

SITE DATA:

PARCEL TAX REFERENCE: 7.71.1.1A AND 7.71.A.1
 PARCEL PIN NUMBERS: 9788-41-3881 AND 9788-42-2142
 PARCEL SIZE: 13.567 ACRES (590,978 SF.±)
 ZONING DISTRICT: R-4
 PROPOSED USE: PLACE OF WORSHIP: USE GROUP B
 PROPOSED ADDITION: USE GROUP A

MINIMUM STREET SETBACK: 22 FEET
 MINIMUM SIDE SETBACK: 8 FEET
 MINIMUM SOLAR SETBACK: 9 FEET

PARKING REQUIRED: WORSHIP ASSEMBLY (360/4 = 90 SPACES)
 (NO CHANGE IN WORSHIP SEATING)
 EXISTING PARKING: 95 STANDARD SPACES
 15 NON-DELIMITED SPACES ALONG PUREFOY RD.
 6 HANDICAP SPACES
 116 TOTAL EXISTING SPACES;
 (NO NEW SPACES PROPOSED)

PROPOSED AREA OF NEW DISTURBANCE: 11,959 SF.

DEVELOPMENT INFORMATION:

- SOLID WASTE DISPOSAL WILL BE BY THE EXISTING DUMPSTER.
- RECYCLING OF GLASS / ALUMINUM CONTAINERS AND CARDBOARD WILL BE BY CHURCH STAFF TO TOWN / RECYCLING SITES.
- SITE IS LOCATED IN TOWN WATERSHED PROTECTION AREA.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION, PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY SOLID WASTE STAFF, 968-2788, AND THE TOWN TREE PROTECTION OFFICER, 968-2796.

EXISTING IMPERVIOUS SURFACE IS 76,215 SF (11.72%).
 PROPOSED NEW IMPERVIOUS AREA INCREASE OF 2,400 SF.
 THEREFORE PROPOSED TOTAL IMPERVIOUS SURFACE WILL BE 78,615 SF, OR 12.09% OF THE GROSS LAND AREA.

SITE PLAN

COMMUNITY CHURCH OF CHAPEL HILL BUILDING ADDITION

ORANGE COUNTY
 2019-05-28

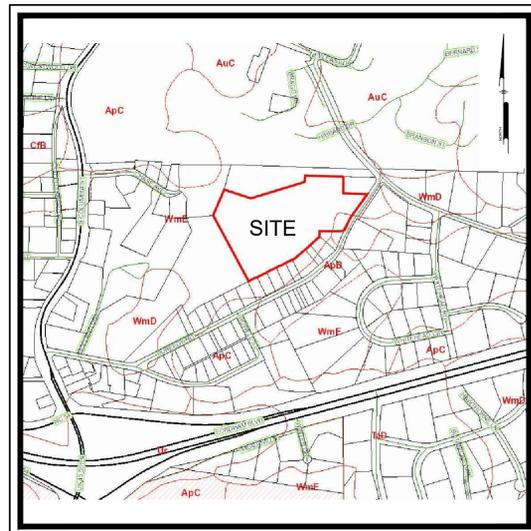
PREPARED FOR:
 OWNER/DEVELOPER

COMMUNITY CHURCH OF CHAPEL HILL

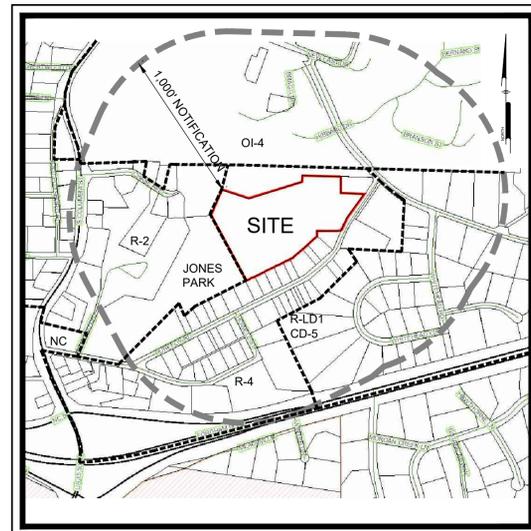
106 PUREFOY ROAD
 CHAPEL HILL, N.C. 27514
 (919) 942-2050

Sheet List Table				
Number	Sheet Name	Description	Date	Revision Date
01	CS0001	COVER SHEET	2019-01-02	2019-05-28
02	CS0002	GENERAL NOTES AND LEGENDS	2019-01-02	2019-05-28
03	CS0201	EXISTING CONDITIONS PLAN	2019-01-02	2019-05-28
04	CS0202	STEEP SLOPE ANALYSIS PLAN	2019-01-02	2019-05-28
05	CS0501	DEMOLITION PLAN	2019-01-02	2019-05-28
06	CS1001	OVERALL SITE PLAN	2019-01-02	2019-05-28
07	CS1002	DETAILED SITE PLAN	2019-01-02	2019-05-28
08	CS1501	DETAILED GRADING PLAN	2019-01-02	2019-05-28
09	CS1701	DETAILED UTILITY PLAN	2019-01-02	2019-05-28
10	CS6001	CONSTRUCTION DETAILS	2019-01-02	2019-05-28
11	CS6002	BIO-RETENTION BASIN DETAILS	2019-01-02	2019-05-28
12	CS8001	EROSION AND SEDIMENT CONTROL PLAN	2019-01-02	2019-05-28
13	CS8501	EROSION AND SEDIMENT CONTROL DETAILS	2019-01-02	2019-05-28
14	CS9001	CONSTRUCTION MANAGEMENT PLAN	2019-01-02	2019-05-28

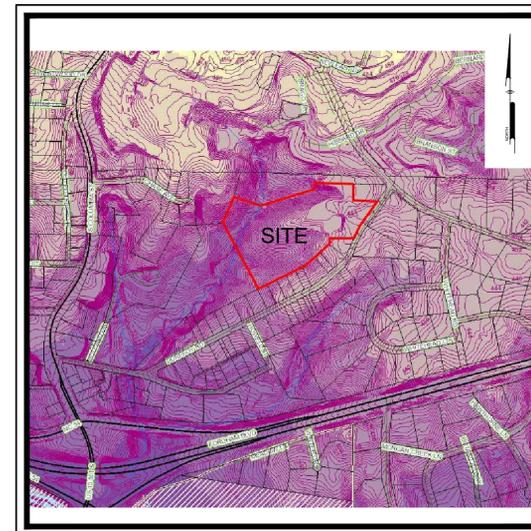
R-4 (RESIDENTIAL)	PROVIDED
MIN. LOT AREA:	13,567 AC. (590,978 SF.)
MIN. LOT FRONTAGE	318.81 FT
MIN. LOT WIDTH	316.14 FT
MAX. FLOOR AREA RATIO	SEE BELOW
BUILDING SETBACK	
MIN. STREET SETBACK	>22 FT
MIN. SIDE YARD SETBACK	>8 FT
MIN. SOLAR YARD SETBACK	>9 FT
BUFFERYARD SETBACK	
MIN. TYPE 'B' BUFFER	10 FT / 15 FT
MIN. TYPE 'C' BUFFER	20 FT
VEHICLE PARKING	136 (INCLUDE 6 H/C SPACES)
BICYCLE PARKING	9 (5 COVERED/4 UNCOVERED)
TOTAL IMPERVIOUS AREA (OF GLA)	78,615 sf
NON RCD ZONE IMPERVIOUS AREA	78,615 sf
RCD ZONE	0 SF (0.0%)
SLOPE CATEGORY	DISTURBED AREAS
0% TO 14.99%	± 9,636 SF
15% TO 24.99%	± 1,419 SF
25% & GREATER	± 904 SF
FLOOR AREA CALCULATIONS	
GROSS LAND AREA (GLA)	590,078 x 1.10 = 650,076 sf (14,924 AC.)
NON RCD ZONE	(532,385 sf x 0.23) = 122,449 sf
RCD ZONE	(137,691 sf x 0.03) = 1,377 sf
EFFECTIVE FLOOR AREA RATIO (EFAR)	(123,626 sf / 590,978 sf) = 0.209
ALLOWABLE FLOOR AREA MAXIMUM (GLA x EFAR)	(650,076 sf x 0.209) = 135,866 sf
PROPOSED FLOOR AREA TOTAL	19,800 sf



SOILS MAP
 Scale: 1" = 600'



LOCATION MAP
 Scale: 1" = 600'



USGS MAP
 Scale: 1" = 600'

PREPARED BY:
PENNONI ASSOCIATES INC.



