

**HDC-25-13**

Historic District

Certificate of

Appropriateness

Status: Active

Submitted On: 6/3/2025

Primary Location208 HILLSBOROUGH ST
CHAPEL HILL, NC 27514**Owner**RUSSELL AVERY BATTLE
TRUSTEE
208 HILLSBOROUGH ST
CHAPEL HILL, NC 27514**Applicant**

Jody Brown



919-624-6007



@ jody@trinitydesignbuild.com

2532 Wrightwood Ave
Durham, NC 27705

Certificate of Appropriateness Form

Historic District

Franklin-Rosemary

Application Type Check all that apply

Minor Work is exterior work that does not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See Chapel Hill Historic Districts Design Principles & Standards ("Principles & Standards") (p. 9-11) for a list of minor works. Please contact Town Staff to confirm if you believe the project is classified as "minor work."

Historic District Commission Review includes all exterior changes to structures and features other than minor works

Maintenance or Repair Work

☐

Minor Work (Defined by Design Standards)

☐

Historic District Commission Review

☒

COA Amendment

☐

Written Description

Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable. Consider including additional materials to illustrate your project, such as: - Photos and specifications for proposed exterior materials such as siding, trim, roof, foundation materials, windows, etc. - Renderings of the proposed work - Spec sheets

Proposed addition of a new primary bedroom, bathroom, closet, and laundry room on the rear of the existing home. Addition is to be a wood-framed 1-story addition onto an existing previous addition, which was likely originally a porch. The new addition is to be clad in wood lap siding with a profile to match the existing home. Windows will be wood double-hung windows with simulated divided lights with a shadow bar. Windows will be 6 over 1 lite pattern to match the original house

Is this application for after-the-fact work?*

No

Is this applicaiton a request for review after a previous denial?*

No

Applicable HDC Design Standards

Page / Standard #

4.8.10

Topic

4. New Construction

Brief Description of the Applicable Aspects of Your Proposal

The addition has been designed with materials that are compatible with the original home

Page / Standard #**Topic**

4.8.2

4. New Construction

Brief Description of the Applicable Aspects of Your Proposal

The addition has been placed at the rear of the home to not be visible from the front

Page / Standard #**Topic**

4.8.6

4. New Construction

Brief Description of the Applicable Aspects of Your Proposal

The addition has been designed so that it does not overpower the original home. It is 1-story instead of 2, and has a lower sloped roof

Page / Standard #**Topic**

4.8.7

4. New Construction

Brief Description of the Applicable Aspects of Your Proposal

The addition has been designed to be secondary to the main house. It has a lower sloped roof and is 1-story instead of 2-story. It is also located on the rear of the home

Page / Standard #**Topic**

4.8.11

4. New Construction

Brief Description of the Applicable Aspects of Your Proposal

The addition has been designed with compatible materials to the original home. The detailing has been simplified from that of the main home. For example the new windows do not have shutters.

Page / Standard #**Topic**

1.4.5

1. District Setting

Brief Description of the Applicable Aspects of Your Proposal

A new flagstone walkway is proposed at the rear of the home to connect the existing stone walkway to the existing stone patio on the side yard by the new porch. The new flagstone walk will match the existing flagstone walk.

Page / Standard #**Topic**

1.4.9

1. District Setting

Brief Description of the Applicable Aspects of Your Proposal

New walk in rear of yard to be flagstone

Page / Standard #**Topic**

3.1.8

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

New gutters on addition will be k-style gutters with rectangular downspouts painted to match trim.

Page / Standard #**Topic**

3.4.6

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

New windows are located at rear of house.

Page / Standard #**Topic**

3.4.10

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

New windows are wood double-hung and awning windows with simulated divided lites with a shadow bar.

Page / Standard #**Topic**

3.5.7

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

New door is located in rear of house leading from the bedroom to the new porch and is not visible from front.

Page / Standard #

3.6.6

Topic

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

New porch is located at rear of home and is not visible from the front.

Page / Standard #

3.6.4

Topic

3. Exterior Changes

Brief Description of the Applicable Aspects of Your Proposal

Existing rear porch is in bad repair and is being replaced with a new porch. New decking is to be TREX composite decking to avoid future deterioration.

Property Owner Information

Property Owner Name

Avery Russell

Property Owner Signature

 Avery Russell
Jun 3, 2025



**Town of Chapel Hill
Planning Department**

405 Martin Luther King Jr Blvd

Phone: (919) 968-2728

Email: planning@townofchapelhill.org

www.townofchapelhill.org

Property Owner Authorization Form

Staff Use Only

Application Number:

The current property owner must complete and sign this authorization form if someone else applies for a Certificate of Appropriateness on their behalf. Please submit a separate form per property owner.

Project Name: 208 Hillsborough Additions

Property Address: 208 Hillsborough St. / Chapel Hill / NC / 27514

Parcel Identifier Number(s) (PINs): 9788581761

Property Owner Name: Avery Russell

Property Owner Address: 208 Hillsborough St. / Chapel Hill / NC / 27514

Email: averyrussell646@gmail.com

Phone: (646) 352-2617

Relationship to Applicant: Client / Architect

(646) 352-2614

If the property owner is an entity, provide detailed information regarding the principals of the entity.

Property Owner Authorization

The undersigned property owner hereby certifies that, to the best of their knowledge and belief, all information supplied with this application is true and accurate.

Signature: Avery B. Russell

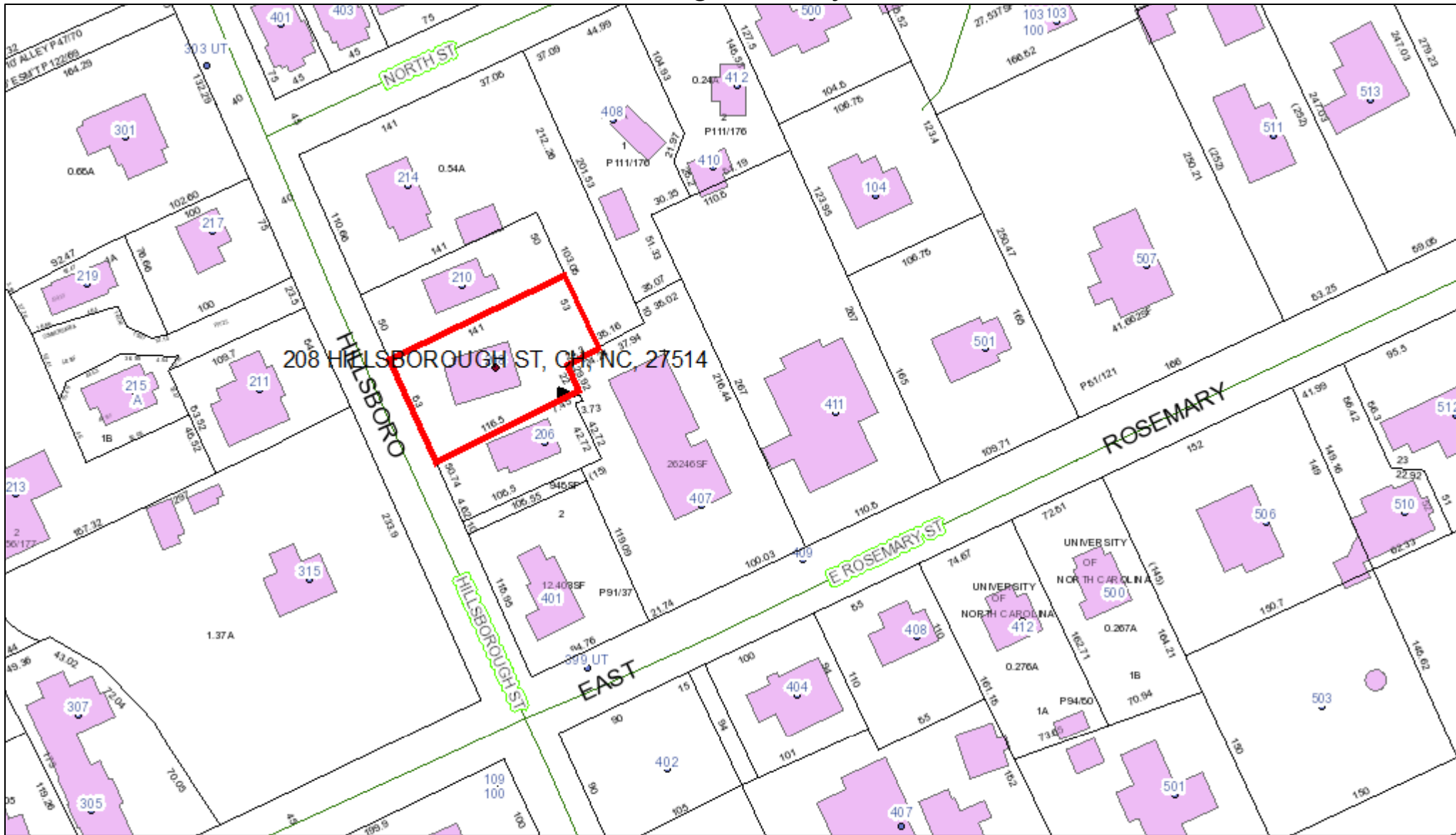
Date: 6-3-25

Print Name: Avery Russell

208 Hillsborough – House – c. 1910, c. 2005 C – Building

This two-story, front-gabled Colonial Revival-style house is three bays wide and triple-pile with plain weatherboards, a wide cornice with partial cornice returns, deep eaves, and two interior brick chimneys. The house has six-over-one wood-sash windows and a single one-over-one window in the front gable. The entrance, centered on the façade, is sheltered by a near-full-width, hip-roofed porch supported by tapered square columns with a sawnwork railing. A shed-roofed screened porch on the right (south) elevation, constructed after 2002, is supported by square posts and a sleeping porch at the right rear (southeast) corner of the second floor has four-light casement windows. An entrance on the left (north) elevation is sheltered by a shed roof on braces and accessed by a brick stair. Just beyond the stair is a shed-roofed carport on square posts. There is a full-width, one-story, shed-roofed wing at the rear, the north end of which was likely an inset porch, but has been enclosed with fixed and double-hung windows. A low stone wall extends across the front of the property and the driveway. County tax records date the building to 1910 and the house appears on the 1915 Sanborn map, the first to cover this part of Hillsborough Street. The side porch was added after 2002 and the rear porch may have been enclosed at this time.

Orange County



June 2, 2025

This map contains parcels prepared for the inventory of real property within Orange County, and is compiled from recorded deed, plats, and other public records and data. Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map.

The county and its mapping companies assume no legal responsibility for the information on this map.

PIN: 9788581761

OWNER 1: RUSSELL AVERY BATTLE TRUST

OWNER 2: MCLAREN ALFRED SCOTT TRUST

ADDRESS 1: 208 HILLSBOROUGH ST

ADDRESS 2:

CITY: CHAPEL HILL

STATE, ZIP: NC 27514

LEGAL DESC: E/S HILLSBORO ST

SIZE: 0.25 A

DEED REF: 6737/1012

RATECODE: 22

TOWNSHIP: CHAPEL HILL

BLDG SQFT: 3108

YEAR BUILT: 1910

BUILDING COUNT: 1

LAND VALUE: \$700,000

BLDG VALUE: \$455,200

USE VALUE: \$0

TOTAL VALUE: \$1,155,200

DATE SOLD: 08/01/2021

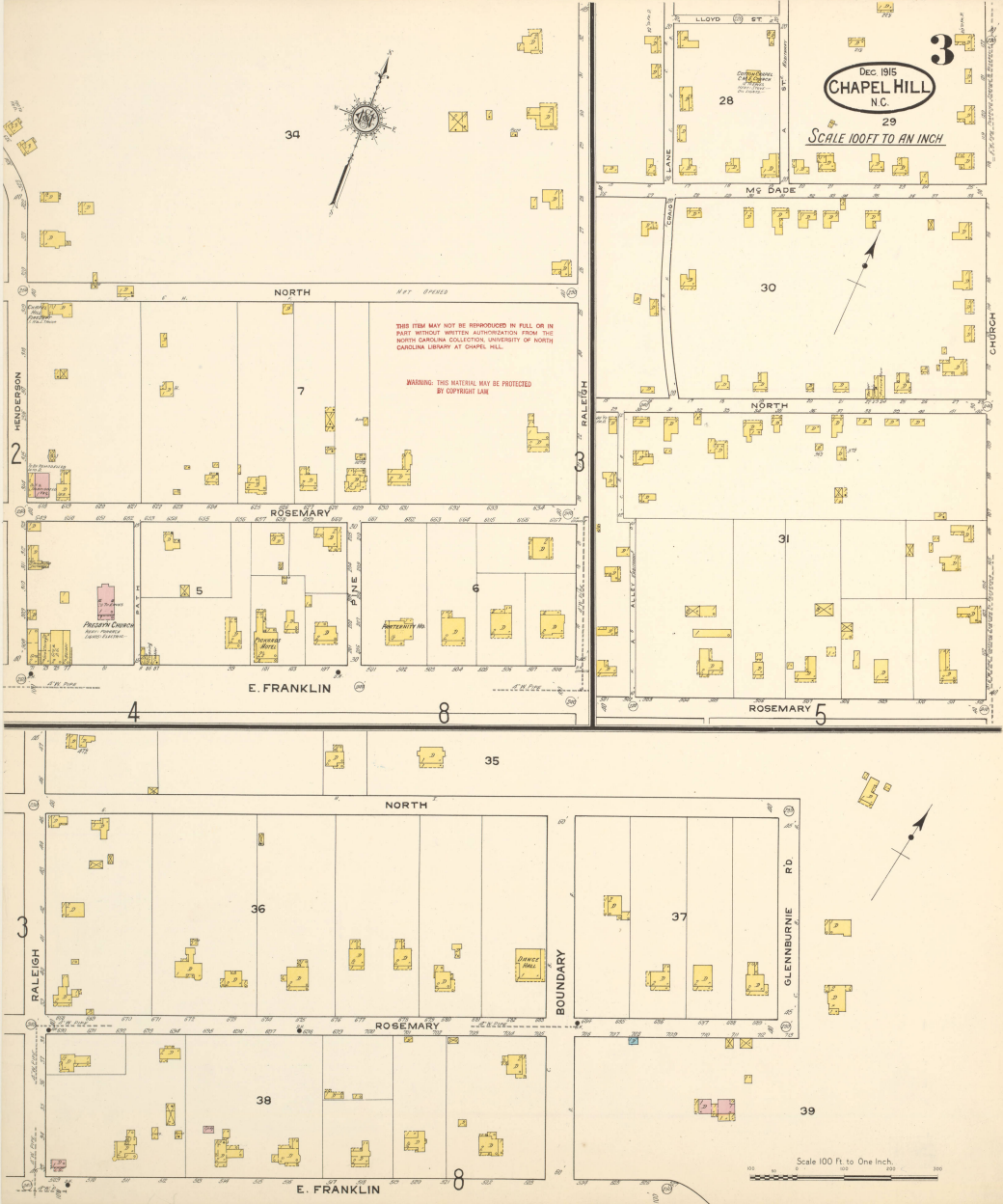
TAX STAMPS: 2798

1:1,200

0 0.01 0.02 0.04 mi

0 0.015 0.03 0.06 km





1.4 Walkways, driveways, and off-street parking

1.4.6. Site new walkways, driveways, and off-street parking areas in locations that are compatible with the character of the building, site, and district—typically to the side and rear of existing buildings—and locate them so the topography of the site and mature trees and other significant site features are not significantly altered, damaged, or lost. a. In residential areas, do not locate off-street parking areas in front yards. Whenever possible, driveways should lead to parking areas to the side or rear of the primary building on the site. b. In commercial and institutional areas, parking should be located at the side or rear of the property whenever possible.

