



QUESTIONS?
Call or email us!

Town of Chapel Hill
Planning Department
919-969-5040
planning@townofchapelhill.org

Chapel Hill Historic District Certificate of Appropriateness Application	Project:	21-024
	Permit:	
	STAFF REVIEW	
	<input checked="" type="checkbox"/> Application complete and accepted	
	<input type="checkbox"/> Application not complete and returned with a notation of deficiencies	
Project Description: Additions and Renovations to: Gimghoul Castle 742 Gimghoul Road Chapel Hill, North Carolina	BY: Anya Grahn, DATE: 3/19/2021	
Instructions: Submit one paper copy and a digital copy of all application materials collated in one file (pdf preferred) Deadlines: Applications are due by the close of business 30 calendar days prior to the scheduled meeting date. Note: Only complete applications may be accepted for Certificate of Appropriateness review. Applications that are not complete will be returned with a notation of deficiencies.		

A: Property Information			
Property Address:	742 Gimghoul Road	Parcel ID Number:	9788962765
Property Owner(s):	Gimghoul Corporation	Email:	johnrbratton@wakestonecorp.com
Property Owner Address: P.O. Box 3670			
City:	Chapel Hill	State:	NC
Zip:	27515	Phone:	(919) 819-7494 (cell)
Historic District: <input type="checkbox"/> Cameron-McCauley <input type="checkbox"/> Franklin-Rosemary <input checked="" type="checkbox"/> Gimghoul		Zoning District: 01-CZ requested	

B: Applicant Information			
Applicant: John R. Bratton	Role (owner, architect, other): Owner representative		
Address (if different from above): c/o Wake Stone Corp., P.O. Box 190			
City:	Knightdale	State:	NC
Zip:	27545		



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Email: johnrbratton@wakestonecorp.com

Phone:
(919) 819-7494

C. Application Type (*check all boxes that apply*)

☐ **Minor Work** Exterior works that do not involve any substantial alterations, and do not involve additions or removals that could impair the integrity of the property and/or the district as a whole. See [Design Guidelines](#) (p. 69) for a list of minor works.

☒ **Historic District Commission Review** Includes all exterior changes to structures and features other than minor works

☐ **Site-work only** (walkways, fencing, walls, etc.)

☐ **After-the-fact application** (for unauthorized work already performed).

☒ **Restoration or alteration**

☒ **Demolition or moving of a site feature.**

☒ **New construction or additions**

☐ **Request for review of new application after previous denial**

☐ **Sign**

D. Basic information about size, scale, and lot placement.

Provide measurements in feet and square feet where applicable. Where possible, please provide accurate measurements from a licensed surveyor, architect, engineer, etc. If exact measurements are not available, please provide estimated information. Current estimated information about lots and buildings can be found on the [Orange County Real Estate Data](#) website. Information about lot placement can be found on the [Chapel Hill](#) and [Orange County Interactive GIS](#) portals.

Zoning District:	Minimum setbacks			Maximum heights		Lot size	
	Street	Interior	Solar	Primary	Secondary		
Required by zoning	24'	8'	11'	29	60	93,849 SF	
Proposed	365'	97'	108'	N/A	N/A		
	Existing 365'	Change +/- Ø	Total	Total Floor Area Ratio			
Floor Area (main structure)	See attached.			Existing	Proposed	ISA/NLA ratio	
Floor Area (all other)	See attached.					Existing	Proposed
Impervious Surface Area (ISA)						23.25	
New Land Disturbance			17,750				



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E: Applicable Design Guidelines

The Town's [Design Guidelines for the Chapel Hill Historic Districts](#) are integral to the application and review process. These guidelines supplement the required review criteria for Certificate of Appropriateness applications (provided in [Section 3.6.2\(e\)\(4\)](#) of the Land Use Management Ordinance) by providing detailed, practical considerations for how to make changes to properties while preserving the special character of their Historic District context. Please review the Design Guidelines and consider their applicability to your proposed project. (Attach additional sheets, as necessary.)

Section/Page	Topic	Brief description of the applicable aspect of your proposal
		See attached E: Applicable Design Guidelines



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F. Checklist of Application Materials

Attach the required elements in the order indicated.	ATTACHED? TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY TOWN STAFF		
	YES	N/A	YES	N/A	NO
1. Written description of physical changes proposed. Describe clearly and in detail the physical changes you are proposing to make. Identify the materials to be used (siding, windows, trim, roofing, pavements, decking, fencing, light fixtures, etc.), specify their dimensions, and provide names of manufacturers, model numbers, and specifications where applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2. History, context, and character information. Please include a summary of what information you have relied on to understand the relevant character and history of the district and subject property—and briefly summarize that information. At a minimum, include: <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Current property information for the lot and all structures, including Building Sketches and Building Details, from Orange County Real Estate Data. <input checked="" type="checkbox"/> The entry of your property on the most recent inventory of historic resources in the relevant National Register for Historic Places filing, available via the NC State Historic Preservation Office website: for McCauley-Cameron see West Chapel Hill, for Franklin-Rosemary see Chapel Hill Historic District, for Gimghoul see Gimghoul. (If yours is one of the few properties in McCauley-Cameron or Franklin-Rosemary that has not yet been inventoried, please indicate that.) 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
3. Justification of appropriateness. Attach an annotated statement explaining how the proposed change(s) meets the following standards of appropriateness that the Commission considers in making findings of fact indicating the extent to which the application is or is not congruous with the historic aspects of the historic district. If a standard is not applicable, type "not applicable". <ul style="list-style-type: none"> A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings. B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings. C. Exterior construction materials, including texture and pattern. D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials. E. Roof shapes, forms, and materials. F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration. G. General form and proportions of buildings and structures. H. Appurtenant fixtures and other features such as lighting. I. Structural conditions and soundness. 	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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J. Architectural scale.					
4. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed or the digital equivalent. Maximum 2 images per page.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
5. Site Plan Set showing existing and proposed conditions. (Min. scale: 1 in. = 20 ft.) <input checked="" type="checkbox"/> Site plans must show the relationships between, and dimensions of, existing and proposed buildings, additions, sidewalks, walls, fences, driveways, and/or other structures on the property, as well as property lines and applicable zoning setbacks. <input checked="" type="checkbox"/> Include both written and drawn scales and show accurate measurements. You may also use a copy of a survey with surveyor's seal deleted. Revise the copy as needed to show existing conditions and your proposed work. <input checked="" type="checkbox"/> Indicate the area of all structural footprints (existing and proposed) in square feet; also, indicate lot size in square feet.	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Elevation Drawings showing existing structural facades and proposed changes. Drawings should be submitted as 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. All details should be reasonably legible. Photographs are okay for facades with no changes. <input checked="" type="checkbox"/> Elevation drawings showing all proposed changes above current grade from front, back, and both sides. <input checked="" type="checkbox"/> Include scale bar, written scale, and label major dimensions (including width of structures and heights from finished grade to fascia/eaves and heights to top of roofs). <input checked="" type="checkbox"/> Label materials to be used (roofing, siding, windows, trim, light fixtures, etc.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
7. Information about context (required for all construction of new structures, proposed impervious surfaces greater than 1500 SF, additions greater than 150 SF, and/or proposed land disturbance greater than 5000 SF.) Detailed information about lots and structures can be found on the Orange County Real Estate Data website; information about lot placement can be found on the Chapel Hill and Orange County GIS portals. For each of the nearest adjacent and opposite properties, provide: <input type="checkbox"/> The height of each building (if an estimate, indicate that). <input type="checkbox"/> The setbacks and lots placement of each building (an image from the Town GIS database, including scale, is sufficient). <input type="checkbox"/> The size of each lot (net land area in square feet). <input type="checkbox"/> The size of all buildings on the nearest adjacent and opposite properties, including building footprint areas, Floor Areas (in square feet), and Floor Area Ratios. Provide current figures from Orange County Real Estate Data ; indicate any corrections for accuracy you believe necessary and your basis for doing so.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
8. Demolition/Relocation Information (required only if demolition or relocation of a feature is proposed).	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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<input checked="" type="checkbox"/> Provide a written description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property.					
<input checked="" type="checkbox"/> Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons and/or families associated with the property. Provide current exterior photographs of the property (4" x 6" as printed or the digital equivalent). If information is unknown, please provide a summary of sources consulted.					
<input type="checkbox"/> If an argument about structural soundness is being made, attach a signed and sealed report from a professional engineer.					
<input type="checkbox"/> As necessary, attach a statement explaining how a delay in demolition would cause the property owner to suffer extreme hardship or be permanently deprived of all beneficial use or return from such property by virtue of the delay.					
<input type="checkbox"/> Provide any records about the structure to be demolished.					
9. Mailing notification fee per Planning & Sustainability Fee Schedule . For a list of addresses, please refer to the Town's Development Notification Tool .	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
10. Certificate of Appropriateness fee per Planning & Sustainability Fee Schedule	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>



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G: Applicant signature

I hereby certify that I am authorized to submit this application; that all information is correct to the best of my knowledge, and all work will comply with the State Building Code and all other applicable State and local laws, ordinances, and regulations.

I acknowledge and agree that the Historic District Commission members, Town employees, and Town agents may enter, solely in performance of their official duties and only at reasonable times, upon the applicant's property for examination or survey thereof pursuant to North Carolina General Statute 160A-400.8. However, no member, employee, or agent of the Historic District Commission may enter any private building or structure without the express consent of the owner or occupant thereof.

I understand and agree that an approved Certificate of Appropriateness is valid only for the particular application, plans, specifications and related project details presented to, and approved by, the Historic District Commission. If any of the data contained in this application, any plans or any specifications presented to the Commission are changed or altered for any reason, including, but not limited to, changes or alternations deemed practically necessary during construction, required due to subsequent Town reviews, or otherwise, a new hearing before the Historic District may be required. By signing below, the applicant agrees to notify the Development Services Center of any changes or alternations in the data contained in this application, the approved plans or the approved specifications related to the project that is the subject of this application.

Hearings on Certificate of Appropriateness applications before the Commission are quasi-judicial proceedings. Therefore, Historic District Commission members are not permitted to discuss a pending application with the applicant or other party. By signing below, the applicant agrees to refrain from speaking with or contacting any member of the Historic District Commission about an application outside of the formal evidentiary hearing on the application.

John R. Bratton

A handwritten signature in dark ink, appearing to read "John R. Bratton", written over a horizontal line.

March 16, 2021

Applicant (printed name)

Signature

Date

Gimghoul Corporation

Property Owner

Signature

Date

(if different from above)



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Certificate of Appropriateness Supplemental Requirements

***In addition to [Residential](#) Zoning OR [Administrative](#) Zoning Compliance Permit Requirements**

Certificate of Appropriateness applications are subject to review and approval by the Historic District Commission as well as by Town staff. For assistance with this application, please contact the Chapel Hill Planning Department.

Please submit *all* materials listed on this sheet. The Historic District Commission meets on the second Tuesday of each month at 6:30 pm. For confirmation of a meeting date and the placement of your request on the agenda, please call the Planning Department. **Applications are due one month in advance of meeting.**

Application Process:

1. Historic District Commission Review of Certificate of Appropriateness (COA) Supplemental materials
2. Staff review of Residential / Administrative Zoning Compliance Permit (ZCP) materials

****COA (step 1) and ZCP (step 2) materials may be submitted simultaneously or separately.**

Required Application Materials

(In addition to [Residential](#) Zoning Compliance Permit or [Administrative](#) Zoning Compliance Permit Requirements)

An Electronic copy of each document is required in addition to paper copies.

Provide a single set of the following materials:

<input checked="" type="checkbox"/>	1. Application Form. Either Residential Zoning Compliance or Administrative Zoning Compliance.
<input checked="" type="checkbox"/>	2. Recorded plat or deed verifying property's current ownership
<input type="checkbox"/>	3. Recorded plat of easements, right-of-way, and dedications, if applicable
<input checked="" type="checkbox"/>	4. Mailing List of Property Owners , applicable within 100 feet of property boundaries The Town will prepare a formal notice to be mailed to surrounding property owners about the application. You may find it helpful to discuss the proposed changes with your neighbors in person so you can address their concerns both in your planning and presentation.
<input checked="" type="checkbox"/>	5. Mailing notification fee. The fee per address can be found on the Planning Department's Fee Schedule .
<input type="checkbox"/>	6. Certificate of Appropriateness fee per Planning Department's Fee Schedule
<input checked="" type="checkbox"/>	7. Reduced Site Plan Set (reduced to 8.5" x 11")
<input checked="" type="checkbox"/>	8. Building Elevations (label building height from top of roof to finished grade line)
<input type="checkbox"/>	9. Floor Plan, only if accessory apartment, duplex, or commercial application.

(Continued)



X

10. Written Description

Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The height of the building in relation to the average height of the nearest adjacent and opposite buildings;
- b) The setback and placement of the building on the lot in relation to the average setback and placement of the nearest adjacent and opposite buildings;
- c) The exterior construction materials, including textures and patterns;
- d) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- e) The roof shape, form, and materials;
- f) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- g) The general form and proportion of the buildings;
- h) The accessory fixture and other features (including lighting fixtures, hardware, awnings, etc.);
- i) The architectural scale in relation to existing structures and surrounding buildings; and
- j) Structural conditions and soundness.

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact. The visual description must include dimensions. For new buildings and major additions, the visual description must include the interior floor plan.

N/A

11. Information Regarding Surrounding Properties

For new construction or large projects, the applicant is required to provide information on:

- The height of the nearest adjacent and opposite buildings;
- The setback and placement of the nearest adjacent and opposite buildings;
- The scale of the nearest adjacent and opposite buildings, including percentage of lot coverage.

X

12. Demolition Information (if applicable)

Provide a description of architectural features, additions, remodeling, and any alterations to the structure(s). Make note of any outbuildings on the site plan of the property. Provide a history of the structure, giving the construction date and architect or carpenter, briefly noting any significant events, persons, and/or families associate with the property.

Certificate of Appropriateness / Application (Item D)

Area(s) Tabulation Summary: (Areas measured in gross square feet, UON)

<u>Existing</u>	Conditioned	Non-Conditioned
Basement		739 (net)
Main Floor	(3,712)	(300)
Second Floor	918	
Third Floor	<u>425</u>	
Fourth / Tower Observation		425
South Terrace		<u>(1,118)</u>
(Sub-Total)	5,055*	2,582*
<u>Proposed New</u>		
Basement	612	174
Main Floor	<u>(568)</u>	(319)
Lower Terrace		<u>(3,192)</u>
(Sub-Total)	1,180*	3,685*
Totals	6,235*	6,267*

Notes:

Numbers in () used in impervious calculations:

1. Existing partial Basement (254 net sq. ft.) below South Terrace is to be demolished and re-built w/ greater volume.
2. 198 sq. ft. of the 319 sq. ft. (New Main Floor / Non-Conditioned) does not contribute to added impervious surface.
3. Proposed new elevated Western sidewalk + rip-rap stone retention bank measures (675) sq. ft. impervious surface.
4. Existing (w/o existing western sidewalk) contributes 5,130 sq. ft. to existing impervious surface.
5. Proposed New (including new western sidewalk w/ retention bank) contributes $568 + 319 - 198 + 3,192 + 675 = 4,556$ sq. ft. to impervious surface.
6. **(4 + 5) = (5,130 sq. ft. + 4,556 sq. ft.) = 9,686 sq. ft. Total Impervious Surface (Building, Terraces + Sidewalk)**

E. Applicable Design Guidelines.

Section/Page	Topic	Brief Description of the Applicable Aspect of Your Proposal
II/10	Site Features and Plantings	<p>Site features and plantings will be protected from damage during or as a consequence of site work. See Sheet C8.1.</p> <p>Minimal tree removal is anticipated; a total of two trees. One of the two (an oak on the southeast corner) had been recommended for removal by the tree service due to its condition without regard to the project.</p>
II/22-23	Exterior Lighting	<p>The degree of exterior lighting remains as presently exists. A chain hung chandelier light is included under the conical roof addition. Some existing area features will be replaced. Recessed ceiling mount LED fixtures will be included in the archways of the extended loggia, the lavatory entry and the basement entry (7 total). Recessed light fixtures will be used at the steps and walkways, including the western steps to the lower terrace, the ramp walk to the basement and the wall along the lower terrace.</p>
III/28-29	Masonry	<p>Stone and grout will match and complement the original in material, design, dimension, detail and finish.</p> <p>Stone removed from the existing wall on the southeast corner will be used in the new wall.</p> <p>Where replacement in kind is not feasible, compatible material will be used. A fieldstone supplier has been identified who supplies complementary stone.</p>

III/30-31 and 34-35	Wood/Paint and Color	Exterior wood is limited to four exterior doors, ten windows plus trim. The doors and windows are custom millwork to match the existing doors and windows. The window count includes 3 replacement windows to repair and replace vandalized windows on the east side. The wood will be painted to match existing paint on the Castle's doors and windows.
III/32-33 and 34-35	Architectural Metal/Paint and Color	New guardrails and handrails required under the building code will be provided on the addition to the loggia, including on the stairs to the lower terrace. The wrought iron design includes the historic Gimghoul feature. Metal grates matching the metal grate work on windows throughout the Castle will be provided on the new windows. The wrought iron will be painted black. The conical roof over the upper landing at the end of the extension of the loggia is standing seam copper. See elevation drawings.
III 36-37	Roofs	The additional roof surface is flat, low slope and recessed below the site line with a masonry parapet and breaks or "battlements" that serve as overflow roof scuppers (See elevation drawings).
III/38-40	Exterior Walls	The exterior walls of the addition are detailed to reflect the Castle's architectural style-- stone masonry.
III/40-41	Windows and Doors	Windows and doors are custom wood millwork, stained or painted and reflect details, features and materials congruous with the existing windows and doors.
III/46-47	Accessibility and Life Safety Considerations	An accessible, ADA compliant sidewalk is proposed to provide an accessible route to the new toilets. It is compatible with the Castle in material, scale, design

		and finish and sited discreetly in a manner that does not compromise the architectural integrity of the Castle.
IV 54-55	Additions	<p>The proposed new addition touches the Castle minimally (see elevation drawings). The new addition will allow accessible covered access to the new toilets from within and without the Castle.</p> <p>The proposed new addition differs from the original construction in that it will not be 100% stone wall construction, rather it will be stone and concrete masonry wall construction with pre-cast concrete roof parapet overflow scuppers, pre-cast windowsills and pre-cast wall banding accents. The addition introduces a compatible style, differentiated from the Castle, and limited in size and scale. The addition is on the back of the Castle.</p>

F. Checklist of Application Materials.

1. Written description of physical changes proposed.

This Project has three distinct exterior aspects.

- Construction of an addition attached to the southeast corner of the existing upper terrace of the Castle. This main level addition will house two ADA compliant toilet facilities. In order to complete the addition, an approximately 12' x 12' section of the existing upper cement terrace slab will be removed and restored. A lower-level basement addition serves mechanical, electrical and storage needs and allows the electrical service to the Castle to be upgraded to current standards. The roof addition will be a flat, low slope, single ply EPDM or TPO over rigid board, rigid insulation, and a structural T&G wood timber deck. The roof is recessed below the site line with masonry parapet and breaks or "battlements" that serve as overflow roof scuppers.
- Removal of existing elevated concrete sidewalk along the western side of the Castle and replacement with a concrete sidewalk to provide handicapped accessible access from the parking area to the upper terrace and to the proposed new main level toilet rooms.
- Construction of a lower terrace along the southern side of the existing Castle incorporating a ramp for exterior access to the new basement at or near existing grade. This work includes removal of a concrete slab to be replaced with pavers and removal of a portion of an existing wall and patio. The elevated stone masonry table and bench will be restored. The existing fire pit and rock bench south of the table also will be restored.

The exterior of the building addition will be of stone masonry.

New windows, doors and trim will be wood, painted like the Castle's existing windows, doors and trim.

2. History, context, and character information.

An eleven page "1926, Report of the Building Committee" is attached which provides the history of the property acquisition and the original Castle construction.

A bio of the Castle Architect (Nathanial Cortland Curtis, Sr. FAIA, (1881 - 1953) is provided.

A copy of the Application to the National Registry of Historic Places is provided.

3. Justification of appropriateness.

A. The height of the building in relation to the average height of the nearest adjacent and opposite buildings.

N/A. The Property is 2.15 acres completely surrounded by undeveloped property owned by the University of North Carolina (deeded to it by Gimghoul Corporation). There are no adjacent or opposite buildings. The building is 365' from the street and 97' from the closest neighboring property line.

B. The setback and placement on lot of the building in relation to the average setback and placement of the nearest adjacent and opposite buildings.

N/A. The Project is an addition to the existing Castle. The structure is 365' feet from the road. There are no adjacent or opposite buildings.

C. Exterior construction materials, including texture and pattern.

Exterior construction materials are primarily stone. The addition will purposefully read as an addition to...rather than as if...original built in 1926. The differentiation is partially accomplished via use of pre-cast concrete detailing for overflow roof scuppers, windowsills and a linear belt course the breaks the building height. Doors and windows are painted wood. Rails are wrought iron. The terrace is concrete. The roof on the parapet is standing seam copper.

D. Architectural detailing, such as lintels, cornices, brick bond, and foundation materials.

Exterior construction materials are primarily stone to the Castle. The addition will purposefully read as an addition to...rather than as if...original built in 1926. The differentiation is partially accomplished via use of pre-cast concrete detailing for overflow roof scuppers, windowsills and a linear belt course the breaks the building height. Doors and windows are custom millwork to match existing doors and windows. Architectural metal features are congruous with the district and the Castle. The wrought iron railings include the historic Gimghoul feature in their design.

E. Roof shapes, forms, and materials.

The roof over the addition is a flat, low slope, single ply EPDM or TPO over rigid board, rigid insulation and a structural T&G wood timber deck recessed below the site line. The design includes a masonry

parapet and breaks or "battlements" that serve as overflow roof scuppers. The top of the parapet is standing seam copper.

F. Proportion, shape, positioning and location, pattern, and size of any elements of fenestration.

New fenestrations are compatible with the size and character of the existing Castle fenestrations. (See elevation drawings).

G. General form and proportions of buildings and structures.

The Castle addition and lower terrace are designed as enhancements to the existing Castle facility. (See elevation drawings).

