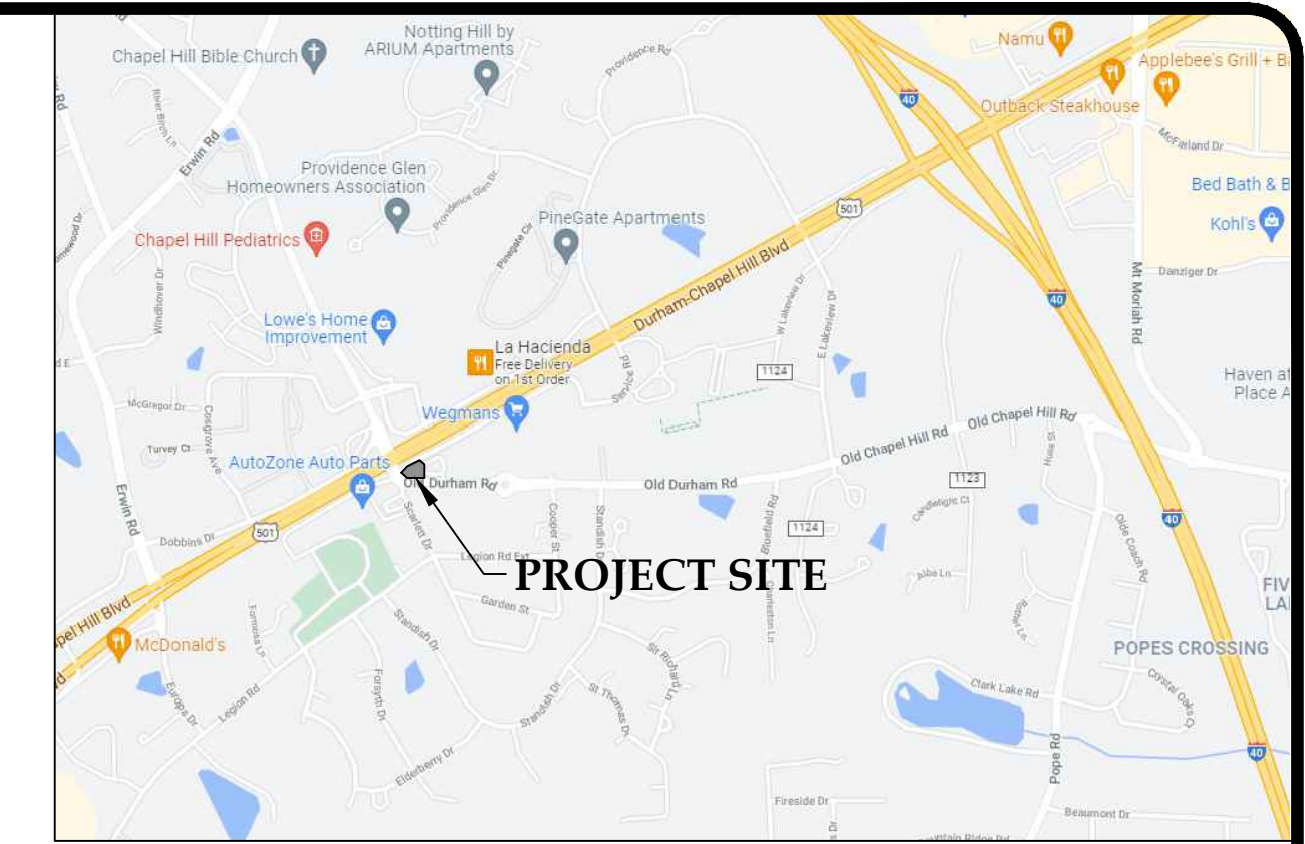


# CONSTRUCTION DOCUMENTS FIFTH THIRD BANK 1800 FORDHAM BLVD.

PIN: 9799-68-5750  
S&ME PROJECT NO. 213004  
CHAPEL HILL, NC  
APRIL 22, 2022



VICINITY MAP  
NOT TO SCALE



**SPECIAL USE PERMIT APPLICATION**

TOWN OF CHAPEL HILL  
Planning Department  
405 North Lake Park Blvd.  
Chapel Hill, NC 27514  
Phone: (919) 949-2728 Fax: (919) 949-2544  
www.chapelhill.org

Parcel Identifier Number (PIN): 2799-68-5750 Date: 12/28/2021

**Section B: Project Information**

Project Name: Fifth Third Bank  
Property Address: 1800 Fordham Blvd Chapel Hill Zip Code: 27514  
Use Group (A, B, R, and/or C): Existing District: CC  
Project Description: Redevelop the existing building and develop a new financial services branch with drive-thru service.

**Section B: Applicant, Owner, and/or Contract Purchaser Information**

Applicant Information (to whom correspondence will be made):  
Name: Aton Properties, Inc.  
Address: 405 E. Morehead St., Suite 100  
City: Charlotte State: NC Zip Code: 28202  
Phone: (704) 513-4921 Email: aaton@atoproperties.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application is accurate.  
Signature: [Signature] Date: 12/28/21

Owner/Contract Purchaser Information:  
 Owner  Contract Purchaser

Name: AP DEV, LLC  
Address: 405 E. Morehead St., Suite 100  
City: Charlotte State: NC Zip Code: 28202  
Phone: (704) 566-7337 Email: apdev@atoproperties.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application is accurate.  
Signature: [Signature] Date: 12/28/21

Click here for application submission instructions.  
Page 1 of 50

**PROJECT FACT SHEET**  
TOWN OF CHAPEL HILL  
Planning Department

**Section A: Project Information**

Use Type (check/all that apply):  
 Office/Institutional  Residential  Mixed Use  Other

Overlay District (check all that apply):  
 Historic District  Neighborhood Conservation District  Airport Hazard Zone

**Section B: Land Area**

Net Land Area (NLA): Area within zoning lot boundaries	N/A	42,287	sq. ft.	
Choose one, or both, of the following (NLA):	(a) Unfilled Street Area (total adjacent frontage) x 1/4 width of public right-of-way	CSA	3,300	sq. ft.
	(b) Unfilled Permanent Open Space (total adjacent frontage) x 1/4 width of public right-of-way	COA	0	sq. ft.
TOTAL NLA + CSA and/or COA = Gross Land Area (not to exceed NLA + 10%)	GLA	45,587	sq. ft.	

**Section C: Special Protection Areas, Land Disturbance, and Impervious Area**

Special Protection Areas (check all that apply):  
 100 Year Floodplain  100 Year Floodplain  Watershed Protection District

Land Disturbance:  
Area of Land Disturbance (including: location of proposed activities plus work area, staging area for materials, access/egress paths, and all other activities, including off-site staging)  
Area of Land Disturbance within 800'  
Area of Land Disturbance within Jordan Buffer

Impervious Area	Existing (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	34,500	13,500	48,000
Impervious Surface Ratio: Percent Impervious Surface Area of Total Land Area (ISA/GLA)	75	73	52

All Impervious Surface Areas (ISA) are required to include the area of disturbance, which includes off-site improvements.

Page 2 of 50

**PROJECT FACT SHEET**  
TOWN OF CHAPEL HILL  
Planning Department

**Section D: Dimensions**

Dimensional Unit (sq. ft.)

Building (sq. ft.)	Existing (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	3,287	3,287	2,400
Number of Floors	1	1	1

Recreational Space

Dimensional Unit (sq. ft.)

Existing (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
0	0	0

Floor Area (of floor - heated and unheated)  
Total Square Footage of all units  
Total Square Footage of Affordable units  
Total Residential Density  
Number of Dwelling Units  
Number of Affordable Dwelling Units  
Number of Single Bedroom Units  
Number of Two Bedroom Units  
Number of Three Bedroom Units

Non-Residential Space (Street Floor Area in Square Feet)

Use Type	Existing	Proposed	Users	Existing	Proposed
Commercial	3,287	3,287	# of Seats		
Restaurant					
Government					
Institutional					
Medical Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements

Requirement	Required by Ordinance	Existing	Proposed
Setback (Street)	22'	35.0'	22'
Setback (Interior/adjacent property line)	5'	51.4'	54.0'
Setback (Rear/other property line)	5'		
Height (Primary)	34'	16.7'	38.0'
Height (Secondary)			
Signage			
Screening			
Walls			

Page 3 of 50

**PROJECT FACT SHEET**  
TOWN OF CHAPEL HILL  
Planning Department

**Section E: Adjoining or Connecting Streets and Sidewalks**

Notes: For approval of proposed street access, contact the Engineering Department.

Street Name	Width	Right of Way	Proposed	Number of Lanes	Existing	Existing
Wagner's Vehicular Access	N/A	30'	2	2	Yes	Yes
Old Durham Road	80'	47'	1	1	Yes	Yes

List Proposed Points of Access (E.g. Number, Street Name):

\*Existing sidewalks do not exist and the applicant is adding sidewalks. Please provide the following information:

Street Name	Dimensions	Surface	Handicapped Ramps
Fordham Blvd. (Service Road)	8' x 100'	Concrete	Yes

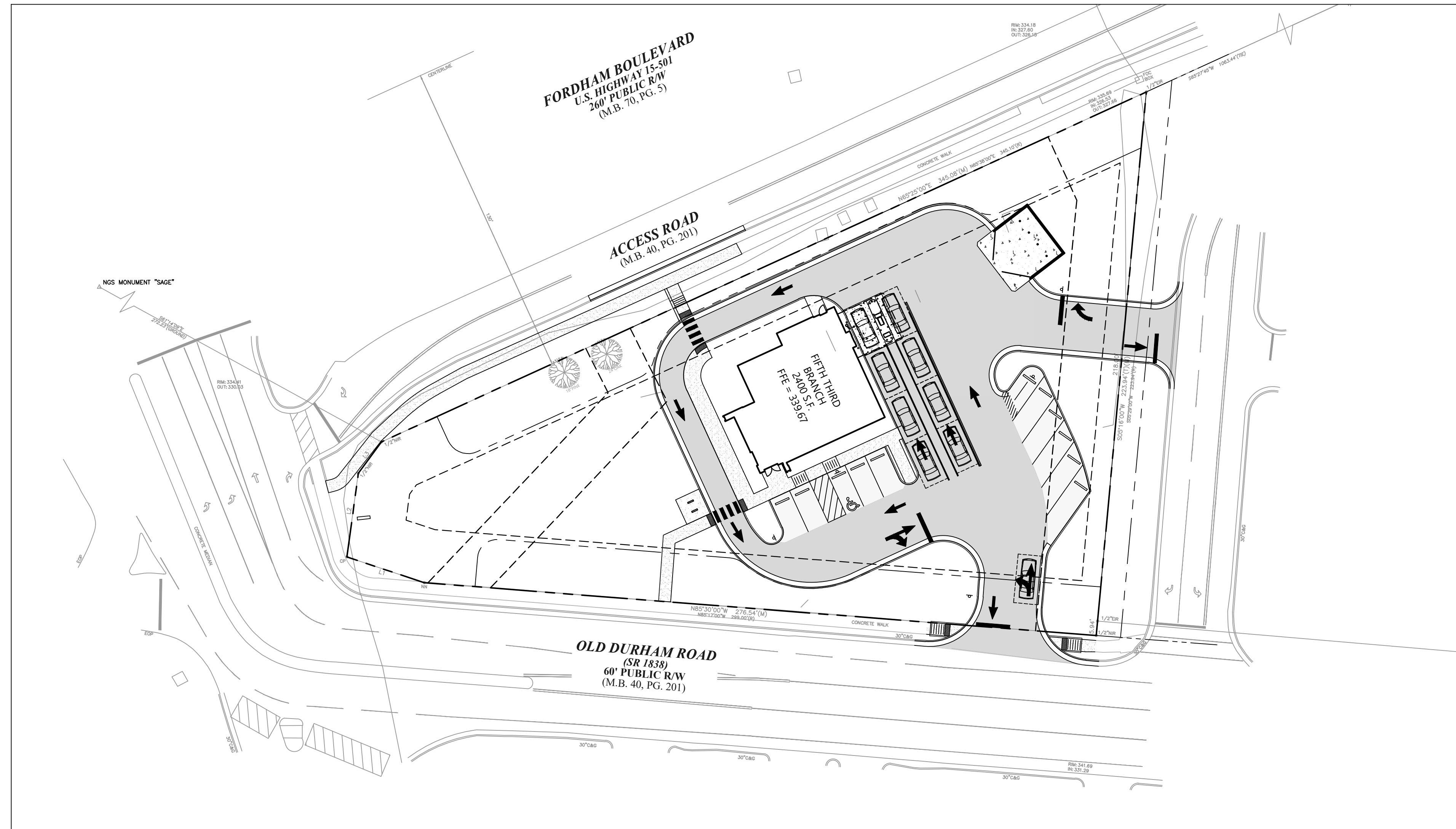
**Section G: Parking Information**

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	4	12	0
Handicap Spaces	1	1	1
Total Spaces	5	13	1
Loading Spaces	0	0	0
Break Spaces	4	4	4
Surface Type	Asphalt		

**Section H: Landscape Buffers**

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Street (Fordham Blvd.)	30'	20' / 10'	Yes	Yes
East (Highways)	20'	0'	Yes	Yes
Old Durham Road (West & South)	15'	20' / 10' / 5'	Yes	Yes

Page 4 of 50



ARCHITECT

OWNER/DEVELOPER

CIVIL ENGINEER/LANDSCAPE ARCHITECTURE



BARLOW MOTORS BUILDING  
40 W. CENTRAL PKWY.  
FIRST FLOOR  
CINCINNATI, OH 45202  
PHONE: (513) 914-5835



38 FOUNTAIN SQUARE PLAZA  
CINCINNATI, OHIO 45202  
(513) 579-5203



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144

C0.0  
COVER

Sheet List Table	
Sheet Number	Sheet Title
C0.0	COVER
C1.0	EXISTING CONDITIONS
C2.0	CIVIL NOTES
C2.1	CIVIL NOTES
C3.0	INITIAL EROSION CONTROL PLAN
C3.1	INTERMEDIATE EROSION CONTROL PLAN
C3.2	FINAL EROSION CONTROL PLAN
C3.3	SEDIMENT AND EROSION CONTROL DETAILS
C4.0	DEMOLITION PLAN
C4.1	CONSTRUCTION MANAGEMENT PLAN
C5.0	SITE LAYOUT PLAN
C5.1	VEHICLE TRACKING PLAN
C6.0	GRADING & DRAINAGE PLAN
C7.0	UTILITY PLAN
C8.0	SITE DETAILS
C8.1	SITE DETAILS
C8.2	SITE DETAILS
TP1.0	TREE PROTECTION PLAN
L1.0	LANDSCAPE PLAN
L2.0	LANDSCAPE DETAILS

SCHEDULE A LEGAL DESCRIPTION

LYING AND BEING SITUATE IN ORANGE COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT AN IRON STAKE, THE NORTHEAST INTERSECTION OF HENDERSON STREET AND THE OLD DURHAM CHAPEL HILL ROAD, RUNNING THENCE WITH HENDERSON STREET N 19° 08' W 30.65 FEET TO AN IRON STAKE, THE SOUTHEAST INTERSECTION OF HENDERSON STREET AND U.S. HIGHWAY 15-501, RUNNING THENCE WITH U.S. 15-501 N 65° 39' E 404.10 FEET TO AN IRON STAKE, RUNNING THENCE S 5° 29' W 233.87 FEET TO AN IRON STAKE, RUNNING THENCE WITH THE OLD DURHAM CHAPEL HILL ROAD N 85° 15' W 538.17 FEET TO THE POINT AND PLACE OF BEGINNING.

LESS AND EXCEPT THE LAND CONVEYED BY NORTH CAROLINA GENERAL WARRANTY DEED RECORDED IN BOOK 496, PAGE 361, ORANGE COUNTY REGISTRY.  
 LESS AND EXCEPT THE LAND CONVEYED BY DEED FOR HIGHWAY RIGHT OF WAY RECORDED IN BOOK 6256, PAGE 221, ORANGE COUNTY REGISTRY.