Firm License
 F-1267

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 Raleigh, NC 27607
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 F 919.493.6548



Know what's below.
 Call before you dig.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



SITE PLAN
 106 PUREFOY ROAD
 CHAPEL HILL, NORTH CAROLINA 27514

COVER SHEET
 COMMUNITY CHURCH OF CHAPEL HILL
 106 PUREFOY ROAD
 CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
1	2019-05-28	REVISED PER CHAPEL HILL COMMENTS	CSB

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PROJECT: CMCH1701
 DATE: 2019-01-02
 DRAWING SCALE: N.T.S.
 DRAWN BY: CSB
 APPROVED BY: PCB

CS0001
 SHEET 01 OF 14

PRELIMINARY NOT FOR CONSTRUCTION

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		CABLE TV, JUNCTION BOX
		CABLE TV, MANHOLE
		CABLE TV, OVERHEAD
		CABLE TV, PANEL BOX
		CABLE TV, PEDESTAL
		CABLE TV, STUB OUT
		CABLE TV, UNDERGROUND
		CABLE TV, WITNESS POST
		CHANNEL
		COMMUNICATION, HANDHOLE
		COMMUNICATION, JUNCTION BOX
		COMMUNICATION, MANHOLE
		COMMUNICATION, OVERHEAD
		COMMUNICATION, PANEL BOX
		COMMUNICATION, PEDESTAL
		COMMUNICATION, STUB OUT
		COMMUNICATION, UNDERGROUND
		COMMUNICATION, WITNESS POST
		CONTROL, BENCHMARK
		CONTROL, GPS
		CONTROL, MAPPING
		CONTROL, REFERENCE
		CONTROL, TRAVERSE
		CURB
		CURB DEPRESSION
		EDGE OF PAVEMENT
		EDGE OF GRAVEL
		EASEMENT
		FENCE
		FIBER OPTIC, HANDHOLE
		FIBER OPTIC, JUNCTION BOX
		FIBER OPTIC, MANHOLE
		FIBER OPTIC, OVERHEAD
		FIBER OPTIC, PANEL BOX
		FIBER OPTIC, PEDESTAL
		FIBER OPTIC, STUB OUT
		FIBER OPTIC, UNDERGROUND
		FIBER OPTIC, WITNESS POST
		FLOODPLAIN
		FUEL, MANHOLE
		FUEL, OVERHEAD
		FUEL, PLUG
		FUEL, PUMP
		FUEL, UNDERGROUND
		GUIDE RAIL
		LIMITS OF DISTURBANCE
		MARKING, HANDICAP PARKING
		NATURAL GAS, METER
		NATURAL GAS, MANHOLE
		NATURAL GAS, OVERHEAD
		NATURAL GAS, STUB OUT
		NATURAL GAS, UNDERGROUND
		NATURAL GAS, WITNESS POST
		PHONE, HANDHOLE
		PHONE, JUNCTION BOX
		PHONE, MANHOLE
		PHONE, OVERHEAD
		PHONE, PANEL BOX
		PHONE, PEDESTAL
		PHONE, STUB OUT
		PHONE, UNDERGROUND
		PHONE, WITNESS POST
		POWER, GUY POLE
		POWER, GUY WIRE
		POWER, HANDHOLE
		POWER, JUNCTION BOX
		POWER, SINGLE HEAD LIGHT
		POWER, DOUBLE HEAD LIGHT
		POWER, THREE HEAD LIGHT
		POWER, FOUR HEAD LIGHT
		POWER, SPOT LIGHT
		POWER, LIGHT POLE SINGLE
		POWER, LIGHT POLE DOUBLE
		POWER, MANHOLE
		POWER, OVERHEAD
		POWER, METER
		POWER, PANEL BOX
		POWER, PEDESTAL
		POWER, STUB OUT
		POWER, TRANSFORMER
		POWER, UNDERGROUND
		POWER, UTILITY POLE
		POWER, WITNESS POST
		POWER, YARD LIGHT
		PROPERTY, LINE
		LEGAL RIGHT-OF-WAY
		PROPERTY, CORNER FOUND
		PROPERTY, CORNER FOUND (OTHERS)
		PROPERTY, CONCRETE MONUMENT
		PROPERTY, ADJOINING LINE
		PROPERTY, LINE RESERVED
		RAIL, MILE MARKER
		RAIL, PANEL BOX
		RAIL, TRACK
		SITE, AIR COMPRESSOR
		SITE, AIR CONDITIONER
		SITE, BOLLARD
		SITE, BORING LOCATION
		BUILDING
		SITE, FLAG POLE
		SITE, HEAD STONE
		SITE, MAIL BOX
		SITE, MONITOR WELL
		SITE, PARKING METER
		SITE, POST
		SITE, SIGN POST AND BOARD
		SITE, TRAFFIC SIGN
		SOIL BOUNDARY
		SOIL LABEL

LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, LATERAL
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4\"/>
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTRIAN SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, GRASS LINE / LANDSCAPED AREA
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONFIROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE
		WATER, VALVE
		WATER, WITNESS POST

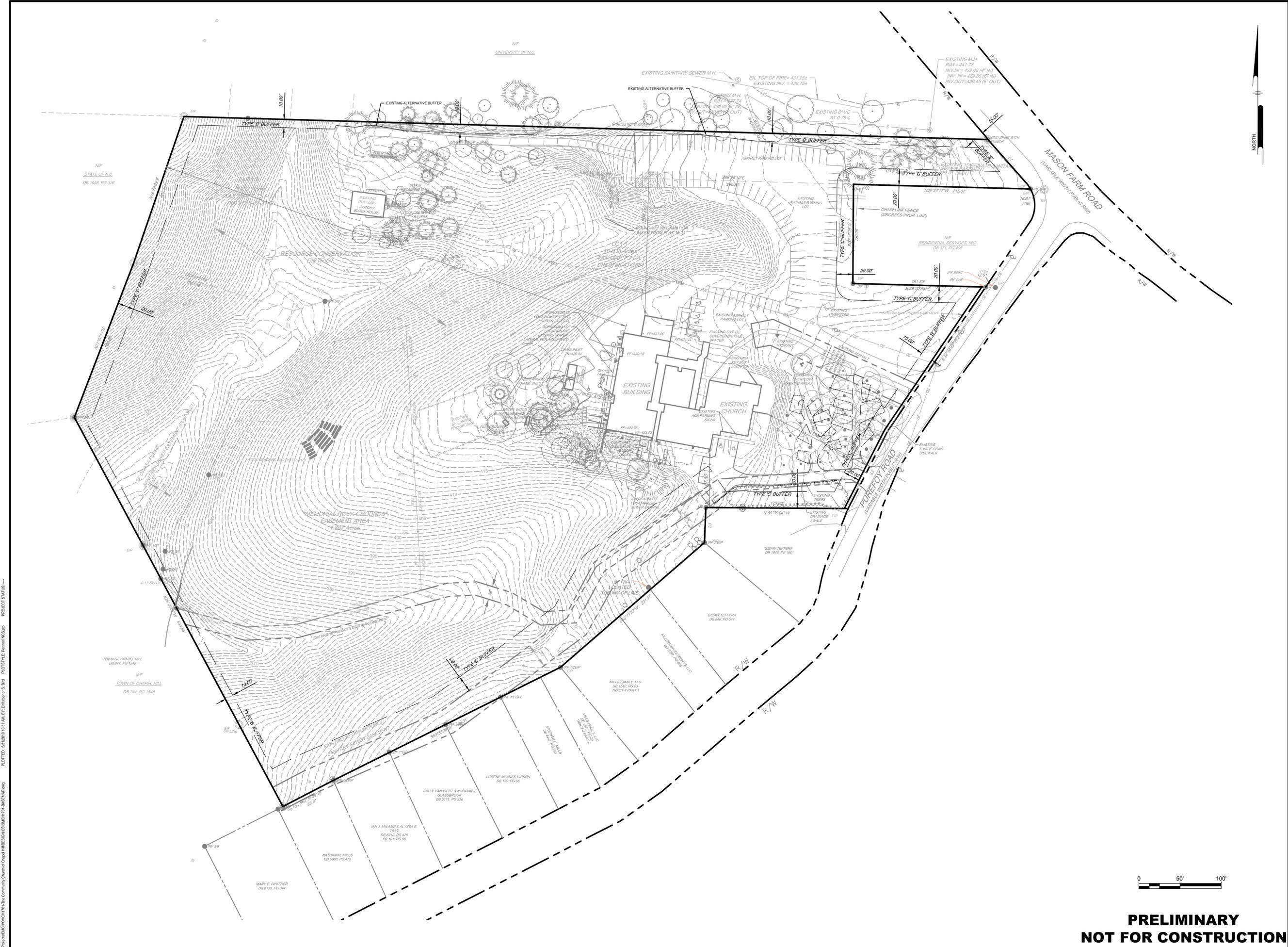
LEGEND		
EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER, CLEAN-OUT
		SANITARY SEWER, FORCE MAIN
		SANITARY SEWER, FORCE MAIN MANHOLE
		SANITARY SEWER, LATERAL
		SANITARY SEWER, MANHOLE
		SANITARY SEWER, UNDERGROUND (4\"/>
		SANITARY SEWER, SEPTIC TANK
		SANITARY SEWER, STUB OUT
		SANITARY SEWER, VALVE
		SANITARY SEWER, WITNESS POST
		STREAM
		STORM SEWER, INLET
		STORM SEWER, HEADWALL
		STORM SEWER, MANHOLE
		STORM SEWER, UNDERGROUND
		STORM SEWER, DOWNSPOUT LOCATION
		STORM SEWER, ROOF DRAIN LINE
		STORM SEWER, STAND PIPE
		STORM SEWER, CLEAN-OUT
		STORM SEWER, WITNESS POST
		MINOR CONTOUR
		MAJOR CONTOUR
		SPOT ELEVATION
		TO BE REMOVED
		TRAFFIC, PAVEMENT MARKING, BIKE LANE
		TRAFFIC, PAVEMENT MARKING, TURN ARROWS
		TRAFFIC, PAVEMENT MARKING, HOV LANE
		TRAFFIC, HAND HOLE
		TRAFFIC, JUNCTION BOX
		TRAFFIC, MANHOLE
		TRAFFIC, PANEL BOX
		TRAFFIC, PEDESTAL
		TRAFFIC, PEDESTRIAN SIGNAL
		TRAFFIC, SIGNAL POLE
		TRAFFIC, SIGNAL POLE & LIGHT ARM
		TRAFFIC, STUB OUT
		VEGETATION, SHRUB
		VEGETATION, GRASS LINE / LANDSCAPED AREA
		VEGETATION, DECIDUOUS SHOWING CANOPY
		VEGETATION, CONFIROUS SHOWING CANOPY
		VEGETATION, TREE LINE
		WATER, HOSE BIB
		WATER, FIRE HYDRANT
		WATER, IRRIGATION HEAD
		WATER, IRRIGATION VALVE BOX
		WATER, MANHOLE
		WATER, METER
		WATER, POST INDICATOR VALVE
		WATER, SIAMESE CONNECTION
		WATER, STUB OUT
		WATER, UNDERGROUND
		WATER, UNDERGROUND FIRE
		WATER, VALVE
		WATER, WITNESS POST