New walkway has been located at the rear of the site to replace the walkway that is covered by our addition. The new walkway is compatible with the character of the existing walkways. It is a flagstone and gravel walkway to match the existing walkway.

3.9 Sustainability and energy efficiency

3.9.7. Locate new mechanical equipment, utilities, and sustainable site features—including air-conditioning and heating units, meters, exposed pipes, rain barrels or cisterns, and raised planting beds—in locations that are minimally visible from the street and do not alter or remove historic fabric from the building or do not diminish or compromise the overall character of the building, site, or district. Screen ground-level equipment from view with vegetation or fencing.

The existing condenser is being relocated to the side of the new addition. This is located in the rear/side yard and is not visible from the street. The condenser will be screened with plantings in the garden.

4.4 Building materials and architectural details

4.4.1. Design new buildings and their features to be compatible in scale, materials, proportions, and details with historic buildings in the immediate surroundings when the scale, materials, proportions, and details are important in defining the overall historic character of the district. New buildings should be compatible with, but discernible from, historic buildings in the districts.

The new addition to the rear has been designed to be compatible with the existing historic home and the character of the surrounding district.

4.4.2. Select exterior surface materials and architectural details that are compatible with the style of the house and with the materials of historic buildings in the immediate vicinity, in terms of size, composition, texture, pattern, color, and detail, when those materials and details are important in defining the overall historic character of the district.

The exterior surface materials of the new addition are compatible with the style of the existing home. Brick foundation, horizontal wood siding, matching trim and roofing materials, etc.

4.4.3. Use traditional materials including but not limited to brick, stucco, stone, and wood in conventional ways (i.e. wood siding applied horizontally).

The new materials used on the addition are traditional building materials common in the district and are applied in a traditional manner to match the existing home.

4.5 Doors and windows

4.5.1. Design new buildings so that window and door openings are compatible with buildings in the immediate surroundings when the window and door openings are important in defining the overall historic character of the district. This compatibility includes: a. the ratio of solids (walls) to voids (windows and doors) b. the rhythm and placement of windows and door openings c. the proportions of window and door openings (ratio of width to height) d. the overall size and shape of window and door openings

The new window and door openings in the addition are compatible with those in the existing home and the surrounding district. The ratio of window to wall is similar, the rhythm of the openings is similar, and the proportions of the openings are similar.

4.5.2. Design new buildings so that the articulation of window and door openings is compatible with buildings in the immediate surroundings when that articulation is important in defining the overall historic character of the district. For example, openings are generally recessed on a masonry building while doors and windows are surrounded by raised trim on a frame building. New openings that are flush with the rest of the wall are not appropriate on traditionally styled buildings.

The new openings in the addition are compatible with the articulation used in the existing home and the district. Windows and doors are surrounded by raised trim to match the existing home.

4.5.3. Design new buildings so that the pattern and style of windows and doors are compatible with the windows and doors of buildings in the immediate surroundings when the pattern and style of windows and doors is important in defining the overall historic character of the district and are consistent with the overall style of the building.

The new windows match the pattern and style of the windows in the main house. They are 6 over 1 pattern with simulated divided lites with a shadow bar.

4.5.4. Do not install windows, doors, or sidelights with two-dimensional simulations of pane subdivisions, such as snap-in muntins. If not true divided light, glazing should have three-dimensional grills affixed to both the interior and exterior of the window with shadow bars between insulated glass panes.

The new windows match the pattern and style of the windows in the main house. They are 6 over 1 pattern with simulated divided lites with a shadow bar.

4.5.5. Install windows and doors constructed of materials that are compatible with the windows and doors of buildings in the immediate surroundings when those materials are important in defining the overall historic character of the district. These include wood, aluminum-clad, and fiberglass-clad wood windows as well as wood, metal, metal-clad wood, or fiberglass doors. Vinyl and vinyl-clad windows are not appropriate in the historic districts.

The new window and doors are wood to match those of the original home

4.5.6. Install storm windows and doors following the standards found in Windows & Shutters and Exterior Doors.

No storm windows or doors are being installed.

4.5.7. Do not use tinted, frosted, or mirrored glass where visible from the street. Translucent or low-e glass may be strategies to reduce solar heat gain.

Window and door glass is clear with a low-e coating to reduce solar gain.

4.6 Porches and entrances

4.6.1. Design new buildings with porches and entrances that complement the size, proportion, placement, and rhythm of existing historic porches and entrances in the immediate surroundings when the size, proportion, placement, and rhythm are important in defining the overall historic character of the district.

A new porch is proposed on the side elevation to replace the existing porch that is in disrepair. The new porch will match the size, proportion, placement, and rhythm of the existing porch it replaces.

4.6.2. Design porches to provide usable outdoor space by ensuring a minimum depth of six feet.

The new porch on the side elevation is 6'9" deep to provide usable outdoor space.

4.6.3. Design entrances to be no more than one bay wide and no deeper than six feet, with the door centered within the entrance.

The existing door leading to the sunroom from the porch will remain, and a new door is being added from the primary bedroom to the new porch.

4.6.4. Design porches and entrances to be compatible with the overall architectural style of the building.

The new porch on the side elevation is compatible with the architectural style of the home and has been designed to have railings that match the railings of the front porch.

4.6.5. Select materials and architectural details that are compatible with both the architectural style of the new building and with buildings in the immediate surroundings in terms of size, composition, texture, pattern, color, and detail when those materials and details are important in defining the overall historic character of the district.

Materials used on the porch are compatible with the home. Railings have been designed to match the railings of the front porch.

4.6.6. It is generally inappropriate to use synthetic (vinyl, aluminum, PVC, plastic, resin, fiberboard) siding and details within the historic districts. However, substitute materials may be considered for trim, porch elements, and other decorative features that are susceptible to repeated moisture infiltration and rot.

The existing porch on the side of the house has had moisture problems in the past and is in disrepair. Therefore the decking of the new porch is proposed to be a composite decking material (Trex) to avoid rotting in the future.

4.6.7. Frame porches with raised foundations should have tongue-and-groove porch floors with boards laid perpendicular to the façade of the house. Do not use wood decking for porch floors.

The decking of the porch is uncovered. To avoid moisture problems we are proposing using a composite decking material (Trex) installed with small gaps between the boards for drainage.

4.8 Additions

4.8.1. Introduce compatible new additions, as needed, in ways that do not compromise the historic character of the site or district.

The addition has been added to the rear of the house and does not compromise the character of the home or district.

4.8.3. Site additions to be consistent with additions in the immediate surroundings and to retain the orientation of the existing building as well as the spacing between and distance from other buildings in the immediate surroundings when the siting and spacing are important in defining the overall historic character of the district. Maintain the original orientation of the structure with primary entrances on the front façade of the building.

The proposed addition is on the rear of the home. The original orientation with the entrance on the front of the home is maintained.

4.8.4. Design and site additions so they do not compromise the overall historic character of the site, including its topography, significant site features, and distinctive views. Do not introduce an addition if it requires the loss of a character-defining building or site feature, such as a porch, or if it necessitates the relocation or demolition of historic garages or accessory buildings.

The new addition is proposed to be an extension of a former addition on the rear of the home. The former addition was likely a porch originally but has since been enclosed. The new addition does not result in the loss of any character-defining elements of the home.

4.8.5. Design and locate additions so that, as much as possible, historic features and details—including windows, doors, chimneys, bays, corner boards, wood shingles, brackets and decorative trim—are not removed or concealed.

The new addition retains the existing historic features and details of the original home as much as possible. The addition covers a small portion of the existing rear of the home.

4.8.6. Design additions so that their size, scale, and form are compatible with the existing building and do not visually overpower the building on this or adjacent sites.

The addition has been designed to not overpower the original home. The addition is only 1-story on the rear of the 2-story home. Also, the roof slope of the addition is a smaller slope to not overpower the roof of the original home.

4.8.7. Design additions to be compatible with, but discernible from and secondary to, the existing building in their location, size, scale, and building and roof form.

- a. Limit the size and scale of additions to minimize their visual impact and maintain private open spaces on the site.
- b. Match the foundation height, style, and materials of an addition to the existing building.
- c. Differentiate the addition from the wall plane of the existing building and preserve existing cornerboards and trim by stepping back the wall plane of the addition and/or utilizing a hyphen or other small-scale transitional element to connect the addition to the existing building.
- d. Where additions compete in size with the original building, include a hyphen or small-scale connecting wing or to separate the historic building from its new addition.
- e. Utilize similar roof forms and pitches for building additions and, when possible, align the height of the eave line of a new addition with the eave line of the existing building.
- f. Maintain the roof pitch and ridgeline of the existing building. Do not alter or raise the roof ridge of existing buildings in order to accommodate additions. Roof ridges for additions should be secondary to (lower than) those of the main structure.

The new addition has been designed to be secondary to the original home. The size of the addition has been minimized by renovating and reusing some existing space. The foundation height of the addition matches the existing home. The addition is differentiated from the existing by bumping out slightly towards the rear yard. Also, a gable roof element has been used on the new addition to differentiate from the adjacent existing shed roof element. The roof slope of the addition is a lesser slope than the slope of the main roof of the home to create an addition that is secondary to the main home.

4.8.9. Minimize damage to the historic building by constructing additions to be structurally self-supporting, where feasible, and attach them to the original building carefully to minimize the loss of historic fabric. Attach additions in such a manner that, if additions were removed in the future, the essential form and integrity of the historic building would be unimpaired.

The new addition is added onto an existing addition which was likely originally a porch. That porch was enclosed at some point and possibly extended. The new addition extends this existing addition further. The addition will be constructed to minimize the damage to the existing home. And could be removed in the future if desired.

4.8.10. Design additions and their features with materials that are compatible with, but discernible from and secondary to, the existing building and historic buildings within the immediate surroundings when the features and materials are important in defining the overall historic character of the district.

- a. Select exterior materials and finishes that are compatible with the original building in terms of scale, dimension, pattern, detail, finish, texture, and color.
- b. Use traditional materials in conventional ways so that additions are in harmony with the buildings in the historic district (i.e. wood siding applied horizontally).
- c. Smooth-faced cementitious or composite siding that matches the traditional dimension of wood siding is permitted for additions.

d. Do not use synthetic (vinyl, aluminum, PVC, plastic, resin) siding and details on additions within the historic districts unless it can be demonstrated that the material and finishes are compatible with the original building in terms of scale, dimension, pattern, detail, finish, texture, and color.

The materials used in the addition are compatible with those of the original home. They are traditional materials used in a traditional way. Siding, trim and corner boards of the addition match the original home. The brick foundation matches the original home. The asphalt shingle roofing used matches the original home.

4.8.11. Design additions and their features with architectural details that are compatible with, but discernible from and secondary to, the existing building and historic buildings within the immediate surroundings when the features and materials are important in defining the overall historic character of the district.

- a. Incorporate materials and details derived from the primary structure.
- b. Extend the hierarchy of architectural details to the addition with embellishments and detailing simplified on less visible side and rear elevations.

The features and details of the new addition are compatible with the original home. The detailing has been simplified since it is at the rear of the home. For example the windows do not have shutters, and the roof eave does not return like those of the main house.

4.8.12. Design additions so that the location, shape, scale, size, materials, pattern, and proportion of windows and doors are compatible with the windows and doors of the existing building and with historic buildings in the immediate surroundings when these elements of doors and windows are important in defining the overall historic character of the district. Doors and windows should follow the standards for New Construction: Doors and Windows.