AS SURVEYED DESCRIPTION

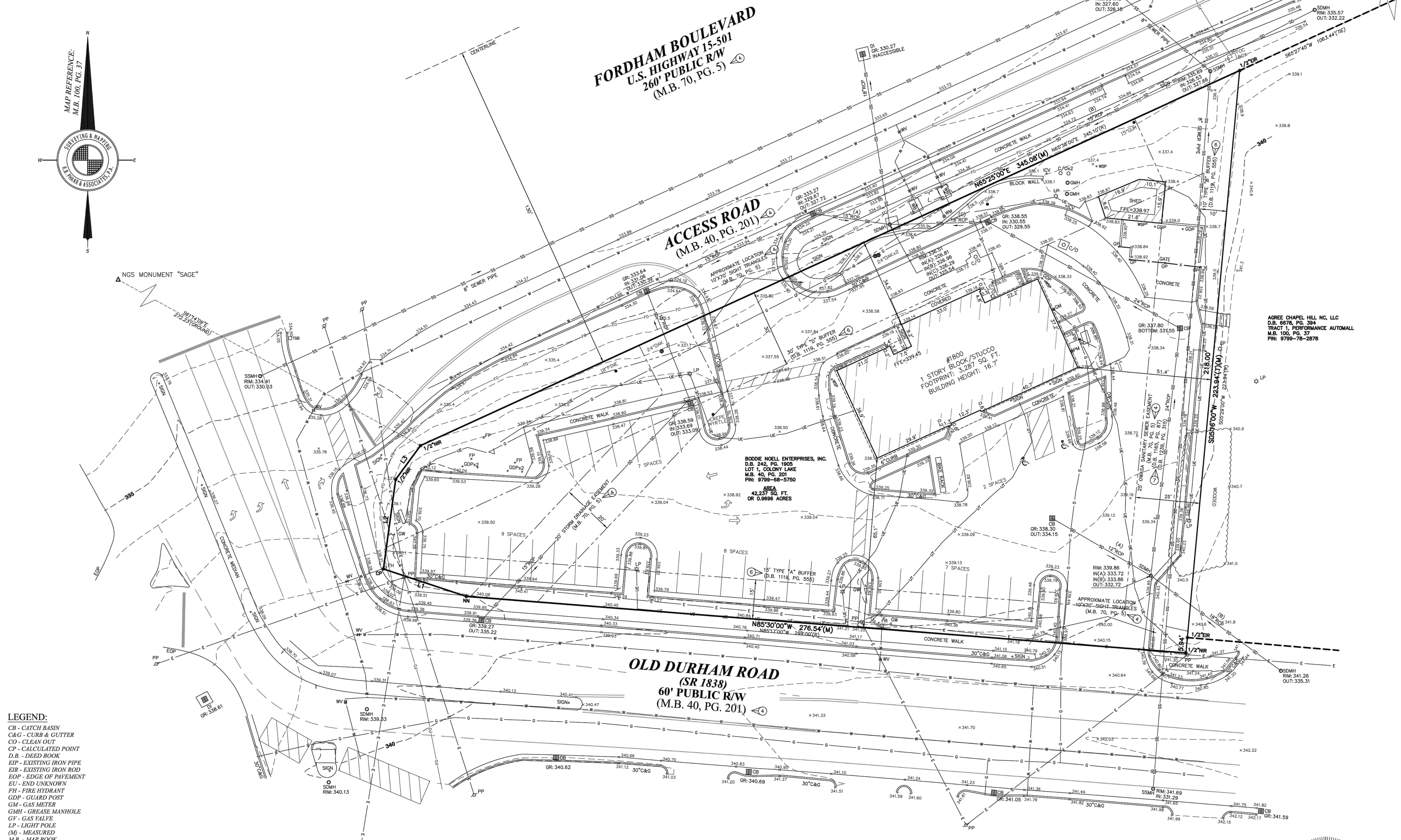
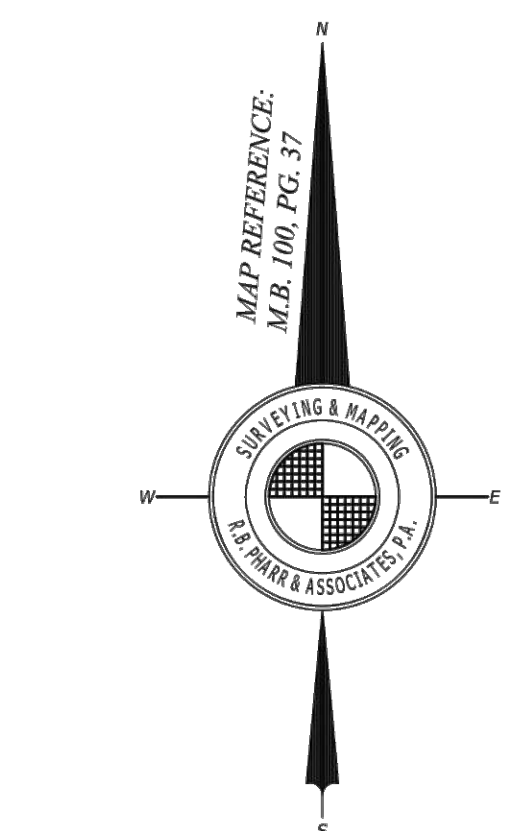
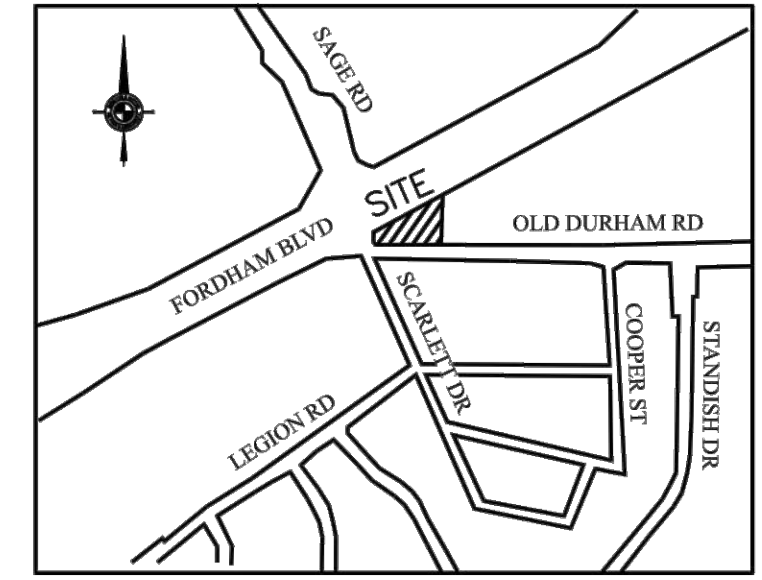
BEING THAT CERTAIN PARCEL OF LAND LYING AND BEING IN THE TOWN OF CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A 1/2" EXISTING IRON ROD LOCATED ON THE SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF FORDHAM BOULEVARD (U.S. HIGHWAY 15-501) (66' PUBLIC RIGHT-OF-WAY) AND ALSO BEING THE NORTHWEST CORNER OF THE AGREE CHAPEL HILL, NC, LLC PROPERTY AS DESCRIBED IN DEED BOOK 6678, PAGE 394 OF THE ORANGE COUNTY PUBLIC REGISTRY, THENCE WITH THE AGREE CHAPEL HILL, NC, LLC LINE S 05° 16' 00" W A DISTANCE OF 223.94 FEET (CROSSING A 1/2" EXISTING IRON ROD AT 218.00 FEET) TO A 1/2" NEW IRON ROD LOCATED ON THE NORTHERLY MARGIN OF THE RIGHT-OF-WAY OF OLD DURHAM ROAD (60' PUBLIC RIGHT-OF-WAY), THENCE WITH THE RIGHT-OF-WAY OF OLD DURHAM ROAD THE FOLLOWING FOUR (4) COURSES AND DISTANCES: (1) N 85° 30' 00" W A DISTANCE OF 276.54 FEET TO A NEW NAIL; (2) N 71° 39' 32" W A DISTANCE OF 33.42 FEET TO A CALCULATED POINT; (3) N 07° 45' 30" E A DISTANCE OF 34.60 FEET TO A 1/2" NEW IRON ROD; (4) N 36° 17' 30" E A DISTANCE OF 16.05 FEET TO A 1/2" NEW IRON ROD LOCATED ON THE AFORESAID SOUTHERLY MARGIN OF THE RIGHT-OF-WAY OF FORDHAM BOULEVARD, THENCE WITH THE RIGHT-OF-WAY OF FORDHAM BOULEVARD N 65° 25' 00" E A DISTANCE OF 345.08 FEET TO THE POINT AND PLACE OF BEGINNING, HAVING AN AREA OF 42,237 SQUARE FEET OR 0.9696 ACRES ACCORDING TO A SURVEY BY R.B. PHARR & ASSOCIATES, P.A. DATED AUGUST 25, 2021, JOB NO. 93339.

1. - 3. (NOT A SURVEY MATTER)  
 4. ANY RIGHT, EASEMENT, SETBACK, INTEREST, CLAIM, ENCROACHMENT, ENCUMBRANCE, VIOLATION, VARIATIONS OR OTHER ADVERSE CIRCUMSTANCE AFFECTING THE TITLE DISCLOSED BY PLAT(S) RECORDED IN PLAT BOOK 40, PAGE 201; AND PLAT BOOK 70, PAGE 5. (AS SHOWN HEREON)  
 5. EASEMENT(S) TO THE UNIVERSITY OF NORTH CAROLINA RECORDED IN BOOK 262, PAGE 1287. (DOES NOT AFFECT SUBJECT PROPERTY)  
 6. SPECIAL USE PERMIT RECORDED IN BOOK 1119, PAGE 555. (AS SHOWN HEREON)  
 7. DEEDS OF EASEMENT TO ORANGE WATER AND SEWER AUTHORITY RECORDED IN BOOK 1165, PAGE 97; AND BOOK 1239, PAGE 315. (AS SHOWN HEREON)  
 8. EASEMENT(S) TO DUKE POWER COMPANY RECORDED IN BOOK 1241, PAGE 536. (15' EASEMENT ON EACH SIDE OF THE CENTERLINE OF THE ELECTRICAL FACILITIES AS INSTALLED)  
 9. RIGHTS OF BODDIE-NOELL ENTERPRISES, INC., A NORTH CAROLINA CORPORATION, AS TENANT ONLY, UNDER AN UNRECORDED POST CLOSING POSSESSION LICENSE AGREEMENT. (NOT A SURVEY MATTER)



Know what's below.  
 Call before you dig.



- NOTES:  
 1. THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.  
 2. ALL CORNERS MONUMENTED AS SHOWN.  
 3. UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.  
 4. ELEVATIONS BASED ON N.G.S. MONUMENT "SAGE", ELEVATION = 333.58 FEET, NAVD 88.  
 5. BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.  
 6. THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:  
 SUBJECT PROPERTY ZONED: CC  
 NOTE: NO ZONING REPORT HAS BEEN PROVIDED TO THE SURVEYOR. PURSUANT TO ALTA TABLE A ITEM 6, OWNER / DEVELOPER TO VERIFY ZONING REQUIREMENTS PRIOR TO FURTHER DEVELOPMENT OF SITE.  
 FOR FURTHER INFORMATION CONTACT THE TOWN OF CHAPEL HILL ZONING DEPARTMENT AT 919-968-2728.

PARKING:  
 REGULAR PARKING SPACES - 33  
 HANDICAPPED PARKING SPACES - 2  
 TOTAL PARKING SPACES - 35

ALTA/NSPS CERTIFICATION:  
 TO: API-DEV, LLC, A NORTH CAROLINA LIMITED LIABILITY COMPANY; CHICAGO TITLE INSURANCE COMPANY  
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 7a, 7b(1), 7c, 8, 9, 11b AND 13 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 25, 2021.

Andrew B. Baker 9/21/21  
 ANDREW B. BAKER, PLS (L-4542) DATE  
 email: abaker@rbpharr.com

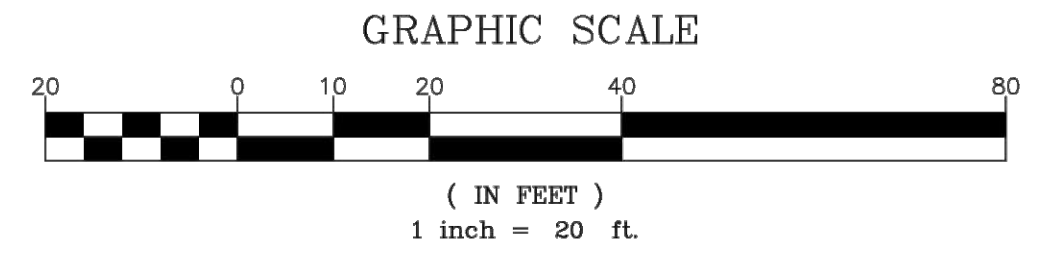
- LEGEND:  
 CB - CATCH BASIN  
 C&G - CURB & GUTTER  
 CO - CLEAN OUT  
 CP - CALCULATED POINT  
 D.B. - DEED BOOK  
 EIP - EXISTING IRON PIPE  
 EIR - EXISTING IRON ROD  
 EOP - EDGE OF PAVEMENT  
 EU - END UNKNOWN  
 FH - FIRE HYDRANT  
 GDP - GUARD POST  
 GM - GAS METER  
 GMH - GREASE MANHOLE  
 GV - GAS VALVE  
 LP - LIGHT POLE  
 (M) - MEASURED  
 M.B. - MAP BOOK  
 MBX - MAILBOX  
 N.G.S. - NATIONAL GEODETIC SURVEY  
 NIR - NEW IRON ROD  
 NN - NEW NAIL  
 PB - POWER BOX  
 POB - POINT OF BEGINNING  
 POC - POINT OF COMMENCEMENT  
 PG - PAGE  
 PIN - PARCEL IDENTIFICATION NUMBER  
 PM - POWER METER  
 PP - POWER POLE  
 (R) - RECORDED  
 RCP - REINFORCED CONCRETE PIPE  
 RW - RIGHT-OF-WAY  
 SDMH - STORM DRAIN MANHOLE  
 SSMH - SANITARY SEWER MANHOLE  
 T - TOTAL  
 WB - WATER BOX  
 WM - WATER METER  
 WSP - WATER SPIGOT  
 WY - WATER VALVE

LINE LEGEND:

---	PROPERTY LINE
---	PROPERTY LINE (NOT SURVEYED)
---	RIGHT-OF-WAY
---	RIGHT-OF-WAY (NOT SURVEYED)
---	EASEMENT
---	SETBACK
---	FIBER OPTIC CABLE
---	GAS LINE
---	POWER LINE
---	POWER LINE (UNDERGROUND)
---	SANITARY SEWER PIPE
---	STORM DRAIN PIPE
---	TELEPHONE LINE (UNDERGROUND)
---	WATER LINE

LINE TABLE:

LINE	BEARING	DISTANCE
L1(M)	N71°59'32"W	33.42'
L1(G)	N74°08'24"W	33.42'
L2(M)	N07°45'30"E	34.60'
L2(G)	N07°58'30"E	34.60'
L3(M)	N56°17'30"E	16.05'
L3(G)	N56°30'30"E	16.03'



FLOOD CERTIFICATION  
 THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED OCTOBER 19, 2018  
 MAP NUMBER: 3710979900L; ZONE "X" UNSHADED  
 THIS IS TO CERTIFY THAT ON THE 25TH DAY OF AUGUST 2021 AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (21 N.C.A.C. 59) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.  
 SIGNED Andrew B. Baker



REVISIONS		ALTA/NSPS LAND TITLE SURVEY FOR: API-DEV, LLC 1800 OLD DURHAM ROAD LOT 1, ORANGE LAKE TOWN OF CHAPEL HILL, ORANGE COUNTY, NC DEED REFERENCE: 242-1905 MAP REFERENCE: 40-201 TAX PARCEL NO: 9799-68-5750	
CREW: EH		R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING LICENSE NO: C-1474 989 E. 7TH ST., #100 CHARLOTTE, N.C. 28204 TEL: (704) 376-2186	
DRAWN: DB		SCALE: 1" = 20'	
REVISED:		DATE: AUGUST 25, 2021	
JOB NO: 93339		JOB NO:	

EXISTING CONDITIONS

C1.0  
 PLOTTED: 12/21/2021



**FIRE PROTECTION NOTES**

1. PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, 2018 NCFE SECTION 507.
2. ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE, 2018 NCFE CHAPTER 33.
3. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITIONS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFE SECTION 3304.5.
4. WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENING OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFESAVING OR FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN APPROVED LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 1037, AND SHALL CONTAIN KEYS TO GAIN NECESSARY ACCESS AS REQUIRED BY THE FIRE CODE OFFICIAL. 2018 NCFE 506.1.
5. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION CHARACTERS SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONT OF THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 6 INCHES (153 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/4 INCH (20 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. 2018 NCFE 505.1.
6. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE THE INSTALLATION AND MAINTENANCE OF GATES OR OTHER APPROVED BARRICADES ACROSS FIRE APPARATUS ACCESS ROADS, TRAILS, OR OTHER ACCESSWAYS; NOT INCLUDING PUBLIC STREETS, ALLEYS, OR HIGHWAYS. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. 2018 NCFE SECTION 503 AND APPENDIX D103.
7. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING-FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. 2018 NCFE SECTION 503.3 AND APPENDIX D D 103.6, D 103.6.1, D 103.6.2.
8. TRAFFIC CALMING DEVICES SHALL BE PROHIBITED UNLESS APPROVED BY THE FIRE CODE OFFICIAL. 2018 NCFE 503.4.1
9. DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREFIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NCFE SECTION 505.2

**ORANGE COUNTY SOLID WASTE NOTES**

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
2. PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

**OCSW Public Recycling Waiver: \***

1. Applicant elects to provide recycling services to residents/tenants of this property in lieu of building a recycling station constructed to Orange County specifications. The site will not receive public recycling collection now or in the future unless such a recycling station is constructed or contingency for such a station is included on the development plans.
2. Applicant must require at the least the same level of service (current or future) to its residents as that provided by Orange County.
3. County fees for recycling and waste management associated with this project/property will not be waived.
4. Applicant agrees to enter into a service agreement with a private solid waste/recycling collection contractor that is acceptable to Orange County. Further, the agreement shall provide for the collection and recycling of corrugated cardboard in addition to the other co-mingled recyclables and an executed copy of the agreement shall be provided to and approved by Orange County prior to approval of final construction plans for the property/project.

