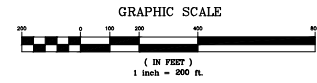
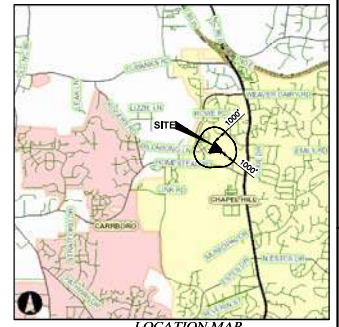


AREA MAP
SCALE 1" = 200'



LINE	LENGTH	BEARING
L1	686.50'	S41°48'01"E
L2	191.47'	S111°3'56"E
L3	506.29'	S86°37'08"W
L4	235.47'	S86°40'08"W
L5	65.04'	S86°54'46"W
L6	70.46'	N08°22'06"W
L7	748.74'	N27°35'24"E
L8	64.12'	N27°34'07"E



SITE DATA TABLE

PROJECT NAME:	STANAT'S PLACE
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 102 CARY, NC 27511
PARCEL ID NUMBERS:	9880028073
LAND AREA CALCULATIONS:	8.163 ACRES
NET LAND AREA:	8.916 ACRES (10% OF H/LA)
ORIGINED AREA:	391,119 SF (8,978 AC) (USED FOR DENSITY CALCULATION)
TOTAL GROSS LAND AREA (GLA):	R-2
EXISTING ZONING:	R-5-CZD
PROPOSED ZONING:	R-2
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	47
PROPOSED MINIMUM LOT SIZE:	2,088 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (391,119 SF) x (0.05) = 19,556 SF
RECREATION SPACE PROVIDED:	1,563 SF TOT LOT 5,027 SF CIRCULAR GREEN 13,726 SF BROWNIWAY KASHEMILE 20,326 SF TOTAL
MINIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
MAXIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
PROPOSED PARKING:	94 GARAGE SPACES 94 DRIVEWAY SPACES 1 HC VISITOR SPACE 1 WORK VISITOR SPACE 1 MOTORCYCLE VISITOR SPACE 15 AUTO VISITOR SPACES 206 SPACES
TOTAL PROPOSED PARKING:	206 SPACES
MINIMUM BICYCLE PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL KIOSK 10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
REQUIRED EXTERIOR PERIMETER SETBACKS:	INTERIOR - 6' STREET - 20' SOLAR - 6'
PROPOSED BUILDING SEPARATION:	VARIES (L 17'-22')
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.44
TOTAL IMPERVIOUS SURFACE:	170,000 SF
MAXIMUM FLOOR AREA ALLOWED:	N/A - SINGLE-FAMILY USE
FLOOR AREA PROPOSED:	101,000 SF
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	17,600 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	N/A - SINGLE-FAMILY USE
MAXIMUM LAND DISTURBANCE:	325,000 SF

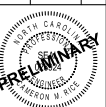
LEGEND

	CHAPEL HILL CORPORATE LIMITS
	ZONING BOUNDARY
	1000' NOTIFICATION LINE
	ROAD CENTERLINE
	PROPERTY'S WITHIN NOTIFICATION AREA
	PROPOSED SITE
	OPEN SPACE
	FIRE HYDRANT
	BUS STOP



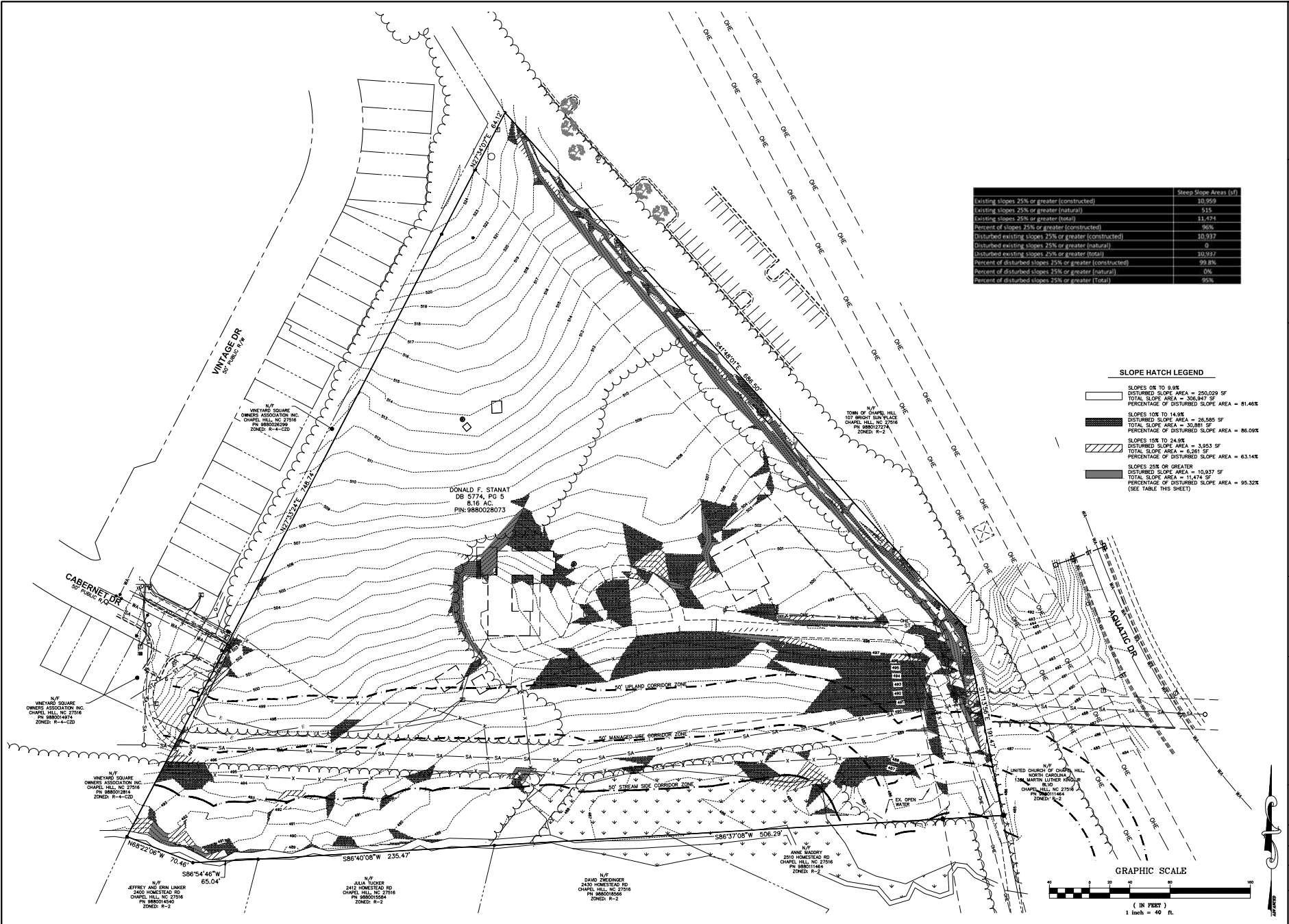
KB HOME CAROLINAS
4608 SOUTH MIAMI BLVD, SUITE 100A
DURHAM, NC 27703
PHONE: 919.68.7860

STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
AREA MAP



Date:	05/04/2022
Scale:	1" = 200'
Drawn By:	JRR
Checked By:	CMR
Project Number:	21-0002-978
Sheet Number:	2 / 16

G:\31-002-978\31-002-978\Drawings\Development\Zoning\Zoning\2022-07-8 Slope Analysis Plan.dwg Slope Analysis Plan May 04, 2022 - 2:30:41pm cbr

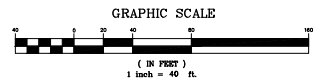


	Slope Areas (sf)
Existing slopes 25% or greater (constructed)	10,959
Existing slopes 25% or greater (natural)	515
Existing slopes 25% or greater (total)	11,474
Percent of slopes 25% or greater (constructed)	96%
Disturbed existing slopes 25% or greater (constructed)	10,917
Disturbed existing slopes 25% or greater (total)	0
Percent of disturbed slopes 25% or greater (constructed)	99.8%
Percent of disturbed slopes 25% or greater (natural)	0%
Percent of disturbed slopes 25% or greater (Total)	99%

SLOPE HATCH LEGEND

	SLOPES 0% TO 9.9%	DISTURBED SLOPE AREA = 250,029 SF	TOTAL SLOPE AREA = 256,847 SF	PERCENTAGE OF DISTURBED SLOPE AREA = 81.46%
	SLOPES 10% TO 14.9%	DISTURBED SLOPE AREA = 26,500 SF	TOTAL SLOPE AREA = 30,881 SF	PERCENTAGE OF DISTURBED SLOPE AREA = 86.09%
	SLOPES 15% TO 24.9%	DISTURBED SLOPE AREA = 3,953 SF	TOTAL SLOPE AREA = 6,387 SF	PERCENTAGE OF DISTURBED SLOPE AREA = 63.14%
	SLOPES 25% OR GREATER	DISTURBED SLOPE AREA = 10,937 SF	TOTAL SLOPE AREA = 11,474 SF	PERCENTAGE OF DISTURBED SLOPE AREA = 95.32%

(SEE TABLE THIS SHEET)



PLAN PREPARED BY:

81 Wintress Drive, Suite 102
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 Phone: 919.688.8800
 Fax: 919.688.8277

PLAN PREPARED FOR:

KB HOME CAROLINAS
 4508 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27702
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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
SLOPE ANALYSIS PLAN

Issue Date:

2022-07-20 CONDITIONAL ZONING SUBMITTAL #1
 2022-08-01 DATE ENVIRONMENTAL DOCUMENT #1
 2022-08-04 CONDITIONAL ZONING SUBMITTAL #2

Date:

05/04/2022

Scale:

1" = 40'

Project Number:

21-0002-978

Sheet Number:

4 / 16

Drawn By:

JRR

Checked By:

CMR

CODED NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) STONE FACADE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1: CHILDREN'S PLAY STRUCTURE WITH PICNIC TABLES
- (G) GATHERING SPACE #2: FIRE PIT WITH CHAPEL HILL CRT SURFACE
- (H) 4' BRICK WALKWAY
- (I) 30" STANDARD CURB AND GUTTER
- (J) 30" VALLEY CURB AND GUTTER
- (K) CURB TRANSITION BETWEEN STANDARD AND VALLEY
- (L) CONCRETE STEP (12-INCH TREAD, RISER PER SPOT GRADES)
- (M) HANDICAP RAMP IN SIDEWALK WITH DETECTABLE WARNING DOMES ATTACHED TO BACK OF CURB
- (N) ACCESSIBLE VAN PARKING SPACE
- (O) 20-FT PUBLIC DRAINAGE EASEMENT
- (P) PRIVATE DRAINAGE EASEMENT
- (Q) PRIVATE SIDEWALK EASEMENT
- (R) MAIL KIOSK
- (S) BIKE RACK
- (T) ENTRY FEATURE
- (U) RETAINING WALL WITH FENCE
- (V) TEMPORARY CONSTRUCTION EASEMENT
- (W) WHEEL STOP
- (X) TREE SAVE AREA
- (Y) END CURB AND GUTTER
- (Z) WOODEN FENCE ON TOP OF WALL
- (AA) LIGHT POLE
- (BB) CURB & GUTTER REMOVAL
- (CC) PAVEMENT STRIP TO DEDICATE TEMPORARY STORAGE OF REFUSE AND RECYCLING CONTAINERS DURING SERVICE DAY FOR LOTS 15-19
- (DD) ONE MOPED SPACE
- (EE) ONE MOTORCYCLE SPACE

EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 6,447 SF
DRIVEWAYS	= 11,880 SF
TOTAL	= 18,327 SF

PROPOSED IMPERVIOUS SURFACES (ON-SITE)

ROADWAY	= 43,981 SF
DRIVEWAYS	= 14,475 SF
PARKING LOT	= 2,914 SF
BUILDINGS	= 59,505 SF
SIDEWALK	= 11,339 SF
MISC (WALLS, HVAC, PATIOS)	= 6,997 SF
POND PERMANENT POOL AREA	= 10,610 SF
FUTURE ALLOWANCE	= 20,179 SF
TOTAL	= 170,000 SF

SITE DATA TABLE

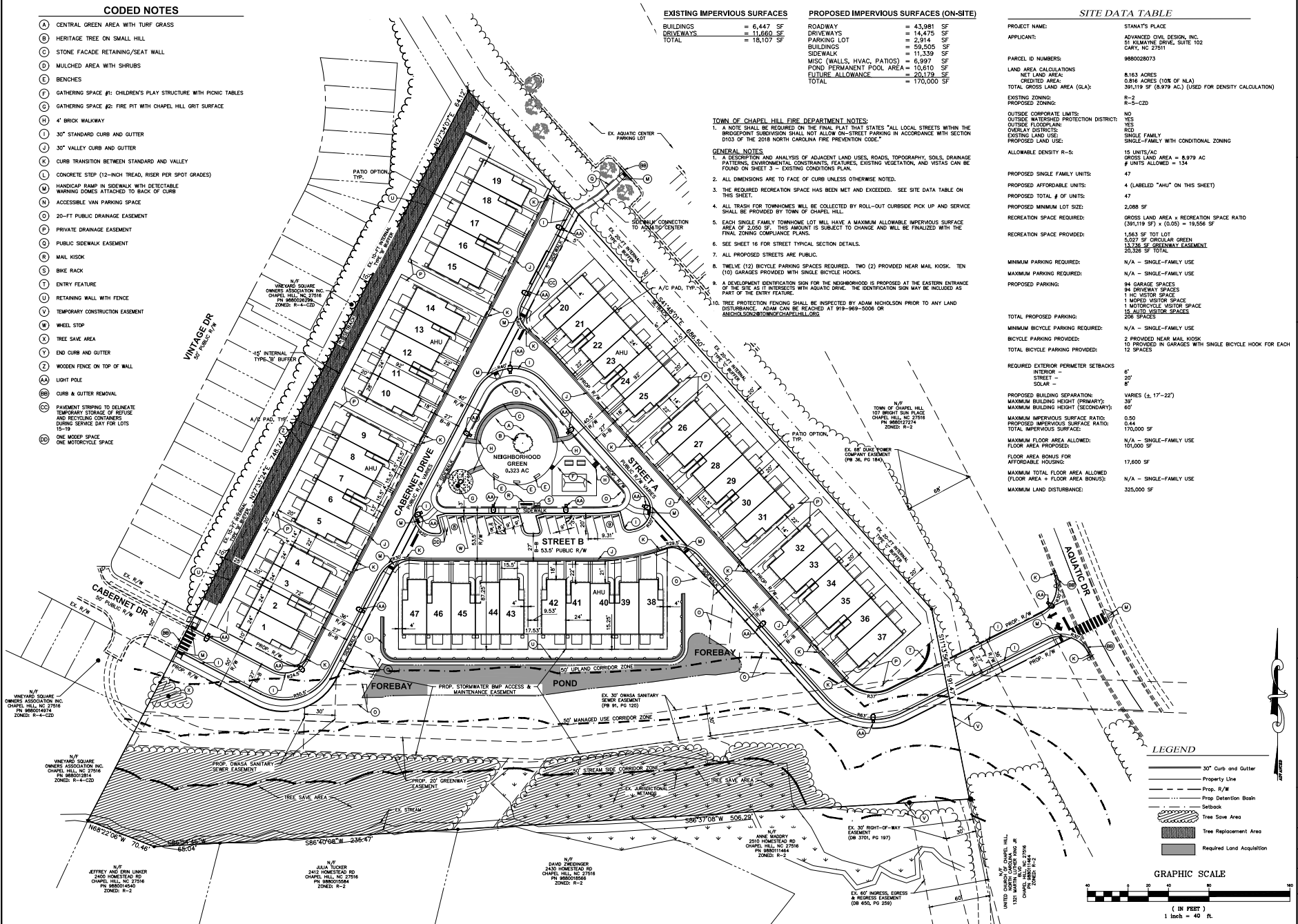
PROJECT NAME:	STANAT'S PLACE
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KEMANE DRIVE, SUITE 102 CARY, NC 27511
PARCEL ID NUMBERS:	988028073
LAND AREA CALCULATIONS	NET LAND AREA: 0.816 ACRES (10% OF NLA) TOTAL GROSS LAND AREA (G.L.A.): 39,119 SF (0.879 AC) (USED FOR DENSITY CALCULATION)
EXISTING ZONING:	R-5-C2D
PROPOSED ZONING:	R-5-C2D
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OUTSIDE DISTRICTS:	YES
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC GROSS LAND AREA = 8,979 AC # UNITS ALLOWED = 134
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	2,088 SF
PROPOSED MINIMUM LOT SIZE:	2,088 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (39,119 SF) x (0.05) = 19,559 SF
RECREATION SPACE PROVIDED:	1,563 SF TOT LOT 5,027 SF CIRCULAR GREEN 13,726 SF GREENWAY EASEMENT 20,320 SF TOTAL
MINIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
MAXIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
PROPOSED PARKING:	84 GARAGE SPACES 84 DRIVEWAY SPACES 115 VISITOR SPACES 1 MOPED VISITOR SPACE 15 AUTO VISITOR SPACES 208 SPACES
TOTAL PROPOSED PARKING:	208 SPACES
MINIMUM BICYCLE PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL KIOSK 2 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 10 SPACES
TOTAL BICYCLE PARKING PROVIDED:	4 SPACES
REQUIRED EXTERIOR PERIMETER SETBACKS	INTERIOR - 6' STREET - 20' SOLAR - 6'
PROPOSED BUILDING SEPARATION:	VARIES (± 17'-22')
MAXIMUM BUILDING HEIGHT (PRIMARY):	30'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
PROPOSED IMPERVIOUS SURFACE RATIO:	0.50
TOTAL IMPERVIOUS SURFACE:	170,000 SF
MAXIMUM FLOOR AREA ALLOWED (FLOOR AREA PROPOSED):	N/A - SINGLE-FAMILY USE 10,000 SF
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	17,600 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	N/A - SINGLE-FAMILY USE
MAXIMUM LAND DISTURBANCE:	325,000 SF