GENERAL NOTES:

- APPLICANT: COMMUNITY CHURCH OF CHAPEL HILL, 108 PUREFOY ROAD, CHAPEL HILL, NORTH CAROLINA 27514. RESPONSIBLE OFFICER: BRAD KOSIBA
- EXISTING TOPOGRAPHIC FEATURES WERE TAKEN FROM A TOPOGRAPHIC SURVEY PLAN PROVIDED BY PENNON ASSOC. ON 5/22/2016
- UTILITY NOTES:
 - A COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
 - LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND SHALL BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - ALL UTILITIES AND SERVICES INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC, ETC. WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATION. THE FIRE WATCH SHALL BE POSTED IN A POSTED AREA IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.
- CONSTRUCTION / DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.

GENERAL CONSTRUCTION AND GRADING NOTES:

- ALL UTILITIES SHALL COMPLY WITH APPLICABLE STATE, FEDERAL AND LOCAL CODES AND OSHA STANDARDS ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER.
- THE CONTRACTOR SHALL BE REQUIRED TO READ AND ABIDE BY SPECIFICATIONS OF THE PLAN AND ALL SUPPORTING DOCUMENTS, PERMITS, AND REPORTS FOR THIS SITE, INCLUDING BUT NOT LIMITED TO:
 - STORM AND SEDIMENTATION CONTROL PLAN
 - EROSION AND SEDIMENTATION CONTROL PLAN
 - WATER MANAGEMENT PLAN.
- THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERROR THEY DISCOVER IN THE PLANS.
- DEVIATION FROM THESE PLANS AND NOTES WITHOUT THE PRIOR CONSENT OF THE OWNER OR HIS REPRESENTATIVE OR THE ENGINEER MAY BE CAUSE OF THE WORK TO BE UNACCEPTABLE.
- UTILITY COORDINATION SHALL BE INCLUDED IN THE PROJECT SCHEDULE AND IT IS THE EXPLICIT RESPONSIBILITY OF THE CONTRACTOR TO ASSURE THAT THE PROJECT SCHEDULE INCLUDES THE NECESSARY RELOCATIONS. THE CONTRACTOR WILL NOT BE PAID ADDITIONALLY FOR THIS COORDINATION. THE CONTRACTOR SHOULD SEEK ASSISTANCE FROM ALL UTILITY COMPANIES TO LOCATE AND PROTECT THEIR FACILITIES. IF CONFLICTS ARE FOUND, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGN ENGINEER FOR INSTRUCTION BEFORE PROCEEDING WITH WORK.
- ALL MATERIALS SHALL BE NEW UNLESS USED OR SALVAGED MATERIALS ARE AUTHORIZED BY THE METHOD AND APPLICANT.
- TRAFFIC CONTROL METHODS, SUCH AS BARRICADES, SUFFICIENT LIGHTS, SIGNS, ETC., MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION IN ACCORDANCE WITH CURRENT AND NCDOT STANDARDS.
- CONTRACTOR SHALL FURNISH AND MAINTAIN ALL NECESSARY BARRICADES, FENCING AND OTHER APPROPRIATE SAFETY ITEMS



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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

SITE PLAN
 106 PUREFOY ROAD
 CHAPEL HILL, NORTH CAROLINA 27514

EXISTING CONDITIONS PLAN
 COMMUNITY CHURCH OF CHAPEL HILL
 106 PUREFOY ROAD
 CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
1	2019-05-28	REVISED PER CHAPEL HILL COMMENTS	CSB

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PROJECT: CMCH1701
 DATE: 2019-01-02
 DRAWING SCALE: 1" = 50'
 DRAWN BY: CSB
 APPROVED BY: PCB

CS0201
 SHEET 03 OF 14

L:\Projects\CMCH1701\The Community Church of Chapel Hill\DESIGN\CMCH1701\PLAN\CMCH1701_03.dwg
 PLOTTED: 05/29/19 10:57 AM BY: Christopher S. Bell
 PROJECT STATUS: ---
 PROJECT: PENNONI ASSOCIATES



OVERALL STEEP SLOPES TABLE

RANGE	COLOR	SLOPE (MIN.)	SLOPE (MAX.)	TOTAL AREA
1	Lightest Gray	0.00%	10.00%	160,351 Sf. (3.681Ac.)
2	Light Gray	10.00%	15.00%	71,822 Sf. (1.649Ac.)
3	Medium Gray	15.00%	25.00%	180,740 Sf. (4.149Ac.)
4	Darkest Gray	25.00%	100.00%	178,065 Sf. (4.088Ac.)

DISTURBED AREAS TABLE

RANGE	COLOR	SLOPE (MIN.)	SLOPE (MAX.)	AREA
1	Lightest Gray	0.00%	10.00%	8,676 Sf. (0.199Ac.)
2	Light Gray	10.00%	15.00%	960 Sf. (0.022Ac.)
3	Medium Gray	15.00%	25.00%	1,419 Sf. (0.033Ac.)
4	Darkest Gray	25.00%	100.00%	904 Sf. (0.021Ac.)



**PRELIMINARY
NOT FOR CONSTRUCTION**

Pennoni
Firm License F-287
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Raleigh, NC 27607
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ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK

SITE PLAN
106 PUREFOY ROAD
CHAPEL HILL, NORTH CAROLINA 27514

STEEP SLOPE ANALYSIS PLAN
COMMUNITY CHURCH OF CHAPEL HILL
106 PUREFOY ROAD
CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
1	2019-05-28	REVISED PER CHAPEL HILL COMMENTS	CSB

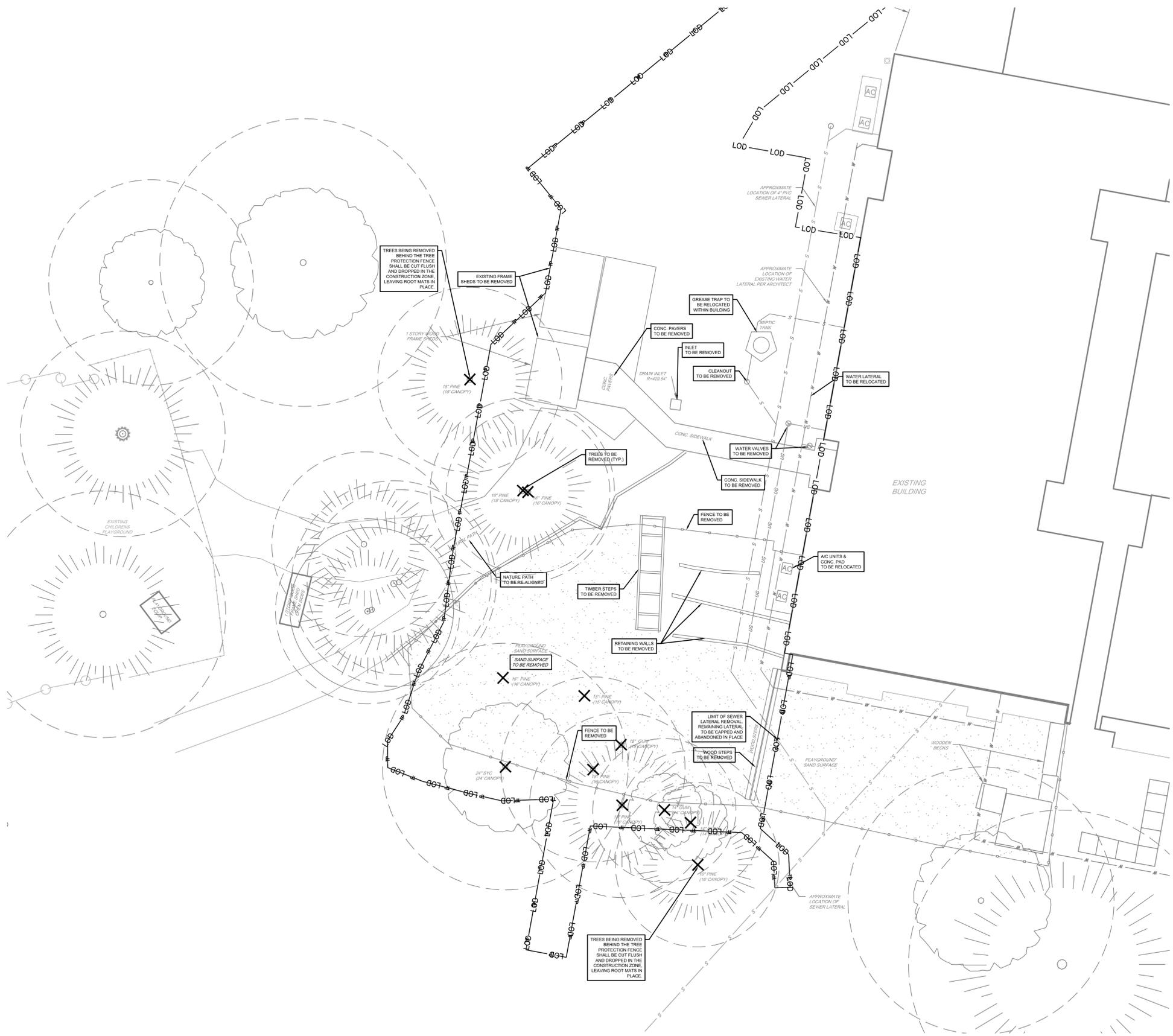
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PROJECT **CMCH1701**
DATE **2019-01-02**
DRAWING SCALE **1" = 50'**
DRAWN BY **CSB**
APPROVED BY **PCB**

