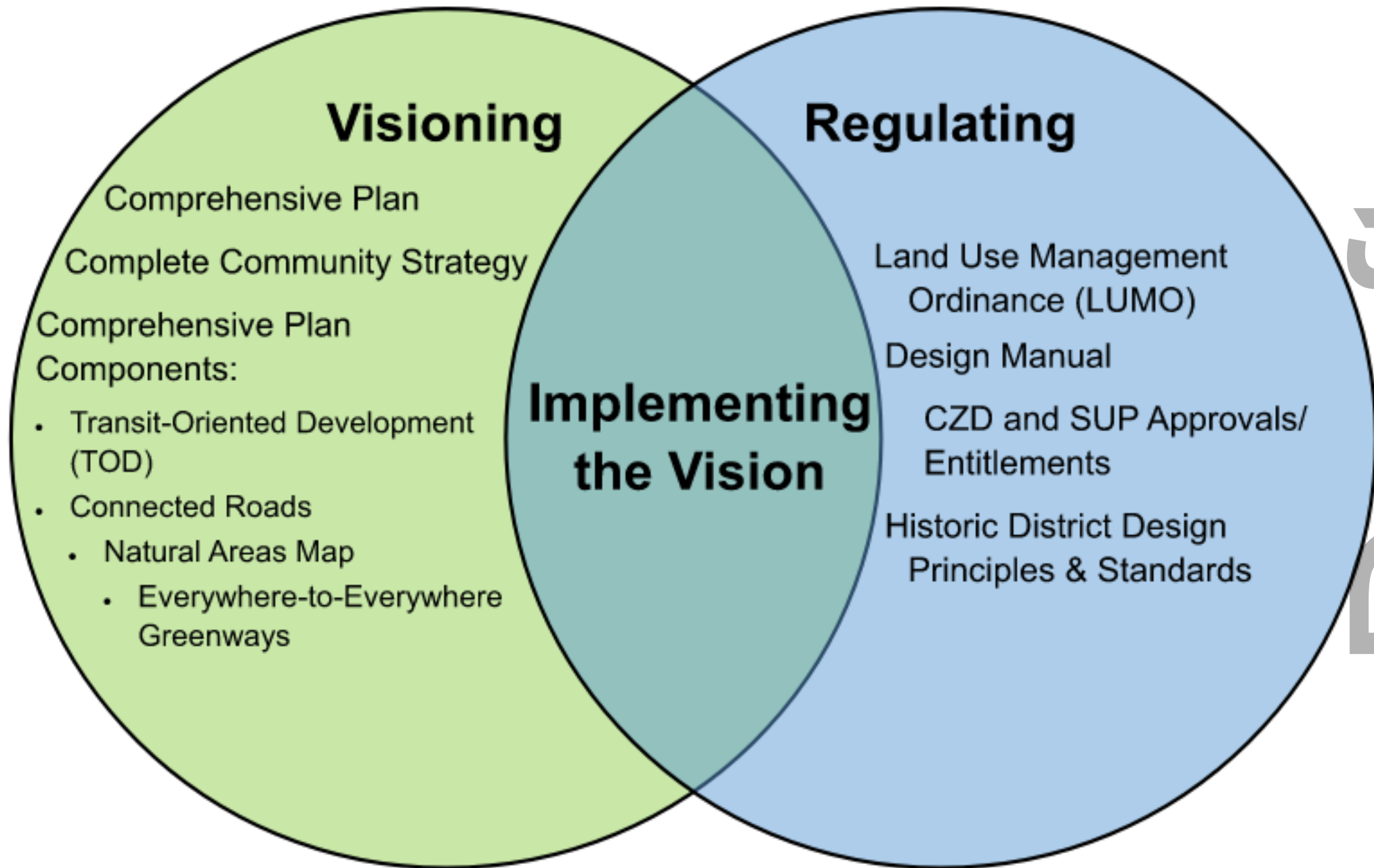
Spring 2023

- April 4, 2023 Planning Commission Recommendation
- April 19, 2023 Council Hearing
- May 10, 2023 Council Action

Updates since the hearing

- Everywhere to Everywhere Greenways Map updates including adding some new facilities and destinations
- Preparing/scheduling review of Natural Areas Map by partner agencies and Advisory Boards
- Working with Parks and Recreation staff:
 - Coordination between the Natural Areas Map and Parks Master Plan
 - Parks and green space goals

draft



Draft

Chapel Hill 2020 Comprehensive Plan

Complete Community Strategy

Components of the Comprehensive Plan

Adopted Additions to the Comprehensive Plan:

- Parks Comprehensive Plan
- Greenways Master Plan
- Central West Small Area Plan
- Chapel Hill Bike Plan
- Stormwater Management Master Plan
- Cultural Arts Plan
- West Rosemary Street Development Guide
- Mobility & Connectivity Plan
- Future Land Use Map (FLUM)
- Climate Action Plan & Response Plan

Proposed Updates to the Comprehensive Plan:

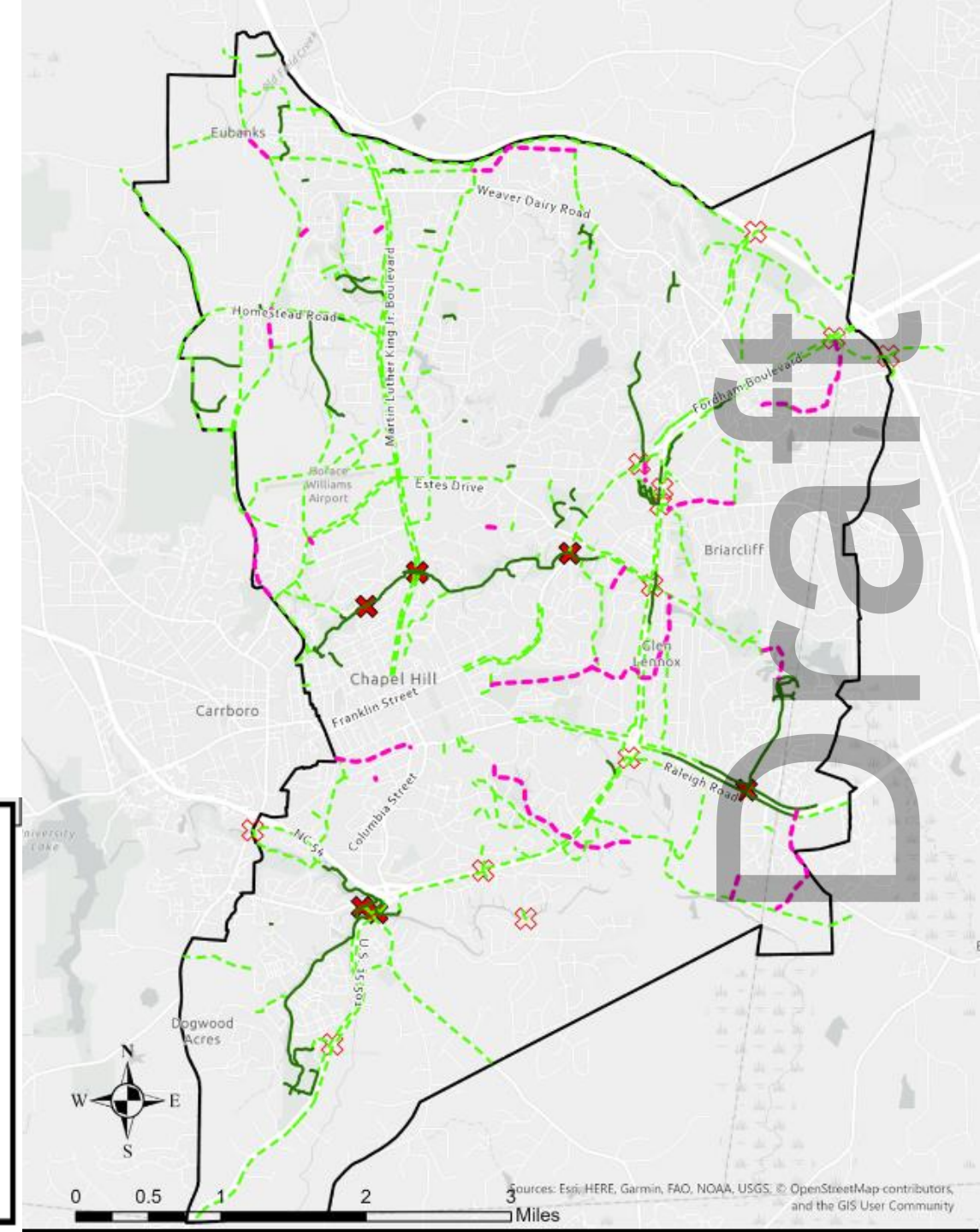
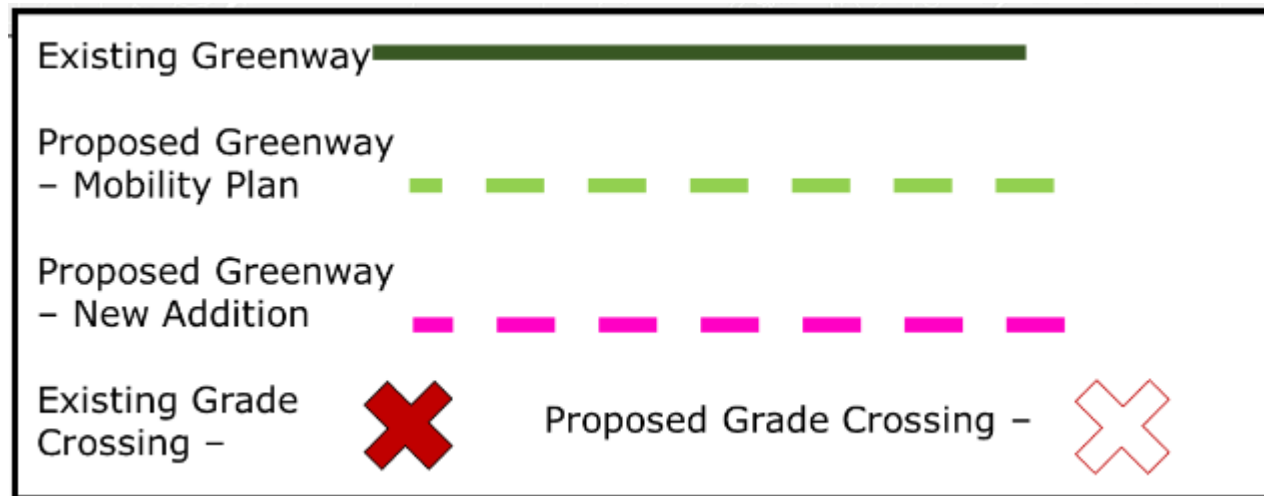
- Transit-Oriented Development (TOD)
- Connected Roads
- Natural Areas Map
- Everywhere-to-Everywhere Greenways

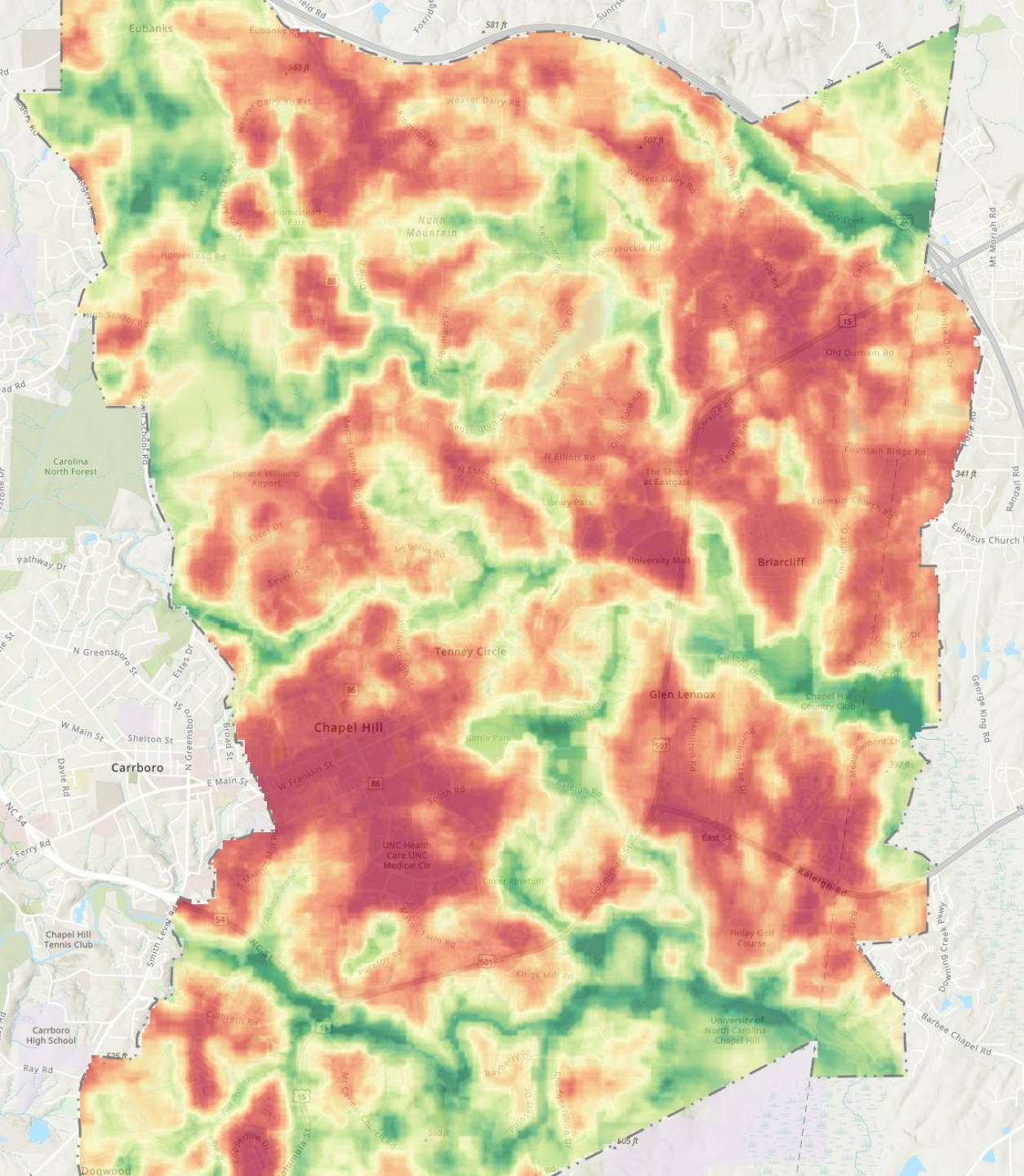
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Principles of Placemaking Elements of Complete Communities for Chapel Hill



Everywhere to Everywhere Greenways





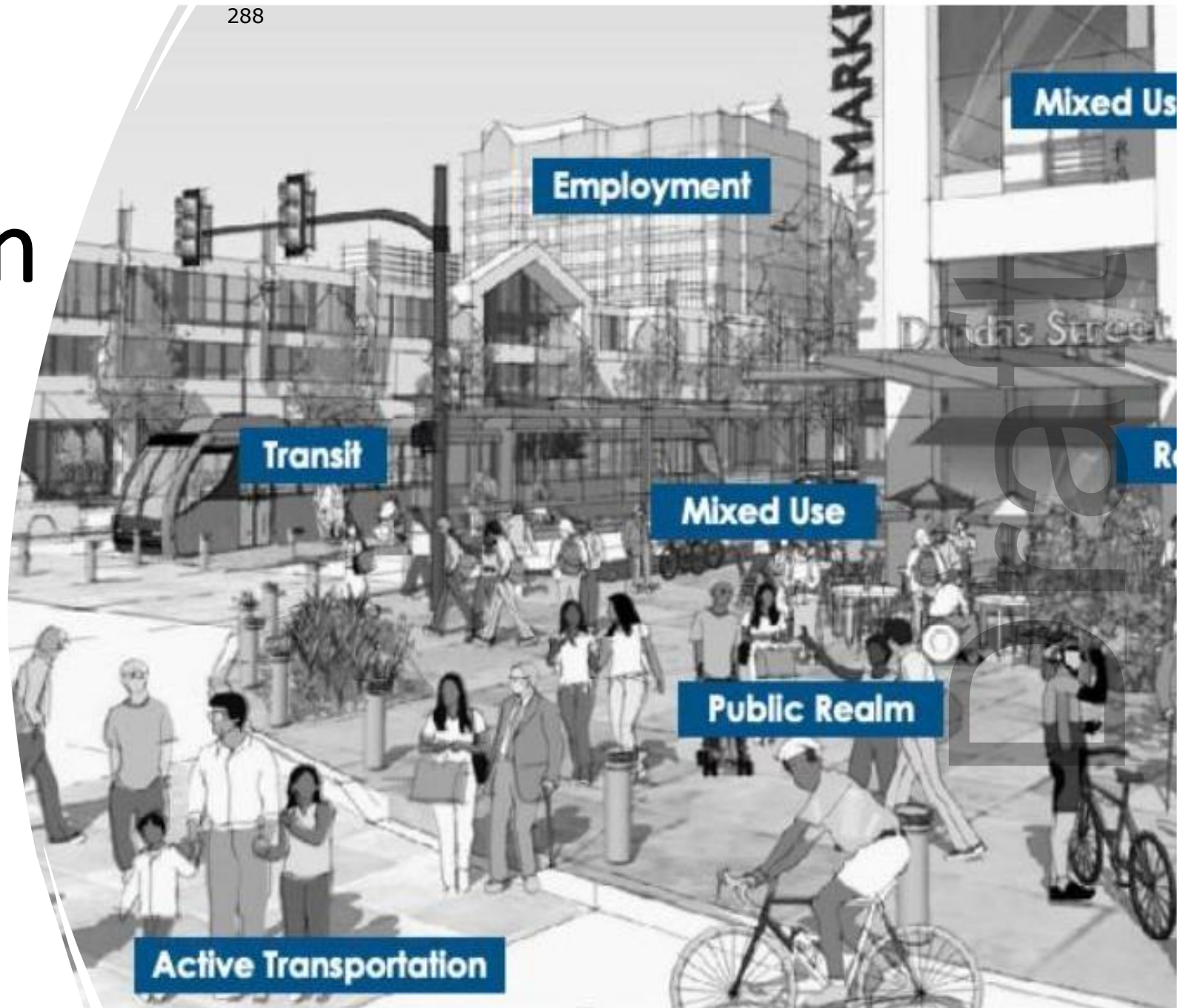
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Natural Areas Map

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Recommendation

- Close the hearing;
- Adopt Resolution #X to update the Town's Comprehensive Plan with *Complete Community Strategy* and its recommendations.



A RESOLUTION ADOPTING THE COMPLETE COMMUNITY STRATEGY AS AN AMENDMENT TO THE TOWN'S COMPREHENSIVE PLAN CHAPEL HILL 2020 (2023-05-10/R-8)

WHEREAS, the Town Council desires to update its long-range plans for the future of Chapel Hill in preparation for rewriting its Unified Development Ordinance, the Land Use Management Ordinance (LUMO); and

WHEREAS, the Council adopted a resolution on December 7, 2022 to accept the Complete Community Strategy and to implement the vision through an update to the Comprehensive Plan; and

WHEREAS, there has been a concern in the community that Chapel Hill does not have enough land to accommodate its future housing needs; and

WHEREAS, Chapel Hill currently has an unsustainable, land-intensive approach to growth; and

WHEREAS, better land use planning requires clearly identified and protected Natural Areas and a shift away from auto-oriented development; and

WHEREAS, better land use planning requires the protection of Natural Areas, a clear plan for the provision of local, community-based parks, denser housing forms and a high quality pedestrian public realm, and a greater mix of uses in close proximity; and

WHEREAS, dense housing that is designed around driving and with significant parking detracts from the longer term sustainability of Chapel Hill and is not desirable moving forward; and

WHEREAS, sustainable denser forms of growth need to be supported by active transportation options so that less land is allocated to vehicles, driving, and parking; and

WHEREAS, active transportation options such as walking and cycling require a safe, accessible, and interconnected network of high quality public realm infrastructure and Greenways; and

WHEREAS, the Chapel Hill Complete Community Strategy outlines a way to plan and grow in keeping with a larger vision and a broad set of shared objectives that have been generated through a consensus of building processes.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the Complete Community Strategy, as described in the May 10, 2023 meeting materials, as an amendment to the Town's Comprehensive Plan, Chapel Hill 2020.

This the 10th day of May, 2023.



COMPLETE COMMUNITY STRATEGY



COMPLETE COMMUNITY STRATEGY

Amendment to Chapel Hill 2020

Town of Chapel Hill, NC

A Strategy for Where and How to Build Complete Communities in Chapel Hill, NC.

COMPLETE COMMUNITY STRATEGY

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Acknowledgements

Town Council:

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 Adam Searing

INTRODUCTION

In 2021, the Town of Chapel Hill, NC and the University of North Carolina at Chapel Hill jointly commissioned a [Projected Housing Needs 2020 – 2040](#) study to assess projected housing needs through 2040. This [Study](#) found that:

- Jobs, not students, are driving the need for additional housing in the Town;
- There has been a lack of diversity in the housing units constructed in the Town. During the 2000s and 2010s, most dwellings units were single-family detached dwellings or large multi-family developments;
- This lack of diversity in housing units fails to meet the needs of many households including seniors, first-time home buyers, families with children, and empty nesters; and,
- Housing production must increase to prevent the housing-jobs balance from worsening, which translates into approximately 485 dwelling units per year.

As a result of the [Projected Housing Needs 2020-2040](#) study, the Town Council led an initiative to determine a new approach toward housing creation in Chapel Hill. This initiative became the Complete Community Strategy that details how Chapel Hill can grow purposefully to accommodate a variety of housing types and increasing numbers dwelling units through 2040.

PROCESS

Development of the Complete Community Strategy was a Council led effort with consultant assistance. Community engagement focused on deep conversations with stakeholders. Two rounds of interviews were conducted with individuals representing Business and Institutional Interests; Equity Advocates; Developers; Housing and Quality of Life Advocates; Environmental Interests; and Pedestrian, Transit, Cycling, and Greenways interests. A total of 51 individuals were interviewed. From June to November 2022, the Town Council met with the project consultants seven times to receive updates and to discuss details of the Strategy. On December 7, 2022, Council passed a resolution endorsing the Complete Community Strategy with the understanding that an amendment to *Chapel Hill 2020*, the Town's Comprehensive Plan, would be required to effectuate the Strategy.

COMPLETE COMMUNITY STRATEGY

In 2012, the Town of Chapel Hill adopted its current Comprehensive Plan, which is entitled, [*Chapel Hill 2020*](#). Since its adoption, *Chapel Hill 2020* has been amended ten times with additional planning elements to complement the Themes and Goals in the Plan. These amendments include a [Parks Comprehensive Plan](#), a [Stormwater Management Plan](#), a [Cultural Arts Plan](#), an updated [Future Land Use Map \(FLUM\)](#), and a [Climate Action and Response Plan](#). These amendments reflect the Town’s values and further define the Town’s vision for the future stated in *Chapel Hill 2020* as:

Chapel Hill 2020: Connections. Choices. Community.

Chapel Hill will be a multicultural university town where each day celebrates connections and choice; where a dynamic downtown and networked community inspire connections among people, ideas, the region, and the world; where innovation, technology, discovery, learning, and the arts continually animate a town alive with choices, options, and opportunities to live, work, play, and prosper.

The Complete Community Strategy augments the vision in *Chapel Hill 2020* and weaves together the various plans that have amended *Chapel Hill 2020* since its adoption. As a result, *Chapel Hill 2020* will be further amended with the Complete Community Strategy. With this new amendment, *Chapel Hill 2020* will continue to serve as a road map that guides future decisions about how the Town should evolve over time.

Figure 1 illustrates the fundamental elements and tenets of the Strategy. The diagram places “Place” in the center, and all elements of “Place” radiate from the center. Creating “Place” is one central purpose of comprehensive plans. When the Town adopted the Vision in *Chapel Hill 2020*, the Town described the “Place” that Chapel Hill wants for its future. Therefore, the “Place” at the center of the diagram is the vision articulated in *Chapel Hill 2020*.

Chapel Hill Complete Community Framework



FIGURE 1 - COMPLETE COMMUNITY STRATEGY

Figure developed by the Keesmaat Group

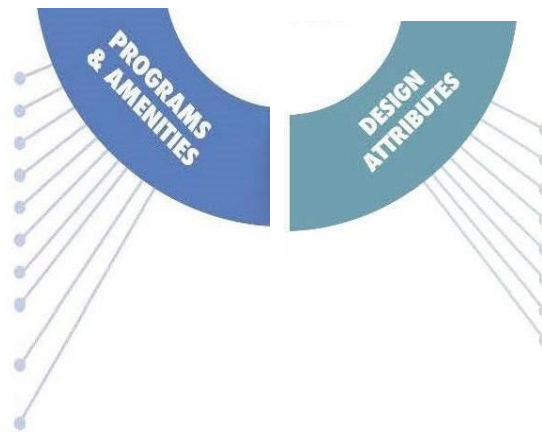
In the Chapel Hill context, a Complete Community means:

Using **Social Equity Drivers** to create a place for everyone that provides equal access to the necessities and amenities that support a healthy, safe, and fulfilling community.



Recognizing the **Assets** of Chapel Hill that make Chapel Hill a unique and desirable place. Decisions about the future should be made to support and enhance these attributes.

Providing the **Programs and Amenities** that people in the community need and desire supports an active, complete, and vibrant place.

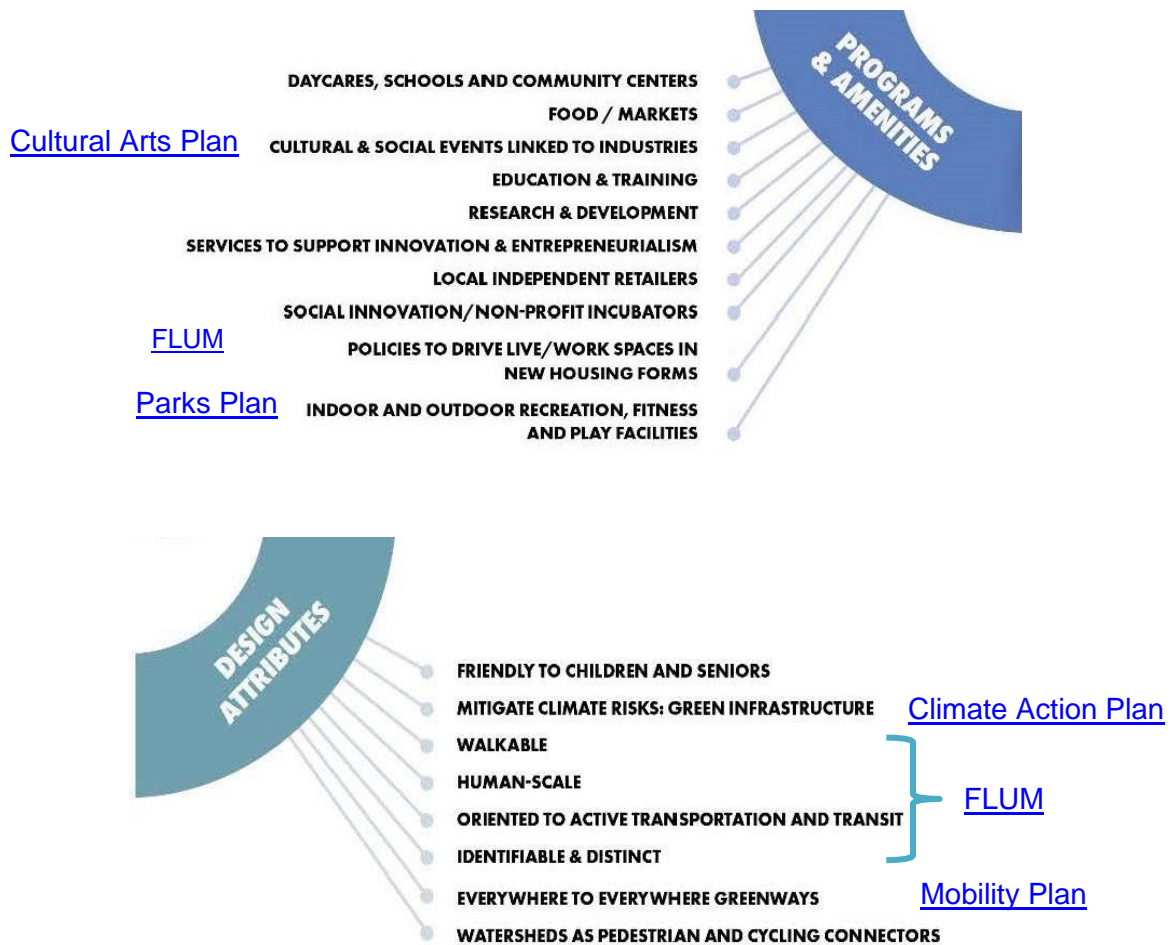


Utilizing **Design Attributes** that Chapel Hill possesses and desires to provide more of to the people who live, work, and visit the community. Creating connected, attractive, and human-scaled places utilizing transit and greenways and other sustainable transportation options supports climate goals as well as making an attractive place.

To understand how the Complete Community Strategy amplifies and augments *Chapel Hill 2020* and its amendments, each element of Complete Community Strategy is isolated below with hyperlinks indicating where the tenets of the Strategy are discussed in *Chapel Hill 2020* and its amendments.



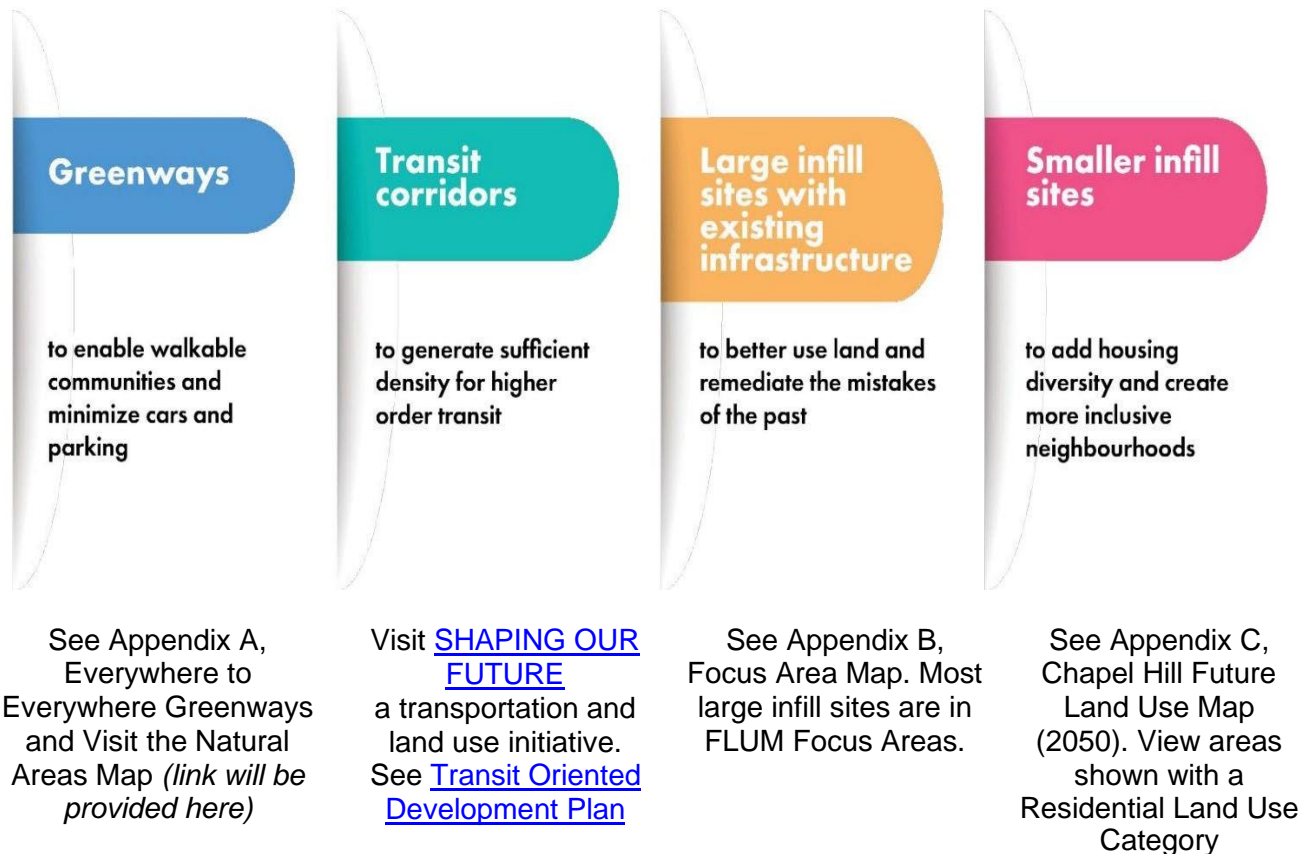
[FLUM](#)



The Complete Community Strategy acknowledges that growth will come to the Town and that growth is necessary to provide a variety of housing units to different types of households. However, the Strategy defines how growth and change should be both accommodated and managed as Chapel Hill works to implement the overall vision found in *Chapel Hill 2020* and the land use principles embodied in the Future Land Use Map.

In Chapel Hill, a Complete Community must be inclusive, sustainable, and economically competitive.

The Complete Community Strategy states that Chapel Hill will direct growth to:



GOALS & OBJECTIVES OF THE COMPLETE COMMUNITY STRATEGY

To support this declaration of how to accept and manage new development, the Strategy includes both overall goals and specific objectives for meeting those goals.

GOAL ONE – PLAN FOR THE FUTURE STRATEGICALLY

1. Plan for the Future Strategically

OBJECTIVE 1.0 – USE VALUES TO EVALUATE NEW DEVELOPMENT

Move towards an approach that is directed by an overarching strategic vision to ensure all of Chapel Hill is a complete community. Assess new development through the lens of broader shared objectives to ensure that collaborations will emerge for delivering broader public benefits - including for existing, underserved neighborhoods.

GOAL TWO – EXPAND AND DELIVER NEW GREENWAYS FOR EVERYDAY LIFE

2. Expand and Deliver new Greenways for Everyday Life

OBJECTIVE 2.0 – DEPEND ON GREENWAYS FOR TRANSPORTATION TO SUPPORT GROWTH

Alongside developing cycling infrastructure throughout Chapel Hill, build a complete network of greenways that give residents the option to travel from everywhere to everywhere on foot, on a bike or an electric bike, instead of having to rely primarily on cars. In this way, more people and more housing density can be added without adding more cars. Connecting the gaps within the existing greenway system, particularly in underserved neighborhoods and areas with historically marginalized residents, is fundamental to enabling this transformation from greenways as recreation to greenways for transportation.

To support this Objective, the Everywhere-to-Everywhere Greenway Map, which is Appendix A, indicates where additional greenways are needed to fulfill this transformation from greenways as recreation to greenways for transportation. In addition, the Natural Areas Maps depicts where stream corridors and watersheds can be utilized and improved to further this objective as greenways for transportation.

Greenways are a critical component for a denser, more sustainable future Chapel Hill.

GOAL 3 – BE GREEN AND SUSTAINABLE

3. Be Green

OBJECTIVE 3.0 – BE GREEN AND PROVIDE HOUSING

Plan a Town that is green and sustainable, alongside a plan to build 485 new homes per year to meet housing needs. To appropriately meet the housing need in Chapel Hill, adding density and becoming more sustainable must be linked, rather than disconnected especially when evaluating development proposals. See Appendix D, a Suitability Analysis-Natural Area Model. This static map and online model graphically indicate where sustainable development is most likely feasible.

To promote this linkage between density and sustainability, purposeful consideration should be given to the coordinated use of greenways (See Appendix A) and linear parks/stream corridors as both green infrastructure and transportation; concentrating development along [transit corridors](#); connected street networks and other design elements encouraging walkability within neighborhoods; inclusion of on-site green stormwater infrastructure such as rain gardens,

bioretention planters, and bioswales; and “green” buildings which includes Leadership in Energy & Environmental Design (LEED) and other sustainable building techniques and practices.

GOAL 4 – PLAN FOR EXCELLENCE IN THE PUBLIC REALM AND EVERYWHERE

4. Plan for Excellence in the Public Realm, Everywhere

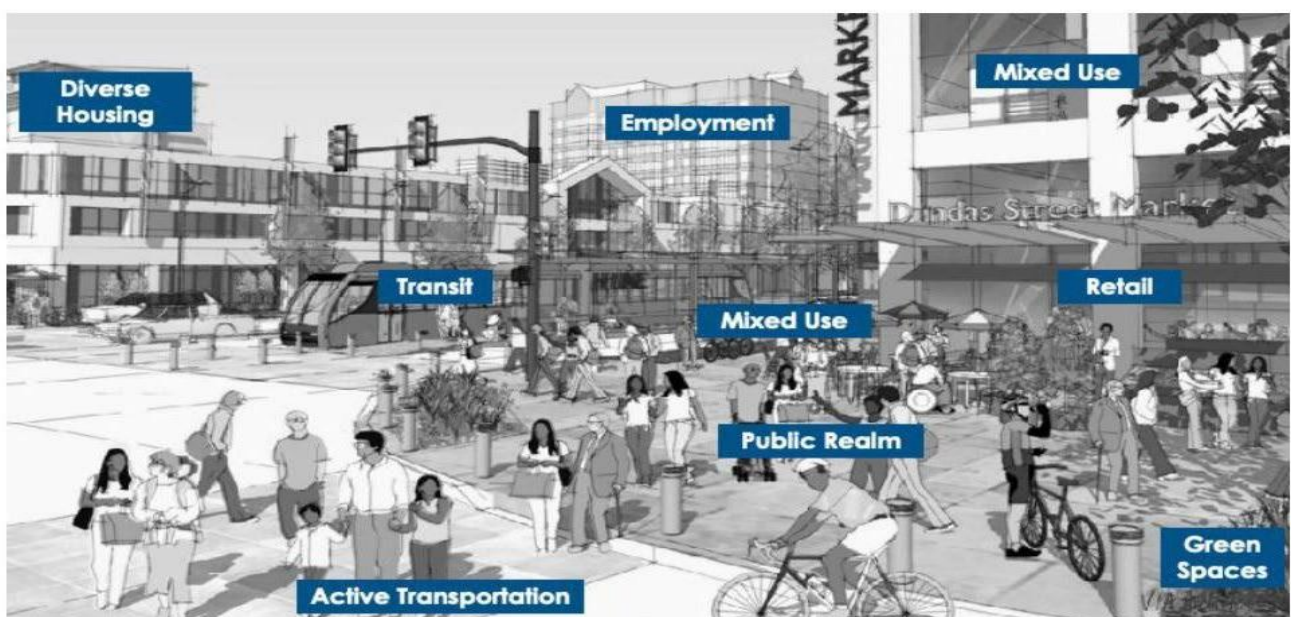
OBJECTIVE 4.0 – HOLISTIC PLANNING

Plan for and expect excellence both in the public and private realms. This excellence can only be achieved if projects are evaluated considering the whole fabric of Chapel Hill. This holistic approach to planning should replace the current myopic approach of project-by-project review. *Chapel Hill 2020*, as amended, and the Complete Community Strategy provide the tools necessary to strive for and achieve excellence if constantly kept front of mind.

AFTER SUCCESSFULLY IMPLEMENTING THE COMPLETE COMMUNITY STRATEGY, WHAT DOES CHAPEL HILL LOOK LIKE IN THE FUTURE?

When Chapel Hill effectively utilizes a values-based approach to development, all components shown in the graphic below will be present, and Chapel Hill will be a Complete Community that is inclusive, sustainable, and economically competitive.