\*Must Be Placed on the Development/Site Plans in a Prominent Location and for Residential Projects Must Also Be Placed in the Overall Development's **Covenants, Conditions, and Restrictions** (aka CCR's) Before Final Approval of the Plans and/or Record Plat.



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144



**MOODY•NOLAN**  
BARLOW MOTORS BUILDING  
40 W. CENTRAL PKWY • FIRST FL  
CINCINNATI, OH 45202  
PHONE: (513) 914-5835



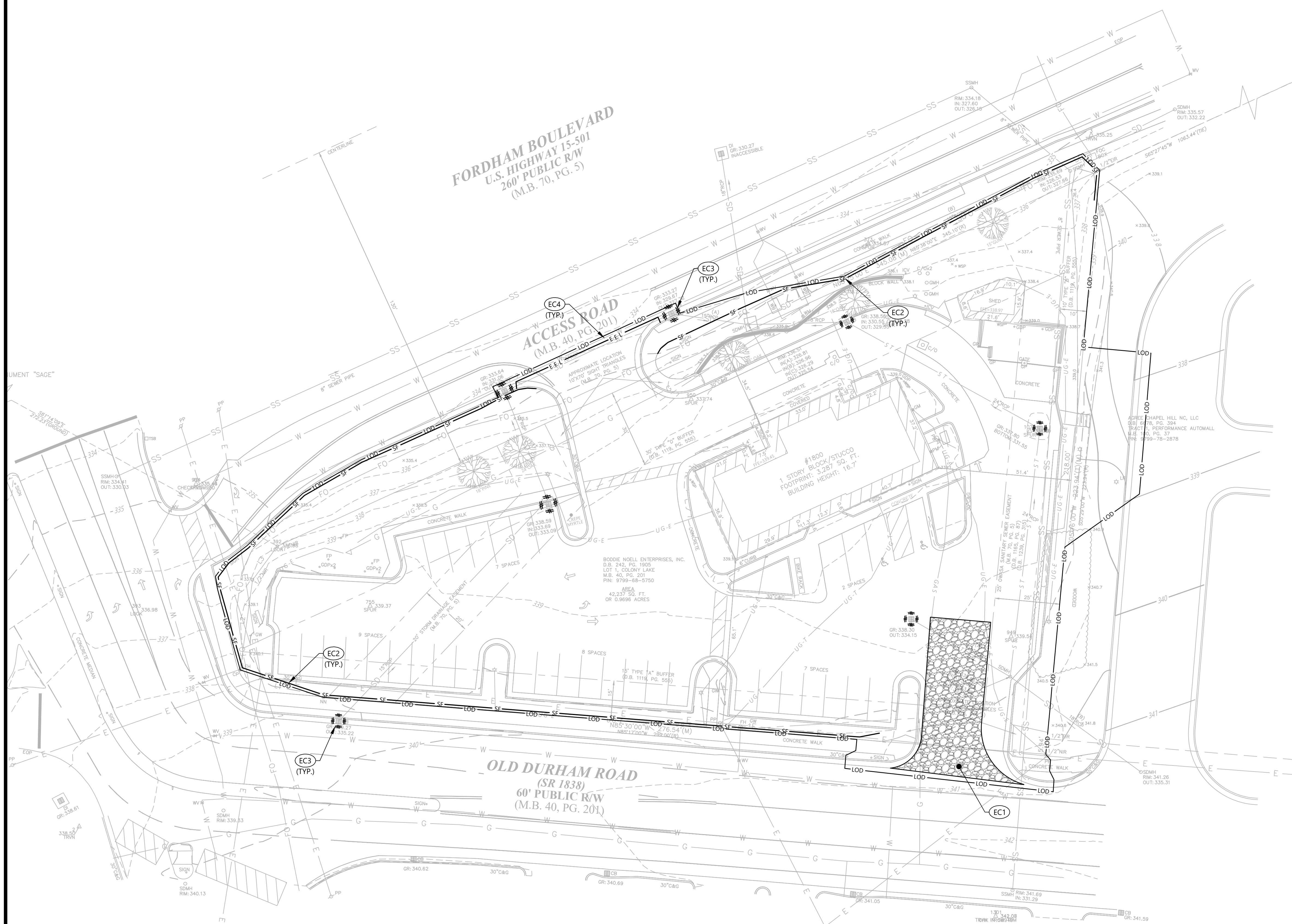
**FIFTH THIRD BANK**

NO.	DATE	DESCRIPTION	BY	CHK	DV	APY
	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL				

<b>NOTES</b>	SPECIAL USE PERMIT PLANS FIFTH THIRD BANK 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
**213004**  
DRAWING NUMBER

**C2.0**



EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1 / C3.2
EC2	SILT FENCE	4 / C3.2
EC3	INLET PROTECTION	3 / C3.2
EC4	EROSION EEL	2 / C3.2

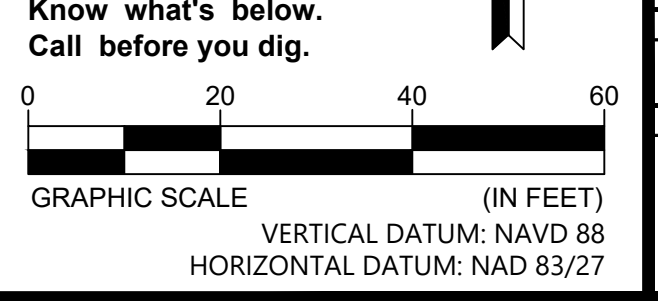
**SITE DESCRIPTION AND NOTES:**

THE SITE IS LOCATED ON PARCEL 9799-68-5750 IN CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 1.13± ACRES TO CONSTRUCT BANK WITH A DRIVE-THRU.

- APPROXIMATE CONSTRUCTION TIME TABLE:  
 BEGIN CONSTRUCTION - [AUGUST 2022]  
 COMPLETE CONSTRUCTION - [AUGUST 2023]
- CONSTRUCTION SEQUENCE:  
 A. ATTEND PRE-CONSTRUCTION MEETING.  
 B. INSTALL CONSTRUCTION ENTRANCE AND PERIMETER CONTROL MEASURES.  
 C. CONTACT LOCAL ENVIRONMENTAL AGENCY - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.  
 D. CLEAR AND GRUB THE REMAINING SITE.  
 E. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.  
 F. UPON PERMANENT SITE STABILIZATION APPLY PERMANENT CONTROL MEASURES.  
 G. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
- TOTAL PROJECT AREA = 42,237 SF (97± AC.)  
 DISTURBED AREA = 50,000 S.F. (1.15± AC.)
- SEE SHEET C2.0 FOR GENERAL CONSTRUCTION NOTES AND C3.3 FOR EROSION CONTROL NOTES.

**EROSION CONTROL NOTES:**

- EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATION BEGINS AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORKDAY BUT MUST BE REPLACED AT THE END OF THE WORKDAY.
- THE FOLLOWING RECORDS SHALL BE MAINTAINED ON OR NEAR SITE: THE DATES WHEN MAJOR GRADING ACTIVITIES OCCUR; THE DATES WHEN CONSTRUCTION ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE ON A PORTION OF THE SITE; THE DATES WHEN STABILIZATION MEASURES ARE INITIATED; INSPECTION RECORDS AND RAINFALL RECORDS.
- THE CONTRACTOR SHALL MAINTAIN A RAIN GAUGE AND DAILY RAINFALL RECORDS AT THE SITE OR USE A REFERENCE SITE FOR A RECORD OF DAILY AMOUNT OF PRECIPITATION.
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED, REMOVED OR DISTURBED MORE THAN 10 DAYS PRIOR TO GRADING OR EARTH MOVING UNLESS THE AREA IS SEEDED AND/OR MULCHED OR OTHER TEMPORARY COVER IS INSTALLED.
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658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144



**MOODY·NOLAN**  
 BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY • FIRST FL  
 CINCINNATI, OH 45202  
 PHONE: (513) 914-5835



NO.	DATE	DESCRIPTION	BY	CHK	APP
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL			

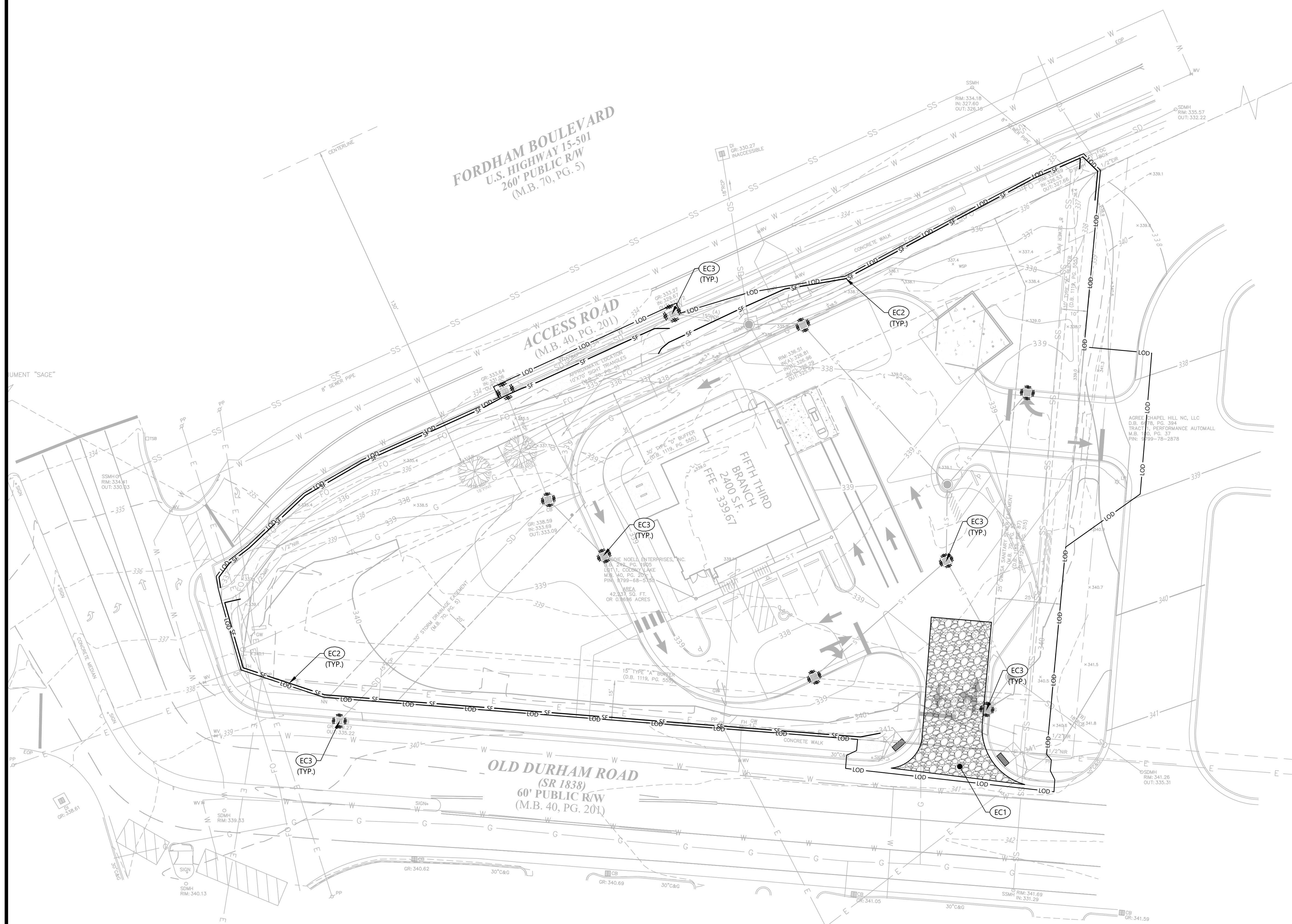
**INITIAL EROSION CONTROL PLAN**

SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER: 213004  
 DRAWING NUMBER: C3.0

TIME STAMP: 3/15/2022 10:06 AM

ORIGINAL SITE: 24x36 - DRAWING PATH: T:\9800\Projects\2021\213004\_MN\_ShibudChapelHill\_CapitolHill\CAD\Construction\213004\_C3.0\_BRO



EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC1	TEMPORARY CONSTRUCTION ENTRANCE	1 / C3.2
EC2	SILT FENCE	4 / C3.2
EC3	INLET PROTECTION	3 / C3.2
EC4	EROSION EEL	2 / C3.2
EC5	RIPRAP AT HEADWALL	

**SITE DESCRIPTION AND NOTES:**

THE SITE IS LOCATED ON PARCEL 9799-68-5750 IN CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA. CONSTRUCTION ACTIVITY ON THIS SITE WILL CONSIST OF DISTURBING APPROXIMATELY 1.13± ACRES TO CONSTRUCT BANK WITH A DRIVE-THRU.

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**811**  
 Know what's below.  
 Call before you dig.

GRAPHIC SCALE (IN FEET)  
 0 20 40 60  
 VERTICAL DATUM: NAVD 88  
 HORIZONTAL DATUM: NAD 83/27

658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144

**MOODY•NOLAN**  
 BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY • FIRST FL.  
 CINCINNATI, OH 45202  
 PHONE: (513) 914-5835

**FIFTH THIRD BANK**

NO.	DATE	DESCRIPTION	BY	CHK	DV	APV
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL				

**INTERMEDIATE EROSION CONTROL PLAN**

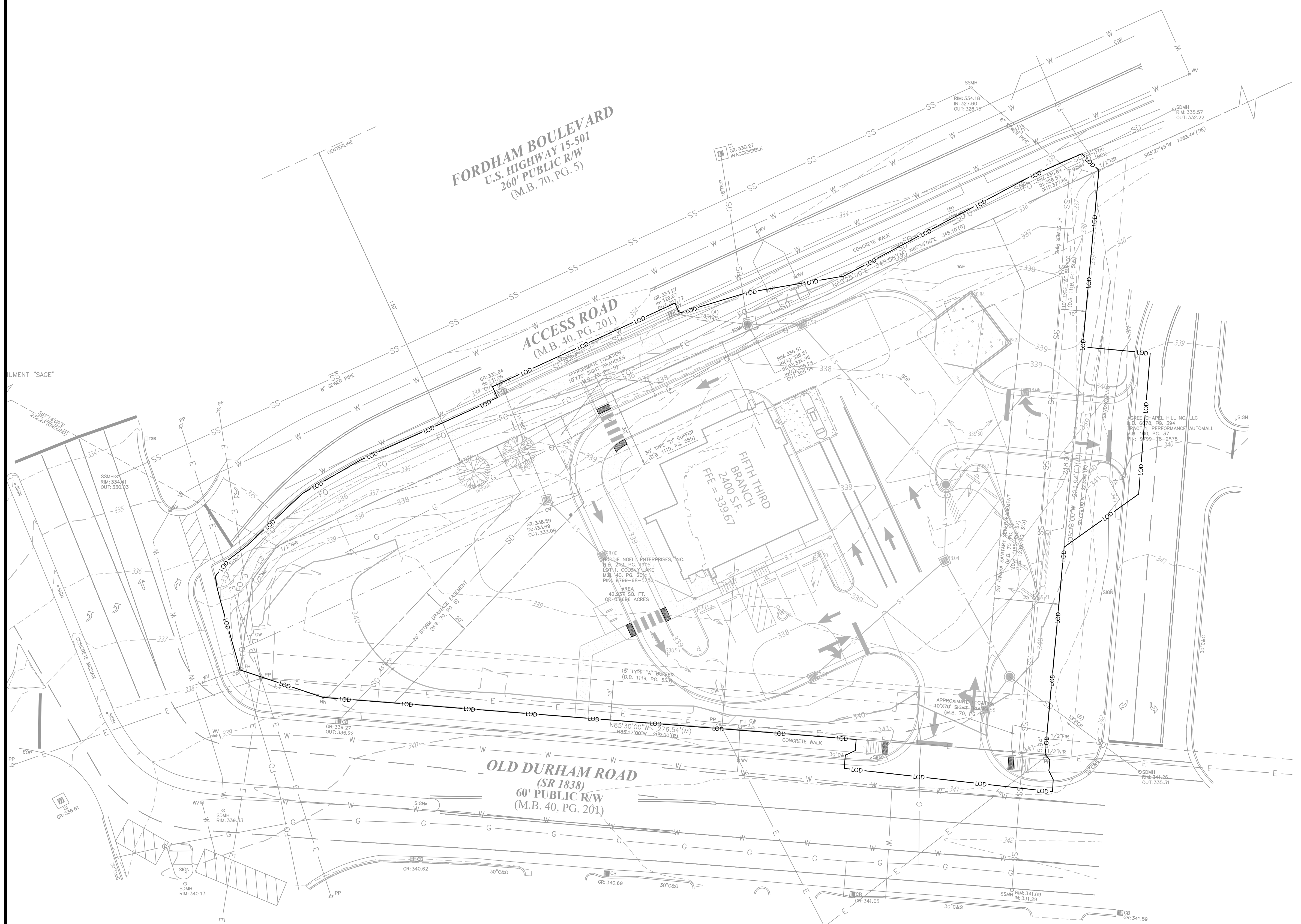
SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
 213004