H. Appurtenant fixtures and other features such as lighting.

The new addition extends an existing loggia. The extended loggia will allow all-weather ADA compliant access to the new toilets from the conditioned areas of the Castle. The extended loggia terminates under a conical roof shape that recalls the similar high roof above the Castle spiral stair turret. A chain hung chandelier light is intended to light the underside or ceiling of the cone shaped roof. New recessed LED light fixtures will be included in the archways of the loggia extension. Exterior lighting remains minimal and in the current condition.

A light fixture currently placed in the oak tree to be removed will not be replaced.

A chain hung lantern (chandelier) will be used in the new turret at the south end of the loggia extension. Three ceiling mount fixtures for the extended loggia, two for the lavatory entry, and two for the basement entry for a total of seven will be included. Recessed light fixtures will be included for the steps and walkways, including the western steps to the lower terrace, the ramp walk wall down to the basement, and the wall along the lower terrace. Information regarding the three types of fixtures to be used is attached.

I. Structural conditions and soundness.

N/A.

J. Architectural scale.

The Castle and lower terrace additions are sensitively proportioned to complement the existing Castle. (See elevation drawing).

4. Photographs.

See attached.

5. Site plan set.

See attached.

6. Elevation drawings.

See attached.

7. Information about context.

There are no adjacent and opposite properties.

8. Demolition/relocation information.

The demolition area consists of sidewalk and concrete walk, which is being replaced, removal of the southeast corner of the upper terrace (which is being replaced) and removal of a low rock retention area. The Castle structure is not being altered. An illustrated plan showing the demolition area by hatch mark is attached.

13624\01\Applications\005Checklist of Application Materials (F)

Customer Service: 1-800-653-6556 or cs@destinationlighting.com


M-F: 7am-5pm & Sunday: 11am-4pm (PST)

Quoizel Campbell Speckled Black Outdoor Hanging Light with Clear Glass

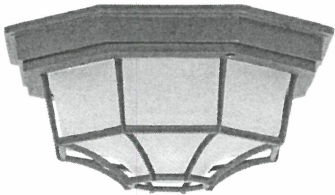


Product Number:	P2222333	Bulb Dimmable:	Yes
Manufacturer:	Quoizel Lighting	EnergyStar Compliant:	No
Model Number:	CPB1909SPB	Shade Material:	Glass
Collection:	Campbell	Material:	Steel
Manufacturer Finish:	Speckled Black	Shipping:	UPS Regular
Manufacturer Shade Color:	Clear	Certification Agencies:	ETL
Total Wattage:	120 w.	Canopy Dimension:	5.25
Voltage Type:	Line Voltage	Chain / Cord Length:	8 ft.
Height:	22.75 in.	Wire Length:	12 ft.
Minimum Hanging Height:	22.75 in.	Number Of Arms:	2
Maximum Hanging Height:	123 in.	Wet Location:	No
Width:	9.5 in.	Damp Location:	Yes
Depth:	8.25 in.	Harsh Environ/Coastal:	No
Wattage:	60	Hanging Method:	Chain Hung
Bulb Type:	Incandescent	Weight:	7.55 lbs
Bulb Shape:	T-Type	Made In America:	No
Base Type:	Candelabra	Dusk To Dawn:	No
Number Of Bulbs:	2	Title 24:	No
Bulb Included:	No		
Bulb Color:	Carbon Filament		

4.9 ★★★★★
 Google
 Customer Reviews



Customer Service: 1-800-653-6556 or cs@destinationlighting.com
M-F: 7am-5pm & Sunday: 11am-4pm (PST)

Craftmade Lighting Bulkhead Matte Black Close To Ceiling Light

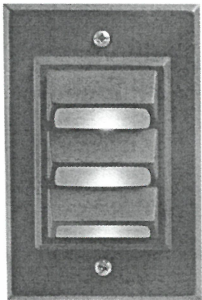


Product Number:	P1240289 or 654241	EnergyStar Compliant:	No
Manufacturer:	Craftmade Lighting	Shade Material:	Glass
Model Number:	Z390-05	Material:	Cast Aluminum
Collection:	Bulkhead	Shipping:	UPS Regular
Manufacturer Finish:	Matte Black	Certification Agencies:	ETL
Manufacturer Shade Color:	Frosted	Wet Location:	No
Glass Treatment:	Frosted	Damp Location:	Yes
Total Wattage:	60 w.	Harsh Environ/Coastal:	No
Voltage Type:	Line Voltage	Weight:	2.62 lbs
Voltage Input:	120 v.	Made In America:	No
Height:	4.5 in.	Dusk To Dawn:	No
Width:	8.5 in.	Title 24:	Yes
Wattage:	60		
Bulb Type:	Incandescent		
Bulb Shape:	A-Type		
Base Type:	Medium		
Number Of Bulbs:	1		
Bulb Included:	No		
Bulb Color:	Frosted		
Bulb Dimmable:	Yes		

4.9 ★★★★★
Google
Customer Reviews


Customer Service: 1-800-653-6556 or cs@destinationlighting.com
M-F: 7am-5pm & Sunday: 11am-4pm (PST)

Vertical Recessed Deck and Step Light



Product Number:	P1143388 or 92172	EnergyStar Compliant:	No
Manufacturer:	Hinkley	Material:	Cast Aluminum
Model Number:	1542BZ	Shipping:	UPS Regular
Collection:	Deck & Step	Wet Location:	Yes
Manufacturer Finish:	Bronze	Damp Location:	Yes
Manufacturer Shade Color:	Frosted Glass Lens	Weight:	0.5 lbs
Total Wattage:	12 w.	Made In America:	No
Voltage Type:	Low Voltage	Title 24:	No
Voltage Input:	120 v.		
Voltage Output:	12 v.		
Height:	4.75 in.		
Width:	3.25 in.		
Depth:	2.5 in.		
Wattage:	12		
Bulb Type:	Halogen		
Bulb Shape:	T5		
Base Type:	Wedge		
Number Of Bulbs:	1		
Bulb Included:	Yes		
Bulb Dimmable:	Yes		

4.9 ★★★★★
Google
Customer Reviews































5. Site Plan Set

INDEX:

C1.1 Cover / Title Sheet

C2.3 Existing Conditions & Demolition Plan

C2.4 Area Map

C3.1 Site Utility Plan

C4.1 Grading & Storm Drainage Plan

C4.2 Stormwater Management Plan

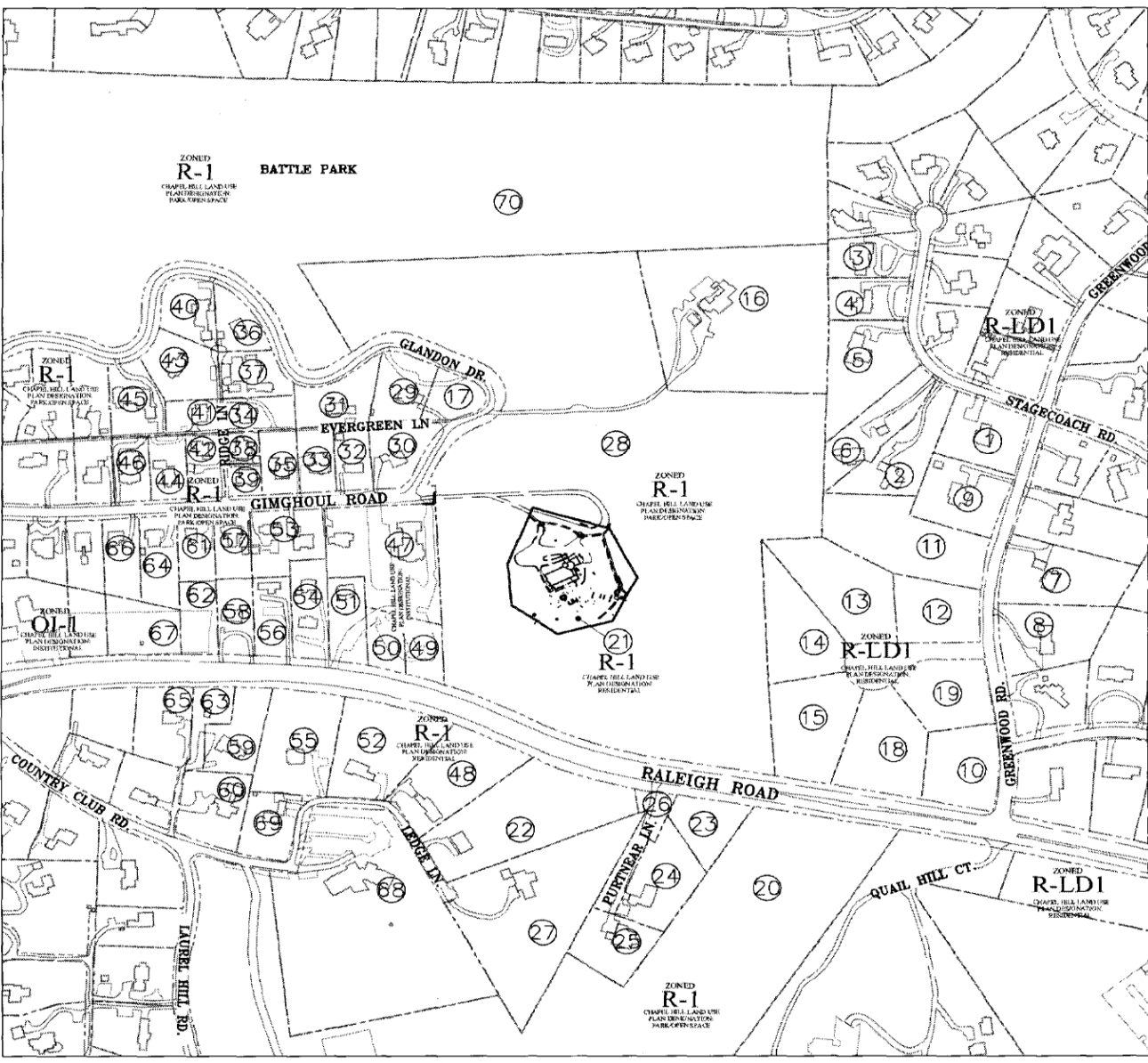
C5.1 Construction Management Plan

C5.2 Solid Waste Plan

C6.1 Utility Plan

C7.1 Erosion Control Plan

C8.1 Landscape Protection & Planting Plan



OWNER
GIMGHOUL CORPORATION
PO BOX 3870
CHAPEL HILL, NC 27515

ZONING LEGEND
R-1 RESIDENTIAL 1, 3 UNITS /ACRE
R-LD1 RESIDENTIAL-LOW DENSITY, 1 UNIT/ACRE
OH-1 OFFICE & INSTITUTIONAL 1

OVERLAY DISTRICTS
HD-3 (HISTORIC DISTRICT)
CD-2 (NEIGHBORHOOD CONSERVATION)
GIMGHOUL GREENWOOD

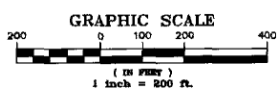
LEGEND
SUBJECT PROPERTY
1,000 FOOT NOTIFICATION BOUNDARY
ZONING DISTRICTS
OVERLAY DISTRICTS
CHAPEL HILL LAND USE PLAN DESIGNATION: INSTITUTIONAL

NOTES:
1. THERE IS AN UNPAVED GREENWAY ON THE PROPERTY THAT SURROUNDS THE SUBJECT PROPERTY. BATTLE PARK IS LOCATED WITHIN THE 1,000 FOOT NOTIFICATION OF THE SUBJECT PROPERTY.
2. THERE ARE NO BICYCLE LANES WITHIN 1,000 FEET OF THE SUBJECT PROPERTY.
3. THIS PROPERTY AND ALL PROPERTY WITHIN 1,000 FEET OF THE PROPERTY ARE WITHIN THE TOWN OF CHAPEL HILL, NC CORPORATE LIMITS.



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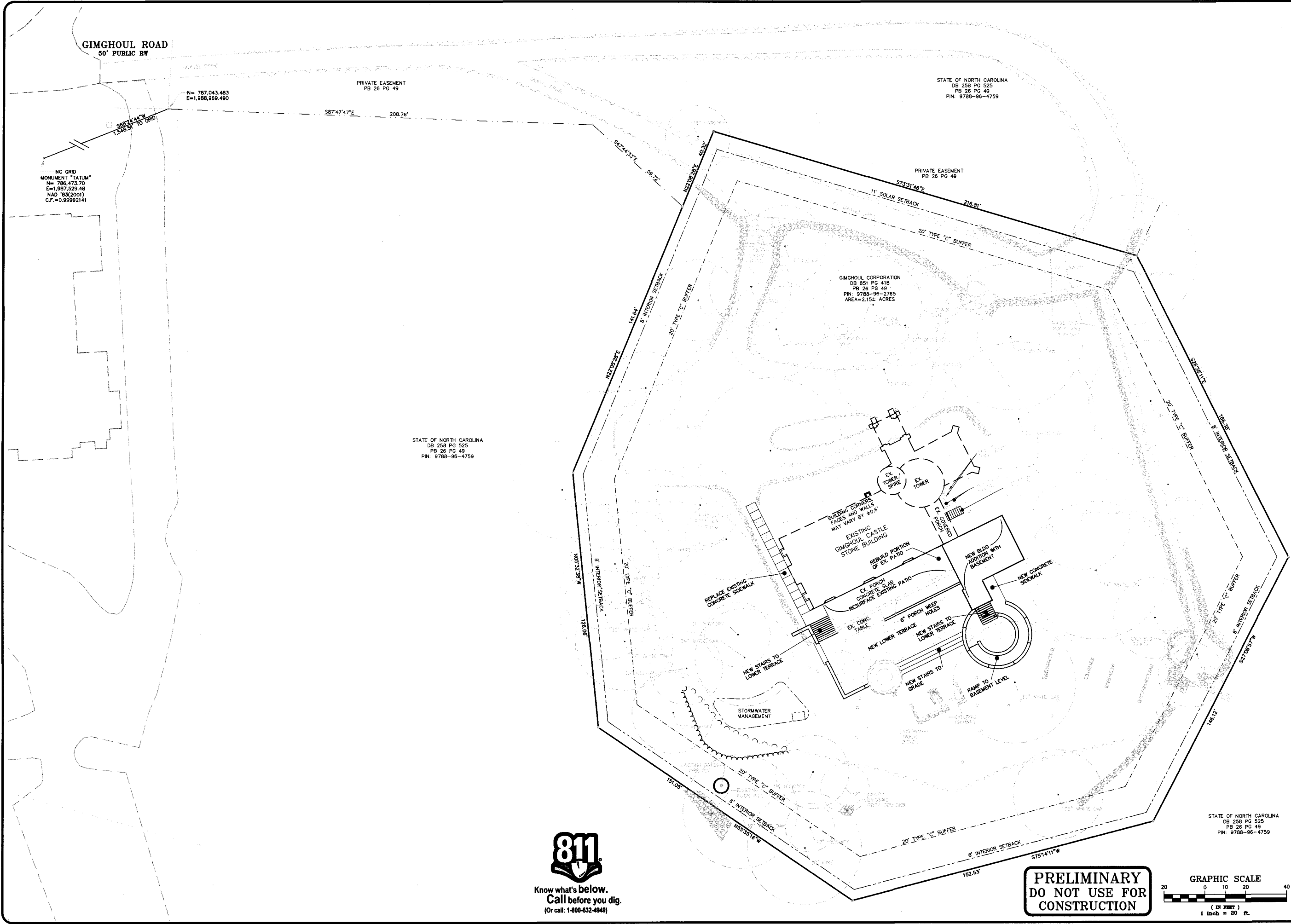
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919-485-1044 PHONE
LX 99-0088

GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
AREA MAP

REV.	DATE	DESCRIPTION
1	11/18/2020	PROGRESS MODIFICATIONS

DATE: FEBRUARY 4, 2021
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SHEET NO.
C2.4



GIMGHOUL ROAD
50' PUBLIC RW

N= 787,043.483
E=1,988,969.490


PRIVATE EASEMENT
PB 26 PG 49

NC GRID
MONUMENT "TATUM"
N= 786,473.70
E=1,987,529.48
NAD 83(2011)
C.F.=0.99992141

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

STATE OF NORTH CAROLINA
DB 258 PG 525
PB 26 PG 49
PIN: 9788-96-4759

GIMGHOUL CORPORATION
DB 851 PG 418
PB 26 PG 49
PIN: 9788-96-2785
AREA=2.15± ACRES



civil consultants
LAND PLANNERS & CIVIL ENGINEERS
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919.480.1646 PHONE
Lic. 8C-1030

GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
SITE LAYOUT
PLAN

REV.	DATE	DESCRIPTION

DATE: FEBRUARY 4, 2021

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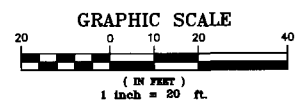
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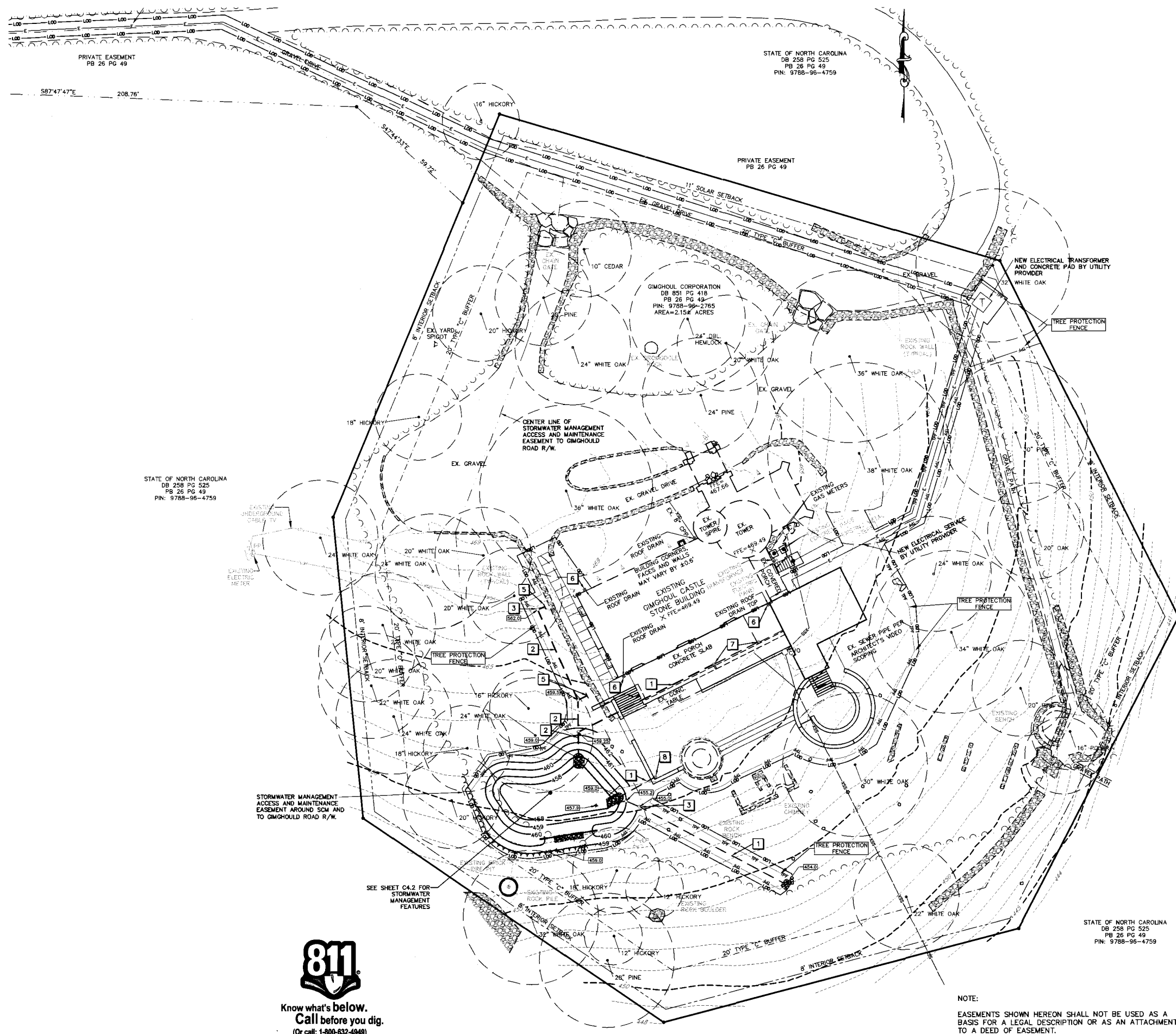
SHEET NO.
C3.1



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KEY KEYED NOTES - GRADING & STORM DRAINAGE PLAN

- 1 NEW 4" DIAMETER ROOF DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 2 NEW 6" DIAMETER ROOF DRAINAGE PIPE AT 1% MINIMUM SLOPE.
- 3 ADD CLEANOUT ASSEMBLY TO ROOF DRAIN, SIMILAR TO SANITARY SEWER CLEANOUT DETAIL.
- 4 SEE ARCHITECTURAL DRAWINGS FOR FINISHED ELEVATIONS FOR TERRACE, STEPS, AND SIDEWALK.
- 5 MAKE WATER TIGHT CONNECTIONS TO ROOF DRAIN STUBOUTS FROM ARCHITECTURAL DRAWINGS.
- 6 EXISTING DOWNSPOUT TO DRAIN TO FILTERED DEVICE. SEE ARCHITECTURAL DRAWINGS. FOR ANY EXISTING ROOF DRAIN PIPING INDICATED TO REMAIN IN SERVICE, CONDUCT VISUAL EXAMINATION OF PIPE WITH FLOWING WATER TO VERIFY FUNCTIONALITY. RESOLVE ANY DEFICIENCIES FOUND TO THE ARCHITECT'S SATISFACTION.
- 7 INSTALL NEW CATCH BASINS AT LOW POINTS IN EXISTING PORCH. BASINS SHALL BE 9' X 9' THERMOPLASTIC UNITS WITH SQUARE "ATRIUM" GRATE BY NDS, OR EQUIVALENT. INSTALL UNIT TO PROVIDE POSITIVE DRAINAGE FROM THE PORCH.
- 8 MILDLY SLOPE THE WESTERN PORTION OF THE NEW LOWER TERRACE SURFACE TO DRAIN TO A NEW CATCH BASIN AT THE LOW POINT IN THE CORNER. BASINS SHALL BE 9' X 9' THERMOPLASTIC UNITS WITH SQUARE "ATRIUM" GRATE BY NDS, OR EQUIVALENT. INSTALL UNIT TO PROVIDE POSITIVE DRAINAGE FROM THE NEW LOWER TERRACE. SEE ARCHITECTURAL DRAWINGS OF TERRACE AND CANOPY FOR DETAIL.
- 9
- 10

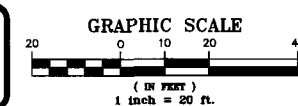
IMPERVIOUS SURFACE:

EXISTING: NONE*
PROPOSED: 3,700 SF
*PER ZONING, ACTUAL = 24,007 SF

NOTES

1. NO STEEP SLOPE AREAS ARE PRESENT ON THIS PROPERTY.
2. SEE SHEET C2.2 FOR MORE DETAIL ABOUT EXISTING TOPOGRAPHIC CONDITIONS.
3. SEE SHEET C4.2 FOR STORMWATER MANAGEMENT PLAN AND DETAILS.
4. SOILS ON THE SITE ARE AUC AND WME.

