

# CONDITIONAL ZONING APPLICATION



**TOWN OF CHAPEL HILL**  
**Planning Department**  
405 Martin Luther King Jr. Blvd.  
Chapel Hill, NC 27514  
phone (919) 969-5040 fax (919) 969-2014  
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9778-37-4748, 9778-37-6817 Date: 22 May 2020

## Section A: Project Information

Project Name: Rosemary Street Parking Deck  
Property Address: 125 E Rosemary St Zip Code: 27514  
Use Groups (A, B, and/or C): C Existing Zoning District: TC-2  
Project Description: Demolition of 276 space existing parking deck and construction of a 1,000 to 1,100 space deck

## Section B: Applicant, Owner, and/or Contract Purchaser Information

### Applicant Information (to whom correspondence will be mailed):

Name: Ballentine Associates, attn: George Retschle  
Address: 221 Providence Road  
City: Chapel Hill State: NC Zip Code: 27514  
Phone: (919) 929-0481 Email: georger@bapa.eng.pro

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 22 May 2020

### Owner/Contract Purchaser Information:

Owner

Contract Purchaser

Name: Grubb Management LLC c/o Grubb Properties, Inc  
Address: 113 Edinburgh South Drive Suite 120  
City: Cary State: NC Zip Code: 27511  
Phone: (919) 388-5774 Email: JDye@grubbproperties.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 22 May 2020

Click [here](#) for application submittal instructions.



# CONDITIONAL ZONING

TOWN OF CHAPEL HILL  
Planning and Development Service

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

**SIGNED CONDITIONS:** All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

**RECORDATION OF CONDITIONS:** After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



**Section A: Project Information**

**Use Type:** (check/list all that apply)

- Office/Institutional     Residential     Mixed-Use     Other: \_\_\_\_\_

**Overlay District:** (check all that apply)

- Historic District     Neighborhood Conservation District     Airport Hazard Zone

**Section B: Land Area**

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	73,097	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	7,310	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	80,407	sq. ft.

**Section C: Special Protection Areas, Land Disturbance, and Impervious Area**

**Special Protection Areas:** (check all those that apply)

- Jordan Buffer     Resource Conservation District     100 Year Floodplain     Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	79,000
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	66,548	66,548	64,496	64,496
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	82.76	82.76	80.21	80.21
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



**Section D: Dimensions**

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	1 +/- 200 sf enclosed	all	1,415 enclosed	1,415
Number of Floors	3	3	6-7	6-7
Recreational Space	n/a	n/a	n/a	n/a

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office		5000			
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other	200	1000 (Storage)			

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	0	9.5	8
	Interior (neighboring property lines)	0	0	0
	Solar (northern property line)	0 (TC-2), 11 (R-3), 8 (R-6)	10	0 (TC-2), 5 (R-3, R-6)
Height (maximum)	Primary	44	34	73
	Secondary	90	40	73
Streets	Frontages	12	191/165	356
	Widths	15	191/165	356



**PROJECT FACT SHEET**  
**TOWN OF CHAPEL HILL**  
 Planning and Development Services

**Section F: Adjoining or Connecting Streets and Sidewalks**

*Note: For approval of proposed street names, contact the Engineering Department.*

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Rosemary St	60	39	3	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

\*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

**Section G: Parking Information**

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			1,076
Handicap Spaces			28
Total Spaces			1,104
Loading Spaces			
Bicycle Spaces			40
Surface Type	conc parking deck		

**Section H: Landscape Buffers**

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North 1	15 & 20	6	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> Yes
North 2	15	varies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> Yes
south, east, west	0	0	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



**PROJECT FACT SHEET**  
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**Section I: Land Use Intensity**

Existing Zoning District:  
 Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
TC-2 CZ	1.97	n/a			n/a	158,402	n/a
<b>TOTAL</b>							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

**Section J: Utility Service**

Check all that apply:

<b>Water</b>	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
<b>Sewer</b>	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
<b>Electrical</b>	<input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
<b>Telephone</b>	<input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
<b>Solid Waste</b>	<input type="checkbox"/> Town	<input type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION  
SUBMITTAL REQUIREMENTS  
TOWN OF CHAPEL HILL  
Planning and Development Services**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at [planning@townofchapelhill.org](mailto:planning@townofchapelhill.org).

X	Application fee (including Engineering Review fee) ( <a href="#">refer to fee schedule</a> )	Amount Paid \$	8,585
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
Pend	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
n/a	Description of Public Art Proposal, if applicable		
X	Statement of Justification		
n/a	Response to Community Design Commission and Town Council Concept Plan comments		
n/a	Affordable Housing Proposal, if applicable		
X	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property ( <a href="#">see GIS notification tool</a> )		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	
X	Written Narrative describing the proposal, including proposed land uses		
n/a	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
n/a	Jurisdictional Wetland Determination – if applicable		
n/a	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
n/a	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
X	Reduced Site Plan Set (reduced to 8.5” x 11”)		

**Stormwater Impact Statement (1 copy to be submitted)**

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



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- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

**Plan Sets (10 copies to be submitted no larger than 24" x 36")**

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

**Cover Sheet**

- a) Include Project Name, Project fact information, PIN, and Design Team

**Area Map**

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

**Existing Conditions Plan**

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries





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**Detailed Site Plan**

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

**Stormwater Management Plan**

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

**Landscape Protection Plan**

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



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**Planting Plan**

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

**Steep Slope Plan**

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

**Grading and Erosion Control Plan**

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

**Streetscape Plan, if applicable**

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

**Solid Waste Plan**

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



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**Construction Management Plan**

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

**Energy Management Plan**

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

**Exterior Elevations**

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

## Rosemary Street Parking Deck – Conditional Zoning

### Project Narrative

The Rosemary Street Parking Deck will create much needed parking for visitors, businesses and workers in downtown Chapel Hill and will be an integral component of the revitalization of East Rosemary Street. This redevelopment strategy for East Rosemary Street will create space for hundreds of new technology workers and researchers in the heart of downtown. The new deck will also create an attractive new arrival experience for visitors to downtown and will improve the streetscape on the southern frontage of Rosemary Street.

The new parking deck will be located on the site of the existing 'CVS' parking deck combined with the surface parking lot immediately to the east. Combining these parcels will create a combined parcel of approximately 1.6 acres. Grubb Properties controls these properties and is proposing to exchange these parcels with the Town of Chapel Hill for the land currently occupied by the Wallace Parking deck, a parcel of 1.49 acres which would be developed into a new research facility with labs and office space for business and institutional tenants.

The existing parking deck is a three-level structure and parks 276 cars. It was built over 40 years ago and has reached the end of its service life. The new parking deck will be a seven-level structure and will park approximately 1,100 cars.

In addition to new parking spaces the Rosemary Street frontage will be improved by widening the sidewalks to incorporate a 'retail porch' that will provide space for small business, artisans and food vendors to operate on an economical, short term basis.

### Statement of Justification – Conditional Zoning

This is a statement of justification to support the request for Conditional Zoning for 125 East Rosemary Street and the parcel immediately to the east. Both parcels are currently within the TC-2 zoning district. The Conditional Zoning is being requested to facilitate an open dialogue with the public and negotiations between the applicant and the Town of Chapel Hill.

In order to establish and maintain sound, stable, and desirable development within the planning jurisdiction of the Town, it is intended that the Land Use Management Ordinance (as stated in Section 4.4) shall not be amended except:

- 1) To correct a manifest error in the chapter; or
- 2) Because of changed or changing conditions in a particular area or in the jurisdiction generally; or
- 3) To achieve the purposes of the Comprehensive Plan.

Below is the applicant's evaluation of this application based on these three findings.

- 1) **Finding #1:** The proposed zoning amendment is necessary to correct a manifest error.

*Response: We do not believe there is error in the Town's Zoning Atlas Amendment related to the project site.*

- 2) **Finding #2:** The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.

*Response: We believe that the conditions have changed in the following respect: In recent years downtown Chapel Hill has undergone a loss of jobs and businesses which has adversely affected the economic vitality of Chapel Hill. One component of this problem is the lack of centralized public parking to support business and visitors, which this project addresses.*

**3) Finding #3:** The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.

*Response: The proposed rezoning would contribute to the following elements of the Comprehensive Plan:*

*Theme 2: Community Prosperity and Engagement*

- Balance and sustain finances by increasing revenues and decreasing expenses (CPE.1).
- Foster success of local businesses (CPE.2).

*Theme 3: Getting Around*

- A connected community that links neighborhoods, businesses and schools through the provision of greenways, sidewalks, bike facilities and public transportation (GA.2).

*Theme 4: Good Places, New Spaces*

- A vibrant, diverse, pedestrian-friendly, and accessible downtown with opportunities for growing office, retail, residential and cultural development and activity (GPNS.2).
- A community that welcomes and supports change and creativity (GPNS.6).

*Theme 6: Town and Gown Collaboration*

- Take full advantage of ideas and resources to create a thriving economy and incorporate the utilize the intellectual capital that the University and Town create (TGC.1).

**Modifications of Regulations:**

**Building Height, Setback** - LUMO Table 3.8-1 Dimensional Matrix limits the maximum building height at the setback line in the TC-2 zoning district to 44 feet. In order to provide the desired number of parking spaces, the deck will need to be 7 levels and will exceed the 44 feet maximum allowed. The applicant therefore requests that Council approve a modification approving a building height at the setback line of 73 feet.

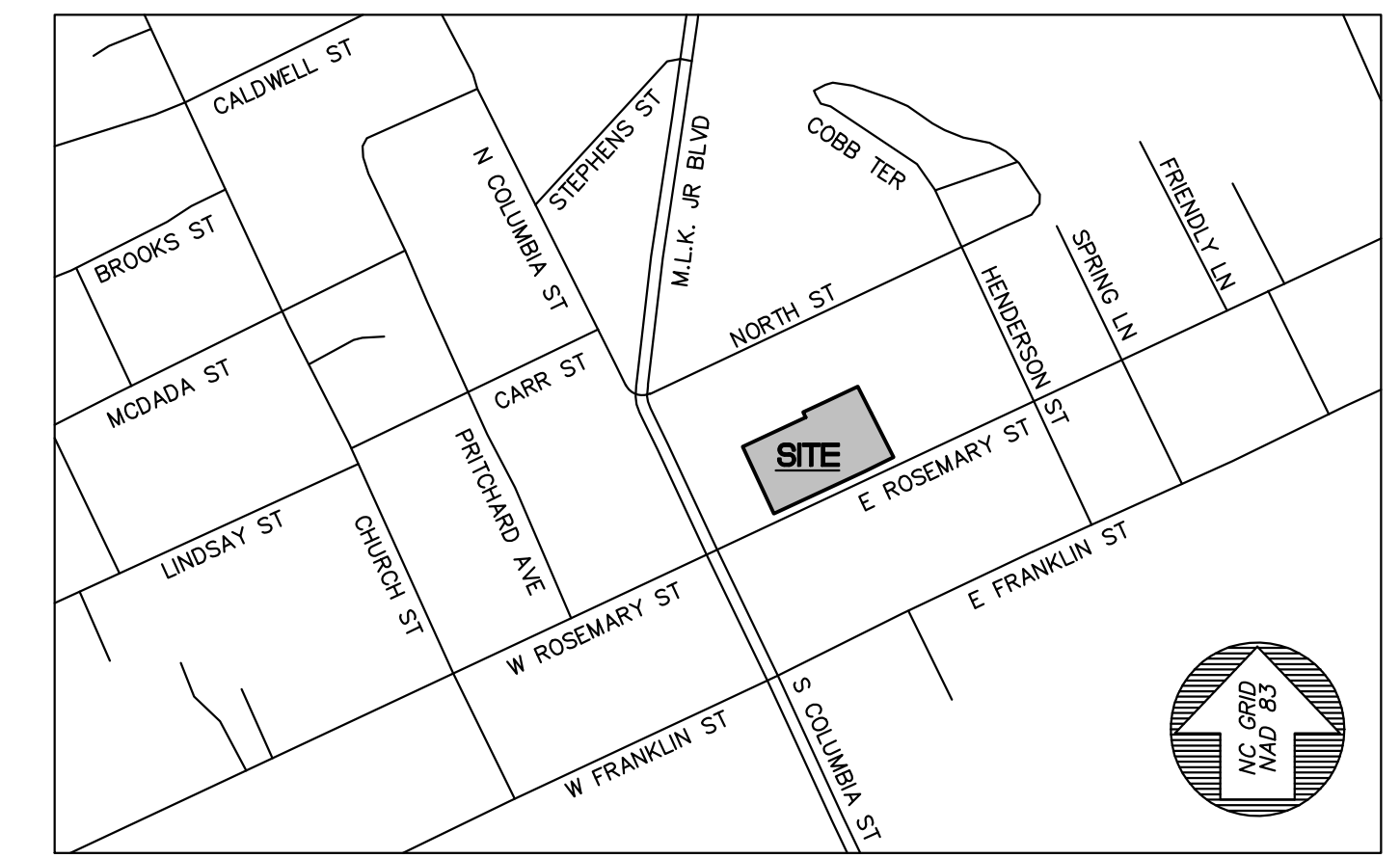
LUMO section 3.8.4 requires a minimum solar setback for the land adjacent to the residential districts R-3 and R-6 of 11 feet and 8 feet, respectively. In order to provide the desired number of parking stalls and drive aisles, the deck will need to be within the minimum solar setback. The applicant therefore requests that Council approve a modification reducing the minimum solar setback to 5 feet for the land adjacent to the residential districts at the north end of the property.

# CONDITIONAL ZONING DRAWINGS

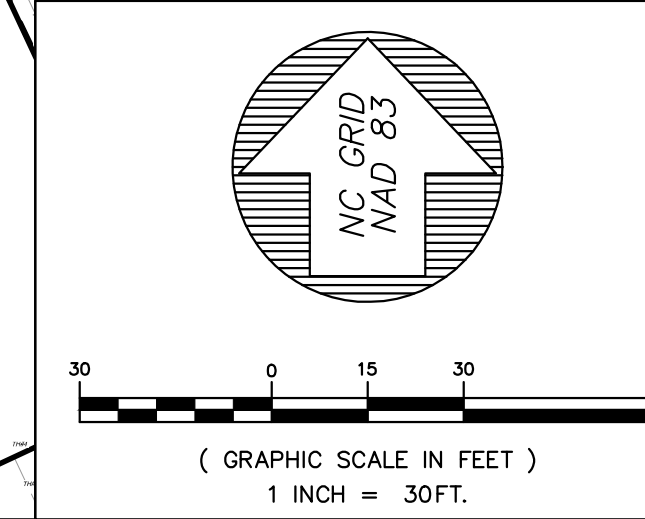
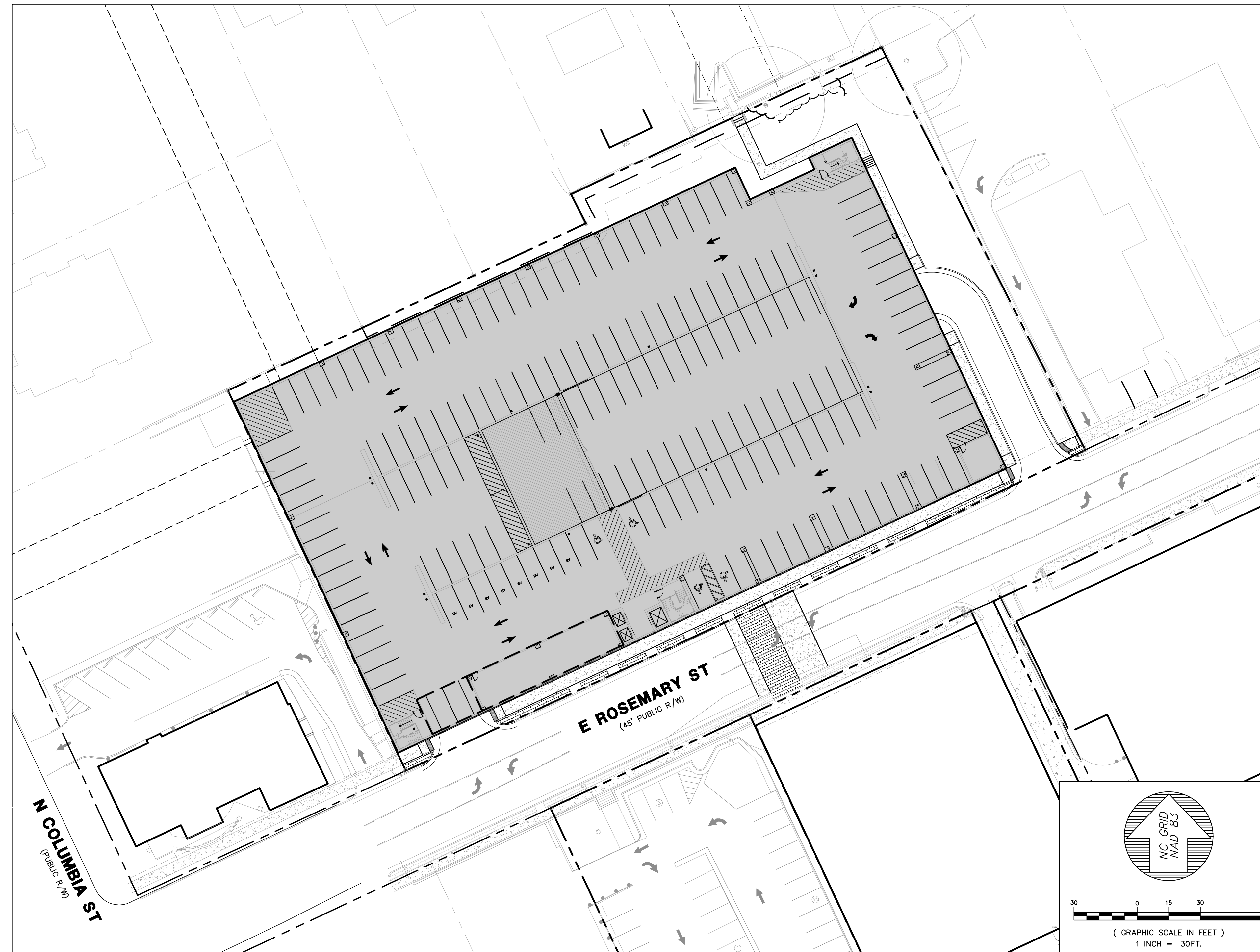
## FOR

