

UNC HEALTH CARE SYSTEM EASTOWNE REDEVELOPMENT MOB 1

UNC HEALTH CARE SYSTEM PERMIT FOR REDEVELOPMENT MOB 1 PROJECT NUMBER: 17020

SPECIAL USE PERMIT 100 EASTOWNE DR CHAPEL HILL, NORTH CAROLINA PROJECT NUMBER: UNC-17020

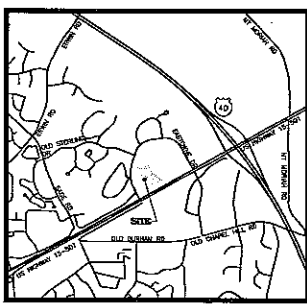
DATE: MARCH 6, 2018
REVISED: APRIL 4, 2018
REVISED: JUNE 12, 2018

SITE DATA:	
PHYSICAL ADDRESS:	100 EASTOWNE DRIVE CHAPEL HILL, NC 27514
OWNER:	HEALTH SYSTEM PROPERTIES, LLC 211 FRIDAY CENTER DRIVE CHAPEL HILL, NORTH CAROLINA 27517
PLN:	SR0000045
EXISTING ZONING:	DR-3
PROPOSED ZONING:	DR-3
NET LAND AREA:	4.36 AC
CREATED STREET AREA:	6.80 AC
CRUISE LAND AREA:	1.31 AC
AREA IN FLOODPLAIN/FLOODPLAIN:	NONE
AREA IN FLOOD:	0.0000 SF
BUILDING HEIGHT:	MAX. PROPOSED HGT. PROPOSED WID. PROPOSED PARKING DECK
MAXIMUM BUILDING HEIGHT (OUTSIDE):	N/A 74' 4'
MAXIMUM BUILDING HEIGHT (CORE):	N/A 107' 6'
SLURRY AREA:	
MAXIMUM FILL DEPTH:	
MAXIMUM FILL VOLUME:	
PROPOSED FLOOR AREA:	10,000 SF
EXISTING FLOOR AREA TO REMAIN:	12,544 SF
ROADWAY STRIPES:	DR-3 EXISTING DRIVE
SPRINKLER:	0 FEET 20 FEET
WATER:	0 FEET 8 FEET
SEWER:	0 FEET 0 FEET
EMERGENCY SERVICES:	REQUIRED
MEDICAL OFFICE:	N/A N/A 274 8' ON DECK 20 (20 CLASS 1 IN NEW)
TYPE:	N/A N/A 50 0
ACCESSIBLE PARKING:	NO SIGNAGE TO BE INSTALLED TO SERVE JACK OFF TOTAL SPACES.
MEDICAL OFFICE:	88 IN DECK 4 (SURFACE)
REQUIREMENTS AREA SUMMARY:	
REQUIREMENTS ALIGNED:	300,714 SF (6,840)
DELETED:	10,000 SF (228)
PROPOSED:	10,000 SF (228)
EXISTING/REQUIREMENTS BY ZONE:	
STRAIGHTENED:	4,000 SF
MANAGED USE:	8,500 SF
RELAND:	15,716 SF
PROPOSED/REQUIREMENTS BY ZONE:	
STRAIGHTENED:	2,000 SF 0 SF 2,000 SF
MANAGED USE:	7,500 SF 0 SF 7,500 SF
RELAND:	8,207 SF 3,000 SF 11,207 SF
REQUIREMENTS:	REQUIRED
EXISTING DRIVE:	20' TYPE 'C'
REQUIREMENTS DRIVE:	20' TYPE 'C'
REQUIREMENTS PROPERTY LINE:	10'

OWNER:
UNC
HEALTH CARE
HEALTH SYSTEM PROPERTIES, LLC
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517
SIMON.GEORGE@UNCHEALTH.UNC.EDU
(984) 974-5388

SHEET INDEX

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- A-1 BUILDING FRONTAGE ELEVATIONS
- A-2 PARKING DECK ELEVATION

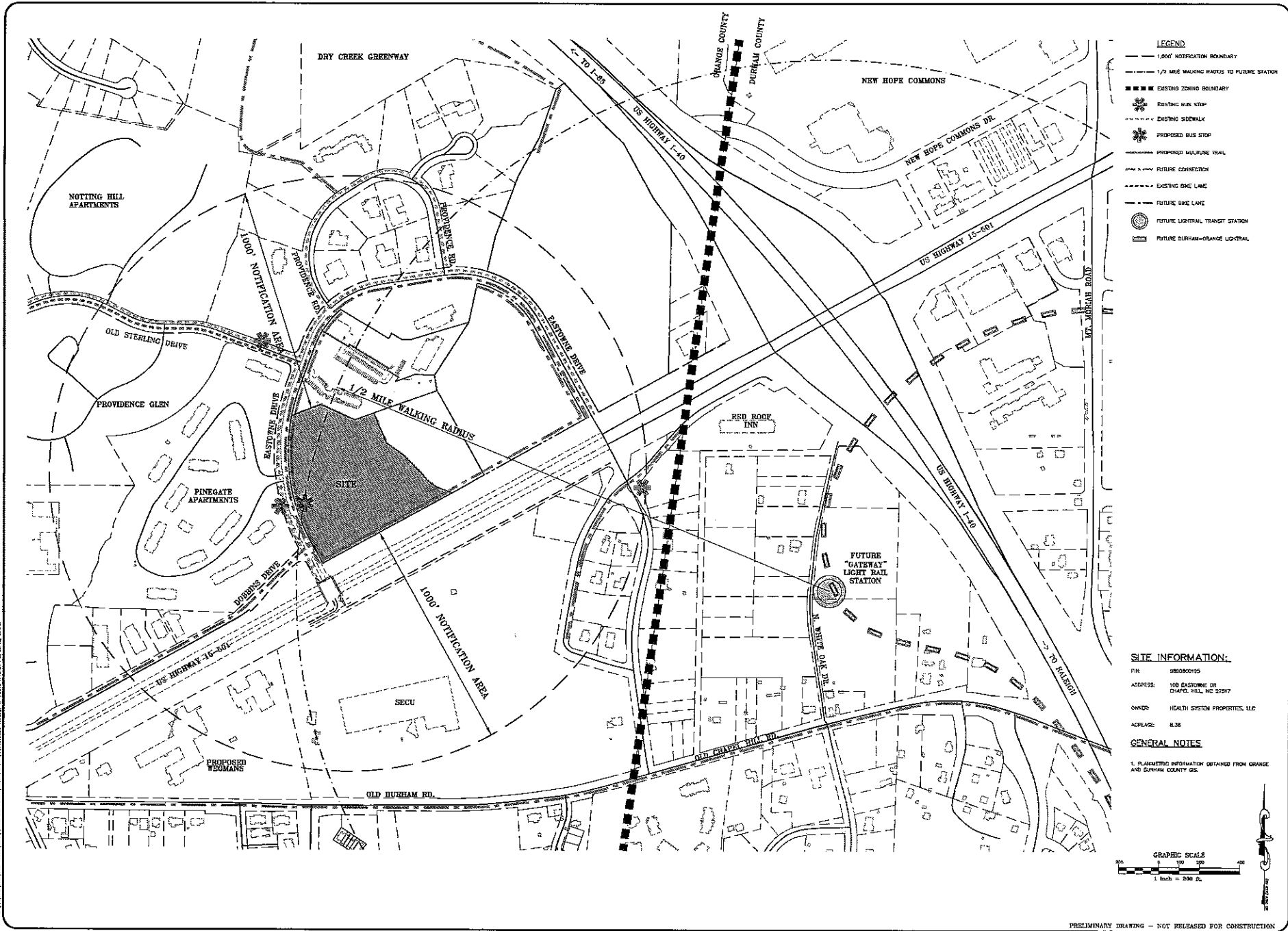


VICINITY MAP
1"=1500'



THE JOHN R. McADAMS
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Durham, North Carolina 27713
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



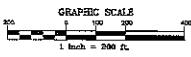
- LEGEND**
- 1,000' NOTIFICATION BOUNDARY
 - 1/2 MILE WALKING RADIUS TO FUTURE STATION
 - EXISTING ZONING BOUNDARY
 - EXISTING BUS STOP
 - EXISTING SIDEWALK
 - PROPOSED BUS STOP
 - PROPOSED MULTUSE TRAIL
 - FUTURE CONNECTION
 - EXISTING BIKE LANE
 - FUTURE BIKE LANE
 - FUTURE LIGHTRAIL TRANSIT STATION
 - FUTURE DURHAM-ORANGE LIGHTRAIL

SITE INFORMATION:

FIN: 9906000195
 ADDRESS: 100 EASTOWNE DR
 CHAPEL HILL, NC 27517
 OWNER: HEALTH SYSTEM PROPERTIES, LLC
 ACREAGE: 8.38

GENERAL NOTES

1. PLANIMETRIC INFORMATION OBTAINED FROM ORANGE AND DURHAM COUNTY GIS



THE HILL GROUP
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 Phone: 919.487.1000
 Fax: 919.487.1001
 www.thehillgroup.com

REVISED
 OWNER: HEALTH SYSTEM PROPERTIES, LLC
 111 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517
**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT**
 CHAPEL HILL, NORTH CAROLINA
 AREA MAP AND BIKE-PEDESTRIAN NETWORK DIAGRAM

PROJECT NO.	UNC-17020
ISSUED BY	UNC PH20-AT
DESIGNED BY	WJD
DRAWN BY	HLA
SCALE	1"=200'
DATE	03-05-18
DRAWN BY	

C-1

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

TREE LEGEND

- ⊙ AHN
- ⊙ BEECH
- ⊙ BIRCH
- ⊙ CEDAR
- ⊙ CHERRY
- ⊙ GRAPIC MYRTLE
- ⊙ CYPRESS
- ⊙ DOGWOOD
- ⊙ ELM
- ⊙ SWEET GUM
- ⊙ HICKORY
- ⊙ MIXED HARDWOOD
- ⊙ HOLLY
- ⊙ MAGNOLIA
- ⊙ MAPLE
- ⊙ JAPANESE MAPLE
- ⊙ MINNOSA
- ⊙ RED OAK
- ⊙ WHITE OAK
- ⊙ OAK
- ⊙ PEACH
- ⊙ PEAR
- ⊙ PECAN
- ⊙ PERSIMMON
- ⊙ PINE
- ⊙ POPLAR
- ⊙ REDBUD
- ⊙ SYCAMORE
- ⊙ WALNUT
- ⊙ DOUBLE AND TRIPLE TRUNKS
- ⊙ EDIBLE OAK
- ⊙ THINLE OAK
- ⊙ OPEN AREA OUT OF TREE
- ⊙ TRUNK OF TREE
- ⊙ TOP OF CANOPY, 1/8" SCALE

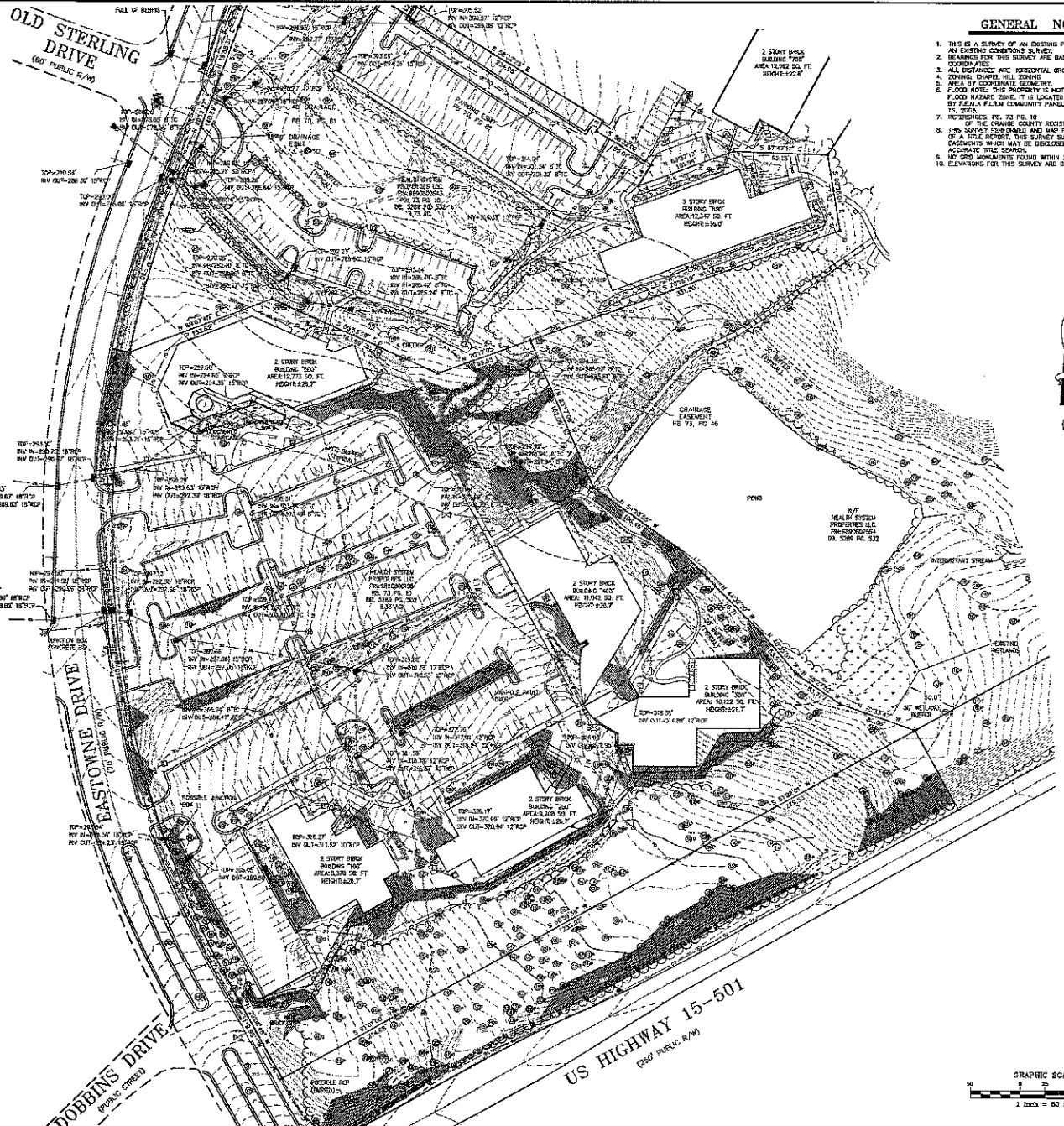
SLOPE ANALYSIS

- ▭ SLOPES 0% - 15% (74% BY AREA)
- ▭ SLOPES 15% - 25% (15% BY AREA)
- ▭ SLOPES >25% (11% BY AREA)

MORE SLOPE ANALYSIS CAN BE FOR RECORDS PROPERTY EXISTING DRIVE FRONTAGE FROM R/W TO BACK OF CURB AND US HWY 15-501 FRONTAGE FROM R/W TO EDGE OF PAVEMENT.