CS0202
SHEET **04** OF **14**

L:\Projects\CMCH1701\The Community Church of Chapel Hill\DESIGN\CMCH1701\PLAN\CMCH1701-04.dwg PLOTTED: 05/29/2019 10:57 AM BY: Christopher S. Bell PLOTSTYLE: Pennoni.ctb PROJECT STATUS: ---

L:\Projects\CMCH1701\The Community Church of Chapel Hill\LANDMAP.dwg PLOTTED: 05/19/2019 10:57 AM BY: Christopher S. Bell PLOTSTYLE: Pennoni.rctbws PROJECT STATUS: ---



NOTES:

1. PRIOR TO THE START OF DEMOLITION OR SITE WORK, ONE OR MORE LANDSCAPE PROTECTION SUPERVISORS SHALL BE DESIGNATED UPON COMPLETING INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN. CALL ADAM NICHOLSON AT (919) 969-5006.
2. ONCE TREE PROTECTION FENCE IS INSTALLED PER APPROVED PLANS PLEASE CALL ADAM NICHOLSON AT (919) 969-5006 FOR TREE INSPECTION.



**PRELIMINARY
NOT FOR CONSTRUCTION**

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR AND OWNER MUST BE NOTIFIED OF ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK



SITE PLAN
106 PUREFOY ROAD
CHAPEL HILL, NORTH CAROLINA 27514

DEMOLITION PLAN

COMMUNITY CHURCH OF CHAPEL HILL
106 PUREFOY ROAD
CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
1	2019-05-28	REVISED PER CHAPEL HILL COMMENTS	CSB

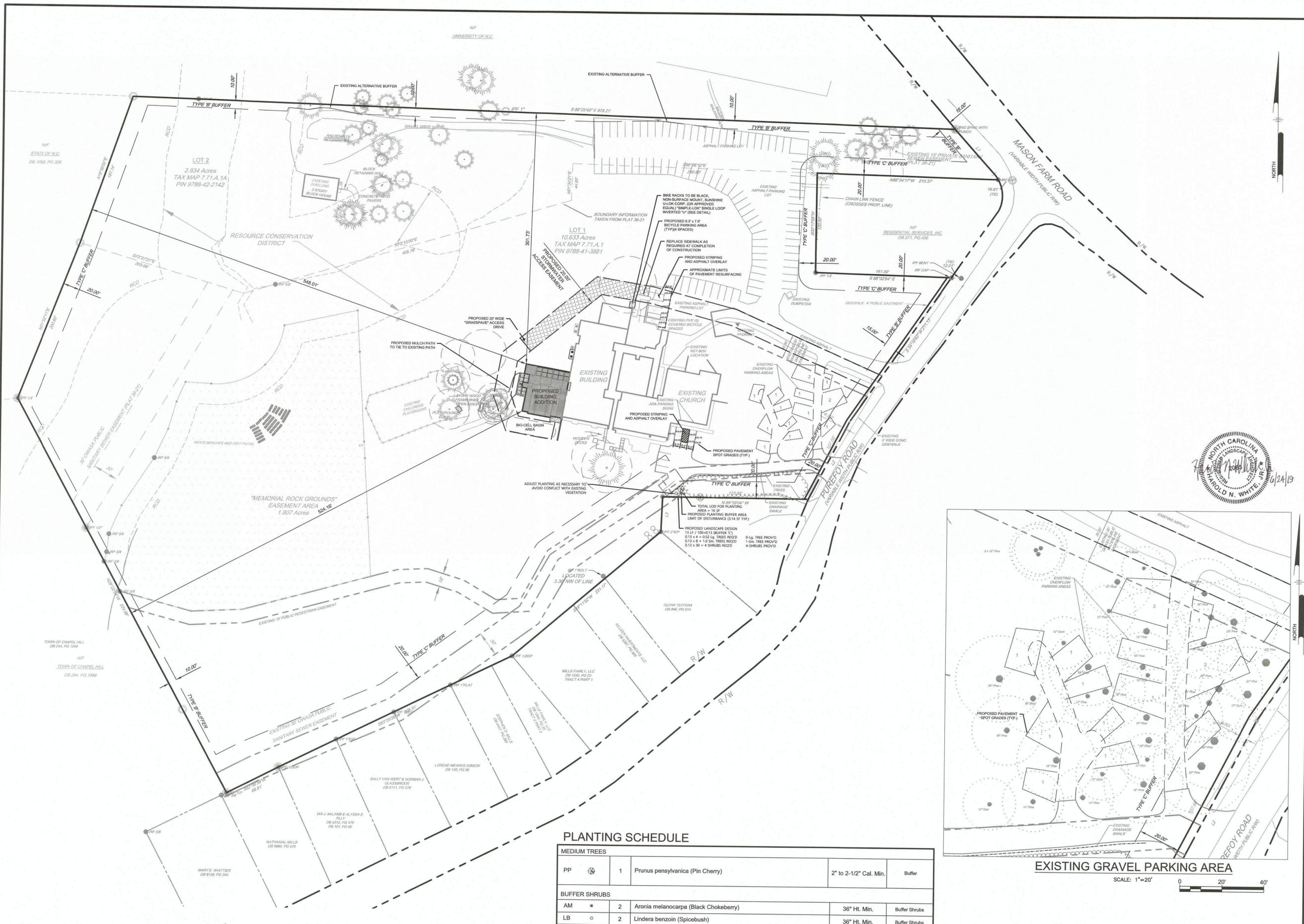
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PROJECT: CMCH1701
DATE: 2019-01-02
DRAWING SCALE: 1" = 10'
DRAWN BY: CSB
APPROVED BY: PCB

CS0501
SHEET 05 OF 14

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 PLOTTED: 2019/05/28 11:52 AM BY: Christopher S. Bell
 FLOTTSTILE Pennoni NCS Job
 PROJECT STATUS:



PLANTING SCHEDULE

MEDIUM TREES				
PP	⊗	1	Prunus pensylvanica (Pin Cherry)	2" to 2-1/2" Cal. Min. Buffer
BUFFER SHRUBS				
AM	•	2	Aronia melanocarpa (Black Chokeberry)	36" Ht. Min. Buffer Shrubs
LB	○	2	Lindera benzoin (Spicebush)	36" Ht. Min. Buffer Shrubs

ALL PROPOSED PLANTS USED IN THIS PLAN ARE EITHER NATIVE OR A NON-INVASIVE IN NATURE


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SITE PLAN
 108 PUREFOY ROAD
 CHAPEL HILL, NORTH CAROLINA 27514
OVERALL SITE PLAN
 COMMUNITY CHURCH OF CHAPEL HILL
 108 PUREFOY ROAD
 CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
1	2019-05-28	REVISED PER CHAPEL HILL COMMENTS	CSB

