TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr. Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 10., **File #:** [22-0349], **Version:** 1 **Meeting Date:** 4/27/2022

Consider an Application for Conditional Zoning for 110 Jay Street from Residential-3 (R-3) to Residential-Special Standards-Conditional Zoning District (R-SS-CZD).

Staff:
Colleen Willger, Director
Judy Johnson, Assistant Director
Becky McDonnell, Senior Planner

Department:
Planning

See Summary Report on next page

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Becky McDonnell, Senior Planner

a. Without objection, the revised report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
b. Introduction and revised recommendation
c. Presentation by the applicant
d. Comments from the public
e. Comments and questions from the Mayor and Town Council
f. Motion to close the Legislative Hearing
g. Motion to adopt the Resolution of Consistency and Reasonableness with the Comprehensive Plan.
h. Motion of enact an Ordinance to rezone the property.

RECOMMENDATION: That the Council adopt Resolution A and enact Ordinance A, approving the Conditional Zoning Application.

CONSIDER AN APPLICATION FOR CONDITIONAL ZONING FOR 110 JAY STREET

SUMMARY REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT
Colleen Willger, Director
Judy Johnson, Assistant Director
Becky McDonnell, Senior Planner

PROPERTY ADDRESS	MEETING DATE	APPLICANT
110 Jay Street	April 27, 2022	Taft Mills Group, LLC on behalf of the Town of Chapel Hill

TOWN MANAGER'S RECOMMENDATION

That the Council consider closing the legislative hearing, receive the Town Manager's recommendation, consider adopting Resolution A, the Resolution of Consistency and Reasonableness, and enacting Revised Ordinance A, approving the Conditional Zoning application. Please see the attached revisions and technical report describing updates from the applicant.

UPDATES SINCE THE MARCH 23, 2022 LEGISLATIVE HEARING

- The condition in Ordinance A regarding a conservation easement was removed
- The request for a modification to regulations regarding the number of parking spaces was removed
- Additional questions from the Town Council were answered

PROCESS

Conditional Zoning is a legislative process that allows Town Council to review the rezoning application for consistency with the Land Use Plan in the Comprehensive Plan and establish standards that address any impacts on surrounding properties.

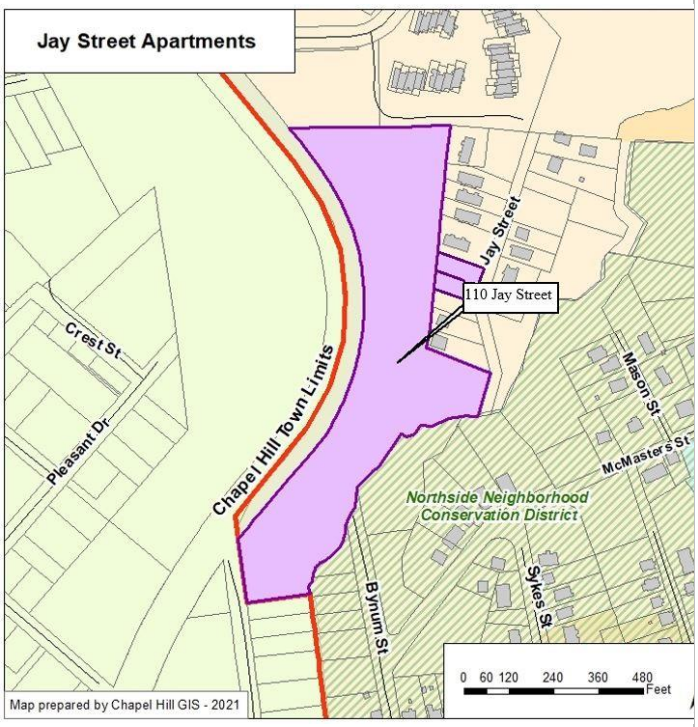
This project went through a pilot process for expedited review for affordable housing projects. The process involved an expedited staff review, followed by a Joint Advisory Board meeting and individual board meetings to streamline the process.

ZONING

Existing: Residential–3 (R-3)

Proposed: Residential-Special Standards-Conditional Zoning District (R-SS-CZD)

PROJECT LOCATION



PROJECT OVERVIEW

This project proposes to construct 48 affordable rental units serving households earning less than 80% of the Area Median Income (AMI). The project will consist of two apartment buildings, a community building, associated parking, and amenities.

- Floor area: 61,032 sq. ft.
- Lot size: 373,637 sq. ft. (8.6 acres)

A Transportation Impact Analysis was completed for the project and included the following recommendations:

- Monitor signal operations in the PM peak hour at the Martin Luther King Jr. Blvd. intersection with Umstead Drive and Hillsborough Street.

Provide continuous sidewalk along the eastern side of Jay Street from the property entrance drive to Village Drive.

ATTACHMENTS

1. Technical Report and Project Fact Sheet
2. Draft Staff Presentation
3. Resolution A, Resolution of Consistency and Reasonableness
4. Revised Ordinance A (Approving the Application)
5. Resolution B (Denying the Application)
6. Applicant Materials
7. Jay Street Project Summary
8. Responses to Council Affordability Questions for Jay and Trinity
9. Responses to Council Jay St Questions

TECHNICAL REPORT

UPDATES SINCE MARCH 23, 2022 LEGISLATIVE HEARING

Council requested additional information at the March 23, 2022 Legislative Hearing. Staff has provided the following information.

1. Electric Vehicle Parking: The use of electric vehicle parking spaces was discussed. This issue will be addressed at the Final Plans stage, and management and enforcement of the use of these spaces will be addressed by the property management.

2. Conservation Easement: The conservation easement for the southern portion of the property was discussed. The condition has been removed from Revised Ordinance A. This condition was to require the developer to create a conservation easement. Staff believes this is a Town responsibility and should be created outside of the Conditional Zoning process.

3. Parking Space Modification Request: The developer has removed a request for a modification to regulations to exceed the maximum number of parking spaces, and has revised the proposal to include 90 parking spaces, which is below the maximum number of 93 parking spaces. The application materials do not reflect this change but it will shown in the Final Plans application.

PROJECT OVERVIEW

The application proposes applying a Residential-Special Standards–Conditional Zoning District (R-SS-CZD) to the site in order to accommodate two apartment buildings with approximately 48 affordable multi-family dwelling units and a community building. The site is currently vacant. More details about the proposed development can be found in the applicant's narrative and statement of justification in the Applicant Materials.

Information about the site and proposed zoning districts can be found below, as well as a list of proposed Modifications to Regulations, other important considerations that staff has identified, and an analysis of the project's consistency with the Comprehensive Plan and relevant Findings of Fact.

SITE CONTEXT

Staff has identified the following physical and regulatory characteristics of the land which are relevant to consideration of a Zoning Atlas Amendment:

- The site is an 8.6-acre site and is currently vacant.
- The site fronts on and the project is proposing access to Jay Street, which is a local street.
- The properties to the south and east are zoned Residential-3 (R-3) and consist of

single-family homes. The southern portion of the site also borders the Northside Neighborhood Conservation District (CD-1).

- The property is bounded by the Southern Railroad and Chapel Hill Town Limits to the west.
- Property to the north is zoned Residential-3 (R-3) and consists of the West Chapel Hill Cemetery and Jay Street frontage. The Village West multi-family development is located nearby.
- The site slopes significantly downward from east to west towards Tanyard Branch, with associated Resource Conservation District and Jordan Riparian Buffer.

PROPOSED ZONING

The applicant has submitted a Conditional Zoning application, which allows review of the development proposal in conjunction with the rezoning, and which allows site-specific standards to be formulated and applied as conditions through a legislative process. The Conditional Zoning application provides an opportunity to establish conditions that modify use, intensity, and development standards in order to address impacts reasonably expected to be generated by development. Conditions can also address conformance of the development with town regulations and adopted plans. A –CZD suffix would be added to the zoning district designation to incorporate the approved conditions. The applicant has proposed a Residential-Special Standards–Conditional Zoning District (R-SS-CZD) district for the site.

The Residential – Special Standards Conditional Zoning District (R-SS-CZD) is appropriate for "residential development and the recreational, open space, and other urban amenities associated with such development", provided that any rezoning to this district shall demonstrate either:

- Provision of 100 percent affordable housing
- Achievement of a combination of special standards that meet community interests[1]

The proposed uses meet the intent statement of Residential – Special Standards Conditional Zoning District (R-SS-CZD). The Statement of Justification states that 100 percent of the housing proposed will serve households earning below 30 to 80 percent AMI.

KEY CONSIDERATIONS

1. Community Design Commission (CDC): At the February 22, 2022 meeting, the CDC reviewed the application and requested that the developer provide responses to the Town's Urban Designer's comments and relocate one of the buildings and parking areas, but did not make a formal recommendation.

2. Transportation and Connectivity Advisory Board (TCAB): At the February 22, 2022 meeting, the TCAB recommended approval with the following stipulations to Ordinance A:

    a. That the sidewalk be extended to the bus stop on the south side of Village Drive, a bus pad be added, and that the stop be upgraded to be ADA-accessible.

[1] LUMO Section 3.4.5

Staff Response: We have included the following condition in Ordinance A:

Village West Sidewalk and Bus Stop Improvements: Prior to issuance of a Zoning Compliance Permit, the developer shall provide design details for extension of the sidewalk on the south side of Village Drive. Prior to issuance of a Zoning Final Approval, the developer shall extend the sidewalk and improve the bus stop with a pad and ADA-accessibility.

b. That the Chapel Hill Transit evaluate the possibility of expanding service that serves the proposed development, explore expanding destinations that are accessible from the proposed development, and expanding the timeframe that transit is available.

Staff Response: Chapel Hill Transit bases its plans for expanding bus routes, as necessary, based on forecasted future demand and capacity. They will take into consideration existing routes, usage, and new development in this area. There are already bus stops along Pritchard Avenue.

3. Housing Advisory Board (HAB): At the February 24, 2022 meeting, the HAB recommended approval of Ordinance A as proposed.

4. Environmental Stewardship Advisory Board (ESAB): At the February 24, 2022 meeting, the ESAB recommended approval with the following conditions to Ordinance A:

a. That the applicant consider a permanent conservation easement for the undeveloped portion of the site.

Staff Response: A condition addressing a conservation easement was included in Ordinance A; after the Legislative Hearing and additional discussion, the condition was removed from Revised Ordinance A.

b. That the buildings be solar-ready and the applicant explore rooftop solar.

Staff Response: We have included the following condition in Ordinance A:

Solar Ready: Prior to issuance of a Zoning Compliance Permit, the developer shall provide design details indicating the structures are pre-wired with solar conduit.

c. That strategic planting of deciduous trees along the southern and western exposures be considered to aid in energy efficiency.

Staff Response: We have included the following condition in Ordinance A:

Tree Plantings: Prior to issuance of a Zoning Compliance Permit, the developer shall consider the use of deciduous trees along the southern and western exposures to aid in energy efficiency.

5. Planning Commission: At the March 1, 2022 meeting, the Planning Commission recommended approval with the following change to Ordinance A:

a. That the requested Modification to Regulations proposed to exceed the maximum number of parking spaces not be approved.

Staff Response: The developer has revised the proposal to reduce the number of parking spaces to 90, and the modification to regulations is no longer requested.

CONSISTENCY WITH THE COMPREHENSIVE PLAN AND OTHER DOCUMENTS

The following staff analysis of the Zoning Atlas Amendment is based on long-range planning considerations. An amendment to the Zoning Atlas changes the permitted types and intensities of land uses allowed for a site.

Aspects of the application evaluated in this report include:

- **Consistency with the Comprehensive Plan**, based on the applicant's proposed zoning district and overall proposed use program.
- **Reasonableness** of the change in zoning, based on the same considerations.
- **Findings of Fact** that provide arguments for or against a zoning amendment in accordance with Section 4.4 of the Land Use Management Ordinance (LUMO).

The Town Council must make findings on each of these three items as part of a Zoning Atlas Amendment action.

2050 FUTURE LAND USE MAP (FLUM) ELEMENTS		
FOCUS AREA & SUB-AREA None – outside Focus Areas	**APPROPRIATE USES** Medium Residential – generally 4-8 units per acre	**OTHER** None
OTHER APPLICABLE ADOPTED SMALL AREA PLANS None		

North Carolina General Statute 160D-605 requires the Town Council to consider a statement of Plan consistency when reviewing any Zoning Atlas Amendment. Staff provides the following evaluation of this application's consistency with the 2050 Future Land Use Map and other adopted components of the Chapel Hill 2020 Comprehensive Plan:

	Description of Plan Element	Staff Evaluation
Future Land Use Category	The Future Land Use Map (FLUM) designates the site for Medium Residential, generally 4-8 units per acre. This category encompasses a fairly wide spectrum of housing types including multifamily. Development patterns should be compact and well-connected. The standard of 4-8 units per acre is characterized as a gross density that does not have to be strictly applied to every parcel. The site is outside of the Focus Areas. The land use guidance provided has been carried forward from the 2020 Land Use Plan.	The proposed rezoning is consistent with the character envisioned by the FLUM because the proposed zoning district allows residential uses. Zoning conditions can limit the scale of development such that the Medium Residential area maintains a general density consistent with the FLUM.
Building Height	The FLUM does not provide height guidance outside of the Focus Areas.	

Mobility And Connectivity	The Mobility and Connectivity Plan calls for greenways/multi-use paths along the western and southern edges of the site. The western edge would be part of the Campus-to-Campus (C2C) Connector. The southern edge would be a connection between the C2C Connector and the Tanyard Branch Trail, which has an access point at the southeast corner of the site.	A more robust multimodal network in this area could support more intense development. Zoning conditions would be useful to ensure that the identified facilities are provided.
Climate Action and Response	The Climate Action and Response Plan identifies Sustainable Development as a top strategy to reduce our community carbon footprint and build resiliency. The Transportation and Land Use chapter calls for creating walkable, bikeable, transit-served neighborhoods through strategies such as supportive zoning and integrated land use – transportation planning.	The site offers an opportunity for infill development between existing neighborhoods, with transit service and a greenway nearby.
Chapel Hill 2020 Goals	Opportunities for this application to support goals of Chapel Hill 2020 include: • Contributing to a range of housing options for current and future residents. This aligns with the theme of *A Place for Everyone*. • Providing a welcoming and friendly community that provides people with access to opportunities. This aligns with the theme of *A Place for Everyone*. • Promoting a safe, vibrant, and connected community by revitalizing a previously developed site. This aligns with the theme of *Community Prosperity and Engagement.* • A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation. This aligns with the theme of *Getting Around.* • A range of neighborhood types that addresses residential, commercial, social, and cultural needs and uses while building and evolving Chapel Hill's character for residents, visitors, and students. This aligns with the theme of *Good Places, New Spaces.* • Future land use, form, and density that strengthen the community, social equity, economic prosperity, and natural environment. This aligns with the theme of *Good Places, New Spaces.* • Maintain and improve air quality and water quality, and manage stormwater to heal local waterways and conserve biological ecosystems within the town boundaries and the Extra Territorial Jurisdiction. This aligns with the theme of *Nurturing our Community.* • Protect, acquire, and maintain natural/undeveloped open spaces and historic sites in order to protect wildlife corridors, provide recreation, and ensure safe pedestrian and bicycle connections. These spaces could include, among other things, Significant Natural Heritage Areas (SNHA) lands adjacent to and connecting various properties such as riparian lands, etc. This aligns with the theme of *Nurturing our Community.*	

	• Reduce the carbon footprint of all Town-owned or managed services and properties; require that all new development meets standards; and support residents in minimizing their personal footprints. This aligns with the theme of *Nurturing Our Community.*

REASONABLENESS OF THE ZONING ATLAS AMENDMENT

Reasonableness is determined by comparing the scale of permissible development under the proposed zoning district to the scale permitted under existing zoning, and by considering characteristics of the site and its surroundings. North Carolina General Statute 160D-605 requires the Town Council to consider a statement of reasonableness when reviewing any Zoning Atlas Amendment.

The analysis below considers the applicant's proposed zoning district and overall proposed use program. Specific characteristics of the development proposal, compliance with regulations, and appropriate conditions to address potential impacts of the development are evaluated elsewhere.

SUMMARY OF ANALYSIS FOR REASONABLENESS
Supporting Factors • Some available transit service nearby suggests that multifamily development is reasonable. • The proposed zoning is consistent with the Land Use Category shown on the Future Land Use Map, provided that zoning conditions are applied to ensure a consistent density. • The uses allowed under the proposed zoning are compatible with existing residential uses in the surrounding area. • Provision of affordable housing in this location aligns with multiple themes of Chapel Hill 2020. • Zoning conditions are an inherent part of the proposed zoning district (it is only available as a CZD). Conditions provide an opportunity to limit intensity and to establish standards that address any impacts on surrounding properties.

Other Considerations
• The proposed development program limits the intensity to roughly equal to what the existing zoning allows.
• The site's location along a neighborhood street, along with the scarcity of surrounding sidewalks and bicycle facilities, suggests that a change in zoning district would be reasonable only with zoning conditions that:
  ▪ Require pedestrian connections and
  ▪ Address the intensity and potential traffic impacts of the development
• Existing regulations include measures for protecting environmental features such as steep slopes and the stream corridor. Zoning conditions may be useful for enhanced protection, if warranted by further environmental analysis.

APPLICANT PROPOSAL

Project Description	Multifamily development – two buildings in a garden apartment style, along with a community center building. The site is currently vacant and wooded. It is located in between two established neighborhoods, away from major roads.	

Proposed Zoning Atlas Amendment (ZAA)	From Residential-3 (R-3) to Residential-Special Standards Conditional Zoning (R-SS-CZD)	**Notes:** The submittal of a Conditional Zoning application allows review of the development proposal in conjunction with the rezoning and allows site-specific standards to be formulated and applied as conditions through a legislative process.
Applicant Reasoning for ZAA	To accommodate the development of an affordable housing community consistent with the Town of Chapel Hill's goals for this Town-owned property.	

Comparing Proposed Permissible Development to Existing

	LUMO Standard for R-3	Staff Evaluation
District Intent	Section 3.4.5: The Residential-Special Standards district (R-SS-CZD) is available only through a conditional zoning application. Proposed development must either promote a 100% affordable on-site component or meet a series of other objectives related to community goals.	The application states that all of the proposed units will be affordable rentals for families earning 30% to 80% Area Median Income. This meets the primary objective of the proposed zoning district. Zoning conditions would be useful to ensure that performance expectations for affordable housing are achieved.
Permitted Uses	Table 3.7-1: Permitted uses in R-SS-CZD include the full range of single-family and multifamily dwelling types. Other uses, including public facilities, are generally not allowed.	The associated Conditional Zoning application proposes Multifamily Dwelling Units with more than 7 units per lot, which is permitted in R-SS-CZD. The existing R-3 zoning limits uses to single-family and duplex dwellings, in addition to certain public facilities.
Dimensional Standards	Table 3.8-1: Standards for R-SS-CZD are broadly permissive for development. The main factor limiting development intensity is Maximum Height. • No maximum Residential Density • Maximum Building Height of 39 ft at the setback line and 60 ft at the site core • Minimum Street Setback of 10 ft • Maximum Floor Area Ratio of 1.10	The associated Conditional Zoning application proposes: • 48 dwelling units, resulting in a Residential Density of 5.6 units/acre • Maximum Building Height of 36 ft at the setback line and 50 ft at the site core • Minimum Street Setback of 38.7 ft • 61,032 sq ft, resulting in a Floor Area Ratio of 0.163 The existing R-3 zoning has the following standards: • Maximum Residential Density 0f 7.0 units/acre • Maximum Building Height of 29 ft at the setback line and 60 ft at the site core

		• Minimum Street Setback of 24 ft • Maximum Floor Area Ratio of 0.162 Zoning conditions would be useful to ensure appropriate development intensity.

Design and Development Standards
Other standards (including landscape buffers, parking spaces, stormwater treatment, etc.) are established in LUMO Article 5 and are applicable to both the R-SS-CZD and R-3 districts. A change in zoning district would not change how Article 5 standards apply. The Conditional Zoning application provides an opportunity to establish conditions that modify development standards in order to address impacts reasonably expected to be generated by development.

Consideration of the Site and its Surroundings

	Description	Staff Evaluation
Existing Use and Surroundings	Vacant, wooded lot bounded by the Tanyard Branch stream to the south and railroad to the west. Located in between the Northside and Village West residential neighborhoods.	An undeveloped site may be considered for a wide variety of possible zoning districts.
Adjacent Zoning Districts and Land Uses	North: R-3, Cemetery and Village West townhomes East and South: R-3, mix of single-family and duplex dwellings West: (across railroad) Carrboro Town Limits, Estes Park multifamily dwellings	R-SS-CZD is a flexible zoning district that typically relies on zoning conditions (e.g. height, setbacks) to ensure compatibility with adjacent zoning districts. It is therefore reasonable to apply in most contexts. The surrounding area has been developed with various residential uses. Zoning conditions would be useful to ensure that the scale of the proposed multifamily dwellings is compatible with the surrounding built environment.
Transit Service	The site is within 0.25 miles of bus stops on 2 existing local bus routes. The N route runs along Village Drive and the A route runs through the Northside neighborhood.	Some available transit service nearby suggests that multifamily development is reasonable.
Roads and Vehicular Access	Some frontage to the north on Jay Street, a local neighborhood street. This would likely be the only point for vehicular access.	The location along a neighborhood street suggests that a change in zoning district would be reasonable *only* with zoning conditions to limit trip generation (e.g. maximum bedrooms).

Pedestrian & Bike Facilities (existing)	Jay Street does not have any sidewalks or bicycle facilities. Village Drive, located one block north, has existing sidewalk on one side.	The scarcity of sidewalks and bicycle facilities in the surrounding area suggests that a change in zoning district would be reasonable *only* with zoning conditions to require connections to existing sidewalk, and to limit the scale of development.
Streams/ Wetlands/ Floodplain	No floodplain impacts the site. Tanyard Branch, a perennial stream, runs along the southern edge of the site.	The slopes and stream corridor are likely significant limitations on development suitability for the southern part of the site. Existing Town and State regulations (RCD, Steep Slopes) include measures for protecting environmental features. Zoning conditions may be useful for enhanced protection, if warranted by further environmental analysis.
Topography	The site slopes down significantly from west to east. Slopes become steeper in the southern part of the site near Tanyard Branch.	

LAND USE MANAGEMENT ORDINANCE FINDINGS OF FACT

Staff provides the following evaluation of the application under the three Findings of Fact identified in LUMO Section 4.4. LUMO states that the Zoning Atlas shall not be amended unless at least one of the Findings are made.

FINDING #1: The proposed zoning amendment is necessary to correct a manifest error.	
Arguments	To date, no arguments in support or in opposition have been submitted or identified by staff.
Staff Evaluation	There appears to be no manifest error in the Town's Zoning Atlas.

FINDING #2: The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.	
Arguments	The applicant notes that affordable housing is a significant need for Chapel Hill that has grown over time. To date, no arguments in opposition have been submitted or identified by staff.
Staff Evaluation	The Council could make the finding that the proposed zoning amendment is necessary because of changing conditions in Chapel Hill.

FINDING #3: The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.	
Arguments	Staff notes that the Conditional Zoning application could contribute to the purposes of the Comprehensive Plan through the following: • Facilitating development that implements the Land Use Category designated on the Future Land Use Map. • Obtaining improvements identified in the Mobility and Connectivity Plan (through zoning conditions).

	• Supporting goals of Chapel Hill 2020 including *A Place for Everyone*, *Community Prosperity and Engagement, Getting Around*, *Good Places-New Spaces,* and *Nurturing Our Community*. To date, no arguments in opposition have been submitted or identified by staff.
Staff Evaluation	The Council could make the finding that the proposed zoning amendment is necessary to achieve the purposes of the Comprehensive Plan.

Further information may be presented for the Council's consideration as part of the legislative hearing process. All information submitted at the legislative hearing will be included in the record of the hearing.

PROJECT FACT SHEET

Project Details

Site Description	
Project Name	Jay Street Apartments
Address	110 Jay Street
Property Size (GLA)	373,637 sq. ft. (8.6 acres)
Existing	Vacant
Orange County Parcel Identifier Numbers	9778-99-9279, 9788-09-1257, and 9788-09-1232
Existing Zoning	Residential-3 (R-3)
Proposed Zoning	Residential-Special Standards-Conditional Zoning District (R-SS-CZD)

Site Development Standards

Topic	Comment	Status
Development Intensity		
Use/Density (Sec 3.7)	Existing Use: Vacant Proposed Use: 48 affordable multi-family dwelling units and community building	✓
Dimensional Standards (Sec. 3.8)	Comply with LUMO Section 3.8; Dimensional standards (setbacks) only apply to exterior property lines	✓
Floor area (Sec. 3.8)	Maximum: 411,000 sq. ft. Proposed: 61,032 sq. ft.	✓
Landscape		
Buffer (Sec. 5.6.2)	*Landscape buffers are not required in R-SS-CZD per LUMO 5.6.2(b).*	✓
Tree Canopy (Sec. 5.7)	Minimum: 30% canopy coverage Proposed: 56% canopy coverage	✓
Landscape Standards (Sec. 5.9.6)	Meet or exceed LUMO 5.9.6 standards	✓
Environment		
Resource Conservation District (Sec. 3.6)	3,260 sq. ft. disturbed (for greenway construction)	✓
Erosion Control (Sec. 5.3.1)	Orange County Erosion Control permit required	✓
Steep Slopes (Sec. 5.3.2)	Disturbed area of slopes greater than 25%: • Maximum: 19,021 sq. ft. • Proposed: 11,406 sq. ft.	✓

Stormwater Management (Sec. 5.4)	Meet or exceed LUMO 5.4 standards	✓
Land Disturbance	152,189 sq. ft.	✓
Impervious Surface (Sec. 3.8)	79,633 sq. ft.	✓
Solid Waste & Recycling	Public trash and recycling pickup proposed	✓
Jordan Riparian Buffer (Sec. 5.18)	3,914 sq. ft. disturbed (for greenway construction)	✓
Access & Circulation		
Road Improvements (Sec. 5.8)	Improvements to be completed in accordance with TIA findings, including: - Monitor signal operations in the PM peak hour at the Martin Luther King Jr. Blvd. intersection with Umstead Drive and Hillsborough Street. - Provide continuous sidewalk along the eastern side of Jay Street.	✓
Vehicular Access (Sec. 5.8)	Two-way access on Jay Street	✓
Bicycle Improvements (Sec. 5.8)	N/A	✓
Pedestrian Improvements (Sec. 5.8)	Sidewalk proposed along Jay Street and greenway connection to Tanyard Branch Trail.	✓
Traffic Impact Analysis (Sec. 5.9)	TIA completed	✓
Vehicle Parking (Sec. 5.9)	Maximum: 93 spaces Proposed: 90 spaces	✓
Transit (Sec. 5.8)	N/A	✓
Bicycle Parking (Sec. 5.9)	*Required:* 20 spaces *Proposed:* 27 spaces	✓
Electric Vehicle Parking	N/A	✓
Parking Lot Standards (Sec. 5.9)	Built to Town Standards	✓
Technical		
Fire	Built to Town Standards	✓
Adequate Public Schools (Sec. 5.16)	Required	✓
Inclusionary Zoning (Sec. 3.10)	Proposed: 48 affordable units (100%)	✓

Recreation Area (**Sec. 5.5**)	Required: 18,681 sq. ft. Proposed: 11,567 sq. ft. and payment-in-lieu	✓
Lighting Plan (**Sec. 5.11**)	Built to Town Standards; not to exceed 0.3 footcandles at property line	✓
Homeowners Association (**Sec. 4.6**)	N/A	✓

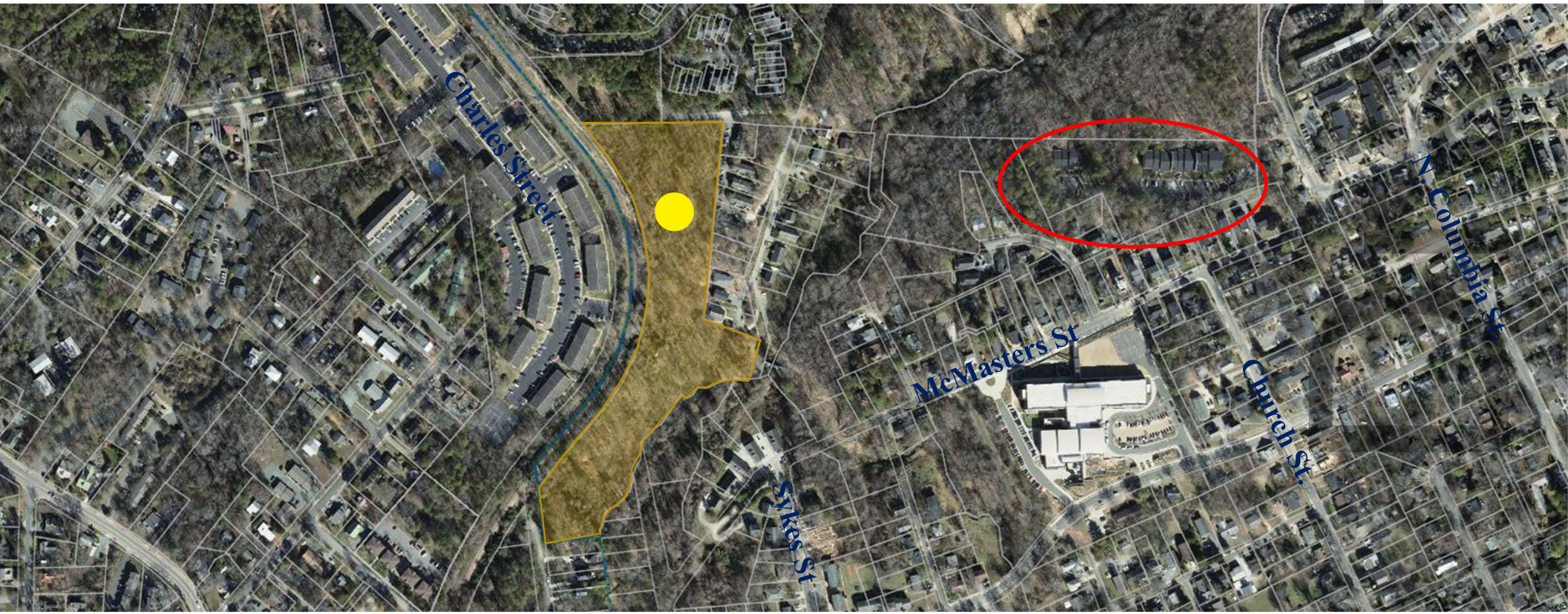
Project Summary Legend

Symbol	Meaning
✓	Meets Requirements
M	Seeking Modification
FP	Required at Final Plan
NA	Not Applicable

TOWN COUNCIL

4.27.2022

CONDITIONAL ZONING – JAY STREET APARTMENTS



RECOMMENDATION

- ❑ Close the Legislative Hearing
- ❑ Consider adopting the Resolution of Consistency
- ❑ Consider enacting Ordinance A

PROCESS

Staff Review → Advisory Boards and Commissions Review → Open Legislative Hearing 3/23/2022 → Council Action 4/27/2022

Draft

TIMELINE FOR EXPEDITED REVIEW

Date	Review Body
February 17	Joint Advisory Board Meeting
February 22	Community Design Commission (CDC) Transportation & Connectivity Advisory Board (TCAB)
February 24	Housing Advisory Board (HAB) Environmental Stewardship Advisory Board (ESAB)
March 1	Planning Commission
March 23	Town Council Legislative Hearing
April 27	**Town Council Tentative Action**

Draft

PROJECT SUMMARY

- 8.6 acre site
- Conditional Zoning
- Currently R-3
- Proposing R-SS-CZD
- Currently vacant
- Construct 48 affordable housing units

Draft

SITE PLAN

Draft
SOUTHERN RAILROAD ROW
100'
L=934.06', R=633.59'
D=84°28'02"
EXISTING BUILDINGS (TYP)
157' RESOURCES CONSERVATION DISTRICT
9 SPACES
14 SPACES
10 SPACES
17 SPACES
16 SPACES
9 SPACES
S5° 49' 15"W
155.28'
S5° 00' 10"W
100.31'
S5° 49' 16"W
351.51'
420
410
LOT 1
NF TOWN OF CHAPEL HILL
PRM 97/999/079
ZONE R-3
7.50 AC
20' LANDSCAPE BUFFER
20' MUL-TI-USE PARKWAY EASEMENT (CURRENT LOCATION)
N89° 37' 30"W
426.67'
NORFOLK SOUTHERN RAILROAD
CHAPEL HILL

UPDATES SINCE 3.23.2022

- Removed condition regarding a conservation easement
- Answered additional Council questions
- Removed modification to regulations request to exceed maximum number of parking spaces

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RECOMMENDATION

- ❑ Close the Legislative Hearing
- ❑ Consider adopting the Resolution of Consistency
- ❑ Consider enacting Ordinance A

Draft

RESOLUTION A
Resolution of Consistency and Reasonableness

A RESOLUTION REGARDING THE APPLICATION FOR CONDITIONAL ZONING AT THE PROPERTY LOCATED AT 110 JAY STREET FROM RESIDENTIAL-3 (R-3) TO RESIDENTIAL-SPECIAL STANDARDS–CONDITIONAL ZONING DISTRICT (R-SS-CZD) IS REASONABLE AND CONSISTENCY WITH THE COMPREHENSIVE PLAN (2022-04-27/R-7)

WHEREAS, Taft-Mills Group, LLC has filed an application for Conditional Zoning to rezone a 7.80-acre parcel located at 110 Jay Street and identified as Orange County Parcel Identifier Numbers 9778-99-9279, 9788-09-1257, and 9788-09-1232 to Residential–Special Standards–Conditional Zoning (R-SS-CZD) to allow a 48-dwelling unit multifamily community; and

WHEREAS, the Town staff have completed a review of the application for compliance with the Land Use Management Ordinance, Town Code, and for Consistency with the Comprehensive Plan; and

WHEREAS, the Planning Commission reviewed the application on March 1, 2022 and recommended that the Council enact the Conditional Zoning for the property; and

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning and finds that the amendment if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Contributing to a range of housing options for current and future residents. *(Goal: A Place for Everyone 1.3)*
- Providing a welcoming and friendly community that provides people with access to opportunities. *(Goal: A Place for Everyone 1.4)*
- Promoting a safe, vibrant, and connected community by revitalizing a previously developed site. *(Goal: Community Prosperity and Engagement 2.3)*
- A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation *(Goal: Getting Around 3.2)*
- A range of neighborhood types that addresses residential, commercial, social, and cultural needs and uses while building and evolving Chapel Hill's character for residents, visitors, and students *(Goal: Good Places, New Spaces 4.5)*
- Future land use, form, and density that strengthen the community, social equity, economic prosperity, and natural environment *(Goal: Good Places, New Spaces 4.8)*
- Maintain and improve air quality and water quality, and manage stormwater to heal local waterways and conserve biological ecosystems within the town boundaries and the Extra Territorial Jurisdiction *(Goal: Nurturing our Community 5.2)*
- Protect, acquire, and maintain natural/undeveloped open spaces and historic sites in order to protect wildlife corridors, provide recreation, and ensure safe pedestrian and bicycle connections. These spaces could include, among other things, Significant Natural Heritage Areas (SNHA) lands adjacent to and connecting various properties such as riparian lands, etc. *(Goal: Nurturing our Community 5.3)*
- Reduce the carbon footprint of all Town-owned or managed services and properties; require that all new development meets standards; and support residents in

minimizing their personal footprints (Goal: *Nurturing Our Community 5*.7)

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed Conditional Zoning to be reasonable and consistent with the Town Comprehensive Plan.

This the 27th day of April, 2022.

REVISED ORDINANCE A
(Approving the Conditional Zoning Application)

AN ORDINANCE AMENDING THE CHAPEL HILL ZONING ATLAS TO REZONE THE PROPERTY LOCATED AT 110 JAY STREET FROM RESIDENTIAL-3 (R-3) TO RESIDENTIAL-SPECIAL STANDARDS–CONDITIONAL ZONING DISTRICT (R-SS-CZD) AND CONSISTENCY WITH THE COMPREHENSIVE PLAN (PROJECT #21-087) (2022-04-27/O-3)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning proposed by Taft-Mills Group, LLC on behalf of owner Town of Chapel Hill, to rezone 110 Jay Street and identified as Orange County Parcel Identifier Numbers 9778-99-9279, 9788-09-1257, and 9788-09-1232 to Residential–Special Standards–Conditional Zoning District (R-SS-CZD) to allow an affordable multi-family dwelling unit community and finds that the amendment if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Contributing to a range of housing options for current and future residents. *(Goal: A Place for Everyone 1.3)*
- Providing a welcoming and friendly community that provides people with access to opportunities. *(Goal: A Place for Everyone 1.4)*
- Promoting a safe, vibrant, and connected community by revitalizing a previously developed site. *(Goal: Community Prosperity and Engagement 2.3)*
- A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation *(Goal: Getting Around 3.2)*
- A range of neighborhood types that addresses residential, commercial, social, and cultural needs and uses while building and evolving Chapel Hill's character for residents, visitors, and students *(Goal: Good Places, New Spaces 4.5)*
- Future land use, form, and density that strengthen the community, social equity, economic prosperity, and natural environment *(Goal: Good Places, New Spaces 4.8)*
- Maintain and improve air quality and water quality, and manage stormwater to heal local waterways and conserve biological ecosystems within the town boundaries and the Extra Territorial Jurisdiction *(Goal: Nurturing our Community 5.2)*
- Protect, acquire, and maintain natural/undeveloped open spaces and historic sites in order to protect wildlife corridors, provide recreation, and ensure safe pedestrian and bicycle connections. These spaces could include, among other things, Significant Natural Heritage Areas (SNHA) lands adjacent to and connecting various properties such as riparian lands, etc. *(Goal: Nurturing our Community 5.3)*
- Reduce the carbon footprint of all Town-owned or managed services and properties; require that all new development meets standards; and support residents in minimizing their personal footprints (Goal: *Nurturing Our Community 5*.7)

WHEREAS, the application, if rezoned to Residential–Special Standards–Conditional Zoning District (R-SS-CZD) according to the district-specific plan last revised dated January 31, 2022 would address the impacts reasonably expected to be generated by the development or use of the site and the conditions listed below would:

1) Conform with the applicable provisions of the Land Use Management Ordinance

and Town Code

2) Conform with the Comprehensive Plan
3) Be compatible with adjoining uses
4) Mitigate impacts on surrounding properties and the Town as a whole
5) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
6) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

CONDITIONAL ZONING DISTRICT

BE IT ORDAINED by the Council of the Town of Chapel Hill that the Council finds, in this particular case, the proposed rezoning with the following uses, subject to the conditions below, satisfies the purposes of Residential–Special Standards–Conditional Zoning District (R-SS-CZD).

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the Chapel Hill Zoning Atlas be amended as follows:

SECTION I

The following Orange County parcels identified by Parcel Identifier Numbers (PIN) 9778-99-9279, 9788-09-1257, and 9788-09-1232, described below, shall be rezoned to Residential–Special Standards–Conditional Zoning District (R-SS-CZD):

TRACT 3: BEGINNING at a point on the southern right-of-way of Jay Street, said point being S. 89°37’30” W. 537.61 ft. from an existing iron on the N/F Town of Chapel Hill Cemetery property at the eastern right-of-way of the Southern Railroad; thence from said point of beginning and within the right-of-way of Jay Street, S. 89°37’30” W. 119.07 ft. to an existing iron pin at the right-of-way intersection with the Nunn Street Extension; thence with the western right-of-way of Nunn Street Extension, S. 20°25’ 12” W. 161.64 ft. to a new iron pin on the AM Properties lot line; thence N. 70°08’19” W. 81.49 ft. to a new iron; thence N. 06°28’32” E. 123.81 ft. to the point and place of BEGINNING, CONTAINING 0.32 ACRES, more or less and extending to the centerline of the abutting Jay Street right-of-way.

TRACT 4: BEGINNING at an existing iron pin on the southwest corner of the N/F AM Properties lot said EIP also being S. 48°34,03” E. 524.22 ft. from an existing iron at the southwest corner of the Old Chapel Hill Cemetery and the southern railroad right-of-way; thence from said point of beginning and with the N/F AM Properties line, S. 71°43’ 25” E. 134.17 ft. to a new iron pin; thence S. 18°16’ 35” W. 98.87 ft. to an existing iron pin; thence with the N/F Johnson line (DB 394, Pg. 449), N 71°04’ 38” W. 110.13 ft. to an existing iron pin; thence N 05°00’ 01” E. 100.31 ft. to the point and place of BEGINNING, CONTAINING 0.28 ACRES, AND BEING ALL OF LOTS 11 & 12 and the same lots described in Deed Book 1812, Page 172, Orange Registry (Lot 11) and Deed Book 1598, Page 373, Orange Registry (Lot 12).

TRACT 5: BEGINNING at an existing iron pin on the eastern right-of-way of the southern railroad, said iron is also the southwestern most corner of the N/F Chapel Hill Cemetery (DB 221, Pg. 791); thence from said point of beginning and with the eastern right-of-way of the railroad, S. 38°39’ 46” E. 66.98 ft. to a point of curvature; thence continuing with the right-of-way and curving to the right an arc distance of 934.06 ft. to a point, said curve having a

radius of 633.59 ft. and a chord of S. 01°08′ 24″ W. 851.75 ft; thence with said right-of-way, S. 38°55′ 28″ W. 7.47 ft. to a point of curvature; thence curving to the left an arc distance of 245.26 ft. to a point on the eastern right-of-way of Broad Street, said curve having a radius of 2,671.92 ft. and a chord bearing of S. 40°30′ 58″ W. 245.17 ft.; thence leaving said railroad right-of-way and with the eastern right-of-way of Broad Street, S. 06°3T 59″ E. 163.43 ft. to a new iron pin at the N/F Austin property; thence leaving said Broad Street right-of-way and with the Austin line (DB 461, Pg. 294), N. 83°26′40″ E. 161.67 ft. to a new iron pin; thence N. 08°58′ 54″ W. 47.10 ft. to an existing iron pipe (EIP) at a creek; thence down the creek and with N/F Town of Chapel Hill property (PB 92, Pg. 169) and N/F. A.M. Properties (PB 80, Pg. 127) lines the following calls: N. 54°31′ 30″ E. 99.19 ft. to a point; thence N. 36°23′ 43″ E. 31.74 ft. to an EIP; thence N. 47°33′ 23″ E. 32.00 ft. to a point; thence N. 12°45′ 21″ E. 50.00 ft. to a point; thence N. 25°13′ 13″ E. 39.74 ft. to a point; thence N. 41°33′ 00″ E. 75.87 ft. to a point; thence N. 57°04′12″ E. 17.93 ft. to a point; thence N.32°5r22″ E. 114.99 ft. to a point; thence S. 50°44′50″ E. 17.30 ft. to a point; thence N. 62°21′ 53″ E. 22.10 ft. to a point; thence N. 36°23′15″ E. 29.27 ft. to a point; thence S. 87°38' 17″ E. 28.13 ft. to a point; thence N. 61°19′ 04″ E. 48.64 ft. to a point; thence N. 81°38′ 07″ E. 35.82 ft. to a point; thence N. 77°32′ 57″ E. 32.00 ft. to a new iron pin; thence leaving said creek and with the northern right-of-way of Nunn Street Extension (PB to an EIP; thence leaving said right-of-way and with the N/F A.M. Properties line, N. 68°12′21″ W. 177.18 ft. to an EIP; thence N. 05°49′ 15″ E. 155.28 ft. to an EIP at the N/F Johnson property (DB 394, Pg. 449); thence N. 05°00′ 10″ E. 100.31 ft. to an existing pin at the southwestern corner of N/F A.M. Properties tract (PB 85, Pg. 192); thence with the A.M. Properties line, N. 05°49′ 16″ E. 351.51 ft. to a new iron pin on the southern right-of-way of Jay Street; thence with the southern right-of-way of Jay Street, S. 89°37′ 30″ W. 428.68 ft. to the place and point of BEGINNING, CONTAINING 7.50 ACRES, more or less.

SECTION II

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the following conditions are hereby incorporated by reference:

1. Expiration of Conditional Zoning Atlas Amendment: An application for Zoning Compliance Permit must be filed by April 27, 2024 (2 years from the date of this approval) or the land shall revert to its previous zoning designation. [LUMO 4.4.5(f)]

2. Consent to Conditions: This approval is not effective until the petitioner provides written consent to the approval. Written consent must be provided within ten (10) days of enactment by the Town Council.

3. Land Use Intensity: This Conditional Zoning Atlas Amendment authorizes the following:

Land Use Intensity Multi-Family Development	
Gross Land Area	373,637 sf
Floor Area	61,032 sf
Maximum Dwelling Units	48
Minimum Affordable Units	100%
Maximum Parking Spaces	90
Minimum Bicycle Parking Spaces	20
Total Impervious Surface	79,633 sf
Maximum Land Disturbance	152,189 sf
Minimum Recreation Area	11,567 sf

Resource Conservation District Land Disturbance	3,260 sf
Jordan Riparian Buffer Land Disturbance	3,914 sf

4. Future Greenway Construction: If the construction of the greenway along the railroad tracks is proposed as part of the Final Plans Zoning Compliance Permit, the development shall provide stormwater management for the greenway in compliance with LUMO 5.4.

5. Traffic Signal Monitoring: The developer shall monitor signal operations in the PM peak hour at the NC 86 (Martin Luther King, Jr. Boulevard intersection with Umstead Drive and Hillsborough Street). The 2025 analysis year maximum queue results indicate that the eastbound Umstead Drive approach may experience queue spillback from the left-turn lane that may require re-optimization of traffic signal timings to provide additional green time for the signal phase that serves Umstead Drive.

6. Jay Street Sidewalk: The developer shall provide continuous sidewalk along the eastern side of Jay Street between the site and Village Drive. This improvement will provide safe access to the existing Chapel Hill Transit bus stop along the south side of Village Drive near the Jay Street intersection.

7. Village West Sidewalk and Bus Stop Improvements: Prior to issuance of a Zoning Compliance Permit, the developer shall provide design details for extension of the sidewalk on the south side of Village Drive. Prior to issuance of a Zoning Final Approval, the developer shall extend the sidewalk and improve the bus stop with a pad and ADA-accessibility.

8. Solar Ready: Prior to issuance of a Zoning Compliance Permit, the developer shall provide design details indicating the structures are pre-wired with solar conduit.

9. Tree Plantings: Prior to issuance of a Zoning Compliance Permit, the developer shall consider the use of deciduous trees along the southern and western exposures to aid in energy efficiency.

10. Housing Plan: The developer shall provide the following:
    a. 100 percent of all units to remain affordable
    b. The affordable multi-family units to be placed within the responsibility of an organization ensuring their continued affordability for at least ninety-nine years.

TOWN OF CHAPEL HILL – CONDITIONAL ZONING STANDARD CONDITIONS

The following standard conditions are supplemental to site-specific conditions as set by Town Council-approved ordinance. Unless modified by the site-specific conditions noted above, these standards apply to all development permitted by Conditional Zoning.

Access

11. Accessibility Requirements: Prior to issuance of a Certificate of Occupancy, the developer shall provide the minimum required handicapped infrastructure according to the Americans with Disabilities Act and associated codes and standards.

Transportation

12. Bicycle Parking: Prior to issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details that comply with the Town parking standards for required

and/or proposed bicycle parking spaces. Bicycle parking spaces should be placed near building entrances. The spaces must comply with the Spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines and the Class I and Class II bicycle parking standards required by the Town Design Manual. [LUMO 5.9.7]

13. Parking Lot: Any newly proposed parking lots, including additions to existing parking lots, shall be constructed to Town standards for dimensions and pavement design. [LUMO 5.9.5]

14. Parking Lot Landscape and Screening: The parking lot landscape design shall adhere to the standards of the Chapel Hill Land Use Management Ordinance. [LUMO 5.9.6]

15. Lighting: Prior to issuance of a Zoning Compliance Permit, the developer shall design street lighting along the site frontage. Design and construction details must be approved by the Town Manager and the North Carolina Department of Transportation (NCDOT). Lighting shall be installed prior to issuance of a Zoning Final Inspection.

16. Driveway Permit: The developer must obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within the NCDOT right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved roadway and signal construction plans, inspection fees, and any necessary performance and indemnity bonds.

17. Pavement Markings: Any pavement markings proposed within the public street rights-of-way shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadways.

18. Off-Site Construction Easements: Prior to any development associated land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]

19. Sight Distance Triangles: Prior to issuance of a Certificate of Occupancy, the developer shall provide the Town of Chapel Hill with standard sight distance triangles at the proposed driveway locations. [Town Design Manual]

20. Low Vision Design Features: Any proposed pedestrian facilities should incorporate low vision design features as feasible.

21. Repairs in Public Right-of-Way: Prior to issuance of a Certificate of Occupancy, the developer shall repair all damage for work in the public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design of such repairs must be reviewed and approved by the Town Manager and NCDOT prior to issuance of a Zoning Final Inspection. [Town Code 17-40]

22. Street Closure Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a street closure plan, subject to Town Manager and NCDOT approval, for any work requiring street, sidewalk, or lane closure(s). [Town Code 21-7.1]

23. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction

Management Plan for approval by the Town Manager and NCDOT. The Work Zone Traffic Control Plan shall comply with the U.S. Department of Transportation Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]

Landscaping and Building Elevations

24. Invasive Exotic Vegetation: Prior to issuance of a Zoning Compliance Permit, the developer shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal of these species from the landscape buffer areas prior to planting. [Town Design Manual]

25. Buffers: Landscape buffers not required as part of Residential-Special Standards Zoning District.

26. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, review shall be required from the Community Design Commission for any proposed alternate buffer. [LUMO 5.6.8]

27. Landscape Protection: Prior to issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include a complete and currently updated tree survey showing critical root zones of all rare and specimen trees and labeled according to size and species. The plan shall also indicate which trees will be removed and which will remain. The plan shall also include standard notes, fencing details, and location of fencing. [LUMO 5.7.3]

28. Tree Protection Fencing: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detail of a tree protection fence and a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site. The plans shall include continuous tree protection fencing around construction limits and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]

29. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approval. [LUMO 4.5.3]

30. Tree Canopy: A minimum of tree canopy coverage shall be provided through a combination of retained and replanted trees, unless a modification to regulations is approved. Calculations demonstrating compliance with Chapel Hill Land Use Management Ordinance Section 5.7.2 shall be included. [LUMO 5.7.2]

31. Retaining Wall Construction: If applicable, the final design and location of all retaining walls shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.

32. Demolition Plan: Prior to beginning any proposed demolition activity, the developer must obtain demolition permits from both the Planning and Inspections departments. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit shall

be issued prior to an Inspection's Demolition permit. Further, prior to the issuance of a demolition permit for all existing structures 500 square feet or larger, Orange County Solid Waste staff shall conduct a deconstruction assessment pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO).

33. Lighting Plan Approval: Prior to issuance of a Zoning Compliance Permit, the Community Design Commission shall review a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize upward light pollution and off-site spillage of light. [LUMO 8.5.5]

34. Community Design Commission Review: The Community Design Commission shall review the building elevations, including the location and screening of all HVAC/Air Handling Units for the site, prior to issuance of a Zoning Compliance Permit. [LUMO 8.5.5] Within the Town's historic districts, the Historic District Commission will act in place of the Community Design Commission. [LUMO 8.4.6]

Environment

35. Stormwater Management Plan: Development projects must comply with *Section 5.4 Stormwater Management* of the Chapel Hill Land Use Management Ordinance. [LUMO 5.4]

36. Phasing Plan: If phasing of the project is proposed, then the applicant shall provide a Phasing Plan as part of the Zoning Compliance Permit. The Phasing Plan also shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase shall not begin until all public improvements in previous phases have been completed, and a note to this effect shall be provided on the final plans. [LUMO 4.5.3]

37. Erosion Control Bond: If one acre or more is to be uncovered by land-disturbing activities for the project, then a performance guarantee in accordance with *Section 5-97.1 Bonds* of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [Town Code 5-98]

38. Sediment Control: The developer shall take appropriate measures to prevent and remove the deposit of wet or dry sediments on adjacent roadways. [Town Code 5-86]

39. Erosion Control Inspections: In addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs. [Orange County Erosion Control]

40. Erosion Control: The developer shall provide a copy of the approved erosion and sediment control permit from Orange County Erosion Control Division prior to receiving a Zoning Compliance Permit. During the construction phase, additional erosion and sediment controls may be required if the proposed measures do not contain the sediment. Sediment leaving the property is a violation of the Town's Erosion and Sediment Control Ordinance. [Town Code 5-98]

41. Stormwater Control Measure: The proposed stormwater control measures for the site shall be designed to meet the current North Carolina Division of Environmental Quality

Design Manual and Town of Chapel Hill Public Works Engineering Design Manual. [LUMO 5.4.3]

42. Storm Drain Inlets: The developer shall provide pre-cast inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-4A, SD-5A, SD-5C include all applicable details*, for all new inlets for private, Town and State rights-of-way. [Town of Chapel Hill Design Manual]

43. On-Site/Adjacent Stormwater Features: The final plans shall locate and identify existing site conditions, including all on-site and adjacent stormwater drainage features, prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [Town of Chapel Hill Design Manual]

44. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [Town of Chapel Hill Design Manual]

45. Performance Guarantee: A performance and maintenance guarantee in an amount satisfiable to the Town Manager shall be provided to meet the requirement of Section 4.9.3 of the Land Use Management Ordinance prior to the approval of Constructional plans. The performance guarantees and maintenance guarantees shall be satisfactory as to their form and manner of execution, and as to the sufficiency of their amount in securing the satisfactory construction, installation, or maintenance of the required stormwater control measure. The performance surety shall be an amount equal to one hundred and twenty-five percent (125%) of the total cost of uncompleted stormwater control measure(s) and conveyances prior to final plat recordation. The total cost of the storm water control measure(s) and conveyance(s) shall include the value of all materials, piping and other structures, seeding and soil stabilization, design and engineering, grading, excavation, fill, and other work. The applicant shall submit unit cost information pertaining to all storm water control measure(s) and/or bids from the grading contractor hired to perform the work and any change orders related thereto as a method to determine the basis for cost of the work. The final cost determination shall be made by the Stormwater Management Division, taking into consideration any additional costs as deemed necessary for completion of the stormwater control measure(s) and conveyance(s).

    Upon completion of the storm water control measures(s) and other improvements and acceptance by the Town after final site inspection, the one hundred and twenty-five percent (125%) of the performance surety shall be released to the developer and a maintenance bond in an amount of twenty-five (25) percent of the construction cost estimate shall submitted by the developer prior to the issuance of certificate of occupancy. No sooner than one year after the recording date of the deed(s), easements and maintenance agreement, the owner may request release of the remainder of the maintenance bond. Upon request by the owner, the Stormwater Management Division shall inspect the storm water control structure(s) to determine that the storm water measure(s) are performing as required by this Ordinance. The Stormwater Management Division, upon determining that the storm water control(s) are performing as required by this Ordinance, and after any repairs to the storm water control structure(s) are made by the owner, shall release the remaining maintenance bond. [LUMO 4.9.3]

Water, Sewer, and Other Utilities

46. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, other applicable local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The developer shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]

47. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan; providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]

48. Water/Sewer Line Construction: All public water and sewer plans shall be approved by and constructed according to OWASA standards. Where sewer lines are located beneath drive aisles and parking areas, construction methods approved by OWASA shall be employed to ensure that sewer lines will not be damaged by heavy service vehicles. [LUMO 5.12.1]

49. OWASA Approval: Prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12]

50. Irrigation: If permanent irrigation is proposed to support landscaping, an irrigation plan shall be submitted which includes the use of smart technologies to conserve water and energy.