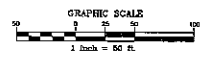
LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- DOME HOLE
- SANITARY SEWER MANHOLE
- SANITARY SEWER CLEANOUT
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- TELEPHONE PEDESTAL
- TELEPHONE MANHOLE
- ELECTRIC BOX
- LIGHT POLE
- POWER POLE
- CURB INLET
- STORM DRAINAGE MANHOLE
- YARD INLET
- SD — STORM DRAIN PIPE
- OH — OVERHEAD LIQUID LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- BE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE



GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS AN EXISTING CONDITION SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NAD 83 GRID HORIZONTAL COORDINATES.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: CHAPEL HILL ZONING.
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD HAZARD: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA FLOOD COMMUNITY PANEL #207880000, DATED MAY 16, 2004.
7. REFERENCES: PLS. 23 PLS. 10.
8. THIS SURVEY CONFORMS AND HAS BEEN PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND CONDITIONS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
9. NO OTHER MONUMENTS FOUND WITHIN 2000' OF SITE.
10. ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 83 DATUM.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS CORPORATION, INC.
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 CHAPEL HILL, NC 27514
 (919) 979-1000
 (919) 979-1001

MCADAMS
 CIVIL ENGINEERING
 SURVEYING
 PLANNING
 ARCHITECTURE

REVISIONS:
 A: SEE SHEET 15-501

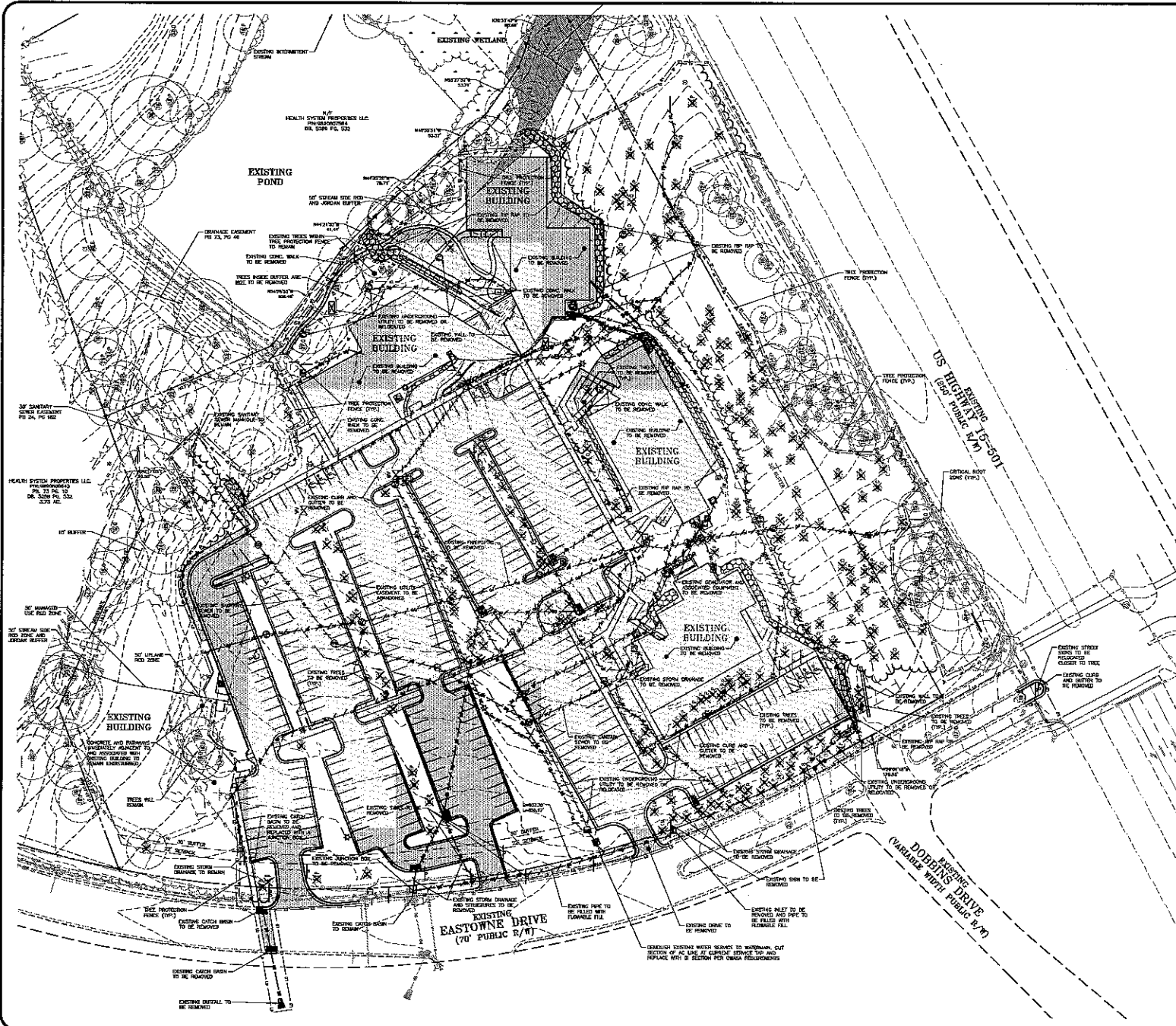
CLIENT:
 UNC HOSPITALS
 101 MANNING DRIVE
 CHAPEL HILL, NORTH CAROLINA 27514

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1**
 CHAPEL HILL, NORTH CAROLINA

EXISTING CONDITIONS

PROJECT NO. UNC-17020
 DRAWING NO. UNC17020-C1
 CHECKED BY: RTT
 DESIGNED BY: ST
 DATE: 12-28-17
 SHEET NO.: C-2

MCADAMS



DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (CURBS, GUTTERS, SIDEWALKS, ASPHALT, CONCRETE, PAVING, ETC.)
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

DEMOLITION NOTES:

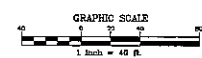
1. IN ACCORDANCE WITH 40 CFR PART 61, SUBPART B, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS PRIOR TO COMMENCING A DEMOLITION OR DEMOLITION ACTIVITY. IF AN ASBESTOS-CONTAINING MATERIAL IS IDENTIFIED BY A NORTH CAROLINA LICENSED ASBESTOS INSPECTOR, ALL REGULATED BY A NORTH CAROLINA LICENSED ASBESTOS INSPECTOR, ALL REGULATED BY A LICENSED ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE INSPECTION SHALL BE REMOVED. THE DEMOLITION OR DEMOLITION ACTIVITY IS PROHIBITED UNTIL THE ASBESTOS-CONTAINING MATERIALS TO BE REMOVED EXCEED 100 SQUARE FEET AND LINEAR FEET OR 35 CUBIC FEET. A PERMIT SHALL BE OBTAINED FROM THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND REPOSITED AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
3. OBTAIN LAND DISTURBANCE PERMIT FROM GOMACK COUNTY PRIOR TO COMMENCING SITE DEMOLITION THAT INCLUDES EROSION OR DEGRADES THE SITE.
4. INSTALL SECURITY FENCING AROUND THE PERIMETER OF THE DEMOLITION SITE PRIOR TO START OF DEMOLITION.
5. INSTALL TREE PROTECTION FENCING PRIOR TO STARTING DEMOLITION.
6. EXISTING BUILDINGS, PARKING, DRIVE, ASPHALT, CONCRETE, AND UTILITIES WITHIN THE LIMITS OF DISTURBANCE ARE TO BE DEMOLISHED AND REMOVED.
7. UNLESS OTHERWISE NOTED, ALL TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED. CONTRACTOR TO SAVE TREES WHEREVER POSSIBLE AROUND THE PERIMETER AND WITHIN TREE PROTECTION FENCES. INCLUDES DRIVE TREES IN THE BUFFERS, RED ZONES, AND ADJACENT TO EXISTING DRIVE.
8. ANY NECESSARY UTILITY RELOCATIONS ALONG EXISTING DRIVE ARE TO BE COORDINATED WITH THEIR RESPECTIVE OWNERS.
9. CONTRACTOR IS TO ENSURE THAT NO SERVICES OR UTILITIES ARE INTERRUPTED FOR THE EXISTING BUILDING THAT IS PROPOSED TO REMAIN. CONTRACTOR IS TO COORDINATE UTILITY RELOCATIONS WITH APPROPRIATE OWNERS PRIOR TO COMMENCING EXISTING UTILITY AND SERVICE LINES.

OWASA DEMOLITION NOTES:

1. MATERIALS TO BE REMOVED ALL THE EXISTING MAIN AND A SECTION OF EXISTING MAIN AT LOCATION OF THE TOP TO BE REPLACED WITH 24 IN. PIPES.
2. PRIOR TO DEMOLITION OF EXISTING MAIN, CONTRACTOR TO CUT EXISTING EXISTING MAIN AND SERVICE LINES TO BE REMOVED. ALL EXISTING MAIN AND SERVICE LINES TO BE REMOVED AS MUCH AS POSSIBLE. ONCE CLEARED CONTRACTOR SHALL REMOVE 24 IN. SECTION OF EXISTING MAIN AT EXISTING MAIN AND TOP EXISTING MAIN BEFORE DEMOLITION OF EXISTING MAIN AND STRUCTURES.
3. EXISTING EXISTING MAIN TO BE REMOVED IN PLACE (CUT), FILL WITH FLOWABLE FILL OR COMPLETELY REMOVED.

TREE LEGEND

- TREE
- EXISTING TREE
- EXISTING PINE
- EXISTING OAK
- EXISTING GUM
- EXISTING MAPLE
- EXISTING CYPRESS
- EXISTING CYPRESS MARITIMA
- EXISTING CEDAR
- EXISTING BIRCH
- EXISTING SPRUCE



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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 FAX: 303.733.1001
 WWW.MCADAMS.COM

MCADAMS

NORTH CAROLINA
 STATE BOARD OF EXAMINERS
 PROFESSIONAL ENGINEERS
 LICENSE NO. 10000

REVISIONS:
 A

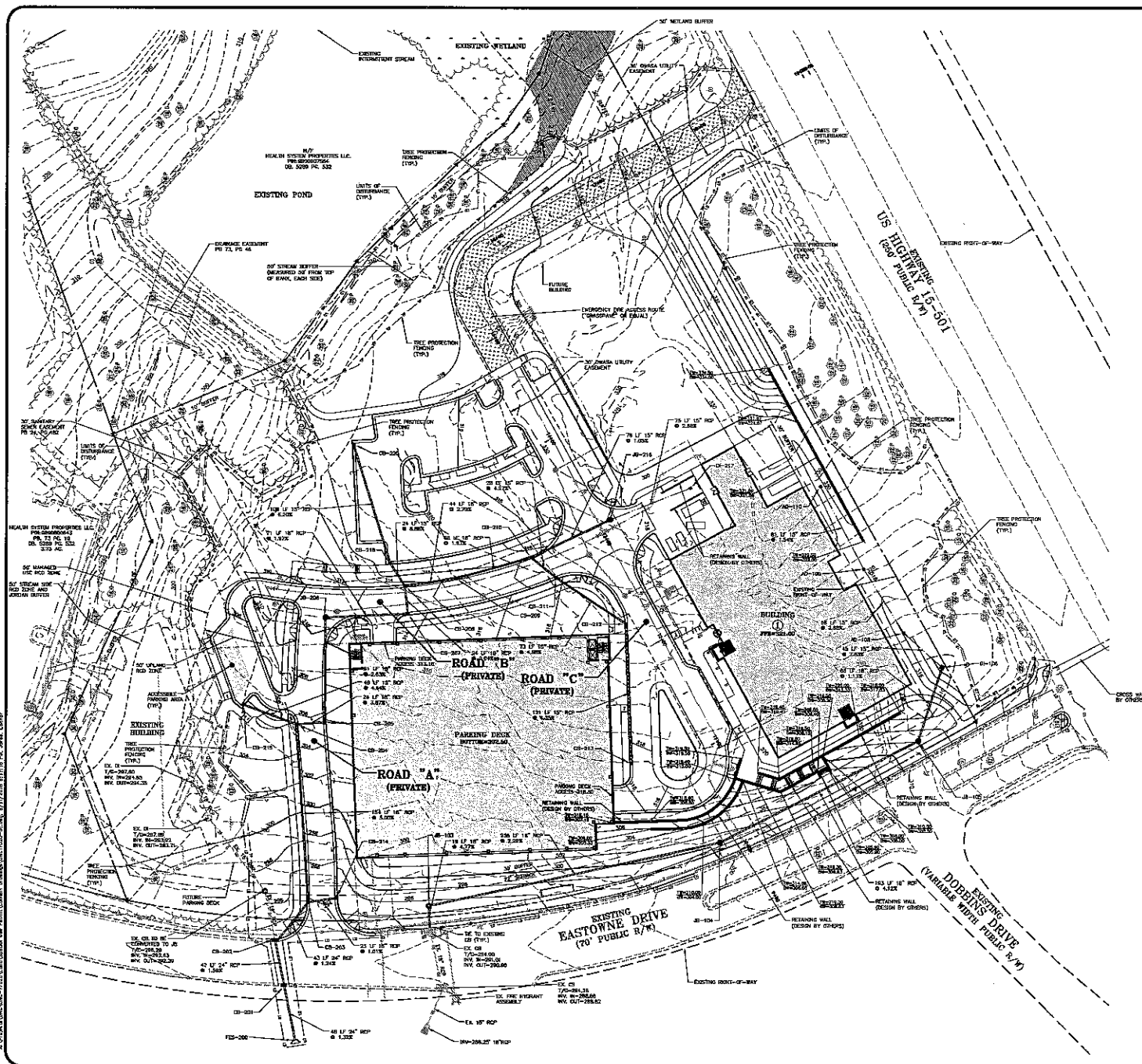
OFFICE:
 HEALTH SYSTEM PROPERTIES, LLC
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27617

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT**

CHAPEL HILL, NORTH CAROLINA
 DEMOLITION PLAN

PROJECT NO: UNC-17020
 DRAWING NO: UNCL17020-DMT
 DESIGNER: WJD
 CHECKER: C.J.J.
 SCALE: 1"=40'
 DATE: 04-22-18
 SHEET NO: C-3

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GRADING LEGEND

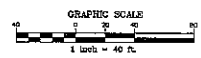
	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-DRAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURVE ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN, 1" AOD
	RISE PROTECTION FENCE
	UNITS OF DISTURBANCE
	MAJOR CONTOUR
	MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
	GRASS PAVE OR EQUAL

GRADING/STORMWATER NOTES:

1. THE PROPOSED ELEVATIONS, WHICH MAY INCLUDE SLOPES IF HYDRAULIC, WILL BE REQUIRED TO BE EQUIPPED WITH 2" SEPARATORS AND PLUMBED TO THE SANITARY SEWER SYSTEM, NOT THE STORM DRAINAGE SYSTEM.
2. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE GLASS REINFORCED CONCRETE (GRC) UNLESS NOTED OTHERWISE.
3. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL LATEST STANDARDS AND SPECIFICATIONS.
4. ALL DAMAGE TO STREETS MAINTAINED BY THE TOWN OF CHAPEL HILL DUE TO PROJECT CONSTRUCTION SHALL BE REPAIRED AT NO COST TO THE TOWN PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
5. NO STORMWATER RUNOFF FROM THE FIRST FLOOR OF THE PARKING GARAGE IS TO BE CONVEYED INTO THE STORM DRAINAGE SYSTEM. ANY STORMWATER RUNOFF FROM WITHIN THE GARAGE IS TO BE CONVEYED TO A 30" TYPE OIL/WATER SEPARATOR THROUGH A DRAIN LOCATED IN THE GARAGE SLAB AND CONNECTED TO SANITARY SEWER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.