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGPORT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE"

GENERAL NOTES

1. A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
4. ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
5. EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 2,000 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
6. SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
7. ALL PROPOSED STREETS ARE PUBLIC.
8. TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL KIOSK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOKS.
9. A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUIATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
10. TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-989-5008 OR ANICHOLSON2@TOWNOFCHAPELHILL.ORG



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 CIVIL ENGINEERING
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 Fax: 919.326.9272

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 4608 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.68.7860

STANAT'S PLACE
 CONDITIONAL ZONING PLANS
 KB HOME CAROLINAS
 SITE PLAN - OPTION A

PRELIMINARY

Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CBR
 Project Number: 21-0002-978
 Sheet Number: 5A/16

CODED NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) STONE FACADE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1: CHILDREN'S PLAY STRUCTURE WITH PICNIC TABLES
- (G) GATHERING SPACE #2: FIRE PIT WITH CHAPEL HILL CRT SURFACE
- (H) 4' BRICK WALKWAY
- (I) 30" STANDARD CURB AND GUTTER
- (J) 30" VALLEY CURB AND GUTTER
- (K) CURB TRANSITION BETWEEN STANDARD AND VALLEY
- (L) CONCRETE STEP (12-INCH TREAD, RISER PER SPOT GRADES)
- (M) HANDICAP RAMP IN SIDEWALK WITH DETECTABLE WARNING DOMES ATTACHED TO BACK OF CURB
- (N) ACCESSIBLE VAN PARKING SPACE
- (O) 20-FT PUBLIC DRAINAGE EASEMENT
- (P) 20-FT PRIVATE DRAINAGE EASEMENT
- (Q) PUBLIC SIDEWALK EASEMENT
- (R) MAIL KIOSK
- (S) BIKE RACK
- (T) ENTRY FEATURE
- (U) RETAINING WALL WITH FENCE
- (V) TRASH COLLECTION TURNAROUND
- (W) COLLAPSIBLE BOLLARDS
- (X) TREE SAVE AREA
- (Y) END CURB AND GUTTER
- (Z) WOODEN FENCE ON TOP OF WALL
- (AA) LIGHT POLE
- (BB) CURB & GUTTER REMOVAL
- (CC) PAVEMENT SPLITTING TO DEDICATE TEMPORARY STORAGE OF REFUSE AND RECYCLING CONTAINERS DURING SERVICE DAY FOR LOTS 15-19
- (DD) TEMPORARY CONSTRUCTION EASEMENT
- (EE) MOPED/MOTORCYCLE PARK
- (FF) WHEEL STOP

EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 6,447 SF
DRIVEWAYS	= 11,880 SF
TOTAL	= 18,327 SF

PROPOSED IMPERVIOUS SURFACES (ON-SITE)

ROADWAY	= 43,981 SF
DRIVEWAYS	= 14,475 SF
PARKING LOT	= 2,914 SF
BUILDINGS	= 59,505 SF
SIDEWALK	= 11,359 SF
MISC (WALLS, HVAC, PATIOS)	= 6,997 SF
POND PERMANENT POOL AREA	= 10,610 SF
FUTURE ALLOWANCE	= 20,178 SF
TOTAL	= 170,000 SF

SITE DATA TABLE

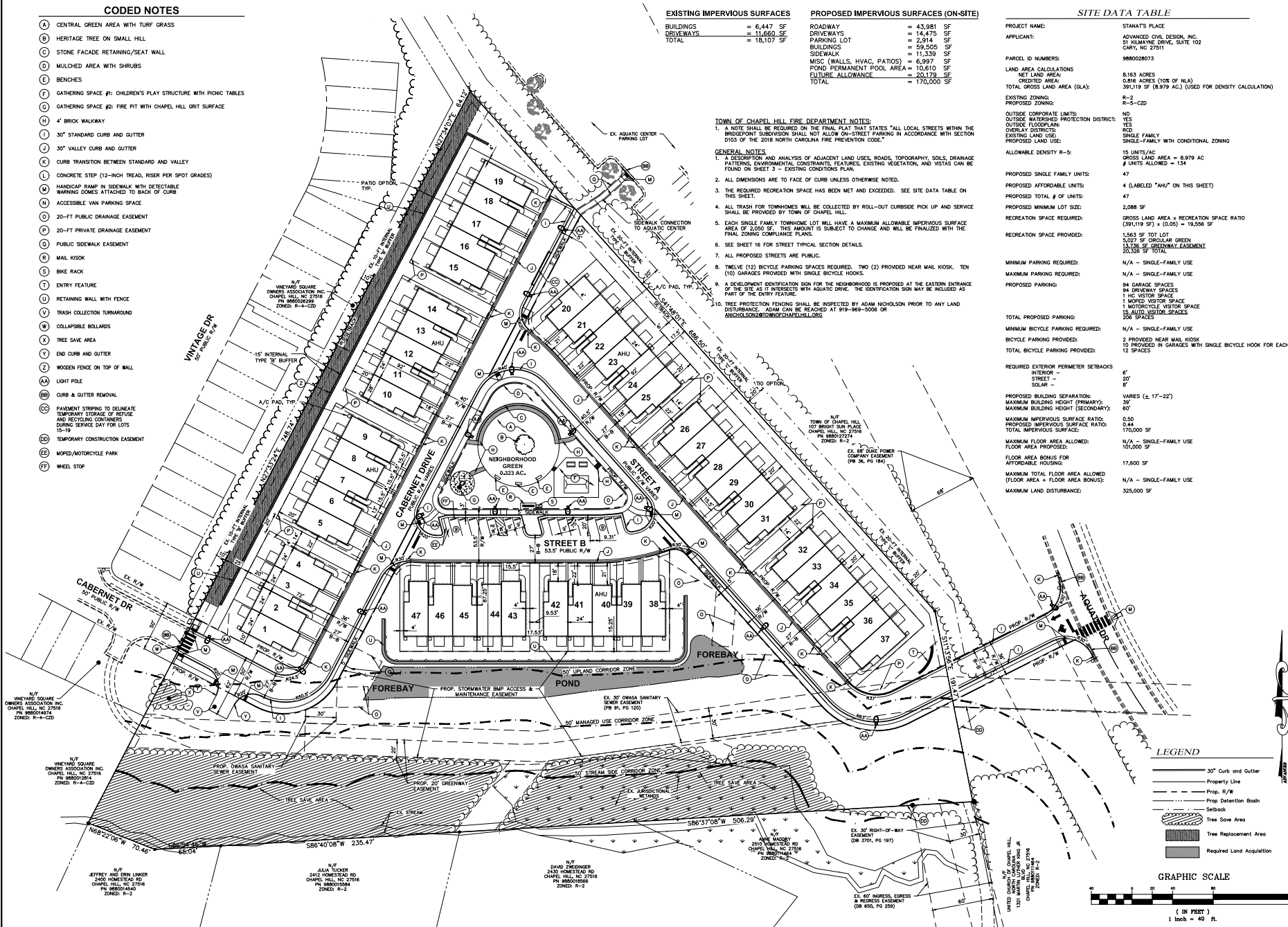
PROJECT NAME:	STANAT'S PLACE
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KEMAYNE DRIVE, SUITE 102 CARY, NC 27511
PARCEL ID NUMBERS:	9880028073
LAND AREA CALCULATIONS	8.163 ACRES
NET LAND AREA	0.816 ACRES (10% OF NLA)
CREDITED AREA:	39,119 SF (8,979 AC) (USED FOR DENSITY CALCULATION)
TOTAL GROSS LAND AREA (GALA):	R-2
EXISTING ZONING:	R-5-C2D
PROPOSED ZONING:	NO
OUTSIDE CORPORATE LIMITS:	YES
OUTSIDE WATERED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	NO
OVERLAY DISTRICTS:	R-5
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
GROSS LAND AREA =	8,979 AC
# UNITS ALLOWED =	134
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	2,078 SF
PROPOSED MINIMUM LOT SIZE:	2,078 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (39,119 SF) x (0.05) = 19,559 SF
RECREATION SPACE PROVIDED:	1,563 SF TOT LOT 5,027 SF CIRCULAR GREEN 13,736 SF GREENWAY EASEMENT 20,326 SF TOTAL
MINIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
MAXIMUM PARKING PROVIDED:	N/A - SINGLE-FAMILY USE
PROPOSED PARKING:	94 GARAGE SPACES 94 DRIVEWAY SPACES 1 HC VISTOR SPACE 1 MOPED VISTOR SPACE 16 AUTO VISTOR SPACES 206 SPACES
TOTAL PROPOSED PARKING:	N/A - SINGLE-FAMILY USE
MINIMUM BICYCLE PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL KIOSK
TOTAL BICYCLE PARKING PROVIDED:	10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
REQUIRED EXTERIOR PERIMETER SETBACKS	
INTERIOR -	0'
STREET -	20'
SOLAR -	0'
PROPOSED BUILDING SEPARATION:	VARIABLE (E. 17'-22')
MAXIMUM BUILDING HEIGHT (PRIMARY):	35'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.44
TOTAL IMPERVIOUS SURFACES:	170,000 SF
MAXIMUM FLOOR AREA ALLOWED:	N/A - SINGLE-FAMILY USE
FLOOR AREA PROPOSED:	101,000 SF
FLOOR AREA TOTAL FOR AFFORDABLE HOUSING:	17,600 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	N/A - SINGLE-FAMILY USE
MAXIMUM LAND DISTURBANCE:	325,000 SF

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGPORT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION 0103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE"

GENERAL NOTES

1. A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
4. ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
5. EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 2,000 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
6. SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
7. ALL PROPOSED STREETS ARE PUBLIC.
8. TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL KIOSK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOKS.
9. A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUIATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
10. TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-989-5008 OR ANICHOLSON2@TOWNOFCHAPELHILL.ORG



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 CIVIL DESIGN
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KB HOME CAROLINAS
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 DURHAM, NC 27703
 PHONE: 919.68.7890

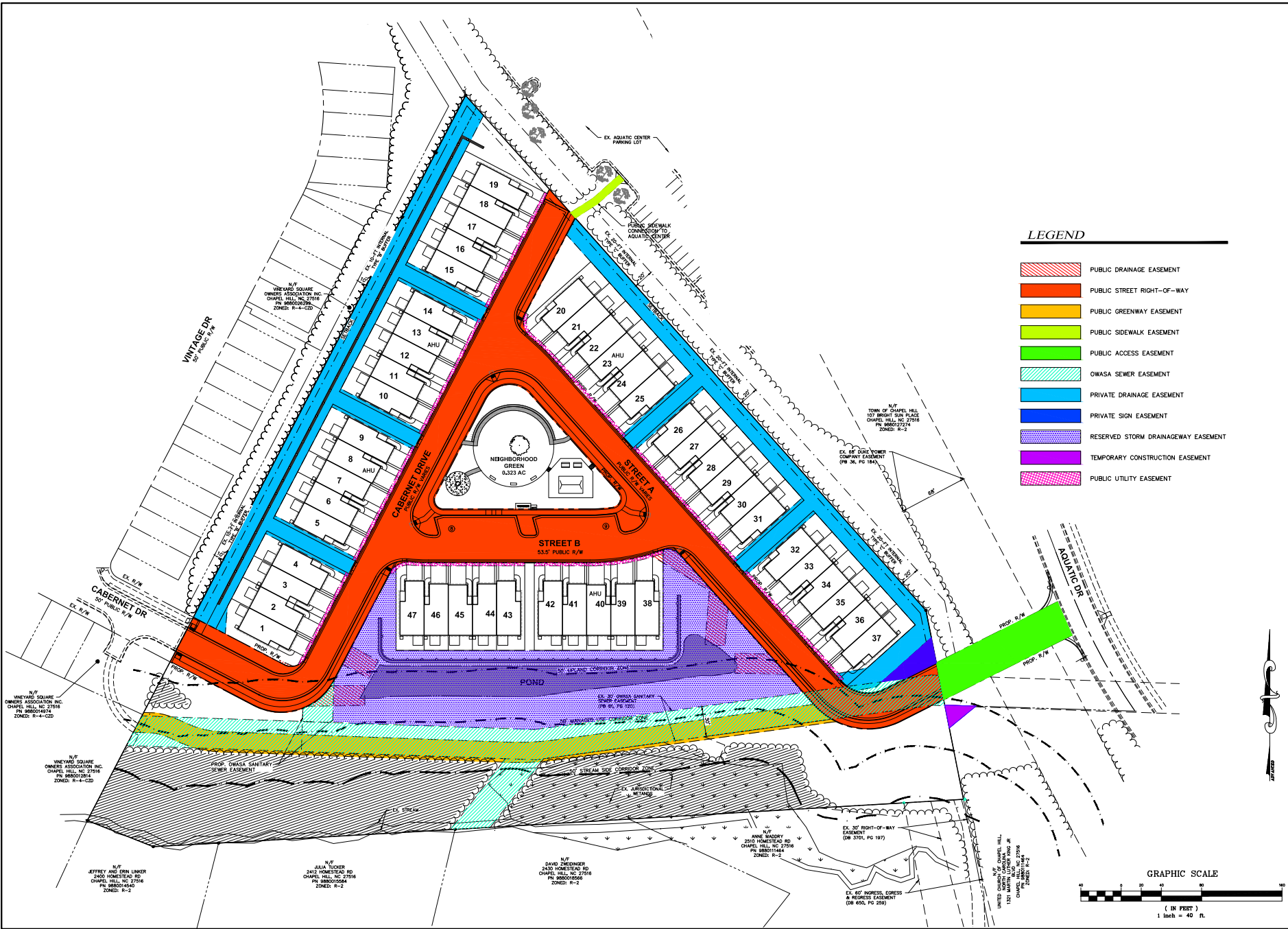
STANAT'S PLACE
 CONDITIONAL ZONING PLAN
 KB HOME CAROLINAS
 SITE PLAN - OPTION B

HOMETEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
 PRELIMINARY
 05/04/2022

Name: Stanat's Place
 Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CUR
 Project Number: 21-0002-978
 Sheet Number: 5B/16

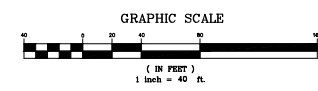
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LEGEND

	PUBLIC DRAINAGE EASEMENT
	PUBLIC STREET RIGHT-OF-WAY
	PUBLIC GREENWAY EASEMENT
	PUBLIC SIDEWALK EASEMENT
	PUBLIC ACCESS EASEMENT
	OWASA SEWER EASEMENT
	PRIVATE DRAINAGE EASEMENT
	PRIVATE SIGN EASEMENT
	RESERVED STORM DRAINAGEWAY EASEMENT
	TEMPORARY CONSTRUCTION EASEMENT
	PUBLIC UTILITY EASEMENT



PLAN PREPARED BY:

 ADVANCED CIVIL DESIGN
 31 Williams Drive, Suite 102
 Cary, North Carolina 27513
 Tel: 919.336.8200
 Fax: 919.336.8227

PLAN PREPARED FOR:
KB HOME CAROLINAS
 4008 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.68.7860