Homeowner Association

51. Homeowners' Association: That a Homeowners' Association shall be created that has the capacity to place a lien on the property of a member who does not pay the annual charges for maintenance of all common areas, however designated. The Homeowners' Association documents shall be approved by the Town Manager prior to recordation at the Orange County Register of Deeds Office and shall be cross-referenced on the final plat. The Homeowners' Association documents shall comply with Section 4.6.7 of the Land Use Management Ordinance. That the Homeowners' Association covenants shall not exclude home occupation businesses as regulated by the Town of Chapel Hill.

52. Homeowners' Association Responsibilities: The Homeowners' Association shall be responsible for the maintenance, repair, and operation of required bufferyard(s), open space, recreation areas, paths, community garden, and shared stormwater management facilities.

53. Dedication and Maintenance of Common Area to Homeowners' Association: That the applicant provide for Town Manager review and approval, a deed conveying to the Homeowners' Association all common areas, however designated, including the

community garden; recreation space; open space and common areas; the bufferyards; and stormwater management facilities. That the Homeowners' Association shall be responsible for the maintenance of the proposed internal subdivision roads until the NCDOT or the Town assumes ownership of the internal streets. These documents shall be reviewed and approved by the Town Manager prior to recordation at the Orange County Register of Deeds Office and cross-referenced on the final plat.

54. Solar Collection Devices: That the Homeowners' Association, or similar entity, shall not include covenants or other conditions of sale that restrict or prohibit the use, installation, or maintenance of solar collection devices, including clotheslines.

Fire Safety

55. Fire Sprinklers: The developer shall install sprinklers under the North Carolina Fire Protection Code (NC FPC) prior to issuance of a Certificate of Occupancy. Prior to issuance of a Zoning Compliance Permit, the plans shall show all proposed fire department connections to such systems. [TOWN CODE 7-56]

56. Gates and Barricades: Where required or authorized by the fire code official and permanent or temporary (construction), any gates across fire apparatus access roads shall be a minimum width of 20 feet, be of swinging or sliding type, have an emergency means of operation, shall be openable by either forcible entry or keyed, capable of being operated by one person, and shall be installed and maintained according to UL 325 and ASTM F 2200. [NC FPC 2018, 503.5, 503.6, D103.5]

57. Grade and Approach: Fire apparatus access roads shall not exceed 10 percent in grade unless approved by the fire chief, and all approach and departure angles shall be within the limits established based on the Fire Department's apparatus. [NC FPC -2018, 503.2.7, 503.2.8 and D103.2]

58. Fire Protection and Utility Plan: A fire flow report for hydrants within 500 feet of each building shall be provided and demonstrate the calculated gallons per minute with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of North Carolina and accompanied by a water supply flow test conducted within one year of the submittal. Refer to the Town Design Manual for required gallons per minute.

59. Fire Department Connections and Standpipes: When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40 feet in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. [NC FPC 912 & NC FPC 2018 3313]

60. Fire Command Center: Where required in the North Carolina Fire Protection Code and in all high rise buildings, a fire command center must be constructed in accordance with Section 508, NC FPC 2018.

61. Aerials: Where a building exceeds 30 feet in height OR 3 stories above the lowest level of Fire Department Access, overhead power and utility lines shall not be allowed within the aerial apparatus access roadway and the roadway shall have an unobstructed width of 26 feet exclusive of the shoulders. At least one of the apparatus access roadways

shall be located within a minimum of 15 feet and maximum of 30 feet from one complete side of the building. [NC FPC 2018 D105.1, D105.2, D105.3, D105.4]

62. Fire Apparatus Access Road: Any fire apparatus access roads (any public/private street, parking lot access, fire lanes and access roadways) used for fire department access shall be all-weather and designed to carry the imposed load of fire apparatus weighing at least 80,000 lbs. Fire apparatus access roads shall have a minimum width of 20 feet exclusive of shoulders with an overhead clearance of at least 13 feet 6 inches for structures not exceeding 30 feet in height and shall provide access to within 150 feet of all exterior portions of the building. Structures exceeding 30 feet in height shall be provided with an aerial apparatus access road 26 feet in width in the immediate vicinity of the building or portion thereof and shall provide at least one of the required access roads to be located not less than 15 feet and not more than 30 feet from the structure parallel to one entire side of the structure. [NC FPC 2018 502.1,503.1.1, 503.2.1, D102.1 SECOND ACCESS DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]

63. Dead End Access Roads: Dead end fire apparatus access roads exceeding 150 feet shall have a designated turn around. The turnaround shall meet one of the design standards of NC FPC 2018, Appendix D table D 103.4.

64. Building Height: Buildings exceeding 30 feet or three stories in height must have at least two means of fire apparatus access separated by at least one half the diagonal distance of the building. [NC FPC 2018, D104.1, D104.3 DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]

65. Fire Access: Prior to issuance of a Certificate of Occupancy, fire access shall be reviewed and approved by the Town of Chapel Hill.

66. Fire Apparatus Access Road Authority: The fire code official shall have the authority to increase the minimum access widths where they are deemed inadequate for fire and rescue operations. [NC FPC 2018 503.2.2]

67. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Protection Code, and National Fire Protection Association Standard #13. [NC Fire Protection Code 2018 Section 501.1 & 3312]

68. Fire Hydrant and FDC Locations: The Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department Connections shall be located on the street side of the building within 100 feet of a hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC 2018 Section 501.5.1.1]

69. Firefighting Access During Construction: Vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall

be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC FPC 2018, Section 3310.1]

70. Premise Identification: Approved building address numbers, placed in a position acceptable to the fire code official, shall be required on all new buildings. [NC FPC 2018, 505.1]

71. Key Boxes: Where required by the fire code official, a secure key box, mounted on the address side of the building, near the main entrance, shall be provided to ensure adequate access to the building based on life safety and/or fire protection needs. [NC FPC 2018, 506]

72. Automatic Fire Sprinkler System Required: An automatic fire sprinkler system meeting the requirements of NFPA Standard #13 and Town Code 7-56 is required to be installed in non-residential construction.

73. Fire Department Connections, Locations: Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 13D, 13R, or 14 of the NC FPC 2018 and Town Code 7-38 for location. FDCs shall be installed within 100 feet of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping. FDCs shall be equipped with National Standard Thread (NST) and be a 2.5" siamese.

74. Fire Department Connections, Installation: A working space of not less than 36 inches in width and depth and a working space of 78 inches in height shall be provided on all sides with the exception of wall mounted FDCs unless otherwise approved by the fire code official. The FDCs where required must be physically protected from impacts by an approved barrier. [NC FPC 2018, 912.1, 912.2 912.2.1, 312]

75. Fire Apparatus Access for Chapel Hill Fire Department: All fire department access determinations shall be based upon Chapel Hill Fire Department apparatus specifications (data specifications provided by Office of the Fire Marshal/Life Safety Division) and field verification. All proposed fire department access designs shall be reviewed and shall also pass field inspection.

76. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]

77. Fire Lane: Prior to issuance of a Certificate of Occupancy, any fire lane shall be marked and signed in accordance with Town standards, with the associated plans approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC, Sections 2018 503.3, D103.6, D103.6.1, D103.2]

78. Emergency Responder Radio Coverage in New Buildings: All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. [NC FPC 2018 Section 510.1]

Solid Waste Management and Recycling

79. Solid Waste Management Plan: Prior to issuance of a Zoning Compliance Permit, a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager and Orange County Solid Waste (OCSW). The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. If a refuse compactor is proposed or if the collection enclosure is not accessible by Town vehicles, the developer shall provide documentation of an agreement for solid waste collection by a private provider prior to issuance of a Zoning Compliance Permit. [Orange County Solid Waste]

80. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard (Regulated Recyclable Materials), all present in construction waste, must be recycled. All haulers of construction waste containing Regulated Recyclable Materials must be properly licensed with Orange County Solid Waste. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]

81. Deconstruction Assessment: For any existing structure 500 square feet or larger a deconstruction assessment shall be conducted by OCSW staff prior to the issuance of a demolition permit pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO). Prior to any demolition or construction activity on the site, the developer shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be held at the same pre-construction meeting held with other development/enforcement officials.

State and Federal Approvals

82. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]

83. North Carolina Department of Transportation Approvals: Prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT. [NC Department of Transportation]

Miscellaneous

84. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [Town Design Manual Chapter 10]

85. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [Town Code 17-42]

86. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.4]

87. Schools Adequate Public Facilities Ordinance: If applicable, the developer shall provide the necessary Certificates of Adequacy of Public Schools or an exemption prior to issuance of a Zoning Compliance Permit. [LUMO 5.16]

88. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [Town Code 7-7]

89. Detailed Plans: Prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Chapel Hill Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]

90. Certificates of Occupancy: No Certificates of Occupancy shall be issued until all required public improvements are complete. A note to this effect shall be placed on the final plats.

    If the Town Manager approves a phasing plan, no Certificates of Occupancy shall be issued for a phase until all required public improvements for that phase are complete, and no Building Permits for any phase shall be issued until all public improvements required in previous phases are completed to a point adjacent to the new phase. A note to this effect shall be placed on the final plats.

91. Traffic Signs: The developer shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.

92. New Street Names and Numbers: The name of the development and its streets and house/building numbers shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.

93. As-Built Plans: Prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [Town Design Manual Chapter 10]

94. Vested Right: This Conditional Zoning or Conditional Zoning modification constitutes a site specific development plan (and is defined as such in the Chapel Hill Land Use Management Ordinance) establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance. During the period of vesting this permit may be subject to subsequent changes to Town regulations to the extent such regulations have been enacted under authority other than the Town's zoning authority.

95. Continued Validity: Continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.

96. Non-Severability: If any of the above conditions is held to be invalid, approval in its entirety shall be void.

97. Not-Comprehensive: The listing of these standard stipulations, and the specific stipulations applicable to this Permit, is not intended to be comprehensive and does not exclude other state and local laws and regulations which may be applicable to this Permit and development project.

BE IT FURTHER ORDAINED that the Council hereby approves the application for Conditional Zoning at 110 Jay Street.

This the 27th day of April, 2022.

RESOLUTION B
(Denying the Conditional Zoning Application)

A RESOLUTION DENYING AN AMENDMENT OF THE CHAPEL HILL ZONING ATLAS TO REZONE THE PROPERTY LOCATED AT 110 JAY STREET FROM RESIDENTIAL-3 (R-3) TO RESIDENTIAL-SPECIAL STANDARDS–CONDITIONAL ZONING DISTRICT (R-SS-CZD) AND CONSISTENCY WITH THE COMPREHENSIVE PLAN (PROJECT #21-087) (2022-04-27/R-8)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Conditional Zoning application, proposed by Taft-Mills Group, LLC, on behalf of owner Town of Chapel Hill, to rezone 110 Jay Street and identified as Orange County Parcel Identifier Numbers 9778-99-9279, 9788-09-1257, and 9788-09-1232, if rezoned to Residential–Special Standards–Conditional Zoning District (R-SS-CZD) according to the rezoning plan dated January 4, 2022, and the conditions listed below would not:

a) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code

b) Conform with the Comprehensive Plan

c) Be compatible with adjoining uses

d) Mitigate impacts on surrounding properties and the Town as a whole

e) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities

f) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

BE IT FURTHER RESOLVED that the Council hereby denies the application for an amendment of the Chapel Hill Zoning Atlas to rezone the property located at 110 Jay Street to Residential–Special Standards–Conditional Zoning District (R-SS-CZD).

This the 27th day of April, 2022.

CONDITIONAL ZONING APPLICATION

TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
(919) 968-2728 *fax* (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9778999279 Date: 12/1/2021

Section A: Project Information

Project Name: Jay Street Affordable Housing

Property Address: Jay Street Zip Code: 27516

Use Groups (A, B, and/or C): A Existing Zoning District: R-3

Project Description: Development of 48 apartments, community building and associated parking&pedestrian connectivity

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Taft Mills Group, LLC

Address: P.O. Box 566

City: Greenville State: NC Zip Code: 27835

Phone: 252-916-2691 Email: dustin@taftmillsgroup.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: Date: 2.14.22

Owner/Contract Purchaser Information:

☒ Owner ☐ Contract Purchaser

Name: Town of Chapel Hill

Address: 405 Martin Luther King Jr. Blvd.

City: Chapel Hill State: NC Zip Code: 27514

Phone: Email:

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: Date: 2-10-22

Click here for application submittal instructions.

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: _____ Date: _____

Click here for application submittal instructions.

CONDITIONAL ZONING

TOWN OF CHAPEL HILL
Planning Department

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Use Type: *(check/list all that apply)*

☐ Office/Institutional ☒ Residential ☐ Mixed-Use ☐ Other: _____

Overlay District: *(check all that apply)*

☐ Historic District ☐ Neighborhood Conservation District ☐ Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	339670	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	373637	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: *(check all those that apply)*
☐ Jordan Buffer ☐ Resource Conservation District ☐ 100 Year Floodplain ☐ Watershed Protection District

Land Disturbance	**Total (sq. ft.)**
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	147,092
Area of Land Disturbance within RCD	7,389
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	**Existing (sq. ft.)**	**Demolition (sq. ft.)**	**Proposed (sq. ft.)**	**Total (sq. ft.)**
Impervious Surface Area (ISA)	2161	2161	77501	77501
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	0.58%	0.58%	20.74%	20.74%
If located in Watershed Protection District, % of impervious surface on 7/1/1993	N/A	N/A	N/A	N/A

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	5	2161	2	2
Number of Floors	N/A	N/A	3	3
Recreational Space	N/A	N/A	5656	5656

Residential Space				
Dimensional Unit (sq. ft.)	**Existing (sq. ft.)**	**Demolition (sq. ft.)**	**Proposed (sq. ft.)**	**Total (sq. ft.)**
Floor Area (all floors – heated and unheated)	2161	2161	61,032	61,032
Total Square Footage of All Units	N/A	N/A	51,639	51,639
Total Square Footage of Affordable Units	N/A	N/A	51,639	51,639
Total Residential Density	N/A	N/A	16.33%	16.33%
Number of Dwelling Units	N/A	N/A	48	48
Number of Affordable Dwelling Units	N/A	N/A	48	48
Number of Single Bedroom Units	N/A	N/A	9	9
Number of Two Bedroom Units	N/A	N/A	27	27
Number of Three Bedroom Units	N/A	N/A	12	12

Non-Residential Space *(Gross Floor Area in Square Feet)*					
Use Type	**Existing**	**Proposed**	**Uses**	**Existing**	**Proposed**
Commercial					
Restaurant			**# of Seats**		
Government					
Institutional					
Medical					
Office					
Hotel			**# of Rooms**		
Industrial					
Place of Worship			**# of Seats**		
Other		2032			

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	10	N/A	38.7
	Interior (neighboring property lines)	0	N/A	76.0
	Solar (northern property line)	N/A	N/A	38.7
Height (maximum)	Primary	39	N/A	36
	Secondary	60	N/A	50
Streets	Frontages	N/A	N/A	N/A
	Widths	N/A	N/A	N/A

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Jay Street (Exist.)	TBD	27' B-B	2	☐ Yes	☐ Yes
				☐ Yes	☐ Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	**Dimensions**	**Surface**	**Handicapped Ramps**
Jay Street	5'	Concrete	☒ Yes ☐ No ☐ N/A
			☐ Yes ☐ No ☐ N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	74	93	90
Handicap Spaces	10	10	10
Total Spaces	74	93	100
Loading Spaces	N/A	N/A	N/A
Bicycle Spaces	12	N/A	12
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North (Jay Street Frontage)	10'	10'	☐ Yes	☐ Yes
West (Southern Railroad)	20'	20'	☐ Yes	☐ Yes
			☐ Yes	☐ Yes
			☐ Yes	☐ Yes

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section I: Land Use Intensity

Existing Zoning District:
Proposed Zoning Change *(if any)*:

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	**Floor Area Ratio (FAR)**	**Recreation Space Ratio (RSR)**	**Low Density Residential (0.24)**	**High Density Residential (0.50)**	**Non-Residential (0.70)**	**Maximum Floor Area (MFA) = FAR x GLA**	**Minimum Recreation Space (MSR) = RSR x GLA**
R-SS-CZD	1.10	.050	X			411,000	18,681
TOTAL	1.10						
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	☒ OWASA	☐ Individual Well	☐ Community Well	☐ Other
Sewer	☒ OWASA	☐ Individual Septic Tank	☐ Community Package Plant	☐ Other
Electrical	☒ Underground	☐ Above Ground		
Telephone	☒ Underground	☐ Above Ground		
Solid Waste	☒ Town	☐ Private		

CONDITIONAL ZONING APPLICATION SUBMITTAL REQUIREMENTS

TOWN OF CHAPEL HILL
Planning Department

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 968-2728 or at planning@townofchapelhill.org.

N/A	**Application fee** (including Engineering Review fee) (refer to fee schedule)	Amount Paid $	N/A
X	**Pre-application meeting** –with appropriate staff		
X	**Digital Files –** provide digital files of all plans and documents		
X	**Recorded Plat or Deed of Property**		
X	**Project Fact Sheet**		
X	**Traffic Impact Statement** – completed by Town's consultant (or exemption)		
N/A	**Description of Public Art Proposal,** if applicable		
X	**Statement of Justification**		
N/A	**Response to Community Design Commission and Town Council Concept Plan comments, if applicable**		
X	**Affordable Housing Proposal, if applicable**		
X	**Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan**		
X	**Mailing list of owners of property within 1,000 feet perimeter of subject property** (see GIS notification tool)		
N/A	**Mailing fee for above mailing list (mailing fee is double due to 2 mailings)**	Amount Paid $	N/A
X	**Written Narrative describing the proposal, including proposed land uses and proposed conditions**		
X	**Resource Conservation District, Floodplain, & Jordan Buffers Determination** – necessary for all submittals		
N/A	**Jurisdictional Wetland Determination – if applicable**		
TBD	**Resource Conservation District Encroachment Exemption or Variance (determined by Planning)**		
TBD	**Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)**		
X	**Reduced Site Plan Set (reduced to 8.5" x 11")**		

Stormwater Impact Statement (1 copy to be submitted)

a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
b) Description of land uses and area (in square footage)
c) Existing and proposed impervious surface area in square feet for all subareas and project area
d) Ground cover and uses information
e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
f) Time of concentration calculations and assumptions
g) Topography (2-foot contours)
h) Pertinent on-site and off-site drainage conditions
i) Upstream and/or downstream volumes
j) Discharges and velocities
k) Backwater elevations and effects on existing drainage conveyance facilities
l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
m) Water quality volume calculations
n) Drainage areas and sub-areas delineated
o) Peak discharge calculations and rates (1, 2, and 25-year storms)
p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
q) Volume calculations and documentation of retention for 2-year storm

r) 85% TSS removal for post-development stormwater runoff
s) Nutrient loading calculations
t) BMP sizing calculations
u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

a) Project name, applicant, contact information, location, PIN, & legend
b) Dedicated open space, parks, greenways
c) Overlay Districts, if applicable
d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
f) 1,000' notification boundary

Existing Conditions Plan

a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
b) Location of all existing structures and uses
c) Existing property line and right-of-way lines
d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
e) Nearest fire hydrants
f) Nearest bus shelters and transit facilities
g) Existing topography at minimum 2-foot intervals and finished grade
h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries

Detailed Site Plan

a) Existing and proposed building locations
b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
d) Location of existing and proposed fire hydrants
e) Location and dimension of all vehicle entrances, exits, and drives
f) Dimensioned street cross-sections and rights-of-way widths
g) Pavement and curb & gutter construction details
h) Dimensioned sidewalk and tree lawn cross sections
i) Proposed transit improvements including bus pull-off and/or bus shelter
j) Required landscape buffers (or proposed alternate/modified buffers)
k) Required recreation area/space (including written statement of recreation plans)
l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
m) Construction parking, staging, storage area, and construction trailer location
n) Sight distance triangles at intersections
o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
p) Easements
q) Clearing and construction limits
r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

a) Topography (2-foot contours)
b) Existing drainage conditions
c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
d) Proposed drainage and stormwater conditions
e) Drainage conveyance system (piping)
f) Roof drains
g) Easements
h) BMP plans, dimensions, details, and cross-sections
i) Planting and stabilization plans and specifications

Landscape Protection Plan

a) Rare, specimen, and significant tree survey within 50 feet of construction area
b) Rare and specimen tree critical root zones
c) Rare and specimen trees proposed to be removed
d) Certified arborist tree evaluation, if applicable
e) Significant tree stand survey
f) Clearing limit line
g) Proposed tree protection/silt fence location
h) Pre-construction/demolition conference note
i) Landscape protection supervisor note
j) Existing and proposed tree canopy calculations, if applicable

Planting Plan

a) Dimensioned and labeled perimeter buffers
b) Off-site buffer easement, if applicable
c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement

Steep Slope Plan

a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
b) Show and quantify areas of disturbance in each slope category
c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

a) Topography (2-foot contours)
b) Limits of Disturbance
c) Pertinent off-site drainage features
d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

a) Public right-of-way existing conditions plan
b) Streetscape demolition plan
c) Streetscape proposed improvement plan
d) Streetscape proposed utility plan and details
e) Streetscape proposed pavement/sidewalk details
f) Streetscape proposed furnishing details
g) Streetscape proposed lighting detail

Solid Waste Plan

a) Preliminary Solid Waste Management Plan
b) Existing and proposed dumpster pads
c) Proposed dumpster pad layout design
d) Proposed heavy duty pavement locations and pavement construction detail
e) Preliminary shared dumpster agreement, if applicable

Construction Management Plan

a) Construction trailer location
b) Location of construction personnel parking and construction equipment parking
c) Location and size of staging and materials storage area
d) Description of emergency vehicle access to and around project site during construction
e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

a) Description of how project will be 20% more energy efficient than ASHRAE standards
b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
c) Participation in NC GreenPower program
d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

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December 1, 2021

JAY STREET APARTMENTS – DEVELOPER'S PROGRAM
CONCEPT PLAN REVIEW

This Program accompanies a request for review of a Conditional Zoning Application by the Town of Chapel Hill.

Introduction

The Jay Street Apartment project is located south and west of Jay Street, to the east of the Southern Railroad rights-of-way, and is south of the Village West. The project is proposing is an Affordable Housing apartment units. The developer understands the significance of affordable and has done this successfully throughout North Carolina.

Site Description

The project area is described as Lot 1 and is approximately 7.5 acres. The site is mostly wooded, with some existing structures located near the center area of the parcel. Due to the existing topography and parcel location, the project is proposing a single access to Jay Street.

The project site is bounded by West Chapel Hill Cemetery to the north, a mix of existing single family and multi-family residential to the east and south, and the Southern Railroad to the west.

The site slopes significantly from west to east, with slopes becoming steeper to the south due to the close proximity to Tanyard Branch.

Site Access, Circulation, and Pedestrian Connectivity

The project will seek ingress/egress from the only public right-of-way adjacent to the property, Jay Street. Onsite parking will be provided for the apartments and a community building. A turnaround area will be provided at the southern end and will meet Town requirements.

The closest bus stops are located on Village Drive, but none are directly adjacent to the site.

The project will meet the requirements for recreational space, will align with the Greenway Master Plan, and is proposing a connection to the Tanyard Branch Trail.

Building Layout

The proposed structures are situated to meet buffer and setback requirements. The buildings are located in the central area of the property to provide separation from adjacent parcels and the RCD buffer area. The architectural elements will meet the LUMO requirements.

Environmental and Landscaping

The 7.5 acre site contains approximately 1.9 acres of protected RCD buffer area, extending 150' from Tanyard Branch along the south eastern property line. New landscaping and street trees will be provided

for the developed portion of the site. Required tree coverage, landscaping, and buffers will provide screening and visual interest.

Stormwater

The existing site currently does not have any stormwater treatment measures. The proposed development will comply with the current stormwater quality and quantity regulations. The project will comply with all sedimentation and erosion control requirements utilizing and on and offsite protection measures.

Utilities

The project site is currently served by OWASA for water and sewer services. The water and sewer services for the new apartment buildings will be designed to the most current standards and specifications.

12/1/2021

Conditional Zoning Application – Jay Street, Chapel Hill, NC
Statement of Justification

In late 2019, the Town of Chapel Hill released a Request for Qualifications seeking a qualified development team to develop affordable housing on three Town-owned parcels located on Jay Street. In 2020, the town selected a development partnership comprised of Chapel Hill-based Community Home Trust and Greenville, NC-based Taft-Mills Group and entered into a Memorandum of Understanding in March of 2021 to begin negotiating an agreement to develop the site. TMG and CHT are proposing the development of approximately 48 units of affordable housing, to be financed using low-income housing tax credits and tax exempt-bonds, on the +/- 7-acre site.

In proposing the development of the Jay Street parcel(s), TMG/CHT is seeking to rezone the property to allow for the development of the aforementioned community. This Statement of Justification is based on the Town of Chapel Hill's Land Use Management Ordinance ("LUMO") which was established to maintain sound, stable, and desirable development within the planning jurisdiction of the town. Further, the LUMO states that the zoning classifications shall not be amended except when one of the following situations exists: a) to correct a manifest error in the appendix, or b) because of changed or changing conditions in a particular area or in the jurisdiction generally, or c) to achieve the purposes of the comprehensive plan.

In seeking the requested zoning amendment, please consider the following as it pertains to Section 4 of the LUMO:

A. <u>To correct a manifest error in the appendix:</u>
Response: TMG/CHT does not believe that a manifest error exists in the appendix and, thus, this criteria is not applicable as it pertains to this request.

B. <u>Because of changed or changing conditions in a particular area or in the jurisdiction generally:</u>
Response: There is a significant existing and growing need for affordable housing in the Town of Chapel Hill. The desirability of the community has driven considerable growth that has failed to provide a sufficient amount of rental or home ownership units that are deemed affordable to residents in the Town of Chapel Hill. By securing the requested zoning amendment to allow for the development of the Jay Street parcel(s), residents of Chapel Hill will benefit through the provision of 48 additional units of high-quality affordable housing that does not presently exist in the market. In addition, the proposed amendment is consistent with the Town of Chapel Hill's Future Land Use Map which

envisions Medium Residential (generally 4-8 units per acre) for this area. The proposed development is anticipated to be approximately 6.9 units per acre.

C. <u>To achieve the purposes of the comprehensive plan:</u>

Response: The proposed amendment would help achieve the following elements of the comprehensive plan:

A. *A Place for Everyone*: One of the key components of this goal is to provide affordable housing. The proposed development will provide affordable housing in a community that is welcoming and family friendly.

B. *Community Prosperity and Engagement*: The Jay Street community will provide a safe, affordable community that will benefit residents and will be an asset to the surrounding community. By providing affordable housing, residents will strengthen their household's financial health by only spending a reasonable amount (~30% or less) of their household income on housing related expenses. In addition, the property's access to public transit will further strengthen the economic position of the household by providing cost effective transportation options that reduce the resident's reliance on vehicular travel (and the associated costs).

C. *Getting Around*: The Jay Street parcel, in addition to being served by public transportation, is uniquely positioned along the Tanyard Branch Trail ("the trail"). Access to the trail not only provides an opportunity for future residents to be more physically active by using the trail, it also provides non-vehicular access to other communities and amenities throughout the Town of Chapel Hill which promotes a more "active and connected" lifestyle.

D. *Good Places, New Spaces:* The proposed Jay Street site is nestled among an abundance of both single and multi-family homes, most of which are several decades old. Jay Street's location represents a unique opportunity to locate a newly-constructed affordable housing community in an area that is well located, served by public transit and is within a reasonable walking distance of the downtown districts of both Chapel Hill and Carrboro. The development, as proposed, uses just 50% of the parcel's total acreage, thus, providing a desirable amount of open (undisturbed) space which will benefit the future residents of Jay Street as well as surrounding neighbors. The proposed development also seeks to respect the "old/existing" uses in the surrounding area by designing a concept that is consistent with many of the surrounding multi-family uses.

E. *Nurturing Our Community:* The project will provide many sustainable design features that were selected to minimize the impact on the community while maximizing benefits for the residents and immediate neighbors. The developed site area was concentrated to provide contiguous areas of undisturbed tree coverage and minimize impervious area to mitigate stormwater demand. These natural areas buffer neighboring properties and provide open space that extends beyond the immediate site through a connection to the adjacent trail system. Demand on local utilities will be reduced because the development will be certified to the latest Energy Star standard (Multifamily New Construction) and compliance will be verified through a third-party rater through inspection testing. Materials are selected to require very low maintenance and have long service lives such as heavy-gauge vinyl siding, high efficiency vinyl windows, and 30-year anti-fungal asphalt shingles. Exterior wood products are minimized and

where exposed to weather will be wrapped with aluminum. Regionally appropriate materials will be selected and sourced where possible such as the brick veneer. Bathroom faucets, shower heads, and toilets will be Water Sense certified and the water heater will be a high efficiency electric model carrying a Uniform Energy Factor of 0.92 or better. A majority of the interior and exterior lighting will utilize high efficiency LED lamps. The refrigerator and dishwasher will be Energy Star rated. HVAC systems will be sized correctly for the unit needs and provide a minimum SEER rating of 14.5. Ceiling fans will be installed in all bedrooms and the living room providing the opportunity for reduced HVAC usage.

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March 23, 2021

Jay Street Apartments
Affordable Housing Development
Jay Street, Chapel Hill, NC 27516

STATEMENT OF COMPLIANCE
With the Chapel Hill 2020 Comprehensive Plan

The Chapel Hill Town Council has identified affordable housing as one of its strategic goals and is implementing a comprehensive plan to preserve and increase the availability of affordable housing. The approval of the $5.25 million funding plan is a major step in the Town's efforts to reach its affordable housing goals.

The Jay Street Apartments Affordable Housing project is proposed to be developed in accordance with the Chapel Hill 2020 Comprehensive Plan. We provide this statement of compliance to demonstrate adherence to the general concepts set forth in the CH2020 Comprehensive Plan. Two general concepts within CH2020 Comprehensive Plan fall under Community Vision and are noted as Community Choices and Community Connections. These are defined in the plan as:

Community Choices:
The community would like more choices about where and how people can live and house their families and more choices about how they travel through town. The community also would like more choices about where to shop and how to meet daily needs. Community members also would like choices about where they can work and play in Chapel Hill.

Community Connections:
The community also desires more connections and improved opportunities to meet others and to embrace the diversity of those who live, work, and play in the community. Community members want more connections in how they can get around and a real commitment to safe pedestrian and bicycle transportation. They want real connections between the decisions town leaders make and the ideals that the community has expressed in the Chapel Hill 2020 comprehensive plan. Chapel Hill wants a sense of connectedness from many perspectives.

The other components of the CH2020 Comprehensive Plan fall under the five **Big Ideas**:

1. **Implement a bikeable, walkable, green communities plan by 2020.**
2. **Create an entrepreneurial enterprise hub in the Rosemary Street Corridor.**
3. **Create entertainment/dining/arts hubs to capitalize on Chapel Hill's strengths as a recreational destination.**
4. **Increase the ratio of workforce housing by 2020 and develop a plan for student housing in the community.**

5. **Establish a structure to support community and neighborhood engagement in a proactive manner.**

Comprehensive Plan Themes

The new affordable housing development proposed off Jay Street is being designed to comply with the major themes developed within the Chapel Hill 2020 Comprehensive Plan.

A Place for Everyone
This theme is intended to explore and provide diversity and inclusion in a family-friendly, creative environment. It also focuses on the need for affordable housing. The Jay Street development is designed to provide affordable housing for inclusion of all within the community. It will also provide a community center within the project to offer a space to gather for a variety of programs and creative opportunities. The project will be a major step in the Town's efforts to reach its affordable housing goals.

Community Prosperity and Engagement
Part of the focus for this theme is to provide a safe, vibrant and connected community, as well as healthy neighborhoods. The development is designed to provide a safe location for the proposed apartment units, with good vehicular and pedestrian access. It will also provide additional connectivity to the existing Greenway Trail between McMasters Street and Jay Street and the Tanyard Branch Trail.

Getting Around
This theme focuses on all modes of transportation for an inclusive and connected community. The proposed development will offer pedestrian connectivity to the surrounding neighborhoods, as well as the Greenway Trail connecting to McMasters Street. Sidewalks will be provided throughout the site and a proposed extension of the Greenway will be reserved through the site. The site is also adjacent to an active Town of Chapel Hill Transit route and the residents will be able to take advantage of that service.

Good Places, New Spaces
This theme focuses on the various types of neighborhoods throughout Chapel Hill and providing a balanced respect for the old with the prospect of the new. Consideration is also given for open space and the rural buffer. The Jay Street development is located adjacent to some older single-family neighborhoods to the south and east, Village West Apartments to the north and Estes Park Apartments to the west on the other side of the railroad tracks. The development of this vacant property will provide a complimentary neighborhood with a similar balance among the surrounding properties. There is a stream that runs along the southeast side of the property and this area will be fully preserved as Open Space and a Resource Conservation District.

Nurturing Our Community

This theme is focused on environmental sustainability. The proposed development will have two 3-story buildings and a 1-story community building, which is a low density design for the 7.5 acre parcel. The remaining property will be preserved in Open Space and a Resource Conservation District buffer. The proposed impervious area for the project will only be 23% of the property and there will be a significant amount of existing tree canopy preserved on the site. Water quality will also be preserved with the design and installation of Stormwater Control Measures per the requirements of NCDEQ and the Town of Chapel Hill Stormwater Management Program.

Town and Gown Collaboration

This theme focuses on collaboration with the University of North Carolina as well as the UNC Health Care System. While this project is not close in proximity to the UNC Campus, it will provide affordable housing opportunities for both students and university and staff. As previously discussed, it will have access to Greenway and Bicycle routes, as well as bus service, so getting to the campus will be out of reach. Both of these means of transportation will help promote active lifestyle opportunities to include walking to a bus stop or cycling through Town to the campus.

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January 3, 2022

JAY STREET APARTMENTS – AFFORDABLE HOUSING PLAN

The Chapel Hill Town Council has identified affordable housing as one of its strategic goals and is implementing a comprehensive plan to preserve and increase the availability of affordable housing.

In June 2018, the Town of Chapel Hill Council prioritized three Town-owned sites for affordable housing and authorized the Town Manager to pursue affordable housing on those sites. This property, on Jay Street, was one of those locations. Town Staff proposed the following goals for the Jay Street site based on Council feedback, Council's FY2020-22 Strategic Goals & Objectives, and the Town's affordable housing policies and goals:

- Provide housing affordable to a range of income levels with priority for units serving households earning 60% or less of Area Median Income
- Maintain long term affordability
- Minimize need for Town funding through leverage of outside funding
- Utilize environmentally friendly and sustainable principles for development
- Facilitate connections within the community and surrounding neighborhood

The conditional zoning application proposes 48 affordable rental units serving households earning from below 30% to 80% Area Median Income (AMI). The apartments will range from 1-bedroom units to 4-bedroom units. The units will be affordable for at least 30 years.

The apartments will be available to low and moderate-income households that meet the respective development partners' eligibility requirements. In addition, the range of unit sizes and types will provide opportunities to serve several target populations, including persons with disabilities, individuals or families transitioning out of homelessness, holders of housing vouchers, survivors of domestic violence, and veterans, among others.

The apartments will be developed by the Taft-Mills Group. "Taft-Mills' primary focus is delivering high-quality, affordable rental housing developments that blend seamlessly into the communities in which they are located. Possessing a specialized knowledge of Housing Tax Credits, Tax-Exempt Bonds, State and Federal Housing Programs, and various other forms of debt/equity structures, Taft-Mills develops communities that are attractive, safe, and affordable to both families and seniors of modest means."

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Memo

To: Becky McDonnell, Senior Planner
From: Timothy A. Smith, PLS, PE
cc: Dustin Mills, Taft Mills Group
Date: January 5, 2022
Re: **Jay Street Apartments – Modification to LUMO Regulations**

As part of the design for the Jay Street Apartments Affordable Housing project, we are proposing a total amount of parking that is above the maximum allowed by Article 5.9 of the Town of Chapel Hill Land Use Management Ordinance. (LUMO) We feel that there is justification for this additional parking and are therefore submitting this request for a modification to the regulations. The specific details of our request are as follows:

- Maximum Allowed parking:

  12 - 3 BR UNITS = 12 X 2.25 SP / 3 BR UNIT = 27SPACES
  27 - 2 BR UNITS = 27 X 1.75 SP / 2BR UNIT = 48 SPACES
  9 - 1 BR UNITS = 9 X1.25 SP / 1 BR UNIT = 12 SPACES
  PUBLIC USE FACILITY = 6 SPACES
  TOTAL MAX. REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN) = 93 SPACES

- Proposed Total Parking:

  90 REGULAR SPACES (INCL. 7 FOR GUEST PARKING)
  10 ACCESSIBLE (5 VAN SPACES)
  TOTAL: 100 SPACES

As noted in the proposed total parking data, we are requesting a modification to the regulations to allow for seven (7) additional parking spaces at the location of the Community Building. This building will be used as a facility for the residents of the development, but will also be used as a meeting space for the surrounding community for various activities and community meetings, etc. When those events occur, we would like to allow for additional parking that would not interfere with the dedicated parking for the residents. We therefore respectfully ask for consideration and approval of this modification request.

Sincerely,

Timothy A. Smith, P.E.
Senior Project Manager
Summit Design and Engineering Services

Jay Street Apartments – Affordable Housing
Town Council Meeting – 6/21/2021

Council Comments and Applicant Responses:

- IZ units are mostly offered at higher income levels - not moving the needle for lower income brackets. Would like for Council to find housing solutions for that income bracket.
  Applicant Response: **This project will serve households earning between 30% and 80% of AMI**

- We have a desperate need for affordable housing, especially in locations closer to downtown, and hope this project can move forward.
  Applicant Response: **This project will be 100% affordable, serving households earning between 30% and 80% of Area Median Income, with a majority below 60% of Area Median Income.**

- Challenging area. Jay St doesn't have capacity or condition to make the community work. Need more transit to make it accessible, and more pedestrian and bike connections.
  Applicant Response: **The project will be providing a pedestrian connection to the Tanyard Branch Greenway Trail and will also provide a sidewalk connection from the point of access on Jay Street out to Village Drive.**

- Appreciate you're planning to preserve much of the site. Would like to see development move with the terrain of the site.
  Applicant Response: **The development has been aligned with the existing terrain of the site as much as possible and yes, has been consolidated to the north end of the property to preserve as much of the site as possible, including the RCD area.**

- Would ask as engineers look at things to see if you can get up to a 50-year storm capacity.
  Applicant Response: **We have currently designed the stormwater control measures to meet the 1,2 and 25 year storm events, but will look further to see if the 50-year storm can also be controlled without having to disturb or clear more of the site.**

- Parking seems high - could de-couple parking
  Applicant Response: **The required maximum parking for the unit mix is 93 total spaces. We're proposing a total of 100 spaces, including 10 handicap spaces. The additional 7 spaces have been provided for guest parking at the community building to accommodate community events and meetings without taking parking away from the residents.**

- Pedestrian road infrastructure is an issue - need to make sure it works.
  Applicant Response: **As part of this project, the front section for Jay Street out to Village Drive will be improved to a 27' B-B curb width, with a 5-ft. sidewalk connection.**

- Take advantage of our urban designer.
  Applicant Response: **We have met with him during the development of the concept plan and plan to meet with him again as we finalize the site plan, and again when incorporating feedback from advisory boards.**

- Would suggest flipping the building closer to the community building and put the parking lot behind the large building - would make parking less visible.
  Applicant Response: **The plan has been designed to minimize the visibility of the parking lot areas as much as possible. The northern lot will be between Building #1 and the community building; the lower parking lot will be below the elevation of the railroad and above the elevation of the properties to the east.**

- Would like to see stoops incorporated into building design.
  Applicant Response: **Each unit will have a porch/patio that will provide each resident with their own dedicated open-air space. Each porch/patio will also include a storage area that serves each specific residential unit.**

- Car and pedestrian safety is a critically important question we will need an answer to move forward.
  Applicant Response: **We will be constructing a sidewalk connection from the project entrance on Jay Street out to the intersection of Village Drive. We will also be widening Jay St. to a width of 22-ft and adding curb and gutter for a total width of 27-ft. This will bring the road up to the Town's design standards.**

- Look at if it makes sense to include community center in a building.
  Applicant Response: **We have investigated this option but found that for the Community Center building to function for the most uses and flexibility, a separate building works the best. It also serves as an anchor for the rest of the recreation facilities for the development.**

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Memo

To: Town of Chapel Hill Planning Department
Becky McDonnell, Senior Planner
From: Timothy A. Smith, PLS, PE
cc: Judy Johnson, Assistant Planning Director
Date: January 31, 2022
Re: Jay Street Apartments – Future Greenway Trail Design Abstract

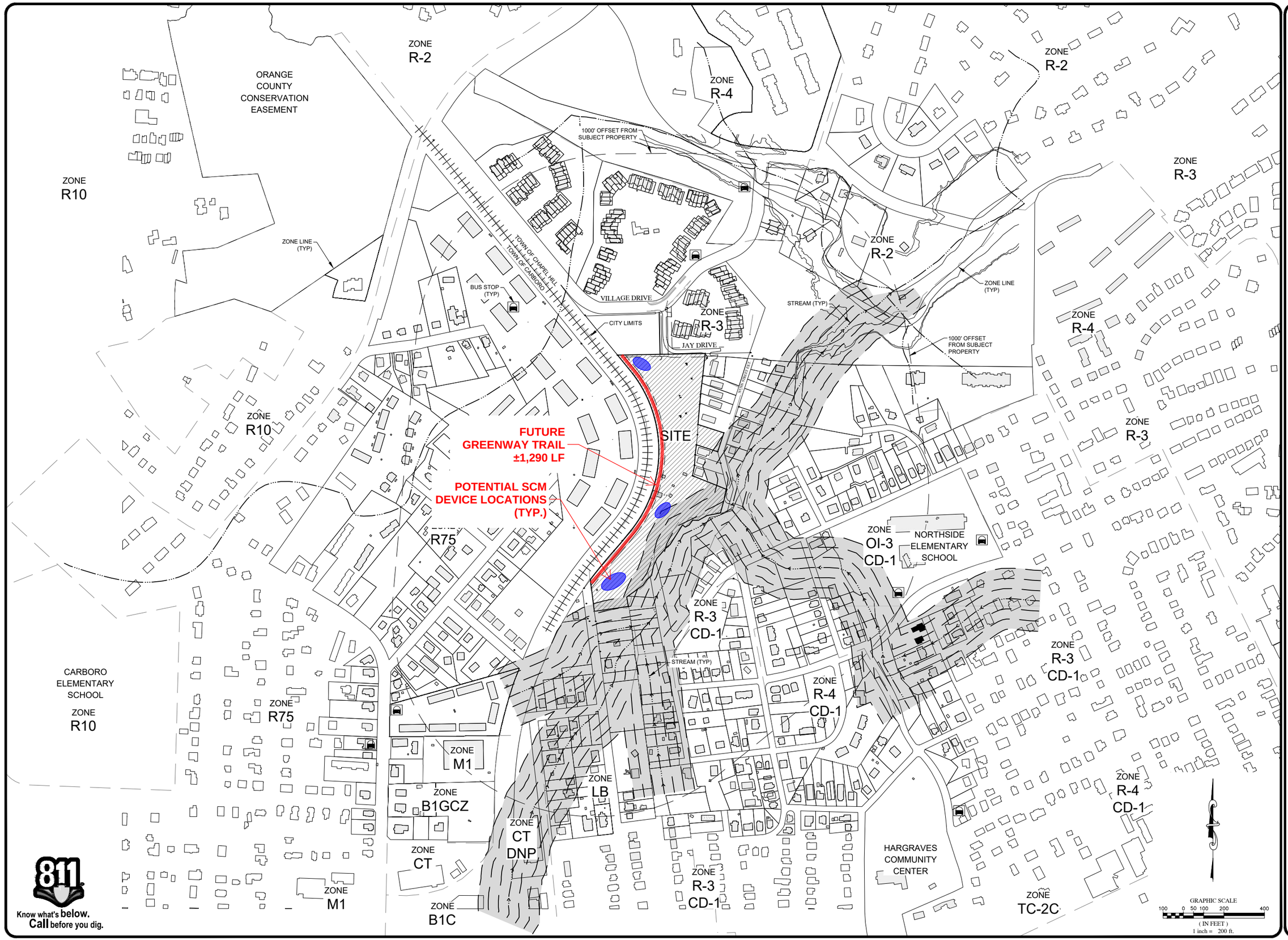
---

As part of the Jay Street Apartments project, we have investigated the option for the construction of a future greenway trail along the west side of the property adjacent to the railroad tracks. There is an existing 30-ft. wide Greenway Easement along the railroad right-of-way intended for the expansion of the Town of Chapel Hill's Greenway Trail system. In conjunction with the planned development of the Jay Street Affordable Housing project, an initial investigation of this future greenway trail produced the following data and conditions:

- The trail would be approximately 1,290-ft. long, running from the north end of Broad St. along the eastern edge of the railroad tracks, north to the southern boundary line of the West Chapel Hill Cemetery property.
- A greenway trail 10-ft. wide would result in an estimated total impervious surface area of ±12,900 sq. ft.
- The runoff from the trail and impervious surface would need to be controlled with Stormwater Control Measure (SCM) devices. The development area of Jay Street Apartments does not have sufficient room to control this runoff, so additional SCM devices would need to be installed as part of the greenway construction. (See attached Exhibit for potential SCM locations)
- The existing topography would provide for adequate drainage to capture the runoff and direct it to the proposed SCM locations.
- The proposed design of Jay Street Apartments would allow for a connection to this future greenway at the northwest corner of the project.

This initial investigation for the future greenway indicates a strong feasibility for construction within the current dedicated easement and in conjunction with the design of the Jay Street Apartments project. Additional study work will need to be done to determine estimated budget costs for the funding of the project.

Attachments: Exhibit Map



811 Know what's below. Call before you dig.

7			
6			
5			
4			
3	CZA COMMENTS #2	1/31/2022	DMC
2	CZA COMMENTS #1	1/14/2022	DMC
1		DATE	BY

REVISIONS

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PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.COM)
PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)
DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)

FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 045917 TIMOTHY A. SMITH
PRELIMINARY

SUMMIT DESIGN AND ENGINEERING SERVICES
Some Kalamazoo St. #-0.0.0
5500 Meadowview Drive
Raleigh, NC 27612
Phone: (919) 782-1276
Fax: (919) 782-0476
www.summitdesign.com

SITE PLANS FOR JAY STREET APARTMENTS

JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

FUTURE GREENWAY EXHIBIT MAP

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_AREA MAP.dwg

SHEET NO.
C-4

20050930000341590 CM/D
Bk:RB3881 Pg:129
09/30/2005 01:36:23PM 1/4

Orange County NC 09/30/2005
State of North Carolina
Real Estate Excise Tax
Excise Tax: $2100.00

FILED Joyce H. Pearson
Register of Deeds Orange COUNTY,NC
BY:
Deputy Linda Clark

1-9776-99-6541 7.128.B.29B
5-9788-09-0009 7.94.B.27
32 2-9777-71-9117 7.128.A-6
AB 3-9788-09-2556 7.94.B-2
4-9788-09-1257 7.94.B.5
9788-09-1232 7.94.B.6

This instrument drafted by: Gregory Herman-Giddens, 205 Providence Road, Chapel Hill, NC 27514
(Prepared without benefit of title examination)

After recording, return to: Town of Chapel Hill, 405 Martin Luther King, Jr. Blvd., Chapel Hill, NC 27514

Revenue Stamps: $2,100.00

NORTH CAROLINA)
) **COMMISSIONER'S DEED**
ORANGE COUNTY)

This deed, made and entered into **this** 29 **day of September, 2005**, by and between **Gregory Herman-Giddens** acting as Commissioner as hereinafter stated ("Grantor"); and **The Town of Chapel Hill**, a municipality organized and existing under the laws of the State of North Carolina; whose address is 405 Martin Luther King, Jr. Boulevard, Chapel Hill, NC 27514.

WITNESSETH:

That whereas, in a certain special proceeding entitled "Clarice Eula Merritt Brickhouse and spouse, David M. Brickhouse; Marjorie Ida Merritt, unmarried; William Hubert Merritt and spouse, Cathy L. Merritt; Martha Arvilla Merritt, unmarried; Carolyn Ann Merritt, unmarried; Andrew Seaton Holt, III and spouse, Alice Lee Holt; Edward Eugene Holt, unmarried; Barbara McElduff Browning and spouse, Robert M. Browning; Estate of Annie Willie Greeson, unmarried; Estate of Alfred Willie Sparrow, unmarried; Thurman Andrew Sparrow and spouse, Dorothy B. Sparrow; Brenda Louise Greeson Munford and spouse, John W. Munford; James William Greeson and spouse, Helen Elizabeth Yeatts Greeson; Audrey Lee Greeson Ledbetter and spouse, William C. Ledbetter, **Petitioners**, vs. Furman E. Coggins, Administrator of the Estate of Leo V. Merritt; E. Louise Stone Blackwood and spouse (if any); Jean Stone Miller and spouse (if any); Lurline Stone Whitaker and spouse (if any); Howard E. Stone, Jr. and spouse (if any); Carol S. Stone Fogleman and spouse (if any); William Edgar Stone and spouse (if any); Duke Stone and spouse (if any); Millie Andrews Shepherd and spouse (if any); Billy Ray Andrews and spouse (if any), **Respondents**," brought and pending before the Clerk of the Superior Court of Orange County, North Carolina (**File No. 05-SP-10**), an order was made by said court appointing said Grantor as Commissioner, to sell at private sale subject to confirmation of the court the lands hereinafter described; and whereas said Grantor, acting as Commissioner as aforesaid, on July 21, 2005 reported to said court a contract for the sale of the lands hereinafter described to said Grantee at the price of **One Million Fifty Thousand & 00/100 Dollars ($1,050,000.00)**, and recommended that said sale be confirmed by the court, and whereas, said court on July 25, 2005 entered an order approving and confirming the contract for sale and directing said Grantor as Commissioner to make execute, and deliver unto said Grantee a good and sufficient deed for said lands upon the payment to him of one-half of the purchase price and receipt of a duly executed note and deed of trust for the balance of the purchase price;

Now, therefore, said Grantor, acting as Commissioner as aforesaid, under authority of said order of court and in consideration of the said purchase price of **One Million Fifty Thousand & 00/100 Dollars ($1,050,000.00)** has

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bargained and sold and by these presents does grant, bargain, sell, and convey unto said Grantee and its assigns the certain tracts or parcels of land lying and being in the County of Orange and State of North Carolina, in Chapel Hill Township, and more particularly described and bounded as follows:

TRACT 1: **BEGINNING** at an existing iron pin on the southwestern corner of the N/F Slomianyj's property (DB 3759, Pg. 398) See PB 92, Pg. 12; said point also being the northwesternmost corner of this tract; thence from said point of beginning and with the southern line of the N/F Slomianyj's property, S. 87°45'37" E. 160.12 ft. to a new iron pin on the N/F Cates (DB 3183, Pg. 409) corner; thence with the Cates western line, S. 04°43'10" W. 287.72 ft. to a new iron pin; said iron pin being N. 87°45'37" W. 68.51 ft. from an existing iron pin on Obey's Creek, the N/F Oldham's northeast corner; thence with the N/F Oldham line, N. 87°45'37" W. 160.12 ft. to an existing iron pin on the "Old Merritt School Road" eastern line; thence with the aforementioned Old Merritt School Road, N. 04°43'10" E. 287.72 ft. to the point and place of **BEGINNING, CONTAINING 1.06 ACRES** more or less.

TRACT 2: **BEGINNING** at an existing iron pin on the south bank of a small creek, said point also being the northwesternmost corner of the N/F Cole property (DB 223, Pg. 1463) See PB 17, Pg. 78; thence from said point of beginning, N. 50°47'21" E. 370.09 ft. (See PB 83, Pg. 20) to an existing iron axel at the N/F Hester corner; thence with the Hester line, S. 36°42'05" E. 813.87 ft. to an existing iron pin; thence continuing along the same course, S. 36°42'05" E. 849.47 ft. to a new iron pin on the new northern right-of-way of Hwy. 15-501; thence with the northern right-of-way of 15-501, S. 06°21'09" W. 178.69 ft. to a point of curvature; thence curving to the left, said curve having a radius of 2,355.64 ft., an arc distance of 117.83 ft. and a chord of S. 58°55'06" W. 117.82 ft. to a new iron pin; thence leaving said 15-501 right-of-way and with N/F Cole line (DB 2510, Pg.161), N. 39°22'04" W. 514.47 ft. to an existing iron pin; thence continuing along the same course, N. 39°22'04" W. 1,100.92 ft. to the point and place of **BEGINNING, CONTAINING 12.43 ACRES,** more or less.

TRACT 3: **BEGINNING** at a point on the southern right-of-way of Jay Street, said point being S. 89°37'30" W. 537.61 ft. from an existing iron on the N/F Town of Chapel Hill Cemetery property at the eastern right-of-way of the Southern Railroad; thence from said point of beginning and with the right-of-way of Jay Street, S. 89°37'30" W. 119.07 ft. to an existing iron pin at the right-of-way intersection with the Nunn Street Extension; thence with the western right-of-way of Nunn Street Extension, S. 20°25'12" W. 161.64 ft. to a new iron pin on the AM Properties lot line; thence N. 70°08'19" W. 81.49 ft. to a new iron; thence N. 06°28'32" E. 123.81 ft. to the point and place of **BEGINNING, CONTAINING 0.32 ACRES,** more or less.

TRACT 4: **BEGINNING** at an existing iron pin on the southwest corner of the N/F AM Properties lot said EIP also being S. 48°34'03" E. 524.22 ft. from an existing iron at the southwest corner of the Old Chapel Hill Cemetery and the southern railroad right-of-way; thence from said point of beginning and with the N/F AM Properties line, S. 71°43' 25" E. 134.17 ft. to a new iron pin; thence S. 18°16' 35" W. 98.87 ft. to an existing iron pin; thence with the N/F Johnson line (DB 394, Pg. 449), N 71°04' 38" W. 110.13 ft. to an existing iron pin; thence N 05°00' 01" E. 100.31 ft. to the point and place of **BEGINNING, CONTAINING 0.28 ACRES, AND BEING ALL OF LOTS 11 & 12** and the same lots described in Deed Book 1812, Page 172, Orange Registry (Lot 11) and Deed Book 1598, Page 373, Orange Registry (Lot 12). TO REMAIN AS LOTS 11 AND 12 LUTHER EDWARD PROPERTY SHOWN IN PLAT BOOK 64 AT PAGE 75. THESE LOTS ARE TO REMAIN SEPARATE AND APART AND DOES NOT CREATE A MERGER.