DISTURBED AREA = 7.52 AC



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS COMPANY, INC.
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27513
 PHONE: 919-967-0295
 FAX: 919-967-0296
 (800) 776-6666 (NORTH CAROLINA ONLY)

MCADAMS

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 NO. 12345

REVISIONS:

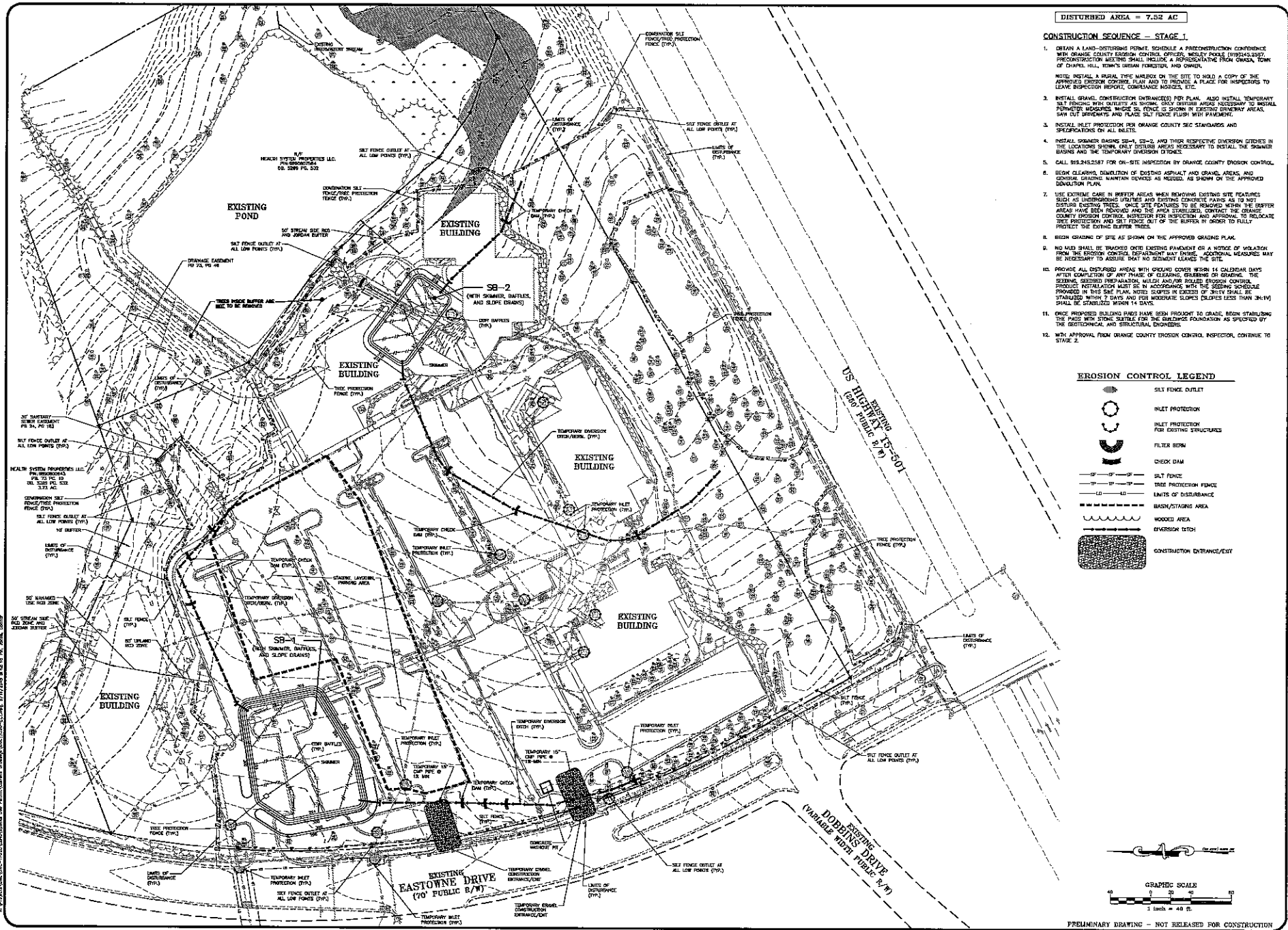
OWNER: HEALTH SYSTEM PROPERTIES, LLC
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27513

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 CHAPEL HILL, NORTH CAROLINA**

GRADING AND STORM DRAINAGE PLAN

PROJECT NO: UNC-17020
 DRAWING NO: UNCI17020-G1
 DESIGNED BY: WHD
 CHECKED BY: CUJ
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: C-5

MCADAMS



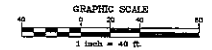
DISTURBED AREA = 7.52 AC

CONSTRUCTION SEQUENCE - STAGE 1

1. OBTAIN A LAND-DISTURBANCE PERMIT, SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL OFFICERS, HOLDY POOLE (PH:304-252-2227). PRECONSTRUCTION MEETING SHALL INCLUDE A REPRESENTATIVE FROM OWASA, TOWN OF CHAPEL HILL, TOWN'S URBAN FORESTRY, AND OWNER.
2. INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR INSPECTORS TO LEAVE SUPERVISOR REPORT, COMPLAINT NOTICES, ETC.
3. INSTALL GRAVEL CONSTRUCTION ENTRANCES PER PLAN. ALSO INSTALL TEMPORARY SILT FENCING WITH OUTLETS AS SHOWN. ONLY DISTURB AREAS NECESSARY TO INSTALL PROTECTION MEASURES. WHERE SILT FENCE IS SHOWN IN EXISTING DRIVEWAY AREAS, SAW CUT DRIVEWAYS AND PLACE SILT FENCE FLUSH WITH PAVEMENT.
4. INSTALL INLET PROTECTION PER ORANGE COUNTY SEC STANDARDS AND SPECIFICATIONS ON ALL INLETS.
5. INSTALL SOGGER BASINS SB-1, SB-2, AND THEIR RESPECTIVE DIVERSION DITCHES IN THE LOCATIONS SHOWN. ONLY DISTURB AREAS NECESSARY TO INSTALL THE SOGGER BASINS AND THE TEMPORARY DIVERSION DITCHES.
6. CALL 813.245.2587 FOR ON-SITE INSPECTION BY ORANGE COUNTY EROSION CONTROL.
7. BEGIN CLEARING, DEMOLITION OF EXISTING ASPHALT AND GRAVEL AREAS, AND GENERAL GRADING MAINTAIN DIVERTS AS NECESSARY, AS SHOWN ON THE APPROVED GRADING PLAN.
8. USE EXTREME CARE IN BUFFER AREAS WHEN REMOVING EXISTING SITE FEATURES SUCH AS UNDERSTORY TREES AND EXISTING CONCRETE FOUNDATIONS AS TO NOT DISTURB EXISTING TREES. ONCE SITE FEATURES TO BE REMOVED WITHIN THE BUFFER AREAS HAVE BEEN REMOVED AND THE BUFFER ESTABLISHED, CONTACT THE ORANGE COUNTY EROSION CONTROL INSPECTOR FOR INSPECTION AND APPROVAL TO REDUCATE TREE PROTECTION AND SILT FENCE OUT OF THE BUFFER IN ORDER TO FULLY PROTECT THE EXISTING BUFFER TREES.
9. BEGIN GRADING OF THE SITE AS SHOWN ON THE APPROVED GRADING PLAN.
10. NO MUD SHALL BE TRACKED ONTO EXISTING PAVEMENT OR A NOTICE OF VIOLATION FROM THE EROSION CONTROL DEPARTMENT MAY BE ISSUED. ADDITIONAL MEASURES MAY BE NECESSARY TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
11. PROVIDE ALL DISTURBED AREAS WITH GRASS COVER WITHIN 14 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CLEARING, GRADING OR GRADING. THE SEEDING, SOIL PREPARATION, MULCH AND/OR SOIL EROSION CONTROL PRODUCTS INSTALLATION SHALL BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS SAME PLAN. NOTES SLOPES IN EXCESS OF 3:1:V SHALL BE STABILIZED WITHIN 7 DAYS AND FOR MODERATE SLOPES (LESS THAN 3:1:V) SHALL BE STABILIZED WITHIN 14 DAYS.
12. ONCE PROPOSED BUILDING FOUNDATIONS HAVE BEEN PROTECTED TO GRADE, BEGIN STABILIZING THE PAVED NEW STONE SURFACE FOR THE FOUNDATION FOUNDATION AS SPECIFIED BY THE GEOTECHNICAL AND STRUCTURAL ENGINEERS.
13. WITH APPROVAL FROM ORANGE COUNTY EROSION CONTROL INSPECTOR, CONTINUE TO STAGE 2.

EROSION CONTROL LEGEND

	SILT FENCE OUTLET
	INLET PROTECTION
	INLET PROTECTION FOR EXISTING STRUCTURES
	FILTER BERM
	CHECK DAM
	SILT FENCE
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	BASIN/STAGING AREA
	WOODED AREA
	EROSION DITCH
	CONSTRUCTION ENTRANCE/EXIT



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS CONSULTING, INC.
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MCADAMS

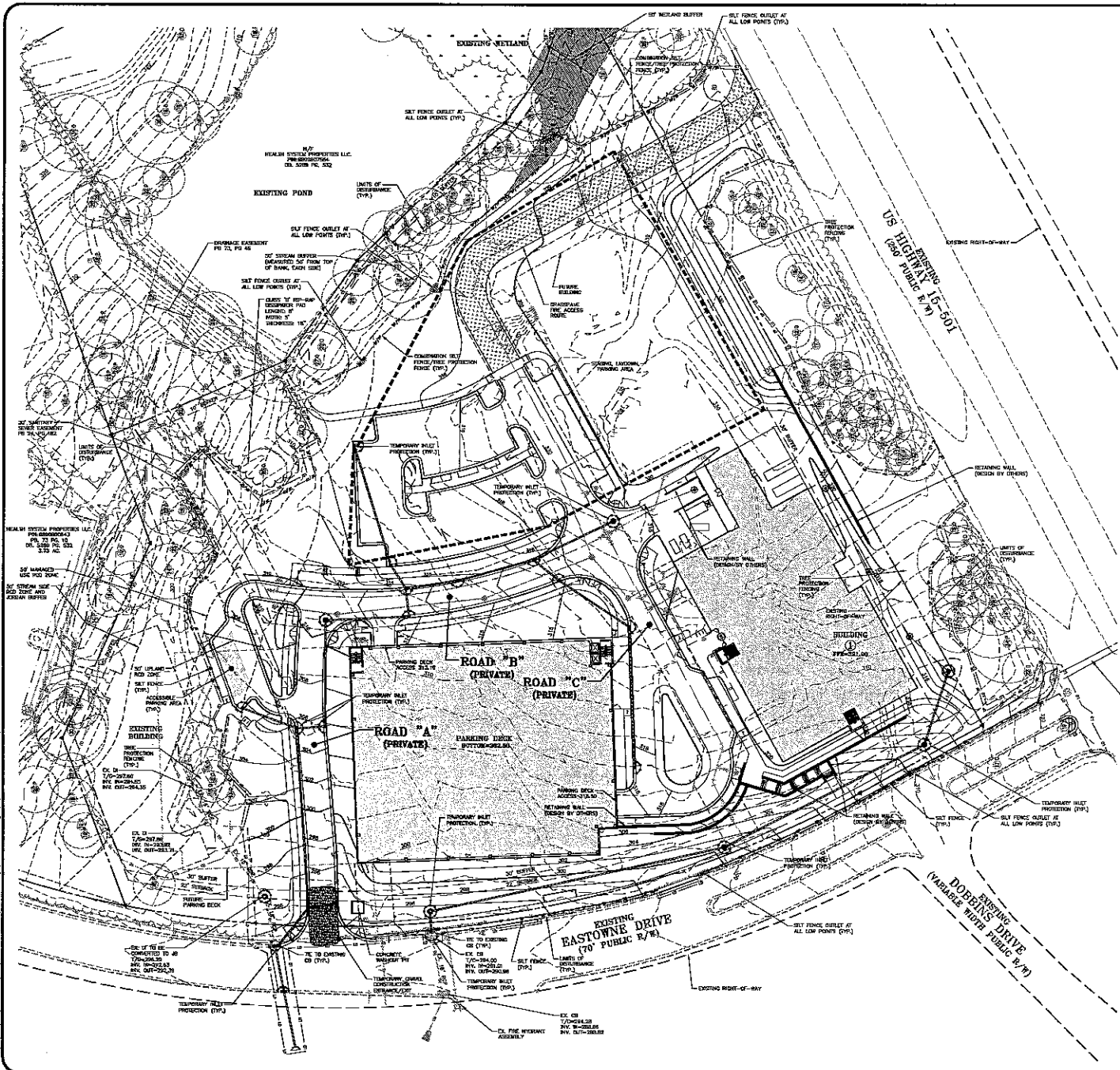
HISTORIC:

OWNER: HEACHE SYSTEM PROPERTIES, LLC
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27713

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 SEDIMENT AND EROSION CONTROL PLAN - STAGE 1**

