

Narrative Describing Proposal – Variance Request for 105 Timberlyne Ct

1. It would be a real hardship:

- Moving the building to meet the 14-foot setback would be costly, destructive, and difficult to execute, particularly since it was constructed on a slab by a previous contractor in 2023 that had already been inspected and approved by the Town.
- The project proceeded under a valid permit in 2024, and we were advised that a survey would not be required until the end of construction, which aligns with common practice.

2. The hardship is unique to the property's specific conditions—not a general neighborhood issue or a personal matter.

- The setback issue results from the position of a previously approved slab.
- This is not a typical situation in the area, and it is not related to financial considerations or personal preference—it reflects site-specific circumstances based on prior Town-reviewed conditions.

3. The hardship was not self-created.

- We hired a different licensed general contractor, Zurbuch Construction, in Fall 2024 from the contractor who got the building permit and built the slab with the town's approval in 2023. Zurbuch Construction continued the project under an active building permit.
- All work was carried out with reliance on Town inspections and approvals.
- Early in the process, we asked whether a survey was required and were informed by the contractor that the Town typically requests one at the end of construction.
- We believe these actions demonstrate that we acted in good faith and with due diligence throughout the project.

4. Granting the variance supports the intent and spirit of the zoning ordinance and poses no harm to the public interest.

- The setback encroachment is 2.4 feet and does not negatively affect adjacent properties, safety, or neighborhood character.
- The request remains consistent with the goals of zoning: to support orderly development, protect property rights, and ensure public welfare.
- Considering the Town's ongoing involvement and oversight during construction, a variance would allow for a fair and reasonable resolution.

5. In this case, the following facts support granting a variance:

- The slab was already in place and approved by the Town prior to the start of framing in 2024.
- The building was constructed according to approved plans and under a valid permit.

- The encroachment is 2.4 feet and reflects a physical site condition, not a deliberate or knowing action on our part as the property owners.

Statement of Justification:

I am requesting a variance from the 14-foot interior setback requirement because, through no fault of my own, the building at 105 Timberlyne Ct was constructed approximately 2.4 feet into the setback. Requiring strict compliance at this point would involve relocating the entire structure which would require altering or undoing a completed structure that was built based on the Town's prior approvals and inspections. The building is complete and has passed all inspections except final zoning.

This hardship is not a general or personal issue, but one that stems from the specific conditions and history of the property. The concrete slab that anchors the building was installed by a previous contractor and was reviewed and approved by the Town, with slab inspections conducted on August 22 and 30, 2023 and passed on September 6, 2023. The Town issued the original building permit on August 16, 2023, and the general contractor at that time continued under that valid permit. In September 2023, we stopped working with the previous contractor due to communication issues.

We hired Zurbuch Construction in the fall of 2024. The approved plan revisions on December 9, 2024 clearly reflect the intent to build off the approved existing slab.

We relied in good faith on both the Town's inspections and the guidance of our licensed general contractor. Early in the project, we specifically asked whether a new survey was needed. We were told that the Town does not require a survey until the end of construction. At no point during the ongoing inspections did anyone indicate that the slab's placement might violate setback requirements. This situation was not self-created; it arose from a combination of Town-approved conditions and standard practice.

Approving this variance would still support the goals of Chapel Hill's zoning ordinance. The building is safe, code-compliant, and consistent with the spirit of the development rules. This 2.4 feet setback encroachment poses no risk to public safety or surrounding properties. Denying the variance at this point would not serve the public interest, as it would require undoing a structure built in good faith under Town oversight and using previously approved conditions.

For these reasons, we respectfully request that the variance be granted so that the completed building may remain as constructed.

Sincerely,
Beth Elder



Beth Elder <belder25@gmail.com>

105 Timberlyne setback

1 message

John Rowe <jrowe@zurbuchconstruction.com>

Wed, Jun 18, 2025 at 12:15 PM

To: "rbuckley@townofchapelhill.org" <rbuckley@townofchapelhill.org>

Cc: Beth Elder <belder25@gmail.com>, Keith Newlin <keith@zurbuchconstruction.com>, Heather Washburn <heather@calico-studio.com>, Sharece Ramos <sharece@calico-studio.com>

Hi Rae,

Thank you for taking the time to speak to me today about the zoning setback encroachment at 105 Timberlyne. To recap the events that have transpired to date:

- the preconstruction zoning inspection was completed July 11th, 2023.
- the building permit was granted under another general contractor on Aug 16, 2023.
- the first building slab inspection was completed Aug 22, 2023.
- the property owner filed an exemption letter and removed the previous GC in Aug 23, 2023.
- the second building slab inspection was completed Aug 30th, 2023.
- the building slab inspection was passed Sept 6th, 2023
- on Nov 22, 2024 the plans were revised.
- on Dec 2, the plans were further revised as a scope change. These plans were approved Dec 9th, 2024.

We entered into this project with the best of intentions assuming the slab was in the correct place as we had no reason to think otherwise given that the slab inspection had already passed. The plan and scope changes all indicate working off the existing slab.

I'm wondering if there is variance we could apply for given the course of events to date and the financial hardship that would be required for the property owner to remedy the setback by either moving the building or purchasing property from the neighbor as you suggested. Please let us know of any other options available that we could help the owner pursue to remedy this issue.

Thank you,

John Rowe

919-717-1468

Project Manager

Zurbuch Construction

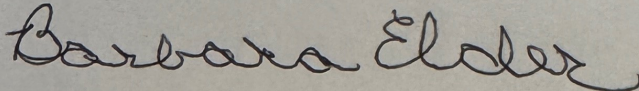
[180 Providence Rd Ste 4](#)

[Chapel Hill, NC 27514](#)

7/23/25

I, Barbara Elder, owner of 105 Timberlyne Court, Chapel Hill, requested that my daughter, Elizabeth Elder, submit a variance application to the Board of Adjustment of the Town of Chapel Hill.

My husband, Gove G. Elder, co-owner of 105 Timberlyne Court, and I will attend the September 4th 2025 Board of Adjustment meeting with Elizabeth.

Signature: 

Prepared by & Return to: Marcus Hudson, Atty., P.O. Box 389, Chapel Hill, NC 27514

BOOK 1956 PAGE 38

CANCELLED

FILED
15 AUG 1997, at 04:24:56pm
Book 1621, Page 44 - 50
Betty June Hayes,
Register of Deeds,
Orange County, N. C.

BOOK 1621 PAGE 44

This Line For Recording Data]

PIN# 9880-54-9708

DEED OF TRUST

THIS DEED OF TRUST ("Security Instrument") is made on August 15, 1997

GOVE G. ELDER and wife, BARBARA B. ELDER

("Borrower"). The trustee is JAMES C. BLAINE

("Trustee"). The beneficiary is STATE EMPLOYEES' CREDIT UNION

which is organized and existing under the laws of North Carolina
address is P.O. Drawer 25279, Raleigh, NC 27611

The grantor is
NORTH CAROLINA - ORANGE COUNTY

The original of this instrument with all notes
secured thereby was this day presented to
me marked paid and satisfied in full thereon.

Therefore, I cancel this Deed of trust;

This 13th day of July, 1999

JOYCE H. PEARSON, Register of Deeds

By: *[Signature]*
Assistant / Deputy / Register of Deeds

("Lender"). Borrower owes Lender the principal sum of

One Hundred Fifty-one Thousand, Two Hundred & No/100---- Dollars (U.S. \$151,200.00)

This debt is evidenced by Borrower's note dated the same date as this Security Instrument ("Note"), which provides for
monthly payments, with the full debt, if not paid earlier, due and payable on September 1, 2027

This Security Instrument secures to Lender: (a) the repayment of the debt evidenced by the Note, with interest, and all renewals,
extensions and modifications of the Note; (b) the payment of all other sums, with interest, advanced under paragraph 7 to
protect the security of this Security Instrument; and (c) the performance of Borrower's covenants and agreements under this
Security Instrument and the Note. For this purpose, Borrower irrevocably grants and conveys to Trustee and Trustee's
successors and assigns, in trust, with power of sale, the following described property located in

Town of Chapel Hill, Chapel Hill Township, Orange

County, North Carolina:

9880-54-9708 7.246.0.131

BEING all of Lot 9, Section 1, Phase 2 of TIMBERLYNE SUBDIVISION as per Plat and
Survey thereof recorded in Plat Book 29 at page 93 of the Orange County Registry, to
which reference is made for a more particular description of the same.

STATE EMPLOYEES' CREDIT UNION

PAID & SATISFIED

[Signature] 7-7-99

PHILIP E. GREER

SENIOR V. PRESIDENT

LOAN ADMINISTRATION

[Street, City],

Chape Hill

FILED

13 JUL 1999, at 03:42:05pm

Book 1956, Page 38 - 40

Joyce H. Pearson

Register of Deeds,

Orange County, N. C.

de] ("Property Address");



I am the owner of property adjacent to 105 Timberlyne Court. I understand the owner is requesting a zoning variance due to a small portion of the building being located 2.4 to 3.1 feet into the required 14-foot interior setback.

I have no objection to this request and support allowing the building to remain as constructed.

Name: Therese Dominguez JOSE DOMINGUEZ

Signature: Therese Dominguez Jose Dominguez

Address: 11 Timberlyne Rd. Chapel Hill, NC 27514

Date: 6/22/2025

I am the owner of property adjacent to 105 Timberlyne Court. I understand the owner is requesting a zoning variance due to a small portion of the building being located 2.4 to 3.1 feet into the required 14-foot interior setback.

I have no objection to this request and support allowing the building to remain as constructed.

Name: Adam Lee Leslie Walling

Signature: Adam Lee Leslie Walling

Address: 103 Timberlyne Ct

Date: 2025-06-22

I am the owner of property adjacent to 105 Timberlyne Court. I understand the owner is requesting a zoning variance due to a small portion of the building being located 2.4 to 3.1 feet into the required 14-foot interior setback.

I have no objection to this request and support allowing the building to remain as constructed.