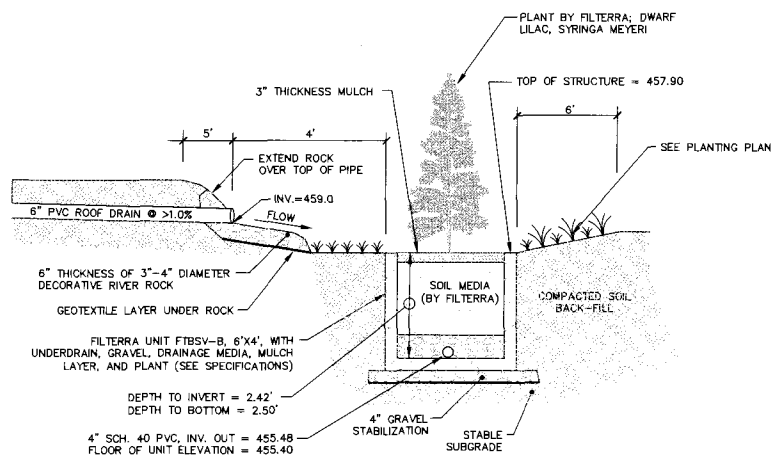
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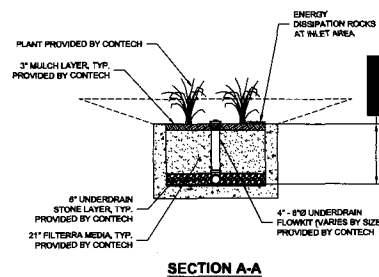
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STORMWATER MANAGEMENT
SECTION B-B



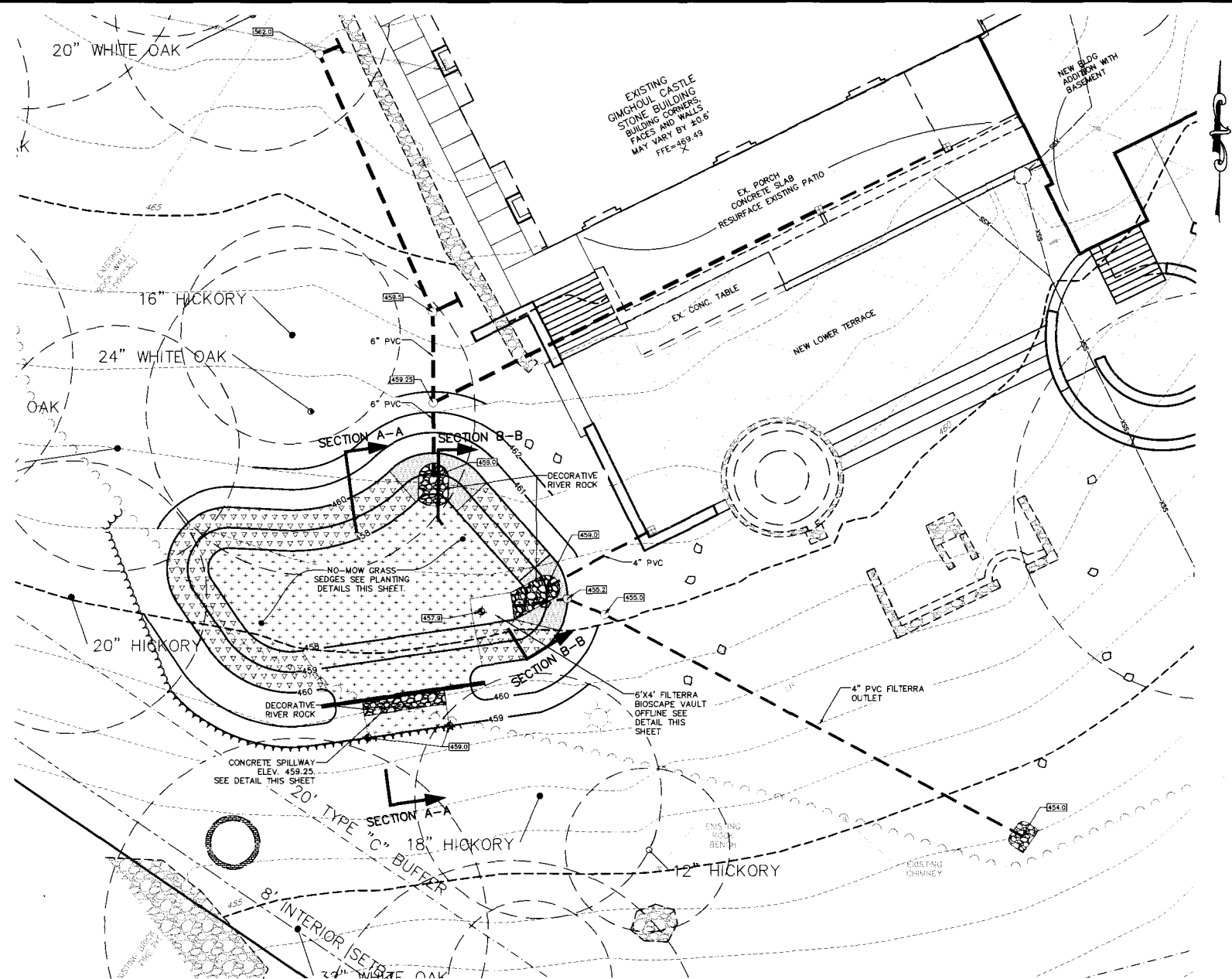
SECTION A-A





FTBSV-B CONFIGURATION				
DESIGNATION	AVAILABILITY	MEDIA BAY SIZE	VAULT SIZE (L x W)	OUTLET PIPE
FTBSV0404-B	ALL	4 x 4	4 x 4	4" SDR 35
FTBSV0504-B	N/A CA	5 x 4	5 x 4	4" SDR 35
FTBSV0605-B	ALL	6 x 5	6 x 5	5" SDR 35
FTBSV0804-B	CA ONLY	8 x 4	8 x 4	4" SDR 35
FTBSV0707-B	MID-ALT ONLY	7.5 x 4.5	7.5 x 4.5	4" SDR 35
FTBSV0804-B	N/A MID-ALT	8 x 4	8 x 4	4" SDR 35
FTBSV0806-B	ALL	8 x 6	8 x 6	4" SDR 35
FTBSV1005-B	ALL	10 x 6	10 x 6	6" SDR 35
FTBSV1206-B	ALL	12 x 6	12 x 6	6" SDR 35
FTBSV1307-B	ALL	13 x 7	13 x 7	6" SDR 35
FTBSV1408-B	CALL CONTECH	14 x 8	14 x 8	6" SDR 35
FTBSV1608-B	CALL CONTECH	16 x 8	16 x 8	6" SDR 35
FTBSV1608-B	CALL CONTECH	16 x 8	16 x 8	6" SDR 35
FTBSV2008-B	CALL CONTECH	20 x 8	20 x 8	6" SDR 35
FTBSV2208-B	CALL CONTECH	22 x 8	22 x 8	6" SDR 35

N/A = NOT AVAILABLE

N/A = NOT AVAILABLE

**FILTERRA BIOSCAPE VAULT OFFLINE - BASIN (FTBSV-B)
CONFIGURATION DETAIL**



SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	AREA (SF)	EST. QUANTITY
	CAREX AMPHIBOLA	CREEK SEDGE	PLUG	18" O.C.	800	360
	PHLOX DIVARICATE	WOODLAND PHLOX	QUART	18" O.C.	90	46
	POLYSTICHUM ACROSTICHOIDES	CHRISTMAS FERN	BARE ROOT	18" O.C.*	520	130
	CAREX AMPHIBOLA	CREEK SEDGE	PLUG	18" O.C.*	520	130

*CHRISTMAS FERN AND CREEK SEDGE IN THE AREA HATCHED ALONG THE SLOPES TO BE PLACED IN AN ALTERNATING ARRANGEMENT WITH 18" SPACING ON CENTER WITH A 50/50 MIX OF EACH SPECIES.

PLANTING NOTES:

1. ALL PLANT SUBSTITUTIONS MUST BE APPROVED BY ENGINEER.
2. PLACE PLANTINGS IN A STAGGERED PATTERN WITH THE INDICATED SPACINGS
3. BREAK APART ROOT MASSES PRIOR TO PLANTING QUART PLANTINGS.
4. WITHIN THE PLANTING SOIL AREA, DO NOT EXCAVATE AN OVERSIZED HOLE FOR PLANTINGS, BUT REMOVE OR DISPLACE ONLY ENOUGH SOIL FOR THE ROOT BALL OR ROOT MASS. INSERT ROOT INTO THE PLANTING MIX AND FIRMLY PRESS SURROUNDING SOIL AGAINST IT FOR SUPPORT.
5. PROVIDE A ONE-YEAR WARRANTY TO OWNER FOR ALL PLANT MATERIALS.

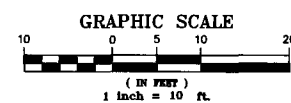
NOTE:


EASEMENTS SHOWN HEREON SHALL NOT BE USED AS A BASIS FOR A LEGAL DESCRIPTION OR AS AN ATTACHMENT TO A DEED OF EASEMENT.



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**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
STORMWATER MANAGEMENT
PLAN AND DETAILS**

REV.	DATE	DESCRIPTION
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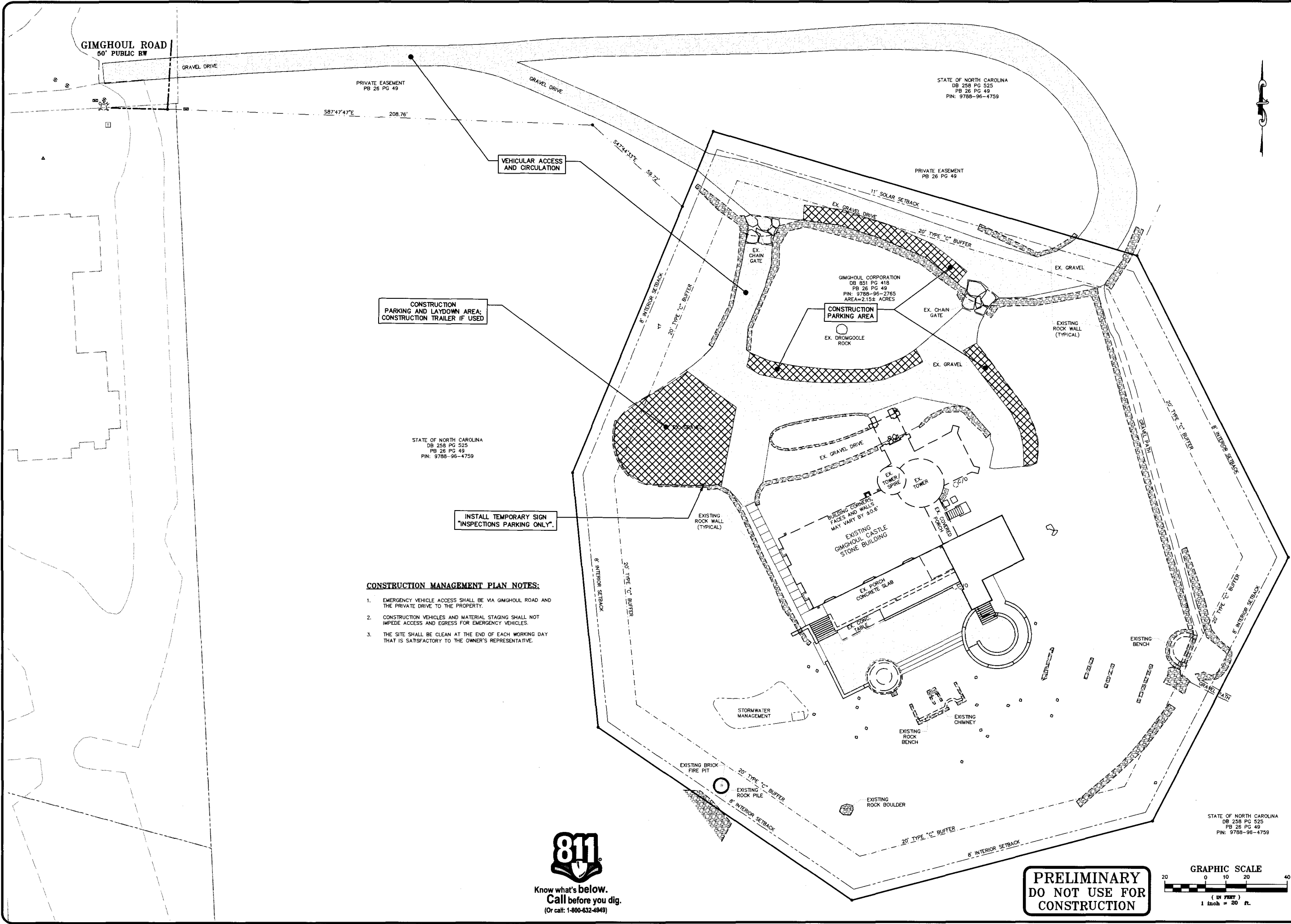
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SHEET NO.

C4.2



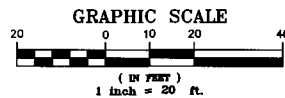
CONSTRUCTION MANAGEMENT PLAN NOTES:

1. EMERGENCY VEHICLE ACCESS SHALL BE VIA GIMGHOUL ROAD AND THE PRIVATE DRIVE TO THE PROPERTY.
2. CONSTRUCTION VEHICLES AND MATERIAL STAGING SHALL NOT IMPEDE ACCESS AND EGRESS FOR EMERGENCY VEHICLES.
3. THE SITE SHALL BE CLEAN AT THE END OF EACH WORKING DAY THAT IS SATISFACTORY TO THE OWNER'S REPRESENTATIVE.



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GIMGHOUL CASTLE
CHAPEL HILL, NORTH CAROLINA
CONSTRUCTION MANAGEMENT PLAN

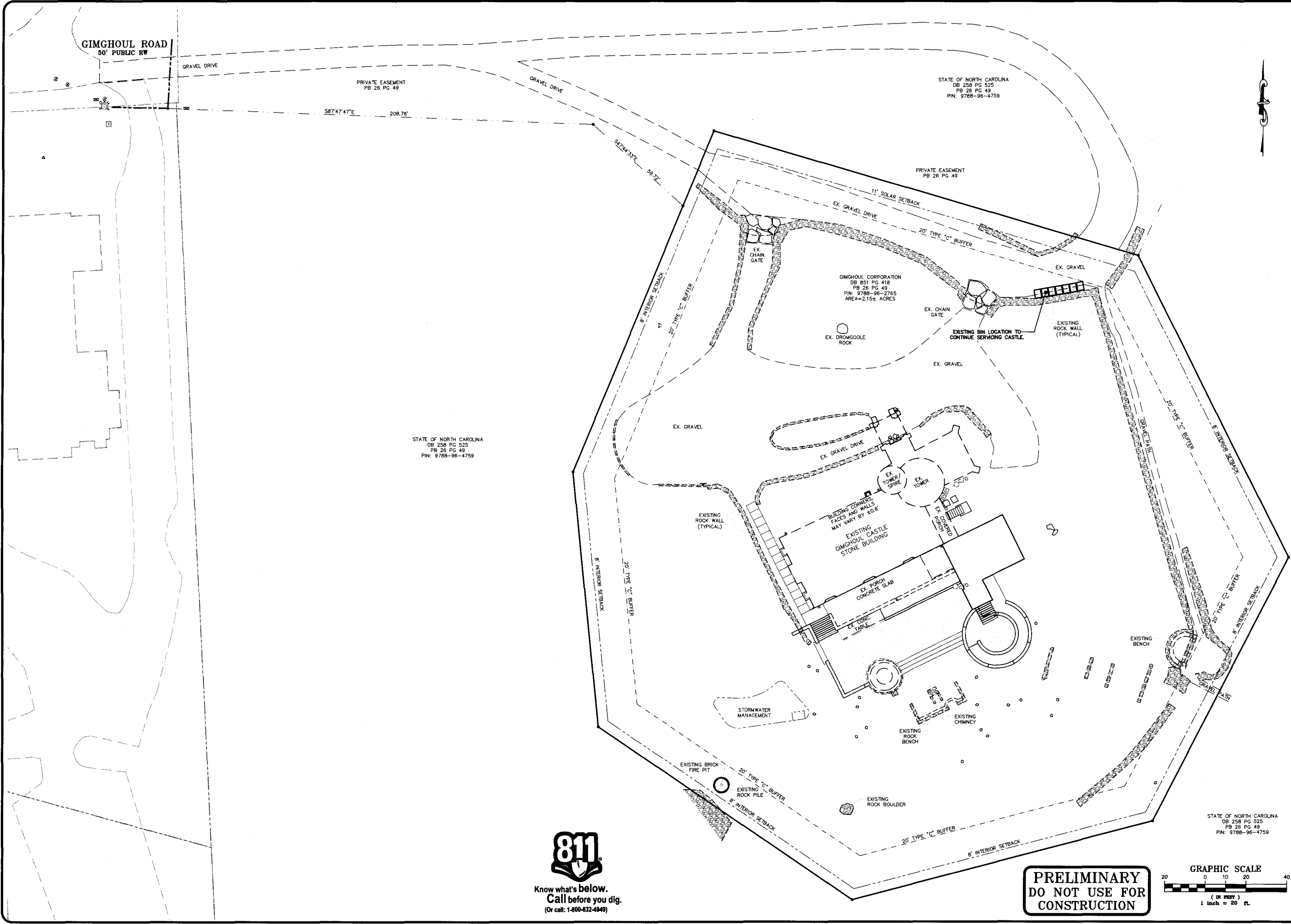
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SHEET NO.
C5.1



**GIMGHOUL
CASTLE
CHAPEL HILL, NORTH CAROLINA
SOLID WASTE
PLAN**

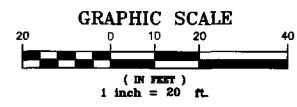
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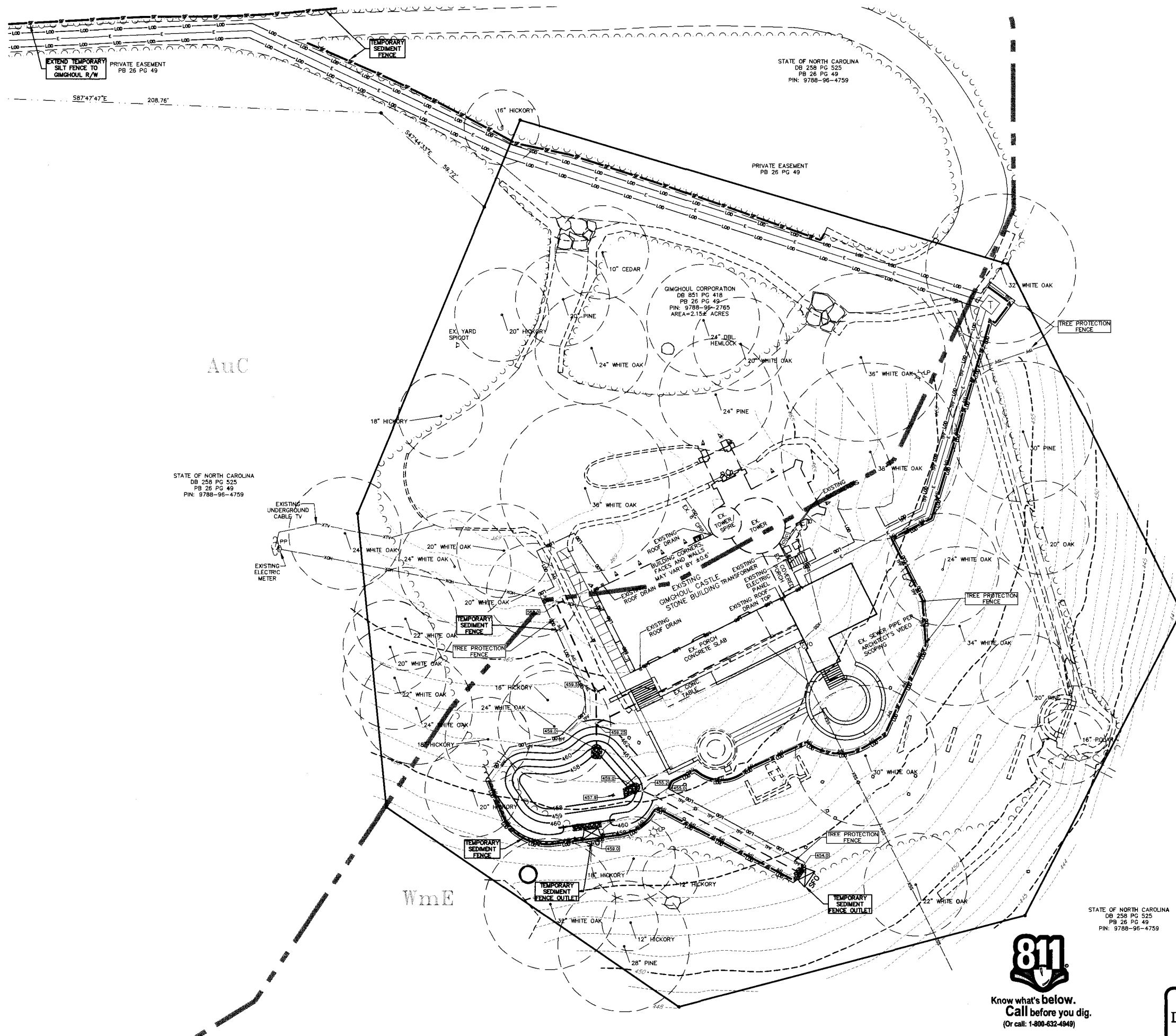
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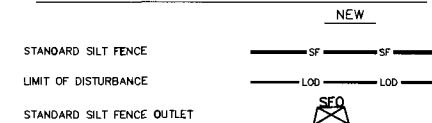


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EROSION CONTROL LEGEND



EROSION CONTROL NOTES:

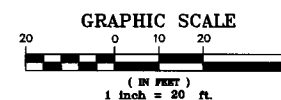
1. WHERE TEMP SILT FENCE AND TREE PROTECTION FENCE ARE SHOWN TOGETHER INSTALL ONLY THE TEMPORARY SILT FENCE.

