







Rewriting Our Rules

A LUMO UPDATE

**Town Council
December 2, 2024**

TONIGHT'S DISCUSSION TOPICS:

-  By-Right Development
-  Environmental Protection
-  Missing Middle Housing
-  Process Improvements

Why We're Here



Updating the LUMO is a major step forward

- The Complete Community Strategy and Comprehensive Plan have articulated a vision for the Town.
- We cannot fully implement that vision with the current LUMO.
- We need modern tools to implement the Town's vision.

By-Right Development

Thoughtful and robust by-right development
supports a Complete Community

By-Right Development is...

Basic: Our simplest and most far-reaching zoning tool.

Regulated: Subject to all rules and requirements of LUMO.

Adaptable: Can change over time as the Town's needs evolve.

Tested: Widely accepted as a critical step to address housing needs.

Residential Development

Allow up to **30 units or 30,000 SF of floor area** in appropriate zoning districts to promote more housing production and diversity.

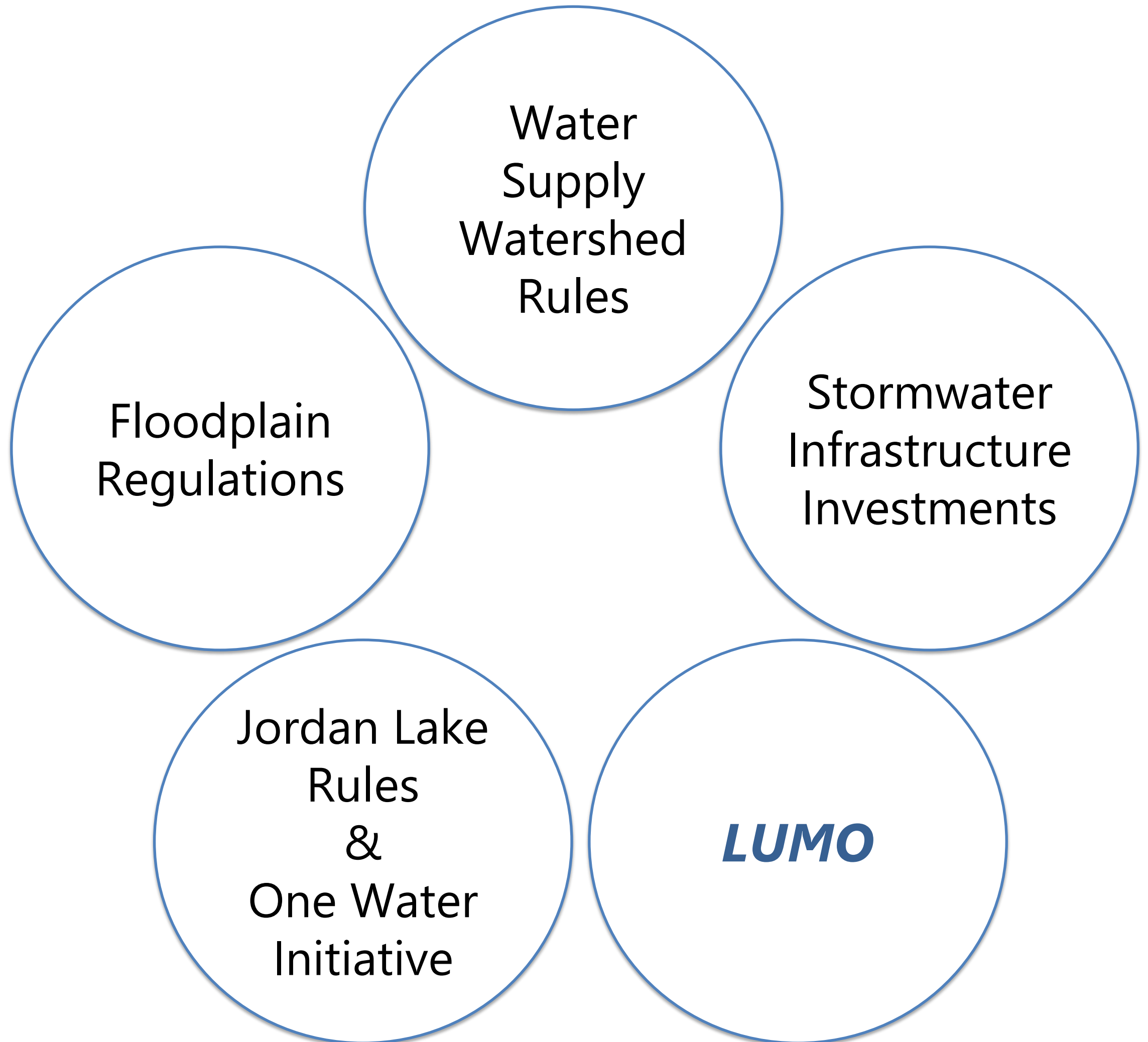
Commercial Development