# ROSEMARY STREET PARKING DECK

### CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA



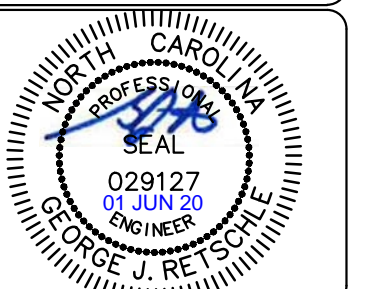
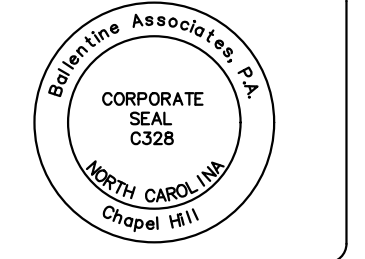
**VICINITY MAP**  
SCALE: 1"=500'



SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER	01 JUN 20
C0001	AREA MAP	22 MAY 20
C0101	EXISTING CONDITIONS, LANDSCAPE PROTECTION & DEMOLITION PLAN	22 MAY 20
C1001	SITE PLAN	01 JUN 20
C1200	GRADING & UTILITY PLAN	01 JUN 20
C1301	PRELIMINARY EROSION CONTROL PLAN	22 MAY 20
L01-01	LANDSCAPE PLANS	01 JUN 20
L01-02	LANDSCAPE DETAILS	22 MAY 20
A10-01	OVERALL FLOOR PLAN - P1	22 MAY 20
A10-02	OVERALL FLOOR PLAN - P2	22 MAY 20
A10-03	OVERALL FLOOR PLAN - P3	22 MAY 20
A10-04	OVERALL FLOOR PLAN - P4	22 MAY 20
A10-05	OVERALL FLOOR PLAN - P5	22 MAY 20
A10-06	OVERALL FLOOR PLAN - P6	22 MAY 20
A10-07	OVERALL FLOOR PLAN - P7	22 MAY 20
A10-08	OVERALL FLOOR PLAN - ROOF	22 MAY 20
A20-01	EXTERIOR ELEVATIONS	22 MAY 20

**BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 929 - 0481

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SUBJECT TO LEGAL ACTION.



DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
01 JUN 20	REVISED TREE WELL SPACING

**OWNER INFORMATION**  
GRUBB PROPERTIES, INC.  
4500 CAMERON VALLEY PKWY.  
SUITE 350  
CHARLOTTE, NC 28211  
**OWNER'S REPRESENTATIVE:**  
JOE DYE  
(919) 388-5774  
FAX (919) 461-3939  
EMAIL: [jdye@grubbp.com](mailto:jdye@grubbp.com)

DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

**ROSEMARY STREET PARKING DECK**  
**125 E. ROSEMARY ST**  
CHAPEL HILL, NORTH CAROLINA  
**CONDITIONAL ZONING DRAWINGS**

ARCHITECTURE:  
**Perkins&Will**  
411 W CHAPEL HILL STREET, SUITE 200  
DURHAM, NC 27701  
(919) 433-5300

DEVELOPER:  
 **GRUBB PROPERTIES**  
*People who care. Places that matter.*  
113 EDINBURGH SOUTH DR, SUITE 120  
CARY, NC 27511  
(919) 388-5772

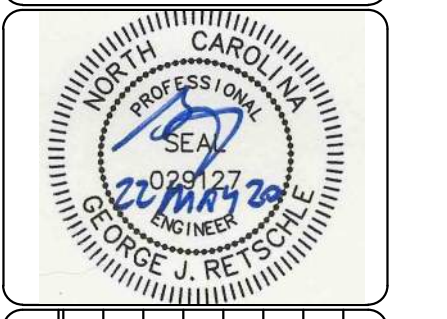
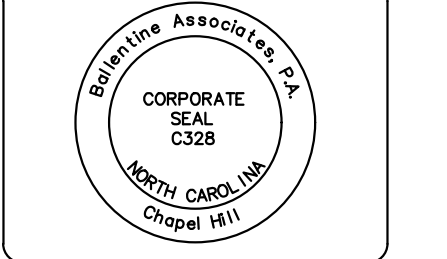
SITE PLANNING / CIVIL ENGINEERING:  
 **BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 929 - 0481 (919) 489 - 4789

JOB #: 118038.01  
DATE: 02 MAR 20  
SCALE: AS NOTED  
DRAWN BY: J.B.M.  
REVIEWED BY: G.J.R.

**SHEET**  
**G0001**

REVIEW DRAWING  
NOT FOR CONSTRUCTION

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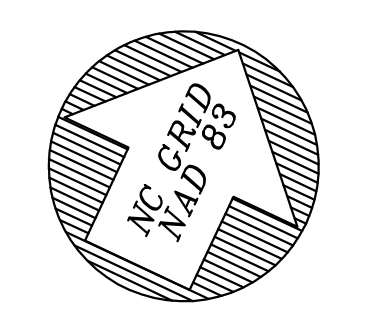
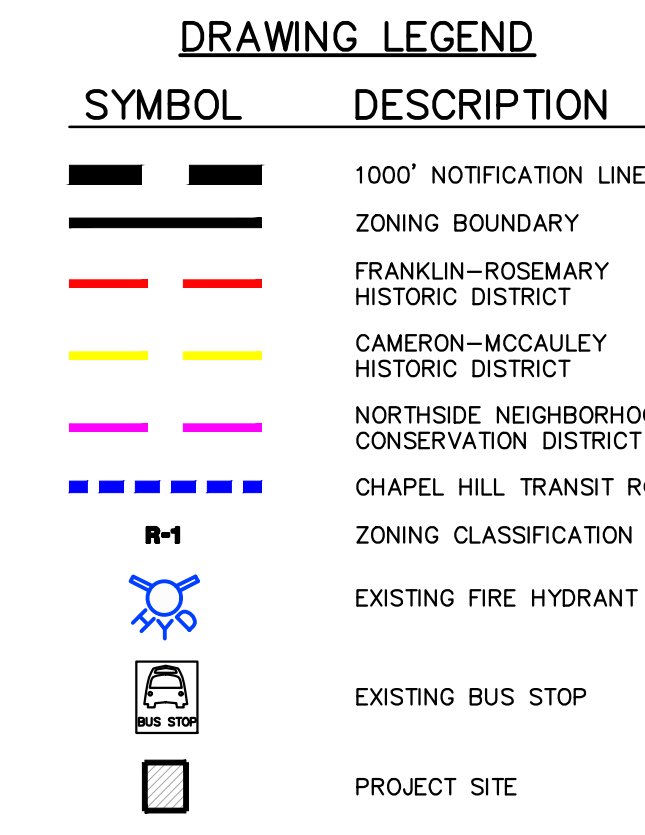
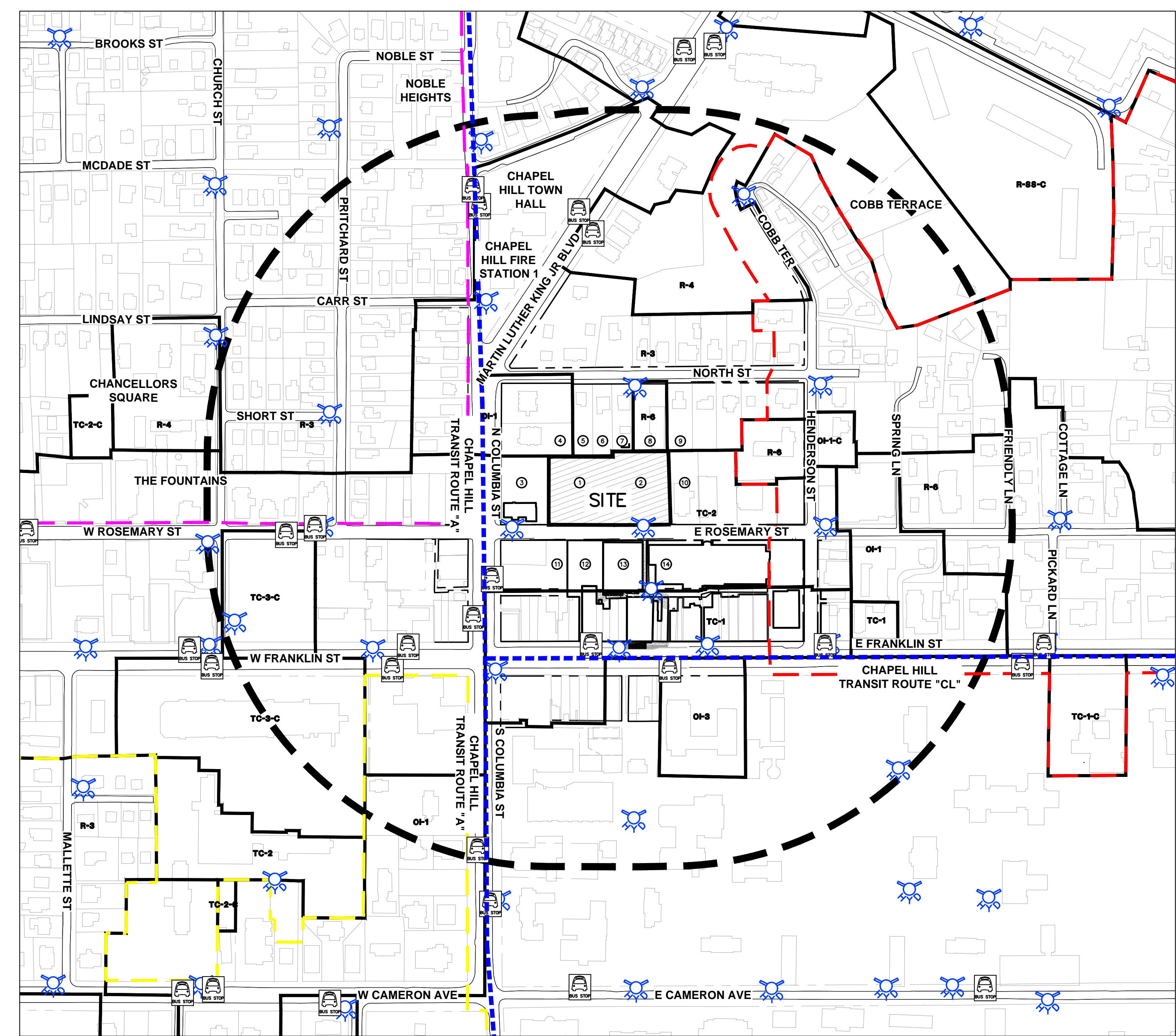


**SITE PARCEL DATA**

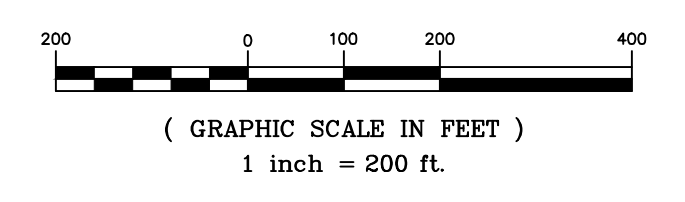
LABEL #	OWNER	PIN #	ZONING	DB./PG.	PARCEL ACREAGE	CURRENT LAND USE
1	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-4748	TC-2	6603/282	0.87	PARKING LOT
2	INVESTORS TITLE COMPANY	9788-37-6817	TC-2	778/87	0.81	PARKING LOT

**ADJOINER PARCEL DATA**

LABEL #	OWNER(S)	PIN #	ZONING	CURRENT LAND USE
3	CENTURA BANK	9788-37-2791	TC-2	BANK
4	BELL FAMILY PROPERTIES LLC	9788-37-2875	OI-1	OFFICE
5	SHARON M KIRK & WILLIAM E KIRK	9788-37-3947	R-3	RESIDENTIAL
6	SHARON M KIRK & WILLIAM E KIRK	9788-37-4909	R-3	RESIDENTIAL
7	CIDER 5 LLC	9788-38-4062	R-3	RESIDENTIAL
8	ZETA TAU ALPHA FRATERNITY HOUSING CORPORATION	9788-38-5035	R-6	FRATERNITY DWELLING
9	126 NORTH ST UNIT B & 126 NORTH ST UNIT A	9788-38-6019	R-3	RESIDENTIAL
10	BRANCH BANKING AND TRUST CO	9788-37-7911	TC-2	COLLEGE
11	TOWN OF CHAPEL HILL	9788-37-4469	TC-2	PARKING LOT
12	TOWN OF CHAPEL HILL	9788-37-5557	TC-2	PARKING LOT
13	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-7517	TC-2	OFFICE
14	MKELL PROPERTIES LLC	9788-37-5461	TC-1	PARKING LOT



**AREA MAP**



**REVIEW DRAWING NOT FOR CONSTRUCTION**

DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3

**OWNER INFORMATION**  
 DBBB PROPERTIES, INC.  
 4500 CAMERON VALLEY PKWY.  
 SUITE 350  
 CHARLOTTE, NC 28211  
**OWNER'S REPRESENTATIVE:**  
 JOE DYE  
 (919) 388-5774  
 FAX (919) 461-3939  
 EMAIL: jodye@dbbb.com

**ROSEMARY STREET PARKING DECK**  
**125 E. ROSEMARY ST**  
 CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**

JOB #: 118038.01  
 DATE: 02 MAR 20  
 SCALE: AS NOTED  
 DRAWN BY: J.B.M.  
 REVIEWED BY: G.J.R.

**SHEET**  
**C0001**

**DEMOLITION NOTES**

- PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE NORTH CAROLINA 811 (1-800-832-4849) LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED. AND IF SO, CONTRACTOR SHALL PROVIDE ASBESTOS REMEDIATION IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
- ANY EXISTING WATER AND SEWER SERVICES AND CLEANOUTS TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH OWASA REQUIREMENTS.
- ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVICING THE STRUCTURE TO BE DEMOLISHED SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S STANDARDS & SPECIFICATIONS.
- PRIOR TO ANY LAND DISTURBANCE, DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH:
  - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
  - TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-5114
  - TOWN OF CHAPEL HILL STORMWATER DIVISION: (919) 969-7246

- ORANGE COUNTY SOLID WASTE STAFF: (919) 968-2788
  - ORANGE COUNTY EROSION CONTROL OFFICER: (919) 245-2587
- IN ALL AREAS WHERE IMPERVIOUS COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PERVIOUS COVER, THE FOLLOWING STEPS SHALL BE TAKEN:
    - REMOVE ALL ASPHALT CONCRETE, BEDDING MATERIALS, GRAVEL, DEBRIS, BUILDING MATERIALS, ETC.
    - RIP AND KERATE TO A DEPTH OF 18 INCHES BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED. IN THAT CASE, LIMIT RIPPING TO A DEPTH OF 6".
    - PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.
  - DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
  - DURING CONSTRUCTION, FIREFIGHTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

**TREE PROTECTION NOTES**

- TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND INSPECTED BY THE TOWN PRIOR TO ANY DEMOLITION ACTIVITY OR LAND DISTURBANCE.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES SHALL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

**OCSW CONSTRUCTION WASTE REQUIREMENTS**

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

**NOTES**

- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES, KCI ASSOCIATES AND ORANGE COUNTY GIS DATA.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-832-4849). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL STEEP SLOPES AREAS ARE EITHER LESS THAN 400 SQ FT OR ARE ASSOCIATED WITH ROADWAY, PARKING LOTS OR DRIVEWAYS WHICH ARE EXCLUDED FROM ANY SPECIAL CONSTRUCTION TECHNIQUES.