Anatomy of a Complete Community



APPENDIX

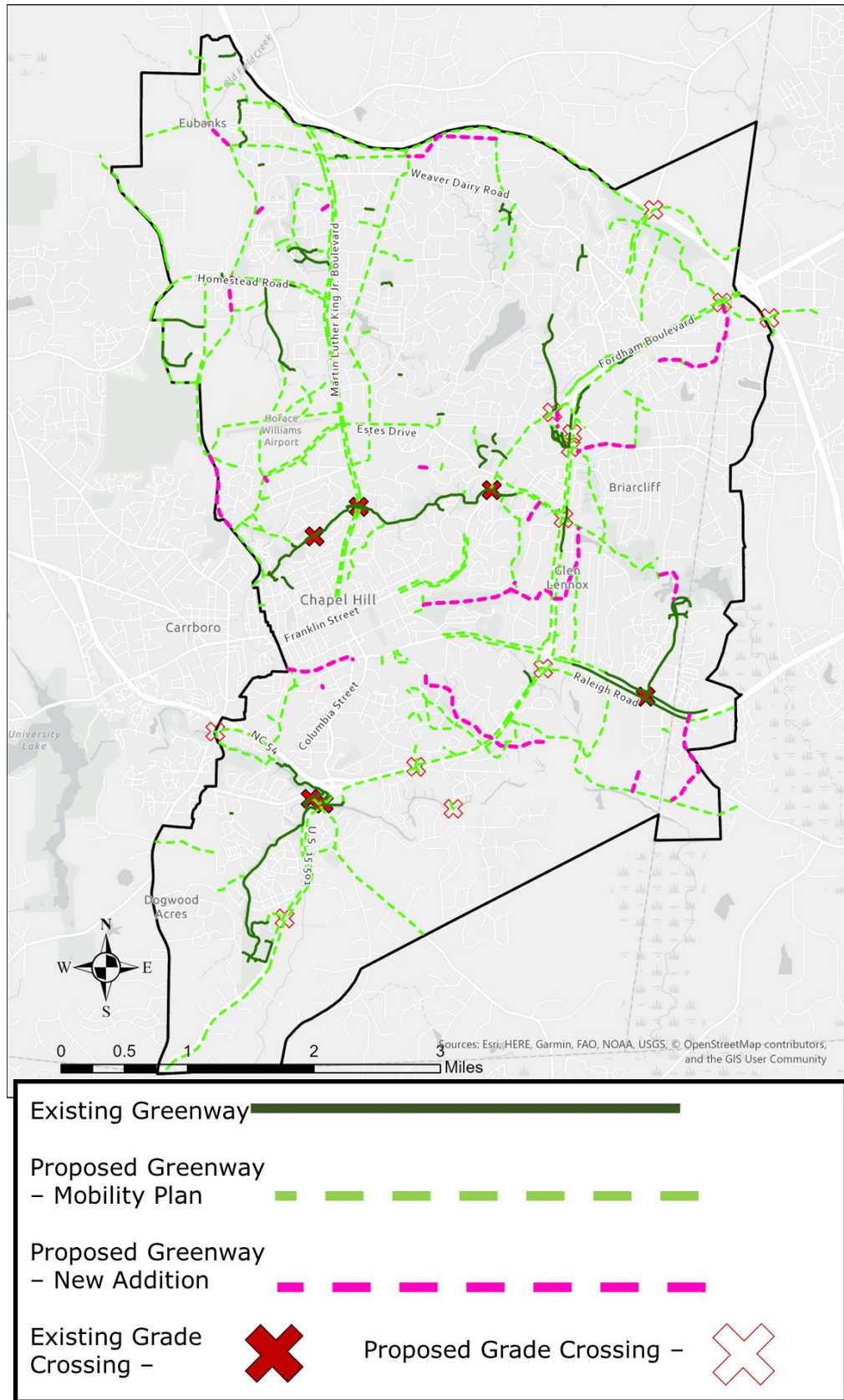
Appendix A – Everywhere to Everywhere Greenway Map

Appendix B – Focus Area Map

Appendix C – Chapel Hill Future Land Use Map (2050)

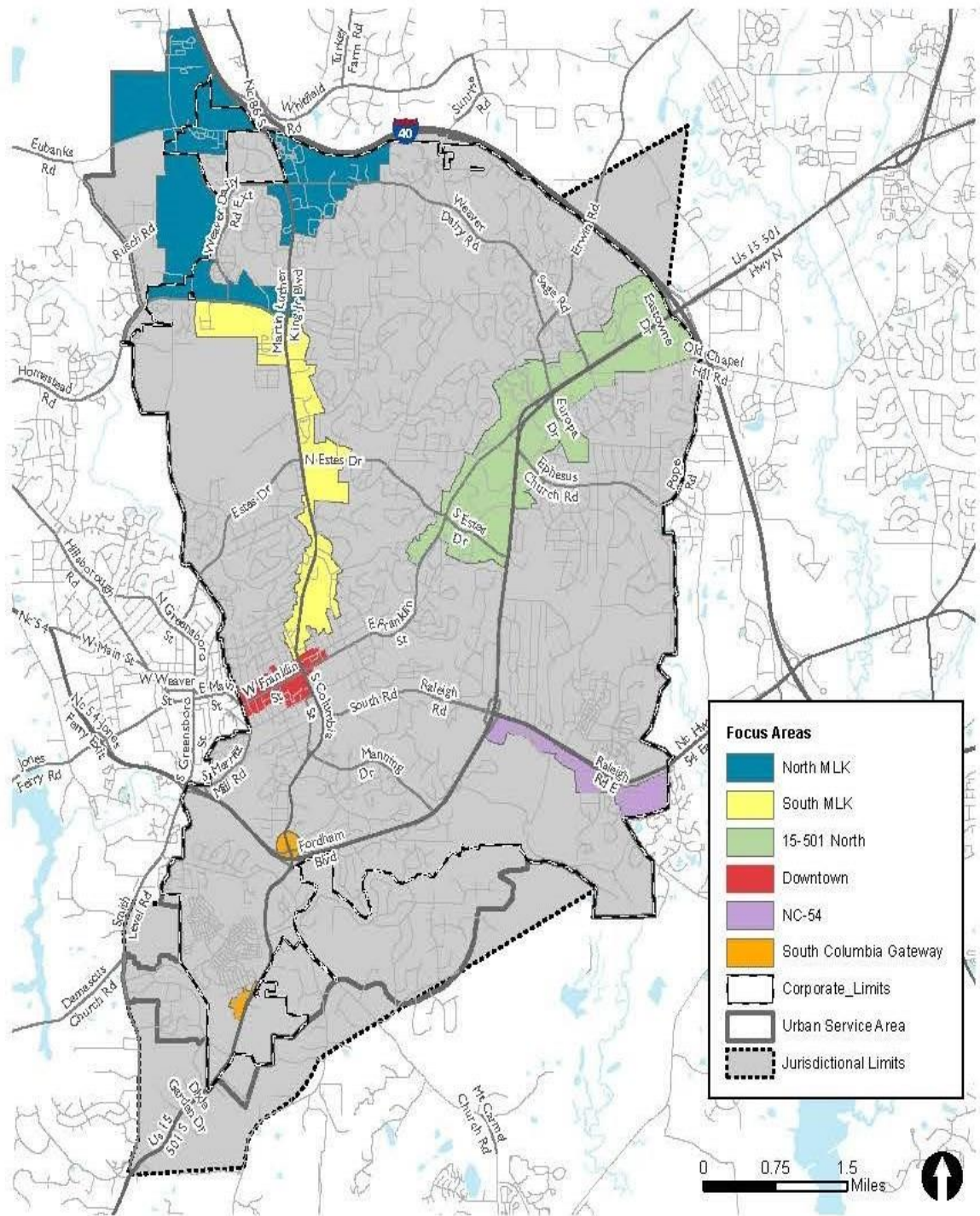
Appendix D - Suitability Analysis - Natural Area Model

APPENDIX A – EVERYWHERE TO EVERYWHERE MAP

**Everywhere to Everywhere Greenways Map**

APPENDIX B – FOCUS AREA MAP

Focus Area Map

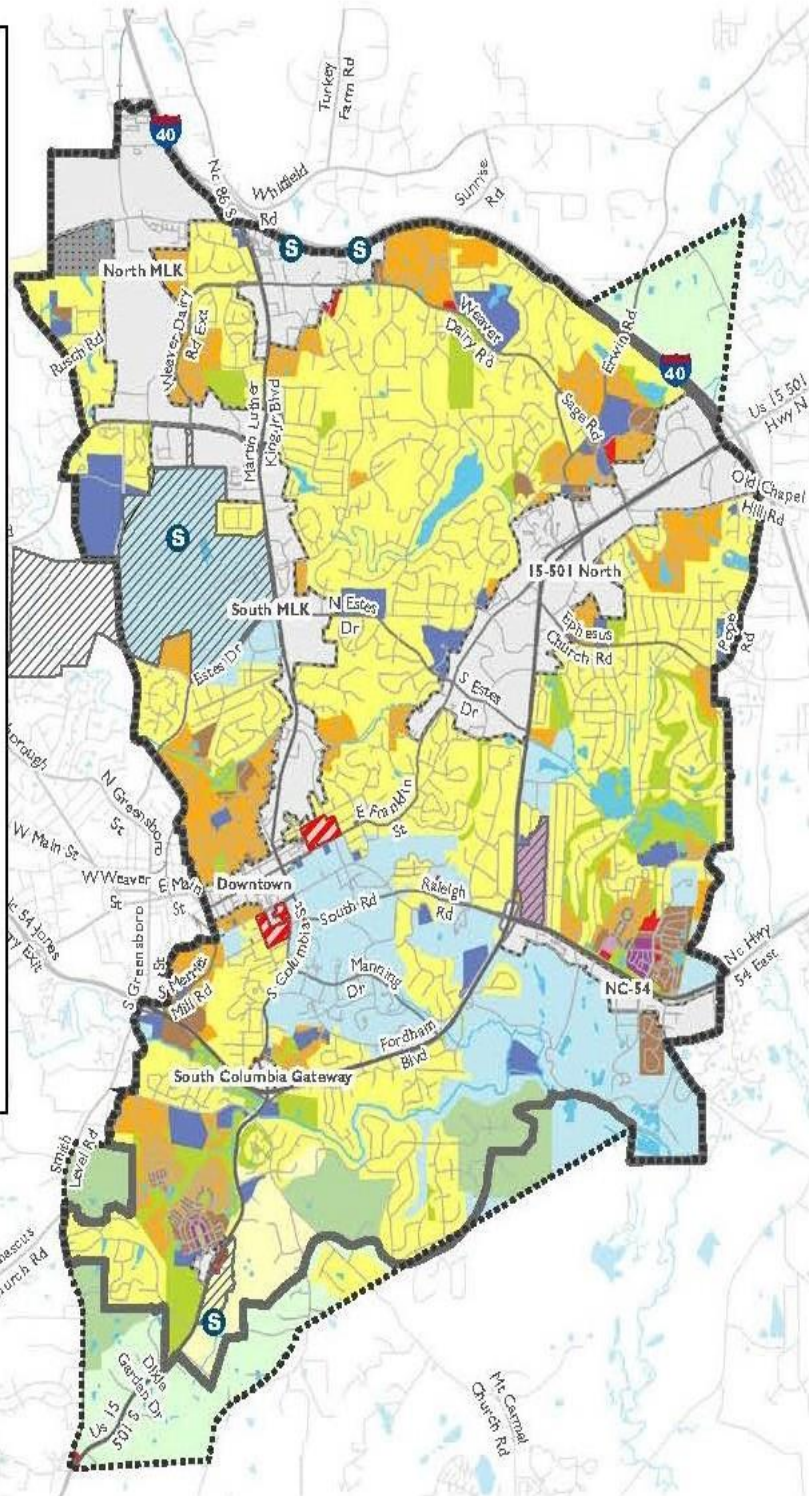


APPENDIX C - CHAPEL HILL FUTURE LAND USE MAP (2050)

Future Land Use Map (2050)

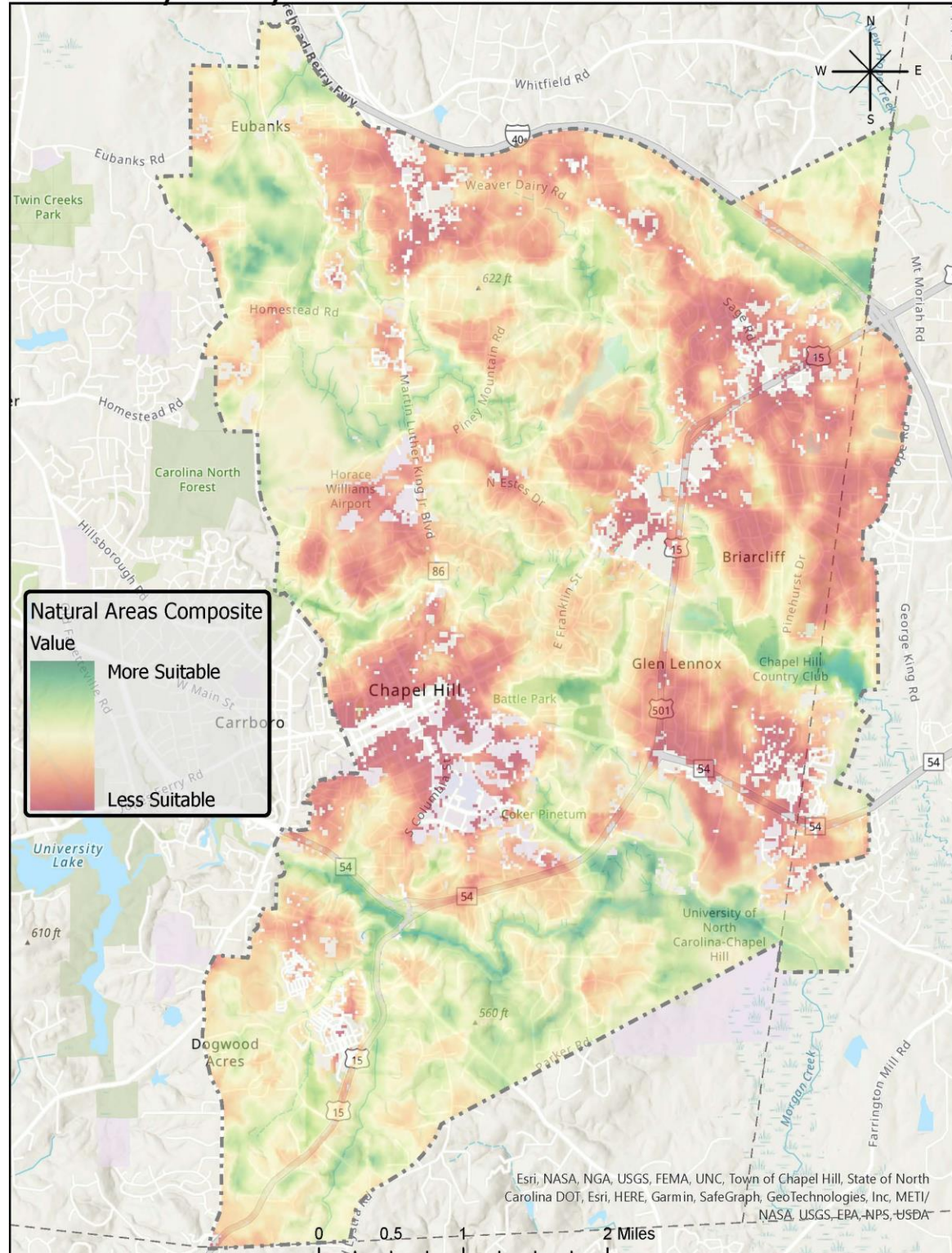


0 0.75 1.5
Miles

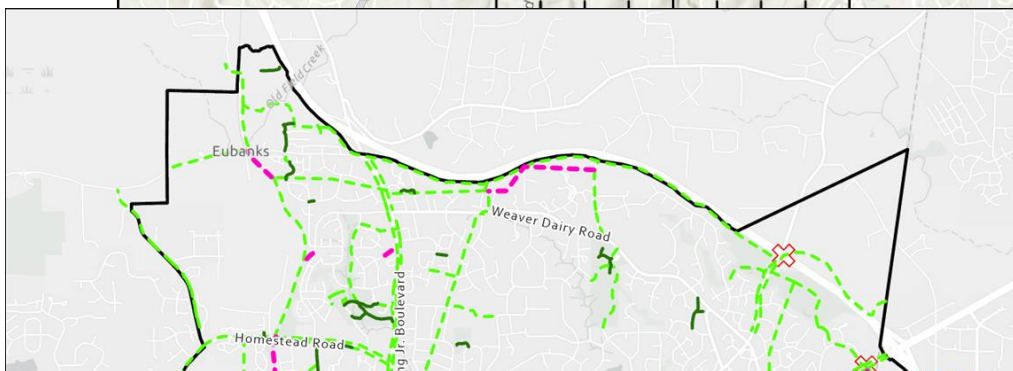


APPENDIX D - SUITABILITY ANALYSIS-NATURAL AREA MODEL

Suitability Analysis- Draft Natural Area Model



DRAFT MAP





TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 14., **File #:** [23-0411], **Version:** 1

Meeting Date: 5/10/2023

Open a Legislative Hearing to Adopt the Connected Roads Plan as an Amendment to the Town's Comprehensive Plan, Chapel Hill 2020.

Staff:

Britany Waddell, Director
Bergen Watterson, Transportation Planning Manager
Josh Mayo, Transportation Planner

Department:

Planning

Overview: The Town of Chapel Hill does not currently have a roadway plan. Aligned with the momentum behind the Complete Community strategy and the Council's vision for a connected and accessible community, the Town contracted with Stantec Consulting Services, Inc. in November 2022 to draft a Connected Roads Plan and provide policy recommendations. The goal of the plan is to implement a consistent approach to local street connections that uses planning best practices of connecting communities and dispersing traffic. The plan's scope was mostly limited to the Town's Focus Areas and other development opportunity sites, with a focus on existing street stub-outs and larger parcels that are expected to develop or redevelop.

The project team conducted two public meetings, and an online survey and interactive map in January and February to gather input on the proposed process for developing the plan, locations or topics of concern, and values/criteria for evaluating potential connections. The meetings and survey were also opportunities for education about the benefits of connectivity and examples of value added in other communities who have improved roadway connectivity.

Town staff vetted the set of proposed connections that the consultant developed using public feedback, existing plans, and local expertise. The consultant then evaluated the remaining connections based on criteria including land uses, property ownership, hydrology, and traffic/walk/bike/transit benefits. They were able to exclude some connections due to infeasibility, while some were deemed to be better as bicycle and pedestrian connections. The remaining road connections were categorized as low-moderate-high constraint.

The second round of public engagement was conducted in April, when the project team shared the proposed connections and asked for feedback. The final list and maps of proposed connections are attached.



Recommendation:

That the Council open the hearing to adopt the Connected Roads Plan as an amendment to the Town's Comprehensive Plan, receive public comments, and continue the hearing to June 14, 2023.

Key Issues:

- The Connected Roads Plan primarily targets the Town's Focus Areas and development opportunity sites.
- The Plan will be used by developers as a guide for infrastructure improvements and to set expectations for existing residents.

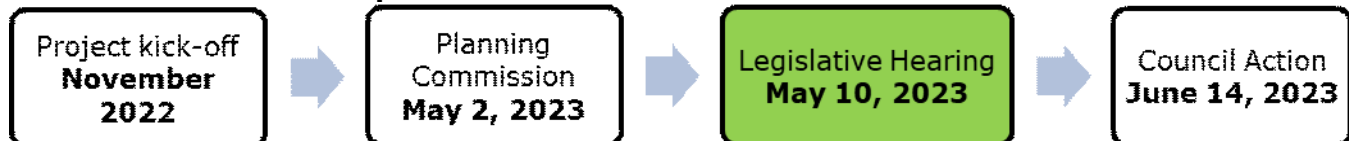
Item #: 14., File #: [23-0411], Version: 1

Meeting Date: 5/10/2023

- The proposed road connections are not expected to be constructed by the Town, but rather by developers as part of the development process.
- The proposed bicycle and pedestrian connections have been added to the Everywhere to Everywhere Greenways Map and may be constructed by the Town if funding becomes available.

Fiscal Impact/Resources: The \$55,000 contract for the Connected Roads Plan was funded with federal funding through the Durham-Chapel Hill-Carrboro Metropolitan Planning Organization (DCHC MPO), including a 20% (\$11,000) local match. There are not funds identified for road construction or bike-ped connections.

Where is this item in its process?



Attachments:

- Draft Staff Presentation
- Draft Resolution
- Draft Connected Roads Evaluation Table
- Draft Connected Roads Map
- Transportation and Connectivity Advisory Board Recommendation
- Planning Commission Recommendation

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Timothy Tresohlavy, Senior Transportation Planner, Stantec, Inc.

- Introduction and preliminary recommendation
- Recommendation of the Planning Commission
- Comments from the public
- Comments and questions from the Mayor and Town Council
- Referral to the Manager and Attorney
- Motion to recess the Legislative Hearing to June 14, 2023.

RECOMMENDATION: That the Council open the legislative hearing to adopt the Connected Roads Plan as an amendment to the Town's Comprehensive Plan and provide feedback on the draft Plan.



- Planning

+ Plans and Ordinances

Planning and Zoning
Application Forms

+ Active Development

- Transportation Planning

Transportation Plans
and Studies

Connected Roads
Plan

Regional
Transportation

Merritt Mill Lane
Reallocation

Wayfinding

Shared
Transportation and
Bikeshare

Franklin Street
Temporary Lane

Government » Departments & Services » Planning » Transportation Planning »

CONNECTED ROADS PLAN

Font Size: + - + Share & Bookmark Feedback Print



Connected Roads Plan + Policy

Town of Chapel Hill

Town Council Summary

MAY 2023





WHAT is a Connected Roads Plan?

Seeking to implement a **consistent approach** to local street connections

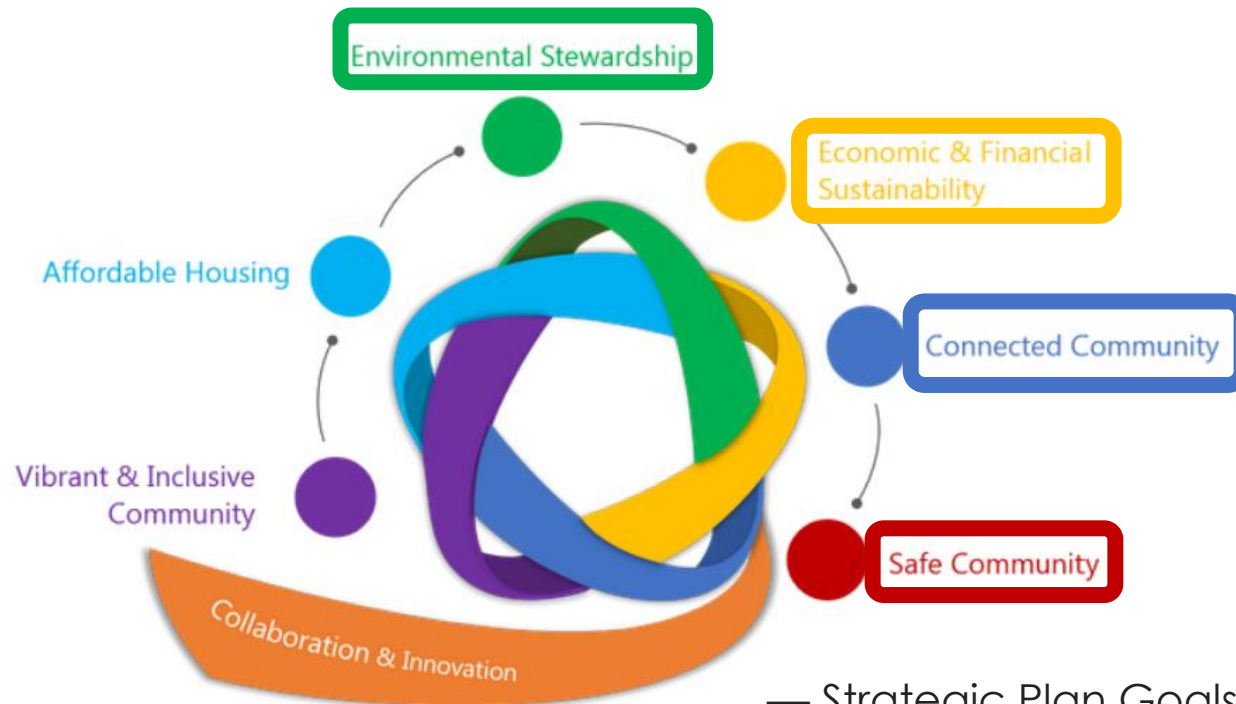
- seeking best practices of **connecting communities** for all modes

Draft

WHY is this important?



TOWN OF
CHAPEL HILL is committed to...



— Strategic Plan Goals & Objectives



COMPLETE
COMMUNITY
STRATEGY

Connected Roads
Plan & Policy

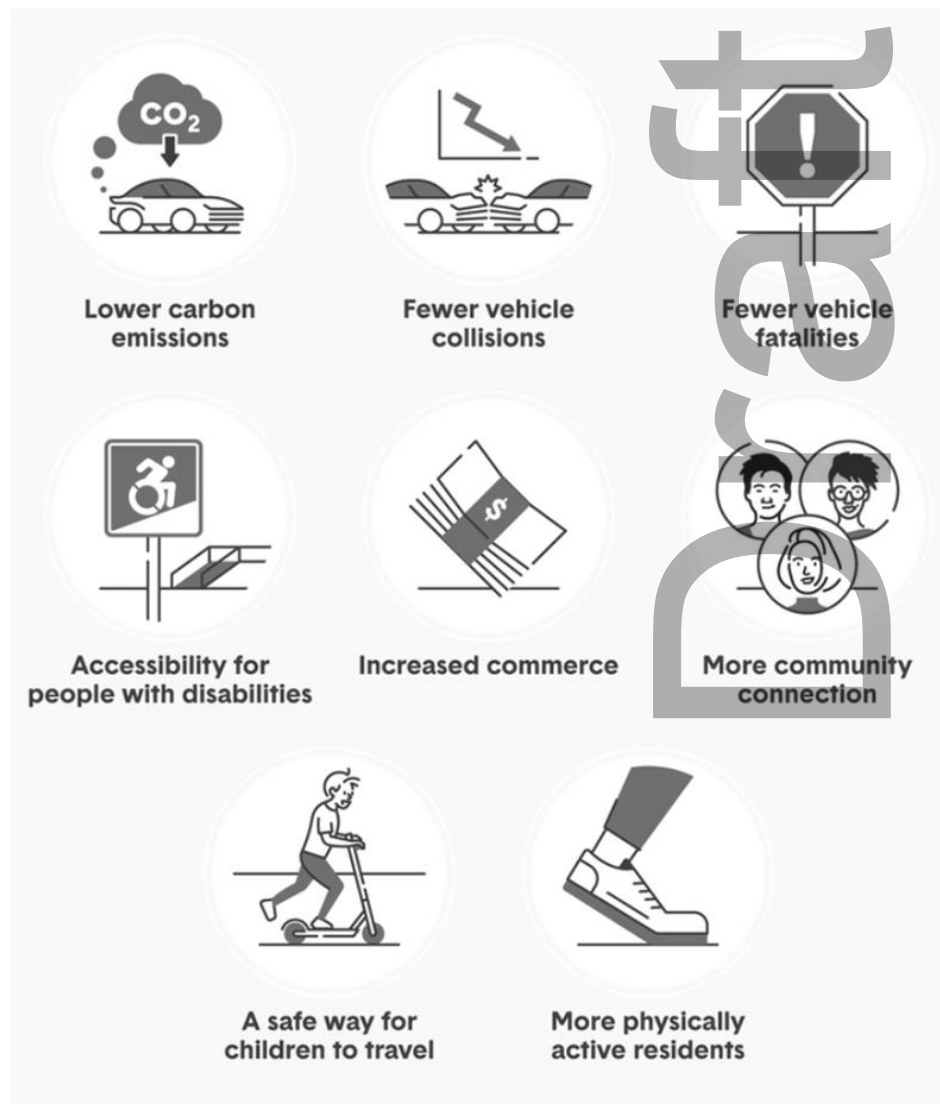
WHAT are the benefits?

DIRECT BENEFITS:

- Connectivity improves Fire / EMS response times
- Connectivity reduces trip length (miles + time)

INDIRECT BENEFITS:

- Safety
- Delay at intersections
- Mode choice
- Emissions



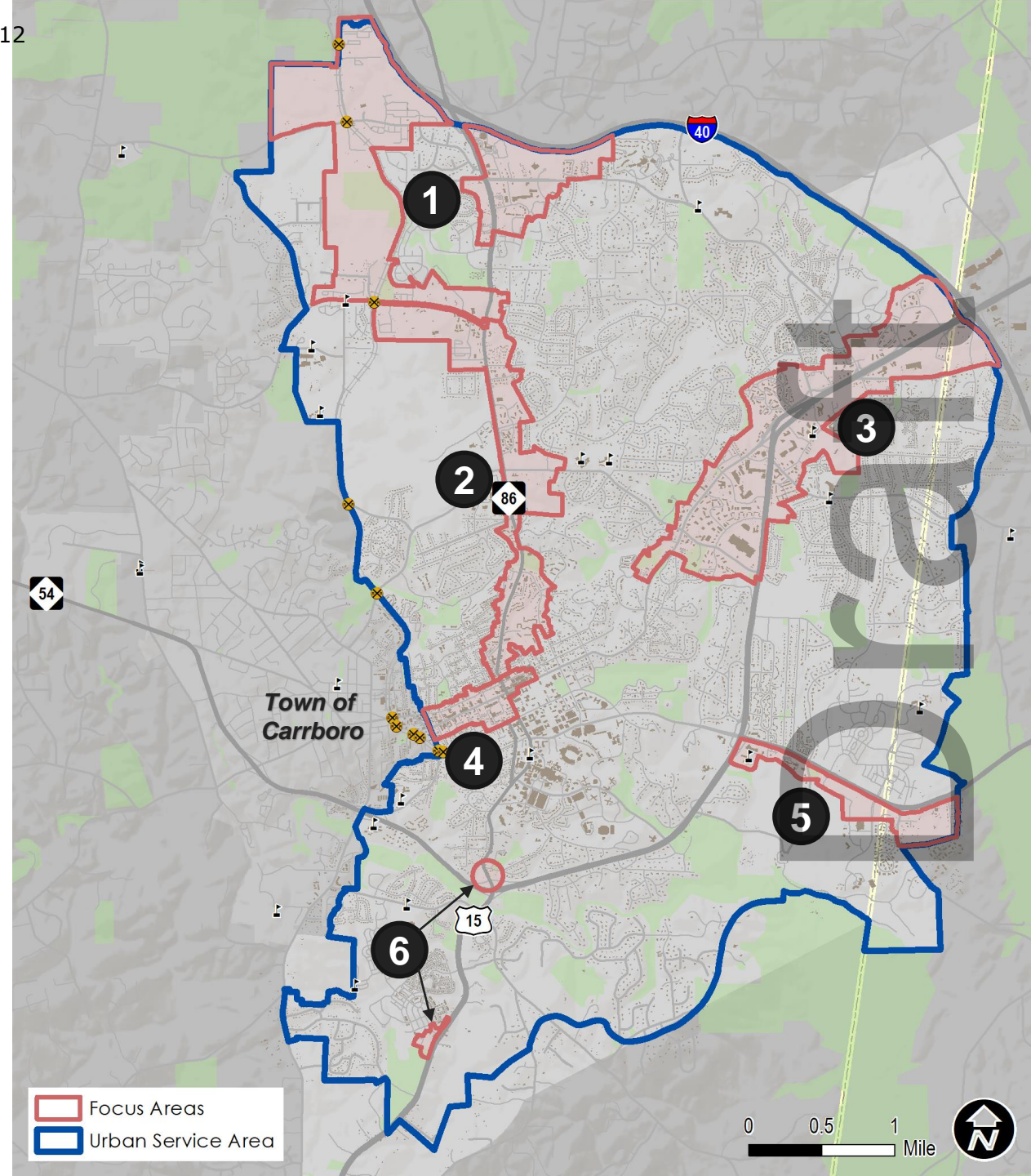


WHERE are we prioritizing connections?

Potential for **new mixed-use development** (growth)

Major corridors are constraint to greater connection

312



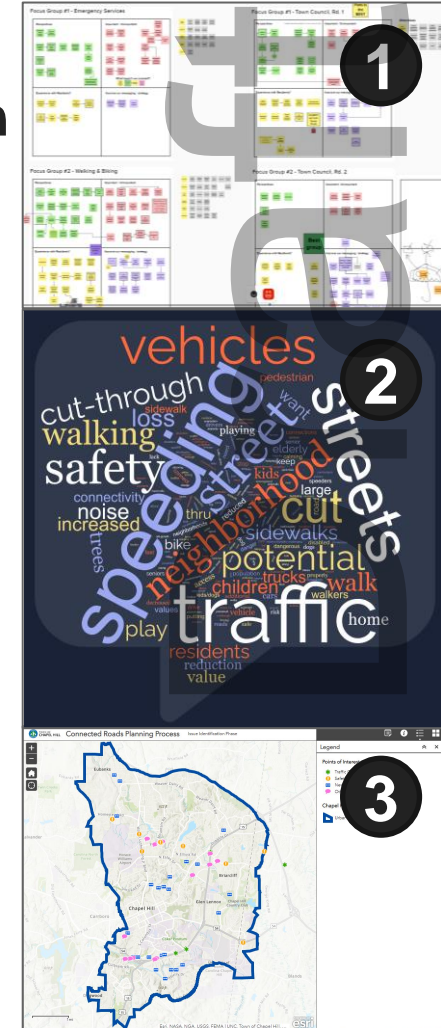


HOW did we proceed?

In-person & Virtual Participation

1. Focus Group Discussions (x6)
2. Survey
3. Interactive Web Map
4. **Round #1 Public Meeting**
 - In-person meeting
 - Virtual meeting
5. **Round #2 Public Meeting**
 - In-person meeting
 - Virtual meeting

December 2022 – April 2023





Survey

Launched Jan 3rd
Closed Feb 16th
179 respondents

Top 3 Important TOWN Initiatives:

1. Improving walkability
2. Eliminating fatal / severe injury crashes
3. Environmental sustainability

Convenience & Speeding Cars were recurring themes



638145822868130000
(townofchapelhill.org)



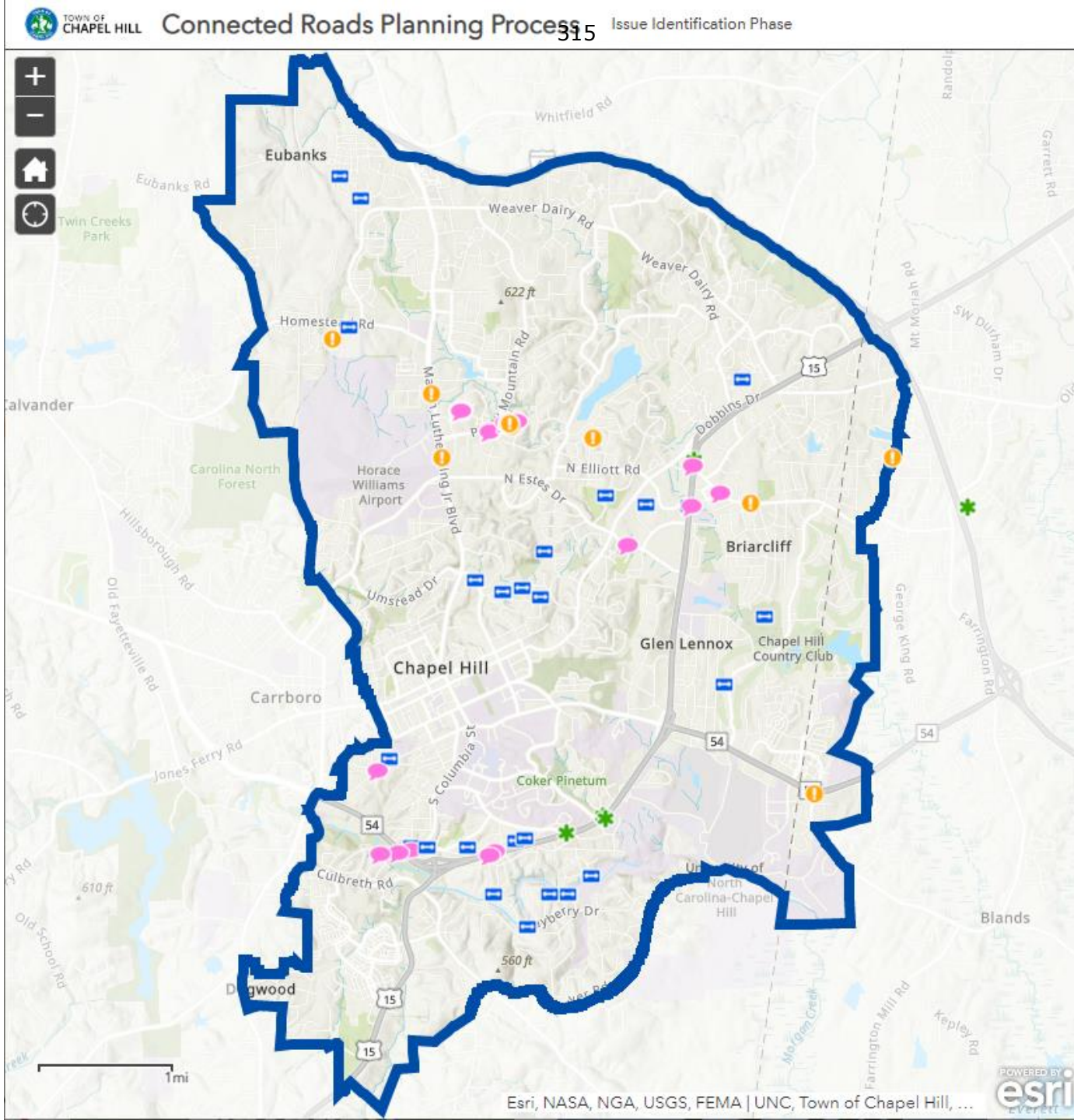
Interactive Map

78 Points of Interest

- 32 Connection Needed
- 28 Other
- 13 Safety Hazard
- 5 Traffic Congestion



[Connected Roads Planning Process \(arcgis.com\)](https://arcgis.com)



Legend

Points of Interest

- Traffic Congestion Here
- Safety Hazard
- New Connection Needed
- Other - Describe

Chapel Hill - Urban Service Area

- Urban Service Area

Draft

WHAT did we hear?



you
spoke
we
listened

1. Value walkability and safety
2. Prioritize greenway connections
3. Residential cul-de-sac streets should be off-limits
4. ***No buildings to be impacted***
5. ***Traffic noise and speeding cars are potential issues***
6. For consistency, align with





78 potential connections

317

ASSEMBLE

WHAT process did we follow?