DRAWING NUMBER  
**C3.1**

TIME STAMP: 4/05/2023 3:41 PM

ORIGINAL SITE 24'x36' DRAWING PATH: T:\980\Projects\2021\213004\_MN\_Schubert\ChapelHill\_CAD\Construction\213004\_C3.0\_BRO



EROSION CONTROL KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
EC2	SILT FENCE	4 / C3.2
EC4	EROSION EEL	2 / C3.2
EC5	RIPRAP AT HEADWALL	

**SITE DESCRIPTION AND NOTES:**

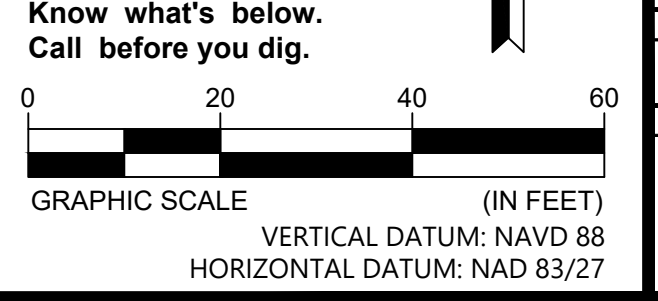
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	Pervious/Impervious Project Areas			
	Existing		Proposed	
	ft <sup>2</sup>	Acres	ft <sup>2</sup>	Acres
Impervious Area	31806	0.730	20413	0.469
Pervious Area	10431	0.239	21824	0.501
Total Parcel Area	42237	0.970	42237	0.970
Off-Site Impervious Area	5187	0.119	3368	0.077
Off-Site Pervious Area	2576	0.059	4395	0.101
Total Pervious Area	15618	0.359	26219	0.602
Total Impervious Area	34382	0.789	23781	0.546
Total Project Area	50000	1.148	50000	1.148



658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144



**MOODY•NOLAN**  
 BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY • FIRST FL  
 CINCINNATI, OH 45202  
 PHONE: (513) 914-5835



NO.	DATE	DESCRIPTION	BY	CHK	APP
1	04-22-2022	TOWN OF CHAPEL HILL SUP R2 REVISIONS	WB	WB	DV
2	03-16-2022	TOWN OF CHAPEL HILL SUP R1 REVISIONS	WB	WB	DV

**FINAL EROSION CONTROL PLAN**  
 SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
**213004**  
 DRAWING NUMBER

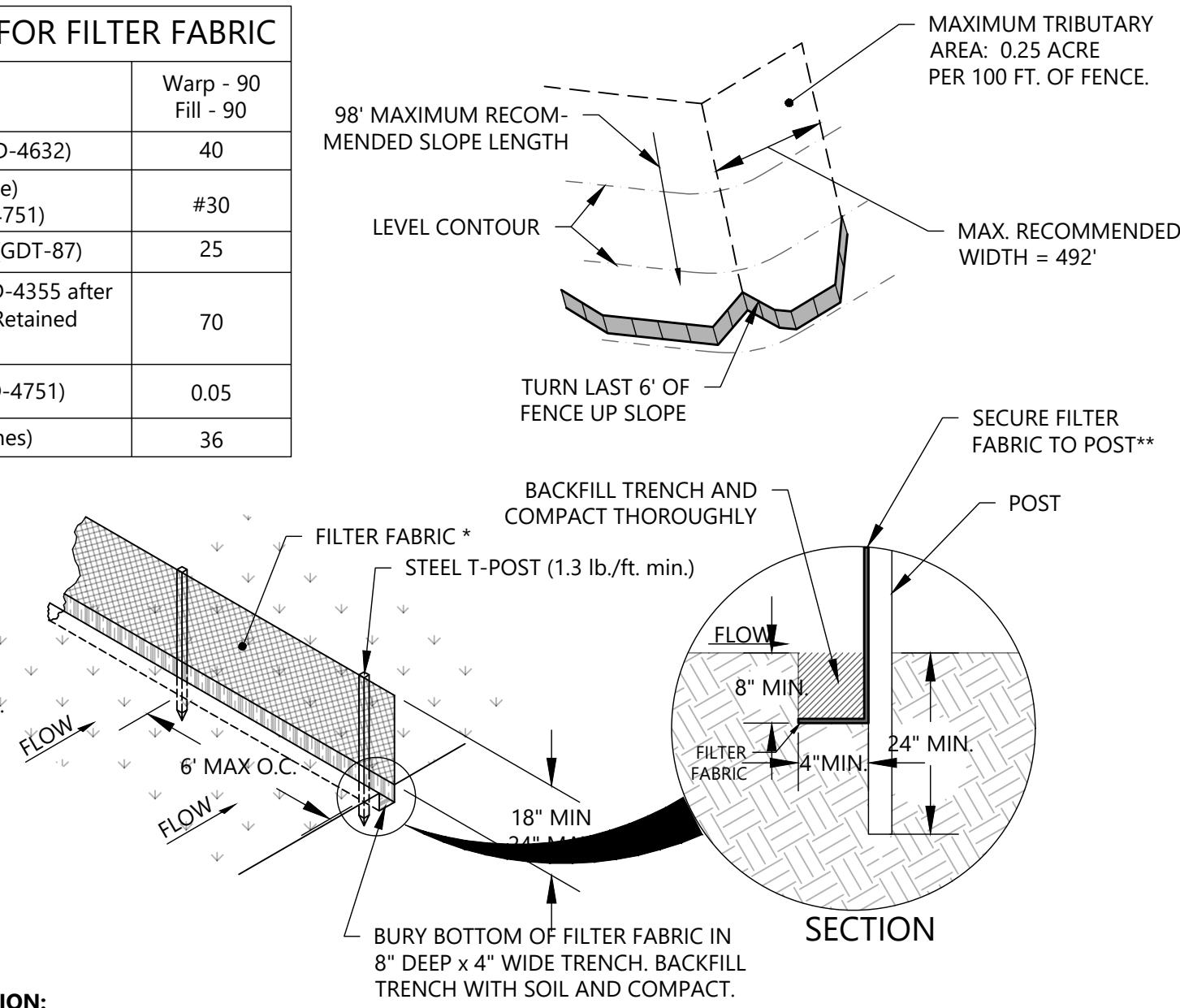
**C3.2**

**\* SPECIFICATIONS FOR FILTER FABRIC**

Grab Strength (Lbs. Min.) (ASTM D-4632)	Warp - 90 Fill - 90
Elongation (%Max.) (ASTM D-4632)	40
AOS (Apparent Opening Size) (Max. Sieve Size) (ASTM D-4751)	#30
Flow Rate (Gal/Min/Sq. Ft.) (GDT-87)	25
Ultraviolet Stability (ASTM D-4355 after 500 hours of exposure - % Retained Strength)	70
Permittivity (sec-1) (ASTM D-4751)	0.05
Minimum Fabric Width (Inches)	36

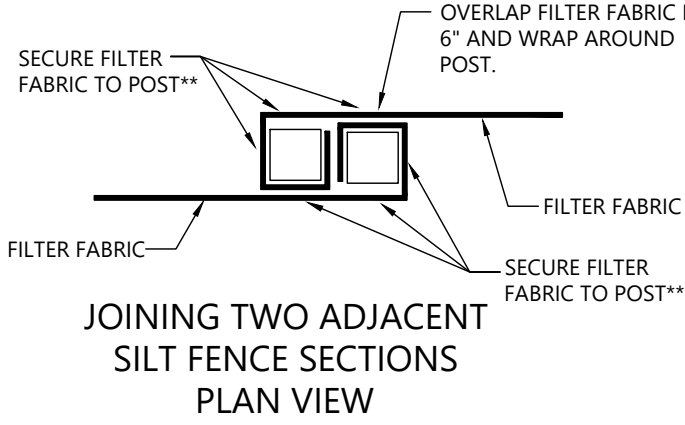
**INSTALLATION:**

1. INSTALL SILT FENCE ALONG A LEVEL CONTOUR.
2. DO NOT INSTALL SILT FENCE ACROSS LOCATIONS OF CONCENTRATED FLOW.
3. THE LAST 7'-10' OF EACH RUN OF SILT FENCE SHOULD BE TURNED UPHILL. REFER TO SWPPP.



**MAINTENANCE/INSPECTION:**

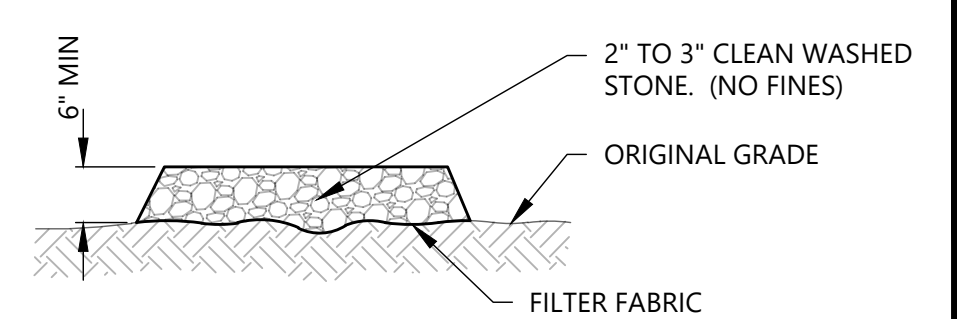
INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT. REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



\*\* FILTER FABRIC TO BE FASTENED SECURELY TO POSTS WITH A MINIMUM OF THREE (50-LB) PLASTIC ZIP TIES. POSITION THE POST WITH THE PROJECTIONS, OR NIPPLES, FACING AWAY FROM THE SILT FENCE FABRIC. PLACE ALL THREE TIES WITHIN THE TOP 8 INCHES OF FABRIC. PUNCTURING HOLES VERTICALLY A MINIMUM OF 1" APART. POSITION EACH TIE DIAGONALLY THROUGH THE FABRIC SO THAT IT RESTS ON TOP OF A POST NIPPLE AND TIGHTEN.

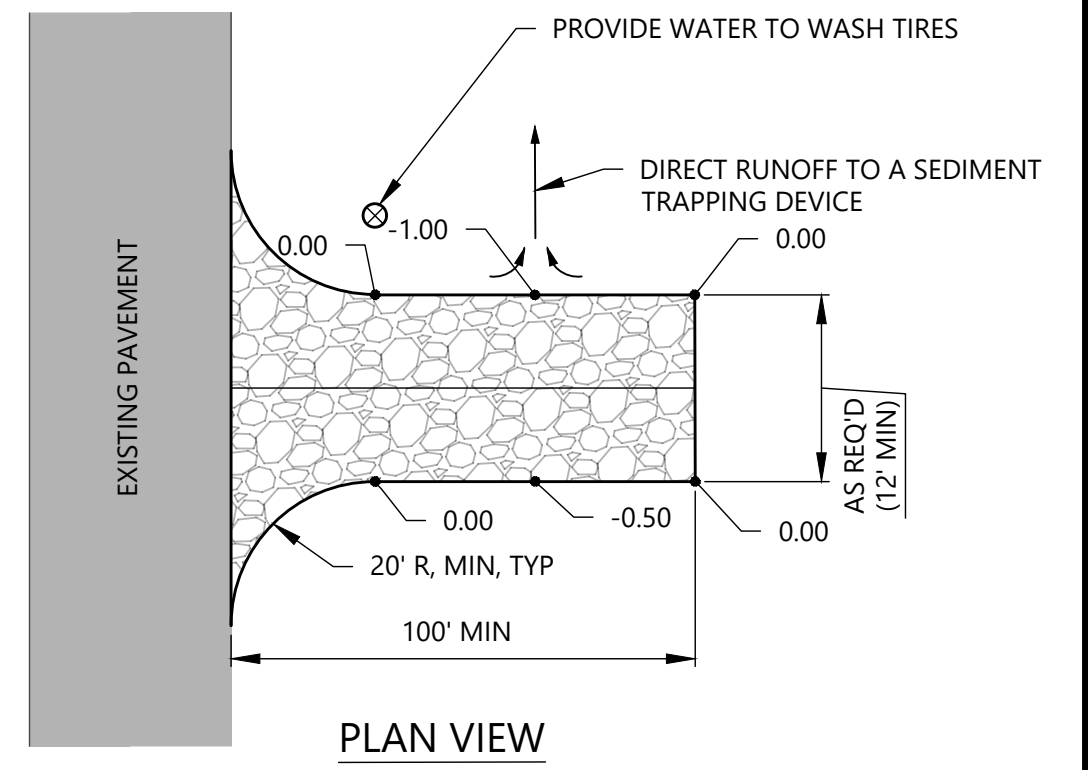
**4 TEMPORARY SILT FENCE**  
NO SCALE

NOTE: FILTER FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS: MINIMUM TENSILE STRENGTH: 200 LBS. MINIMUM BURST STRENGTH: 320 LBS.

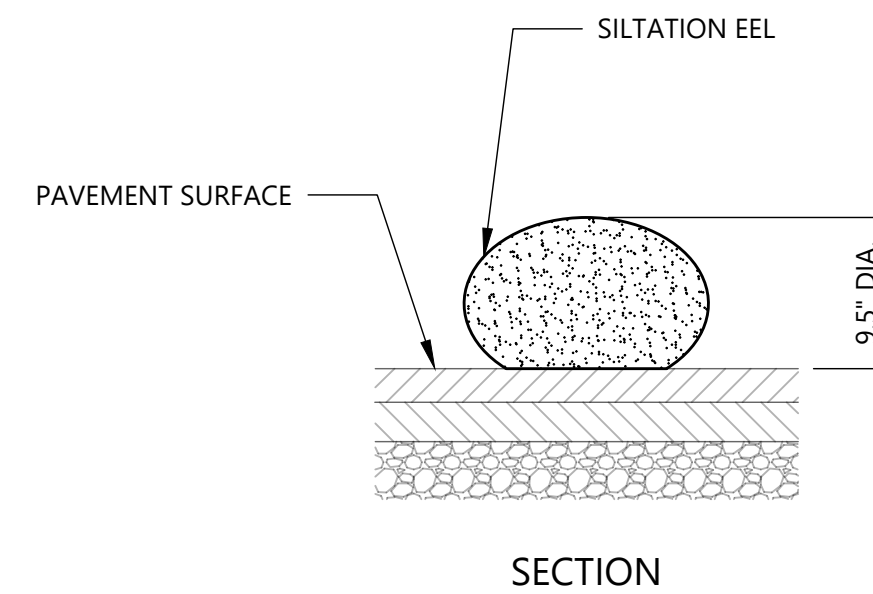


**MAINTENANCE/INSPECTION:**

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOPDRESSING WITH 2-INCH STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

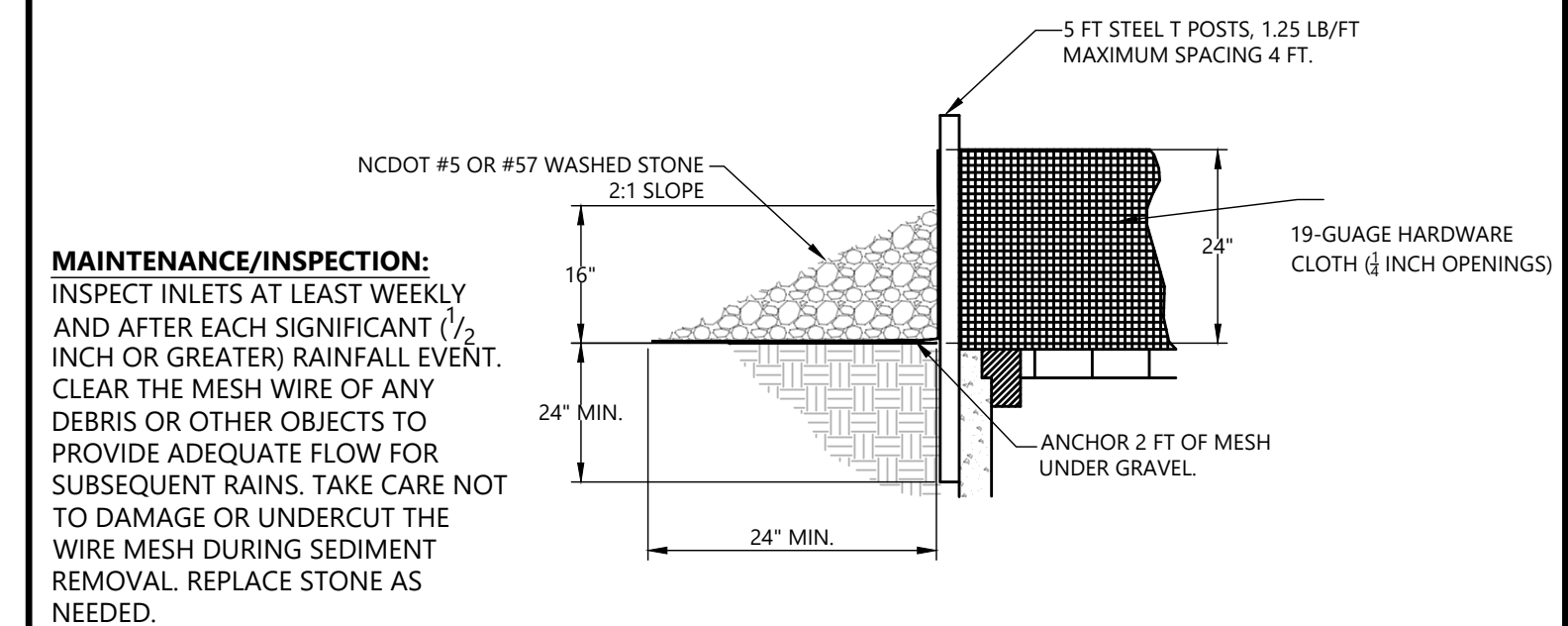


**1 TEMPORARY CONSTRUCTION ENTRANCE**  
NO SCALE



NOTE: THIS DEVICE SHALL BE USED IN AREAS WHERE EXISTING PAVEMENT PREVENTS THE USE OF SILT FENCE. STABILIZE THE SILTATION EEL BY PLACING SANDBAGS SPACED NO MORE THAN 8' APART ON TOP OF THE EEL.