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
SD	SD	SD	STORM DRAIN LINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
UE	UE	UE	UNDERGROUND ELECTRIC LINE
OHU	OHU	OHU	OVERHEAD ELECTRIC LINE
G	G	G	GAS LINE
FO	FO	FO	FIBER OPTIC LINE
---	---	---	TREE PROTECTION FENCE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	SOIL BOUNDARY
AuC	Ur		APPLING-URBAN LAND COMPLEX
U			URBAN LAND
B			BORCHOLE
+			EXISTING IRON PIPE
+			SIGN
+			CATCH BASIN
+			DROP INLET
+			WATER VALVE
+			FIRE HYDRANT
+			SANITARY SEWER MANHOLE
+			SANITARY SEWER CLEANOUT
+			POWER POLE
+			LIGHT POLE
+			ELECTRIC BOX
+			HVAC UNIT
+			GAS METER
+			GAS VALVE
+			TELEPHONE VAULT
+			FIBER OPTIC MARKER
+			DECIDUOUS TREE
+			CONFEROUS TREE
+			PAVEMENT/STRUCTURES
+			CONCRETE SIDEWALK
+			BRICK SIDEWALK

**TREE SUMMARY**

	RARE	SPECIMEN	TOTAL
EXISTING TREES	3	3	6
TREES TO BE REMOVED	2	3	5

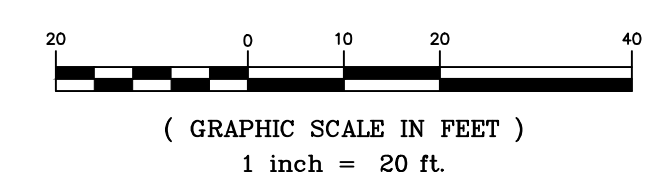
**TREE LEGEND:**

- RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN DECIDUOUS TREE TO BE REMOVED
- RARE CONFEROUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN CONFEROUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN CONFEROUS TREE TO BE REMOVED

**BOREHOLES**

BH #	DESCRIPTION	HUB ELEV.	TOP ELEV. OF UTILITY
#1	6" DIP WDM	465.83	459.87
#2	2" WSIGM	466.23	464.28
#3	36"X18" CONC. DUCT BANK	466.29	465.22
#4	6" CIPWDM	466.07	462.73
#5	18"X18" DUCT BANK	467.43	463.44
#6	1" COPPER WATER	467.15	464.34
#7	36"X18" CONC. DUCT BANK	467.11	464.91
#7A	ELECTELE	466.98	464.78
#8	3" WSIGM	467.34	465.16
#9	6" CIPWDM	467.48	463.67
#10	12" ACWDM	467.25	461.79
#11	3" WSIGM	465.21	463.09
#12	36"X18" CONC. DUCT BANK	465.27	463.93
#13	36"X18" CONC. DUCT BANK	464.95	462.96

**EXISTING CONDITIONS, LANDSCAPE PROTECTION & DEMOLITION PLAN**



**REVISION DRAWING NOT FOR CONSTRUCTION**

**BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 928-0461

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REVISIONS

DATE	DESCRIPTION
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS

ISSUED

DATE	CONDITIONAL ZONING SUBMITTAL #1	CONDITIONAL ZONING SUBMITTAL #2	CONDITIONAL ZONING SUBMITTAL #3
02 MAR 20			
08 APR 20			
22 MAY 20			

OWNER INFORMATION  
B2B8 PROPERTIES, INC.  
4500 CAMERON VALLEY PKWY.  
SUITE 350  
CHARLOTTE, NC 28211  
OWNER'S REPRESENTATIVE:  
JOE DYE  
(919) 388-5774  
FAX (919) 461-3939  
joe.dye@b2b8properties.com

**ROSEMARY STREET PARKING DECK**  
**125 E. ROSEMARY ST**  
CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**

JOB # 118038.01  
DATE: 02 MAR 20  
SCALE: AS NOTED  
DRAWN BY: J.B.M.  
REVIEWED BY: G.J.R.

**SHEET C0101**



NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATION.
2. THE TOWN OF CHAPEL HILL, ITS' ASSIGNS OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
3. PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
4. ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.
5. ALL WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.

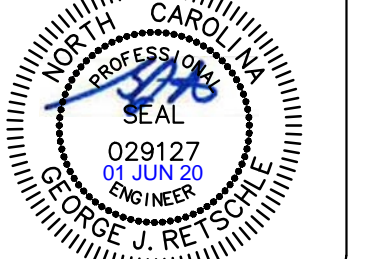
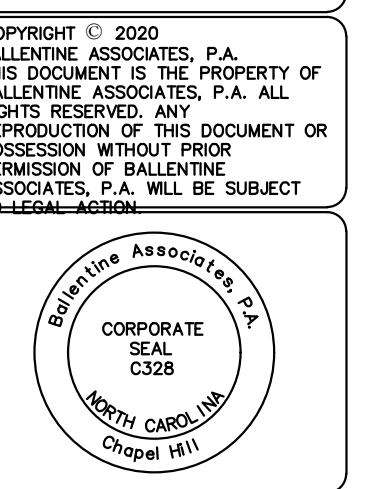
SITE DATA

APPLICANT:		GRUBB PROPERTIES, INC		
PROPERTY OWNER:		FRANKLIN OFFICE CHAPEL HILL, LLC & INVESTORS TITLE COMPANY		
PROPERTY ADDRESS:		125 EAST ROSEMARY STREET, CHAPEL HILL, NC		
PIN NUMBERS:		9788-37-4748 & 9788-37-6917		
DEED REFERENCES:		DB/PG: 6603/282 & 778/87		
EXISTING ZONING:		TC-2		
PROPOSED ZONING:		TC-2-CZ		
BUILDING SETBACK SUMMARY:		TC-2-CZ	ADJACENT RESIDENTIAL (R-3)	
MINIMUM STREET SETBACK	0 FT.	N/A	N/A	
MINIMUM INTERIOR SETBACK	0 FT.	N/A	N/A	
MINIMUM SOLAR SETBACK	0 FT.	11 FT.	8 FT.	
PROPOSED SOLAR SETBACK	0 FT.	5 FT.	5 FT.	
EXISTING USE:		PARKING DECK/SURFACE PARKING		
PROPOSED USE:		PARKING DECK/OFFICE		
NET LAND AREA:		73,097 SF (1.68 AC)		
CREDITED STREET AREA:		7,310 SF (0.17 AC)		
GROSS LAND AREA:		80,407 SF (1.85 AC)		
VEHICLE PARKING SUMMARY:		REGULAR	ACCESSIBLE	TOTAL
REQUIRED	N/A	22 (INCL. 4 VAN)	N/A	
PROPOSED	1,076	28 (INCL. 4 VAN)	1,104	
BICYCLE PARKING SUMMARY:				
REQUIRED		6 SPACES		
PROPOSED		40 SPACES		
FLOOR AREA SUMMARY:				
MAX. FLOOR AREA	1.97 (FAR) X 80,407 SF (GLA) = 158,402 SF			
PROPOSED FLOOR AREA	6,000 SF (OFFICE & MECHANICAL SPACE, MAX.)			
IMPERVIOUS SUMMARY:				
EXISTING	66,548 SF (1.528 AC)			
POST DEVELOPED - CURRENT SITE PLAN	64,412 SF (1.479 AC)			
POST DEVELOPED - ADDITIONAL ALLOWANCE	1,088 SF (0.025 AC)			
TOTAL POST-DEVELOPED INCLUDING ALLOWANCE	65,500 SF (1.504 AC)			
NET IMPERVIOUS REDUCTION	-1,048 SF (0.024 AC)			
LAND DISTURBANCE SUMMARY:				
ON-SITE	73,000 SF			
OFF-SITE	6,000 SF			
TOTAL	79,000 SF			

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
---	---	SETBACK LINE
---	---	FENCE LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD

**BALLENTINE ASSOCIATES, P.A.**  
 221 PROVIDENCE ROAD,  
 CHAPEL HILL, NC 27514  
 (919) 928-0461



DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
01 JUN 20	REVISED TREE WELL SPACING

DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

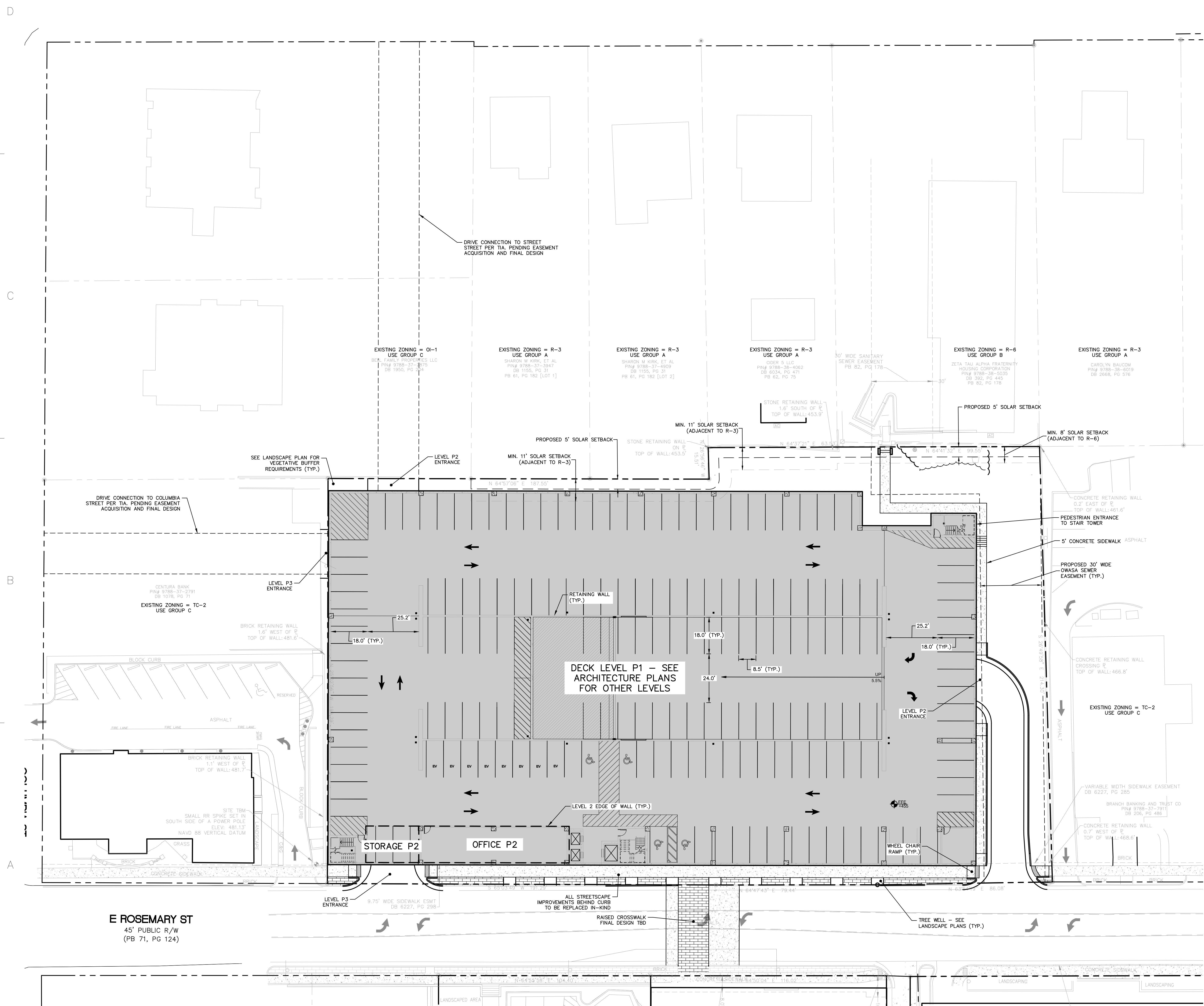
**OWNER INFORMATION**  
 GRUBB PROPERTIES, INC  
 4500 CAMERON VALLEY PKWY.  
 SUITE 350  
 CHARLOTTE, NC 28211  
 OWNER'S REPRESENTATIVE:  
 JOE DYE  
 (919) 388-5774  
 FAX (919) 461-3939  
 EMAIL: jodye@grubbs.com

DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
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22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

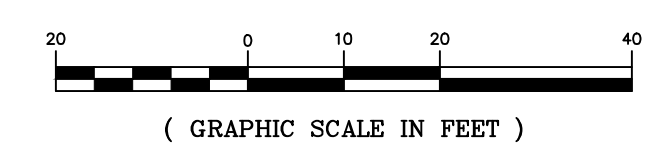
**ROSEMARY STREET PARKING DECK**  
**125 E. ROSEMARY ST**  
 CHAPEL HILL, NORTH CAROLINA  
**CONDITIONAL ZONING DRAWINGS**

JOB #: 118038.01  
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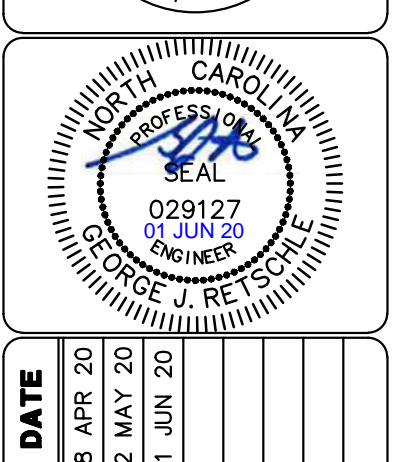
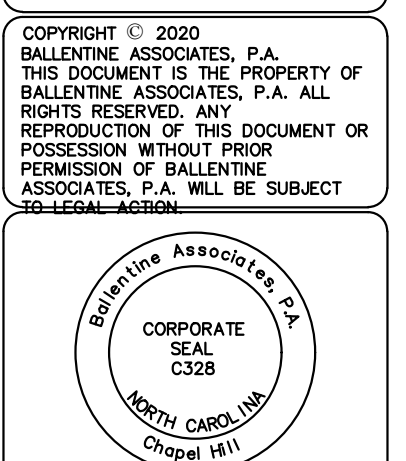
**SHEET**  
**C1001**



SITE PLAN



**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**



DATE	REVISIONS
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22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
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01 JUN 20	PLANNING COMMISSION MEETING

OWNER INFORMATION	
ROSEMARY PROPERTIES, INC.	
4500 CAMERON VALLEY PKWY.	
SUITE 350	
CHARLOTTE, NC 28211	
OWNER'S REPRESENTATIVE:	
JOE DYE	(919) 388-5774
FAX	(919) 461-3939
EMAIL	jdye@rosemaryproperties.com

**ROSEMARY STREET PARKING DECK**  
**125 E. ROSEMARY ST**  
 CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**

JOB #: 118038.01  
 DATE: 02 MAR 20  
 SCALE: AS NOTED  
 DRAWN BY: J.B.M.  
 REVIEWED BY: G.J.R.

**SHEET**  
**C1201**

**GRADING AND STORM DRAINAGE NOTES**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE AISLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- INSTALL 1/8" 30" RCP AND CB TO DIVERT EXISTING 30" RCP. CONNECT TO EXISTING CB WITH 4' LONG SECTION OF 18" RCP. FILL ABANDONED SECTION OF 30" RCP WITH FLOWABLE FILL AND ABANDON IN PLACE.

**UTILITY PLAN NOTES**

- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED UTILITY LINES SHALL BE LOCATED UNDERGROUND. THIS DOES NOT APPLY TO COMPONENTS THAT ARE REQUIRED TO BE LOCATED ABOVE GROUND SUCH AS BACKFLOW PREVENTERS AND TRANSFORMERS.

**DRAWING LEGEND**

SYMBOL	ABBREVIATION	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
SD	SD	STORM DRAIN LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
---	---	LIMITS OF DISTURBANCE
460	460	MAJOR CONTOUR
462	462	MINOR CONTOUR
*	*	EXISTING IRON PIPE
☐	☐	CATCH BASIN
☐	☐	DROP INLET
☐	☐	JUNCTION BOX
☐	☐	WATER VALVE
☐	☐	FIRE DEPARTMENT CONNECTION
☐	☐	FIRE HYDRANT
☐	☐	SANITARY SEWER MANHOLE
☐	☐	SANITARY SEWER CLEANOUT
☐	☐	POWER POLE
☐	☐	LIGHT POLE
☐	☐	ELECTRIC BOX
☐	☐	HVAC UNIT
☐	☐	TELEPHONE PEDESTAL
☐	☐	TELEPHONE VAULT
☐	☐	FIBER OPTIC MARKER

**PIPE TABLE**

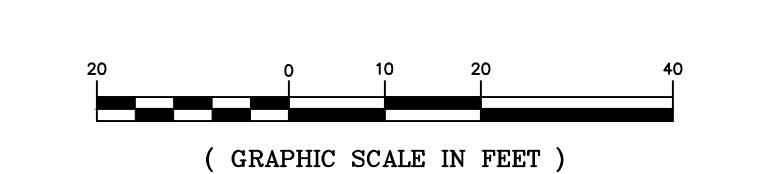
US STR	DS STR	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
EX JB	3	30	EX RCP	460.10	458.92	27	0.0440
DECK	10	36	RCP	448.80	448.60	17	0.0115
EX CB	4	18	RCP	458.30	458.20	6	0.0168
2	EX CB	15	RCP	462.70	460.80	56	0.0341
3	4	36	RCP	458.10	458.00	10	0.0102
4	5	36	RCP	458.00	455.80	84	0.0261
5	6	36	RCP	455.80	455.20	20	0.0301
6	7	36	RCP	455.20	453.20	60	0.0332
7	8	36	RCP	453.20	450.70	93	0.0269
8	9	36	RCP	450.70	449.80	35	0.0254
9	10	36	RCP	449.80	448.60	45	0.0268
10	11	36	RCP	448.60	447.90	30	0.0237
11	12	36	RCP	447.90	446.90	48	0.0210
12	EX DI	30	EX RCP	446.80	440.10	117	0.0571