1. ASSEMBLE: all possible connections!

- *Cut #1: Not-feasible or Potential impact to buildings*

EVALUATE

2. EVALUATE: desktop screening

- **Review:** hydro / topo, adjacent land uses
- *Cut #2: Bike / Ped Connection Only*

CATEGORIZE

3. CATEGORIZE: based on constructability

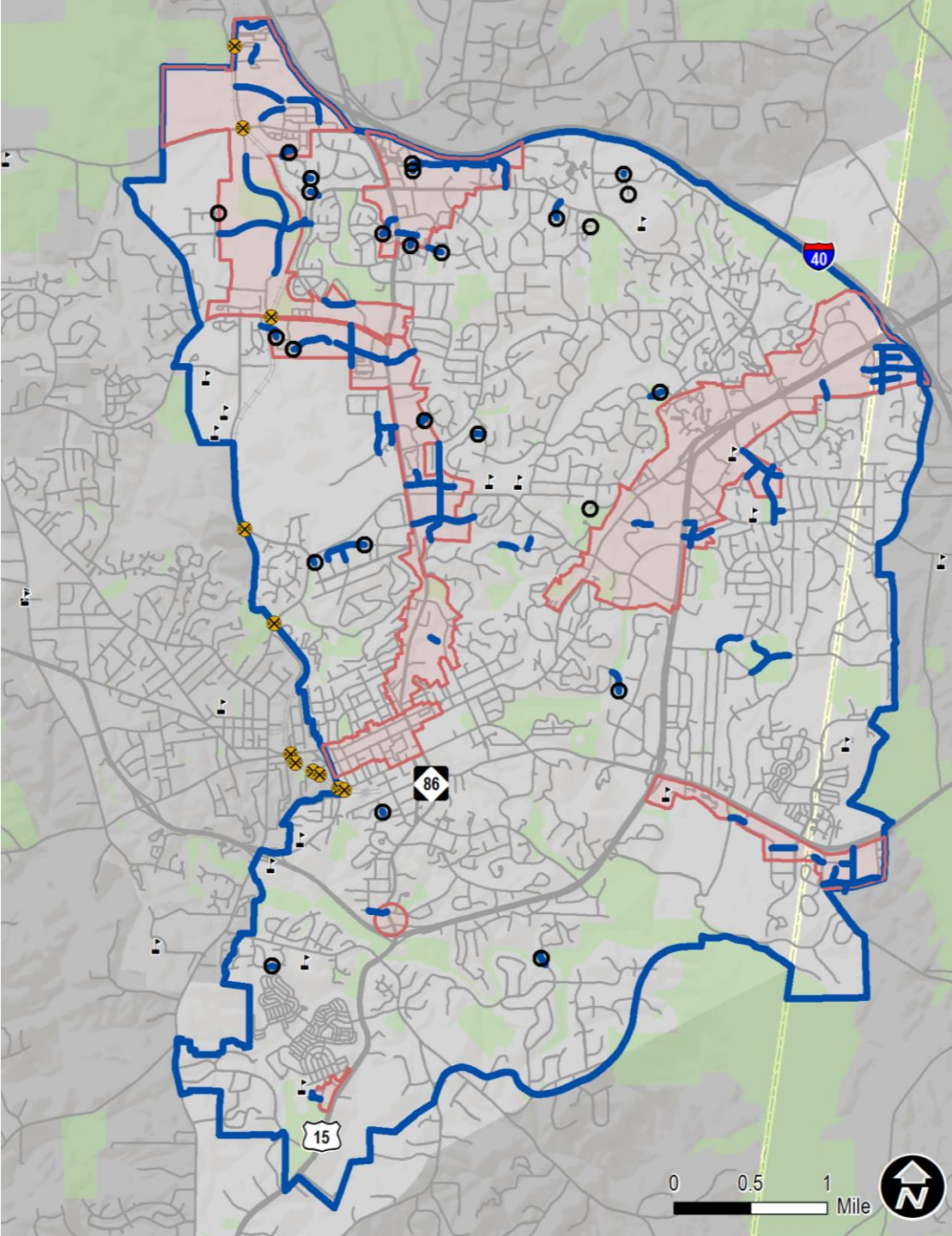
- **Few Constraints:** relatively few constraints; Focus Areas
- **Moderate Constraints:** some constraints; longer segment
- **High Constraints:** several constraints / challenges



(1) ASSEMBLE

Existing stub-out streets
Interactive Map ‘connections’
FLUM locations
“Universe” of connections

75 total connections considered
Screening – Cut #1





(2) EVALUATE

Constraints that limit constructability

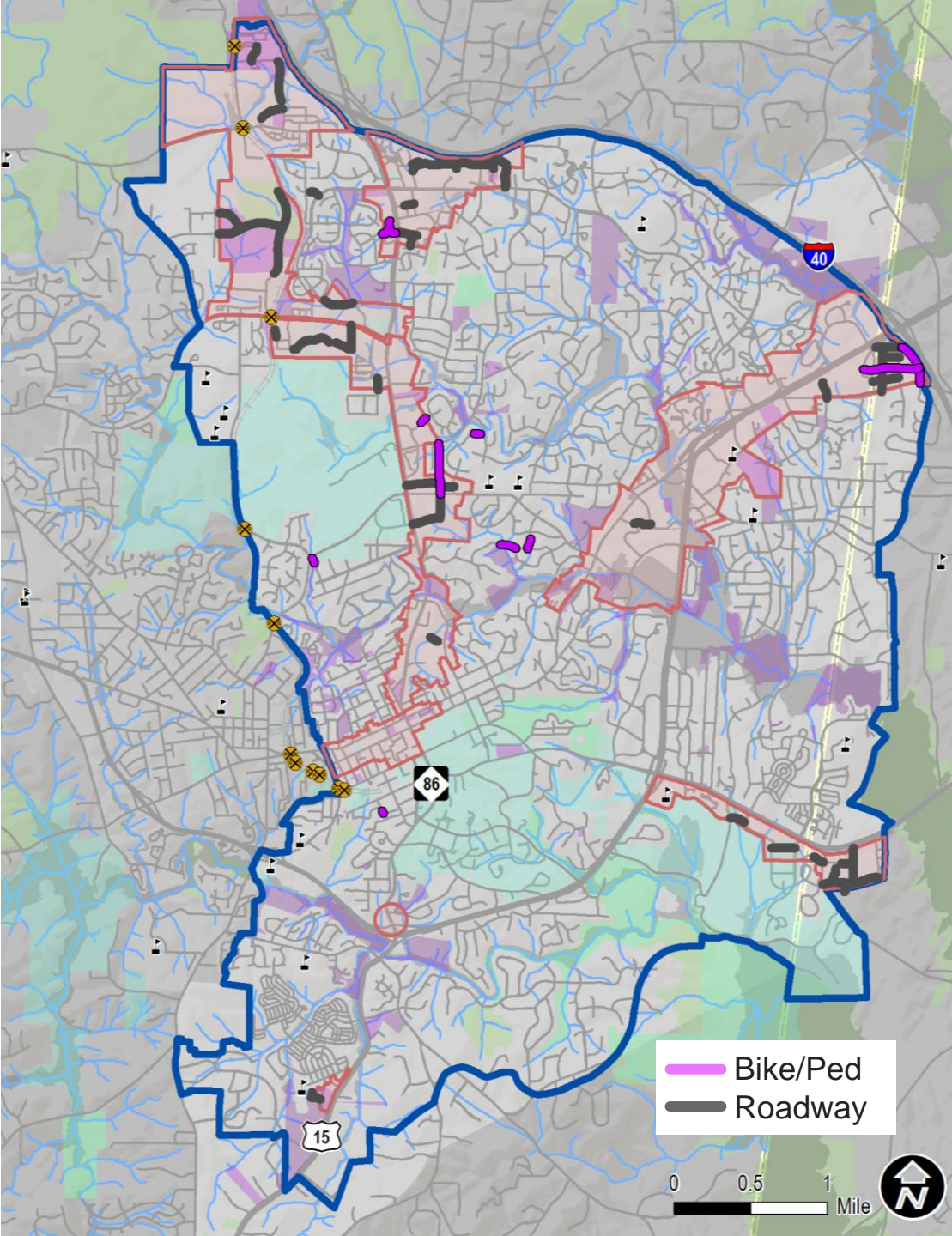
- Streams / Topo / Floodplain
- Railroad crossing
- Adjacent properties / uses

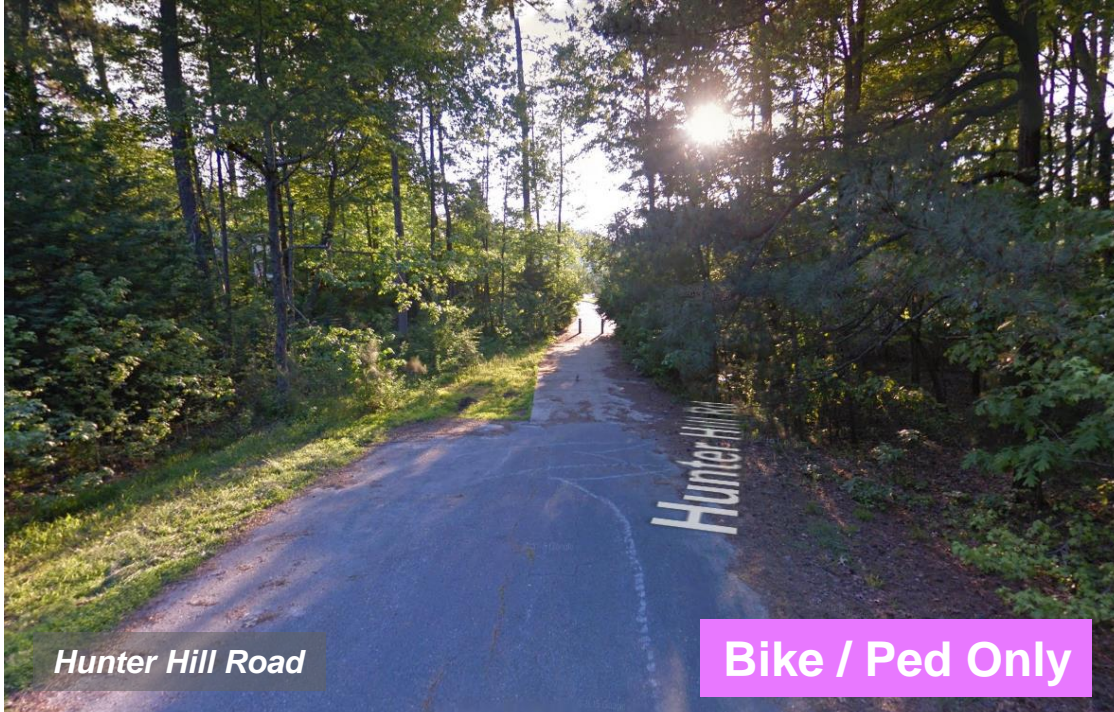
Potential **benefits**

- traffic / walking / transit

50 remaining for review

Screening – Cut #2





Hunter Hill Road

Bike / Ped Only



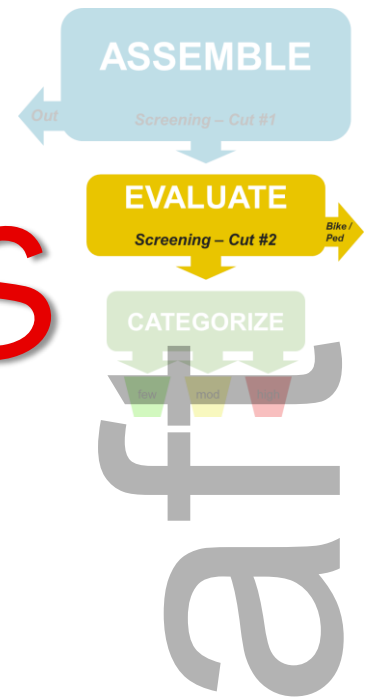
Huntington Drive / Wellington Drive

Bike / Ped Only

2. EVALUATE

EXAMPLES

Bicycle / Pedestrian Only





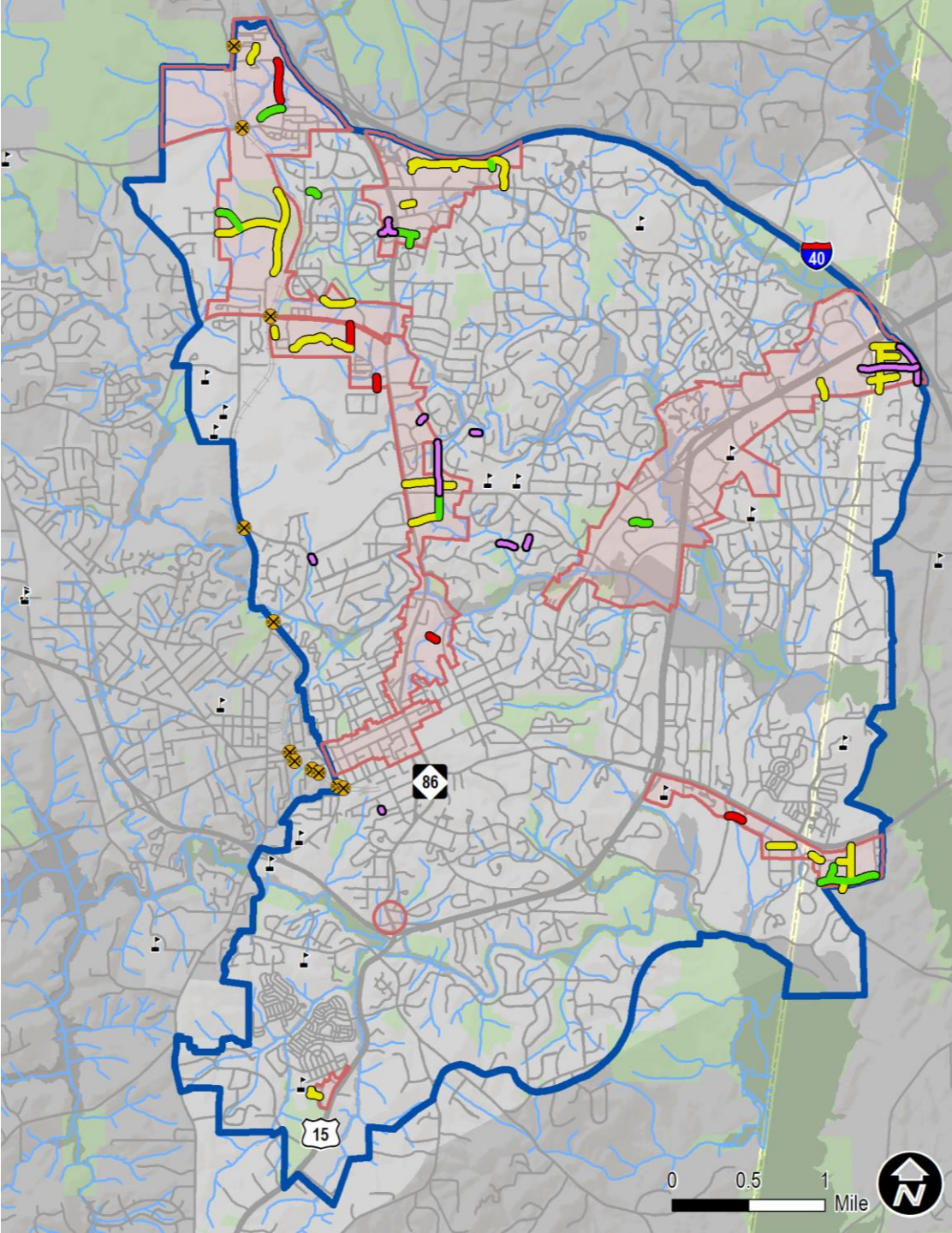
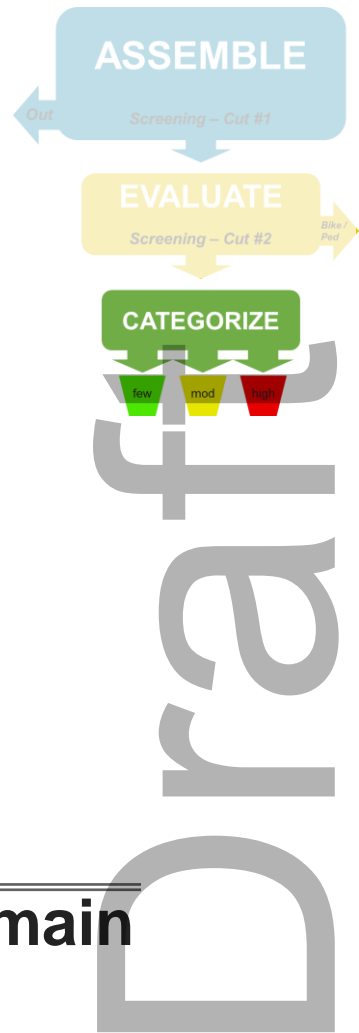
(3) CATEGORIZE

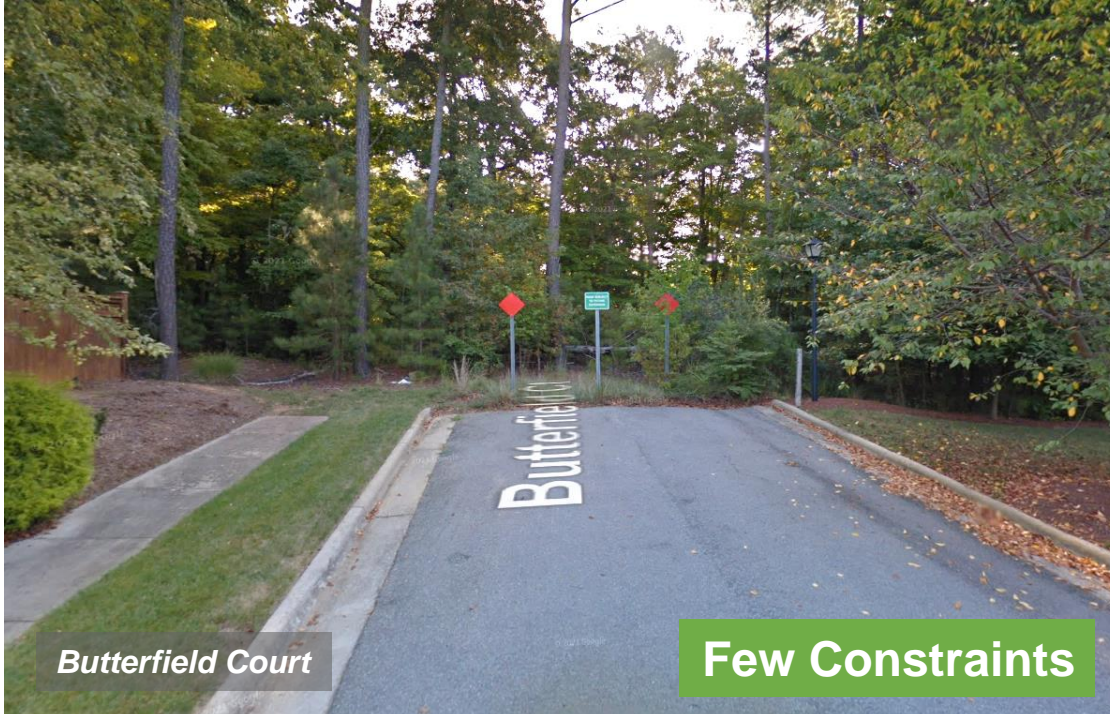
Based on 'constructability'

- 10 Few constraints
- 24 Moderate constraints
- 6 High constraints

40 potential connections remain

12 Bike/Ped Connection Only



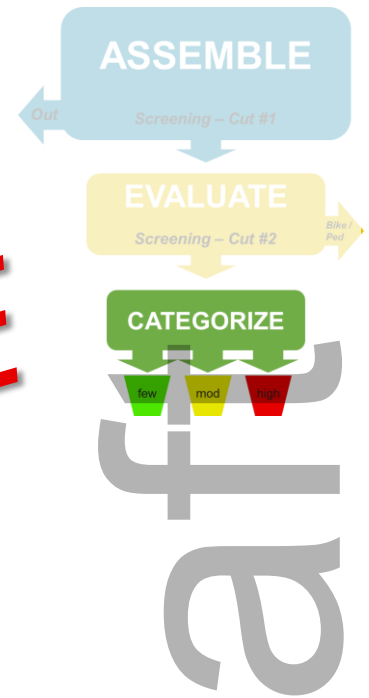


322

3. CATEGORIZE

EXAMPLE

'Buckets' relating to constructability



Next Steps

Adoption Process

- Open legislative hearing: **Wednesday May 10th**
- Public comment period/finalize plan
- Council action: **Wednesday June 14th**



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TOWN OF
CHAPEL HILL

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draft

A RESOLUTION ADOPTING THE CONNECTED ROADS PLAN AS AN AMENDMENT TO THE TOWN'S COMPREHENSIVE PLAN, CHAPEL HILL 2020 (2023-XX-XX/R-#)

WHEREAS, the Town Council desires to update Chapel Hill's long range plans to address the transportation impacts of new development and to prepare for the upcoming Land Use Management Ordinance (LUMO) rewrite; and

WHEREAS, the Town has adopted the Mobility and Connectivity Plan as the guiding document for bicycle and pedestrian travel; and

WHEREAS, the Town does not currently have a roadway plan or an adopted method of dictating street connectivity with new developments; and

WHEREAS, road connectivity, where feasible, is considered a planning best practice; and

WHEREAS, the benefits of increased connectivity include reduced congestion, decreased carbon emissions, improved emergency response times, shorter trips, and increased alternative transportation use; and

WHEREAS, the Connected Roads Plan provides clear expectations for the development community and existing residents regarding new road connections; and

WHEREAS, the Planning Commission reviewed the Connected Roads Plan on May 2, 2023 and recommended that Council adopt the Plan; and

WHEREAS, the proposed bicycle-pedestrian connections will be adopted into the Everywhere to Everywhere Greenways plan and will be constructed as funding becomes available.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the Connected Roads Plan as an amendment to the Town's Comprehensive Plan, Chapel Hill 2020, as described in the June 14, 2023 meeting materials, incorporating the plan's recommendations, as appropriate.

This, the ____ day of _____, 2023.

Town of Chapel Hill - Connected Roads Plan & Policy

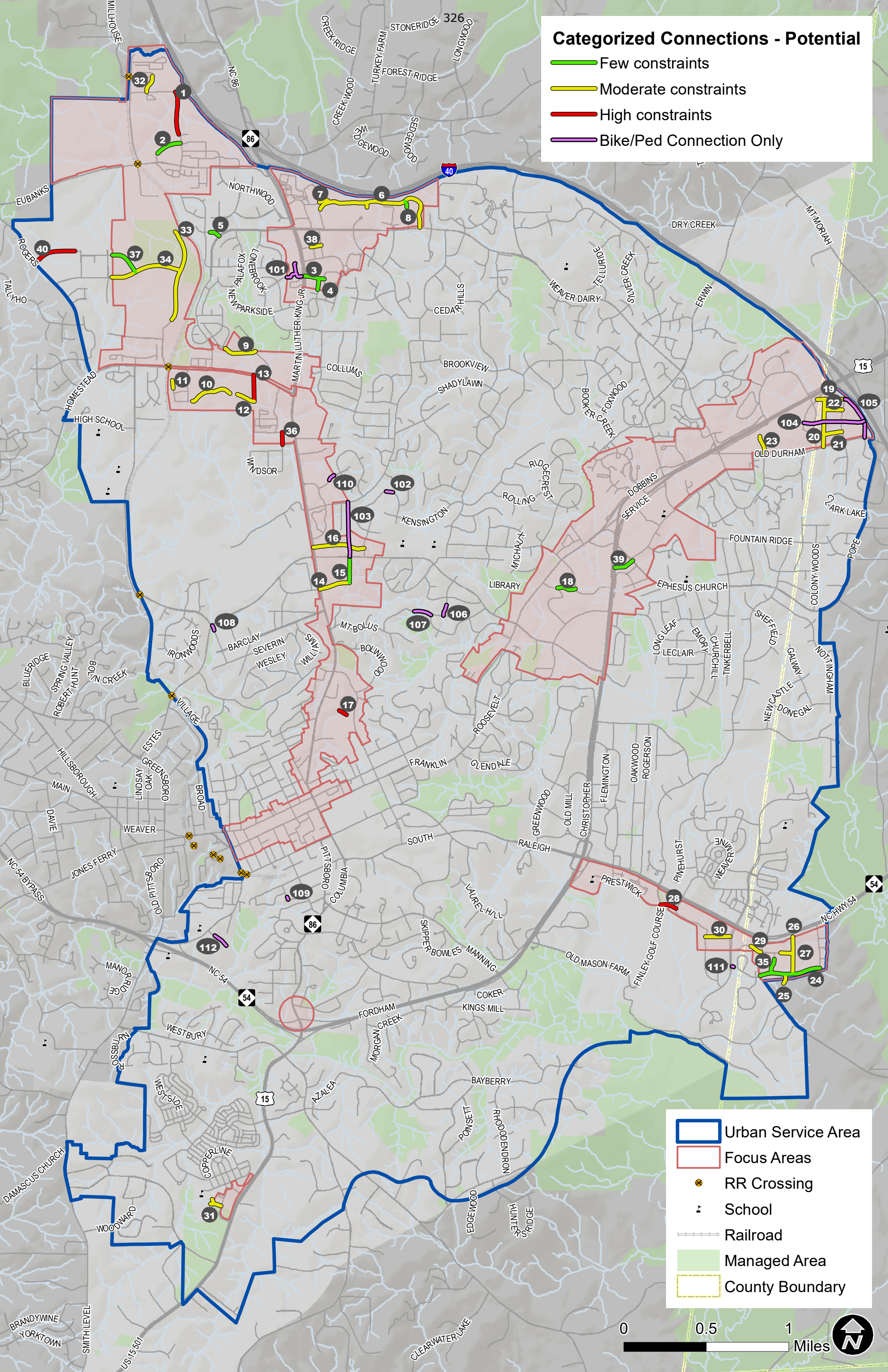
3-May-23

Desktop Screening Analysis

					LAND USES												Property Ownership			Existing			HYDRO CONSTRAINT			BENEFIT			CONSTRAINTS	ID
ID		NAME	CONSTRAINTS	Miles	Context	Town	County	UNC	Stubout	Signed Stub	Stream	Bridge	Topo	Traffic	Walk/Bike	Transit Access														
1	Extension	Myrica Street Extension	Stream crossing, Structure	0.30	Retail	No	No	No	Yes	No	Yes	maybe	No	Low	Low	Low	High						Yes	maybe	No	Low	Low	Low	High	1
2	Extension	Rex Road Extension	Parking lots	0.15	Retail	Yes	No	No	Yes	No	No	No	No	Low	Low	Low	Low						No	No	No	Low	Low	Low	Low	2
3	New Connection	Solano at Chapel Hill Apartments connection	Property ownership, Structure	0.13	Apartments	No	No	No	No	No	No	No	No	Low	High	High	Low						No	No	No	Low	High	High	Low	3
4	Extension	Black Tie Lane Extension	Property ownership	0.07	Residential	No	No	No	Yes	Yes	No	No	No	Low	Low	High	Low						No	No	No	Low	Low	High	Low	4
5	Extension	Butterfield Court Extension	Topography	0.06	Residential	No	No	No	Yes	Yes	No	No	No	Low	Moderate	Low	Low						No	No	No	Low	Moderate	Low	Low	5
6	Extension	Old University Station Road Extension	Electrical, Slope, forest	0.82	Retail	No	No	No	Yes	Yes	Maybe	No	No	Low	None	None	Moderate						No	No	No	Low	None	None	Moderate	6
7	Extension	Adair Drive Extension	Property ownership	0.07	Retail	No	No	No	Yes	Yes	No	No	No	None	None	Low	Moderate						No	No	No	None	None	Low	Moderate	7
8	Extension	Weatherstone Drive Extension	Property ownership	0.04	Retail	Yes	No	No	Yes	No	No	No	No	None	None	None	Low						No	No	No	None	None	None	Low	8
9	Extension	Cabernet Drive Extension	Property ownership, topo, stream, utilities	0.19	Residential	Yes	No	No	Yes	No	Yes	No	Yes	Low	Moderate	Low	Moderate						No	No	Yes	Low	Moderate	Low	Moderate	9
10	Extension	Kipling Lane Extension east	Property ownership, greenway crossing	0.26	Residential	No	No	Yes	Yes	Yes	maybe	No	No	Low	Moderate	Low	Moderate						No	No	No	Low	Moderate	Low	Moderate	10
11	Extension	Kipling Lane Extension north	Property ownership	0.05	Residential	No	No	No	Yes	Yes	No	No	No	Low	Moderate	Moderate	Moderate						No	No	No	Low	Moderate	Moderate	Moderate	11
12	New Connection	Orange County property to MLK Blvd	Property ownership, forest	0.35	Apartments	No	No	No	No	No	Yes	No	Yes	Low	Moderate	Moderate	Moderate						No	No	Yes	Low	Moderate	Moderate	Moderate	12
13	Extension	Chapel Ridge Drive Extension	Property ownership, topo	0.27	Apartments	No	No	No	Yes	No	Yes	No	Yes	Low	Low	Moderate	High						No	No	Yes	Low	Low	Moderate	High	13
14	Extension	Airport Drive / Surry Road Extension	Property ownership, stream, utilites	0.41	YMCA	No	No	No	Yes	No	Yes	No	Yes	Moderate	Moderate	Moderate	Moderate						No	No	Yes	Moderate	Moderate	Moderate	Moderate	14
15	New Connection	Estes Drive further south	Property ownership, utilites	0.16	YMCA	No	No	No	No	No	maybe	No	No	Moderate	Moderate	Low	Low						No	No	No	Moderate	Moderate	Low	Low	15
16	New Connection	Cross-access behind Estes Drive	Property ownership, utilities	0.31	--	No	No	No	No	No	No	No	No	Moderate	Low	Moderate	Moderate						No	No	No	Moderate	Low	Moderate	Moderate	16
17	New Connection	Cross-access between apartments	Property ownership, stream	0.05	Apartments	No	No	No	No	No	Yes	maybe	Yes	Moderate	Moderate	Moderate	High						No	maybe	Yes	Moderate	Moderate	Moderate	High	17
18	Extension	Couch Road Extension	Property ownership	0.11	Apartments	No	No	No	Yes	No	maybe	No	No	Low	Moderate	Moderate	Low						No	No	No	Low	Moderate	Moderate	Low	18
19	Extension	Pope Road Extension	Property ownership, forest	0.45	--	No	Yes	No	Yes	No	No	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	19
20	New Connection	Paper Street connection with Old Durham Rd	Narrow ROW	0.29	--	No	No	No	No	No	maybe	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	20
21	New Connection	Driveway extension further east	Property ownership	0.17	--	No	Yes	No	No	No	No	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	21
22	New Connection	Internal East-West Street minor	Property ownership	0.11	--	No	Yes	No	No	No	No	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	22
23	Extension	Standish Drive Extension	Property ownership	0.11	--	No	No	No	Yes	No	No	No	Yes	Moderate	Moderate	Moderate	Moderate						No	No	Yes	Moderate	Moderate	Moderate	Moderate	23
24	Extension	Finley Forest Drive Extension	Property ownership, forest	0.37	Residential	No	Yes	No	Yes	No	No	No	No	Low	Low	Low	Low						No	No	No	Low	Low	Low	Low	24
25	New Connection	Cross-access to Spring Meadow Dr	Property ownership, forest	0.06	Residential	No	Yes	No	No	No	No	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	25
26	New Connection	Old NC 54 Hwy to Extension	Property ownership, forest	0.23	Residential	No	Yes	No	No	No	maybe	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	26
27	Extension	Pearl Lane Extension	Property ownership, forest	0.07	Residential	No	Yes	No	Yes	No	No	No	No	Low	Low	Low	Moderate						No	No	No	Low	Low	Low	Moderate	27
28	Extension	Prestwick Road Extension	UNC, hydro	0.10	UNC	No	No	Yes	Yes	No	Yes	maybe	maybe	Moderate	Moderate	Low	High						No	maybe	maybe	Moderate	Moderate	Low	High	28
29	Extension	Pearl Lane Extension	Property ownership, topo	0.07	Retail	No	Yes	No	Yes	No	No	No	No	Low	Moderate	Moderate	Moderate						No	No	No	Low	Moderate	Moderate	Moderate	29
30	New Connection	Cross-access at Friday Center	UNC	0.15	UNC	No	No	Yes	No	No	No	No	No	Moderate	Moderate	High	Moderate						No	No	No	Moderate	Moderate	High	Moderate	30
31	New Connection	Elem School to Sumac Road	Town property, P&R connection	0.10	School	Yes	No	No	No	No	Yes	No	No	Low	Low	Moderate	Moderate						No	No	No	Low	Low	Moderate	Moderate	31
32	New Connection	Orange County property connection	Town property, stream	0.11	Institutional	Yes	No	No	No	No	Yes	No	No	Low	Low	None	Moderate						No	No	No	Low	Low	None	Moderate	32
33	Extension	Merin Road Extension	Town, County, Private property, hydro, forest	0.92	Open Space	Yes	No	No	Yes	No	maybe	No	maybe	Low	Low	None	Moderate						No	No	maybe	Low	Low	None	Moderate	33
34	Extension	Purefoy Drive Extension	Town property, forest	0.43	Open Space	Yes	No	No	Yes	No	No	No	maybe	Moderate	Low	Low	Moderate						No	No	maybe	Moderate	Low	Low	Moderate	34
35	Extension	Elmdale Drive Extension	Property ownership, forest	0.09	Residential	No	Yes	No	Yes	No	No	No	No	Low	Low	None	Low						No	No	No	Low	Low	None	Low	35
36	New Connection	Northfield Dr to Critz Dr	Property ownership, structure	0.07	Residential	No	No	No	No	No	No	No	No	Moderate	Low	Low	High						No	No	No	Moderate	Low	Low	High	36
37	Extension	Lizzie Lane Extension	Town property, forest	0.19	Open Space	Yes	No	No	Yes	Yes	No	No	No	Low	Low	Low	Low						No	No	No	Low	Low	Low	Low	37
38	Extension	Sparrow Street Extension	Closed movie theater, utilities	0.06	Retail	No	No	No	No	No	No	No	maybe	Low	Moderate	Moderate	Moderate						No	No	maybe	Low	Moderate	Moderate	Moderate	38
39	New Connection	Legion Lane Connection to Fordham	Property ownership, structures, utilities	0.12	Hotel	No	No	No	No	No	No	No	No	Moderate	Moderate	Low	Moderate						No	No	No	Moderate	Moderate	Low	Moderate	39
40	Extension	Road D Extension	Property ownership, stream, forest	0.27	Church	No	No	No	Yes	No	Yes	maybe	maybe	Moderate	Low	Low	High						No	maybe	maybe	Moderate	Low	Low	High	40
101	Bike/Ped Only	Kenilworth Place Extension	Property ownership, Structure, utility easement	0.15	Residential	No	No	No	Yes	Yes	No	No	No	Low	High	High	Bike/Ped						No	No	No	Low	High	High	Bike/Ped	101
102	Bike/Ped Only	Huntington Drive / Wellington Drive Extension	Neighborhood residents	0.04	Residential	No	No	No	Yes	Yes	No	No	No	Low	Low	None	Bike/Ped						No	No	No	Low	Low	None	Bike/Ped	102
103	Bike/Ped Only	Piney Mountain Road to Estes Drive	Property ownership, utilities	0.33	Residential	No	No	No	No	No	Yes	maybe	Yes	Moderate	Low	Moderate	Bike/Ped						No	maybe	Yes	Moderate	Low	Moderate	Bike/Ped	103
104	Bike/Ped Only	Internal East-West Street	Property ownership	0.37	--	No	Yes	No	No	No	No	No	No	Low	Low	Low	Bike/Ped						No	No	No	Low	Low	Low	Bike/Ped	104
105	Bike/Ped Only	Pope Road Extension	Property ownership, forest	0.17	--	No	Yes	No	Yes	No	maybe	No	No	Low	Low	Low	Bike/Ped						No	No	No	Low	Low	Low	Bike/Ped	105
106	Bike/Ped Only	Halifax Road Extension	Property ownership, hydro	0.07	Residential	No	No	No	Yes	No	Yes	maybe	maybe	Low	Low	Low	Bike/Ped						No	maybe	maybe	Low	Low	Low	Bike/Ped	106
107	Bike/Ped Only	Cedar Street Extension	Property ownership, hydro, topo	0.11	Residential	No	No	No	Yes	No	Yes	Yes	Yes	Low	Low	None	Bike/Ped						No	Yes	Yes	Low	Low	None	Bike/Ped	107
108	Bike/Ped Only	Ward Street Extension	Driveway access	0.03	Residential	No	No	No	Yes	Yes	Yes	No	Yes	Moderate	Moderate	Moderate	Bike/Ped						No	No	Yes	Moderate	Moderate	Moderate	Bike/Ped	108
109	Bike/Ped Only	Brookside Drive Extension	Driveway access	0.02	Residential	No	No	No	Yes	Yes	No	No	No	Low	Low	Low	Bike/Ped						No	No	No	Low	Low	Low	Bike/Ped	109
110	Bike/Ped Only	Mendel Drive Extension	Utility easement	0.04	Residential	No	No	No	Yes	Yes	No	No	No	Low	Moderate	High	Bike/Ped						No	No	No	Low	Moderate	High	Bike/Ped	110
111	Bike/Ped Only	Friday Center Bus Stop Connection	Property ownership	0.01	Residential	No	No	Yes	No	No	No	No	No	None	Moderate	High	Bike/Ped						No	No	No	None	Moderate	High	Bike/Ped	111
112	Bike/Ped Only	Park Road Extension	Property ownership, topo, utilities	0.09	Apartments	No	No	No	Yes	No	No	No	No	Moderate	Moderate	High	Bike/Ped						No	No	Yes	Moderate	Moderate	High	Bike/Ped	112

Categorized Connections - Potential

- Few constraints
- Moderate constraints
- High constraints
- Bike/Ped Connection Only



- Urban Service Area
- Focus Areas
- RR Crossing
- School
- Railroad
- Managed Area
- County Boundary



TRANSPORTATION AND CONNECTIVITY ADVISORY BOARD

To assist the Chapel Hill Town Council in creating an inclusive connected community by recommending, advocating and planning for comprehensive, safe, effective and sustainable multi-modal transportation and connectivity

RECOMMENDATION FOR ADOPTING THE CONNECTED ROADS PLAN AS PART OF THE CHAPEL HILL COMPREHENSIVE PLAN

April 25th, 2023

Recommendation: Approval ☒ Approval with Conditions ☐ Denial ☐

Motion: Brutz, seconded by Wolgin, moved to recommend adoption of the Connected Roads Plan as a part of the Chapel Hill 2020 Comprehensive Plan, as the plan:

- Increases safety in neighborhoods by increasing access for fire and emergency services.
- Increases connectivity for residents to access their neighborhood.
- Aligns with the Vision Zero commitment from the Town.
- The plan as formulated respects the Town's established neighborhoods and existing cul-de-sacs.
- The plan acknowledges speed and noise and the need to abate them as new roads are constructed.

Vote: 4 – 0

Yeas: 4 - Chair Denise Matthews, Stephen Bevington, Heather Brutz, and Brian Hageman

Nays:

Prepared by: Josh Mayo, Transportation Planner I

PLANNING COMMISSION

The charge of the Planning Commission is to assist the Council in achieving the Town's Comprehensive Plan for orderly growth and development by analyzing, evaluating, and recommending responsible town policies, ordinances, and planning standards that manage land use and involving the community in long-range planning.

RECOMMENDATION FOR CONNECTED TOADS PLAN AS AN AMENDMENT TO THE TOWN'S COMPREHENSIVE PLAN

May 2, 2023

Recommendation: Approval ☒ Approval with Comments ☐ Denial ☐

Motion: John Rees moved, and Theodore Nollert seconded a motion to recommend that the Council adopt the Connected Roads Plan as an Amendment to Town's Comprehensive Plan

Vote: 6 – 0

Yeas: Jonathan Mitchell (Chair), Wesley McMahon, Chuck Mills, Theodore Nollert, John Rees, and Erik Valera

Nays:

Prepared by: Jacob Hunt, Planner II



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 15., **File #:** [23-0412], **Version:** 1

Meeting Date: 5/10/2023

Open the Legislative Hearing for Modification to Conditional Zoning for Columbia Street Annex, 1150 South Columbia Street.

See the Staff Report on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Corey Liles, Planning Manager

- a. Without objection, the preliminary report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and preliminary recommendation
- c. Presentation by the applicant
- d. Recommendation of the Planning Commission
- e. Recommendations of other boards and commissions
- f. Comments from the public
- g. Comments and questions from the Mayor and Town Council
- h. Referral to the Manager and Attorney.
- i. Motion to recess the Hearing to June 14, 2023.

RECOMMENDATION: That the Council open the legislative hearing, receive and provide comments on the proposed Conditional Zoning, and continue the legislative hearing to June 14, 2023.