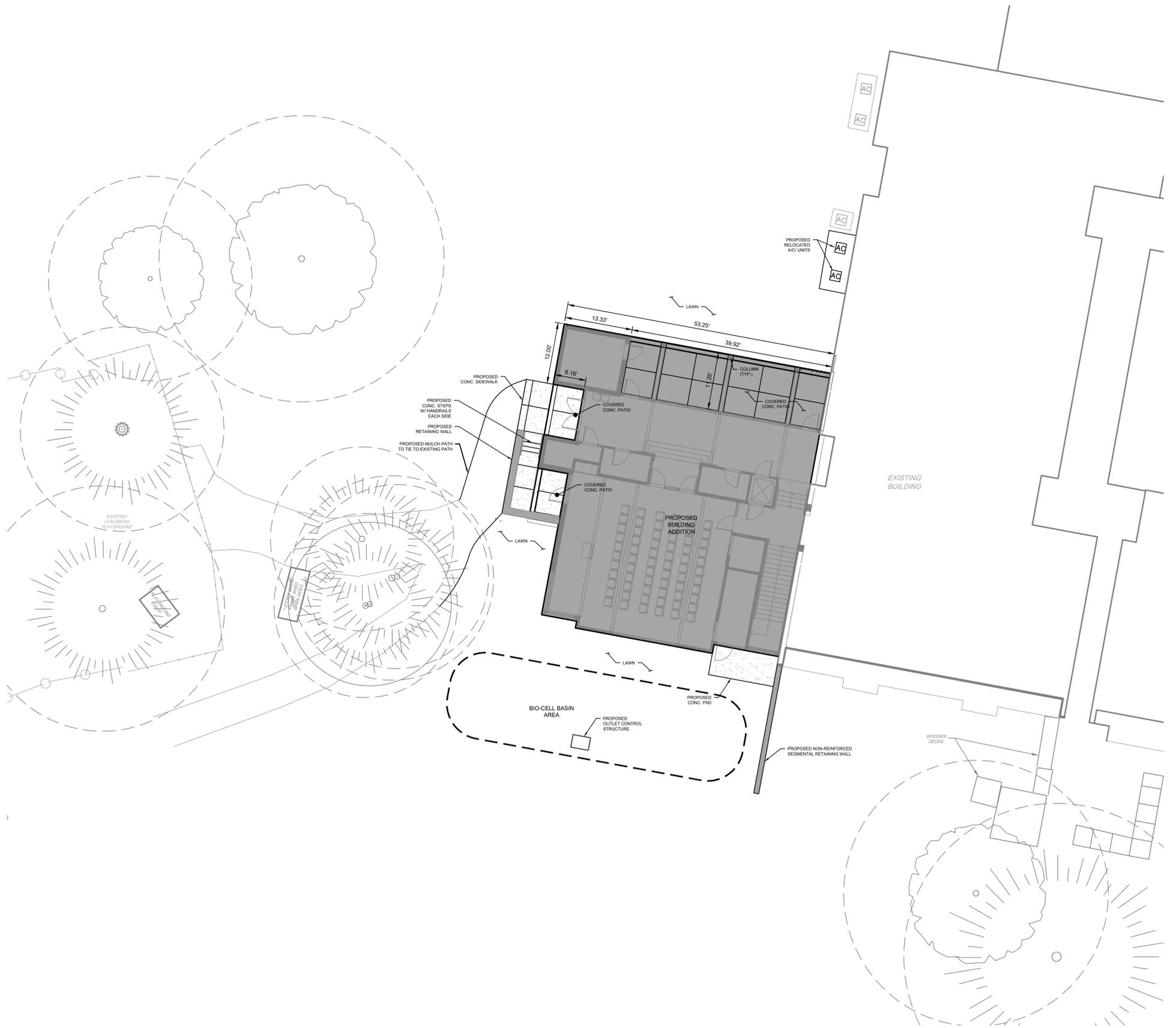
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PROJECT: CMCH1701
 DATE: 2019-01-02
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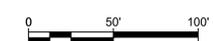
CS1001
 SHEET 06 OF 14

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NOTE:
1. ONLY BUILDING MOUNTED LIGHTING IS BEING PROPOSED IN CONJUNCTION WITH THIS APPLICATION.



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SITE PLAN
106 PUREFOY ROAD
CHAPEL HILL, NORTH CAROLINA 27514

DETAILED SITE PLAN
COMMUNITY CHURCH OF CHAPEL HILL
106 PUREFOY ROAD
CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
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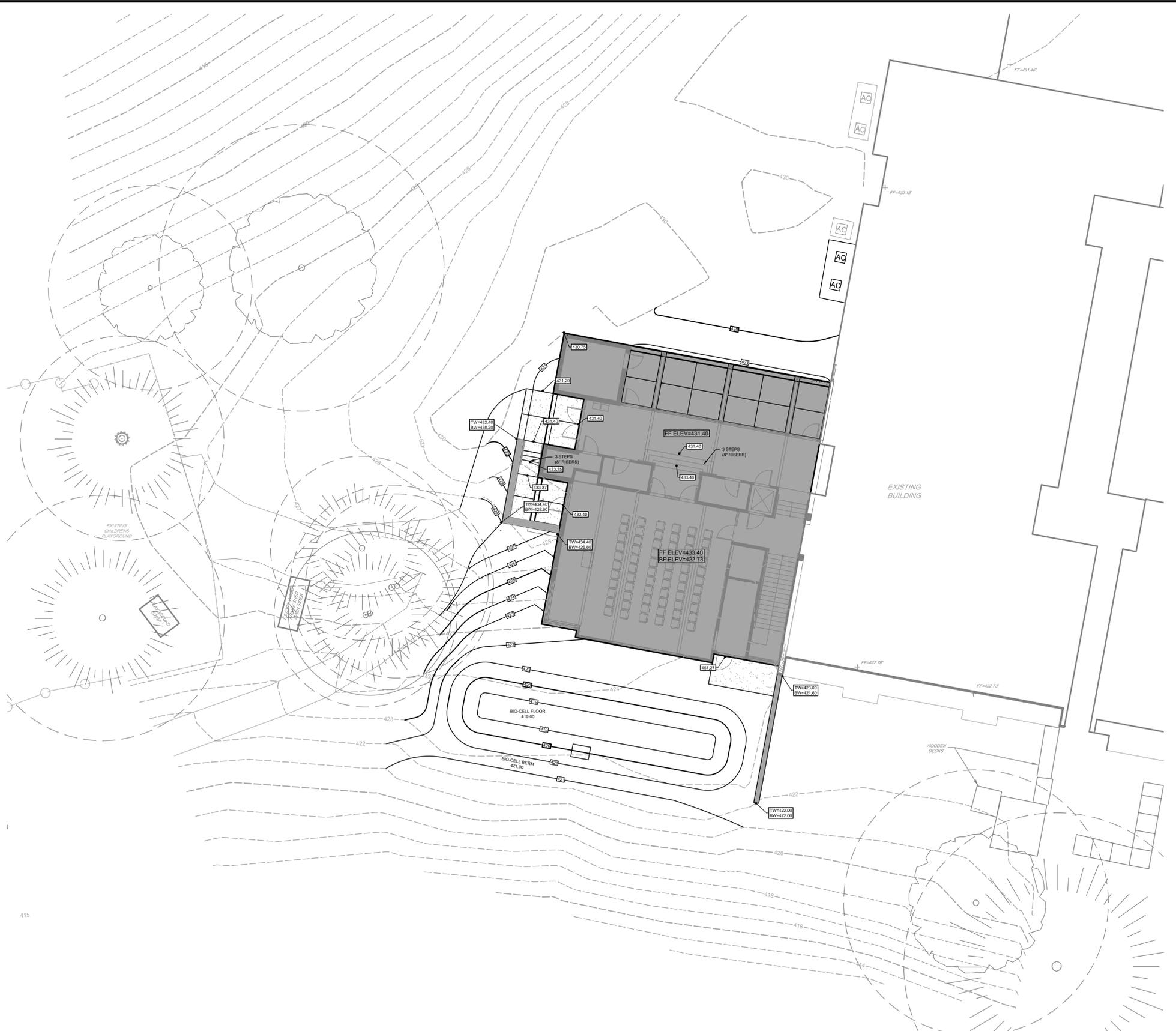
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PROJECT: CMCH1701
DATE: 2019-01-02
DRAWING SCALE: 1" = 10'
DRAWN BY: CSB
APPROVED BY: PCB

CS1002
SHEET 07 OF 14

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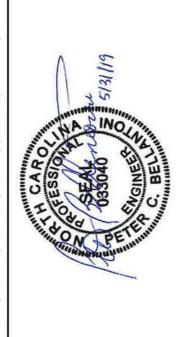
NOTES:

1. ALL DOWNSPOUTS FROM THE PROPOSED ADDITION SHALL BE DIRECTED TO THE PROPOSED BIO-CELL VIA 6" PVC ROOF LEADERS
2. FINAL DOWNSPOUT LOCATIONS TO BE BASED UPON FINAL ARCHITECTURAL PLANS.



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SITE PLAN
106 PUREFOY ROAD
CHAPEL HILL, NORTH CAROLINA 27514

DETAILED GRADING PLAN
COMMUNITY CHURCH OF CHAPEL HILL
106 PUREFOY ROAD
CHAPEL HILL, N.C. 27514

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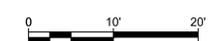
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PROJECT: CMCH1701
DATE: 2019-01-02
DRAWING SCALE: 1" = 10'
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APPROVED BY: PCB