TRACT 5: **BEGINNING** at an existing iron pin on the eastern right-of-way of the southern railroad, said iron is also the southwesternmost corner of the N/F Chapel Hill Cemetery (DB 221, Pg. 791); thence from said point of beginning and with the eastern right-of-way of the railroad, S. 38°39'46" E. 66.98 ft. to a point of curvature; thence continuing with the right-of-way and curving to the right an arc distance of 934.06 ft. to a point, said curve having a radius of 633.59 ft. and a chord of S. 01°08'24" W. 851.75 ft; thence with said right-of-way, S. 38°55' 28" W. 7.47 ft. to a point of curvature; thence curving to the left an arc distance of 245.26 ft. to a point on the eastern right-of-way of Broad Street, said curve having a radius of 2,671.92 ft. and a chord bearing of S.

40°30'58" W. 245.17 ft.; thence leaving said railroad right-of-way and with the eastern right-of-way of Broad Street, S. 06°31' 59" E. 163.43 ft. to a new iron pin at the N/F Austin property; thence leaving said Broad Street right-of-way and with the Austin line (DB 461, Pg. 294), N. 83°26'40" E. 161.67 ft. to a new iron pin; thence N. 08°58'54" W. 47.10 ft. to an existing iron pipe (EIP) at a creek; thence down the creek and with N/F Town of Chapel Hill property (PB 92, Pg. 169) and N/F. A.M. Properties (PB 80, Pg. 127) lines the following calls: N. 54°31'30" E. 99.19 ft. to a point; thence N. 36°23'43" E. 31.74 ft. to an EIP; thence N. 47°33'23" E. 32.00 ft. to a point; thence N. 12°45'21" E. 50.00 ft. to a point; thence N. 25°13'13" E. 39.74 ft. to a point; thence N. 41°33'00" E. 75.87 ft. to a point; thence N. 57°04'12" E. 17.93 ft. to a point; thence N.32°51'22" E. 114.99 ft. to a point; thence S. 50°44'50" E. 17.30 ft. to a point; thence N. 62°21'53" E. 22.10 ft. to a point; thence N. 36°23'15" E. 29.27 ft. to a point; thence S. 87°38'17" E. 28.13 ft. to a point; thence N. 61°19'04" E. 48.64 ft. to a point; thence N. 81°38'07" E. 35.82 ft. to a point; thence N. 77°32'57" E. 32.00 ft. to a new iron pin; thence leaving said creek and with the northern right-of-way of Nunn Street Extension (PB ___, Pg. ___), N. 16°01'34" E. 121.39 ft. to an EIP; thence leaving said right-of-way and with the N/F A.M. Properties line, N. 68°12'21" W. 177.18 ft. to an EIP; thence N. 05°49' 15" E. 155.28 ft. to an EIP at the N/F Johnson property (DB 394, Pg. 449); thence N. 05°00'10" E. 100.31 ft. to an existing pin at the southwestern corner of N/F A.M. Properties tract (PB 85, Pg. 192); thence with the A.M. Properties line, N. 05°49'16" E. 351.51 ft. to a new iron pin on the southern right-of-way of Jay Street; thence with the southern right-of-way of Jay Street, S. 89°37'30" W. 428.68 ft. to the place and point of **BEGINNING, CONTAINING 7.50 ACRES,** more or less.

All tracts hereby conveyed are described in a survey of the Leo V. Merritt Property by Thomas F. Bick, dated August 12, 2005, and on file with the Town of Chapel Hill."

To have and to hold said lands and premises, together with all privileges thereunto belonging to it the said Grantee and its assigns in as full and ample a manner as said Grantor as Commissioner as aforesaid is authorized and empowered to convey the same.

In Testimony Whereof, said Grantor, acting as Commissioner as aforesaid, has hereunto set his hand and seal the day and year first above written.

Gregory Herman-Giddens (SEAL)
Gregory Herman-Giddens, Commissioner

STATE OF NORTH CAROLINA - COUNTY OF ORANGE

I, the undersigned Notary Public of the County and State aforesaid, certify that **Gregory Herman-Giddens, Commissioner,** personally appeared before me this day and acknowledged the due execution of the foregoing instrument for the purposes therein expressed. Witness my hand and Notarial stamp or seal this 29th day of September, 2005.

Jill C. Addison
Notary Public

My Commission Expires: 9-26-2006

JILL C. ADDISON NOTARY PUBLIC DURHAM COUNTY, NC

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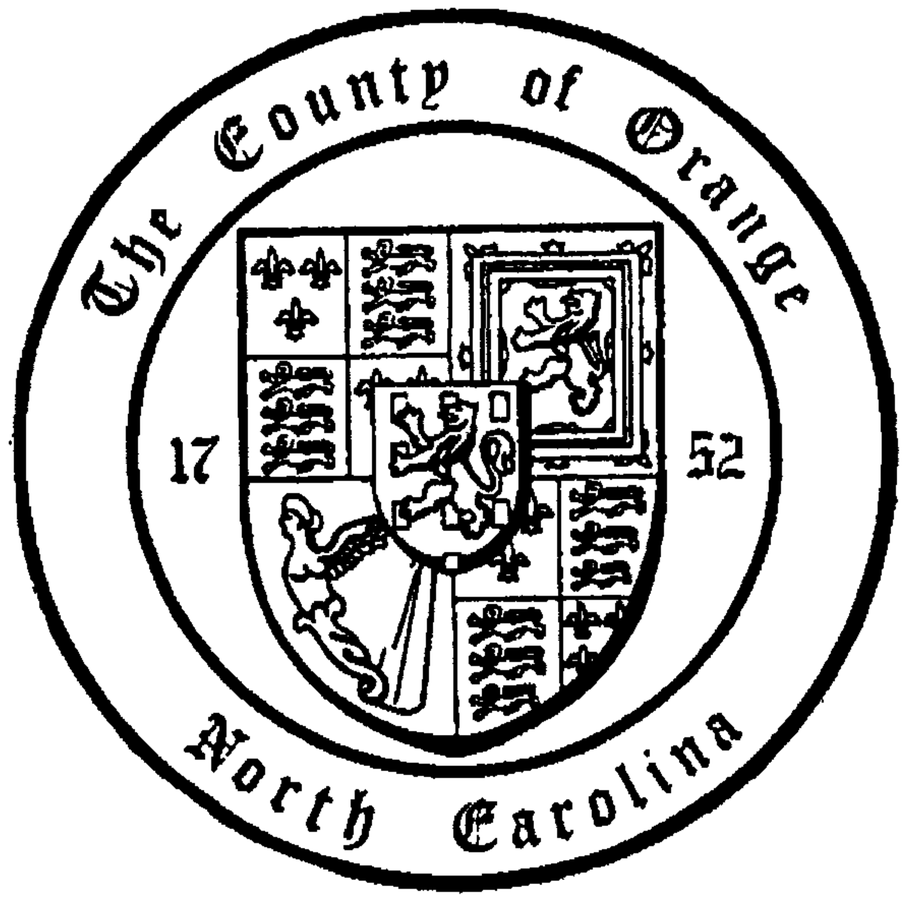


Joyce H. Pearson
Register of Deeds
Orange County
North Carolina

State of North Carolina, County of Orange

The foregoing certificate(s) of JILL C ADDISON, NOTARY PUBLIC for the Designated Governmental units is/are certified to be correct. See filing certificate herein.

This day September 30, 2005.

Joyce H. Pearson, Register of Deeds

BY: Linda Perkins
Deputy / ~~Assistant~~ Register of Deeds

Yellow probate sheet is a vital part of your recorded document. Please retain with original document and submit for recording.

CONDITIONAL ZONING APPLICATION

FOR

JAY STREET APARTMENTS

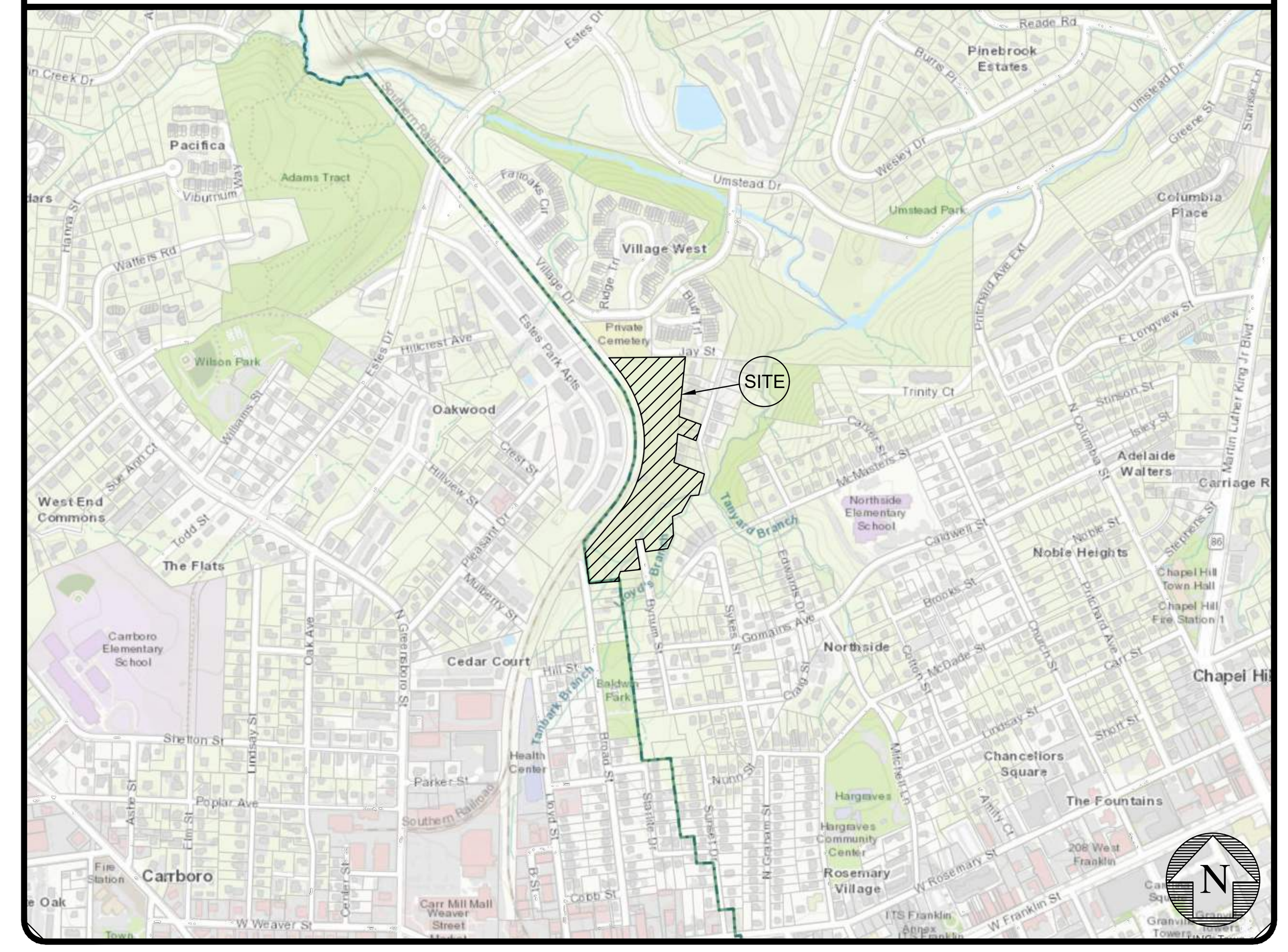
JAY STREET
CHAPEL HILL, NORTH CAROLINA 27516

DATE: DECEMBER 1, 2021
REVISED: JANUARY 4, 2022 - CZA COMMENTS #1
REVISED: JANUARY 31, 2022 - CZA COMMENTS #2

PIN#'s: 9778999279, 9788091257 and 9788091232

VICINITY MAP

NOT TO SCALE



CURRENT OWNER

TOWN OF CHAPEL HILL
405 MARTIN LUTHER KING JR. BLVD.
CHAPEL HILL, NORTH CAROLINA 27514

DEVELOPER/FUTURE OWNER

TAFT-MILLS GROUP
631 DICKINSON AVENUE
GREENVILLE, NC 27834
Mr. DUSTIN MILLS
(252) 916-2691
dustin@taftmillsgroup.com

SURVEY CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES
THOMAS TELLUP, PLS
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
THOMAS.TELLUP@SUMMITDE.COM

ENGINEER CONTACT

SUMMIT DESIGN & ENGINEERING SERVICES
TIMOTHY A. SMITH, PE, PLS
320 EXECUTIVE COURT
HILLSBOROUGH, NC 27278
(919) 732-3883 (PHONE)
(919) 732-6676 (FAX)
TIM.SMITH@SUMMITDE.COM

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SITE INFORMATION

CURRENT OWNERS: TOWN OF CHAPEL HILL

PIN: 9778999279, 9788091257 and 9788091232

NET LAND AREA: 339,670 SF (7.798 ACRES)
GROSS LAND AREA: 373,637 SF (8.577 ACRES)

REFERENCE:
DB/PG: 3881/129

PLANNING
JURISDICTION: TOWN OF CHAPEL HILL

EXISTING ZONING: R-3
PROPOSED ZONING: R-SS-C

EXISTING USE: VACANT

PROPOSED USE: RESIDENTIAL - APARTMENTS

TOTAL NUMBER OF UNITS : (12) 3 BEDROOM UNITS,
(27) 2 BEDROOM UNITS
(9) 1 BEDROOM UNITS
TOTAL: 48 BEDROOM UNITS
DENSITY: 4.53 UNITS/ACRE

BUILDING SETBACKS:
STREET 10'
SIDE 0'
REAR 0'
MAX BUILDING HEIGHT: 39' Setback, 60' Core

PARKING:
REQUIRED MIN: 12 - 3 BR UNITS = 12 X 1.75 SP / 3 BR UNIT = 21 SPACES
27 - 2 BR UNITS = 27 X 1.40 SP / 2BR UNIT = 38 SPACES
9 - 1 BR UNITS = 9 X1.00 SP / 1 BR UNIT = 9 SPACES
PUBLIC USE FACILITY = 2,032 SF @ 1/350 SF = 6 SPACES
TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN) = 74 SPACES

REQUIRED MAX: 12 - 3 BR UNITS = 12 X 2.25 SP / 3 BR UNIT = 27SPACES
27 - 2 BR UNITS = 27 X 1.75 SP / 2BR UNIT = 48 SPACES
9 - 1 BR UNITS = 9 X1.25 SP / 1 BR UNIT = 12 SPACES
PUBLIC USE FACILITY = 6 SPACES
TOTAL REQUIRED SPACES (INCL. 10 ACCESSIBLE (5 VAN) = 93 SPACES

PROVIDED: 90 REGULAR SPACES (INCL. 7 FOR GUEST PARKING)
10 ACCESSIBLE (5 VAN SPACES)
TOTAL: 100 SPACES

REQ'D BICYCLE PARKING: 48 DWELLING UNITS @ 1 PER 4 UNITS = 12 BICYCLE
PUBLIC USE FACILITY = 8 BICYCLES
TOTAL = 20 BICYCLE
PROVIDED BICYCLE: 27 SPACES

RIVER BASIN: CAPE FEAR
WATERSHED: BOLIN CREEK UNPROTECTED WATERSHED
SOILS: IrB, IuB, EnC & WmE

IMPERVIOUS AREAS:
EXISTING:
BUILDING: -2,197 SF (0.588%) (TO BE DEMOLISHED)
PROPOSED:
BUILDING: 23,566 SF
SIDEWALK/CONCRETE: 9,505 SF
ASPHALT/ CURB & GUTTER: 46,562 SF
TOTAL 79,633 SF (1.83AC) 21.31 % IMPERVIOUS

TOTAL DISTURBED AREA ON SITE: = 152,189 SF (3.49 AC.)
DISTURBED AREA OF SLOPES >25%: 11,406 SF
DISTURBED AREA WITHIN RCD: = 3,260 SF (NATURE PATH)
DISTURBED AREA WITHIN JORDAN BUFFER: = 3,914 SF (NATURE PATH)

RECREATION SPACE:
REQUIRED: (GLA X .050); 373,637 X .050 = 18,681 SF

PROPOSED:		
	CLUBHOUSE	2,032
	PLAYGROUND	960
	PICNIC SHELTER	264
	LAWN AREAS	3,000
	TRAIL CONNECTOR	2,400
TOTAL:		11,567 SF

REMAINING BALANCE OF 7,114 SF TO BE MET BY MEANS OF A PAYMENT-IN-LIEU. (AMOUNT TO BE DETERMINED BY TOWN COUNCIL)

PUBLIC SERVICE CONTACTS :

WATER/SEWER: OWASA
NICK PARKER
400 JONES FERRY ROAD
CARRBORO, NORTH CAROLINA 27510
N.PARKER@OWASA.ORG
(919) 537-4201

FIRE: TOWN OF CHAPEL HILL
MATT SULLIVAN, CHIEF
403 MARTIN LUTHER KING Jr. BLVD
CHAPEL HILL, NC 27514
PHONE: 919-968-2814
msullivan@townof chapelhill.org

ELECTRIC: DUKE ENERGY
SHANE SMITH
(919) 687-3385
SHANE.SMITH2@DUKE-ENERGY.COM

TELEPHONE: AT&T
ALVA L. NICHOL JR.
(919) 785-7758 / (919) 601-1205
AN5696@ATT.COM

GAS: PSNC ENERGY
BRIAN SMITH
(919) 598-7454
BRIAN.SMITH@SCANA.COM

TV CABLE: SPECTRUM CABLE
GEORGE STOTLER
(919) 427-5506
GEORGE.STOTLER@TWCABLE.COM

SOLID WASTE: ORANGE COUNTY SOLID WASTE MANAGEMENT
JEFF SCOUTEN
1207 EUBANKS ROAD
CHAPEL HILL, NC 27516
(919) 968-2788

PLANNING: TOWN OF CHAPEL HILL
JUDY JOHNSON
ASST. PLANNING DIRECTOR
(919) 969-5078
jjohnson@townofchapelhill.org

811 Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

	REVISIONS	DATE	BY
1	CZA COMMENTS #1	1/4/2022	DMC
2			
3			
4			
5			
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7			

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SUMMIT DESIGN AND ENGINEERING SERVICES

DRAWING ALTERATION
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.COM)
PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)
DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
PRELIMINARY
NORTH CAROLINA PROFESSIONAL SEAL 030517 ENGINEER TIMOTHY A. SMITH

SUMMIT
DESIGN AND ENGINEERING SERVICES
State License #: P-0339
320 Executive Court
Hillsborough, NC 27278
Voice: (919) 732-3883 Fax: (919) 732-6676
www.summitde.com

SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

COVER SHEET

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_CS.dwg
SHEET NO.
C-1

GENERAL NOTES:

1. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF ANY EXISTING UNDERGROUND UTILITIES AND STRUCTURES SHOWN HEREON IS NOT GUARANTEED.
2. LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES AND NC811 PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED CROSSINGS WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. CONSTRUCTION/DEMOLITION; ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
4. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR FINAL ACCEPTANCE, APPLICANT SHALL REPLACE ANY TREES SHOWN AS PRESERVED-PROTECTED ON THE LANDSCAPE PROTECTION PLAN THAT HAVE DIED OR ARE IN POOR HEALTH AS A RESULT OF LAND DISTURBING ACTIVITIES.
5. ALL DIMENSIONS SHALL BE TO FACE OF CURB UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL MAINTAIN ANY ACCESSES TO ADJACENT RESIDENCES, BUSINESSES, AND PROPERTIES AT ALL TIMES AND NOTIFY THEM OF ANY DISRUPTIONS OF SERVICE OR ACCESS WITH A 24-HOUR NOTICE.
7. CONSTRUCTION ON THIS PROJECT SHALL BE IN ACCORDANCE WITH ALL APPLICABLE AND THE MOST CURRENT TOWN, COUNTY, STATE, DOT AND UTILITY PROVIDER STANDARDS, SPECIFICATIONS, AND BUILDING CODES.
8. ANY SUBSTITUTIONS, CHANGES, OR MODIFICATIONS SHALL BE APPROVED BY THE PROJECT ENGINEER, PLANNING DEPARTMENT STAFF, AND DEVELOPER PRIOR TO INSTALLATION/CONSTRUCTION OF CORRESPONDING ITEMS. THE CONTRACTOR SHALL WAIVE ANY ADDITIONAL COSTS CLAIMS FOR SUBSTITUTING OR MODIFYING FROM WHAT HAS BEN APPROVED.

DEMOLITION NOTES

1. ALL DEMOLITION, TRANSPORT, AND DISPOSAL OF WASTE MATERIALS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN, COUNTY, STATE AND FEDERAL REGULATIONS.
2. REGULATED MATERIALS SUCH AS ASBESTOS, LEAD, ETC. MAY EXIST ON SITE AND SHALL BE IDENTIFIED AND A PLAN FOR DEMOLITION AND DISPOSAL SHALL BE PRESENTED TO, AND APPROVED BY, THE TOWN/COUNTY AND OWNERS PRIOR TO COMMENCING DEMOLITION ON CORRESPONDING STRUCTURES.
3. THE LOCATIONS OF ALL EXISTING FEATURES SHOWN ON THIS PLAN SET WERE PROVIDED AS PART OF THE SURVEY REFERENCED WITHIN THIS PLAN SET. OTHER UNIDENTIFIED UTILITIES OR SITE FEATURES MAY EXIST AND SPECIAL CARE SHALL BE EXERCISED DURING ANY SUBGRADE WORK OR DEMOLITION TO PREVENT UNINTENDED LOSS OF SERVICE TO SURROUNDING PROPERTIES.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE DOT RIGHTS-OF-WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHTS-OF-WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO DOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, CURB & GUTTER, PAVEMENT, SIGNS AND ROADSIDE SWALES.
5. CONTRACTOR SHALL PROVIDE A TRAFFIC CONTROL PLAN, IF REQUIRED BY ENCROACHMENT PERMIT TO DOT FOR APPROVAL, PRIOR TO ANY WORK WITHIN THE DOT RIGHTS-OF-WAY.
6. ALL UTILITIES SHOWN TO BE REMOVED, DISPOSED OF, AND/OR ABANDONED SHALL BE DONE PER THE CORRESPONDING SERVICE PROVIDERS GUIDELINES.

Know what's **below.**
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GENERAL CONSTRUCTION AND GRADING NOTES:

1. ALL WORK SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
2. THE CONTRACTOR SHALL BE REQUIRED TO REVIEW AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING NOT BUT NOT LIMITED TO: EROSION AND SEDIMENTATION CONTROL PLAN AND STORMWATER MANAGEMENT PLAN.
3. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS THEY DISCOVER IN COMPARING THE PLANS TO ACTUAL FIELD CONDITIONS.
4. DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY CAUSE THE WORK TO BE UNACCEPTABLE AND WITHOUT COMPENSATION.
5. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
6. ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE OWNER AND APPLICANT IN WRITING.
7. TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC AND SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT MUTCD STANDARDS.
8. CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS/MEASURES NECESSARY TO PROTECT THE PUBLIC FROM THE WORK AREA CONSTRUCTION ACTIVITIES.
9. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
10. THE CONTRACTOR SHALL MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS NEAR CONSTRUCTION. IN TIME OF RAIN OR MUD, ROADS SHALL BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC. WITH A MINIMUM WIDTH OF 20 FEET. ACCESS TO BUILDINGS THAT HAVE SPRINKLER OR STANDPIPE SYSTEMS SHALL BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTOR. (NFPA 1141 3-1)
11. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
12. BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LAYERS NOT TO EXCEED SIX (6) INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE GOVERNING MUNICIPALITY INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
13. THE CONTRACTOR WILL ENSURE THAT POSITIVE AND ADEQUATE DRAINAGE IS MAINTAINED AT ALL TIMES WITHIN THE PROJECT LIMITS. THIS MAY INCLUDE, BUT NOT BE LIMITED TO, A) REPLACEMENT OR RECONSTRUCTION OF EXISTING DRAINAGE STRUCTURES THAT HAVE BEEN DAMAGED OR REMOVED, OR B) REGRADING AS REQUIRED BY THE ENGINEER, EXCEPT FOR THOSE DRAINAGE ITEMS SHOWN AT SPECIFIC LOCATIONS AND HAVING SPECIFIC PAY ITEMS IN THE DETAILED ESTIMATE. NO SEPARATE PAYMENT WILL BE MADE FOR ANY COSTS INCURRED TO COMPLY WITH THIS REQUIREMENT.
14. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
15. SOIL TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. A GEOTECHNICAL ENGINEER IS REQUIRED TO INSPECT, TEST AND CERTIFY TO THE COMPACTION OF ALL LOAD BEARING FILLS. THE GEOTECHNICAL ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND TO THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR, SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
16. ALL PERMITS MUST BE OBTAINED PRIOR TO THE START OF CONSTRUCTION.
17. ALL PAVEMENT MARKINGS, REGULATORY SIGNS, AND STREET NAME SIGNS SHALL CONFORM TO CURRENT MUTCD STANDARDS.
18. ALL DAMAGE TO PUBLIC OR PRIVATE MAINTAINED STREETS DUE TO PROJECT CONSTRUCTION WILL BE REPAIRED AT NO COST TO THE OWNER PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.
19. A PRE-CONSTRUCTION MEETING WITH THE GOVERNING MUNICIPALITY, ENGINEER, OWNER OR OWNER'S REPRESENTATIVE, CONTRACTOR, AND SUB-CONTRACTORS IS REQUIRED PRIOR TO START OF PROJECT.
20. PRIOR TO ANY WORK IN THE STREET OR RIGHT-OF-WAYS AND PRIOR TO ANY PUBLIC ROAD LANE CLOSURE, THE CONTRACTOR IS REQUIRED TO CONTACT THE GOVERNING MUNICIPALITY (3) DAYS IN ADVANCE.
21. CONTRACTOR IS RESPONSIBLE FOR VERIFYING LOCATIONS OF ANY SPILL CURB REQUIRED TO PROVIDE POSITIVE DRAINAGE TO STORM STRUCTURES AND PREVENT ANY LOW SPOTS OR "BIRD BATHS" WITHIN THE CURB & GUTTER OR PAVED SECTIONS.
22. NO VISUAL OBSTRUCTIONS SHALL BE WITHIN ANY SIGHT DISTANCE TRIANGLES BETWEEN 2 AND 8 FEET IN HEIGHT ABOVE FINISHED GRADE.
23. ANY VERTICAL DROPS MORE THAN 30" FROM A RETAINING WALL WILL REQUIRE A 42" HIGH SAFETY FENCE ALONG THE TOP OF WALL.
24. THE CONTRACTOR SHALL NOTE THAT EVERY OFFSET, FITTING, TIE-IN POINT, ETC, MAY NOT BE SHOWN ON THE PLANS. CONTRACTOR SHALL USE STANDARD CONSTRUCTION PROCEDURES TO FOLLOW THE PLANS AS CLOSELY AS POSSIBLE AND NOTIFY THE ENGINEER IF DISCREPANCIES ARE FOUND.
25. POSITIVE DRAINAGE SHALL BE PROVIDED AWAY FROM ALL BUILDINGS.
26. THE EARTHWORK ON THIS PLAN DOES NOT NECESSARILY BALANCE; OFFSITE BORROW OR WASTE MAY BE REQUIRED.
27. ALL CONCRETE PIPE SHALL BE REINFORCED CLASS III, UNLESS NOTED OTHERWISE.
28. ALL PIPE TO BE INSTALLED ON-SITE AND IN THE RIGHTS OF WAY SHALL MEET OR EXCEED THE DOT ASTM AND AASHTO SPECIFICATION REQUIREMENTS FOR SUCH PIPE MATERIAL. CONTRACTOR SHALL VERIFY APPROVAL WITH DOT FOR ALL PIPE MATERIALS TO BE USED IN THE RIGHT OF WAY.
29. ROOF DRAIN CONNECTIONS AND INLINE CATCH BASINS IN NON-TRAFFIC BEARING LOCATIONS MAY BE HDPE SYSTEMS SUCH AS "NYLOPLAST" BY ADS OR APPROVED EQUAL (SEE DETAILS FOR USE AS STORM DRAINAGE SYSTEM).
30. ALL ON-SITE PIPE SHALL BE INSTALLED MEETING COVER, BACKFILL AND BEDDING REQUIREMENTS PER DOT OR THE MANUFACTURER'S RECOMMENDATIONS, WHICHEVER IS MOST STRINGENT.
31. DOT PRE-CAST DRAINAGE STRUCTURES / MANHOLES CAN BE USED IN LIEU OF DOT STANDARD BRICK OR CONCRETE CATCH BASINS. ANY DEVIATION FROM THE SPECIFIED STRUCTURES SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION AND SHALL MAINTAIN COMPLIANCE WITH ALL CORRESPONDING DOT MATERIAL, DRAWING & DETAILED SPECIFICATIONS. NO "KNOCK-OUT" OR WAFFLE BOXES SHALL BE USED WITHOUT PERMISSION FROM THE ENGINEER.
32. ADDITIONAL SPECIFICATIONS AND REQUIREMENTS FOR FOOTER AND BUILDING PAD PREPARATION AND COMPACTION MAY EXIST IN ARCHITECTURAL AND STRUCTURAL DRAWINGS AND SHALL BE EXECUTED/IMPLEMENTED AS REQUIRED.
33. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFC SECTION 3304.5

GENERAL UTILITY NOTES:

1. ALL EXISTING UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
2. UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATIONS AND DEPTHS OF ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
4. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES FOR EXACT LOCATION AND PROTECTION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
5. CONTRACTOR MUST APPLY FOR ALL UTILITY CONNECTION APPLICATIONS/PERMITS. CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONNECTION FEES FOR CONSTRUCTION. REFER TO COVER SHEET FOR AVAILABLE UTILITY COMPANY LIST.
6. CONTRACTOR MUST OBTAIN ANY REQUIRED UTILITY DETAILS FOR RECONNECTION OF EXISTING SERVICES OR NEW SERVICE AND IS RESPONSIBLE FOR THE CONSTRUCTION OF EACH NEW SERVICE PER THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS.
7. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE TO CURBING, PAVING, AND COMPACTED SUB-GRADE.
8. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
9. ALL PIPE LENGTHS AND DISTANCES BETWEEN STRUCTURES ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE ALONG A HORIZONTAL PLANE.
10. THE CONTRACTOR SHALL PROVIDE ANY AND ALL EXCAVATION AND MATERIAL SAMPLES NECESSARY TO CONDUCT REQUIRED SOIL TESTS. ALL ARRANGEMENTS AND SCHEDULING FOR THE TESTING SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
11. SOILS TESTING AND ON-SITE INSPECTION SHALL BE PERFORMED BY AN INDEPENDENT GEOTECHNICAL ENGINEER. THE SOILS ENGINEER SHALL PROVIDE COPIES OF TEST REPORTS TO THE CONTRACTOR, THE OWNER AND THE OWNER'S REPRESENTATIVE AND SHALL PROMPTLY NOTIFY THE OWNER, HIS REPRESENTATIVE AND THE CONTRACTOR SHOULD WORK PERFORMED BY THE CONTRACTOR FAIL TO MEET THESE SPECIFICATIONS.
12. CONTRACTOR SHALL EXCAVATE ONLY ENOUGH TRENCH FOR WHICH PIPE CAN BE INSTALLED AND TRENCH BACKFILLED BY THE END OF EACH WORK DAY. ALL OSHA STANDARDS FOR TRENCH EXCAVATIONS SHALL BE OBSERVED BY ALL PARTIES INVOLVED WITH UTILITY INSTALLATIONS.
13. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREAS. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
14. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM VEGETATION, ROOTS, STUMPS, OR OTHER FOREIGN DEBRIS, AND SHALL BE NON-PLASTIC IN NATURE, OR HAVE A TENDENCY TO SHIFT OR FLOW UNCHARACTERISTICALLY WHEN TAMPED. BACKFILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED 6 INCHES IN COMPACTED FILL THICKNESS. A REPORT FROM A GEOTECHNICAL ENGINEER MAY BE REQUIRED BY THE PUBLIC WORKS INSPECTOR. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
15. RUNOFF FROM IMPERVIOUS AREAS SHALL NOT BE DIRECTED INTO THE SANITARY SEWER OR ONTO ADJACENT PROPERTIES.
16. ALL JOINTS ON THE STORM WATER CONVEYANCE SYSTEM SHALL BE WATERTIGHT.
17. ALL CONSTRUCTION ASSOCIATED WITH WATER AND SANITARY SEWER SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY STANDARDS AND SPECIFICATIONS.
18. ALL ELECTRICAL SERVICE LINES TO OR AROUND THE PROPOSED STRUCTURE SHALL BE UNDERGROUND.
19. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS AND LOCAL MUNICIPALITY SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
20. CONTRACTOR SHALL KEEP A RECORD PLAN SET SHOWING UTILITY CONSTRUCTION, LOCATIONS, CLEARANCES, ETC, AND PROVIDE A COPY TO THE ENGINEER TO ASSIST WITH PREPARATION OF AS-BUILT DRAWINGS. CONTACT ENGINEER IF EXPLANATION OF WHAT ITEMS ARE REQUIRED IF UNSURE, PRIOR TO BEGINNING CONSTRUCTION.
21. PAVEMENT CUTS FOR UTILITY INSTALLATIONS SHALL BE SAWCUT FOR STRAIGHT, CLEAN EDGES. PATCHES SHALL BE IN ACCORDANCE WITH GOVERNING MUNICIPALITY.
22. CONTRACTOR SHALL COORDINATE INSTALLATIONS OR CONDUITS ON SITE PRIOR TO PREPARING ROADWAY, DRIVE OR PARKING AREA SUBGRADES.
23. WATER SHALL NOT BE ALLOWED TO RISE WITHIN UNFILLED UTILITY TRENCHES AFTER PIPE HAS BEEN INSTALLED. BACKFILL IMMEDIATELY AFTER PIPE INSTALLATION.
24. PIPES IN STORM DRAINAGE STRUCTURES SHALL BE CUT FLUSH TO INSIDE WALLS. INVERTS SHALL BE POURED IN DRY CONDITIONS WITH STRUCTURES BEING PUMPED OUT PRIOR TO INVERTS IF REQUIRED.
25. ALL CASTINGS AND FERROUS MATERIAL PIPING ASSOCIATED WITH WATER, SEWER, AND STORM DRAINAGE SHALL BE DOMESTICALLY CAST.
26. CONTRACTOR SHALL PROVIDE SURVEY AS-BUILTS OF STORM DRAINAGE NETWORKS AND STORMWATER CONTROL MEASURE. STORM DRAINAGE AS-BUILTS MUST BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO BACKFILING, THE STORMWATER CONTROL MEASURE AS-BUILT(S) MUST BE COMPLETED UPON FINAL CONSTRUCTION OF NEW CONVEYANCES AND SUBMITTED FOR THE ENGINEER TO REVIEW AND APPROVE. A SEALED AS-BUILT DRAWING MAY BE REQUIRED FOR STORMWATER CONTROL CERTIFICATION. CONTACT THE ENGINEER TO VERIFY.
27. CONTRACTOR SHALL PROVIDE EASEMENT SURVEYS FOR STORM DRAINAGE SYSTEMS AND STORMWATER CONTROL MEASURES. EASEMENTS SHALL BE PLATTED AND PRESENTED TO THE ENGINEER FOR REVIEW AND APPROVAL. SEE SITE PLAN, GRADING, AND STORM DRAINAGE PLAN SHEETS FOR EASEMENT LOCATIONS.
28. ALL SANITARY SEWER AND WATER INSTALLATION SHALL BE BY ORANGE WATER AND SEWER AUTHORITY'S (O.W.A.S.A.) STANDARD DETAILS AND SPECIFICATIONS.

WATER AND SEWER SEPARATION NOTES:

1. HORIZONTAL AND VERTICAL SEPARATION:
   1.1. SANITARY SEWERS SHALL BE LAID AT LEAST 10-FEET HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. IN CASES WHERE IT IS NOT PRACTICAL TO MAINTAIN A 10-FOOT SEPARATION, THE PUBLIC WORKS SUPPLY MAY ALLOW DEVIATION ON A CASE-BY-CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION ON MAY ALLOW THE INSTALLATION OF THE SANITARY SEWER CLOSER TO A WATER MAIN, PROVIDED THAT THE WATER MAIN IS IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF LOCATED ON ONE SIDE OF THE SANITARY SEWER AND AT AN ELEVATION SO THE BOTTOM OF THE WATER MAIN IS AT LEAST 18-INCHES ABOVE THE TOP OF THE SEWER.
   1.2. IF IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS DESCRIBED ABOVE OR ANYTIME THE SANITARY SEWER IS OVER THE WATER MAIN, BOTH THE WATER MAIN AND SANITARY SEWER MUST BE CONSTRUCTED OF FERROUS PIPE COMPLYING WITH THE PUBLIC WATER SUPPLY DESIGN STANDARDS AND BE PRESSURE TESTED TO 150PSI TO ASSURE WATER TIGHTNESS BEFORE BACKFILLING.
   1.3. A 24-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND SANITARY SEWER LINES OR FERROUS PIPE SPECIFIED. A 12-INCH VERTICAL SEPARATION SHALL BE PROVIDED BETWEEN STORM SEWER AND WATER MAIN.
      1.3.1. IF A 12-INCH VERTICAL SEPARATION IS NOT MAINTAINED AT A CROSSING BETWEEN STORM SEWER AND WATER MAINS (OR PRESSURE SEWERS). THE WATER MAIN SHALL BE CONSTRUCTED OF FERROUS PIPE AND A CONCRETE COLLAR SHALL BE POURED AROUND WATER MAINS AND STORM SEWER TO IMMOBILIZE THE CROSSING
2. CROSSINGS:
   2.1. SANITARY SEWER CROSSING WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF 18-INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF THE SANITARY SEWER. THE CROSSING SHALL BE ARRANGED SO THAT THE SANITARY SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
   2.2. WHEN IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, ONE OF THE FOLLOWING METHODS MUST BE SPECIFIED:
      2.2.1. THE SANITARY SEWER SHALL BE DESIGNED AND CONSTRUCTED OF FERROUS PIPE AND SHALL BE PRESSURE TESTED AT 150-PSI TO ASSURE WATER TIGHTNESS PRIOR TO BACKFILLING, OR
      2.2.2. EITHER THE WATER MAIN OR THE SANITARY SEWER LINE MAY BE ENCASED IN A WATERTIGHT CARRIER PIPE, WHICH EXTENDS 10-FEET ON BOTH SIDES OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE OF MATERIALS APPROVED BY THE PUBLIC WATER SUPPLY FOR USE IN WATER MAIN CONSTRUCTION.

ADA INSTRUCTIONS TO CONTRACTOR:

CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE(S), PUBLIC TRANSPORTATION, PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT, MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:

1. PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
2. CURB RAMPS - SLOPE MUST NOT EXCEED 1:12 (8.3%) FOR A MAXIMUM OF SIX (6) FEET.
3. LANDINGS - MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
4. PATH OF TRAVEL ALONG ACCESSIBLE ROUTE - MUST PROVIDE A 48-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%), ADA RAMP REGULATIONS MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
5. DOORWAYS - MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG, EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCED INCORPORATED BY COD.)
6. WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES, CONTRACTOR MUST VERIFY EXISTING ELEVATIONS SHOWN ON THE PLAN. NOTE THAT TABLE 405.2 OF THE DEPARTMENT OF JUSTICE'S ADA STANDARDS FOR ACCESSIBLE DESIGN ALLOWS FOR STEEPER RAMP SLOPES, IN RARE CIRCUMSTANCES. PRIOR TO THE COMMENCEMENT OF WORK, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER IN WRITING OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
7. THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.
8. THE SITE SHALL BE FULLY COMPLIANT WITH THE NORTH CAROLINA ACCESSIBILITY CODES (ANSI 117.1 -2009 AND CHAPTER 11 OF THE NCBC) UNLESS AND EXCEPT IN AREAS WHERE AN APPROVED STATEMENT FROM A SITE ENGINEER, SURVEYOR OR ARCHITECT VERIFIES THAT SITE CONDITIONS EXIST WHERE THE TOPOGRAPHY OF THE SITE IS EXTREME AND ONLY ALTERNATE METHODS OF COMPLIANCE ARE POSSIBLE.
9. ACCESSIBILITY REQUIREMENTS: THAT PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE THE MINIMUM REQUIRED ACCESSIBLE PARKING SPACES AND DESIGN ALL ACCESSIBLE PARKING SPACES, RAMPS, AND CROSSWALKS, AND ASSOCIATED INFRASTRUCTURE ACCORDING TO AMERICANS WITH DISABILITIES ACT STANDARDS, NORTH CAROLINA BUILDING CODE, AMERICAN NATIONAL STANDARDS INSTITUTE ANSI CODE, AND TOWN STANDARD.1. PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2 PERCENT IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.2. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2 PERCENT, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE. A SLOPE GREATER THAN 5 PERCENT REQUIRES CONSTRUCTION AS A RAMP.

IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

CONSTRUCTION WASTE NOTES:

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE GOVERNING MUNICIPALITIES' REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE GOVERNING MUNICIPALITIES' RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE, WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS, SHALL BE LICENSED BY THE GOVERNING MUNICIPALITIES.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

INSPECTION NOTES:

1. ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
2. KEY BOXES SHALL BE REQUIRED ON ANY BUILDING THAT HAS A FIRE ALARM SYSTEM, A FIRE SPRINKLER SYSTEM, AN ELEVATOR, OR SPECIAL LOCKING ARRANGEMENTS. THE KEY BOX SHALL BE OF AN APPROVED TYPE AS REQUIRED FROM THE CHAPEL HILL FIRE DEPARTMENT. THE SIZE OF THE KEY BOX WILL BE DETERMINED BY THE NUMBER OF KEYS NECESSARY TO MITIGATE ANY EMERGENCY SITUATION BASED ON THE BUILDING AND ITS OCCUPANCY. AN APPROVED LOCK SHALL BE INSTALLED ON GATES OR SIMILAR BARRIERS WHEN REQUIRED BY THE FIRE CODE OFFICIAL. KEYS SHALL BE CHANGED OUT IMMEDIATELY IF THE LOCKS ARE CHANGED OR RE-KEYED.
3. A LEAD-FREE RPZ WITH BYPASS FOR THE BACKFLOW PROTECTION IS REQUIRED. ENSURE AT LEAST 18 INCHES OF WORKING CLEARANCE IS PROVIDED AROUND OR MORE IF MANUFACTURER'S INSTRUCTIONS REQUIRE MORE.
4. DEMOLITION OF THE EXISTING STRUCTURES WILL REQUIRE AN ASBESTOS TEST PRIOR TO DEMOLITION AND A SECOND ASBESTOS TEST OF THE SOIL AFTER THEY HAVE BEEN REMOVED.
5. iIF REQUIRED, THE PROPOSED BUILDINGS SHALL BE PROTECTED BY NFPA 13 SPRINKLER SYSTEM

	REVISIONS	DATE	BY
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2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC

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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

NOTES

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_notes.dwg
SHEET NO.
C-2

NOTE "A"
SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED DURING THIS SURVEY. ALL BUILDINGS, SURFACE AND SUBSURFACE IMPROVEMENTS ON AND ADJACENT TO THE SITE ARE NOT NECESSARILY SHOWN HEREON. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND CONTAINERS WHICH MAY AFFECT THE USE OF THIS TRACT.

NOTE "B"
THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN ARE BASED ON VISIBLE EVIDENCE AND DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON, AND ADDITIONAL BURIED UTILITIES MAY EXIST. CONTACT THE APPROPRIATE UTILITY COMPANIES FOR INFORMATION REGARDING BURIED UTILITIES.

NOTE "C"
ALL DISTANCES ARE HORIZONTAL GROUND AND AREA BY COORDINATE COMPUTATION.

NOTE "D"
THIS SURVEY WAS DONE WITHOUT A TITLE SEARCH AND IS BASED ON REFERENCED INFORMATION. THERE MAY EXIST OTHER DOCUMENTS OF RECORD WHICH COULD AFFECT THIS PROPERTY

NOTE "E"
EXCEPT AS SPECIFICALLY STATED OR SHOWN, THIS SURVEY DOES NOT REPORT ANY OF THE FOLLOWING: EASEMENTS, OTHER THAN THOSE VISIBLE DURING FIELD EXAMINATION, BUILDING SETBACKS, RESTRICTIVE COVENANTS, ZONING OR LAND USE REGULATIONS AND ANY FACTS WHICH A TITLE SEARCH MAY DISCLOSE.

NOTE "F"
WETLANDS, JURISDICTIONAL WATERS OR OTHER CONDITIONS WHICH MAY BE REGULATED BY FEDERAL OR STATE OR LOCAL AGENCIES WERE NOT INVESTIGATED DURING THIS SURVEY. RIPARIAN BUFFERS AND OTHER RESTRICTIONS ON DEVELOPMENT MAY BE REQUIRED.

NOTE "G"
THIS PROPERTY IS IN ZONE"X", SEE FIRM PANEL 9788, MAP # 3710978800K REVISED 11/17/2017.

NOTE "H"
NO NCGS MONUMENTS WERE FOUND WITHIN 2000' OF THIS SITE.

NOTE "I"
THIS PROPERTY IS WITHIN THE CAPE FEAR RIVER BASIN.

NOTE "J"
ZONING: (R-5)
MINIMUM LOT AREA: 5,500 SF
MINIMUM LOT WIDTH: 50 FT
MAXIMUM BUILDING HEIGHT: 60 FT
BUILDING FRONT SETBACK: 24 FT
BUILDING SIDE SETBACK: 8 FT
BUILDING REAR SETBACK: 8 FT

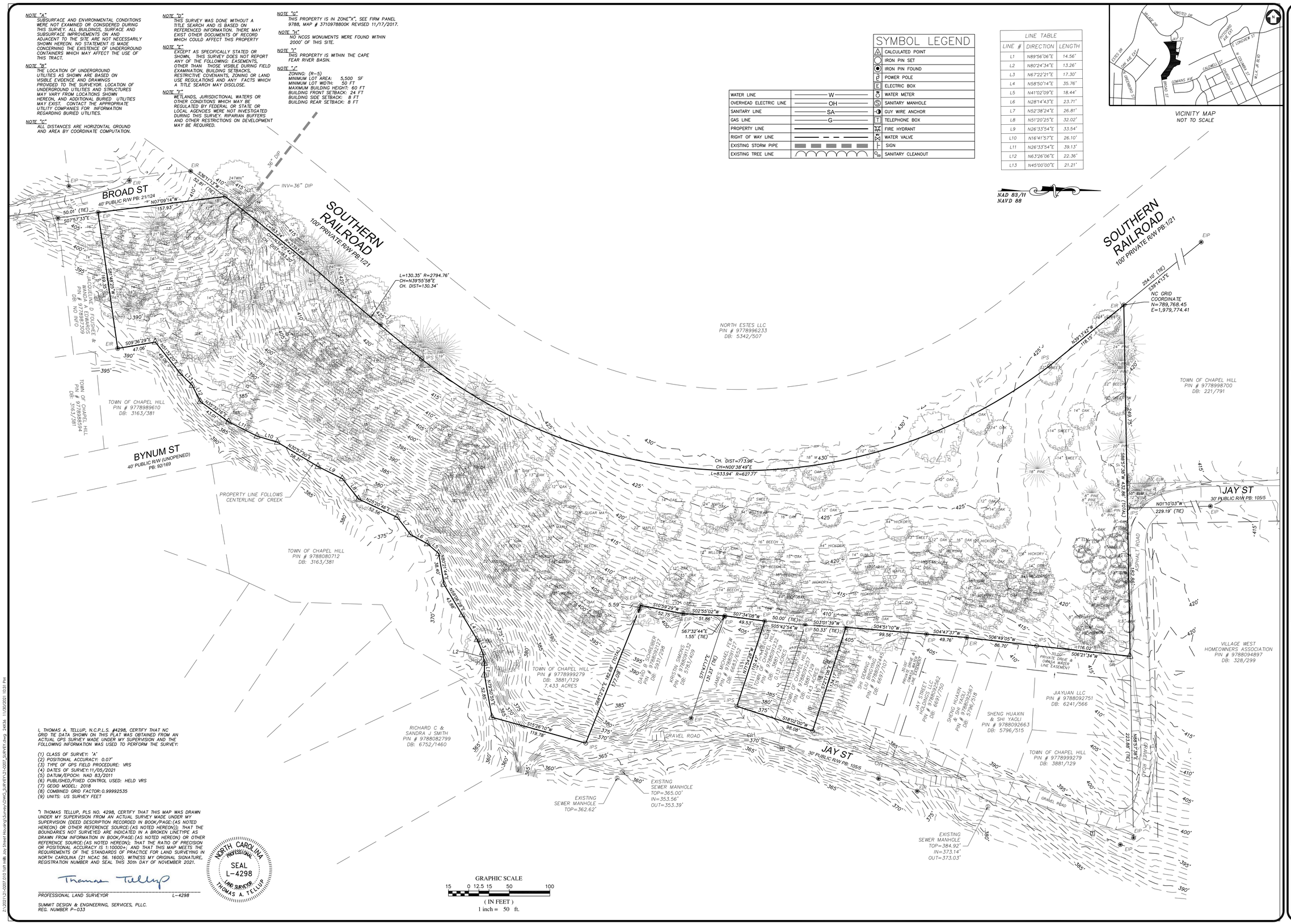
SYMBOL LEGEND

	CALCULATED POINT
	IRON PIN SET
	IRON PIN FOUND
	POWER POLE
	ELECTRIC BOX
	WATER METER
	SANITARY MANHOLE
	GUY WIRE ANCHOR
	TELEPHONE BOX
	FIRE HYDRANT
	WATER VALVE
	SIGN
	SANITARY CLEANOUT

WATER LINE	W
OVERHEAD ELECTRIC LINE	OH
SANITARY LINE	SA
GAS LINE	G
PROPERTY LINE	
RIGHT OF WAY LINE	
EXISTING STORM PIPE	
EXISTING TREE LINE	

LINE TABLE

LINE #	DIRECTION	LENGTH
L1	N89°56'06"E	14.56'
L2	N80°24'34"E	13.26'
L3	N67°22'21"E	17.30'
L4	N58°50'14"E	35.76'
L5	N41°02'09"E	18.44'
L6	N28°14'43"E	23.71'
L7	N52°38'24"E	26.81'
L8	N51°20'25"E	32.02'
L9	N26°33'54"E	33.54'
L10	N16°41'57"E	26.10'
L11	N26°33'54"E	39.13'
L12	N63°26'06"E	22.36'
L13	N45°00'00"E	21.21'



I, THOMAS A. TELLUP, N.C.P.L.S. #4298, CERTIFY THAT NC GRID TIE DATA SHOWN ON THIS PLAT WAS OBTAINED FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

(1) CLASS OF SURVEY: 'A'
(2) POSITIONAL ACCURACY: 0.07'
(3) TYPE OF GPS FIELD PROCEDURE: VRS
(4) DATES OF SURVEY:11/05/2021
(5) DATUM/EPOCH: NAD 83/2011
(6) PUBLISHED/FIXED CONTROL USED: HELD VRS
(7) GEOID MODEL: 2018
(8) COMBINED GRID FACTOR:0.99992535
(9) UNITS: US SURVEY FEET

"I THOMAS TELLUP, PLS NO. 4298, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN BOOK/PAGE:(AS NOTED HEREON) OR OTHER REFERENCE SOURCE:(AS NOTED HEREON)); THAT THE BOUNDARIES NOT SURVEYED ARE INDICATED IN A BROKEN LINETYPE AS DRAWN FROM INFORMATION IN BOOK/PAGE:(AS NOTED HEREON) OR OTHER REFERENCE SOURCE:(AS NOTED HEREON); THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:10000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56. 1600). WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 30th DAY OF NOVEMBER 2021.