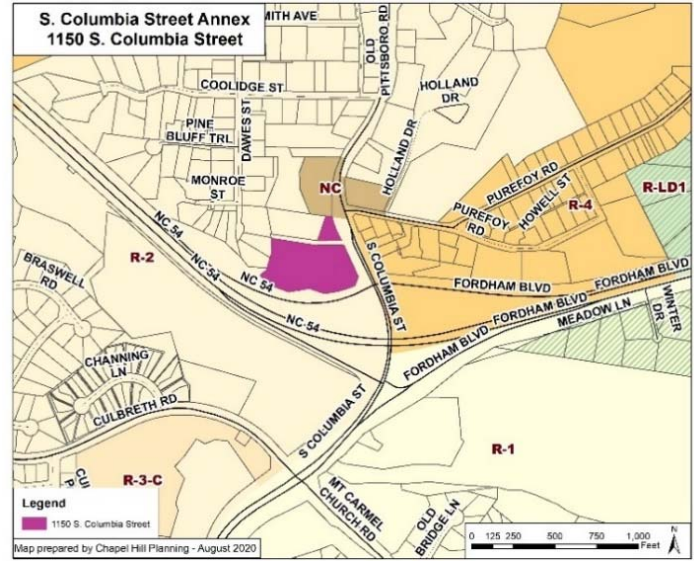


OPEN THE LEGISLATIVE HEARING FOR MODIFICATION TO CONDITIONAL ZONING FOR COLUMBIA STREET ANNEX, 1150 S. COLUMBIA STREET (PROJECT MOD-23-1)

STAFF REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT

Britany Waddell, Director
Judy Johnson, Assistant Director
Jacob Hunt, Planner II

PROPERTY ADDRESS	MEETING DATE	APPLICANT
1150 S. Columbia Street	May 10, 2023	Thomas & Hutton on behalf of David L Robert (Owner) and CH Hotel Associates (Owner and Contract Purchaser)
STAFF RECOMMENDATION <p>That the Council open the legislative hearing, receive and provide comments on the proposed modification to the Conditional Zoning Ordinance, and continue the hearing to June 14, 2023.</p>		
PROCESS <p>Conditional Zoning is a legislative process that allows Town Council to review the rezoning application for consistency with the Land Use Plan in the Comprehensive Plan.</p> <p>Modifications to an approved Conditional Zoning Ordinance may be approved by the Town Council.</p>		KEY POINTS <p>The applicant states that conditions of development approval put onto the development have resulted in a change in shape and size of the building. This has led to proposed increases in the building footprint and impervious surfaces, with proposed further expansion into the Resource Conservation District (RCD). A change in the configuration of the building has also resulted in 58-60 multifamily units instead of the approved 60.</p>
PROJECT OVERVIEW <p>The Columbia Street Annex project was approved by Council on March 24, 2021, for a location at the northwest corner of S. Columbia Street and the westbound on-ramp of NC 54.</p> <p>Modifications to the Conditional Zoning approval include:</p> <ol style="list-style-type: none"> Total Impervious: increase approved impervious surface area from 48,950 sf to 50,985 sf for the site as a whole Impervious in RCD: increase approved impervious surface area in the Managed Zone from 5,380 sf to 12,850 sf (33.3%), and in the Upland Zone from 13,650 sf to 14,950 sf (43.1%) Total Units: change from a maximum of 60 units to a permitted range of 58-60 units Building Square Footage: increase the maximum floor area from 57,000 sf to 62,188 sf 		PROJECT LOCATION 
ATTACHMENTS	<ol style="list-style-type: none"> Draft Staff Presentation Resolution A (Resolution of Reasonableness and Consistency) Ordinance A (Approving the Application) Resolution B (Denying the Application) Planning Commission Recommendation Draft Applicant Presentation Applicant Narrative Applicant Materials 	



CONDITIONAL ZONING MODIFICATION

Columbia Street Annex

May 10, 2023



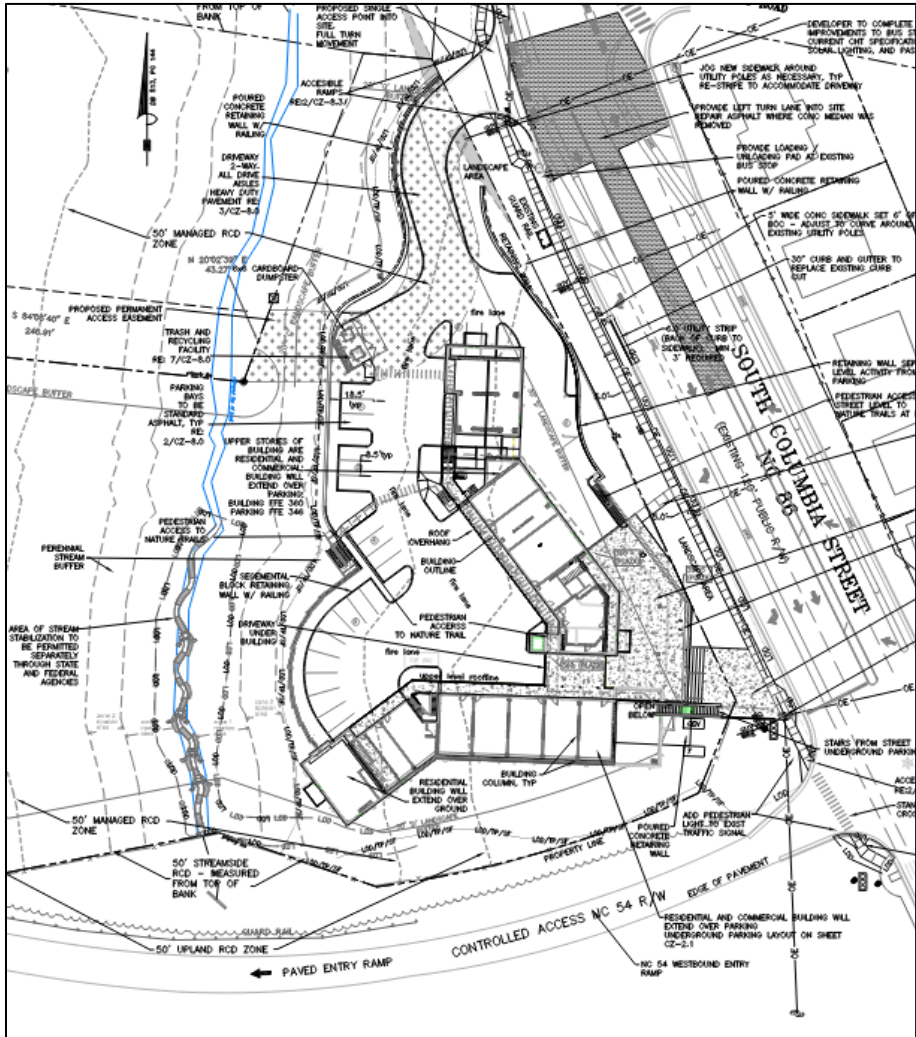


RECOMMENDATION

Open the Legislative Hearing

Receive and provide comments on the proposed Conditional Zoning Modification

Continue the hearing to
June 14, 2023



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PROCESS

MU-V-CZD Approval
March 24, 2021



Phase 1 Site Work
Permitted
November 11, 2023

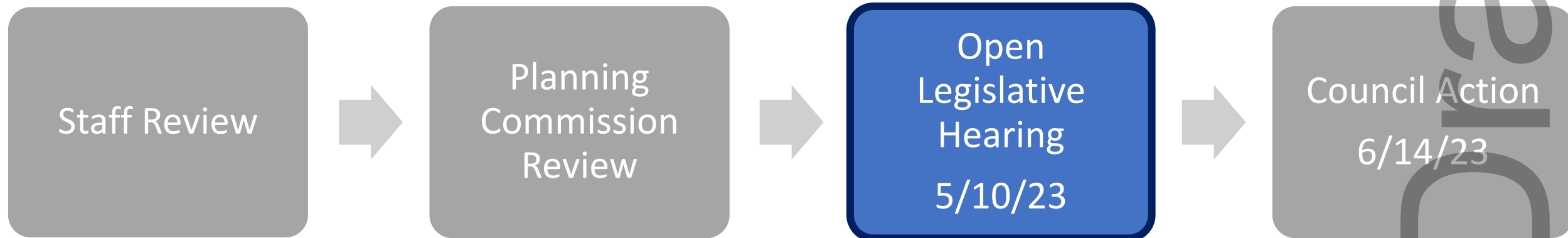


Limited Review CZD
Modification Request
January 25, 2023





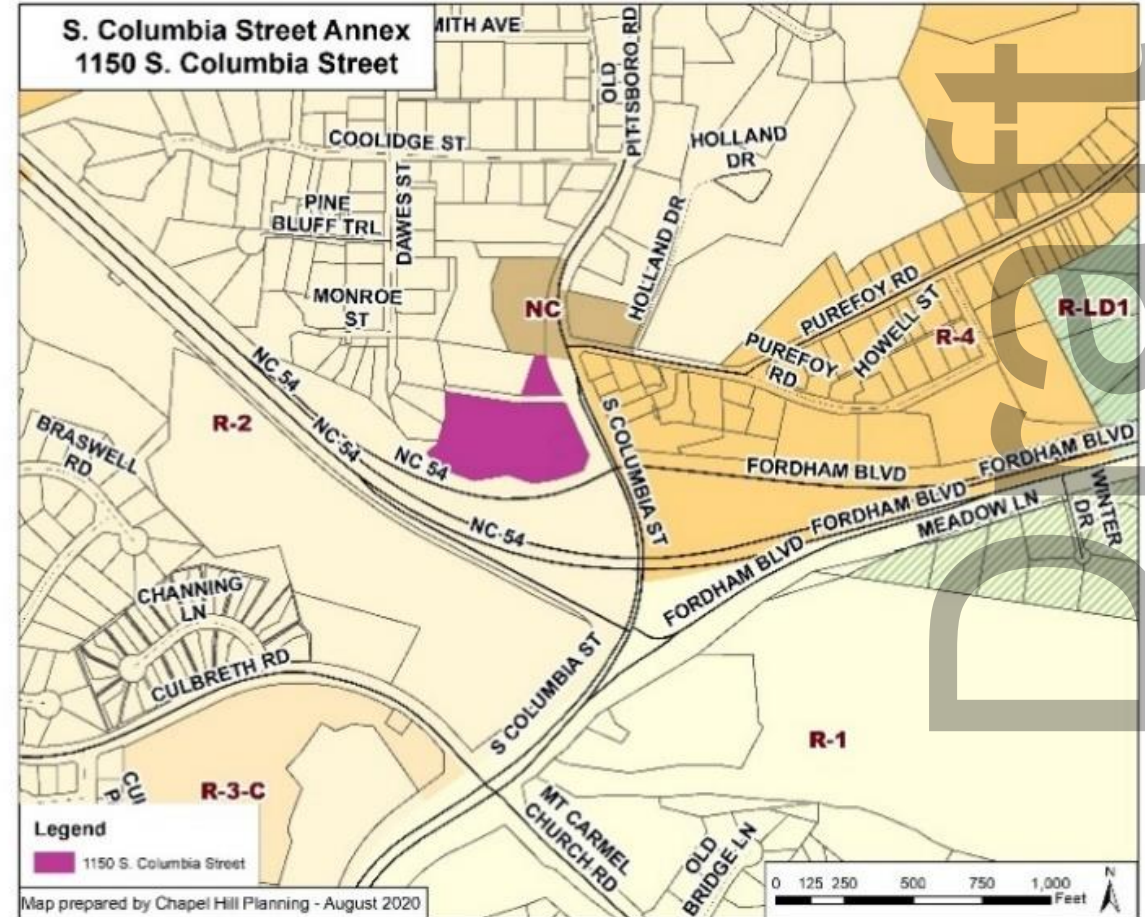
PROCESS – MOD REQUEST





PROJECT SUMMARY

- ☐ 4.07 acre site
- ☐ Conditional Zoning Modification
- ☐ Mixed-Use Village-CZD
- ☐ 58-60 units
- ☐ Site work underway





PROJECT REQUEST

- TOTAL IMPERVIOUS AREA - increase from 48,950 sf to 50,985 sf
- TOTAL IMPERVIOUS AREA IN RCD ZONES - increase impervious in the managed zone from 5,380 sf to 12,850 sf, and increase impervious in the upland zone from 13,650 sf to 14,950 sf.
- TOTAL UNIT COUNT - proposed changed from a maximum of 60 units, to a range of 58-60 units
- BUILDING SQUARE FOOTAGE - increase from 57,000 sf to 62,188 sf

for
a
D



PC RECOMMENDATION

PLANNING COMMISSION	RECOMMENDATION
Resolution of Consistency	Approval
Ordinance A	Approval

Draft

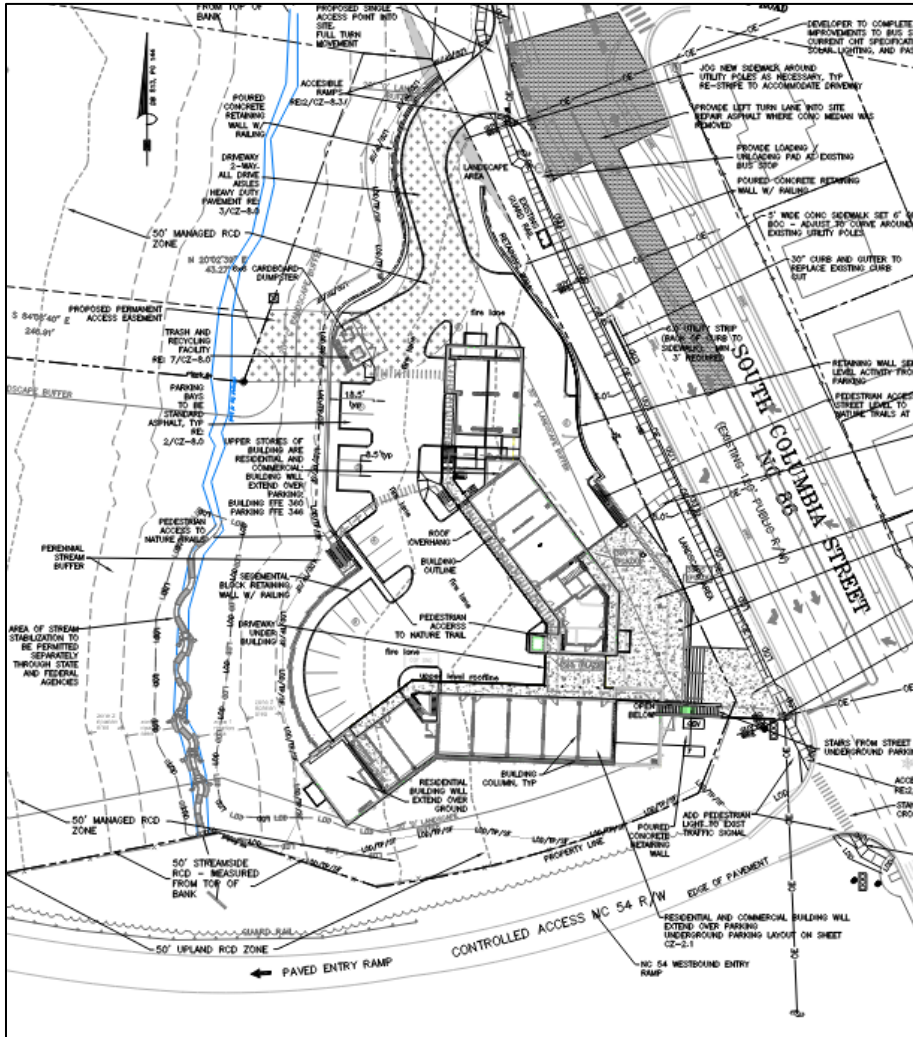


RECOMMENDATION

Open the Legislative Hearing

Receive and provide comments on the proposed Conditional Zoning Modification

Continue the hearing to June 14, 2023



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RESOLUTION A
Resolution of Reasonableness and Consistency

A RESOLUTION REGARDING REASONABLENESS AND CONSISTENCY WITH THE COMPREHENSIVE PLAN OF THE APPLICATION FOR CONDITIONAL ZONING ATLAS AMENDMENT TO MIXED USE-VILLAGE-CONDITIONAL ZONING DISTRICT (MU-V-CZD) FOR COLUMBIA STREET ANNEX LOCATED AT 1150 SOUTH COLUMBIA STREET (2023-X-X/R-X)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for a Conditional Zoning Modification submitted by Thomas & Hutton, on behalf of both David L. Robert (Owner) and C. H. Hotel Associates, Limited Partnership (Owner and Contract Purchaser), to modify the zoning of a 4.07-acre parcel located at 1150 South Columbia on property identified as Orange County Property Identifier Numbers 9788-20-4502, 9788-20-5716, and 9788-20-6500, including a portion of Monroe Street Right-of-Way to be abandoned, to accommodate revised plans; and

WHEREAS, the Council finds that the amendment, if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Diversified housing types (Goal A Place for Everyone.3)
- Business and Live/Work space (Community Prosperity and Engagement.1,.3)
- Accessible frontage, transit access, and underground car park (Getting Around.2,.4,.8)
- Minimize sprawl and preservation of natural areas (Good Places, New Spaces.1,.2,.6,.8)
- Natural area preservation and high quality Stormwater control measures (Nurturing Our Community.2,.3,.7,.8)
- Contribute to housing for UNC and UNC Health Care employees (Goal Town and Gown Collaboration.4)

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed Conditional Zoning Atlas Amendment Modification to be reasonable and consistent with the Town Comprehensive Plan.

This the ___ day of ___, 2023.

ORDINANCE A

(Approving the Conditional Zoning Modification)

AN ORDINANCE AMENDING THE MIXED USE-VILLAGE-CONDITIONAL ZONING DISTRICT (MU-V-CZD) FOR COLUMBIA STREET ANNEX LOCATED AT 1150 SOUTH COLUMBIA STREET (PROJECT #MOD-23-1)(2023-XX-XX/O-X)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning submitted by Thomas & Hutton, on behalf of both David L. Robert (Owner) and C. H. Hotel Associates, Limited Partnership (Owner and Contract Purchaser), to rezone 4.07 acres located at 1150 South Columbia on property identified as Orange County Property Identifier Numbers 9788-20-4502, 9788-20-5716, and 9788-20-6500, including a portion of Monroe Street Right-of-Way to be abandoned, to allow a mix of multifamily residential units and ground floor non-residential space, and finds that the amendment is:

- Consistent with the Town's Comprehensive Plan, per NCGS 160D-605; and
- Reasonable and in the public's interest, per NCGS 160D-605;
- Warranted because of changing conditions and warranted to achieve the purposes of the Comprehensive Plan, per LUMO 4.4

WHEREAS, the application, if rezoned according to the district-specific plan dated April 26, 2018 and last revised February 15, 2023 and the conditions listed below would, per LUMO 4.4.3(f):

- 1) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- 2) Conform with the Comprehensive Plan
- 3) Be compatible with adjoining uses
- 4) Mitigate impacts on surrounding properties and the Town as a whole
- 5) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- 6) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

NOW, THEREFORE, BE IT ORDAINED by the Council of the Town of Chapel Hill that the Chapel Hill Zoning Atlas be amended as follows:

SECTION I

The following Orange County parcels identified by Parcel Identifier Numbers (PINs) 9788-20-4502, 9788-20-5716, and 9788-20-6500, described below, along with 0.16 acres of the Monroe Street right-of-way to be abandoned, shall be rezoned to Mixed Use-Village-Conditional Zoning District (MU-V-CZD):

LEGAL DESCRIPTION

Beginning at a point on the southeastern corner of the site on South Columbia Street right of way proceeding clockwise; Thence S21°56'21"W a distance of 56.75' to a point; Thence with a curve with a length of 190.58' and a radius of 624.07' on a chord with a bearing of S73°46'10"W and a length of 189.84' to a point; Thence N71°07'45"W a distance of 95.08' to a point; Thence S79°16'08"W a distance of 122.25' to a point; Thence N73°28'55"W a distance of 136.66' to a point; Thence N39°12'39"W a distance of 87.02' to a point; Thence N50°35'02"E a distance of 75.5' to a point; Thence N14°46'29"E a distance of 120.51' to a

point; Thence N07°51'23"W a distance of 31.79' to a point; Thence S84°08'40"E a distance of 236.95' to a point; Thence N20°02'39"E a distance of 43.27' to a point; Thence N20°02'47"E a distance of 71.13' to a point; Thence N20°03'12"E a distance of 83.74' to a point; Thence S165°07'37"E a distance of 55.98' to a point; Thence with a curve with a length of 123.96' and a radius of 615.67' on a chord with a bearing of S284°21'48"E a distance of 123.75' to a point; Thence S26°01'25"E a distance of 76.10' to a point; Thence S24°31'26"E a distance of 83.48' to a point; Thence S24°31'26"E a distance of 75.06' to a point; Thence S25°30'25"E a distance of 32.20' to a point; Which is the point of beginning, having an area of 160,985.63 square feet or 3.698 acres, including to the midpoint of the adjoining South Columbia Street right-of-way.

SECTION II

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the following conditions are hereby incorporated by reference:

1. Existing Permit: The existing Conditional Zoning Permit dated March 24, 2021 on file at the Town of Chapel Hill Planning Department, and recorded in the Orange County Registry (Book 6801, Pages 777-790) remains in effect except as modified by this ordinance.
2. Consent to Conditions: This approval is not effective until the petitioner provides written consent to the approval. Written consent must be provided within ten (10) business days of enactment by the Town Council.
3. Land Use Intensity: This Conditional Zoning Atlas Amendment Modification authorizes the following:

Land Use Intensity Mixed Use-Village	
Maximum Floor Area	62,188 sq. ft.
Maximum Impervious Surface	50,985 sq. ft.
Permitted Number of Dwelling Units	58-60 total units

4. Resource Conservation District Disturbance and Impervious Area Limitations:

	Maximum Land Disturbance	Maximum Impervious Surface
Stream Side Zone	2,210 sq. ft.	0 sq. ft.
Managed Use Zone	23,100 sq. ft.	12,850 sq. ft.
Upland Use Zone	18,300 sq. ft.	14,950 sq. ft.

BE IT FURTHER ORDAINED that the Council hereby approves the application for the modification of the Conditional Zoning for South Columbia Street Annex at 1150 South Columbia Street.

This the XX day of XXX, 2023.

RESOLUTION B

(Denying the Conditional Zoning Modification)

A RESOLUTION DENYING AN APPLICATION FOR A CONDITIONAL ZONING MODIFICATION FOR COLUMBIA STREET ANNEX AT 1150 SOUTH COLUMBIA STREET (2023-XX-XX/R-X)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Conditional Zoning Modification application, proposed by Thomas & Hutton, on behalf of both David L. Robert (Owner) and C. H. Hotel Associates, Limited Partnership (Owner and Contract Purchaser), located at 1150 South Columbia St on property identified as Orange County Property Identifier Numbers 9788-20-4502, 9788-20-5716, and 9788-20-6500, including a portion of Monroe Street Right-of-Way to be abandoned, if developed according to the plans dated February 15, 2023 and the conditions listed below would not:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

BE IT FURTHER RESOLVED that the Council hereby denies the application for a Conditional Zoning modification for Columbia Street Annex at 1150 South Columbia St.

This the _____ day of _____, 2023.

PLANNING COMMISSION

The charge of the Planning Commission is to assist the Council in achieving the Town's Comprehensive Plan for orderly growth and development by analyzing, evaluating, and recommending responsible town policies, ordinances, and planning standards that manage land use and involving the community in long-range planning.

RECOMMENDATION FOR CONDITIONAL ZONING APPLICATION FOR COLUMBIA STREET ANNEX CZD MODIFICATION

May 2, 2023

Recommendation: Approval ☒ Approval with Comments ☐ Denial ☐

Motion: Theodore Nollert moved, John Rees seconded, a motion to recommend that the Council adopt Resolution A (Resolution of Consistency).

Vote: 6 – 0

Yeas: Jonathan Mitchell (Chair), Wesley McMahon, Chuck Mills, Theodore Nollert, John Rees, and Erik Valera

Nays:

Recommendation: Approval ☐ Approval with Comments ☒ Denial ☐

Motion: John Rees moved, Wesley McMahon seconded, a motion to recommend that the Council adopt Resolution A (Approving the Application) with the following comments as supplements to their review:

“The Planning Commission voted 6-0 to recommend approval of this modification. Members believe the developer has done a reasonable job of addressing the Council's desire to decrease the maximum height to 4 stories without materially decreasing the agreed upon number of units.”

Vote: 6 – 0

Yeas: Jonathan Mitchell (Chair), Wesley McMahon, Chuck Mills, Theodore Nollert, John Rees, and Erik Valera

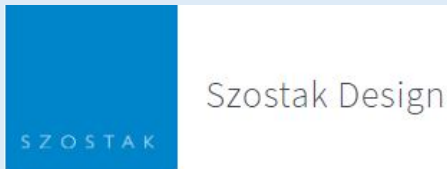
Nays:

Prepared by: Jacob Hunt, Planner II

**1100 Columbia Street
Conditional Zoning Modification**

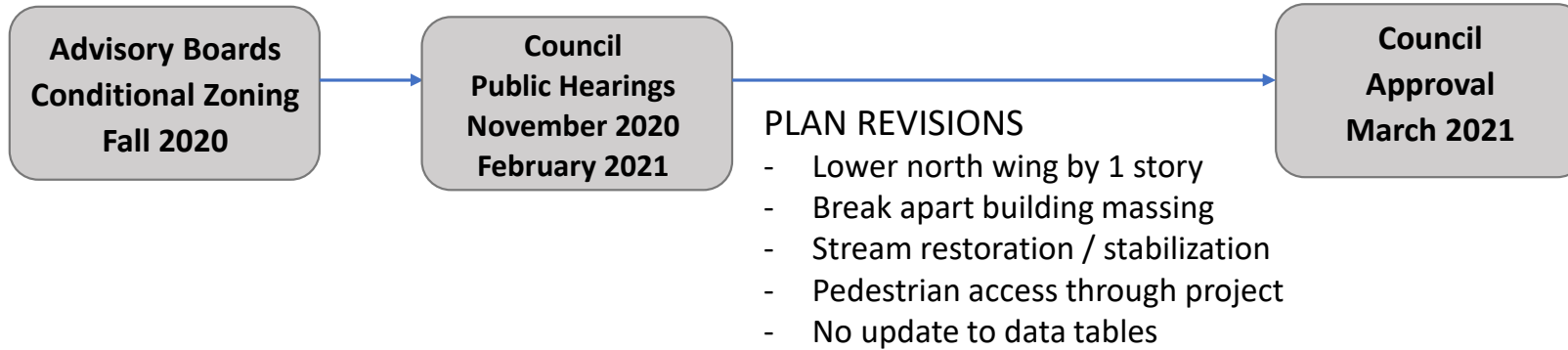
TOWN COUNCIL
PUBLIC HEARING

10 May 2023



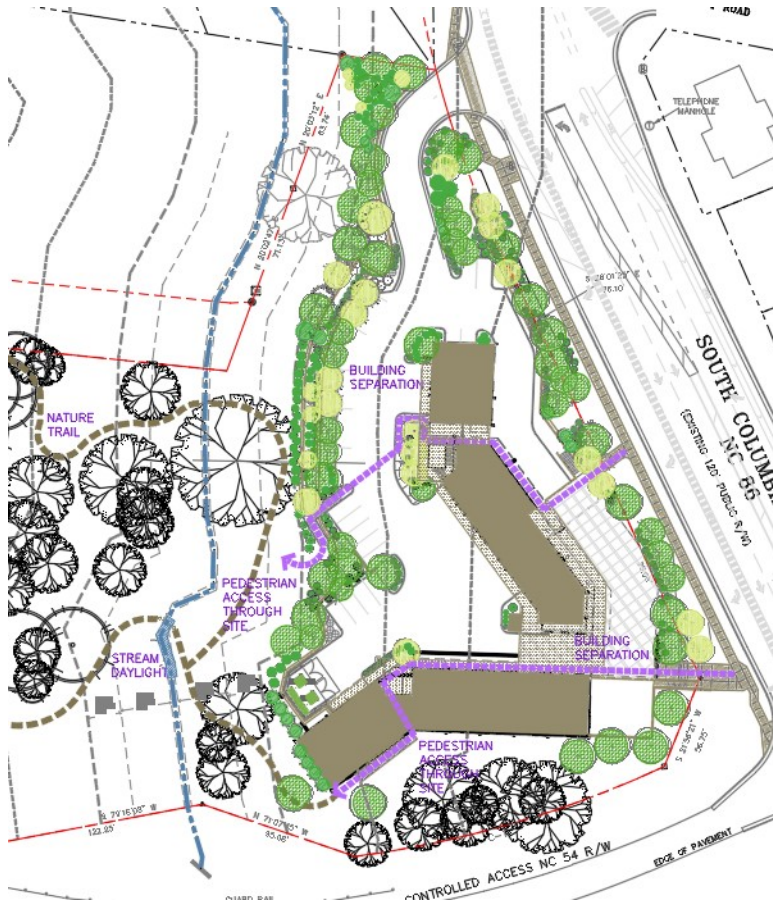
1100 Columbia Street

Timeline



1100 Columbia Street

PLAN APPROVED IN MARCH 2021



EXPAND
BUILDING
FOOTPRINT

RELOCATE TRASH
FACILITY AND
REDUCE PARKING

EXTEND STREAM
RESTORATION
AREA

EXPAND
BUILDING
FOOTPRINT

EXPAND
PARKING

CURRENT PLAN



CONDITIONAL ZONING PLAN

FOREPOST ROAD

SOUTH COLLEGE RD

ADJACENT RD

MAINTENANCE RD

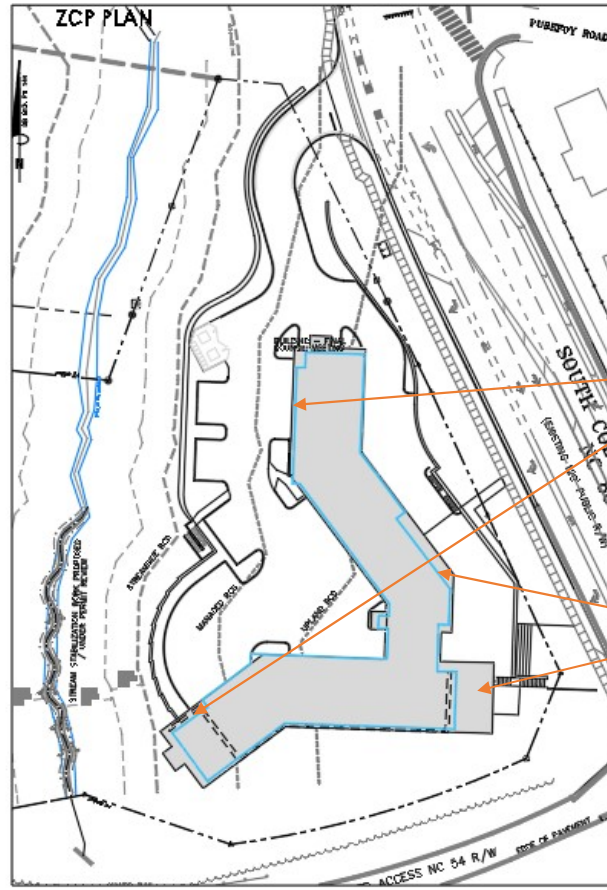
DRAINAGE RD

BUILDING & FISH CULTURE

STREAM STABILIZATION BANK PROPOSED

SIDE OF PARKING

ACCESS NC 54 R/W



BUILDING EXPANSION
TOWARD COLUMBIA TO
REDUCE INCREASE TO
RCD IMPERVIOUS

1100 Columbia Street

SUMMARY OF REQUESTED CHANGES

CZD APPROVAL – March 2021

PROPOSAL – May 2023

Total site impervious: 48,950 sf

- 50,985 sf (increase of 2,035 sf)

Total site disturbance

- No increase

RCD Zone impervious

Streamside Zone: 0 sf

Managed Zone: 5,380 sf

Upland Zone: 13,650 sf

- Streamside Zone: 0 sf
- Managed Zone: 12,850 sf (increase of 7,470 sf)
- Upland Zone: 14,950 sf (increase of 1,300 sf)

RCD encroachment/disturbance

- No increase

Stormwater mitigation

- All impervious increase mitigated per CZ approval

Stream restoration

- Stream restoration length has increased – permitting underway currently

Building size: 57,000 sf

- 62,188 sf (increase of 5,188 sf)

Total Units : “up to 60”

- 59 units, # affordable units unchanged



View from S Columbia and Purefoy Fall 2020



View from S Columbia March 2023 – 4-story north wing, break between buildings

draft



111 W. MAIN STREET
DURHAM, NC 27701 | 919.682.0368
WWW.THOMASANDHUTTON.COM

February 16, 2023

Town of Chapel Hill Planning Department
405 Martin Luther King Jr Blvd
Chapel Hill, NC 27514

RE: CONDITIONAL ZONING PERMIT MODIFICATION APPLICATION
1100 S Columbia Street
Town Project File 18-039

On behalf of the developer CH Hotels Associates LLC, attached is the submittal for Limited Review for a Conditional Zoning Permit modification. The MU-V-CZD approval was originally received for this project on March 24, 2021, and recorded at Orange County Land Records on November 21, 2022.

During the final Council meetings and approvals, there were conditions put on the approval which caused the building to change shape and size. Specifically, the north building was revised to be 4 stories above the parking, and the south wing allowed to remain 5 stories above the parking. This caused the building footprint to expand, shifting the fire lane and surface parking locations. These changes altogether caused an expansion to the impervious area on site. Because so much of the project is in RCD zones, the increase affected not only the total site impervious, but impervious within the managed and upland RCD zones. It should be noted that the disturbance in the RCD has not increased. A reconfiguration of the building has solidified the unit count at 59 (one less than the maximum approval of 60 units). The building square footage also expanded to 62,188 sf of heated building area. This exceeds the original 57,000 sf building size approval.

The applicant is asking for a limited review of the project to allow for increased impervious on site and within the RCD zones, as well as a building unit count of 58-60 units and a small increase in building square footage. This request for limited review was submitted in a petition to Council presented was presented to Council January 25, 2023.

Otherwise the project is the same – parking falls within the approved limits, stream stabilization is being permitted and included in the project, buffers are planted per code except the Columbia Street buffer which is planted per the original CZD approval, and other conditions will be met. These requested modifications will not affect traffic or the report and memo already completed and submitted to the Town.

The ZCP application is already under review, and the first phase (clearing and grading) has been approved. That clearing and grading construction work is underway. The stormwater report has not been updated

for this limited review modification request, but the submittal includes the stormwater report that was most recently submitted for the ZCP application. Stormwater treatment continues to be proposed as an underground facility and will at final plan approval meet Chapel Hill requirements and the CZP approval stipulations.

Sincerely,
Thomas & Hutton
Wendi Ramsden RLA



cc. Phil Szostak – Architect, Szostak Design
Roland Gammon – Owner, CH Properties

COLUMBIA STREET ANNEX

1100 SOUTH COLUMBIA STREET, CHAPEL HILL, NC 27514

CONDITIONAL ZONING MODIFICATION APPLICATION FOR LIMITED REVIEW

ELEMENTS FOR REVIEW IN CZ MODIFICATION

1. TOTAL IMPERVIOUS AREA ON SITE -increase from 48,950 sf to 50,985 sf
2. TOTAL IMPERVIOUS AREA IN RCD ZONES - increase impervious in the managed zone from 5,380 sf to 12,850 sf, and increase impervious in the upland zone from 13,650 sf to 14,950. Note there is no impervious proposed in the streamside zone. There is no change to the disturbed area within the RCD zones.
3. TOTAL UNIT COUNT Total units proposed changed from a maximum of 60 units, to a range of 58-60 units
4. BUILDING SQUARE FOOTAGE - increase from 57,000 sf to 62,188 sf

PROJECT DATA

EXISTING USE VACANT RESIDENTIAL
PROPOSED USE MIXED USE – RESIDENTIAL, COMMERCIAL, RETAIL
USE GROUP

PARCEL 1 9788204502
PARCEL 2 9788205716
PARCEL 3 9788206500

EXISTING LAND AREA 131,340.04 SF – PARCEL 1
14,228.80 SF – PARCEL 2
8,453.88 SF – PARCEL 3
6,967.76 SF – MONROE ST R/W
160,990.47 SF TOTAL NET LAND AREA

POST RECOMBINATION AREAS: 3.69 ACRES, NET
LAND AREA IN RCD streamside zone 35,935 SF net
LAND AREA IN RCD managed use zone 38,618 SF net
LAND AREA IN RCD upland zone 34,668 SF net
LAND AREA non-RCD 51,769 SF net

GROSS LAND AREA 177,090 SF / 4.065 ACRES

PROJECT AREA 2.10 ACRES
DISTURBED AREA 2.10 ACRES

EXISTING ZONING MU–V–C2D
PROPOSED ZONING MU–V–C2D
FAR MU–V ARTERIAL 1.2 x 86,437 = 103,724 sf
RCD – streamside 0.01 x 34,559 = 346 sf
RCD – managed use 0.019 x 38,076 = 723

MAXIMUM BUILDING SIZE 104,817 SF
BASED ON GROSS LAND AREA

EXISTING BUILDING SIZE 104,817 SF
PROPOSED BUILDING SIZE 59,796 SF residential
2,392 SF non-residential
62,188 SF total (incl mechanical, excl underground parking and outdoor walkways / balconies)

RESIDENTIAL: 58–60 UNITS TOTAL
(15% WILL BE DESIGNATED AFFORDABLE)
PROPOSED FAR .352

REQUIRED PARKING BASED ON MAXIMUM BLDG SIZE
PROPOSED PARKING MIN 68 SPACES, MAX 117 SPACES
80 SPACES INCLUDING:
2 VAN ACCESSIBLE ADA (all in underground parking)
1 MOTORCYCLE SPACE (underground parking area)
24 STANDARD SURFACE SPACES
29 SINGLE LOADED UNDERGROUND SPACES
24 UNDERGROUND GARAGE (DOUBLE STACKED) incl 10 compact

PROPOSED CAR CHARGING STATIONS 1 LOCATED IN UNDERGROUND GARAGE SERVING 2 SPACES (3% OF PARKING)