MAINTENANCE PLAN

1. CHECK ALL EROSION AND SEDIMENT CONTROL PRACTICES FOR STABILITY AND OPERATION FOLLOWING EVERY RAINFALL PRODUCING RUNOFF BUT IN NO CASE LESS THAN ONCE EVERY WEEK. MAKE ANY NEEDED REPAIRS IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED.
2. REMOVE SEDIMENT FROM BEHIND CHECK DAMS AND STONE FILTERS WHEN STORAGE CAPACITY HAS BEEN APPROXIMATELY 50% FILLED. CLEAN OR REPLACE GRAVEL ON OUTLETS WHEN WATER POOLS AND IS NO LONGER DRAINING PROPERLY.
3. FERTILIZE ALL SEEDED AREAS, RESEED AS NECESSARY, AND MULCH ACCORDING TO THE SEEDING SCHEDULE TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. RE-WORK DEVICES AND MEASURES, INCLUDING REMOVAL, RE-CONSTRUCTION, AND/OR RELOCATION AS NEEDED DURING THE PROGRESS OF WORK TO ACCOMMODATE CHANGING TOPOGRAPHIC CONDITIONS, SURFACE RUNOFF PATTERNS, INSTALLATIONS OF OTHER WORK, ETC.



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GIMGHOU
CASTLE
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL
PLAN

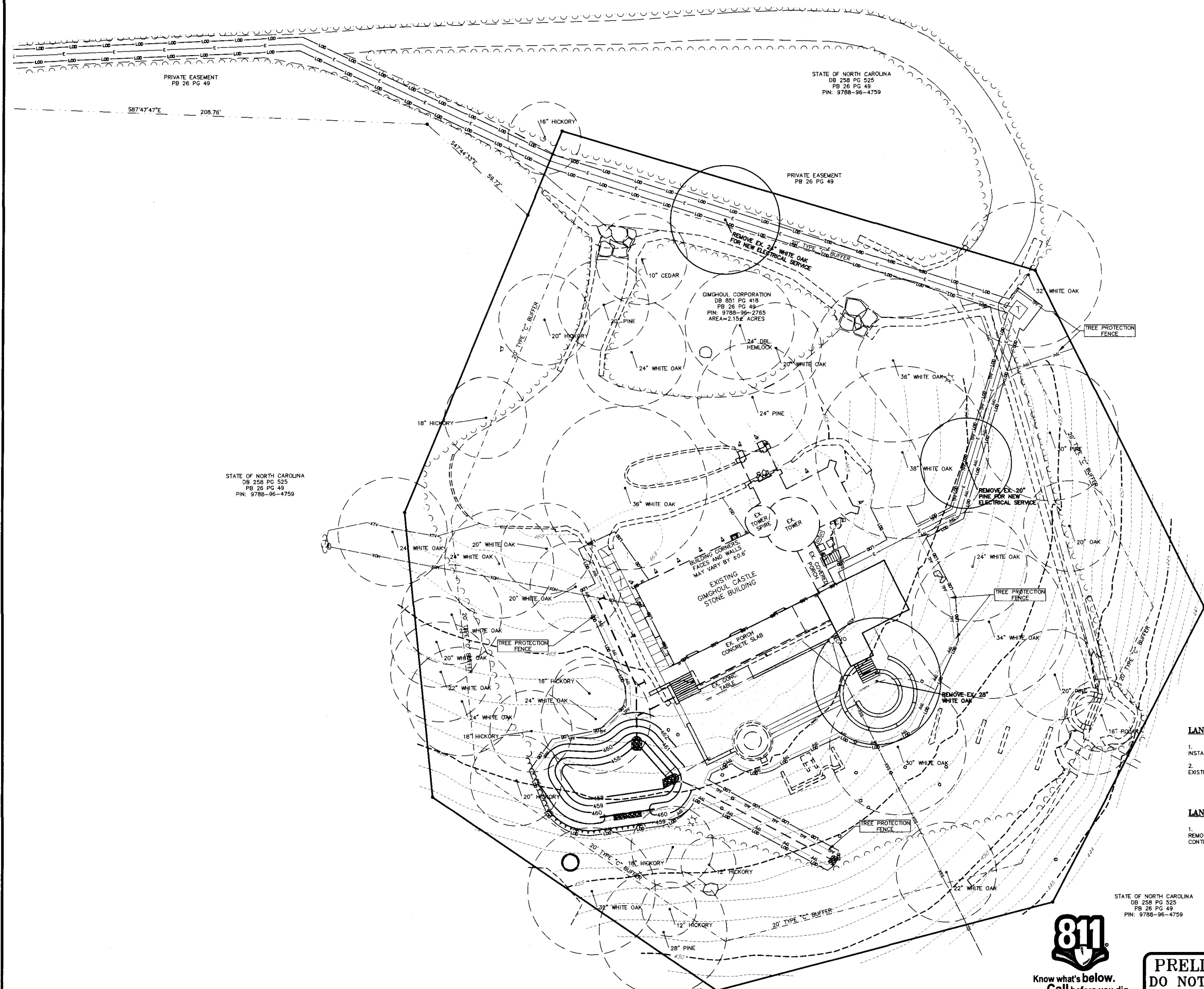
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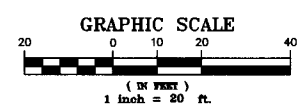
SHEET NO.
C7.1



- LANDSCAPE PROTECTION PLAN NOTES:**
1. ALL TREE PROTECTION FENCE AND TEMP SILT FENCE SHALL BE INSTALLED BEFORE CLEARING AND GRADING.
 2. THE CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT EXISTING TREES.
- LANDSCAPE PLANTING NOTES:**
1. EXISTING FOLIAGE, WITH THE EXCEPTION OF ONE TREE TO BE REMOVED FOR NEW ELECTRICAL SERVICE, WILL BE PRESERVED AND CONTINUE TO SATISFY BUFFER REQUIREMENTS

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**GIMGHOUL
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LANDSCAPE PROTECTION AND
PLANTING PLAN**

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Certificate of Appropriateness / Application (page 5; item 6)

6. Elevation Drawings

INDEX:

Site Survey (existing conditions)

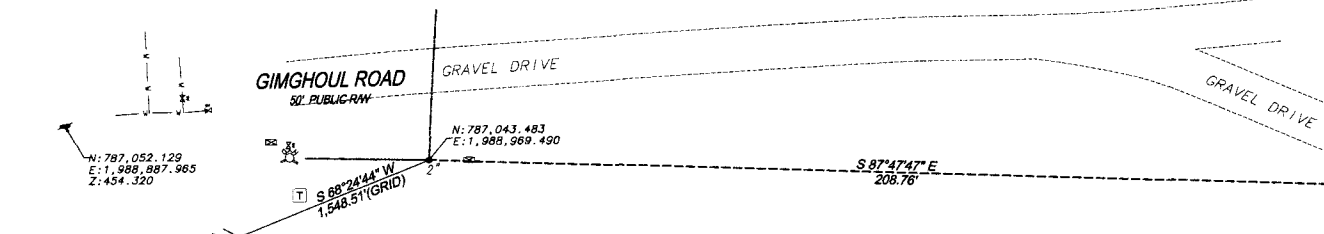
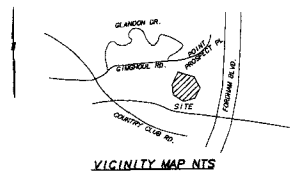
Pictorial Site Plan (w/ new conditions)

Enlarged Pictorial Site Plan (w/ new conditions)

East Elevation (w/ new conditions)

South & West Elevations (w/ new conditions)

Color Illustration of Proposed New Conditions



This document originally issued and sealed by Jose L. Torres, L-3771, on 07/01/2020. This medium shall not be considered a certified document.

NC GRID MONUMENT "TATUM"
N=787,052.129
E=1,988,987.985
Z=454.320
NAD 83 (2011)
C.F. = 0.00002141

SURVEYOR'S CERTIFICATION

I, Jose L. Torres, certify that this project was completed under my direct and responsible charge from an actual survey made under my supervision; that this ground survey was performed at the 80 percent confidence level (2 sigma) to meet Federal Geographic Data Committee Standards; that the horizontal accuracy is 1:10,000; that the vertical accuracy is 1:10,000 and that the original data was obtained on June 17-25; that the survey was completed on July 1, 2020; that contours shown meet the stated standard; and all coordinates are based on NAD 83 (2011), and all elevations are based on NAVD 88.

Furthermore:
THE SURVEY CONTROL POINTS NOTED WERE DERIVED FROM GPS OBSERVATIONS BASED ON THE FOLLOWING:
1) CLASS OF SURVEY: CLASS C
2) POSITIONAL ACCURACY: MAXIMUM RESIDUAL 0.030 FT(H) 0.082 FT(V)
3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC (RTK)
4) DATE OF SURVEY: JUNE 17, 2020
5) DATUM/EPOCH: NAD 83 (2011)
6) HORIZONTAL CONTROL: TATUM N=787,052.129 E=1,988,987.985
7) GEOD. MODEL: GRS80
8) COMBINED CORR. FACTOR: 0.00002141
9) UNITS: US SURVEY FOOT
10) GPS INSTRUMENTATION: TRIMBLE R6 GNSS

DATE _____ JOSE L. TORRES, PLS L-3771

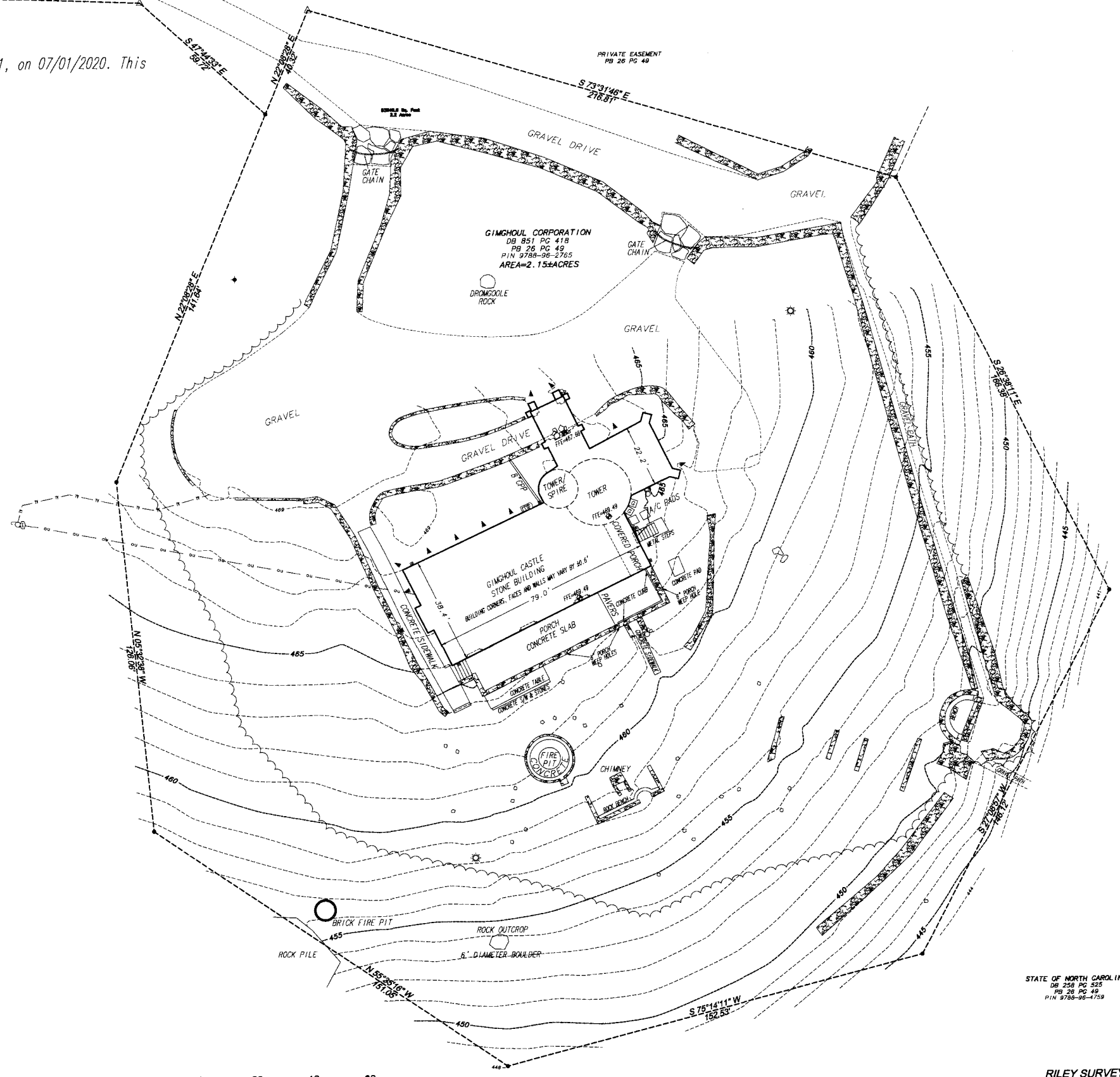
STATE OF NORTH CAROLINA
DB 250 PG 525
PB 26 PG 49
PIN 9788-96-4759

LEGEND

- EXISTING IRON PIPE (1/2")
- EXISTING "NAD" NAIL
- COMPUTED POINT
- WATER METER
- FIRE HYDRANT
- WATER VALVE
- YARD SPIGOT
- ROOF DRAIN
- FLOOD LIGHT
- GAS METER
- ELECTRIC PANEL
- UTILITY POLE W/ METER
- TRANSFORMER
- LIGHT POLE
- CLEAN OUT
- FINISHED FLOOR ELEVATION
- ROCK OUTCROP
- CABLE TV BOX
- UNDERGROUND CATV
- OVERHEAD UTILITIES
- TREE LINE
- WATER LINE
- BOUNDARY LINE
- PROPERTY LINE NOT SURVEYED
- PUBLIC RIGHT-OF-WAY LIMITS
- ROCK WALLS

NOTES

- 1) THIS IS NOT A BOUNDARY SURVEY. BOUNDARY INFORMATION TAKEN FROM EXISTING MONUMENTATION AND DEEDS AND PLATS OF RECORD.
- 2) HORIZONTAL GROUND DISTANCES SHOWN.
- 3) THIS PROPERTY IS LOCATED IN THE CAPE FEAR RIVER BASIN.
- 4) UNLESS NOTED OTHERWISE, ALL REFERENCES ARE GRANGE COUNTY.
- 5) AREAS, IF SHOWN, COMPUTED BY THE CO-ORDINATE METHOD.
- 6) THIS SURVEY PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. THEREFORE, ENCUMBRANCES AFFECTING TITLE TO THE SUBJECT PROPERTY MAY EXIST BUT ARE NOT NECESSARILY DEPICTED BY THIS SURVEY.
- 7) UNDERGROUND UTILITIES SHOWN AS MARKED BY THEIR RESPECTIVE AGENTS. THERE ARE ADDITIONAL UNDERGROUND UTILITIES WHICH WERE NOT SHOWN HERE MARKED. ALL UNDERGROUND UTILITIES SHOULD BE MARKED PRIOR TO ANY EXCAVATION OR CONSTRUCTION.

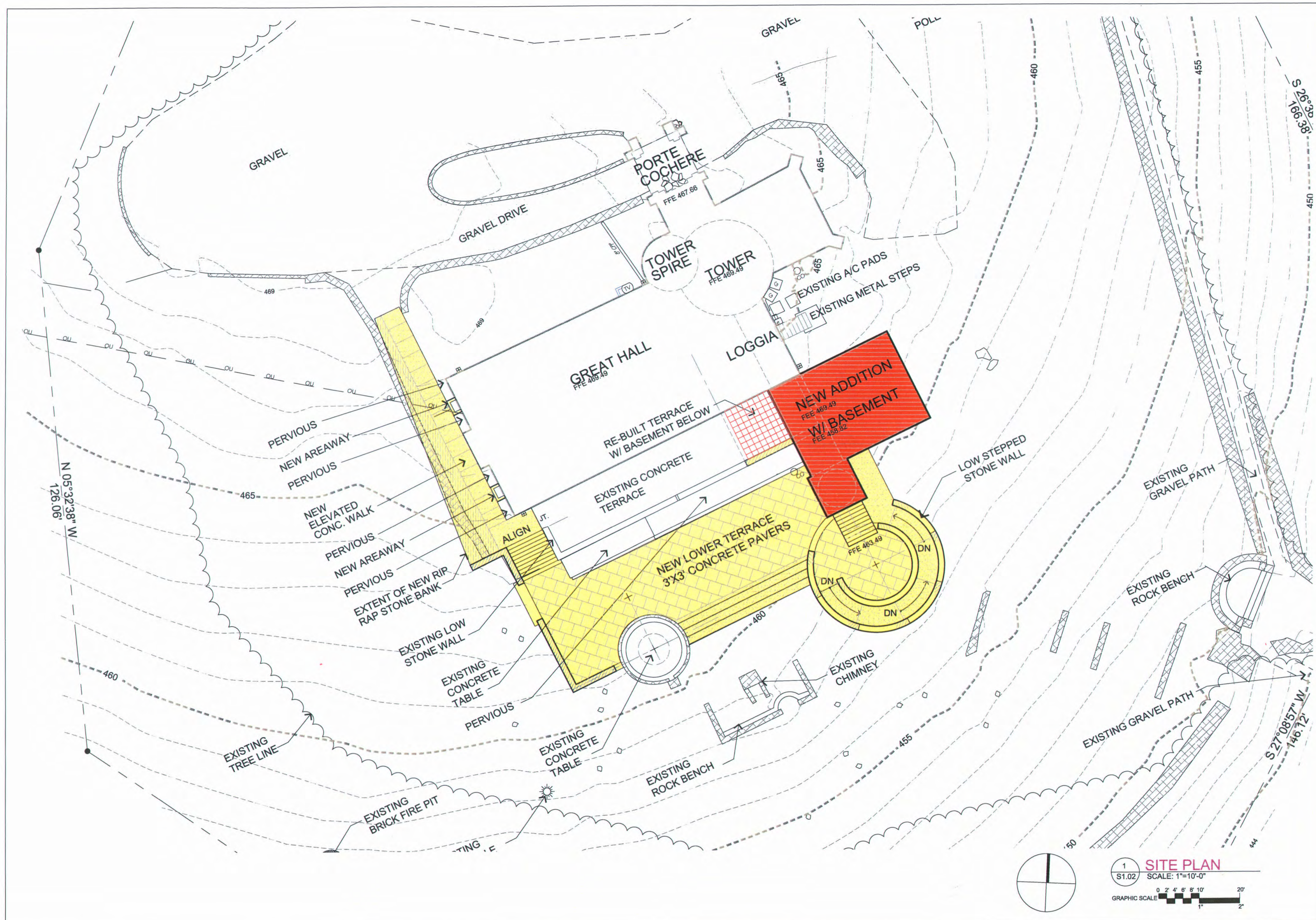


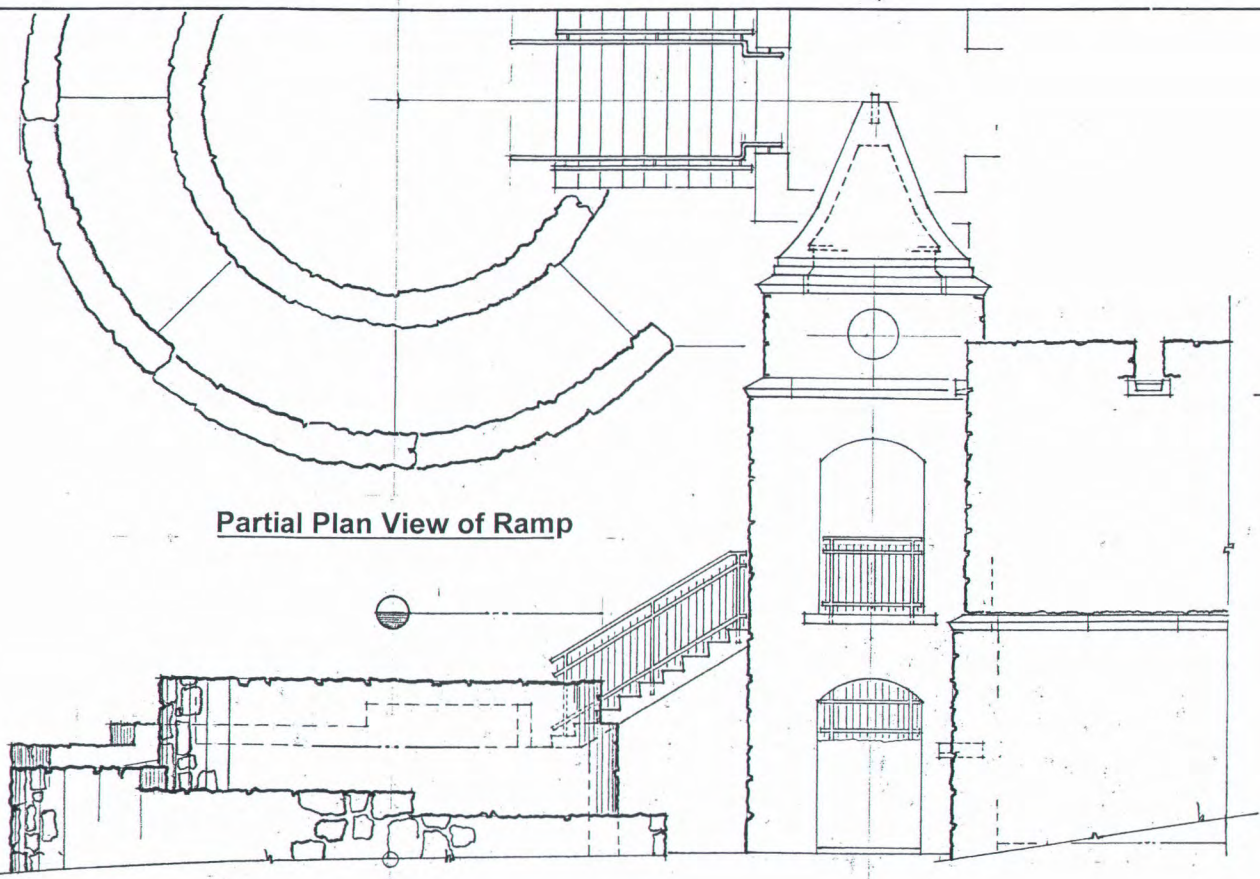
PARTIAL TOPOGRAPHIC SURVEY
PROPERTY OF
GIMGHOUL CORPORATION
CHAPEL HILL TOWNSHIP
ORANGE COUNTY, NORTH CAROLINA