Allow up to **40,000 SF of *new floor area*** in appropriate zoning districts to promote construction of new commercial spaces.

Environmental Protection

The proposed LUMO will make Chapel Hill a
more sustainable community

**LUMO is part of
an ecosystem of
environmental
protections**



The proposed LUMO will:

- Maintain all existing RCD buffers
- Promote in-fill development
- Expand the 100-year storm standard to most new development
- Require tree preservation for larger developments
- Require more trees to be planted for new development

Missing Middle Housing

The proposed LUMO will support a range of
missing middle housing

**The proposed
LUMO will:**

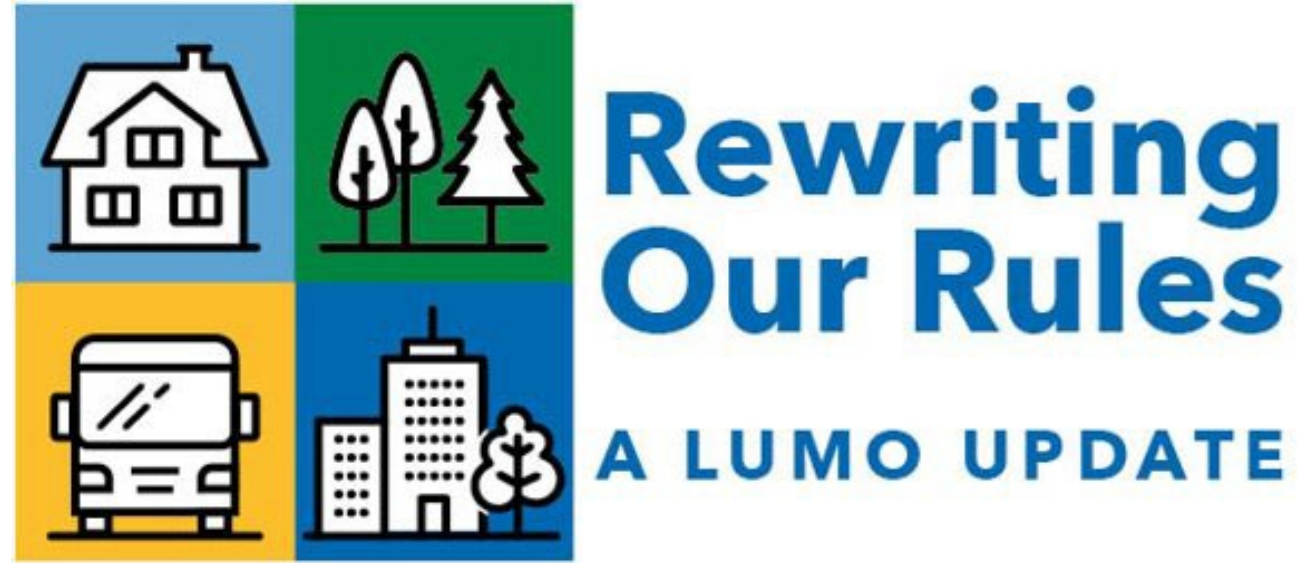
- Expand where triplexes, fourplexes, and cottage courts can be built
- Allow more by-right development of townhomes and small apartment buildings

Process Improvements

The proposed LUMO will improve how we make
land use decisions

**The proposed
LUMO will:**

- Simplify the Conditional Zoning process
- Reassign SUPs and administrative decisions
- Eliminate concept plans
- Simplify permitting for small projects



Q & A