PROJECT NO: UNC-17020
 DRAWING NO: UNC17020-EC
 DESIGN BY: MJD
 CHECKED BY: C.J.
 PLOT: 1'-40"
 DATE: 04-27-18

EC-1



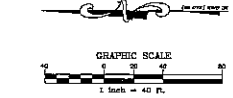
DISTURBED AREA = 7.52 AC

CONSTRUCTION SEQUENCE - STAGE 2

1. CONTINUE BANK GRADING FROM STAGE 1 AND STABILIZE THE PROPOSED GRADING PADS AS THEY ARE BROUGHT TO FINAL GRADE.
2. CONSTRUCT STORM DRAIN SYSTEM AS SHOWN.
3. INSTALL INLET PROTECTION ON ALL INLET STRUCTURES DURING CONSTRUCTION.
4. STORM DRAINAGE IS TO BE ROUTED TO TRIMMER BAGS SR-1 AND SR-2 AS SHOWN IN STAGE 1 WHERE POSSIBLE UNTIL UPSTREAM BULLEDD PADS AND OTHER AREAS HAVE BEEN STABILIZED. ONCE STABILIZED AND APPROVED BY THE CHANCE COUNTY EROSION CONTROL INSPECTOR, SR-1 AND SR-2 MAY BE REMOVED TO ALLOW FOR THE FULL BUILDOUT OF THE PROJECT.
5. INLET PROTECTION SHOULD BE INSPECTED AND MAINTAINED AFTER EVERY RAIN EVENT. NO SOIL TRACKERS SHALL BE LEFT AT THE END OF THE WORK DAY. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION CONTROL DEVICES AT LEAST ONCE PER WEEK AFTER EVERY MAJOR RAIN. GRADING ACTIVITIES SHALL BE PROHIBITED IN AREAS OF SEDIMENT CONTROL DEVICES UNTIL THE AREA UPSTREAM OF THESE DEVICES HAS BEEN STABILIZED AND APPROVED. CHANCE COUNTY EROSION CONTROL DEPARTMENT RESERVES THE RIGHT TO ISSUE A NOTICE OF VIOLATION IF EROSION CONTROL DEVICES ARE NOT PERFORMING CORRECTLY. FOR THIS REASON THE CONTRACTOR MAY BE REQUIRED TO INSTALL ADDITIONAL MEASURES AS REQUIRED IN THE FIELD TO PERFORM THE CONTROL OF SEDIMENT LAKEB RUNOFF.
6. PROVIDE ALL DISTURBED AREAS WITH GRASS COVER WITHIN 14 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF GRADING, GRASSING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR BILLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS SAME PLAN. NOTE: SLOPES IN EXCESS OF 3:1:1:1 SHALL BE STABILIZED WITHIN 7 DAYS AND FOR ADEQUATE SLOPES (SLOPES LESS THAN 3:1:1:1) SHALL BE STABILIZED WITHIN 14 DAYS.
7. AT THE CONCLUSION OF BUILDING OR IF LAND-DISTURBING ACTIVITY IS STOPPED FOR MORE THAN 14 CONSECUTIVE CALENDAR DAYS, PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THIS SAME PLAN.
8. WHEN SITE IS AT FINAL GRADE AND NO FURTHER GRADING IS NECESSARY, CONTRACTOR SHALL SLOTTED PORTIONS OF THE SITE WITH SEED/MULCH UNTIL FINAL LANDSCAPING IS INSTALLED.
9. WHEN CONSTRUCTION IS COMPLETE, CALL OCEC TO OBTAIN FINAL INSPECTION AND CERTIFICATE OF COMPLETION TO ELIMINATE EROSION CONTROL PERMIT.
10. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

EROSION CONTROL LEGEND

- SALT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- STAGING AREA
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT
- GRASS PAVE OR EQUAL



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE STATE OF NORTH CAROLINA
 DEPARTMENT OF TRANSPORTATION
 2600 Mountain Parkway
 Durham, North Carolina 27713
 (919) 725-5454 / Fax: (919) 725-5455

REGISTERED PROFESSIONAL ENGINEER
 STATE OF NORTH CAROLINA
 No. 12345

OWNER:
 HEALTH SYSTEM PROFESSIONALS, LLC
 211 HURDWAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT**
 CHAPEL HILL, NORTH CAROLINA
 SEDIMENT AND EROSION CONTROL PLAN - STAGE 2

DRAWN BY: UNC-17020
 PROJECT: UNC17020-EC2
 SHEET NO: 18-9
 DATE: CUI
 SCALE: 1"=40'
 DATE: 04-27-19
 BY: EC-2



TREE CANOPY COVERAGE LEGEND

- EXISTING TREE
- EXISTING PINE
- EXISTING OLN
- EXISTING OAK
- EXISTING MAPLE
- EXISTING CHAMP WHITELE
- EXISTING CEDAR
- EXISTING BEECH
- EXISTING BIRCH
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE

EXISTING CLEARANCE EASEMENTS	ACRES
EXISTING SANITARY SEWER EASEMENT	0.51 ACRES
AREAS TO BE CLEARED AND GRADED	
AREA TO BE REMOVED, SEE SHEET C-3, SUBMITTER PLAN, FOR MORE INFORMATION.	4.44 ACRES
LIMIT OF DISTURBANCE	8.36 ACRES
PIPE ACCESS ROUTE	0.22 ACRES
PROPOSED SANITARY SEWER, WATER MAIN EASEMENTS	0.62 ACRES
COMBINED PROPOSED SANITARY SEWER, WATER MAIN EASEMENTS, AND POLE-OF-WAY	1.30 ACRES
EXISTING CANOPY TO REMAIN	
UNDISTURBED AREA TO BE PRESERVED	1.28 ACRES

TREE CANOPY COVERAGE CALCULATIONS

REQUIREMENT:
(ONE MINIMUM TREE CANOPY COVERAGE OF NET LAND AREA)

NET LAND AREA	ACRES
OVERS LAND AREA:	0.38 ACRES
EXISTING EASEMENTS:	-0.42 ACRES
PROPOSED FIRE LANE ACCESS:	-0.32 ACRES
PROPOSED EASEMENTS & POLE-OF-WAY:	-1.18 ACRES
NET LAND AREA:	0.36 ACRES

40% TREE CANOPY COVERAGE

NET LAND AREA:	ACRES
0.36 ACRES	0.36 ACRES
MIN. TREE CANOPY COVERAGE REQUIREMENT:	2.34 ACRES

TREE CANOPY COVERAGE DEFICIT

MIN. TREE CANOPY COVERAGE REQUIREMENT:	ACRES	(40.00%)
2.34 ACRES	2.34 ACRES	230.88 SF
TREE CANOPY COVERAGE DEFICIT:	1.98 ACRES	(193.83 SF)

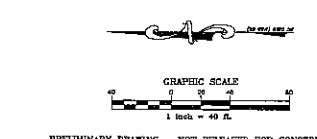
CANOPY REPLACEMENT CALCULATIONS

REQUIREMENT:
(ONE LARGE TREE PER 500 SF OF TREE CANOPY COVERAGE DEFICIT)

TREE CANOPY COVERAGE DEFICIT:	SQ. FT.	(AC)
193.83	54,864 SF	(1.29 AC)
LARGE TREE REPLACEMENT REQUIRED:	110	

- LANDSCAPE CALCULATION NOTES
- TREE CANOPY CALCULATIONS ARE SUBJECT TO CHANGE, FINAL TREE REPLACEMENT REQUIREMENT TO BE DETERMINED WITH FINAL PLANS (CEPT).
 - TREE REPLACEMENT TO BE PROVIDED VIA TREE PLANTING, RESERVE AREA, PARKING-IN-USE, OR A COMBINATION OF THESE OPTIONS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

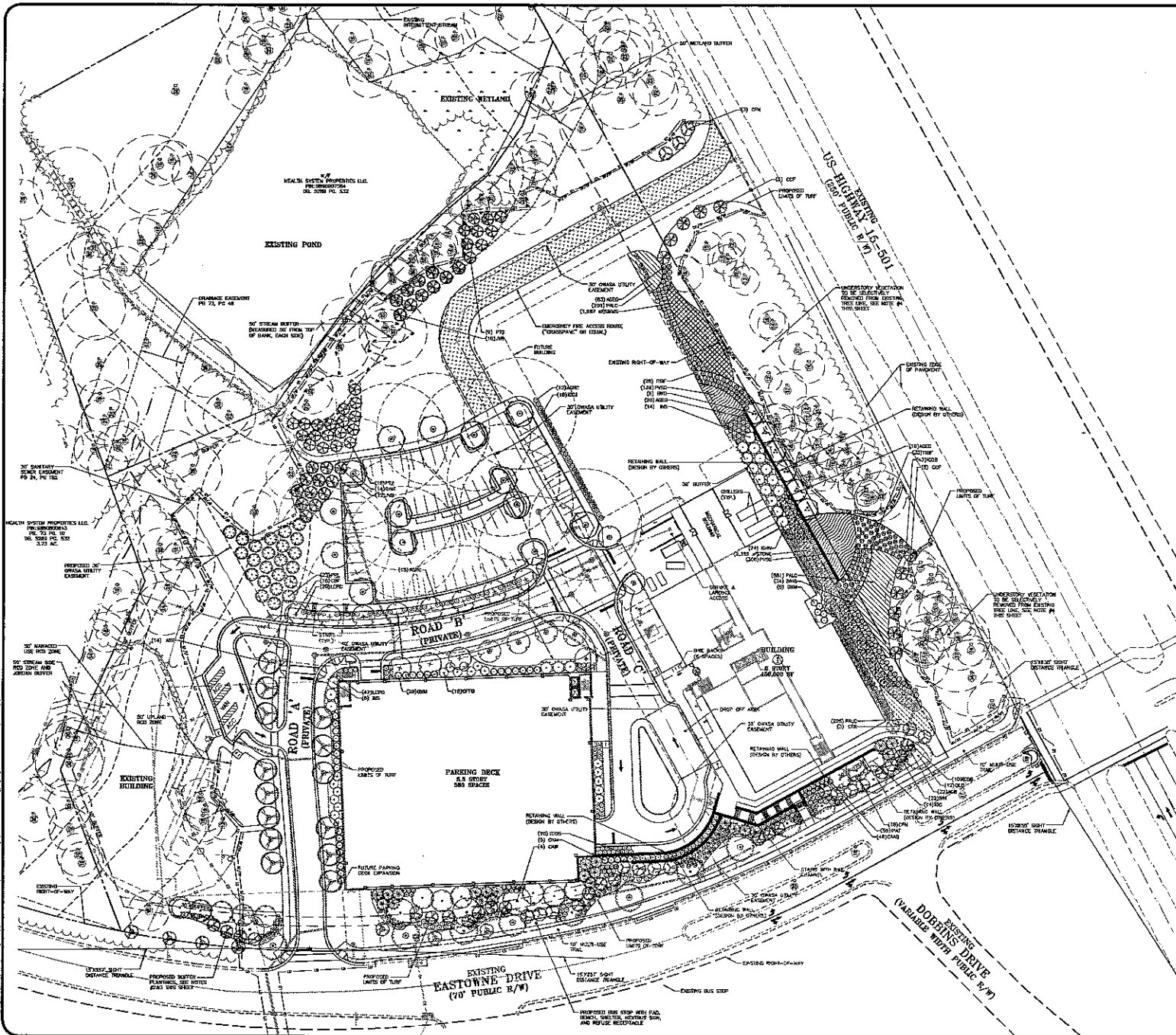
THE OFFICE OF MCADAMS CONSULTANTS, INC.
 2605 Meredith Parkway
 Durham, North Carolina 27713
 (919) 733-8800 • mcadams.com

MCADAMS

CHAPEL HILL, NORTH CAROLINA 27717

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 TREE CANOPY COVERAGE PLAN**

PROJECT NO. UNC-17020
 DRAWING NO. TCI7020-T1
 DESIGNED BY: SAC
 DRAWN BY: AMR
 SCALE: 1"=40'
 DATE: 03-08-18
 SHEET NO. **TC-1**



SITE LEGEND

---	PROPERTY LINE
---	RIGHT-OF-WAY LINE
---	LOT LINE
---	EASEMENT LINE

PLANT SCHEDULE

TREES	CODE	COMMON NAME
	ATF	Yew Tree Maple
	AMB	'Autumn Brilliance' Serotiberry
	BRD	Durham Red Birch
	CSF	Prescott European Hornbeam
	CFN	Eastern Red Bud
	CFN	Cloud Nine Eastern Dogwood
	IOC	Carolina #2 American Holly
	MI	Yucca Holly
	OSM	Goldend Red Holly
	INS	Hill's Showers Holly
	JVB	Eastern Red Cedar
	PFL	Luxford Pine
	FTZ	Loblolly Pine
	QAW	White Oak
	GLD	Overcup Oak
	QMN	Nuttall Oak

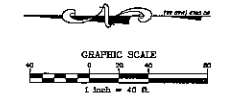
SHRUBS	CODE	COMMON NAME
	AGEC	Glenny Azalea
	ARCR	Pearl Creek Azalea
	CAAB	Aureolean Bougainvillea
	FIF	Boston Forsythia
	KDOB	Dwarf Barberry Holly
	KDCU	Convex-leaved Japanese Holly
	ENH	Night Hibiscary
	PKT	Alone Tree
	HWG	Henry's Camellia Sweetspine
	LCFD	Fringe Flower
	OF7D	Fortune Camellia
	TODS	Geopet's Spire Arborvitae

GROUND COVERS	CODE	COMMON NAME
	SNMS	Heave Seed Mix
	PVSE	Switch Grass
	PALD	Cushion Green Fountain Grass
	STOR	River Rock

GENERAL NOTES:

- SEE SHEET LS-2 (PHASE 1 - LANDSCAPE DETAILS) FOR COMPLETE PLANT SCHEDULE, LANDSCAPE DETAILS, NOTES, AND CALCULATIONS.
- PLANTINGS WHERE EXISTING VEGETATION IS PRESENT SHALL BE REMOVED IN A MANNER TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.
- EXISTING VEGETATION TO BE REMOVED SHALL BE IDENTIFIED WITH TAGS AND IDENTIFIED WITH TAGS LOCATED WITHIN THE TOWN OF CHAPEL HILL DEVELOPMENT COMPLIANCE OFFICER (CCO). PLANTINGS MAY NOT BE REQUIRED DUE TO EXISTING VEGETATION USE CONSERVATION WITH CCO.
- ALL UNDERSTORY VEGETATION REMOVED WITHIN LOCATIONS INDICATED WITHIN THE RIGHT-OF-WAY MUST BE FIELD VERIFIED WITH CHAPEL HILL CCO AND COORDINATED WITH LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. CONTRACTOR TO REMOVE CHANGED VEGETATION WITHIN THESE AREAS USING HAND TOOLS ONLY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCUDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE FIRM OF MCADAMS CONSULTANTS, INC. 3000 McAdams Parkway Durham, North Carolina 27713 (919) 286-1900 FAX (919) 286-1901

MCADAMS

REGISTERED PROFESSIONAL ENGINEER STATE OF NORTH CAROLINA No. 14174

OWNER: HEALTH SYSTEM PROPERTIES, LLC, 311 FRIDAY CENTER DRIVE CHAPEL HILL, NORTH CAROLINA 27617

UNC HEALTH CARE SYSTEM EASTOWNE REDEVELOPMENT MOB 1 SPECIAL USE PERMIT CHAPEL HILL, NORTH CAROLINA PHASE 1 - LANDSCAPE PLAN

PROJECT NO: UNC-17020
 DRAWING NO: UNC17020-LS1
 CHECKED BY: JAD
 DRAWN BY: AMR
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: LS-1