CS1501
SHEET 08 OF 14

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SITE PLAN
106 PUREFOY ROAD
CHAPEL HILL, NORTH CAROLINA 27514

DETAILED UTILITY PLAN
COMMUNITY CHURCH OF CHAPEL HILL
106 PUREFOY ROAD
CHAPEL HILL, N.C. 27514

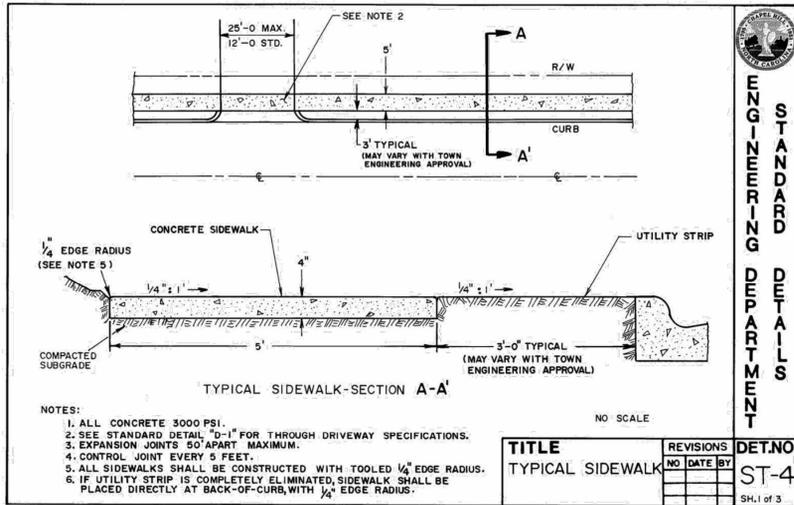
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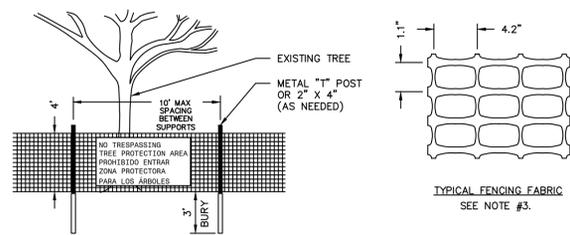
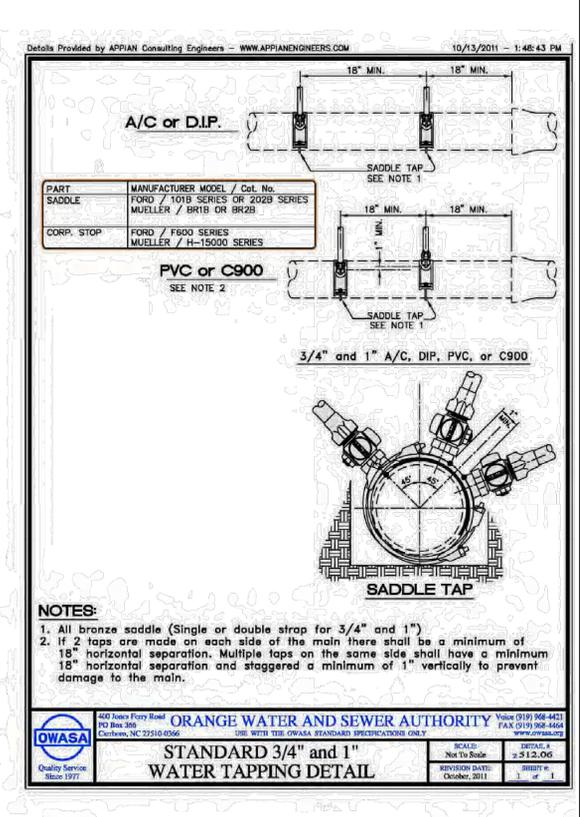
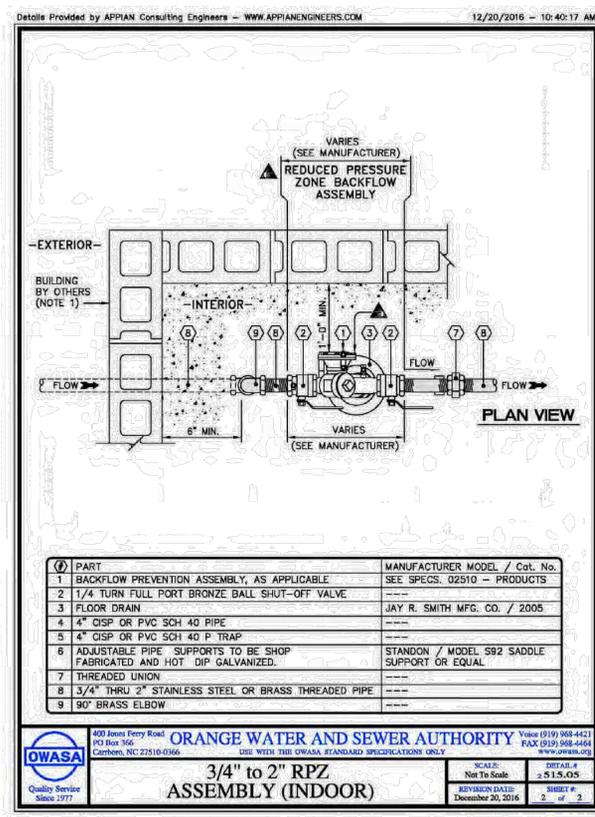
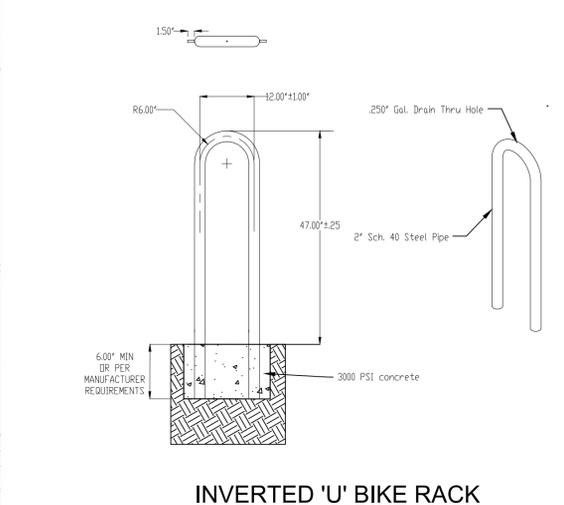
PROJECT: CMCH1701
DATE: 2019-01-02
DRAWING SCALE: 1" = 10'
DRAWN BY: CSB
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CS1701
SHEET 09 OF 14

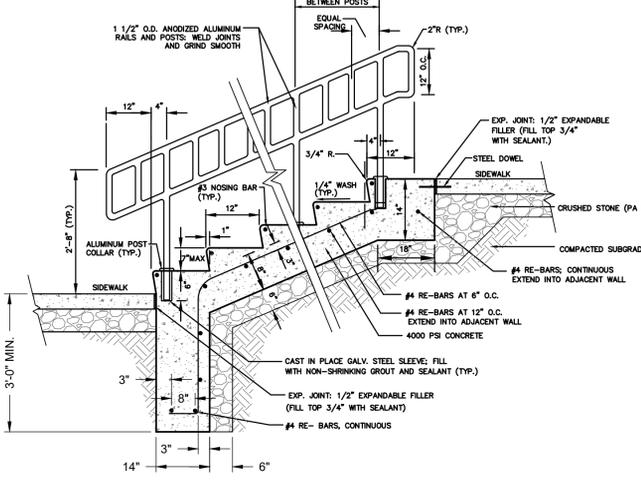
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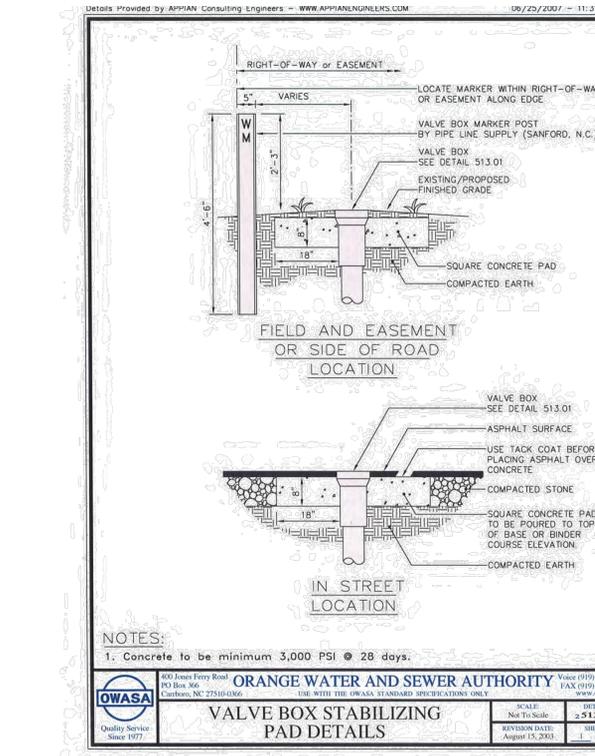
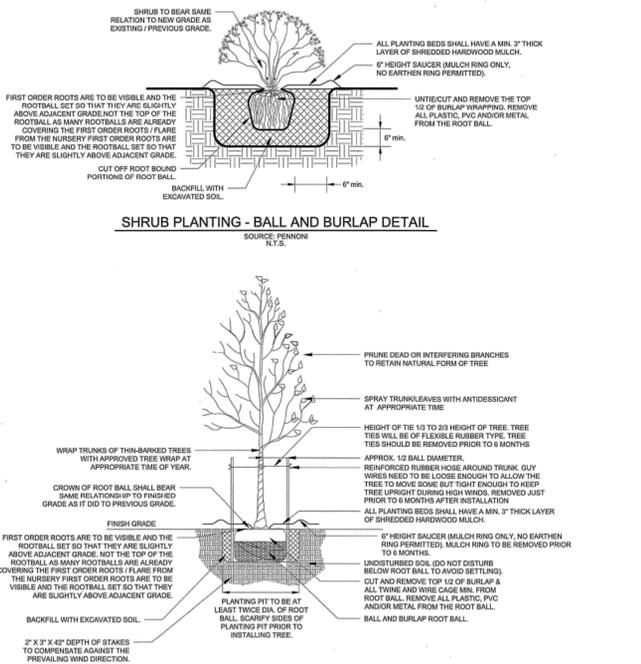
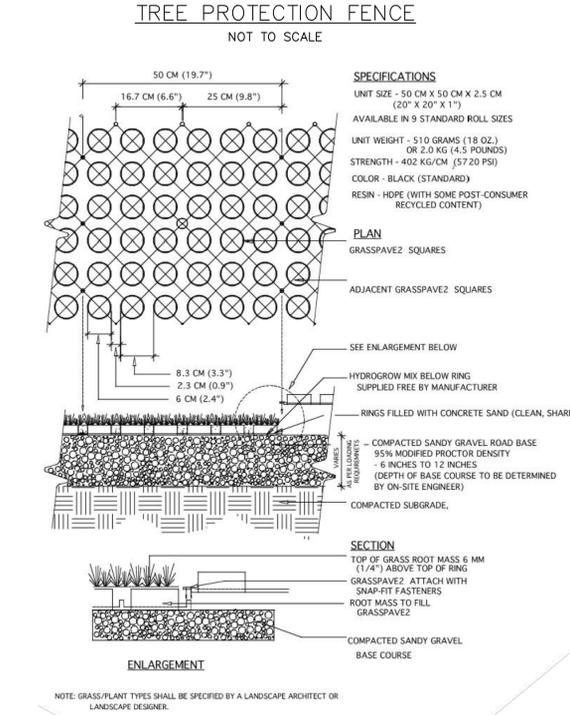
- NOTES:**
1. ALL CONCRETE 3000 PSI.
 2. SEE STANDARD DETAIL "D-1" FOR THROUGH DRIVEWAY SPECIFICATIONS.
 3. EXPANSION JOINTS 50' APART MAXIMUM.
 4. CONTROL JOINT EVERY 5 FEET.
 5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
 6. IF UTILITY STRIP IS COMPLETELY ELIMINATED, SIDEWALK SHALL BE PLACED DIRECTLY AT BACK-OF-CURB WITH 1/4" EDGE RADIUS.