Name: Mayne L. Rettig

Signature: Mayne L. Rettig

Address: 109 Timberlyne CT

Date: 6-25-2025

FLOOD CERTIFICATION

I certify that the subject property (is/is not) located in a special Flood Hazard Area as determined by the Department of Housing and Urban Development.

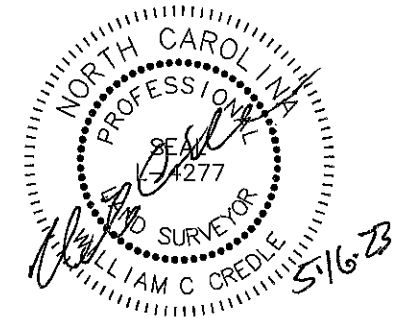
ENCROACHMENT STATEMENT

I certify that on the date below, I surveyed the property shown on this plat; that the property lines and location of all structures are accurately shown hereon; that no structure located on this property encroaches on any adjacent street or property unless shown and that no structure on adjacent property encroaches on the premises surveyed unless shown.

SURVEYOR'S CERTIFICATE

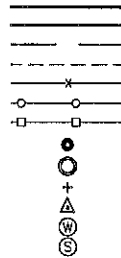
I certify that this map was drawn under my supervision from an actual survey made under my supervision from references as noted on said map; that the boundaries not surveyed are indicated as drawn from information as indicated under references; that the ratio of precision as calculated is greater than 1:10,000; and that this map was prepared in accordance with G.S. 47-30 as amended and meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600). Witness my original signature, registration number and seal this day

Professional Land Surveyor (L-4277) Date



CURVE TABLE						
CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
C1	706.26	67.90	33.97	67.87	N44°23'12"W	5°30'29"
C2	951.15	52.49	26.25	52.48	S43°12'38"E	3°09'42"

LEGEND



RIGHT-OF-WAY LINE
PROPERTY LINE
EASEMENT LINE
BUILDING SETBACK
WIRE FENCE
WOOD FENCE
CHAIN FENCE
EXISTING IRON PIPE (EIP)
NEW IRON PIPE SET (IPS)
NO IRON FOUND (NIF)
RIGHT-OF-WAY MON.
WATER SERVICE
SEWER SERVICE

IMPERVIOUS SURFACE CALCULATIONS

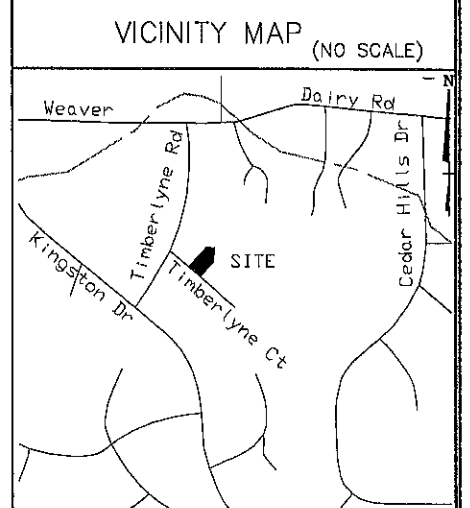
EX. HOUSE	1,983 S.F.
EX. PORCH	71 S.F.
EX. DRIVE & WALK	2,387 S.F.
EX. HVAC	7 S.F.
EX. SHED	100 S.F.
PRO. ADU	700 S.F.
TOTAL IMPERVIOUS	5,248 S.F. (15.8%)

PIN: 9880548827
D.B. 6236, PG 251
P.B. 29, PG. 93
N/F: Adam M. Lee
& Leslie J. Walling

PIN: 9880558072
D.B. 3428, PG 593
P.B. 29, PG. 93
N/F: Jose Dominguez
& Therese Dominguez

PIN: 9880641995
D.B. 6732, PG 2377
N/F: Red Fox LLC

N
REF. NORTH
P.B. 29, PG. 93



PIN 9880549708
D.B./PG.: 1621 / 42
P.B./PG.: 29 / 93
ZONING R-1
TO MY KNOWLEDGE, NO USGS MON.
WITHIN 2000 FT.

PLOT PLAN
LOT 9
TIMBERLYN SUB'D
PHASE 1 & PHASE 2; SECT. 1
P.B. 29, PG. 93

PROPERTY OF
**GOVE G. ELDER
& BARBARA B. ELDER**

CHAPEL HILL TWSP. ORANGE CO., N.C.
SCALE: 1" = 40' JANUARY 13, 2023
REV. MAY 16, 2023

CREDLE ENGINEERING COMPANY, INC.
204 E. MARKHAM AVE., DURHAM, N.C. 27701
(919) 682-2006 PH; (919) 682-2005 FX
Licence: C-0254



1 inch = 50 ft.

DWG # \2023\230005\Bare 230113

NOTES

- Subsurface and environmental conditions were not examined or considered during this survey. All buildings, surface and subsurface improvements on and adjacent to the site are not necessarily shown hereon. No statement is made concerning the existence of underground containers which may affect the use of this tract.
- The location of underground utilities as shown are based on visible evidence and drawings provided to the surveyor. Location of underground utilities and structures may vary from locations shown hereon, and additional buried utilities may exist. Contact the appropriate utility companies for information regarding buried utilities.
- All distances are horizontal ground and area by coordinate computation.
- This survey was done without a title search and is based on referenced information. There may exist other documents of record which could affect this property.
- Except as specifically stated or shown, this survey does not report any of the following: easements, other than those visible during field examination, building setbacks, restrictive covenants, zoning or land use regulations and any facts which a title search may disclose.
- Wetlands, jurisdictional waters or other conditions which may be regulated by federal or state or local agencies were not investigated during this survey. Riparian buffers and other restrictions on development may be required.
- This survey is for loan and title purposes only (not for recordation). Declaration is made to original purchaser of the survey only. It is not transferable to additional owners.

TIMBERLYN COURT
(EX. 60' PUBLIC R/W)

ELDER PILATES STUDIO
CHAPEL HILL, NORTH CAROLINA

PROJECT SUMMARY

CODE ENFORCEMENT JURISDICTION: CH- TOWN OF CHAPEL HILL

PROJECT ADDRESS: 105 TIMBERLYN CT., UNIT A, CHAPEL HILL, NC 27514
PROJECT #: c2412

DESCRIPTION OF WORK: Accessory Building (garage, storage shed, workshop, tree house, etc.) with ANY dimension greater than 12 feet.

OWNER: BETH ELDER
ADDRESS: 105 TIMBERLYNE CT.
CHAPEL HILL, NC 27514

CONTACT PERSON: HEATHER WASHBURN, AIA
ADDRESS: 1141 SMITH LEVEL ROAD, CHAPEL HILL, NC 27516

OWNER PHONE: (919) 949-6058
EMAIL: belder25@gmail.com

PHONE: 617-869-9646
EMAIL: heather@calico-studio.com

PROJECT CONTACTS

	NAME	LICENSE #	TELEPHONE #
ARCHITECTURAL	HEATHER WASHBURN AIA, LFA, CALICO STUDIO, PLLC 1141 Smith Level Rd., Chapel Hill, NC 27516	9219 NC	617 869 9646 (m)
STRUCTURAL	CHUCK LYSAGHT, LYSAGHT & ASSOCIATES 120 St. Mary's St., Raleigh, NC 27605	7929 NC	919 833 0495 (m)
CONTRACTOR	KEITH NEWLIN, ZURBUCH CONSTRUCTION 180 Providence Rd., Suite 4, Chapel Hill, NC 27514	59159	919 717 0002 (m)

ABBREVIATIONS

A.H.U.	AIR HANDLING UNIT	GA.	GAUGE	R.C.P.	REFLECTED CEILING PLAN
ALUM.	ALUMINUM	G.C.	GENERAL CONTRACTOR	S.A.T.	STANDARD ACOUSTICAL TILE
APPROX.	APPROXIMATELY	GYP.	GYPSUM	S.F.	STORE FRONT
CLG.	CEILING	MAX.	MAXIMUM	S.Y.P.	SOUTHERN YELLOW PINE
C.M.U.	CONCRETE MASONRY UNIT	H.B.	HOSE BIB	ST.	STEEL
COL.	COLUMN	H.P.	HEAT PUMP	ST.ST.	STAINLESS STEEL
CONC.	CONCRETE	HVAC	HEAT VENT AIR COND.	T.O.B.	TOP OF BEAM
CONT.	CONTINUOUS	H.W.	HARDWOOD	T.O.W.	TOP OF WALL
DWG.	DRAWING	MIN.	MINIMUM	TYP.	TYPICAL
EA.	EACH	N.I.C.	NOT IN CONTRACT	VIN	VINYL
E.C.	ELECTRICAL CONTRACTOR	NOM.	NOMINAL	WD	WASHER/DRYER
E.W.C.	ELECTRIC WATER COOLER	O.C.	ON CENTERS	W.W.M.	WELDED WIRE MESH
E.W.H.	ELECTRIC WATER HEATER	OPG.	OPENING	YH	YARD HYDRANT
F.D.	FLOOR DRAIN	P.T.S.Y.P.	PRESSURE TREATED S.Y.P.		
F.F.	FINISHED FLOOR	P.C.	PLUMBING CONTRACTOR		
		R.	RADIUS		

SCHEDULE OF DRAWINGS

001	COVER SHEET	S01	GENERAL STRUCTURAL NOTES
002	GENERAL CONDITIONS	S02	ROOF FRAMING PLAN
201	FOUNDATION AND ROOF PLANS		
202	FLOOR PLAN		
301	ELEVATIONS		
401	SECTION		
402	SECTION		
E01	RCP PLAN AND ELECTRICAL PLANS		
*403	INTERIOR ELEVATIONS		
*404	INTERIOR ELEVATIONS		

*NOT INCLUDED IN PERMIT SET

LAND USE CODE INFORMATION

ZONE: CH- Chapel Hill Town Limits		PARCEL NO.: 9880549708	
EXISTING USE:	SQ. FT.	PROPOSED USE:	SQ. FT.
R-RESIDENTIAL	1622 SF	ACCESSORY DWELLING ADDITION	814 SF