**2 TEMPORARY SILTATION EEL**  
NO SCALE



**MAINTENANCE/INSPECTION:** INSPECT INLETS AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2 INCH OR GREATER) RAINFALL EVENT. CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS. TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL. REPLACE STONE AS NEEDED.

**3 TEMPORARY HARDWARE CLOTH & GRAVEL INLET PROTECTION**

**&**  
658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144

**MOODY•NOLAN**  
BARLOW MOTORS BUILDING  
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**FIFTH THIRD BANK**

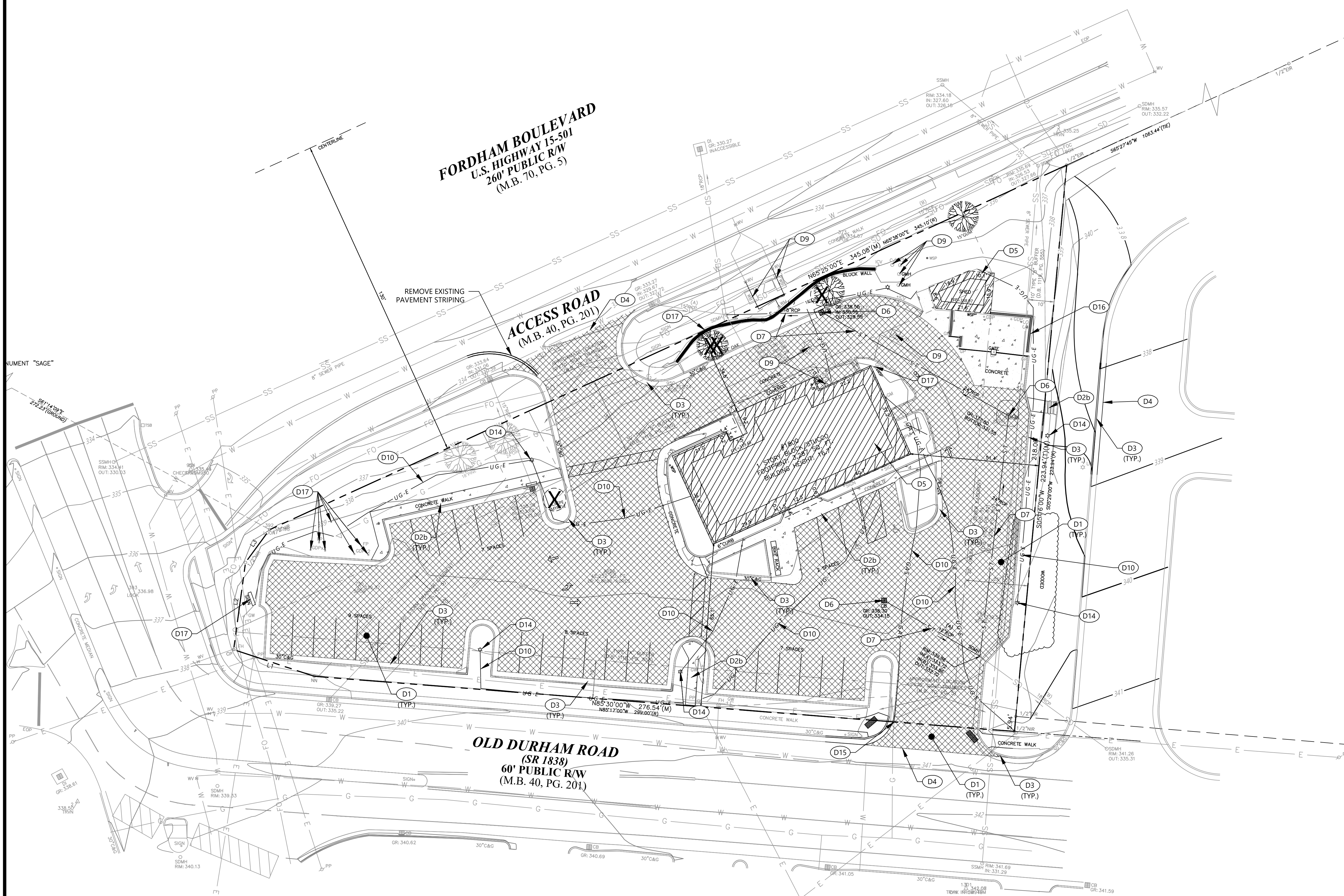
NO.	DATE	DESCRIPTION	BY	CHK	DV	APV
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL				

**SEDIMENT AND EROSION CONTROL DETAILS**

SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER: 213004  
DRAWING NUMBER: C3.3





**FORDHAM BOULEVARD**  
 U.S. HIGHWAY 15-501  
 260' PUBLIC R/W  
 (M.B. 70, PG. 5)

**ACCESS ROAD**  
 (M.B. 40, PG. 201)

**OLD DURHAM ROAD**  
 (SR 1838)  
 60' PUBLIC R/W  
 (M.B. 40, PG. 201)

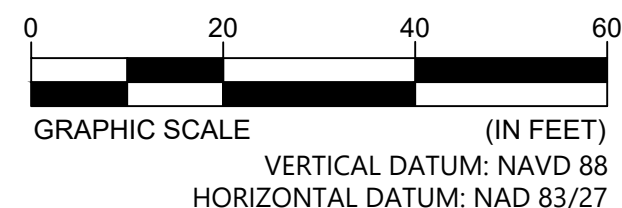
DEMOLITION KEYNOTES	
CODE	DESCRIPTION
D1	REMOVE EXISTING ASPHALT PAVEMENT
D2a	REMOVE EXISTING CONCRETE PAVEMENT
D2b	REMOVE EXISTING CONCRETE SIDEWALK
D3	REMOVE EXISTING CONCRETE CURB & GUTTER
D4	EVENLY SAWCUT
D5	REMOVE EXISTING BUILDING/STRUCTURE
D6	REMOVE EXISTING DRAINAGE STRUCTURE
D7	REMOVE EXISTING STORM LINE
D8	REMOVE EXISTING WATERLINE & APPURTENANCES
D9	REMOVE EXISTING SANITARY SEWER STRUCTURE & LINE
D10	REMOVE EXISTING UTILITY LINE & APPURTENANCES
D11	EXISTING UTILITY LINE TO BE ABANDONED IN PLACE
D12	EXISTING HYDRANT TO BE RELOCATED
D13	REMOVE EXISTING TREE
D14	REMOVE LIGHT POLE
D15	CAP EXISTING UTILITY LINE AT PROPERTY BOUNDARY
D16	REMOVE DUMPSTER ENCLOSURE
D17	REMOVE MISCELLANEOUS STRUCTURE

NOTES:  
 1. SEE SHEET C2.0 FOR GENERAL AND DEMOLITION NOTES.  
 2. CONTRACTOR MAY CAP AND ABANDON EXISTING UTILITY IN PLACE IF THERE IS NO INTERFERENCE OR AFFECT ON THE PROPOSED SITE PLAN AND INFRASTRUCTURE.

LEGEND	
BUILDING TO REMOVE	
CONCRETE TO REMOVE	
ASPHALT PAVEMENT TO REMOVE	
SILT FENCE	
TREE PROTECTION	
TREES TO BE REMOVED	



Know what's below.  
 Call before you dig.



658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144



**MOODY-NOLAN**  
 BARLOW MOTORS BUILDING  
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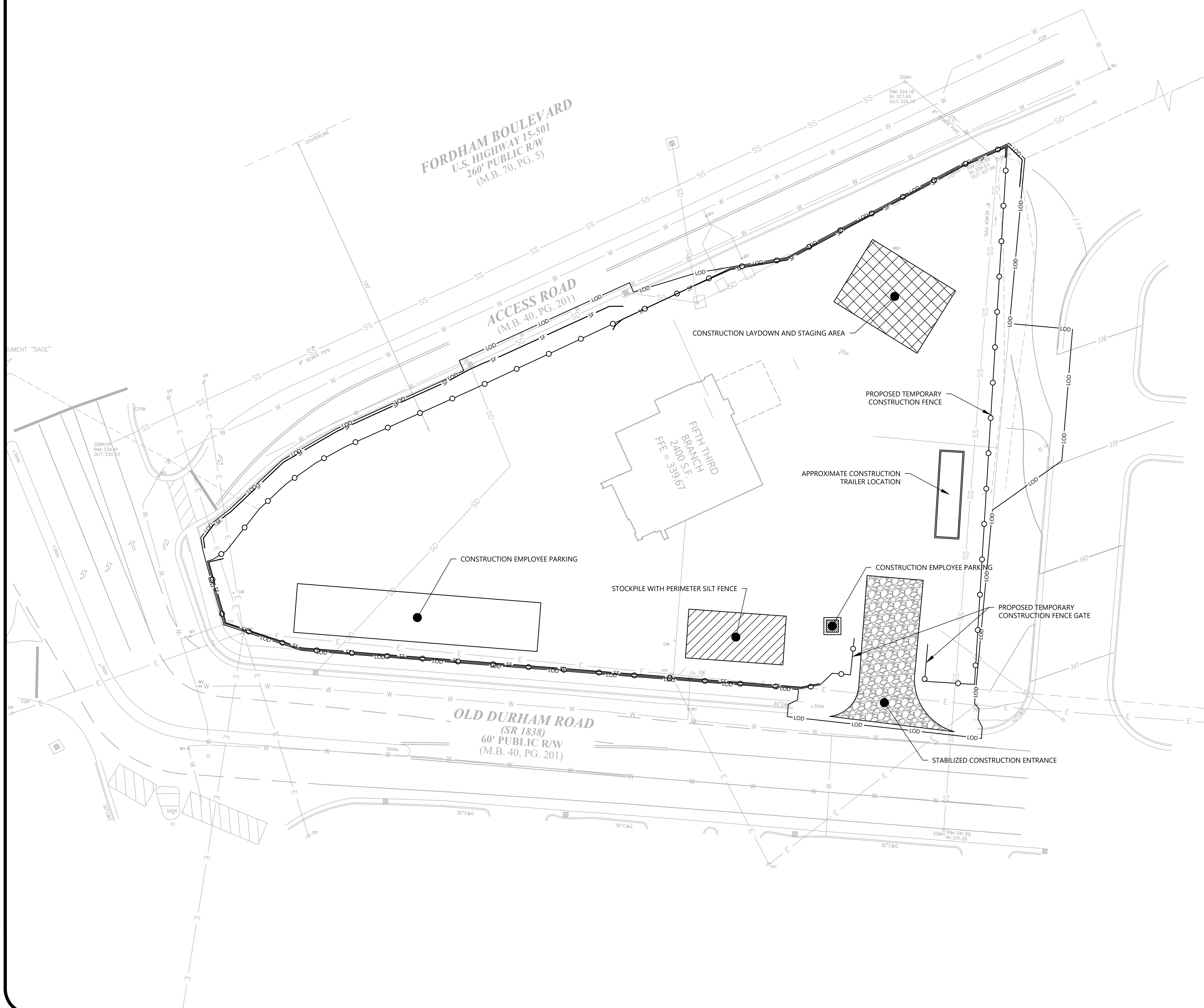
NO.	DATE	BY	CHK	DESCRIPTION
1	12-30-2021	DA	WB	TOWN OF CHAPEL HILL SUBMITTAL

**DEMOLITION PLAN**

SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
 213004  
 DRAWING NUMBER

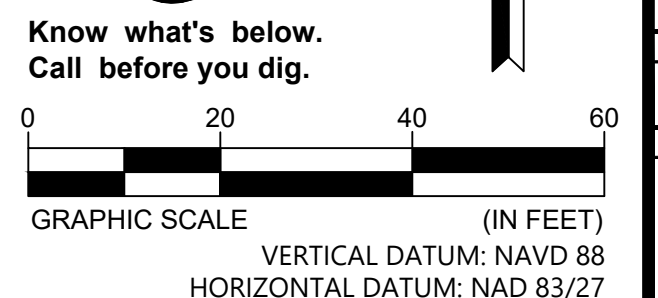
**C4.0**



**SITE DESCRIPTION AND NOTES:**

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  - A. ATTEND PRE-CONSTRUCTION MEETING.
  - B. INSTALL CONSTRUCTION ENTRANCE AND PERIMETER CONTROL MEASURES.
  - C. CONTACT LOCAL ENVIRONMENTAL AGENCY - EROSION CONTROL INSPECTOR FOR INSPECTION OF EROSION CONTROL DEVICES TO OBTAIN GRADING PERMIT.
  - D. CLEAR AND GRUB THE REMAINING SITE.
  - E. CONSTRUCT REMAINING SITE ACCORDING TO APPROVED PLANS, INCLUDING ALL ADDITIONAL EROSION CONTROL DEVICES.
  - F. UPON PERMANENT SITE STABILIZATION APPLY PERMANENT CONTROL MEASURES.
  - G. REMOVE ALL TEMPORARY EROSION CONTROL DEVICES PRIOR TO AS-BUILT APPROVALS.
3. TOTAL PROJECT AREA = 42,237 SF (97± AC.)  
 DISTURBED AREA = 50,514 S.F. (1.16± AC.)
4. SEE SHEET C2.0 FOR GENERAL CONSTRUCTION NOTES AND C3.3 FOR EROSION CONTROL NOTES.
5. DELIVERY AND EMERGENCY VEHICLES TO USE THE STABILIZED CONSTRUCTION ENTRANCE FOR ACCESS AS NEEDED.