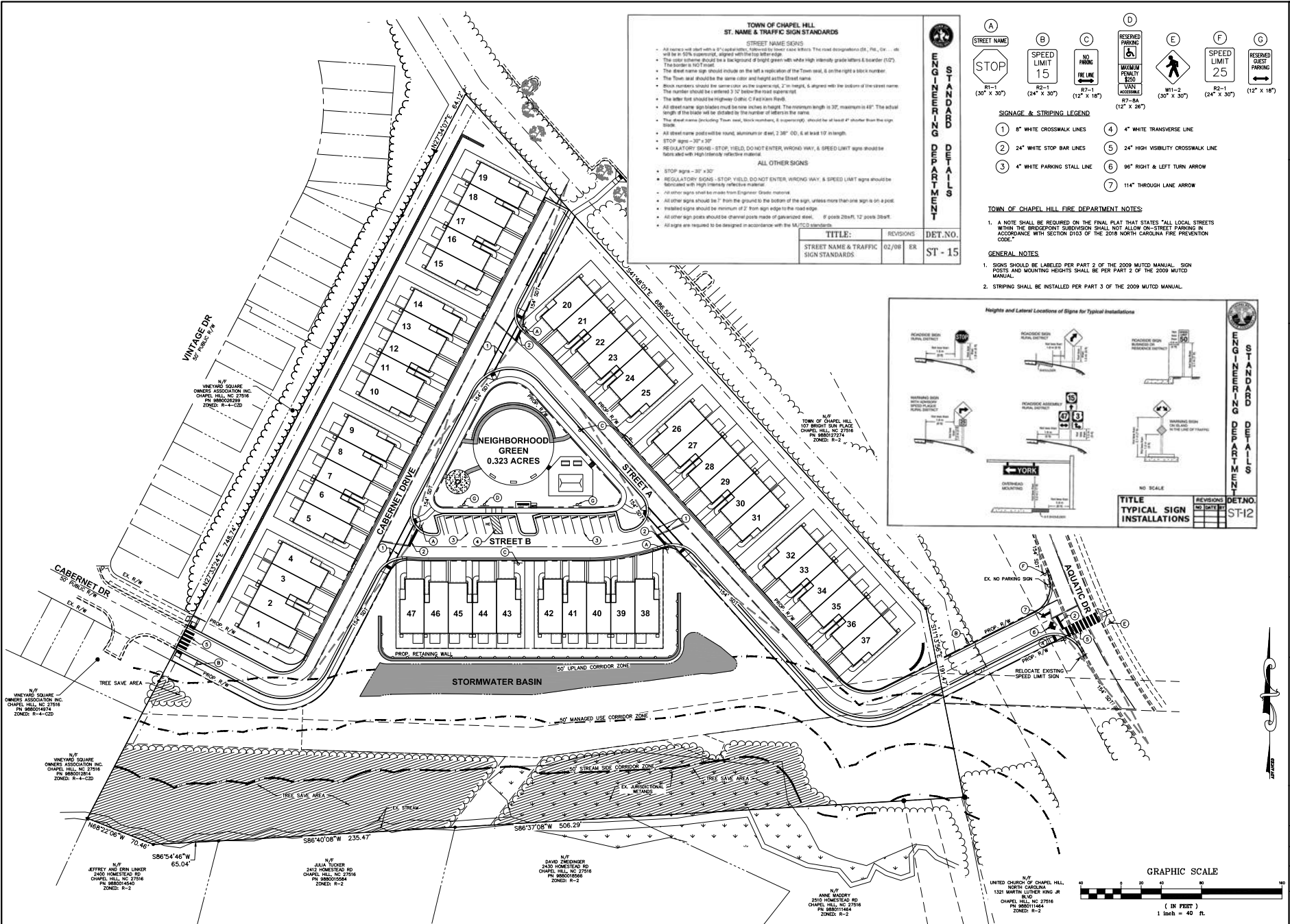
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
 CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
 EASEMENT EXHIBIT

DATE: 05/04/2022
 SCALE: 1" = 40'
 DRAWN BY: JRR
 CHECKED BY: CMR

PROJECT NUMBER:
21-0002-978

SHEET NUMBER:
5C/16

03-11-002-0786(V)MAY Production Drawings/DEVELOPMENT PLAN/CONDITIONAL ZONING PLANS/002-078 SIGNAGE & PAVIDMENT MARKING PLAN/signage and MARKING PLAN May 04, 2022 - 2:31:23pm cfm



TOWN OF CHAPEL HILL ST. NAME & TRAFFIC SIGN STANDARDS

STREET NAME SIGNS

- All signs will start with a 6" x 18" sign, followed by their size which The road designation (St., Pl., Dr., etc.) will be in 6/8" uppercase, aligned with the top letter edge.
- The sign substrate should be a background of bright green with white high intensity grade letters & border (10').
- The border is 1/2" thick.
- The street name sign should include on the left a replica of the Town seal. On the right a block number.
- The Town seal should be the same color and height as the street name.
- Block numbers should be same color as the signpost, 2" in height, & aligned with the bottom of the street name. The number should be centered 1/2" below the road separator.
- The sign post should be high pressure, 2" diameter, 2" in height, & aligned with the bottom of the street name.
- All street name sign plates must be white in color. The minimum length is 36", maximum is 48". The actual length of the plate will be dictated by the number of letters in the name.
- The actual name including "Town seal, block numbers, & town name" should be at least 4" taller than the sign plate.
- All street name sign plates must be round, minimum or less, 2 3/8" OD, 6" at least 1/2" in height.
- STOP signs - 30" x 30"
- REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with high intensity reflective material.
- All other signs should be made from Engineer Grade material.
- All other signs should be 7" from the ground to the bottom of the sign, unless more than one sign is on a post.
- Warning signs should be minimum of 12" from sign edge to the road edge.
- All other sign posts should be channel posts made of galvanized steel. If posts 20x4", 12 posts 20x4".
- All signs are required to be designed in accordance with the MUTCD standards.

ALL OTHER SIGNS

STOP signs - 30" x 30"

REGULATORY SIGNS - STOP, YIELD, DO NOT ENTER, WRONG WAY, & SPEED LIMIT signs should be fabricated with high intensity reflective material.

All other signs should be made from Engineer Grade material.

All other signs should be 7" from the ground to the bottom of the sign, unless more than one sign is on a post.

Warning signs should be minimum of 12" from sign edge to the road edge.

All other sign posts should be channel posts made of galvanized steel. If posts 20x4", 12 posts 20x4".

All signs are required to be designed in accordance with the MUTCD standards.

TITLE:	REVISIONS:	DET. NO.:
STREET NAME & TRAFFIC SIGN STANDARDS	02/08 ER	ST - 15

ENGINEERING DEPARTMENT

SIGNAGE & STRIPING LEGEND

(A) STREET NAME (30" X 30")	(B) SPEED LIMIT 15 (24" X 30")	(C) NO. PARKING (12" X 18")	(D) RESERVED PARKING (12" X 26")	(E) WALKING (30" X 30")	(F) SPEED LIMIT 25 (24" X 30")	(G) RESERVED GUEST PARKING (12" X 18")
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① 8" WHITE CROSSWALK LINES
② 24" WHITE STOP BAR LINES
③ 4" WHITE PARKING STALL LINE
④ 4" WHITE TRANSVERSE LINE
⑤ 24" HIGH VISIBILITY CROSSWALK LINE
⑥ 96" RIGHT & LEFT TURN ARROW
⑦ 114" THROUGH LANE ARROW

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

- A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPORT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE."

GENERAL NOTES:

- SIGNS SHOULD BE LABELED PER PART 2 OF THE 2009 MUTCD MANUAL. SIGN POSTS AND MOUNTING HEIGHTS SHALL BE PER PART 2 OF THE 2009 MUTCD MANUAL.
- STRIPING SHALL BE INSTALLED PER PART 3 OF THE 2009 MUTCD MANUAL.

HEIGHTS AND LATERAL LOCATIONS OF SIGNS FOR TYPICAL INSTALLATIONS

NO SCALE

TITLE:	REVISIONS:	DET. NO.:
TYPICAL SIGN INSTALLATIONS	02/08 ER	ST-12

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**

31 Wilshire Drive, Suite 102
Cary, North Carolina 27513
Tel: 919.326.9277 Fax: 919.326.9277

KB HOME CAROLINAS
4608 SOUTH MIAMI BLVD, SUITE 100A
DURHAM, NC 27703
PHONE: 919.66.7560

PROJECT: **STANAT'S PLACE**
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
SIGNAGE AND MARKING PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

05/04/2022

DATE: 05/04/2022
SCALE: 1" = 40'

Drawn By: JRR
Checked By: CMR

Project Number: **21-0002-978**

Sheet Number: **6 / 16**

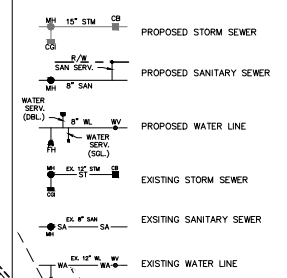
CODED NOTES

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT OREWAY EASEMENT
- (F) TEMPORARY CONSTRUCTION EASEMENT

OWASA STANDARD UTILITY NOTES

1. ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH ORANGE COUNTY WATER AND SEWER AUTHORITY DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: OWASA - MANUAL OF SPECIFICATIONS, STANDARDS, AND DESIGN, CURRENT EDITION)
2. WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 15 FEET MEASURED EDGE TO EDGE. WHEN LOCAL CONDITIONS PREVENT A HORIZONTAL SEPARATION OF AT LEAST 15 FEET, THE WATER LINE MAY BE LAID CLOSER TO A SEWER OR SANITARY SEWER MANHOLE PROVIDED THAT:
 - a) THE WATER MAIN SHALL BE PLACED IN A SEPARATE TRENCH, WITH ELEVATION OF THE BOTTOM OF THE WATER LINE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - b) THE WATER MAIN SHALL BE PLACED IN THE SAME TRENCH AS THE SEWER, AND LOCATED TO ONE SIDE, ON A BENCH OF UNDISTURBED EARTH, AND THE ELEVATION OF THE BOTTOM OF THE WATER MAIN SHALL BE AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER, OR
 - c) WHERE THIS VERTICAL SEPARATION CANNOT BE OBTAINED, THE SEWER SHALL BE CONSTRUCTED OF ANWA APPROVED DUCTILE IRON PIPE PRESSURE-TESTED IN PLACE TO 150 PSI WITHOUT LEAKAGE PRIOR TO BACKFILLING. THE SEWER MANHOLE SHALL BE OF WATERTIGHT CONSTRUCTION AND TESTED IN PLACE.
3. WATER LINES SHALL BE CONSTRUCTED TO CROSS OVER SEWERS WHENEVER POSSIBLE AND SHALL BE LAID TO PROVIDE A VERTICAL SEPARATION OF AT LEAST 18 INCHES BETWEEN THE BOTTOM ELEVATION OF THE WATER LINE AND THE TOP OF THE SEWER. WHEN LOCAL CONDITIONS PREVENT AN 18 INCH VERTICAL SEPARATION THE FOLLOWING CONSTRUCTION SHALL BE USED:
 - a) BOTH THE SEWER AND WATER LINE ITSELF SHALL BE CONSTRUCTED OF ANWA APPROVED DUCTILE IRON PIPE WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING.
 - b) WATER LINES SHALL BE CONSTRUCTED TO PROVIDE AT LEAST 3 FEET OF HORIZONTAL SEPARATION FROM OTHER UTILITIES WHENEVER POSSIBLE. THE DISTANCE SHALL BE MEASURED EDGE-TO-EDGE. FOR ASBESTOS CEMENT LINES, PROVIDE A MINIMUM 5 FEET OF CLEAR HORIZONTAL SEPARATION.
 - c) WHENEVER IT IS NECESSARY FOR ANOTHER UTILITY TO CROSS A WATER MAIN, A 12-INCH VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN THE LINES. WHEN LOCAL CONDITIONS PREVENT A 12-INCH VERTICAL SEPARATION, THE FOLLOWING CONSTRUCTION SHALL APPLY:
 - a) PROVIDE ADEQUATE STRUCTURAL SUPPORT FOR THE UTILITY TO PREVENT EXCESSIVE DEFLECTION OF THE JOINTS, WHICH CAN RESULT IN SETTLING ON AND/OR BREAKING THE WATER LINE.
 - d) 42-INCH MINIMUM COVER IS REQUIRED ON ALL WATER MAINS.
 - e) 36-INCH MINIMUM COVER IS REQUIRED ON ALL SEWER MAINS.

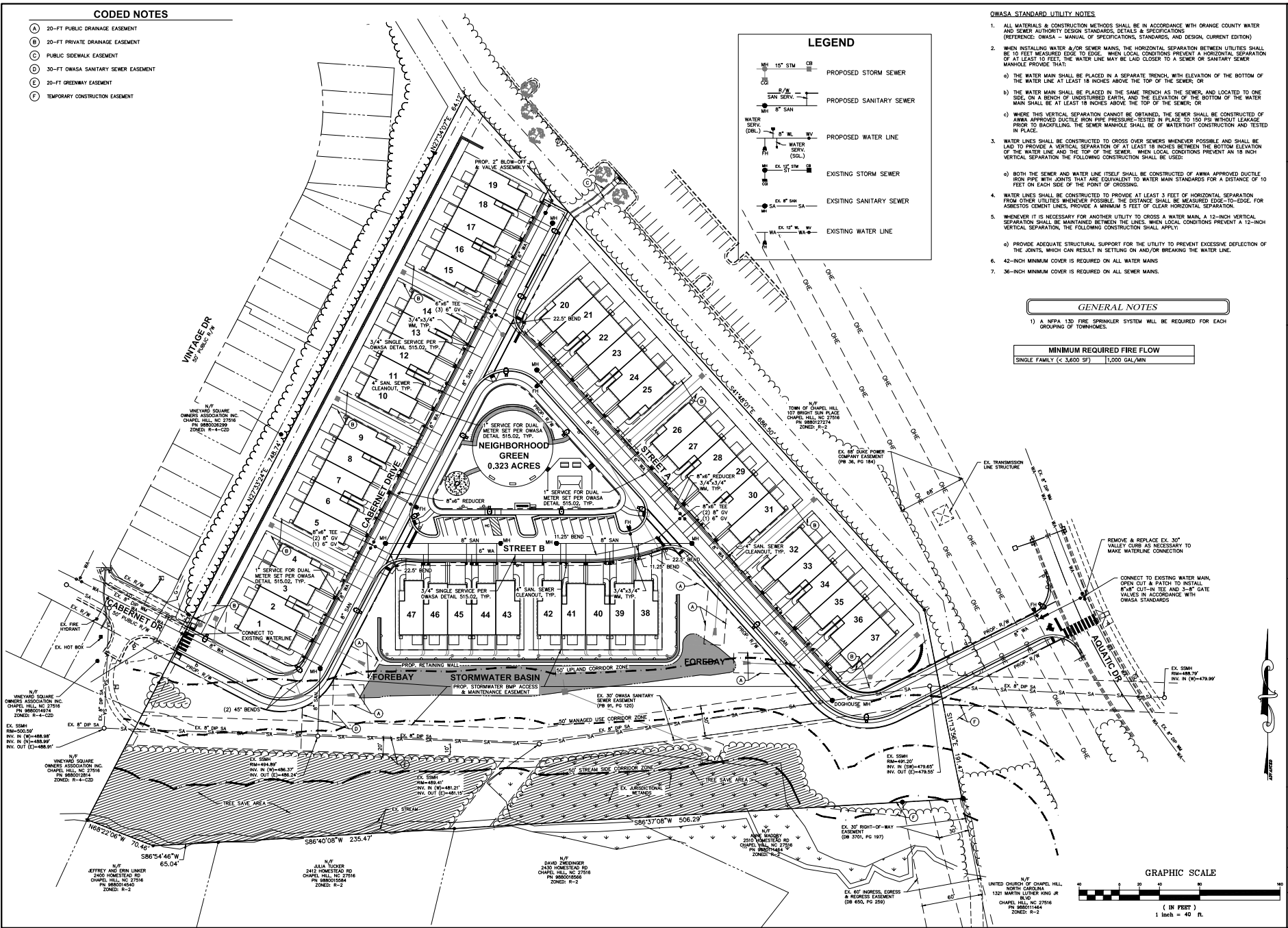
LEGEND



GENERAL NOTES

- 1) A NFPA 135 FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR EACH GROUPING OF TOWNHOMES.

MINIMUM REQUIRED FIRE FLOW	
SINGLE FAMILY (< 3,600 SF)	1,000 GAL/MIN



KB HOME CAROLINAS
 4608 SOUTH MIAMI BLVD, SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.686.7800

UTILITY PLAN
 STANAT'S PLACE
 CONDITIONAL ZONING PLANS
 KB HOME CAROLINAS

PRELIMINARY
 05/04/2022

Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CMR
 Project Number: 21-0002-978
 Sheet Number: 7 / 16

CODED NOTES

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) ROOF DRAIN LEADER
- (G) RETAINING WALL WITH FENCE
- (H) WOODEN FENCE ON TOP OF WALL
- (I) TEMPORARY CONSTRUCTION EASEMENT

Acres on Site	RCD Areas (A1)		
	50-ft Stream Side	50-ft Managed Use	50-ft Upland
Existing Sewer Easement	14.530	43.665	41.136
Existing Buildings	1.959	15.819	7.015
Existing Drive	0	0	0.66
Proposed Public Greenway Easement	0	0	0.00
Proposed Public Sewer Easement	0	0	0.719
Proposed Impervious Area - Streets & Sidewalk	0	0	4.509
Proposed Impervious Area - Paved	0	0	7.417
Actual Impervious	0	0	376
Percent Impervious per Table 3.6.3.1 (sewered areas)	10%	20%	20%
Proposed Land Disturbance	0	18.446	38.776
Proposed Land Disturbance (minus easements, impervious, & public greenway)	0	3.304	23.904
Percent of land disturbance	0	43%	34%
Percent of land disturbance (minus easements, impervious, & public greenway)	0	5%	73%
Percent of disturbance per Table 3.6.3.3	20%	40%	40%

Slope Slope Areas (A1)	
Existing slopes 25% or greater (constructed)	10,959
Existing slopes 25% or greater (natural)	515
Existing slopes 25% or greater (total)	11,474
Percent of slopes 25% or greater (constructed)	96%
Disturbed existing slopes 25% or greater (constructed)	10,937
Disturbed existing slopes 25% or greater (natural)	0
Disturbed existing slopes 25% or greater (total)	10,937
Percent of disturbed slopes 25% or greater (constructed)	99.8%
Percent of disturbed slopes 25% or greater (natural)	0%
Percent of disturbed slopes 25% or greater (Total)	99%

SECTION 1 - GROUND STABILIZATION

Site Area Description	Stabilize within the many calendar days after ceasing land disturbance	Timeframe variations	
		7 days	14 days
(D) Perimeter dikes, swales, ditches, and perimeter slopes	7	None	None
(E) High Quality Water (HQW) Zones	7	None	None
(F) Slopes steeper than 3:1	7	7 days for slopes greater than 10' in length and with slopes steeper than 2:1, 14 days are allowed.	None
(H) Slopes 3:1 to 4:1	14	7 days for slopes greater than 10' in length and with slopes steeper than 2:1, 14 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones	None
(I) Areas with slopes (steeper than 2:1)	14	30 days for Full Lake Watershed (perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 20' long for Full Lake Watershed unless there is zero slope)	None

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to reduce the surface while preventing accelerated erosion until permanent ground stabilization is achieved.

GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2" TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

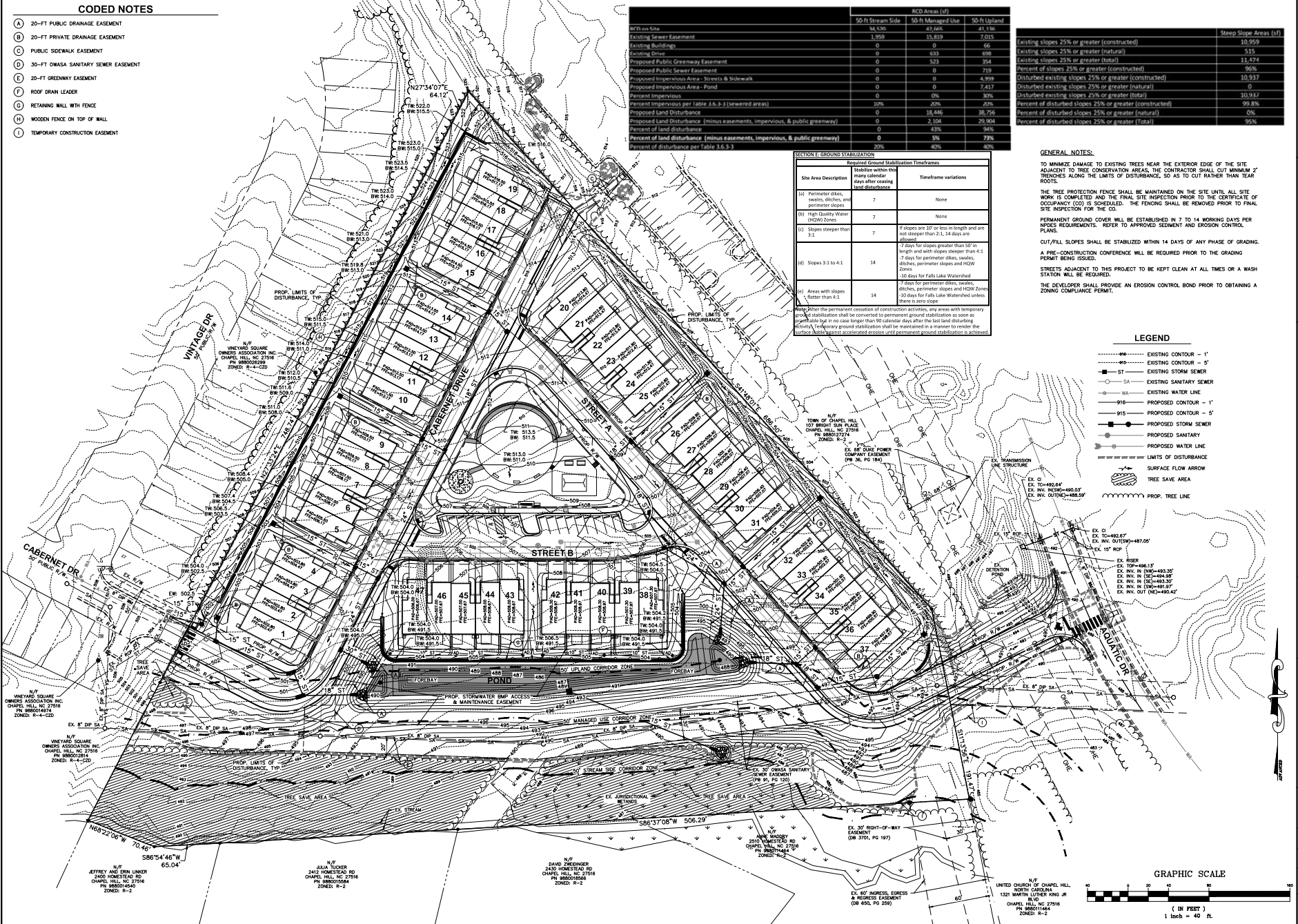
CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING. A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A ZONING COMPLIANCE PERMIT.

LEGEND

- EXISTING CONTOUR - 1'
- EXISTING CONTOUR - 5'
- EXISTING STORM SEWER
- EXISTING SANITARY SEWER
- EXISTING WATER LINE
- PROPOSED CONTOUR - 1'
- PROPOSED CONTOUR - 5'
- PROPOSED STORM SEWER
- PROPOSED SANITARY
- PROPOSED WATER LINE
- LIMITS OF DISTURBANCE
- SURFACE FLOW ARROW
- TREE SAVE AREA
- PROP. TREE LINE



Prepared By:
ADVANCED CIVIL DESIGN
 81 Wynnton Drive, Suite 102
 Cary, North Carolina 27513
 Phone: 919.236.9277

Prepared For:
KB HOME CAROLINAS
 4608 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.686.7890

Project Name:
STANAT'S PLACE
 CONDITIONAL ZONING PLAN
 KB HOME CAROLINAS
 GRADING & DRAINAGE PLAN



Issue Dates:

2022-12-20	CONDITIONAL ZONING SUBMITTAL #1
2023-04-20	DATE ENVOYED TO ENVIRONMENTAL COMMITTEE #1
2022-05-04	CONDITIONAL ZONING SUBMITTAL #2

Date: 05/04/2022
 Scale: 1" = 40'

Drawn By: JRR
 Checked By: CUR

Project Number: 21-0002-978
 Sheet Number: 8 / 16

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CONSTRUCTION SEQUENCE

- 1. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL DIVISION. OBTAIN A LAND-DISTURBING PERMIT.
2. INSTALL MINOR CONSTRUCTION ENTRANCE PASS AND CONCRETE WASH OUTS. CLEAR ONLY AS NECESSARY.
3. INSTALL TREE PROTECTION FENCE AND OBTAIN TOWN APPROVAL. CLEAR ONLY AS NECESSARY.
4. INSTALL SILT FENCE AND SILT FENCE OUTLET PROTECTION. CLEAR ONLY AS NECESSARY.
5. AFTER PERMITS AND EROSION CONTROL MEASURES ARE INSTALLED, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH THE TOWN STORMWATER MANAGEMENT ENGINEER...

CODED NOTES

- A 20-FT PUBLIC DRAINAGE EASEMENT
B 20-FT PRIVATE DRAINAGE EASEMENT
C PUBLIC SIDEWALK EASEMENT
D 30-FT OWASA SANITARY SEWER EASEMENT
E 20-FT GROUNDWAY EASEMENT
F ROOF DRAIN LEADER
G RETAINING WALL WITH FENCE
H WOODEN FENCE ON TOP OF WALL
I TEMPORARY CONSTRUCTION EASEMENT

EXISTING IMPERVIOUS SURFACES

Table listing existing impervious surfaces: BUILDINGS = 6,447 SF, DRIVEWAYS = 11,620 SF, TOTAL = 18,067 SF

PROPOSED IMPERVIOUS SURFACES (ON-SITE)

Table listing proposed impervious surfaces: ROADWAY = 43,981 SF, DRIVEWAYS = 14,475 SF, PARKING LOT = 2,914 SF, BUILDINGS = 59,505 SF, SIDEWALK = 11,539 SF, MISC (WALLS, HVAC, PATIOS) = 6,997 SF, POND PERMANENT POOL AREA = 10,610 SF, EUTRIE ALLOWANCE = 20,172 SF, TOTAL = 170,000 SF

TOTAL DISTURBED AREA = 7.46 AC = 325,000 SF

LEGEND

Legend symbols for various features: EXISTING CONTOUR - 1', EXISTING CONTOUR - 5', EXISTING STORM SEWER, EXISTING SANITARY SEWER, EXISTING WATER LINE, PROPOSED CONTOUR - 1', PROPOSED CONTOUR - 5', PROPOSED STORM SEWER, PROPOSED SILT FENCE, CONCRETE WASHOUT AREA, ROCK CHECK DAM, SILT FENCE OUTLET PROTECTION, LIMITS OF DISTURBANCE, STANDARD MATT PROTECTION, DIVERSION DITCH, DIVERSION BERM, TREE SAVE AREA, CONSTRUCTION ENTRANCE, EROSION CONTROL MATTING

SEDIMENT & EROSION CONTROL NOTES

- 1. ALL STORMWATER PIPES THAT DO NOT EMPTY INTO A BASIN SHALL NOT BE INSTALLED UNTIL SITE IS STABILIZED ABOVE THESE AREAS.
2. BARRIERS ARE REQUIRED ON ALL BASINS THAT HAVE A DRAINAGE AREA GREATER THAN 5 ACRES.
3. SILT FENCE OUTLET PROTECTION SHALL BE PLACED AT ALL LOW POINTS ALONG SILT FENCE TO KEEP BARRIERS FILLED AND PASS THROUGH.
4. STORMWATER BASINS TO ACT AS SEDIMENT BASINS. SEE CALCULATIONS ON THIS SHEET FOR SIZING.
5. SILT FENCE SHALL BE PLACED AT THE LIMITS OF DISTURBANCE LINE. SILT FENCE SHOWN DRYKIT FROM LIMITS OF DISTURBANCE LINE FOR CLARITY PURPOSES ONLY.

SECTION E: GROUND STABILIZATION

Table for Ground Stabilization: Site Area Description, Required Ground Stabilization Timeframes (calendar days after seeding, timeframe variations)

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity...

SEEDBED PREPARATION

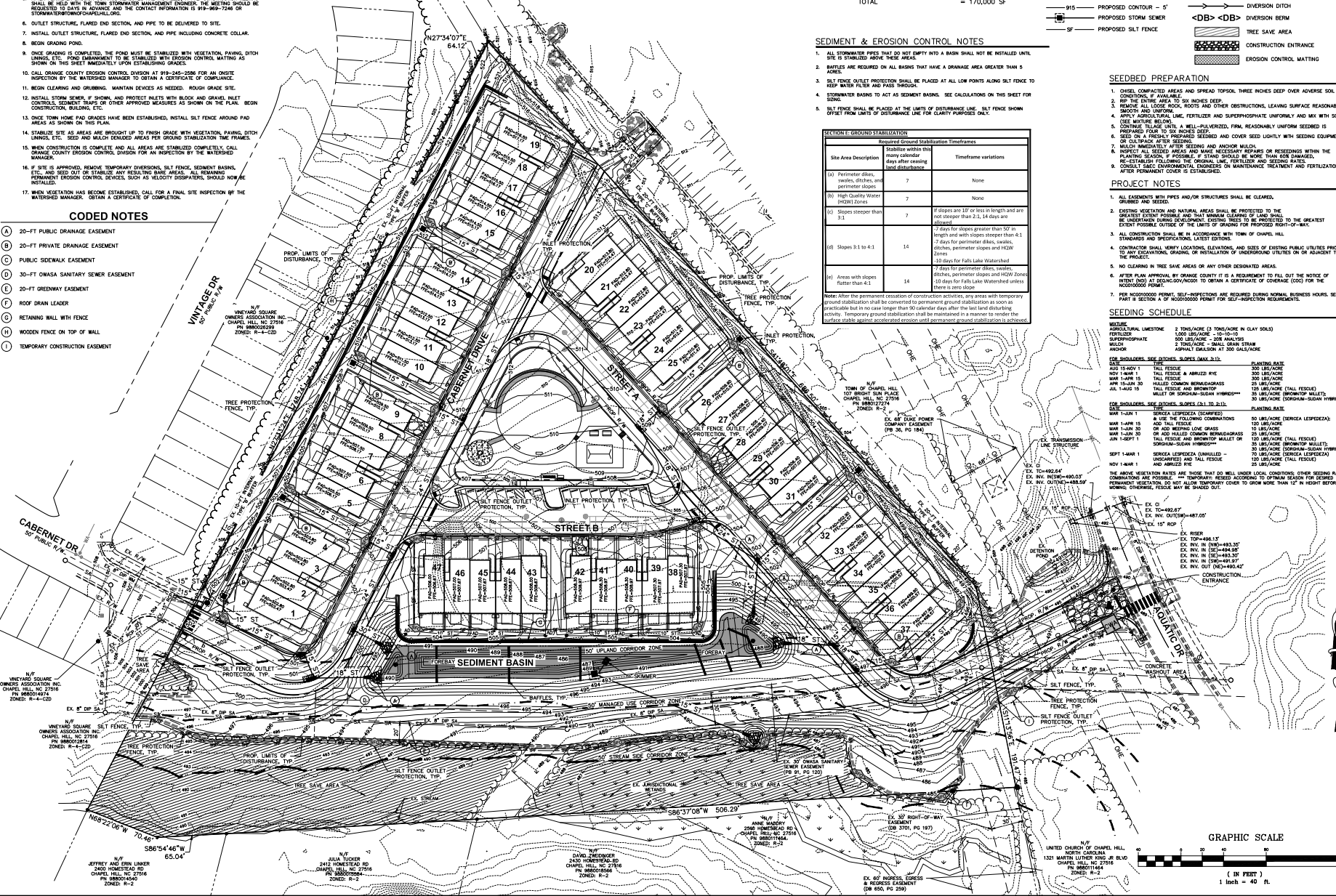
- 1. CHISEL COMPACTED AREAS AND SPREAD TOPSOIL THREE INCHES DEEP OVER ADVERSE SOIL CONDITIONS IF AVAILABLE.
2. REP THE ENTIRE AREA TO 2-3 INCHES DEEP.
3. REMOVE ALL LOOSE ROCK, ROOTS AND OTHER OBSTRUCTIONS, LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
4. APPLY AGRICULTURAL LIME, FERTILIZER AND SUPERPHOSPHATE UNIFORMLY AND MIX WITH SOIL USING A REEPLYING MACHINE.
5. CONTINUE RELEASE UNTIL A WELL-BLENDED, FIRM, REASONABLY UNIFORM SEEDBED IS PREPARED FOUR TO SIX INCHES DEEP.
6. SEED ON A PROXIMA PREPARED SEEDBED AND COVER SEEDS LIGHTLY WITH SEEDING EQUIPMENT OR OUTDRAP AFTER SEEDING.
7. MULCH IMMEDIATELY AFTER SEEDING AND ANCHOR MULCH.
8. INSPECT ALL SEEDING AREAS AND MAKE NECESSARY REPAIRS OR RESEEDINGS WHEN THE PLANTING SEASON IS IN PROGRESS. A STAND BY MULCH IS MORE THAN ONE INCHES THICK.
9. CONSULT S.M.C. ENVIRONMENTAL ENGINEERS ON MAINTENANCE TREATMENT AND FERTILIZATION AFTER PERMANENT COVER IS ESTABLISHED.

PROJECT NOTES

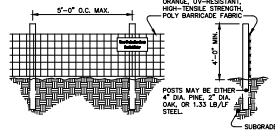
- 1. ALL EASEMENTS WITH PIPES AND/OR STRUCTURES SHALL BE CLEARED, GRUBBED AND RESEED.
2. EXISTING VEGETATION AND NATURAL AREAS SHALL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE AND THAT MINIMAL CLEARING OF LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT. EXISTING TREES TO BE PROTECTED TO THE GREATEST EXTENT POSSIBLE OUTSIDE OF THE LIMITS OF GRADING FOR PROPOSED ROOF-TOP-UP-SEWER.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS LATEST EDITIONS.
4. CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS, AND SIZES OF EXISTING PUBLIC UTILITIES PRIOR TO ANY EXCAVATIONS, GRADING, OR INSTALLATION OF UNDERGROUND UTILITIES OR ON ADJACENT TO THE PROJECT.
5. NO CLEARING IN TREE SAVE AREAS OR ANY OTHER DESIGNATED AREAS.
6. AFTER PLAN APPROVAL BY ORANGE COUNTY IF A REQUIREMENT TO FILL OUT THE NOTICE OF INTENT (NOI) AT ODC/NOI.GOV/NOI TO OBTAIN A CERTIFICATE OF COVERAGE (COC) FOR THE PROJECT.
7. FOR ADDITIONAL PERMIT, SELF-INSPECTORS ARE REQUIRED DURING NORMAL BUSINESS HOURS. SEE PART B SECTION A OF ADDITIONAL PERMIT FOR SELF-INSPECTION REQUIREMENTS.

