

**MCADAMS**

The John R. McAdams Company, Inc.  
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**CONTACT**

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**CLIENT**

TOWN OF CHAPEL HILL  
405 MARTIN LUTHER KING JR BLVD  
MORRISVILLE, NORTH CAROLINA 27560  
---  
PHONE: 919.968.2743

**PROJECT DIRECTORY**

# 828 MARTIN LUTHER KING JR BLVD

BOLINWOOD DRIVE  
CHAPEL HILL, NC 27514

SHEET INDEX	
C0.01	AREA MAP
C1.00	EXISTING CONDITIONS
C2.00	ARCHITECTURAL SITE PLAN

**CONCEPT PLANS**  
PROJECT NUMBER: SPEC-17116  
DATE: APRIL 1, 2022



**VICINITY MAP**  
1" = 500'



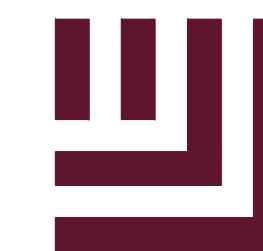
**REVISIONS**

NO.	DATE
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**CONCEPT PLANS FOR:**

828 MARTIN LUTHER KING JR BLVD  
BOLINWOOD DRIVE  
CHAPEL HILL, NC 27514  
PROJECT NUMBER: SPEC-17116





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**828 MARTIN LUTHER KING JR BLVD  
CONCEPT PLANS  
BOLINWOOD DRIVE  
CHAPEL HILL, NC 27514**

**REVISIONS**

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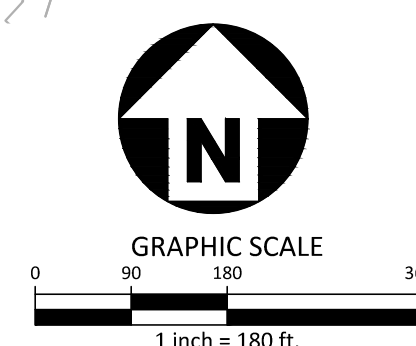
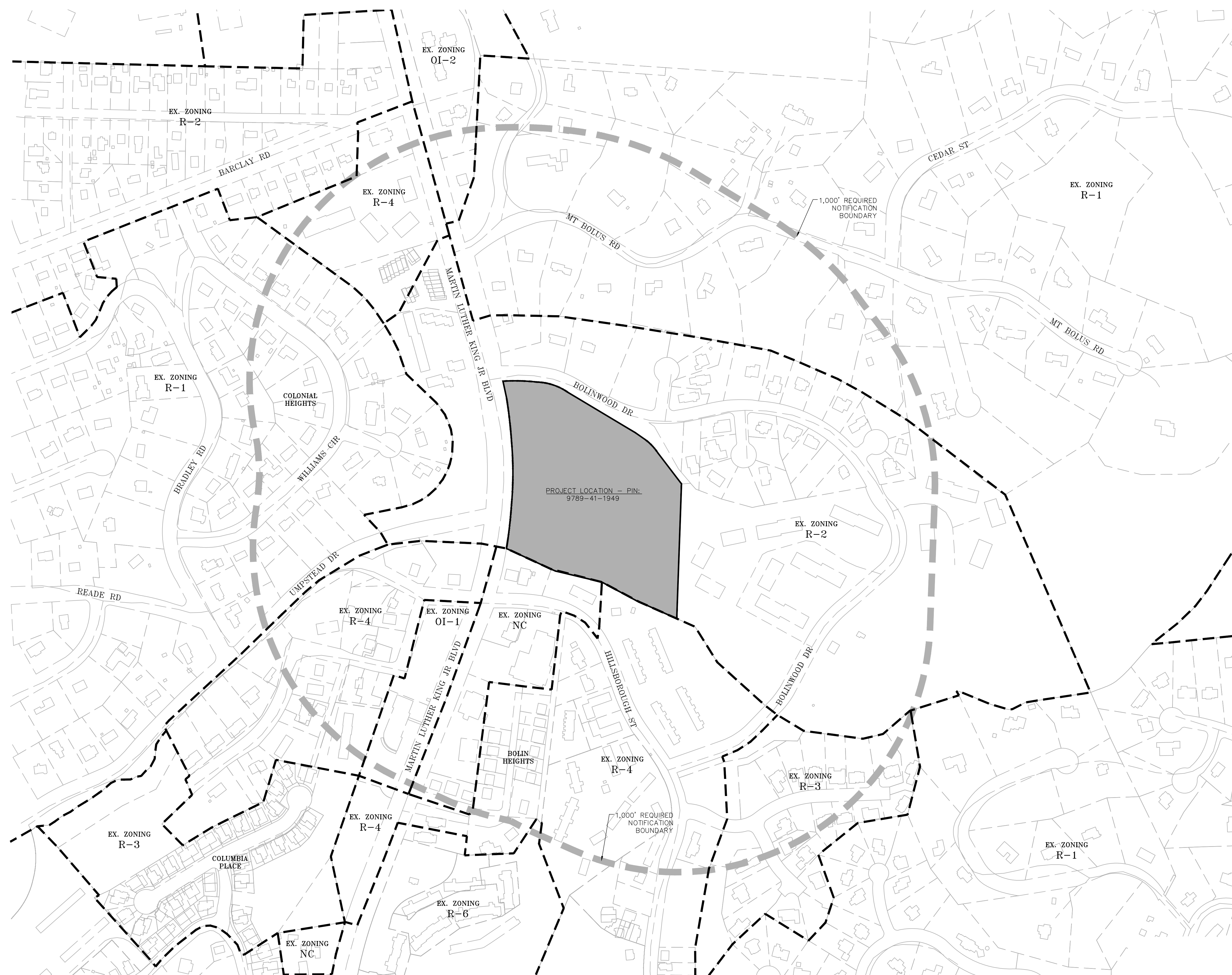
**PLAN INFORMATION**