Thomas Tellup

PROFESSIONAL LAND SURVEYOR L-4298

SUMMIT DESIGN & ENGINEERING, SERVICES, PLLC.
REG. NUMBER P-033

NORTH CAROLINA PROFESSIONAL SEAL L-4298 LAND SURVEYOR THOMAS A. TELLUP

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	REVISIONS					DATE	BY

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PROJECT ENGINEER/ARCHITECT
TS
PROJECT MANAGER
TT
DRAWN BY
CF
SCALE
1"=50'

CLIENT'S ADDRESS
1100 JAY ST
CHAPEL HILL, NC 27516

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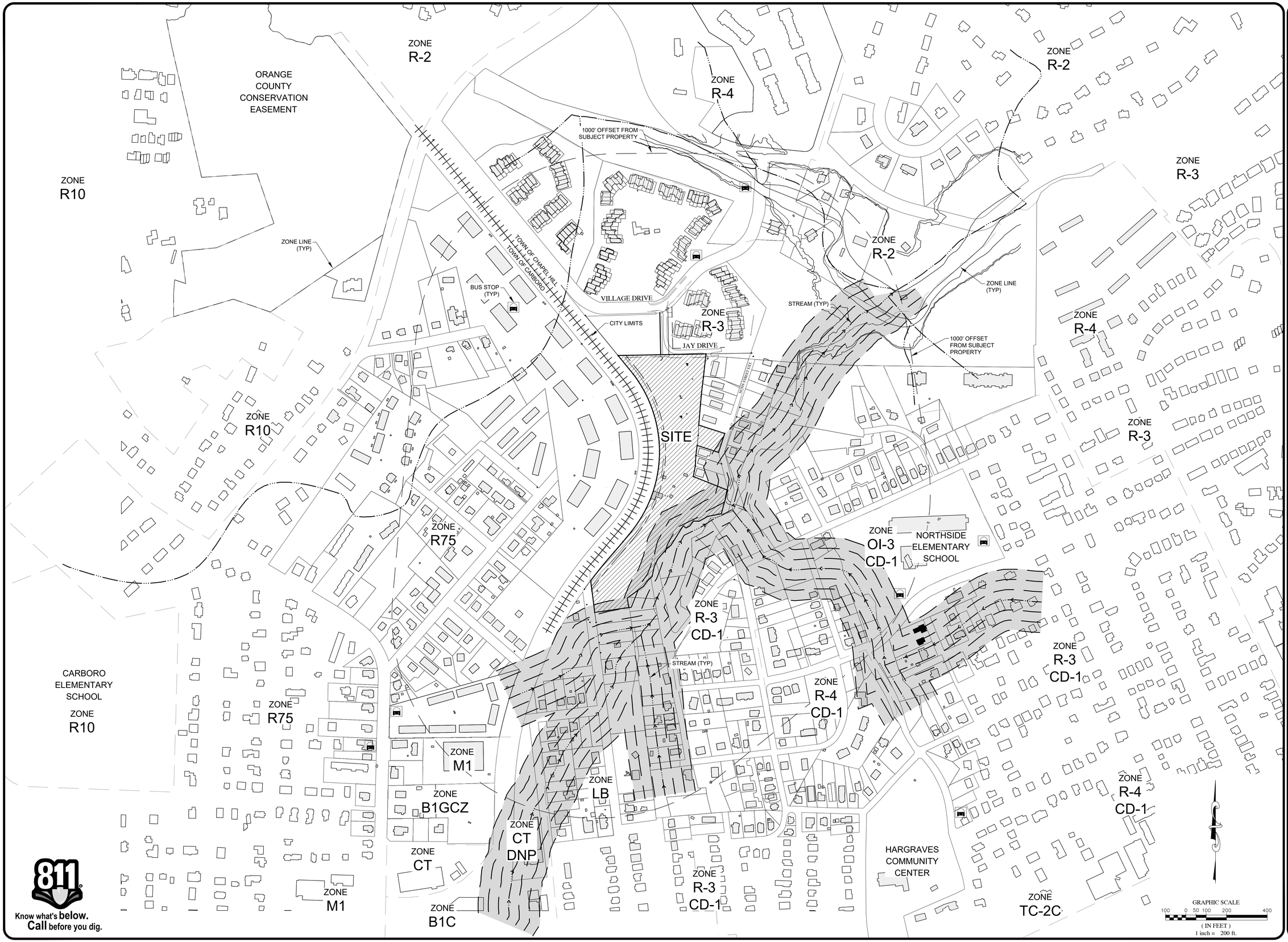
EXISTING CONDITIONS SURVEY OF:
TAFT MILLS JAY ST

CHAPEL HILL TWP., ORANGE CO., NORTH CAROLINA
FIELD WORK PERFORMED 11/04/2021
PROPERTY AS DESCRIBED IN DEED BOOK 3881 PAGE 129
STANDING IN THE NAME OF
TOWN OF CHAPEL HILL

PROJECT NO.
21-0207
DRAWING NO.
21-0207_SURVEY
C-3

Z:\2021\21-0207 810 Taft Ave\Jay Street Housing\Survey\DWG_SURVEY\21-0207_SURVEY.dwg 24X36 11/30/2021 10:31 PM



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3	CZA COMMENTS #2	1/31/2022	DMC
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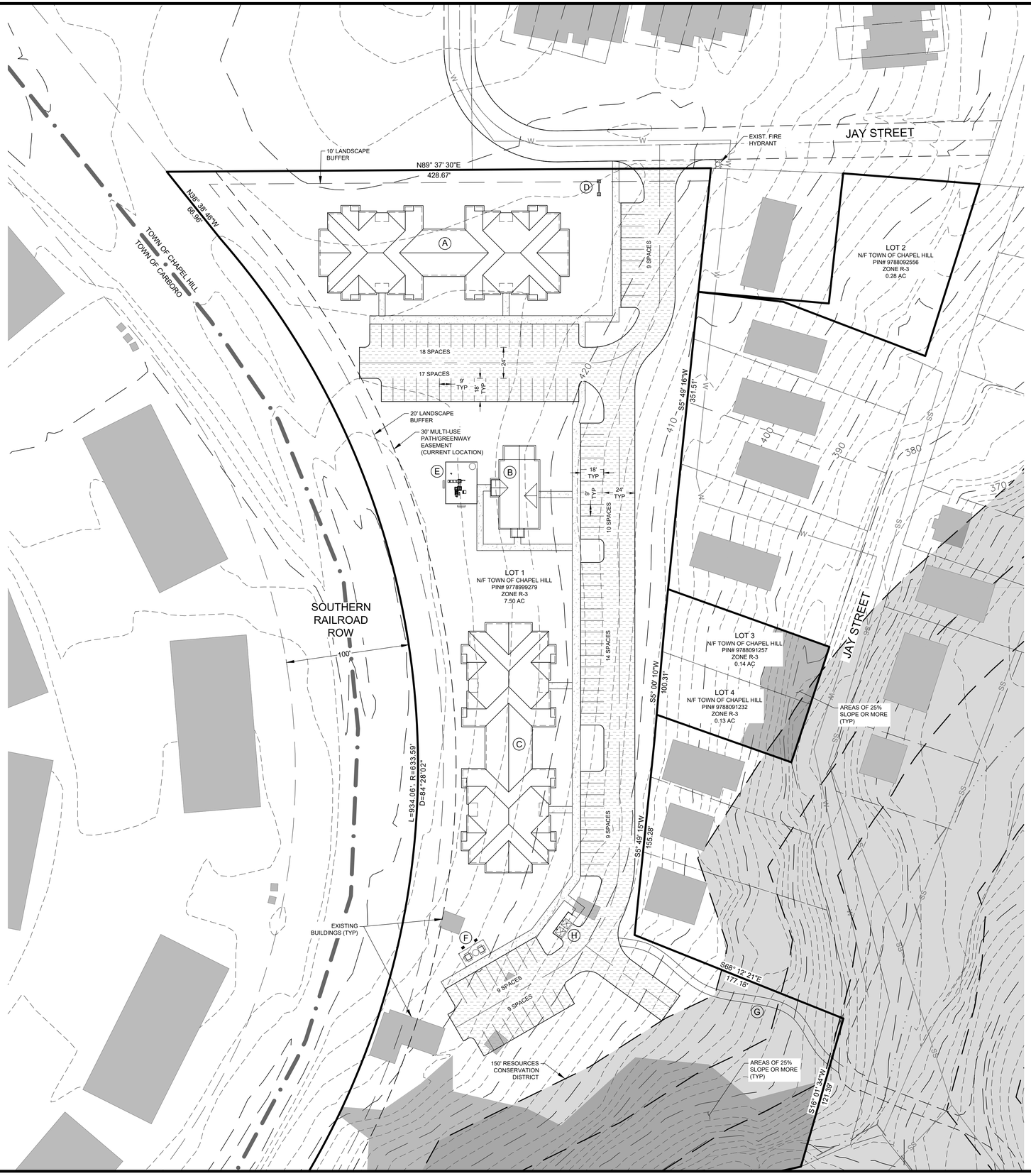
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

AREA MAP

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_AREA MAP.dwg
SHEET NO.
C-4



CONCEPTUAL SITE PLAN LEGEND:

- (A) 3 STORY APARTMENT BLDG - 6 1BR, 12 2BR, 6 3BR
- (B) COMMUNITY BUILDING
- (C) 3 STORY APARTMENT BLDG - 12 1BR, 12 2BR
- (D) ENTRY SIGN
- (E) PLAYGROUND
- (F) COVERED PICNIC SHELTER
- (G) TRAIL CONNECTION
- (H) TRASH AND RECYCLING

SITE DATA TABLE (LOT 1):

OWNER: TOWN OF CHAPEL HILL
DEVELOPER: TAFT-MILLS GROUP
PIN#: 9778999279
JURISDICTION: TOWN OF CHAPEL HILL
TOWN/CITY: CHAPEL HILL
COUNTY: ORANGE
DB/PG: 3881/129
CURRENT ZONING: R-3
PROPOSED ZONING: R-SS-C
LOT AREA: 7.50 AC
EXISTING IMPERVIOUS: 2,161 SF (0.06%)
PROPOSED IMPERVIOUS: 73,784 SF (23%)
PARKING SHOWN: 95 SPACES

APPLICANT:
TAFT-MILLS GROUP
CONTACT: DUSTIN MILLS
P.O. BOX 566
GREENVILLE, NC 27835
(252) 916-2691 (PHONE)
DUSTIN@TAFTMILLSGROUP.COM

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 40 ft.

Know what's **below.** **Call** before you dig.

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	REVISIONS	DATE / BY

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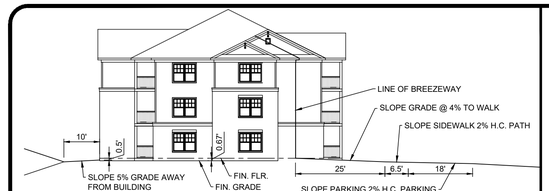
CONCEPT PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

CONCEPT PLAN

PROJECT NO.
21-0207
DRAWING NAME:

SHEET NO.
C-5

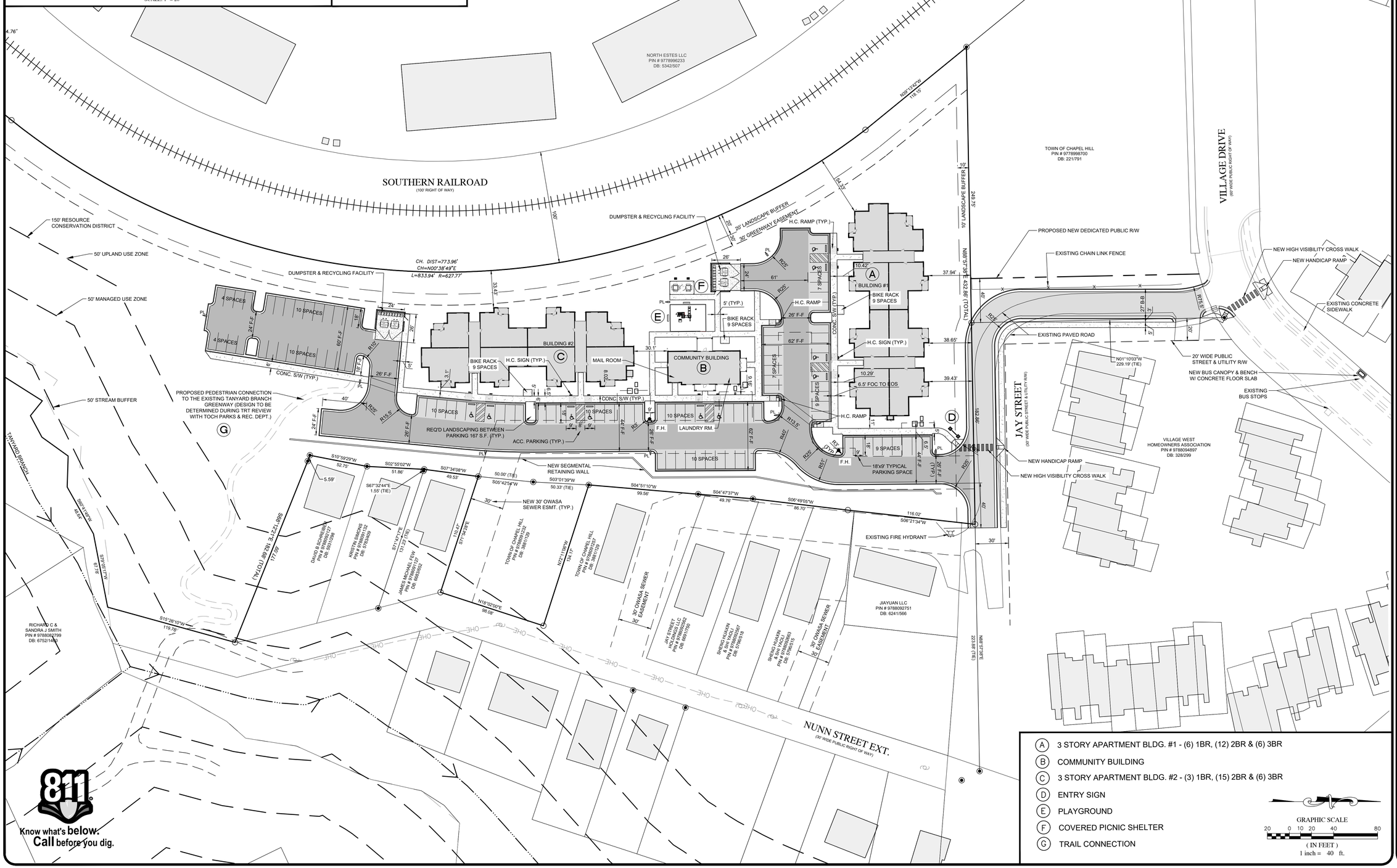


H.C. ACCESS BUILDING SECTION

SCALE: 1" = 20'

LEGEND

- STANDARD 24" CURB & GUTTER
- 24" SPILL TYPE CURB & GUTTER
- CONCRETE SIDEWALK
- HEAVY DUTY CONC. (TRUCK/LOADING)
- LIGHT DUTY ASPHALT
- HEAVY DUTY ASPHALT (DRIVE AISLES)
- LOCAL STREET ASPHALT
- LP NEW LIGHT POLE
- F.H. NEW FIRE HYDRANT



- (A) 3 STORY APARTMENT BLDG. #1 - (6) 1BR, (12) 2BR & (6) 3BR
- (B) COMMUNITY BUILDING
- (C) 3 STORY APARTMENT BLDG. #2 - (3) 1BR, (15) 2BR & (6) 3BR
- (D) ENTRY SIGN
- (E) PLAYGROUND
- (F) COVERED PICNIC SHELTER
- (G) TRAIL CONNECTION

GRAPHIC SCALE
20 0 10 20 40 80
(IN FEET)
1 inch = 40 ft.

Know what's below. Call before you dig.

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3	CZA COMMENTS #2	1/31/2022	DMC
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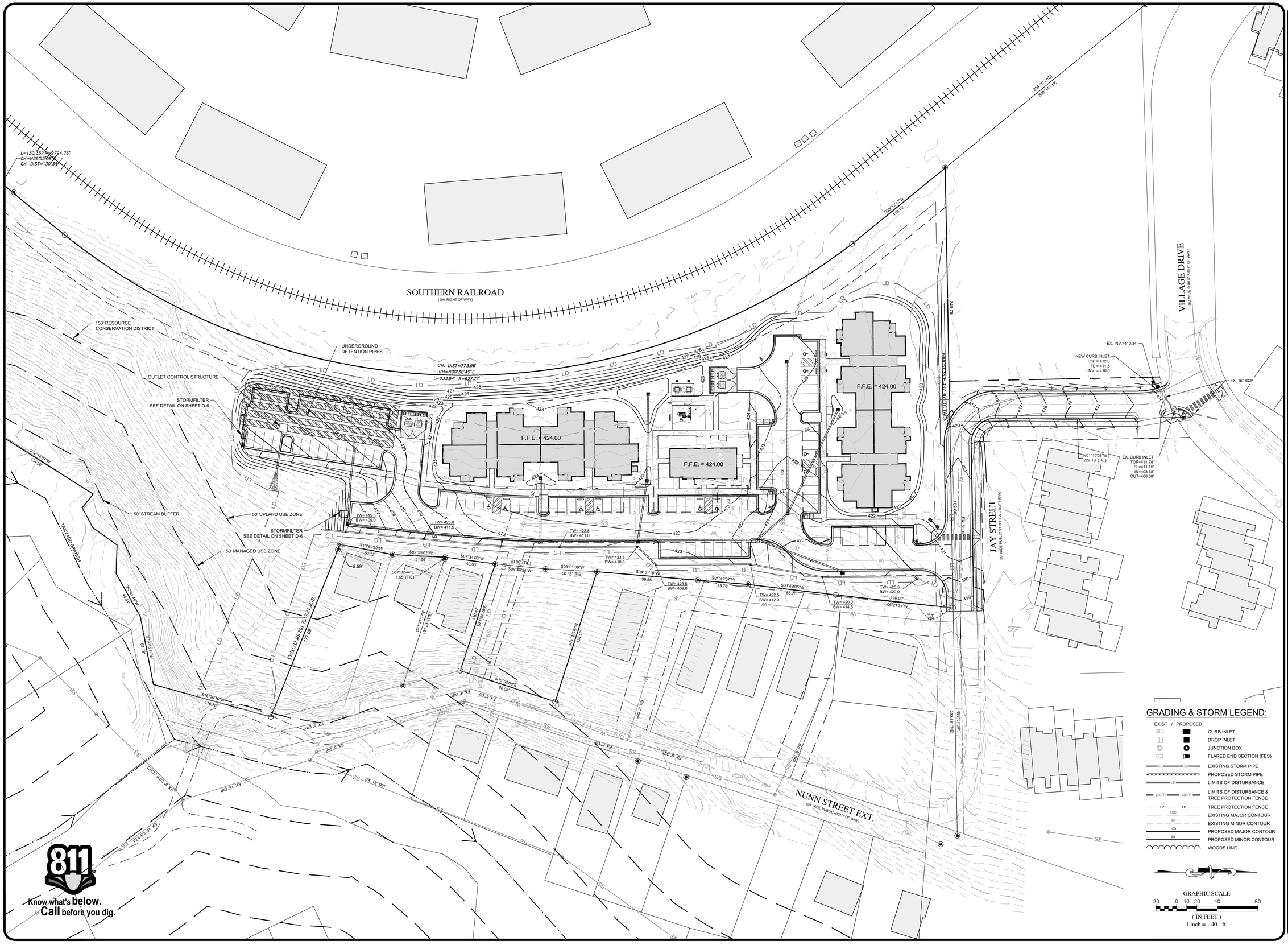
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE PLAN

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_S.dwg
SHEET NO.
C-6

N:\2021\21-0207 010 Taft Mills Jay Street Housing\Civil\Current Drawings\21-0207_S.dwg, 2/1/2022 8:38:48 AM, 1:1



GRADING & STORM LEGEND:

EXIST / PROPOSED

- CURB INLET
- DROP INLET
- JUNCTION BOX
- FLARED END SECTION (FES)
- EXISTING STORM PIPE
- PROPOSED STORM PIPE
- LIMITS OF DISTURBANCE
- LIMITS OF DISTURBANCE & TREE PROTECTION FENCE
- TREE PROTECTION FENCE
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- WOODS LINE

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 40 ft.

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2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC
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SITE PLANS FOR JAY STREET APARTMENTS

JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

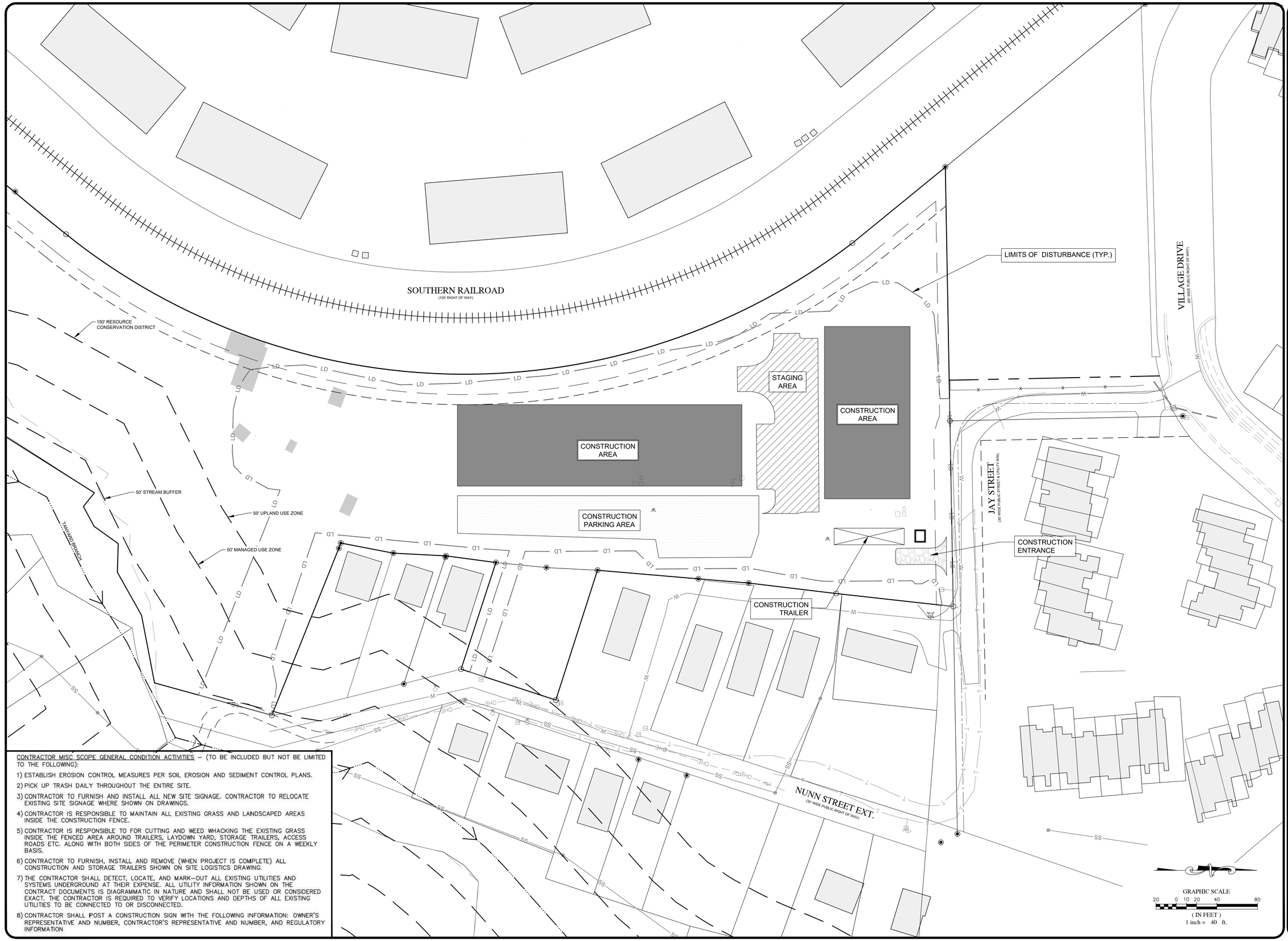
GRADING & DRAINAGE PLAN

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_G.dwg

SHEET NO.
C-7

N:\2021\21-0207-010 Taft Mills (Jay Street Housing)\Civil\Current Drawings\21-0207_G.dwg, 2/1/2022 9:08:06 AM, 1:1



CONTRACTOR MISC SCOPE GENERAL CONDITION ACTIVITIES – (TO BE INCLUDED BUT NOT BE LIMITED TO THE FOLLOWING):

1) ESTABLISH EROSION CONTROL MEASURES PER SOIL EROSION AND SEDIMENT CONTROL PLANS.
2) PICK UP TRASH DAILY THROUGHOUT THE ENTIRE SITE.
3) CONTRACTOR TO FURNISH AND INSTALL ALL NEW SITE SIGNAGE. CONTRACTOR TO RELOCATE EXISTING SITE SIGNAGE WHERE SHOWN ON DRAWINGS.
4) CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL EXISTING GRASS AND LANDSCAPED AREAS INSIDE THE CONSTRUCTION FENCE.
5) CONTRACTOR IS RESPONSIBLE TO FOR CUTTING AND WEED WHACKING THE EXISTING GRASS INSIDE THE FENCED AREA AROUND TRAILERS, LAYDOWN YARD, STORAGE TRAILERS, ACCESS ROADS ETC. ALONG WITH BOTH SIDES OF THE PERIMETER CONSTRUCTION FENCE ON A WEEKLY BASIS.
6) CONTRACTOR TO FURNISH, INSTALL AND REMOVE (WHEN PROJECT IS COMPLETE) ALL CONSTRUCTION AND STORAGE TRAILERS SHOWN ON SITE LOGISTICS DRAWING.
7) THE CONTRACTOR SHALL DETECT, LOCATE, AND MARK-OUT ALL EXISTING UTILITIES AND SYSTEMS UNDERGROUND AT THEIR EXPENSE. ALL UTILITY INFORMATION SHOWN ON THE CONTRACT DOCUMENTS IS DIAGRAMMATIC IN NATURE AND SHALL NOT BE USED OR CONSIDERED EXACT. THE CONTRACTOR IS REQUIRED TO VERIFY LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES TO BE CONNECTED TO OR DISCONNECTED.
8) CONTRACTOR SHALL POST A CONSTRUCTION SIGN WITH THE FOLLOWING INFORMATION: OWNER'S REPRESENTATIVE AND NUMBER, CONTRACTOR'S REPRESENTATIVE AND NUMBER, AND REGULATORY INFORMATION

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2		1/4/2022	DMC
1	CZA COMMENTS #1	DATE	BY

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FIRST ISSUE DATE
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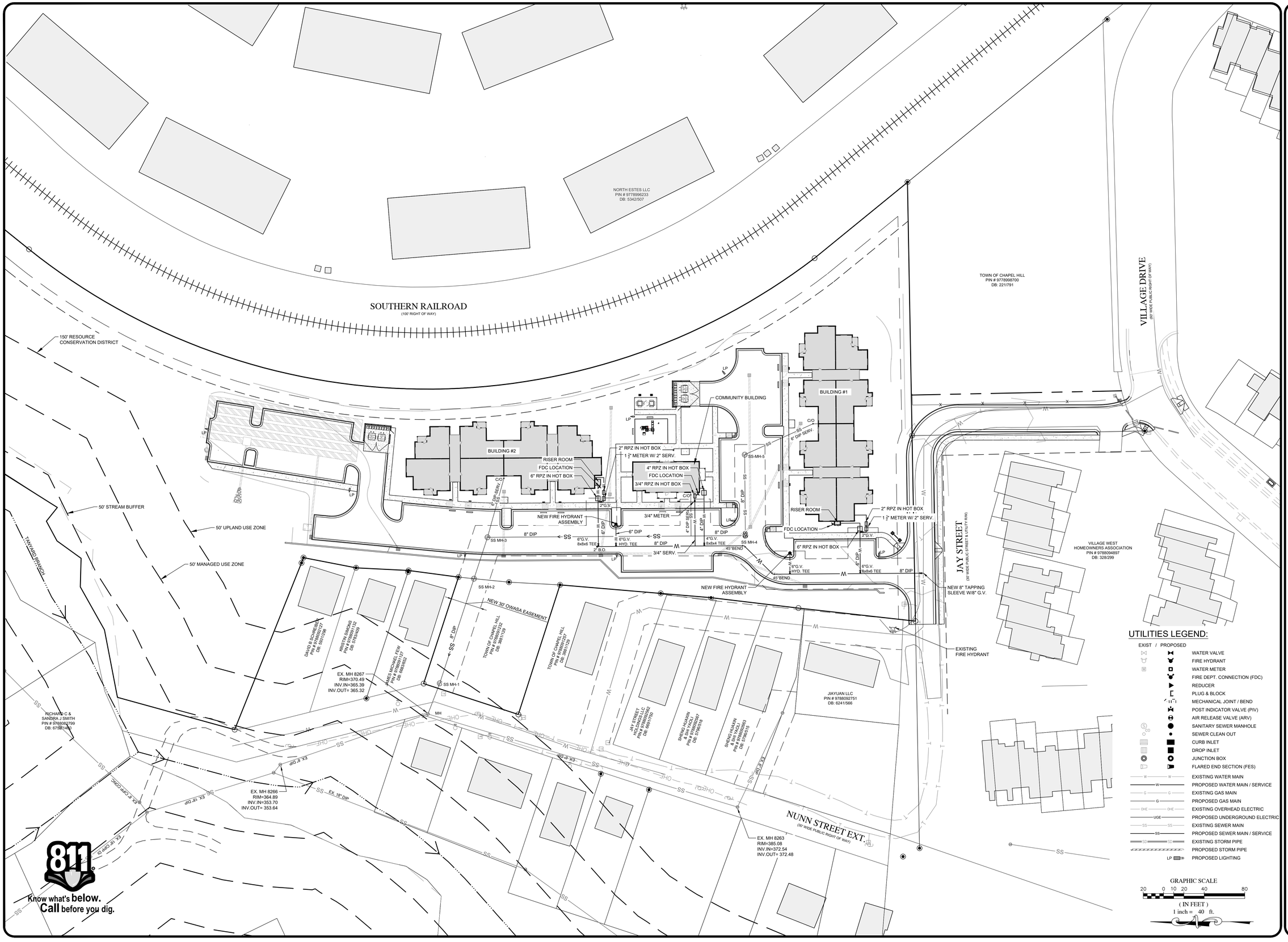
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

CONSTRUCTION MANAGEMENT PLAN

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_G.dwg

SHEET NO.
C-8



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3	CZA COMMENTS #2	1/31/2022	DMC
2	CZA COMMENTS #1	1/14/2022	DMC
1			
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PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)

FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION

NORTH CAROLINA PROFESSIONAL SEAL 19917 ENGINEER TIMOTHY A. SMITH
PRELIMINARY

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Hillsborough, NC 27278
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www.summitde.com

SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

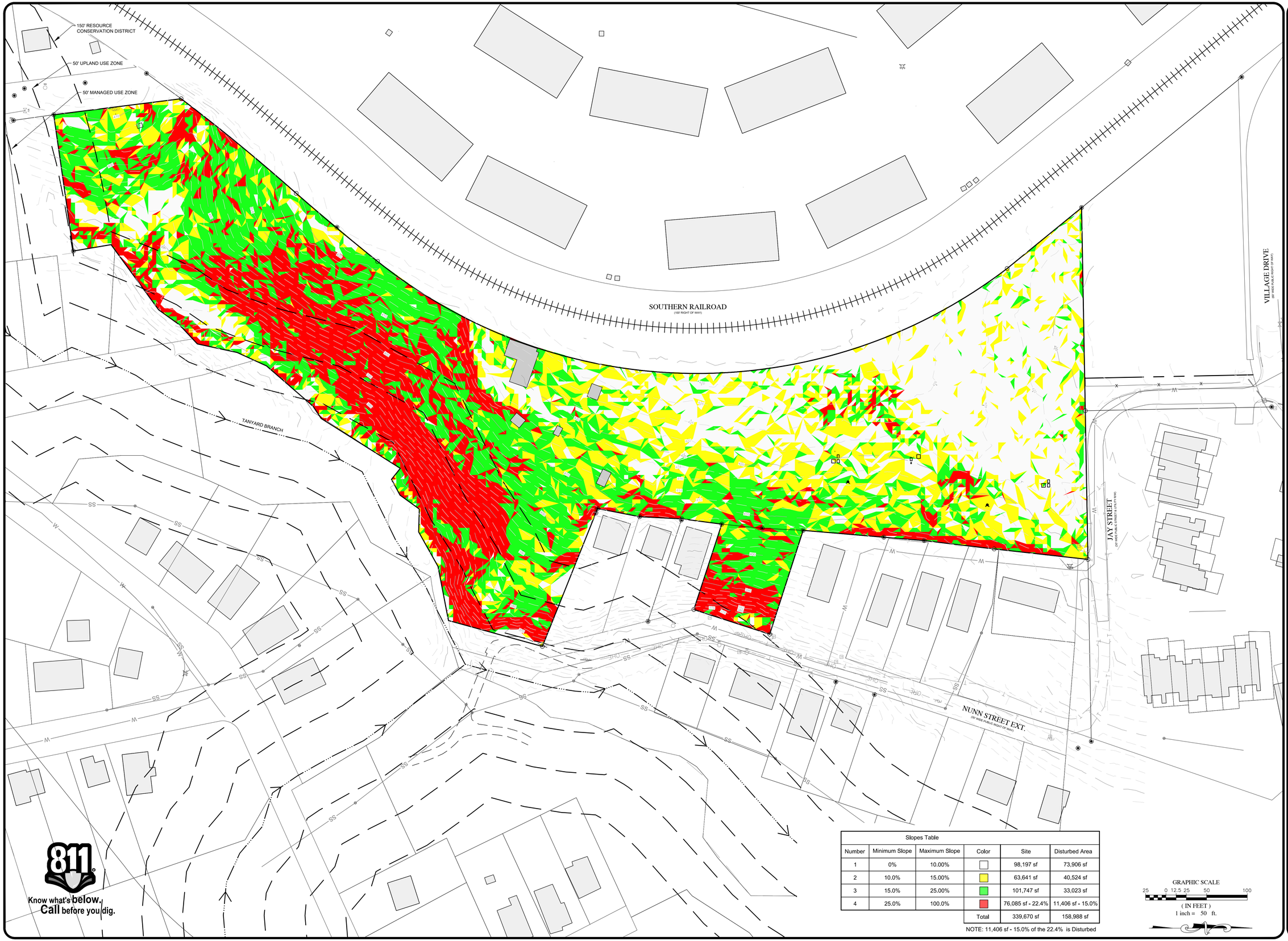
UTILITY PLAN

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_S.dwg

SHEET NO.
C-9

N:\2021\21-0207.010 Taft Mills Jay Street Housing\Civil\Current Drawings\21-0207.S.dwg, 2/1/2022 9:05:15 AM, 1:1



Slopes Table					
Number	Minimum Slope	Maximum Slope	Color	Site	Disturbed Area
1	0%	10.00%		98,197 sf	73,906 sf
2	10.0%	15.00%		63,641 sf	40,524 sf
3	15.0%	25.00%		101,747 sf	33,023 sf
4	25.0%	100.0%		76,085 sf - 22.4%	11,406 sf - 15.0%
			Total	339,670 sf	158,988 sf

NOTE: 11,406 sf - 15.0% of the 22.4% is Disturbed

GRAPHIC SCALE
25 0 12.5 25 50 100
(IN FEET)
1 inch = 50 ft.

7			
6			
5			
4			
3			
2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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FIRST ISSUE DATE
12-01-2021

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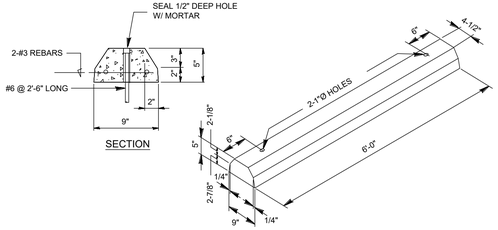
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

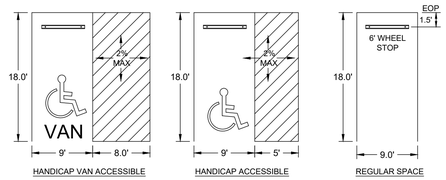
STEEP SLOPES PLAN

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_STEEP SLOPES.dwg
SHEET NO.
C-10



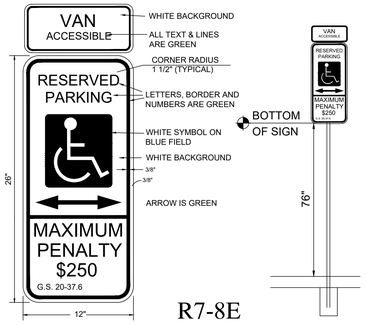
PRECAST CONCRETE WHEELSTOP

NTS



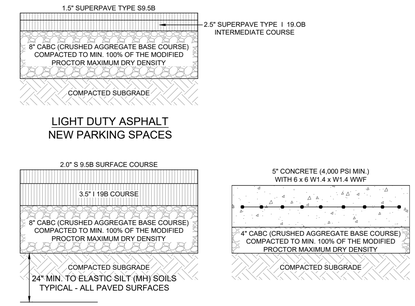
PARKING SPACES - TYPICAL

NTS



HANDICAP PARKING SIGN

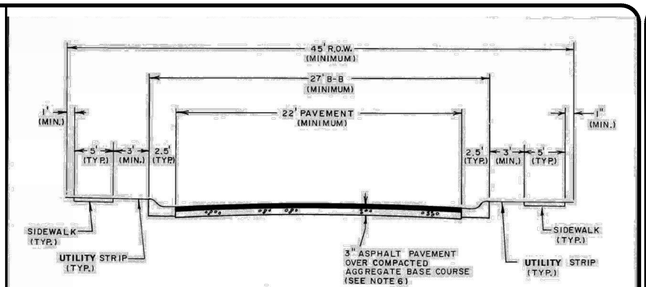
NTS



NOTE: TYPICAL SECTIONS ABOVE ARE BASED ON RECOMMENDATIONS FROM GEOTECHNICAL REPORT PREPARED FOR TONY FISHER AND BY SUMMIT DESIGN AND ENGINEERING SERVICES, DATED NOVEMBER 11, 2019.

ASPHALT/CONCRETE PAVING RECOMMENDATIONS

NTS



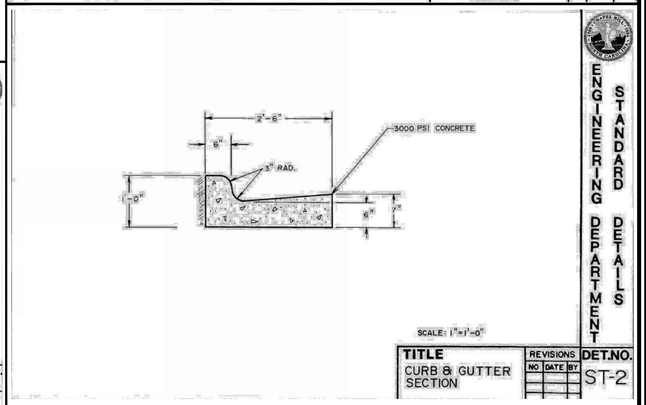
NOTES:

1. UTILITY STRIP WIDTH MAY VARY DEPENDING ON APPROVED LANDSCAPING DESIGN.
2. ALTERNATIVE PAVEMENT DESIGNS MAY REQUIRED BASED UPON SITE-SPECIFIC SOIL AND DRAINAGE CONDITIONS.
3. ADDITIONAL RIGHT-OF-WAY MAY BE REQUIRED FOR UTILITY INSTALLATION.
4. ADDITIONAL TRAVEL LANE WIDTH MAY BE REQUIRED ON STREETS EXPECTED TO CONVEY HIGH TRAFFIC VOLUMES AND/OR TRUCK TRAFFIC.
5. ADD 9' (MINIMUM) OF ADDITIONAL PAVEMENT WIDTH IF TURN LANE IS REQUIRED.
6. AGGREGATE BASE COURSE THICKNESS SHALL BE 8" IN TYPE I AREA; 10" IN TYPE II AREA.

NO SCALE

TITLE:	REVISIONS		
LOCAL STREET (WITH ON-STREET PARKING)	NO.	DATE	BY
	1	03/02	JWH

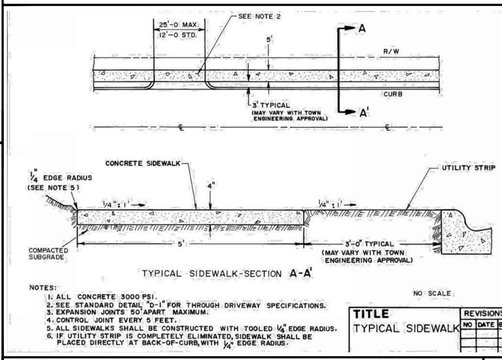
STANDARD ENGINEERING DEPARTMENT DETAILS



SCALE: 1"=1'-0"

TITLE	REVISIONS			DET.NO.
CURB & GUTTER SECTION	NO	DATE	BY	ST-2

STANDARD ENGINEERING DEPARTMENT DETAILS



TYPICAL SIDEWALK-SECTION A-A'

NOTES:

1. ALL CONCRETE 3000 PSI.
2. SEE STANDARD DETAIL "D-1" FOR THROUGH DRIVEWAY SPECIFICATIONS.
3. EXPANSION JOINTS 50' APART MAXIMUM.
4. CONTROL JOINT EVERY 5 FEET.
5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
6. IF UTILITY STRIP IS COMPLETELY ELIMINATED, SIDEWALK SHALL BE PLACED DIRECTLY AT BACK-OF-CURB, WITH 1/4" EDGE RADIUS.

NO SCALE

TITLE	REVISIONS			DET.NO.
TYPICAL SIDEWALK	NO	DATE	BY	ST-4
				SH. 1 of 3

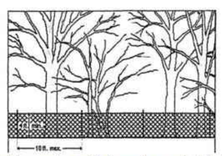
STANDARD ENGINEERING DEPARTMENT DETAILS

Tree Protection Fencing

To properly protect and ensure the health of existing trees to remain, protective fencing should be installed to protect no less than 75% of a tree's critical root zone. When erecting fencing near trees not individually identified on the Landscape Protection Plan, the fencing location should be shifted, where possible, or a tree removed if its critical root zone is not adequately protected. All land disturbing activity, storage of equipment, building material, soil and other debris should be kept within the area of development activity and outside of the protective fencing.

The Town's standard for tree protection fencing is orange woven plastic mesh or fabric with a height of four (4) feet installed on metal posts set a maximum of ten (10) feet apart as shown in the following typical detail. **Figure 6.6**

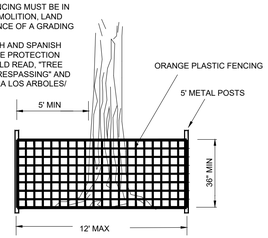
TREE PROTECTION FENCING - TYPICAL



In some situations, where silt fence is required to be installed along the construction limit lines, the silt fence is considered to function in lieu of the standard tree protection fencing; and therefore, the standard tree protection fencing is not required. Because silt fence installation requires cutting tree roots, it should be located outside critical root zones of protected trees.

NOTES:

1. TREE PROTECTION FENCING MUST BE IN PLACE PRIOR TO ANY DEMOLITION, LAND DISTURBANCE OR ISSUANCE OF A GRADING PERMIT.
2. SIGNS IN BOTH ENGLISH AND SPANISH SHALL BE PLACED IN TREE PROTECTION AREAS. THE SIGNS SHOULD READ, "TREE PROTECTION AREA/NO TRESPASSING" AND "ZONA PROTECTORA PARA LOS ARBOLES/ PROHIBIDO ENTRA".



TREE PROTECTION FENCE

NTS

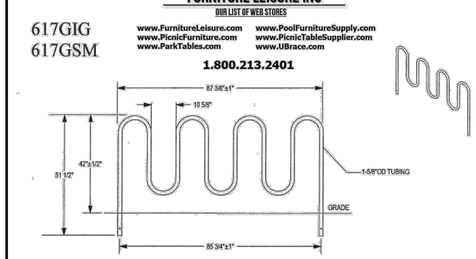
FURNITURE LEISURE INC

OUR LIST OF WEB STORES

617GIG
617GSM

www.FurnitureLeisure.com
www.PicnicFurniture.com
www.ParkTables.com
www.PoolFurnitureSupply.com
www.PicnicTableSupplier.com
www.UBrace.com

1.800.213.2401



PRODUCT: WP158-9-IG(SF,SG)
DESCRIPTION: WINDER PLUS BIKE RACK, 9 BIKE, SURFACE OR IN GROUND MOUNT

DATE: 8-5-02
ENG: TLG

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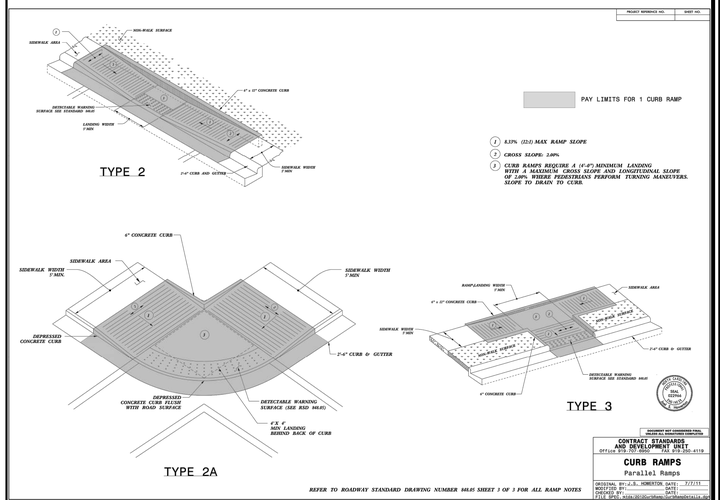
NOTES:

1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
2. CONSULTANT TO SELECT COLOR(FINISH). SEE MANUFACTURER'S SPECIFICATIONS.
3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.
4. SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.

WP158-9-IG(SF,SG)BLDGR



7				
6				
5				
4				
3				
2	CZA COMMENTS #2	1/31/2022	DMC	
1	CZA COMMENTS #1	1/4/2022	DMC	
	REVISIONS	DATE	BY	

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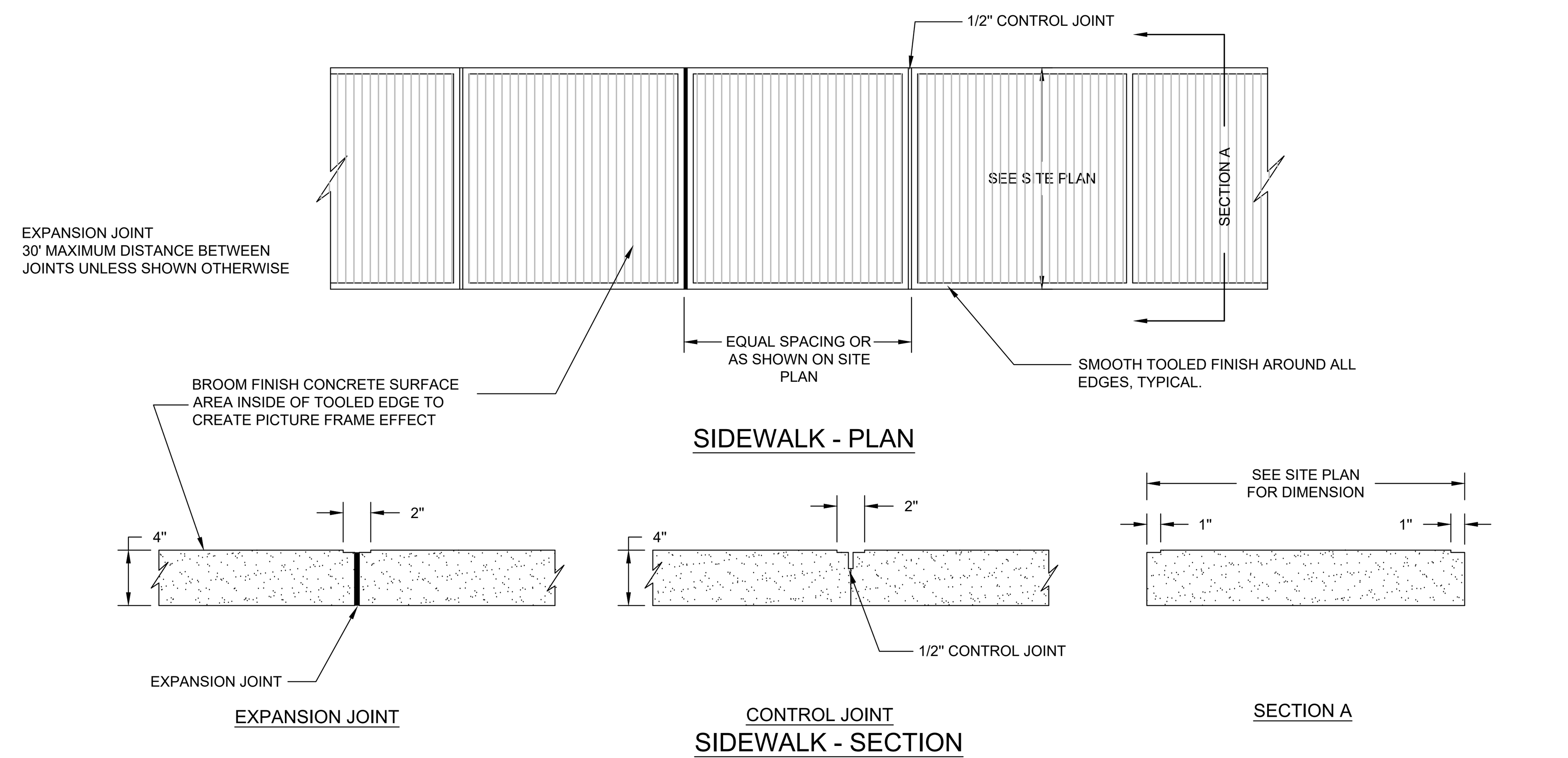
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS

PROJECT NO.
21-0207

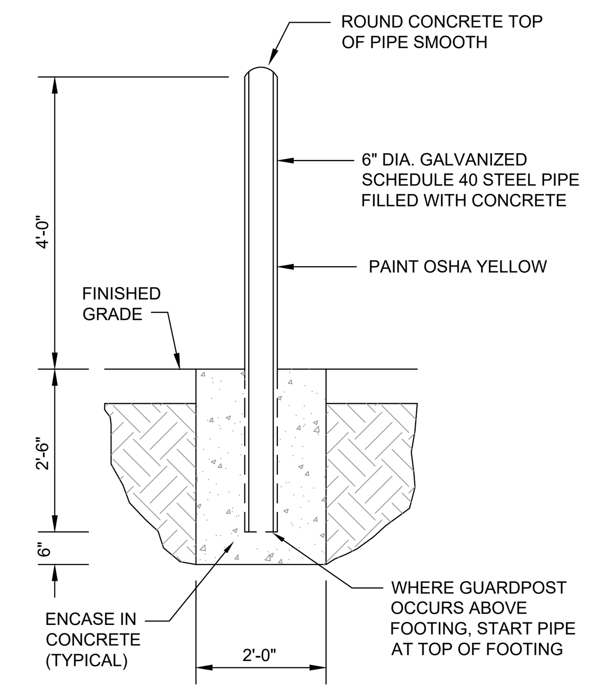
DRAWING NAME:
21-0207_D-1-5.dwg

SHEET NO.
D-1



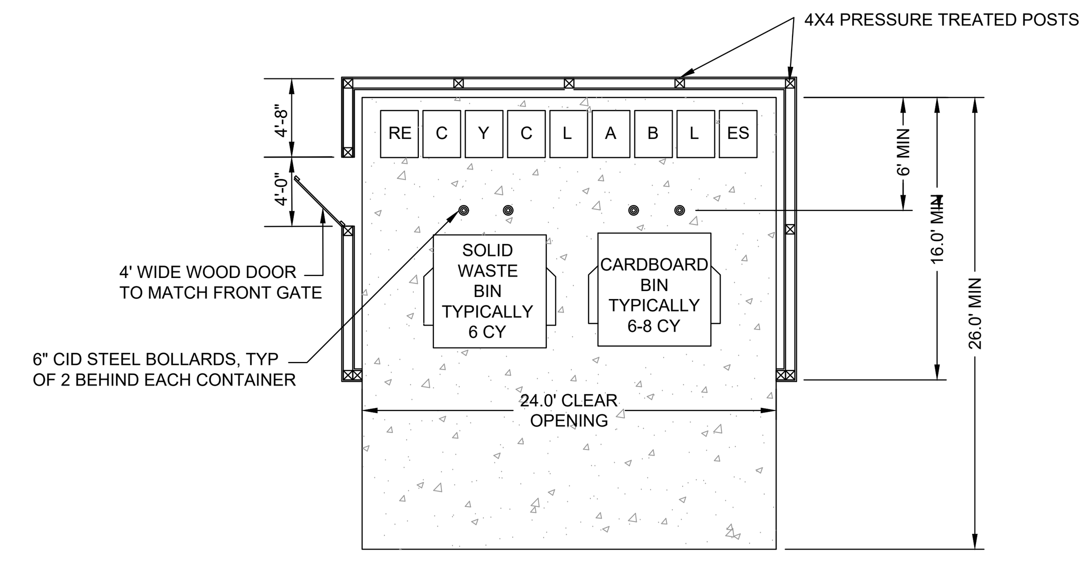
CONCRETE SIDEWALK FINISH DETAIL

NTS



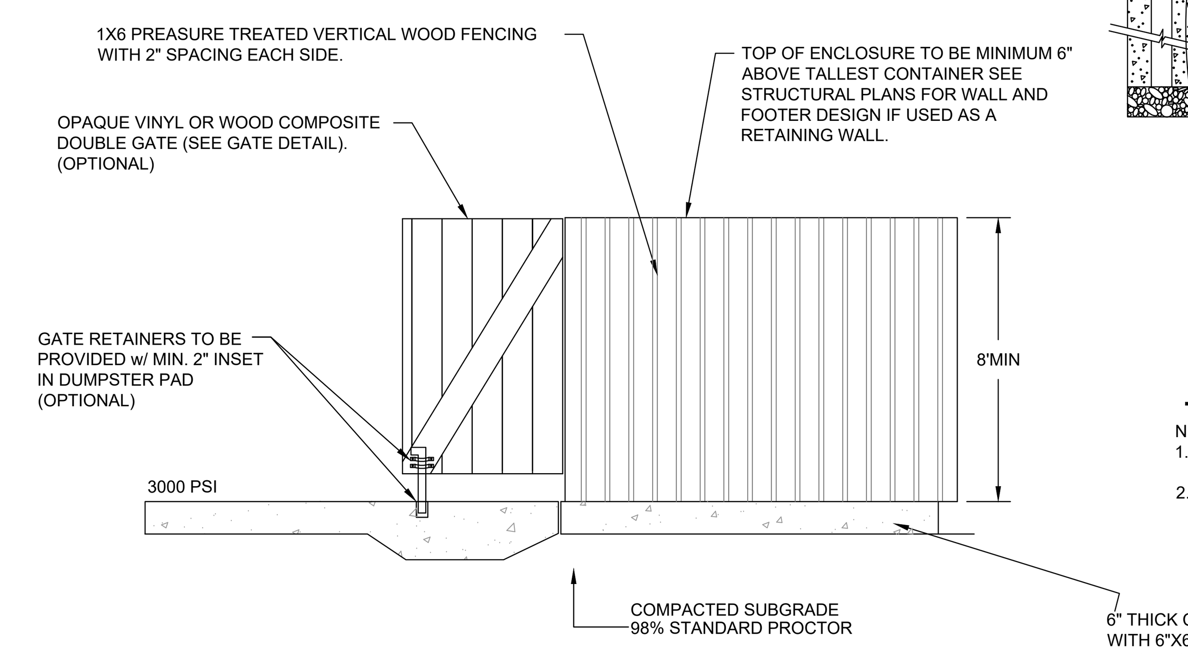
BOLLARD DETAIL

NTS



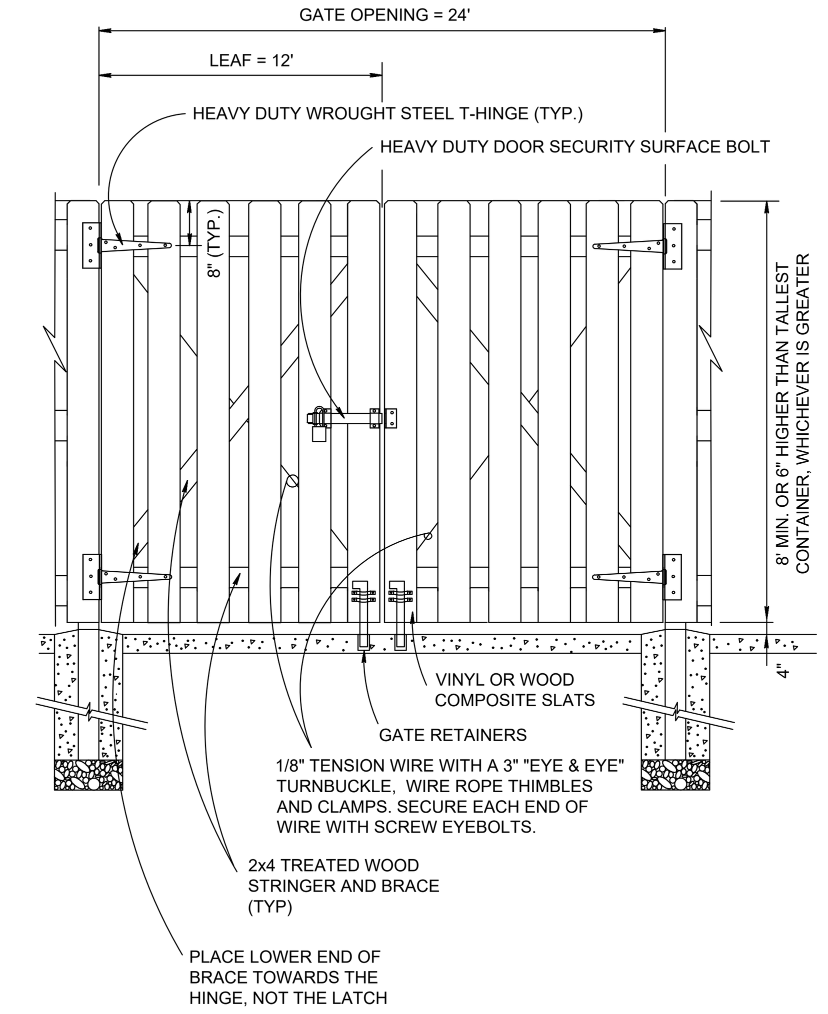
DUMPSTER PLAN

TYPICAL DOUBLE WITH ROLLOUT CARTS



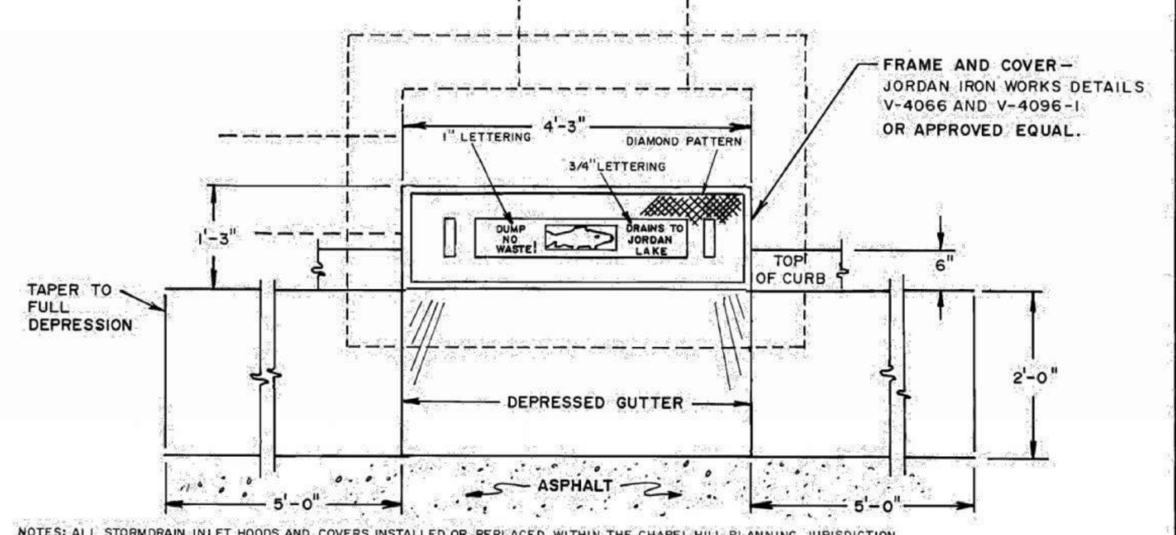
DUMPSTER ENCLOSURE ELEVATION

NTS



ENCLOSURE GATE DETAIL (OPTIONAL)

NOTE:
1. ACTUAL GATE TO BE FULLY OPAQUE. SLATS SHOWN WITH GAPS TO SHOW BRACING DETAIL.
2. THE DUMPSTER ENCLOSURE AND ALL APPURTENANCES SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALL LOCAL SOLID WASTE DEPARTMENT STANDARDS AND SPECIFICATIONS.