MCADAMS

PLANT SCHEDULE

TREES	QTY	COMMON NAME	SCIENTIFIC NAME	DL	HT	REMARKS
ARB	14	Tripart Maple	Acer buergerianum	2.5'	-	Tree canopy replacement
ARB	22	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	-	5'	
DND	6	Dorwood River Birch	Betula nigra 'Dorwood'	2.5'	-	
CBP	18	Pyramidal European Hornbeam	Cornus betulus 'Verticillata'	3.5'	-	Tree canopy replacement
CDP	11	Endem Red Bud	Cercis canadensis 'Flame'	1"	6'	
CCN	24	Cloud Nine Eastern Dogwood	Cornus florida 'Cloud Nine'	-	5'	
KSC	14	Carolina Blue American Holly	Ilex opaca 'Carolina Blue'	2.5'	-	
MM	22	Yucca Holly	Ilex vomitoria	-	3'	
OSM	39	Delwood Red Holly	Ilex x 'Delwood'	-	5'	
MS	20	Nolin Stevens Holly	Ilex x 'Nolin R. Stevens'	-	6'	
JWS	22	Eastern Red Cedar	Juniperus virginiana	2.5'	-	Tree canopy replacement
PFL	23	Langford Pine	Pinus palustris	2.5'	-	Tree canopy replacement
PIZ	27	Loblolly Pine	Pinus taeda	2.5'	-	Tree canopy replacement
QAW	4	White Oak	Quercus alba	2.5'	-	
QLO	12	Overcup Oak	Quercus lyrata	2.5'	-	
QSN	16	Nuttall Oak	Quercus nuttallii	2.5'	-	
QSC	12	Scrub Live Oak	Quercus laevis	2.5'	-	
QCO	81	Glossy Abelia	Abelia x grandiflora 'Edward Goucher'	10'	-	
ASC	22	Rose Creek Abelia	Abelia x grandiflora 'Rose Creek'	18'	-	
CHAB	46	American Beautyberry	Callicarpa americana	10'	-	
FBF	60	Boulder Forsythia	Forsythia x intermedia	18'	-	
LDG	152	Deer? Burford Holly	Ilex cuneata 'Deer Burford'	18'	-	
OCU	15	Cornus-leaved Japanese Holly	Ilex cuneata 'Cornus'	18'	-	
MSN	74	Huge Ilexberry	Ilex glabra 'Huge'	24'	-	
IPAT	69	Asian Tree	Ilex pedunculata	18'	-	
MRH	24	Henry's Garnet Sarcocolla	Sarcocolla 'Henry's Garnet'	18'	-	
LPRD	67	Fringing Ficus	Lampetostemon chinensis 'Fringing Diamond'	18'	-	
OFD	19	Forsythia Geminata	Quercus x forbesii	18'	-	
TDS	10	Dogwood's Spine Arborvitae	Taxus canadensis 'Dogwood's Spine'	35'	-	
GROUND COVER	QTY	COMMON NAME	SCIENTIFIC NAME	QTY	REMARKS	
SMAS	1,507	Native Seed Mix	MIX Stabilization Mix	Seed	Detail per manufacturer's specifications. Source: Meadow Marsh Farms, Inc.	
PVSG	445	Switch Grass	Panicum virgatum 'Shenandoah'	Flat	Size 33 Deer tray (Source: Hoffman Nursery)	
PALC	1,027	Crested Deer? Fourleaf Grass	Pennisetum depensoides 'Crested'	Flat	Size 32 Deer tray (Source: Hoffman Nursery)	
STONE	2,288	River Rock	Stone	Stone	4"-8" Diameter Min.	

LANDSCAPE CALCULATIONS

SUPPLY CALCULATIONS

LANDSCAPE DRAINAGE TO TYPE 'C' SUPPLY REQUIREMENTS:
 (3 LARGE TREES, 10 SMALL TREES, 36 SHRUBS / 100 LF)
 SITE FRONTAGE: 725'
 EXISTING + FINE ACCESS: -115'
 TOTAL LINEAR FOOTAGE: 820'
 LARGE TREES REQUIRED: 31
 LARGE TREES PROVIDED: 30 (WITH 1 EXISTING TREE)
 SMALL TREES REQUIRED: 62
 SMALL TREES PROVIDED: 62
 SHRUBS REQUIRED: 224
 SHRUBS PROVIDED: 224

1/2" - 3/4" SUPPLY (COMMON) REQUIREMENTS:

(3 LARGE TREES, 10 SMALL TREES, 36 SHRUBS / 100 LF)
 SITE FRONTAGE: 725'
 EXISTING TREES: -112'
 TOTAL LINEAR FOOTAGE: 807'
 LARGE TREES REQUIRED: 28 (SEE PLAN FOR PROPOSED LAYOUT)
 LARGE TREES PROVIDED: 28
 SMALL TREES REQUIRED: 51 (SEE PLAN FOR PROPOSED LAYOUT)
 SMALL TREES PROVIDED: 51
 SHRUBS REQUIRED: 192 (SEE PLAN FOR PROPOSED LAYOUT)
 SHRUBS PROVIDED: 192

NOTE: PROPOSED LAYOUT ATTEMPTS TO ALLOW WIDTH OF THE INTERIOR OF THE SITE TO BE WIDENED FROM THE ROAD WHILE ALLOWING FOR THE MAJORITY OF THE EXISTING TREE LINE TO REMAIN.

PARKING LOT REQUIREMENTS

PARKING LOT TREE COVERAGE REQUIREMENTS:
 ONE LARGE TREE PER 3,000 SF OF PAVED SURFACE
 PARKING LOT SQUARE FOOTAGE: 21,027 SF
 LARGE TREES REQUIRED: 11
 LARGE TREES PROVIDED: 11

ORNEY REPLACEMENT CALCULATIONS

ORNEY REPLACEMENT CALCULATIONS REQUIREMENTS:
 TREE CANOPY COVERAGE DEFICIT: 82,706 SF (1.44 AC)
 LARGE TREES REQUIRED: 128
 LARGE TREES PROVIDED: 128

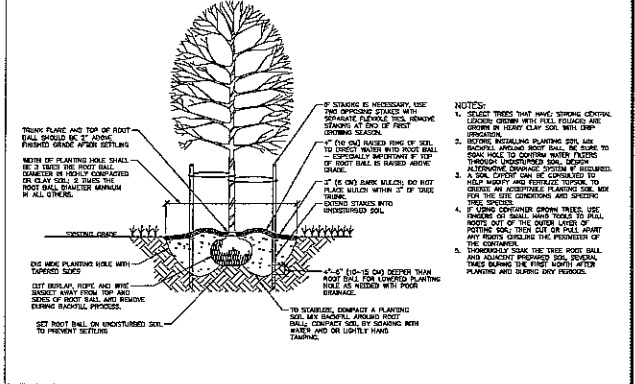
LANDSCAPE CALCULATION NOTES:

- SEE SHEET DC-1 (PHASE 1 - TREE CANOPY COVERAGE PLAN) FOR SITE TREE COVERAGE CALCULATIONS.
- TREE CANOPY CALCULATIONS ARE SUBJECT TO CHANGE. FINAL TREE CANOPY COVERAGE SHALL BE DETERMINED WITH FINAL PLANS (DCP).
- TREE REPLACEMENT TO BE PROVIDED MAY VARY PLANTING DESIGN AREA, PAYMENT-IN-LIEU, OR A COMBINATION OF THESE OPTIONS.

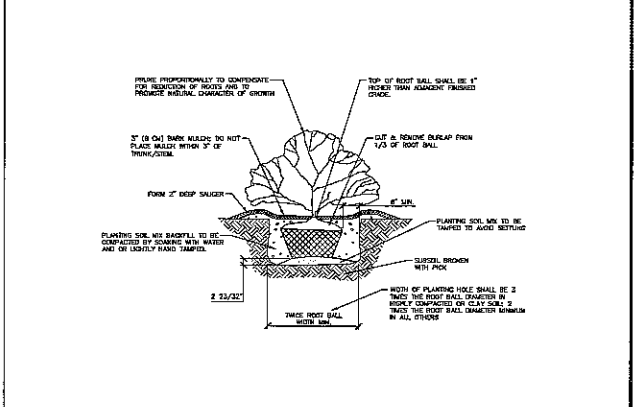
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NC DOT (WHERE APPLICABLE) AND OWASA STANDARDS AND SPECIFICATIONS.

GENERAL LANDSCAPING NOTES:

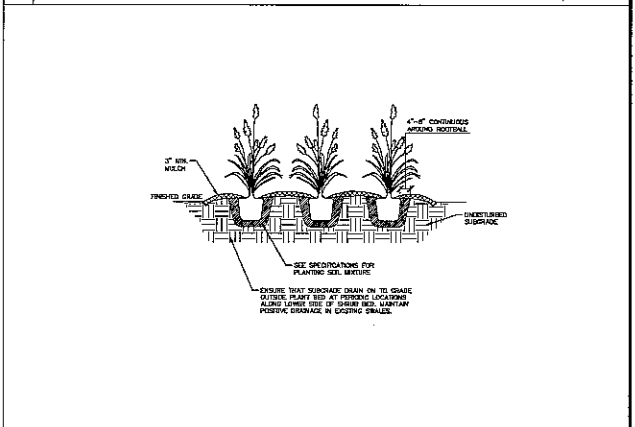
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION PRIOR TO CONSTRUCTION.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES AND THE EXISTING CONDITIONS FOR REVISION PRIOR TO INSTALLATION.
- ANY CHANGES TO UTILITIES SHALL BE APPROVED AT THE CONTRACTOR'S EXPENSE.
- THE PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH EROSION CONTROL REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FERTILIZED, MICROBIAL, GROWING SPECIMENS WITH GROWN TREES OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS IN QUALITY AS DEFINED IN THE CURRENT ISSUE OF AMERICAN STANDARD FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL. ROOT THE TRUNK BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DIFFERENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES TO SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLES BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/GRASS/DOE IF NOT SPECIFICALLY SHOWN ON PLANS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FINE EXISTING OR PROPOSED UTILITY OR FROM THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FINE EXISTING OR PROPOSED UTILITY OR FROM THE POLE.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMMONIUM NITROGEN/PHOSPHORUS UNLESS WATER BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1/2" IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN STALL, COMBUSTIBLE, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SUBGRADE SOIL TO A MINIMUM DEPTH OF 4" INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND NOT INDIVIDUALLY INTO TOP 4" INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 8" INCHES BUT NOT LESS THAN REQUIRED TO MEET TROUGH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, WET, OR EXCESSIVELY HOT.
- IF IMPROVED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR BELLED TO A DEPTH OF AT LEAST 4" INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWS INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE BELLED TO INTEGRATE WITH THE SOIL PROFILE.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIAL WHICH REMAINS UNUSUAL WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OF UNUSUALITY IS SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MAINTAINED TO A DEPTH OF 3" INCHES, AND WITH A MINIMUM 3" FOOT RADIUS FROM BASE OF TREE TO DISPERSE, MULCH SHALL BE FREE OF PUSH AND MAINTAINED WITH TREE. MULCH SHALL BE MAINTAINED TO THE SPECIFICATIONS OF THE LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT STUCKS FROM SUN, SOIL, JUNK, OIL, GREASE, WEATHER, AND OTHER HAZARDOUS ITEMS. DO NOT BURN OR BURN THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE, CHARACTER OR EXISTENCE. CONTRACTOR SHALL PROVIDE BURNING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND UNLOADING. STAFF THE TRUCKS UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY TACKLED TREES ARE TO BE STORED, UNLOADED, AND PLANTED IMMEDIATELY. DO NOT STORE PLANTS AND TREES IN SHADE. PROTECT THEM FROM WEATHER AND MECHANICAL DAMAGE AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE SPACING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 3" INCH DEPTH TO FORM A HOOT AND CRISP EDGESTONE.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUT WARES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LODGE UNIFORMLY FINE TEXTURE. GRADE TO WITHIN 1/8" OR MORE 1/2" INCH OF FINISH ELEVATION. FILL AND BAKE. REMOVE ROCKS AND FILL UNDESIRABLE WEED FROM GRASS. FINISH FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



1 TREE INSTALLATION DETAIL SECTION SCALE: 1/2" = 1'-0"



2 SHRUB INSTALLATION DETAIL SECTION SCALE: 1/2" = 1'-0"



3 ORNAMENTAL GRASS INSTALLATION DETAIL SECTION SCALE: 1/2" = 1'-0"

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE HEALTH CARE SYSTEM OF EASTWORTH REDEVELOPMENT MOB 1 SPECIAL USE PERMIT CHAPEL HILL, NORTH CAROLINA

PHASE 1 - LANDSCAPE DETAILS

UNC HEALTH CARE SYSTEM EASTWORTH REDEVELOPMENT MOB 1 SPECIAL USE PERMIT CHAPEL HILL, NORTH CAROLINA

OWNER: HEALTH SYSTEM PROPERTIES, LLC 211 FRIDAY CENTER DRIVE CHAPEL HILL, NORTH CAROLINA 27517

DESIGNER: MCADAMS CONSULTING INC. 3000 HASKELL PARKWAY BOYDTON, NORTH CAROLINA 27009

DATE: 04-27-18

LS-2

MCADAMS

**PROPOSED
CONSTRUCTION MANAGEMENT PLAN**

NOTES:

1. ALL LARGE TRUCKS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER/LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES & EXITS AS SHOWN ON THIS PLAN.
2. ENTRANCE AND EXIT GATES SHALL BE OPEN DURING ACTIVE CONSTRUCTION ON SITE, GENERALLY BETWEEN THE HOURS OF 6AM AND 7PM.
3. DEDICATED CONSTRUCTION PARKING FOR SMALL CONSTRUCTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE. ADDITIONAL CONSTRUCTOR PARKING AREA, IF REQUIRED, IS TO BE PROVIDED OFF-SITE.
4. PRIMARY CONSTRUCTION ACTIVITIES WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY, UNLESS SPECIFICALLY REQUESTED AND PERMITTED THROUGH THE TOWN OF CHARPEL HILL LIMITED CONSTRUCTION ACTIVITIES MAY OCCUR DURING OFF HOURS.
5. THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES --- REFER TO THE TOWN OF CHARPEL HILL TRAFFIC AND HIGHWAY CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
6. NO OPEN BURNING SHALL BE PERMITTED.
7. THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE AT THE CORNER AND ON THE CONSTRUCTION TRUCKS FRONT 15'-50' THAT LISTS THE FOLLOWING:
 - PROJECT OWNER'S REPRESENTATIVE & TELEPHONE NUMBER
 - CONTRACTOR'S REPRESENTATIVE & TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR HAZARDOUS WASTE AT THE OFF BUILDING PERMIT
 - SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 6 FT.
8. THE SITE CONSTRUCTION SIGN SHALL INCLUDE A PHONE NUMBER TO CONTACT FOR NOISE MODIFICATION DURING CONSTRUCTION.