**STRUCTURE TABLE**

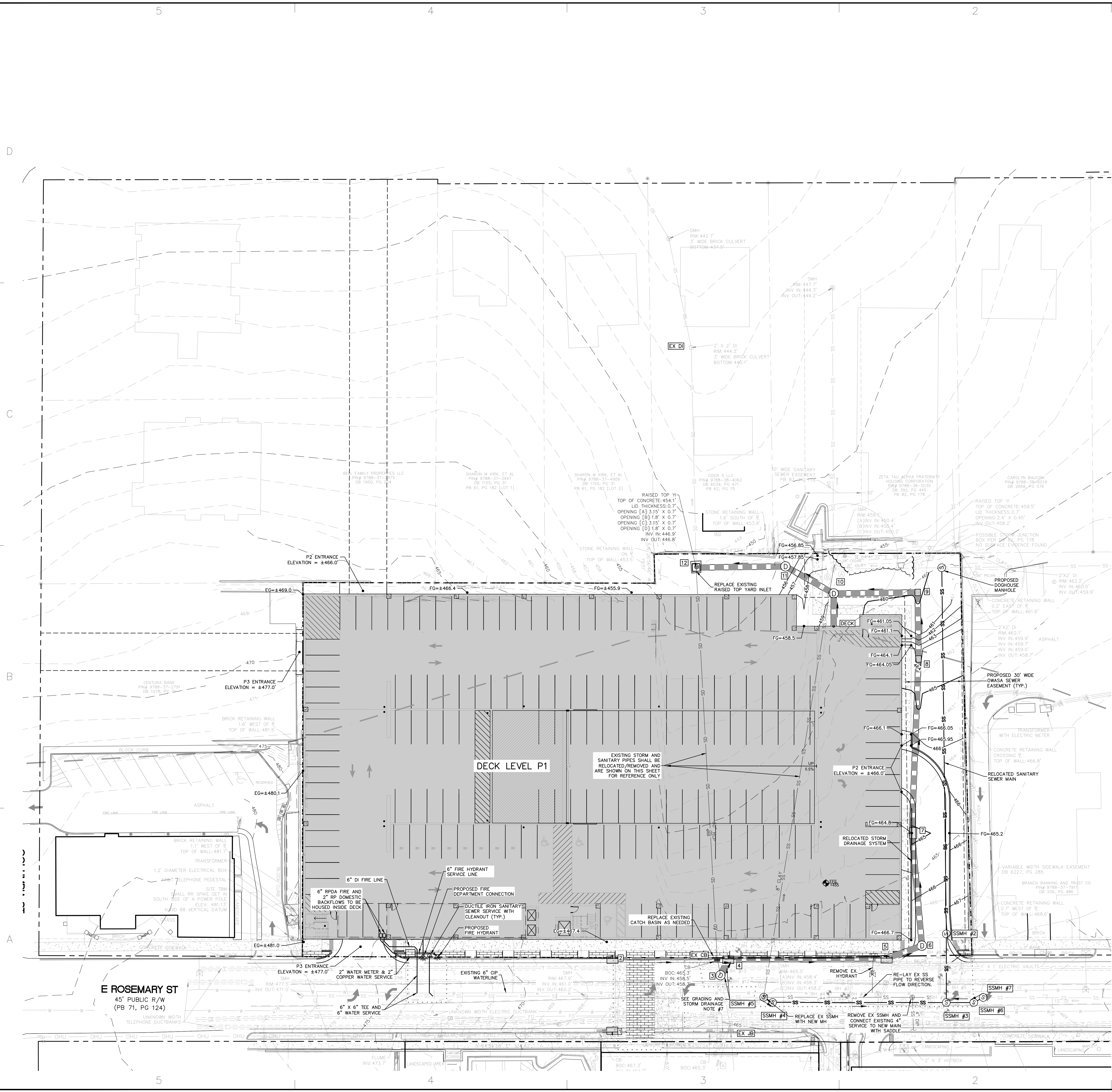
STR. ID	RIM ELEV. (FT)	STRUCTURE TYPE
EX DI	444.30	DI
DECK	452.63	PIPE END
EX CB	464.80	CB
EX JB	465.00	JB
1	466.40	CB DH
2	466.70	CB
3	465.30	JB
4	465.40	CB
5	466.48	CB
6	466.75	JB
7	464.80	CB
8	463.80	DI
9	459.50	DI
10	459.10	JB
11	455.36	JB
12	454.10	RTM

\*RIM ELEV. REFER TO:  
 JUNCTION BOX TOP OF MANHOLE COVER  
 CATCH BASIN BOT OF CURB/TOP OF GRATE  
 DROP INLET/NYLOPLAST TOP OF CASTING/GRATE  
 PIPE END INVERT

**GRADING & UTILITY PLAN**



**REVISION DRAWING**  
**NOT FOR CONSTRUCTION**



EROSION CONTROL NOTES

1. THIS PLAN IS SCHEMATIC AND IS INTENDED ONLY TO SHOW THE GENERAL LOCATION OF MAJOR EROSION CONTROL FEATURES TO BE REQUIRED. A DETAILED EROSION CONTROL PLAN MEETING ALL APPLICABLE TOWN OF CHAPEL HILL & ORANGE COUNTY REQUIREMENTS WILL BE SUBMITTED AS PART OF A LAND DISTURBANCE APPLICATION DURING THE ZCP PROCESS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCEOD, ORANGE COUNTY AND TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. TOTAL DISTURBED AREA: 1.80 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.

CONSTRUCTION MANAGEMENT PLAN

1. CONSTRUCTION MANAGEMENT PLAN WILL BE FINALIZED DURING THE ZCP PHASE.
2. CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 3, SECTION 11-40.
3. CONSTRUCTION HOURS SHALL BE FROM 7:00 AM - 9:00 PM ON WEEKDAYS AND 8:00 AM - 9:00 PM ON WEEKENDS PER SECTION 11-40.
4. A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
5. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
6. ALL STORAGE, STAGING, AND PARKING SHALL BE ON-SITE AND CONTAINED WITHIN THE CONSTRUCTION LIMITS. NONE OF THESE ACTIVITIES SHALL OCCUR WITHIN TREE PROTECTION ZONES AT ANY TIME.
7. CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM EAST ROSEMARY STREET.

CONSTRUCTION SEQUENCE

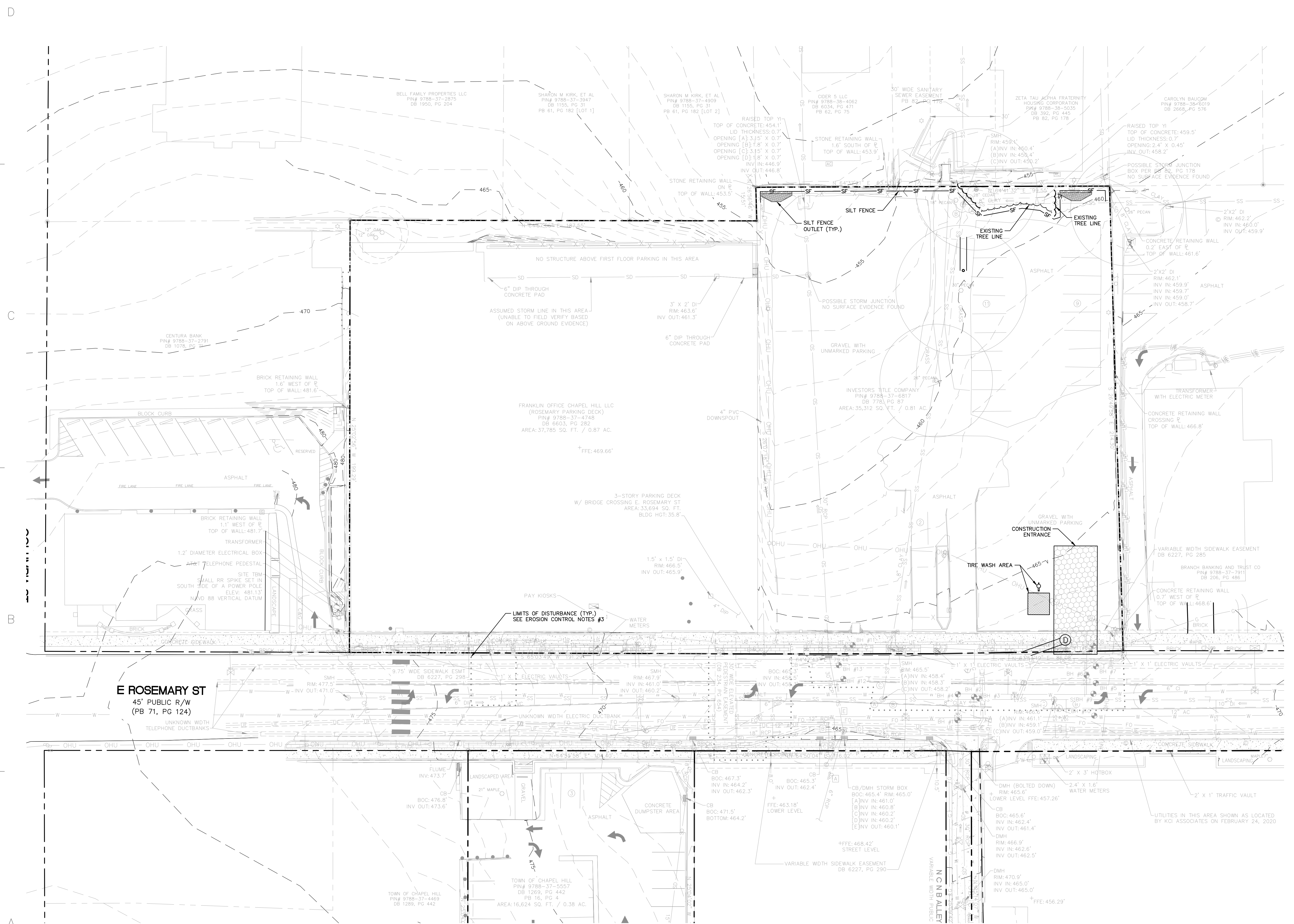
1. CONSTRUCTION SEQUENCE WILL BE PROVIDED DURING ZCP PHASE.

TRAFFIC CONTROL PLAN

1. TRAFFIC CONTROL PLAN WILL BE PROVIDED DURING ZCP PHASE.

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	Gas LINE
---	---	FIBER OPTIC LINE
---	---	SILT FENCE
---	---	TREE PROTECTION FENCE
---	---	LIMITS OF DISTURBANCE
---	---	TREE LINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR



**BALLENTINE ASSOCIATES, P.A.**  
 221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
 (919) 528-0461

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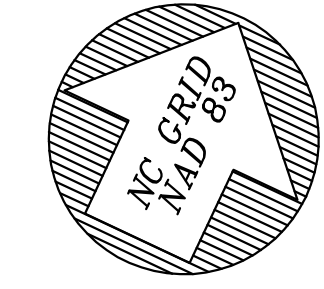
DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS

**OWNER INFORMATION**  
 2888 PROPERTIES, INC.  
 4500 CAMERON VALLEY PKWY.  
 SUITE 350  
 CHARLOTTE, NC 28211  
**OWNER'S REPRESENTATIVE:**  
 JOE DYE  
 (919) 388-5774  
 FAX (919) 461-3939  
 email: jodye@2888properties.com

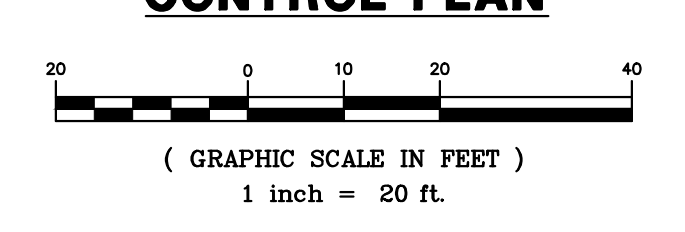
DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3

**ROSEMARY STREET PARKING DECK**  
**125 E. ROSEMARY ST**  
 CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**



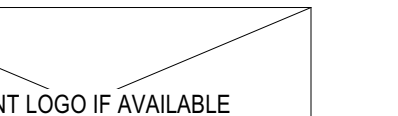
PRELIMINARY EROSION CONTROL PLAN



REVISION DRAWING NOT FOR CONSTRUCTION

JOB #: 118038.01  
 DATE: 02 MAR 20  
 SCALE: AS NOTED  
 DRAWN BY: J.B.M.  
 REVIEWED BY: G.J.R.

SHEET C1301



MARK	ISSUE	DATE
Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

- GENERAL PLANTING NOTES:**
- HATCHES DO NOT REPRESENT SPACING OR SIZING - SEE SCHEDULE FOR PLANT SPECIFICATIONS
  - ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS & DISEASES.
  - ALL PLANTS MUST BE CONTAINER-GROWN (CONT.) OR BALLED AND BURLAPPED (B&B) AS INDICATED IN PLANT LIST
  - ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED, & MEET ALL REQUIREMENTS SPECIFIED
  - ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT & THE OWNER BEFORE, DURING, & AFTER INSTALLATION
  - ALL TREES MUST BE GUYPED OR STAKED AS SHOWN IN THE DETAILS
  - ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED
  - PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES & SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY & ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK
  - THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDED BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC...) OF ALL PLANTING AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ARCHITECT AND OWNER
  - THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END GUARANTEE PERIOD (AS DIRECTED BY THE OWNER)
  - THE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION

- LAYOUT AND MATERIALS NOTES:**
- REFER TO CIVIL DRAWINGS FOR EASEMENT INFORMATION
  - BASE TOPOGRAPHICAL AND EXISTING CONDITIONS AS SHOWN ON EXISTING CONDITIONS DRAWINGS
  - UTILITY WORK IS NOT INDICATED ON THIS DRAWING. REFER TO GRADING AND DRAINAGE AND UTILITY PLANS (CIVIL DRAWINGS)
  - DO NOT SCALE THESE DRAWINGS
  - DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL
  - ALL CURVES TO BE TRUE RADI WITHOUT STRAIGHT SEGMENTS
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED
  - THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION
  - ALL WALLS, COLUMNS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE 48 HOURS PRIOR TO SITE VISIT

**PLANTING SCHEDULE**

QTY	CODE	SCIENTIFIC NAME	COMMON NAME	ROOT	HEIGHT	SPREAD	SPACING	COMMENTS
-----	------	-----------------	-------------	------	--------	--------	---------	----------

**GROUND COVER**

412	CAR FLA	Carex flacca	Blue Sedge	1 GAL	18"	18"	18" OC	FULL, WELL SHAPED
550	DRY ERY	Dryopteris erythrosora	Autumn Fern	1 GAL	2'	2'	18" OC	FULL, WELL SHAPED

**SHRUB / GRASS**

87	CEP HAR	Cephalotaxus harringtonia var. druceana	Japanese Plum Yew	3 GAL	6'	6'	6'	FULL, WELL SHAPED
230	PEN ORI	Pennisetum orientale Karley Rose <sup>®</sup>	Karel Forester Fountain Grass	3 GAL	3'	3'	3'	FULL, WELL SHAPED

**TREE**

4	STR TRE LG	Verify and match existing species	Replace to match existing species	B&B	14'	12'	AS SHOWN	FULL, WELL BRANCHED; LIMBED UP 8'
6	STR TRE MED	Verify and match existing species	Replace to match existing species	B&B	10'	6'	AS SHOWN	FULL, WELL BRANCHED; LIMBED UP 8', 15FT MAX