EXISTING IMPERVIOUS 676 SF
PROPOSED IMPERVIOUS 50,985 SF

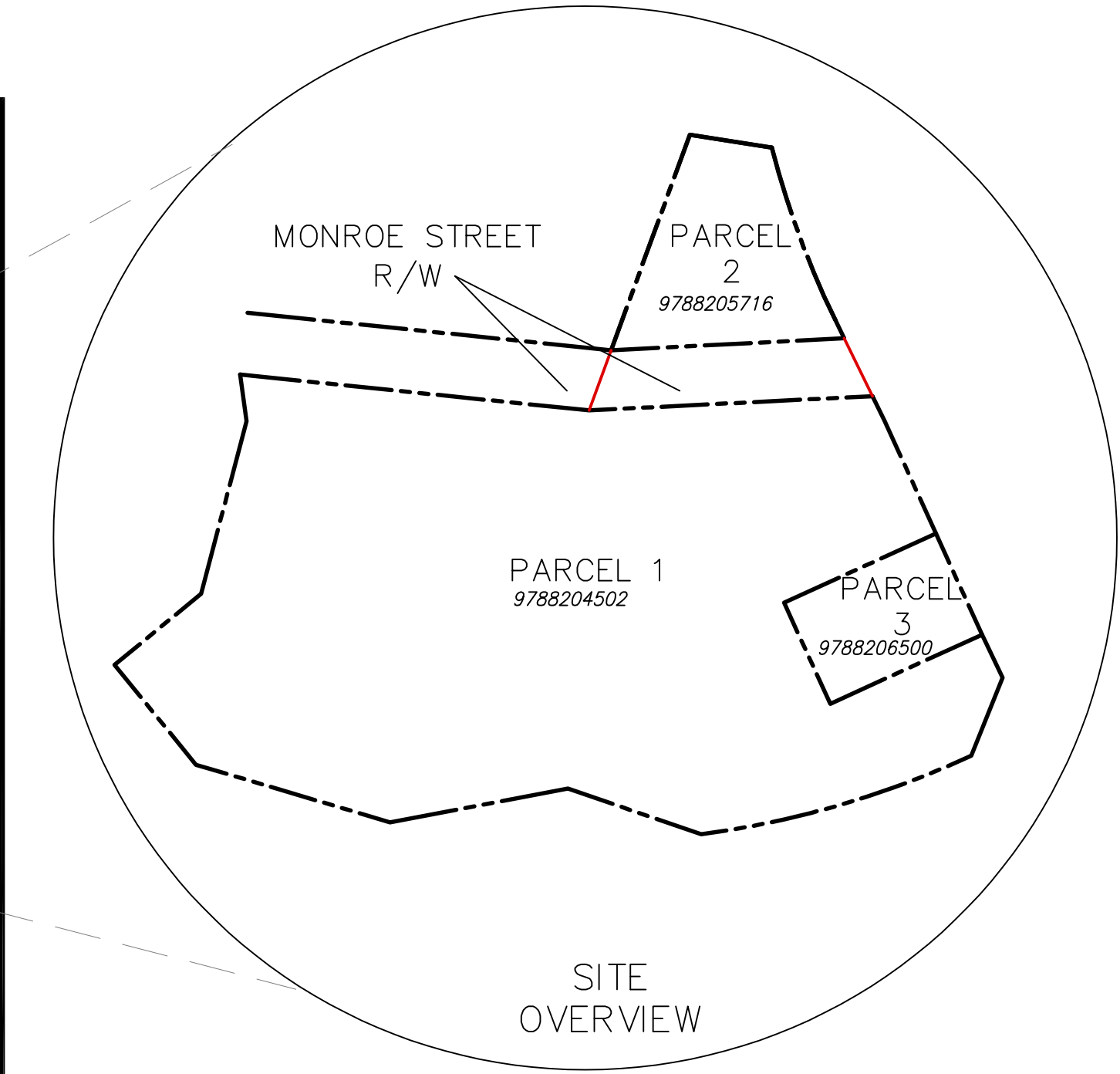
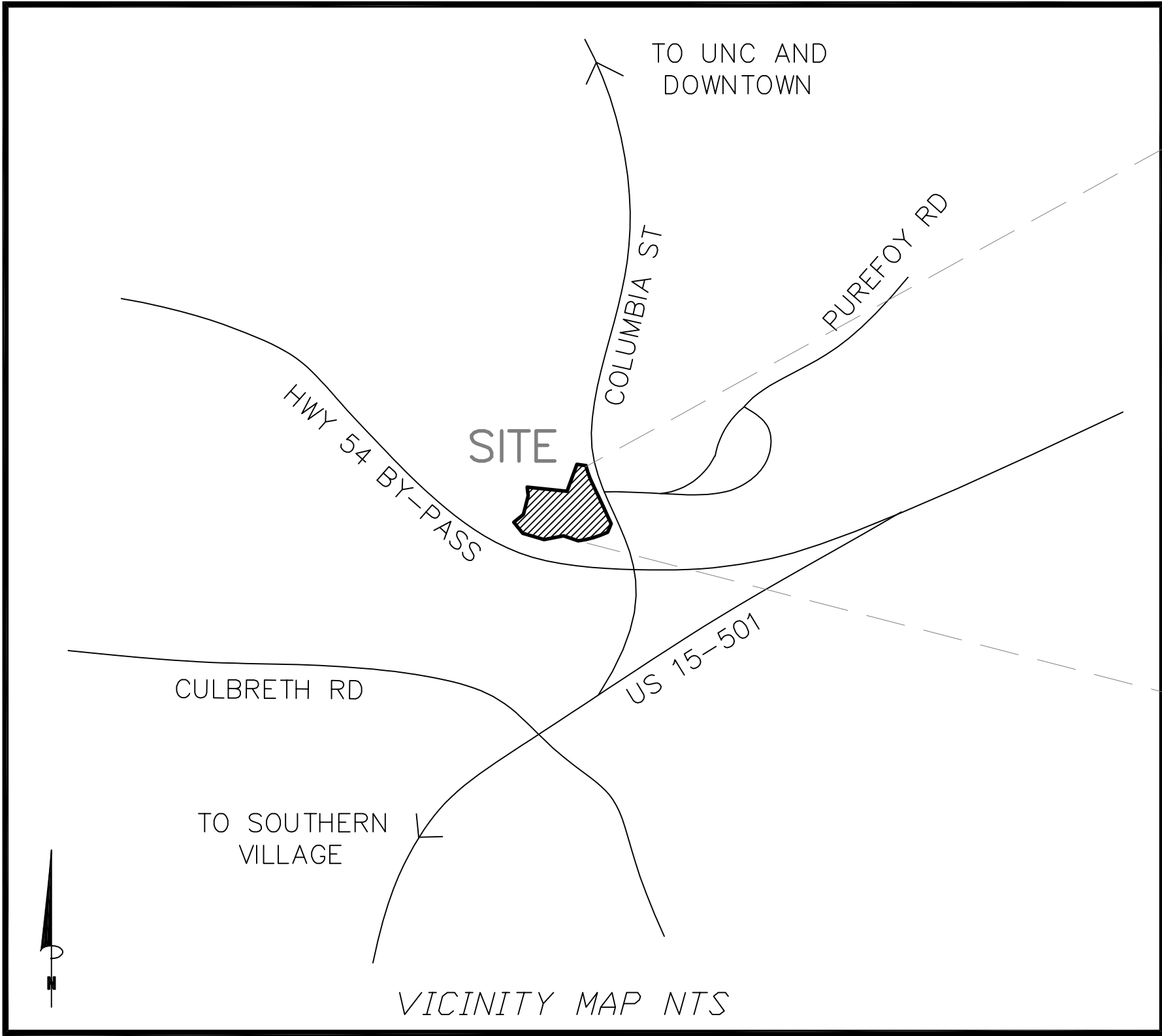
REQUIRED BICYCLE PARKING GENERAL BUSINESS: 4 + 2 per 2500 sf = 6 SPACES
(20% CLASS I AND 80% CLASS II)
RESIDENTIAL: 1 per 4 units = 15 SPACES
(90% CLASS I AND 10% CLASS II)
TOTAL BIKE PARKING REQUIRED WILL EXCEED LUMO REQUIREMENT
LOCATIONS: UNDERGROUND PARKING, SURFACE PLAZA, IN RESIDENTIAL UNITS, IN COMMON NON-RESIDENTIAL SPACE

EXISTING TREE CANOPY 134,000 SF = 80.8% OF SITE
REQUIRED TREE CANOPY 40% = 58,724 SF CALCULATION ON SHEET CZ–7.0
PROPOSED TREE CANOPY 66,331 SF (EXISTING RETAINED COVERAGE)

REQUIRED RECREATION SPACE 0.046 RSR
GROSS LOT AREA IS 177,090 SF
PROJECT AREA IS 71,450 SF
RESIDENTIAL PERCENTAGE OF PROJECT IS 93.4%
PROJECT AREA x RECREATION MULTIPLIER x PERCENTAGE RESIDENTIAL
= 91,476 x .046 x .96 = 4,040 SF
PAYMENT IN LIEU IS \$12/SF

RECREATION SPACE PROVIDED 459 SF ACTIVE RECREATION SPACE PROVIDED AS FITNESS CENTER IN THE BUILDING FOR TENANTS
SHORTFALL IN FINAL INTERIOR FITNESS SPACE SQUARE FOOTAGE WILL BE MADE UP AS PAYMENT IN LIEU AT \$12/SF

2,392 SF GENERAL BUSINESS
1 SPACE/300 SF TO 1 SPACE /200 SF
= 8 MIN 12 MAX
60 RESIDENTIAL UNITS
MIX OF STUDIO / 1 BDRM /2 BDRM
1.0 TO 1.75 PER UNIT
= 60 MIN 105 MAX
NON-RESIDENTIAL SPACE IS INTENDED
FOR USE BY RESIDENTS FOR WORK/LIVE
USE. THERE IS NO PARKING
SPECIFICALLY RESERVED FOR THE
NON-RESIDENTIAL SPACE.



LIST OF SHEETS

CZ-0.0	COVER SHEET
CZ-0.1	AREA MAP
CZ-1.0	EXISTING CONDITIONS, TREE SURVEY, DEMOLITION, AND TREE PROTECTION PLAN
CZ-1.1	SITE ANALYSIS
CZ-1.2	TREESAVE PLAN
CZ-2.0	SITE PLAN - OVERALL
CZ-2.1	SITE PLAN - UNDERGROUND PARKING
CZ-3.0	GRADING PLAN
CZ-3.1	SITE / RCD SECTIONS
CZ-3.2	DRIVEWAY/PARKING SECTIONS
CZ-3.3	STORMWATER MAINTENANCE PLAN
CZ-4.0	EROSION CONTROL PLAN PH1
CZ-4.1	EROSION CONTROL PLAN PH 2
CZ-4.2	EROSION CONTROL PLAN PH 3
CZ-5.0	UTILITY PLAN
CZ-6.0	NOT USED
CZ-7.0	LANDSCAPE AND TREESAVE PLAN
CZ-8.0	SITE DETAILS
CZ-8.1	STORMWATER DETAILS
CZ-8.2	STREAM RESTORATION DETAILS
CZ-8.3	SITE DETAILS

SPECIAL CONDITIONS OF APPROVAL

1. PARCELS MUST BE RECOMBINED PRIOR TO ZCP APPROVAL.
2. THE BUILDINGS ARE REQUIRED TO BE SPRINKLED.
3. THE APPLICANT MUST SUBMIT A CONSTRUCTION MANAGEMENT PLAN FOR APPROVAL BY THE TOWN PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT.
4. THE PROJECT WILL MEET THE TOWN'S 15% AFFORDABLE HOUSING REQUIREMENT, WITH THE PROVISION OF 7 AFFORDABLE UNITS PROVIDED IN THE BUILDING.
5. CONTRACTORS MUST COMPLETE THE TOWN'S TREE PROTECTION SEMINAR PRIOR TO TREE PROTECTION FENCE INSTALLATION. CONTACT ADAM NICHOLSON, URBAN FORESTRY, 919-969-5006.
6. DEVELOPER WILL BE REQUIRED TO INSTALL ADA RAMPS AND PEDESTRIAN ACTIVATED LED SIGNAL AT THE EVENTUAL SOUTH COLUMBIA STREET CROSSWALK LOCATION IN FRONT OF OR JUST NORTH OF THE PROJECT SITE.
7. REVISED S COLUMBIA STREET TRAFFIC COUNTS WILL BE REQUIRED AT ZCP SUBMITTAL.

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COLUMBIA STREET ANNEX

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OWNER:
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RALEIGH NC 27609



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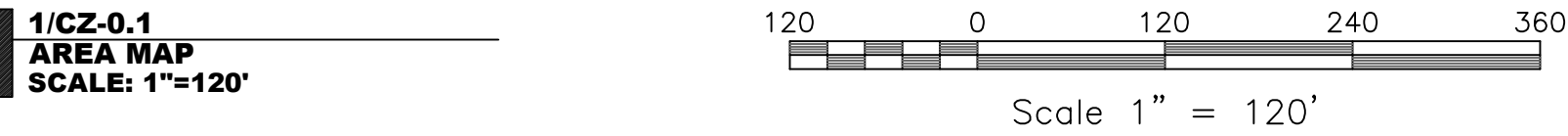
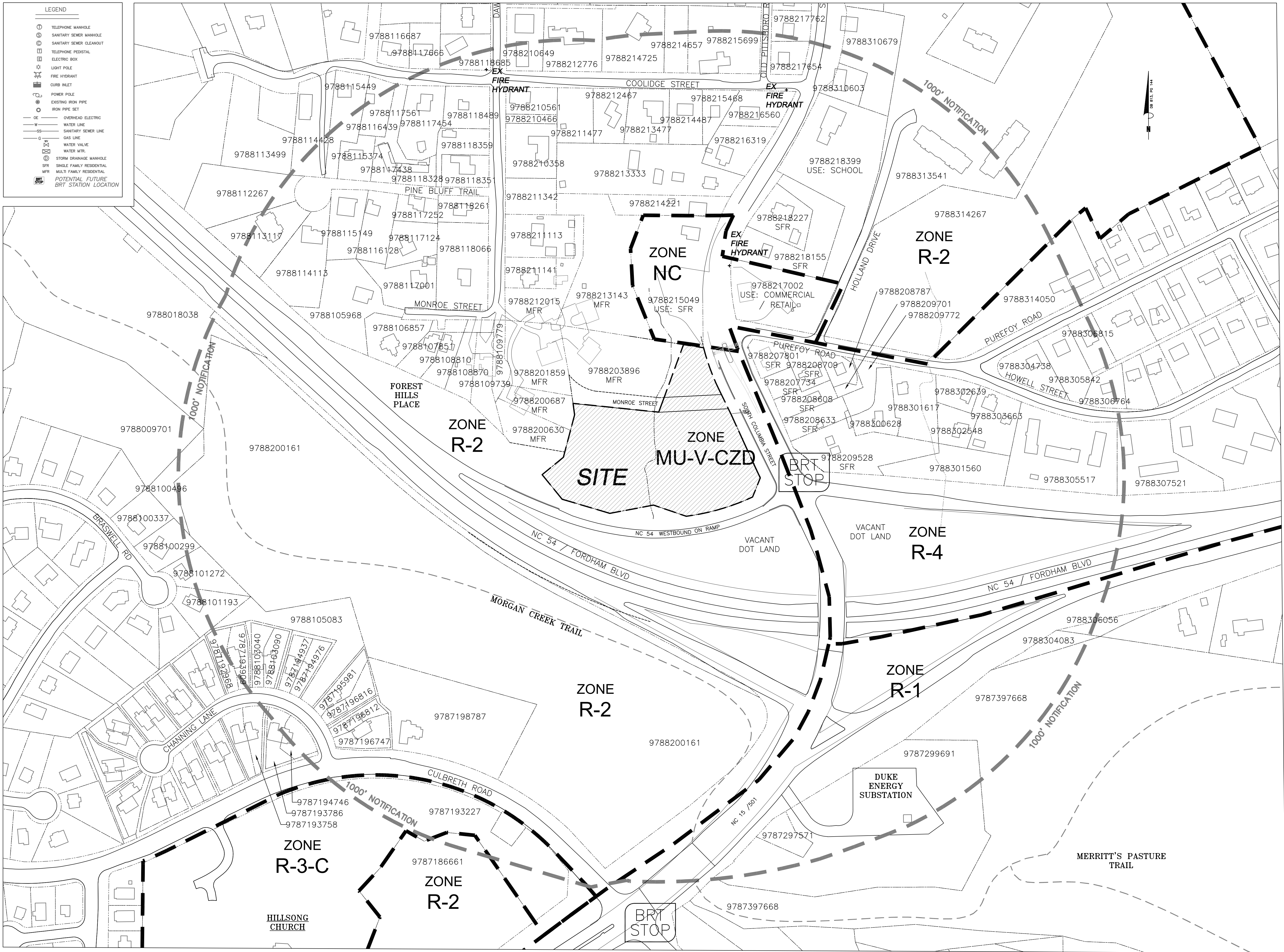
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COVER

CZ-0.0



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AREA MAP

CZ-0.1

TOPOGRAPHY/SLOPES:

BECAUSE OF DOT ROAD CONSTRUCTION IN THE 1990'S, THE SITE SITS MUCH LOWER THAN COLUMBIA STREET AND THERE IS A STEEP DROP FROM THE STREET INTO THE SITE. THE SITE SLOPES FROM NORTH TO SOUTH, AND DROPS APPROXIMATELY 30 FEET OVER THE WIDTH OF THE SITE. THE DEVELOPMENT WILL TAKE ADVANTAGE OF THIS DROP BY SETTING THE BUILDING INTO THE SLOPE AND PROVIDING STREET LEVEL ACCESS TO THE PLAZA AND BUILDING. SERVICE AND PARKING USES WILL BE PLACED BELOW STREET LEVEL. SOME USABLE SPACE WILL FACE AND ACCESS LOWER LEVEL PARKING ON THE WEST SIDE. THE SITE HAS SLOPES OF 4% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

EXISTING SLOPES:
10-15% = 37,161.8 SF (22.4% OF THE SITE)
15-25% = 24,507.7 SF (14.8% OF THE SITE)
>25% = 9,541.8 SF (5.8% OF THE SITE)
57.0% OF THE SITE HAS <10% SLOPE

HYDROLOGICAL FEATURES/DRAINAGE

THERE IS AN PERENNIAL STREAM IN THE CENTER OF THE SITE AND AN EPHEMERAL STREAM ON THE WESTERN SIDE OF THE SITE. THE SITE GENERALLY DRAINS FROM NORTH TO SOUTH.

SOIL TYPES

THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES TWO SOILS ON THIS SITE. THE WESTERN, EASTERN, AND SOUTH-CENTRAL PORTIONS OF THE SITE ARE WEDOWEE SANDY LOAM WITH 4% TO >25% SLOPES. THE NORTH-CENTRAL PORTION OF THE SITE IS A APPLING SANDY LOAM WITH 6% TO >25% SLOPES.

SUN/SHADE PATTERNS

THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE STRUCTURE DURING THE COURSE OF THE DAY. THE FRONT ENTRY WILL GET MORNING SUN. SOME EXISTING TREES WILL BE RETAINED SOUTH OF THE BUILDING IN THE BUFFER AGAINST THE NC 54 ON-RAMP. PLANTINGS WILL BE ADDED TO THE COLUMBIA STREET PLAZA AND FRONTAGE.

TREES IN THE PARKING LOT WILL BE CONCENTRATED ALONG THE EAST AND SOUTH SIDES OF THE PARKING BAYS TO PROVIDE MAXIMUM SHADE FOR VEHICLES. SOME PARKING IS LOCATED UNDER THE BUILDING. SOME PARKING IS ON THE NORTH SIDE OF 6 AND 7 STORY BUILDINGS AND WILL BE SHADED BY THE BUILDINGS. THERE WILL BE PLANTINGS AT THE ENTRY AND ALONG THE SIDEWALKS TO PROVIDE MAXIMUM SHADE FOR PEDESTRIANS.

FEMA FLOODPLAIN INFORMATION.

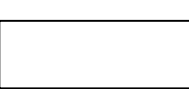
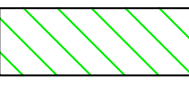


THERE IS NO MAPPED FLOODPLAIN ON SITE PER FEMA PANEL 3710978800J.

SPECIAL FEATURES

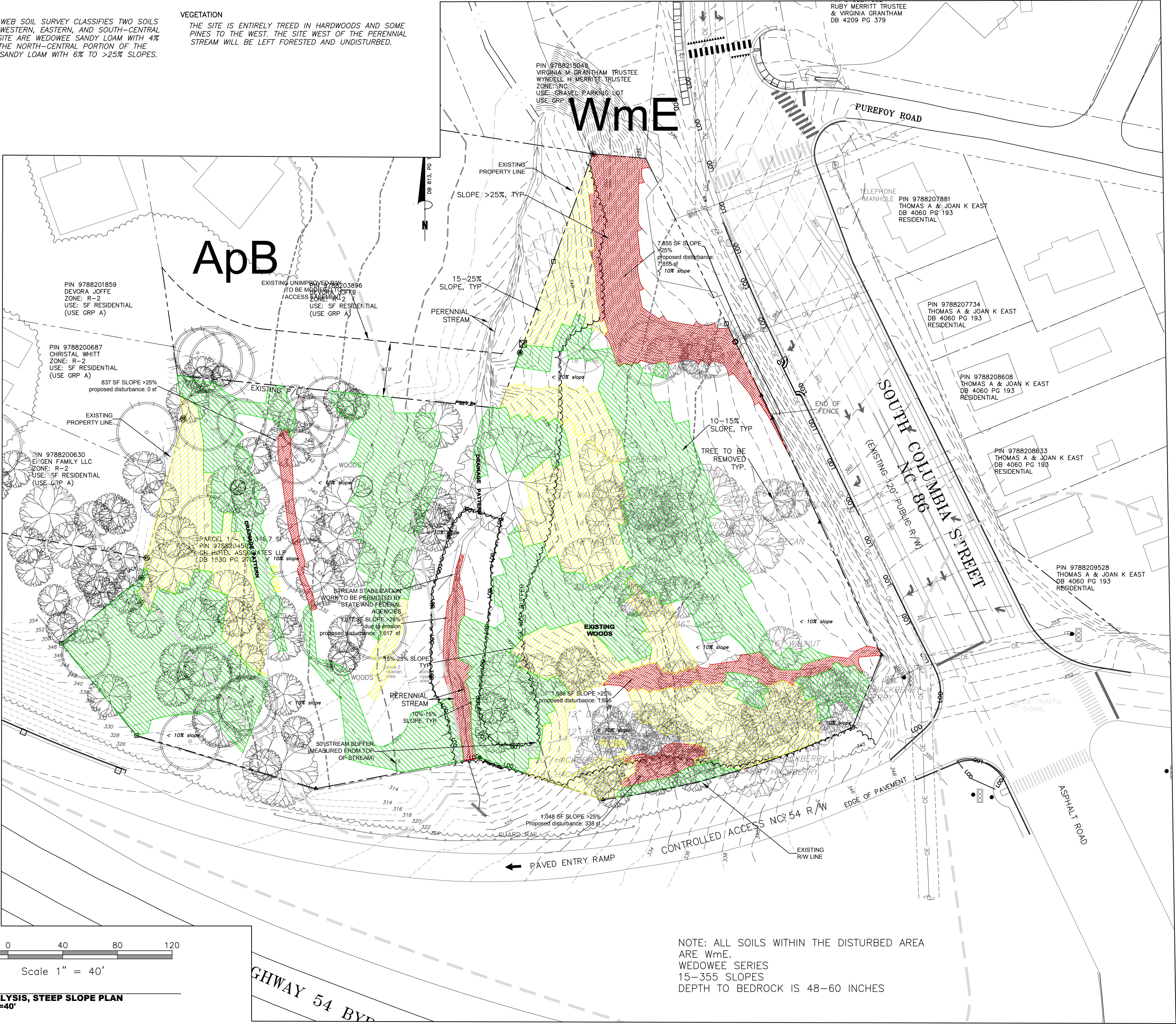
THIS PROPERTY HAS FRONTAGE ON SOUTH COLUMBIA STREET AND THE WESTBOUND NC 54 ON-RAMP.







VEGETATION

THE SITE IS ENTIRELY TREED IN HARDWOODS AND SOME PINES TO THE WEST. THE SITE WEST OF THE PERENNIAL STREAM WILL BE LEFT FORESTED AND UNDISTURBED.

	SLOPES UNDER 10% (NO HATCH)	TOTAL AREA: 59,048 SF
	SLOPES 10% - 15%	TOTAL AREA: 56,164 SF
	SLOPES 15% - 25%	TOTAL AREA: 32,185 SF TOTAL DISTURBED: 17,939 SF (56%)
	SLOPES OVER 25%	TOTAL AREA: 13,043 SF TOTAL DISTURBED: 11,495 SF (89%)

2/C-1.3
STEEP SLOPE CALCULATIONS



	SOIL CLASSIFICATION
	EXIST TREE
	SLOPES <10%
	SLOPES 10-15%
	SLOPES 15-25%
	SLOPES >25%

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SITE ANALYSIS,
SLOPES AND
SOILS

CZ-1.1



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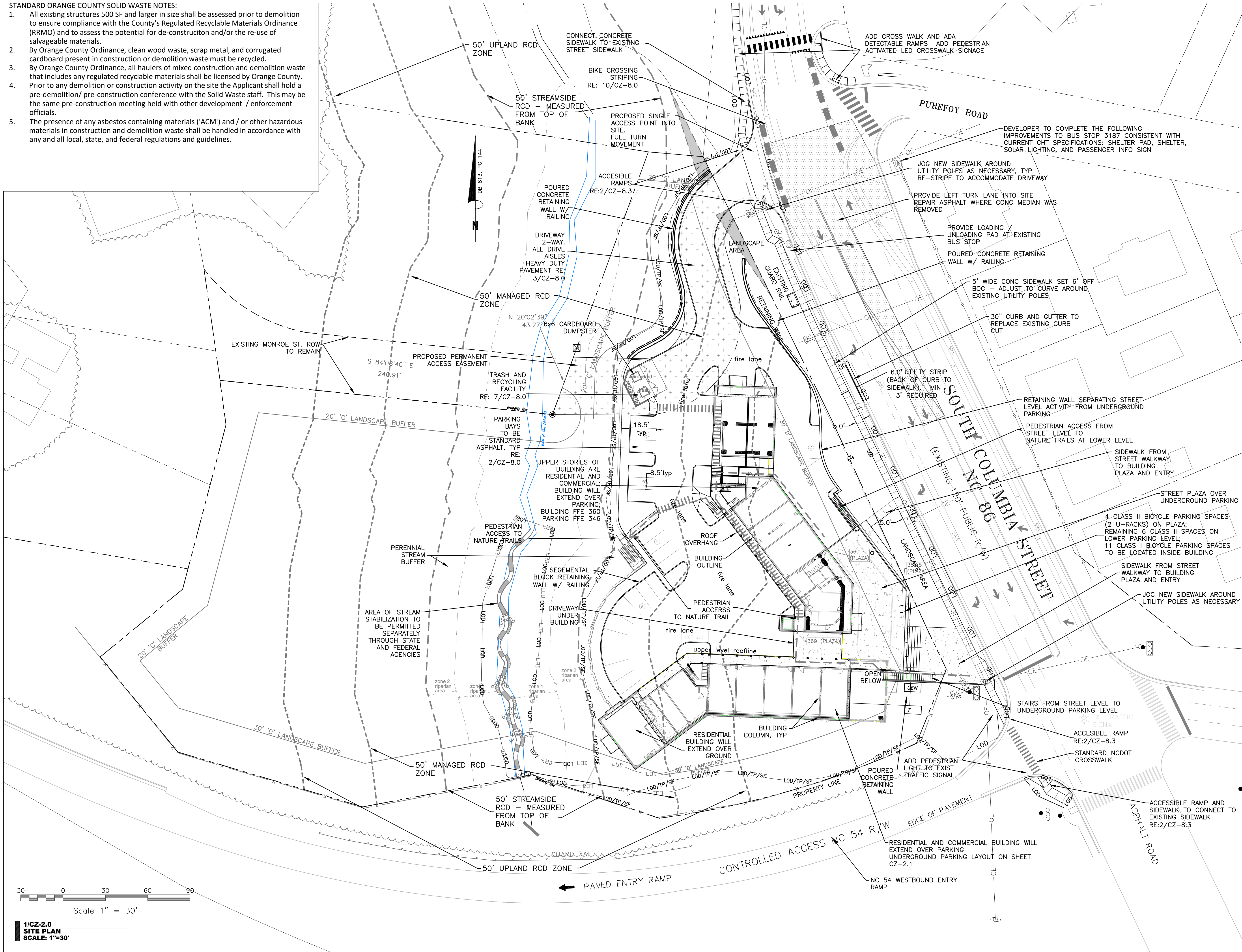
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TREE CANOPY PLAN

CZ-1.2

STANDARD ORANGE COUNTY SOLID WASTE NOTES:

1. All existing structures 500 SF and larger in size shall be assessed prior to demolition to ensure compliance with the County's Regulated Recyclable Materials Ordinance (RRMO) and to assess the potential for de-construction and/or the re-use of salvageable materials.
2. By Orange County Ordinance, clean wood waste, scrap metal, and corrugated cardboard present in construction or demolition waste must be recycled.
3. By Orange County Ordinance, all haulers of mixed construction and demolition waste that includes any regulated recyclable materials shall be licensed by Orange County. Prior to any demolition or construction activity on the site the Applicant shall hold a pre-demolition/ pre-construction conference with the Solid Waste staff. This may be the same pre-construction meeting held with other development / enforcement officials.
5. The presence of any asbestos containing materials ('ACM') and / or other hazardous materials in construction and demolition waste shall be handled in accordance with any and all local, state, and federal regulations and guidelines.



Scale 1" = 30'

1/CZ-2.0
SITE PLAN
SCALE: 1"=30'

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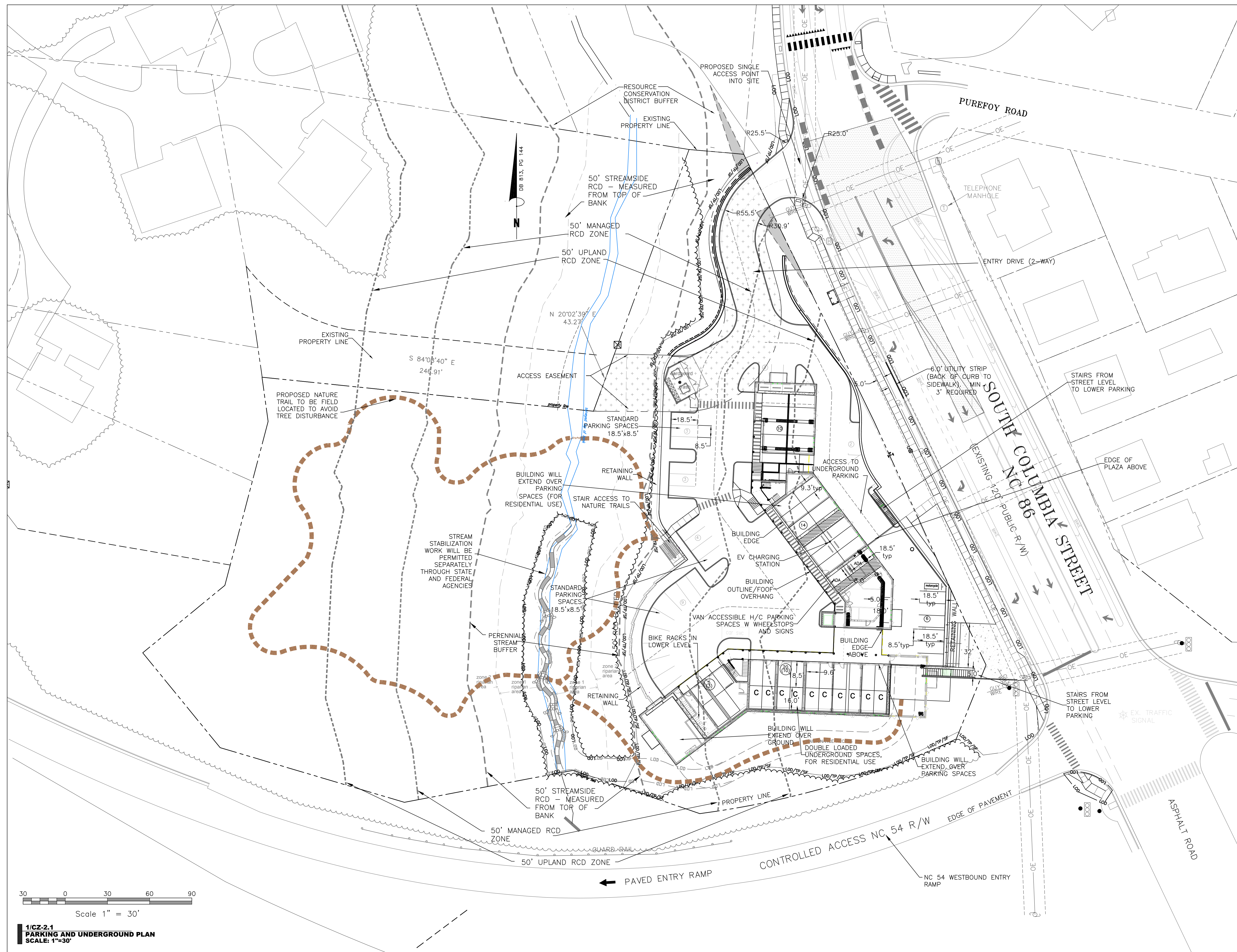
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OVERALL
SITE PLAN
STREET LEVEL
BUILDING PLAN

CZ-2.0



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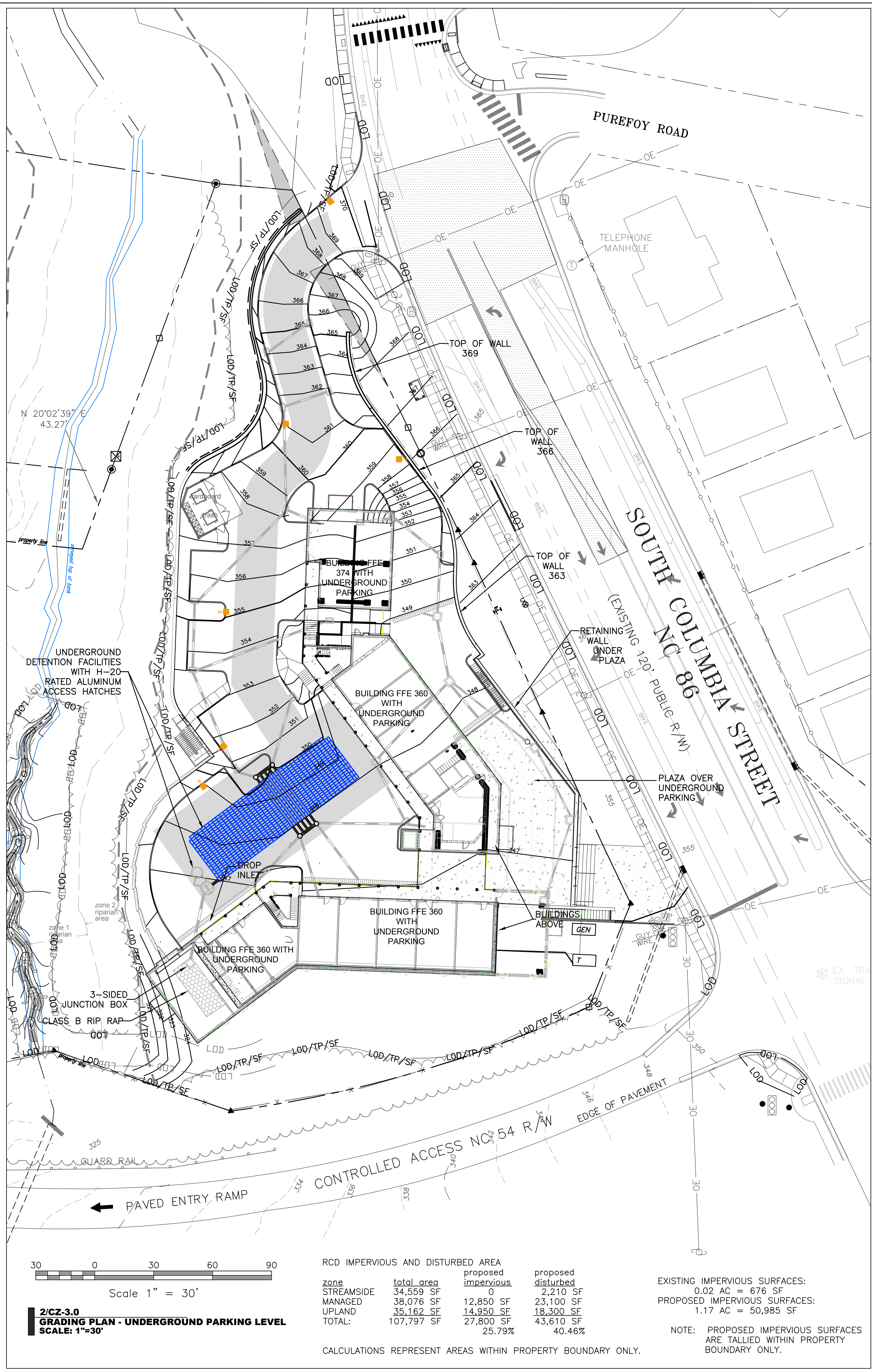
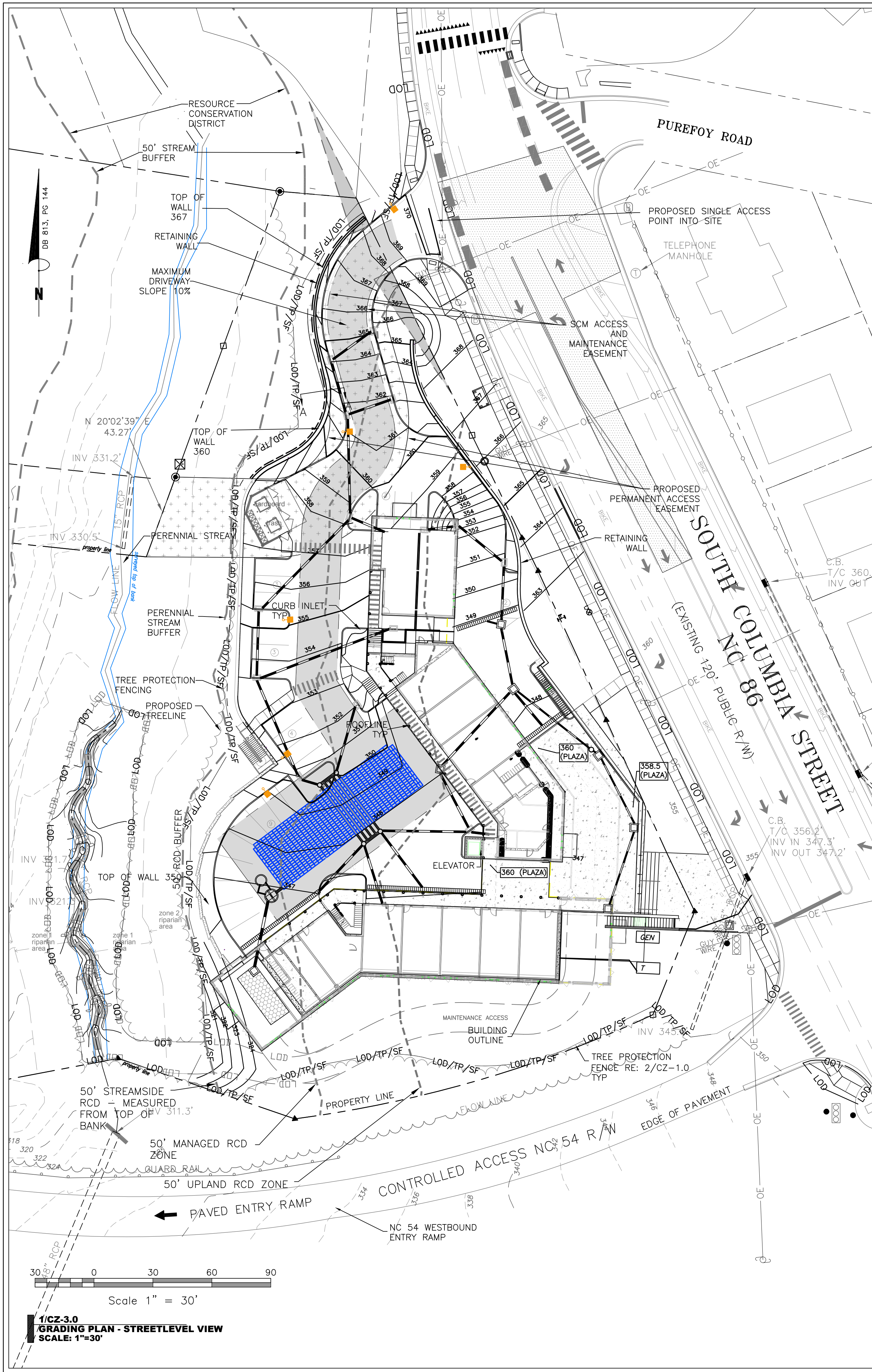
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**SITE PLAN
UNDERGROUND
PARKING
LAYOUT**