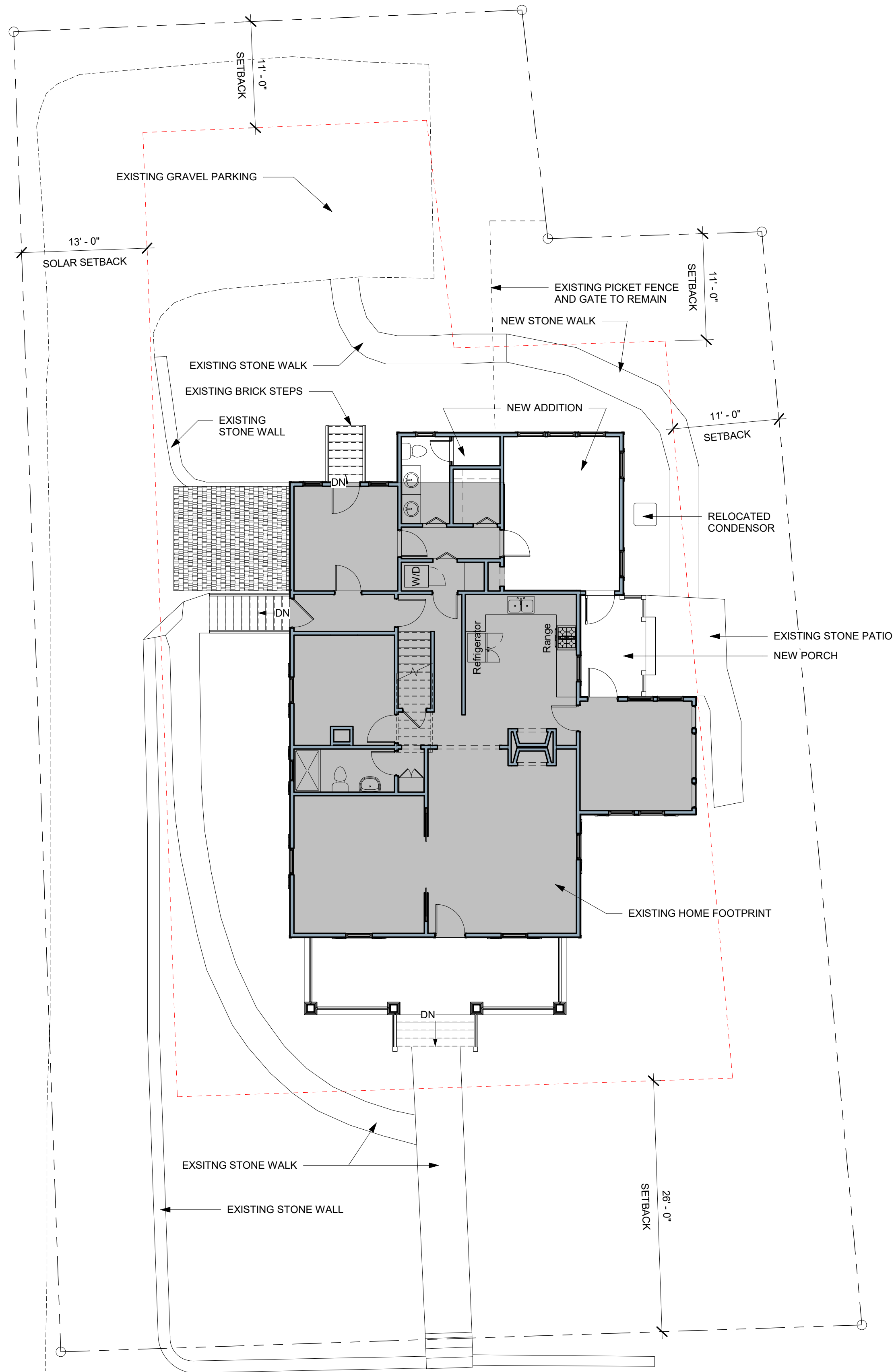
The windows and doors of the new addition have been designed to be compatible with the character of the existing home and follow the standards for new construction: doors and windows.

4.8.13. Design porches so that the location, shape, scale, size, materials, and details are compatible with, but discernible from and secondary to, porches on the existing building. Porches should follow the standards for New Construction: Porches.

The new porch on the side elevation has been designed to be secondary to the primary porch at the front of the home.

4.8.14. Maintain and protect significant site features from damage during or as a consequence of related site work or construction.

All existing architecture and site features such as walks, stone walls, and fencing will be protected during construction.



HILLSBOROUGH ST.

SITE PARAMETERS:

EXISTING ZONING = R-2
MINIMUM LOT WIDTH = 65'-0"
MAXIMUM HEIGHT AT SETBACK = 29'-0"
MAXIMUM HEIGHT AT CORE = 50'-0"
MINIMUM STREET SETBACK = 26'-0"
MINIMUM INTERIOR SETBACK = 11'-0"
MINIMUM SOLAR SETBACK = 13'-0"
IMPERVIOUS RATIO: 5/7
FLOOR AREA RATIO = .093



2532 Wrightwood Ave.
DURHAM, NC. 27705
919-624-6007
www.trinitydesignbuild.com

SITE NOTES:

1. ANY ASBESTOS REMOVAL REQUIRED FROM EXISTING BUILDING SHALL BE UNDER A SEPARATE CONTRACT.
2. GRADE AROUND BUILDING PAD AS REQUIRED TO PROVIDE POSITIVE DRAINAGE AWAY FROM NEW HOME FOUNDATIONS ON ALL SIDES.
3. PROVIDE ALL NEW GRASS SEEDING AND/OR SOD AS REQUIRED.
4. PROVIDE NEW FOUNDATION PLANTING AS INDICATED ON DRAWINGS.

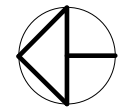
GENERAL NOTES:

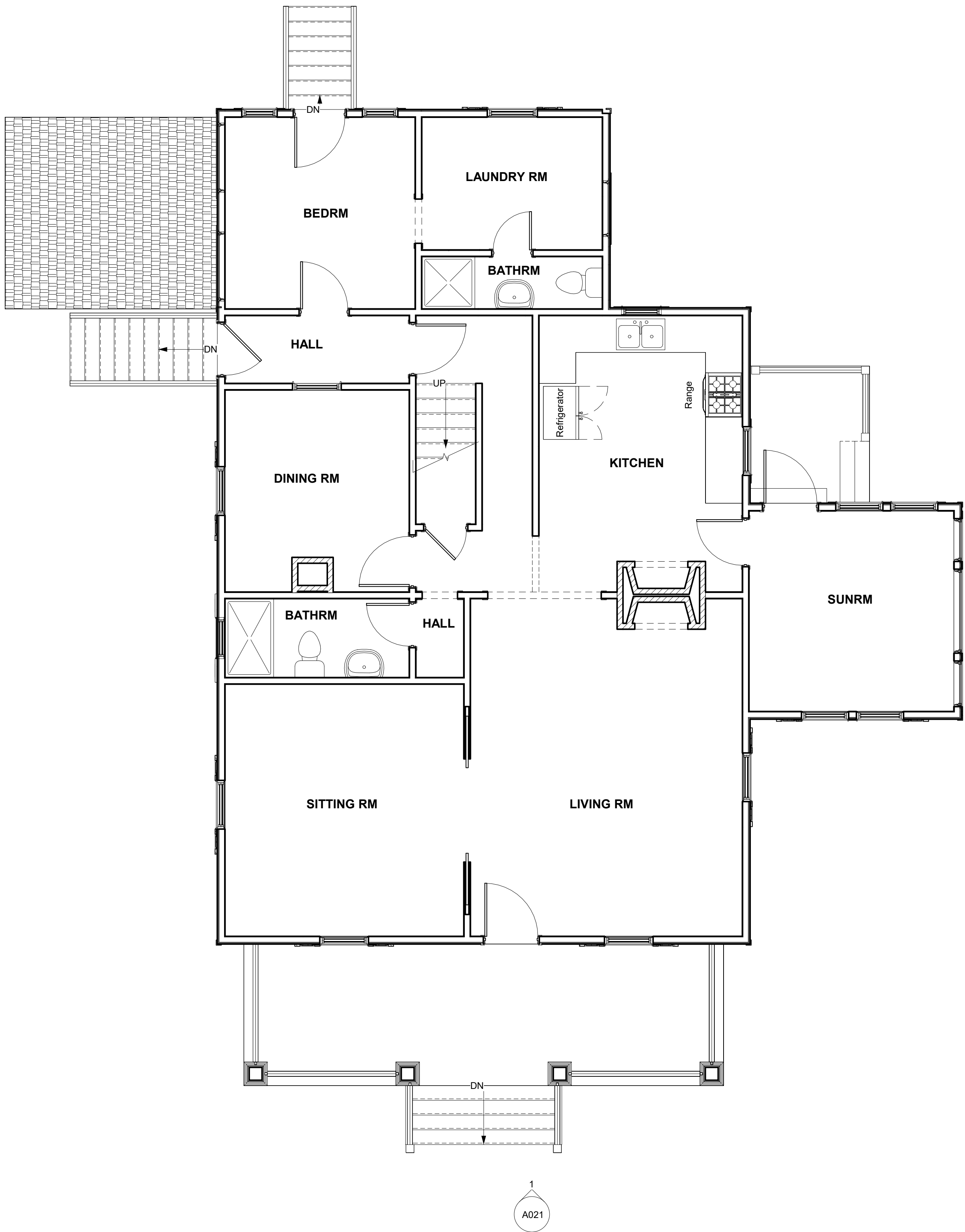
1. ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH 2018 NC RESIDENTIAL CODE TO THE SATISFACTION OF LOCAL BUILDING INSPECTORS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
3. ALL DIMENSIONS ARE TO THE FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE.
4. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD DIMENSIONS.

NOT FOR CONSTRUCTION

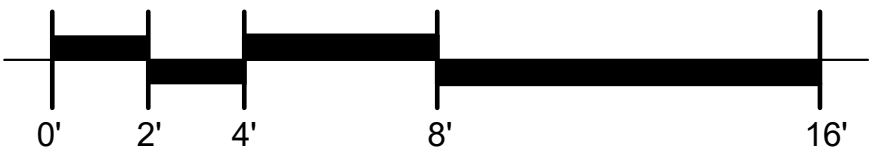
HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

| |
|-----------------------------|
| 6-2-25 REVIEW |
| |
| |
| |
| |
| JBA Project number: 25-2 |
| SHEET NAME: |
| SITE PLAN |





1
A011 EXISTING 1ST FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES:

1. ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH 2018 NC RESIDENTIAL CODE TO THE SATISFACTION OF LOCAL BUILDING INSPECTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
2. ALL DIMENSIONS ARE TO THE FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD DIMENSIONS.

CODE COMPLIANCE NOTES:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NC INTERNATIONAL RESIDENTIAL CODE (IRC) AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES, AND APPLICABLE LOCAL & CITY ORDINANCES.

WALL LEGEND

- | | |
|--|--------------------------------|
| | EXISTING WALL TO REMAIN |
| | EXISTING WALL TO BE DEMOLISHED |
| | NEW WALL |



2532 Wrightwood Ave.
DURHAM, NC. 27705
919-624-6007
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NOT FOR CONSTRUCTION

HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

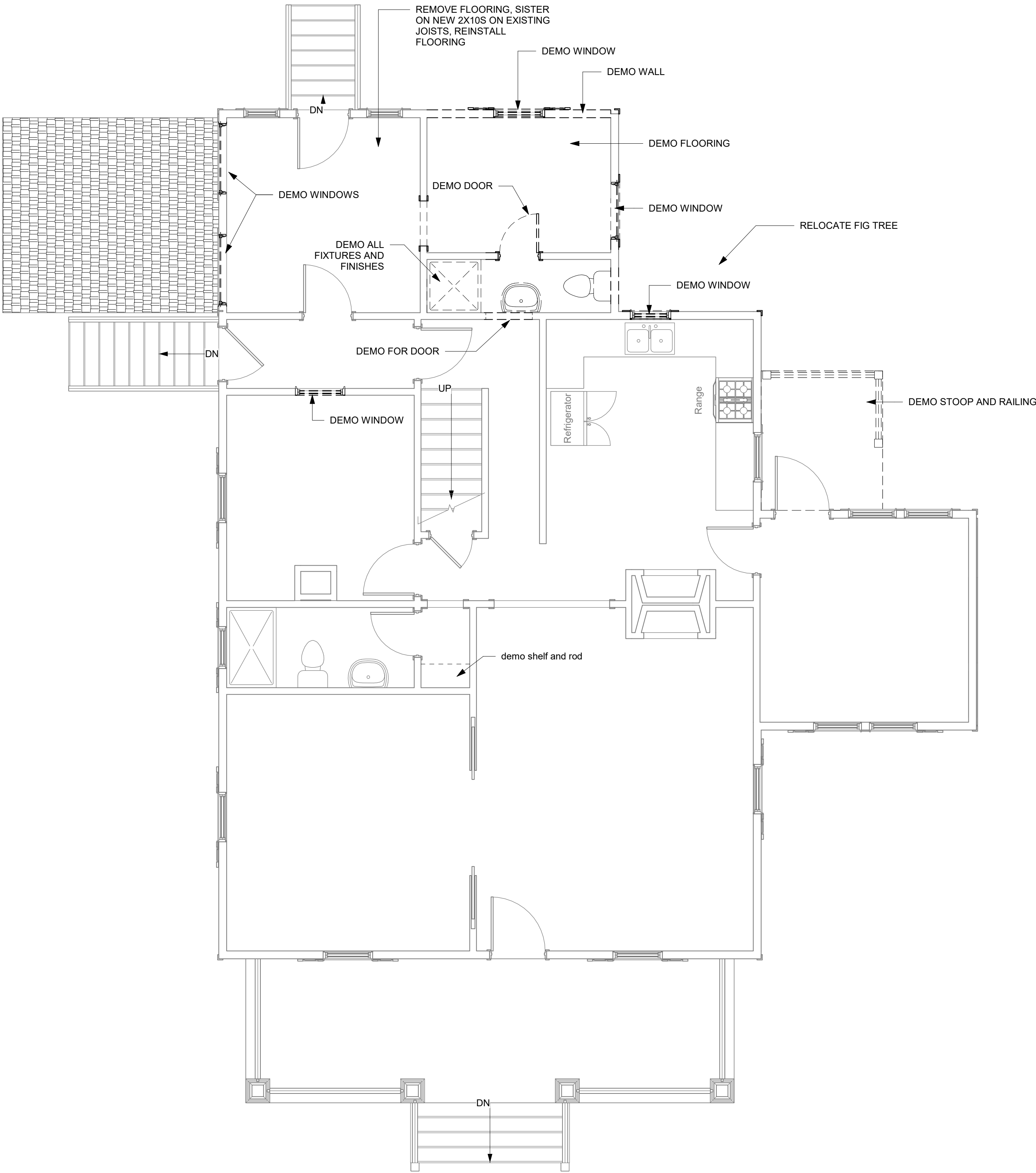
6-2-25 REVIEW

JBA Project number:
25-2

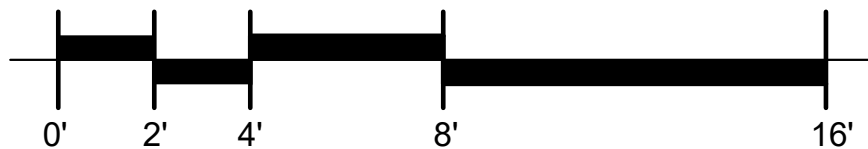
SHEET NAME:

EXISTING
1ST FLOOR
PLAN

A011



1 1ST FLR DEMO PLAN
A012 1/4" = 1'-0"



GENERAL NOTES:

1. ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH 2018 NC RESIDENTIAL CODE TO THE SATISFACTION OF LOCAL BUILDING INSPECTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
2. ALL DIMENSIONS ARE TO THE FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE.
3. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD DIMENSIONS.