20 10 0 20 40 60
SCALE IN FEET
1"=20'
JULY 1, 2020

STATE OF NORTH CAROLINA
DB 250 PG 525
PB 26 PG 49
PIN 9788-96-4759

RILEY SURVEYING, P.A.
3328 DURHAM CHAPEL HILL BLVD. STE B-100
DURHAM, N.C. 27707
919-887-0742 C-1281 jtorres@rileysurveyingpa.com

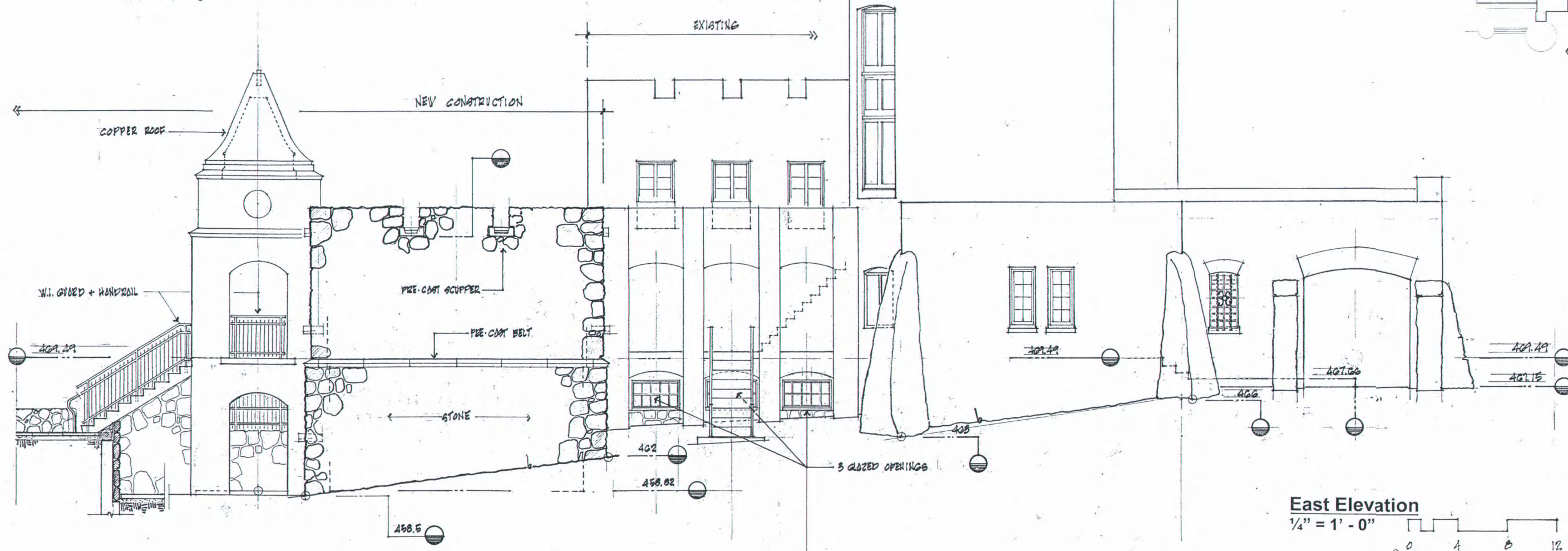


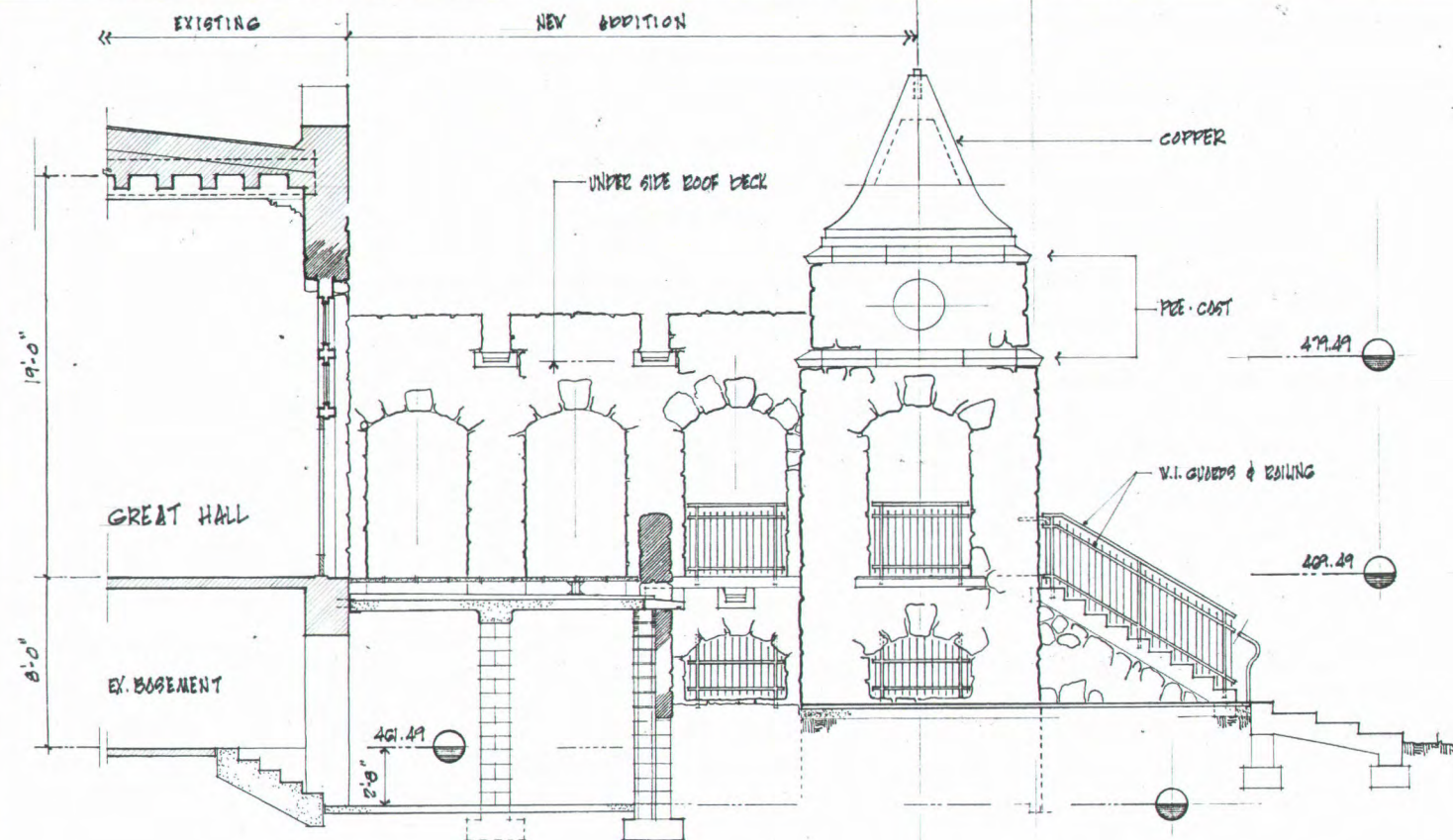


Partial Plan View of Ramp

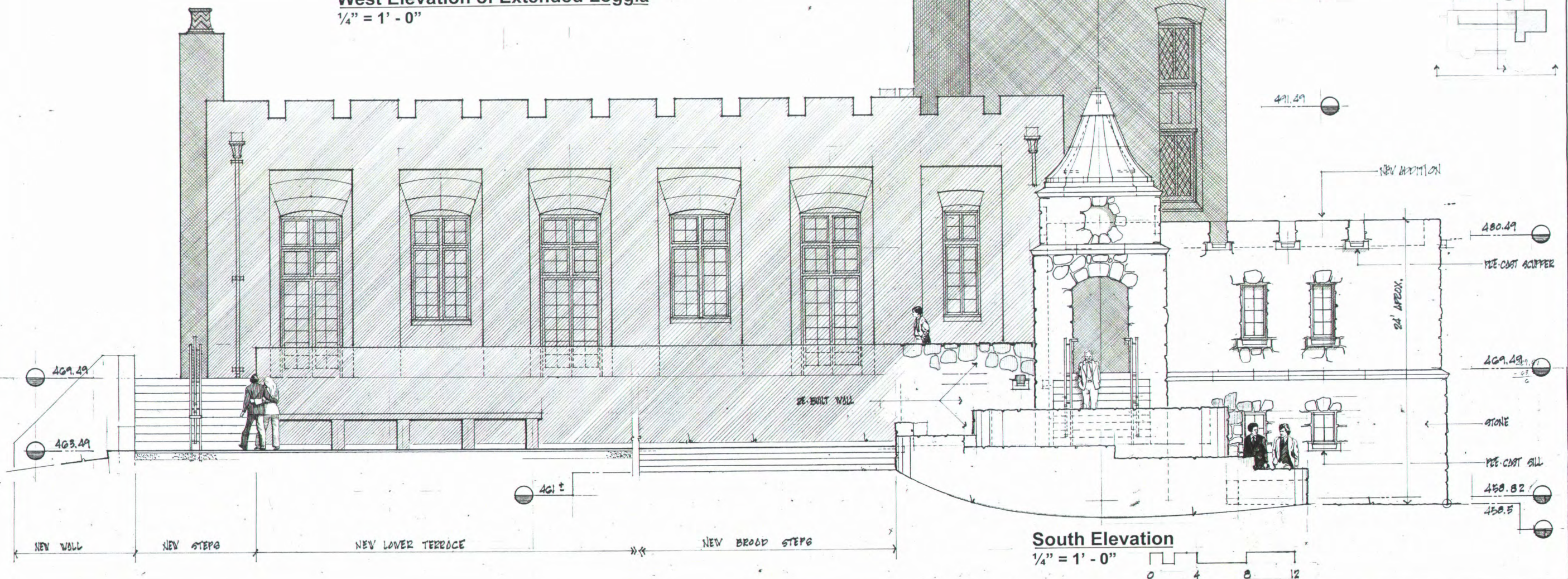
East Elevation of Ramp Wall

1/4" = 1' - 0"





West Elevation of Extended Loggia
 $\frac{1}{4}'' = 1' - 0''$

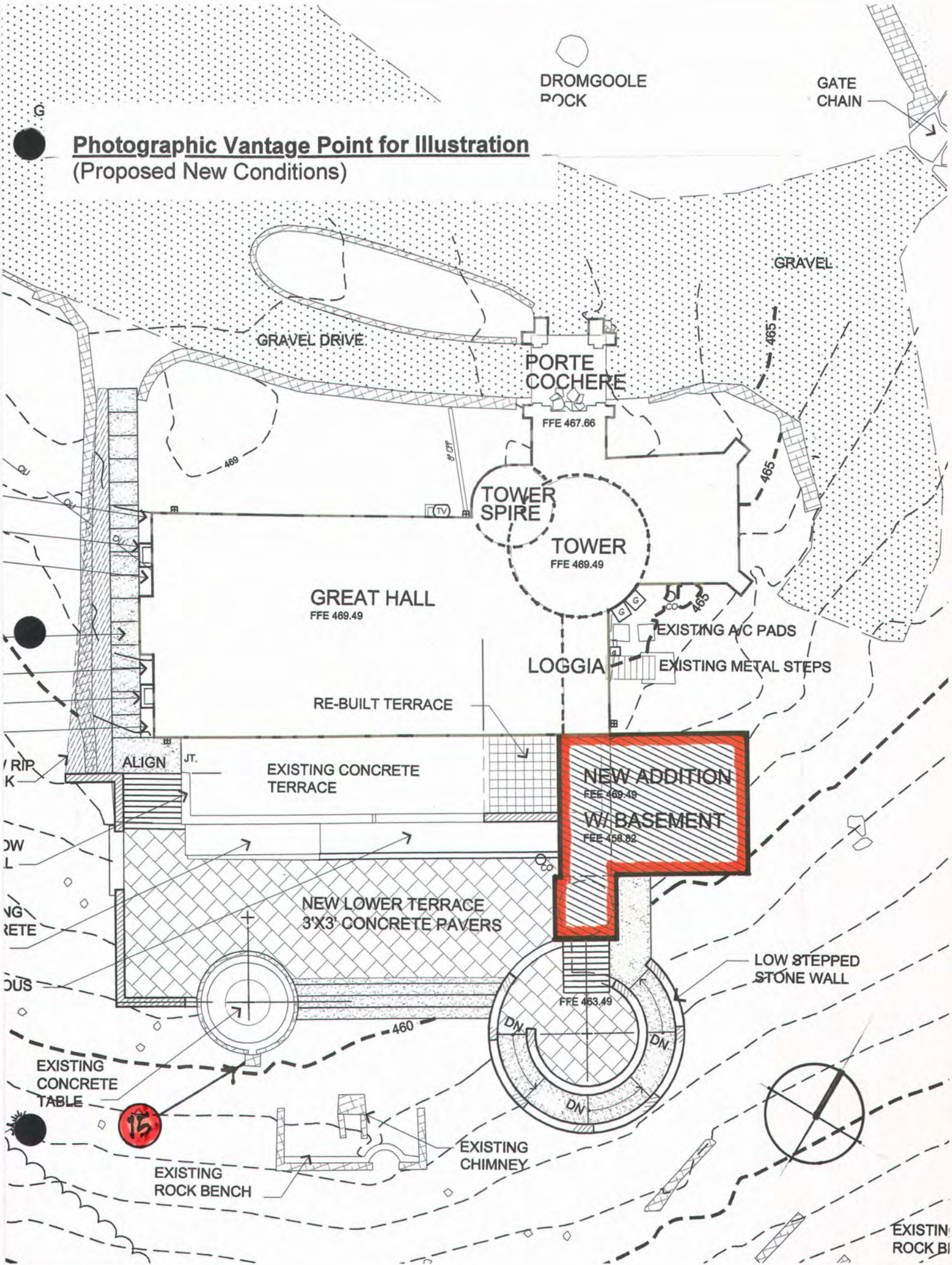


South Elevation
 $\frac{1}{4}'' = 1' - 0''$

DROMGOOLE
ROCK

GATE
CHAIN

Photographic Vantage Point for Illustration
(Proposed New Conditions)





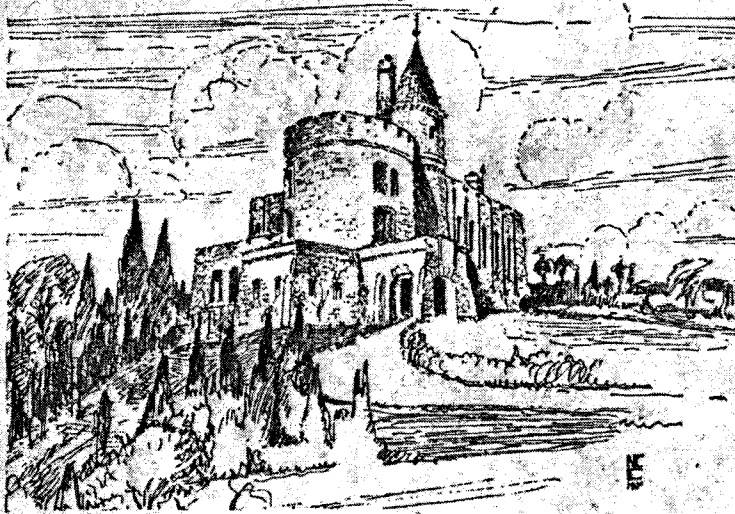


The Order of Gimghoul is a collegiate society headquartered at Hippol (or Gimghoul) Castle in Chapel Hill, North Carolina. Founded in 1889, the meeting place of the order, Hippol Castle, was built in 1924 at a cost of nearly \$50,000. Approximately thirteen hundred tons of rough stone were used in its construction giving it the appearance of a castle. The Order sold 35 acres of property that was later designated the Gimghoul Neighborhood Historic District to finance construction. The castle is located at the end of Gimghoul Road.

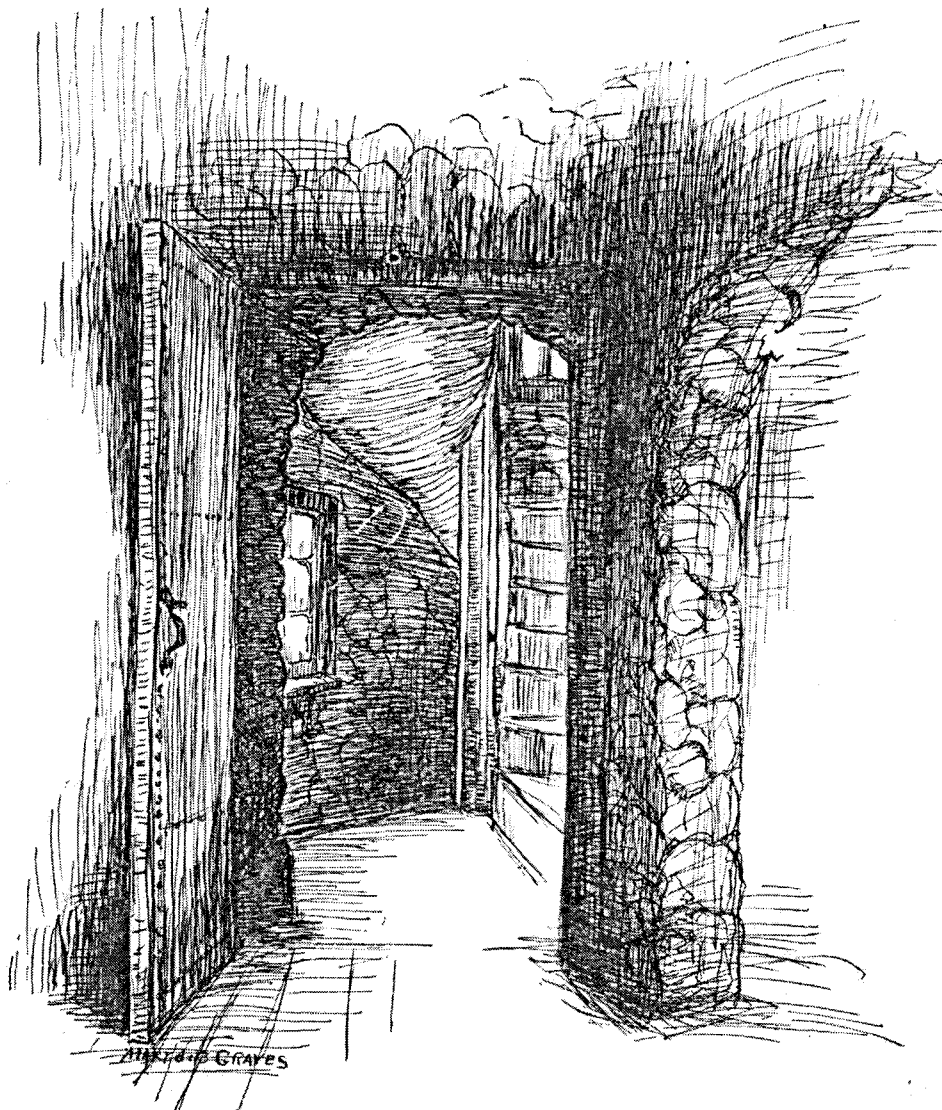
13624\01\Applications\m\006Order of Gimghoul

CP378
UR15
UNC-CH Wilson Library
UNC Collection

The New Gimghoul Castle



Report of the Building Committee
1926



A glimpse into the Stair Tower, showing circular staircase; to the right, arch leading into the Chapter Room.

Report of the Building Committee

TO THE KNIGHTS OF THE ORDER OF GIMGHOULS:

In 1889 the Order of Gimghouls was founded here in the University. One of the leaders in its organization was the late Wray Martin, of Arkansas, then a student in our Law School. Martin was a man of remarkably bright mind and vivid imagination. He was a great reader, and fairly reveled in romance, devouring Sir Thomas Malory's *Morte d'Arthur* and other books dealing with chivalry and knighthood, and when the Order was being organized Martin infused it with his ideas of the glamour and the beauty of knightly ways.

He was fond of walking out to Piney Prospect, especially in the moonlight, and there he would sit and dream. These reveries, which he wrote down and are still kept among the records of the Order, took the form of imagining that the valley below was a sea, in which a dozen or more islands were uplifted. To these islands he gave names, and described them vividly and in detail. He also imagined that on this Piney Prospect hill lay the city of the Gimghouls, with a Royal Palace and other buildings, chief among which was the defending fortress of the city, Hippol Castle.

From this imaginary castle of Wray Martin's dreams have always gone all our proclamations, calls for meetings, invitations to dinner-dances, etc. Even after the old Lodge on Rosemary street was built, under the supervision of the late Charles Baskerville, while it was regarded as the material home of the Order, yet the official proclamations still went out over the Rex's name from his imaginary stronghold, Hippol Castle.

Now, after a lapse of 37 years, Martin's dream-castle has become a reality in stone and cement, and we are about ready to turn it over to the Order.