SOLID WASTE NOTES:

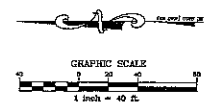
1. MIXED RECYCLING (INCLUDING COMPRESSED) IN A ROLL OFF CONTAINER AND WILL BE COLLECTED BY PRIVATE WASTE COLLECTION CONTRACTOR. OWNER ACKNOWLEDGES THAT MIXED WASTE IS NOT ELIGIBLE FOR PUBLIC COLLECTION OF MIXED RECYCLABLES BY WASTE COUNTY AND THAT PAYMENT OF ANNUAL FEE WITH REAL ESTATE TAXES WILL STILL BE REQUIRED.
2. TRASH, CARDBOARD AND MIXED RECYCLABLES WILL BE IN SEPARATE CONTAINERS AND COLLECTED BY A PRIVATE WASTE COLLECTION CONTRACTOR.
3. THE OWNER OR THEIR DESIGNER SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
4. THE SITE WILL NOT RECEIVE PUBLIC MIXED RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS A MIXED RECYCLING CENTER UNDER OTHER SPECIFICATIONS IS CONSTRUCTED OR CONTINGENTLY FOR SUCH A CENTER IS INCLUDED ON DEVELOPMENT PLANS.
5. COUNTY FEES FOR MIXED RECYCLING COLLECTION AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROPERTY WILL NOT BE WAIVED.

FIRE DEPARTMENT NOTES:

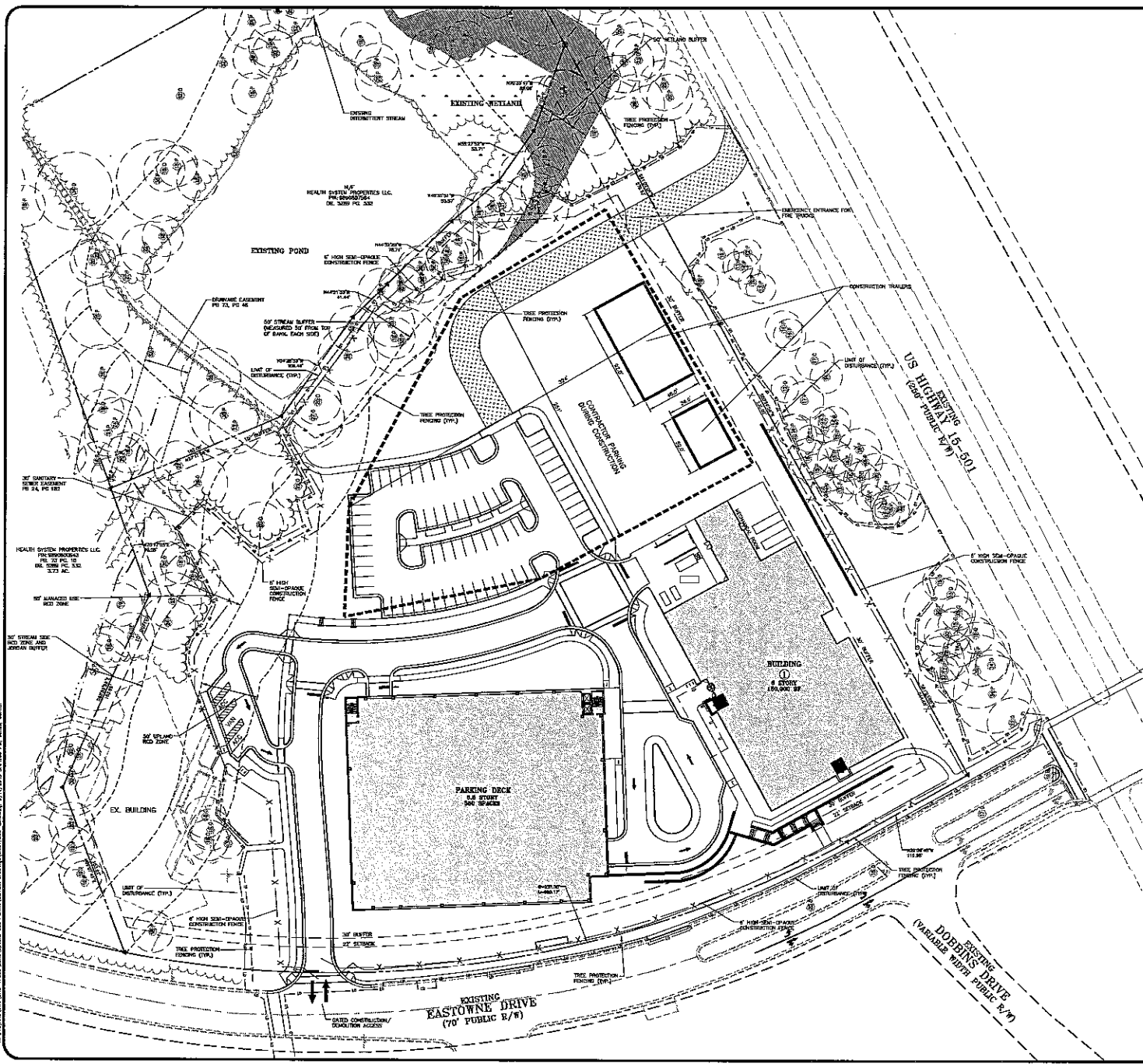
1. THE OWNER OR THEIR DESIGNER SHALL BE RESPONSIBLE FOR MAINTAINING A FIREWATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
2. ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FIC.
3. ANY GATES SHALL BE A MIN WIDTH OF 30', BE OF GAWING OR SLUNG TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, SHALL BE OPERABLE BY EITHER PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO U.S. 308 AND ACTA 7 2002.

TREE LEGEND

○	EXISTING TREE
○ _P	EXISTING PINE
○ _G	EXISTING GUM
○ _A	EXISTING OAK
○ _M	EXISTING MAPLE
○ _{CH}	EXISTING CHAPEL HILL
○ _C	EXISTING CEDAR
○ _{BE}	EXISTING BEECH
○ _B	EXISTING BIRCH



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



THE ASSOCIATED ENGINEERS AND ARCHITECTS
 COMPANY, INC.
 2005 McAdams Parkway
 Durham, North Carolina 27713
 (919) 286-8000 / www.mcadams.com

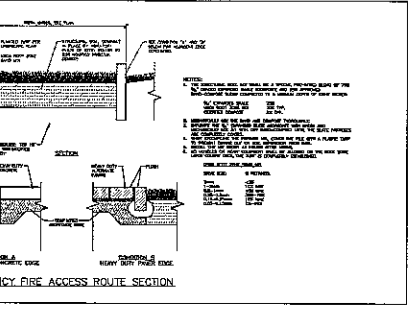
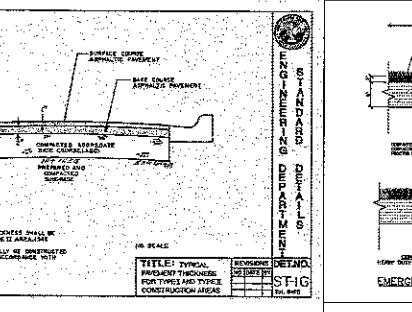
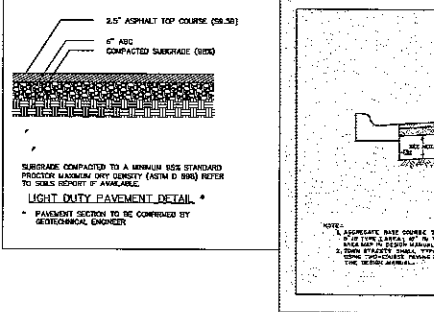
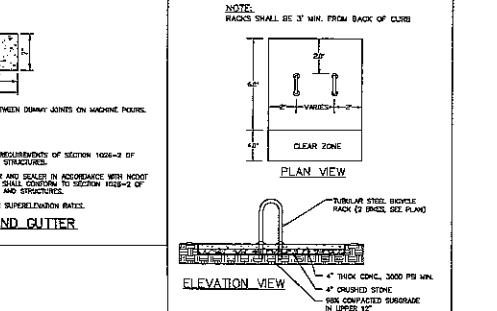
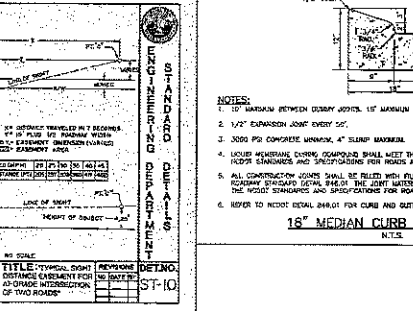
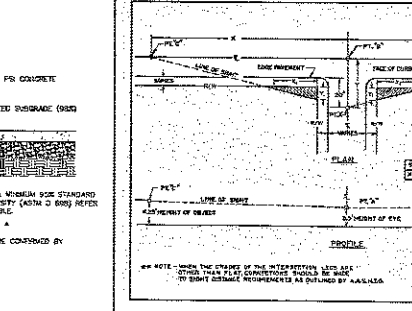
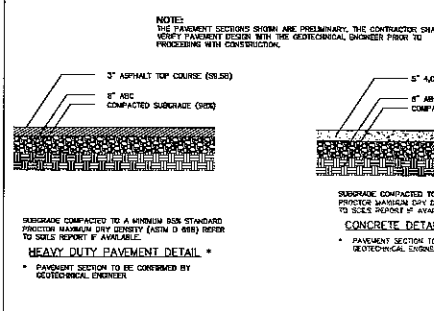
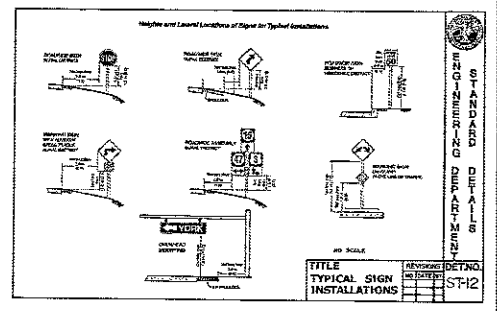
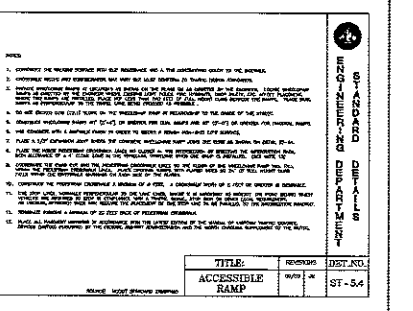
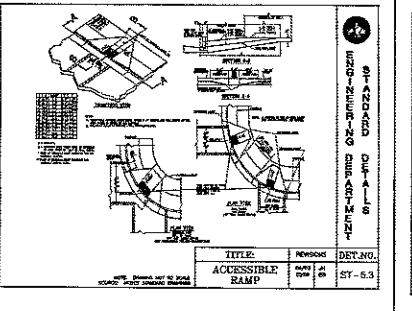
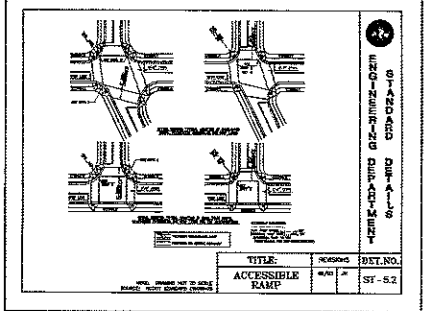
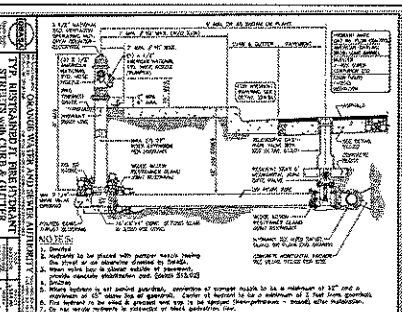
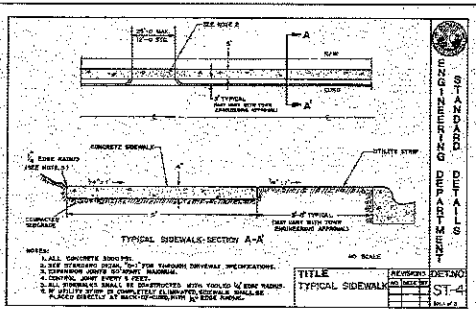
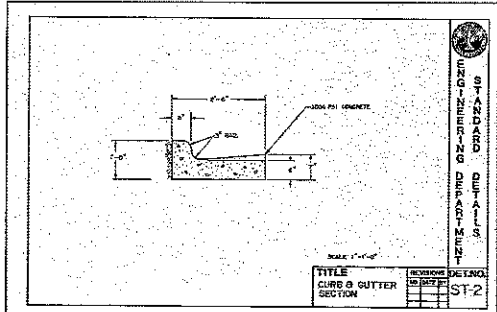
MCADAMS

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 CHAPEL HILL, NORTH CAROLINA
 CONSTRUCTION MANAGEMENT PLAN - STAGE 2**

PROJECT NO: UNC-17020
 REVISION: UNCLN17020-02
 CHECKED BY: WHD
 DRAWN BY: CJU
 SCALE: 1"=40'
 DATE: 04-22-16
 SHEET NO: CM-2