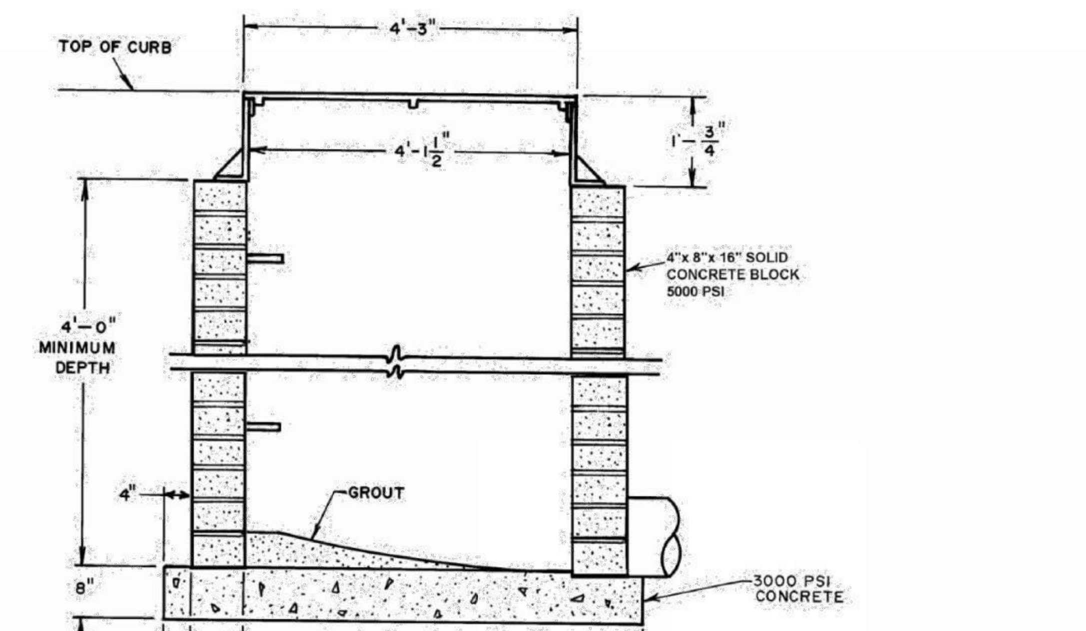


NOTES: ALL STORMDRAIN INLET HOODS AND COVERS INSTALLED OR REPLACED WITHIN THE CHAPEL HILL PLANNING JURISDICTION AFTER JULY 31, 2000 SHALL BE PRE-CAST WITH THE MESSAGE: "DUMP NO WASTE ! DRAINS TO JORDAN LAKE" (INCLUDING THE CAST IMAGE OF A FISH).
PRE-CAST HOODS AND COVERS SHALL BE DESIGNED IN ACCORDANCE WITH EAST JORDAN IRON WORKS DETAILS V-4066 AND V-4096-1, OR EQUAL, AND MUST COMPLY WITH APPLICABLE STATE AND TOWN REQUIREMENTS FOR MATERIALS AND INSTALLATION.
THIS DETAIL SUPERCEDES STORM DRAIN (SD-5C) DETAIL AS OF JULY 31, 2000.

NO SCALE

ENGINEERING DEPARTMENT STANDARD DETAILS

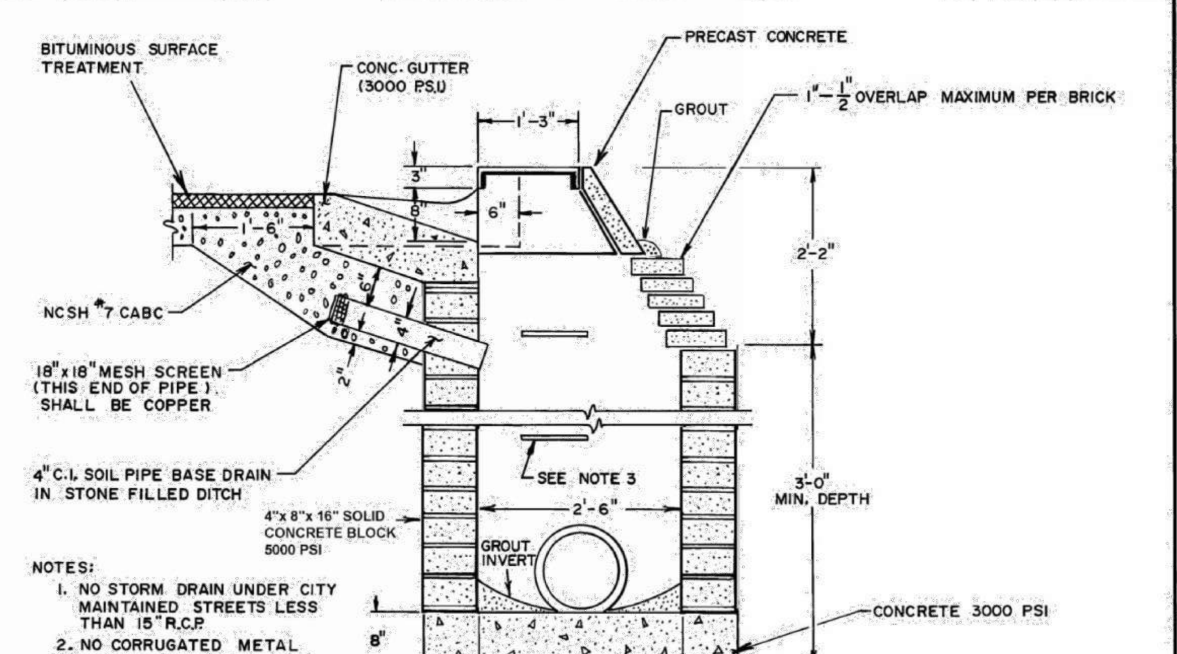
TITLE	REVISIONS	DET.NO.
CURB INLET— TOP VIEW	NO DATE BY	SD-5A



NO SCALE

ENGINEERING DEPARTMENT STANDARD DETAILS

TITLE	REVISIONS	DET.NO.
CURB INLET— FRONT VIEW	NO DATE BY	SD-5B



NOTES:
1. NO STORM DRAIN UNDER CITY MAINTAINED STREETS LESS THAN 15" R.C.P.
2. NO CORRUGATED METAL PIPE WITHOUT PERMISSION FROM TOWN ENGINEER.
3. 1st STEP IS 2' FROM TOP.

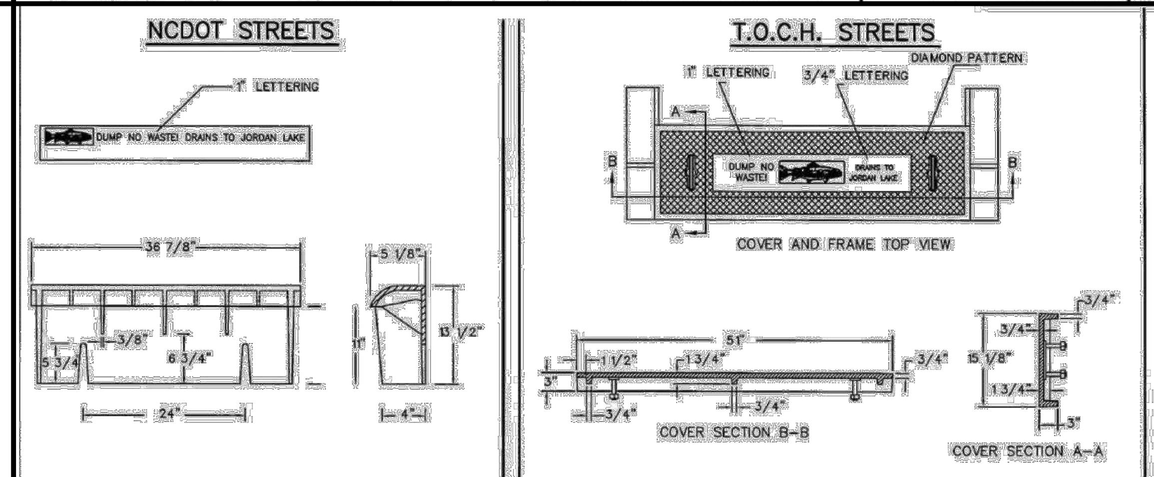
NO SCALE

ENGINEERING DEPARTMENT STANDARD DETAILS

TITLE	REVISIONS	DET.NO.
CURB INLET— SIDE VIEW	NO DATE BY	SD-5

NCDOT STREETS

T.O.C.H. STREETS



STORMDRAIN CURB INLET HOOD FOR INSTALLATION ON STATE STREETS AND INSTALLATIONS UNDER THE JURISDICTION OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND SHALL COMPLY WITH ASTM A48 CL35. IT SHALL BE A HEAVY DUTY TRAFFIC BEARING GRATE WITH AN APPROXIMATE TOTAL WEIGHT OF 575 LBS. (INCLUDES WEIGHT OF GRATE, FRAME & HOOD).

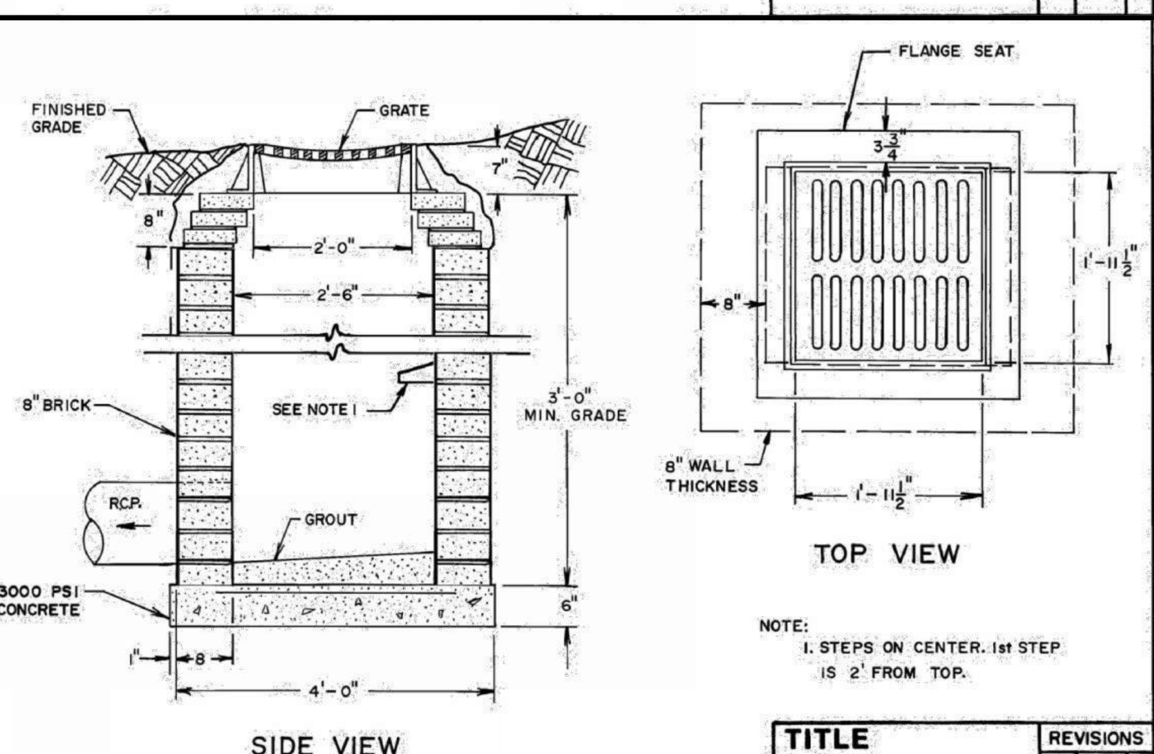
STORMDRAIN CURB INLET COVER FOR INSTALLATION ON TOWN STREETS AND INSTALLATIONS UNDER THE JURISDICTION OF THE TOWN OF CHAPEL HILL SHALL COMPLY WITH ASTM A48 CL35. IT SHALL BE A LIGHT DUTY COVER HAVING AN APPROXIMATE TOTAL WEIGHT OF 307 LBS. (INCLUDES WEIGHT OF COVER AND TWO LEGS).

NOTES:
1. ALL STORMDRAIN INLET HOODS AND COVERS INSTALLED OR REPLACED WITHIN THE CHAPEL HILL PLANNING JURISDICTION AFTER JULY 31, 2000 SHALL BE PRE-CAST WITH THE MESSAGE: "DUMP NO WASTE! DRAINS TO JORDAN LAKE" (INCLUDING THE CAST IMAGE OF A FISH).
2. PRE-CAST HOODS AND COVERS SHALL BE DESIGNED IN ACCORDANCE WITH THE ABOVE MATERIAL SPECIFICATIONS AND MUST COMPLY WITH APPLICABLE STATE AND TOWN REQUIREMENTS FOR MATERIALS AND INSTALLATION.
3. CASTING MUST BE MANUFACTURED IN THE UNITED STATES. MANUFACTURER MUST BE APPROVED BY THE TOWN OF CHAPEL HILL.

N.T.S.

ENGINEERING DEPARTMENT STANDARD DETAILS

TITLE:	REVISIONS	DET.NO.
CURB INLET HOOD AND COVER	6/01 JH 1/03 JH	SD—5C

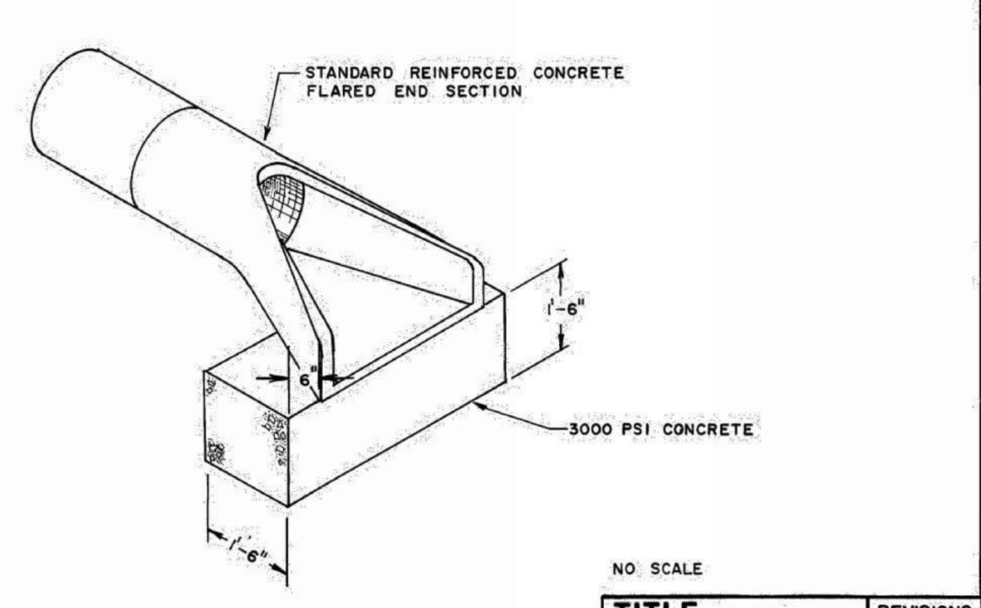


NOTE:
1. STEPS ON CENTER. 1st STEP IS 2' FROM TOP.

NO SCALE

ENGINEERING DEPARTMENT STANDARD DETAILS

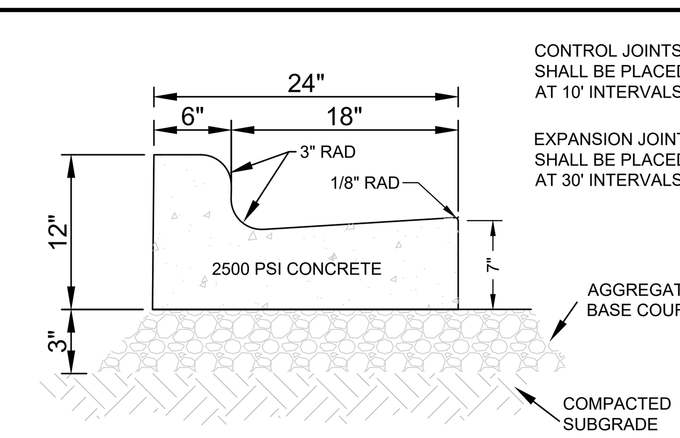
TITLE	REVISIONS	DET.NO
CATCH BASIN—TOP VIEW & SIDE VIEW	NO DATE BY	SD-6



NO SCALE

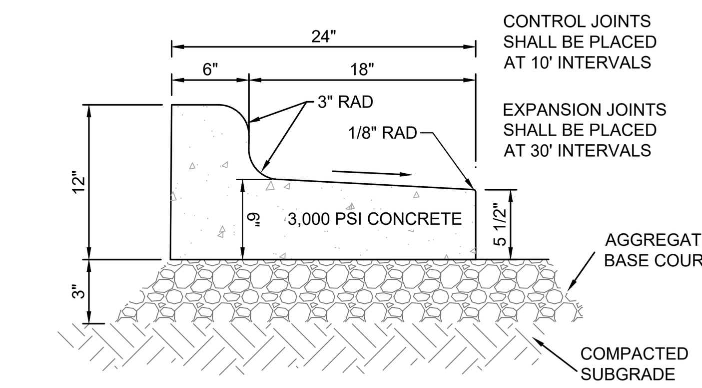
ENGINEERING DEPARTMENT STANDARD DETAILS

TITLE	REVISIONS	DET.NO.
FLARED END SECTION	NO DATE BY	SD-7



24" CURB AND GUTTER

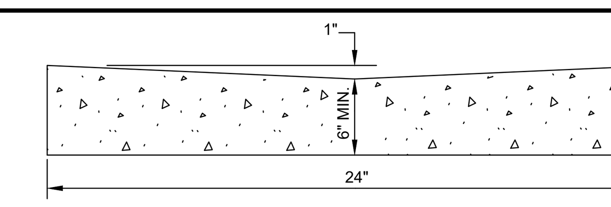
NTS



24" CURB & GUTTER

(SPILL TYPE GUTTER)

NTS



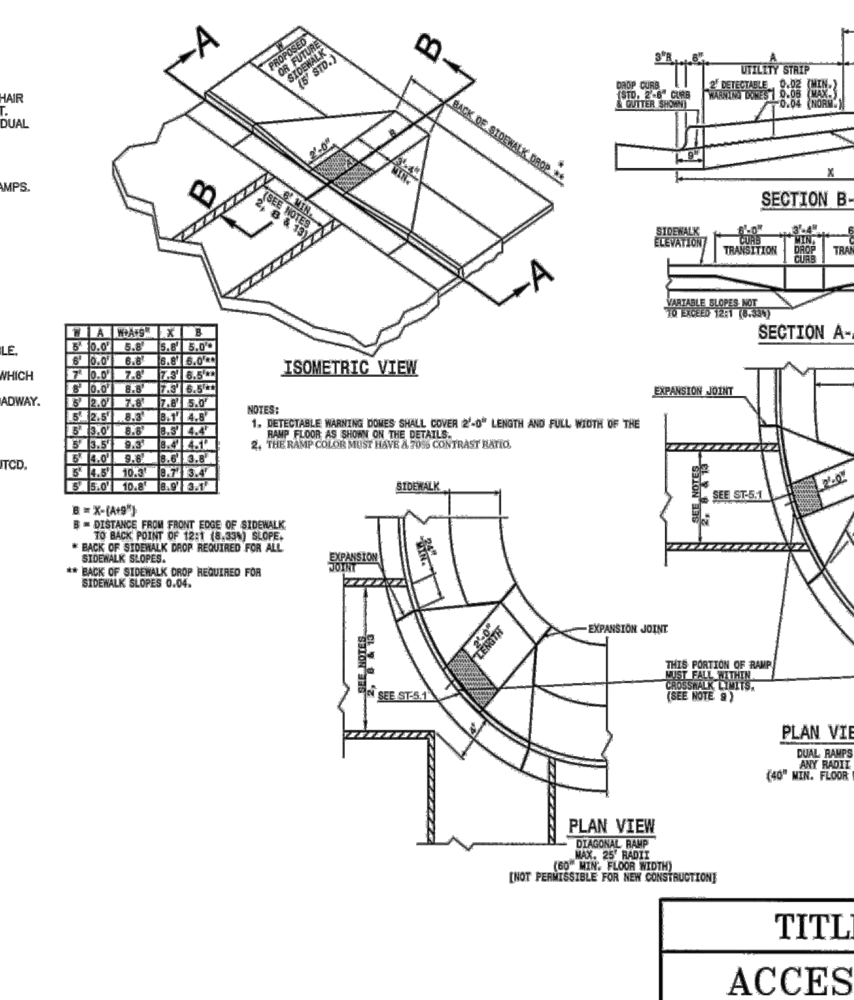
NOTES:
USE NON-REINFORCED, AIR ENTRAINED, CONCRETE WITH A MINIMUM STRENGTH OF 3000 LBS.

24" VALLEY GUTTER

NOT TO SCALE

NOTES:

1. CONSTRUCT THE WALKING SURFACE WITH SLIP RESISTANCE AND A 70% CONTRASTING COLOR TO THE SIDEWALK.
2. CROSSWALK WIDTHS AND CONFIGURATION MAY VARY BUT MUST CONFORM TO TRAFFIC DESIGN STANDARDS.
3. PROVIDE WHEELCHAIR RAMPS AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMPS AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, DROP INLETS, ETC. AFFECT PLACEMENT. WHERE TWO RAMPS ARE INSTALLED, PLACE NOT LESS THAN TWO FEET OF FULL HEIGHT CURB BETWEEN THE RAMPS. PLACE DUAL RAMPS AS PERPENDICULAR TO THE TRAVEL LANE BEING CROSSED AS POSSIBLE .
4. DO NOT EXCEED 0.08 (12:1) SLOPE ON THE WHEELCHAIR RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET.
5. CONSTRUCT WHEELCHAIR RAMPS 40" (3'-4") OR GREATER FOR DUAL RAMPS AND 60" (5'-0") OR GREATER FOR DIAGONAL RAMPS.
6. USE CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
7. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AS SHOWN ON DETAIL ST-5A.
8. PLACE THE INSIDE PEDESTRIAN CROSSWALK LINES NO CLOSER IN THE INTERSECTION BY BISECTING THE INTERSECTION RADII, WITH ALLOWANCE OF A 4' CLEAR ZONE IN THE VEHICULAR TRAVELWAY WHEN ONE RAMP IS INSTALLED. (SEE NOTE 13)
9. COORDINATE THE CURB CUT AND THE PEDESTRIAN CROSSWALK LINES SO THE FLOOR OF THE WHEELCHAIR RAMP WILL FALL WITHIN THE PEDESTRIAN CROSSWALK LINES. PLACE DIAGONAL RAMPS WITH FLARED SIDES SO 24" OF FULL HEIGHT CURB FALLS WITHIN THE CROSSWALK MARKINGS ON EACH SIDE OF THE FLARES.
10. CONSTRUCT THE PEDESTRIAN CROSSWALK A MINIMUM OF 6 FEET. A CROSSWALK WIDTH OF 8 FEET OR GREATER IS DESIRABLE.
11. USE STOP LINES, NORMALLY PERPENDICULAR TO THE LANE LINES, WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER LEGAL REQUIREMENT. AN UNUSUAL APPROACH SKEW MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTION ROADWAY.
12. TERMINATE PARKING A MINIMUM OF 20 FEET BACK OF PEDESTRIAN CROSSWALK.
13. PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.



NOTES:
1. DETECTABLE WARNING DOMES SHALL COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR AS SHOWN ON THE DETAILS.
2. THE RAMP COLOR MUST HAVE A 70% CONTRAST RATIO.

W	A	W+A+9"	X	B
5'	0.0'	5.8'	5.8'	5.0'*
6'	0.0'	6.8'	6.8'	6.0'**
7'	0.0'	7.8'	7.3'	6.5'**
8'	0.0'	8.8'	7.3'	6.5'**
5'	2.0'	7.8'	7.8'	5.0'
5'	2.5'	8.3'	8.1'	4.8'
5'	3.0'	8.8'	8.3'	4.4'
5'	3.5'	9.3'	8.4'	4.1'
5'	4.0'	9.8'	8.6'	3.8'
5'	4.5'	10.3'	8.7'	3.4'
5'	5.0'	10.8'	8.9'	3.1'

B = X-(A+9")
B = DISTANCE FROM FRONT EDGE OF SIDEWALK TO BACK POINT OF 12:1 (8.33%) SLOPE.
* BACK OF SIDEWALK DROP REQUIRED FOR ALL SIDEWALK SLOPES.
** BACK OF SIDEWALK DROP REQUIRED FOR SIDEWALK SLOPES 0.04.

NOTE: DRAWING NOT TO SCALE
SOURCE: NCDOT STANDARD DRAWINGS

TOWN OF CHAPEL HILL

ENGINEERING DEPARTMENT STANDARD DETAILS

TITLE:	REVISIONS		DET.NO.
ACCESSIBLE RAMP	09/03 02/08	JH ER	ST - 5.3

7			
6			
5			
4			
3			
2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)
DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
PRELIMINARY
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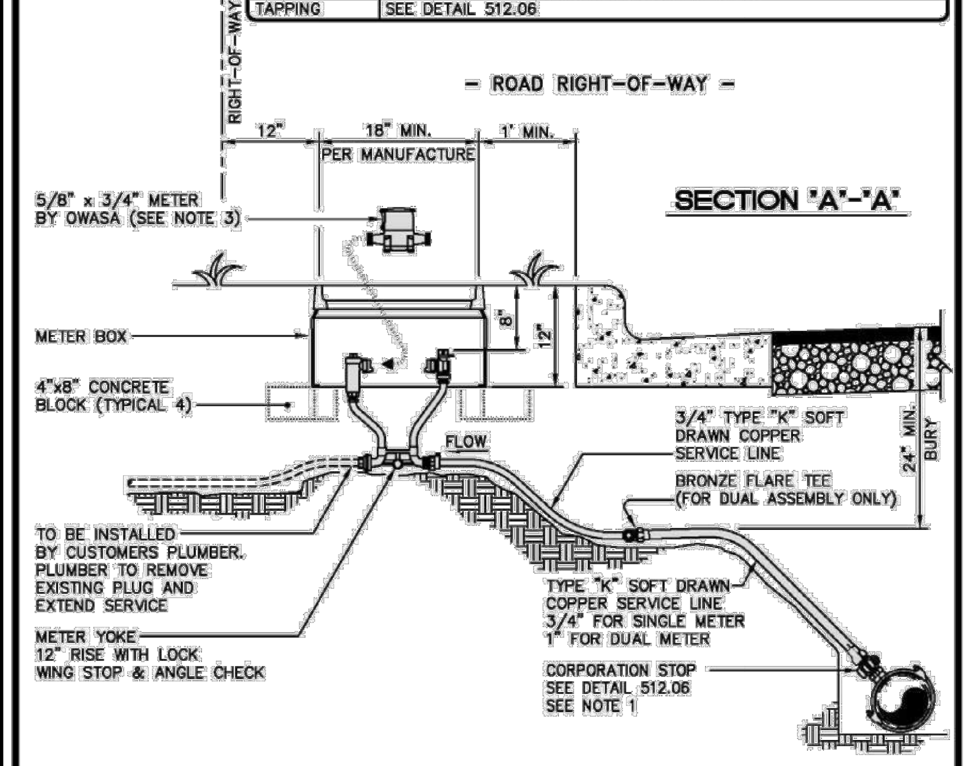
www.summitde.com

SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_D-1-5.dwg
SHEET NO.
D-2

PART	MANUFACTURER MODEL / Cat. No.
METER BOX	OLDCASTLE / 1118-12 BCFXL BODY B-W O OR 2 MSHI PAVING
METER BOX LID	NICOR, INC / B12
METER SETTER	FORD (3/4") / VBHH72-12W-11-33 FORD (1") / VBHH74-12W-11-44 MUELLER (3/4" & 1") / H-2404-2A & TWO H-14222 COUPLINGS SPECIFY SIZE OF YOKE WHEN ORDERING MUELLER SETTER
METER	INSTALLED BY OWASA UPON PAYMENT OF FEES
TAPPING	SEE DETAIL 512.06



NOTES:
1. Bronze service saddles shall be used on all service connections. Direct taps shall be made only as directed by an OWASA representative. See tapping detail 512.06.
2. Omitted
3. If installation is for stub-out meter, meter should be purchased from OWASA. (At applicants expense)
4. Meter must be level across meter connections.
5. Substitution requires approval by OWASA's Director of Engineering.

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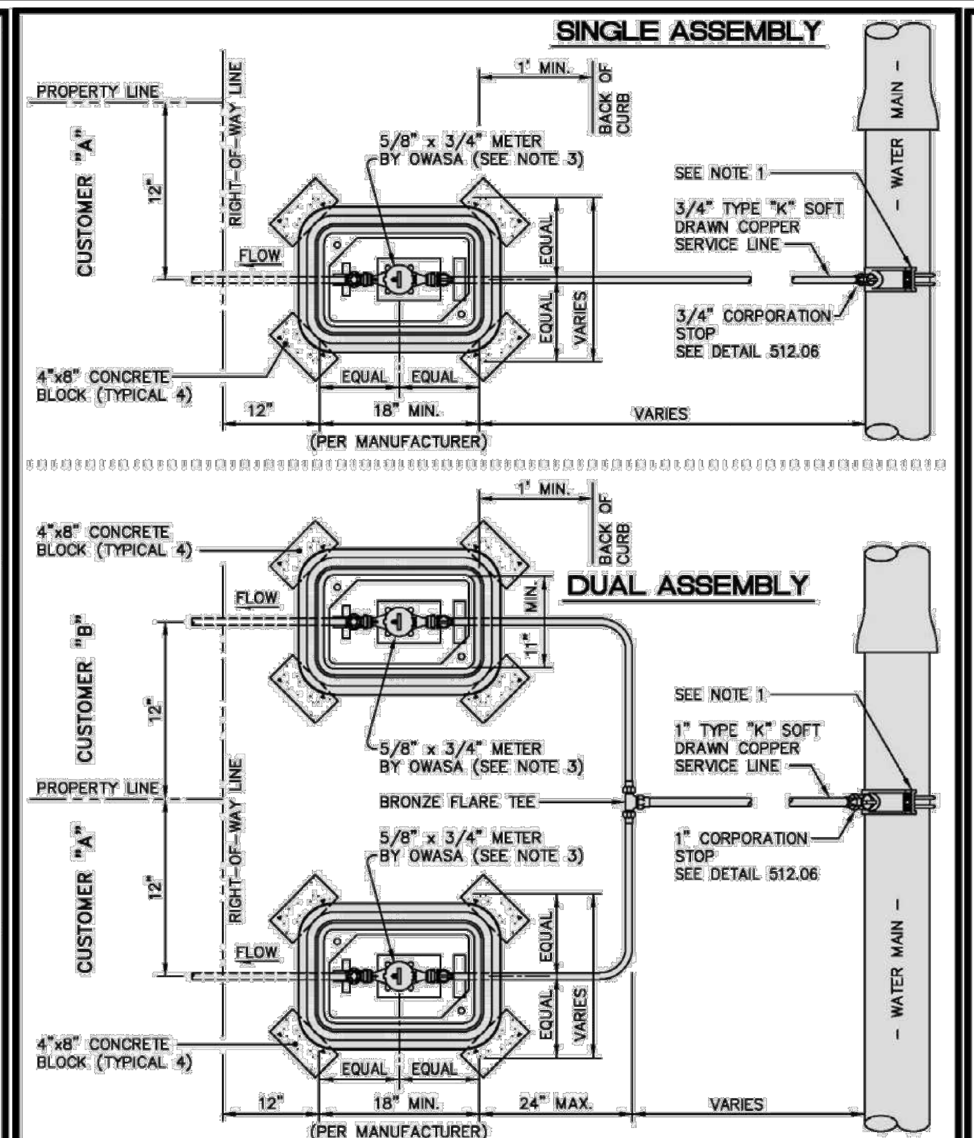
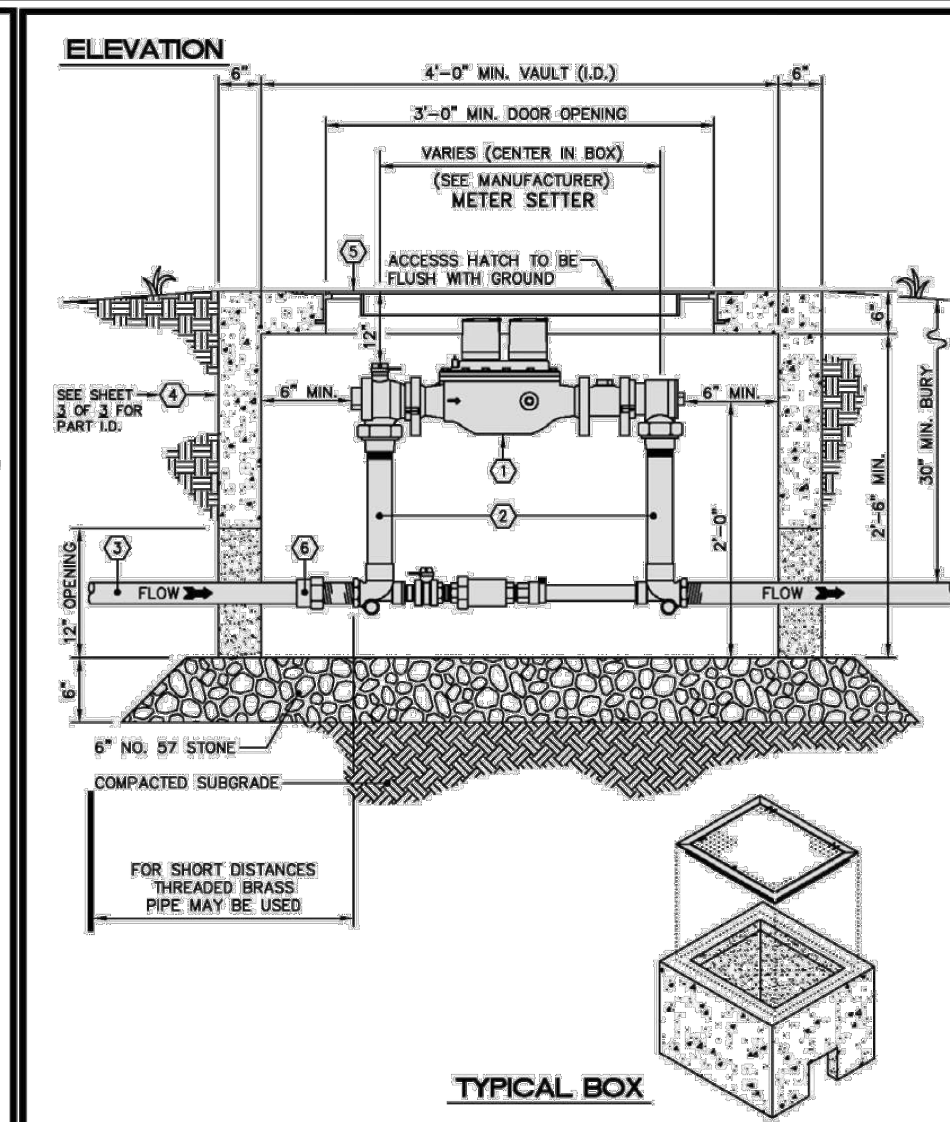
3/4" SINGLE & 1" DUAL SERVICE INSTALLATION | SCALE: Not To Scale | DETAIL # 515.01 | REVISION DATE: May 16, 2019 | SHEET #: 1 of 2



OWASA Quality Service Since 1977 | 400 Jones Ferry Road PO Box 366 Carrboro, NC 27510-0366 | ORANGE WATER AND SEWER AUTHORITY | USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY | Voice (919) 968-4421 FAX (919) 968-4464 www.owasa.org

3/4" SINGLE & 1" DUAL SERVICE INSTALLATION | SCALE: Not To Scale | DETAIL # 515.01 | REVISION DATE: May 16, 2019 | SHEET #: 2 of 2



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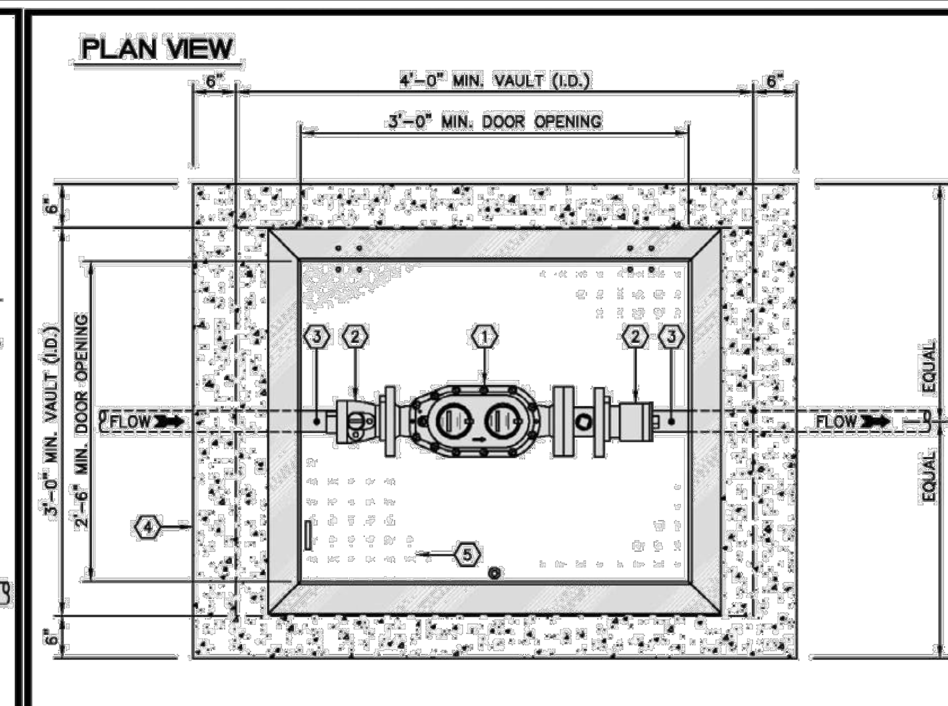
STANDARD 2" METER VAULT | SCALE: Not To Scale | DETAIL # 515.04 | REVISION DATE: December, 2010 | SHEET #: 1 of 3



#	PART	MANUFACTURER MODEL / Cat. No.
1	2" COMPOUND METER	FURNISHED BY OWASA
2	2" METER SETTER	(2") FORD STD. 18" RISE VBHH77-18BHC-11-77 MUELLER 15" RISE MUELLER DWG No. B2423-2
3	2" TYPE "K" HARD DRAWN COPPER SERVICE	---
4	4' x 5' PRECAST CONCRETE METER VAULT	See Section 02510 2.3.6 (OR APPROVED EQUIVALENT)
5	ACCESS HATCH NO EXPOSED HINGES OR LOCKS	See Section 02510 2.3.13
6	SILVER BRAZED JOINT	See Section 02510 2.1.2

NOTES:
1. Ensure positive surface grade away from vault.

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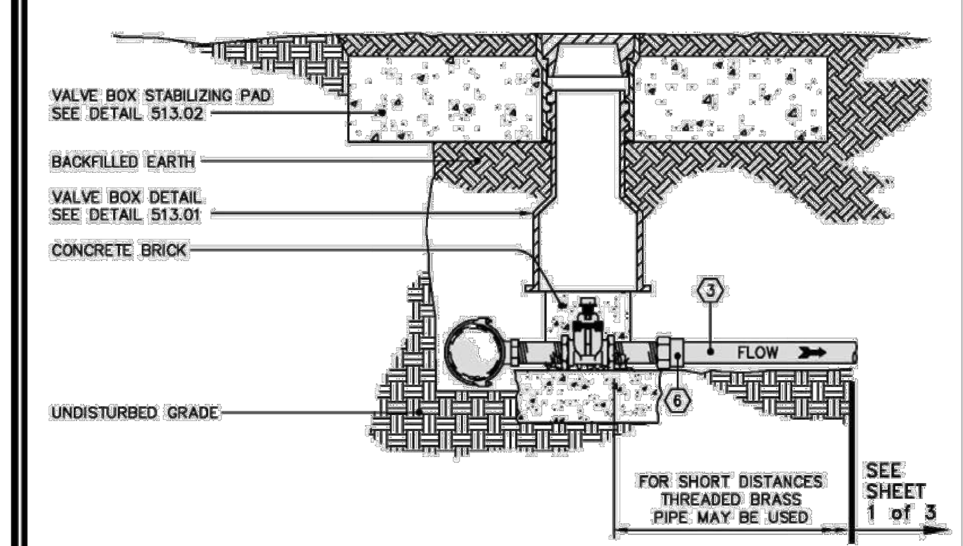
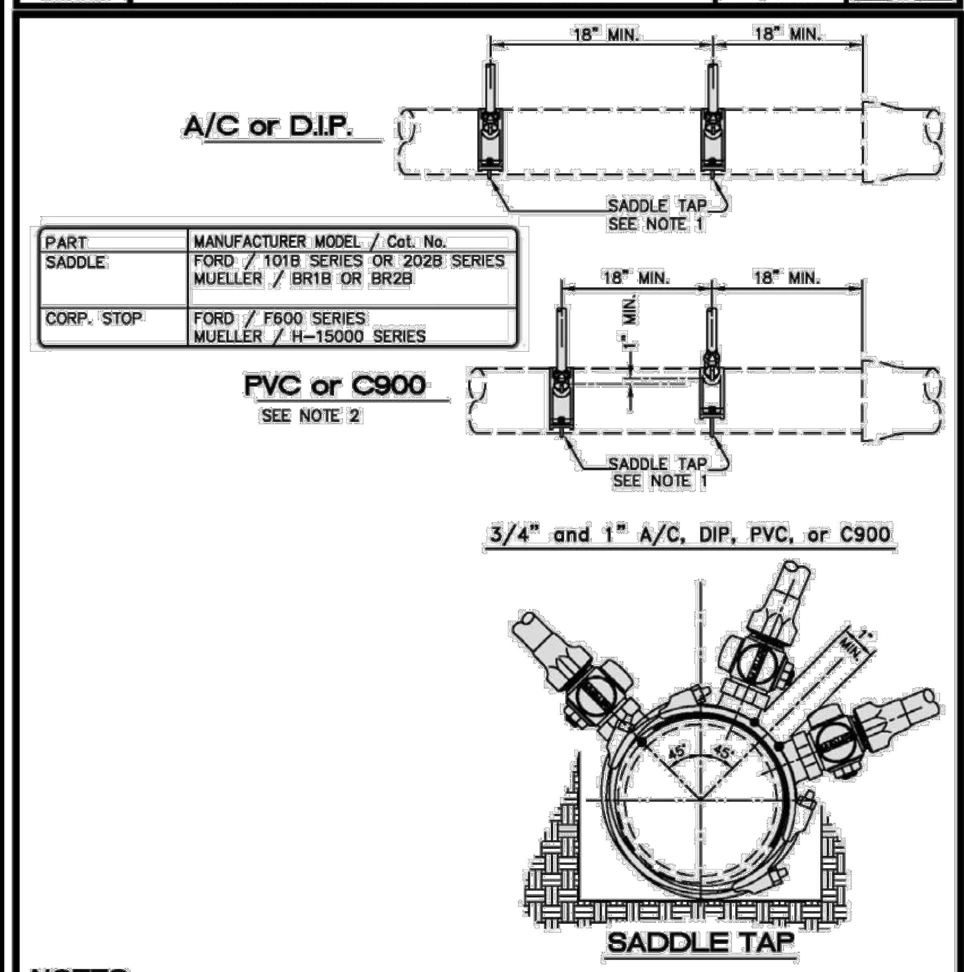
STANDARD 2" METER VAULT | SCALE: Not To Scale | DETAIL # 515.04 | REVISION DATE: December, 2010 | SHEET #: 3 of 3



OWASA Quality Service Since 1977 | 400 Jones Ferry Road PO Box 366 Carrboro, NC 27510-0366 | ORANGE WATER AND SEWER AUTHORITY | USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY | Voice (919) 968-4421 FAX (919) 968-4464 www.owasa.org

STANDARD 2" METER VAULT | SCALE: Not To Scale | DETAIL # 515.04 | REVISION DATE: December, 2010 | SHEET #: 2 of 3



PART	MANUFACTURER MODEL / Cat. No.
SADDLE	FORD / 101B SERIES OR 202B SERIES MUELLER / BR1B OR BR2B
CORP. STOP	FORD / F600 SERIES MUELLER / H-15000 SERIES

NOTES:
1. All bronze saddle (Single or double strap for 3/4" and 1")
2. If 2 taps are made on each side of the main there shall be a minimum of 18" horizontal separation. Multiple taps on the same side shall have a minimum 18" horizontal separation and staggered a minimum of 1" vertically to prevent damage to the main.

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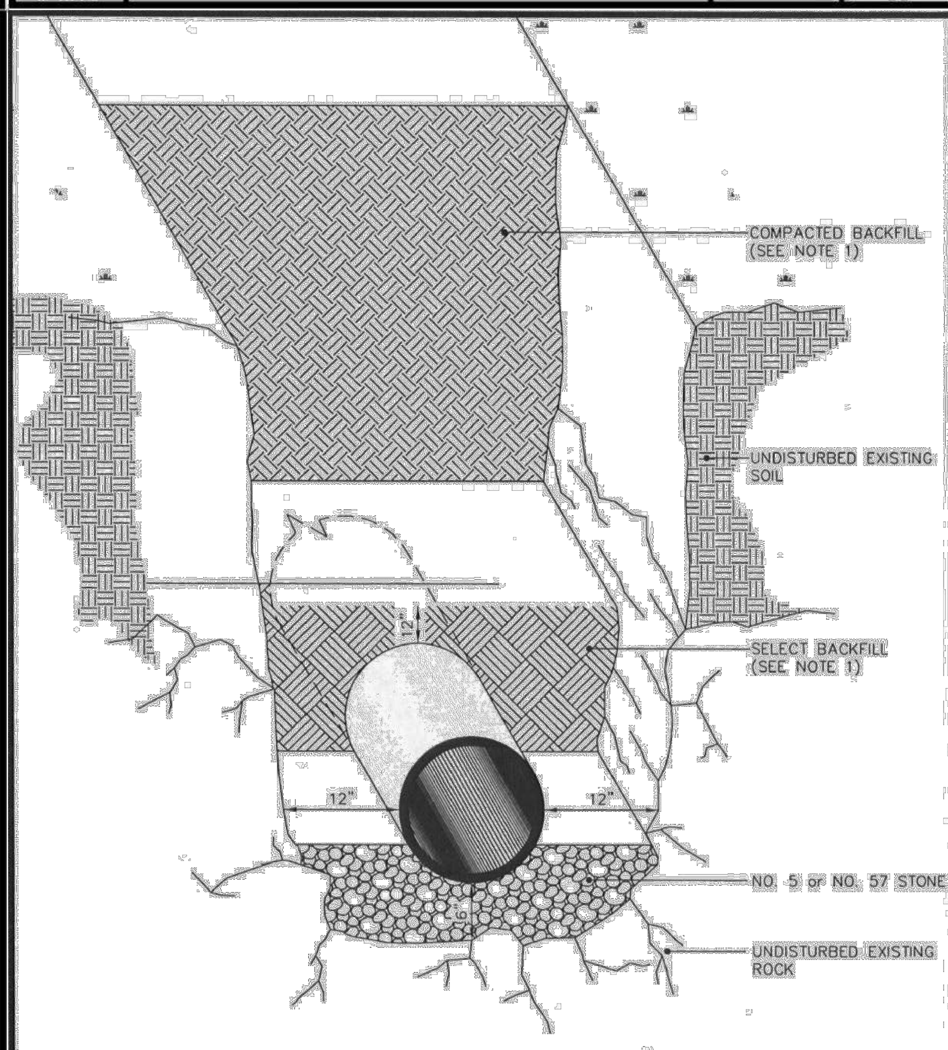
STANDARD 3/4" and 1" WATER TAPPING DETAIL | SCALE: Not To Scale | DETAIL # 512.06 | REVISION DATE: October, 2011 | SHEET #: 1 of 1



NOTES:
1. See specification section 02275 Trenching, Backfilling, and Compaction of Utilities for backfill and compaction requirements.

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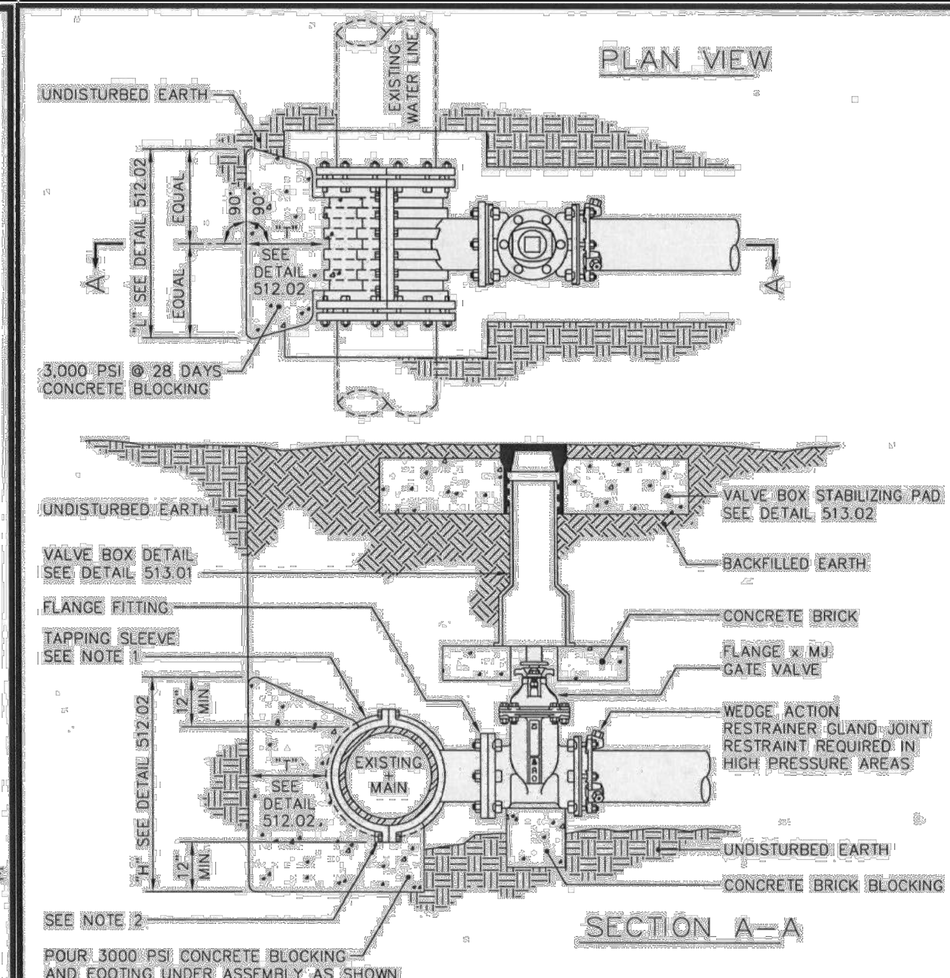
DETAIL of ROCK EXCAVATION | SCALE: Not To Scale | DETAIL # 511.01 | REVISION DATE: August 15, 2003 | SHEET #: 1 of 1



NOTES:
1. Concrete blocking is to be formed to ensure accesibility to fittings and poured against undisturbed earth.
2. Fittings are to be completely wrapped with plastic, prior to pouring concrete.
3. Concrete to be minimum 3,000 psi. @ 28 days.
4. Taps onto in-service mains by OWASA personnel only.