TRINITY
ARCHITECTURE
P.A.

2532 Wrightwood Ave.
DURHAM, NC. 27705
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CODE COMPLIANCE NOTES:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NC INTERNATIONAL RESIDENTIAL CODE (IRC) AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES, AND APPLICABLE LOCAL & CITY ORDINANCES.

WALL LEGEND

- | | |
|--|--------------------------------|
| | EXISTING WALL TO REMAIN |
| | EXISTING WALL TO BE DEMOLISHED |
| | NEW WALL |

DEMOLITION NOTES:

1. DEMOLITION SHALL INCLUDE THE REMOVAL OF WALLS, PARTITIONS, DOORS, AND WINDOWS AS INDICATED ON THE DRAWINGS. COORDINATE WITH NEW CONSTRUCTION DRAWINGS.
2. DEMO WALLS AS INDICATED ON THE DRAWINGS.
3. REMOVE WINDOWS INDICATED ON THE DRAWINGS AND SALVAGE FOR THE OWNER.
4. REMOVE DOORS INDICATED ON THE DRAWINGS AND SALVAGE FOR THE OWNER.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL DEMOLITION DEBRIS AND ABANDONED EQUIPMENT FROM THE PREMISES.
6. DISPOSAL AND RECYCLING SHALL BE COORDINATED WITH THE REQUIREMENTS OF THE LOCAL JURISDICTION.
7. THE OWNER RESERVES THE RIGHT TO RETAIN POSSESSION OF ANY OR ALL ITEMS OF REMOVAL OR DEMOLITION. THE CONTRACTOR SHALL COORDINATE THE ITEMS TO BE SALVAGED WITH THE OWNER.
8. ALL SURFACES EFFECTED BY DEMOLITION SHALL BE PATCHED, REPAIRED, AND REFINISHED TO MATCH ADJACENT SURFACES WHERE THEY WILL BE VISIBLE.
9. CONTRACTOR SHALL PROTECT WALLS, FLOORS, AND OTHER SURFACES IN ALL ROUTES OF EQUIPMENT AND DEBRIS EXTRACTION AND FOOT TRAFFIC.
10. UNDER NO CIRCUMSTANCES SHALL BUILDING STRUCTURAL MEMBERS BE ALTERED TO FACILITATE DEMOLITION. CONTACT ARCHITECT WHEN STRUCTURAL MEMBER IS IN CONFLICT WITH THE RENOVATION PLANS.
11. CONTRACTOR TO PROVIDE TEMPORARY SHORING AS REQUIRED BY THE NEW WORK. COORDINATE THE INSTALLATION WITH THE ARCHITECT AS REQUIRED.

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HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

FIRST FLOOR
DEMO PLAN

A012

NOT FOR CONSTRUCTION

HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

6-2-25 REVIEW

JBA Project number:
25-2

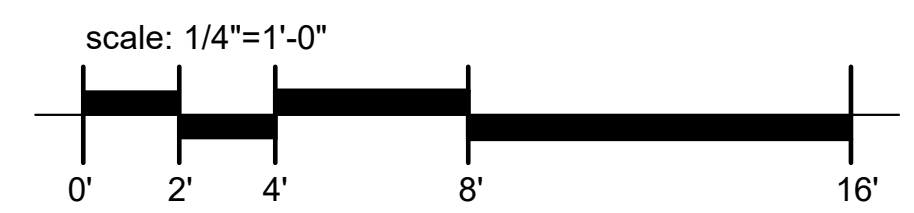
SHEET NAME:

EXISTING
ELEVATIONS

A021



1 FRONT ELEVATION
A021 1/4" = 1'-0"



NOT FOR CONSTRUCTION

HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

6-2-25 REVIEW

JBA Project number:
25-2

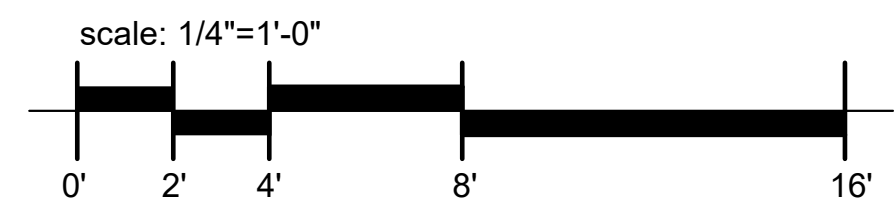
SHEET NAME:

EXISTING
ELEVATIONS

A022



1
A022
RIGHT SIDE ELEVATION
1/4" = 1'-0"



NOT FOR CONSTRUCTION

HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

6-2-25 REVIEW

JBA Project number:
25-2

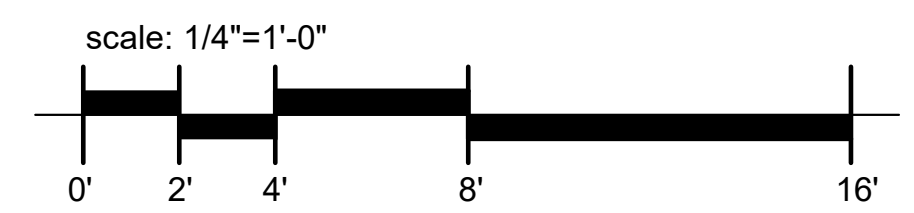
SHEET NAME:

EXISTING
ELEVATIONS

A023



1 REAR ELEVATION
A023 1/4" = 1'-0"



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HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
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6-2-25 REVIEW

JBA Project number:
25-2

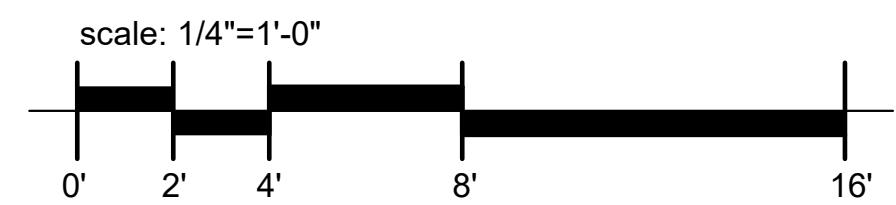
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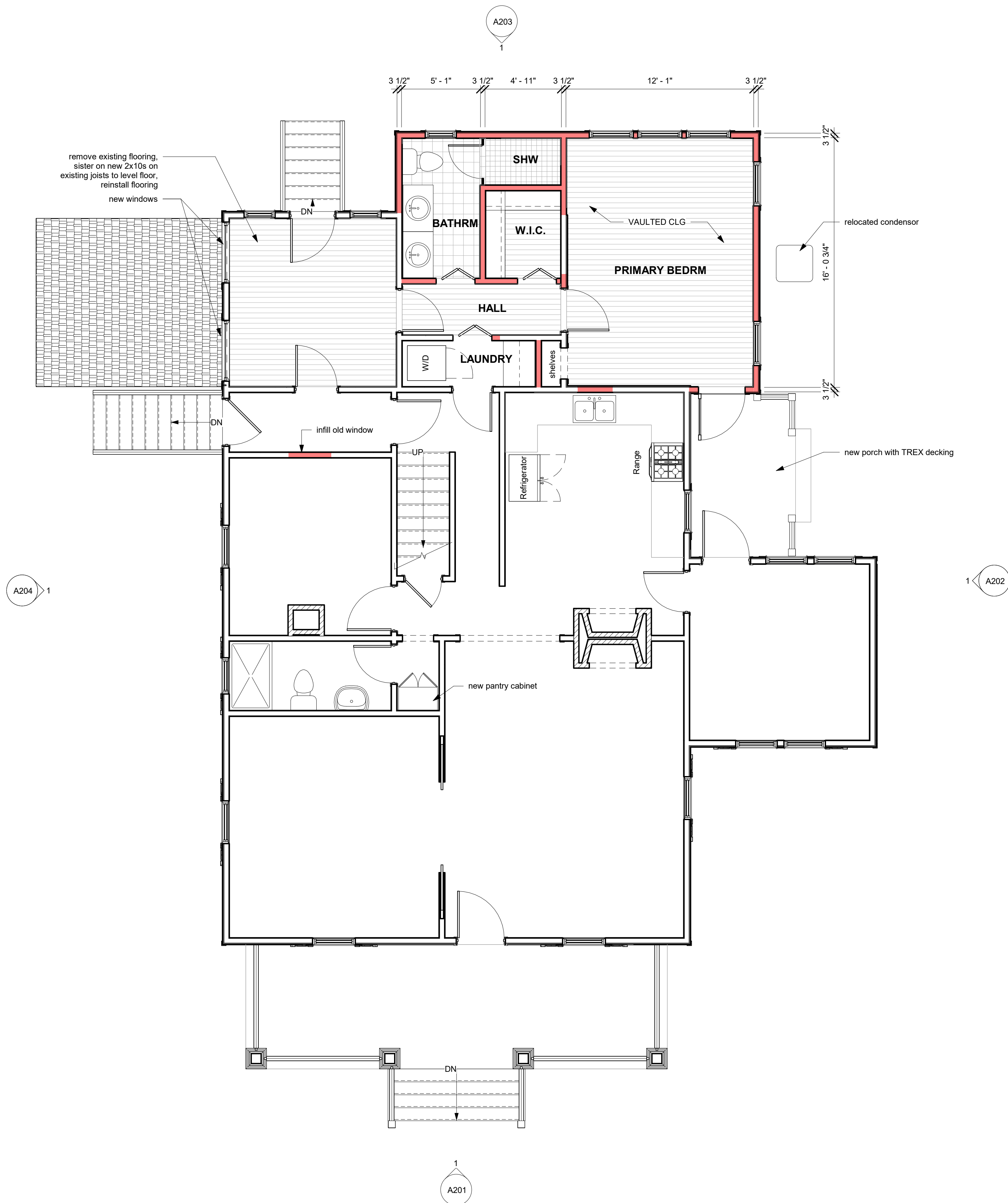
EXISTING
ELEVATIONS

A024

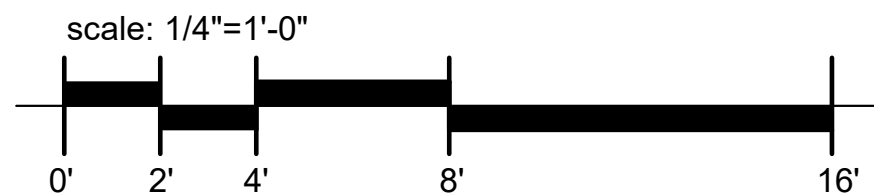


1 LEFT SIDE ELEVATION
A024 1/4" = 1'-0"





1 1ST FLOOR PLAN
1/4" = 1'-0"



GENERAL NOTES:

- ALL WORK SHALL BE COMPLETED IN COMPLIANCE WITH 2018 NC RESIDENTIAL CODE TO THE SATISFACTION OF LOCAL BUILDING INSPECTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FILING AND SECURING ALL NECESSARY PERMITS, APPROVALS, ETC. FOR ALL TRADES.
- ALL DIMENSIONS ARE TO THE FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD DIMENSIONS.

CODE COMPLIANCE NOTES:

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE NC INTERNATIONAL RESIDENTIAL CODE (IRC) AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES, AND APPLICABLE LOCAL & CITY ORDINANCES.

WALL LEGEND

- | | |
|--|--------------------------------|
| | EXISTING WALL TO REMAIN |
| | EXISTING WALL TO BE DEMOLISHED |
| | NEW WALL |

FLOOR PLAN NOTES:

- ALL DIMENSIONS ARE TO THE FACE OF STUD OR THE FACE OF CMU, UNLESS NOTED OTHERWISE.
- GENERAL CONTRATOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD DIMENSIONS.
- USE PRESSURE TREATED LUMBER WHERE IN CONTACT WITH CONCRETE, CMU, OR GRADE.
- REFER TO DOOR SCHEDULE FOR ADDITIONAL INFORMATION.
- REFER TO WINDOW SCHEDULE FOR ADDITIONAL INFORMATION.
- REFER TO ROOM FINISH SCHEDULE FOR ADDITIONAL INFORMATION.
- PROVIDE NEW 2X4 ALL STUDS AT 16" O.C. AS INDICATED ON DRAWINGS.
- PROVIDE ALL NEW 1/2" GYPBOARD FOR ALL NEW WALLS UNLESS NOTED OTHERWISE.
- USE WATERPROOF GYPBOARD AT SHOWER/TUB LOCATIONS.
- PROVIDE ALL NEW 1/2" GYPBOARD CEILINGS WITH SMOOTH FINISH IN ALL NEW AREAS UNLESS NOTED OTHERWISE.

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ARCHITECTURE
P.A.