SEEDING SCHEDULE

Seeding Schedule table: Includes table for seedbed preparation and a detailed seeding schedule with dates, methods (e.g., 2 TONS/ACRE), and materials (e.g., SERGIA LESPEDEZA).



Project metadata: Project Name (STANAT'S PLACE CONDITIONAL ZONING PLANS), Date (05/04/2022), Scale (1" = 40'), Drawing (JRR), Checked (CMR), Project Number (21-0002-978), Sheet Number (9/16). Includes logos for Advanced Civil Design and Seal of the State of North Carolina.



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 300' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.

- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DISCOLORED OR BECOME REFLECTING, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANUP.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TREE PROTECTION FENCE
NOT TO SCALE

TREE PROTECTION NOTES

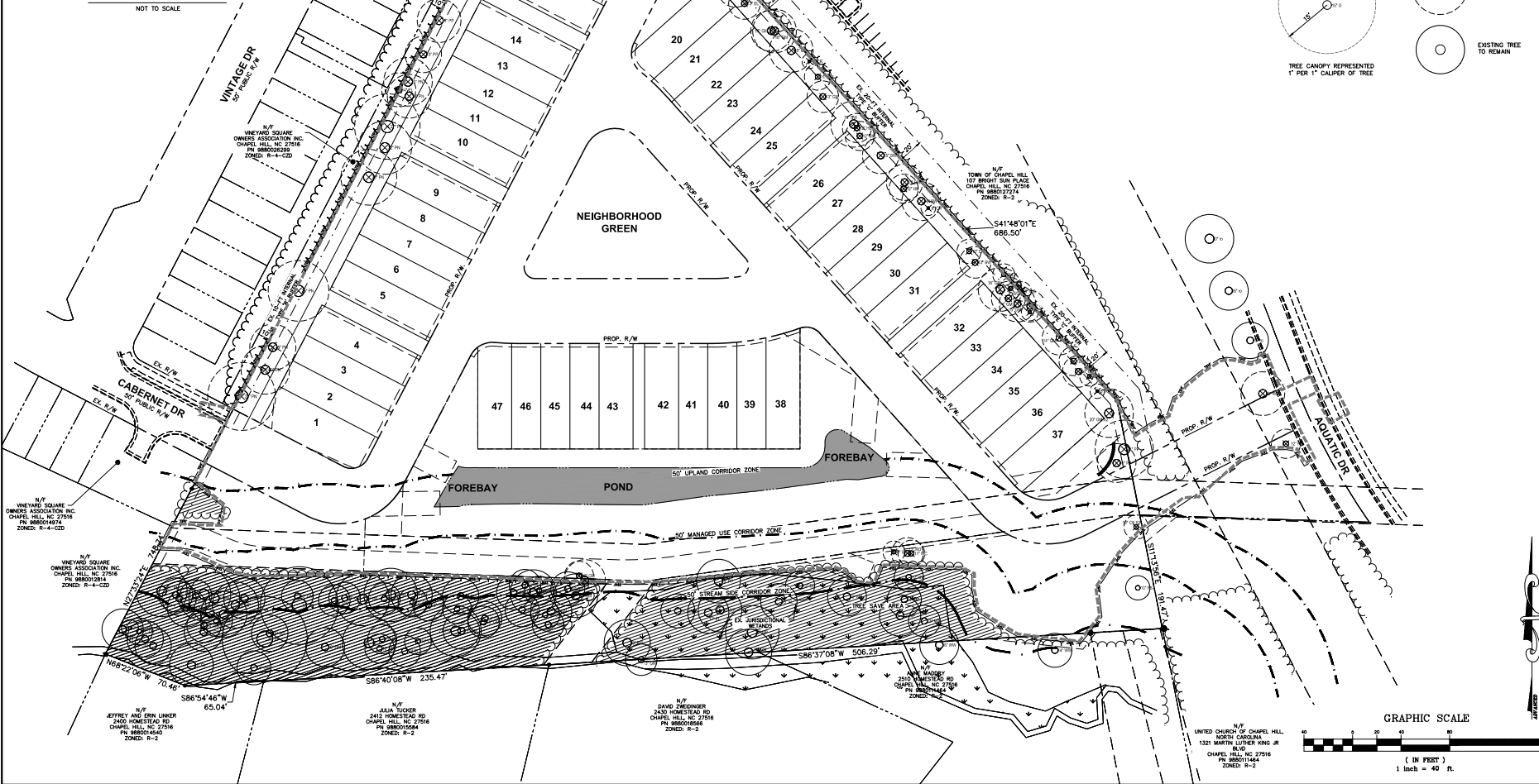
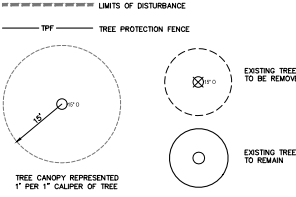
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, ADAM NICHOLSON (919.969.5006), PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- CONTACT ADAM NICHOLSON FOR TREE PROTECTION SEMINAR PRIOR TO TREE PROTECTION FENCE INSTALLATION.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5006 OR ANICHO@SANDHILLCOUNTYGOV.GOV.
- RARE TREES WERE NOT OBSERVED WITHIN THE PLANNED LIMITS OF DISTURBANCE. RARE TREES ARE PINES 36-INCHES OR MORE, ANY OTHER SPECIES 24-INCHES OR MORE, OR NO NATIVE SPECIES 12-INCHES OR MORE.

EXISTING VEGETATION NOTE

1) SIGNIFICANT TREES AND POCKETS OF SHRUBS ARE PREVALENT THROUGHOUT THE SITE. THE SOUTHERN PORTION OF THE SITE IS HEAVILY WOODED. SIGNIFICANT TREE STANDS HAVE BEEN LOCATED AND SHOWN ON THIS SHEET. THE VAST MAJORITY OF SPECIES FOUND ARE OAK, SWEET GUM, POPLAR, AND PINE.

TREE LEGEND

APPLE	AP	MOSSDOG	MD
ASH	AS	WALNUT	WF
BEECH	BE	YEW	YE
BIRCH	BR	MALBERRY	MB
BUR OAK	BO	DOGWOOD	DO
BLACK WALNUT	BLW	DOGWOOD	DO
BACOPAF PEAR	BP	PECAN	PC
CATALPA	CT	PROSPER	PR
CEDAR	CR	PINE	PI
COTTONWOOD	CO	POPLAR	PO
CORONA	CA	REDBUD	RB
CREW PINE	CP	REDFLOW	RF
CYPRESS	CY	REDBUD	RB
DOGWOOD	DO	SHADBLOW	SB
DOGWOOD	DO	SHADBLOW	SB
ELM	EL	SWEETBAY	SW
ELM	EL	SWEETBAY	SW
HICKORY	HI	WALNUT	WF
HOLLY	HO	WALNUT	WF
HONEYLOCUST	HL	WALNUT	WF
LOCUST	LC	WALNUT	WF



PLAN PREPARED BY:

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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
LANDSCAPE PROTECTION & TREE SURVEY PLAN

PRELIMINARY

Issue Dates:

2021-12-01	CONDITIONAL ZONING SUBMITTAL #1
2022-01-01	DATE ENVIRONMENTAL REPORT #1
2022-02-01	DATE ENVIRONMENTAL REPORT #2
2022-05-04	CONDITIONAL ZONING SUBMITTAL #2

Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CMR
 Project Number: 21-0002-978
 Sheet Number: 10/16

G:\31-002-978\31-002-978\Drawings\DEVELOPMENT PLAN\CONDITIONAL ZONING PLANS\2022-05-04 LANDSCAPE PROTECTION & TREE SURVEY PLAN.dwg May 04, 2022 - 2:32:18pm cfr

TREE CANOPY COVERAGE CALCULATIONS

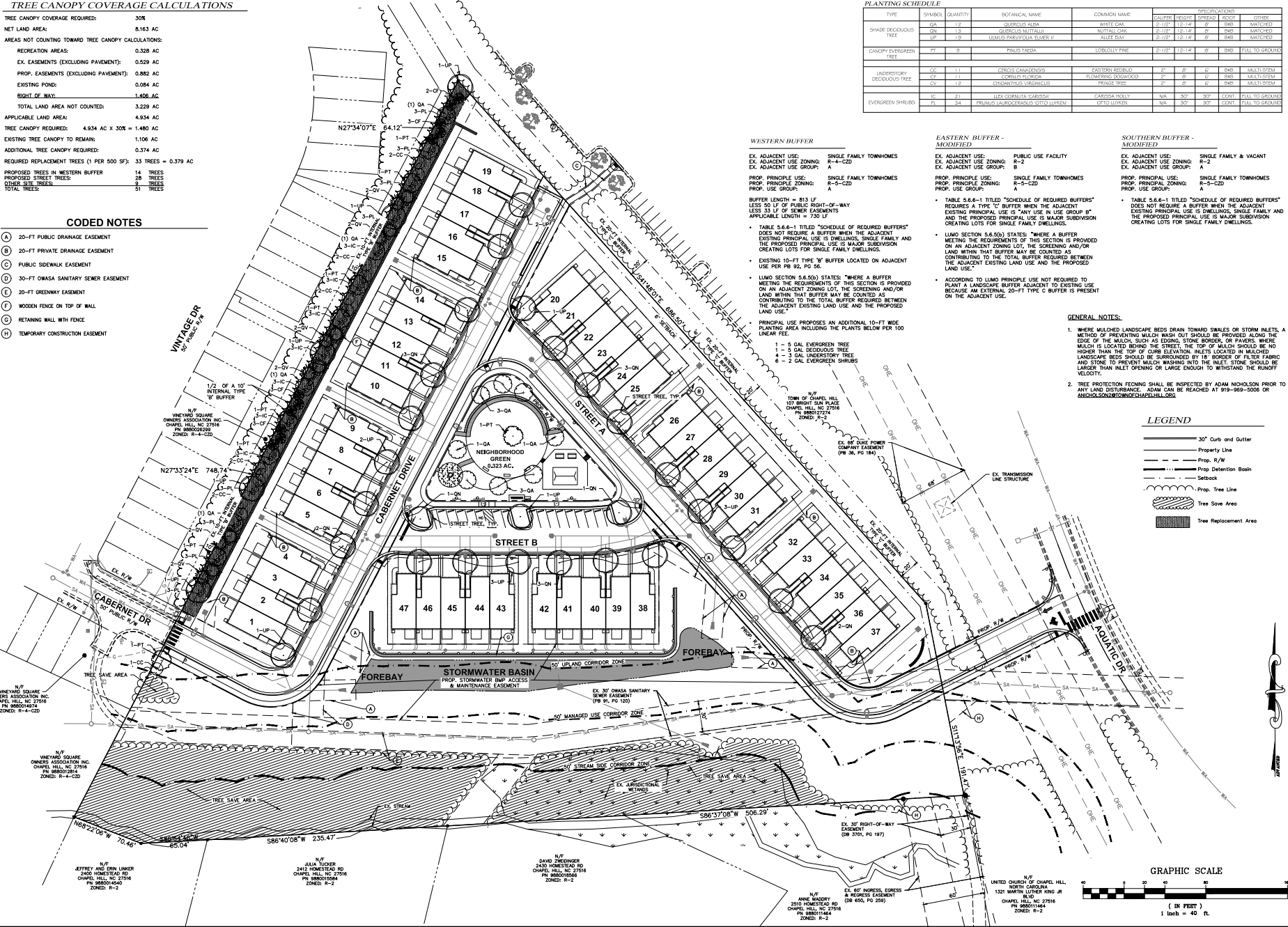
TREE CANOPY COVERAGE REQUIRED:	30%
NET LAND AREA:	8,163 AC
AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:	
RECREATION AREAS:	0.328 AC
EX. EASEMENTS (EXCLUDING PAVEMENT):	0.529 AC
PROP. EASEMENTS (EXCLUDING PAVEMENT):	0.882 AC
EXISTING POND:	0.084 AC
RIGHT-OF-WAY:	1,406 AC
TOTAL LAND AREA NOT COUNTED:	3,229 AC
APPLICABLE LAND AREA:	4,934 AC
TREE CANOPY REQUIRED: 4.934 AC X 30% = 1.480 AC	
EXISTING TREE CANOPY TO REMAIN:	1,106 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.374 AC
REQUIRED REPLACEMENT TREES (1 PER 500 SF): 33 TREES = 0.379 AC	
PROPOSED TREES IN WESTERN BUFFER:	14 TREES
PROPOSED STREET TREES:	28 TREES
OTHER SITE TREES:	9 TREES
TOTAL TREES:	51 TREES

CODED NOTES

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) WOODEN FENCE ON TOP OF WALL
- (G) RETAINING WALL WITH FENCE
- (H) TEMPORARY CONSTRUCTION EASEMENT

PLANTING SCHEDULE

TYPE	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPERS	HEIGHT	SPACING	NOTES	OTHER
SHADE DECIDUOUS TREE	QA	12	QUERCUS ALBA	WHITE OAK	2" TP	12-14'	8'	840	MATCHED
	QB	15	QUERCUS NUTTALLII	NUTTALL'S OAK	2" TP	12-14'	8'	840	MATCHED
	QP	15	ULMUS PARVIFLORA-FLABER IF	SMALL LEAF ELM	2" TP	12-14'	8'	840	MATCHED
CANOPY EVERGREEN TREE	PT	8	PRUNUS YABEDA	LOBLOLLY PINE	2" TP	12-14'	8'	840	PAI TO GROUND
	PC	11	CUNYLA CAMERONII	EASTERN REDWOOD	2"	8'	8'	840	MULTI-STEM
LANDSCAPE DECIDUOUS TREE	QF	12	CORNUS FLORIDA	DOGWOOD	2"	8'	8'	840	MULTI-STEM
	QV	12	CHONDROLOBA VIRGINICA	FRINGE TREE	2"	8'	8'	840	MULTI-STEM
EVERGREEN SHRUBS	SC	24	ILEX CORNUTA VAR. OPACA	CARRONIA HOLEY	3/4"	30"	30"	1000	PAI TO GROUND
	SL	34	PRUNUS LAUROCEARUS STYLO LYRATA	SPOTTED LAVENDER	3/4"	30"	30"	1000	PAI TO GROUND



WESTERN BUFFER

EX. ADJACENT USE: SINGLE FAMILY TOWNHOMES
 EX. ADJACENT USE ZONING: R-4-CZD
 EX. ADJACENT USE GROUP: A
 PROP. PRINCIPLE USE: SINGLE FAMILY TOWNHOMES
 PROP. PRINCIPLE ZONING: R-5-CZD
 PROP. USE GROUP: A

BUFFER LENGTH = 813 FT
 LESS 50 FT OF PUBLIC RIGHT-OF-WAY
 LESS 33 FT OF SEWER EASEMENTS
 APPLICABLE LENGTH = 730 FT

TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

EXISTING 10-FT TYPE "B" BUFFER LOCATED ON ADJACENT USE PER PB 90, PG 58.

LUMO SECTION 5.6.5(5) STATES: "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

PRINCIPAL USE PROPOSES AN ADDITIONAL 10-FT WIDE PLANTING AREA INCLUDING THE PLANTS BELOW PER 100 LINEAR FEET:

- 1 - 5 GAL EVERGREEN TREE
- 1 - 5 GAL DECIDUOUS TREE
- 1 - 5 GAL INDUSTRY TREE
- 6 - 2 GAL EVERGREEN SHRUBS

EASTERN BUFFER - MODIFIED

EX. ADJACENT USE: PUBLIC USE FACILITY
 EX. ADJACENT USE ZONING: R-2
 EX. ADJACENT USE GROUP: B
 PROP. PRINCIPLE USE: SINGLE FAMILY TOWNHOMES
 PROP. PRINCIPLE ZONING: R-5-CZD
 PROP. USE GROUP: A

TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" REQUIRES A TYPE "C" BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS "ANY USE IN USE GROUP B" AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

LUMO SECTION 5.6.5(5) STATES: "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

ACCORDING TO LUMO PRINCIPLE USE NOT REQUIRED TO PLANT A LANDSCAPE BUFFER ADJACENT TO EXISTING USE BECAUSE AN EXTERNAL 20-FT TYPE C BUFFER IS PRESENT ON THE ADJACENT USE.