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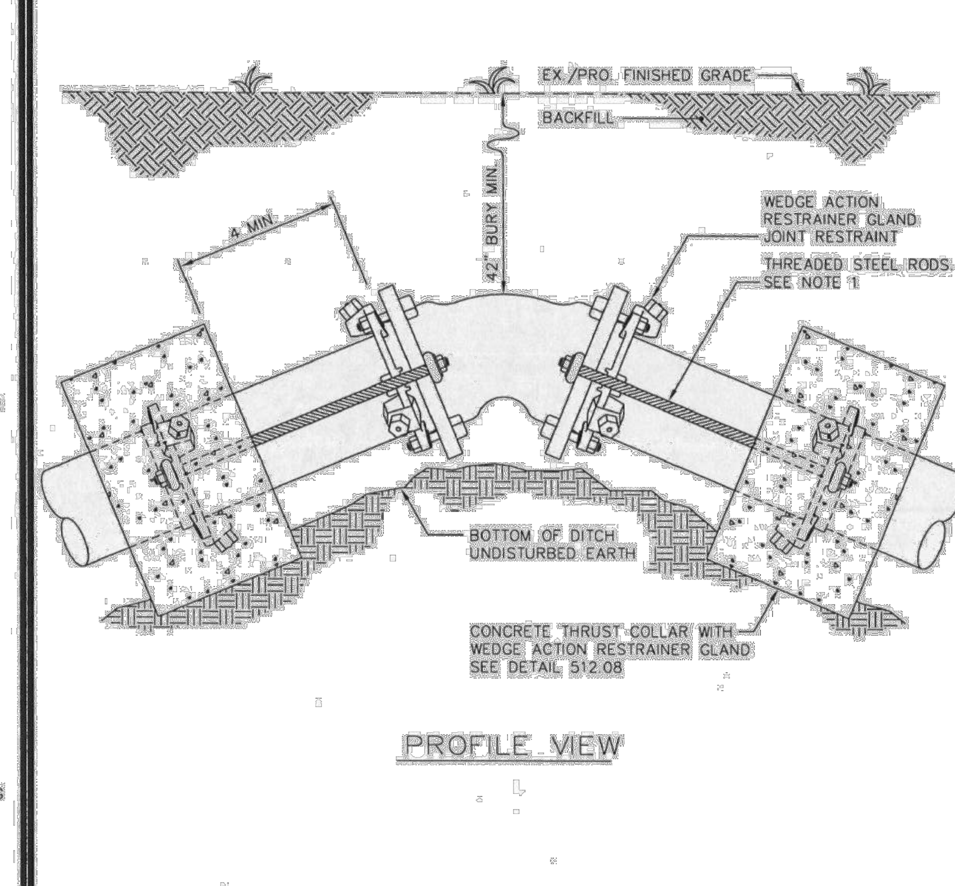
4" to 12" STANDARD TAPPING SLEEVE and VALVE ASSEMBLY | SCALE: Not To Scale | DETAIL # 512.04 | REVISION DATE: August 15, 2003 | SHEET #: 1 of 1



NOTES:
1. If 42" bury depth is not maintained or located in high pressure zone, a minimum of (2) 3/4" dia. rods to be used for pipe thru 24" dia. per joint - a minimum of (2) 1" dia. rods to be used for pipe 30" & 36" dia. per joint - a minimum of (2) 1 1/4" dia. rods to be used for pipe 42" & 48" dia. per joint. (See detail 512.09)

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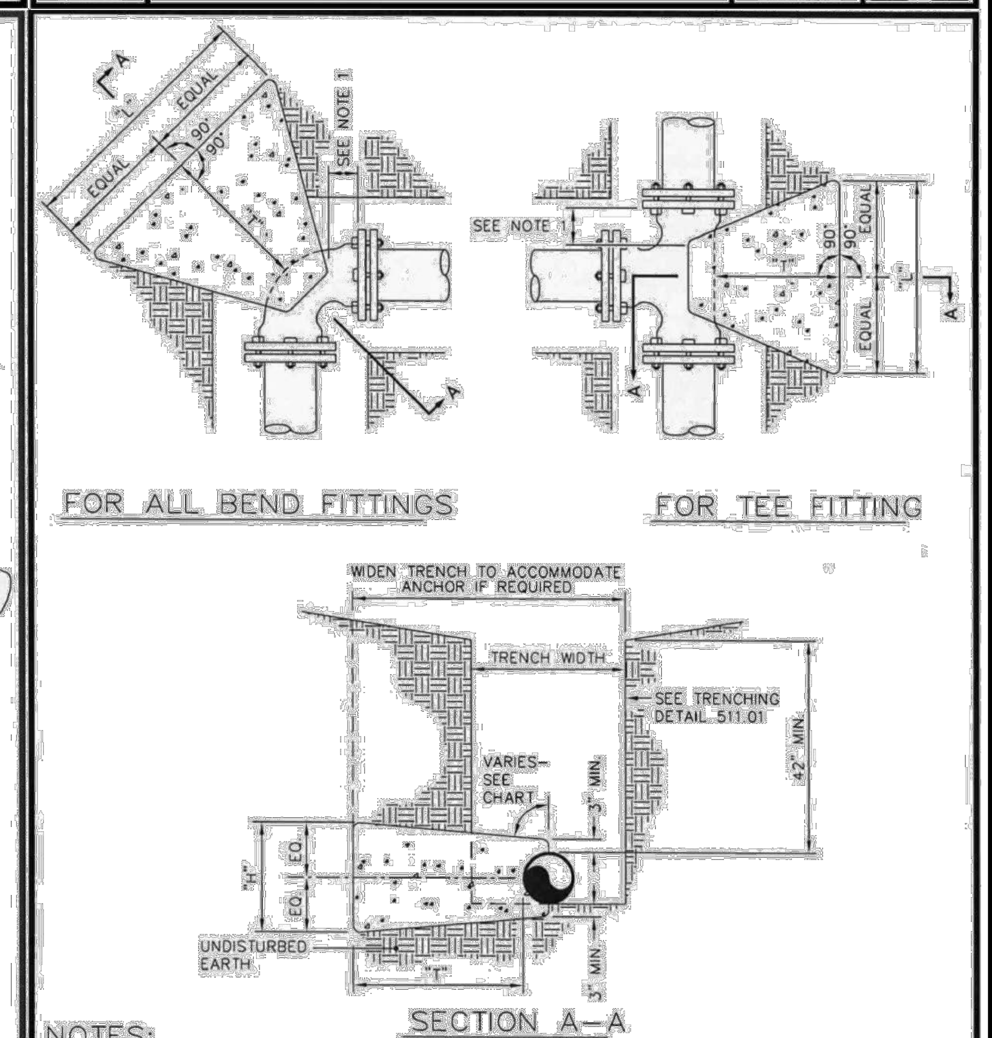
STANDARD VERTICAL BEND DETAIL | SCALE: Not To Scale | DETAIL # 512.01 | REVISION DATE: August 15, 2003 | SHEET #: 1 of 1



NOTES:
1. Concrete blocking is to be formed to ensure accessibility to fittings and poured against undisturbed earth.
2. Fittings are to be completely wrapped with plastic, prior to pouring concrete.
3. Concrete to be minimum 3,000 psi. @ 28 days.

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BLOCKING DETAIL for HORIZONTAL BENDS AND TEE | SCALE: Not To Scale | DETAIL # 512.02 | REVISION DATE: August 15, 2003 | SHEET #: 1 of 4

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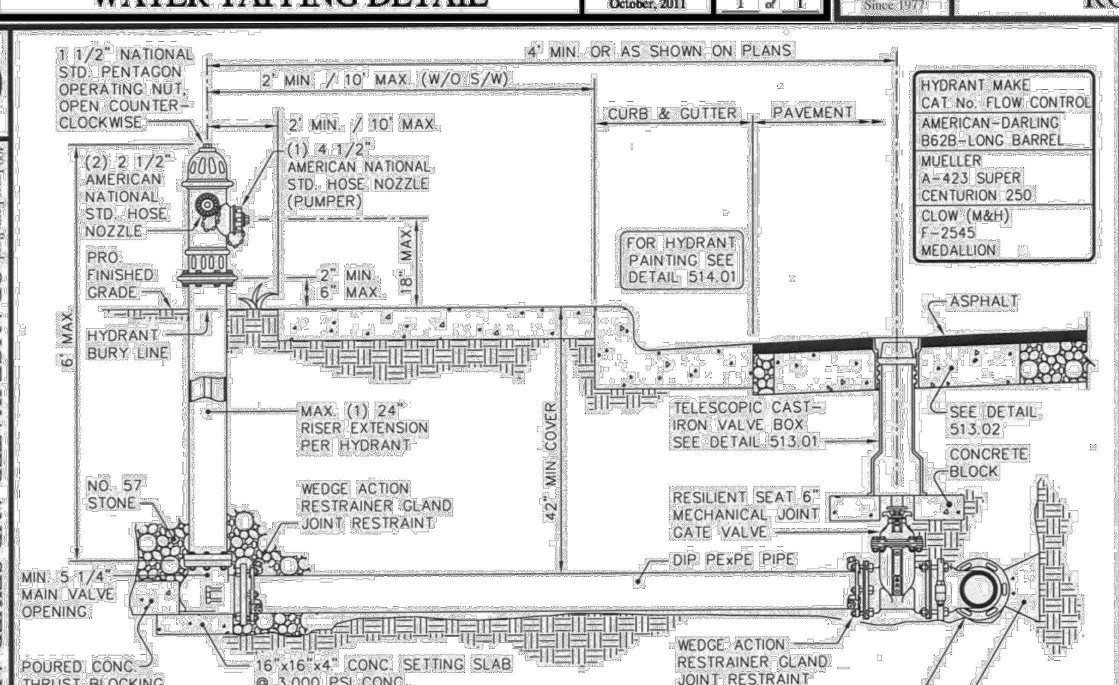
TYP. RESTRAINED JT. FIRE HYDRANT STREETS with CURB & GUTTER | SCALE: Not To Scale | DETAIL # 514.03 | REVISION DATE: August 15, 2003 | SHEET #: 2 of 2



HYDRANT MAKE	CAT. No. FLOW CONTROL
AMERICAN-DARLING	B62B-LONG BARREL
MUELLER	A-423 SUPER CENTURION 250
CLOW (M&H)	F-2545 MEDALLION

NOTES:
1. Omitted
2. Hydrants to be placed with pumper nozzle facing the street or as otherwise directed by OWASA.
3. When valve box is placed outside of pavement, provide concrete stabilization pad. (detail 513.02)
4. Omitted
5. Where hydrant is set behind guardrail, centerline of pumper nozzle to be a minimum of 12" and a maximum of 18" above top of guardrail. Center of hydrant to be a minimum of 3 feet from guardrail.
6. Fire hydrant to be oiled & greased and cap to be sprayed (Non-petroleum - based) after installation.
7. Do not locate hydrants in sidewalks or block pedestrian flow.

7			
6			
5			
4			
3			
2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)

FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION

PRELIMINARY

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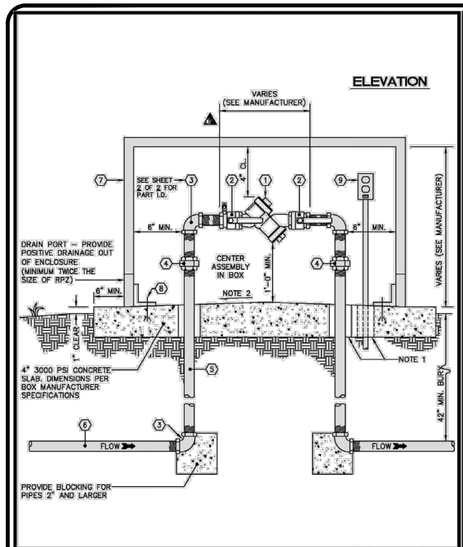
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS - WATER

PROJECT NO.
21-0207

DRAWING NAME:
21-0207_D-1-5.dwg

SHEET NO.
D-3



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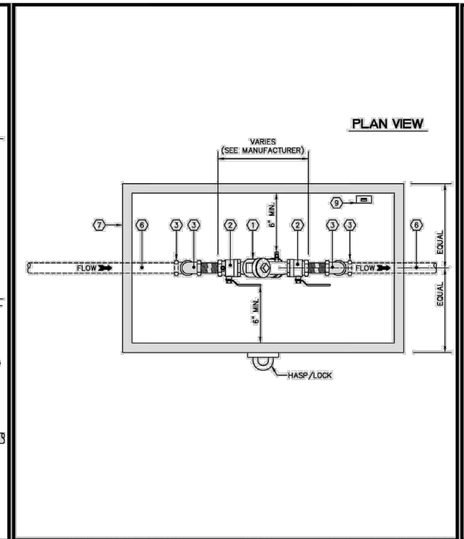
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)

SCALE:	DETAIL #:
Not To Scale	≥ 515.06
REVISION DATE: December 20, 2016	SHEET # 1 of 3



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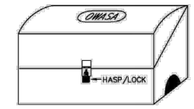
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)

SCALE:	DETAIL #:
Not To Scale	≥ 515.06
REVISION DATE: December 20, 2016	SHEET # 2 of 3

TYPICAL ENCLOSURE



#	PART	MANUFACTURER MODEL / Cat. No.
1	BACKFLOW PREVENTION ASSEMBLY, AS APPLICABLE	SEE SPECS. 02510 – PRODUCTS
2	1/4 TURN FULL PORT BRONZE BALL SHUT-OFF VALVE	
3	90° BRASS ELBOW	
4	THREADED UNION	
5	3/4" THRU 2 1/2" STAINLESS STEEL OR BRASS THREADED PIPE	
6	3/4" THRU 2 1/2" STAINLESS STEEL OR BRASS THREADED PIPE	
7	INSULATED ENCLOSURE WITH LOCKING ACCESS AND HEATER (120 V, 1 PHASE 60 HZ) VERIFY FITTINGS WILL FIT INSIDE BOX BEFORE ORDERING	HOTBOX / HB.75 – HB3E (OR APPROVED EQUIVALENT)
8	STAINLESS STEEL ANCHOR BOLTS PER BOX MANUFACTURER RECOMMENDED SIZE AND SPACING	
9	PROVIDE 120V RECEPTACLE ON GFCI NEAR PIPE RISER. SET MINIMUM 18" ABOVE FLOOR	UL STD. 943–NEMA 3R.

NOTES:
1. Provide minimum 1" annular clearance around all risers and electrical conduit.
2. Slope floor to drain to ports at both ends. Ensure positive surface grade away from enclosure.

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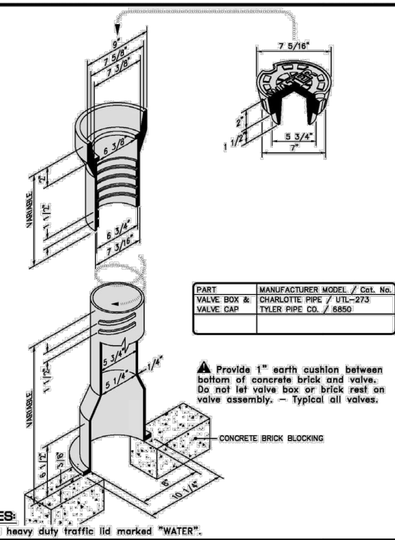
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

3/4" to 2" RPZ ASSEMBLY (ABOVE GROUND)

SCALE:	DETAIL #:
Not To Scale	≥ 515.06
REVISION DATE: December 20, 2016	SHEET # 3 of 3



PART	MANUFACTURER MODEL / Cat. No.
VALVE BOX & VALVE CAP	CHARLOTTE PIPE / UTL-273 TYLER PIPE CO. / 6850

Provide 1" earth cushion between bottom of concrete brick and valve. Do not let valve box or brick rest on valve assembly. – Typical all valves.

NOTES:
1. Use heavy duty traffic lid marked "WATER".

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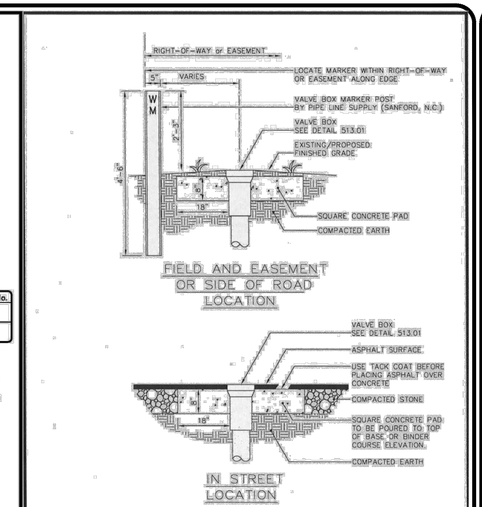
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

STANDARD SCREW VALVE BOX DETAIL

SCALE:	DETAIL #:
Not To Scale	≥ 513.01
REVISION DATE: August 15, 2013	SHEET # 1 of 1



NOTES:
1. Concrete to be minimum 3,000 PSI @ 28 days.

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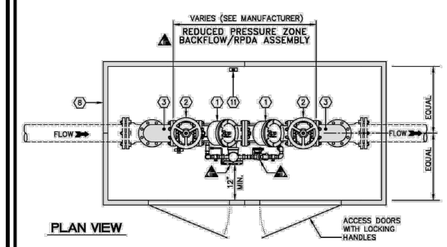
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

VALVE BOX STABILIZING PAD DETAILS

SCALE:	DETAIL #:
Not To Scale	≥ 513.02
REVISION DATE: August 15, 2013	SHEET # 1 of 1



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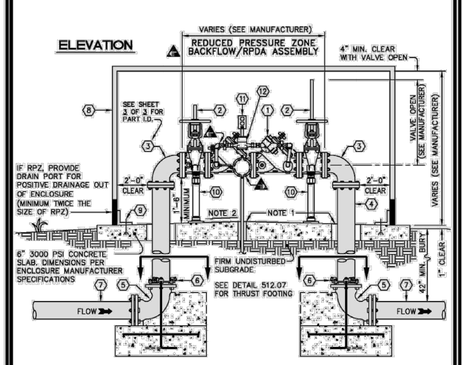
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

2 1/2" to 10" RPZ, RPDA ASSEMBLY (ABOVE GROUND)

SCALE:	DETAIL #:
Not To Scale	≥ 515.10
REVISION DATE: December 20, 2016	SHEET # 2 of 3



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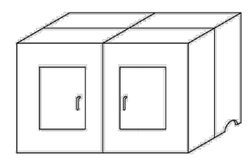
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

2 1/2" to 10" RPZ, RPDA ASSEMBLY (ABOVE GROUND)

SCALE:	DETAIL #:
Not To Scale	≥ 515.10
REVISION DATE: December 20, 2016	SHEET # 3 of 3

TYPICAL BOX



#	PART	MANUFACTURER MODEL / Cat. No.
1	BACKFLOW ASSEMBLY	USC & ASSE APPROVED
2	OS&Y GATE VALVE WITH RESILIENT SEATS	TO BE APPROVED BY OWASA
3	90° DIP FLANGE x FLANGE ELBOW	AMERICAN CAST IRON PIPE. GRIFFIN PIPE CO., UNION–TYLER PIPE CO., or U.S. PIPE & FOUNDRY
4	DIP FLANGE x PE PIPE (VERIFY LENGTH)	AMERICAN CAST IRON PIPE. GRIFFIN PIPE CO., U.S. PIPE & FOUNDRY
5	90° DIP MJ x MJ ELBOW	AMERICAN CAST IRON PIPE. GRIFFIN PIPE CO., UNION–TYLER PIPE CO., or U.S. PIPE & FOUNDRY
6	WEDGE ACTION RESTRAINER GLAND JOINT RESTRAINT	EBBA IRON SALES, INC., FORD
7	3" THRU 10" DIP	AMERICAN CAST IRON PIPE. GRIFFIN PIPE CO., UNION–TYLER PIPE CO., or U.S. PIPE & FOUNDRY
8	INSULATED ENCLOSURE WITH LOCKING ACCESS DOORS AND HEATER (120 V, 1 PHASE, 60 HZ) VERIFY FITTINGS WILL FIT INSIDE BOX BEFORE ORDERING	HOTBOX / HB4E – HB10E (OR APPROVED EQUIVALENT)
9	STAINLESS STEEL EXPANSION ANCHOR BOLTS PER BOX MANUFACTURER RECOMMENDED SIZE & SPACING	
10	ADJUSTABLE PIPE SUPPORTS HOT DIP GALVANIZED	SHOP FABRICATED AND HOT DIP GALVANIZED OR "STANDON" MODEL S92 SADDLE SUPPORT
11	PROVIDE 120V RECEPTACLE ON GFCI NEAR PIPE RISER, SET MINIMUM 12" ABOVE DISCHARGE POINT OF RPZ. (AS APPLICABLE)	UL STD. 943–NEMA 3R.
12	METER WITH ERT	PURCHASE FROM OWASA

NOTES:
1. Provide minimum 3" annular clearance around all DIP risers and 1" around electrical conduit.
2. Slope floor to drain to ports at both ends. Ensure positive surface grade away from enclosure.
3. If metal enclosure issued, mount ERT on outside of box.

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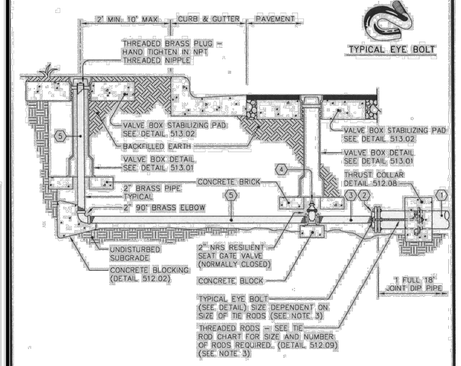
ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

2 1/2" to 10" RPZ, RPDA ASSEMBLY (ABOVE GROUND)

SCALE:	DETAIL #:
Not To Scale	≥ 515.10
REVISION DATE: December 20, 2016	SHEET # 3 of 3



1 MAIN	2 MJ PLUG	3 NIPPLE	4 GATE VALVE	5 BLOW-OFF ASSEMBLY
4"	4" TAPPED FOR 2"	2" x 6"L BRASS	2" NRS	2" BRASS
6"	6" TAPPED FOR 2"	2" x 6"L BRASS	2" NRS	2" BRASS
8"	8" TAPPED FOR 2"	2" x 6"L BRASS	2" NRS	2" BRASS

NOTES:
1. No discharge from blow-off should go directly into a creek. OWASA must declorinate discharge before it enters a body of water.
2. Provide erosion and sedimentation control for discharge.
3. In lieu of rodded fittings, contractor may use a wedge action restrained gland joint restraint on fittings.

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ORANGE WATER AND SEWER AUTHORITY
USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY

PERMANENT 2" BLOW-OFF ASSEMBLY FOR MAINS UP TO 8"

SCALE:	DETAIL #:
Not To Scale	≥ 514.04
REVISION DATE: August 15, 2013	SHEET # 1 of 1

#	DATE	BY
7		
6		
5		
4		
3	1/25/2022	DMC
2	1/4/2022	DMC
1	REVISIONS	

CZA COMMENTS #2
CZA COMMENTS #1

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PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.COM)
PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY
DMC (DONCHITTY@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 040917 TIMOTHY A. SMITH
PRELIMINARY

SUMMIT DESIGN AND ENGINEERING SERVICES
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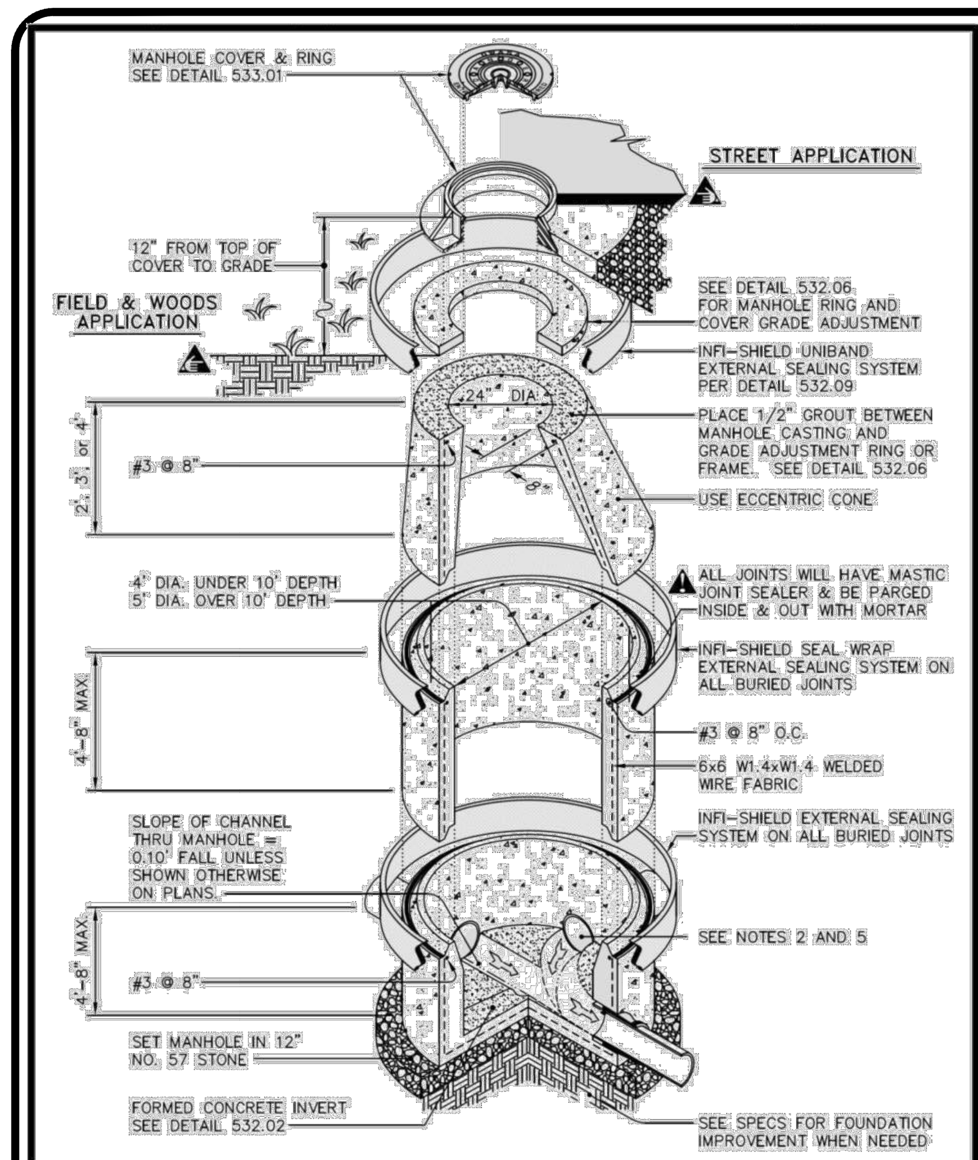
320 Executive Court
Hillsborough, NC 27278
Voice: (919) 732-3883 Fax: (919) 732-6676
www.summitde.com

SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS - WATER

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_D-1-5.dwg
SHEET NO.
D-4



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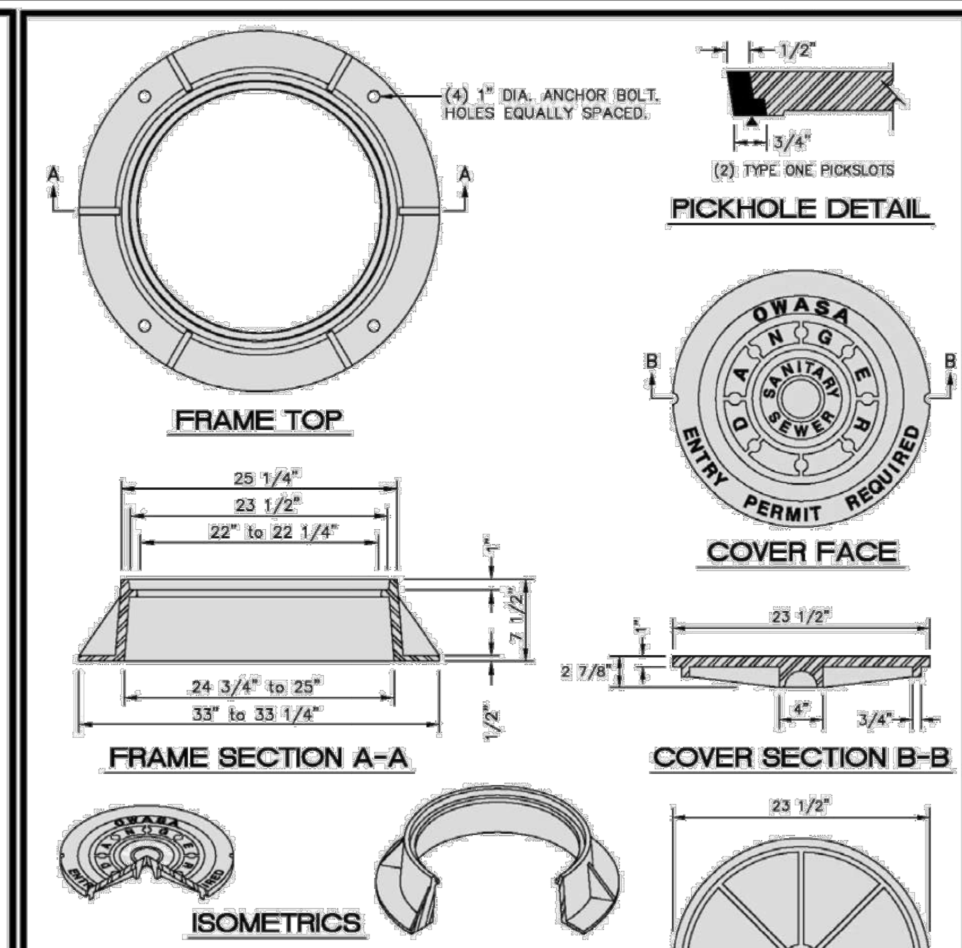
STANDARD ECCENTRIC CONE MANHOLE DETAIL — SCALE: Not To Scale — DETAIL #: 532.01 — REVISION DATE: April 13, 2007 — SHEET #: 1 of 3



APPROVED MODELS	EAST JORDAN IRON WORKS V-1384	US FOUNDRY USF-669	CAPITOL FOUNDRY MH-2001
COVER WEIGHT	135 Lbs.	125 Lbs.	120 Lbs.
FRAME WEIGHT	180 Lbs.	190 Lbs.	190 Lbs.
LOAD RATING	HEAVY DUTY	HEAVY DUTY	HEAVY DUTY
MATERIAL	ASTM A 48 CLASS 35B	ASTM A 48 CLASS 35B	ASTM A 48 CLASS 35B
FINISH	UNCOATED	UNCOATED	UNCOATED

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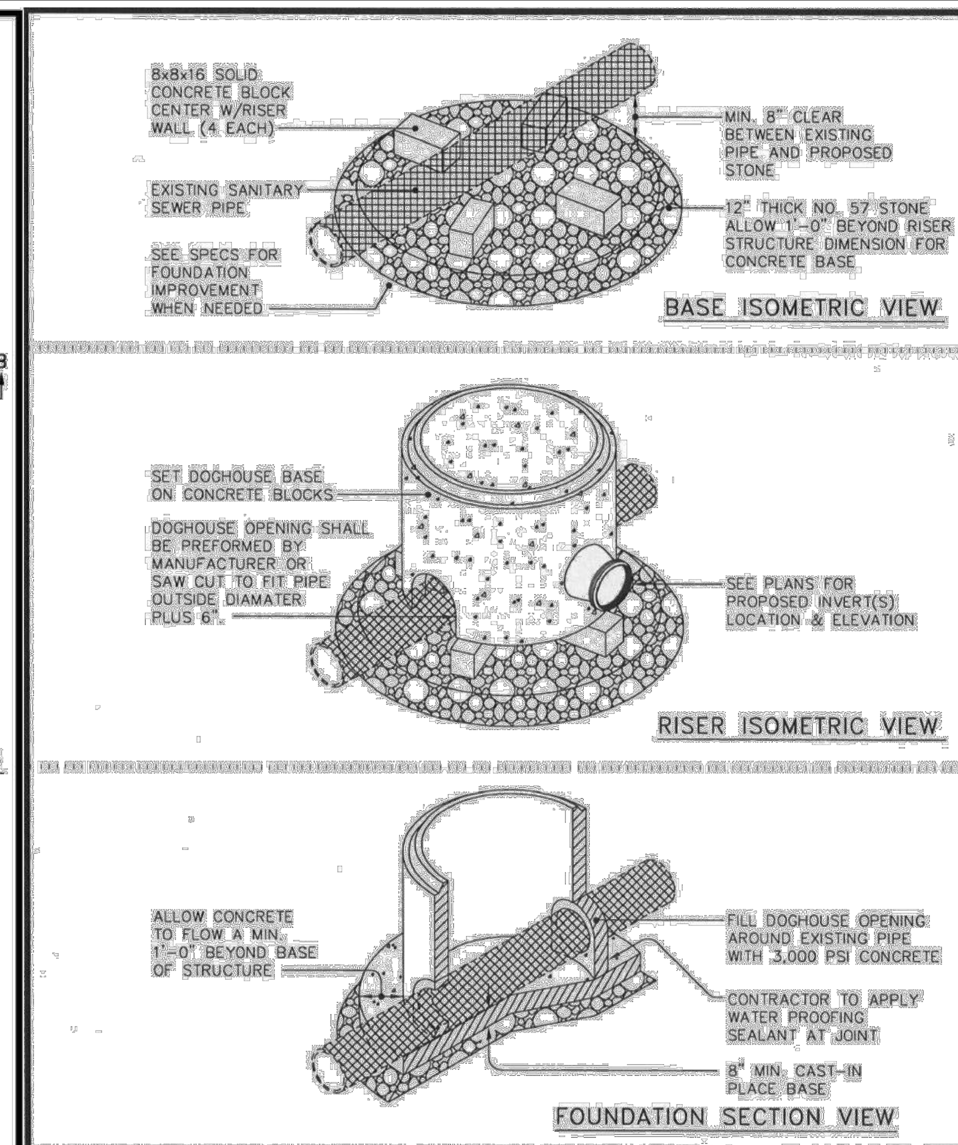
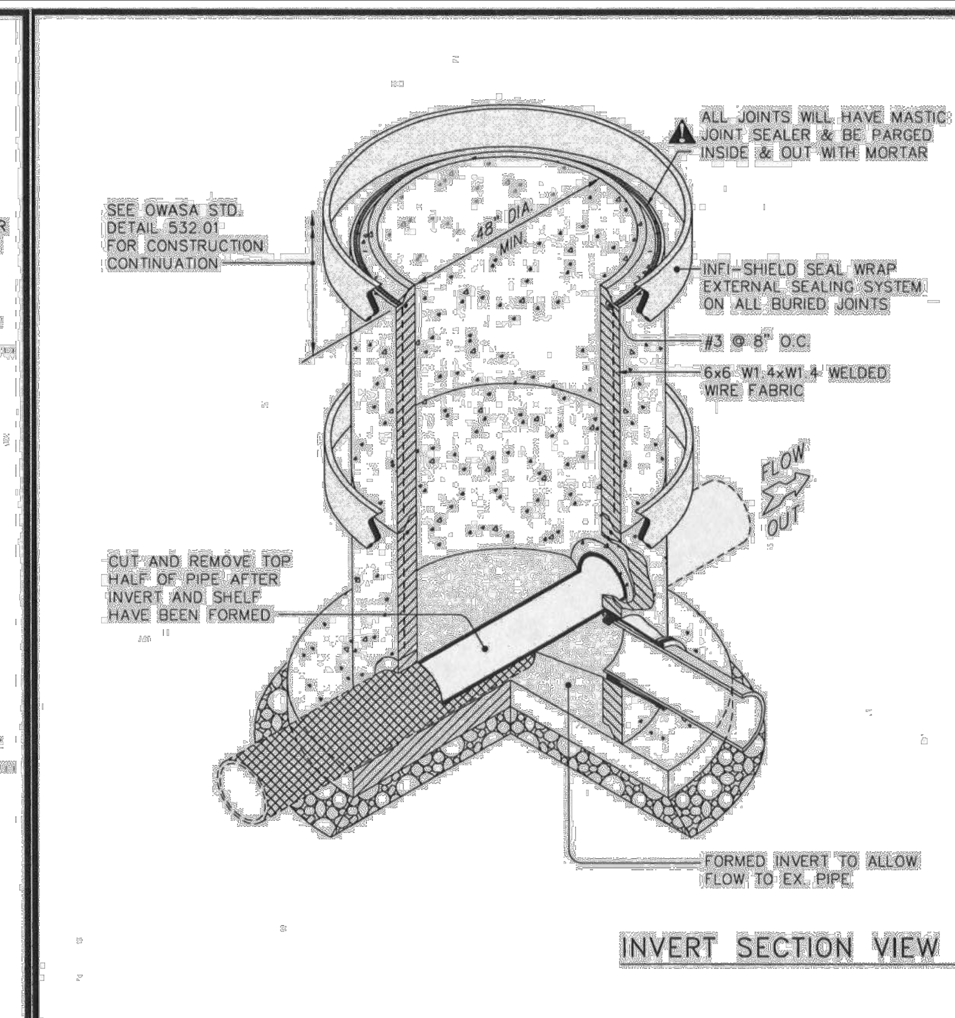
SANITARY SEWER MANHOLE FRAME and COVER — SCALE: Not To Scale — DETAIL #: 533.01 — REVISION DATE: February 20, 2013 — SHEET #: 1 of 1



OWASA — Quality Service Since 1977 — 400 Jones Ferry Road, PO Box 366, Carrboro, NC 27510-0366 — ORANGE WATER AND SEWER AUTHORITY — USE WITH THE OWASA STANDARD SPECIFICATIONS ONLY — Voice (919) 968-4421, FAX (919) 968-4464, www.owasa.org

PRECAST CONCRETE DOGHOUSE MANHOLE — SCALE: Not To Scale — DETAIL #: 532.08 — REVISION DATE: April 13, 2007 — SHEET #: 1 of 2



NOTES:
1. All service laterals into manhole to be core drilled and booted.
2. Maximum depth 4' dia. manhole = 10' (see specifications). Use 5' dia. manhole for depth greater than 10'.

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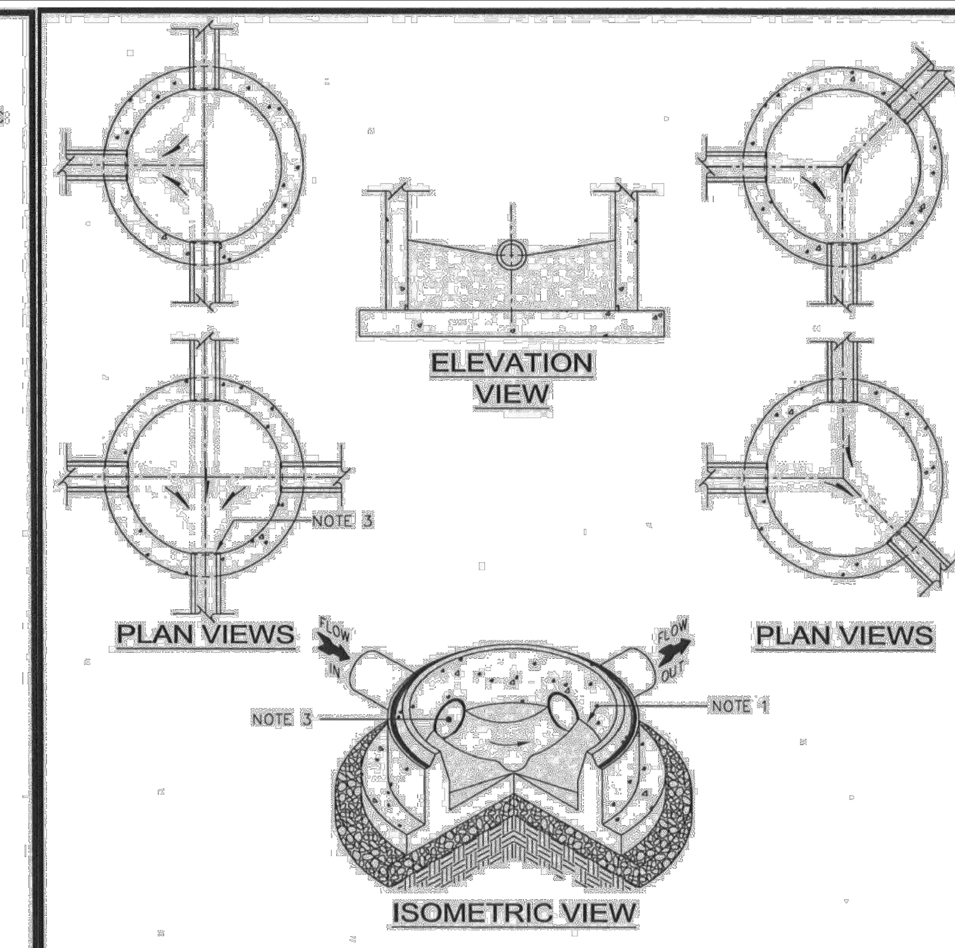
PRECAST CONCRETE DOGHOUSE MANHOLE — SCALE: Not To Scale — DETAIL #: 532.08 — REVISION DATE: April 13, 2007 — SHEET #: 2 of 2



NOTES:
1. Concrete benches must be sloped away from the manhole wall beginning in line with the top of the pipe and sloped down to the spring-line of the pipe invert.
2. Service line entries to have cast in place troughs.
3. Radius of invert must have enough room to be able to insert air plugs and TV equipment.

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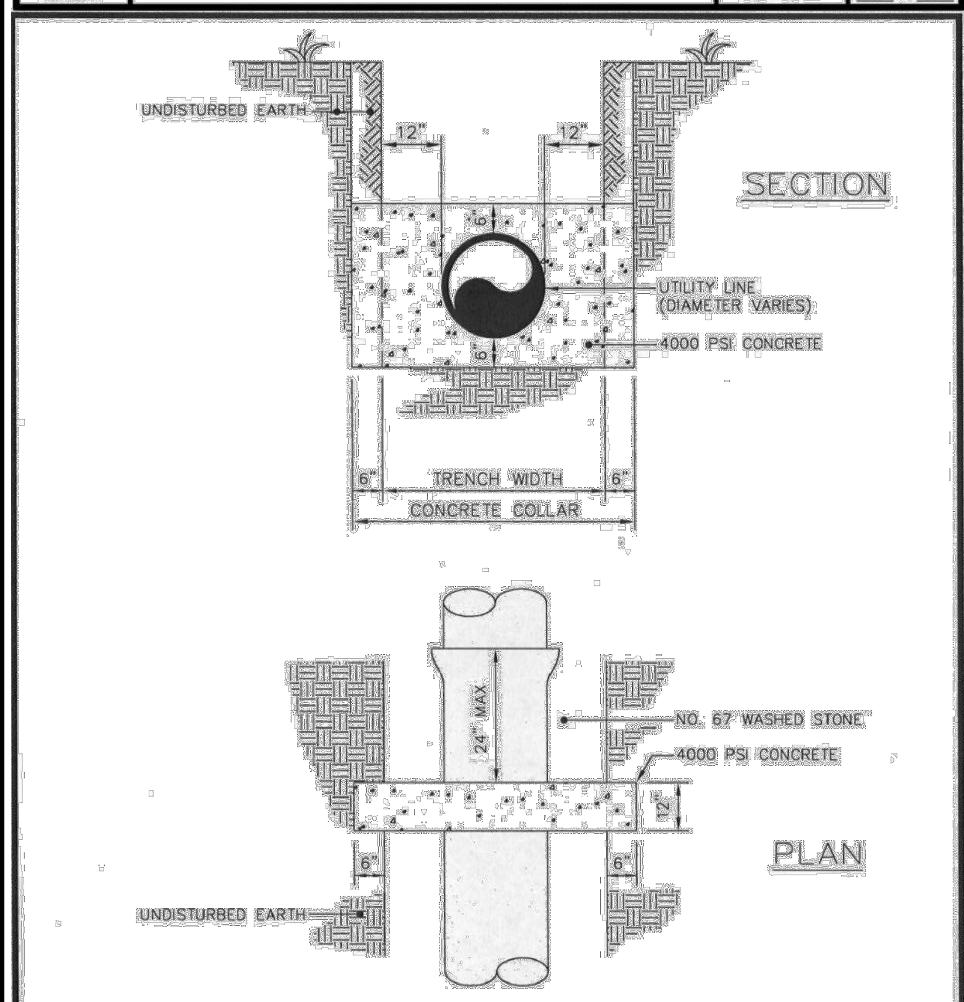
STANDARD SEWER INVERT PLANS FOR MANHOLE — SCALE: Not To Scale — DETAIL #: 532.02 — REVISION DATE: March 11, 2005 — SHEET #: 1 of 1



NOTES:
1. Sewer lines on 20% slope or greater shall be anchored securely with concrete collars.
2. Minimum 1 concrete collar per pipe joint. Additional collars may be required by OWASA.

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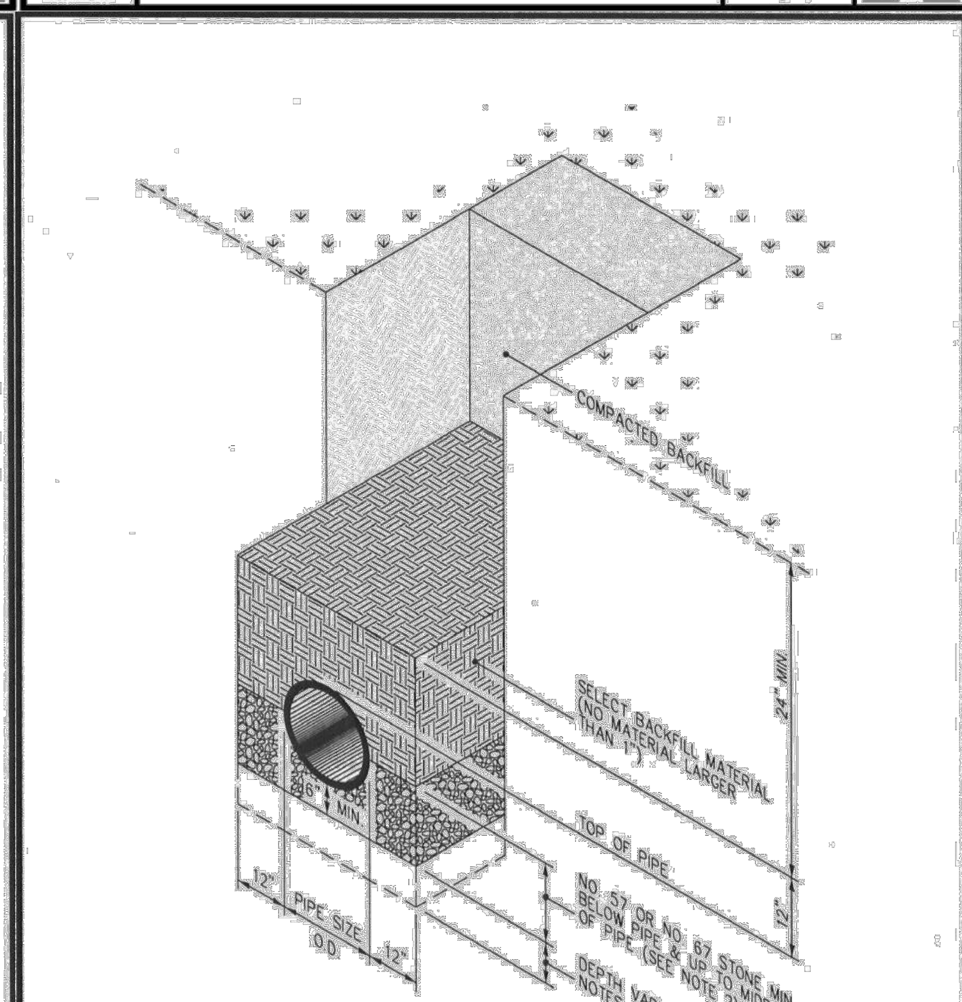
CONCRETE COLLAR DETAIL — SCALE: Not To Scale — DETAIL #: 536.01 — REVISION DATE: August 15, 2003 — SHEET #: 1 of 1



NOTES:
1. Foundation stone shall be required when soil conditions are unsuitable.
2. An additional 1 inch depth of cushioning material will be required for each additional 2 feet of trench depth in excess of 16 feet up to a maximum of 12 inches of cushioning material.

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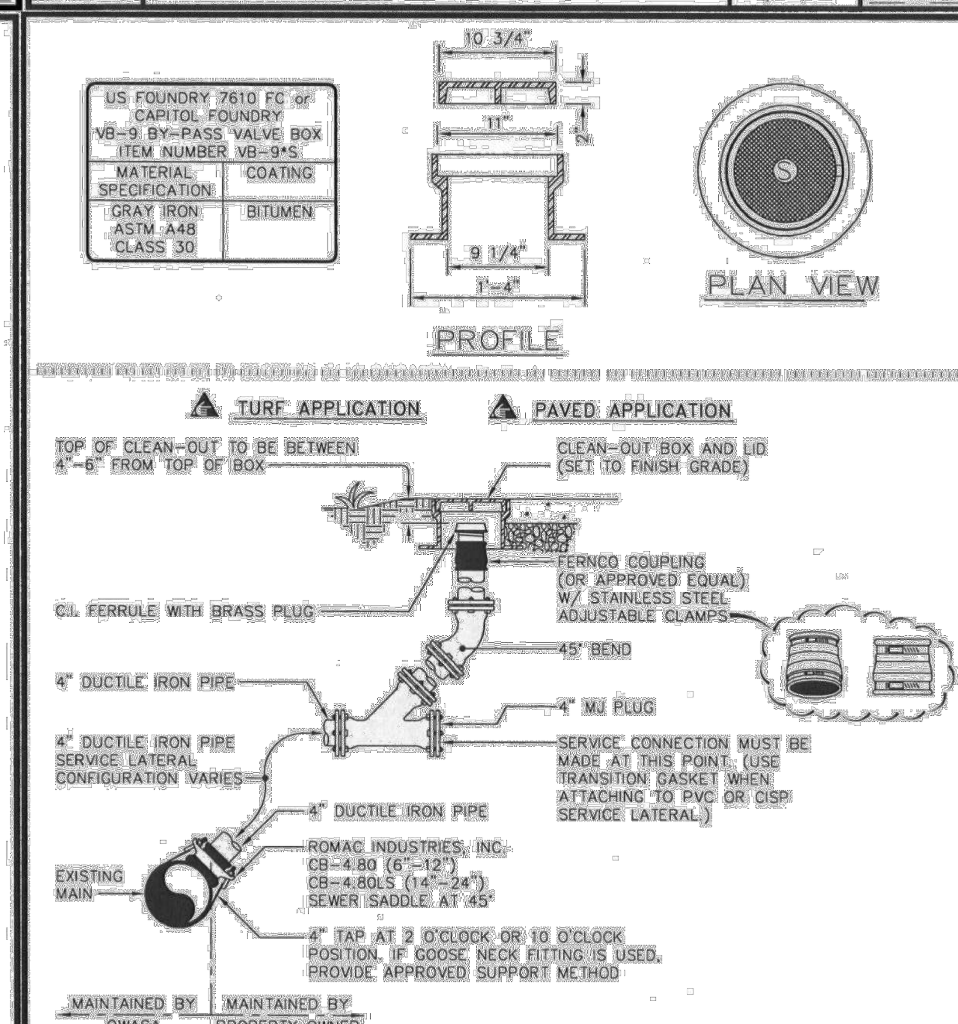
SANITARY SEWER BEDDING DETAIL — SCALE: Not To Scale — DETAIL #: 531.01 — REVISION DATE: August 15, 2003 — SHEET #: 1 of 1



NOTES:
1. This detail depicts a typical layout. Variations may be approved.
2. Service saddles may be used only on existing sewer mains. Tees / Wyes shall be used for new construction.