HISTORY OF THE BUILDING PLAN

A word of history may here be in place, for purposes of record. The forest land called Battle's Park was formerly owned partly by the University and partly by the heirs of the late Paul Cameron. Various efforts to find a lucrative sale for the Cameron part were made without success, though at one time,—about 1910,—an avenue was cut out through the woods from the east gate of the Campus to Judge Brockwell's cabin, lots were laid off, a few were sold, and a well was sunk by P. H. Winston on the lot where he proposed to build. But the well was unsuccessful, and for some reason no houses were built on the lots then sold. The problem of sewers, lights and water apparently could not be solved at that time, and for another five years the whole matter was dropped.

The apprehensions of the members of the Order, who had feared that the building of homes in the neighborhood of the Dromgoole Rock would prohibit us from any longer using the traditional initiation ceremonies, were allayed once more, and no definite steps were then taken toward the purchase of the land, though the idea had already found a lodgment in Gimghoul brains.

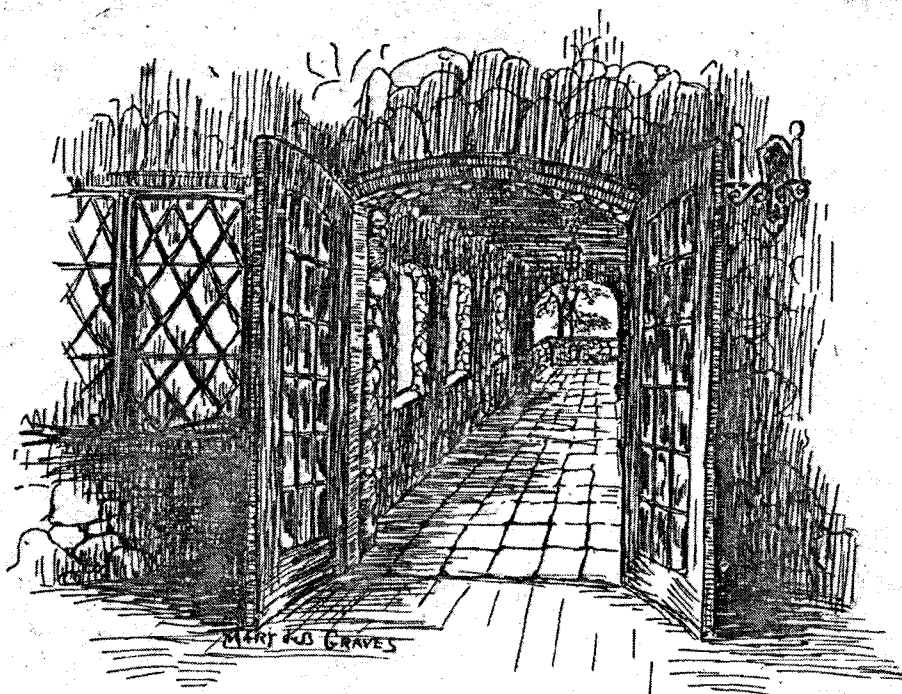
In 1915, however, a definite offer for the sale of the land to a Durham land company was made, and when Perrin Busbee heard of it he got in touch with George Stephens, who, in consultation with a number of others, devised a scheme for the purchase of the tract, containing about 94 acres, for about \$4500, which was to be raised by contributions of \$50 from each member, payable in three installments.

This scheme met with much favor, and the actual work of raising the funds was undertaken by Joseph Hyde Pratt. But the war went on, and our entry into it scattered our members and disorganized the campaign. Col. Pratt went to France, and his secretary, Miss Harriet Berry, after working valiantly but vainly to collect the installments due in order to satisfy insistent mortgage holders, finally threw up her hands. Something had to be done, so a meeting of Gimghouls was called in the University Library at the Commencement of 1918, at which time about five hundred dollars was pledged.

But this only served to stave off the matter for one year, when a Committee consisting of V. S. Bryant, Jr., Don Daniel, Worth Daniels, W. S. Bernard, W. W. Pierson and A. H. Patterson was appointed by the Rex to consider the matter, and this committee decided to call a general meeting of the Order at the Lodge with the former Rexes as special guests, and try to make the occasion so significant and so well attended that a real attempt would be made by the Order to save the situation. So at the meeting on June 17, 1919, the whole matter was presented, and about \$2000 was pledged to pay the outstanding notes and lift the mortgage. Of this amount only about \$1500 was paid in to the treasurer, George Green, who reported the remainder as apparently uncollectible, so matters lagged again.

But meanwhile the idea of developing a part of the property as a residential section in order to pay off the debt and defray the cost of a new lodge was taking shape, and was approved by the Order at a general meeting on June 13, 1922, when George Stephens was requested to act as Chairman of a committee, to be appointed by him, which should study the whole question of developing the Piney Prospect property, and building the new lodge. The other members of the committee so appointed were T. F. Hickerson, A. W. Hobbs, G. M. Braune, R. H. Wettach, Brent Drane, and A. H. Patterson.

A subcommittee was afterwards appointed on plans for the new lodge, consisting of A. H. Patterson, Chairman, Hickerson, Braune and



View from Ante Room through Loggia to the Terrace, which is 14x78 feet and runs along the Castle on the side towards the view.

Hobbs, and this committee first considered carefully how best to get the property in shape for the future. With the advice and approval of George Stephens and Brent Drane, a proposition was made to the Trustees of the University for the exchange of certain tracts of land, in order to straighten out our lines, shape up our property, and make our boundaries more natural ones.

This proposition was referred to a special committee by the Board of Trustees, and we met with them in Raleigh on May 19, 1923, and obtained their approval. Later, at a Smoker at the old Lodge, on May 27, 1923, we obtained the approval of the local Order of Gimghouls for the plan, and two weeks later still, on June 12, the approval of the whole Order.

In brief, the plan was to divide our 94 acres roughly into three parts; the first was to be swapped to the University for the old Brockwell place and certain land contiguous to it, on the express understanding that it would always remain park land; the second tract of about 35 acres was to be developed as a residence section, as it contained the bulk of the land suitable for this purpose; the remaining thirty-odd acres was to be retained by the Order as a site for the new lodge. To this part we have given the name of Glandon Forest, or rather we have retained the name given to it by Martin when the Order was founded.

The development of the property then proceeded under the general oversight of George Stephens. The engineering work for sewers, roads, pipe lines, and the laying off of lots was done by Hickerson, while Wettach was the legal member of the committee to advise about deeds, contracts, building restrictions, and other legal matters. Hobbs was Treasurer of the Fund, afterwards transferring it to the Building Committee.

I think the many-sided work of developing and selling the property was carried on with extraordinary skill, and to the loyalty of these men, who gave so liberally of their time and labor, the Order is greatly indebted. A full record of all these preliminary operations has been kept in an official book of minutes by Hickerson and myself; I am here giving a greatly abridged account of all the work done up to this time.

THE BUILDING OF THE CASTLE

During the college year 1923-24 the work of selling the lots went on, and the proceeds were invested in Certificates of Deposit and a few safe loans. The first expenditures were to pay off the following notes: a note for about \$550, endorsed by Pratt, Hickerson and Patterson, used to pay off the last remaining indebtedness on the land and lift the mortgage, a note for \$150 endorsed by Hickerson and Patterson to provide funds for the beginning of the work, and a note for \$118 endorsed by E. V. Howell for Order purposes during the war, the payment of which had hung fire for several years. The next step was to secure the plans for the new lodge, and before we could do this we had to get a composite photograph, as it were, of what the members of the Order wanted.

This was done by much discussion and consultation, in meetings and outside. For example, at the conclave in June, 1923, the minutes contain this paragraph:—"The general ideas of the new lodge expressed at the meeting were that it should be fireproof; of rough stone; of unique design; mediaeval and mysterious looking; containing dance hall, bedrooms, kitchen, dressing rooms, club room, observation tower, terrace, and unusual and attractive 'mystic' features."

The idea of bedrooms was later abandoned, as the Carolina Inn and the Fraternity Houses now provide adequate and satisfactory accommodation for the alumni, but we have arranged that the tower room may be used for a bedroom, if necessary, for caretakers or others. Otherwise the Castle conforms strictly to the ideas expressed above.

At the Commencement of 1924 a meeting of the Order was held in the University Library at which Hickerson made a full report of progress up to that date. At this meeting the three Trustees elected were J. H. Pratt, T. F. Hickerson and A. H. Patterson, and they were commissioned to sell the Gimghoul lot on which the old Lodge stood. This we afterwards did, for \$5000, retaining the Lodge for ourselves, and removing the material out to the new site. Another action taken by the Order at

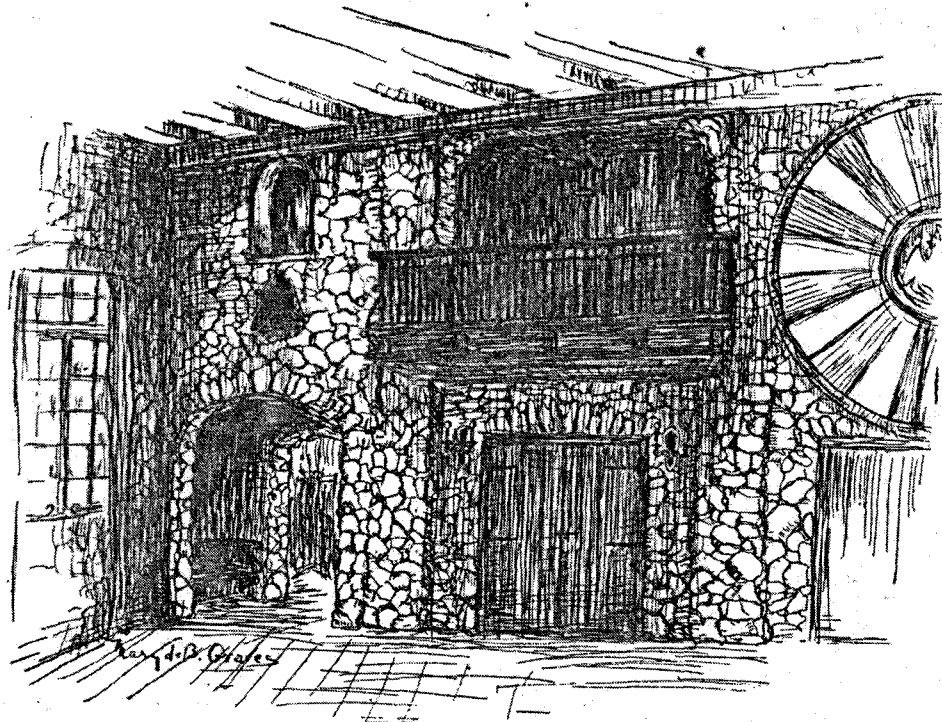
this meeting was to thank and discharge the larger committee which had carried on the work up to that time, and to replace it with a smaller Building Committee of three, consisting of A. H. Patterson, Chairman, T. F. Hickerson, and W. S. Bernard, with the following duties, as expressed in the minutes; "to receive and approve plans and specifications for the construction of said building, and with full power to enter into contracts for the construction of said building, and laying out and improving the grounds comprising the site for said building."

This Committee began its work in October, 1924, by calling two meetings of local Gimghouls, to get their ideas on the lodge, its size, location, appearance, arrangement, etc., and the architect to be employed. It was decided that we should retain the services of N. Courtland Curtis, a Gimghoul, a graduate of the University, a former Instructor of Drawing here, and now Professor of Architecture in Tulane University and a successful architect in New Orleans.

This was done, and Curtis very generously offered to do the work practically without remuneration for himself, the amount charged, \$750, doing little more than cover the services of draughtsmen and the cost of material. A great deal of correspondence was necessary, and many plans were suggested and revised before we hit upon the one finally chosen as best meeting our requirements.

For a whole year we studied the subject carefully, keeping in touch with the ideas of the many Gimghouls who showed an interest in the matter, and I feel sure that the plans finally adopted may be called truly a composite photograph. As to the site, we had at first much difference of opinion as to the merits of the "hillside" site as against the "summit" site, but the present, or summit site, finally was chosen by a large majority. The exact spot and the orientation of the castle were decided by the topography, the view, the presence of a huge mass of rock to serve as the foundation for the main tower, the question of parking space, and the desire to tie the Dromgoole rock into the scheme in a significant way.

During the winter of 1924-25, while the plans were in the making, we cleared the site of useless trees, under the expert advice of Dr. W. C. Coker, leaving standing only the pines, dogwoods, hickories, white oaks, poplars and gums. We also took advantage of the slack season on the farms to employ men and teams at very moderate rates to bring up about one thousand tons of stone to the lodge site, thus saving ourselves hundreds of dollars. Later we had to bring up two or three hundred tons more to finish the castle, as we made the walls amply thick enough to withstand any stress. Just here I may say that we took no chances in the building anywhere. Not knowing exactly how the rubble masonry would stand up under the concentrated load of the steel roof beams in the ceiling of the Hall, we built up in the walls concrete columns, strongly reinforced, so that actually the walls might crumble without the roof falling. A rich mixture of cement was used whenever considered desirable, and steel and



End of the Great Hall, showing Minstrels' Gallery, Round Table on wall, corridor into Ante Room, (boar's head above), and doors of secret closet.

iron reinforcement placed in the walls and over arches whenever it seemed advisable.

In April, 1925, Professor Bernard retired from the Committee, leaving Hickerson and me to carry on the work with the assistance of many Gimghouls here and elsewhere. In October, 1925, we found that our best plan would be to employ for the stonework the expert masons from Valdese, near Morganton. These French stone-masons brought to the work large experience, and were sober, affable and industrious, as the members of the Waldensian sect are said to be. To these men we paid in all the sum of \$5200, which in comparison to the cost of work done by local masons is very reasonable.

We considered carefully the question of having the work done on a blanket contract, but the figure named in the only bid we received was so excessively beyond our reach that we determined to do the job ourselves by piece contracts. Consequently Hickerson and I spent practically all our spare time at the Castle as the work progressed, hoping to get the job done within our means, and in this we succeeded, the saving which we effected over the cost of a blanket contract being at least \$15,000.

We employed C. L. Martindale to superintend the work, paying him a stated wage only when he was actually on the job, and getting the

use of his equipment,—tools, cement mixer, circular saw, elevator, etc.,—for rates agreed upon, and paying ourselves the cost of material and labor. We have used in the construction of the Castle just as much material from the old Lodge as we possibly could, for reasons of sentiment as well as of economy. The old front door was used intact, and the beamed ceilings in the Chapter Hall upstairs, in the bays off the Chapter Hall and Reception Room, the old beams over the entrance and vestibule and loggia, much of the sub-flooring, floor joists and sills, the brick used in the piers under the Great Hall and in the air ducts for the heating plant are from the old Lodge, as well as the hand rails and other parts.

We regretted greatly that we could not use the old fireplace, which was a gift from the Carr boys of Durham, but not only was it out of keeping with the style adopted for the Castle, being of cut stone, but in taking it down it was found to be so brittle, perhaps from the heating it had undergone, that many of the stones were broken. The lintel stone was intact, however, and was put at the front door as the threshold of the Castle. The other stones were built into the terrace steps. We were exceedingly fortunate in being able to get some fine old flagstones for the hearths from an old house near Hillsboro, which were quarried a century ago, and were secured for us by Professor Hickerson.

As the work proceeded Hickerson and I thought best to associate with us as Interior Decorator Miss Elizabeth Thompson, of Raleigh, and she has aided us greatly in getting curtains, lighting fixtures, and hardware, and in giving advice about the color scheme for the staining and painting.

We have not yet finished the work of grading, roadbuilding and planting, and there are many small things about the building yet to complete. To date the entire work has cost us about \$30,000, and the bills payable, with the estimated cost of what we have yet to do will probably amount to about \$6,000 more. The cost of the building proper will figure out about 25c per cubic foot, which is extremely reasonable when we consider the kind of first-class material we have used,—the large amount of concrete work in the building, the amount of steel used for the reinforcing and in the ceiling beams, the cost of the old English plaster ceilings, the leaded glass in the tower windows, the handwrought hardware and electric fixtures, the copper roof of the stair tower, the copper flashing and downspouts over the whole building, the hardwood floors, the oak doors, etc.

The question arose as to the fate of the so-called Freshman Rock Pile, which was started many years ago by Dr. K. P. Battle, who asked the students to contribute a stone to the pile every time they went to Piney Prospect. In this way a huge cairn arose, each stone of which meant a pleasant ramble out to the Point by some student. We decided that although we owned the stones legally, and were at liberty to use them in the Castle, yet both sentiment and tradition forbade this use of them, as they were in some measure already a memorial to Dr. Battle. This conception led to the decision, while the masons were still here, to build the stones into a

rough semicircular seat, with a bronze tablet fixed in it with an appropriate inscription to the effect that the Order of Gimghouls erected the seat in memory of Dr. Battle. The seat cost \$100, but the tablet is yet to be bought and placed. The evident enjoyment of the seat by students, townspeople and visitors seems to justify our action, and we trust the Order will approve it.

We have several things yet to do if the Order sees fit to retain the Committee until the entire job is finished. We must go after certain leaks which we have discovered; we must get inside grilles for the windows to afford complete protection; and we must finish up certain odds and ends of carpenter work remaining, such as shelving, hanging the leaded sash in the small window between the Club Room and the Hall, etc.

Then we must do the necessary grading, roadbuilding and planting, and we, or some other committee, must see to the gradual furnishing and adornment of the Castle. As to the last, the only appropriate decorations for the Great Hall would seem to be (1) hangings, such as the curtains just installed, real old rugs, and bits of old tapestry; (2) trophies of war, such as old weapons and armor; (3) trophies of the chase, such as stuffed heads of animals, or skins of animals. Already we have received a gift of four old swords,—two Spanish machetes, a toreador sword for bull-fighting, and a Spanish officer's sword—souvenirs of the Spanish War—from W. W. Davies, of Louisville, Ky.

Other members have spoken of sending appropriate gifts,—Watts Hill, some old pieces of armor, Agnew Bahnson and Fred Hanes stuffed animal heads, and William Erwin an old Settee.

Of course the furniture for the Castle must be obtained gradually, and must conform to the standard set by the Committee on Furnishing and Decoration, for it would be a pity to spoil the job by inappropriate furnishings, but we need very badly such things as would really enrich the Castle,—two pairs of handwrought andirons of moderate size for the Reception Room and Chapter Room, old English Chairs, old Settees, old Chests, such as were used hundreds of years ago, and as mentioned above, old weapons, rugs, animal skins, etc. *The committee sends out a general call to the members of the Order to help us in this way.* We fully realize that the kind of thing we are asking for would be just the kind of thing most prized in the homes of the members of the Order, but we issue the call nevertheless, hoping that the interest of the members in the new Castle will be great enough to lead them to give, or at least to lend, the valuable things which would make the Castle a really distinguished home for the Order. These things might be given as memorials of members of the Order, or others. For example, a very old walnut refectory table, appropriate for the Castle, has been given in memory of Wray Martin by those who knew him in college here. The Castle is supposed to be of the old Arthurian type, and anything really appropriate would be more than welcome.

If members who desire a part in this big thing cannot contribute

articles of the kind named above, contributions in money would be gladly received, to expend in getting imitations of the oldest English furniture and perhaps a few genuine old pieces. The members of the active Order last Spring gave as their share of the furnishing of the Castle the new piano, a very excellent instrument, located in the "Minstrels' Gallery" for the use of the orchestra.

As to the maintenance of the Castle in the future, we expect to be able, after paying all bills for every part of the work, to have left over for investment something like eight or ten thousand dollars. This fund will give an income sufficient to pay taxes and insurance, with something over for repairs. As a future reserve in case it is ever desired to enlarge the Castle, we have something like ten or twelve acres, comprising the "Knoll Property," which could be developed profitably. This financial condition makes the Order solid for the future, so far as we can see, and thoroughly justifies the wise planning and hard work of those who have carried through this enterprise from its small beginnings through many ups and downs to its present happy end.

We ask that the Order appoint an Auditing Committee to go over the books carefully and make a report, just as soon as we have reached the stage when a final report is possible.

In conclusion, I wish to thank the Order, on behalf of Professor Hickerson and myself, for the opportunity they have given us to do our part in this work, which for us has been a labor of love for the Order, and of loyalty to all its traditions and the things for which it stands. That we have made mistakes, we know, but we have tried to give the Order the very best and most appropriate home possible with the available funds.

Respectfully submitted,

A. H. PATTERSON,

Chairman, Building Committee,
Order of Gimghouls

October 11, 1926.

NOTE: Since the above was written, Watts Hill, of Durham, has sent us a collection of old pieces,—a dagger, two battle axes, and a piece of armor,—as well as a fine mounted boar's head. All of these pieces have been hung, and add appreciably to the adornment of the place and the creation of the proper atmosphere.

II. Prof. Nathaniel Cortlandt Curtis Sr. (1881-1953), A Renaissance Man



Nathaniel Cortlandt
Curtis Sr.
(1881-1953).

ENLARGE

To his son and his students, Nathaniel Curtis Sr., Ph.B., B.S., FAIA (1881-1953) was a role model. He was the architect who had the most influence on his son's career. To some, Prof. Curtis is a storybook hero. He was a trailblazer -- the first full-time architectural educator to head the Tulane School of Architecture, 1912-1917. Prof. Curtis came to Tulane from Alabama Polytechnic Institute in Auburn where he was professor and head of the architectural school, 1907-1912; before Alabama he was instructor of drawing and geometry at the University of North Carolina, 1904-1907. A Renaissance man, Prof. Curtis was an educator, designer, artist, and writer. He trained under the noted architectural educator William Robert Ware (1832-1915) at Columbia University where he graduated in 1904. Prof. Curtis brought the Ware teaching philosophy to the Tulane curriculum. After the Curtis' first child, Nathaniel Cortlandt Curtis Jr., was born on 29 November 1917, Prof. Curtis took a higher paying job at the University of Illinois, but returned to New Orleans in 1920 to become the chief designer for the firm of Moise Goldstein and a guest lecturer in the Tulane School of Architecture, 1921-1937.