**GREEN SCREEN**

HEDERA HELIX	(ENGLISH IVY)
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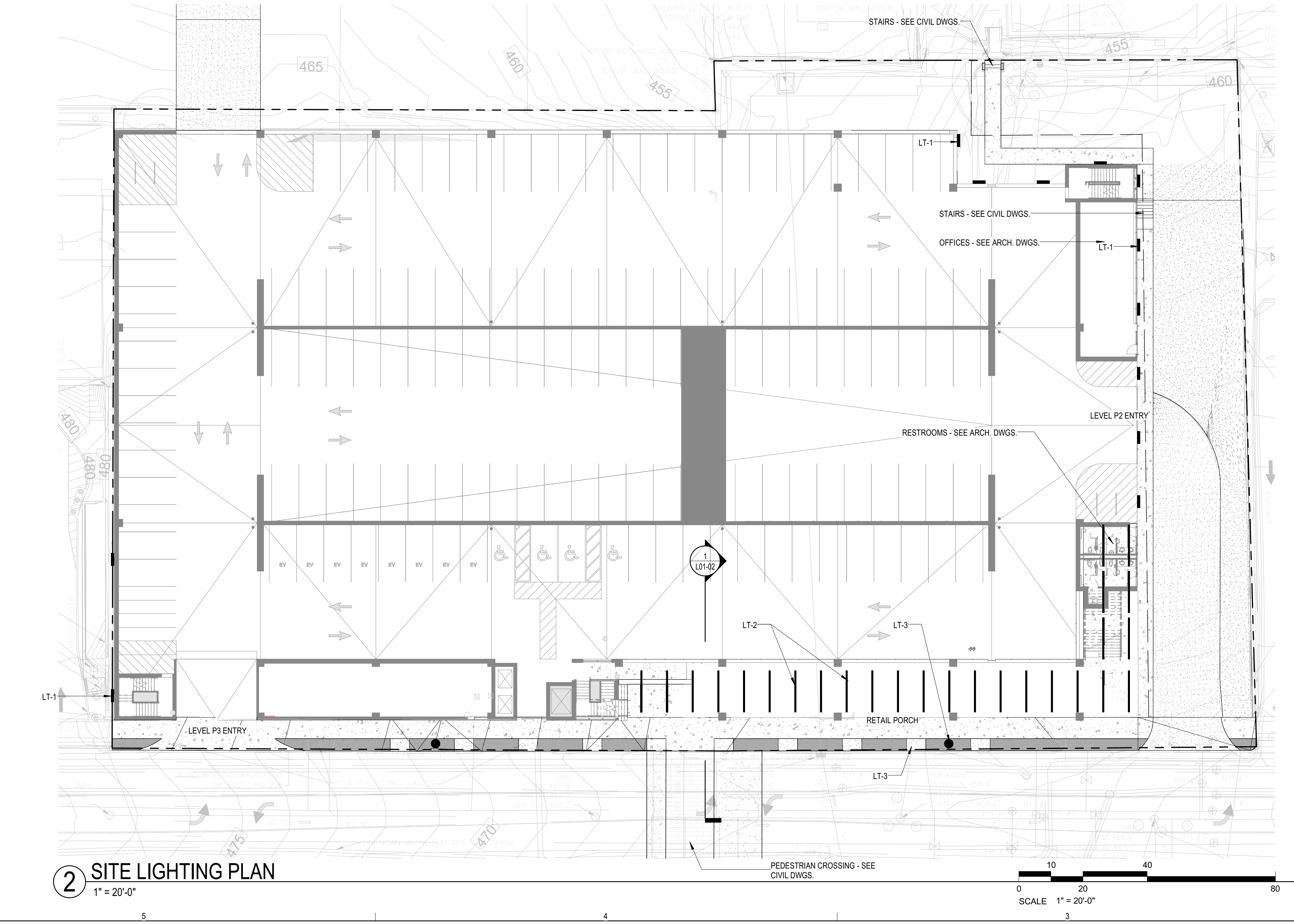
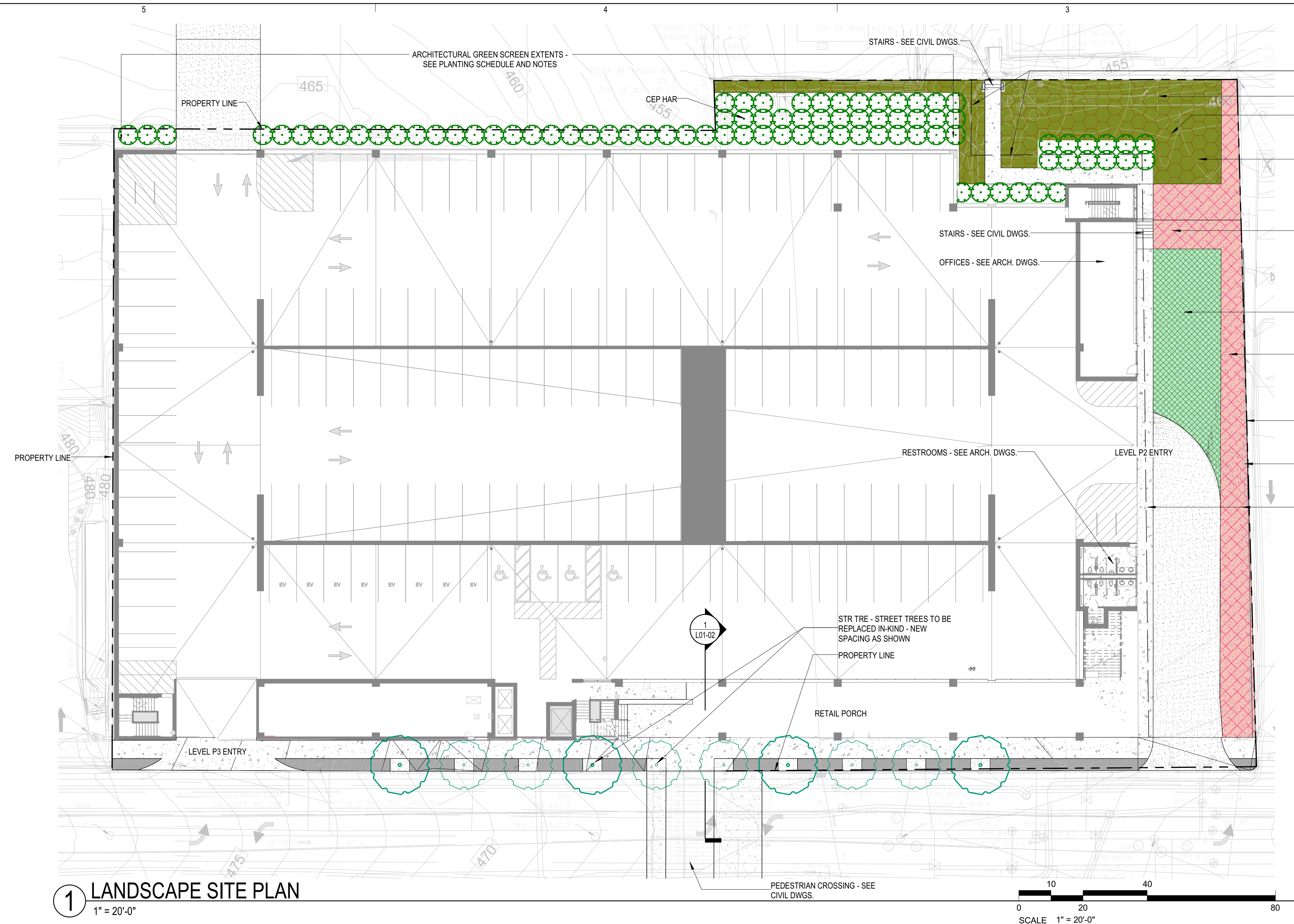
\*QUANTITIES TO BE DECIDED

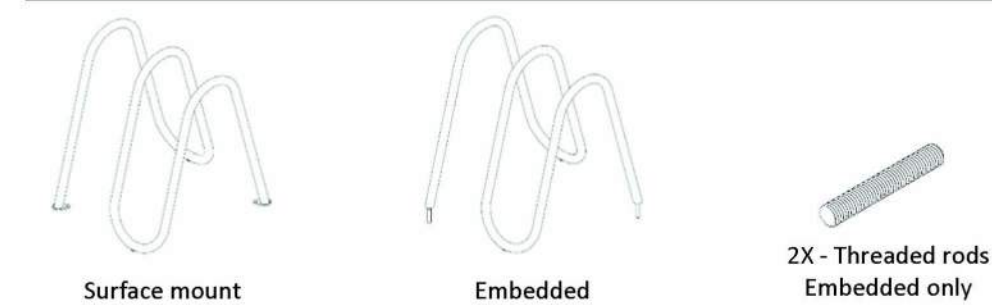
**LIGHTING SCHEDULE**

KEY	ID	DESCRIPTION	FIXTURE
—	LT-1	WALL MOUNT AREA	HOLM S QUAD 8A FB SLEEVE - BLACK
—	LT-2	SOFFIT RECESSED	2" ARCHITECTURAL RECESSED SLOT LUMINAIRE
●	LT-3	PEDESTRIAN POLE	TOWN OF CHAPEL HILL STANDARD

\*SEE L01-02 FOR PRODUCT CUT SHEETS

- GENERAL LIGHTING NOTES:**
- THIS DRAWING IS FOR LAYOUT OF FIXTURES ONLY.
  - THE DRAWINGS INDICATE DESIGN INTENT ONLY. THEY DO NOT REFLECT AND/OR DEPICT ELECTRICAL DESIGN. THEY ARE NOT INTENDED TO SHOW THE EXACT LOCATION OF ELECTRICAL COMPONENTS, ETC. OR THE ROUTING OF CONDUIT.
  - NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THE DRAWINGS.
  - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION ACTIVITIES RELATED TO THIS LIGHTING LAYOUT.
  - THE CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL WORK THAT COMPLIES WITH ALL STATE OF NORTH CAROLINA, ORANGE COUNTY, OTHER LOCAL BUILDING CODES HAVING JURISDICTION, AND THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE
  - THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENCES AND PAY ALL FEES REQUIRED BY LOCAL AUTHORITIES. ARRANGE FOR ALL NECESSARY INSPECTIONS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND PROVIDE WRITTEN CERTIFICATES OF APPROVAL TO THE OWNER
  - ALL SYSTEMS, EQUIPMENT, COMPONENTS, WORK, ETC. SHALL BE COVERED BY A ONE (1) YEAR GUARANTEE BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE GUARANTEE SHALL INCLUDE PROVIDING ALL NECESSARY CUTTING, PATCH WORK, REPAINTING, ETC. TO MAKE THE WORK COMPLETE AND NEW
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO EXISTING UTILITIES, STRUCTURES, PAVING, LANDSCAPE MATERIALS AND/OR WORK OF OTHER TRADES RESULTING FROM ELECTRICAL WORK
  - SOURCE OF POWER SHALL BE DETERMINED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRICAL CONNECTION AND WIRING TO THE SOURCE WITH THE OWNER PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MATERIALS. ALL MATERIALS USED SHALL BE NEW AND SHALL BE STAMPED WITH THE LABEL OF UNDERWRITERS LABORATORIES, INC. (UL)
  - REFER TO LIGHT FIXTURE SCHEDULE FOR FIXTURE TYPE INDICATION (LETTER) AND SYMBOL DESCRIPTION
  - CONTRACTOR SHALL PROVIDE AND INSTALL ALL FIXTURES, WIRING TO POWER SOURCE, ELECTRICAL CONNECTION, AND OTHER NECESSARY ELECTRICAL HARDWARE FOR A COMPLETE AND OPERABLE LIGHTING SYSTEM
  - PROVIDE AND INSTALL GROUND MOUNTED PULL BOXES EVERY 200 FEET IN HOMERUN CIRCUITS. LOCATIONS SHALL BE COORDINATED WITH OTHER SITE IMPROVEMENTS AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
  - PROVIDE LOOPED SLACK EQUAL TO THREE (3) FEET. IN WIRE RUNS TO LANDSCAPE LIGHTING FIXTURES TO ALLOW FOR ADJUSTMENTS ONCE PLANT MATERIAL IS INSTALLED
  - THE CONTRACTOR SHALL MAKE ADJUSTMENTS IN FIXTURE LAYOUT, AIM FIXTURES AND LOCK DOWN ANY ADJUSTING FASTENERS ON FIXTURES SUBJECT TO THE FINAL APPROVAL OF LAYOUT AND AIMING BY THE LANDSCAPE ARCHITECT
  - PROTECT ALL EQUIPMENT, COMPONENTS, ETC. DURING CONSTRUCTION FROM DIRT, CHEMICAL AND MECHANICAL DAMAGE, ETC. PROTECT ALL CONDUIT OPENINGS SO THAT NO FOREIGN MATERIAL WILL ENTER THE CONDUIT.



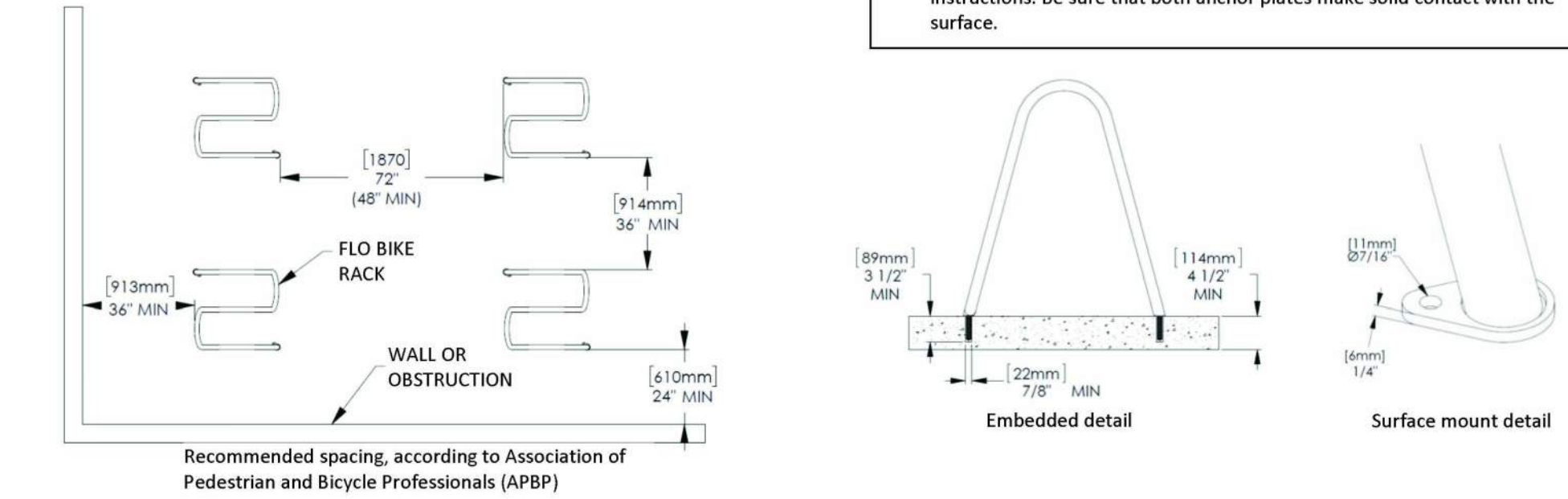


**HANDLE WITH CARE!** Flo's finish can be scuffed by contact with tools, concrete, or other abrasive surfaces. Protect the finish from damage during installation. Use touch-up paint to repair any powder coat finish abrasions.

- EMBEDDED INSTALLATION:**
1. Install thread patch ends of threaded rods into the bike rack legs.
  2. Set unit in position and mark hole locations.
  3. Move unit and drill 3/8" diameter (minimum) holes 1/2" deep.
  4. Set unit in position to make sure that Nylon flange make contact with the surface. Threaded rods should not be resting on the bottom of the drilled hole.
  5. Move unit. Clear holes of debris.
  6. Fill holes with chemical anchoring adhesive.
  7. Set unit in position.
  8. Wipe away excess adhesive.

- SURFACE MOUNT INSTALLATION:**
1. Set unit in place and mark holes.
  2. Move the unit and drill the holes.
  3. Install the anchors and bike rack according to the anchor manufacturer's instructions. Be sure that both anchor plates make solid contact with the surface.

- Included components:**
- (2) 5/8-11 x 4" threaded rods with Loctite for embedded unit
- Tools required:**
- Surface mount unit ships fully assembled
  - Surface mount option: (2) non-corrosive anchor bolts required per unit, maximum size 3/8" x 2-1/2" to 3" length
  - Hammer drill with masonry bits
  - For embedded mount option: chemical anchoring adhesive (Hilti HIT RE 500 or equivalent)



Page 1 of 1

landscapeforms  
**BIKE RACK**



**sQuad-8a SPECIFICATIONS**

Output	1LED	3LED	6LED	9LED	ZDC
Total Lumens*	66	202	367	398	174
Input Voltage	10.5V-15V	10.5V-15V	10.5V-15V	10.5V-15V	10.5V-15V
Input Power (W)	2.0	4.3	10.1	11.2	9.1
VA	2.4	4.5	13.5	13.5	11.0
Efficacy (Lumens/Watt)	36	52	44	47	33
Color Rendering Index (CRI)	83	80	80	79	82
Center Beam Candle Power**	275	975	2,022	2,276	198
Spot (CFP)	---	---	---	---	---
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	---
RGBW Available	No	No	No	No	Yes
Laser Compatibility	Default	Zoning	Zoning	Zoning	---
ZD Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	---
ZDC Option	---	---	---	---	Zoning/Dimming/Color
Minimum Rated Life (L70)	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs

**Helm** Helm is an industry standard for a comprehensive offering of on-the-line and voltage lighting fixtures for the commercial market. Our products are designed to meet required specifications while achieving the aesthetic of the project. Helm is a fixture industry company with more than three decades of engineering expertise, delivering "H.Luxor" technology to the commercial architectural and landscape lighting market.

**Optics** Precision-tuned color temperature adjustment lenses included with Helms 2700K (standard), 3000K (no lens), 4000K, and 5000K (interchangeable option) are designed to meet required specifications while achieving the aesthetic of the project. Helm is a fixture industry company with more than three decades of engineering expertise, delivering "H.Luxor" technology to the commercial architectural and landscape lighting market.

**Materials** Die-cast aluminum housing and anodized steel set screws, mounting brackets, and fasteners.

**Lamp** Integrated module with Cree LEDs, solid pin connectors and conformal coating for maximum reliability and corrosion resistance. Proprietary on-board intelligent driver uses forward controlled temperature regulation, maintains LED life, field-upgradeable and replaceable. The LEDs are rated to 50,000 hrs. Maximum drive current: 1A.

**Socket** Socket compatible with Luxor™ technology, preventing moisture from wicking up into sealed areas of the fixture.

**Wiring** 18 AWG SPT-90 100°C 300V 3-conductor.

**Power** Input: 10-15VAC/100V 50/60Hz. Requires transformer (sold separately).

**Adjusted Operating Temperature** 0°F to 140°F

**Weight** 1.7 lbs.

**Warranty** 5-year limited warranty.

**Listings** UL Listed, ETL Listed, IES E-177, IES E-178, IES E-179, IES E-180, IES E-181, IES E-182, IES E-183, IES E-184, IES E-185, IES E-186, IES E-187, IES E-188, IES E-189, IES E-190, IES E-191, IES E-192, IES E-193, IES E-194, IES E-195, IES E-196, IES E-197, IES E-198, IES E-199, IES E-200, IES E-201, IES E-202, IES E-203, IES E-204, IES E-205, IES E-206, IES E-207, IES E-208, IES E-209, IES E-210, IES E-211, IES E-212, IES E-213, IES E-214, IES E-215, IES E-216, IES E-217, IES E-218, IES E-219, IES E-220, IES E-221, IES E-222, IES E-223, IES E-224, IES E-225, IES E-226, IES E-227, IES E-228, IES E-229, IES E-230, IES E-231, IES E-232, IES E-233, IES E-234, IES E-235, IES E-236, IES E-237, IES E-238, IES E-239, IES E-240, IES E-241, IES E-242, IES E-243, IES E-244, IES E-245, IES E-246, IES E-247, IES E-248, IES E-249, IES E-250, IES E-251, IES E-252, IES E-253, IES E-254, IES E-255, IES E-256, IES E-257, IES E-258, IES E-259, IES E-260, IES E-261, IES E-262, IES E-263, IES 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E-992, IES E-993, IES E-994, IES E-995, IES E-996, IES E-997, IES E-998, IES E-999, IES E-1000.