BUILDING CODE SUMMARY

CODE:
NC 2018 RESIDENTIAL CODE

CHANGE OF OCCUPANCY: ☒ No ☐ Yes from: to:
EXISTING # OF ABOVE-GRADE STORIES: 1 PROPOSED # OF ABOVE-GRADE STORIES: 1
EXISTING # OF BELOW-GRADE STORIES: 0 PROPOSED # OF BELOW-GRADE STORIES: -

BUILDING CODE OCCUPANCY:	RESIDENTIAL
OCCUPANCY	RESIDENTIAL
ACCESSORY USE (INDICATE PERCENTAGE)	n/a
INCIDENTAL USE	n/a

ZONING CODE USE: R1-RESIDENTIAL
PRIMARY USE: ACCESSORY DWELLING
ACCESSORY USE (AS PER ZONING DEFINITION) -
* ACCESSORY AS DEFINED BY TOWN OF CHAPEL HILL ZONING CODE

GENERAL BUILDING DATA

Construction Type: TYPE V
Sprinkler and System Type: N
Standpipes: n/a
Building Height: 18'-6" Number of Stories: 1
Mezzanine: ☒ No ☐ Yes
High Rise: ☒ No ☐ Yes
Gross Building Area: THIS SECTION FOR ADDITION, NEW AND CHANGE OF USE

AREAS IN S.F.	Existing	Removed	Addition	TOTAL
Residence	1622	0	0	1622
Accessory Dwelling	0	0	814	814

NOTE: Areas are calculated to inside perimeter of studs

LIFE SAFETY SYSTEM

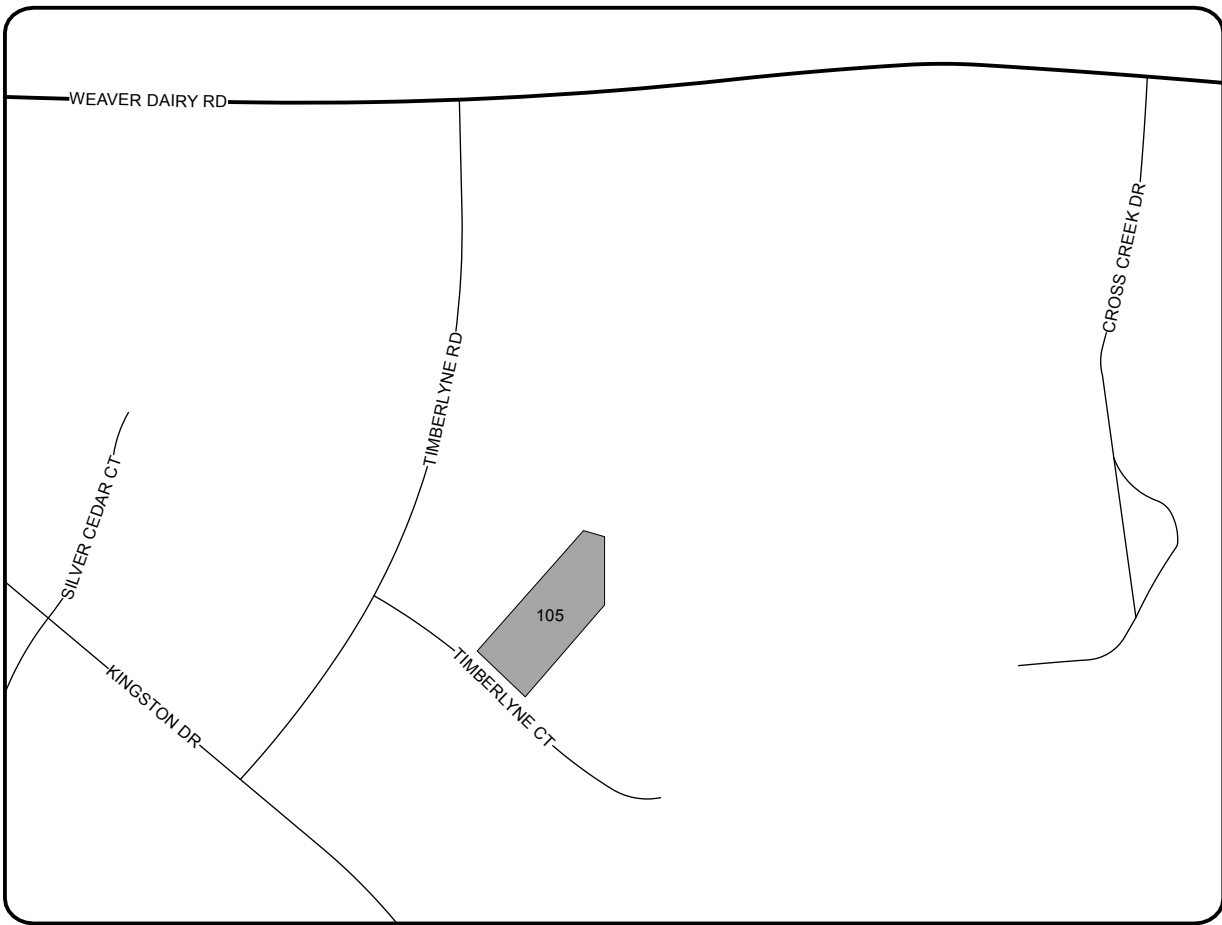
Sprinkler: ☒ No ☐ Yes
Emergency Lighting: ☒ No ☐ Yes
Exit Signs: ☒ No ☐ Yes
Fire Alarm: ☐ No ☒ Yes
Smoke Detection Systems: ☐ No ☒ Yes

UTILITIES: PUBLIC CONNECTIONS

Water: ☒ Public ☐ Private Private Health Department Permit #
Sewer: ☒ Public ☐ Private Private Health Department Permit #

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS. SUBMIT ANY REQUESTS FOR ADDITIONAL INFORMATION TO THE ARCHITECT.
- ANY DISCREPANCIES AND / OR CONFLICTS IN THESE DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- COORDINATE STRUCTURAL MECHANICAL PLUMBING AND ELECTRCIAL DRAWINGS AND COMPONENTS WITH THE ARCHITECTURAL DRAWINGS FOR SIZES AND LOCATIONS OF OPENINGS AND PENETRATIONS.
- REFERENCE TO ANY DETAIL OR DRAWING IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT THE APPLICATION OF SUCH DETAIL OR DRAWING.
- THIS PROJECT SHALL BE IN CONFORMANCE WITH THE AFORMENTIONED BUILDING CODES
- PROVIDE, ERECT AND MAINTAIN BARRIERS AS REQUIRED TO PROTECT THE GENERAL PUBLIC, WORKERS, AND ADJOINING PROPERTIES
- PROVIDE ADAQUATE SHORING AND BRACING TO SUPPORT ALL CONSTRUCTION LOADS