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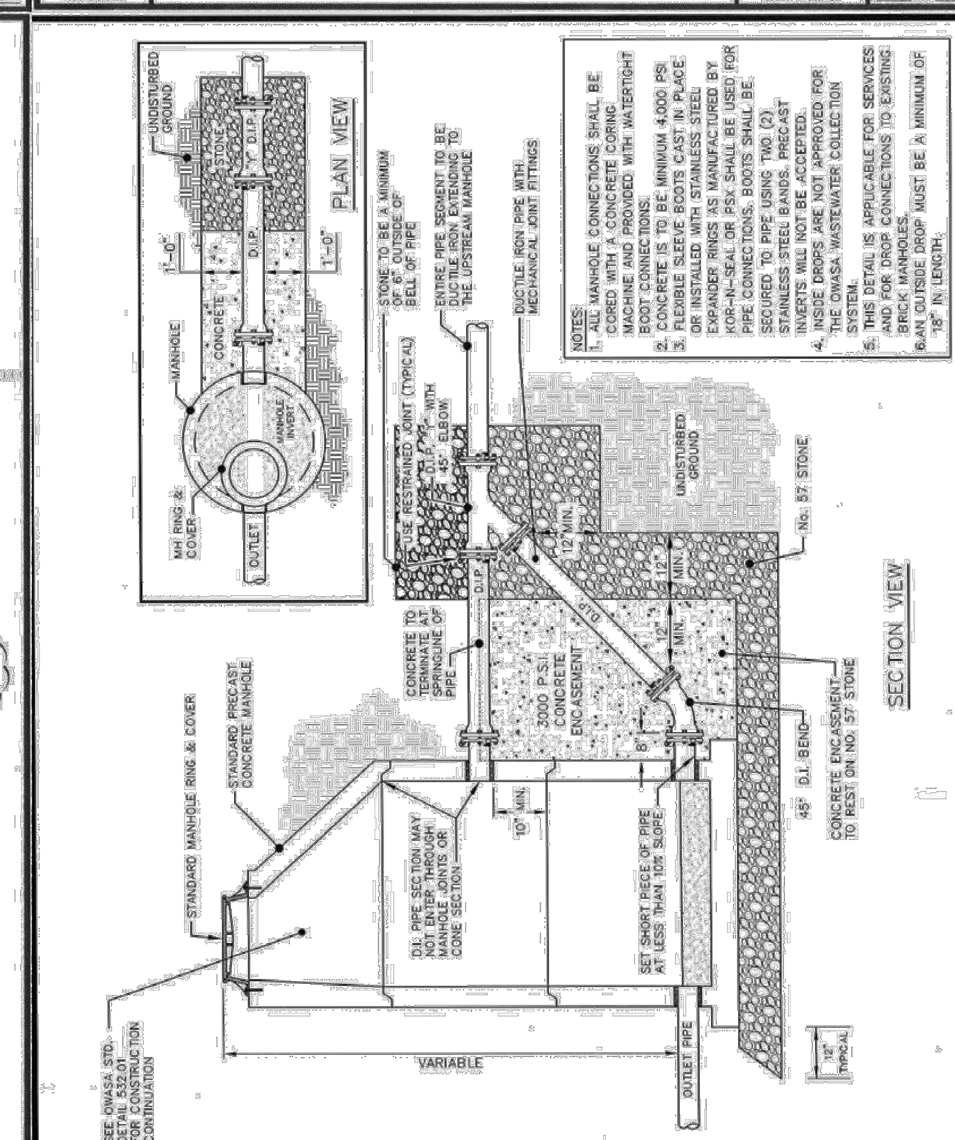
4" SEWER TAP and STUB-OUT PAVED APPLICATION CLEAN OUT — SCALE: Not To Scale — DETAIL #: 534.01 — REVISION DATE: April 13, 2007 — SHEET #: 1 of 1



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STANDARD OUTSIDE DROP MANHOLE DETAIL — SCALE: Not To Scale — DETAIL #: 532.03 — REVISION DATE: June 13, 2013 — SHEET #: 1 of 1

NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC

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PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.COM)

PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)

FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION

PRELIMINARY

NORTH CAROLINA PROFESSIONAL ENGINEER SEAL 030517 TIMOTHY A. SMITH

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www.summitde.com

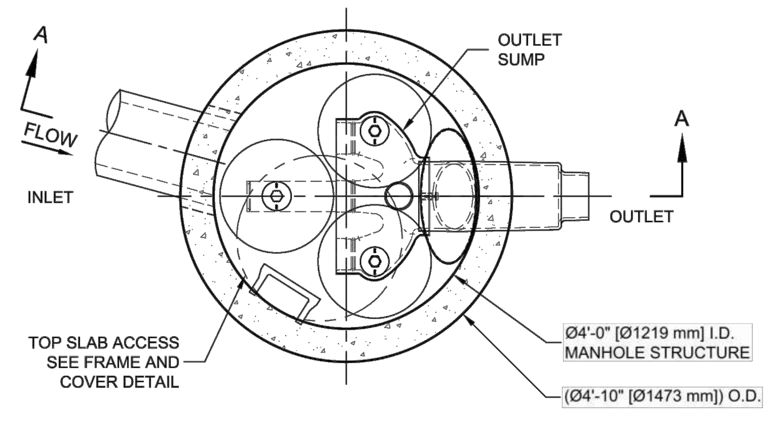
SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

SITE DETAILS - SANITARY

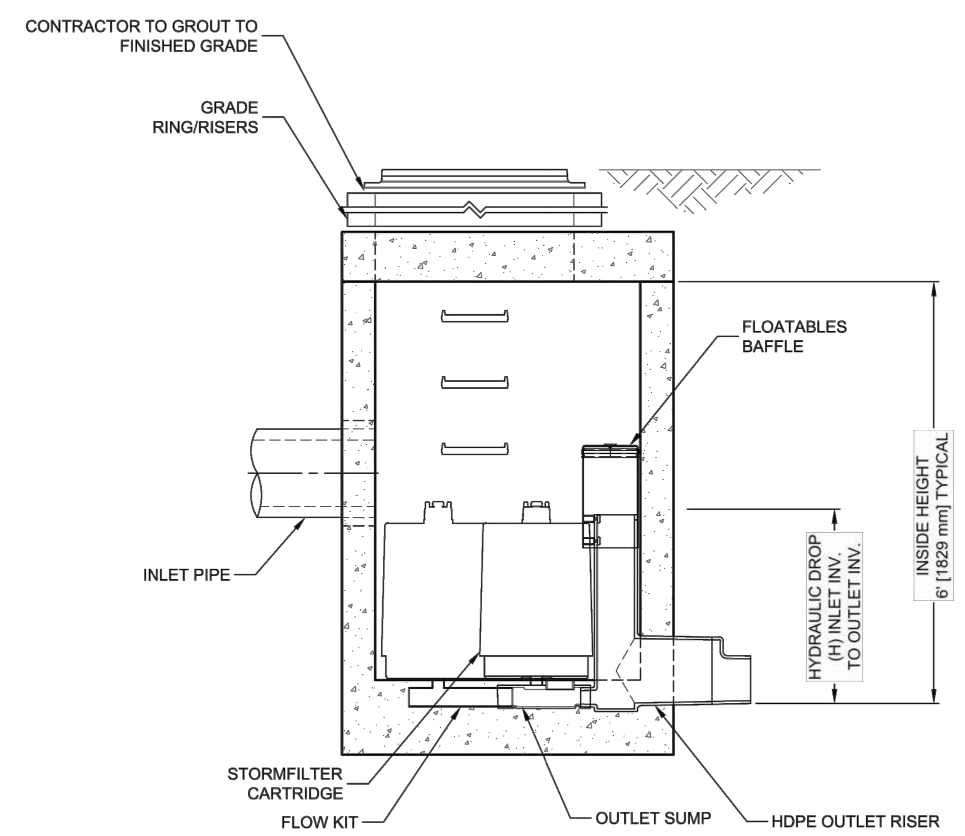
PROJECT NO.
21-0207

DRAWING NAME:
21-0207_D-1-5.dwg

SHEET NO.
D-5



PLAN VIEW
STANDARD OUTLET RISER
FLOWKIT: 40A



SECTION A-A

The Stormwater Management StormFilter®
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 5,322,629; 5,524,576; 5,707,527; 5,985,157; 6,027,639; 6,649,048; RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

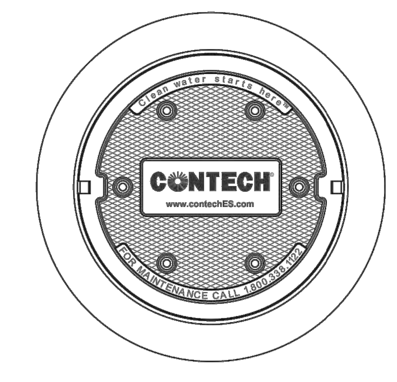
STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD MANHOLE STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (3). VOLUME SYSTEM IS ALSO AVAILABLE WITH MAXIMUM 3 CARTRIDGES. Ø4 [1219 mm] MANHOLE STORMFILTER PEAK HYDRAULIC CAPACITY IS 1.0 CFS [28.3 L/s] . IF THE SITE CONDITIONS EXCEED 1.0 CFS [28.3 L/s] AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

CARTRIDGE SELECTION

CARTRIDGE HEIGHT	27" [686 mm]			18" [458 mm]			LOW DROP		
RECOMMENDED HYDRAULIC DROP (H)	3.05' [930 mm]			2.3' [700 mm]			1.8' [550 mm]		
SPECIFIC FLOW RATE (gpm/sf) [L/s/m²]	2 [1.30]	1.67* [1.08]	1 [0.65]	2 [1.30]	1.67* [1.08]	1 [0.65]	2 [1.30]	1.67* [1.08]	1 [0.65]
CARTRIDGE FLOW RATE (gpm) [L/s]	22.5 [1.42]	18.79 [1.19]	11.25 [0.71]	15 [0.95]	12.53 [0.79]	7.5 [0.44]	10 [0.63]	8.35 [0.54]	5 [0.32]

* 1.67 gpm/sf [1.08 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

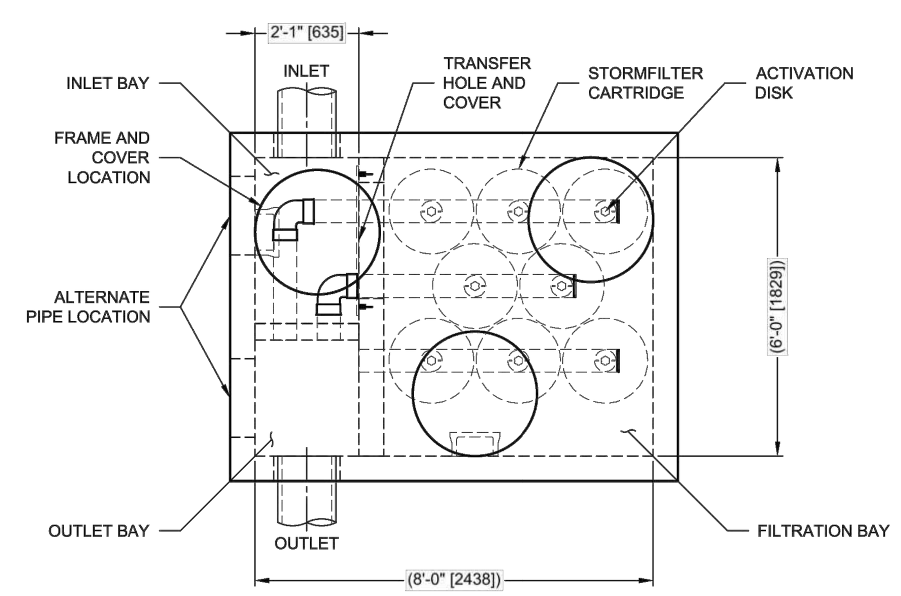
STRUCTURE ID			*
WATER QUALITY FLOW RATE (cfs) [L/s]			*
PEAK FLOW RATE (cfs) [L/s]			*
RETURN PERIOD OF PEAK FLOW (yrs)			*
CARTRIDGE HEIGHT (SEE TABLE ABOVE)			*
NUMBER OF CARTRIDGES REQUIRED			*
CARTRIDGE FLOW RATE			*
MEDIA TYPE (PERLITE, ZPG, PSORB)			*
PIPE DATA:	I.E.	MATERIAL	DIAMETER
INLET PIPE #1	*	*	*
INLET PIPE #2	*	*	*
OUTLET PIPE	*	*	*
RIM ELEVATION			*
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT
		*	*
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.ContechES.com
4. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
5. STRUCTURE SHALL MEET AASHTO HS-20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' [1524 mm] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
6. FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES [178 mm]. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 38 SECONDS.
7. SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) [L/s] DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft)[m²].
8. STORMFILTER STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

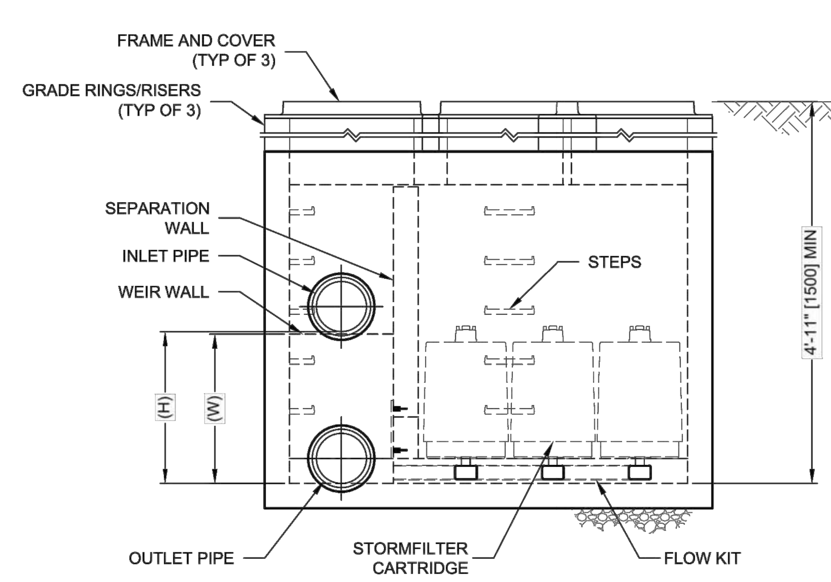
INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET PIPE(S).
E. CONTRACTOR TO PROVIDE AND INSTALL CONNECTOR TO THE OUTLET RISER STUB. STORMFILTER EQUIPPED WITH A DUAL DIAMETER HDPE OUTLET STUB AND SAND COLLAR. IF OUTLET PIPE IS LARGER THAN 8 INCHES [200 mm], CONTRACTOR TO REMOVE THE 8 INCH [200 mm] OUTLET STUB AT MOLDED-IN CUT LINE. COUPLING BY FERNCO OR EQUAL AND PROVIDED BY CONTRACTOR.
F. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

CONTECH® ENGINEERED SOLUTIONS LLC
www.contechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

SFMH48
STORMFILTER
STANDARD DETAIL



PLAN



ELEVATION

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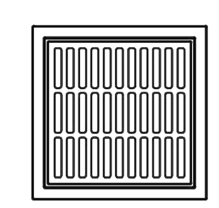
THIS PRODUCT MAY BE PROTECTED BY ONE OR MORE OF THE FOLLOWING U.S. PATENTS: 5,322,629; 5,524,576; 5,707,527; 5,985,157; 6,027,639; 6,649,048; RELATED FOREIGN PATENTS, OR OTHER PATENTS PENDING.

STORMFILTER DESIGN NOTES

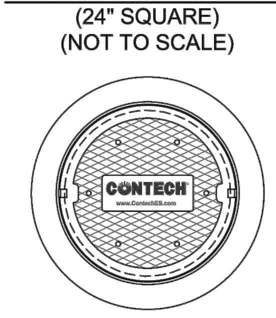
- STORMFILTER TREATMENT CAPACITY VARIES BY CARTRIDGE COUNT AND LOCALLY APPROVED SURFACE AREA SPECIFIC FLOW RATE. PEAK CONVEYANCE CAPACITY TO BE DETERMINED BY ENGINEER OF RECORD
- A 6' x 8' [1829 x 2438] PEAK DIVERSION STYLE STORMFILTER IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (8) AND IS AVAILABLE IN A LEFT INLET (AS SHOWN) OR A RIGHT INLET CONFIGURATION
- ALL PARTS AND INTERNAL ASSEMBLY PROVIDED BY CONTECH UNLESS NOTED OTHERWISE

CARTRIDGE SIZE (in. [mm])	27 [686]			18 [457]			LOW DROP		
RECOMMENDED HYDRAULIC DROP (H) (ft. [mm])	3.05 [930]			2.3 [701]			1.8 [549]		
HEIGHT OF WEIR (W) (ft. [mm])	3.00 [914]			2.25 [686]			1.75 [533]		
SPECIFIC FLOW RATE (gpm/sf [L/s/m²])	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]	2 [1.36]	1.67* [1.13]*	1 [0.68]
CARTRIDGE FLOW RATE (gpm [L/s])	22.5 [1.42]	18.79 [1.19]	11.25 [0.71]	15 [0.95]	12.53 [0.79]	7.5 [0.47]	10 [0.63]	8.35 [0.53]	5 [0.32]

* 1.67 gpm/sf [1.13 L/s/m²] SPECIFIC FLOW RATE IS APPROVED WITH PHOSPHOSORB® (PSORB) MEDIA ONLY



FRAME AND GRATE
(24" SQUARE)
(NOT TO SCALE)



FRAME AND COVER
(30" ROUND)
(NOT TO SCALE)

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID			
WATER QUALITY FLOW RATE (cfs [L/s])			
PEAK FLOW RATE (cfs [L/s])			
RETURN PERIOD OF PEAK FLOW (yrs)			
CARTRIDGE FLOW RATE			
CARTRIDGE SIZE (27, 18, LOW DROP (LD))			
MEDIA TYPE (PERLITE, ZPG, PSORB)			
NUMBER OF CARTRIDGES REQUIRED			
INLET BAY RIM ELEVATION			
FILTER BAY RIM ELEVATION			
PIPE DATA:	INVERT	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
NOTES/SPECIAL REQUIREMENTS:			

PERFORMANCE SPECIFICATION
FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. **RADIAL MEDIA DEPTH SHALL BE 7" [178].** FILTER MEDIA CONTACT TIME SHALL BE AT LEAST **37 SECONDS**. SPECIFIC FLOW RATE SHALL BE **2 GPM/SF [1.36 L/s/m²] (MAXIMUM)**. SPECIFIC FLOW RATE IS THE MEASURE OF THE FLOW (GPM) DIVIDED BY THE MEDIA SURFACE CONTACT AREA (SF). MEDIA VOLUMETRIC FLOW RATE SHALL BE **6 GPM/CF [13.39 L/s/m³] OF MEDIA (MAXIMUM).**

GENERAL NOTES
1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
2. DIMENSIONS MARKED WITH ( ) ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
3. ALTERNATE DIMENSIONS ARE IN MILLIMETERS [mm] UNLESS NOTED OTHERWISE.
4. FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH REPRESENTATIVE. www.ContechES.com
5. STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
6. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 10' [3048] AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.

INSTALLATION NOTES
A. ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER STRUCTURE.
C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL SECTIONS AND ASSEMBLE STRUCTURE.
D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.
F. CONTRACTOR TO REMOVE THE TRANSFER OPENING COVER WHEN THE SYSTEM IS BROUGHT ONLINE.

CONTECH® ENGINEERED SOLUTIONS LLC
www.ContechES.com
9025 Centre Pointe Dr., Suite 400, West Chester, OH 45069
800-338-1122 513-645-7000 513-645-7993 FAX

SFPD0608 (6' x 8')
PEAK DIVERSION STORMFILTER
STANDARD DETAIL

7			
6			
5			
4			
3			
2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)
DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
PRELIMINARY
NORTH CAROLINA PROFESSIONAL SEAL 030517 ENGINEER TIMOTHY A. SMITH

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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

STORMFILTER DETAILS

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_D-6-D-9.dwg
SHEET NO.
D-6

TREE PROTECTION NOTES:

1. ALL TREES SCHEDULED FOR PRESERVATION SHALL BE TEMPORARILY FENCED DURING CONSTRUCTION. FENCING SHALL BE INSTALLED PRIOR TO STARTING WORK. FENCING SHALL CONSIST OF 48" HIGH CHAIN LINK OR PLASTIC SNOW FENCE. SEE DETAIL 1/LD-3. FENCE AREAS SHALL BE MAINTAINED IN A NATURAL CONDITION AND NOT COMPACTED.
2. THE CONTRACTOR SHALL NOT BE ALLOWED TO STORE EQUIPMENT OR MATERIAL WITHIN THE DRIPLINE AREA UNDER TREES TO BE PRESERVED.
3. NO RARE OR SPECIMEN TREE AS DEFINED BY THE CHAPEL HILL CODE OF ORDINANCES MAY BE REMOVED OR TRIMMED UNLESS AUTHORIZED UNDER THIS MANAGEMENT PLAN OR CITY REGULATION.
4. NO SOIL MAY BE REMOVED FROM WITHIN THE DRIPLINE OF ANY TREE AND NO FILL OF ADDITIONAL SOIL CAN EXCEED TWO INCHES (2") WITHIN THE DRIPLINES OF TREES, UNLESS IT IS PART OF APPROVED CONSTRUCTION AND IS REVIEWED BY A QUALIFIED FORESTER OR CERTIFIED ARBORIST. BECAUSE EXISTING TREES ARE SENSITIVE TO THE ADDITION OF FILL, EXCAVATED MATERIAL MUST EITHER BE REMOVED FROM THE SITE, INCORPORATED AS ENGINEERED FILL BENEATH THE DRIVEWAY, OR RETAINED AWAY FROM OAK TRUNKS (A MINIMUM OF ONE FOOT CLEARANCE) AND AS MUCH ROOTING AREA AS POSSIBLE.
5. BARK INJURY TO ANY TREE FROM EQUIPMENT OR MATERIAL IS NOT ACCEPTABLE AND IS PREVENTED BY RESPECTING THE PROTECTIVE FENCING DESCRIBED ABOVE.
6. EXCAVATION NEEDED NEAR TREES TO REMAIN MUST BE MINIMIZED. ROOTS EXPOSED BY EXCAVATION MUST BE PRUNED CLEANLY AND RE-COVERED AS QUICKLY AS POSSIBLE TO PROMOTE CALLUSING, CLOSURE AND HEALTHY REGROWTH. WHERE EXCAVATION WILL OCCUR WITHIN TREE DRIPLINES, THE FOLLOWING ROOT SEVERING PROCEDURES DURING EXCAVATION AND TRENCHING ARE RECOMMENDED. EXPOSE AND CLEANLY SEVER ROOTS ONE FOOT FURTHER FROM THE TREE THAN THE FINAL LIMIT OF GRADING AND THEN HAND DIG THE FINAL FOOT OF WIDTH. INITIAL CUTS ONE FOOT FROM LIMIT OF GRADING CAN BE BE MADE BY MAKING SHARP VERTICAL CUTS WITH EXCAVATOR OR BACKHOE TEETH. ROOTS SHOULD THEN BE CLEANLY PRUNED TO THE SIDE WALL OF EXCAVATION WITH A SAW, SAWZALL, NARROW TRENCHER WITH SHARP BLADES, OR CLIPPERS. HYDRAULIC OR PNEUMATIC EXCAVATION TECHNOLOGIES ARE AVAILABLE WHICH CAN EXPOSE AND MINIMIZE DAMAGE TO ROOTS. EXPOSED ROOTS SHOULD BE DRAPED IMMEDIATELY WITH AT LEAST TWO LAYERS OF UNTREATED BURLAP OR CARPETS SECURED TO COVER THE EXCAVATED SURFACE TO A DEPTH OF 3 FEET. BURLAP OR CARPETING (OR TEMPORARY FILL) SHALL BE SOAKED NIGHTLY AND KEPT IN PLACE UNTIL THE EXCAVATED SURFACE IS BACKFILLED AND WATERED.
7. ALL TREE WORK SHALL BE MONITORED BY A QUALIFIED FORESTER OR CERTIFIED ARBORIST AND WORK COMPLETED BY QUALIFIED TREE SERVICE PERSONNEL.

LEGEND

- LIMIT OF DISTURBANCE AND TREE PROTECTION FENCING: SEE DETAIL 1/L-3
- EXISTING DECIDUOUS TREE: PROTECT AND PRESERVE
- CRITICAL ROOT ZONE
- EXISTING DECIDUOUS TREE TO BE REMOVED
- EXISTING EVERGREEN TREE: PROTECT AND PRESERVE
- EXISTING EVERGREEN TREE TO BE REMOVED
- EXISTING CANOPY COVERAGE TO BE MAINTAINED
- RARE TREE
- SPECIMEN TREE

GENERAL NOTES:

1. TREE PROTECTION/DEMOLITION CONFERENCE: CONTRACTOR TO SCHEDULE A CONFERENCE WITH THE TOWN'S URBAN FORESTER AND THE LANDSCAPE ARCHITECT AT LEAST 7 DAYS BEFORE BEGINNING SITE CLEARING.
2. LANDSCAPE PROTECTION SUPERVISOR: CONTRACTOR TO APPOINT A LANDSCAPE PROTECTION SUPERVISOR WHO HAS COMPLETED TRAINING WITH THE TOWN OF CHAPEL HILL. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE (1) IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS SUCH AS:
   - CLEARING AND GRUBBING;
   - ANY EXCAVATION, GRADING, TRENCHING OR MOVING OF SOIL;
   - REMOVAL, INSTALLATION, OR MAINTENANCE OF ALL LANDSCAPE ELEMENTS AND LANDSCAPE PROTECTION DEVICES; OR
   - DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE

LANDSCAPE PROTECTION REQUIREMENTS:

DEFINITIONS:

SIGNIFICANT TREE STAND:
-- an area of contiguous mature woods greater than five thousand (5,000) square feet in size where over half of the canopy is provided by hardwoods with a diameter breast height (dbh) greater than twenty-four (24) inches.

SPECIMEN TREE:
-- any healthy living pine tree that has a trunk diameter of eighteen (18) inches or more, or any other species that:
-- has a trunk diameter at breast height (dbh) of twelve (12) inches or more; or
-- a trunk dbh of six (6) inches or more in the case of the North Carolina native species from a following list of genera

RARE TREE:
-- any healthy living pine tree that has a trunk diameter of thirty-six (36) inches or more, or any other species that:
-- has a trunk diameter at breast height (dbh) of twenty-four (24) inches or more; or
-- has a trunk dbh of twelve (12) inches or more in the case of North Carolina native species from the list of genera in this section; or
-- is listed as a State or National Champion by the North Carolina Forest Service or the American Forestry Association; or
-- provides unique habitat for any endangered or threatened wildlife species protected by Federal law; or
-- has been cited by the Town Council as being historically significant; or
-- Represents an uncommon species, such as Long Leaf Pine, Live Oak, or Sequoia Redwood, that the Town Manager considers to be desirable and not to pose a threat to the local ecological balance.

NORTH CAROLINA GENERA:
Aesculus (Buckeye)
Amelanchier (Serviceberry)
Asimina (Pawpaw)
Carpinus (Hornbeam)
Cercis (Redbud)
Chionanthus (Fringetree)
Cornus (Dogwood)
Crataegus (Hawthorn)
Diospyros (Persimmon)
Fagus (Beech)
Halesia (Silverbell)
Hamamelis (Witch-hazel)
Ilex (Holly)
Juniperus (Cedar)
Ostrya (Hophornbeam)
Oxydendrum (Sourwood)
Sassafras (Sassafras)
Tsuga (Hemlock)

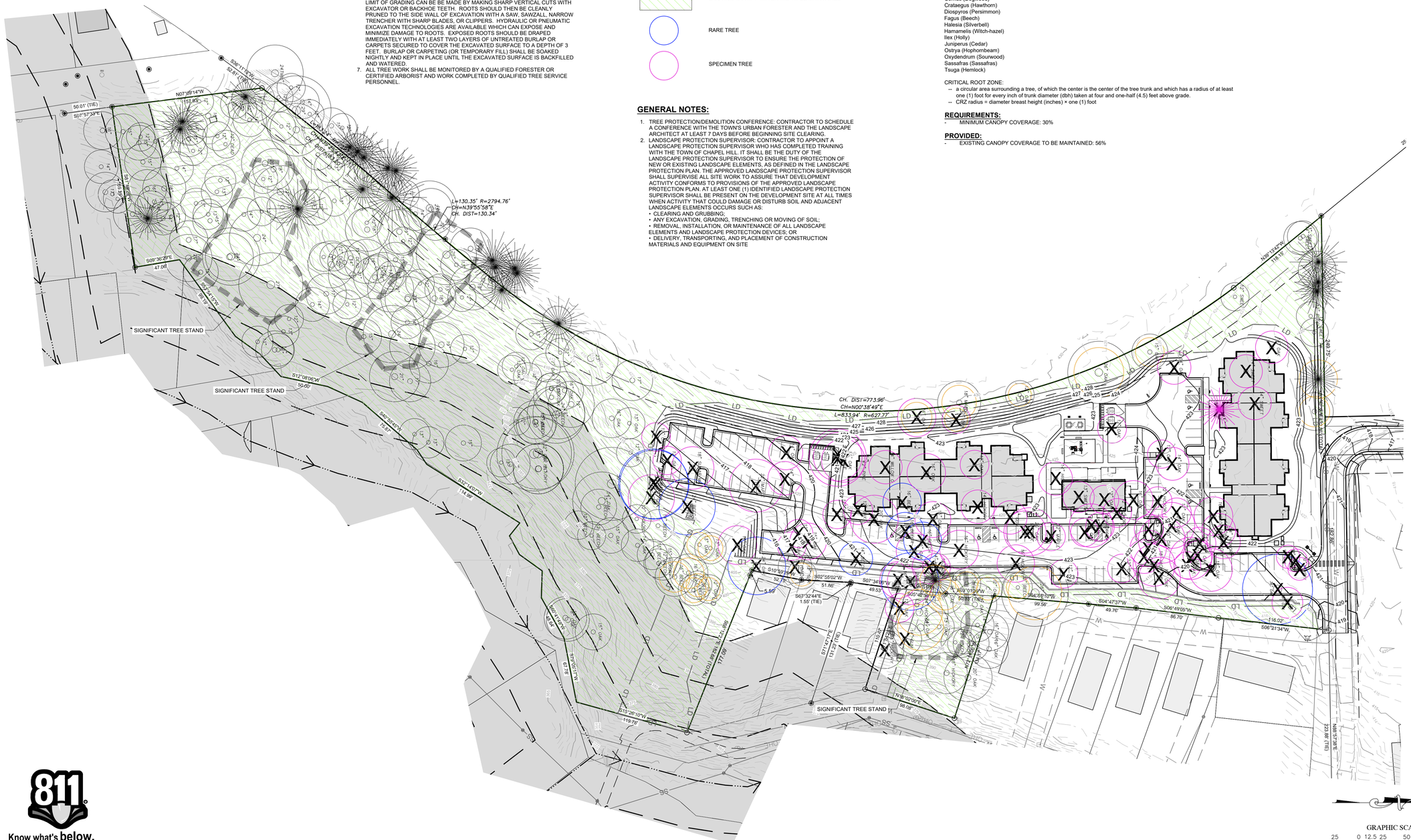
CRITICAL ROOT ZONE:
-- a circular area surrounding a tree, of which the center is the center of the tree trunk and which has a radius of at least one (1) foot for every inch of trunk diameter (dbh) taken at four and one-half (4.5) feet above grade.
-- CRZ radius = diameter breast height (inches) × one (1) foot

REQUIREMENTS:

- MINIMUM CANOPY COVERAGE: 30%

PROVIDED:

- EXISTING CANOPY COVERAGE TO BE MAINTAINED: 56%



GRAPHIC SCALE
25 0 12.5 25 50 100
(IN FEET)
1 inch = 50 ft.

Know what's **below.** **Call** before you dig.

7		
6		
5		
4		
3		
2	CZA COMMENTS #2	1/31/2022	DMC
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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PROJECT ENGINEER/ARCHITECT
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PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY
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FIRST ISSUE DATE
12-01-2021

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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

LANDSCAPE PROTECTION PLAN

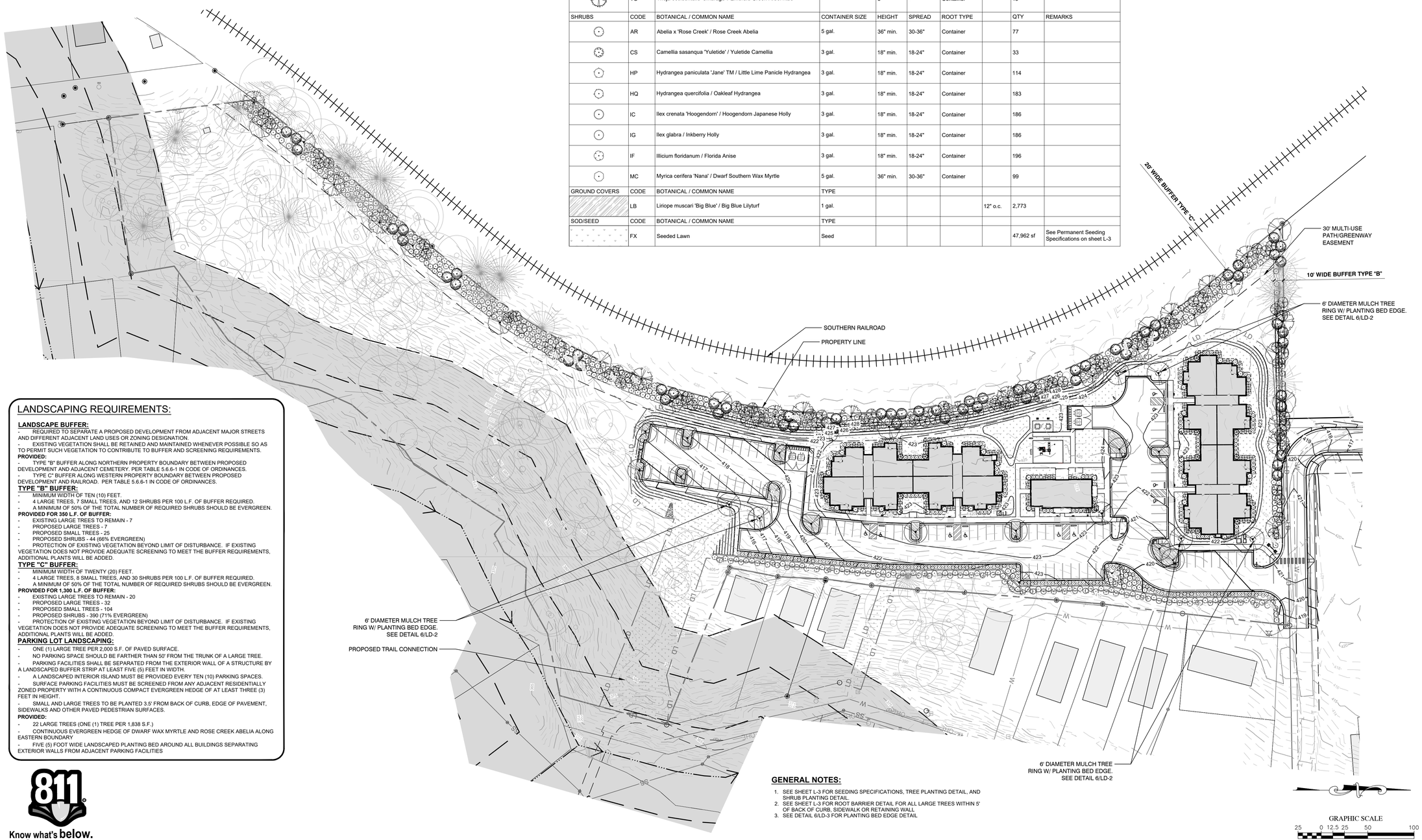
PROJECT NO.
21-0207
DRAWING NAME:
21-0207_LS.dwg
SHEET NO.
L-1

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	SPREAD	ROOT TYPE		QTY	REMARKS
	AO	Acer rubrum 'October Glory' / October Glory Red Maple	2" Cal.	10'		B&B		20	
	AL	Amelanchier laevis / Allegheny Serviceberry	-	8'	-	B&B		65	Mulit-Stem, Specimen
	IO	Ilex opaca / American Holly	-	8'	-	B&B		62	
	MS	Magnolia virginiana / Sweetbay Magnolia	2" Cal.	10'		B&B		18	
	NS	Nyssa sylvatica / Tupelo	2" Cal.	10'	-	B&B		22	Matched, Specimen
	TO	Thuja occidentalis 'Smaragd' / Emerald Green Arborvitae	-	5'	-	Container		13	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONTAINER SIZE	HEIGHT	SPREAD	ROOT TYPE		QTY	REMARKS
	AR	Abelia x 'Rose Creek' / Rose Creek Abelia	5 gal.	36" min.	30-36"	Container		77	
	CS	Camellia sasanqua 'Yuletide' / Yuletide Camellia	3 gal.	18" min.	18-24"	Container		33	
	HP	Hydrangea paniculata 'Jane' TM / Little Lime Panicle Hydrangea	3 gal.	18" min.	18-24"	Container		114	
	HQ	Hydrangea quercifolia / Oakleaf Hydrangea	3 gal.	18" min.	18-24"	Container		183	
	IC	Ilex crenata 'Hoogendorn' / Hoogendorn Japanese Holly	3 gal.	18" min.	18-24"	Container		186	
	IG	Ilex glabra / Inkberry Holly	3 gal.	18" min.	18-24"	Container		186	
	IF	Illicium floridanum / Florida Anise	3 gal.	18" min.	18-24"	Container		196	
	MC	Myrica cerifera 'Nana' / Dwarf Southern Wax Myrtle	5 gal.	36" min.	30-36"	Container		99	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	TYPE						
	LB	Liriope muscari 'Big Blue' / Big Blue Lilyturf	1 gal.				12" o.c.	2,773	
SOD/SEED	CODE	BOTANICAL / COMMON NAME	TYPE						
	FX	Seeded Lawn	Seed					47,962 sf	See Permanent Seeding Specifications on sheet L-3

LEGEND:

- PLANTING BED EDGE
- EXISTING DECIDUOUS TREES TO REMAIN
- EXISTING EVERGREEN TREES TO REMAIN



LANDSCAPING REQUIREMENTS:

LANDSCAPE BUFFER:
- REQUIRED TO SEPARATE A PROPOSED DEVELOPMENT FROM ADJACENT MAJOR STREETS AND DIFFERENT ADJACENT LAND USES OR ZONING DESIGNATION.
- EXISTING VEGETATION SHALL BE RETAINED AND MAINTAINED WHENEVER POSSIBLE SO AS TO PERMIT SUCH VEGETATION TO CONTRIBUTE TO BUFFER AND SCREENING REQUIREMENTS.

PROVIDED:
- TYPE "B" BUFFER ALONG NORTHERN PROPERTY BOUNDARY BETWEEN PROPOSED DEVELOPMENT AND ADJACENT CEMETERY. PER TABLE 5.6.6-1 IN CODE OF ORDINANCES.
- TYPE C" BUFFER ALONG WESTERN PROPERTY BOUNDARY BETWEEN PROPOSED DEVELOPMENT AND RAILROAD. PER TABLE 5.6.6-1 IN CODE OF ORDINANCES.

TYPE "B" BUFFER:
- MINIMUM WIDTH OF TEN (10) FEET.
- 4 LARGE TREES, 7 SMALL TREES, AND 12 SHRUBS PER 100 L.F. OF BUFFER REQUIRED.
- A MINIMUM OF 50% OF THE TOTAL NUMBER OF REQUIRED SHRUBS SHOULD BE EVERGREEN.

PROVIDED FOR 350 L.F. OF BUFFER:
- EXISTING LARGE TREES TO REMAIN - 7
- PROPOSED LARGE TREES - 7
- PROPOSED SMALL TREES - 25
- PROPOSED SHRUBS - 44 (66% EVERGREEN)
- PROTECTION OF EXISTING VEGETATION BEYOND LIMIT OF DISTURBANCE. IF EXISTING VEGETATION DOES NOT PROVIDE ADEQUATE SCREENING TO MEET THE BUFFER REQUIREMENTS, ADDITIONAL PLANTS WILL BE ADDED.

TYPE "C" BUFFER:
- MINIMUM WIDTH OF TWENTY (20) FEET.
- 4 LARGE TREES, 8 SMALL TREES, AND 30 SHRUBS PER 100 L.F. OF BUFFER REQUIRED.
- A MINIMUM OF 50% OF THE TOTAL NUMBER OF REQUIRED SHRUBS SHOULD BE EVERGREEN.

PROVIDED FOR 1,300 L.F. OF BUFFER:
- EXISTING LARGE TREES TO REMAIN - 20
- PROPOSED LARGE TREES - 32
- PROPOSED SMALL TREES - 104
- PROPOSED SHRUBS - 390 (71% EVERGREEN)
- PROTECTION OF EXISTING VEGETATION BEYOND LIMIT OF DISTURBANCE. IF EXISTING VEGETATION DOES NOT PROVIDE ADEQUATE SCREENING TO MEET THE BUFFER REQUIREMENTS, ADDITIONAL PLANTS WILL BE ADDED.

PARKING LOT LANDSCAPING:
- ONE (1) LARGE TREE PER 2,000 S.F. OF PAVED SURFACE.
- NO PARKING SPACE SHOULD BE FARTHER THAN 50' FROM THE TRUNK OF A LARGE TREE.
- PARKING FACILITIES SHALL BE SEPARATED FROM THE EXTERIOR WALL OF A STRUCTURE BY A LANDSCAPED BUFFER STRIP AT LEAST FIVE (5) FEET IN WIDTH.
- A LANDSCAPED INTERIOR ISLAND MUST BE PROVIDED EVERY TEN (10) PARKING SPACES.
- SURFACE PARKING FACILITIES MUST BE SCREENED FROM ANY ADJACENT RESIDENTIALLY ZONED PROPERTY WITH A CONTINUOUS COMPACT EVERGREEN HEDGE OF AT LEAST THREE (3) FEET IN HEIGHT.
- SMALL AND LARGE TREES TO BE PLANTED 3.5' FROM BACK OF CURB, EDGE OF PAVEMENT, SIDEWALKS AND OTHER PAVED PEDESTRIAN SURFACES.

PROVIDED:
- 22 LARGE TREES (ONE (1) TREE PER 1,838 S.F.)
- CONTINUOUS EVERGREEN HEDGE OF DWARF WAX MYRTLE AND ROSE CREEK ABELIA ALONG EASTERN BOUNDARY
- FIVE (5) FOOT WIDE LANDSCAPED PLANTING BED AROUND ALL BUILDINGS SEPARATING EXTERIOR WALLS FROM ADJACENT PARKING FACILITIES

GENERAL NOTES:

1. SEE SHEET L-3 FOR SEEDING SPECIFICATIONS, TREE PLANTING DETAIL, AND SHRUB PLANTING DETAIL.
2. SEE SHEET L-3 FOR ROOT BARRIER DETAIL FOR ALL LARGE TREES WITHIN 5' OF BACK OF CURB, SIDEWALK OR RETAINING WALL
3. SEE DETAIL 6/LD-3 FOR PLANTING BED EDGE DETAIL

GRAPHIC SCALE
25 0 12.5 25 50 100
(IN FEET)
1 inch = 50 ft.

811
Know what's **below.**
Call before you dig.

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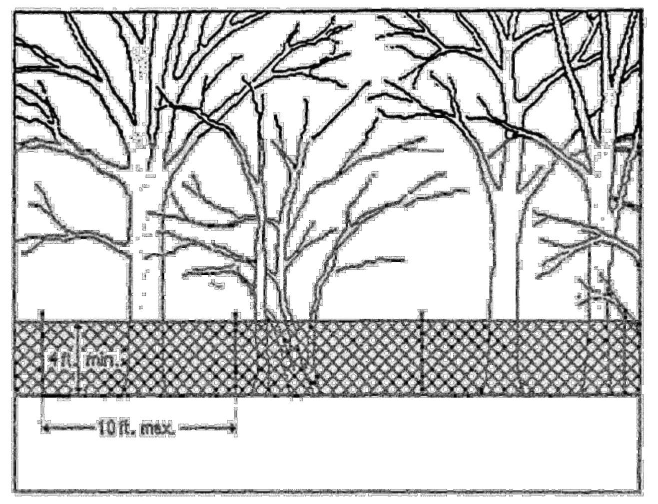
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

LANDSCAPE PLAN

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_LS.dwg
SHEET NO.
L-2

TREE PROTECTION FENCING - TYPICAL

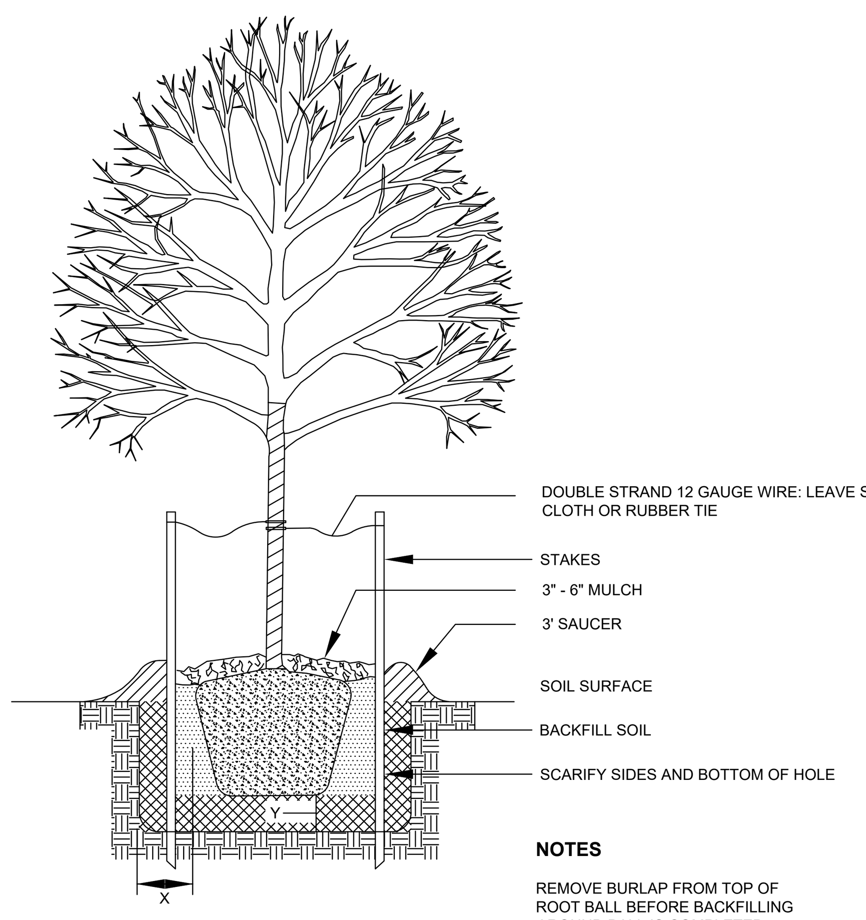


A pre-construction conference shall be held with the project manager and the Town's Landscape Architect before any site work begins.

Any tree roots exposed by construction shall be severed cleanly with a pruning tool.

The soil within the protected area around existing trees shall not be driven upon after fence removal for the purpose of installing landscaping.

1 CITY OF CHAPEL HILL TREE PROTECTION FENCING – TYPICAL
SCALE: N.T.S.



NOTES

REMOVE BURLAP FROM TOP OF ROOT BALL BEFORE BACKFILLING AROUND BALL IS COMPLETED

ALL TREES WHICH ARE SMOOTH BARKED AT THE TIME OF PLANTING AND HAVE MORE THAN 2' OF CLEAR TRUNK SHALL BE WRAPPED

ALL TREE WRAPPING SHALL EXTEND FROM THE TOP OF THE BACKFILL TO THE LOWERMOST TREE BRANCHES

SCHEDULE FOR PLANT HOLE SIZE

BARE ROOT, CONTAINER OR BALL SIZE	X	Y
5" TO 30"	8"	4"
30" OR GREATER	12"	6"

TREE PLANTING AND STAKING

STAKING - TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. TIE THE TRUNK LOOSELY WITH WIDE STRIPS OF RUBBER OR CLOTH ABOUT 1/3 UP THE TRUNK AND TIE TO THREE STAKES POSITIONED EVENLY AROUND THE TRUNK. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLODGING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.

WRAPPING - WRAP ONLY THIN BARKED TREES IF THEY HAVE BEEN REMOVED FROM SHADE TO WHERE THE TRUNK IS EXPOSED TO DIRECT SUNLIGHT DURING THE DAY. WRAPPING SHOULD BEGIN AT THE BOTTOM AND WORK UP. WRAPPING MATERIAL SHOULD NOT TRAP OR HOLD WATER.

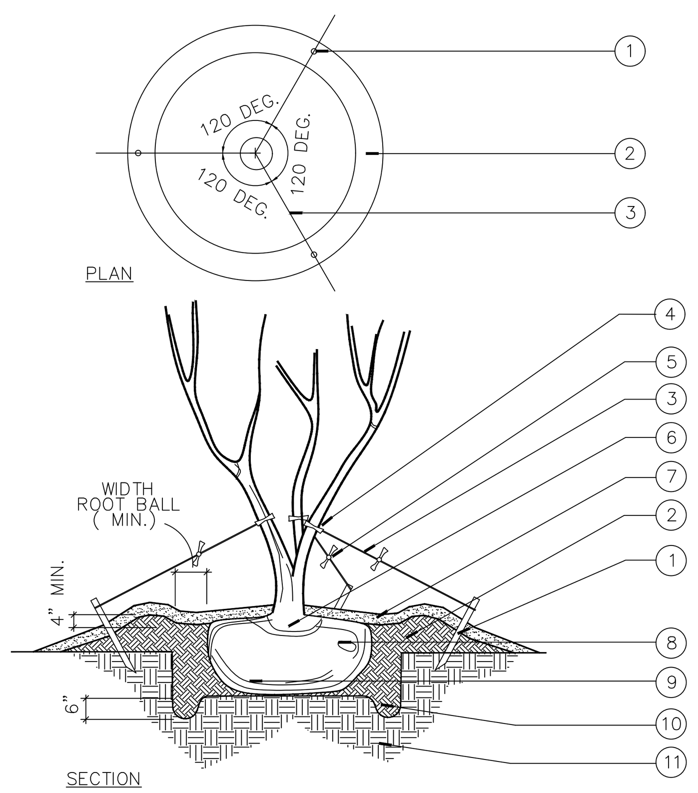
PRUNING - CLEANLY PRUNE DAMAGED BRANCHES AND ROOTS AT THIS TIME. ADDITIONAL PRUNING SHOULD BE ONLY FOR SHAPING PURPOSES.

PLANTING - ALL SYNTHETIC MATERIALS SHALL BE CLEARED FROM THE ROOTS, TRUNK AND CROWN OF THE PLANT. THE ROOT BALL MEDIUM SHOULD BE SHAKEN GENTLY FROM THE ROOT BALL IF IT IS A SOILESS MIXTURE. LOOSEN AND SPREAD THE ROOTS IN THE PLANTING HOLE. DAMAGED ROOTS AND ROOTS WHICH ENCIRCLE THE TRUNK SHOULD BE CLEANLY PRUNED. SET THE PLANT SO THAT IT WILL BE AT ITS ORIGINAL DEPTH OR SLIGHTLY ABOVE EXISTING GRADE. BACKFILL WITH SOIL FROM THE HOLE. TAMP AND WATER THE SOIL TO PREVENT AIR POCKETS. DO NOT AMEND THE SOIL AT THIS POINT EXCEPT TO AMEND THE PH.

WATERING - THE BACKFILL AND ROOTS OF ALL NEWLY SET PLANTS SHOULD BE WATERED AS BACKFILLING IS BEING DONE SO THAT THE SOIL AND ROOTS ARE THOROUGHLY SOAKED.

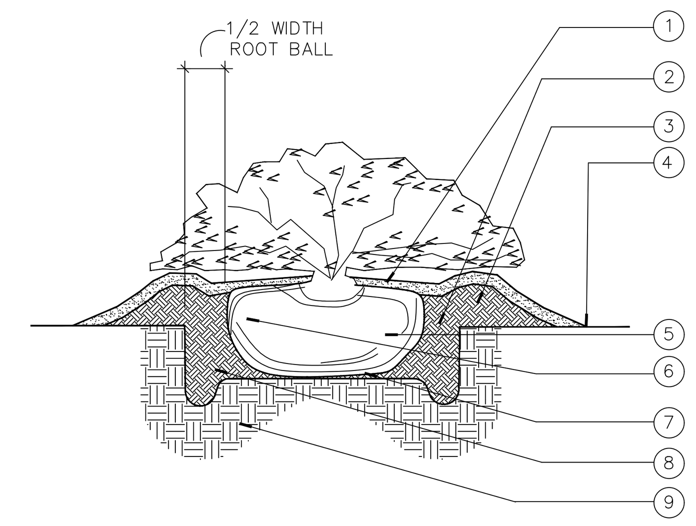
TREE PLANTING AND STAKING DETAIL

2 TREE PLANTING & STAKING DETAIL
SCALE: N.T.S.



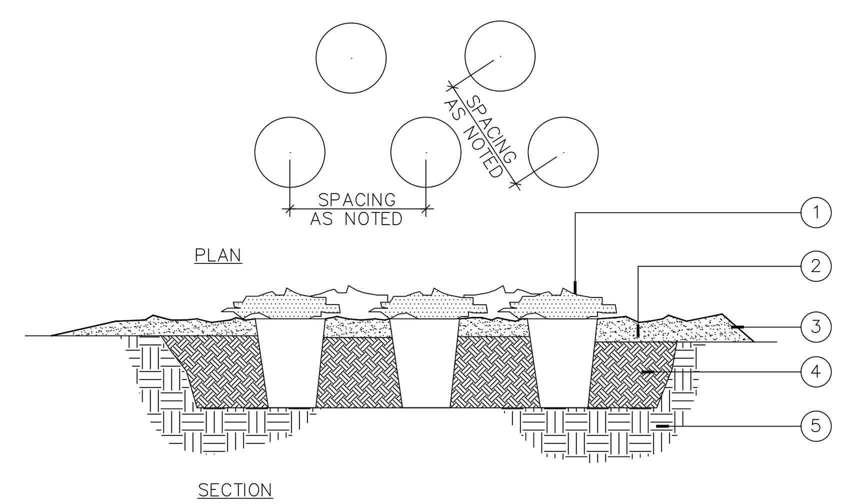
1. TREE STAKE – 3 PER TREE, MATERIAL AS PER SPECIFICATIONS
2. EARTH SAUCER
3. GALVANIZED GUY WIRE, ADD TURNBUCKLES IF NECESSARY TO STABILIZE TREE
4. RUBBER CHAFING GUARD
5. WARNING FLAGS
6. REMOVE THE BURLAP, BURLAP TIES AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS AND SYNTHETIC BURLAP–TYPE OF MATERIALS FROM THE ENTIRE ROOTBALL.
7. 3" MULCH AS PER SPECIFICATIONS
8. ROOT BALL
9. EXCAVATE PLANTING PIT TWO TO THREE TIMES AS WIDE AS THE ROOTBALL, INSTALL ROOTBALL 1/4 – 1/3 ABOVE EXISTING / PROPOSED GRADE. LOCATE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
10. BACKFILL W/SOIL AS PER SPECIFICATIONS
11. UNDISTURBED EARTH

3 MULTI–TRUNK TREE PLANTING DETAIL
SCALE: N.T.S.



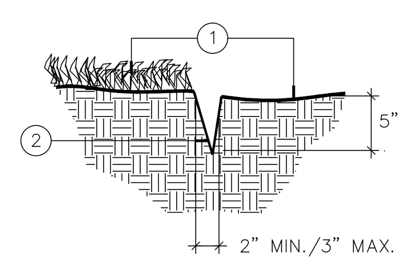
1. 2" MULCH LAYER
2. BACKFILL W/SOIL AS PER SPECIFICATIONS. MAKE PLANTING MIX CONTINUOUS IN CLUSTER BED PLANTINGS.
3. 3" HIGH EARTH SAUCER
4. "SHOVEL EDGE" TYP. WHERE BED MEETS LAWN. (REF. DET. 5 THIS SHEET)
5. ROOT BALL
6. REMOVE THE BURLAP, BURLAP TIES AND WIRE BASKET FROM TOP 1/3 OF ROOTBALL. REMOVE ALL NYLON STRINGS, PLASTIC LINERS AND SYNTHETIC BURLAP–TYPE OF MATERIALS FROM THE ENTIRE ROOTBALL.
7. SCARIFY ROOTBALL AND BOTTOM / SIDES OF PLANT PIT
8. EXCAVATE PLANTING PIT TWO TO THREE TIMES AS WIDE AS THE ROOTBALL, INSTALL ROOTBALL 1/4 – 1/3 ABOVE EXISTING / PROPOSED GRADE. LOCATE ROOTBALL ON SOLID SOIL AND NOT LOOSE BACKFILL.
9. UNDISTURBED EARTH

4 SHRUB PLANTING DETAIL
SCALE: N.T.S.



1. GROUNDCOVER
2. 2" MULCH LAYER
3. "SHOVEL EDGE" TYP. WHERE BEDS MEET LAWN
4. BACKFILL W/SOIL AS PER SPECIFICATIONS
5. UNDISTURBED EARTH

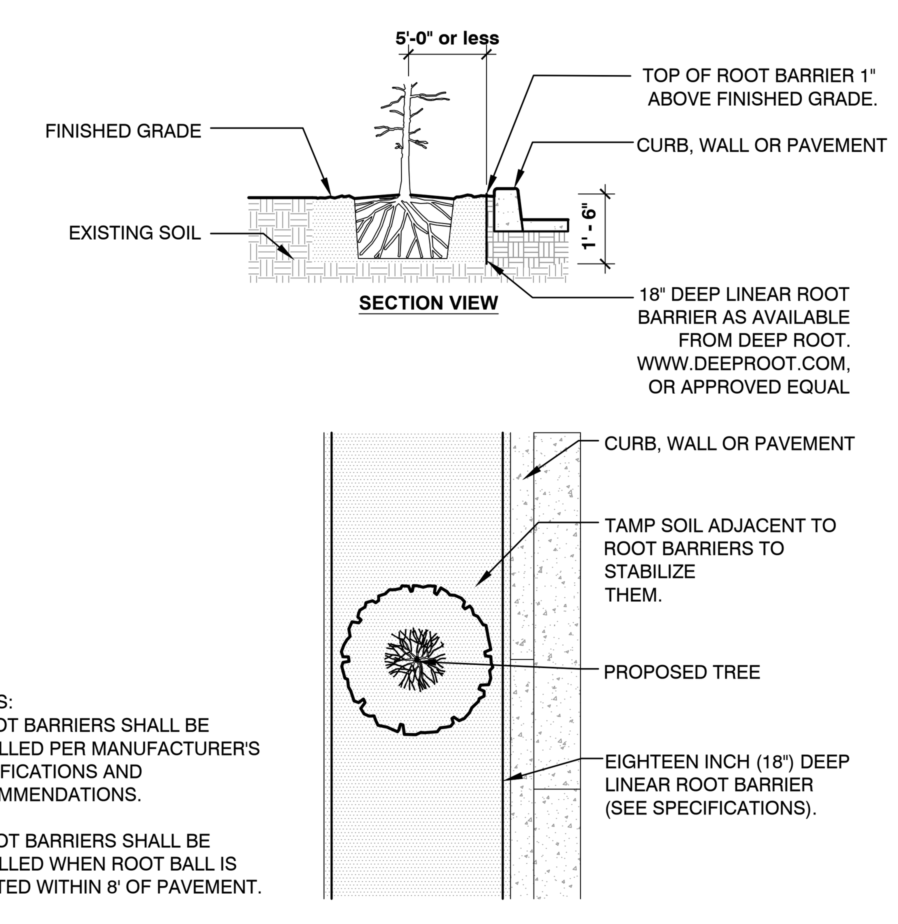
5 GROUNDCOVER PLANTING DETAIL
SCALE: N.T.S.



1. DIFFERENT PLANTING TREATMENTS.
2. SHOVEL EDGE

GENERAL NOTES
A. PROVIDE SMOOTH CONTINUOUS EDGE AS SHOWN. DIG EDGE WITH COMMON SPADE OR STRAIGHT BLADE SHOVEL.