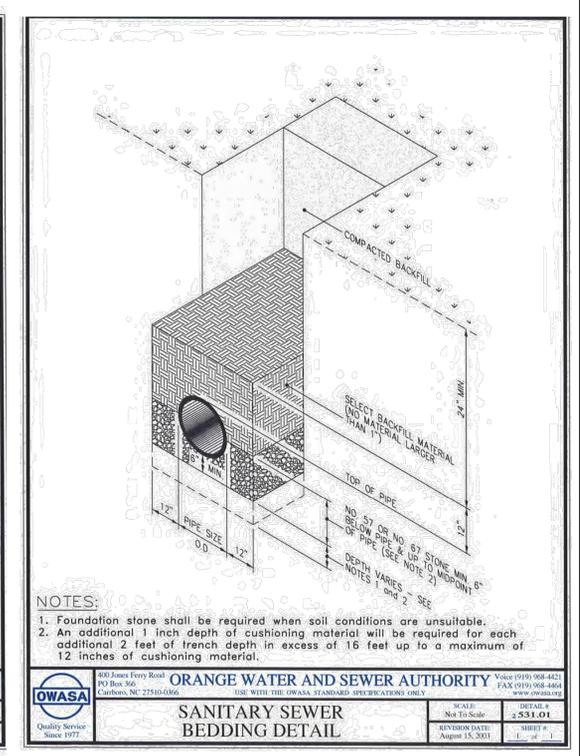
- NOTES:**
1. PLACE CONTINUOUS RUN OF FENCE MATERIAL AS SHOWN ON PLANS.
 2. ATTACH AT 10' MAXIMUM INTERVALS TO 2x4 POSTS. DO NOT STAPLE TO TREES.
 3. FENCE MATERIAL SHALL BE "TENAX" HIGH STRENGTH POLYMER GEOTEXTILE FABRIC BY TENAX CORPORATION, MORROW, GEORGIA, OR EQUAL, BRIGHT ORANGE COLOR.
 4. AT 100' O.C., PLACE SIGNS IN ENGLISH AND SPANISH: "NO TRESPASSING - TREE PROTECTION AREA" and "PROHIBIDO ENTRAR - ZONA PROTECTORA PARA LOS ARBOLES".
 5. A PRE-CONSTRUCTION CONFERENCE SHALL BE HELD WITH THE PROJECT MANAGER AND THE TOWN'S LANDSCAPE ARCHITECT BEFORE ANY SITE WORK BEGINS.
 6. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A FRONING TOOL.
 7. THE SOIL WITHIN THE PROTECTED AREA AROUND EXISTING TREES SHALL NOT BE DRIVEN UPON AFTER FENCE REMOVAL FOR THE PURPOSE OF INSTALLING LANDSCAPING.



NOTE: SUBMIT SHOP DRAWINGS FOR STEPS AND RAILING



NOTE: 1. Concrete to be minimum 3,000 PSI @ 28 days.



NOTE: 1. Foundation stone shall be required when soil conditions are unsuitable. 2. An additional 2 inch depth of cushioning material will be required for each additional 2 feet of trench depth in excess of 16 feet up to a maximum of 12 inches of cushioning material.

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Professional Engineer
 License # 083040
 Peter C. Pennington

SITE PLAN
 106 PUREFOY ROAD
 CHAPEL HILL, NORTH CAROLINA 27514

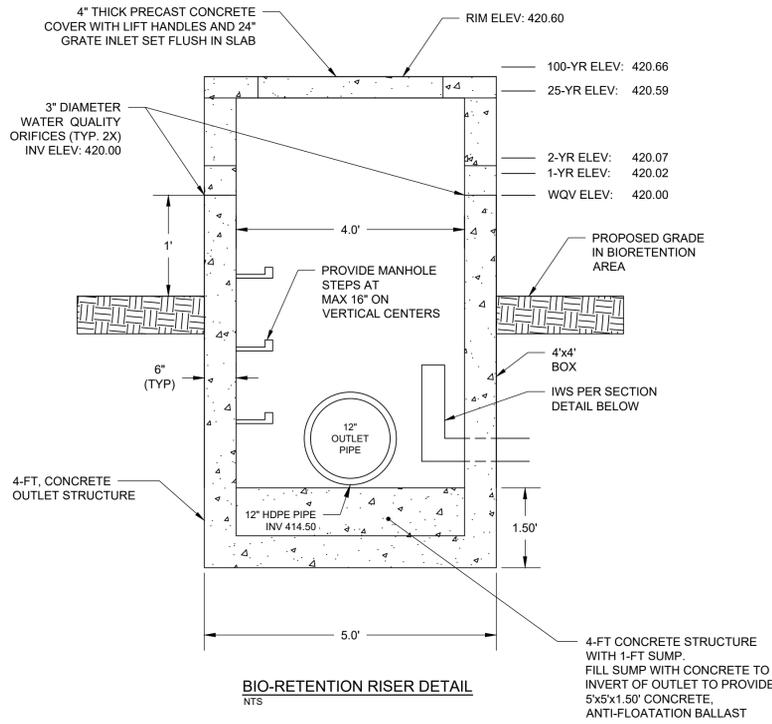
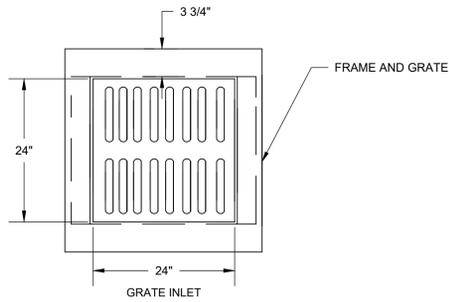
CONSTRUCTION DETAILS
 COMMUNITY CHURCH OF CHAPEL HILL
 106 PUREFOY ROAD
 CHAPEL HILL, N.C. 27514

NO.	DATE	REVISIONS	BY
1	2016-05-28	REVISED PER CHAPEL HILL COMMENTS	CSB

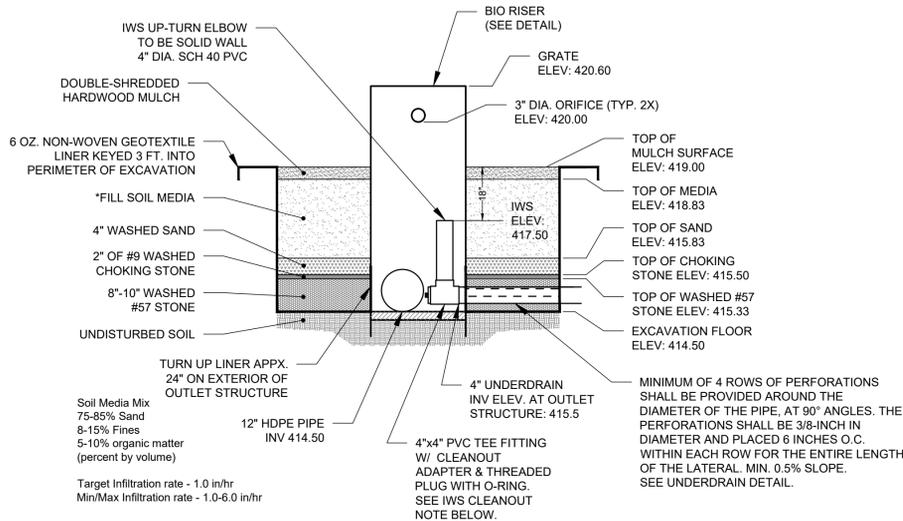
PROJECT: CMCH1701
 DATE: 2019-01-02
 DRAWING SCALE: N.T.S.
 DRAWN BY: CSB
 APPROVED BY: PCB