vicinity map	1
not to scale	001a

ELDER PILATES STUDIO

105 TIMBERLYNE CT
CHAPEL HILL | NORTH CAROLINA | 27514

SET

PERMIT

DRAWN

SR

DATE

11.12.24

PROJECT

c2412

CALICO STUDIO

1141 SMITH LEVEL ROAD
CHAPEL HILL | NORTH CAROLINA | 27516

001

Coversheet

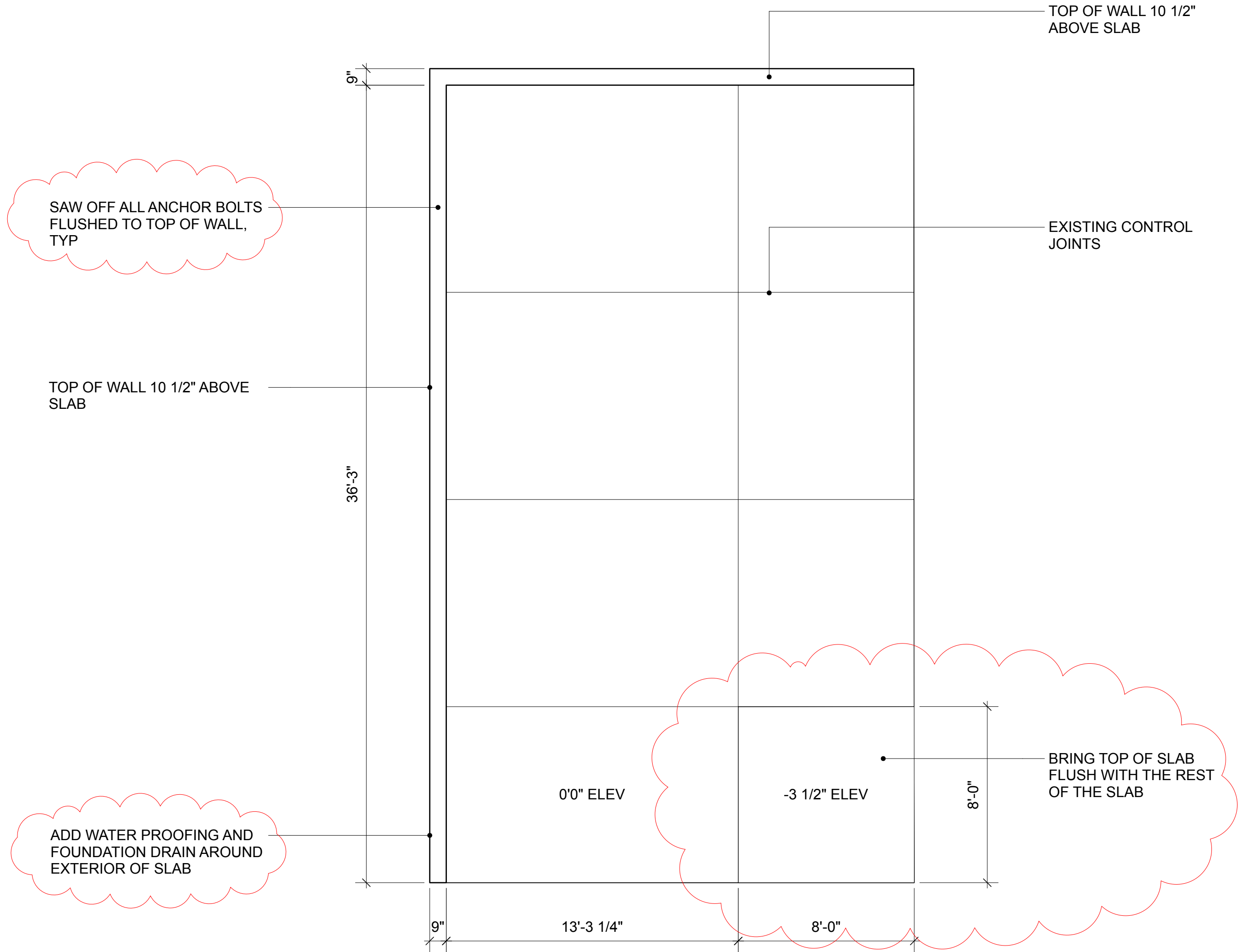
1 CONTRACT and GENERAL CONDITIONS	
CONTRACT	Standard Form of Agreement Between Owner and Contractor where the basis of payment is the based on a stipulated sum, including General Conditions for Construction.
JURISDICTION	Work shall comply with state building code, local zoning, and federal safety regulations.
INSURANCE	Builder's Risk Insurance shall be maintained by the contractor during the course of construction until final acceptance by the Owner. All Bonding and Insurance requirements shall be coordinated with the Owner prior to commencement of work.
SCHEDULE and COST	Contractor shall submit current Critical Path Schedule and revised Schedule of Values identifying work completed with each monthly Application for Payment (AIA G702 and G703)
MEETINGS and SITE VISITS	<p>Prior to commencement of work, Contractor shall schedule and organize a pre-construction meeting at the Project site with the Owner, Architect, Contractor, major Sub-contractors, and other concerned parties to review matters relating to the Work. Monthly Construction meetings shall also be scheduled and recorded by the Contractor.</p> <p>Contractor to provide Architect 48 hour notice to review significant stages of construction, including but not limited to;</p> <ul style="list-style-type: none">· project layout prior to rough grading or demo· after rebar is installed and prior to placing of any concrete· framing at 50% and 100% and prior to P,M,& E rough-in inspections· prior to roofing installation· prior to final grading
SUBMITTALS	<p>The spirit of the submittals and shop drawings is that all parties are aware of the products and finishes that will be used in the project. Submit submittals to Architect for significant materials, including but not limited to;</p> <ul style="list-style-type: none">· steel· premanufactured framing members· all plumbing, lighting, and electrical fixtures· doors and windows· roofing system· siding, decking, and trim· flooring· paint and stains· cabinets and countertops· hardware· others as requested by owner <p>Contractor to investigate proposed substitutions to confirm that they are equal or superior in all respects. Contractor to coordinate installation of approved substitutions as required to complete the Work.</p>
1.1 ENERGY NOTES	
EQUIPMENT	<p>The contractor shall provide the occupant a list of equipment and instuctions for the efficient use of all HVAC, water heating, and lighting systems, including conservation or solar devices installed in the building.</p> <p>A maintenance label shall be affixed to all equipment requiring preventive maintenance and a copy of the maintenance instructions shall be provided for the owner's use.</p> <p>All insulating materials shall be certified by the manufacturer as complying with state quality standards for insulating material.</p> <p>Ducts shall be constructed, installed and insulated according to the state Mechanical code. All parts of the duct system shall be tightly sealed with mastic or tape.</p> <p>Thermostatically controlled heating or cooling systems (except elect. heat pumps) shall have an automatic thermostat with a clock mechanism which the building occupant can manually program to automatically set back the thermostat set points for at least 2 periods within 24 hours.</p> <p>Capacity of comfort heating units shall be based on the calculated heat loss. All heating and cooling ducts located outside the building energy envelope shall have minimum 1" thick fierous insulation.</p> <p>Recirculating hot water piping in unheated spaces shall be insulated.</p> <p>Gas fired household cooking appliances, shower heads, and faucets shall comply with the appliance efficiency standards.</p> <p>All gas appliances to have intermittent ignition devices.</p> <p>Provide backdraft dampers in all fans exhausting air from the energy envelope.</p>
GLAZING	<p>Total glazing area not to exceed 14% of floor area.</p> <p>All openings (windows and doors) in energy insulated walls to be properly weatherstripped and gasketed. All glass doors and windows to be certified and labeled to show compliance with air infiltration standards and energy regulations.</p> <p>A certificate of compliance shall be prominently posted on the site.</p>

3 CONCRETE	
STRENGTH	Concrete shall have a minimum ultimate compressive strength of 2,500 psi at 28 days.
CEMENT	Cement shall conform to ASTM C 150 and aggregate shall conform to ASTM CSS. Use type II or V cement.
4 MASONRY	
CMUs	Concrete masonry units (CMU): Type 1; normal weight, ASTM C90 hollow load bearing block with minimum compressive strength of 2800 psi at timeof installation. Use ASTM C91 masonry cement mortar Type M or S. Joint reinforcement to be ladder type, 0.1488" diameter galvanized wire, install 16" on center vertically. Concrete grout to be fine grout and have a minimum compressive strength of 2000 psi. and slump between 8" and 11" for complete filling of the CMU cell space.
5 METALS	
STEEL	<p>All structural steel to be ASTM A36 grade minimumm. Welding electrodes and fluxes shall conform to the latest specifications of American Welding Society. Bolts and nuts to be ASTM A325 grade. Shop drawings for all fabricated structural metal shall be submitted to the Architect and Structural Engineer for approval before commencement of the work.</p> <p>Reinforcing bars shall be billet steel conforming to ASTM A615, grade 60 and be from identified stock with mill analysis supplied. All reinforcing steel, dowels, anchor bolts etc. shall be well secured in place prior to placing concrete.</p>
6 WOOD and CARPENTRY	
GENERAL	All work shall be done by carpenters skilled in the trade and work shall conform to the best carpentry standards and state codes.
FRAMING	<p>All wood studs, framing, and rough carpentry shall be Southern Yellow Pine, SPF, or Douglas Fir - Larch #2 grade lumber, unless otherwise noted. Any 6x lumber shall be #1 Douglas Fir-Larch, unless otherwise noted.</p> <p>All structural engineered lumber shall be "Microlam" LVL, grade 2.0E, by TrusJoist, or Equal, unless otherwise noted. Follow manufacturer's recommendations regarding drilling, notching and multiple built-up beams.</p> <p>Solid 2x blocking shall be placed between joists or rafters at all supports. Cross-bridging shall be provided at 8' on centers maximum for all floor and ceiling joists with the ratio of depth to width equaling six to one min. Confirm height of roof joist blocking with Architect to insure proper ventilation above insulation.</p> <p>Provide 2x fire stops at all intersections of stud walls and/or stud partitions at floor, ceiling and roof. Place fire stops at a maximum spacing of 8' in the vertical direction, provide 2x fire stops in all furred spaces, vertical and horizontal. At a mazimum spacing of 8' in each direction and at the same line as fire stops in adjacent stud partitions and walls.</p> <p>Rough Hardware: Simpson Strong-Tie connectors per manufacturer's recommendation, unless noted otherwise.</p> <p>Construction Adhesive: Max Bond manufactured by H.B. Fuller Manufacturing Co.</p>
SHEATHING	<p>Note: Use only conventional veneered plywood. Do not use composite, OSB, or non-veneered panels.</p> <p>All floor sheathing shall be Exposure 1 APA rated, 5/8" T and G unless otherwise noted. Sheathing shall be attached with construction adhesive and 10d CC nails 4" on centers at panel edges and 10" on centers in panel field.</p> <p>All wall sheathing shall be Exposure 1 APA rated, 5/8" unless otherwise noted. Provide 2x blocking at unsupported panel edges. Sheathing shall be attached with construction adhesive and 10d CC nails 6" on centers at panel edges and 12" on centers in panel field.</p> <p>All roof sheathing shall be Exposure 1 APA rated, 5/8" T and G unless otherwise noted. Sheathing shall be attached with construction adhesive and 10d CC nails 4" on centers at panel edges and 12" on centers in panel field.</p> <p>Building Paper: 30lb. asphalt saturated building paper. Install 6" lap at horizontal joints and 4" lap at vertical joints. Confirm building felt compatability with roofing manufacturer.</p> <p>Vapor Shield: rainscreen at horizontal siding - reveal shield. Wrap shield at vertical corrugated siding.</p>
FINISH CARPENTRY	Wood Flooring and Trim: See finish schedule and details for notes and profiles.
7 THERMAL and MOISTURE PROTECTION	
INSULATION	Johns Mansfield Formaldehyde free, or equal for batt insulation. Thicknesses as shown on drawings. Rigid insulation for slabs and roofing as noted in drawings. Closed cell foam for roofing.
SEALANT	Dow Corning Silicone Sealant, or equal.