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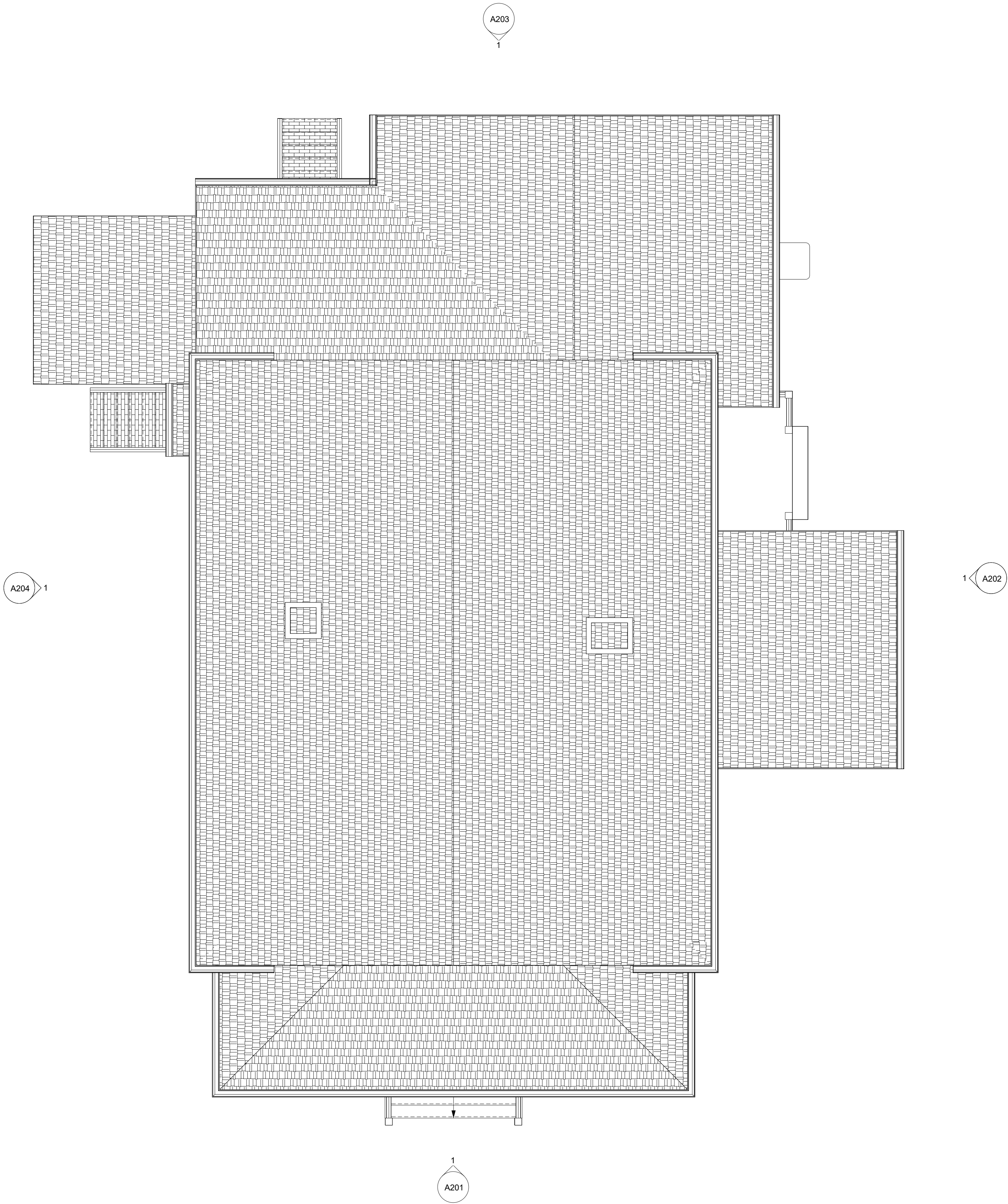
6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

1ST FLOOR
RENOVATED
PLAN

A101



1
A103 ROOF PLAN
1/4" = 1'-0"



ROOF NOTES:

1. PROVIDE NEW ASHSPALT SHINGLE ROOFING OVER 30# ROOFING FELT OVER ROOF SHEATHING ON NEW ROOFS AS INDICATED.
2. REPLACE ALL ROTTED OR DAMAGED FASCIA BOARDS WITH NEW.
3. PROVIDE CONTINUOUS CEMENT FIBER BOARD SOFFIT BOARDS AT EAVES
4. PROVIDE CONTINUOUS 6" OGEE GUTTERS AT ALL ROOF AREAS AS SHOWN ON DRAWINGS.
5. PROVIDE PREFINISHED ALUMINUM FLASHING BETWEEN ROOF EDGE AND CHIMNEY WALLS.
6. PROVIDE CONT. PREFINISHED ALUM DRIP EDGE FLASHING BETWEEN ROOF AND GUTTERS.
7. PROVIDE ALL NEW 3X5 RECTANGULAR ALUM. DOWNSPOUTS AS SHOWN ON THE DRAWINGS.
8. PROVIDE FLASHING BOOTS AT ALL ROOF PENETRATIONS.

ATTIC VENT CALCULATIONS:

1. THE MAIN ROOF DOES NOT REQUIRE ROOF VENTILATION. IT COMPLIES WITH ALL THE REQUIREMENTS OF SECTION R806.4 FOR NON-VENTILATED ROOF AREAS.
2. PER 806.4.1 - THE UNVENTED AREA OF THE ROOF IS COMPLETELY CONTAINED WITHIN THE BUILDING THERMAL ENVELOPE.
3. PER 806.4.2 - NO INTERIOR VAPOR RETARDERS ARE INSTALLED ON THE CEILING SIDE.
4. PER 806.4.4 - THE OPEN CELL SPRAY FOAM INSULATION APPLIED TO THE UNDERSIDE OF THE ROOF IS AN AIR-IMPERMEABLE INSULATION SYSTEM.
5. PER 806.4.5.1 - THE OPEN CELL SPRAY FOAM INSULATION APPLIED TO THE UNDERSIDE OF THE SHEATHING IS AN AIR-IMPERMEABLE INSULATION SYSTEM.
6. THE LOWER ROOF AREAS AT THE FRONT PORCH AND THE SCREENED PORCH ARE OVER NON-CONDITIONED SPACES. THESE ROOF AREAS WILL BE VENTED WITH SOFFIT VENTS ONLY PER R806.2 EXCEPTION 2.

ROOF DRAINAGE CALCULATIONS:

1. ROOF DRAINAGE CALCULATIONS HAVE BEEN PERFORMED PER THE 2018 NC PLUMBING CODE CHAPTER 11.
2. PER FIGURE 1106.1 DURHAM WILL RECEIVE BETWEEN 3.5 AND 4.0 INCHES OF RAIN IN A 60 MIN. PERIOD DURING A 100 YR. RAIN EVENT. 4.0 IN. HAS BEEN USED FOR THE ROOF DRAINAGE CALCULATIONS.
3. NEW ROOF GUTTERS ARE 6" DIA OGEE K-STYLE GUTTERS AND ARE INSTALLED AT 0.5% SLOPE. PER TABLE 1106.6 A 6" DIA. ROOF GUTTER WILL DRAIN 960 S.F. OF ROOF. NO GUTTER EXCEEDS THIS AREA. THE AREA OF ROOF CARRIED BY EACH GUTTER SECTION IS SHOWN ON THE ROOF PLAN.
4. ALL NEW DOWNSPOUTS ARE 3"x5" RECTANGULAR DOWNSPOUTS AND CAN PROVIDE DRAINAGE OF 4400 S.F. ROOF AREA PER TABLE 1106.2(2). NO DOWNSPOUT EXCEEDS THIS AREA.

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6-2-25 REVIEW

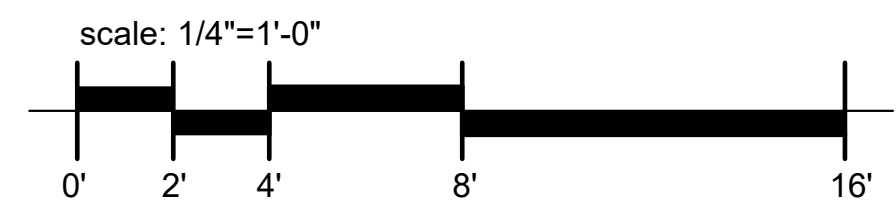
JBA Project number:
25-2

SHEET NAME:

NEW
ELEVATIONS



1 FRONT ELEVATION
A201 1/4" = 1'-0"



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HOME RENOVATION AND ADDITION
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6-2-25 REVIEW

JBA Project number:
25-2

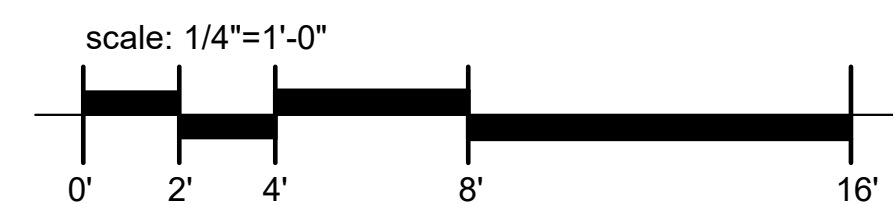
SHEET NAME:

NEW
ELEVATIONS

A202



1 RIGHT SIDE ELEVATION
A202 1/4" = 1'-0"



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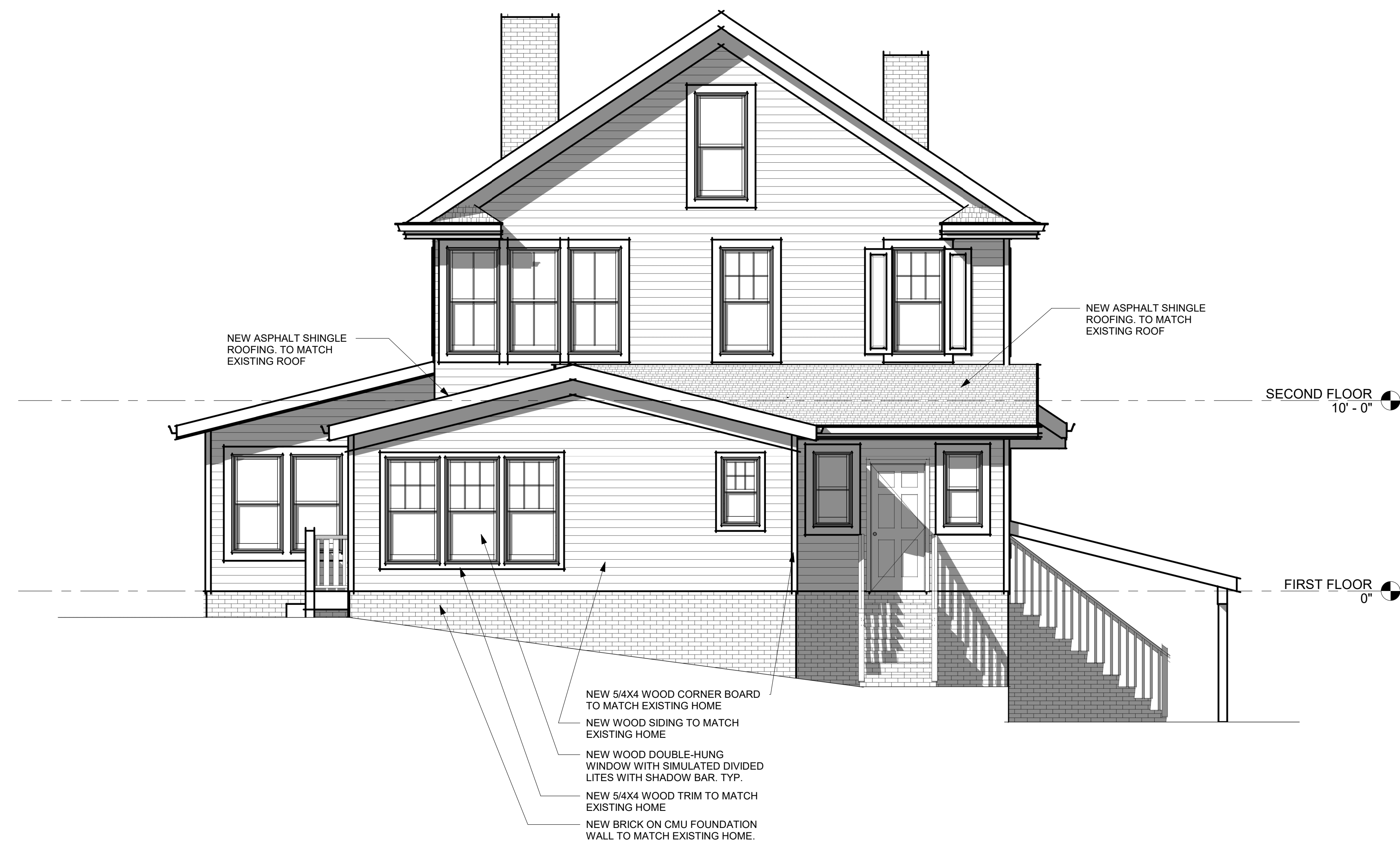
6-2-25 REVIEW

JBA Project number:
25-2

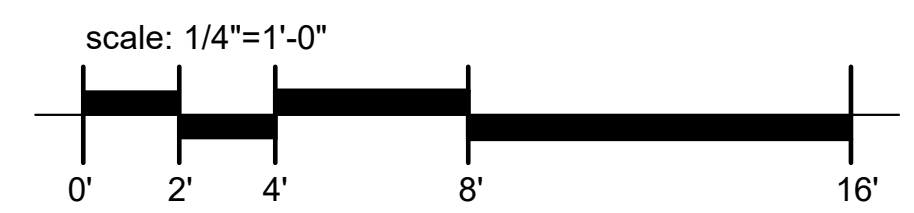
SHEET NAME:

NEW
ELEVATIONS

A203



1 REAR ELEVATION
A203 1/4" = 1'-0"



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6-2-25 REVIEW

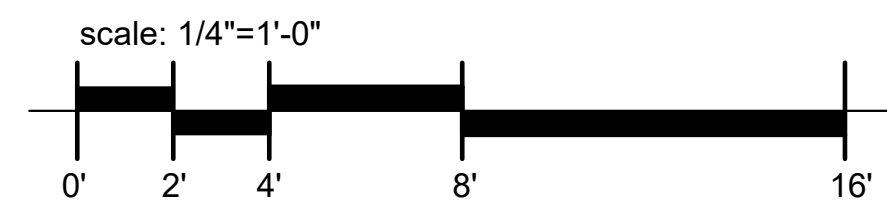
JBA Project number:
25-2

SHEET NAME:

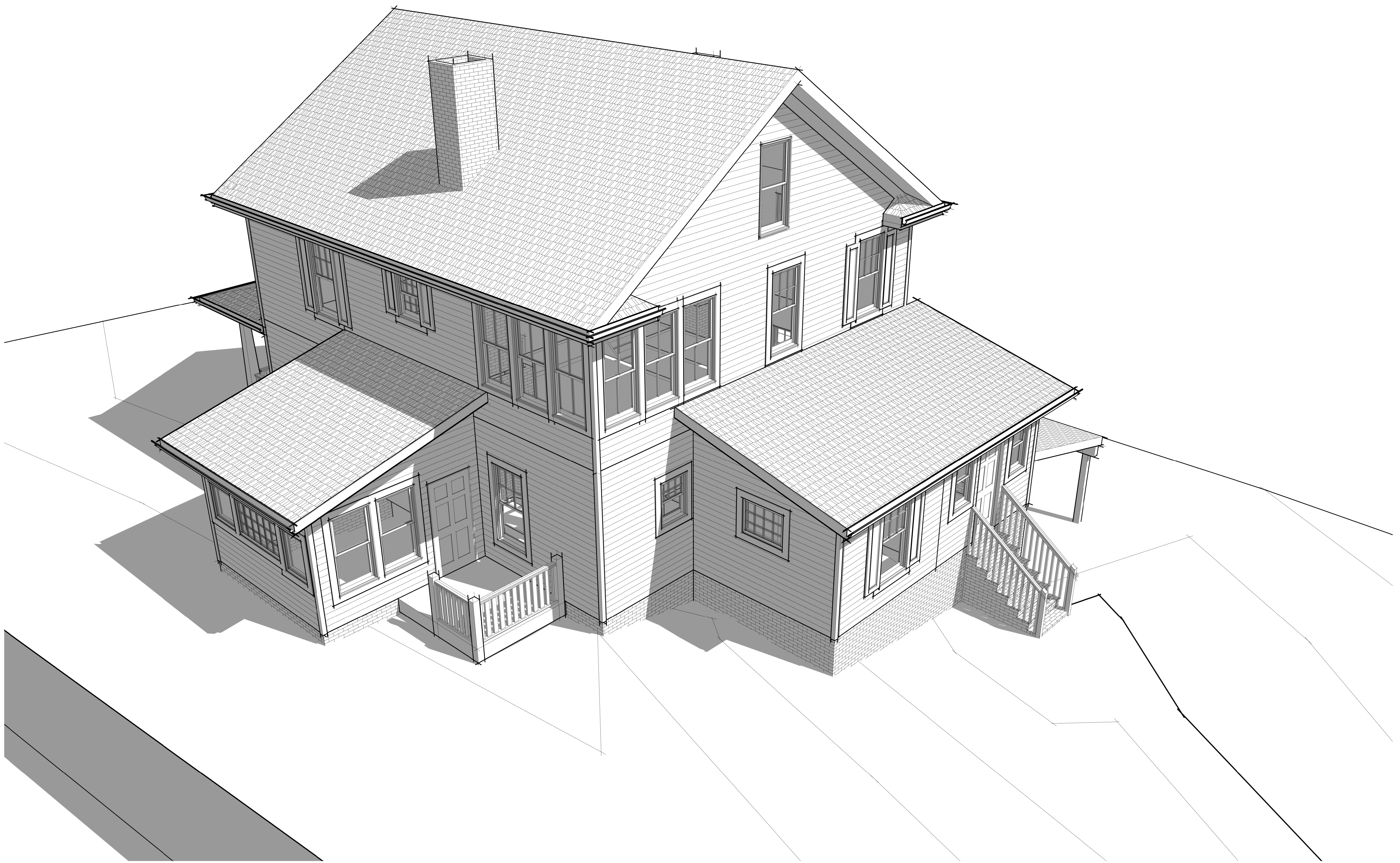
NEW
ELEVATIONS



1
A204 LEFT SIDE ELEVATION
1/4" = 1'-0"



A204

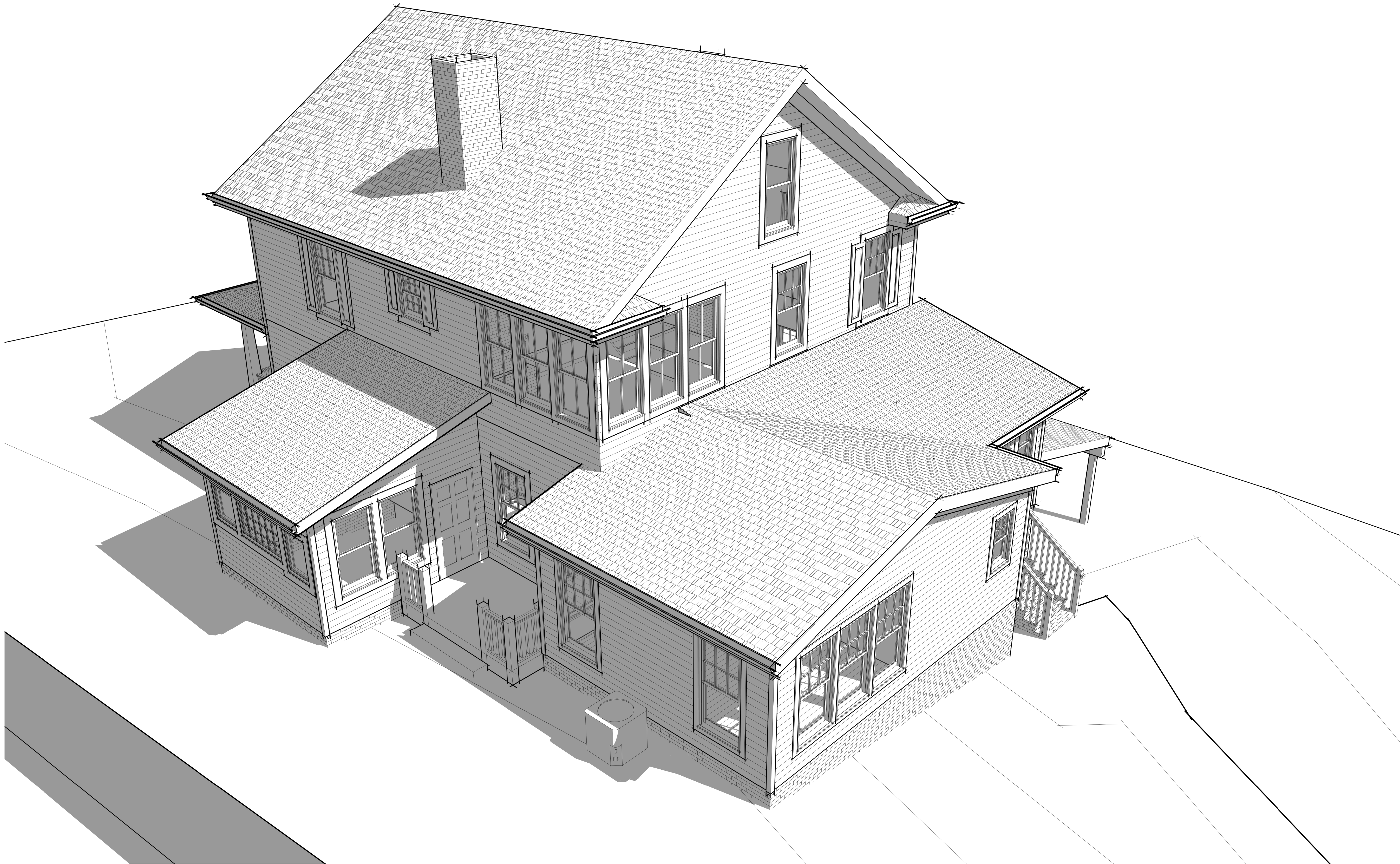


EXISTING VIEW

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HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

| |
|---------------------------------|
| 6-2-25 REVIEW |
| |
| |
| |
| JBA Project number: 25-2 |
| SHEET NAME: EXISTING VIEW |



NEW VIEW



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6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

NEW VIEW

A212

EXISTING VIEW

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6-2-25 REVIEW

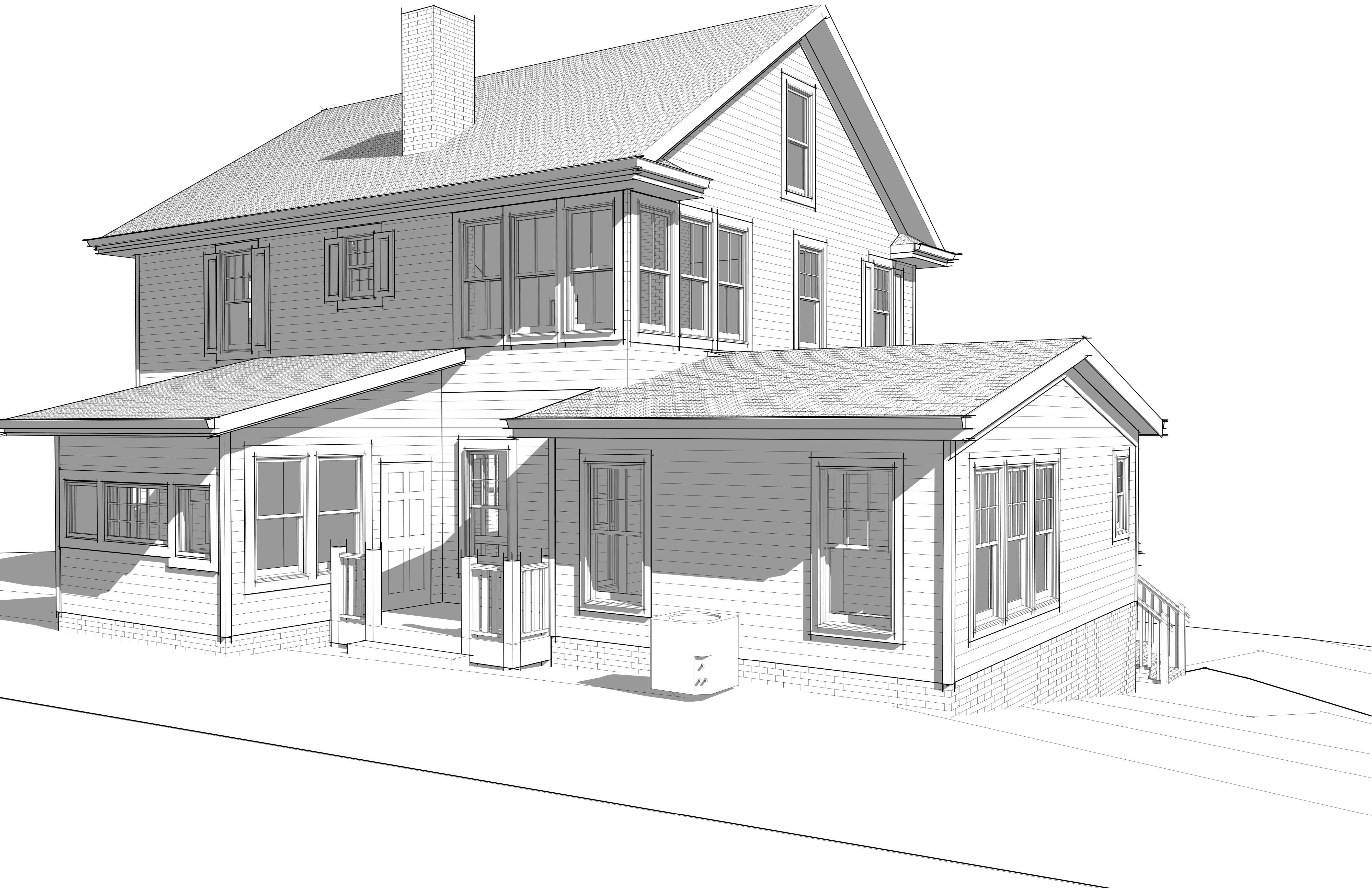
JBA Project number:
25-2

SHEET NAME:

EXISTING
VIEW

A213





NEW VIEW



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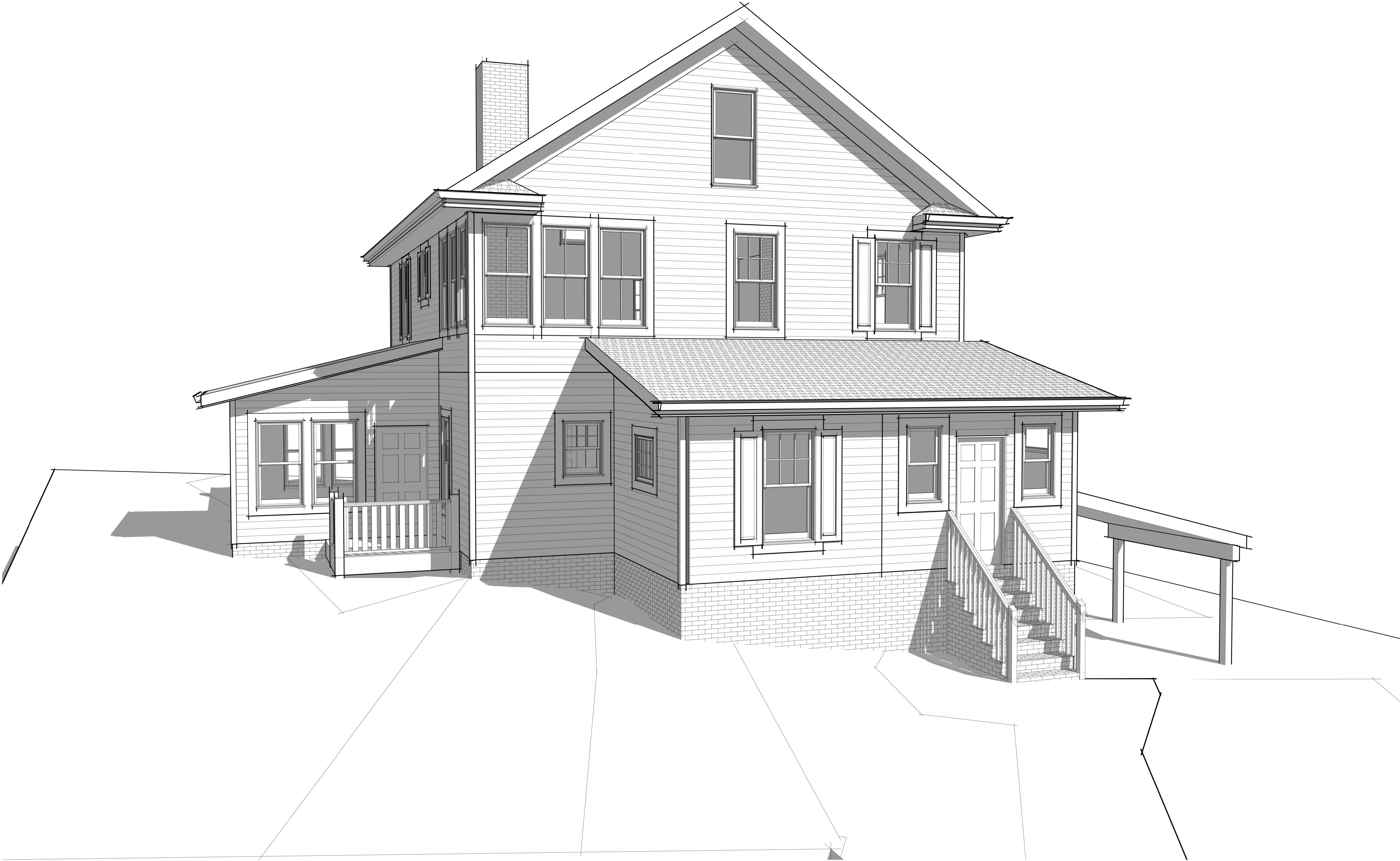
6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

NEW VIEW

A214



NOT FOR CONSTRUCTION

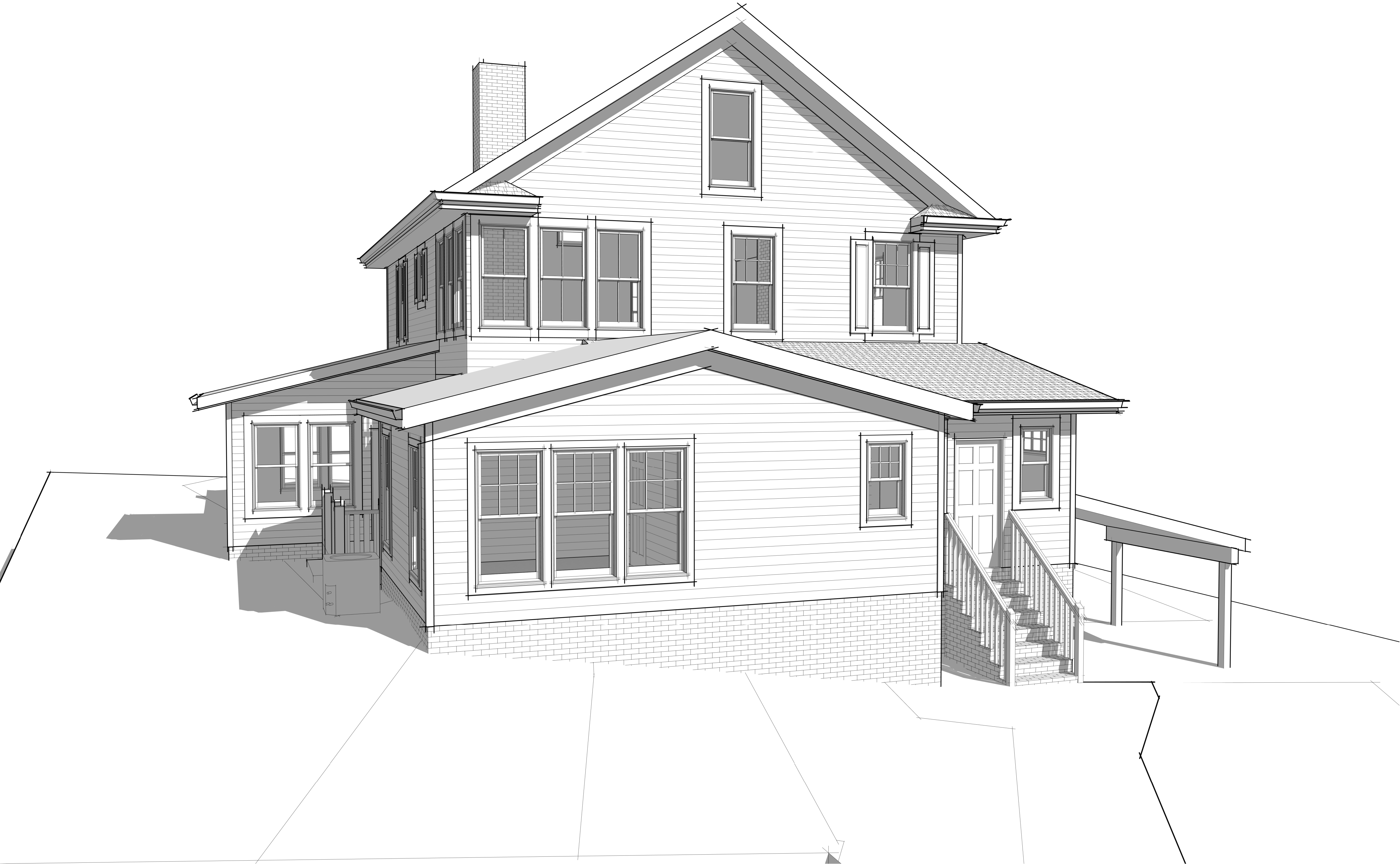
HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

EXISTING
VIEW



NEW VIEW



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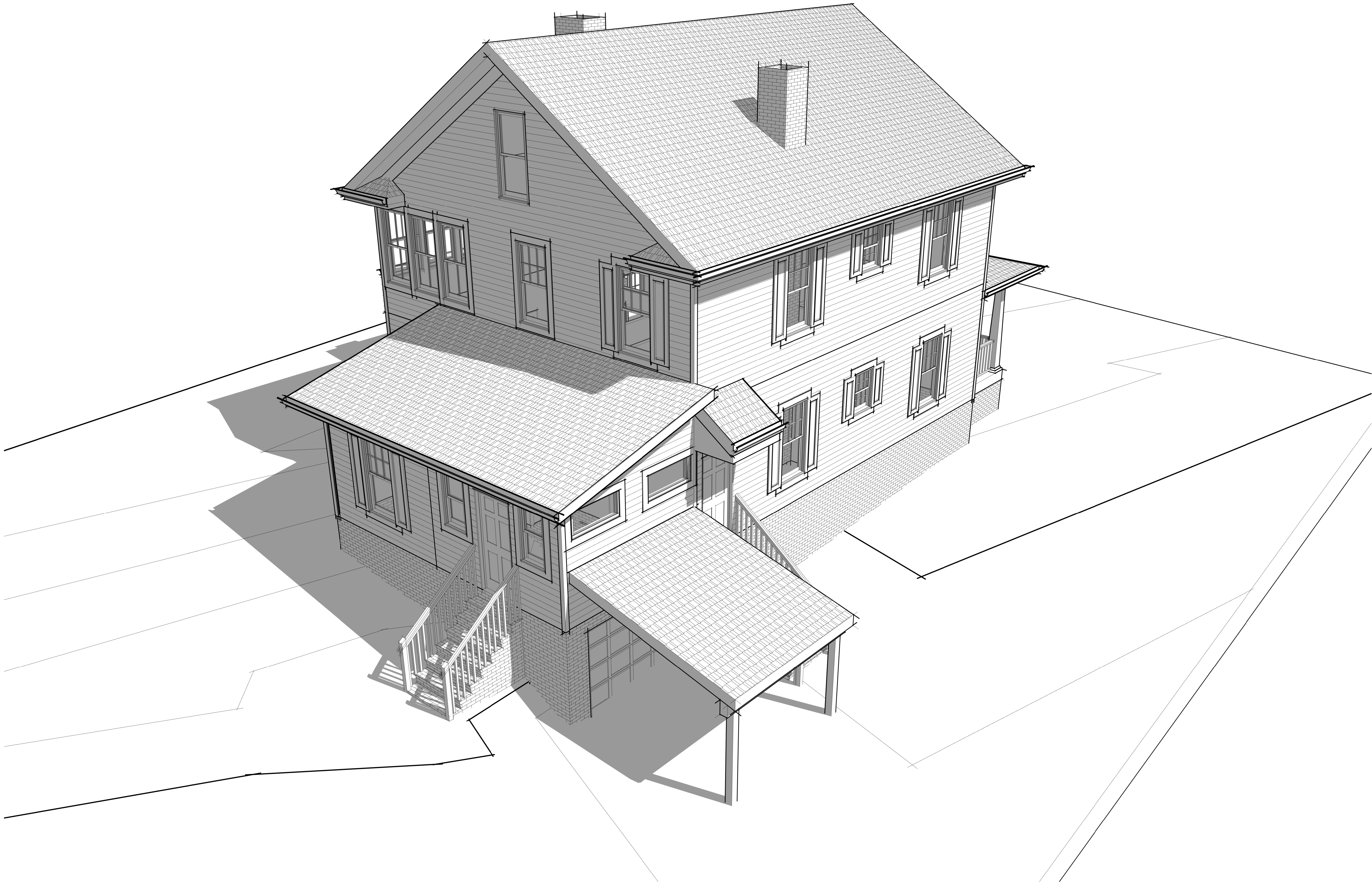
6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

NEW VIEW

A216

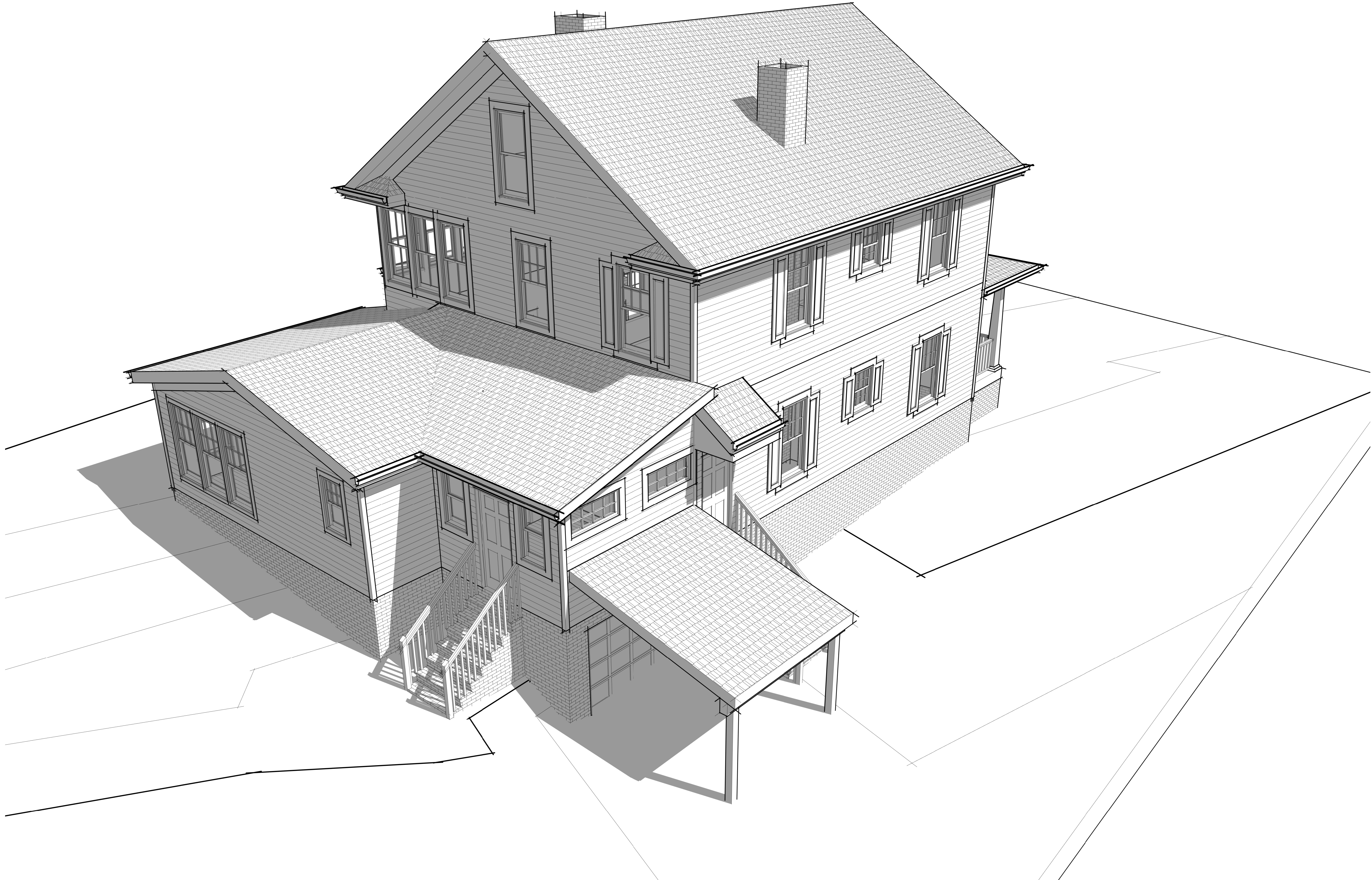


EXISTING VIEW

NOT FOR CONSTRUCTION

HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

| |
|---------------------------------|
| 6-2-25 REVIEW |
| |
| |
| |
| JBA Project number: 25-2 |
| SHEET NAME: EXISTING VIEW |