Prof. Curtis published two important text books, *Elements of Graphics, Descriptive Geometry, Shades and Shadows, and Perspective*, 1909, reprinted in 1926, and *Architectural Composition*, 1923, reprinted in 1926 and 1935; and a documentary *New Orleans, Its Old Houses, Shops and Public Buildings*, 1933. *Architectural Composition* covers every aspect of the design process and was illustrated with 249 line drawings by the author. This book had a profound influence on his son. Although Prof. Curtis never traveled abroad to see either historic monuments or Modern Style buildings, his classical training and his interest in contemporary architectural vocabulary molded his vision.

New Orleans, Its Old Houses, Shops and Public Buildings is a documentary of Creole buildings as they appeared in the 1930s. This book -- text, architectural drawings, and photographs -- is a testimonial to Prof. Curtis' dedication to the preservation of the city's early buildings, a quality that he passed on to his son.

In 1915, Prof. Curtis tried hard to save French architect J.N.B. De Pouilly's St. Louis Hotel, 1839, in the Vieux Carré. The old hotel was a derelict structure whose condition was worsened by the 1915 hurricane, but the building was intimately entwined with the cultural history of the city and the state. Prof. Curtis made measured drawings of the domed structure and presented a scheme to adapt it as a convention hall and exposition building. *Architectural Record* (April 1916) published his illustrated article, "The Dome of the old St. Louis Hotel, New Orleans." Prof. Curtis, no doubt, considered a political tie his best chance to halt destruction, but his proposal failed. The building came down in 1916. Forty-four years later, in 1960, the Royal Orleans Hotel was built on the site of the old St. Louis Hotel and Prof. Curtis' son, Nathaniel, participated in the design. Prof. Curtis did not live to see the convention and exposition building seed that he planted in 1916 mature into the Rivergate, 1968, his son's design for the city. As the St. Louis Hotel was entwined in the cultural and political history of the city and state, so also was the Rivergate. The thread of continuity that weaves through the careers of father and son continued to 1996 when Curtis began the restoration of his father's Howard-Tilton Memorial Library (1941) on the Tulane University campus, a building that the elder Curtis considered one of his best designs.

Form 10-300
(July 1969)

UNITED STATES DEPARTMENT OF THE INTERIOR
NATIONAL PARK SERVICE

NATIONAL REGISTER OF HISTORIC PLACES
INVENTORY - NOMINATION FORM

(Type all entries - complete applicable sections)

STATE: North Carolina	
COUNTY: Orange	
FOR NPS USE ONLY	
ENTRY NUMBER	DATE

1. NAME	
COMMON: Chapel Hill Historic District	
AND/OR HISTORIC:	

2. LOCATION			
STREET AND NUMBER: see continuation sheet for 2.			
CITY OR TOWN: Chapel Hill (Fourth Congressional District, the Hon. Nick Galifianakis)			
STATE North Carolina	CODE 37	COUNTY: Orange	CODE 135

3. CLASSIFICATION			
CATEGORY (Check One)	OWNERSHIP	STATUS	ACCESSIBLE TO THE PUBLIC
<input checked="" type="checkbox"/> District <input type="checkbox"/> Site <input type="checkbox"/> Object	<input type="checkbox"/> Public <input type="checkbox"/> Private <input checked="" type="checkbox"/> Both	<input checked="" type="checkbox"/> Occupied <input type="checkbox"/> Unoccupied <input type="checkbox"/> Preservation work in progress	Yes: <input checked="" type="checkbox"/> Restricted <input checked="" type="checkbox"/> Unrestricted <input checked="" type="checkbox"/> No
PRESENT USE (Check One or More as Appropriate)			
<input type="checkbox"/> Agricultural <input checked="" type="checkbox"/> Commercial <input checked="" type="checkbox"/> Educational <input type="checkbox"/> Entertainment	<input type="checkbox"/> Government <input type="checkbox"/> Industrial <input type="checkbox"/> Military <input type="checkbox"/> Museum	<input checked="" type="checkbox"/> Park <input checked="" type="checkbox"/> Private Residence <input checked="" type="checkbox"/> Religious <input checked="" type="checkbox"/> Scientific	<input type="checkbox"/> Transportation <input type="checkbox"/> Other (Specify) _____ _____

4. OWNER OF PROPERTY			
OWNER'S NAME:			
STREET AND NUMBER:			
CITY OR TOWN:	STATE:	CODE	

5. LOCATION OF LEGAL DESCRIPTION			
COURTHOUSE, REGISTRY OF DEEDS, ETC: Orange County Courthouse			
STREET AND NUMBER:			
CITY OR TOWN: Hillsborough	STATE: North Carolina	CODE 37	

6. REPRESENTATION IN EXISTING SURVEYS			
TITLE OF SURVEY:			
DATE OF SURVEY: <input type="checkbox"/> Federal <input type="checkbox"/> State <input type="checkbox"/> County <input type="checkbox"/> Local			
DEPOSITORY FOR SURVEY RECORDS:			
STREET AND NUMBER:			
CITY OR TOWN:	STATE:	CODE	

SEE INSTRUCTIONS

STATE: North Carolina	COUNTY: Orange	ENTRY NUMBER	DATE
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46. Senlac. Senlac was built about 1843 and considerably enlarged in 1876 by Dr. Kemp Battle, who purchased it from his father, the builder. The additions included a long front porch and two one-story wings, as well as the southeast porch. As it stands today, following further extensive remodeling done in the 1920s, it consists of a five-bay, two-story, gable-roof main block flanked by projecting one-bay wings with low hip roofs. Between the wings is a full-length one-story porch featuring Doric columns. Before the 1920s changes it was an Italianate house with an elaborate cornice, bracketed posts, and turned balustrade with a large bay window on each wing. The center section was three rather than five bays wide. Little of the original interior remains.

47. Battle Park is the last vestige in Chapel Hill of the vast forest that originally covered the entire area. The park consists of two contiguous areas, totalling approximately 60 acres. Within the park are the Forest Theatre (an amphitheater) and Gimghoul Castle. To William Meade Prince, when he played there as a boy, the park seemed "a perfect and well-balanced combination of the Garden of Eden, the Forest Primeval, and the Happy Hunting Ground." He later described the park as

a great and beautiful tract of rolling woodland lying to the east and south of the village. . . , bisected and crisscrossed by paths and trails through the trees. . . . The trees in Battle's Park are for the most part oaks, of great variety, and of all sizes and ages and shapes. But hickory and maple and ash and poplar and birch and beech abound, and dogwood and sweet gum and cottonwood and sycamore, . . . and mighty pines here and there. . . . The pine-needle covered earth may be milky with bluets, or gold with yellow primroses, or blue with periwinkle flowers.

48. Forest Theatre. Situated in a natural depression near the edge of Battle Park, the Forest Theatre, constructed of local stone, is very much at one with its wooded surroundings. A series of stepped seats lead down to the stone stage and wings. A handsome stand of trees provides a background for the stage.

49. Gimghoul Castle. This delightful architectural conceit is the result of the happy combination of two most diverse elements--the collegiate exuberance of the 1920s and the skill of Waldensian stonemasons from the area of Valdese, North Carolina. As such, it represents the fantasy and exhibitionism typical of that ebullient era and at the same time portrays the traditions of medieval craftsmanship perpetuated by the Waldensian settlers in North Carolina.

The castle has two main components, the tower complex and the great hall. The former consists of three elements: the main circular crenellated three-story tower, a smaller stair turret with conical roof, and a porte-

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cochere. The stair turret features small windows, while the main tower has a series of long narrow ones of differing lengths. The porte-cochere is so overgrown with ivy that its specific form is unintelligible.

The whole of the exterior is constructed of uncoursed random fieldstone. This stone was literally gathered from the fields of Orange County and brought to this site. The masons made no attempt to produce decorative dressed blocks for the openings or the parapet. As a result the building--most of it covered with ivy--has a most organic quality and appears almost to have grown naturally from the rocky precipice on which it sits.

The interior walls of the whole building are a superb example of the stonemasons' art. They are not finished in the same manner as the exterior, but have little or no visible mortar in imitation of dry stone construction. The great hall has a flat timber roof with a simple but interesting pattern of major and minor beams. So large an expanse of unsupported roof is an engineering feat in itself. At intervals along the edges are ornamental plaster brackets featuring grotesques. In the end wall opposite the minstrels' gallery is a large stone fireplace.

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46. Senlac. Built in 1843 by William Horn Battle, founder of the University of North Carolina law school, the house was the childhood home of William Battle's son, Kemp, who was later to become president of the university. Kemp Battle returned to Chapel Hill to assume the office of president after living in Raleigh for several years where he had been a lawyer prominent in political affairs. He decided to purchase the house he had grown up in, to which he was "greatly attached," rather than live in the university-owned residence that usually served as the president's home. He named the house, which he had considerably enlarged and remodeled, after the hill where Harold surrendered to William the Conqueror. In the 1920s the house was further remodeled by Dr. John Booker, husband of Kemp Battle's granddaughter. It is now used as a Baptist Student Center.

47. Battle Park. Most, if not all, of the land included in Battle Park is part of the land donated by Hardy Morgan to the university in 1796. Through a complicated chain of transfers, part of the land now within the park was held by other parties, being known as the Cameron property, but in 1909 it returned to the university possession. At several points the forested area has been threatened. In 1832 President Caldwell, "outraged by the depredations of the villagers in the woodlands of the University . . . recommended, but without avail, the employment of a forest ranger to put a stop to the abuse." In 1880 a sale of university lands was held to satisfy claims of Mildred Cameron and D. L. Swain (loans that had been made to enable the completion of New East and New West in the 1850s). After an appeal by Cornelia Spencer, Paul Cameron of Hillsborough took over the lands, much of which lay in the present Battle Park area, saving the woodlands from possible destruction. Some of this acreage was acquired by the Junior Order of Gimghouls to afford a site for Gimghoul Castle. During his presidency (1876-1891) and afterward, Dr. Kemp Battle loved these woods and spent long hours there, clearing paths with his hatchet, "making bridges and seats and introducing his friends and students to his favorite spots" to which he gave names like "Vale of Ione," "Dogwood Dingle," and "Anemone Spring." On a stone seat near Gimghoul Castle, a tablet recalls Dr. Battle's memory, declaring that he "knew and loved these woods as no one else." The seat is built of stones brought by students to build up a cairn, a pet project of Dr. Battle's, known as the Freshman Rock Pile.

48. Forest Theatre. The first performance given in the amphitheater in Battle Park was The Taming of the Shrew, presented in 1919. The theater was remodeled in 1940 at a cost of \$20,000, the funds being supplied by the Works Projects Administration. The theater is used for various outdoor functions, including annual plays performed by the Carolina Playmakers.

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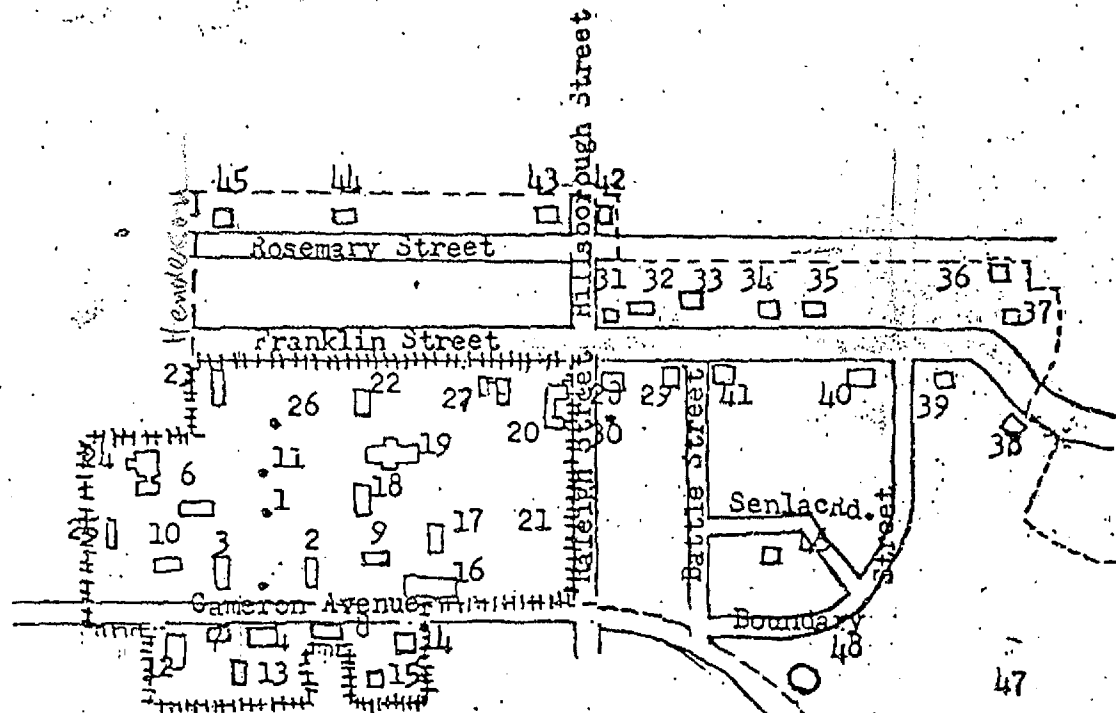
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49. Gimghoul Castle. This medieval-looking structure "owes its existence to the romantic fancies of a law student, Edward Wray Martin," who, when a law student at the university, spent much time in the forest. From Piney Prospect, a prominent lookout point, he named the forest Glandon Forest and imagined a great gloomy pile standing at the edge of the cliff, which he named Hippol Castle. Martin, a devoted reader of Arthurian and other medieval legends, died in Arkansas in 1896. But in 1915, Perrin Busbee and George Stephens led the secret order called the Gimghouls who had a lodge on Rosemary Street, to buy 94 acres of land at Piney Prospect. In 1922 two other members were named on a committee directed to see about a building for the organization to be "medieval and mysterious looking," and in 1924, N. C. Curtis, a graduate of the university and professional architect, was engaged to design such a building. The next year Waldensian masons from Valdese, North Carolina, came to build the structure Curtis had designed. The castle, which cost something over \$50,000, was completed and occupied by the Gimghouls in 1926, thirty years after the death of the young dreamer who had first visualized a medieval castle on the wooded cliff.



Map of Chapel Hill Historic District N.R.

drawn by Charles Blake,
Hillsborough, North Carolina

January, 1971

approximate scale: 1"=300 feet

-----:boundary of district

+++++ : see campus map for more detail

Orange Co.

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Key to Map Numbers

Campus

1. Davie Poplar
2. Old East
3. Old West
4. South Building
5. Old Well
6. Person Hall
7. Gerrard Hall
8. Playmakers Theatre
9. New East
10. New West
11. Caldwell Monument
12. Memorial Hall
13. Y.M.C.A.--Y.W.C.A. Building
14. Carr Building
15. Bynum Hall
16. Davie Hall
17. Howell Hall
18. Alumni Building
19. Morehead Planetarium
20. Spencer Hall
21. Coker Arboretum
22. Graham Memorial
23. Battle-Vance-Pettigrew Dormitory
24. Hill Hall
25. Smith Building
26. The Monument of the Confederate Soldier

Franklin and Rosemary streets

27. Chapel of the Cross
28. President's House
29. Spencer House
30. Caldwell's Meridian
31. Phillips Law Office
32. Phillips House
33. Widow Puckett House
34. Presbyterian Manse
35. Cobb House
36. Horace Williams House
37. Umstead House
38. Howe House
39. Lawson House
40. Kennette House
41. Hooper-Kyser House
42. Day House
43. Mangum-Smith House
44. Huskey House
45. Methodist Church

Battle Park Area

46. Senlac
47. Battle Park
48. Forest Theatre
49. Gimghoul Castle

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National Park Service

National Register of Historic Places
Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in *How to Complete the National Register of Historic Places Registration Form* (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If an item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Gimghoul Neighborhood Historic District

other names/site number Gimghoul Piney Prospect Development

2. Location

street & number Gimghoul Road, Ridge Lane, & Glandon Drive N/A ☐ not for publication

city or town Chapel Hill N/A ☐ vicinity

state North Carolina code NC county Orange code 135 zip code 27514

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☒ nomination ☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property ☒ meets ☐ does not meet the National Register criteria. I recommend that this property be considered significant ☐ nationally ☐ statewide ☒ locally. (☐ See continuation sheet for additional comments.)

William J. Pin
Signature of certifying official/Title

30 June 93
Date

State of Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See continuation sheet for additional comments.)

Signature of certifying official/Title

Date

State or Federal agency and bureau

4. National Park Service Certification

I hereby certify that the property is:

Signature of the Keeper

Date of Action

- ☐ entered in the National Register.
☐ See continuation sheet.

- ☐ determined eligible for the
National Register
☐ See continuation sheet.

- ☐ determined not eligible for the
National Register.

- ☐ removed from the National
Register.

- ☐ other, (explain): _____

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Description

The Gimghoul neighborhood is a small faculty subdivision of well-tended houses built in the 1920s and 1930s, predominantly in the Colonial Revival style. It borders the east side of the campus of the University of North Carolina at Chapel Hill. The dense forest of Battle Park, owned by the University, forms the northern and eastern boundary of the neighborhood. The south side is bounded by institutional property along NC 54, known as the Raleigh Road. The street plan consists of two main streets, Gimghoul Road and Glandon Drive. Gimghoul Road extends along a level ridge, in a straight line, out to Gimghoul Castle, the meeting place of the secret Order of the Gimghouls, a university society. Rectangular lots with 100-foot frontages and manicured lawns flank this road. By contrast, Glandon Drive curves along the side of the hill that slopes down to Battle Creek, with large irregularly-shaped wooded lots and houses set high above the street overlooking the woods of Battle Park across the street. Glandon Drive yards have many trees and naturalistic landscaping with ivy and natural ground cover. A third street, Ridge Lane, extends north from Gimghoul Road to serve primarily as a service alley for some of the lots on Glandon Drive, while Evergreen Lane is a service alley for the rest of Glandon Drive and for the houses on the north side of Gimghoul Road.

Gimghoul contains thirty-seven houses and a church: thirty houses were built before 1942 and are contributing; three pre-1942 houses have lost their architectural integrity and are noncontributing, and four houses and a church have been built since 1942 and are noncontributing. Over three-fourths of the houses are contributing to the district. The houses are one, one and one-half and two-story frame and brick veneer houses that are overwhelmingly Colonial Revival in style. The earliest houses on Gimghoul Road exhibit Craftsman influences in their one-story massing and frame construction, while the later houses tend to be a full two-

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stories in height and to have brick construction. Some have detached garages and three have small stone veneer cottages, built on rear lots as studies in the 1930s or early 1940s.

Gimghoul Road is a wide street, now paved, curbed and guttered. The sidewalks along each side of the road are a Chapel Hill tradition, for they are found throughout the older sections of Chapel Hill. They are surfaced with "Chapel Hill gravel," a fine-grained gravel that looks like sand. All Chapel Hill neighborhoods had such sidewalks until the 1960s, but some have now been paved. Glandon Drive, Ridge Lane and Evergreen Lane are quite narrow paved streets without curb and gutter. Another Chapel Hill tradition that unifies the neighborhood are the fieldstone retaining walls that line the street frontages of almost every property. This tradition began on the campus itself, and is characteristic of the early residential areas in town. The walls are made of natural fieldstone, sometimes piled loosely, sometimes mortared. These walls are said to have been built by local black masons James Blacknell and Jesse Jones.¹ This network of stone walls is counted as a single contributing resource.

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Statement of Significance

The Gimghoul Neighborhood Historic District, containing thirty-seven houses built primarily from 1924 to the late 1930s, is a faculty subdivision that was the entrepreneurial project of the secret Order of the Gimghouls, a fraternal society of undergraduates, faculty and alumni of the University of North Carolina. The Gimghouls platted the development on a portion of their land adjoining the university and sold lots in order to finance the construction of their stone Gothic Revival castle [in the adjacent Chapel Hill Historic District, National Register 1971], completed in 1927 in the woods adjacent to the subdivision. Gimghouls member and prominent real estate developer George Stephens of Charlotte supervised the project, and the area was platted by Gimghouls member T. Felix Hickerson, an engineering professor and well-known road designer. The Gimghoul neighborhood has local significance in the area of community planning/development as the first housing development in Chapel Hill built outside of the university village. The one- and two-story frame and brick houses of the Gimghoul neighborhood, predominantly in the Colonial Revival style and built primarily from popular plans by area contractors, are architecturally significant because of the quiet harmony of the streetscapes with the picturesque natural setting. The Gimghoul neighborhood has changed little since the 1930s and contributes greatly to the traditional southern ambiance of Chapel Hill.

Historical Background

The development of the Gimghoul neighborhood is entwined with the history of the Order of the Gimghouls, a secret society of University of North Carolina students, alumni and faculty which was founded in Chapel Hill in 1889. From the beginning, a wooded bluff east of the town of Chapel Hill known as Piney Prospect

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had been a sacred spot to the Gimghouls, and they held their initiation ceremonies on a rock outcropping there which they named Dromgoole Rock. The Order purchased about 94 acres there in 1915 in order to keep the land from development and to build a new lodge. In order to finance construction of the lodge, the western edge of the tract, containing about thirty-five acres, was subdivided for a residential development.²

The two members of the Gimghouls who played the major role in supervising this residential project were George Stephens and T. Felix Hickerson, both statewide pioneers in real estate development and road design. George Stephens, a real estate developer who had earlier developed the exclusive, pioneering suburb of Myers Park in Charlotte, North Carolina, supervised the planning of the Gimghoul development. T. Felix Hickerson drew the plat for the subdivision and did the engineering work for sewers, roads and pipe lines. Hickerson was a professor of civil engineering at the University and a road designer of national reputation. He championed aesthetic road design, publishing in the 1920s the key college textbook for road design. One of his most innovative projects was to survey a portion of the Blue Ridge Parkway.³ Another individual instrumental to the planning of the Gimghoul subdivision was Ralph Trimble, a well-known surveyor and a colleague of Hickerson in the School of Engineering. He did the surveying of the new lots and was one of the original subdivision residents.⁴ The original subdivision plat gives the name "Gimghoul Piney Prospect Development" to the new subdivision, and was drawn in 1923 by T. F. Hickerson, Registered Engineer. It is recorded in Orange County Plat Book 1, page 51 (Figure 1).