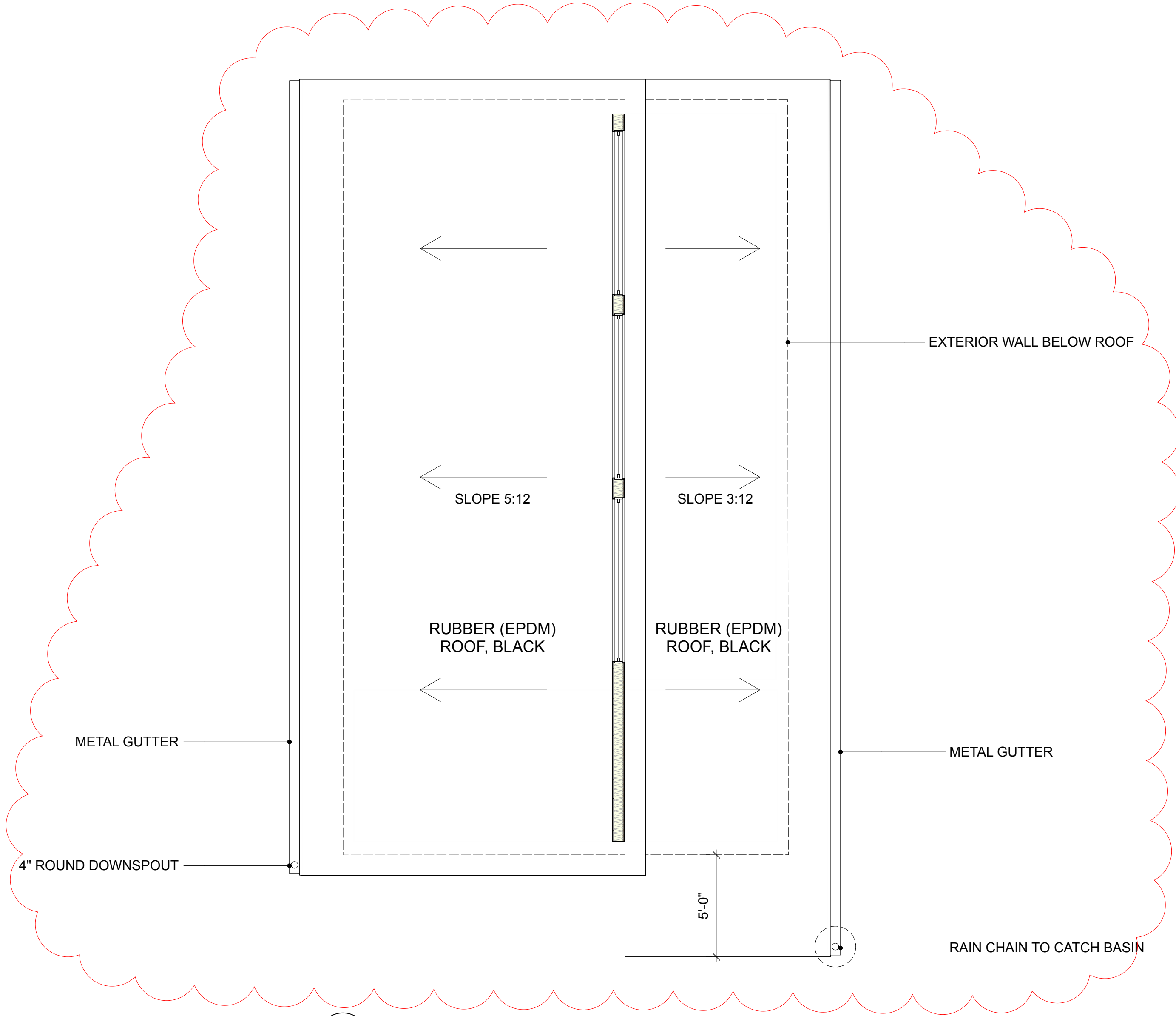
8 DOORS and WINDOWS	
DOORS	See elevations and exterior door and window schedule for exterior door specifications. See plans, door schedule, and related details for interior doors and hardware specifications.
WINDOWS	See elevations and exterior door and window schedule for window and window hardware specifications.
9 FINISHES	
DRYWALL if used	USG tape and joint compound system: 5/8" thick wallboard; USG "Dur-a-bead" No. 103 corner bead; USG No. 200-b Edge Trim; and USG No. 200-A No.66 U-type Edge Trim Bead, unless otherwise noted in plans. See details for other trim details if used.
BLUEBOARD if used	Veneer Plaster Skimcoat Gypsum Base: 5/8" thick blueboard; USG Expanded Flange No. 900 corner bead; USG No. 701-a Edge Trim; and USG No. 701-b Edge Trim Bead, unless otherwise noted in plans. See details for other trim details if used.
TILE and CARPET	Use water resistant gypsum board drywall and accessories in bathrooms and kitchen. Use USG Durock Tile Backer board or equal in tile areas. Confirm ANSI A137.1 for ceramic tile.
COATINGS and SEALERS	Install per manufacturer's recommendation. See room schedule and notes for specifications. See foundation plans and details for CMU and concrete coatings and sealers.
10 SPECIALTIES	
METAL FIREPLACES, if used	Install per manufacturer's recommendation. See plans and equipment schedule for notes and specifications.
BATH ACCESSORIES, if used	Install per manufacturer's recommendation. See interior elevations and accessory schedule for notes and specifications.
11 EQUIPMENT	
APPLIANCES, if used	Install per manufacturer's recommendation. See plans, interior elevations, and equipment schedule for notes and specifications.
12 FURNISHINGS	
FURNITURE, if used	See plans and furniture schedule for notes and specifications.
13 SPECIAL CONSTRUCTION	
SECURITY SYSTEM, if used	See electrical and lighting plans for notes and specifications.
14 CONVEYING SYSTEMS	
ELEVATOR, if used	See plans for notes and specifications.
15/16 PLUMBING, MECHANICAL, and ELECTRICAL	
SYSTEMS	<p>All work shall be in full accordance with all codes, rules and regulations of governing agencies and shall comply with the requirements of the serving utility company.</p> <p>The Contractor shall coordinate the point of service for power, telephone, and cable tv systems with the serving utility representative and furnish all trenching, conduit and backfill as specified by their construcion specifications.</p> <p>All material and equipment furnished and installed under this section shall be quaranted by the contractor for a period of one year from the date of acceptance of the work by the owner.</p> <p>All fixtures, outlets, equipment, and devices whether installed by this contractor or others shall be fully connected and left in operating condition.</p> <p>See plans and schedules for notes and specifications.</p>
FIXTURES	All fixtures, outlets, equipment, and devices whether installed by this contractor or others shall be fully connected and left in operating condition.
FIRE SAFETY	
ADDRESS	Building address numbers to be provided and shall be visable and legible from the street fronting the property, the numbers shall be a minimum of three inches in height, unless otherwise noted, and shall contrast with their background. See site plan for details and specifications.
LOCKS	Exit doors shall be operable from the inside without the use of a key or any special knowledge.
EGRESS	Fire protection facilities, including access, must be provided prior to and during construction.
BRUSH	Clearance of brush and vegetative growth will be maintained as per state and local codes.



ELDER PILATES STUDIO	105 TIMBERLYNE CT CHAPEL HILL NORTH CAROLINA 27514
SET	PERMIT
DRAWN	SR
DATE	11.12.24
PROJECT	c2412
CALICO STUDIO	1141 SMITH LEVEL ROAD CHAPEL HILL NORTH CAROLINA 27516

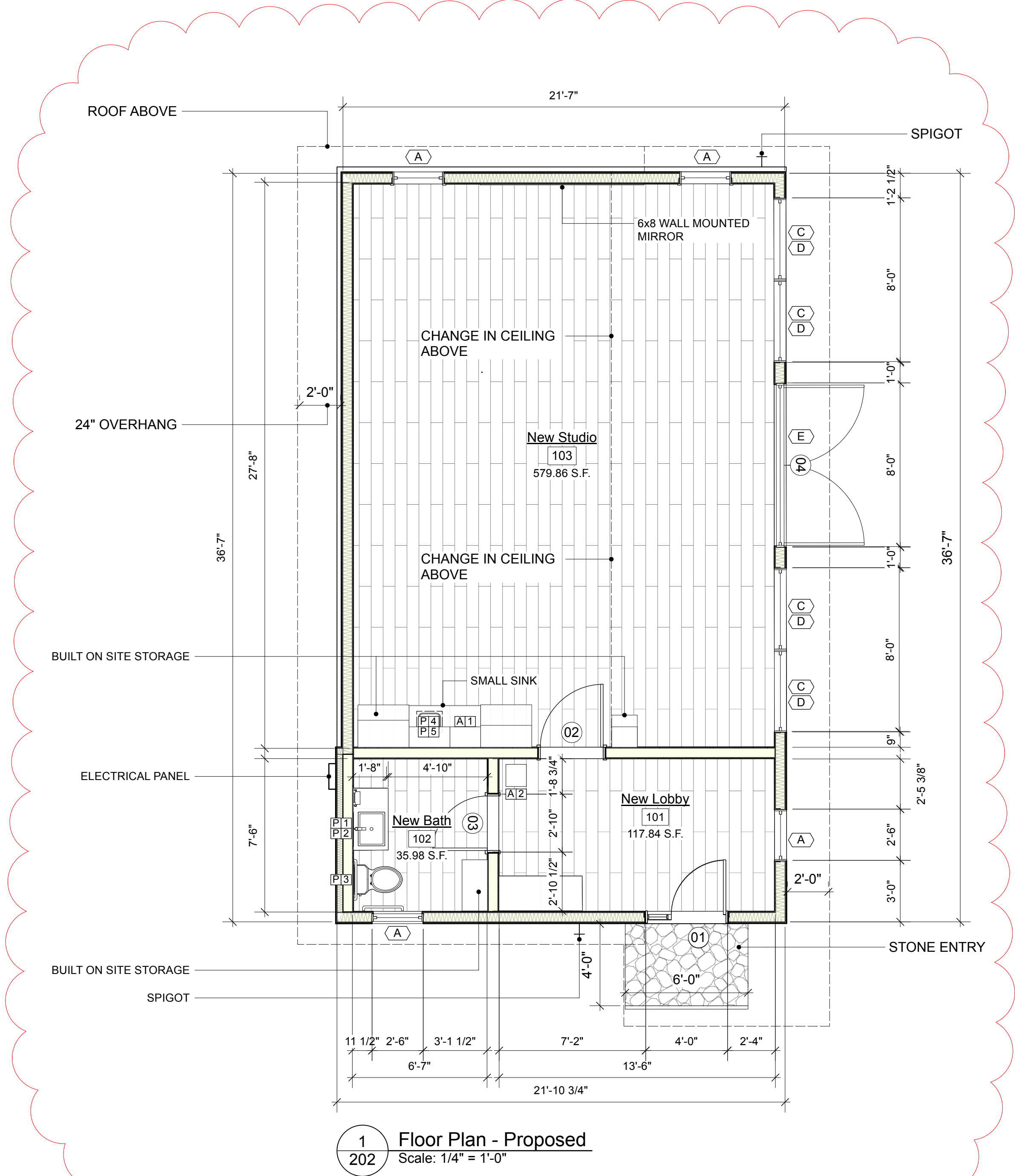


1 Foundation, Plan
201 Scale: 1/4" = 1'-0"



2 Roof, Plan
201 Scale: 1/4" = 1'-0"





No.	ROOM SCHEDULE SPACE	NEW FLOORING	FLOORING FINISH	WALLS	WALL FINISH	BASE DETAILS	BASE FINISH	CEILINGS	CEILING FINISH	NOTES
101	NEW LOBBY	hvp	-	gyp	pld	wd	pld	gyp	pld	COLOR: TBD
102	NEW BATHROOM	hvp	-	gyp	pld	wd	pld	gyp	pld	COLOR: TBD
103	NEW STUDIO	hvp	-	gyp	pld	wd	pld	gyp	pld	COLOR: TBD