6 PLANTING BED EDGE DETAIL
SCALE: N.T.S.



NOTES:
1- ROOT BARRIERS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.

2- ROOT BARRIERS SHALL BE INSTALLED WHEN ROOT BALL IS LOCATED WITHIN 8' OF PAVEMENT.

7 ROOT BARRIERS
SCALE: N.T.S

FX-PL-FX-SOIL-05

LANDSCAPING NOTES:

1. ALL PLANT MATERIAL SHALL BE INSTALLED IN A WORKMAN LIKE MANNER USING ACCEPTED NURSERY PRACTICES AND STANDARDS, AND SHALL COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1-2014 OR MOST CURRENT STANDARD.
2. PLANTS DESIGNATED "B&B" IN THE PLANT LIST SHALL BE BALLED & BURLAPPED. THEY SHALL BE DUG WITH FIRM, NATURAL BALLS OF EARTH OF SUFFICIENT DIAMETER AND DEPTH TO ENCOMPASS THE FIBROUS AND FEEDING ROOT SYSTEM NECESSARY FOR FULL RECOVERY OF THE PLANT. BALLS SHALL BE FIRMLY WRAPPED WITH BURLAP OR SIMILAR MATERIAL AND BOUND WITH TWINE OR CORD. TREE BALLS SHALL HAVE A DIAMETER IN FEET EQUAL TO 10" FOR EACH CALIPER INCH OF TREE.
3. ONLY "HEMP" BURLAP AND TWINE SHALL BE USED. NO TREATED OR PRESERVED BURLAP OR TWINE IS ALLOWED. ALL HEMP TWINE ATTACHED TO THE TRUNK IS TO BE REMOVED AT PLANTING. CUT AND REMOVE BURLAP AND WIRE BASKET ENTIRELY PRIOR TO PLANTING. CUT OR LOOSEN ANY GIRDLING OR CIRCLING ROOTS.
4. BALLS OF B&B PLANTS WHICH CANNOT BE PLANTED IMMEDIATELY ON DELIVERY SHALL BE COVERED WITH MOIST SOIL, MULCH OR SIMILAR PROTECTION FROM DRYING WINDS AND SUN. ALL PLANTS SHALL BE WATERED BY LANDSCAPE CONTRACTOR AS NECESSARY UNTIL FINAL ACCEPTANCE.
5. NO PLANT SHALL BE BOUND WITH WIRE OR ROPE IN SUCH A MANNER THAT WILL DAMAGE THE BARK, BREAK BRANCHES, OR DESTROY THE PLANTS NATURAL SHAPE. NO B&B PLANT MATERIAL SHALL BE ACCEPTED IF THE BALL IS CRACKED OR BROKEN EITHER BEFORE OR DURING PLANTING, INCLUDING WHEN BURLAP, STAVES, ROPES, ETC. ARE REMOVED DURING PLANTING.
6. ALL PLANTS SHALL BE HANDLED SO THAT THE ROOTS SHALL BE ADEQUATELY PROTECTED AT ALL TIMES. DURING SHIPMENT PLANTS SHALL BE PROTECTED BY TARPAULINS OR SIMILAR COVERING. PLANT MATERIAL SUFFERING FROM WIND BURN OR OTHER WIND DAMAGE IS NOT ACCEPTABLE.
7. THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THE PLANS MAY VARY IN RELATION TO ACTUAL CONDITIONS. ADDITIONAL UTILITIES NOT SHOWN ON THE PLANS MAY EXIST. THE LANDSCAPE CONTRACTOR SHALL FIELD VERIFY UTILITY LOCATIONS AND NOTIFY THE OWNER OF ANY DISCREPANCIES BEFORE BEGINNING WORK. EXCAVATION NEAR EXISTING UTILITIES SHALL BE CAREFULLY DONE BY HAND. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY ANY PERSON, VEHICLE, EQUIPMENT OR TOOL RELATED TO HIS ACTIVITIES ON THE SITE.
8. ALL PLANTS SHALL BE PLANTED SO TOP OF ROOT BALL IS 2"-3" ABOVE EXISTING GRADE.
9. ANY SERIES OF PLANTS TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY BY THE LANDSCAPE CONTRACTOR, AND ANY PLANTS INCORRECTLY ARRANGED SHALL BE RELOCATED. FINAL LOCATIONS OF ALL PLANT MATERIAL ARE SUBJECT TO FINAL APPROVAL IN THE FIELD BY LANDSCAPE ARCHITECT.
10. PRUNE NEWLY PLANTED TREES AS NECESSARY AND IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
11. LANDSCAPE CONTRACTOR SHALL VERIFY SUBGRADE ELEVATIONS, OBSERVE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED, AND PROVIDE PERCOLATION TESTS AND ALL OTHER TESTS AS MAY BE NECESSARY TO ASCERTAIN THAT ADEQUATE GROWING CONDITIONS WILL BE PROVIDED FOR PLANTS. IF PERCOLATION TESTS OR OTHER SUBSOIL CONDITIONS INDICATE RETENTION OF WATER IN PLANTING AREAS, AS SHOWN BY SEEPAGE OR OTHER EVIDENCE OF UNDERGROUND WATER, NOTIFY LANDSCAPE ARCHITECT IN WRITING OF THIS FACT OR ANY OTHER UNSATISFACTORY CONDITIONS BEFORE BACK-FILLING. A CHANGE ORDER MAY BE ISSUED TO DIRECT INSTALLATION OF DRAIN TILE OR OTHER MEASURES BEYOND DRAINAGE REQUIREMENTS INDICATED. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF PLANTING WORK INDICATES THAT SITES CONDITIONS HAVE BEEN ACCEPTED "AS IS".
12. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE WATERING AND MAINTENANCE OF ALL PLANT MATERIAL, BOTH BEFORE AND AFTER PLANTING, UNTIL ACCEPTANCE BY LANDSCAPE ARCHITECT.
13. ALL PLANT MATERIAL IS TO BE GUARANTEED FOR ONE (1) YEAR. GUARANTEE PERIOD STARTS FROM DATE OF FINAL ACCEPTANCE BY OWNER.
14. QUANTITIES INDICATED ON THE DRAWINGS ARE PROVIDED FOR THE BENEFIT OF THE LANDSCAPE CONTRACTOR. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING QUANTITIES AND NOTIFYING LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. COMMENCEMENT OF PLANTING WORK INDICATES THAT QUANTITIES HAVE BEEN ACCEPTED BY THE LANDSCAPE CONTRACTOR, AND LANDSCAPE CONTRACTOR ACCEPTS LIABILITY FOR ANY LATER DISCREPANCY.
15. DIMENSIONS FOR PLANT CALIPERS, HEIGHTS AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE/PLANT LIST ARE THE MINIMUM REQUIRED SIZES FOR EACH PLANT SPECIFIED IN THE CODE OF ORDINANCES. ALL PLANT MATERIALS SHALL COMPLY WITH THE LATEST EDITION OF PUBLICATION ANSI Z60.1-2014, AMERICAN STANDARDS FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. THE LANDSCAPE ARCHITECT OR OTHER OWNERS REPRESENTATIVE RETAINS THE RIGHT TO REJECT ANY PLANTS NOT MEETING THESE REQUIREMENTS.
16. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS NECESSARY FOR CONSTRUCTION. THE CONTRACTOR SHALL READ ALL PERMITS AND ENSURE THAT CONSTRUCTION COMPLIES WITH THE PERMITS. REQUIRED PERMITS AND REVIEWS MAY INCLUDE, BUT ARE NOT LIMITED TO: CITY/COUNTY APPROVALS/PERMITS, CITY FIRE DEPARTMENT, SOLID WASTE REVIEWS, NCDOT PERMITS, DRIVEWAY PERMITS, RIGHT OF WAY ENCROACHMENT AGREEMENTS, SOIL AND EROSION CONTROL PERMITS, NCDENR PERMITS, WATER PERMITS, SEWER PERMITS, ENVIRONMENTAL PERMITS, WETLAND DISTURBANCE PERMITS, STREAM CROSSING PERMITS, POWER EASEMENT ENCROACHMENT AGREEMENTS, USACE/DWQ PERMITS, STORMWATER PERMITS, ZONING APPROVAL, AND BUILDING CODE APPROVALS/PERMITS. IF THE CONTRACTOR HAS QUESTIONS ABOUT PERMIT LANGUAGE, OR THE NEED FOR A PERMIT, HE MUST CONTACT THE DEVELOPER AND THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
17. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING SITE INSPECTION PRIOR TO BIDDING WORK TO EVALUATE SITE CONDITIONS AND AREAS TO BE SEEDED AND PLANTED. SUBMISSION OF BID INDICATES CONTRACTOR HAS VERIFIED SITE CONDITIONS AND PLANT MATERIAL QUANTITIES.
18. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SIDEWALKS, CURBS, PAVEMENT, LAWNS, EXISTING PLANTINGS, ETC. AS A RESULT OF LANDSCAPE INSTALLATION ACTIVITIES.
19. LANDSCAPE CONTRACTOR SHALL MAINTAIN AREAS OF WORK IN A NEAT AND ORDERLY MANNER, AND SHALL BE RESPONSIBLE FOR CLEAN UP OF TRASH, DEBRIS, ETC. ON A DAILY BASIS.
20. MULCH SHALL BE DOUBLE GROUND HARDWOOD, OR APPROVED EQUIVALENT. MULCH SHALL BE OF SUFFICIENT CHARACTER SO AS NOT TO BE EASILY BLOWN OR WASHED AWAY. LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 3" OF MULCH TO ALL PLANTING BEDS, TREE PLANTINGS, AND OTHER DISTURBED AREAS. TAKE CARE TO KEEP MULCH A MINIMUM OF 2" FROM TREE TRUNKS.

PERMANENT SEEDING NOTES

SEEDING MIXTURE : SEEDED LAWN

SPECIES	RATE (LB/ACRE)
TALL FESCUE	250
SERICEA LESPEDEZA	20
KOBE LESPEDEZA	10
	50

SEEDING NOTES
1. AFTER AUGUST 15 USE UNSCARIFIED SERICEA SEED.
2. WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEZEDA TO 40 LB/ACRE.
3. TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15LB/ACRE HULLED BERMUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

NURSE PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15 ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES

	BEST	POSSIBLE
FALL:	AUGUST 25 - SEPTEMBER 15	AUGUST 20 - OCTOBER 25
LATE WINTER:	FUBRUARY 15 - MARCH 21	FEBRUARY 1 - APRIL 15

FALL IS BEST FOR ALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVER SEEDING OF KOBE LESPEZEDA OVER FALL-SEEDED TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFERTILIZE IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

SEEDING SCHEDULE

1. TILL OR DISC SOIL TO APPROPRIATE DEPTH PER THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL PERMANENT STABILIZATION REQUIREMENTS.
2. AMEND SOIL TO PROVIDE SUFFICIENT ORGANIC MATTER FOR LONG-TERM VEGETATION GROWTH AND INFILTRATION.
3. IF SOIL IS NOT AMENDED, PROVIDE A JUSTIFICATION (I.E., SOIL TEST RESULTS) FOR WHY THE AMENDMENT WAS NOT NECESSARY.
4. USE ADDITIONAL AMENDMENTS AS NECESSARY TO ENSURE THAT THE PERVIOUS SURFACE IS INFILTRATING STORMWATER AT PRE-DEVELOPMENT RATES.
5. FOLLOW NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL REQUIREMENTS AND GUIDELINES FOR PERMANENT SEEDING.
6. INSPECT ALL SEEDED AREAS AND MAKE NECESSARY RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. IF STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
7. CONSULT CONSERVATION INSPECTOR ON MAINTENANCE AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

*APPLY: AGRICULTURAL LIMESTONE - 2 TONS/ ACRES (3 TONS/ ACRE IN CLAY SOILS)
FERTILIZER - 1,000 lbs. / ACRE -10-10-10
SUPERPHOSPHATE - 500 lbs> / ACRE -20% ANALYSIS
MULCH - 2 TONS / ACRE (5000 LBS/AC FOR STEEP SLOPES) - SMALL GRAIN STRAW
ANOTHER - ASPHALT EMULSION @ 300 GALS./ ACRE

	REVISIONS	DATE	BY
1	CZA COMMENTS #1	1/4/2022	DMC
2	CZA COMMENTS #2	1/31/2022	DMC
3			
4			
5			
6			
7			

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DRAWING ALTERATION
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF LICENSED ARCHITECT, PROFESSIONAL ENGINEER, LANDSCAPE ARCHITECT, OR LAND SURVEYOR TO ALTER ANY ITEM ON THIS DOCUMENT IN ANY WAY. ANY LICENSEE WHO ALTERS THIS DOCUMENT IS REQUIRED BY LAW TO AFFIX HIS OR HER SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS OR HER SIGNATURE AND SPECIFIC DESCRIPTION OF THE ALTERATIONS.

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FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
PRELIMINARY
NORTH CAROLINA REGISTERED LANDSCAPE ARCHITECT A. J. CUTSHAW

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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

LANDSCAPE DETAILS

PROJECT NO.
21-0207
DRAWING NAME:
21-0207_LS.dwg
SHEET NO.
L-3

1 Front Elevation
Scale: 1/4"=1'-0"

2 Rear Elevation
Scale: 1/4"=1'-0"

3 Left Side Elevation
Scale: 1/4"=1'-0"

4 Left Side Elevation
Scale: 1/4"=1'-0"

ELEVATION LEGEND

1. **ROOF**
   30 YEAR ARCHITECTURAL, DIMENSIONAL ANTI-FUGAL ASPHALT SHINGLES.
2. **BOARD AND BATTEN SIDING**
   BOARD AND BATTEN PROFILE. MIN .044" THICKNESS, SMOOTH TEXTURE.
3. **HORIZONTAL LAP SIDING**
   HORIZONTAL LAP SIDING WITH 5" EXPOSURE. MIN .044" THICKNESS, WOODGRAIN TEXTURE.
4. **CEDAR SHAKE STYLE SIDING**
   CEDAR SHAKE PROFILE. MIN .044" THICKNESS, WOODGRAIN TEXTURE.
5. **BRICK VENEER**
   BRICK VENEER, QUEEN SIZE

ARCHITECT

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JONATHAN THOMAS LACOURSE
REGISTERED ARCHITECT
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RALEIGH, N.C.

PROJECT

JAY STREET APARTMENTS, LLC
JAY STREET APARTMENTS
CHAPEL HILL, NORTH CAROLINA

REVISIONS

DATE
DATE: 12/1/2021
ISSUED: REVIEW

SHEET TITLE
EXTERIOR ELEVATIONS
CLUBHOUSE

SHEET
A3.1

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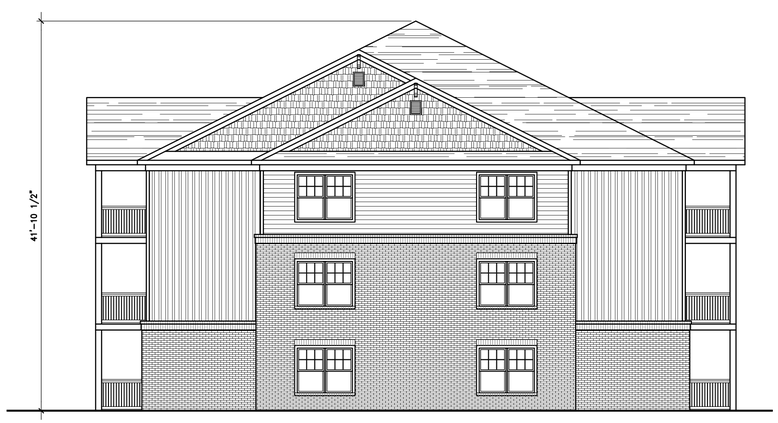
1 Front Elevation
Scale: 1/8"=1'-0"

2 Rear Elevation
Scale: 1/8"=1'-0"



3 Left Side Elevation
Scale: 1/8"=1'-0"

4 Left Side Elevation
Scale: 1/8"=1'-0"

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REGISTERED ARCHITECT
11394
NORTH CAROLINA
RALEIGH, N.C.

PROJECT

JAY STREET APARTMENTS, LLC

JAY STREET APARTMENTS
CHAPEL HILL, NORTH CAROLINA

REVISIONS

DATE

DATE: 12/1/2021
ISSUED: REVIEW

SHEET TITLE

EXTERIOR ELEVATIONS

BUILDING 1

SHEET

A3.2

1 Front Elevation
Scale: 1/8"=1'-0"

2 Rear Elevation
Scale: 1/8"=1'-0"

3 Left Side Elevation
Scale: 1/8"=1'-0"

4 Left Side Elevation
Scale: 1/8"=1'-0"

ELEVATION LEGEND

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CEDAR SHAKE PROFILE. MIN .044" THICKNESS, WOODGRAIN TEXTURE.

5 **BRICK VENEER**
BRICK VENEER, QUEEN SIZE

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SEALS

CONSOLIDATED DESIGN GROUP, PLLC REGISTERED ARCHITECTURAL FIRM NORTH CAROLINA CERT. No. 53666 RALEIGH, N.C.

JONATHAN THOMAS LACORRE REGISTERED ARCHITECT 11394 NORTH CAROLINA RALEIGH, N.C.

PROJECT

JAY STREET APARTMENTS, LLC

JAY STREET APARTMENTS
CHAPEL HILL, NORTH CAROLINA

REVISIONS

DATE

DATE: 12/1/2021
ISSUED: REVIEW

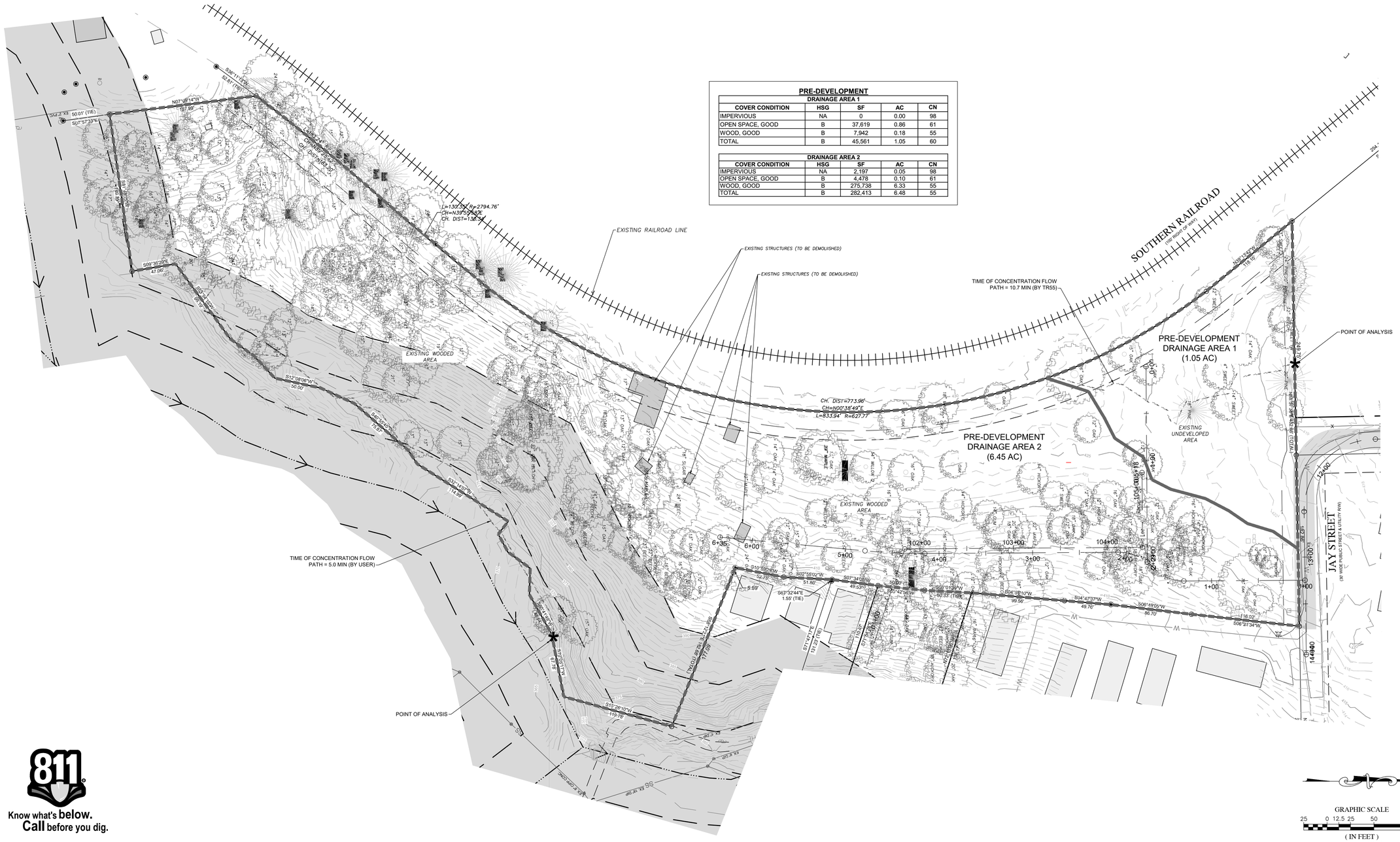
SHEET TITLE

EXTERIOR ELEVATIONS

BUILDING 2

SHEET

A3.3



PRE-DEVELOPMENT

DRAINAGE AREA 1				
COVER CONDITION	HSG	SF	AC	CN
IMPERVIOUS	NA	0	0.00	98
OPEN SPACE, GOOD	B	37,619	0.86	61
WOOD, GOOD	B	7,942	0.18	55
TOTAL	B	45,561	1.05	60

DRAINAGE AREA 2				
COVER CONDITION	HSG	SF	AC	CN
IMPERVIOUS	NA	2,197	0.05	98
OPEN SPACE, GOOD	B	4,478	0.10	61
WOOD, GOOD	B	275,738	6.33	55
TOTAL	B	282,413	6.48	55

Know what's **below.**
Call before you dig.

7			
6			
5			
4			
3			
2			
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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PROJECT ENGINEER/ARCHITECT
TAS (TIM.SMITH@SUMMITDE.COM)

PROJECT MANAGER
ACH (AARON.HUTCHENS@SUMMITDE.COM)

DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)

FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION

NORTH CAROLINA PROFESSIONAL SEAL 040917 ENGINEER TIMOTHY A. SMITH

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320 Executive Court
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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

PRE-DEVELOPMENT
DRAINAGE AREA EXHIBIT

PROJECT NO.
21-0207

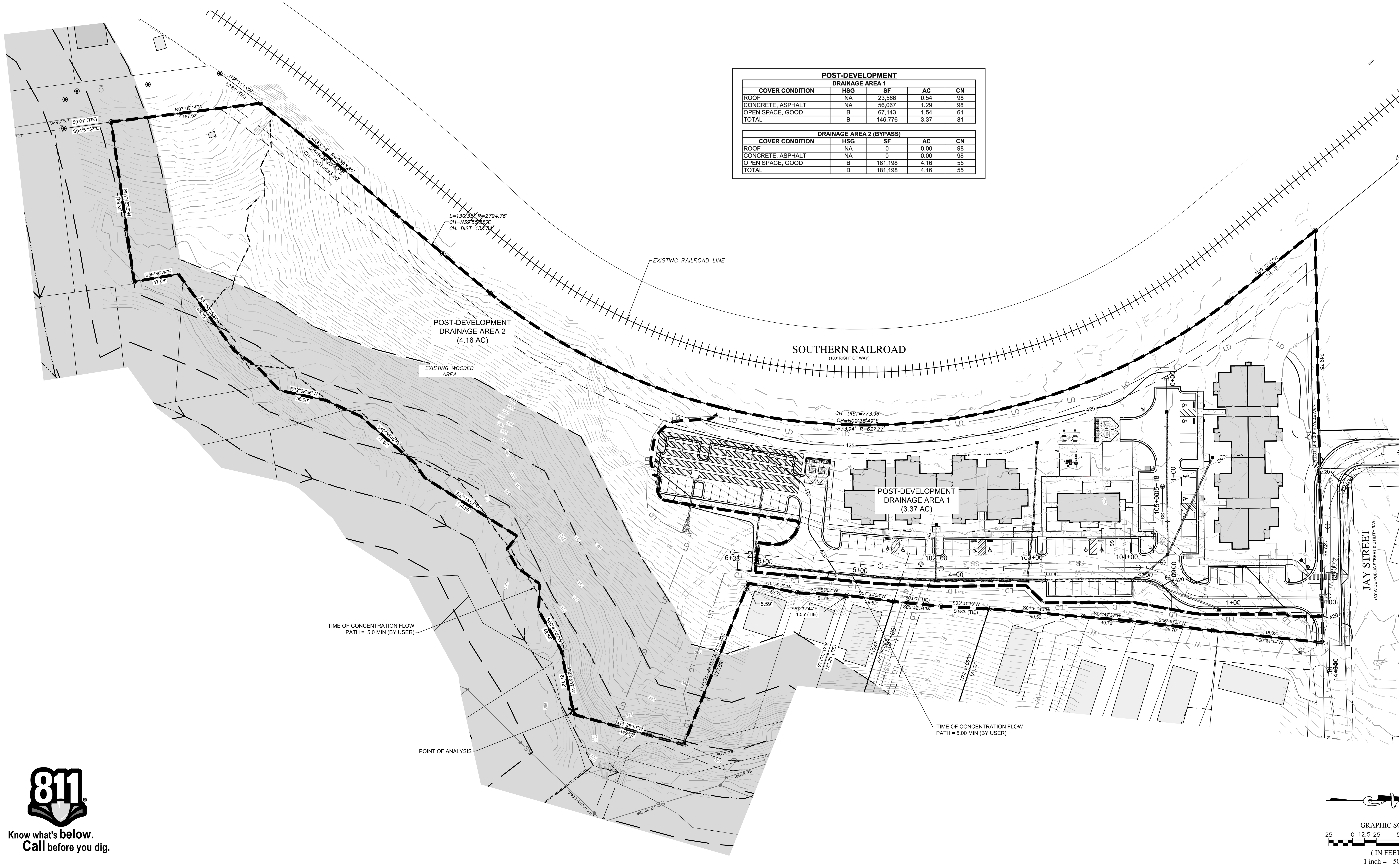
DRAWING NAME:
21-0207_G.dwg

SHEET NO.
A24

POST-DEVELOPMENT

DRAINAGE AREA 1				
COVER CONDITION	HSG	SF	AC	CN
ROOF	NA	23,566	0.54	98
CONCRETE, ASPHALT	NA	56,067	1.29	98
OPEN SPACE, GOOD	B	67,143	1.54	61
TOTAL	B	146,776	3.37	81

DRAINAGE AREA 2 (BYPASS)				
COVER CONDITION	HSG	SF	AC	CN
ROOF	NA	0	0.00	98
CONCRETE, ASPHALT	NA	0	0.00	98
OPEN SPACE, GOOD	B	181,198	4.16	55
TOTAL	B	181,198	4.16	55



GRAPHIC SCALE
25 0 12.5 25 50 100
(IN FEET)
1 inch = 50 ft.

Know what's **below.**
Call before you dig.

7			
6			
5			
4			
3			
2			
1	CZA COMMENTS #1	1/4/2022	DMC
	REVISIONS	DATE	BY

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DRAWN BY
DMC (DON.CHITTY@SUMMITDE.COM)
FIRST ISSUE DATE
12-01-2021

NOT FOR CONSTRUCTION
PRELIMINARY
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SITE PLANS FOR
JAY STREET APARTMENTS
JAY STREET
CHAPEL HILL, ORANGE COUNTY, NC

POST-DEVELOPMENT DRAINAGE AREA EXHIBIT

PROJECT NO. 21-0207
DRAWING NAME: 21-0207_G.dwg
SHEET NO. A25

GRAPHIC SCALE

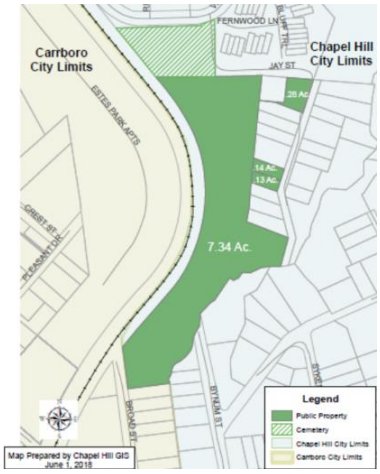
30 0 15 30 60 120

(IN FEET)

1 inch = 60 ft.

GARBAGE TRUCK TRACKING EXHIBIT 'A'

JAY STREET AFFORDABLE DEVELOPMENT



Development Team: Taft-Mills Group, Community Home Trust, Summit Engineering

Location: 110 Jay Street. Adjacent to the Northside Neighborhood, about 1 mile from downtown on the border of Chapel Hill and Carrboro.

Project History: The Town of Chapel Hill initiated development of the Jay Street parcel as part of its strategy to use Town-owned properties to support the development of affordable housing in Chapel Hill. The Town acquired the Jay Street parcel in 2005 using 2003 open space bond funds.

Proposed Site Plan: Once developed, Jay Street will provide 48 new apartments for households earning between 0% and 80% of the Area Median Income for Chapel Hill. The development will include 1, 2, and 3 bedroom units. The site plan also proposes a community building, playground, walking paths, and an accessible connection to the Tanyard Branch Trail. The developer has committed to making improvements to the surrounding area, including widening Jay Street, installing sidewalks from the site entrance to the nearest bus stops, and adding bus stop covers.

Proposed Affordability Mix:

AMI	# Units	% Units
0-30%	12	25%
<50%	8	175
<60%	20	41%
<80%	8	17%

The project will accept Section 8 vouchers and the developers are working with Orange County on designating project-based vouchers on up to 9 units. The Town will lease the land to the developer for 99 years to ensure long term affordability beyond the 30-year LIHTC affordability period.

Proposed Financing: If rezoning is secured, the developer will submit its final 9% LIHTC application by May 13 without any anticipated need for additional funding. If the project is not awarded 9% funding, it will assess its path forward, in communication with Council.

Responses to Council Affordability Questions from March 23, 2022 Public Hearing
Jay Street and Trinity Court Conditional Zoning Applications

The responses below are intended as a response to questions concerning long-term affordability that staff heard from Council during the public hearings for the Trinity Court and Jay Street projects. This information has been previously shared publicly and focuses on reiterating the intent of the projects to provide housing that is 100 percent affordable for the long term.

- When is the appropriate time, and in which type of agreement, should the Town expect to confirm that the Town's interest in providing long-term affordable housing on Town land is fully realized?

  Response: The April 27 vote on the conditional rezoning for the Jay Street and Trinity Court projects is focused on the proposed land uses for these parcels, which also stipulates that the projects will be 100% affordable. Per the Option to Ground Lease Agreements that Council authorized on January 12, the Town has committed to entering into a ground lease agreement with each developer for 99 years, if and when all conditions of the option agreement are met. The ground leases will memorialize all affordable housing restrictions on the property, which will be finalized when financing is secured for the projects. Staff anticipate negotiation of the ground leases to occur over the next 12 months.

  Once LIHTC funding is awarded to each project, staff will also begin negotiating a development contract with the development teams, the terms of which will be brought to Council for consideration by Spring 2023. This agreement could be drafted simultaneously with the ground lease, or separately, and will cover the details on the disposition of the site, the development of the site, the roles of the Town and the developer, the project budget, representations and warranties, and defaults, remedies and dispute resolution. The development contract will confirm any additional affordability parameters not already covered in previous agreements (e.g., funding agreements, ground lease, etc.).

- Please provide more clarity around the ground-lease provisions and how we will maintain the affordability of this project for 99 years. What happens when the buildings need to be replaced? Can the Town be given the Right of First Refusal?

  Response:
  The ground lease will contemplate scenarios such as 99-year affordability, restrictions on the sale of the buildings, and offering the Town a right of first refusal. Town staff have consulted with the Town Attorney's Office, the Town's outside counsel (Sanford Holshouser), and the developers and their attorneys on the questions posed about ensuring these projects achieve long-term affordability. All parties have indicated their willingness to work toward meeting the Town's interest in the negotiations of their agreements, but advised that ground leases are typically not finalized until after all financing has been secured.

  Sanford Holshouser has advised the Town that the ground lease will offer the following assurances to the Town:
  - The Ground Lease will include a 99-year affordability plan including a Right of First Refusal (ROFR) to the Town
  - Each developer will have their own restrictive covenants included as part of the negotiated ground lease that will include terms to keep the project affordable for the 99 years.

Responses to Council Affordability Questions from March 23, 2022 Public Hearing
Jay Street and Trinity Court Conditional Zoning Applications

- Developers will not be able to freely sell the property due to the Ground Lease AND the ROFR.

The Town expects to finalize the ground lease by Spring of 2023 and will update Council before settling on the final terms.

- Why are you proposing to serve 80% AMI households?

  Response: Serving a mix of incomes within a property is considered a best practice. There is substantial data demonstrating the negative outcomes associated with concentrating poverty. And, financially, balancing 30% AMI units with the rental revenue that 80% units can bring to help subsidize the project. The Town has a critical need for affordable housing at all levels.

- Does the affordability mix depend on the 9% tax credit? If the project doesn't get the 9%, will you have to change the affordability mix?

  Response: Yes, the currently proposed affordability mix is attached to the 9% tax credit financing scenario. If either project is not awarded a 9% project in August 2022, the developers will communicate with Council about any associated impacts to the project's proposed affordability or funding needs and will seek Council's feedback as they re-assess an alternative path forward.

JAY STREET CONDITIONAL ZONING APPLICATION

Responses to Council Questions at March 23, 2022 Public Hearing
Jay Street Affordable Housing Development

- Please explore ways to reduce parking.
  - **Response:** We are removing the modification request to exceed the Town's parking maximum and proposing to reduce our parking count by 10 to 90 spaces.

- Please explore the lighting along Jay St and the entrance to the site.
  - **Response:** The applicant is open to exploring installing additional lighting and think it will enhance the proposed improvements and safety along Jay Street.

- Will the project be 100% electric?
  - **Response:** The project will be all electric. No natural gas will be provided/utilized at the site.

- Feedback on building colors.
  - **Response:** The applicant remains open to refining the color palette of the building exteriors and will consider Council's comments, as well as community feedback from past and future engagement efforts, as we work towards finalizing building design ahead of final approvals.

- What options does the Town have to maintain control of the portion of the parcel that is not proposed for development?
  - **Response:** The Town intends to maintain ownership of the Jay Street parcel and execute a ground lease agreement with the developer that will allow them to build and oversee the proposed site plan. The Town and its development partners have discussed ground leasing only the portion of the Jay Street parcel that is proposed for development. The development team, in consultation with its attorneys, have indicated they welcome this idea and it will be worked out in the negotiation of terms for the ground lease, which will be finalized by spring 2023.

    Staff is recommending the removal of the conservation easement stipulation from the draft conditional zoning ordinance. Sanford Holshouser has indicated that rezoning is not the appropriate time to attach this type of easement to the parcel and that the Town should take the time to consider the best method to meet its interest of ensuring the undeveloped land is preserved. An easement can be considered in the future, in addition to limiting how much of the parcel the Town leases to the developer.

TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr. Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 11., **File #:** [22-0350], **Version:** 1 **Meeting Date:** 4/27/2022

OWASA's Long-Range Water Supply Plan Update.

Staff:
Ruth Rouse, Planning and Development Manager
Todd Taylor, Executive Director

Department:
Orange Water and Sewer Authority

Overview: Ensuring our community has ample water supply for generations to come requires advanced planning. OWASA is committed to providing high quality drinking water to the community, and the planning, permitting, and partnerships required for new supply development can take decades to develop and secure.

Recommendation(s):

That the Council receive the update on OWASA's Long Range Water Supply Plan.

Attachments:

- OWASA LRWSP Update April 19, 2022 Letter
- Draft Staff Presentation

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Ruth Rouse, OWASA Planning and Development Manager

RECOMMENDATION: That the Council receive the update on OWASA's Long Range Water Supply Plan.

Orange Water and Sewer Authority
OWASA is Carrboro-Chapel Hill's not-for-profit public service agency
delivering high quality water, wastewater, and reclaimed water services.

April 19, 2022

Mr. Maurice Jones
Chapel Hill Town Manager
405 Martin Luther King Jr. Blvd
Chapel Hill, NC 27514

Subject: OWASA's Long-Range Water Supply Plan Update

We look forward to presenting information about our Long-Range Water Supply Plan to the Town Council and receiving their feedback on April 27. This memorandum provides some brief background information to include in your agenda package along with the attached copy of our presentation. If you have any questions about this information, please contact Ruth Rouse, Planning and Development Manager, at rrouse@owasa.org or at 919-537-4214.

Ensuring our community has ample water supply for generations to come requires advanced planning. OWASA is committed to providing high quality drinking water to the community, and the planning, permitting, and partnerships required for new supply development can take decades to develop and secure. That is why we are planning for the water needs of our community two generations ahead.

After completing a methodical, inclusive analysis of alternatives, the OWASA Board of Directors has determined that augmenting our local supplies (Cane Creek Reservoir, University Lake, and the Quarry Reservoir) with treated Jordan Lake water is the most viable alternative for providing resilient, high quality, and cost-effective drinking water for years to come. We considered other alternatives, but they did not perform as well against evaluation criteria that considered drinking water quality, the ability to improve the resilience and reliability of our water supply, cost, environmental impacts, and social impacts.

There is a group of local water utilities which is moving forward to design and build a new intake and water treatment plant on the western side of Jordan Lake. OWASA faces a near-term decision on our involvement with them to access our allocation of water in Jordan Lake.

We are currently engaging with the community before finalizing the Long-Range Water Supply Plan. More information on our planning efforts can be found on our website at https://www.owasa.org/plans/owasa-long-range-water-supply-plan/.

Sincerely,

Todd Taylor, P.E.
Executive Director

Long-Range Water Supply Plan Update:

Information to Chapel Hill Town Council

Ruth Rouse, Planning and Development Manager

April 27, 2022

OWASA

Carrboro-Chapel Hill's not-for-profit public service agency delivering high quality water, wastewater, and reclaimed water services.

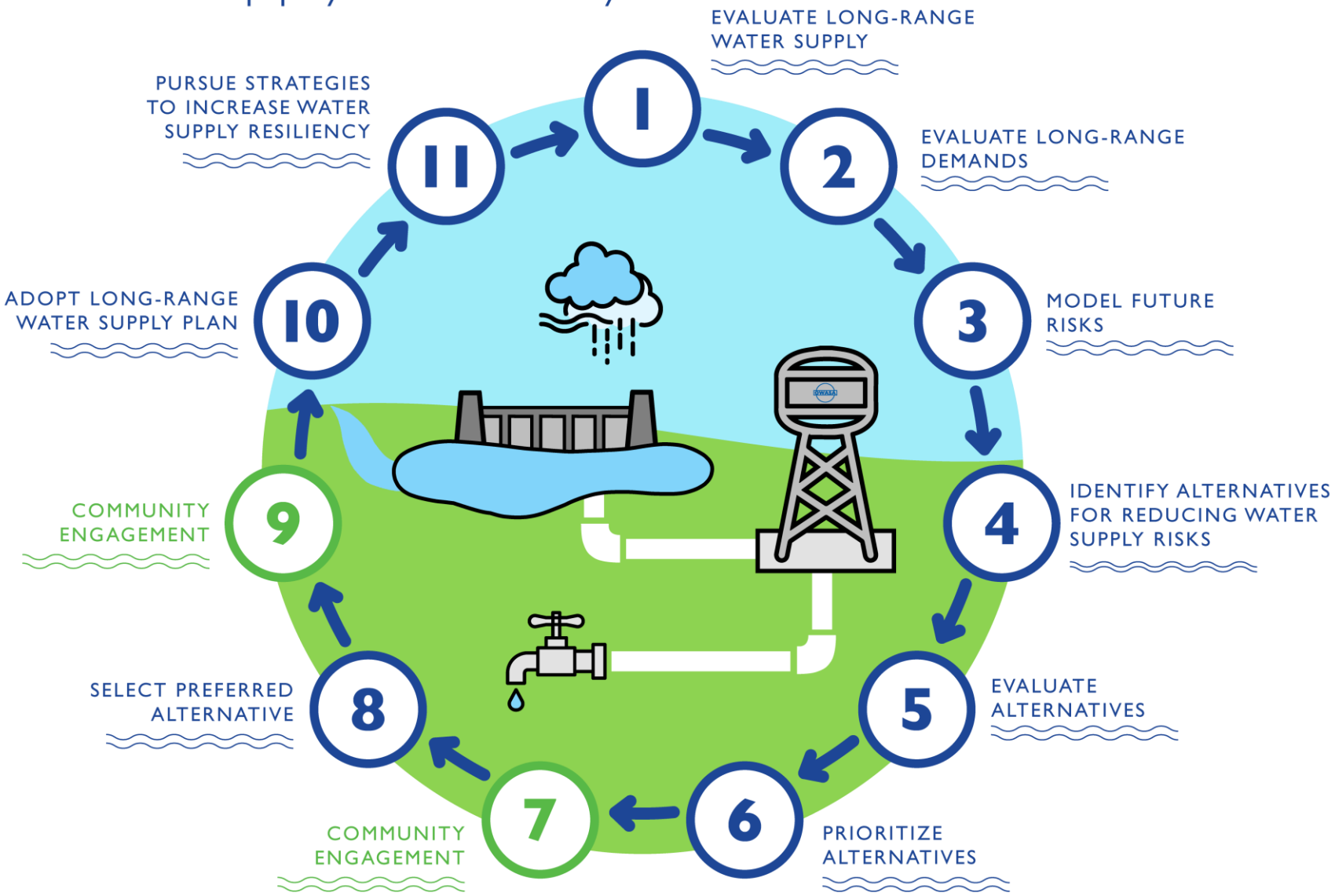
Draft

Key Messages

- We have a low risk of running out of water.
- Our largest vulnerability is in extended drought.
- After methodical and inclusive process, Jordan Lake is best option to augment our current supplies.
- A group of local utilities is partnering to design and build new treatment facilities on Jordan Lake.

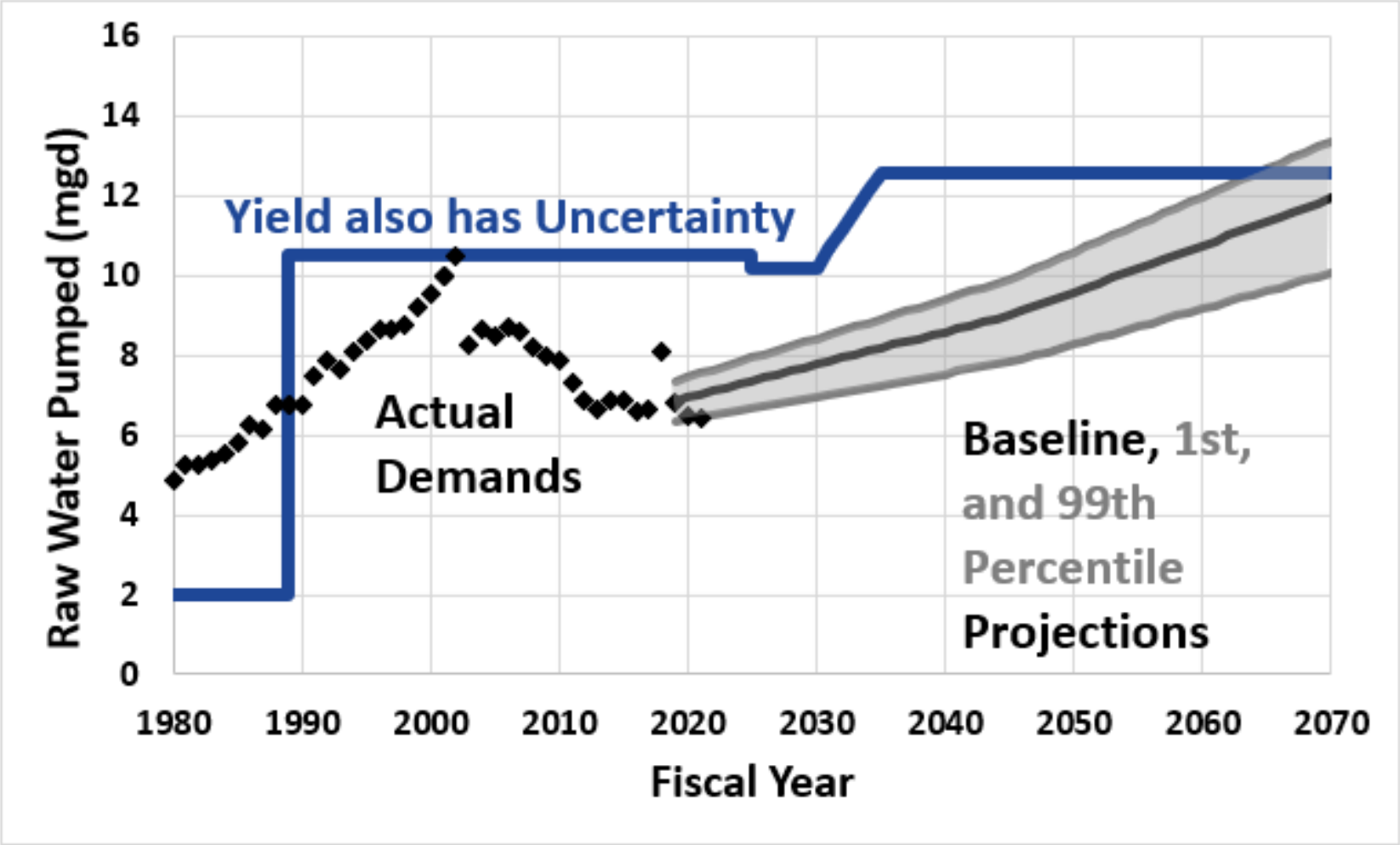
Draft

Ensuring Long-Range Water Supply Resiliency



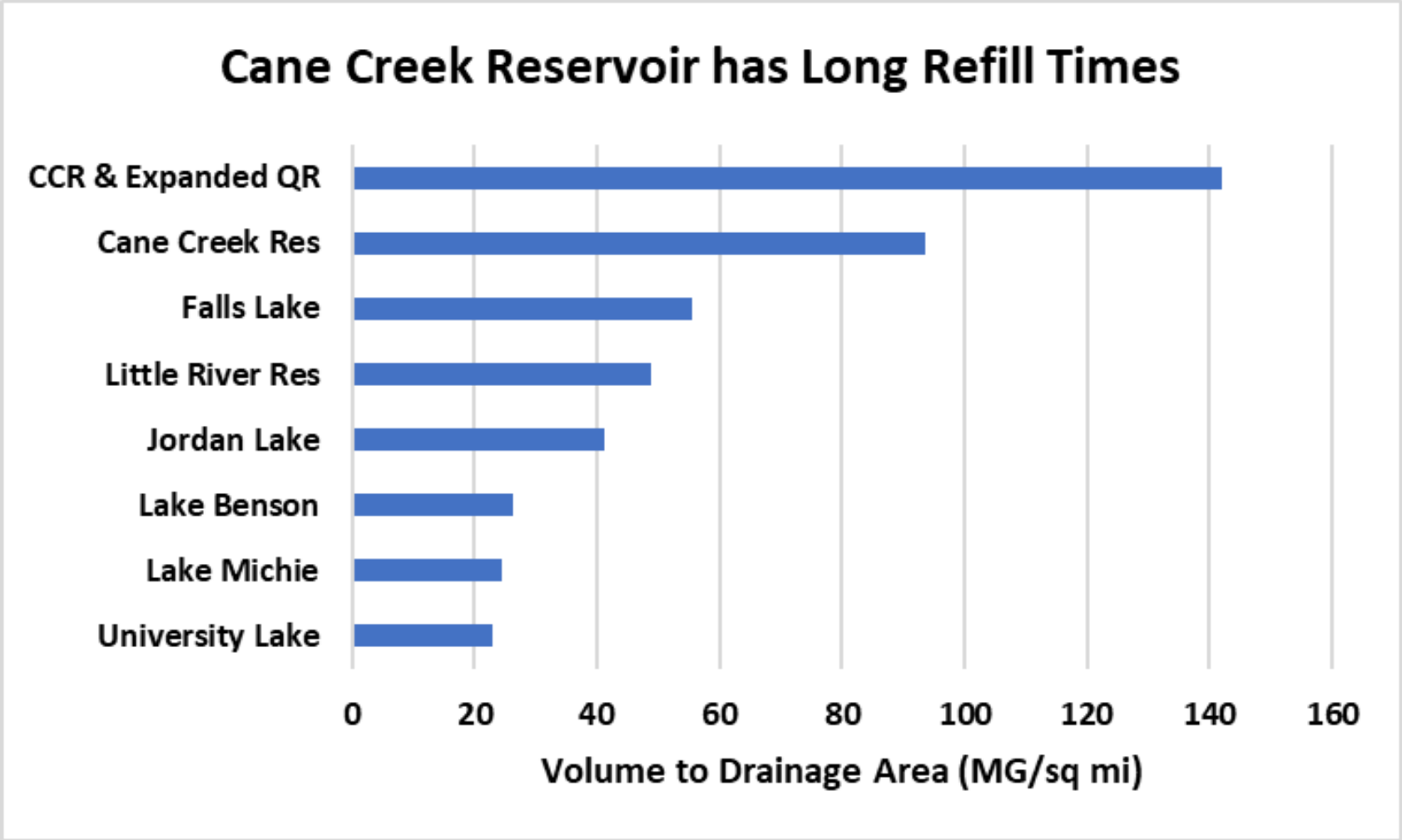
Draft

Our Planned Water Supply Meets Demands Under Most Conditions



Draft

Our Current Water Supply Risk is the Long Refill Time of Cane Creek Reservoir



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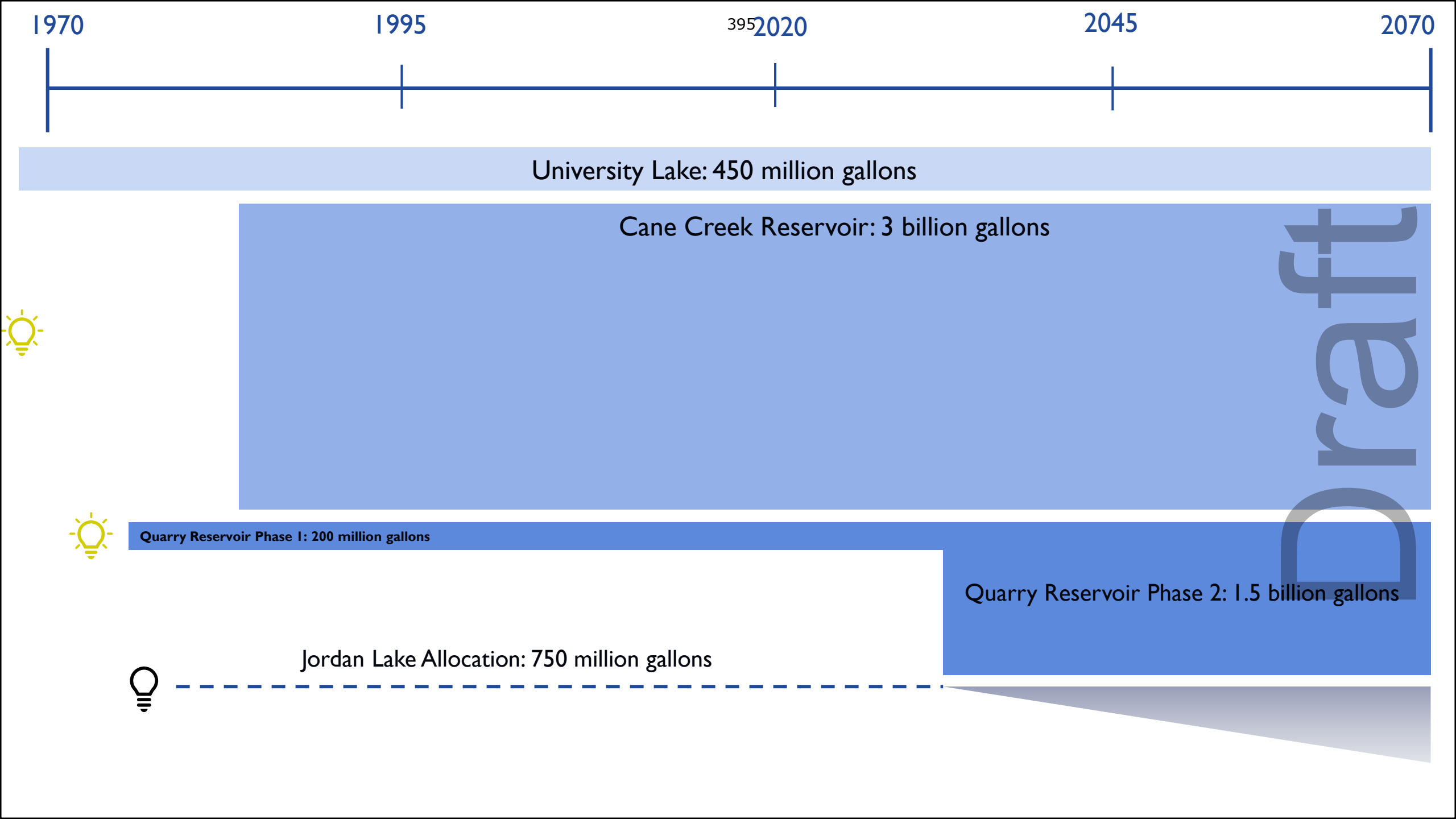
1970
1995
2020
2045
2070
University Lake: 450 million gallons
Cane Creek Reservoir: 3 billion gallons
Quarry Reservoir Phase 1: 200 million gallons
Quarry Reservoir Phase 2: 1.5 billion gallons
Jordan Lake Allocation: 750 million gallons
Draft

Jordan Lake Water Quality

- Hundreds of thousands of people drink treated water from Jordan Lake daily
- Reviewed drinking water quality from Cary and Chatham County
- Drinking water from Jordan Lake meets all state and federal criteria
- Proposed WTP being designed to remove contaminants of emerging concern

Draft

Process for Narrowing Alternatives

Community Engagement

*

*

*

*Direct outreach

All supply and demand management possibilities

Alternatives with potential

Best alternatives

Jordan Lake alternatives

TBD

Options Eliminated

- None

- Groundwater
- Stormwater
- Some demand side management

- Demand side management
- Indirect potable reuse

- Direct potable reuse
- Deep Quarry

- TBD

Draft

Western Intake Partnership (WIP)

- City of Durham, Chatham County, and Town of Pittsboro
- Working since 2014 on regional approach
- Plans to build new Drinking Water Treatment Plant
  - Phase 1: 2031
  - Phase 2: 2050
- OWASA beginning discussions with WIP

Draft

Interests in Western Intake Partnership Discussions

- OWASA has access to its Jordan Lake allocation.
- We maintain our allocation of Jordan Lake water.
- Intake and transmission infrastructure are built to meet OWASA's demands.
- Impact on near-term water rates is minimized.
- Our working relationships with our utility partners are important to OWASA, and we are committed to maintaining them.
- We share with those partners a commitment to providing our customers high quality drinking water.

Draft

Questions and Discussion

- Do you have any questions on our long-range water supply planning process?
- What feedback would you like shared with the OWASA Board of Directors regarding our Long-Range Water Supply Plan?
- Other?

Draft

Ruth Rouse

rrouse@owasa.org