The names of the new streets in the subdivision reflect the romantic medieval mythology developed by the Gimghouls for the area around their castle. Glandon Drive got its name from Glandon Forest, the name given to the woods around the

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overlook, Piney Prospect, located adjacent to the castle. In addition to standard racial restrictions of the period and setback requirements, the deed covenants attached to the subdivision include the unusual restriction that a local committee of the Order of Gimghouls shall review the exterior plans, cost, and location of any house that is to be built or altered. Another unusual restriction was the Gimghouls' option to purchase any lot that was to be resold.⁵

The first lots were sold in late 1923 and early 1924.⁶ At least five houses were completed during 1924, those of Ralph M. Trimble (now demolished), W. E. Atkins (#19), Daniel L. Grant (#31), A.W. Hobbs (#35), and H.R. Huse (#11).⁷ Four of these original owners were associated with the University. Ralph M. Trimble was an engineering professor, Daniel L. Grant was the first director of the UNC Alumni Association, A. W. Hobbs was a mathematics professor, and H.R. Huse was a romance languages professor. Throughout the 1920s and 1930s most of the new residents were UNC faculty and staff, but there were also some local businessmen, such as E. Carrington Smith, manager of the local movie theatre, Benjamin Edkins, a travelling salesman, and James Phipps, a local attorney. One of the early houses was a duplex (#36) built by Thomas C. Atwood, supervising architect for new buildings at the University, for his employees. Two of the new residents were single women. Alma Holland, assistant to Dr. William C. Coker in the Botany Department, built 707 Gimghoul Road (#23), and is said to have been the first woman in Chapel Hill to buy a lot and build a house. Katherine Lackey, secretary to University president Frank Porter Graham, built 698 Gimghoul Road (#1). Holland and Lackey were the vanguard of female academicians at the University of North Carolina. They were assistants to male professors, but contributed substantially to the academic and administrative endeavors of their bosses, Dr. W.C. Coker and President Graham.⁸

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Approximately half of the thirty contributing, pre-1942 houses were built during the 1920s, and the other half were built in the 1930s. The 1920s houses tend to be more eclectic in style and form. Most are 1-1/2 story frame, with a few Craftsman style, one Tudor Revival style, and the rest of Colonial Revival style. The houses built in the 1930s are almost without exception 2-story brick veneer Colonial Revival houses with standardized three-bay facades. There are three small stone veneer cottages, set in rear yards, that were built as studies in the 1930s or early 1940s.

The history of the Gimghoul neighborhood in the past fifty years has been remarkably uneventful. On the few lots which remained after World War II, four houses and a church have been built. The houses are located at 708 Gimghoul Road, 214 Glandon Drive, 260 Glandon Drive, and 110 Ridge Lane. The stone, Gothic Revival style Chapel of St. Thomas More was built at the east end of Gimghoul Road in 1956. With the exception of the three early houses that have undergone such substantial remodellings that they have lost their original architectural character, the neighborhood remains remarkably unaltered. This calm stability is a tribute both to the thoughtful planning of the Order of the Gimghouls and to the continuity of ownership of faculty families. Many of the men and women associated with the University of North Carolina who have spent parts of their careers living in the Gimghoul neighborhood have achieved distinguished honors on a statewide and national level.

Community Planning/Development Context

Until the 1920s, Chapel Hill was a village clustered around the campus of the University of North Carolina. The Gimghoul neighborhood is the earliest residential development outside of the village. The growth of the university after 1900 led to

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the influx of more faculty families, and the Gimghouls' subdivision of a portion of their land adjoining the east side of the campus provided needed new housing. Rocky Ridge, [National Register, 1988] a faculty subdivision better known as Laurel Hill, platted in 1927 just across the Raleigh Road to the south, is roughly contemporary with Gimghoul but is very different. Rocky Ridge was the pet project of UNC botany professor W. C. Coker, a well-known planner and landscape designer who developed farmland adjacent to the campus into a golf course and large wooded residential faculty lots. The average lot size in Gimghoul is approximately one-half acre, while in Rocky Ridge the lots are generally from one to over three acres in size. Like Gimghoul, Rocky Ridge was a small subdivision, but it developed much more slowly than Gimghoul, and most of the houses date from the 1930s and later. Rocky Ridge houses, like its lots, are generally larger than in Gimghoul, although the Colonial Revival style dominates there as well. Like the Gimghoul neighborhood, Rocky Ridge has some architect-designed houses, including designs by Durham architects George Watts Carr, Hackney and Knott, and William Sprinkle. The similarity of the two neighborhoods' curvilinear roads, winding over the hilly terrain and edged almost continuously by the low stone walls that are a trademark of Chapel Hill, is quite striking. The same pair of local black masons, James Blacknell and Jesse Jones, are said to have built the walls in both neighborhoods.⁹ But nothing in Rocky Ridge resembles the strongly urban flavor of Gimghoul Road, with its smaller lots and rows of houses.

One other development, Westwood, was platted in Chapel Hill in the 1920s. Located southwest of the campus along S. Columbia Street on Westwood Drive, University Drive, and Dogwood Drive, Westwood resembles Rocky Ridge and Glandon Drive with large, hilly and wooded lots and substantial Colonial Revival style houses built in the late 1920s and 1930s as its earliest dwellings. However

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Westwood developed even more slowly than Rocky Ridge, and the present neighborhood has a mixture of houses built during the past sixty years.

The development that perhaps most closely resembles the Gimghoul neighborhood is Duke Forest, in nearby Durham, North Carolina, because both were subdivided in the 1920s as exclusive faculty subdivisions. Duke Forest, adjacent to the West Campus of Duke University, began to be subdivided in 1929 by Duke University as an affordable housing alternative for its faculty, many of whom apparently could not afford Durham's fashionable speculative developments.¹⁰ Although the Gimghoul neighborhood was not a direct project of the University of North Carolina, the major expansion of the university in the 1920s was the impetus for Gimghoul's development. Thomas C. Atwood, supervising architect for the campus building campaign, built a duplex in the Gimghoul neighborhood to house some of his employees. W. E. Atkins, another employee of Atwood's firm, had a house built for himself at 733 Gimghoul Road. Both Duke Forest and the Gimghoul neighborhood still retain their close association with the universities. One other subdivision in Durham, Hope Valley, also served faculty at Duke University. This exclusive 1927 country club subdivision attracted numerous faculty and staff from the Duke University Medical School.¹¹

Architectural Context

The chief architectural significance of the Gimghoul neighborhood lies not in the design of its individual houses, but in the quiet harmony of the streetscapes and the uniquely picturesque landscape setting. The houses are typical examples of the popular Craftsman and Colonial Revival styles that were being built in subdivisions throughout North Carolina during the period. But the natural topography, a ridge which terminates on the east end in the Piney Prospect overlook, and the

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splendid forest of Battle Park which slopes down on the north side, as well as the proximity of the romantic Gimghoul Castle on Piney Prospect, create a unique setting.

Early twentieth century suburban houses in Chapel Hill are modest, reflecting faculty incomes, in comparison to the more pretentious houses built at the same time by industrial executives in Durham's suburbs, such as Hope Valley. Gimghoul neighborhood houses are generally built from popular plans by area contractors, such as a Mr. Barber (Barbour), from Chatham County, Charlie Brooks, an African-American from Chapel Hill, Charles Martindale, who was the general contractor for Gimghoul Castle, and Tillman and Horner of Chapel Hill.¹² Much of the brick masonry on the early houses was done by Lewis and Tom Booth, local black masons.¹³ One of the earliest houses, the frame Dutch Colonial style house at 734 Gimghoul Road (#11), is said to be a Sears & Roebuck house.¹⁴

A small number of the houses are architect-designed: 739 Gimghoul Road was designed by William Sprinkle from Durham; 719 Gimghoul Road was designed by H.D. Carter, a draftsman with the architectural firm of Atwood & Nash;¹⁵ 705 Gimghoul Road and 300 Glandon were designed by George Hackney of Durham; 208 Glandon Drive was designed by George Watts Carr Sr. of Durham, and 106 Ridge Lane was apparently designed by Thomas C. Atwood of the T.C. Atwood firm, since it was built by him for employee housing. This duplex, now converted to a single family house, is an unpretentious one-story frame house with generously proportioned cornerboards and eaves and a hipped roof. Yet the architect-designed houses blend easily into the streetscape, for they represent standard variations on the dominant Colonial Revival style. In fact, the architects most likely worked with stock housing plans that they customized for the client.

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Footnotes

- ¹ Mary Arthur Stoudemire, "History of the Gimghoul Neighborhood," manuscript in progress, 1981-present. Copy in file.
- ² Orange County Deed Book 70, page 143 records the purchase of this acreage by the Gimghouls from W.S. Roberson; A. H. Patterson, The New Gimghoul Castle: Report of the Building Committee, Chapel Hill: The Orange Printshop, 1926. This tiny booklet, a copy of which is in the nomination file, contains much background information on the Order of the Gimghouls.
- ³ Rocky Ridge Farm Historic District National Register nomination, Mary Reeb, 1988.
- ⁴ Stoudemire's "History of the Gimghoul Neighborhood."
- ⁵ Orange County Deed Book 70, page 143: Trustees of Junior Order of Gimghouls, grantors, to S.A. and Irene S. Stoudemire, 1926.
- ⁶ The New Gimghoul Castle: Report of the Building Committee.
- ⁷ Newspaper clipping from Chapel Hill Weekly, 1924, in possession of Mary Arthur Stoudemire.
- ⁸ Author's Interview with Mary Arthur Stoudemire, Chapel Hill, December 29, 1992.
- ⁹ Stoudemire's "History of the Gimghoul Neighborhood."
- ¹⁰ Claudia Roberts, The Durham Architectural and Historical Survey. Durham: The Historic Preservation Society of Durham, 1982, 299-301.

**United States Department of the Interior
National Park Service**

**National Register of Historic Places
Continuation Sheet**

Section number 8 ¹¹ Gimghoul Neighborhood Hist. Dist., Orange County, NC
Page 11

¹¹ Roberts, 291.

¹² Cornelia Spencer Love, When Chapel Hill Was a Village. Chapel Hill: Chapel Hill Historical Society, 1976, 83. Mr. Barber built Cornelia's 1929 house in the Rocky Ridge development. She recalled that he was "a rugged old countryman" from Goldston, in Chatham County.

¹³ Stoudemire's "History of the Gimghoul Neighborhood."

¹⁴ Stoudemire's "History of the Gimghoul Neighborhood."

¹⁵ Louis Round Wilson, The University of North Carolina 1900-1930. Chapel Hill: University of North Carolina Press, 1957, 368.

¹⁶ Catherine W. Bishir, Charlotte V. Brown, Carl R. Lounsbury, and Ernest H. Wood, Architects and Builders in North Carolina, Chapel Hill: University of North Carolina Press, 1990. 327; also Roberts, 30.

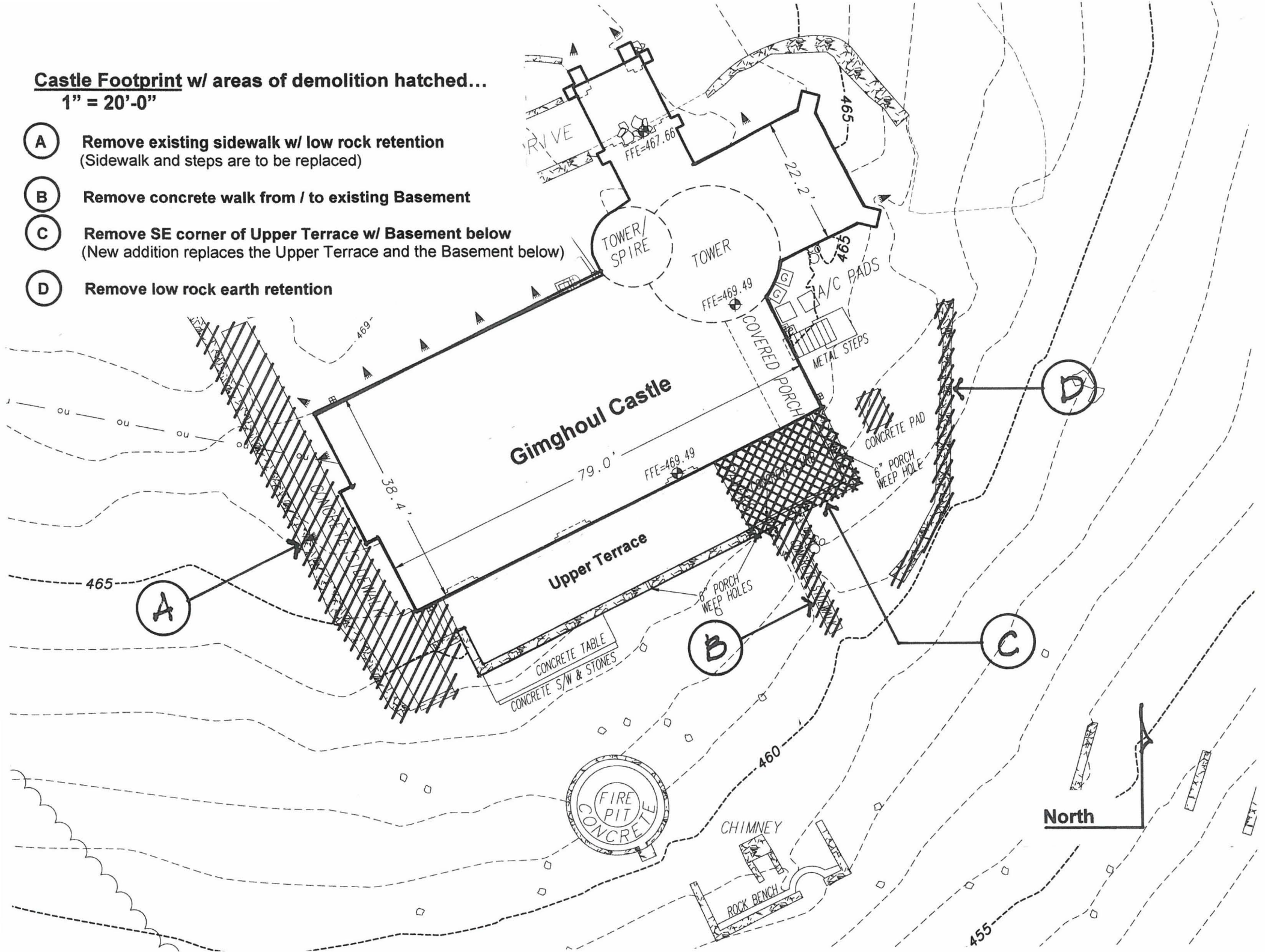
¹⁷ Wilson, 372.

¹⁸ Roberts, 284.

Castle Footprint w/ areas of demolition hatched...

1" = 20'-0"

- (A)** Remove existing sidewalk w/ low rock retention
(Sidewalk and steps are to be replaced)
- (B)** Remove concrete walk from / to existing Basement
- (C)** Remove SE corner of Upper Terrace w/ Basement below
(New addition replaces the Upper Terrace and the Basement below)
- (D)** Remove low rock earth retention



Conditional Zoning / Application (page 7; item; Recorded Plat or Deed of Property)

Recorded Deed (five pages)

BOOK 851 PAGE 418

DRAWN BY AND MAIL TO:

KING, WALKER, LAMBE & CRABTREE
POST OFFICE BOX 51549
DURHAM, NC 27717-1549
(919) 493-8411

STATE OF NORTH CAROLINA

DEED

COUNTY OF ORANGE

THIS DEED, made this, the 30 day of April, 1990, by
LYMAN COTTEN, CHARLES M. SHAFER, AND GEORGE WATTS HILL, Trustees
for The Junior Order of Gimghoul, Grantors, to Gimghoul
Corporation, Grantee; P. O. Box 931, Durham, N. C. 27702

WITNESSETH:

7.60.B.19
9788-96-2765
EASEMENT:
9788-96-4759
7.60.B.19A

THAT WHEREAS, The Junior Order of Gimghoul is a secret
society; and

WHEREAS, Lyman Cotten, Charles Shaffer, and George Watts
Hill, are the Trustees of The Junior Order of Gimghoul; and

WHEREAS, as Trustees, they are duly authorized to execute
conveyances of real property on behalf of The Junior Order of
Gimghoul; and

WHEREAS, the aforesaid Trustees have been duly authorized to
execute this Deed conveying the hereinafter described property to
The Gimghoul Corporation.

NOW, THEREFORE, in consideration of the premises and of the
payment of Ten Dollars (\$10.00) and other good and valuable
consideration paid by Grantee to Grantors, the receipt and
adequacy of which is hereby acknowledged, the aforesaid Trustees

19900508000054120 DEED
Bk: RB851 Pg: 418
5/8/1990 1/5



851 418 1/5

KING, WALKER, LAMBE & CRABTREE ATTORNEYS AT LAW

NO REVENUE STAMPS REQUIRED

RECEIVED

2001-01-22



851 419 2/5

BOOK 851 PAGE 419

do hereby bargain, sell, grant and convey unto the Grantee, and its successors and assigns, all that certain lot or parcel of land lying and being in the Town of Chapel Hill, Orange County, State of North Carolina, and being more particularly described as follows:

BEGINNING at a stake located in the southern property line of the easement which runs in an east-west direction from the easternmost end of Gimghoul Road, said beginning point being located by beginning at the stake located in the southern property line of Gimghoul Road, the northeast corner of the Catholic Church property, said stake being also the southwest corner of the easement hereinabove referred to and running thence along and with the southern property line of said easement south 87 degrees 40 minutes east 208.76 feet to a stake; thence further along the southern property line of said easement south 48 degrees 38 minutes east 59.72 feet to a stake, the point and place of **BEGINNING**; thence running from said point and place of beginning, north 22 degrees 14 minutes east 40.00 feet to a stake; thence south 73 degrees 35 minutes east 216.35 feet to a stake; thence south 26 degrees 43 minutes east 166.39 feet to a stake; thence south 27 degrees 10 minutes west 145.94 feet to a stake; thence south 74 degrees 57 minutes west 152.60 feet to a stake; thence north 55 degrees 36 minutes west 151.14 feet to a stake; thence north 05 degrees 41 minutes west 126.04 feet to a stake; thence north 22 degrees 14 minutes east 141.96 feet to a stake, the point and place of **BEGINNING** and being the property of The Junior Order of The Gimghoul, containing 2.15 acres, more or less, as shown on plat and survey thereof by John R. Gove, Engineer, dated September, 1957 with latest revision dated December 22, 1975 and recorded in Register of Deeds of Orange County in Plat Book 26, at Page 49, to which plat reference is hereby made for a more particular description of same.

Together with Grantors' rights to an easement in favor of Grantors, their heirs, successors and assigns, of egress, ingress and regress over and upon that certain parcel of land located at

the easternmost end of Gimghoul Road, Chapel Hill Township, Orange County, North Carolina, said parcel being more particularly described as follows:

BEGINNING at a stake located in the southern property line of Gimghoul Road, said stake being located at the northeast corner of the Catholic Church property as shown on the plat hereinafter referred to and running thence across Gimghoul Road north 02 degrees 57 minutes west 50 feet to a stake located in the northern property line of Gimghoul Road; thence north 87 degrees 32 minutes east 405 feet to a stake; thence south 54 degrees 37 minutes east 60 feet to a stake; thence south 32 degrees 18 minutes east 60 feet to a stake; thence south 7 degrees 21 minutes west 54.43 feet to a stake; thence north 73 degrees 35 minutes west 216.35 feet to a stake; thence south 22 degrees 14 minutes west 40 feet to a stake; thence north 48 degrees 38 minutes west 59.72 feet to a stake; thence north 87 degrees 40 minutes west 208.76 feet to a stake, the point and place of BEGINNING. See Plat Book 26, Page 49, Orange County Registry, for a more particular description of same.

TO HAVE AND TO HOLD the said land, together with all the privileges and appurtenances thereunto belonging unto said Grantee, its successors and assigns, forever, in fee simple.

And the Grantors covenant with the Grantee, that the Grantors have done nothing to impair such title as Grantors received, and Grantors will warrant and defend the title against the lawful claims of all persons claiming by, under or through Grantors, except for the exceptions hereinafter stated. Title to the property hereinabove described in subject to the following exceptions:



851 420 3/5

IN WITNESS WHEREOF, the Trustees have hereunto set their hands and seals this the day and year first above written.



851 421 4/5

THE JUNIOR ORDER OF GIMGHOUL

BY: Lyman Cotten (SEAL)
LYMAN COTTEN,
TRUSTEE

BY: Charles M. Shaffer (SEAL)
CHARLES M. SHAFER,
TRUSTEE

BY: George Watts Hill (SEAL)
GEORGE WATTS HILL,
TRUSTEE

STATE OF NORTH CAROLINA
COUNTY OF DURHAM

I, Gail L. Ice, a Notary Public of the
above County and State, do hereby certify that LYMAN COTTEN,
Trustee, personally appeared before me this day and acknowledged
the due execution of the foregoing instrument.

Witness my hand and notarial seal, this the 1st
May, 1990.

Gail L. Ice
Notary Public

MY COMMISSION EXPIRES:

6-18-90

STATE OF NORTH CAROLINA
COUNTY OF DURHAM

I, Biven G. Andersen, a Notary Public of the
above County and State, do hereby certify that CHARLES M.
SHAPPER, Trustee, personally appeared before me this day and
acknowledged the due execution of the foregoing instrument.

Witness my hand and notarial seal, this the 2ND day of
May, 1990.

Biven G. Andersen
Notary Public

MY COMMISSION EXPIRES:

6/24/90

STATE OF NORTH CAROLINA
COUNTY OF DURHAM

I, Biven G. Andersen, a Notary Public of the
above County and State, do hereby certify that GEORGE WATTS HILL,
Trustee, personally appeared before me this day and acknowledged
the due execution of the foregoing instrument.

Witness my hand and notarial seal, this the 2ND day of
May, 1990.

Biven G. Andersen
Notary Public

MY COMMISSION EXPIRES:

6/24/90

LHP/slg

5



851 422 5/5

NORTH CAROLINA - ORANGE COUNTY

The foregoing certificate(s) of
Gail L. Ice and Biven G. Andersen, Notaries
Public of the designated Governmental units (are) certified to be correct. Filed for registra-
tion this the 8th day of May 19 90, at 2:39 o'clock, P.M.
in Record Book 851 Page 418.
Return: _____
By: Betty June Hayes, Register of Deeds
Assistant/Deputy
Register of Deeds