CZ-2.1



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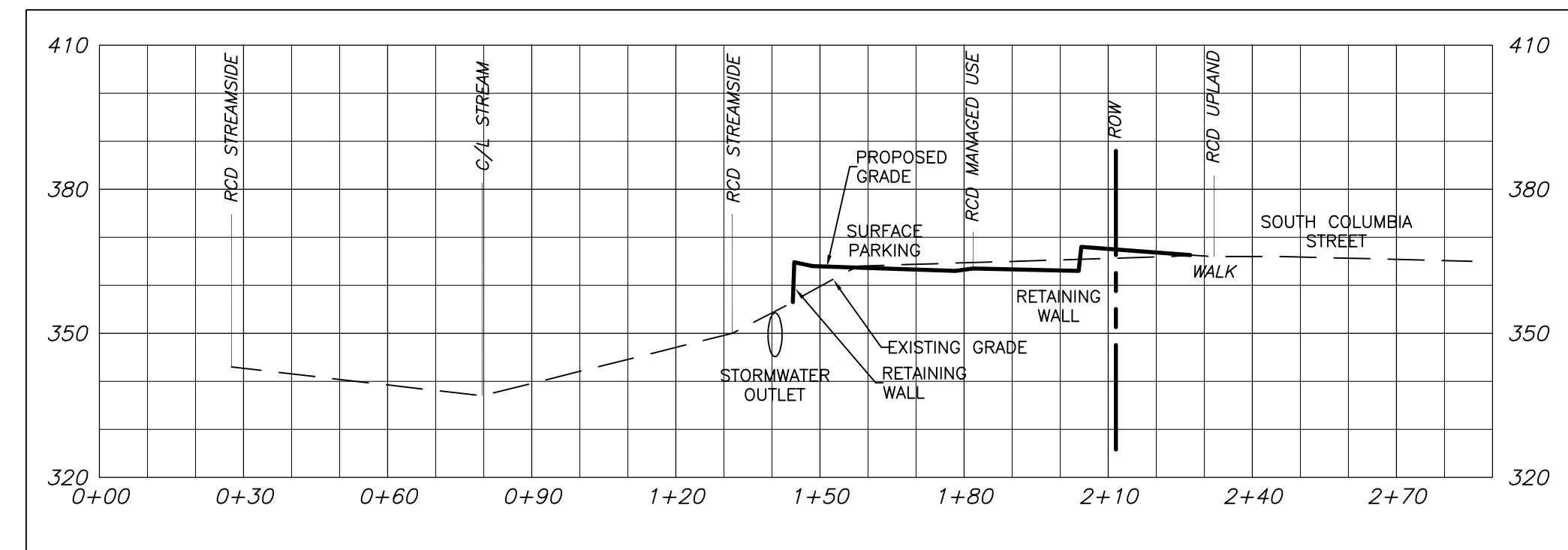
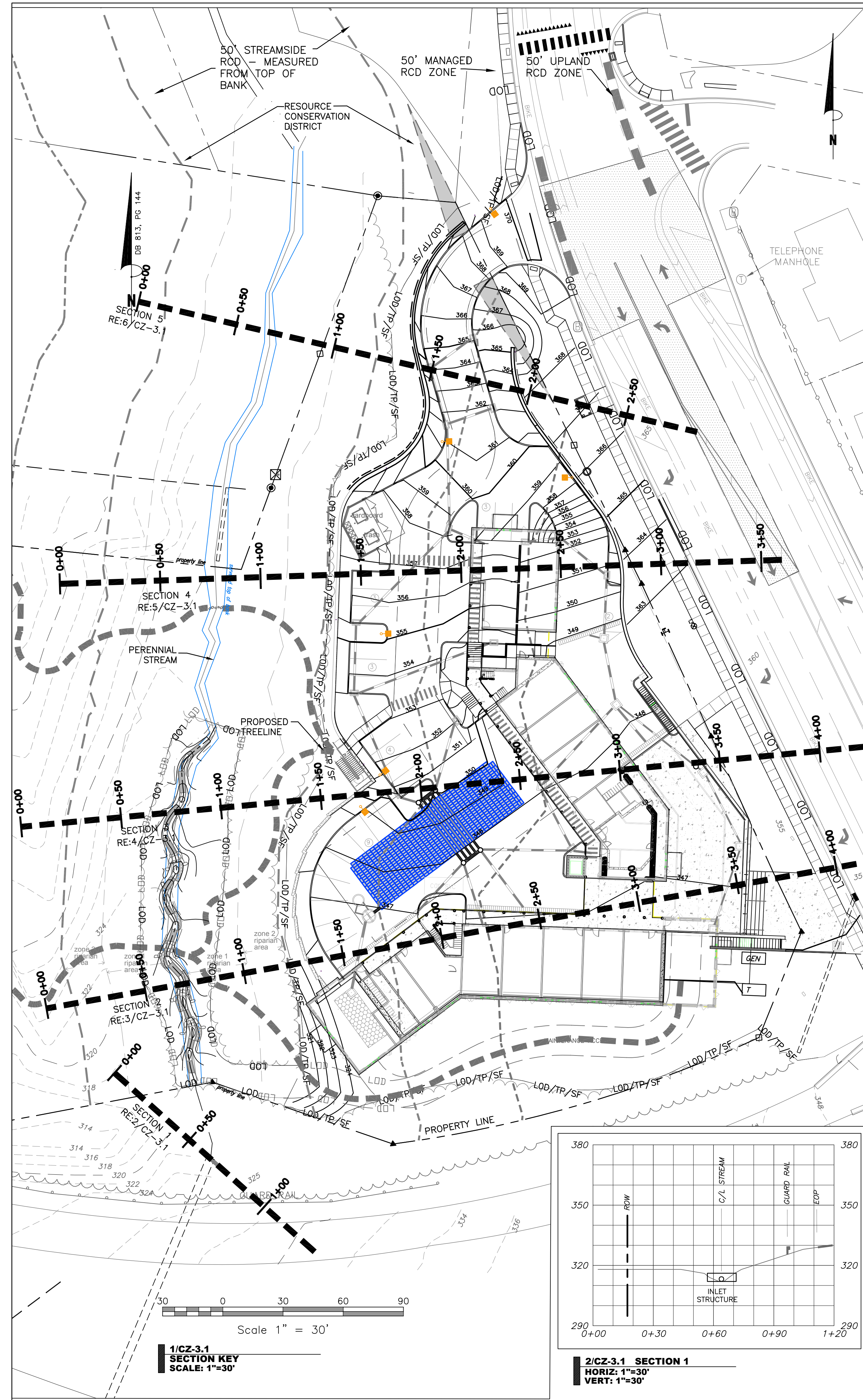
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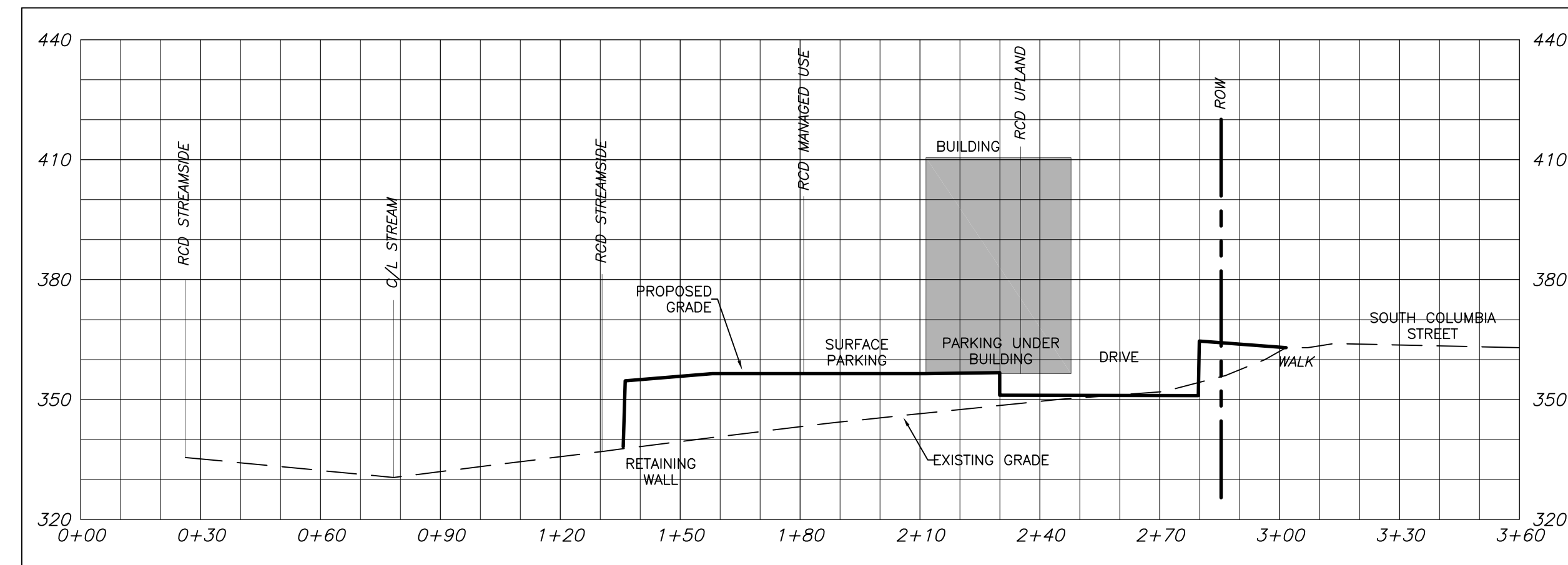
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GRADING, TREE PROTECTION AND STORMWATER PLAN

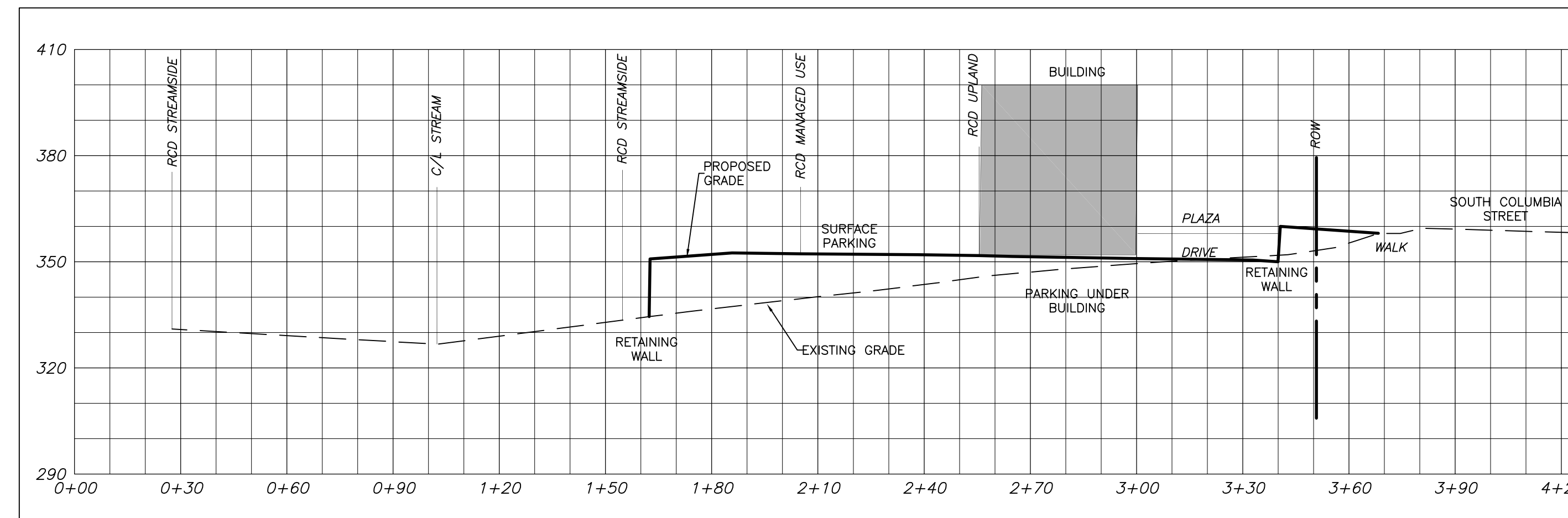
CZ-3.0



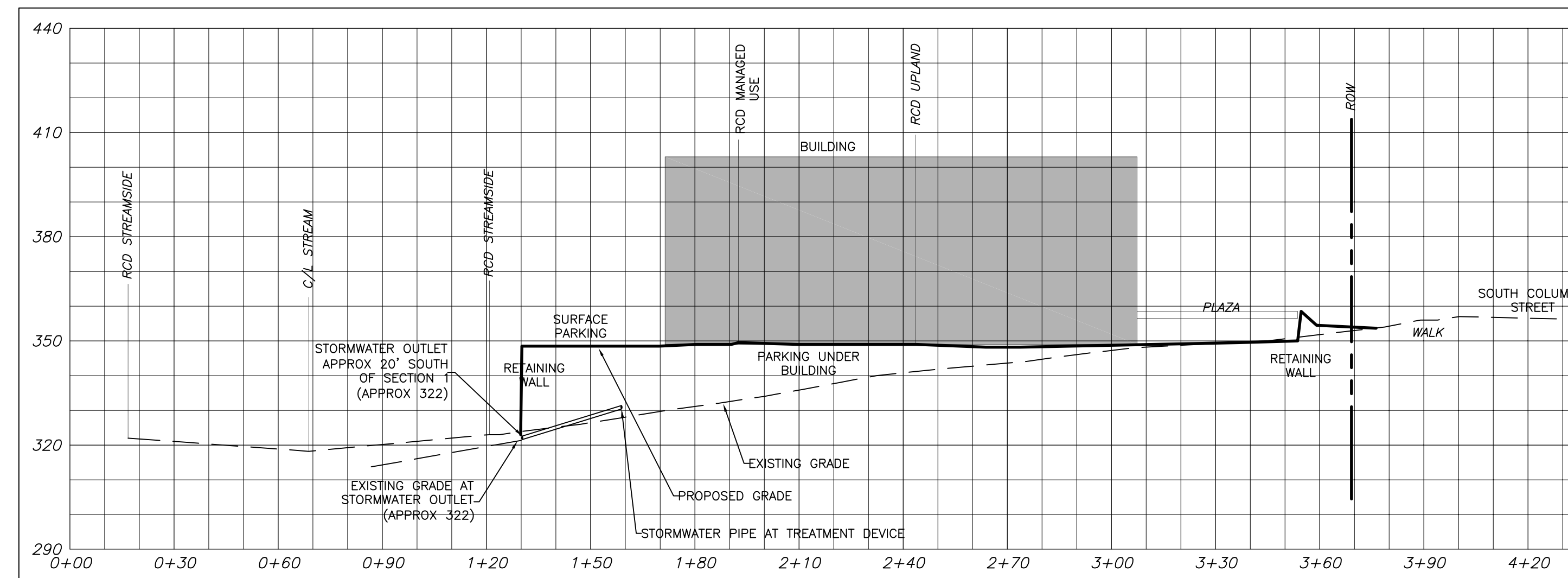
6/CZ-3.1 SECTION 5
HORIZ: 1"=30'
VERT: 1"=30'



5/CZ-3.1 SECTION 4
HORIZ: 1"=30'
VERT: 1"=30'



4/CZ-3.1 SECTION 3
HORIZ: 1"=30'
VERT: 1"=30'



3/CZ-3.1 SECTION 2
HORIZ: 1"=30'
VERT: 1"=30'

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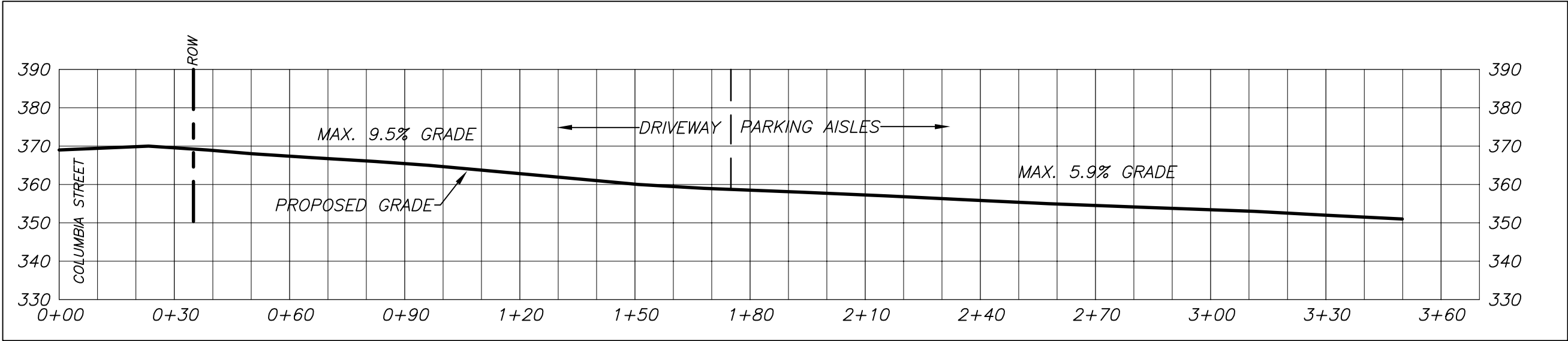
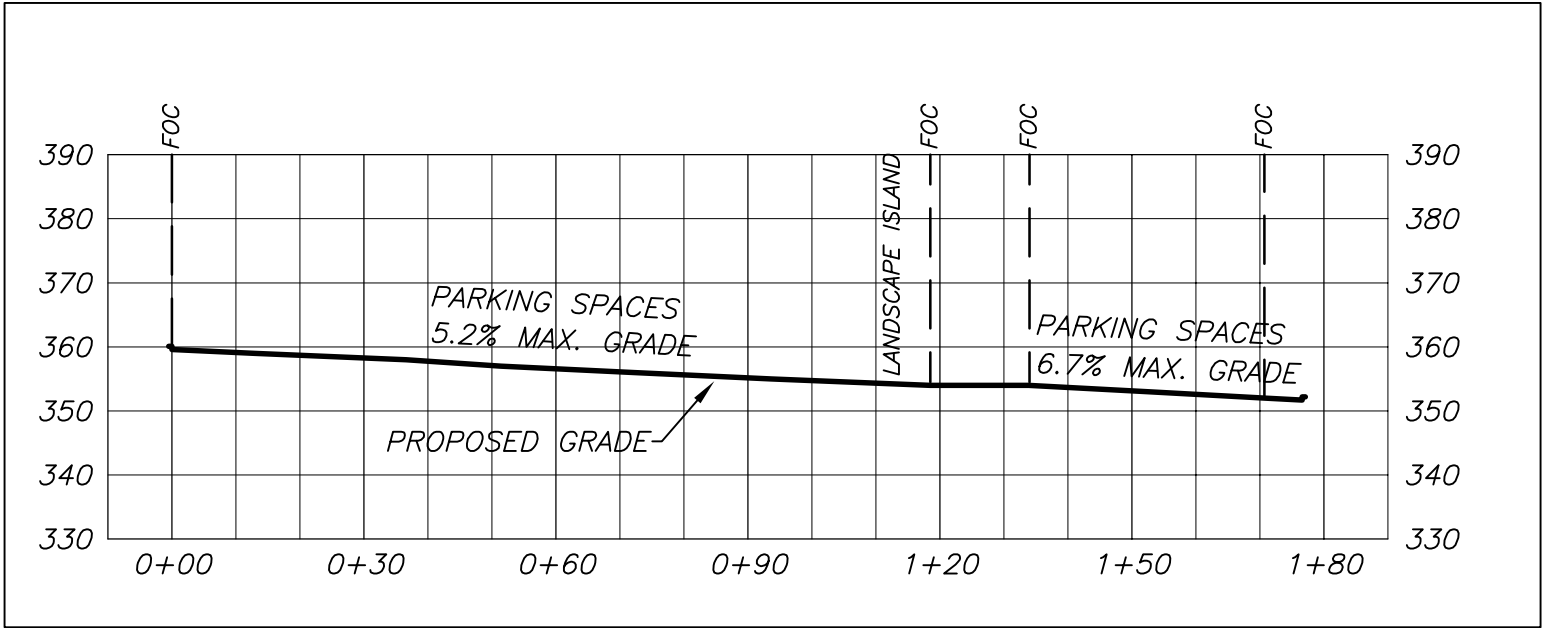
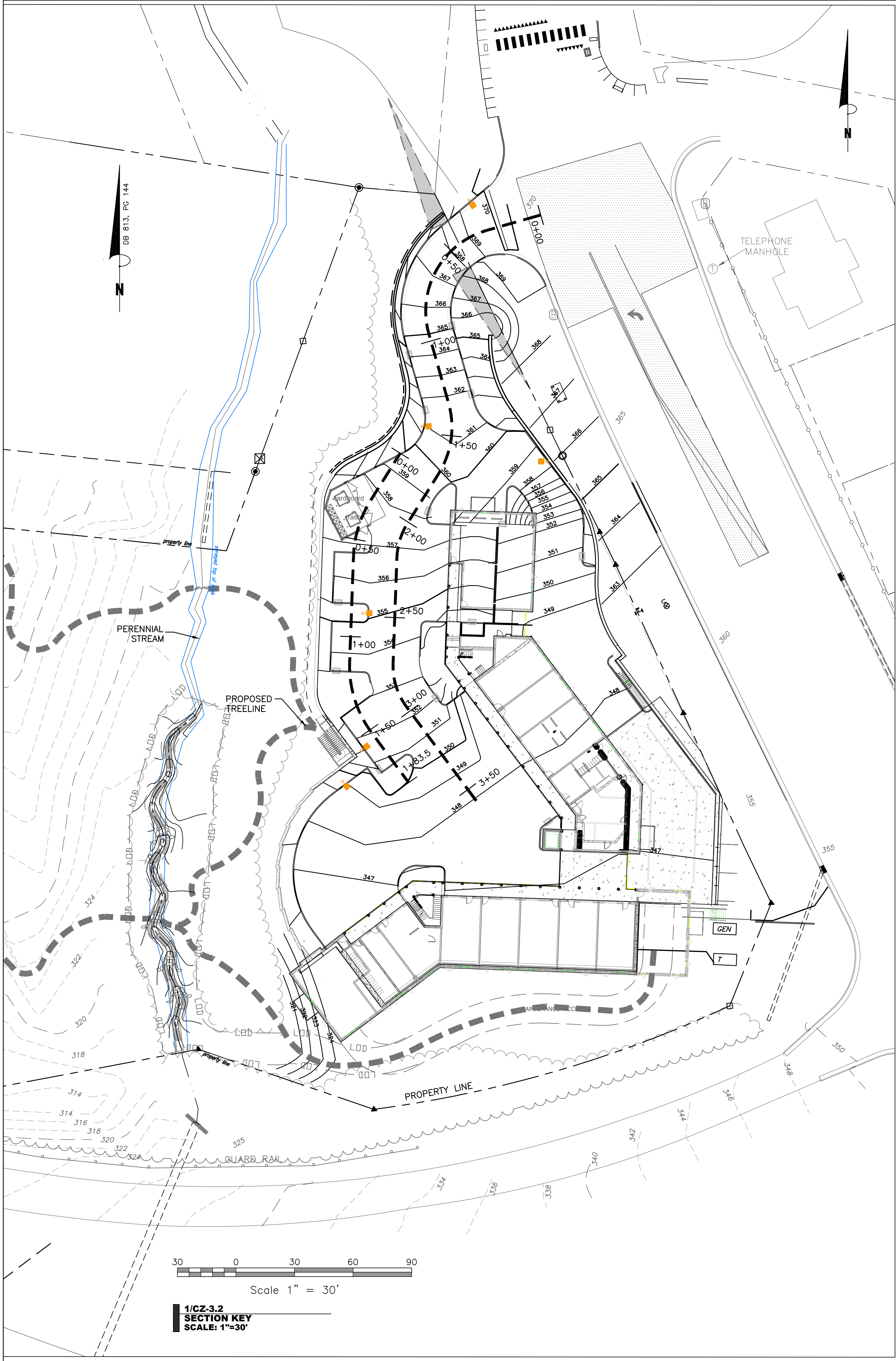
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SITE / RCD SECTIONS

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LIC # C-1209

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LANDSCAPE ARCHITECTS
LIC # C-104

COLUMBIA STREET ANNEX

1100 South Columbia Street
Chapel Hill, North Carolina

OWNER:
CH HOTEL ASSOCIATES LLC.
3008 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609

Drawn By: WLR, MTC

2.15.2023

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Date	For

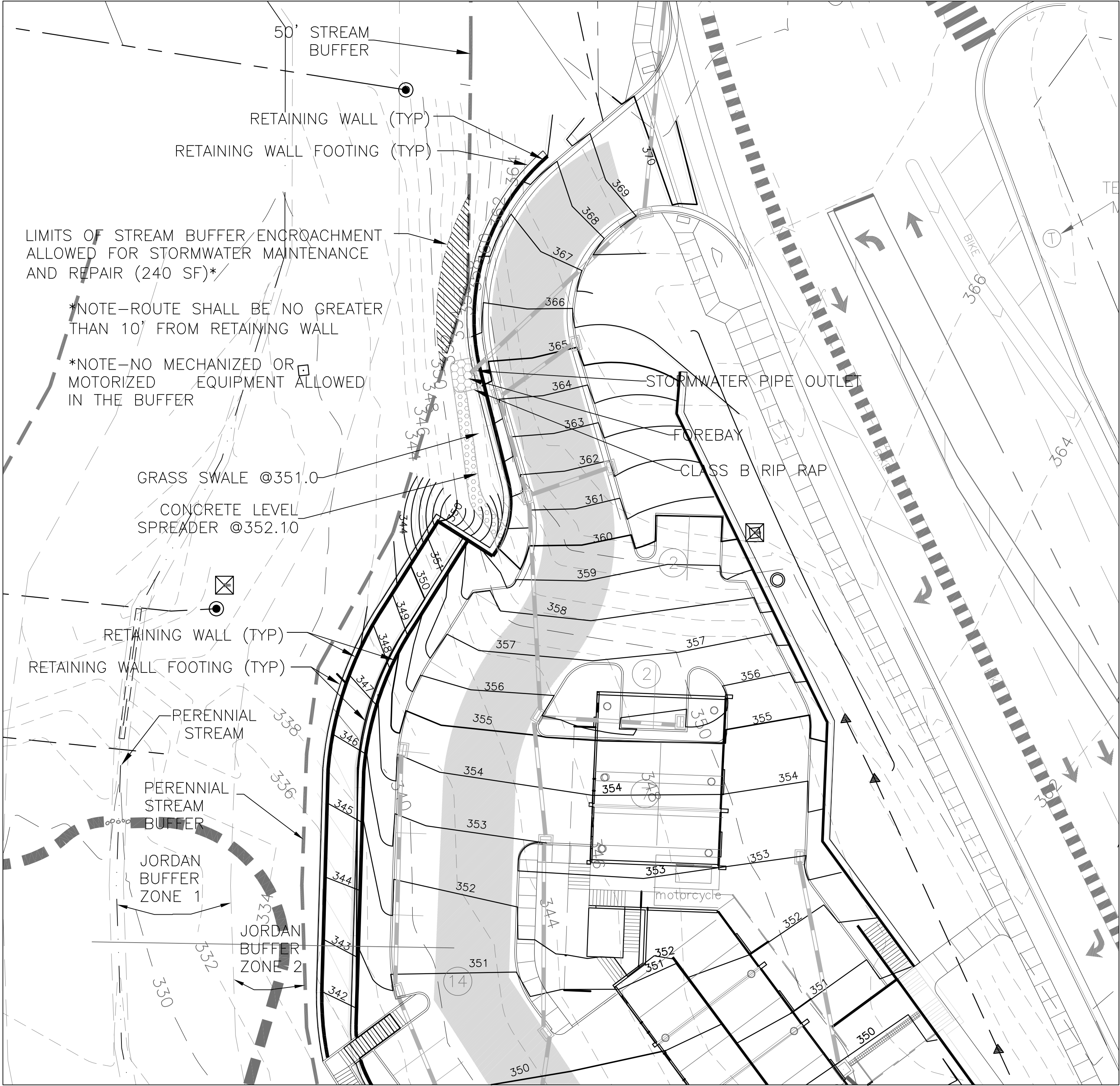
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Drawn By: WLR, MTC Date: 15 February 2023

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DRAWINGS FOR CONDITIONAL
ZONING MODIFICATION
SUBMITTAL

DRIVE / PARKING SECTIONS

CZ-3.2



CONSTRUCTION SEQUENCE

Pre Construction

1. Verify that all approvals and permits necessary to begin and complete the project are in hand, including approval from Orange County Erosion Control for the Land Disturbance. Approval and permits must be obtained prior to disturbance so that work will not be interrupted or delayed due to the lack of approved plans.
2. Schedule and hold a preconstruction conference before starting demolition, clearing or grading with the owner, contractor responsible for grading and erosion control, person responsible for supervising implementation of the erosion control plan, the Town of Chapel Hill Planning Department and the Orange County Erosion Control Inspector.
3. Erosion control personnel will e-mail erosion control inspection reports to the Financial Responsible Party. No erosion control inspection reports will be left on-site.

Construction

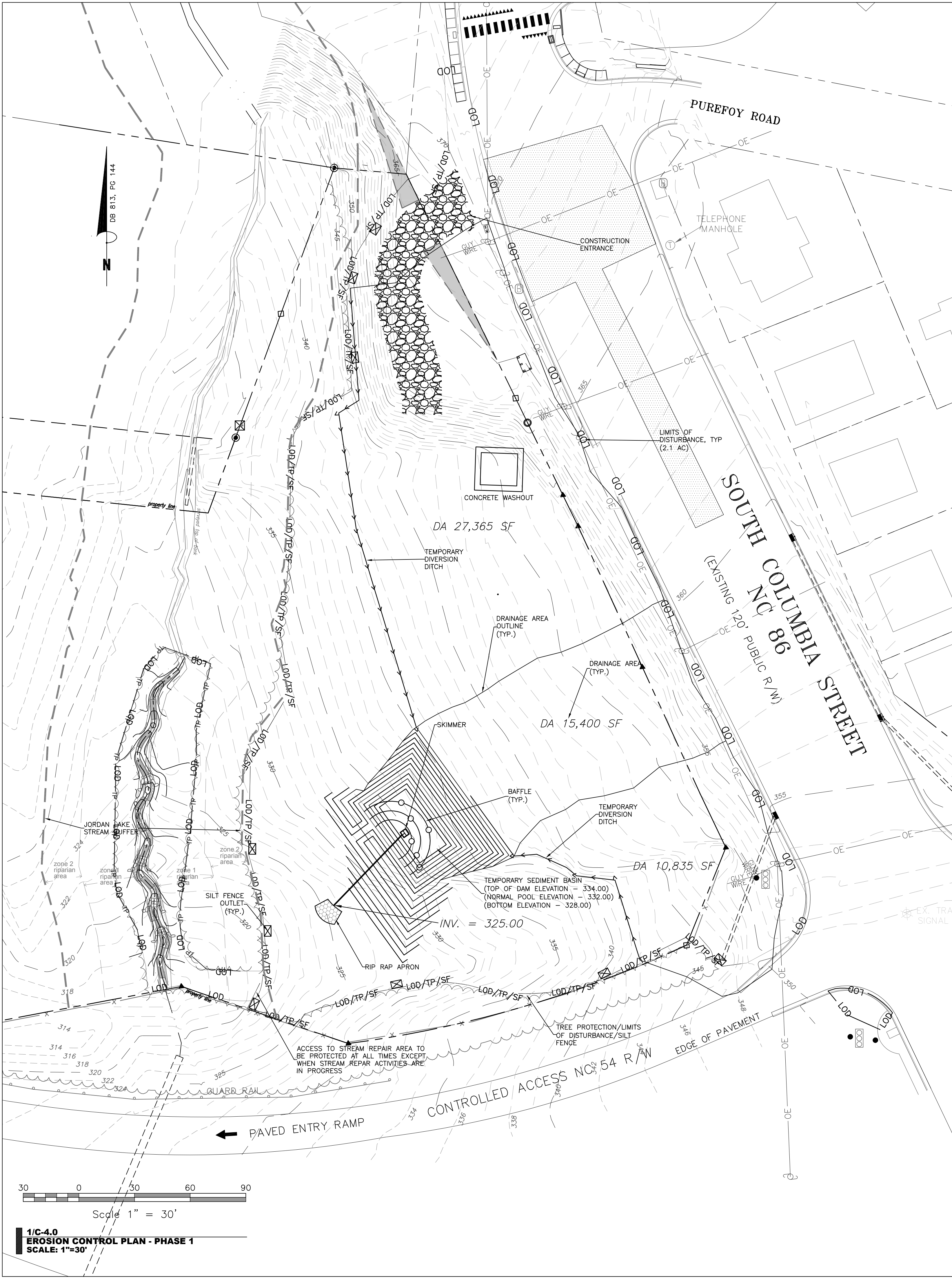
4. Install gravel construction entrance.
5. Install silt fence and silt fence outlets. Silt fence may be used as tree protection fence as long as appropriate signage is posted.
6. Schedule a silt and tree protection fence inspection with the Town of Chapel Hill Planning Department and Orange County Erosion Control Department (919) 245-2584.
7. Once silt fence and silt fence outlets from item #5 above are inspected and approved, only clearing for the proposed skimmer basin can occur. Once the skimmer basin is completely installed, please call Orange County Erosion Control Department for a basin inspection. Once the skimmer basin is inspected and passed, clearing and installation for the diversion ditches may occur. Limit disturbance to areas necessary for construction activities at that time. Stabilize disturbed areas as soon as possible.
8. During construction, stockpile of material is allowed on the site, within the limits of disturbance. Any stockpile area placed and not disturbed for 7 days or longer must be temporarily seeded to minimize sediment runoff. All stockpiled materials must be removed from the site prior to the completion of construction.
9. Minimize the amount of area disturbed at any one time. Stabilize disturbed areas as soon as possible per the seeding schedule and timeframe shown on detail.
10. During construction, some temporary measures will be removed to allow construction of permanent facilities -

ONLY WITH PRIOR APPROVAL OF THE ORANGE COUNTY EROSION CONTROL OFFICER

11. If it is determined during the course of construction that significant sediment is leaving the site despite proper implementation and maintenance of the approved erosion control plan, the person responsible for the land disturbing activity is obligated to take additional protective action.
12. Inspect and maintain the erosion control devices so they continue to function properly. Refer to the instructions in the erosion control plan for specific instructions for each device. The person responsible for erosion control is also responsible for taking the initiative in inspecting and maintaining these devices. Do not wait for erosion control personnel to point out the need for repairs and maintenance. Keep mud and debris off the public street at all times. If mud or debris is tracked from the site, use a shovel and broom to remove it immediately. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
13. In addition to the inspections by the Contractor and Orange County Erosion Control Officer(s), the Owner, the Financially Responsible Party, or their Agent must conduct inspections in accordance with the NPDES General Permit and NCDEQ's Self-Inspection Program for Erosion and Sediment Control.
14. If construction is temporarily or permanently halted, permanently stabilize all disturbed areas. Refer to seeding schedule for types of stabilization to be used.

Area of Disturbance = 2.10 AC

NOTE:
ORANGE COUNTY ENGINEERING/
EROSION CONTROL HAS ISSUED A
LAND DISTURBING PERMIT FOR THIS
PROJECT
LDP22-0063



erosion control legend

- | | | | |
|------|---------------------------|---|-------------------------|
| → | TEMPORARY DIVERSION DITCH | ⊗ | INLET PROTECTION |
| -SF- | SILT FENCE | ⊗ | RIP RAP |
| -TP- | TREE PROTECTION FENCE | ⊗ | INLET SEDIMENT BAG |
| ⊗ | CONSTRUCTION ENTRANCE | ⊗ | WATTLE INLET PROTECTION |
| ⊗ | SILT FENCE OUTLET | ⊗ | CHECK DAM |
| ⊗ | CONCRETE WASHOUT | | |

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1100
COLUMBIA STREET
PHASE 2

1100 South Columbia Street
Chapel Hill, North Carolina 27516

OWNER:
CH HOTEL ASSOCIATES LLC.
308 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609



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Date	For
8 Nov 21	Initial ZCP submittal
3 Oct 22	Revised ZCP submittal
26 Jan 23	DOT Revisions

Drawn By: WLR, MTC, CA Date: 5 November 2021

NOT FOR CONSTRUCTION

DRAWINGS FOR ZONING
COMPLIANCE PERMIT
SUBMITTAL

EROSION
CONTROL PLAN
PHASE 1

C-4.0

CONSTRUCTION SEQUENCE

Construction

1. As the site is filled, reconstruction of the sediment basin as shown on the plans will be necessary. Stabilize disturbed areas as soon as possible.
2. Minimize the amount of area disturbed at any one time. Stabilize disturbed areas as soon as possible per the seeding schedule and timeframe shown on detail.
3. During construction, some temporary measures will be removed to allow construction of permanent facilities –

ONLY WITH PRIOR APPROVAL OF THE ORANGE COUNTY EROSION CONTROL OFFICER
4. If it is determined during the course of construction that significant sediment is leaving the site despite proper implementation and maintenance of the approved erosion control plan, the person responsible for the land disturbing activity is obligated to take additional protective action.
5. Inspect and maintain the erosion control devices so they continue to function properly. Refer to the instructions in the erosion control plan for specific instructions for each device. The person responsible for erosion control is also responsible for taking the initiative in inspecting and maintaining these devices. Do not wait for erosion control personnel to point out the need for repairs and maintenance. Keep mud and debris off the public street at all times. If mud or debris is tracked from the site, use a shovel and broom to remove it immediately. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
6. In addition to the inspections by the Contractor and the Orange County Erosion Control Officer(s), the Owner, the Financially Responsible Party, or their Agent must conduct inspections in accordance with the NPDES General Permit and NCDEQ's Self-Inspection Program for Erosion and Sediment Control.
7. If construction is temporarily or permanently halted, permanently stabilize all disturbed areas. Refer to seeding schedule for types of stabilization to be used.

NOTE:
ORANGE COUNTY ENGINEERING/
EROSION CONTROL HAS ISSUED A
LAND DISTURBING PERMIT FOR THIS
PROJECT
LDP22-0063

erosion control legend

- | | | | |
|--|---------------------------|--|-------------------------|
| | TEMPORARY DIVERSION DITCH | | INLET PROTECTION |
| | SILT FENCE | | RIP RAP |
| | TREE PROTECTION FENCE | | INLET SEDIMENT BAG |
| | CONSTRUCTION ENTRANCE | | WATTLE INLET PROTECTION |
| | SILT FENCE OUTLET | | |
| | CONCRETE WASHOUT | | |

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1100
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PHASE 2

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Chapel Hill, North Carolina 27516

OWNER:
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RALEIGH NC 27609



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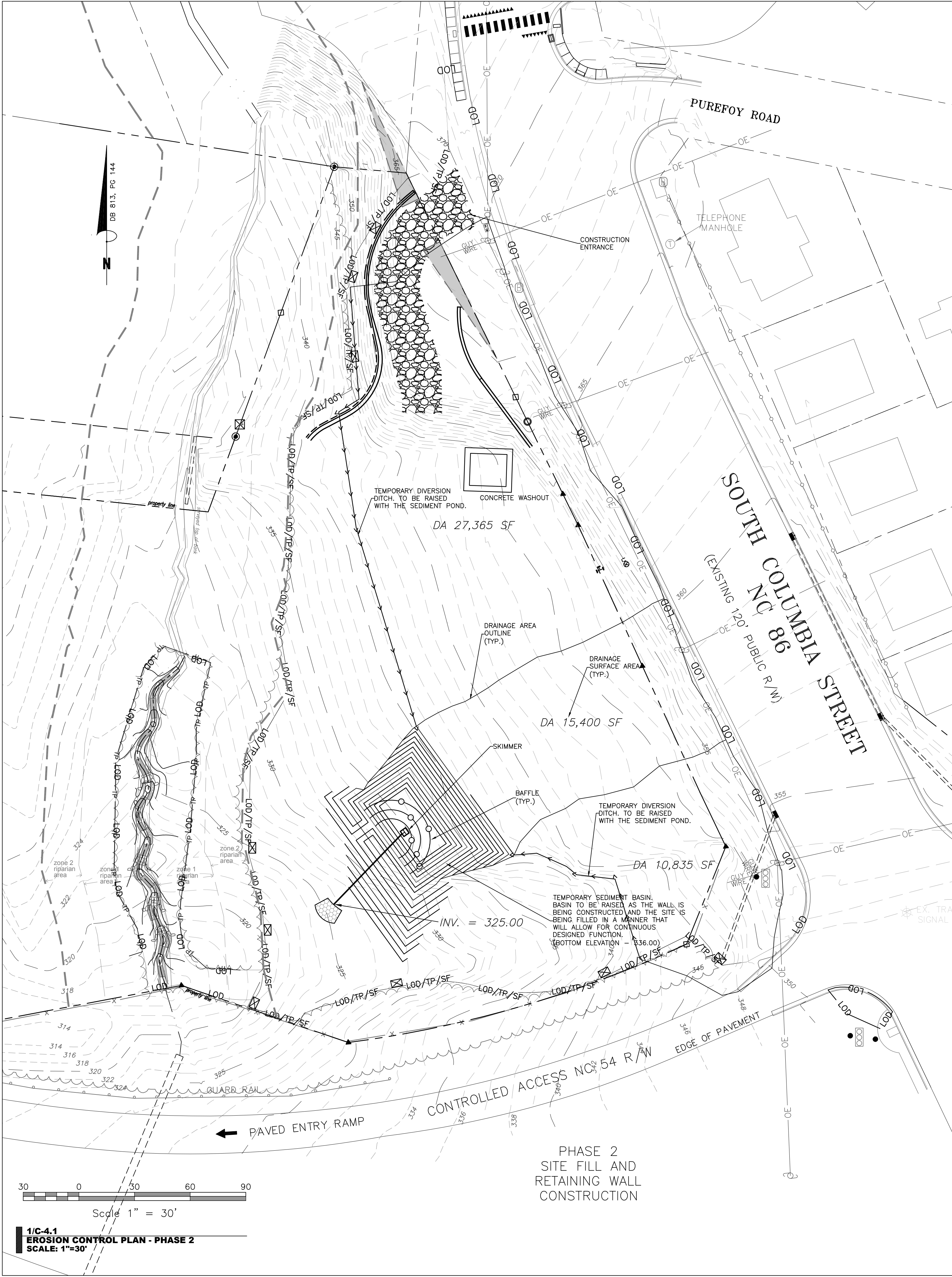
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DRAWINGS FOR ZONING
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SUBMITTAL

EROSION
CONTROL PLAN -
PHASE 2

C-4.1



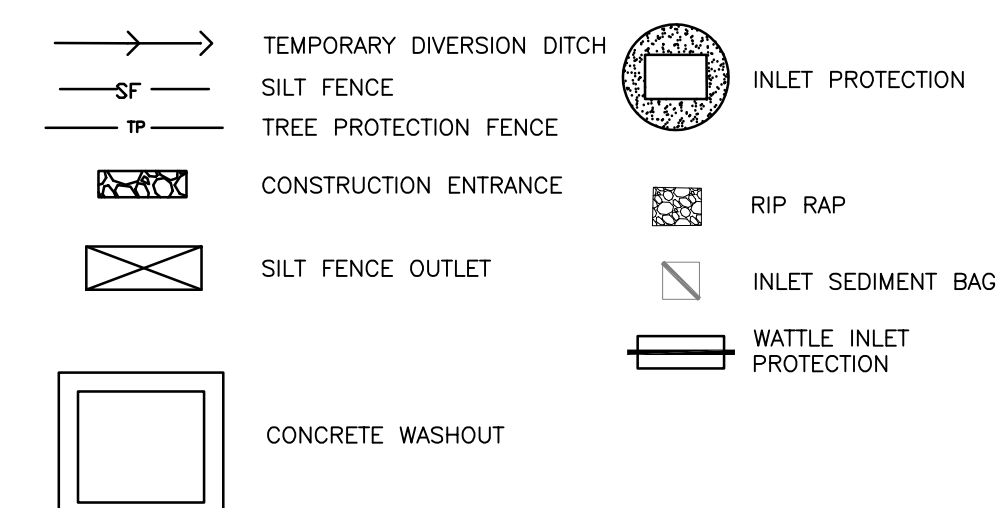
CONSTRUCTION SEQUENCE

Construction

1. Construct new storm drainage, install inlet protection around new inlets immediately after construction. Seal all junction boxes from stormwater intake from surface. Seal any inlets to stormwater structures not protected by inlet protection.
 2. Stabilize disturbed areas as soon as possible per the seeding schedule and timeframe shown on detail.
 3. During construction, some temporary measures will be removed to allow construction of permanent facilities
- ONLY WITH PRIOR APPROVAL OF THE ORANGE COUNTY EROSION CONTROL OFFICER
4. If it is determined during the course of construction that significant sediment is leaving the site despite proper implementation and maintenance of the approved erosion control plan, the person responsible for the land disturbing activity is obligated to take additional protective action.
 5. Inspect and maintain the erosion control devices so they continue to function properly. Refer to the instructions in the erosion control plan for specific instructions for each device. The person responsible for erosion control is also responsible for taking the initiative in inspecting and maintaining these devices. Do not wait for erosion control personnel to point out the need for repairs and maintenance. Keep mud and debris off the public street at all times. If mud or debris is tracked from the site, use a shovel and broom to remove it immediately. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!!
 6. In addition to the inspections by the Contractor and the Orange County Erosion Control Officer(s), the Owner, the Financially Responsible Party, or their Agent must conduct inspections in accordance with the NPDES General Permit and NCDEQ's Self-Inspection Program for Erosion and Sediment Control.
 7. Permanently stabilize all disturbed areas. Refer to seeding schedule for types of stabilization to be used.
 8. When construction is completed, and approval has been received from Orange County Erosion Control, remove all temporary erosion control devices after the drainage areas above have been sufficiently stabilized to restrain erosion. Remove and properly dispose of accumulated sediment and the debris from the devices, and stabilize the location.
 9. Arrange a final inspection with the erosion control inspector to confirm that all requirements of the approved erosion control plan have been completed.