**sQuad-8a PHOTOMETRICS**

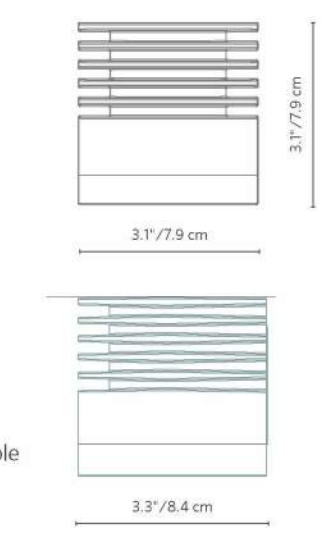


**LED SURFACE-MOUNTED FIXTURES**

**sQuad-8a**

Wall-mounted square geometric down light in 1, 3, 6, or 9 LED. Available in die-cast aluminum. An RGBW version is also available for use with ZDClink systems.

- Quick Facts**
- Die-cast aluminum
  - Two-layer marine-grade anodization and powder coat finish
  - Cree® Integrated LEDs
  - Tamper resistant features
  - Color temperature filters
  - Compatible with Luxor® technology
  - Phase and PWM dimmable
  - Input voltage: 10-15V



ARCHITECTURAL & LANDSCAPE LIGHTING | hoimlighting.com

A Hunter Industries Company

More product resources available at hoimlighting.com

Customer Service: 1-844-200-4555

More product resources available at hoimlighting.com

Item: 001-05-sQuad-8a - 3/16

**LT-2**

**electrix ILLUMINATION**

**R-2**

DATE	PROJECT	TYPE	QUANTITY
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**2" Architectural Recessed Slot Luminaire**

**FEATURES**

- 2", 4", & 8" standard — custom lengths available
- Custom power and mounting options for any application
- CRI 90+
- Universal voltage powered with 120-277V AC
- Damp Location Rated
- 5-year warranty

**APPLICATIONS** Offices, Corridors, Hospitality, Lobbies

**CONSTRUCTION** Extruded Aluminum Housing, Steel Gear Tray, FINISH White powder coated standard, custom RAL available Acrylic Lens

**ORDERING**

PRODUCT	POWER	LENGTH	LED COLOR	CONTROL	FINISH	OPTICS	SENSOR	EX. PACK
R-2	10-15V	2"	3000K	None	Standard	None	None	None

PRODUCT	POWER	LENGTH	LED COLOR	CONTROL	FINISH	OPTICS	SENSOR	EX. PACK
R-2	10-15V	2"	3000K	None	Standard	None	None	None
R-2	10-15V	4"	3000K	None	Standard	None	None	None
R-2	10-15V	8"	3000K	None	Standard	None	None	None
R-2	10-15V	2"	3000K	Phase	Standard	None	None	None
R-2	10-15V	4"	3000K	Phase	Standard	None	None	None
R-2	10-15V	8"	3000K	Phase	Standard	None	None	None
R-2	10-15V	2"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	4"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	8"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	2"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	4"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	8"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	2"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	4"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	8"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	2"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	4"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	8"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	2"	3000K	Phase & PWM	Standard	None	None	None
R-2	10-15V	4"	3000K	Phase & PWM	Standard	None	None	None
R-2								

**FLOOR PLAN GENERAL NOTES**

1. PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
2. PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES \*CODE COMPLIANCE PLANS\* FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
3. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
4. REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P1 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P1	ACCESSIBLE SPACE (STD)	4
LEVEL P1	ELECTRIC VEHICLE SPACE	8
LEVEL P1	STANDARD SPACE	124
		136

BUILDING PARKING SCHEDULE	
	Count
ACCESSIBLE SPACE (STD)	24
ACCESSIBLE SPACE (VAN)	4
ELECTRIC VEHICLE SPACE	56
STANDARD SPACE	1030
1104	

MARK	ISSUE	DATE
Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

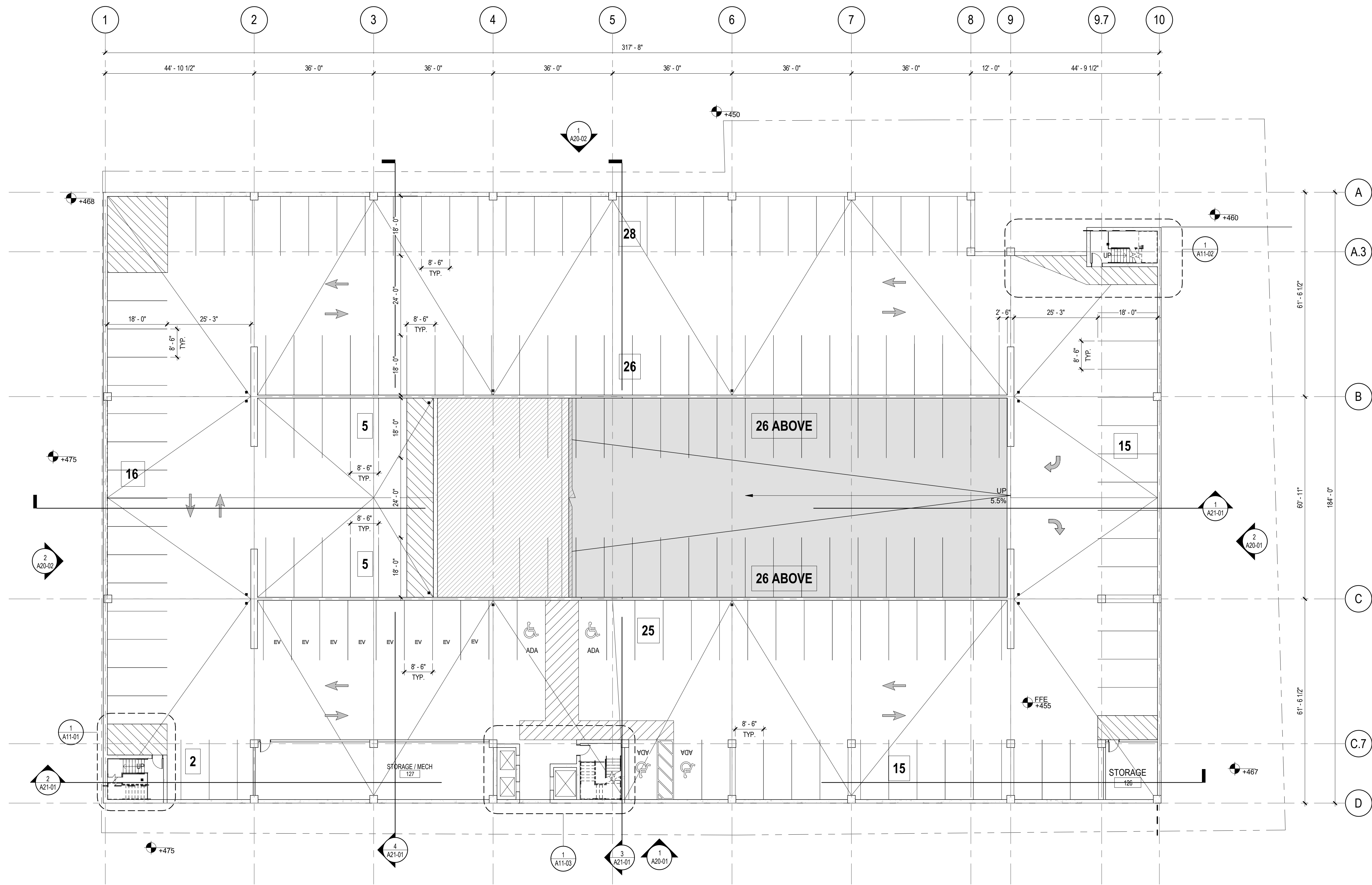
**OVERALL FLOOR PLAN - LEVEL P1**

SHEET NUMBER

**A10-01**

FOR REFERENCE ONLY

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**1 PLAN - LEVEL - P1 - 136 SPACES**  
1/16" = 1'-0"

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

5/22/2020 - CONDITIONAL ZONING APPLICATION

**FLOOR PLAN GENERAL NOTES**

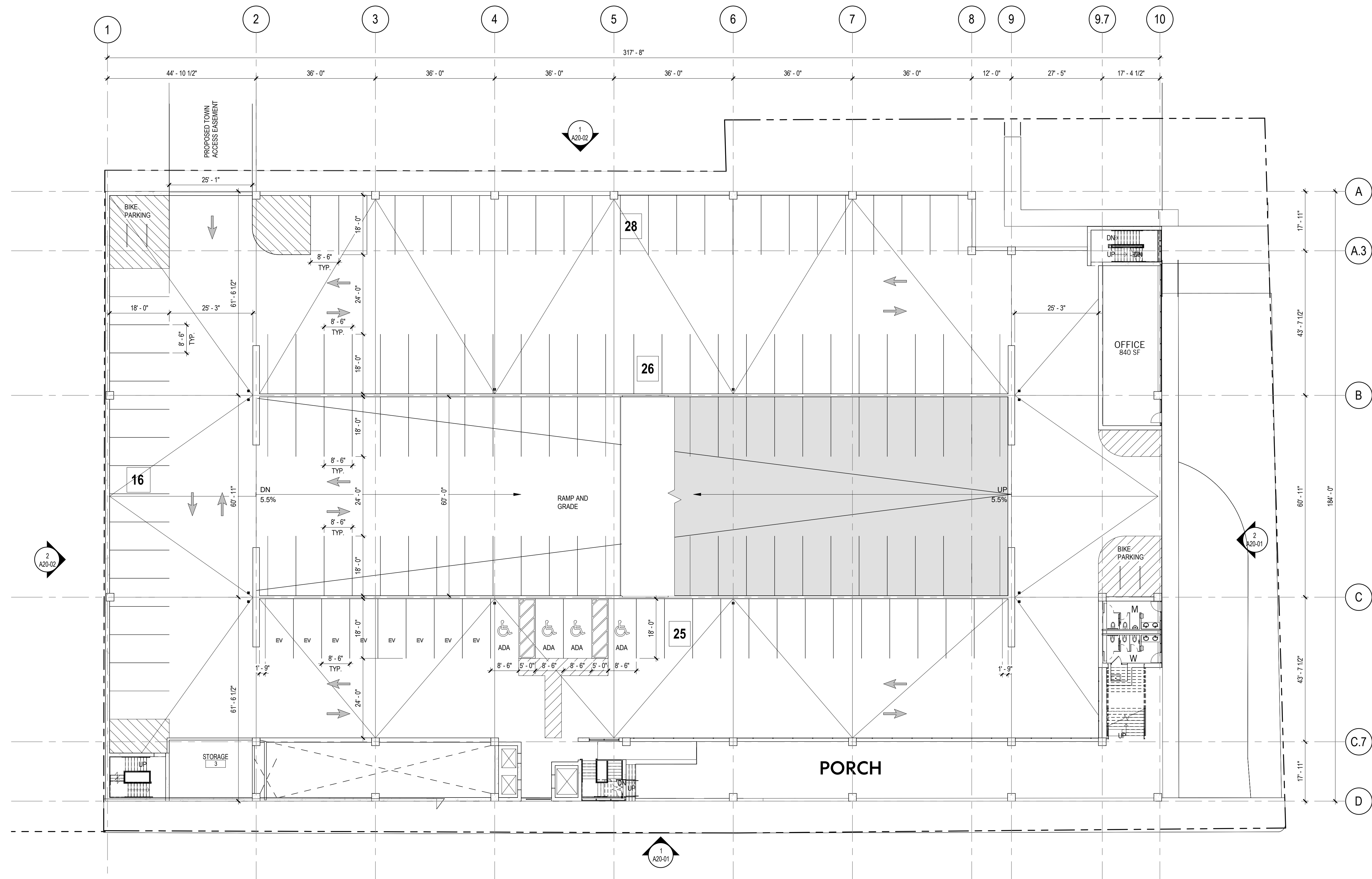
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3. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
4. REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P2 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P2	ACCESSIBLE SPACE (STD)	4
LEVEL P2	ELECTRIC VEHICLE SPACE	6
LEVEL P2	STANDARD SPACE	130
		142



**1 PLAN - LEVEL - P2 - 142 SPACES**  
1/16" = 1'-0"

MARK	ISSUE	DATE
Job Number		
Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

**OVERALL FLOOR PLAN - LEVEL P2**

SHEET NUMBER

**A10-02**

FOR REFERENCE ONLY

**FLOOR PLAN GENERAL NOTES**

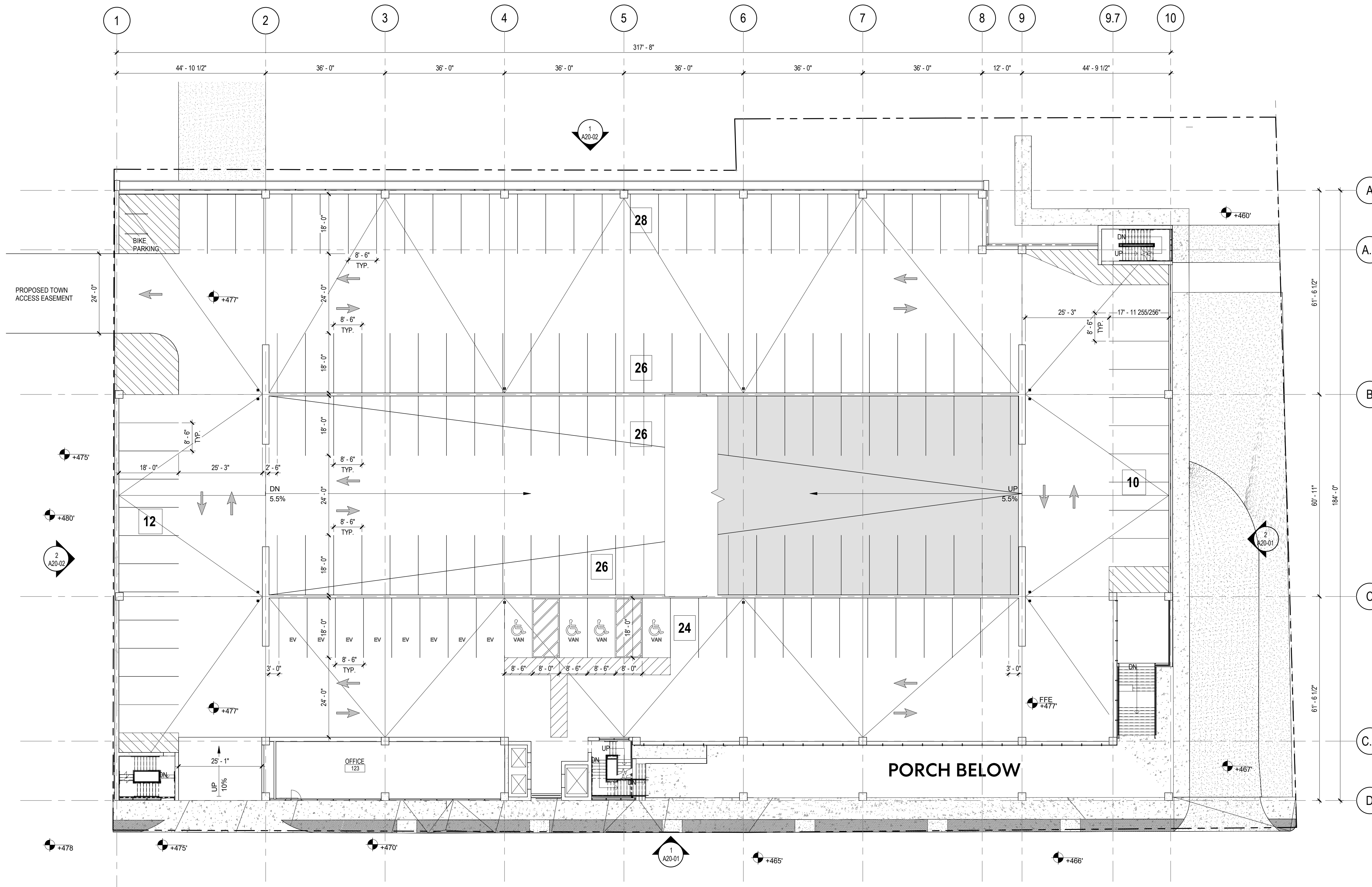
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- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
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- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P3 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P3	ACCESSIBLE SPACE (VAN)	4
LEVEL P3	ELECTRIC VEHICLE SPACE	8
LEVEL P3	STANDARD SPACE	140
		152



**1 LEVEL P3 - 152 SPACES**  
1/16" = 1'-0"

5/22/2020 11:06:29 AM BIM 360://Grubb Properties - 137 Franklin & Rosemary/P3C1\_Grubb\_Rosemary St Parking Deck.rvt



**FLOOR PLAN GENERAL NOTES**

- PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
- PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES \*CODE COMPLIANCE PLANS\* FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- (ALPHA) EXTERIOR GLAZING SYSTEM TAG REF: A53-0X SERIES FOR SCHEDULE
- (NUMERICAL) INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- 301A DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- A11 PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FD FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P4 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P4	ACCESSIBLE SPACE (STD)	4
LEVEL P4	ELECTRIC VEHICLE SPACE	8
LEVEL P4	STANDARD SPACE	173
		185