FINISH NOTES:							
st	STAIN	cpt	CARPET	cl-s	CLEAR-SATIN	cl-m	CLEAR-MATTE
c	CONCRETE	gyp	GYPSUM BOARD	pld	PAINT	osb	OSB
hw	HARDWOOD FLOORING	ply	PLYWOOD (HARDWOOD)	e.pld	EPOXY PAINT	cl	CLEAR
tile	CERAMIC TILE	wd1	HARDWOOD TRIM, PROFILE 1	501.331	SEE DETAIL	t&g	CEDAR TONGUE & GROOVE
vct	VINYL COMPOSITE TILE	lay-in	LAY-IN GRID AND TILE	stg	SEALED TILE AND GROUT	lv	LUXURY VINYL TILE
crk	CORK	ipe	IPE EXTERIOR WOOD	p	PLASTER		

RM#	APPLIANCE SCHEDULE	MARK	#	MANUFACTURER	MODEL	NOTES
103	MINI REFRIGERATOR	A11	1	-	-	- BY OWNER
	WATER MACHINE	A12	1	-	-	- BY OWNER

RM#	PLUMBING SCHEDULE	MARK	#	MANUFACTURER	MODEL	NOTES
102	SINK	P11	1	-	-	-
	FAUCET for SINK P1	P12	1	-	-	-
	TOILET	P13	1	Kohler	-	- 12" Rough in, 2-piece elongated, soft-close, white
103	SINK	P14	1	-	-	-
	FAUCET for SINK P4	P15	1	-	-	-

ADDITION WINDOWS		WINDOW SCHEDULE												
Manufacturer														
WINDSOR or EQUAL (except where noted)														
MARK	TYPE	WIDTH in	HEIGHT in	U FACTOR	LOW E	FINISH	SASH	GLAZING BEAD	EAST	WEST	NORTH	SOUTH	TOTAL	Notes
A	CASEMENT	30"	48"	.28	Y	BRONZE ANODIZED	-	-	1	-	2	1	4	- PRIVACY GLASS
B	FIXED	96"	24"	.28	Y	BRONZE ANODIZED	-	-	3	-	-	-	3	-
C	FIXED	48"	60"	.28	Y	BRONZE ANODIZED	-	-	4	-	-	-	4	-
D	AWNING	48"	24"	.28	Y	BRONZE ANODIZED	-	-	4	-	-	-	4	-
E	FIXED	84"	24"	.28	Y	BRONZE ANODIZED	-	-	1	-	-	-	1	-
TOTAL: 16 WINDOWS														

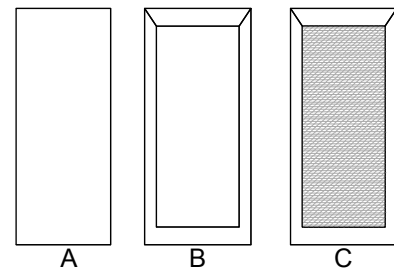
NOTES: WIDTH and HEIGHT ARE FOR UNIT ROUGH OPENINGS.
WIDTHS and HEIGHTS ARE READ FROM LEFT TO RIGHT

NOTED IN DOOR SCHEDULE. SEE PLANELEVATION
PROVIDE SCREENS FOR ALL OPERABLE WINDOWS. PROVIDE SCREENED DOORS FOR ENTRY DOORS
CONTRACTOR TO VERIFY FINAL WINDOW SIZE, COUNT, AND TEMPERING PER SPECIFICATIONS AND STATE CODE.
CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR WINDOWS TO ARCHITECT.
FOR STOCK WINDOWS, OTHER APPROVED PRODUCT INFORMATION MAY BE SUBMITTED IN LIEU OF SHOP DRAWINGS.

No.	DOOR	TYPE	OPENING	FRAME	LOCKSET	HARDWARE	NOTES
1	WOOD	A	4'-0" x 6'-8"	WOOD	ENT.		- SOLID CORE W/ 1/8" SIDELITE
2	WOOD	A	2'-10" x 6'-8"	WOOD	PRI.		- SOLID CORE
3	WOOD	A	3'-0" x 6'-8"	WOOD	PRI.		- SOLID CORE W/ WEATHER STRIPPING AT BOTTOM
4	METAL/GLASS	BB	8'-0" x 6'-8"	WOOD	ENT.		- FRENCH DOORS W/ SCREEN

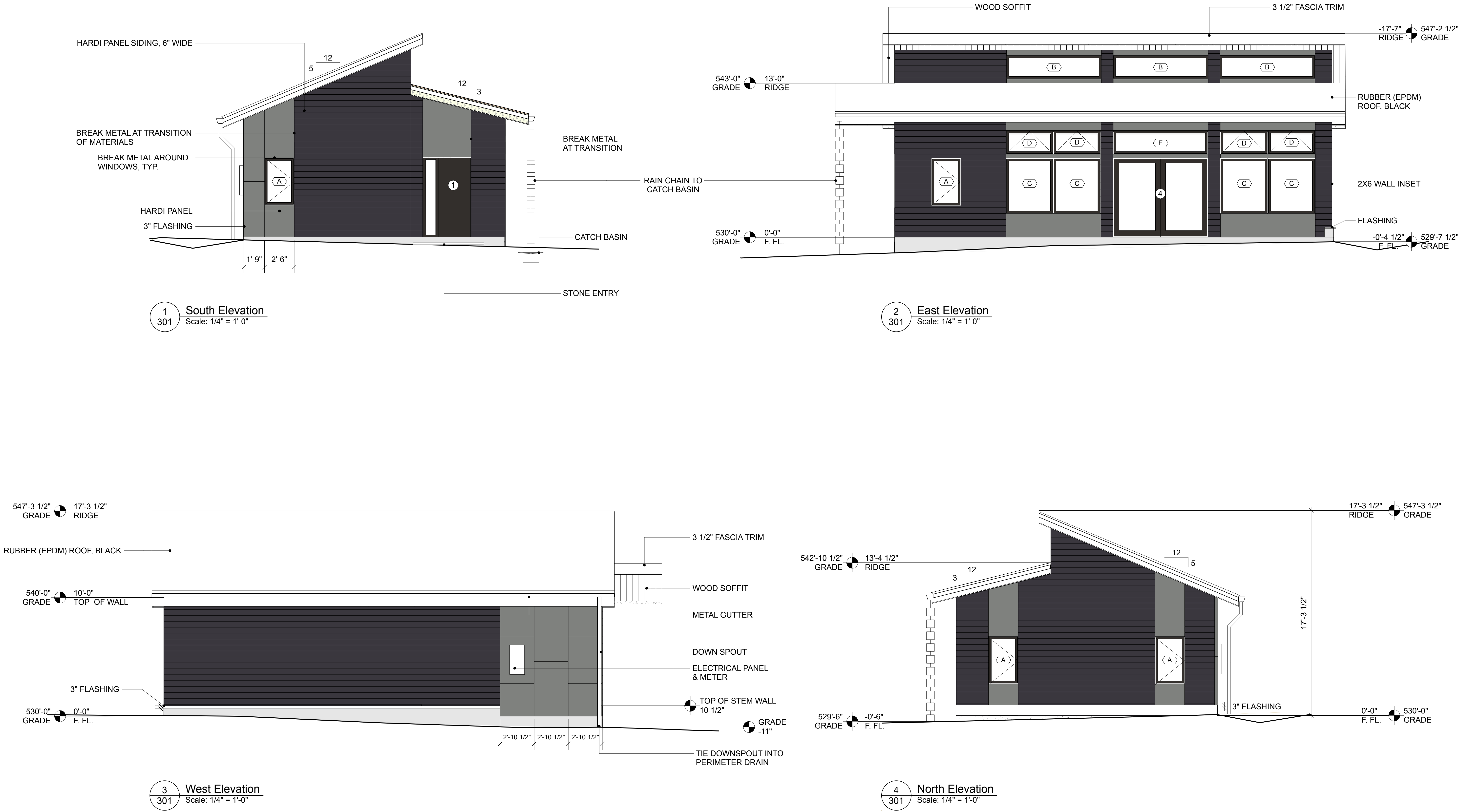
LOCKSETS
PAS.: PASSAGE
PRI.: PRIVACY
ENT.: ENTRY
F.V.: FIELD VERIFY LOCKSET AND CONFIGURATION

NOTES:
1. LOCKSETS: EMTEK SERIES TO BE SELECTED BY OWNER
2. HINGES: EMTEK SERIES BRUSHED NICKEL FINISH OR EQUAL. (3) PER DOOR, TYPICAL
3. PROVIDE GRAND MASTER & INDIVIDUAL FRONT ENTRY KEYING. CONFIRM OTHER KEYING WITH OWNER & ARCHITECT.
*GENERAL CONTRACTOR TO REQUEST HARDWARE AND DEADBOLT SELECTION FROM OWNER & ARCHITECT FOR SOLAR INNOVATION DOORS
DOOR STOPS: EMTEK OR EQUAL