**NOTE:
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LAND DISTURBING PERMIT FOR THIS
PROJECT
LDP22-0063**

erosion control legend



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PHASE 2

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Drawn By: WLR, MTC, CA Date: 5 November 2021

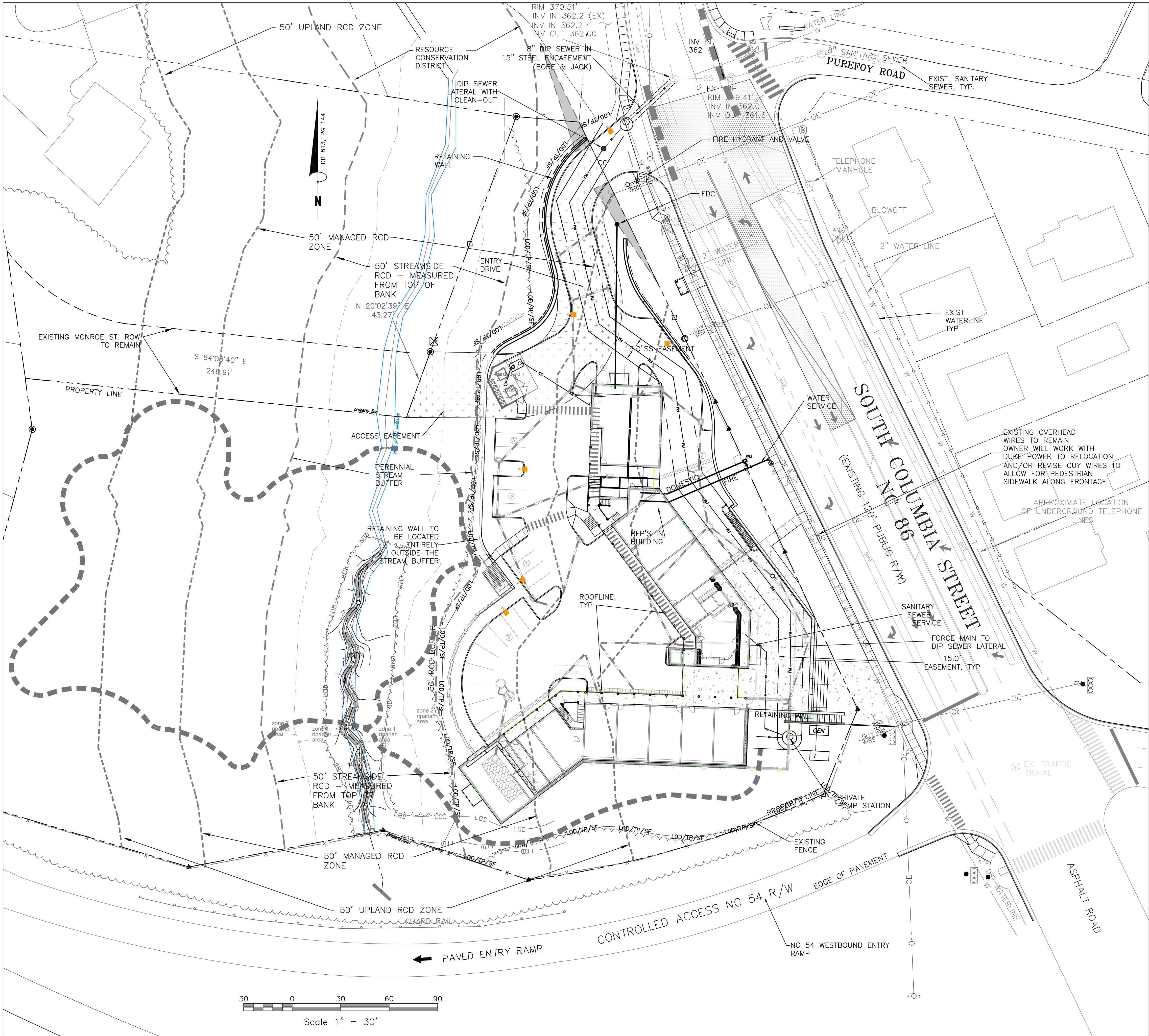
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DRAWINGS FOR ZONING
COMPLIANCE PERMIT
SUBMITTAL

EROSION CONTROL PLAN - PHASE 3

C-4.2

- FIRE PROTECTION NOTES:
1. All construction and demolition conducted shall be in compliance of the current edition of Chapel 14 of the NC FPC.
 2. When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40' in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. NC FPC 2012 Section 1413.



1/CZ-5.0
UTILITY PLAN
SCALE: 1"=30'

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COLUMBIA STREET ANNEX

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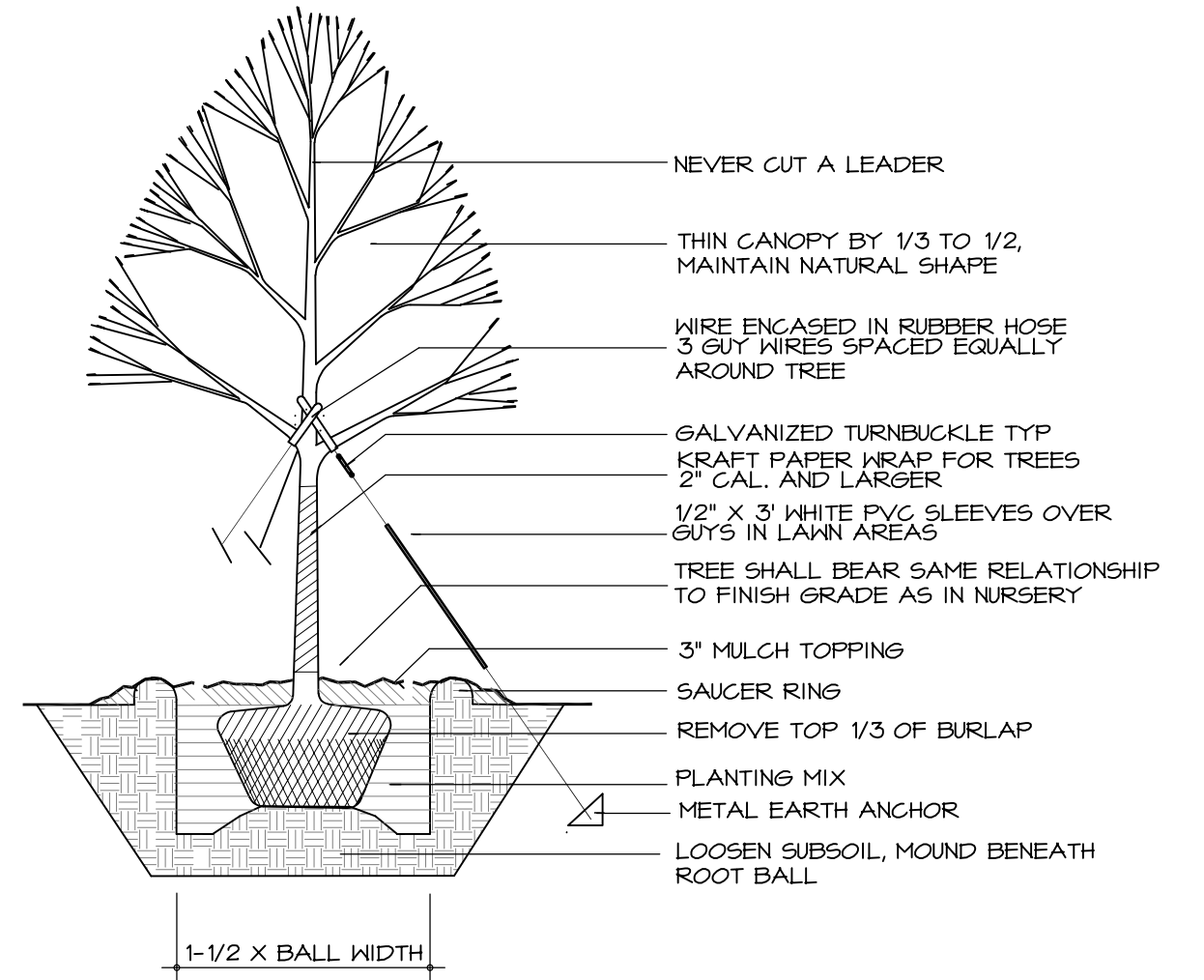
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SUBMITTAL

UTILITY PLAN

CZ-5.0



**2/CZ-7.0
TREE PLANTING DETAIL**

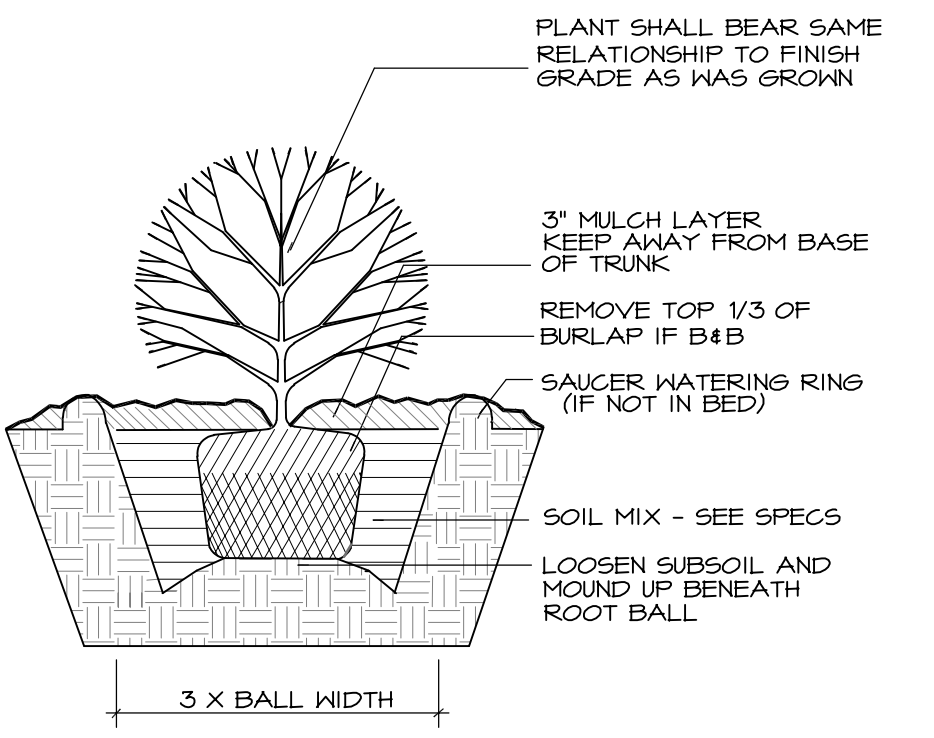
POST DEVELOPMENT LAND AREA (RECOMBINATION & R/W CLOSURE)	165,828.8 SF
LESS ACCESS EASEMENT	5,127 SF NET
LESS UTILITY EASEMENT	6,498 SF NET
LESS STORM EASEMENT	7,393 SF NET
NET SITE SIZE	146,810 SF

REQUIRED TREE CANOPY 40% X 146,811 = 58,724 SF
PROPOSED TREE CANOPY 66,331 SF
ALL TREESAVE WILL BE PROVIDED BY EXISTING TREE PRESERVATION

**4/CZ-7.0
TREESAVE CALCULATIONS**

- PARKING LOT PLANTINGS WILL INCLUDE A SELECTION FROM:
- CANOPY TREES:
- ACER RUBRUM 'October Glory' - October Glory Red Maple
 - BETULA NIGRA - River Birch
 - QUERCUS SHUMARDII - Shumard Oak
 - ZELKOVA SERATA - Village Green
 - INSTALLATION SIZE WILL BE MIN. 2 1/2\" CALIBER
- UNDERSTORY TREES:
- CERCIS RENIFORMIS 'Oklaoma' - Texas White Redbud
 - LAGERSTROEMIA INDICA - Grape Myrtle
 - MAGNOLIA VIRGINIANA - Sweetbay Magnolia
 - INSTALLATION SIZE 6\" HT
- SHRUBS/GROUND COVER:
- CALLICARPA AMERICANA - American Beautyberry
 - ILEX - Small Hollies
 - JUNIPERUS SARGENTII - Low growing Juniper
 - MULLENBERGIA CAPILLARIS - Pink Muhly Grass
 - PANICUM VIRGATUM 'Shenandoah' - Shenandoah Switchgrass
 - INSTALLATION SIZE WILL VARY
 - 18\"-30\" ht for large shrubs, 12\"-15\" ht for small/spreading shrubs
- LANDSCAPE / STREET BUFFER PLANTINGS WILL INCLUDE A SELECTION FROM:
- Majority of buffer plantings shall be native species
- CANOPY TREES - 2.5\" caliper installation size
- ACER COLUMNARE - Columnar Maple
 - ACER RUBRUM 'AUTUMN BLAZE' - Autumn Blaze Red Maple
 - ACER SACCHARUM 'Legacy' - Legacy Sugar Maple
 - BETULA NIGRA - River Birch
 - LIQUIDAMBER STYRACIFLUA 'Rotundiloba' - Fruitless Sweet Gum
 - NYSSA SYLVATICA - Blackgum
 - QUERCUS NUTALLI - Nuttall Oak
- UNDERSTORY TREES - 6\" minimum height installation size
- AMELANCHIER SPP AUTUMN BRILLIANCE - Autumn Brilliance Serviceberry
 - CARPINUS CAROLINIANA - Hornbeam
 - CORNUS FLORIDA 'White Cloud' - White Flowering Dogwood
 - CORNUS KOUSA - Kousa Dogwood
 - HALESIA CAROLINIANA - Carolina Silverbell
 - HAMAMELIS VIRGINIANA - Witch Hazel
 - ILEX OPACE - American Holly
 - LAGERSTROEMIA FAUREI - Grape Myrtle
 - MAGNOLIA VIRGINIANA - Sweetbay Magnolia
 - MYRTICA GERIFERA - Southern Wax Myrtle
- SHRUBS/GROUND COVER:
- ABELIA X GRANDIFLORA - Glossy Abelia
 - AZALEA - Azalea, variety - street and plaza area
 - CAMELLIA JAPONICA - Japanese Camellia
 - CALLICARPA AMERICANA - American Beautyberry
 - CHASMANTHIUM LATIFOLIUM - River Oats
 - GARDENIA JASMINOIDES 'Kleim's Hardy' - Kleim's Hardy Gardenia
 - ILEX CRENATA 'CARISSA' - Carissa Holly
 - ILEX GLABRA - Inkberry
 - ILEX VERTICILLATA - Deciduous Holly
 - ILLICIAM PARVIFLORUM - Anise
 - MULLENBERGIA CAPILLARIS - Pink Muhly Grass
 - MYRTICA GERIFERA - Southern Wax Myrtle
 - PRUNUS LAUROCERASUS - Cherry Laurel
- PLANTINGS FOR RIPARIAN BUFFER RESTORATION WILL INCLUDE A SELECTION FROM:
- approx 35 LF of stream
- UNDERSTORY PLANTINGS (sapling size):
- CARPINUS CAROLINIANA - Ironwood
 - HAMAMELIS VIRGINIANA - Witch Hazel
 - ITEA VIRGINICA - Virginia Willow
 - MYRTICA GERIFERA - Southern Wax Myrtle
- GROUND COVER (quart size):
- CAREX PLANTAGINEA - Plantainleaf Sedge
 - CHASMANTHIUM LATIFOLIUM - River Oats
 - DRYOPTERIS MARGINALIS - Eastern Noodtern

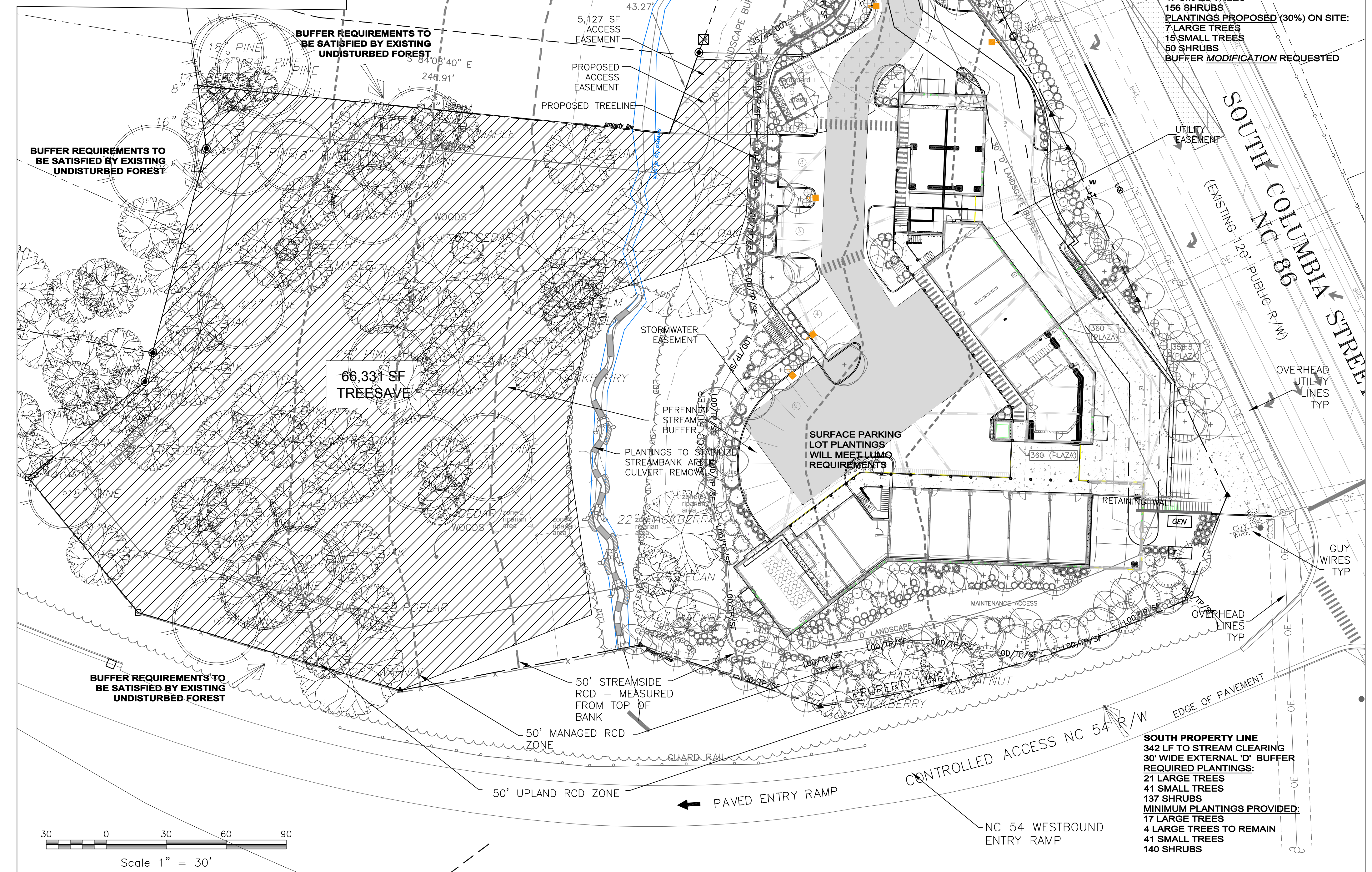
**6/CZ-7.0
PLANT SELECTION**



**3/CZ-7.0
SHRUB PLANTING DETAIL**

- PRIOR TO PLANT INSTALLATION IN LANDSCAPE BUFFER, CONTRACTOR SHALL ENSURE REMOVAL OF ALL INVASIVE PLANT MATERIAL AS LISTED IN THE SOUTHEAST EXOTIC PEST PLANT COUNCIL LIST OF INVASIVE PLANT MATERIAL.
- A MINIMUM OF 10' MUST SEPARATE LIGHT POLES FROM CANOPY TREES.

**5/CZ-7.0
PLANTING NOTES**



**1/CZ-7.0
LANDSCAPE PLAN
SCALE: 1\"=30'**

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COLUMBIA STREET ANNEX

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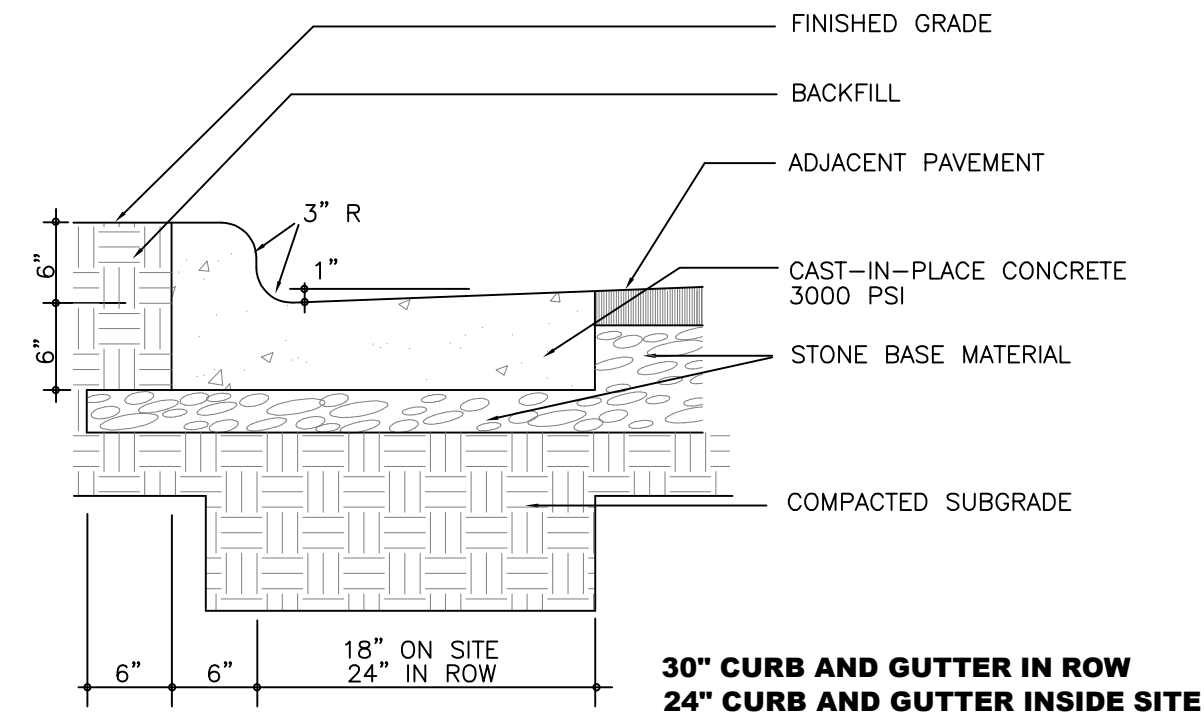
Drawn By: WLR, MTC Date: 15 February 2023

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DRAWINGS FOR CONDITIONAL
ZONING MODIFICATION
SUBMITTAL

LANDSCAPE AND TREESAVE PLAN

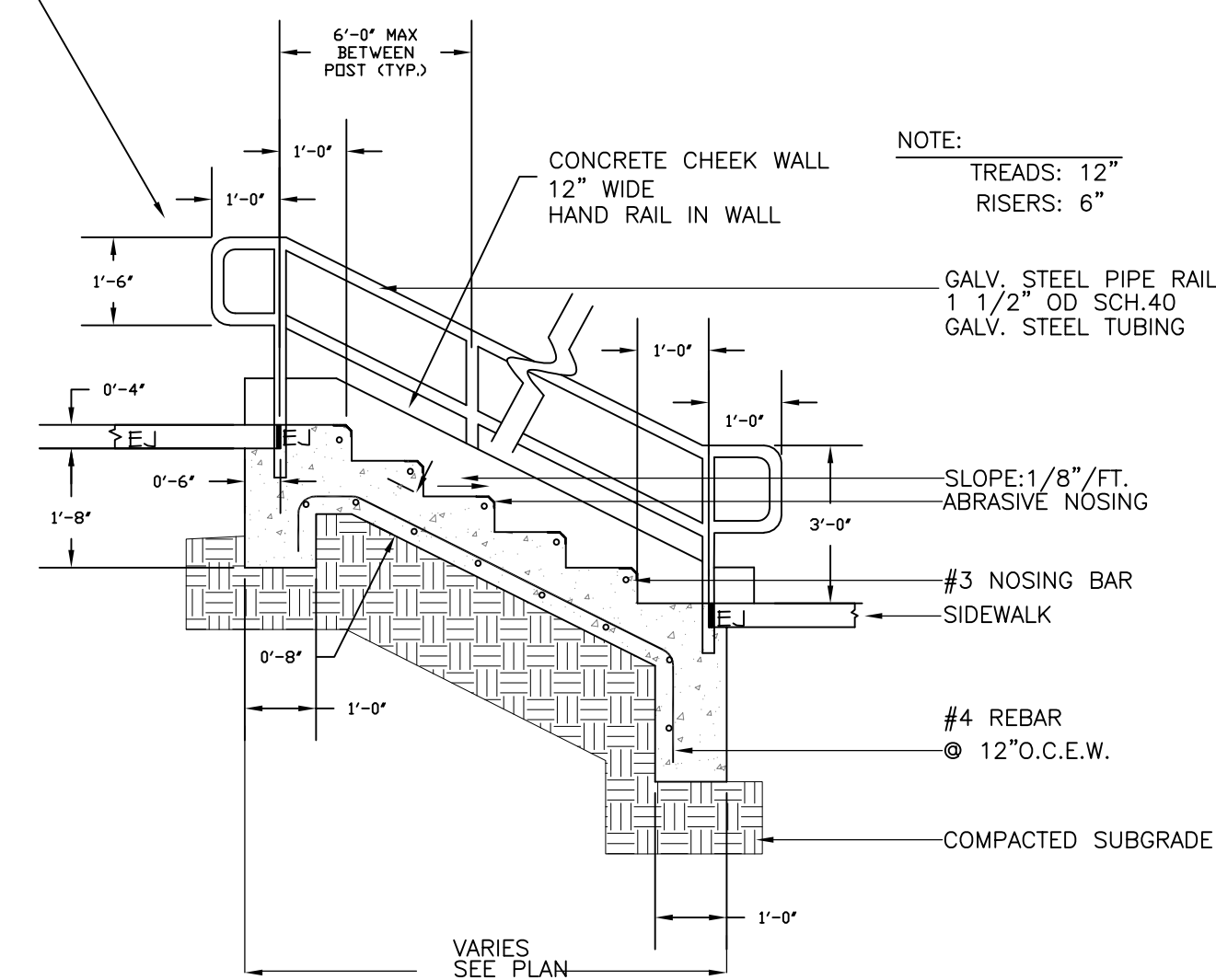
CZ-7.0

CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING. CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED. ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER. JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK. EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.

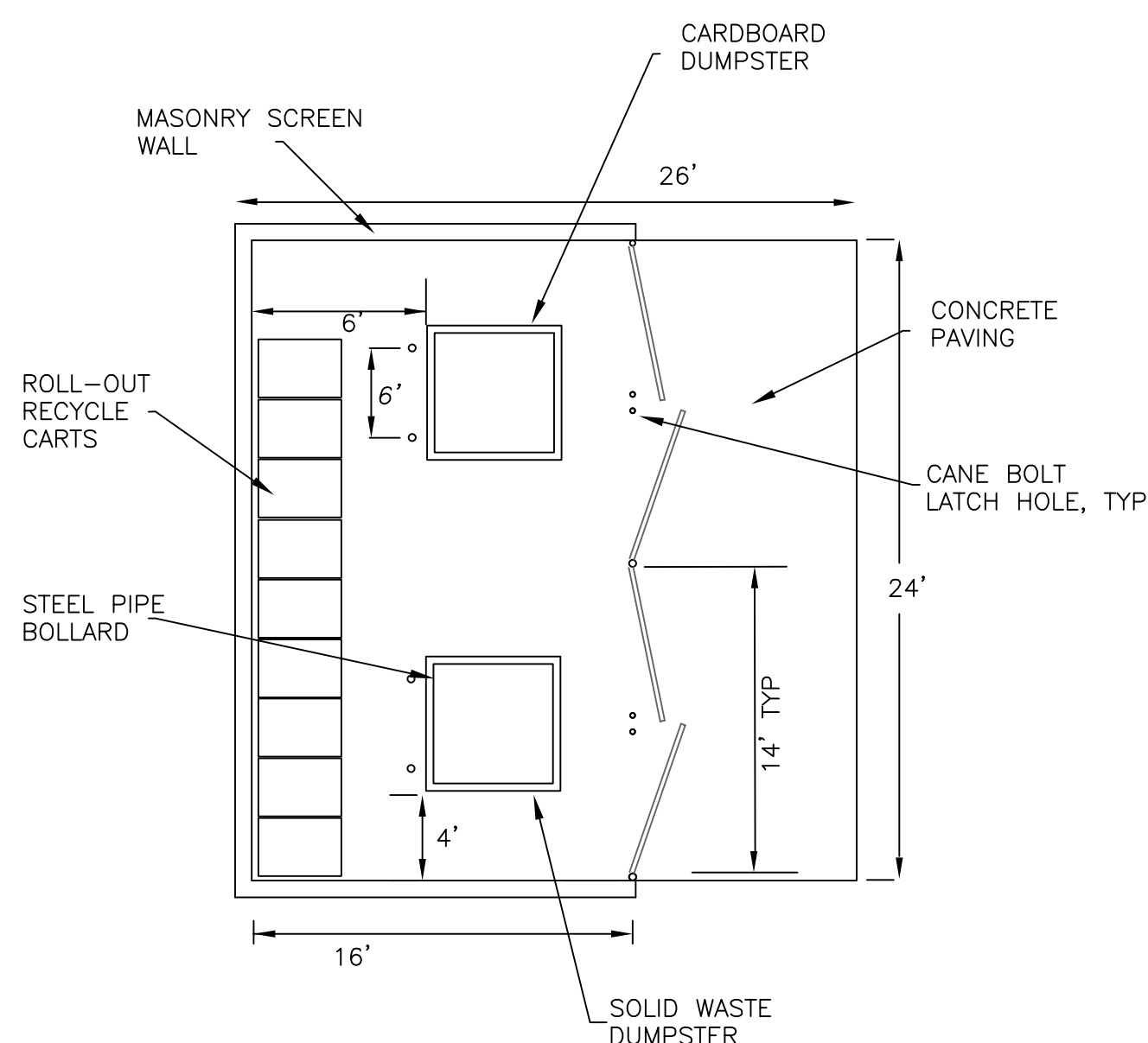


1/CZ-8.0
24" CONCRETE CURB & GUTTER
NTS

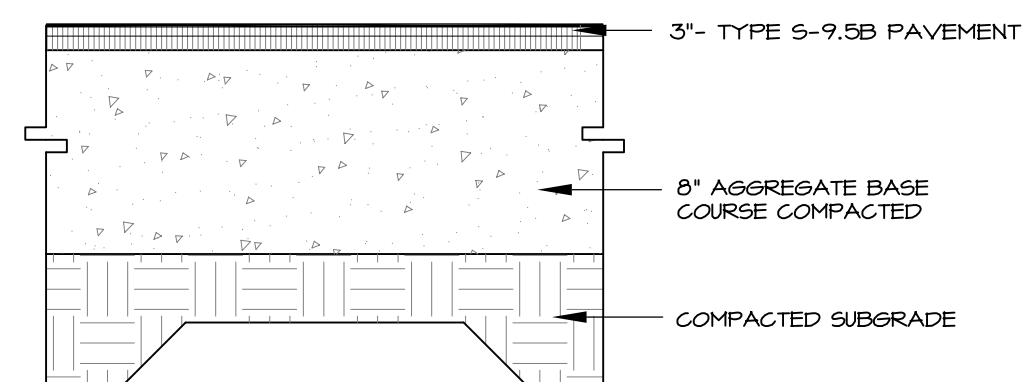
WHERE RAILING ENDS AT TOP OF STAIRS, EXTEND 1' PAST THE TOP TREAD AND ROUND CORNERS



5/CZ-8.0
TYPICAL EXTERIOR STAIR AND RAILING
NTS



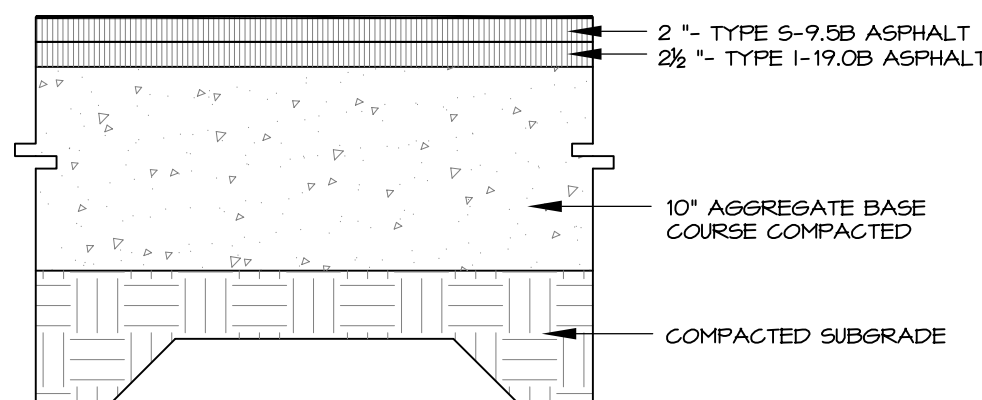
7/CZ-8.0
DUMPSTER ENCLOSURE
NTS



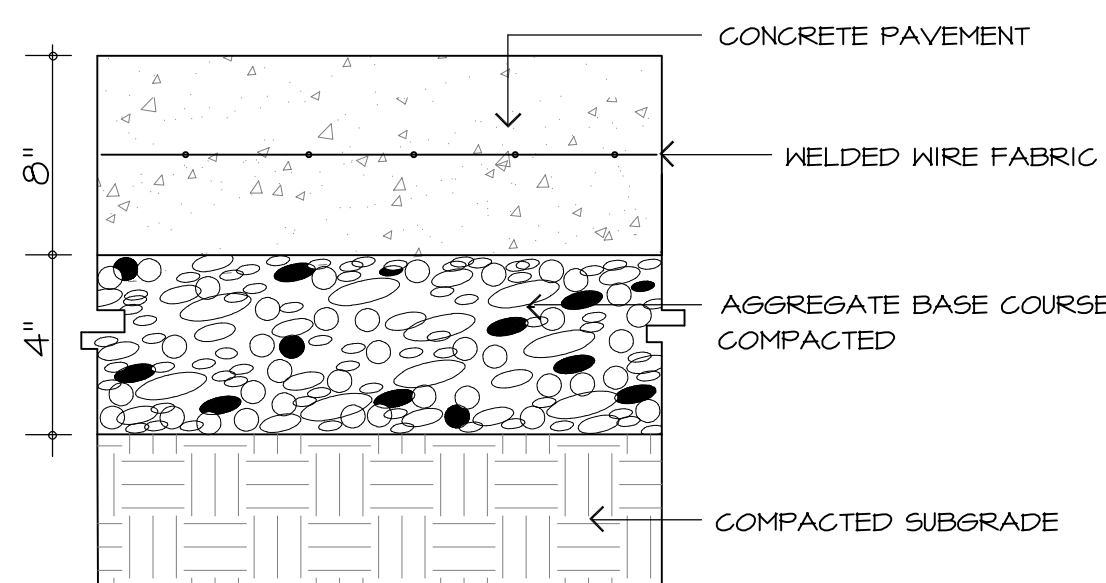
STANDARD PARKING AREAS:

FINAL PAVEMENT SECTION WILL BE PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