SOUTHERN BUFFER - MODIFIED

EX. ADJACENT USE: SINGLE FAMILY & VACANT
 EX. ADJACENT USE ZONING: R-2
 EX. ADJACENT USE GROUP: A
 PROP. PRINCIPAL USE: SINGLE FAMILY TOWNHOMES
 PROP. PRINCIPLE ZONING: R-5-CZD
 PROP. USE GROUP: A

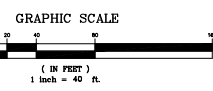
TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

GENERAL NOTES

- WHERE MULCHED LANDSCAPE BEDS DRAIN TOWARD SWALES OR STORM INLETS, A METHOD OF PREVENTING MULCH WASH OUT SHOULD BE PROVIDED ALONG THE EDGE OF THE MULCH, SUCH AS EROSION STONE BORDERS OR PARADES. WHERE MULCH IS LOCATED BEHIND THE STREET, THE TOP OF MULCH SHOULD BE NO HIGHER THAN THE TOP OF CURB ELEVATION. INLETS LOCATED IN MULCHED LANDSCAPE BEDS SHOULD BE SURROUNDED BY 18" BORDER OF FILTER FABRIC AND STONE TO PREVENT MULCH WASHING INTO THE INLET. STONE SHOULD BE LARGER THAN INLET OPENING OR LARGE ENOUGH TO WITHSTAND THE RUNOFF VELOCITY.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5008 OR ANICHOLSON@TRCINC.COM/CHAPELHILL, NC

LEGEND

- 30" Curb and Outer
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Prop. Tree Line
- Tree Save Area
- Tree Replacement Area



DATE PREPARED BY: [Signature]

DATE PREPARED FOR: [Signature]

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STANAT'S PLACE
 CONDITIONAL ZONING PLANS
 KB HOME CAROLINAS
 PLANTING PLAN

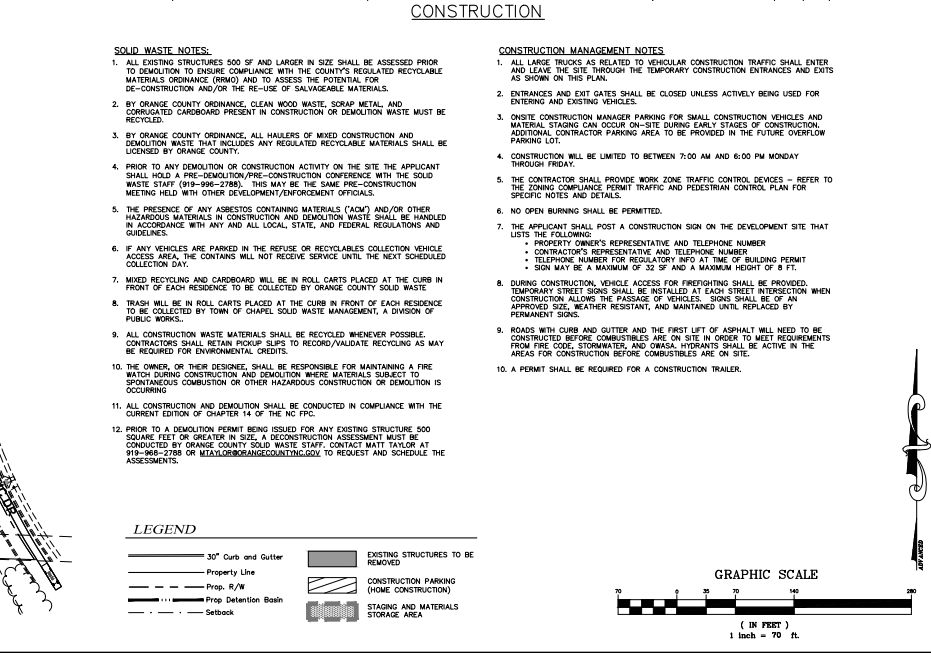
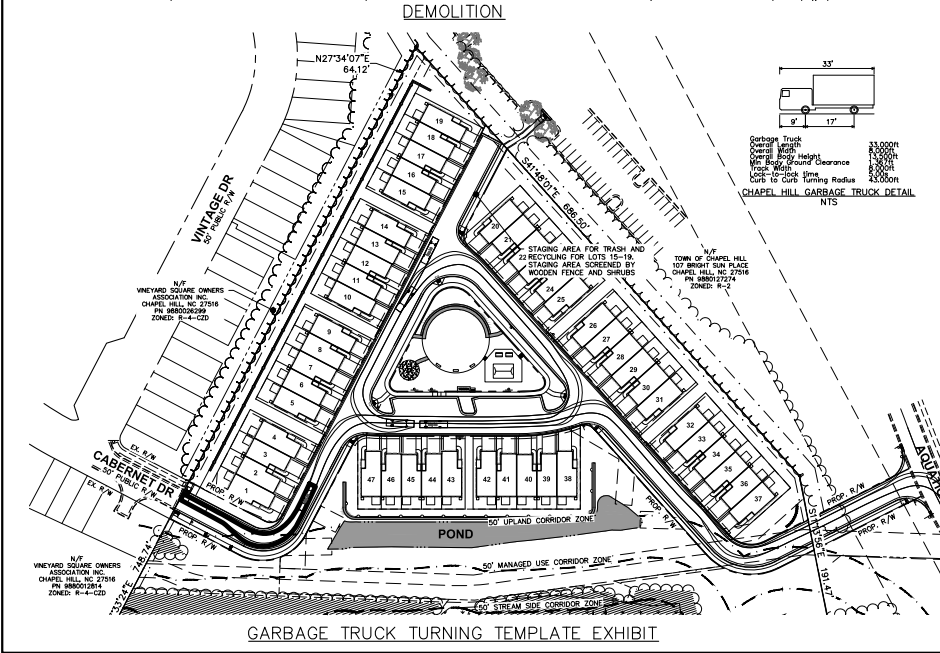
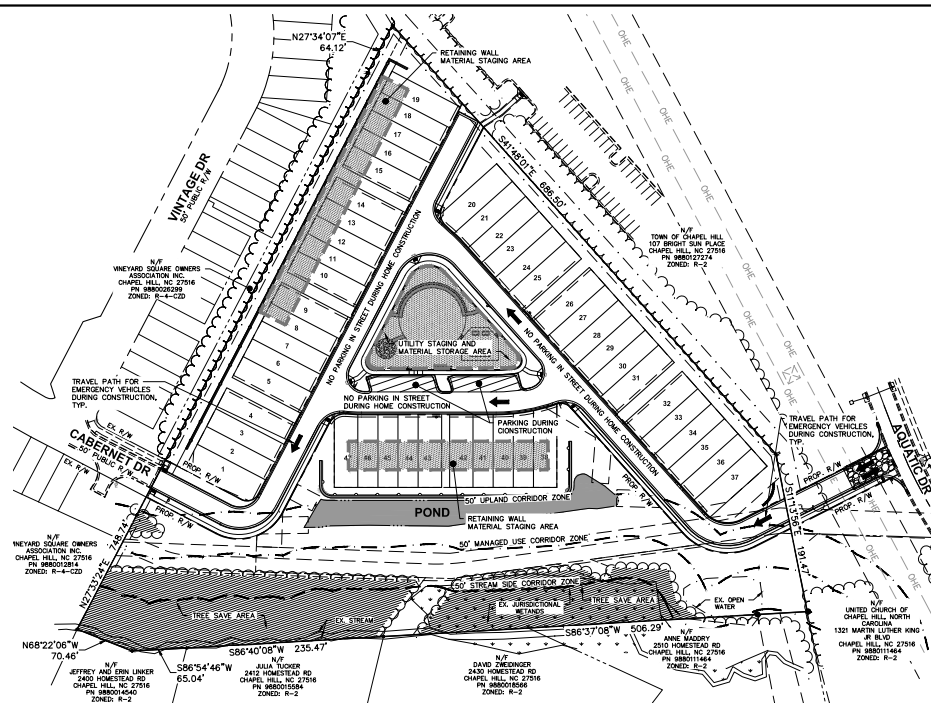
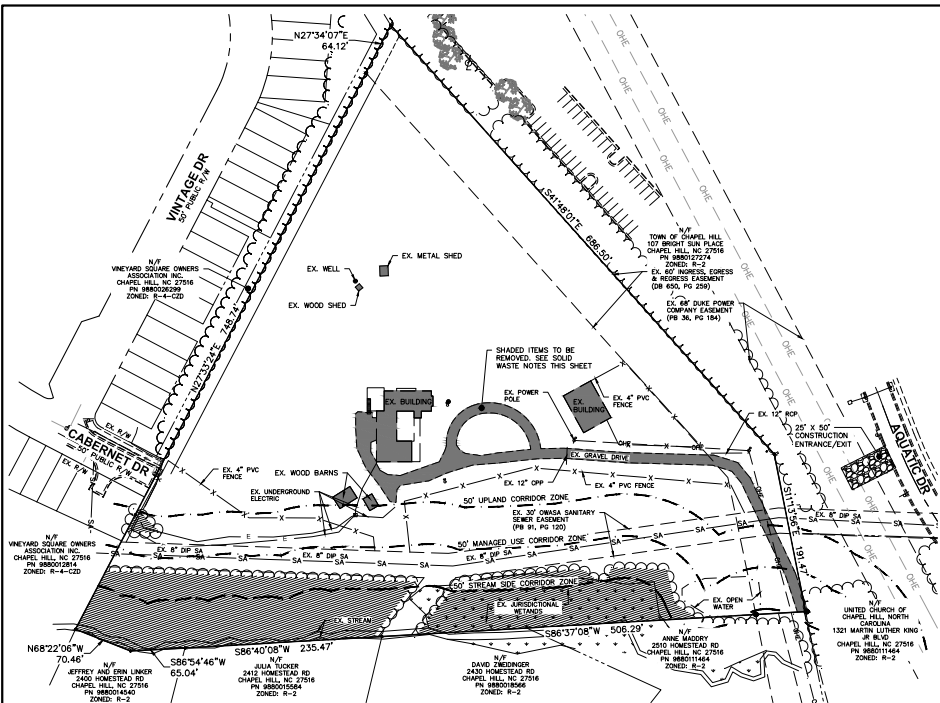
06/04/2022

DATE: 05/04/2022
 SCALE: 1" = 40'

Drawn By: JRR
 Checked By: CMR

Project Number: 21-0002-978
 Sheet Number: 11/16

03-11-002-1789C-03(Pre)Construction Drawings/Development Plans/Conditional Zoning Plans/002-0178 Construction Management Plan May 04, 2022 - 2:32:37pm csh



PLAN PREPARED BY:

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PROJECT NAME:

STANAT'S PLACE

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

CONDITIONAL ZONING PLANS

KB HOME CAROLINAS

CONSTRUCTION MANAGEMENT PLAN

DATE: 05/04/2022

Scale: 1" = 70'

Drawn By: JRR

Checked By: CMR

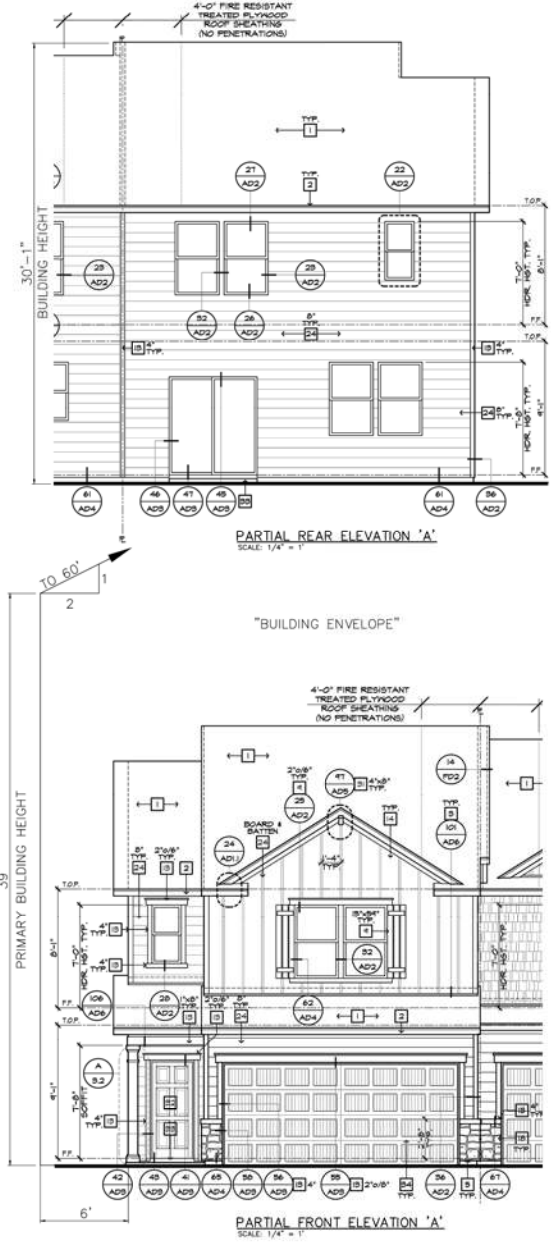
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21-0002-978

Sheet Number:

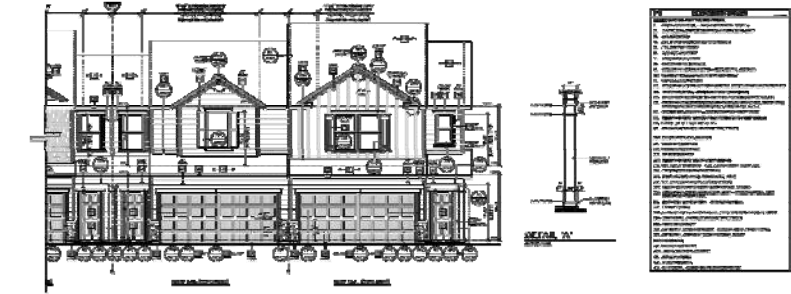
12/16

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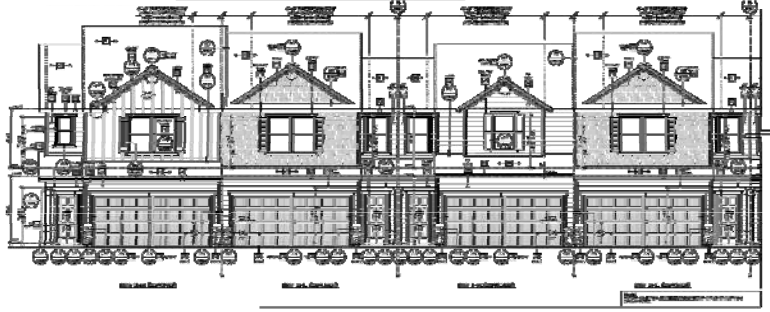


DRAWN BY: JRR
 CHECKED BY: CMR
 PROJECT NUMBER: 21-0002-978
 SHEET NUMBER: 13/16
 DATE: 05/04/2022
 SCALE: 1/4" = 1'
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 SUBMITTAL #2: 2022-04-27 STATE ENERGY EXHIBIT SUBMITTAL #2
 SUBMITTAL #3: 2022-05-04 CONDITIONAL ZONING SUBMITTAL #3
 05/04/2022
 PRELIMINARY
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 STATE BOARD OF EXAMINERS
 ARCHITECTS
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 www.ncarchitects.com
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 STANAT'S PLACE
 HOMESTEAD ROAD, CHEFEL HILL, NC - ORANGE COUNTY
 CONDITIONAL ZONING PLANS
 KB HOME CAROLINAS
 BUILDING ELEVATION EXHIBIT

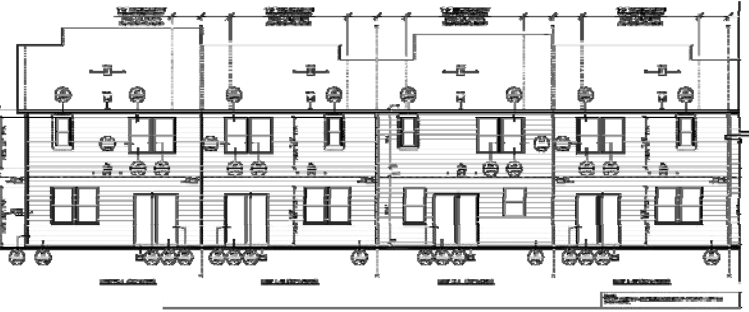
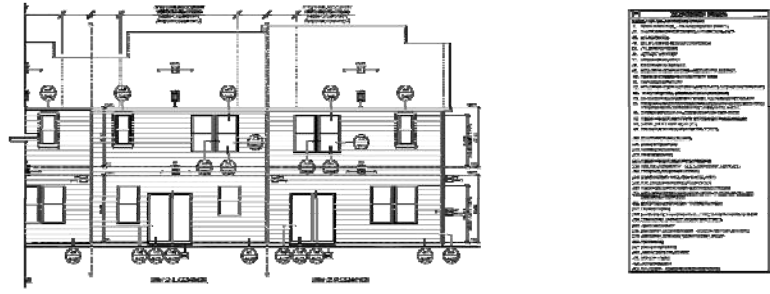
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PARTIAL FRONT ELEVATION 'A'
SCALE: 1/8" = 1'



PARTIAL REAR ELEVATION 'A'
SCALE: 1/8" = 1'



PLAN PREPARED BY:
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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
GROUP UNIT ELEVATION EXHIBIT



05/04/2022

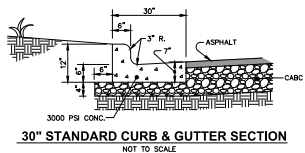
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	2022-04-01	DATE ENERGY IMPROVEMENT & RESILIENCE #1
	2022-04-01	DATE ENERGY IMPROVEMENT & RESILIENCE #2
	2022-05-04	CONDITIONAL ZONING SUBMITTAL #2