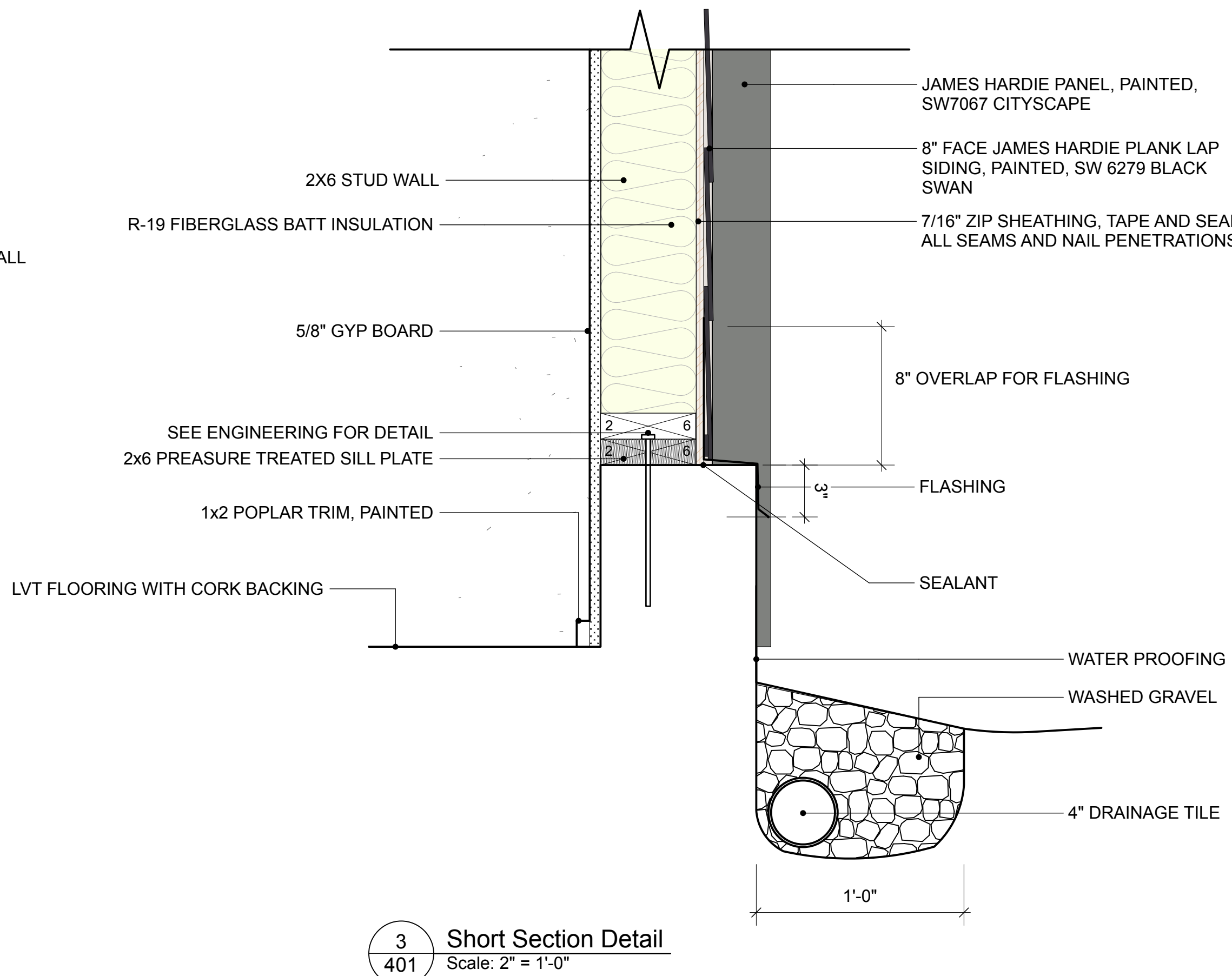
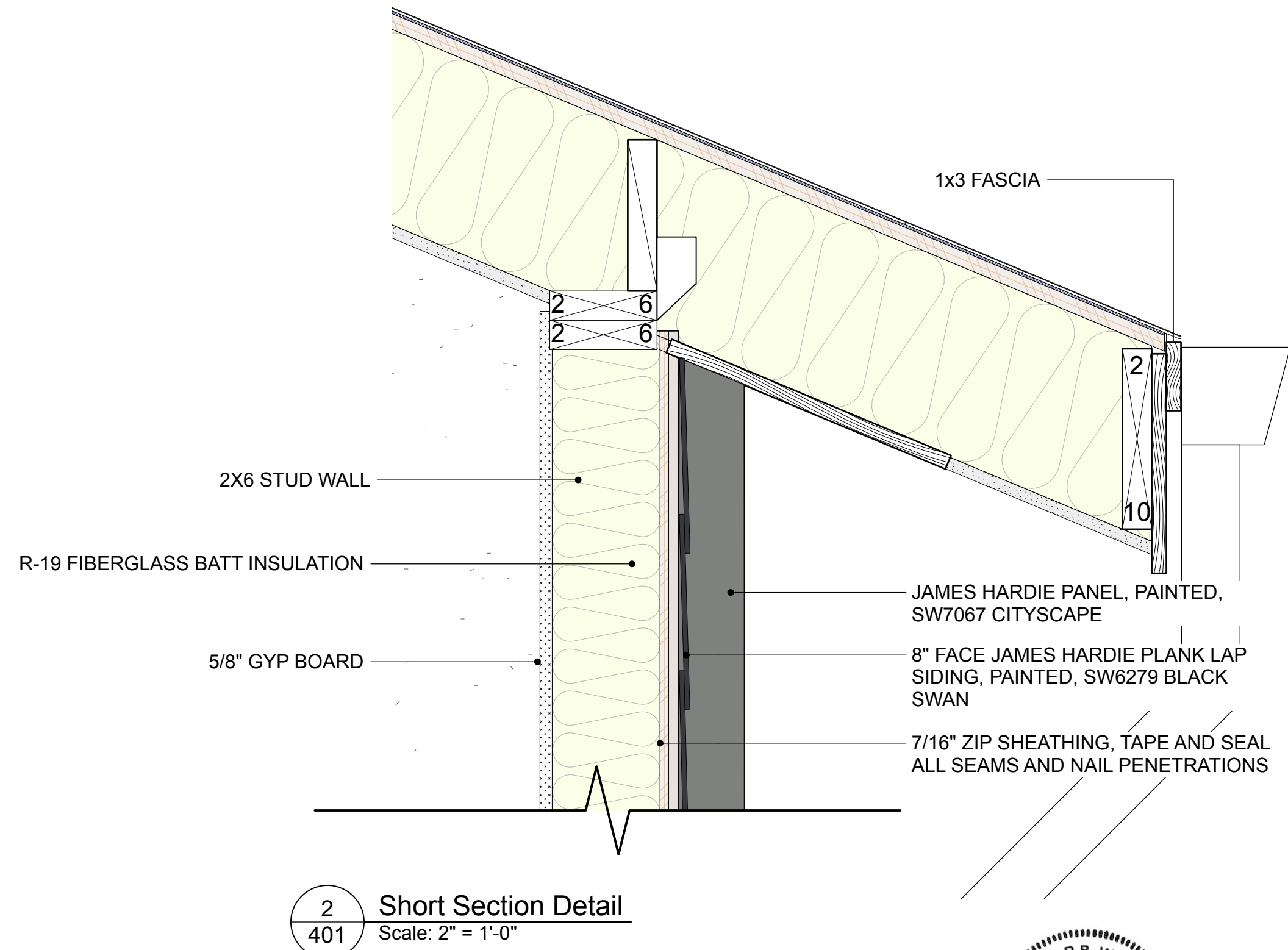
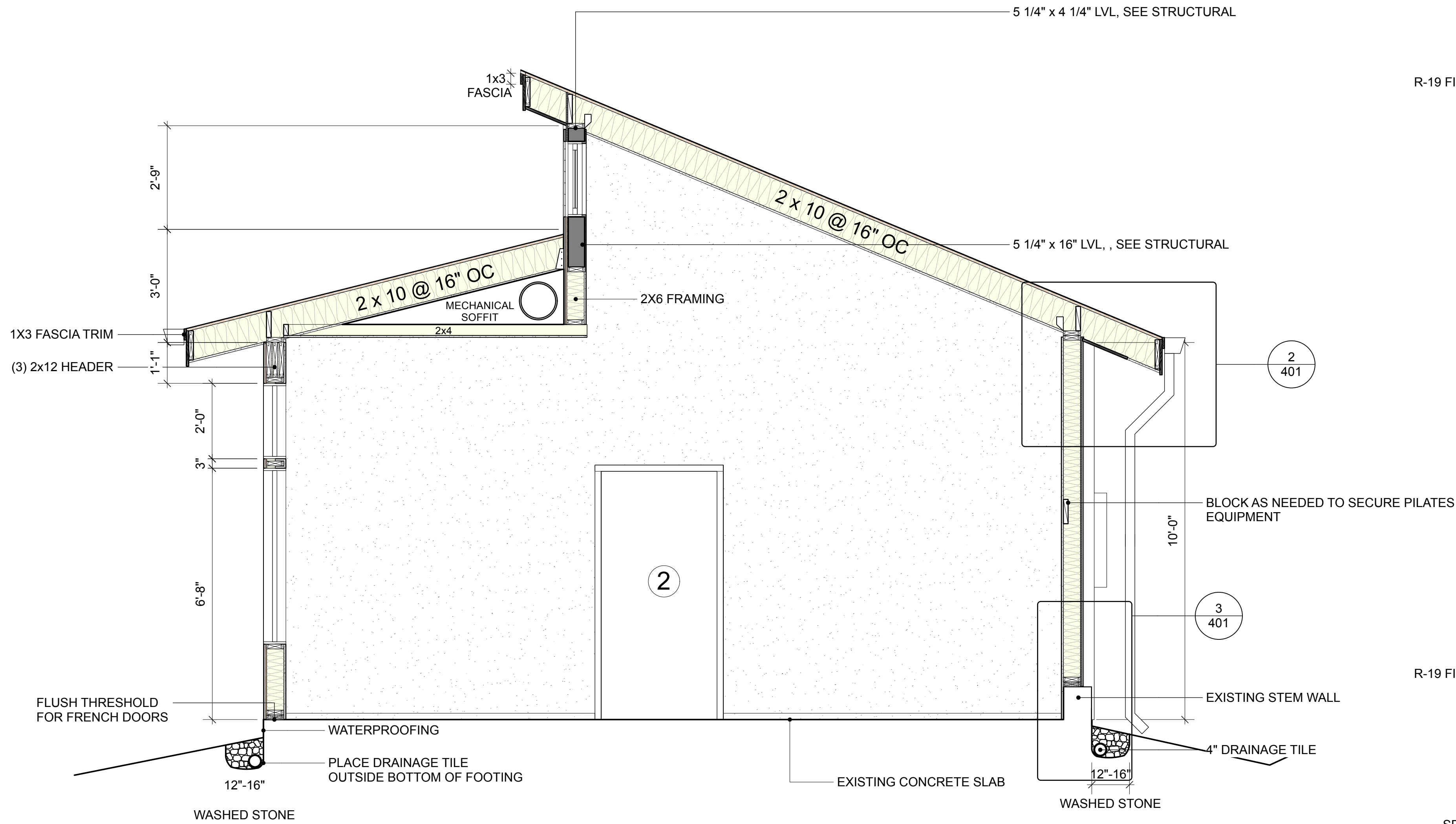