658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144



**MOODY•NOLAN**  
 BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY • FIRST FL.  
 CINCINNATI, OH 45202  
 PHONE: (513) 914-5835



**FIFTH THIRD BANK**

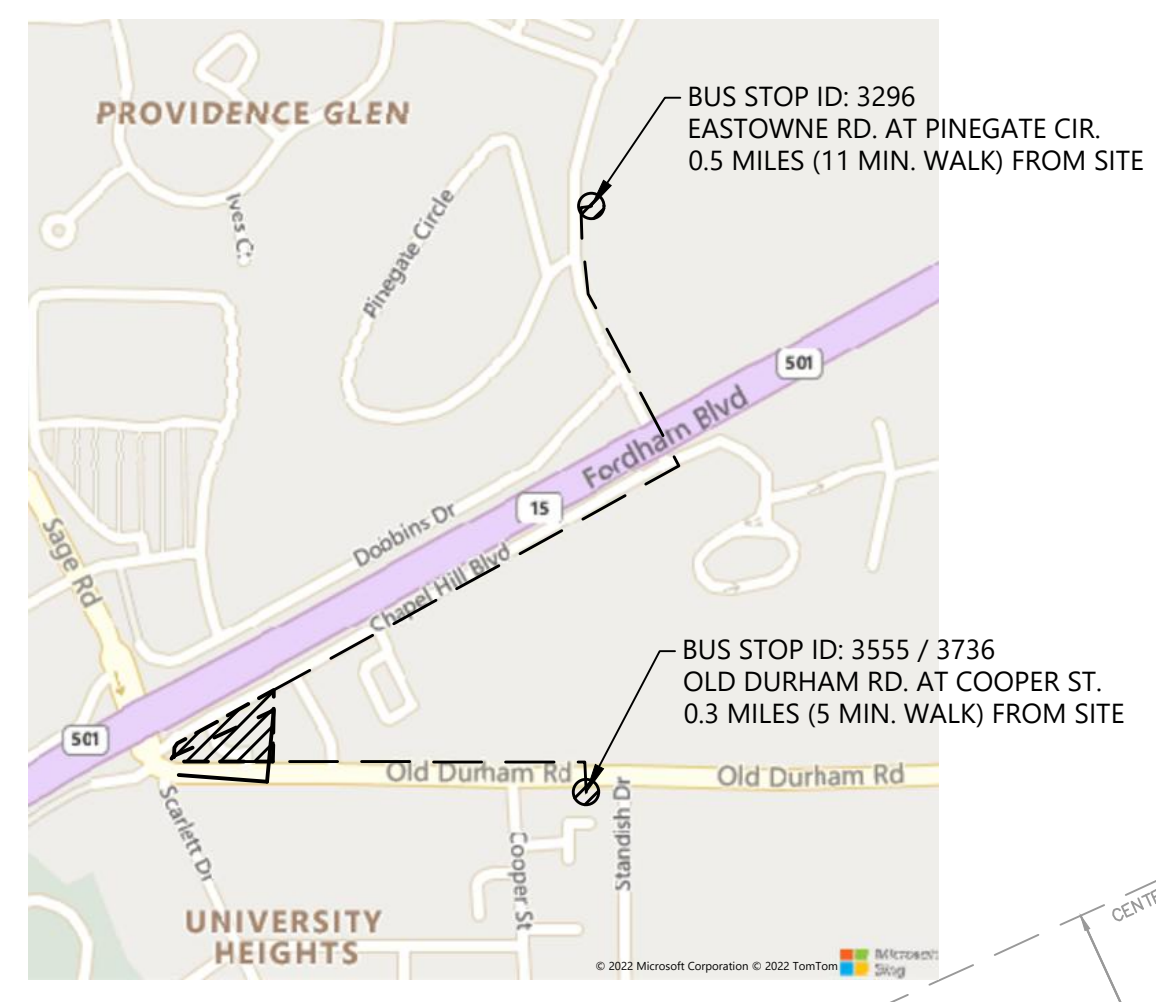
NO.	DATE	DESCRIPTION	BY	CHK	DV	APV
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL				

**CONSTRUCTION MANAGEMENT PLAN**  
 SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
 213004  
 DRAWING NUMBER

**C4.1**

TIME STAMP: 3/15/2022 10:08 AM  
 ORIGINAL SIZE: 24"X36"  
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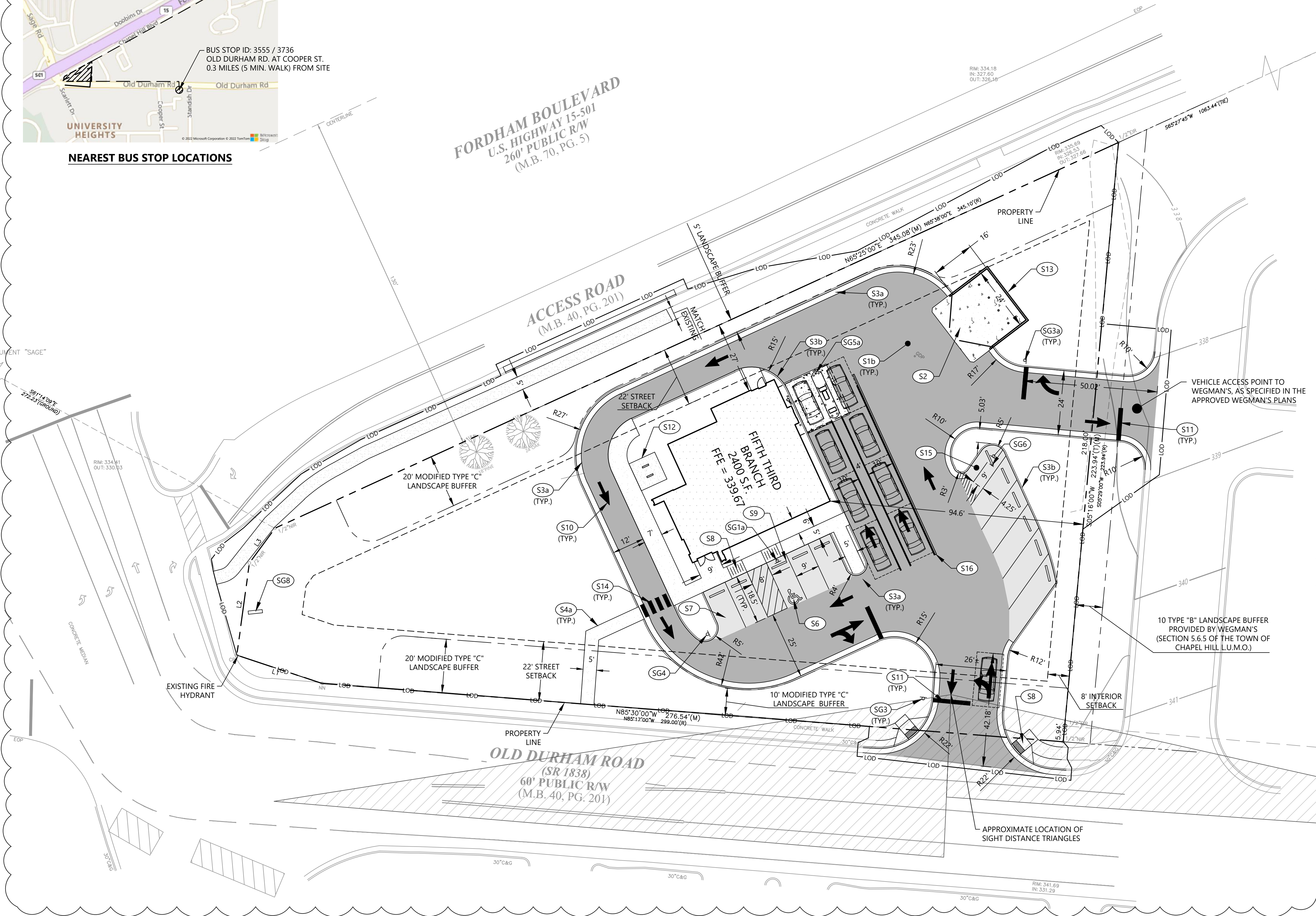


**FORDHAM BOULEVARD**  
 U.S. HIGHWAY 15-501  
 260' PUBLIC R/W  
 (M.B. 70, PG. 5)

**ACCESS ROAD**  
 (M.B. 40, PG. 201)

**OLD DURHAM ROAD**  
 (SR 1838)  
 60' PUBLIC R/W  
 (M.B. 40, PG. 201)

**FIFTH THIRD BRANCH**  
 2,400 S.F.  
 FFE = 339,671



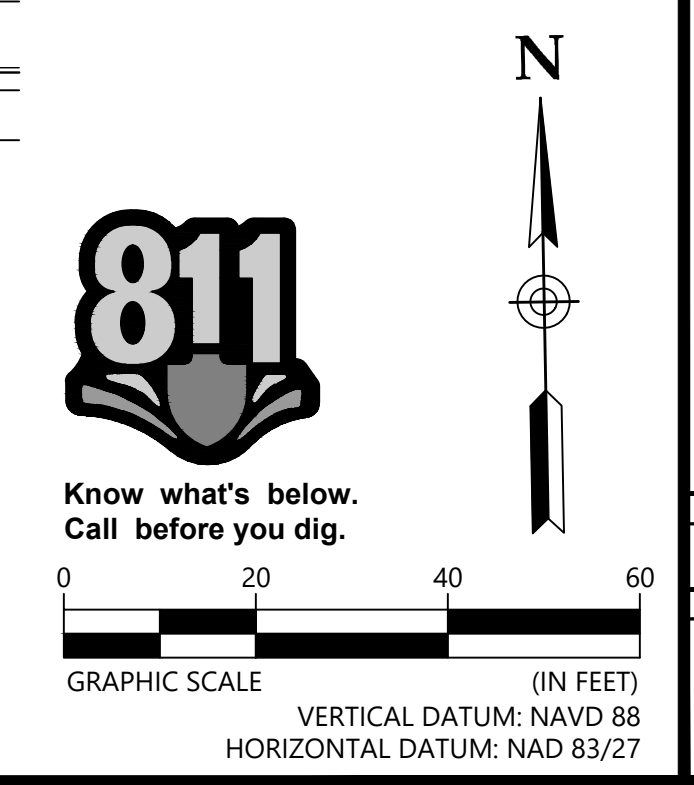
SITE LAYOUT KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
S1a	ASPHALT PAVEMENT - HEAVY DUTY	1 / C8.0
S1b	ASPHALT PAVEMENT - LIGHT DUTY	1 / C8.0
S2	CONCRETE PAVEMENT	2 / C8.0
S3a	CONCRETE CURB AND GUTTER	3 / C8.0
S3b	CONCRETE POST CURB	4 / C8.1
S4a	CONCRETE SIDEWALK	4 / C8.0
S6	ACCESSIBLE SYMBOL	6 / C8.0
S7	ACCESSIBLE PARKING SPACE	7 / C8.0
S8	ACCESSIBLE RAMP	1 / C8.1
S9	PRECAST CONCRETE WHEELSTOP	9 / C8.0
S10	DIRECTIONAL ARROWS	10 / C8.0
S11	PAINTED STOP BAR	11 / C8.0
S12	BICYCLE RACK WITH PAD	2 / C8.1
S13	DUMPSTER PAD	5 / C8.0
S14	PEDESTRIAN CROSSWALK	11 / C8.0
S15	MOTORCYCLE/MOPED PARKING	---
S16	CONCRETE MEDIAN CURB	7 / C8.1

SITE SIGNAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
SG1a	ACCESSIBLE PARKING SIGN	8 / C8.1
SG1b	ACCESSIBLE PARKING SIGN IN BOLLARD	---
SG3	"STOP" SIGN	12 / C8.0
SG3a	"STOP" SIGN WITH "NO LEFT TURN"	---
SG5a	"NO RIGHT TURN" SIGN ON POST	---
SG6	"MOTORCYCLE AND MOPED PARKING ONLY" SIGN	---
SG8	MONUMENT SIGN	---

**PROPOSED FEATURES LEGEND**

BUILDING	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
HEAVY DUTY PAVEMENT	
LIGHT DUTY PAVEMENT	
TACTILE WARNING	
PAINTED STRIPE	
CONCRETE CURB AND GUTTER	
CENTERLINE	

- NOTES:**
- SEE SHEET C2.0 FOR GENERAL AND SITE LAYOUT NOTES.
  - SEE SHEET L1.0 FOR ADDITIONAL SIGHT DISTANCE TRIANGLES INFORMATION.
  - SEE SHEET L1.0 FOR ADDITIONAL MODIFIED LANDSCAPE BUFFER INFORMATION.



**S & ME**

658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144

**MOODY·NOLAN**

BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY • FIRST FL  
 CINCINNATI, OH 45202

PHONE: (513) 914-5835

**FIFTH THIRD BANK**

NO.	DATE	BY	CHK	APP	DESCRIPTION
1	12-30-2021				TOWN OF CHAPEL HILL SUBMITTAL

**SITE LAYOUT PLAN**

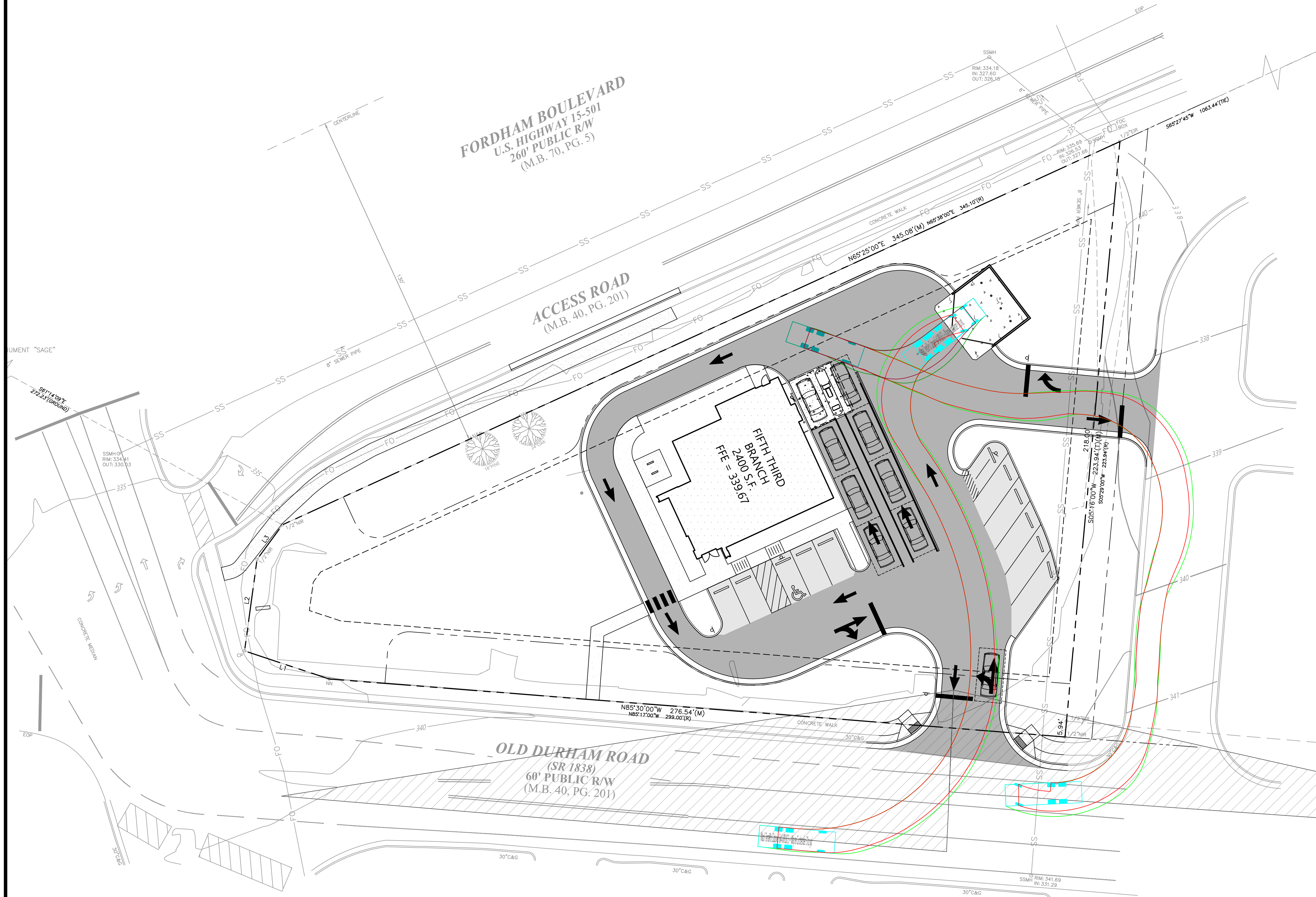
SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
 213004

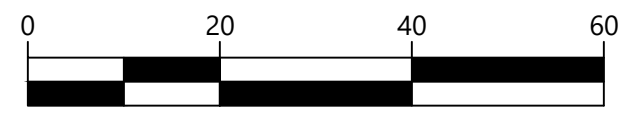
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GRAPHIC SCALE (IN FEET)  
VERTICAL DATUM: NAVD 88  
HORIZONTAL DATUM: NAD 83/27



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144



**MOODY•NOLAN**  
BARLOW MOTORS BUILDING  
40 W. CENTRAL PKWY • FIRST FL  
CINCINNATI, OH 45202  
PHONE: (513) 914-5835



FIFTH THIRD BANK

NO.	DATE	DESCRIPTION	BY	CHK	DV
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL	DA	WB	DV