2/CZ-8.0
STANDARD ASPHALT PAVING - PARKING BAYS
NTS



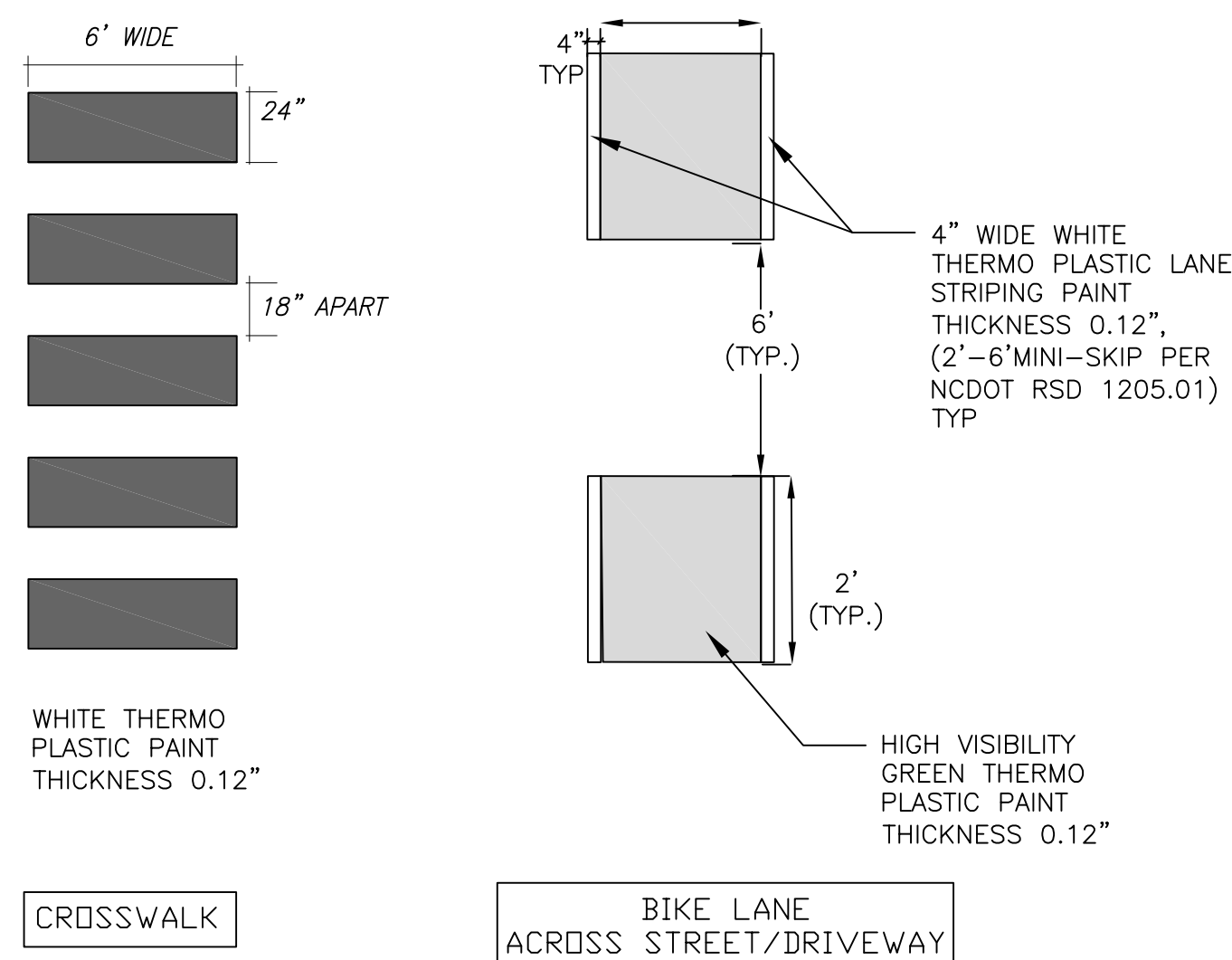
3/CZ-8.0
HEAVY DUTY ASPHALT PAVING - DRIVE AISLES
NTS



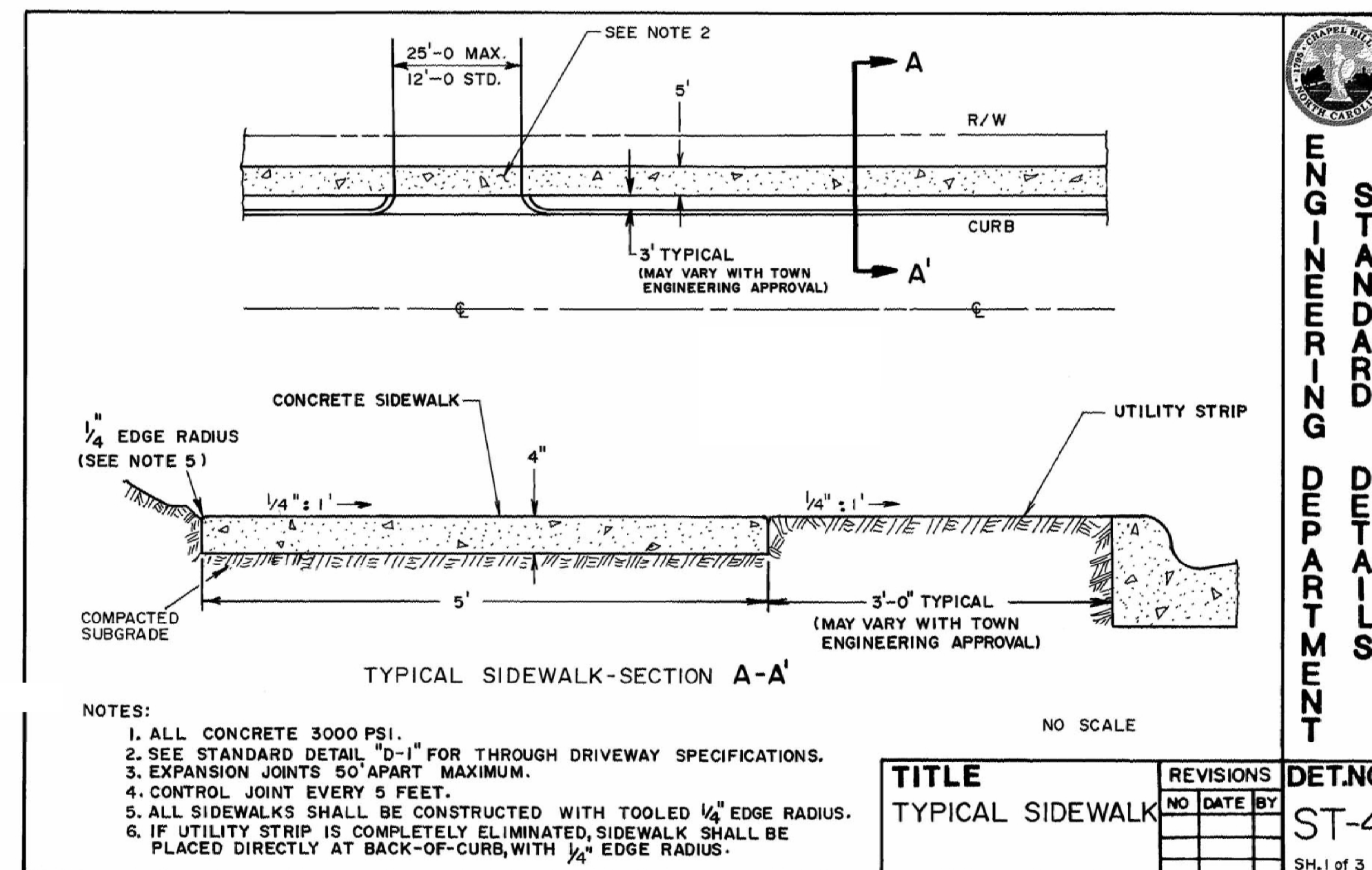
NOTES:

- ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
- CABC BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MDD AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.

6/CZ-8.0
DUMPSTER PAD CONCRETE PAVING
NTS



8/CZ-8.0
STRIPING
NTS

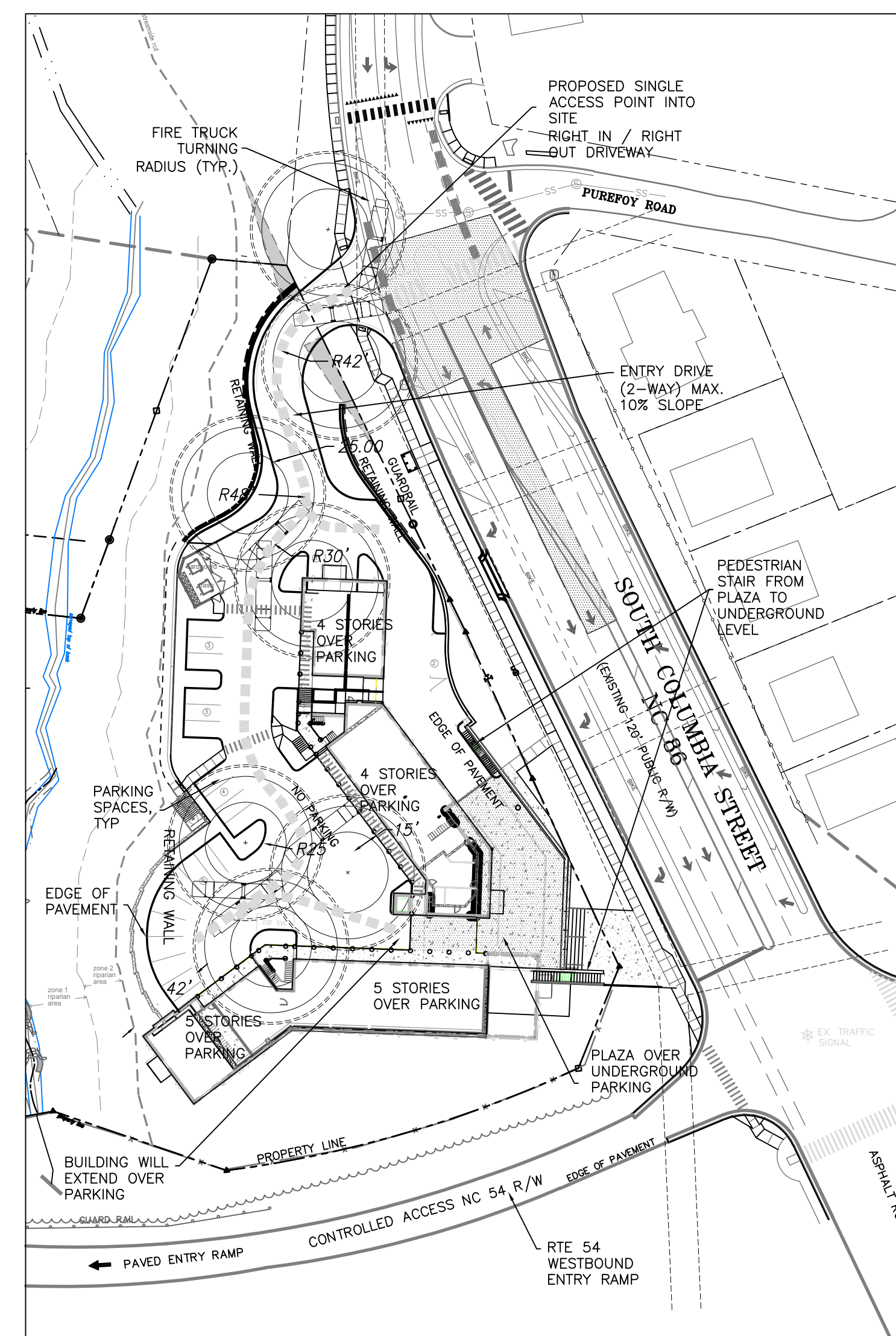


NOTES:

- ALL CONCRETE 3000 PSI.
- SEE STANDARD DETAIL "D-1" FOR THROUGH DRIVEWAY SPECIFICATIONS.
- EXPANSION JOINTS 50' APART MAXIMUM.
- CONTROL JOINT EVERY 5 FEET.
- ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
- IF UTILITY STRIP IS COMPLETELY ELIMINATED, SIDEWALK SHALL BE PLACED DIRECTLY AT BACK-OF-CURB, WITH 1/4" EDGE RADIUS.

TITLE	REVISIONS	DET.NO.
TYPICAL SIDEWALK	NO DATE BY	ST-4
		SH.1 of 3

4/CZ-8.0
CONCRETE SIDEWALK
NTS



10/CZ-8.0
FIRE LANE ACCESS / SOLID WASTE PICKUP ACCESS
SCALE: 1"=60'

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COLUMBIA STREET ANNEX

1100 South Columbia Street
Chapel Hill, North Carolina

OWNER:
CH HOTEL ASSOCIATES LLC.
3008 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609



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Date	For

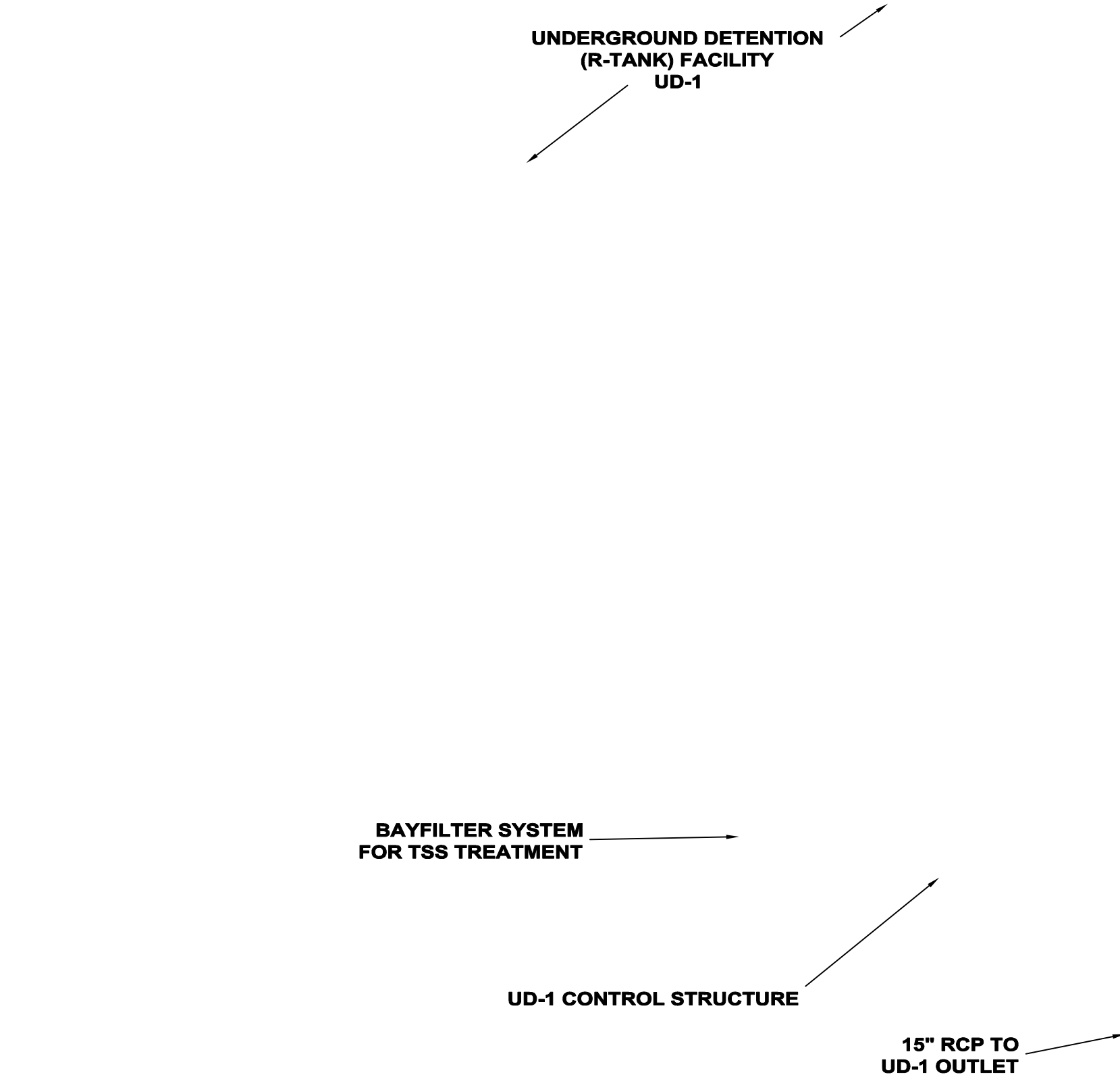
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SITE DETAILS

CZ-8.0



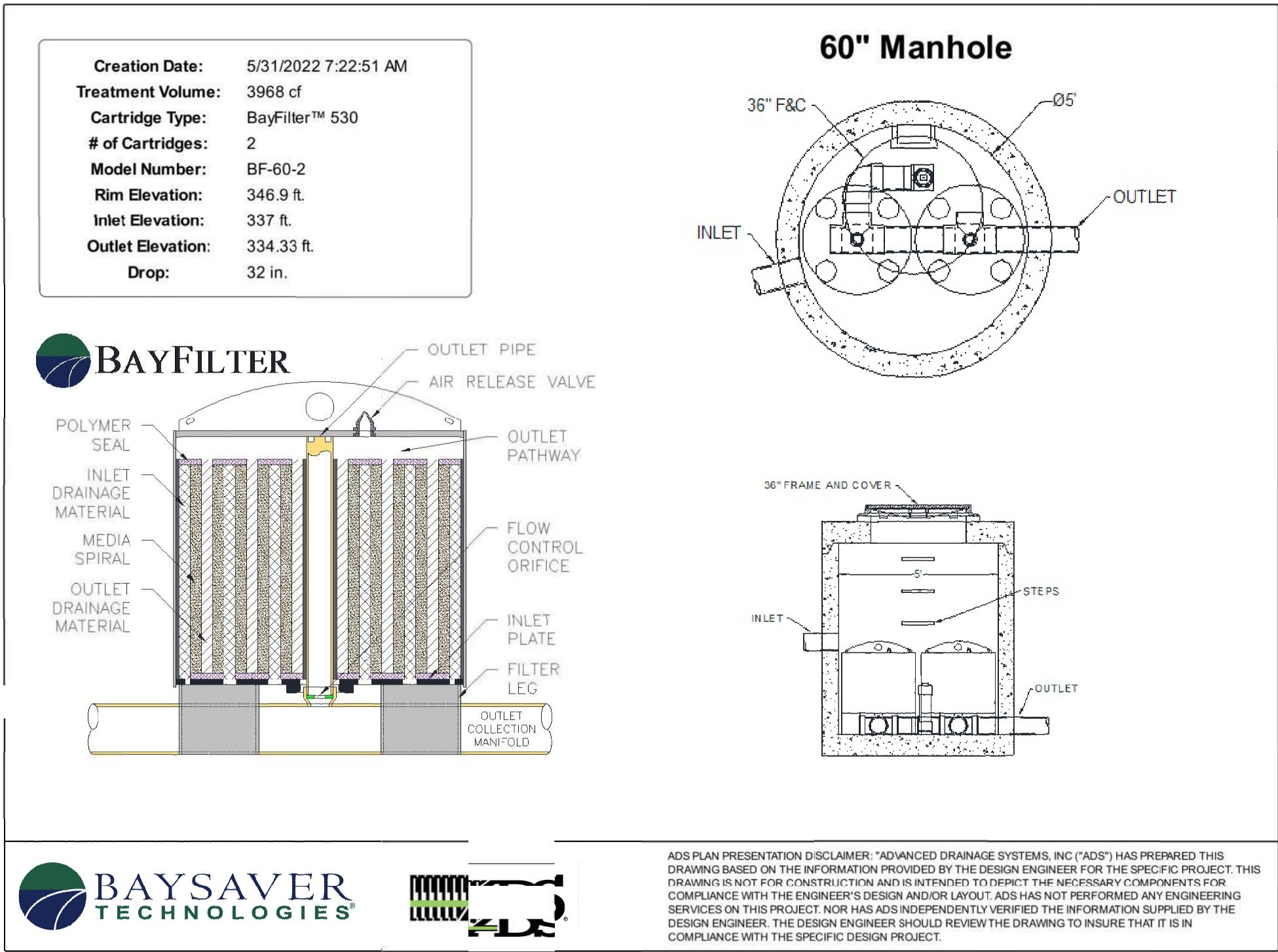
1/C-8.3
PLAN VIEW
NTS

- NOTES:
1. PRE-CAST CONCRETE STRUCTURES ARE ACCEPTABLE FOR THESE SYSTEMS.
 2. ALL PRECAST CONCRETE STRUCTURES, GRATES, COVERS, AND CONNECTIONS ARE TO BE RATED FOR H-20 LOADING (MINIMUM) UNLESS OTHERWISE NOTED.
 3. ACCESS STEPS SHALL BE PROVIDED AT ALL ACCESS PORTS.
 4. ALL JOINTS ARE TO BE WATERTIGHT AND GROUTED.
 5. ALL PIPES ARE TO BE STRUCK EVEN WITH THE INSIDE WALLS OF STRUCTURES. ALL PIPE CONNECTIONS TO PRECAST BOXES ARE TO BE SEALED IN PLACE TO PROVIDE A WATERTIGHT SEAL.
 6. A 6-INCH THICK, COMPACTED, #57 STONE BASE IS TO BE PROVIDED UNDER EACH STORMWATER FACILITY.
 7. ALL BACKFILL MUST BE COMPACTED TO 98% (MIN.)

2/C-8.3
NOTES

- BMP NOTES:
1. PRIOR TO CONSTRUCTION OF EACH STORMWATER TREATMENT FACILITY THE GENERAL CONTRACTOR SHALL SCHEDULE AND ATTEND A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN OF CHAPEL HILL STORMWATER, A REPRESENTATIVE OF THE OWNER, THE CERTIFYING GEOTECHNICAL ENGINEER, AND ANY SUBCONTRACTOR USED IN THE CONSTRUCTION OF THAT FACILITY.
 2. ALL UNDERGROUND STORMWATER TREATMENT FACILITIES ARE TO HAVE WATERTIGHT JOINTS AND BE RATED FOR H-20 LOADING (MIN.). CONTRACTOR TO PROVIDE SHOP DRAWINGS/SPECIFICATIONS VERIFYING THESE REQUIREMENTS. CONTRACTOR MUST PROVIDE DOCUMENTATION FROM THE MANUFACTURER THAT THE JOINTS ARE WATERTIGHT AND BUILT TO WITHSTAND THE MAXIMUM HYDROSTATIC PRESSURE CALCULATED AT THE INLET TO THE UNDERGROUND STRUCTURE DURING THE 10-YR STORM ACCORDING TO AN ACCEPTABLE ASTM OR AASHTO WATER TIGHTNESS STANDARD. POST-CONSTRUCTION LEAK TEST IS REQUIRED. 1% VOLUME LOSS OR LESS OVER 48 HOURS IS REQUIRED.
 3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL PRECAST CONCRETE STRUCTURES, INCLUDING SEALED ENGINEERING DRAWINGS, FOR APPROVAL BY OWNER.
 4. ALL BACKFILL AND UNDERLYING SOILS FOR STORMWATER FACILITIES MUST BE OBSERVED AND CERTIFIED BY A GEOTECHNICAL ENGINEER THAT IS A REGISTERED NCPE.
 5. UNDERGROUND DETENTION AND TSS TREATMENT FACILITIES SHALL BE CLEANED AND PHOTOGRAPHED AFTER CONSTRUCTION AS PART OF THE CERTIFICATION PROCESS. PHOTOS SHALL REPRESENT CONDITIO OF ALL UNDERGROUND COMPONENTS.

3/C-8.3
NOTES

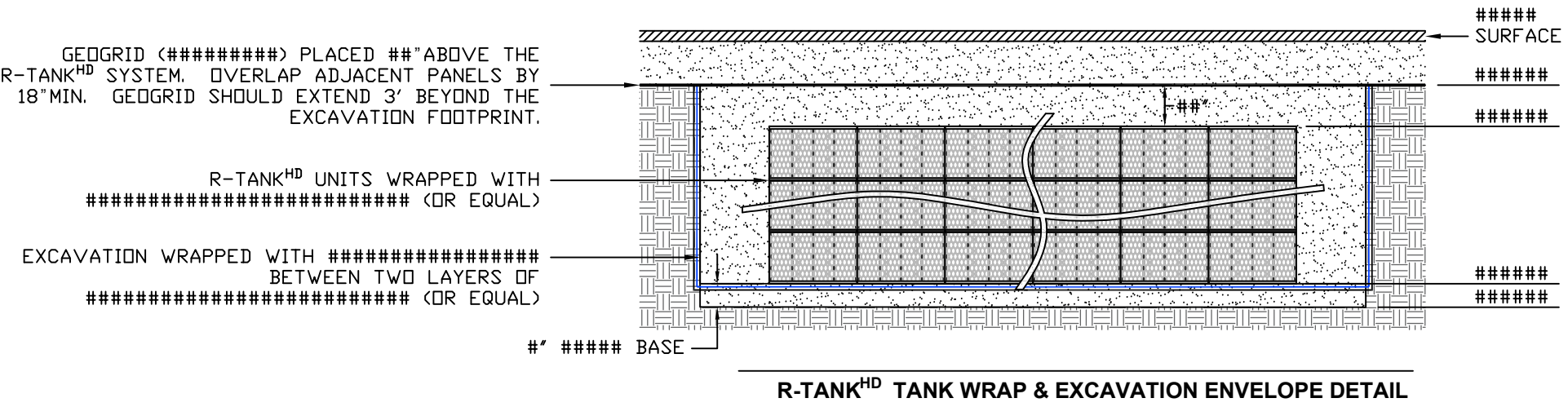


4/C-8.3
BAYFILTER DETAILS

LAYOUT SCALE	1" = 10'
R-TANK ^{HD} MODULE TYPE	PENTA
TRAFFIC LOAD	HS-20
# OF PENTA R-TANKS	732
# OF PENTA R-TANK ACCESS MODULES	60
TOTAL SYSTEM STORAGE	18,800 CF
R-TANK STORAGE VOLUME	16,123 CF
STONE STORAGE VOLUME (40% VOID RATIO)	2,677 CF
ACF BX-12 GEODRID ELEV.	345.2100
TOP OF COVER STONE ELEV. (12")	345.2100
TOP OF R-TANK ELEV.	344.2100
TANK INVERT	337.2500
INVERT OF STONE BASE (3")	337.0000
MIN. STONE PERIMETER WIDTH	2 Ft
SEE SHEETS 3 - 8 FOR DETAILS AND ADDITIONAL INFORMATION	

R-TANK ^{HD} QUANTITIES	
R-TANK ^{HD} MODULE TYPE	PENTA
# OF PENTA R-TANKS	732
# OF PENTA R-TANK ACCESS MODULES	60
TOTAL SYSTEM STORAGE	18,800 CF
R-TANK STORAGE VOLUME	16,123 CF
STONE STORAGE VOLUME (40% VOID RATIO)	2,677 CF
STONE BED FOOTPRINT	2,973 SF
STONE QUANTITY	323 CY
8 OZ NON-WOVEN GEOTEXTILE TANK WRAP	7,474 SF (830 SY)
30 MIL PVC LINER	5,253 SF
8 OZ NON-WOVEN GEOTEXTILE EXCAVATION WRAP	10,506 SF (1,167 SY)
8 OZ NON-WOVEN GEOTEXTILE TREAT. ROW WRAP	2,264 SF (252 SY)
300 WOVEN GEOTEXTILE TREAT. ROW BASE FABRIC	1,199 SF (133 SY)
ACF BX-12 GEODRID	4,320 SF (480 SY)
12" MAINTENANCE PORTS	3
12" INSPECTION PORTS	25
12" PIPE BOOTS	10
15" PIPE BOOTS	1
NOTE: STONE QUANTITY INCLUDES 12" OF COVER AND 3" OF BASE.	
NOTE: GEOTEXTILE / LINER QUANTITIES INCLUDE A 15% WASTE FACTOR.	

5/C-8.3
R-TANK DETAILS



6/C-8.3
R-TANK DETAILS

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Chapel Hill, North Carolina - 2012

2.15.2023

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STORMWATER DETAILS

CZ-8.1



1/CZ-8.2
ON SITE STREAM AREA
SCALE: 1"=30'

STREAM AREA PROPOSED WORK:

NOTE: ALL WORK IN STREAM WILL BE PERMITTED SEPARATELY THROUGH STATE AND FEDERAL AGENCIES.

1. REMOVE TRASH FROM THE STREAM AND STREAMSIDE RCD AREA
2. REMOVE INVASIVE PLANT MATERIAL FROM THE STREAMSIDE RCD AREA
3. REMOVE CULVERT AND REGRADE APPROX 200 LF TO STABILIZE CHANNEL
4. PLANT SEDGE PLUGS AND OTHER NATIVE PLANTS INTO THE DISTURBED AREA TO STABILIZE.
5. CREATE A MULCH SURFACE NATURE TRAIL LINING WITH STABILIZATION WEIRS FOR TWO STREAM CROSSINGS.
6. DEVELOPER WILL WORK WITH A BIOLOGIST SPECIALIZING IN STREAM STABILIZATION AND RESTORATION TO REPAIR STREAM AREAS.

2/CZ-8.2
SUMMARY OF WORK TO BE DONE IN STREAM AREA

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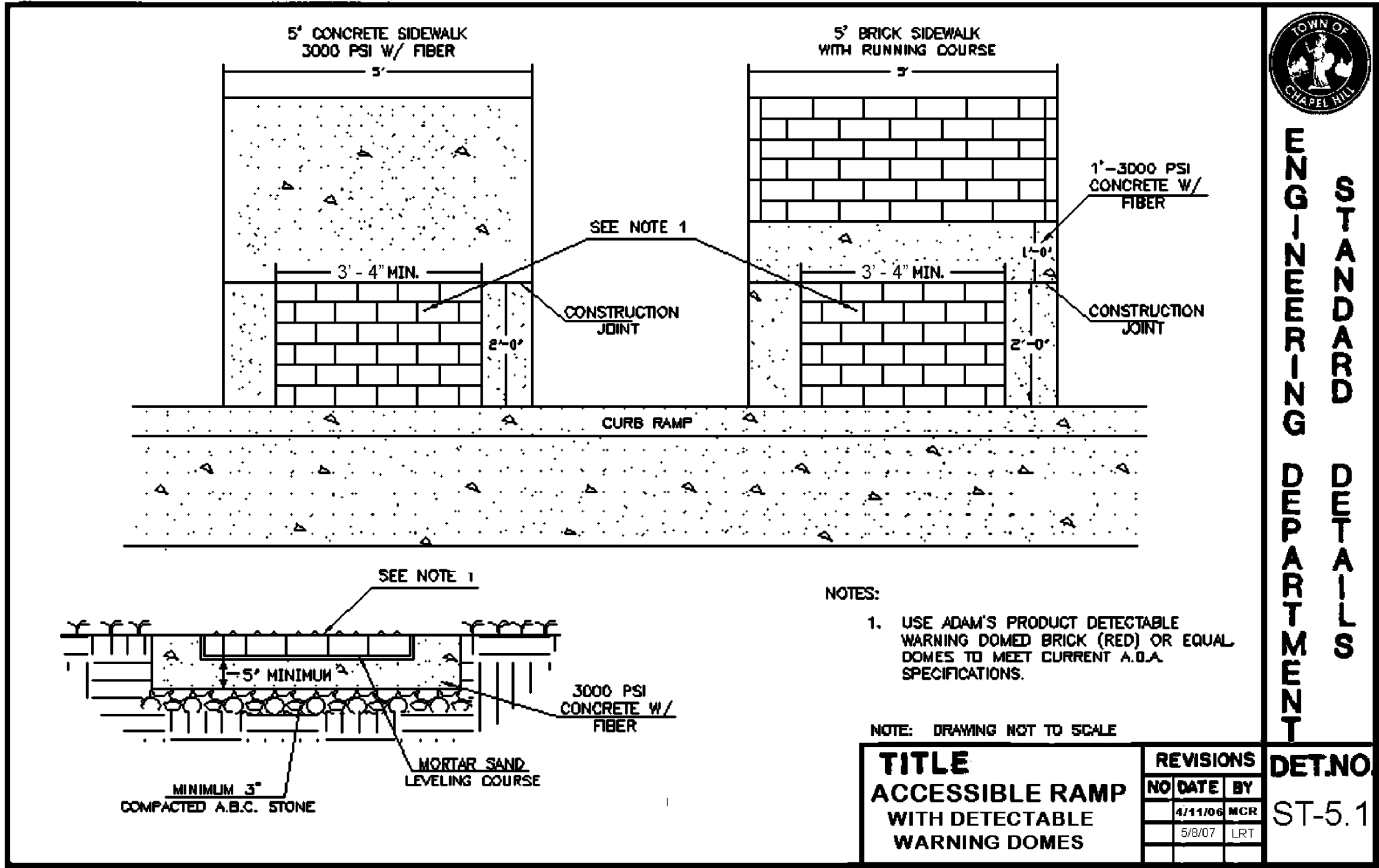
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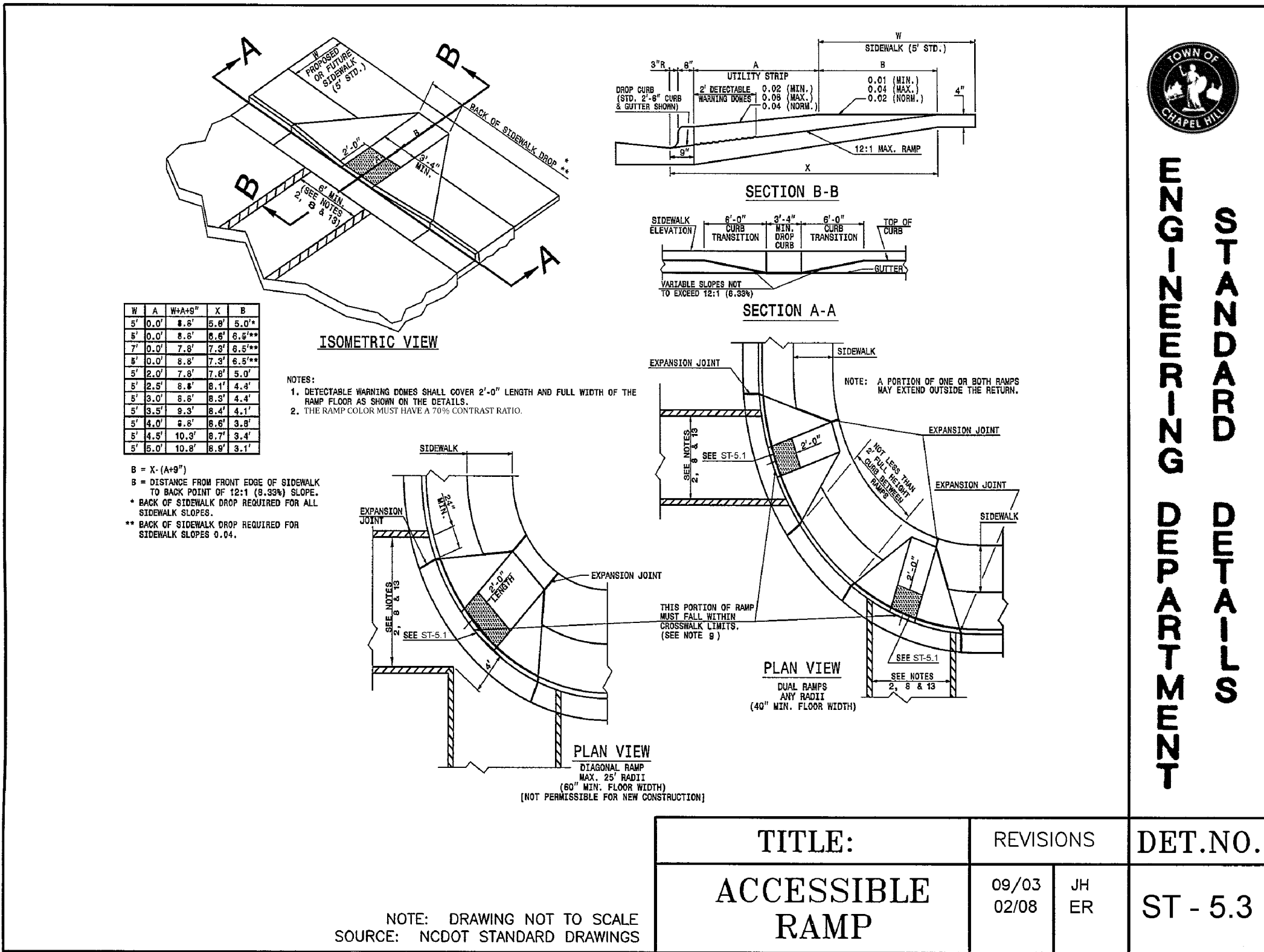
STREAM RESTORATION DETAILS

CZ-8.2

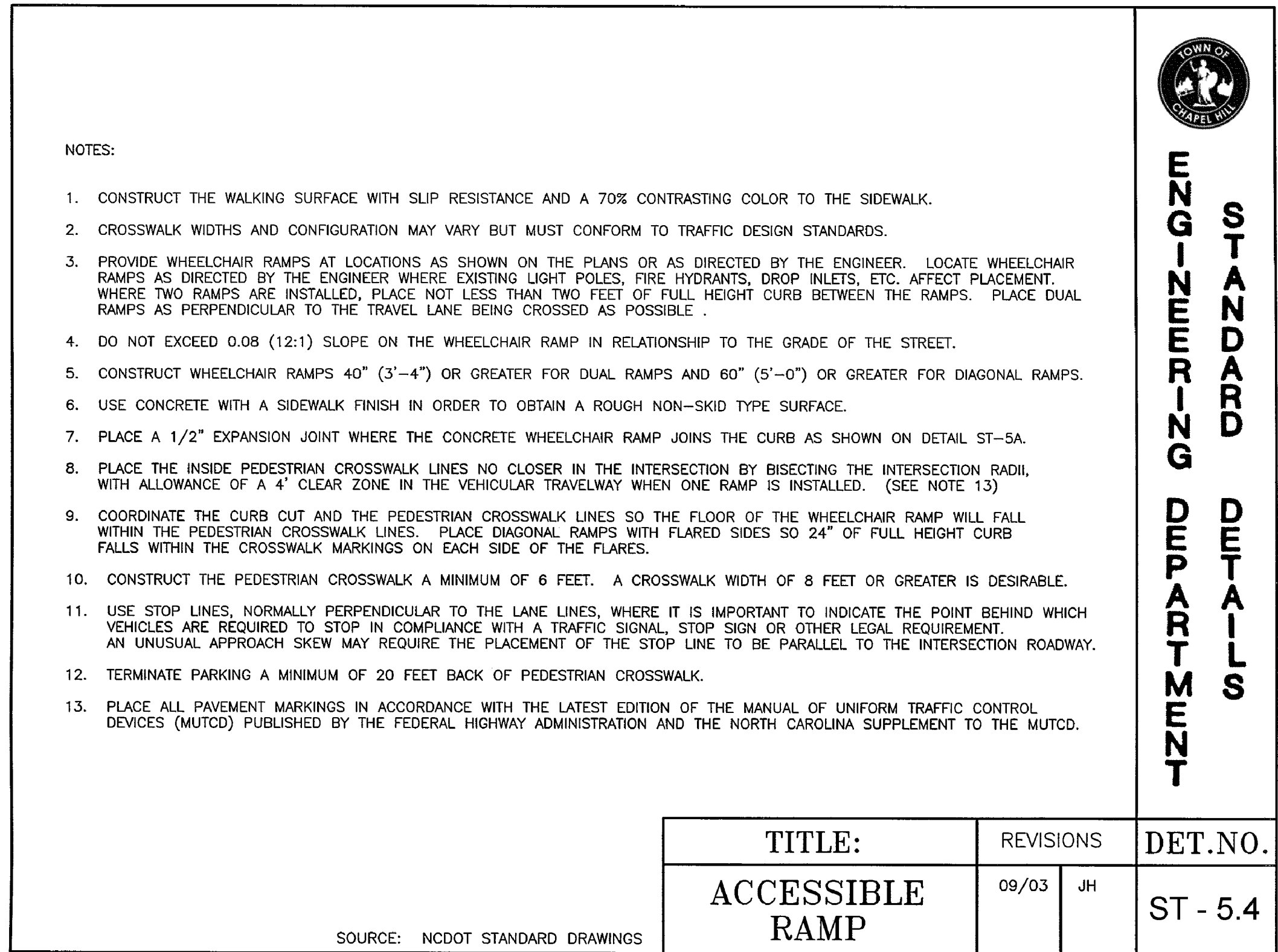


1/CZ-8.3
ACCESSIBLE RAMP
NTS

2/CZ-8.3
ACCESSIBLE RAMP
NTS



3/CZ-8.3
ACCESSIBLE RAMP
NTS



4/CZ-8.3
ACCESSIBLE RAMP NOTES
NTS

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SITE DETAILS

CZ-8.3