PROJECT NO.	SPEC-17116
FILENAME	SPEC17116-AM1
CHECKED BY	SJC
DRAWN BY	WHM
SCALE	1" = 180'
DATE	04.01.2022

**SHEET**

**AREA MAP**

**C0.01**



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**LEGEND**

◎	SANITARY SEWER CLEANOUT	□	MAIL BOX
⊕	WATER VALVE	—	SIGN
⊙	WATER METER	⊕	WELL
⊕	FIRE HYDRANT	⊕	WATER MANHOLE
⊕	LIGHT POLE	—	STORM DRAIN PIPE
⊕	POWER POLE	—	OVERHEAD UTILITY LINES
⊕	CURB INLET	—	WATER LINE
		—	SANITARY SEWER LINE
		—	TELEPHONE LINE
		—	GAS LINE
		—	UNDERGROUND ELECTRIC
		—	UNDERGROUND TELEPHONE
		—X—X—	FENCE LINE



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 CONCEPT PLANS  
 BOLINWOOD DRIVE  
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NO.	DATE
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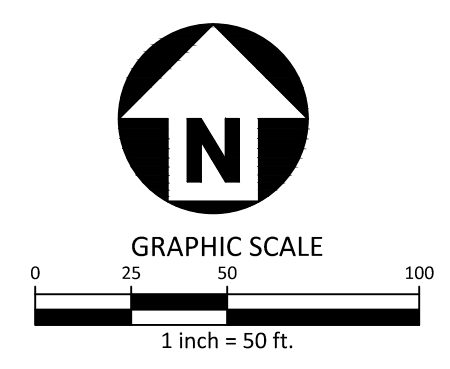
**PLAN INFORMATION**

PROJECT NO.	SPEC-17116
FILENAME	SPEC17116-XC1
CHECKED BY	SJC
DRAWN BY	WHM
SCALE	1" = 50'
DATE	04.01.2022

**SHEET**

**EXISTING CONDITIONS**

**C1.00**







**PROPOSED SITE PLAN**

- Market-rate Office Program Up to 80,000SF
- Market, workforce housing (175-250 Units)
- ~450 parking spaces
- Stormwater controls
- Expanding buildable area