MCADAMS

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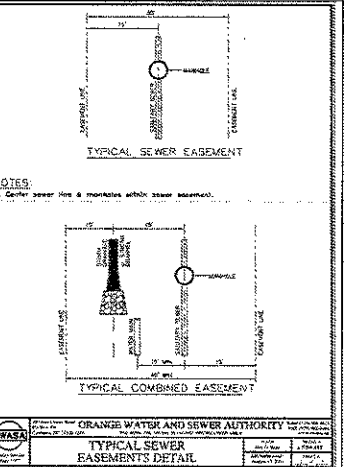
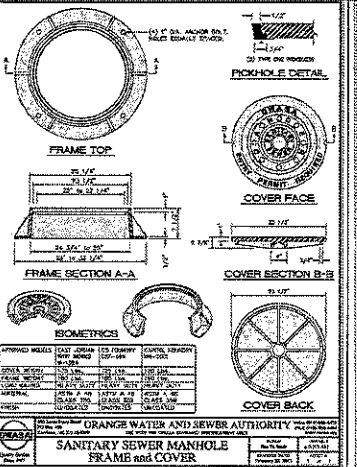
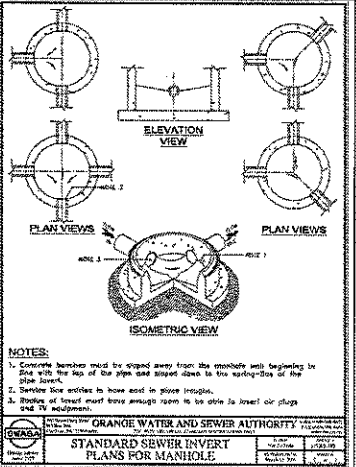
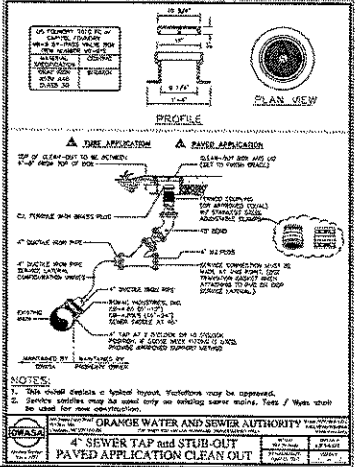
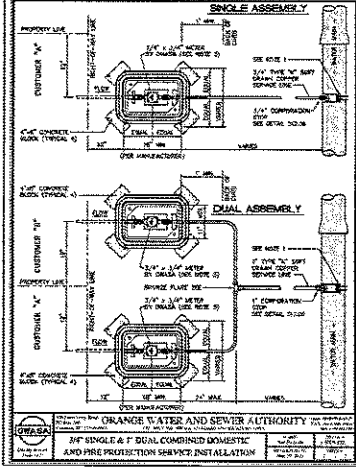
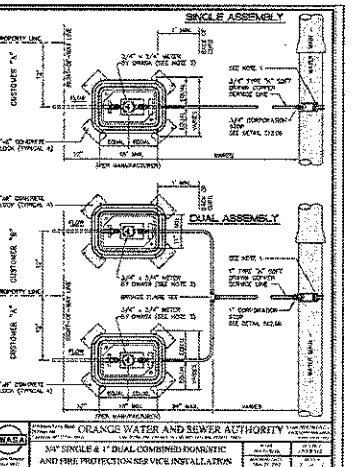
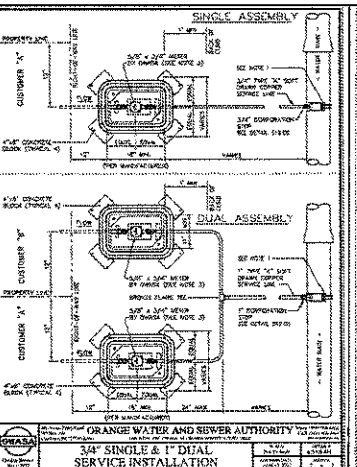
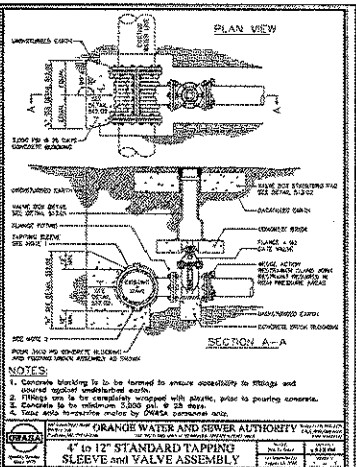
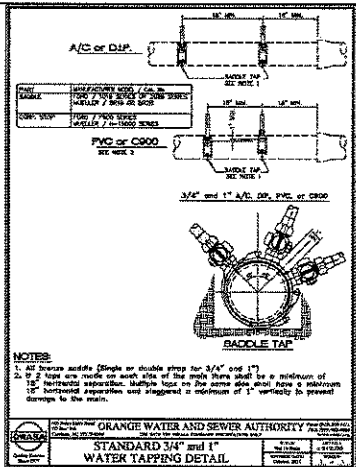
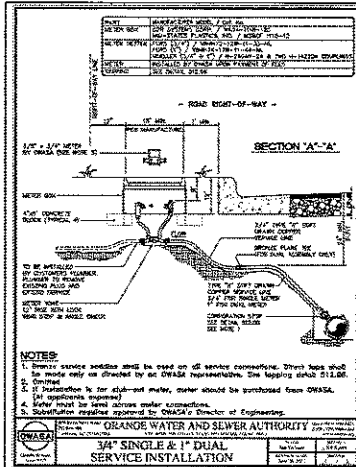


PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE M.C. MCADAMS COMPANY, INC.
 2005 Havelock Parkway
 Durham, North Carolina 27713
 (919) 725-5874 • Fax: (919) 725-5875
 www.mcadams.com

MCADAMS
 STANDARD DETAILS
 HEALTH CARE SYSTEM PRODUCERS, LLC
 211 FIDELITY CENTER DRIVE
 CHARLOTTE, NORTH CAROLINA 28217
 OWNER: HEALTH CARE SYSTEM PRODUCERS, LLC
 PROJECT: EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 CHARLOTTE, NORTH CAROLINA
 SITE DETAILS

PROJECT NO.: UNC-17020
 DRAWING NO.: 16050000-17020-D1
 DESIGNED BY: JMM
 CHECKED BY: CJD
 SCALE: 1"=20'
 DATE: 04-27-16
 D-1
 THE M.C. MCADAMS COMPANY, INC.



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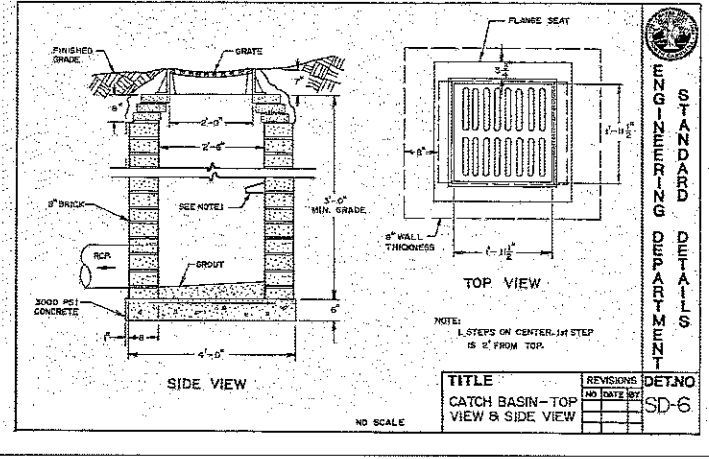
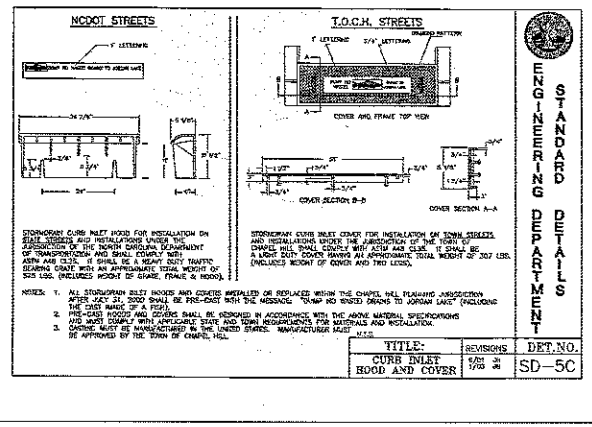
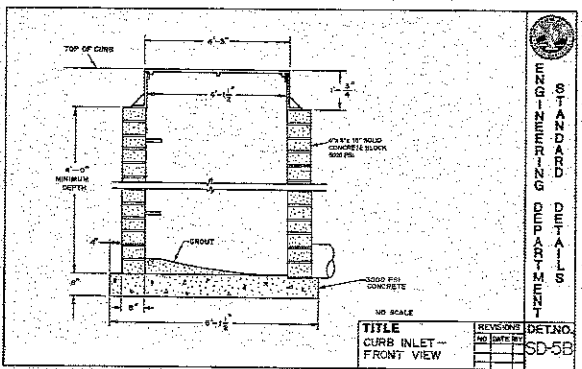
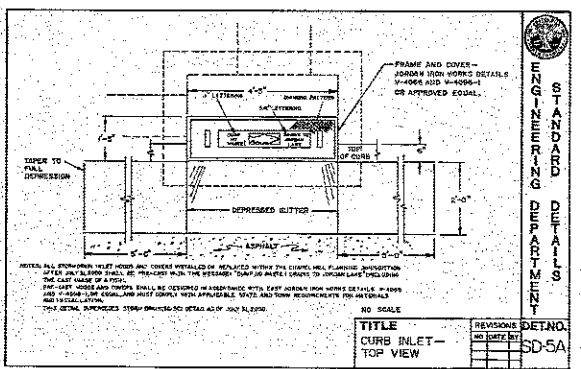
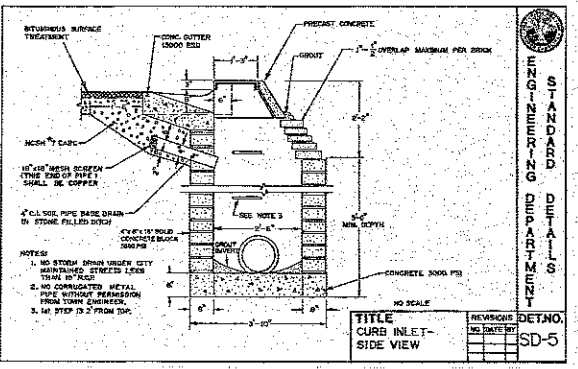
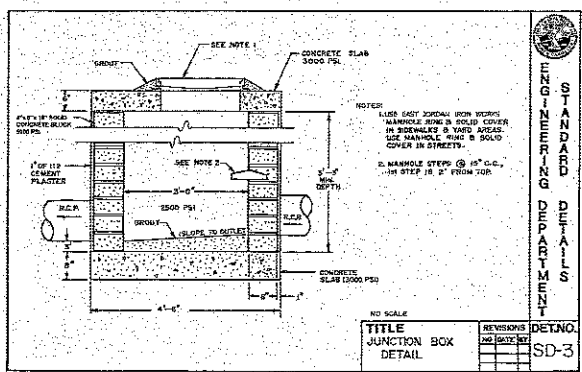
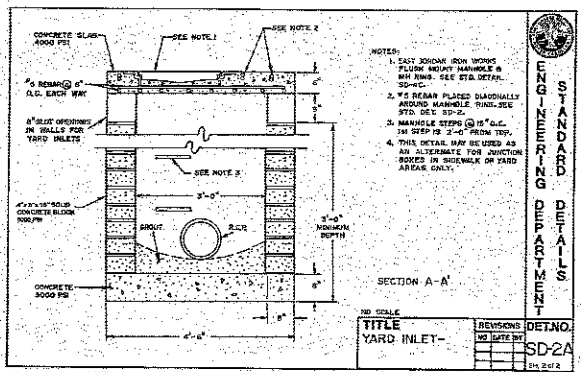
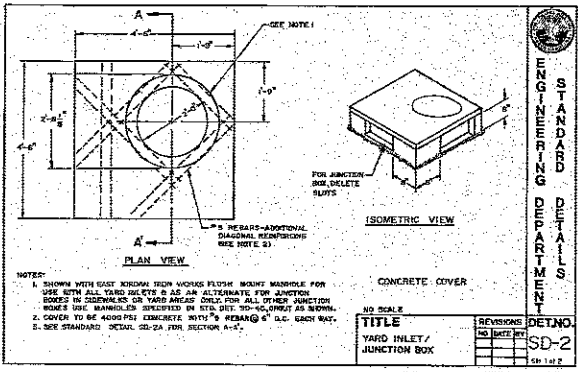
UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
OWSA SEWER AND WATER DETAILS

OWNER:
 HEALTH SYSTEM PROPERTIES, LLC
 311 FIDITY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27617

DESIGNER:
 MCADAMS
 2018

PROJECT NO: UNC-17020
 DRAWING NO: UNC17020-D1
 DRAWN BY: MJD
 CHECKED BY: CBJ
 DATE: 11-14-18
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: D-2

THE FIRM OF:
 MCADAMS
 2008 McAdams Parkway
 Durham, North Carolina 27713
 (919) 286-0000



3. UNCLE TOM'S BARBERSHOP, 1000 W. 10TH ST., DENVER, CO 80202
 4. UNCLE TOM'S BARBERSHOP, 1000 W. 10TH ST., DENVER, CO 80202
 5. UNCLE TOM'S BARBERSHOP, 1000 W. 10TH ST., DENVER, CO 80202

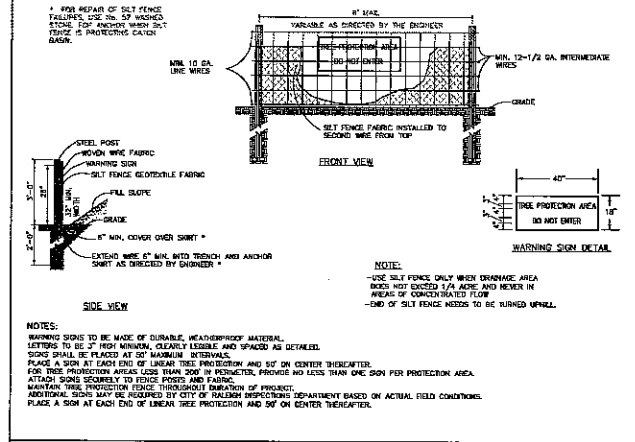
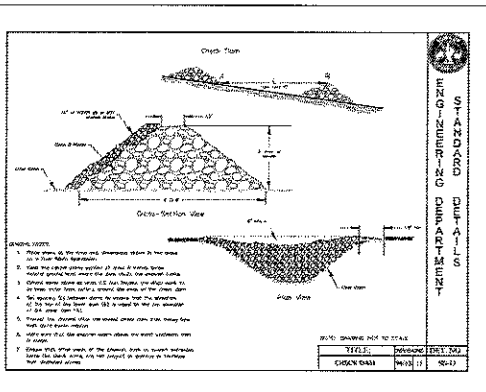
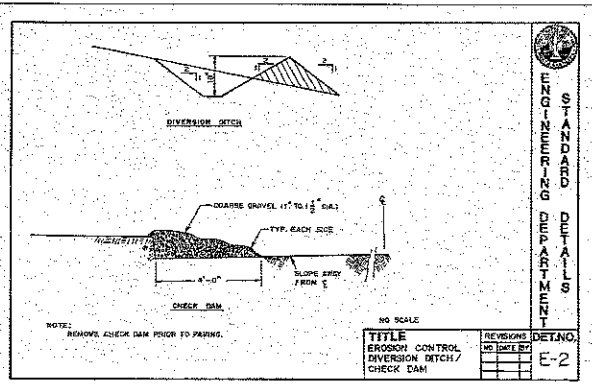
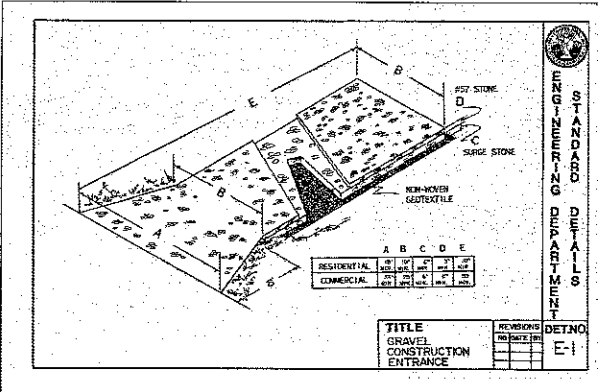
THE JOHN W. MCADAMS ENGINEERING DEPARTMENT
 2008 McAdams Building
 Durham, North Carolina 27718
 (919) 286-1000

MCADAMS

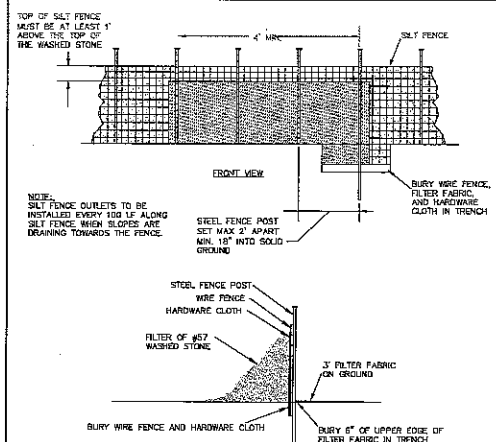
HEALTH SYSTEM PROPERTIES, LLC
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517

OFFICE: UNCLE TOM'S BARBERSHOP, 1000 W. 10TH ST., DENVER, CO 80202
 SPECIAL USE PERMIT
 CHAPEL HILL, NORTH CAROLINA
 STORMS DETAILS

PROJECT NO. JWC-17020
 DRAWING NO. UNCL020-01
 SHEET NO. 100
 DATE BY C.U.
 SCALE 1" = 4"
 DATE 04-27-18
 DESIGNED BY D-3
 CHECKED BY



STANDARD TEMPORARY SILT / TREE PROTECTION FENCE



STANDARD SILT FENCE OUTLET

SILT FENCE MAINTENANCE

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE GULCH MAINTENANCE

REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.