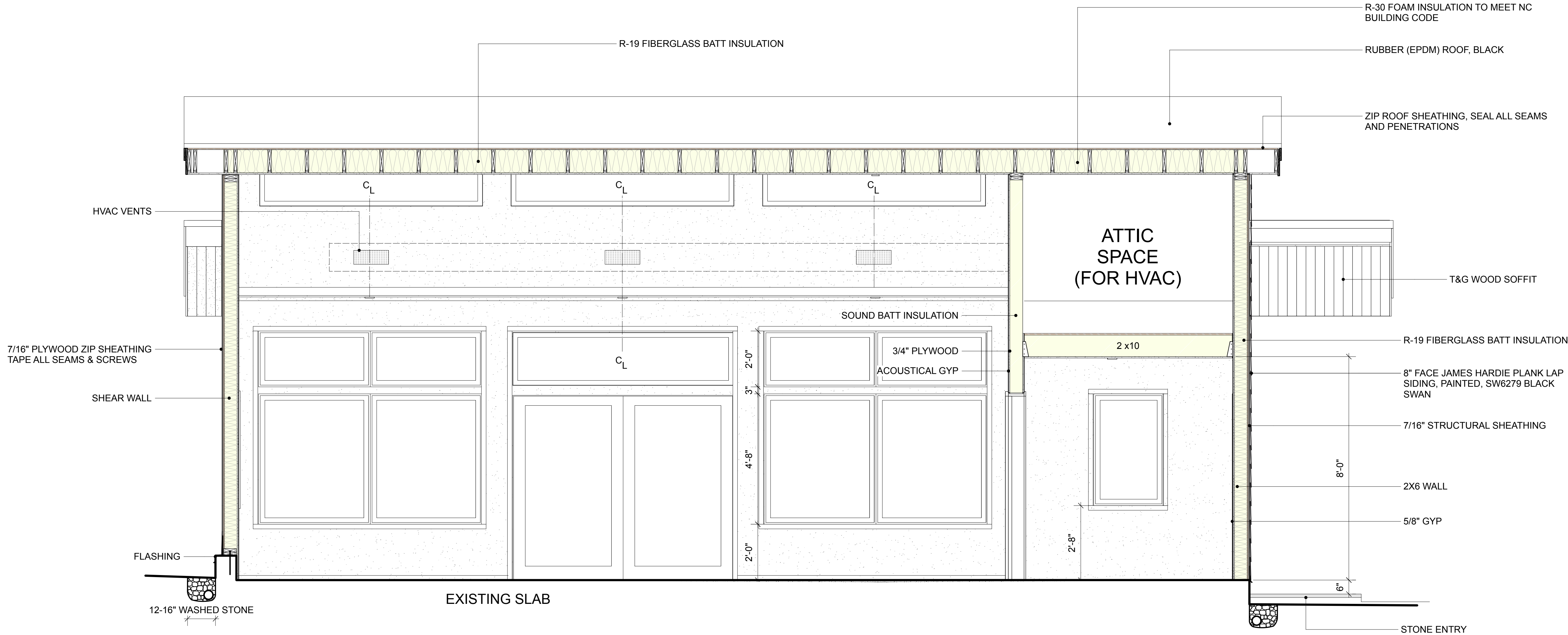
DOOR ELEVATIONS
A FLUSH (1-3/4" Solid Core)
B EXTERIOR WOOD/METAL CLAD WITH GLASS
C EXTERIOR FRAME WITH SCREEN





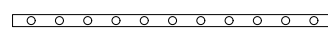
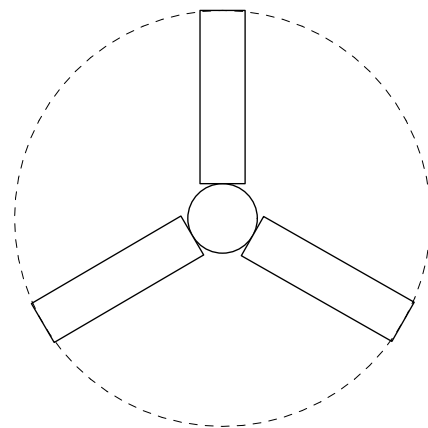
301	CALICO STUDIO						
	1141 SMITH LEVEL ROAD CHAPEL HILL NORTH CAROLINA 27516						
Exterior Elevations	ELDER PILATES STUDIO						
	105 TIMBERLYNE CT CHAPEL HILL NORTH CAROLINA 27514						





1 Long Section
402 Scale: 1/2" = 1'-0"





LIGHTING/DEVICE SCHEDULE

- L1

4" Interior Juno housing with LED retro fit
- L2

Vanity light, TBD
- L3

Bathroom Fan; Panasonic FV-08VKS1 Whisper Green 110cfm evacuation fan, or equal approved by architect
- L4

52" Indoor Ceiling Fan w/o Light, TBD
- L5

Under Cabinet Lighting, TBD
- L6

Outdoor Light, TBD

LIGHTING SYMBOLS

MODEL#	MARK	DESCRIPTION
CS120W	\$	SINGLE POLE TOGGLE SWITCH
S11W	\$ D	SINGLE POLE DIMMER SWITCH, PRE-SET SLIDER
NOTES:		ALL SWITCHES @ 48" ABFF (top of plate) WHITE, U.N.O. ALL PLATES TO HAVE WHITE FINISH MODEL NUMBERS ARE HUBBEL, INC, U.N.O.

ELECTRICAL SCHEDULE

- Duplex receptacle @ 18" ABFF
- Duplex USB-C (2) receptacle @ 18" ABFF
- Quad flush floor receptacle, round
- Quad-receptacle @ 18" ABFF
- 240-volt receptacle
- Ground fault circuit interrupt receptacle
- Above counter receptacle @ 42" ABFF
- Below counter receptacle @ 18" ABFF
- Smoke/ Carbon Monoxide detector
- Telephone/ CAT6 Outlet, Ethernet
- Cable Outlet
- Thermostat

- NOTES:
- FURNISH AND INSTALL ALL LIGHT FIXTURES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND PROVIDE OVERCURRENT PROTECTION FOR THE LOW VOLTAGE LIGHTING CIRCUITS WHERE REQUIRED BY CODE OR AS SPECIFIED BY THE MANUFACTURER. PROVIDE ALL LOW VOLTAGE DIMMERS FOR SOLID STATE FLOURESCENT AND INCANDESCENT LIGHTS RECOMMENDED BY THE FIXTURE MANUFACTURER. DIMMERS AND UNDIMMED SWITCHES SHALL BE GANGED IN A SINGLE ENCLOSURE. INCREASE DIMMER WATTAGE TO COMPENSATE FOR GANG DEPARTING AS REQUIRED TO ADEQUATELY SERVICE THE LOAD. DIMMERS, SWITCHES, AND RECEPTACLES SHALL BE THE SAME MANUFACTURER.
 - ALL UNDERGROUND FEEDER AND BRANCH CIRCUIT WIRING SHALL BE XHHW. UNDERGROUND CONDUIT MAY BE PVC BUT SWEEPS AND RISERS IN EXPOSED AND CONCEALED AREAS SHALL BE TAPED RIGID GALVANIZED PIPE. SWEEPS AND RISERS MAY BE USED IN CONCEALED AREAS FOR BRANCH CIRCUITING ONLY.
 - INTERIOR WIRING METHOD SHALL BE NON-METALLIC SHEATHED CABLING. EXPOSED EXTERIOR WIRING SHALL NOT BE PERMITTED. WIRING FOR MECHANICAL EQUIPMENT AND EXTERIOR LOCATIONS SHALL BE RIGID METAL CONDUIT ABOVE GROUND, PVC BELOW, AND WEATHER TIGHT FLEXIBLE METAL CONDUIT FOR EQUIPMENT CONNECTIONS.
 - PROVIDE AN AS-BUILT DRAWING INDICATING THE CIRCUIT NUMBER CONTROLLING EACH ELECTRICAL LOAD WITHIN THE RESIDENCE. PROVIDE TYPED DIRECTORIES FOR EACH LOAD CENTER AND ATTACH IN A PLASTIC COVER INSIDE THE DOOR COVER.
 - TEST ALL CIRCUITS AFTER ENERGIZATION OF THE SERVICE, INCLUDING DIMMERS, WALL OUTLETS, APPLIANCES, ETC., AND REPAIR AS REQUIRED.
 - MOUNT TOP OF ALL WALL DUPLEXES AT 16" O.C. A.F.F. MOUNT TOP OF ALL SWITCHES AT 48" UNLESS OTHERWISE NOTED. VERIFY ALL ELECTRICAL FIXTURE LOCATIONS WITH ARCHITECT AT KITCHEN ISLAND, KITCHEN COUNTERS AND BATHROOM VANITIES.
 - ALL SWITCHES, DIMMERS, TELEPHONE JACKS AND CONTROL PADS SHALL BE WHITE WITH WHITE COVERPLATES UNLESS OTHERWISE NOTED. SUBMIT CUT SHEET TO ARCHITECT FOR APPROVAL.

NEW ELECTRICAL
PANEL AND METER