CS6001
 SHEET 10 OF 14

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BIO-RETENTION RISER DETAIL
NTS

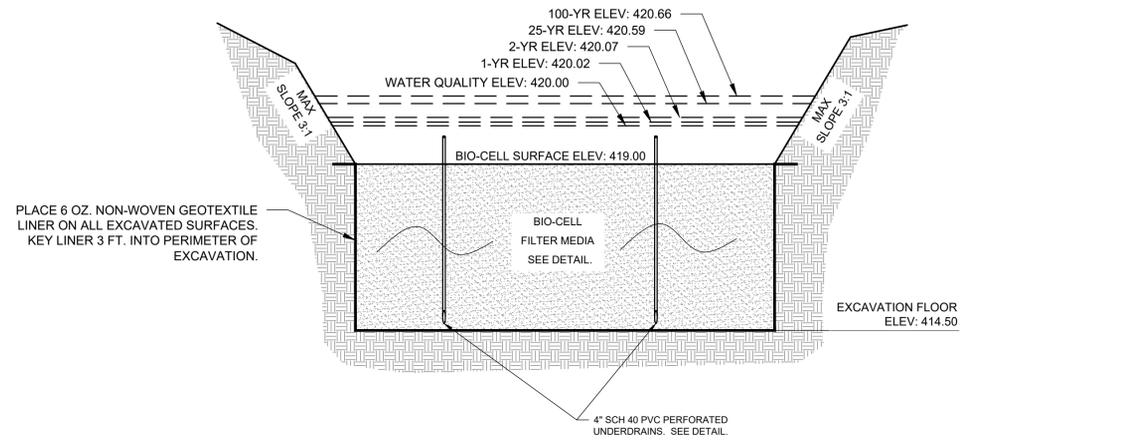


LINER NOTE:
PLACE AND SECURE 6 OZ. NON-WOVEN GEOTEXTILE FABRIC ON ALL EXPOSED SURFACES OF THE EXCAVATION. THE LINER SHALL BE KEYPED INTO THE SOIL ALONG THE ENTIRE PERIMETER OF THE BIO-CELL AS SHOWN IN THE DETAIL ABOVE.

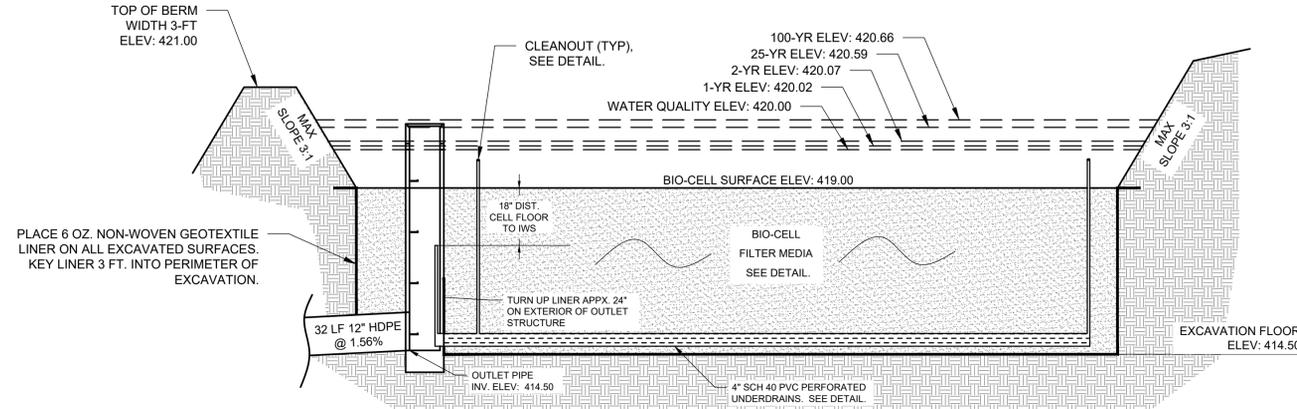
IWS CLEANOUT NOTE:
ALLOW IWS CLEANOUT ADAPTER TO REMAIN OPEN DURING ALL STAGES OF CONSTRUCTION. DO NOT INSTALL THREADED PLUG WITH O-RING UNTIL DIRECTED TO DO SO BY PROJECT ENGINEER.

WASHED #57 AND CHOKING STONE NOTE:
ANY STONE PLACED IN THE BIORETENTION CELL SHALL BE WASHED AND FREE OF SILT, FINES, AND ANY OTHER FINE DEBRIS. CONTACT PROJECT ENGINEER PRIOR TO INSTALLATION OF STONE AND UNDERDRAINS.

BIORETENTION TYPICAL SECTION
NTS



PLACE 6 OZ. NON-WOVEN GEOTEXTILE LINER ON ALL EXCAVATED SURFACES. KEY LINER 3 FT. INTO PERIMETER OF EXCAVATION.



PLACE 6 OZ. NON-WOVEN GEOTEXTILE LINER ON ALL EXCAVATED SURFACES. KEY LINER 3 FT. INTO PERIMETER OF EXCAVATION.

BIORETENTION CELL CROSS SECTIONS
NTS

BIORETENTION INSTALLATION NOTES:

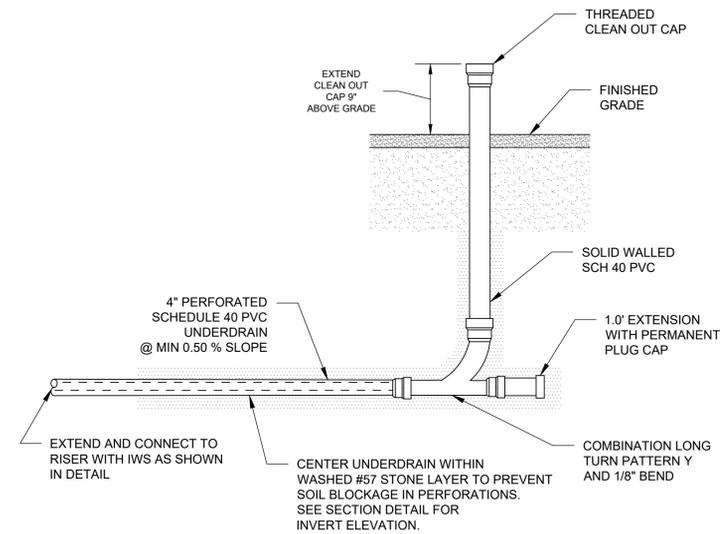
- AN AS-BUILT ACCEPTABLE TO THE TOWN OF CHAPEL HILL SHALL BE PROVIDED FOR THIS BIORETENTION CELL. ONLY COVER ITEMS AND PROCEED TO THE NEXT STEP IN THE CONSTRUCTION SEQUENCE AFTER INSPECTION AND APPROVAL FROM THE OWNER'S CERTIFYING AGENT OR THE TOWN INSPECTOR.
- BIORETENTION AREA TO BE COMPLETELY FREE OF SEDIMENT ACCUMULATED FROM TEMPORARY SEDIMENT TRAP PRIOR TO INSTALLATION OF BIORETENTION MEDIA. BIORETENTION FILTER MEDIA SHALL NOT BE INSTALLED UNTIL ENTIRE DRAINAGE AREA TO THE BIORETENTION AREA IS FULLY STABILIZED. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF MEDIA IF CONTAMINATION WITH SILT/FINES OCCURS. MINIMUM 85% STABILIZATION RATE PER SQUARE FOOTAGE OF DRAINAGE AREA. PLEASE REFER TO THE EROSION CONTROL PLAN AND EROSION CONTROL DETAILS FOR SEEDING AND STABILIZATION TIMEFRAMES.
- MULCH ALL DISTURBED AREAS WITH MULCH AS REQUIRED.
- SIDE SLOPES WITH VEGETATION SHALL NOT BE STEEPER THAN 3:1.

BIORETENTION DESIGN REQUIREMENTS

- REQUIRED STORAGE VOLUME - 256 CF
- MAXIMUM PONDING - 12"
- PROVIDED STORAGE VOLUME - 402 CF
- PROVIDED BOTTOM AREA - 234 SF
- PROVIDED AREA AT TOP OF RISER - 765 SF

BIORETENTION MEDIA NOTES

THE MEDIA SHALL BE A HOMOGENEOUS SOIL MIX ENGINEERED MEDIA BLEND WITH APPROXIMATE VOLUMES OF:
 A) 75 TO 85 PERCENT MEDIUM TO COURSE WASHED SAND (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, OR THE EQUIVALENT);
 B) 8 TO 15 PERCENT FINES (SILT AND CLAY); AND
 C) 5 TO 10 PERCENT ORGANIC MATTER (SUCH AS PINE BARK FINES).



TYPICAL UNDERDRAIN CLEANOUT
NTS

- A MINIMUM OF 4 ROWS OF PERFORATIONS SHALL BE PROVIDED AROUND THE DIAMETER OF THE PIPE, AT 90° ANGLES. THE PERFORATIONS SHALL BE 3/8-INCH IN DIAMETER AND PLACED 6 INCHES O.C. WITHIN EACH ROW FOR THE ENTIRE LENGTH OF THE LATERAL.

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SITE PLAN
106 PUREFOY ROAD
CHAPEL HILL, NORTH CAROLINA 27514

BIORETENTION BASIN DETAILS

COMMUNITY CHURCH OF CHAPEL HILL
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CHAPEL HILL, N.C. 27514

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