MARK	ISSUE	DATE
Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

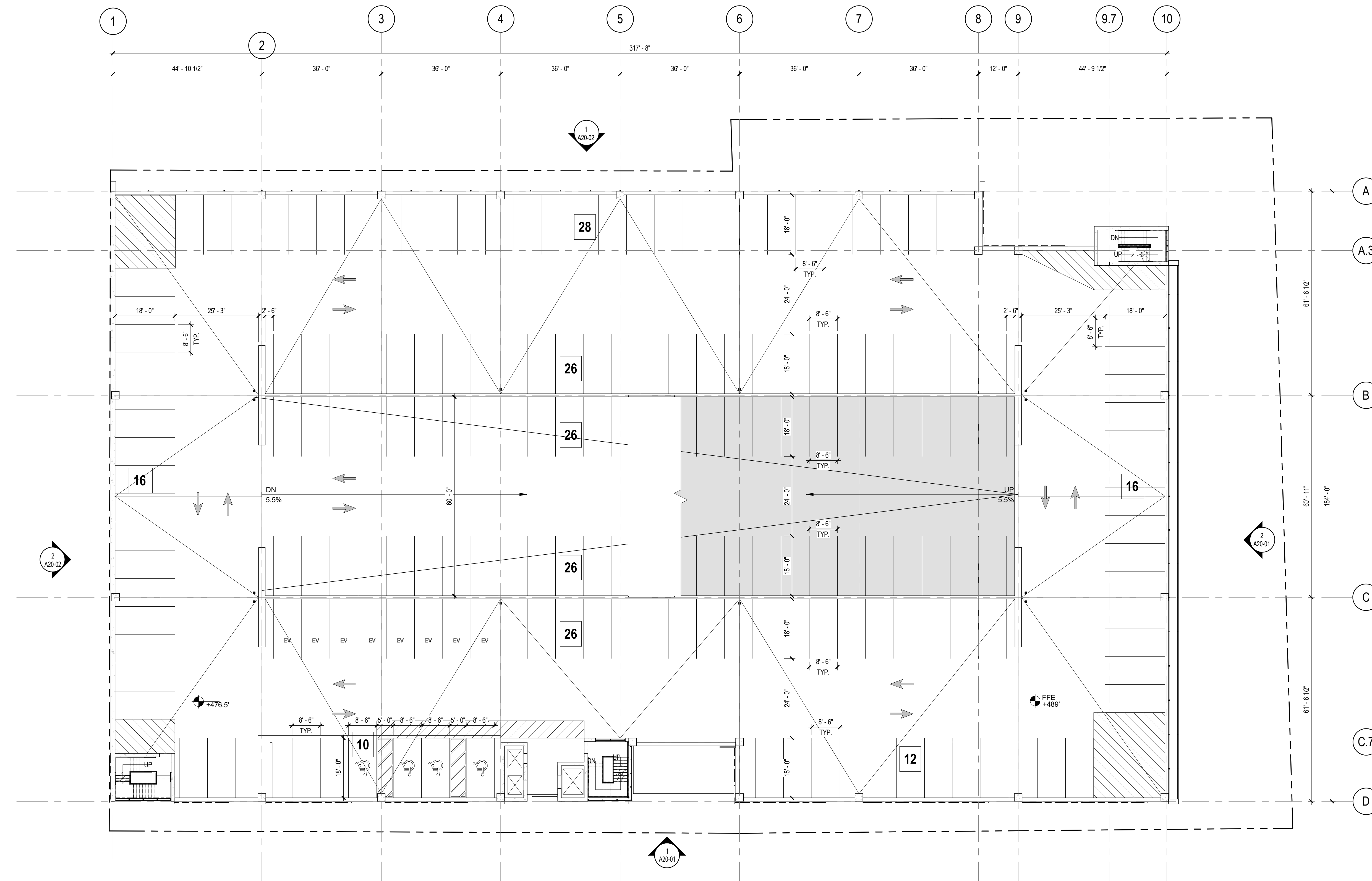
**OVERALL FLOOR PLAN - LEVEL P4**

SHEET NUMBER

**A10-04**

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**1 LEVEL P4 - 185 SPACES**  
1/16" = 1'-0"

5/22/2020 - CONDITIONAL ZONING APPLICATION

**FLOOR PLAN GENERAL NOTES**

1. PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
2. PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES \*CODE COMPLIANCE PLANS\* FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
3. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
4. REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- (ALPHA) EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- (NUMERICAL) INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- 301A DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- A11 PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FD FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P5 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P5	ACCESSIBLE SPACE (STD)	4
LEVEL P5	ELECTRIC VEHICLE SPACE	8
LEVEL P5	STANDARD SPACE	173
		185

MARK	ISSUE	DATE
Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

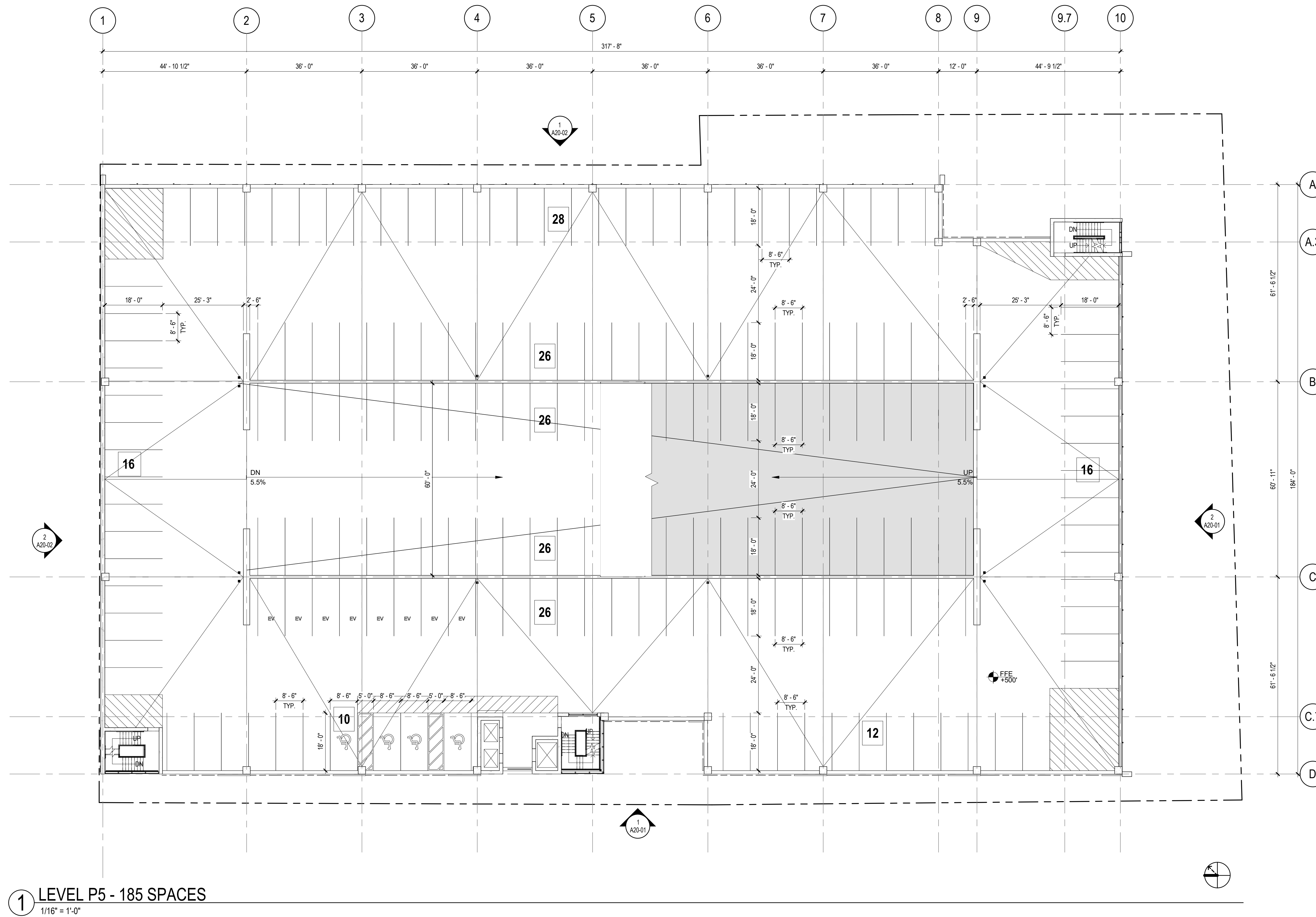
**OVERALL FLOOR PLAN - LEVEL P5**

SHEET NUMBER

**A10-05**

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**FLOOR PLAN GENERAL NOTES**

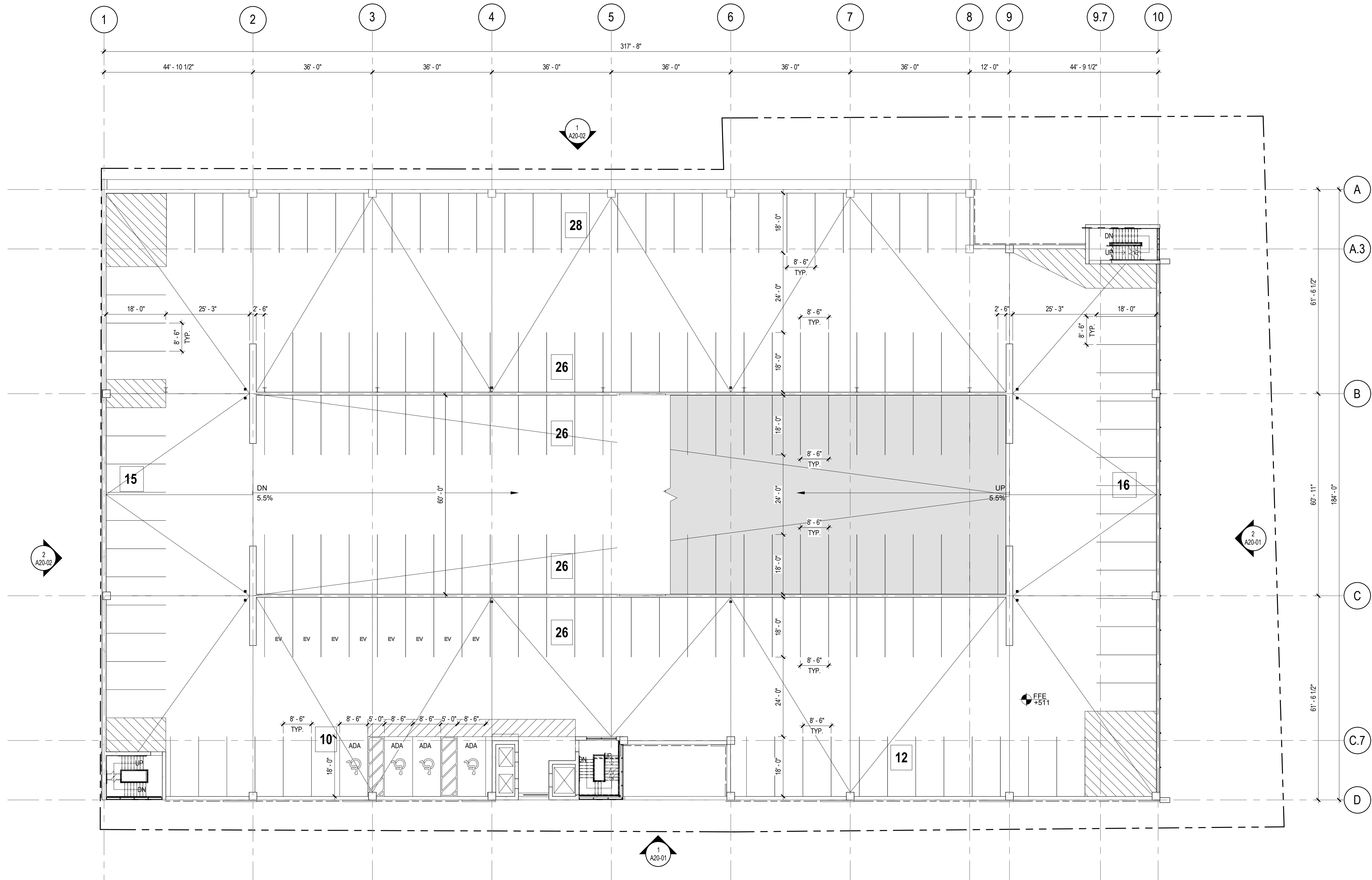
- PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
- PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P6 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P6	ACCESSIBLE SPACE (STD)	4
LEVEL P6	ELECTRIC VEHICLE SPACE	8
LEVEL P6	STANDARD SPACE	172
		184



**1 LEVEL P6 - 184 SPACES**  
1/16" = 1'-0"

5/22/2020 - CONDITIONAL ZONING APPLICATION

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**OVERALL FLOOR PLAN - LEVEL P6**

SHEET NUMBER

**A10-06**

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**FLOOR PLAN GENERAL NOTES**

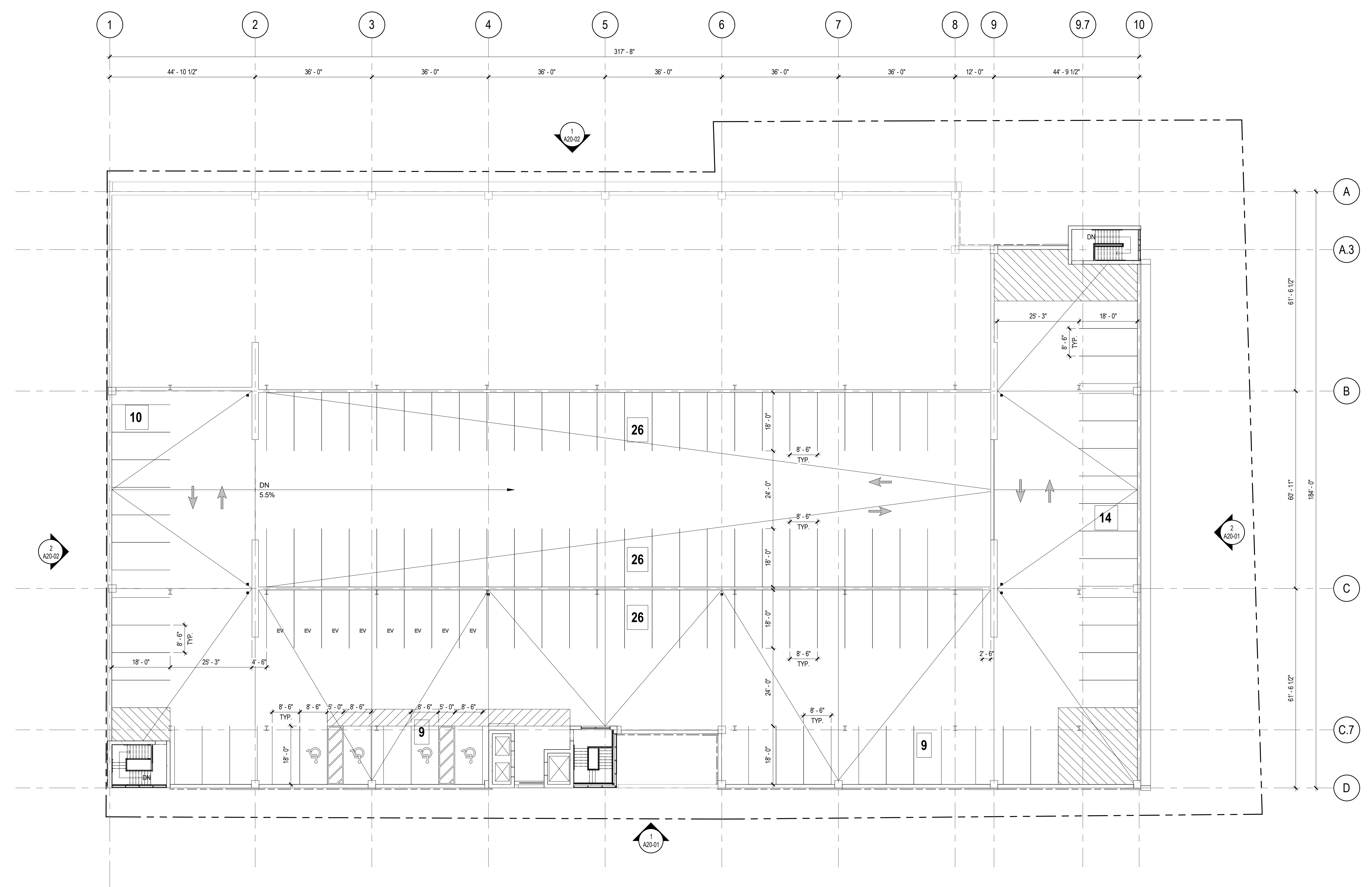
- PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 8,000SF TOTAL.
- PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

LEVEL P7 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P7	ACCESSIBLE SPACE (STD)	4
LEVEL P7	ELECTRIC VEHICLE SPACE	8
LEVEL P7	STANDARD SPACE	108
		120



**1 LEVEL P7 - 120 SPACES**  
1/16" = 1'-0"

5/22/2020 - CONDITIONAL ZONING APPLICATION

KEYPLAN

ISSUE CHART

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Checked	Approver	
Approved		

**OVERALL FLOOR PLAN - LEVEL P7**

SHEET NUMBER

**A10-07**

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**FLOOR PLAN GENERAL NOTES**