**CONSTRUCTION LAYOUT PLAN**  
  
SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

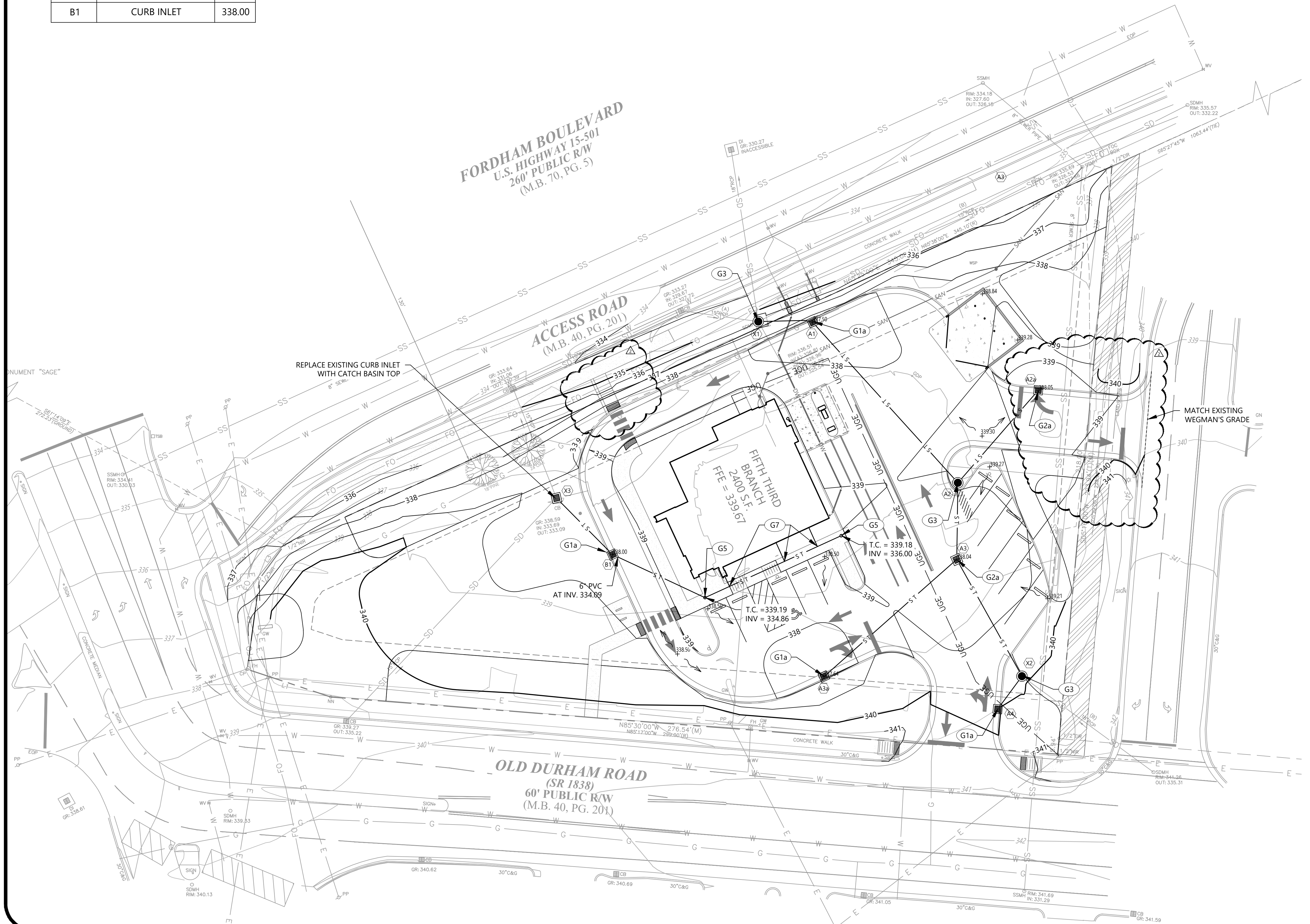
PROJECT NUMBER  
**213004**

DRAWING NUMBER  
**C5.1**

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STRUCTURE TABLE		
CODE	DESCRIPTION	TOP GRATE
X1	EXISTING MANHOLE	336.51
A1	CURB INLET	337.50
A2	JUNCTION MANHOLE	339.12
A2a	CURB INLET	338.05
A3	CATCH BASIN	338.04
A3a	CURB INLET	337.64
X2	EXISTING MANHOLE	339.86
A4	CURB INLET	339.79
X3	CATCH BASIN	338.59
B1	CURB INLET	338.00

PIPE TABLE									
FROM CODE	FROM INV.	TO CODE	TO INV.	SLOPE (%)	SIZE (INCHES)	LENGTH (L.F.)	TYPE		
A4	336.54	X2	336.24	2.00	15	15	RCP		
X2	333.52	A3	332.52	2.00	24	50	RCP		
A3a	334.06	A3	332.72	2.00	15	67	RCP		
A3	332.32	A2	331.74	2.00	24	29	RCP		
A2a	333.80	A2	332.88	2.00	15	46	RCP		
A2	331.54	A1	329.90	2.00	24	82	RCP		
A1	327.95	X1	326.29	8.33	24	20	RCP		
B1	333.89	X3	333.29	2.00	15	30	RCP		



GRADING & DRAINAGE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
G1a	CURB INLET	4 / C8.2
G2a	CATCH BASIN	5 / C8.2
G3	JUNCTION MANHOLE	6 / C8.2
G5	CLEANOUT	6 / C8.1
G6b	CONCRETE HEADWALL - WINGED	4 / C8.1
G7	BUILDING DOWNSPOUT CONNECTION	---

NOTES:  
1. SEE SHEET C2.0 FOR GENERAL AND GRADING NOTES.

PROPOSED FEATURES LEGEND	
STORM PIPE	— S T —
SPOT ELEVATION	+ 9.05
PROPOSED MAJOR CONTOUR	— 90 —
PROPOSED MINOR CONTOUR	— 92 —
DRAINAGE STRUCTURE	⊙
CURB INLET	■
CATCH BASIN	▣
CLEANOUT	○
JUNCTION STRUCTURE	⊙

Pervious/Impervious Project Areas				
	Existing		Proposed	
	ft <sup>2</sup>	Acres	ft <sup>2</sup>	Acres
Impervious Area	31806	0.730	20413	0.469
Pervious Area	10431	0.239	21824	0.501
Total Parcel Area	42237	0.970	42237	0.970
Off-Site Impervious Area	5187	0.119	3368	0.077
Off-Site Pervious Area	2576	0.059	4395	0.101
Total Pervious Area	15618	0.359	26219	0.602
Total Impervious Area	34382	0.789	23781	0.546
Total Project Area	50000	1.148	50000	1.148



658 GRASSMERE PARK DRIVE  
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BARLOW MOTORS BUILDING  
40 W. CENTRAL PKWY • FIRST FL.  
CINCINNATI, OH 45202  
PHONE: (513) 914-5835



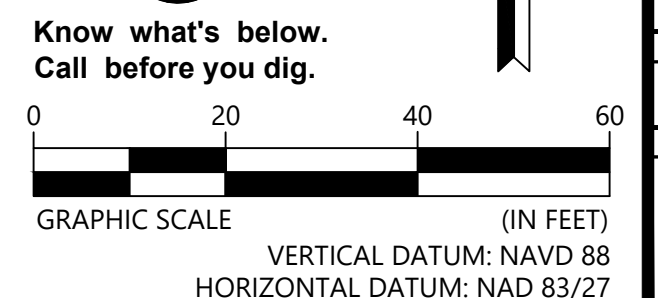
**FIFTH THIRD BANK**

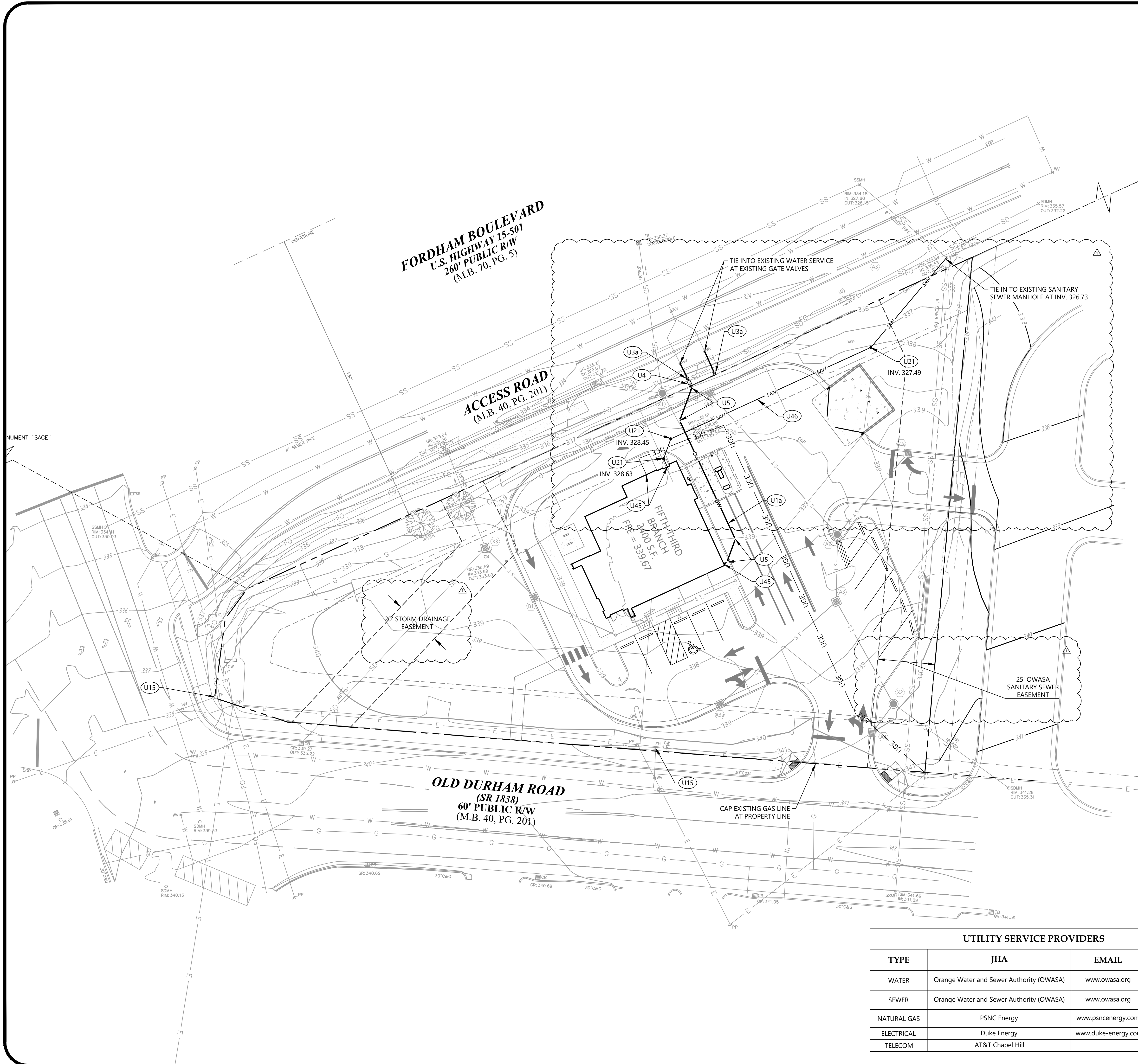
NO.	DATE	DESCRIPTION	BY	CHK	APP
1	04-22-2022	TOWN OF CHAPEL HILL SUP R2 REVISIONS	WB	WB	DV
2	03-16-2022	TOWN OF CHAPEL HILL SUP R1 REVISIONS	DA	DA	DV

**GRADING & DRAINAGE PLAN**  
SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
**213004**  
DRAWING NUMBER

**C6.0**





UTILITY KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
U1a	1" PVC WATER LINE	--
U3a	1" WATER METER	9 / C8.1
U4	REDUCED BACK FLOW PREVENTER ASSEMBLY	5 / C8.1
U5	45 DEGREE MJ DI BEND	--
U15	EXISTING FIRE HYDRANT	--
U20	6" PVC SANITARY SEWER LINE	--
U21	SANITARY SEWER CLEANOUT	6 / C8.1
U45	BUILDING CONNECTION	--
U46	6" PVC SANITARY SEWER SERVICE LINE	--

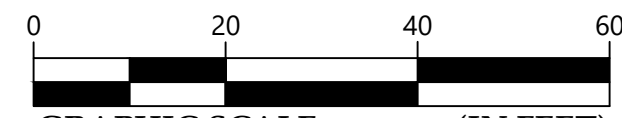
NOTES:  
1. SEE SHEET C2.0 FOR GENERAL AND UTILITY NOTES.

PROPOSED FEATURES LEGEND	
DOMESTIC SERVICE	DW
FIRE SERVICE	FW
GAS LINE	GAS
UNDERGROUND ELECTRIC	UG-E
WATER LINE WITH 90° THRUST BLOCK	[Symbol]
SANITARY SEWER LINE WITH CLEANOUT	[Symbol]
FIRE HYDRANT ASSEMBLY	[Symbol]
POST INDICATOR VALVE	[Symbol]
METER	[Symbol]
FIRE DEPARTMENT CONNECTION	[Symbol]

UTILITY SERVICE PROVIDERS			
TYPE	JHA	EMAIL	PHONE
WATER	Orange Water and Sewer Authority (OWASA)	www.owasa.org	919-968-4421
SEWER	Orange Water and Sewer Authority (OWASA)	www.owasa.org	919-968-4421
NATURAL GAS	PSNC Energy	www.psnenergy.com	1-877-776-2427
ELECTRICAL	Duke Energy	www.duke-energy.com	800-777-9898
TELECOM	AT&T Chapel Hill		800-767-2355



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GRAPHIC SCALE (IN FEET)  
VERTICAL DATUM: NAVD 88  
HORIZONTAL DATUM: NAD 83/27



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144



**MOODY•NOLAN**  
BARLOW MOTORS BUILDING  
40 W. CENTRAL PKWY • FIRST FL.  
CINCINNATI, OH 45202

PHONE: (513) 914-5835



FIFTH THIRD BANK

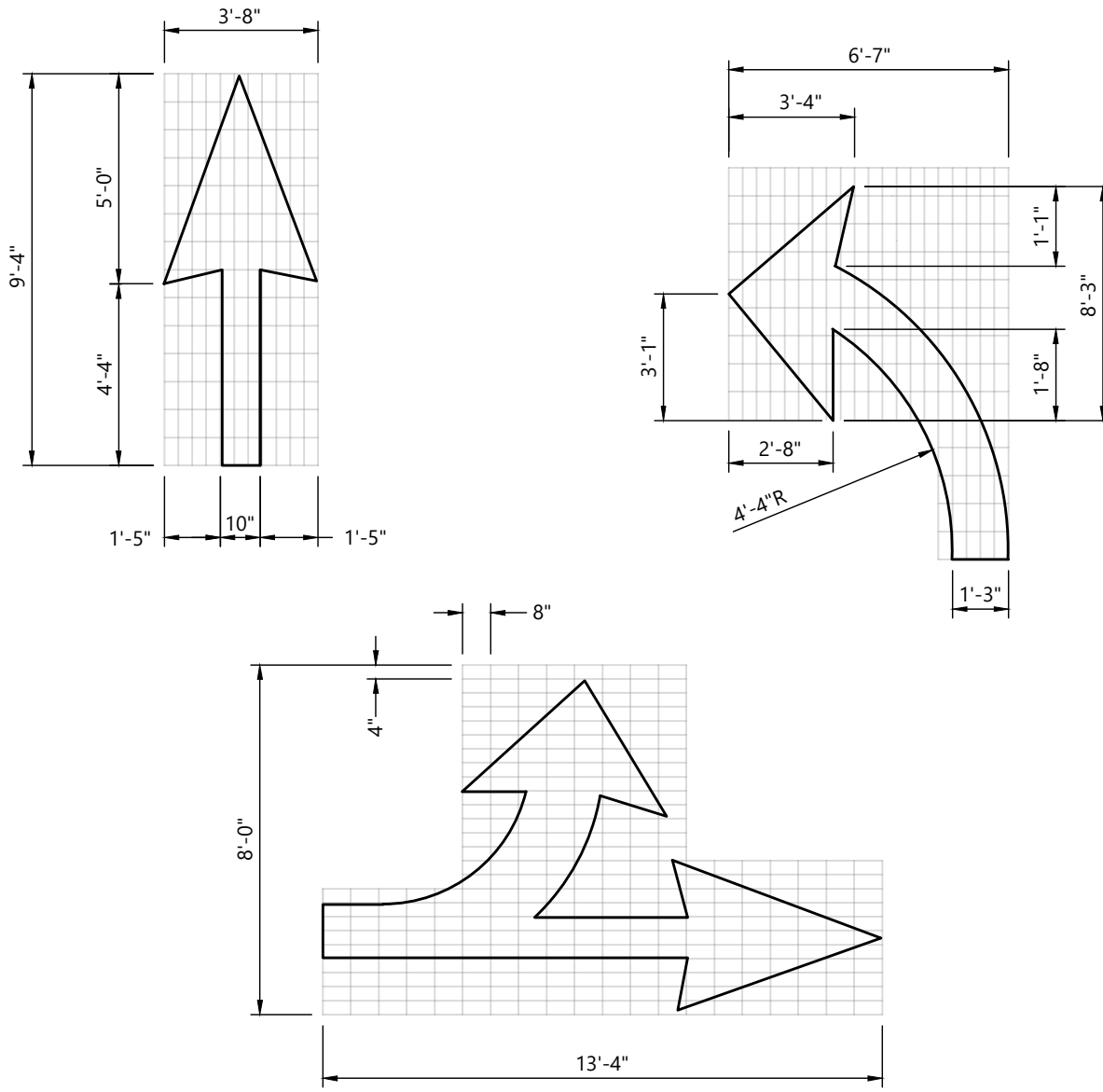
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1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL	DA	DV
			CHK	APP