Date: 05/04/2022
Scale: 1/8" = 1'

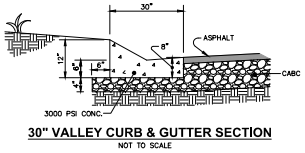
Drawn By: JRR
Checked By: CMR

Project Number:
21-0002-978

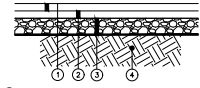
Sheet Number:
14 / 16



30" STANDARD CURB & GUTTER SECTION
NOT TO SCALE

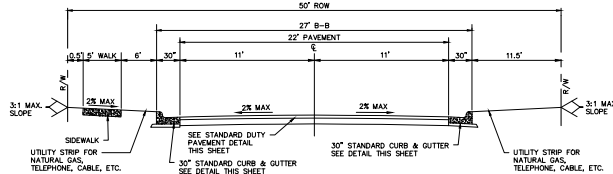


30" VALLEY CURB & GUTTER SECTION
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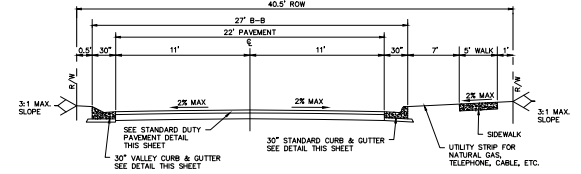


- ① SURFACE COURSE, 1" ASPHALT PAVEMENT
- ② BASE COURSE, 2" ASPHALT PAVEMENT
- ③ 8" COMPACTED AGGREGATE BASE COURSE
- ④ SUBGRADE COMPACTION

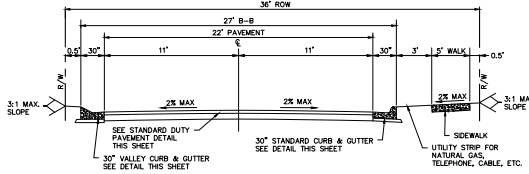
STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



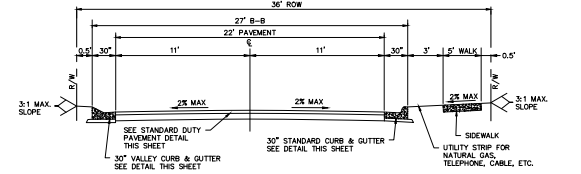
CABERNET DRIVE - 27' B/B SECTION (50' R/W)
NOT TO SCALE



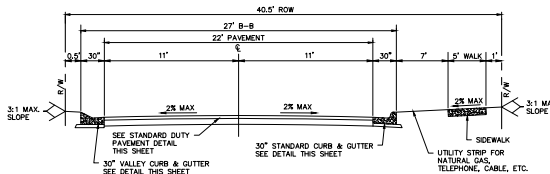
STREET A - 27' B/B SECTION (40.5' R/W)
NOT TO SCALE



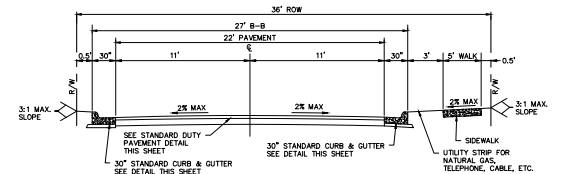
CABERNET DRIVE - 27' B/B SECTION (36' R/W)
NOT TO SCALE



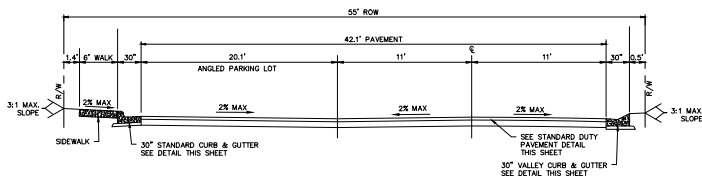
STREET A - 27' B/B SECTION (36' R/W)
NOT TO SCALE



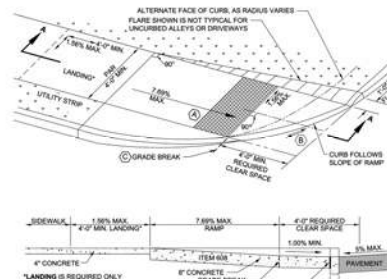
CABERNET DRIVE - 27' B/B SECTION (40.5' R/W)
NOT TO SCALE



STREET A - 27' B/B SECTION (36' R/W)
NOT TO SCALE

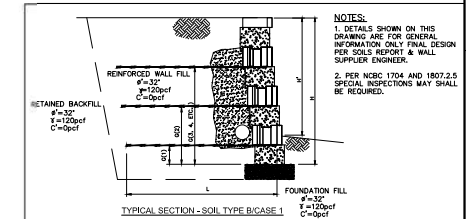


STREET B - 45.5' B/B SECTION (53' R/W)
NOT TO SCALE



- CODED NOTES:
- (A) DETECTABLE WARNING DOMES SHOULD BE 100% MINIMUM SLOPE
 - (C) WHERE THE DISTANCE FROM EITHER END OF THE BOTTOM OF THE GRADE BREAK TO THE BACK OF CURB IS GREATER THAN 1 FT, THE DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF CURB

CURB RAMP DETAIL
NOT TO SCALE



- NOTES:
- DETAILS SHOWN ON THIS DRAWING ARE FOR GENERAL INFORMATION ONLY. FINAL DESIGN PER SOils REPORT & WALL SUPPLIER ENGINEER.
 - PER NCIC 1704 AND 1807.2.5 SPECIAL INSPECTIONS MAY BE REQUIRED.

TOTAL HEIGHT	SOIL TYPE	SOIL TYPE B/CASE 1												
		1	2	3	4	5	6	7	8	9	10	11		
2'-0"	0	N/A	N/A	-	-	-	-	-	-	-	-	-	-	-
2'-0"	0	N/A	N/A	-	-	-	-	-	-	-	-	-	-	-
4'-0"	1	4'-0"	A	2'-4"	-	-	-	-	-	-	-	-	-	-
7'-0"	3	4'-0"	A	2'-0"	4'-0"	6'-0"	-	-	-	-	-	-	-	-
10'-0"	4	4'-0"	A	1'-4"	2'-4"	1'-4"	8'-4"	-	-	-	-	-	-	-
11'-0"	10'-0"	6	5'-4"	A	5'-4"	2'-0"	2'-4"	5'-4"	2'-4"	8'-4"	-	-	-	-
12'-0"	12'-0"	7	8'-4"	B	2'-4"	2'-4"	10'-4"	10'-4"	10'-4"	10'-4"	-	-	-	-
13'-0"	13'-0"	8	8'-4"	B	2'-4"	2'-4"	10'-4"	10'-4"	10'-4"	10'-4"	-	-	-	-
14'-0"	14'-0"	9	8'-4"	B	2'-4"	2'-4"	10'-4"	10'-4"	10'-4"	10'-4"	-	-	-	-
15'-0"	15'-0"	9	10'-0"	C	2'-4"	2'-4"	10'-4"	10'-4"	10'-4"	10'-4"	-	-	-	-
17'-0"	17'-0"	10	11'-0"	C	2'-4"	2'-4"	10'-4"	10'-4"	10'-4"	10'-4"	-	-	-	-

MODULAR RETAINING WALL
SCALE: NONE

PLAN PREPARED BY: [Logo]

KB HOME CAROLINAS
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PHONE: 919.687.9500

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
DETAILS

DATE: 05/04/2022
SCALE: 1/8" = 1'-0"

Drawn By: JRR
Checked By: CUR

Project Number: 21-0002-978
Sheet Number: 16/16

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**STANAT'S PLACE
RESIDENTIAL DEVELOPMENT**

DRAFT TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
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NCBELS License #: C-1554

March 2022



**STANAT'S PLACE
RESIDENTIAL DEVELOPMENT**

DRAFT TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

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Public Works Department - Engineering

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NCBELS License #: C-1554

March 2022



EXECUTIVE SUMMARY - DRAFT

Project Overview

A new residential community, known as Stanat's Place, is being proposed in Chapel Hill near Homestead Road and Aquatic Drive. **Figure ES-1** shows the general location of the site. The project proposes to construct 47 individual residential townhome/condominium units and is anticipated to be fully complete and occupied by 2025. This report analyzes the full build-out scenario for Stanat's Place for the year 2026 (one year after anticipated completion), the no-build scenario for 2026, as well as 2022 existing year traffic conditions. The impacts of the proposed site at the study area intersections are evaluated during the AM, noon, and PM peak hours of an average weekday.

The current proposed site plan shows a provision for a full movement access driveway serving the site that connects to Aquatic Drive and a provision for a full movement access street connection to tie into existing Cabernet Drive in the Vineyard Square subdivision that would provide external connectivity to Weaver Dairy Road Extension via Napa Valley Way. No other external roadway vehicular access connections are proposed. **Figure ES-2** displays the overall site plan and nearby land uses and roadways. The Stanat's Place site is expected to provide individual vehicle parking spaces located as part of each condominium lot – with potential on-street parking allowed in areas where curb space permits. Several internal street parking spaces near the central neighborhood green are also proposed. This report analyzes and presents the transportation impacts that Stanat's Place will have on the following intersections in the project study area:

- Homestead Road and Weaver Dairy Road Extension
- Homestead Road and Aquatic Drive / Chapel View Apartments Driveway
- Homestead Road and NC 86 (Martin Luther King, Jr. Boulevard)
- Weaver Dairy Road Extension and Sonoma Way / Napa Valley Way
- Aquatic Drive and Proposed Site Driveway

Existing Conditions

Study Area

The site is located in north Chapel Hill north of Homestead Road. The study area contains two signalized intersections along Homestead Road at NC 86 (Martin Luther King, Jr. Boulevard) and Weaver Dairy Road Extension. Two scenarios are analyzed in this study – one assessing two access points from the site (Aquatic Drive and Cabernet Drive) and one assessing a single access at Aquatic Drive only. NC 86 (Martin Luther King, Jr. Boulevard) is a major north-south arterial providing connectivity between downtown Chapel Hill, north and south Chapel Hill, the I-40 corridor and Hillsborough. Homestead Road is a minor east-west arterial providing connectivity through northern Chapel Hill. Remaining study area network roadways are either suburban collector streets or local neighborhood/commercial access streets.

Site Traffic Generation

With the addition of new trips during the weekday AM, noon, and PM peak hours, there are potential site traffic impacts to study area intersections. **Table ES-1** shows the site trip generation details, with rates taken from the Institute of Transportation Engineers (ITE) *Trip Generation Manual, Version 10*.

Background Traffic

Background traffic growth for the 2026 analysis years is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Four Town-approved sites near the project study area were considered for specific development related growth. All remaining estimated



traffic volume increases are assumed to occur due to overall region-wide ambient growth (assumed 1.5 percent per year) based on NCDOT/Town historic growth data and taking into consideration the on-going rebound to pre-COVID traffic levels caused by the pandemic.

Table ES-1. Weekday Vehicle Trip Generation Summary

Description	Density	Daily			AM Peak			Noon Peak*			PM Peak		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
Condominiums	47 Units	157	157	314	5	18	23	12	15	27	19	11	30

* - No Noon Peak ITE Data Available – Used Average of AM and PM Peak Data

Impact Analysis

Peak Hour Intersection Level of Service

Existing traffic operations at all study area intersections are acceptable during all three peak hours analyzed. The projected ambient and background development traffic growth will increase impacts by 2026. Even with the addition of peak hour site-generated trips to the projected 2026 background traffic volumes, no study area intersection is expected to experience deficient traffic operations in any peak hour and projected maximum queues at all locations are not expected to be excessive. No additional mitigation improvements to any intersection were considered necessary. A summary of the traffic operations for each intersection, related to vehicular delays (intersection average as a whole if signalized, critical movement if stop-controlled) and the corresponding traffic simulation Level-of-Service (LOS_s) is shown in **Table ES-2**.

Table ES-2. Peak Hour Intersection Capacity Analysis Summary

Intersections	Peak Hour	2022 Existing		2026 No-Build		2026 Build Two Access Points		2026 Build One Access Point		2026 Mitigated	
		LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
Homestead Road & Weaver Dairy Road Extension	AM	B	15.6	A	9.0	A	9.1	A	9.0	N/A	N/A
	NOON	B	14.2	B	10.4	A	9.8	B	10.0	N/A	N/A
	PM	B	16.4	B	13.2	B	13.0	B	13.4	N/A	N/A
Homestead Road & Aquatic Drive / Chapel View Apts Driveway [#]	AM	A	7.7	A	8.2	A	8.9	A	9.6	N/A	N/A
	NOON	A	6.2	A	6.7	A	7.3	A	7.5	N/A	N/A
	PM	A	7.5	A	9.1	A	9.4	B	10.4	N/A	N/A
Homestead Road & NC 86 (Martin Luther King, Jr. Boulevard)	AM	B	17.0	B	14.2	B	14.4	B	14.3	N/A	N/A
	NOON	B	19.7	C	22.8	C	23.1	C	23.2	N/A	N/A
	PM	B	16.5	B	17.6	B	18.0	B	18.1	N/A	N/A
Weaver Dairy Road Extension & Sonoma Way / Napa Valley Way [#]	AM	A	8.3	A	8.8	A	9.1	A	8.6	N/A	N/A
	NOON	A	5.7	A	5.9	A	6.2	A	5.8	N/A	N/A
	PM	A	7.5	A	8.5	A	8.9	A	8.0	N/A	N/A
Aquatic Drive & Proposed Site Driveway [#]	AM	N/A	N/A	N/A	N/A	A	4.5	A	4.5	N/A	N/A
	NOON	N/A	N/A	N/A	N/A	A	4.6	A	4.5	N/A	N/A
	PM	N/A	N/A	N/A	N/A	A	4.6	A	4.5	N/A	N/A

N/A – Not Applicable or No Improvements Necessary

BOLD/ITALICS – Critical Movement or Overall Intersection Requires Mitigation Per Town TIA Guidelines

- Worst-Case LOS/Delay for Unsignalized/Stop-Controlled Critical Movement



Access Analysis

Vehicular site access to the project is to be accommodated at a proposed full movement local street access connecting to Aquatic Drive about 1,100 feet to the north of Aquatic Drive's intersection with the Homestead Road. The proposed driveway has single inbound and outbound lanes. A second local street access connection is also proposed to link with Cabernet Drive within the Vineyard Square subdivision. This connection would provide access between Stanat's Place and the Weaver Dairy Road Extension via Napa Valley Way. Driveway throat lengths, and intersection/driveway separation minimum criteria, as set forth in the 2003 *NCDOT Policy on Street and Driveway Access to North Carolina Highways* and the 2017 Town of Chapel Hill Design Manual are acceptable for current site plans for the project.

Access for pedestrians is adequate in the project study area and will be improved with the construction of the Town's Homestead Road Improvements project. Crosswalk exists across the NC 86, Aquatic Drive, and Weaver Dairy Extension intersections. No specific bicycle amenities are present along Homestead Road, but bicycle lanes are present on the Weaver Dairy Road Extension and along NC 86 north of Homestead Road. Additional bicycle lanes/off-road paved paths along Homestead Road will be provided upon the completion of the Town's improvement project.

Signal Warrant Analysis

Based on projected 2026 traffic volumes and proposed access plans, no unsignalized study area intersection with Homestead Road would warrant the installation of a traffic signal, based on the Peak Hour warrant methodology found in the *2009 Manual on Uniform Traffic Control Devices (MUTCD)*.

Crash Analysis

Data from the NCDOT Traffic Safety Unit was provided for the five-year period 2/1/2017 to 1/31/2022 for the segments of Homestead Road and Weaver Dairy Road Extension in the vicinity of the proposed site. There were 13 crashes reported along Homestead Road study area corridor between Weaver Dairy Road Extension and NC 86 over the five year period and 3 crashes along Weaver Dairy Road Extension north of Homestead Road to Sonoma Way. The primary crash type was rear end crashes and crashes were primarily clustered near the NC 86 intersection. Overall, the number and severity of crashes along Homestead Road and Weaver Dairy Road Extension in the project study area is lower than state-wide averages for similar facilities.

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the 2001 Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using TransModeler maximum queue length estimates for the 2026 Build Scenario. At the intersection of Homestead Road and Weaver Dairy Road Extension, the southbound right-turn lane queue may exceed its existing storage regardless of site traffic impacts. Adjustments to signal timing may be necessary to mitigate this issue. No other intersection maximum queue results indicate potential queue spillback.
Appropriateness of Acceleration/Deceleration Lanes	With low posted neighborhood speed limits and relatively light traffic turning volumes, no additional acceleration/decelerations lanes are necessary in the vicinity of the project. Existing roadway facilities have appropriate auxiliary turn lanes to facilitate traffic flow.