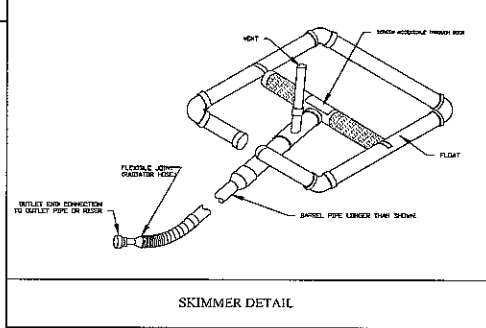
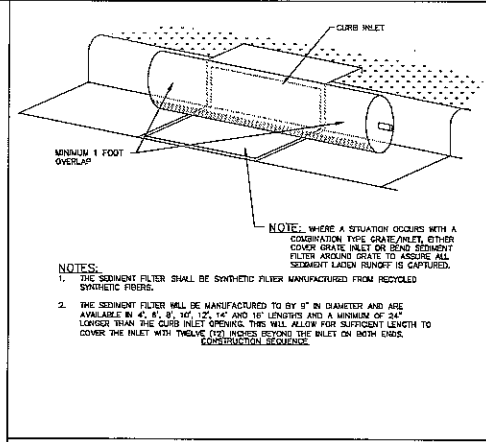
REPLACE STONE AS NEEDED TO ENSURE DRAINAGE.

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THIS PROJECT HAS BEEN APPROVED BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION

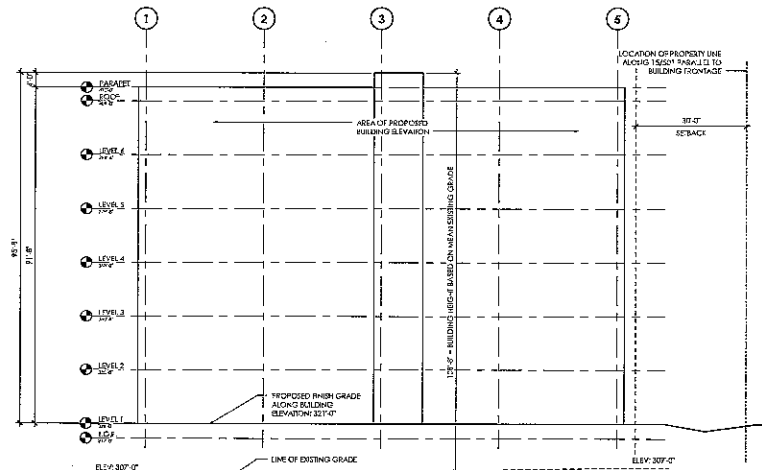
**UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT**

CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL DETAILS

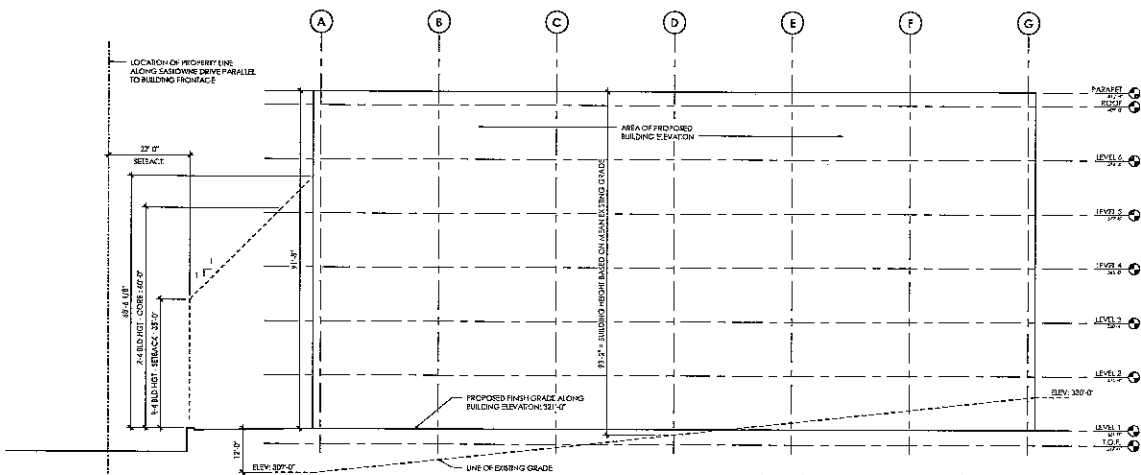
PROJECT NO. UNC-17020
DRAWING NO. UNC17020-01
CHECKED BY: []
DRAWN BY: []
SCALE: 1"=40'
DATE: 04-27-18
SHEET NO. D-4

HEALTH CARE SYSTEM PROPERTIES, LLC
2111 BRUNNEN CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

MCADAMS



OFFICE BUILDING - EASTOWNE ELEVATION ②
1/16" = 1'-0"



OFFICE BUILDING - 15/501 ELEVATION ①
1/16" = 1'-0"

GENERAL CONSTRUCTION NOTES:

- PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
- DO NOT SCALE DRAWINGS. REFER TO DIMENSIONS GOVERN IN CASE OF CONFLICT. CONSULT ARCH FURT FOR CLARIFICATION.
- INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR" ALTHOUGH VERTICALS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
- ALL INTERIOR DOORS TO BE LOCATED 6" OFF PERPENDICULAR WALL UNLESS OTHERWISE NOTED TO INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET WITH ALL 1" DOOR ACCESSIBLE CLEARANCES.
- REFER TO THE OWNER FURNISHED OWNER INSTALLED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCEALED BLOCKING AS REQUIRED PER VIEW BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S CONTRACTORS RE: SIZE, LOCATION, AND BLOCKING REQUIREMENTS.
- FURNISHING AND ELECTRICAL LITING REVIEWS SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BLDG. CO-ORDINATING FOR FINAL COORDINATION OF THESE ELEMENTS IN SITE CONDITIONS VARY FROM THE CIVIL PLANNING'S DESIGN OCCASIONALLY. VERIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS BY REFERENCE TO THE DESIGN DOCUMENTS.
- REFER TO CIVIL PLANNING DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 1' BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

DRAWING REFERENCES:

- HIGHER TO DIMS FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR (A) REGRAD ADJUSTMENTS, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARMS, FIRE EXTINGUISHERS, ETC.
- REFER TO SHEET 0303 FOR EXTERIOR WALL TYPE INFORMATION. REFER TO SHEET 0302 FOR INTERIOR WALL TYPE INFORMATION. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 8\"/>

TOUCH BLDG HGT REGS - 01-3

TABLE 3B-1 - DIMENSIONAL MATRIX (2/25/2018)					
BUILDING HEIGHT	02	03	04	05	06
OK3	N/A	N/A	0'	0'	0'
0-4	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"

THE CO-ORDINATION FOR THE HIGHWAY MILEAGE INFORMATION IS THE RESPONSIBILITY OF THE LASTING DRIVE FRONTAGE THAT IS COVERED BY THE ROADWAY. SEE REFER TO CIVIL DOCUMENTATION FOR ADDITIONAL FORMS INFORMATION.

**UNC HEALTH CARE SYSTEMS
EASTOWNE REDEVELOPMENT
MEDICAL OFFICE BUILDING #1**

100 Eastowne Drive
Chapel Hill, North Carolina

FOR REVIEW ONLY
NOT FOR CONSTRUCTION
NOT FOR FINAL PRICING

SHEET NAME:
BUILDING FRONTAGE
ELEVATIONS

PHASE:
SPECIAL USE PERMIT

REVISIONS:

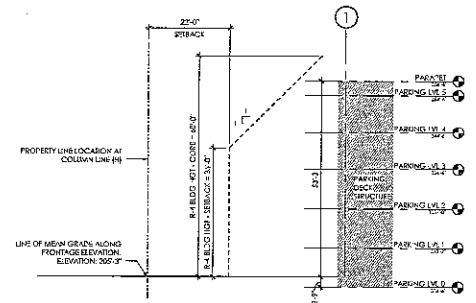
#	DESC.	DATE

ISSUE DATE: 03/05/18
PROJECT #: 17177
DRAWN BY: SAL

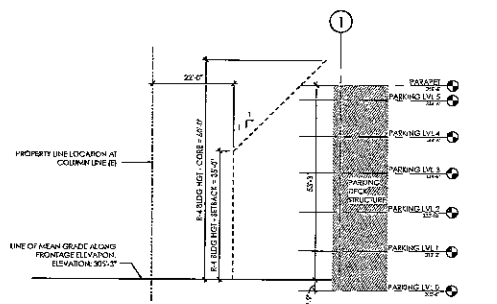
SHEET NUMBER
A1

MHA works
INTERIORS
PLANNING
ARCHITECTURE

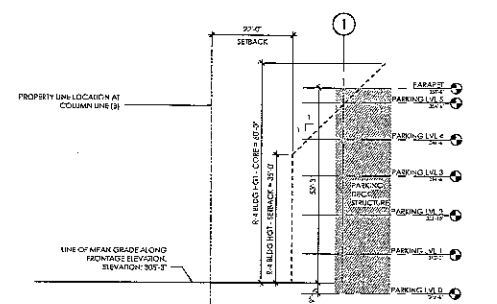
801 W. UNIVERSITY AVENUE, SUITE 107
DURHAM, NORTH CAROLINA 27701
P 919.892.2870
F 919.892.5369
www.mhaworks.com



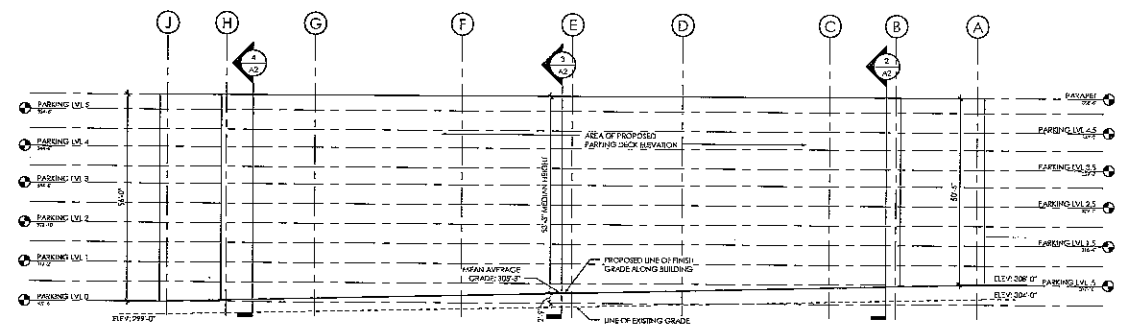
SETBACK SECTION - EASTOWNE DRIVE (CL - H)
1/16" = 1'-0" ④



SETBACK SECTION - EASTOWNE DRIVE (CL - E)
1/16" = 1'-0" ③



SETBACK SECTION - EASTOWNE DRIVE (CL - B)
1/16" = 1'-0" ②



PARKING DECK - EASTOWNE ELEVATION
1/16" = 1'-0" ①

GENERAL CONSTRUCTION NOTES:

1. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
2. DO NOT SCALE DRAWINGS. VERIFY DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR CLARIFICATION.
3. INTERIOR FINISHES ALL DIMENSIONED FROM FINISH FACE TO FINISH FACE UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLAMP" ALONG TOP THICKNESS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
4. ALL INTERIOR DOORS TO BE LOCATED 4" OFF FIFTH-FLOOR WALL LINE. DIMENSIONS INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET AND AT LEAST 30"99 ACCESSIBLE CLEARANCES.
5. REFER TO THE OWNER FINISHING OWNER INCLUDED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCRETE BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S OTHER CONTRACTORS THE SIZE, LOCATION, AND HANGING REQUIREMENTS.
6. PLUMBING AND MECHANICAL UTILITY SERVICES SHOWN IN THE PLAN SHALL ONLY EXTEND 6'-0" OUTSIDE OF THE BUILDING. THE RESPONSIBILITY FOR FINAL COORDINATION OF THESE SERVICES IF THE CONDITIONS VARY FROM THE PLAN, MECHANICAL DESIGN DOCUMENTS, AND ARCHITECT WITH ANY DISCREPANCIES FOR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
7. REFER TO CIVIL PLAN AND CIVIL DRAWINGS FOR FINAL 2" SLOPE DRAINAGE AND BUILDING FINISH GRADE TO BE A MINIMUM OF 4" READY FINISH FLOOR LEVELS FROM DRIVEWAYS.

DRAWING REFERENCES:

1. REFER TO SCHEDULE FOR TYPICAL INTERIOR FINISHING HEIGHTS FOR 10'0" ROOM ACCESSIBLE, ELECTRICAL, CLOSET, DATA CENTER, FIRE ALARMS, FIRE PROTECT, TELEPHONE, ETC.
2. REFER TO SHEET C220 FOR EXTERIOR WALL TYPE AND FINISHES. REFER TO SHEET C220 FOR INTERIOR WALL TYPE INFORMATION. UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE 8" REFER TO SHEET A24 FOR INTERIOR FINISH INFORMATION.
3. REFER TO SHEET A24 - ASIS FOR EXTERIOR CURB/ANNUAL ELEVATION.
4. REFER TO SHEET 3/2006 FOR DOOR OPERATOR BOLLARD DETAIL. DETAIL SHALL ALSO BE USED FOR POST MOUNTED FIRE PULL.

TOUCH BLDG HGT REG'S - OH-3

BUILDING HEIGHT	TABLE 3.8.1 - DIMENSIONAL MATRIX (2/25/23) (6)				
	IF	IG	PH	IR	ER
OH-3	N/A	N/A	0'	0'	0'
R-4	34'-0"	67'-0"	22'-0"	25'-0"	9'-0"

THE GRAPHIC INFORMATION IS FOR THE HIGHWAY 421/5204 INTERCHANGE. THE GRAPHIC INFORMATION IS FOR THE EASTOWNE DRIVE INTERCHANGE THAT IS COMPOSED OF THE REDEVELOPMENT. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DIMENSIONS AND INFORMATION.

SHEET NAME:
PARKING DECK ELEVATION

PHASE:
SPECIAL USE PERMIT

REVISIONS:

#	DESC.	DATE

ISSUE DATE: 03/05/18
PROJECT #: 17177
DRAWN BY: SAL

SHEET NUMBER:
A2

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