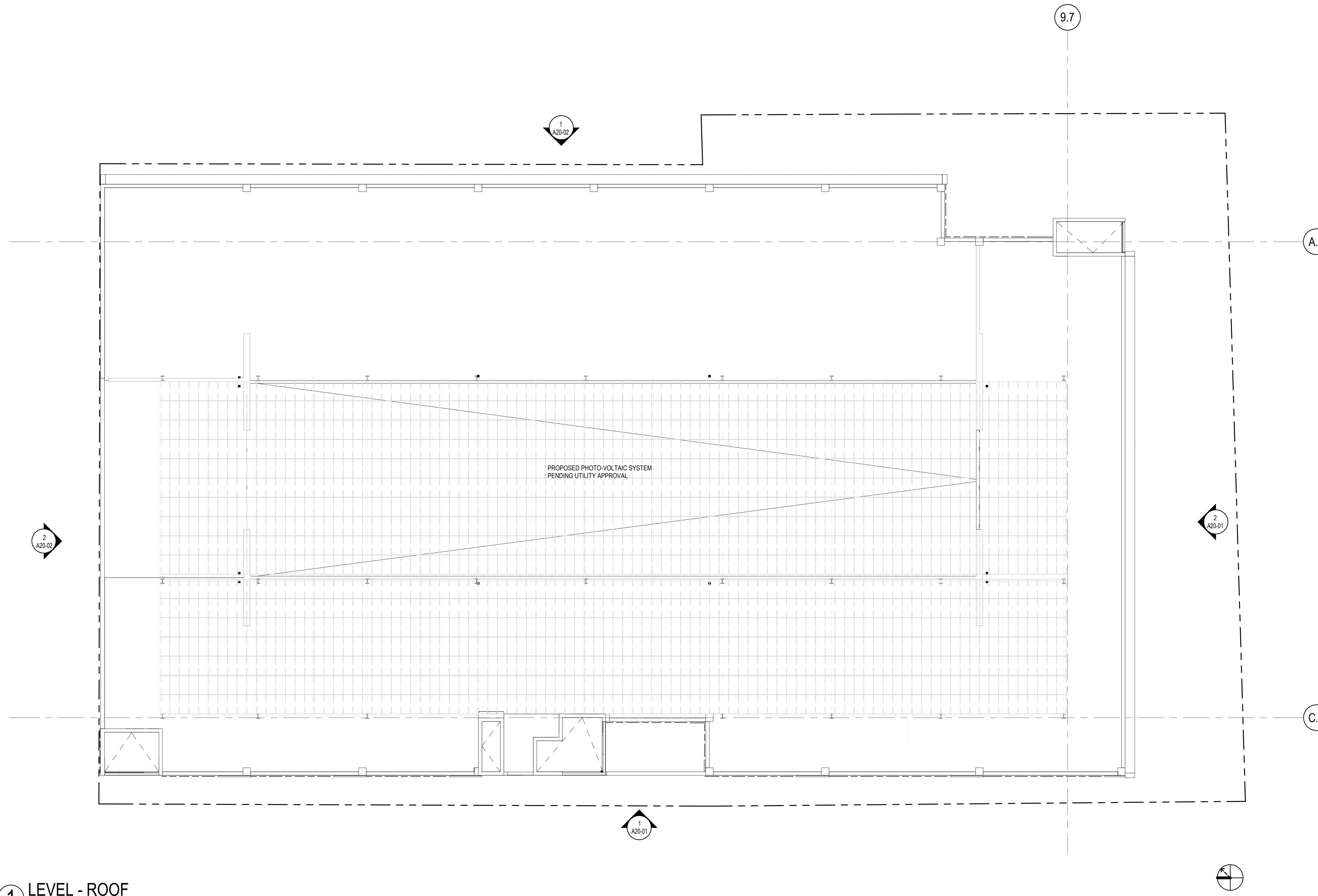
1. PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
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3. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
4. REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

**FLOOR PLAN LEGEND**

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- (ALPHA) EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- (NUMERICAL) INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN NOTES BY NUMBER**

**1 LEVEL - ROOF**  
1/16" = 1'-0"



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Approved	TITLE	

**OVERALL FLOOR PLAN - ROOF**

SHEET NUMBER

**A10-08**

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**CONSULTANTS**

**CIVIL**  
BALLENTE ASSOCIATES, P.A.  
221 Providence Road, Chapel Hill, NC 27514

**STRUCTURAL**  
NV5  
6750 Tryon Road, Cary, NC 27526

**MEP**  
NV5  
630 Davis Dr Suite 203, Morrisville, NC 27560

**LANDSCAPING**  
PERKINS & WILL  
411 W Chapel Hill St Suite 200, Durham, NC 27701

**OWNER**  
GRUBB PROPERTIES  
4601 Park Road Suite 450, Charlotte, NC 28209

**FACILITY**

**CONTRACTOR**  
SAMET Corporation  
5420 Wade Park Boulevard Suite 104, Raleigh, NC 27607

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**PROJECT**

**126 E ROSEMARY ST PARKING DECK**

**KEYPLAN**

5/22/2020 - CONDITIONAL ZONING APPLICATION

**ISSUE CHART**

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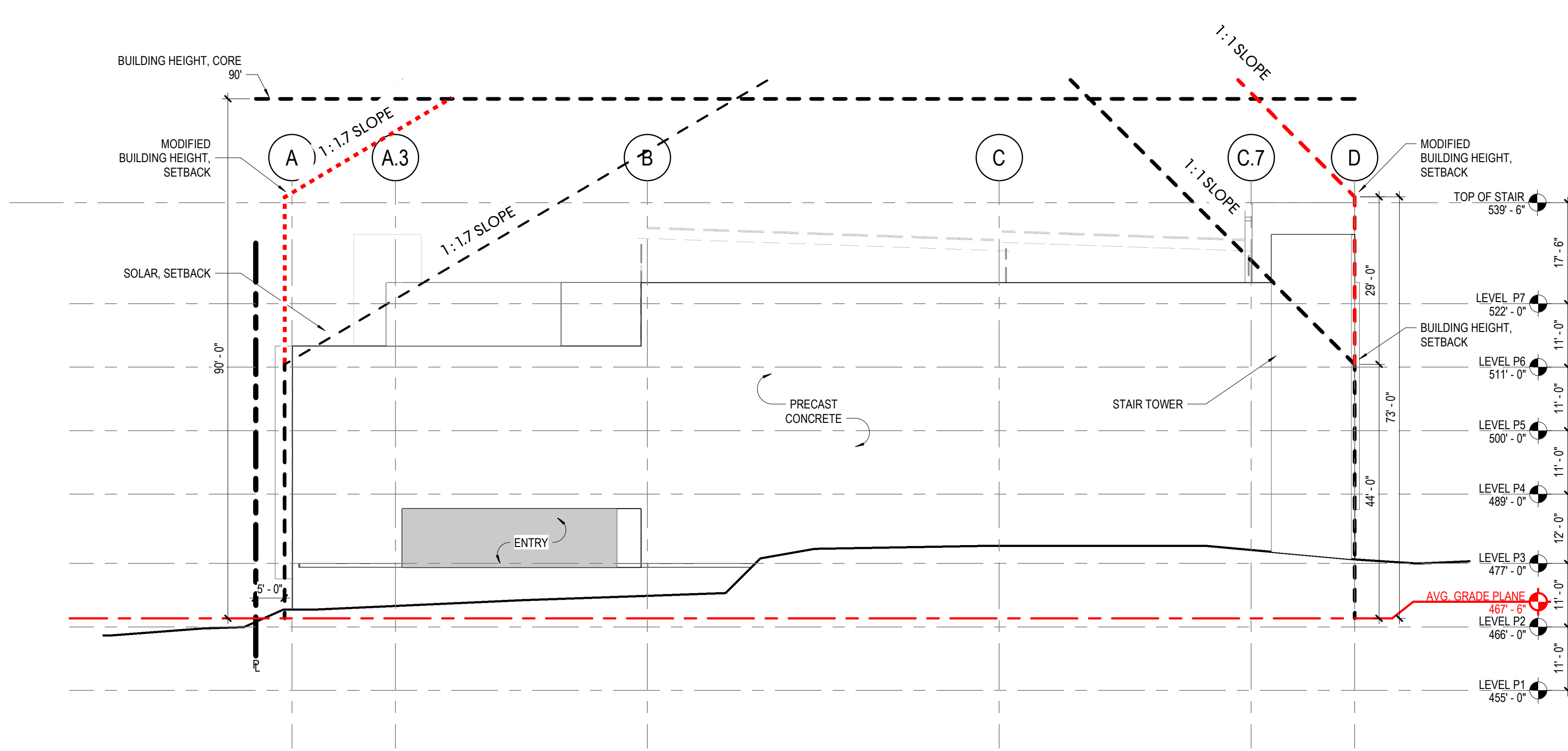
**EXTERIOR ELEVATIONS**

SHEET NUMBER

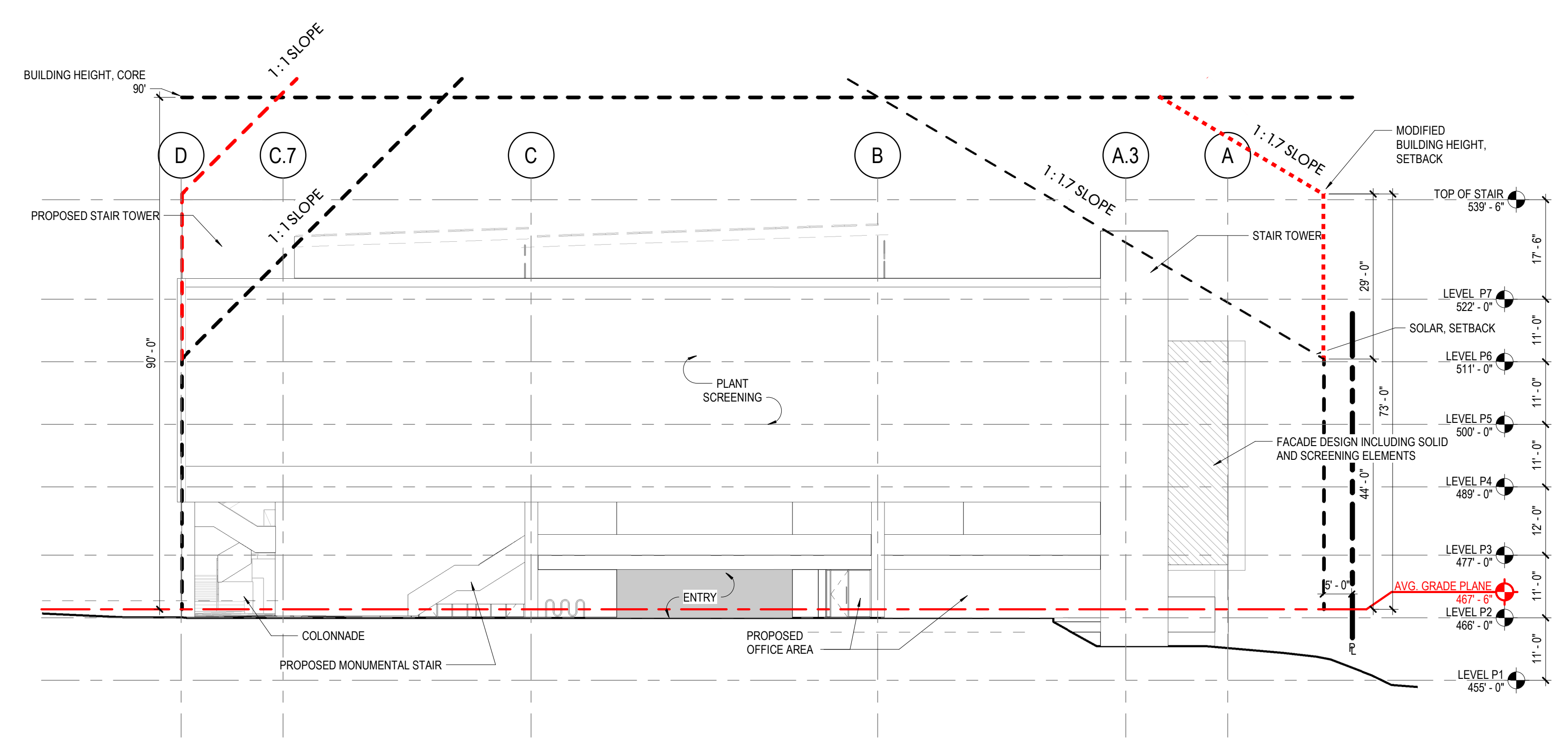
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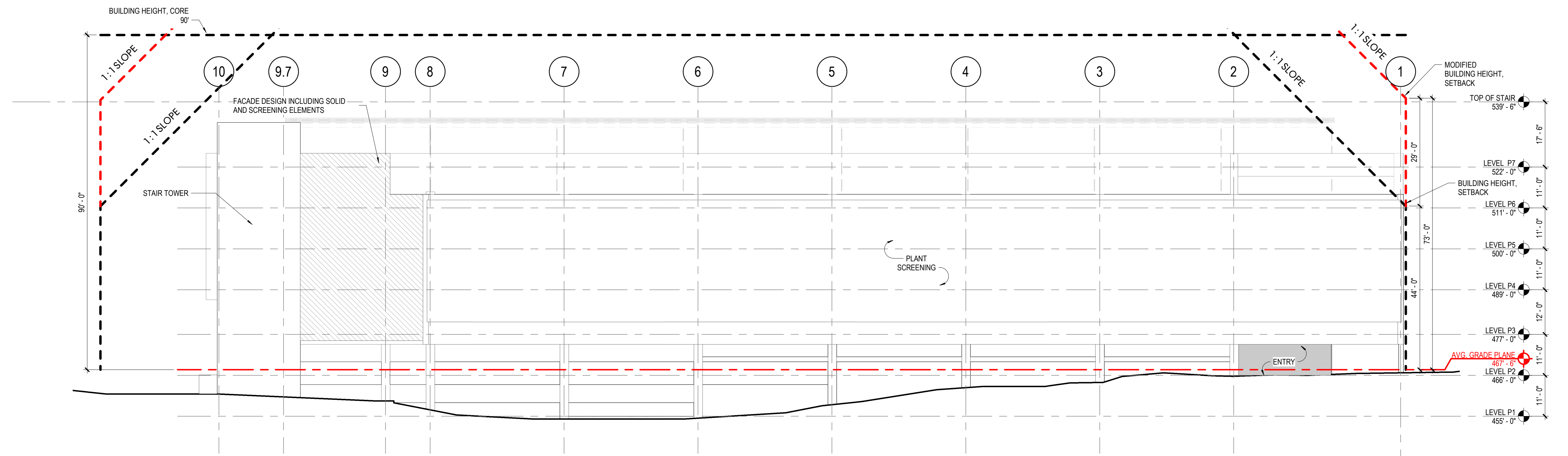
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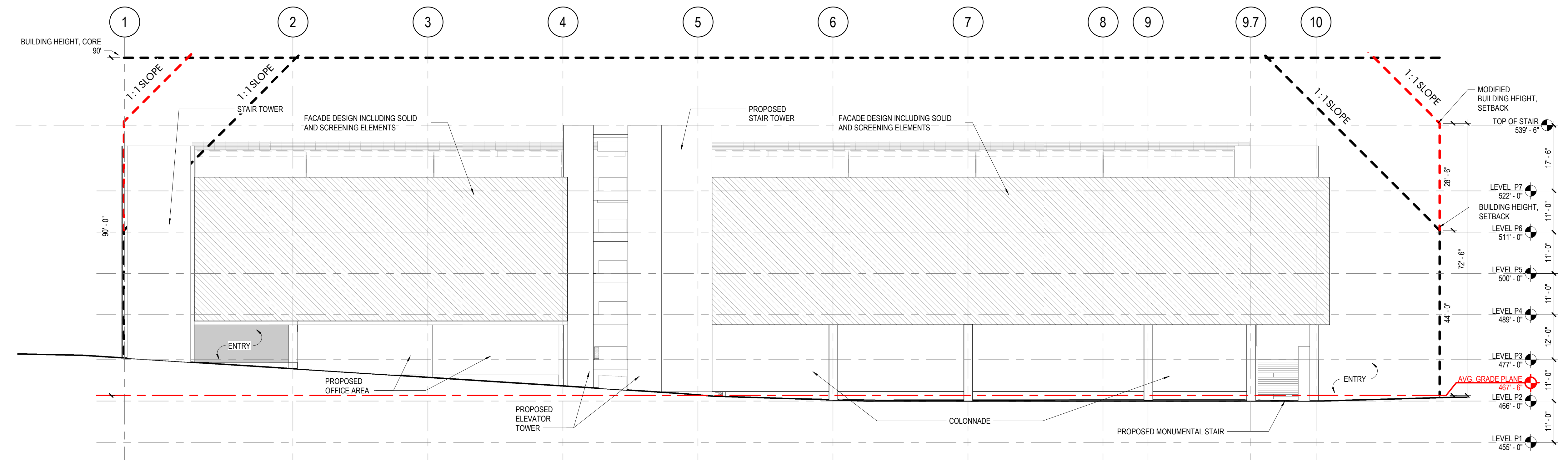
**4 ELEVATION - WEST**  
1/16" = 1'-0"



**3 ELEVATION - EAST**  
1/16" = 1'-0"



**2 ELEVATION - NORTH**  
1/16" = 1'-0"



**1 ELEVATION - SOUTH**  
1/16" = 1'-0"