Analysis	Comment
Pedestrian and Bicycle Analysis	Existing pedestrian access and connectivity is adequate along the Homestead Road corridor just south of the site, though some gaps exist on both sides of the road in certain areas. Bicycle lanes extend along NC 86 north of Homestead Road and along the Weaver Dairy Road Extension with bicycle sharrows present on Aquatic Drive, but no bicycle facilities exist along Homestead Road within the project study area. The Town's Homestead Road Improvements project will considerably improve pedestrian and bicycle facilities along Homestead Road to the west of the project study area.
Public Transportation Analysis	Public transportation service to the study area, and to the proposed site is adequate, with bus stops and multiple local and regional bus routes on both NC 86 and Homestead Road proximate to the site.

Mitigation Measures/Recommendations

Planned Improvements

There are no North Carolina Department of Transportation improvement projects for study area roadway facilities within the analysis year time frame of 2022-2026. The Town of Chapel Hill has a transportation improvement project currently slated for construction prior to the 2026 site build-out year. The Homestead Road Improvements project (U-4726 IK) will create a consistent three-lane roadway cross-section west of the Weaver Dairy Road Extension intersection, as well as construct pedestrian and bicycle facility improvements between Seawell School Road and Weaver Dairy Road Extension. Improvements related to this project are shown schematically on **Figure ES-3**.

The Town also has the North-South Bus Rapid Transit Project, which will provide dedicated lanes for transit along the NC 86 corridor, along with other transit amenity improvements scheduled for construction in 2028. As final design details are not complete as of the submittal of this TIA, no specific lane usage changes along NC 86 were analyzed as part of this study.

Background Committed Improvements

Several traffic impact studies for development projects in and near the study area recommended signal timing reoptimization for signalized intersections along the NC 86 corridor by their respective build-out years. It is assumed that signal timing reoptimization will occur for the NC 86 corridor and for the Homestead Road/Weaver Dairy Road intersection by the year 2026, whether or not specifically needed by any of the proposed background traffic generating developments included in this study.

Applicant Committed Improvements

Based on the preliminary site plans and supporting development information provided, there are several specific transportation-related improvements proposed for the Stanat's Place project. Internal and external improvements (shown schematically in **Figure ES-3**) include:

- Provision of a primary full movement access street connecting to Aquatic Drive with a proposed unsignalized crosswalk to access existing sidewalk on the eastern side of Aquatic Drive. Sidewalk on at least one side of this access street, along with all other proposed access streets within Stanat's Place will be provided.
- Provision of a multi-use path along the southern property frontage that ties into the proposed sidewalk described above and would allow future connection to undeveloped properties to the west near the Weaver Dairy Road Extension.
- Construction of a full access minor street connection to existing Cabernet Drive with an accompanying extension of existing sidewalk along Cabernet Drive to connect to internal sidewalk in the Stanat's Place development.

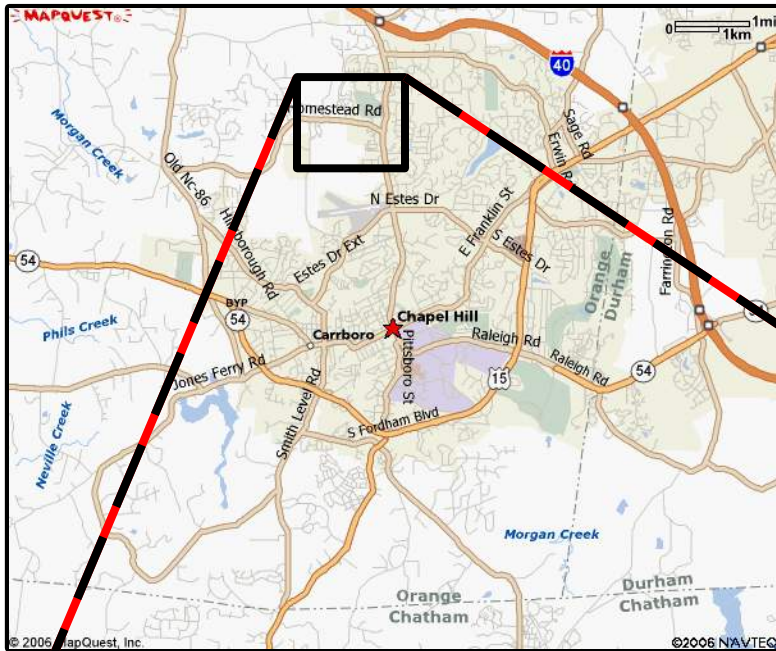


Necessary Improvements





Based on traffic capacity analyses for the 2026 design year with one access point or two access points for the Stanat's Place development and analyses of existing study area turning bay storage lengths and site access, the following improvement is recommended as being necessary for adequate transportation network operations and safety (see **Figure ES-3**).

- The proposed local access connection between the site and Cabernet Drive is not expected to cause excessive additional traffic demands through the existing Vineyard Square neighborhood, nor conversely to attract excessive traffic demand from the existing neighborhood through the Stanat's Place development. To help ensure that traffic traveling between the two neighborhoods maintains appropriate speeds using the connection, it is recommended that a traffic calming measure – such as a raised speed table – be constructed in the vicinity of the proposed connection along Cabernet Drive, along with appropriate upstream warning signage in both directions for the speed table. Coupled with the nearby curvature of the Cabernet Drive extension into Stanat's Place and the presence of on street parked vehicles in the Vineyard Square subdivision, these measures should mitigate any excessive vehicle speeds in the vicinity of this proposed connection.



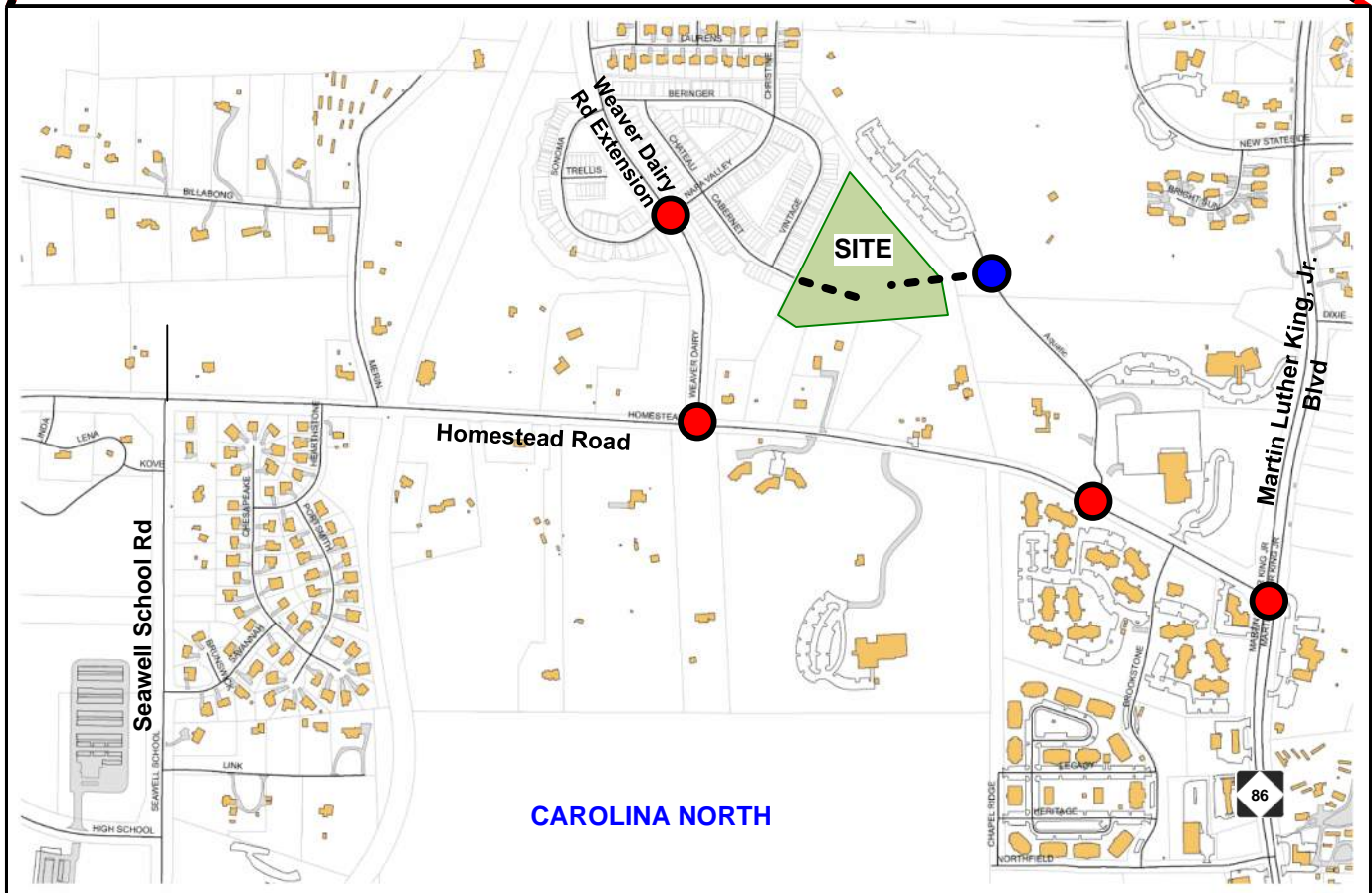


LEGEND

-  = Existing Building Footprint
-  = Existing Study Area Intersection
-  = Proposed Site Driveway
-  = Proposed 2200 Homestead Site



NOT TO SCALE



Source: Town of Chapel Hill GIS Files

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**Stanat's Place Residential
Transportation Impact Analysis**

PROJECT STUDY AREA

DATE: March 2022

FIGURE ES-1

EXISTING POND:	0.084 AC
RIGHT OF WAY:	1.294 AC
TOTAL LAND AREA NOT COUNTED:	3.429 AC
APPLICABLE LAND AREA:	4.734 AC
TREE CANOPY REQUIRED:	4.734 AC X 30% = 1.420 AC
EXISTING TREE CANOPY TO REMAIN:	1.130 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.291 AC
REQUIRED REPLACEMENT TREES (1 PER 500 SF):	25 TREES = 0.287 AC
PROPOSED STREET TREES:	26 TREES
OTHER SITE TREES:	4 TREES
TOTAL TREES:	30 TREES

CODED NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) CHAPEL HILL STONE RETAINING/DEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1 CHILDREN'S PLAY STRUCTURE WITH FRINGE TABLES
- (G) GATHERING SPACE #2 FIRE PIT WITH CHAPEL HILL GRIT SURFACE
- (H) 4' BRICK WALKWAY
- (I) FENCE

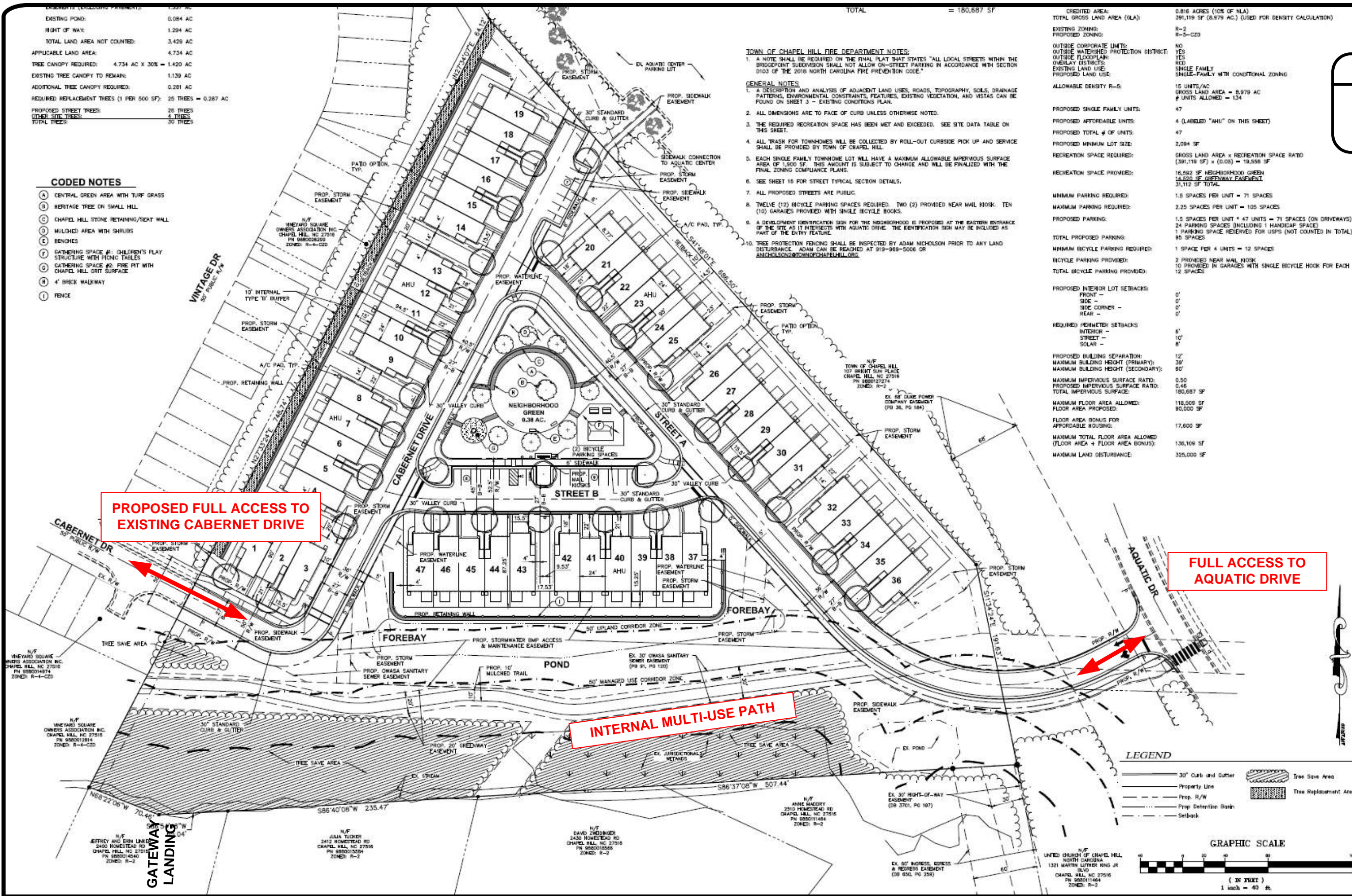
TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

- A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPOINT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION 0103 OF THE 2016 NORTH CAROLINA FIRE PREVENTION CODE."
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
- ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
- EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 1,500 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
- SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
- ALL PROPOSED STREETS ARE PUBLIC.
- TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL HOOK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOKS.
- A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5006 OR ANICHOLSON@TOWNOFCHAPELHILL.ORG.

CREATED AREA:	0.816 ACRES (10% OF NLA)
TOTAL GROSS LAND AREA (GLA):	391,119 SF (8,979 AC.) (USED FOR DENSITY CALCULATION)
EXISTING ZONING:	R-2
PROPOSED ZONING:	R-5-C20
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NO
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	47
PROPOSED MINIMUM LOT SIZE:	2,094 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (391,119 SF) x (0.05) = 19,556 SF
RECREATION SPACE PROVIDED:	16,592 SF NEIGHBORHOOD GREEN 14,500 SF GOLFWAY FOREVAULT 31,112 SF TOTAL
MINIMUM PARKING REQUIRED:	1.5 SPACES PER UNIT = 71 SPACES
MAXIMUM PARKING REQUIRED:	2.25 SPACES PER UNIT = 105 SPACES
PROPOSED PARKING:	1.5 SPACES PER UNIT * 47 UNITS = 71 SPACES (ON DRIVEWAYS) 24 PARKING SPACES (INCLUDING 1 HANDICAP SPACE) 1 PARKING SPACE RESERVED FOR USPS (NOT COUNTED IN TOTAL) 95 SPACES
TOTAL PROPOSED PARKING:	95 SPACES
MINIMUM BICYCLE PARKING REQUIRED:	1 SPACE PER 4 UNITS = 12 SPACES
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL HOOK 10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
TOTAL BICYCLE PARKING PROVIDED:	12 SPACES
PROPOSED INTERIOR LOT SETBACKS:	FRONT - 0' SIDE - 0' REAR CORNER - 0' REAR - 0'
REQUIRED HEIGHTER SETBACKS:	INTERIOR - 6' STREET - 10' SOLAR - 8'
PROPOSED BUILDING SEPARATION:	12'
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	50'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.46
TOTAL IMPERVIOUS SURFACE:	180,687 SF
MAXIMUM FLOOR AREA ALLOWED:	116,509 SF
FLOOR AREA PROPOSED:	90,000 SF
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	17,600 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	136,109 SF
MAXIMUM LAND DISTURBANCE:	325,000 SF

LEGEND

= PROPOSED SITE ACCESS



LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

NOT TO SCALE

**Stanat's Place Residential
Transportation Impact Analysis**

PRELIMINARY SITE PLAN

DATE: March 2022

FIGURE ES-2

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LEGEND

- = TOWN/DEVELOPER BACKGROUND COMMITTED IMPROVEMENT
- = APPLICANT COMMITTED IMPROVEMENT

- = NECESSARY IMPROVEMENT
- = NEW CROSS-WALK / PEDESTRIAN SIGNAL
- = PEDESTRIAN / BICYCLE IMPROVEMENTS