NEW VIEW

NOT FOR CONSTRUCTION

HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

| |
|-----------------------------|
| 6-2-25 REVIEW |
| |
| |
| |
| JBA Project number: 25-2 |
| SHEET NAME: NEW VIEW |

NOT FOR CONSTRUCTION

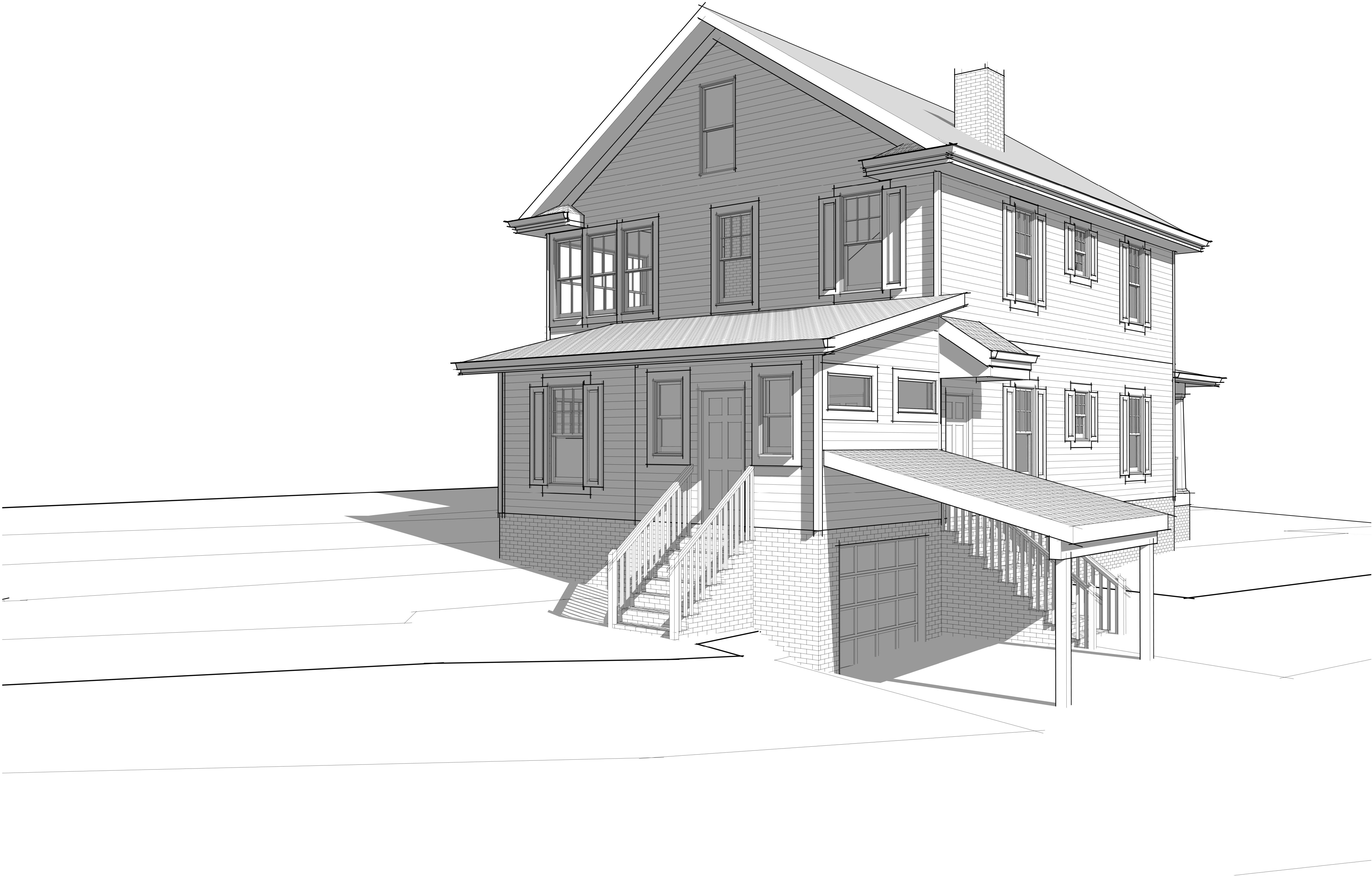
HOME RENOVATION AND ADDITION
RUSSELL / McLAREN RESIDENCE
208 HILLSBOROUGH, CHAPEL HILL, NC 27514

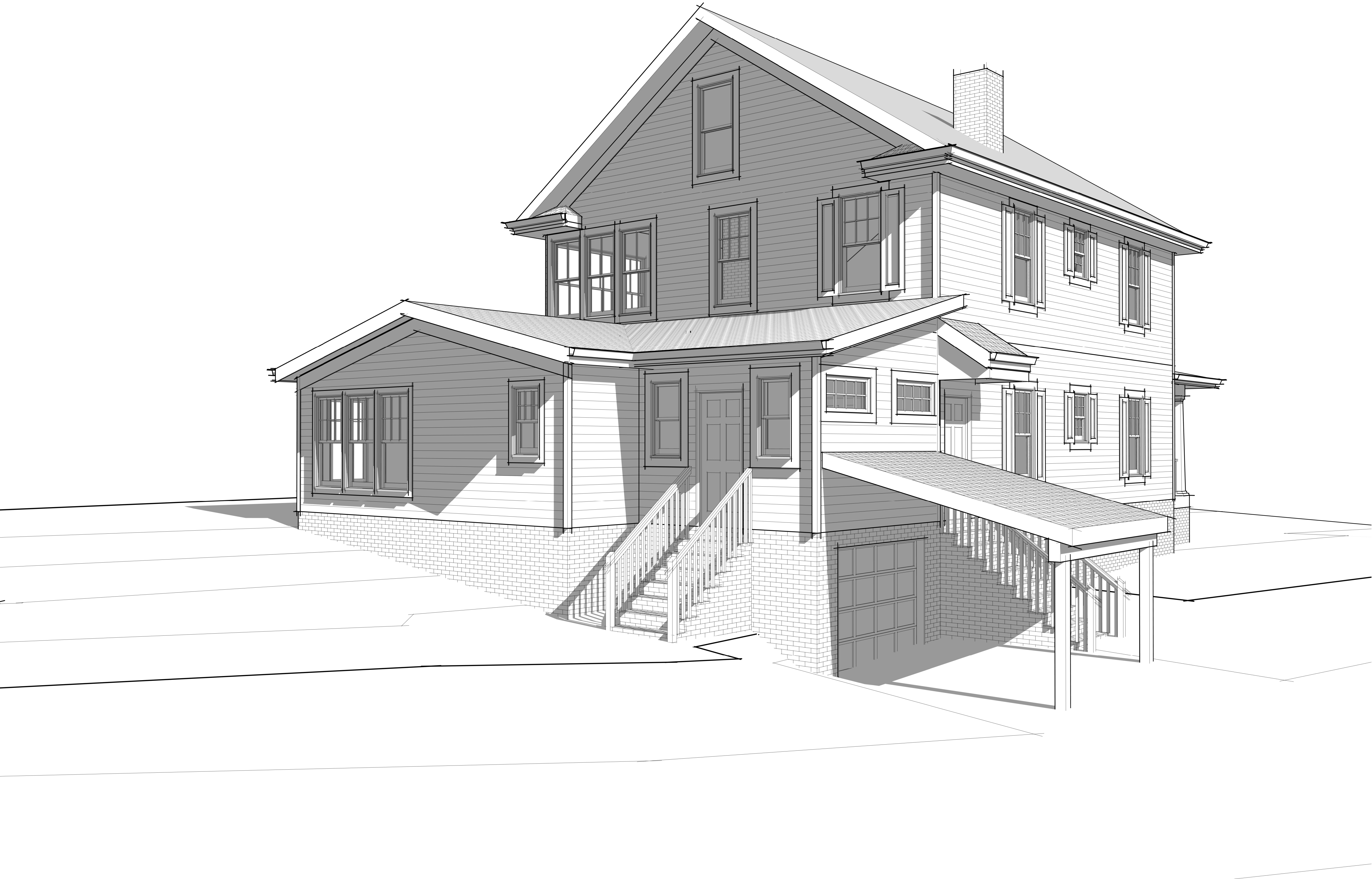
6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

EXISTING
VIEW





NEW VIEW



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6-2-25 REVIEW

JBA Project number:
25-2

SHEET NAME:

NEW VIEW

A220



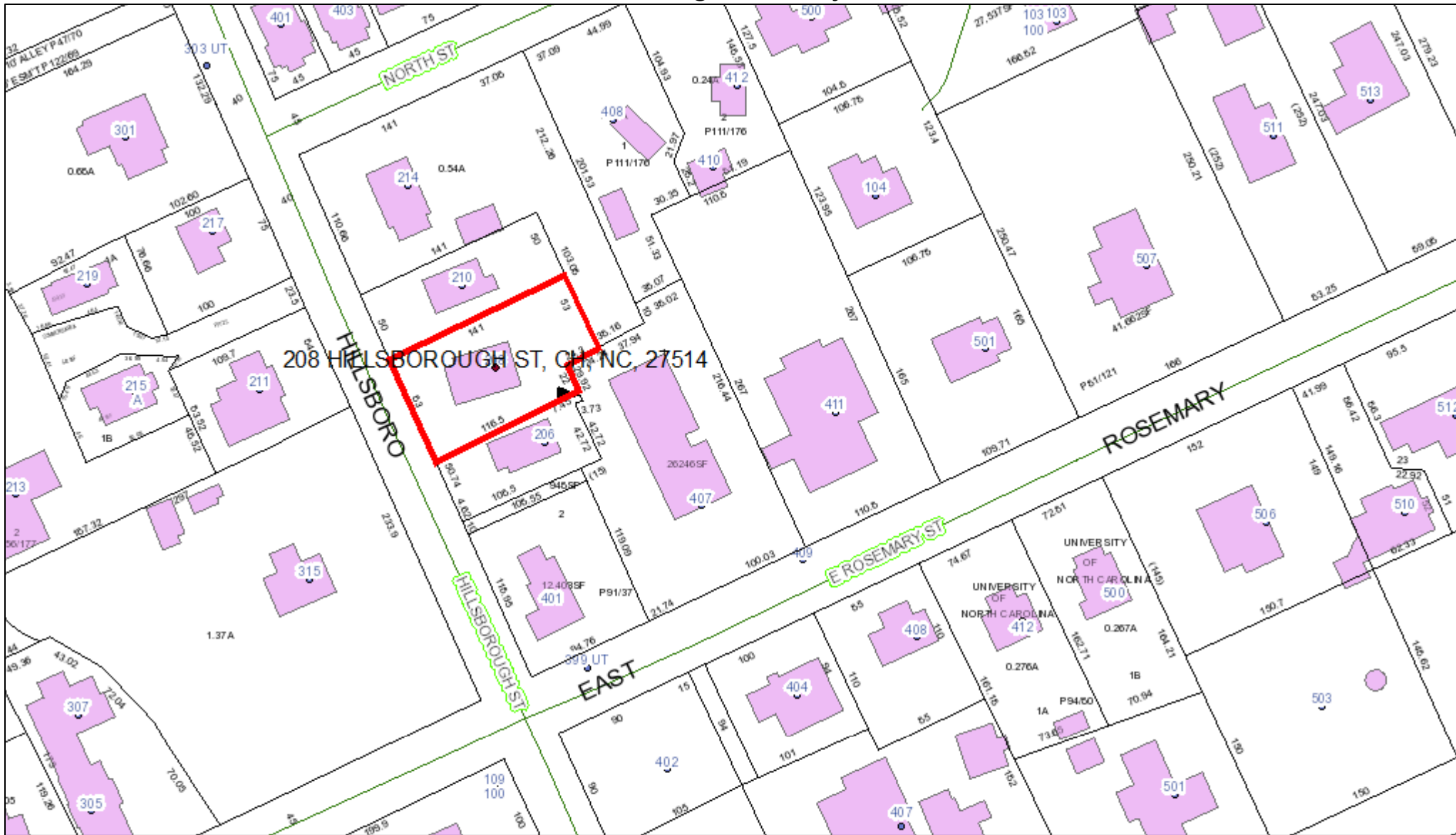








Orange County



June 2, 2025

This map contains parcels prepared for the inventory of real property within Orange County, and is compiled from recorded deed, plats, and other public records and data. Users of this map are hereby notified that the aforementioned public primary information sources should be consulted for verification of the information contained on this map.

The county and its mapping companies assume no legal responsibility for the information on this map.

PIN: 9788581761

OWNER 1: RUSSELL AVERY BATTLE TRUST

OWNER 2: MCLAREN ALFRED SCOTT TRUST

ADDRESS 1: 208 HILLSBOROUGH ST

ADDRESS 2:

CITY: CHAPEL HILL

STATE, ZIP: NC 27514

LEGAL DESC: E/S HILLSBORO ST

SIZE: 0.25 A

DEED REF: 6737/1012

RATECODE: 22

TOWNSHIP: CHAPEL HILL

BLDG SQFT: 3108

YEAR BUILT: 1910

BUILDING COUNT: 1

LAND VALUE: \$700,000

BLDG VALUE: \$455,200

USE VALUE: \$0

TOTAL VALUE: \$1,155,200

DATE SOLD: 08/01/2021

TAX STAMPS: 2798

1:1,200

0 0.01 0.02 0.04 mi

0 0.015 0.03 0.06 km