**SITE UTILITY PLAN**

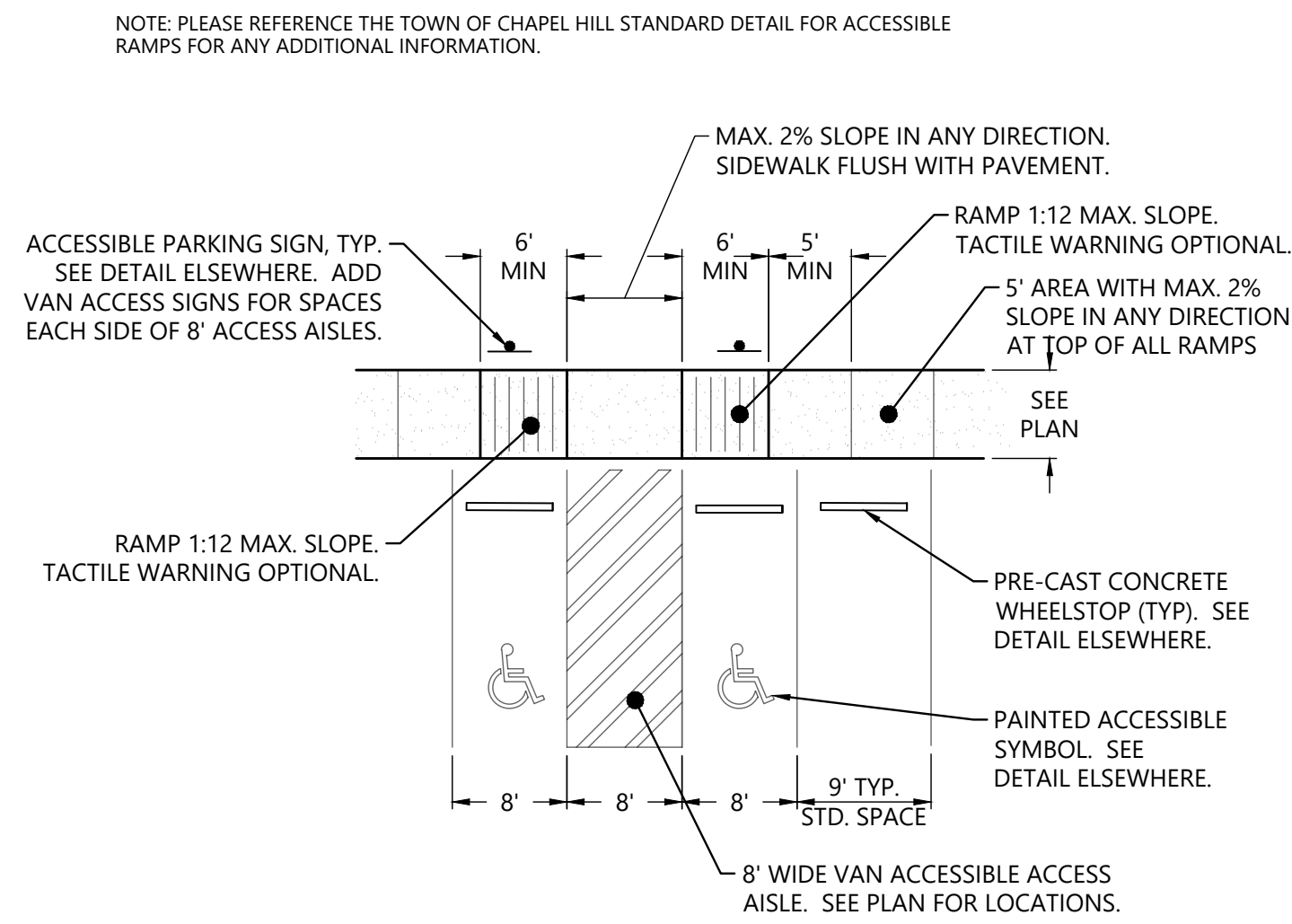
SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
**213004**

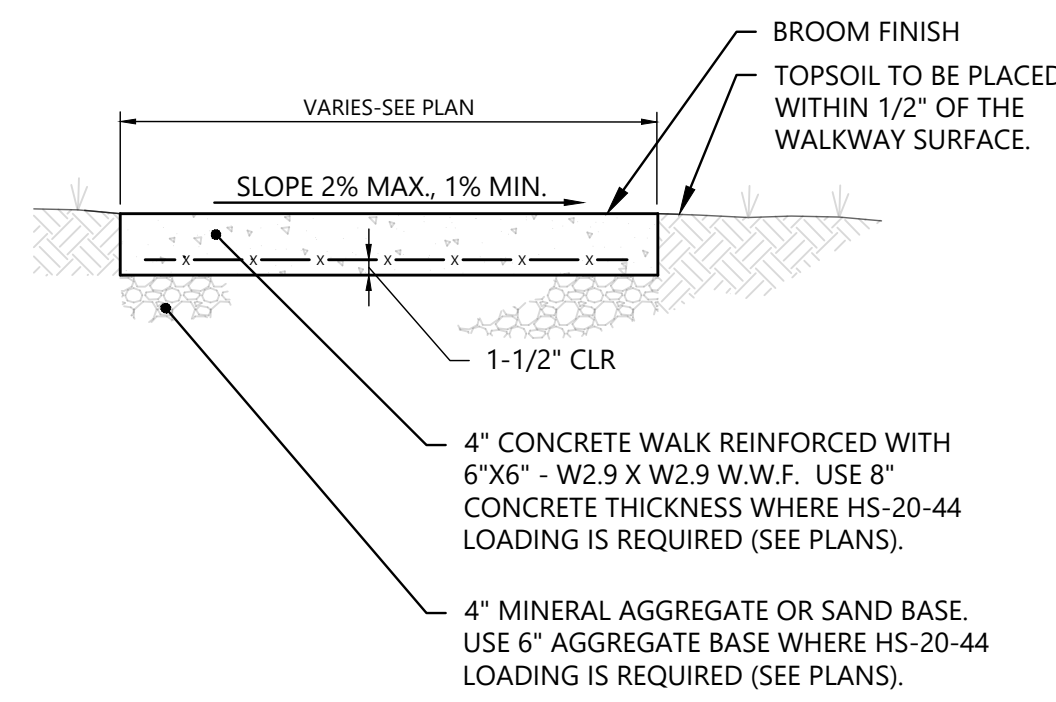
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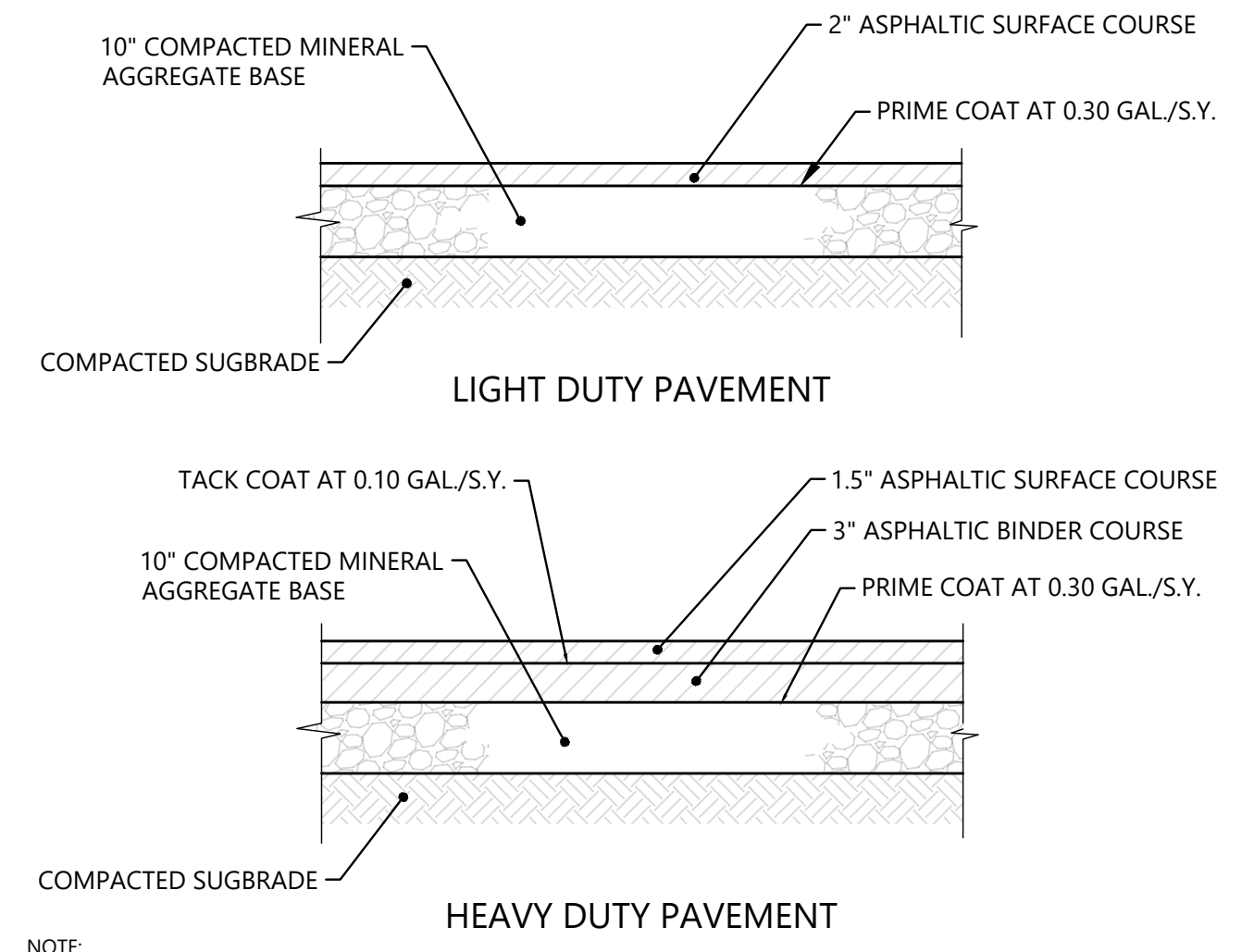
**10** **ROADWAY DIRECTIONAL ARROWS**  
NO SCALE



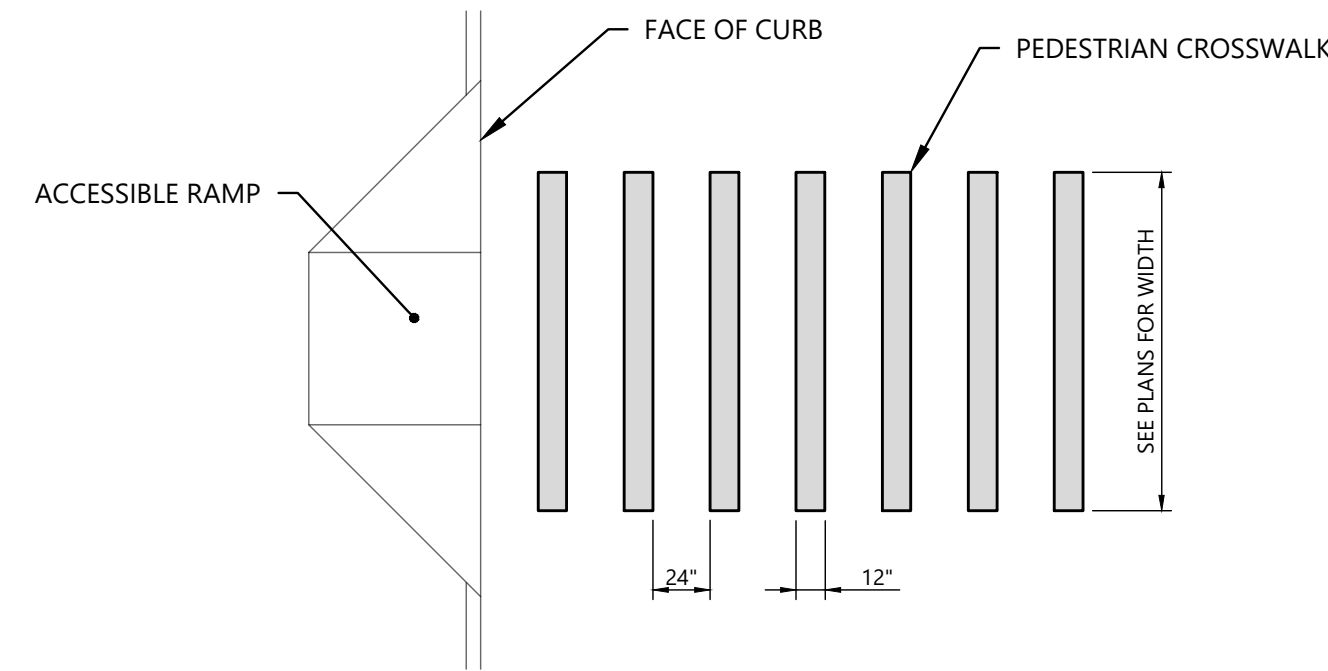
**7** **ACCESSIBLE RAMP**  
NO SCALE



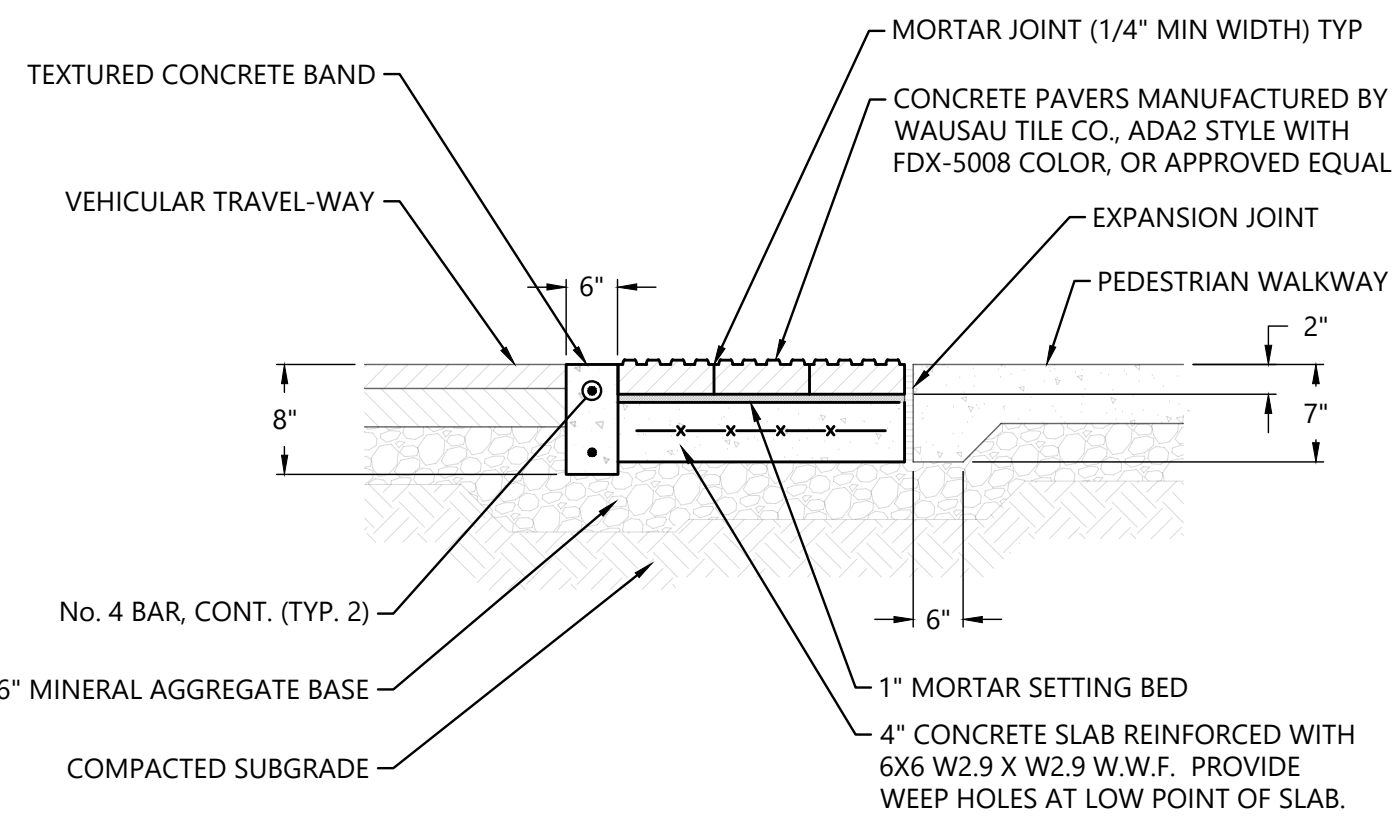
**4** **CONCRETE SIDEWALK**  
NO SCALE



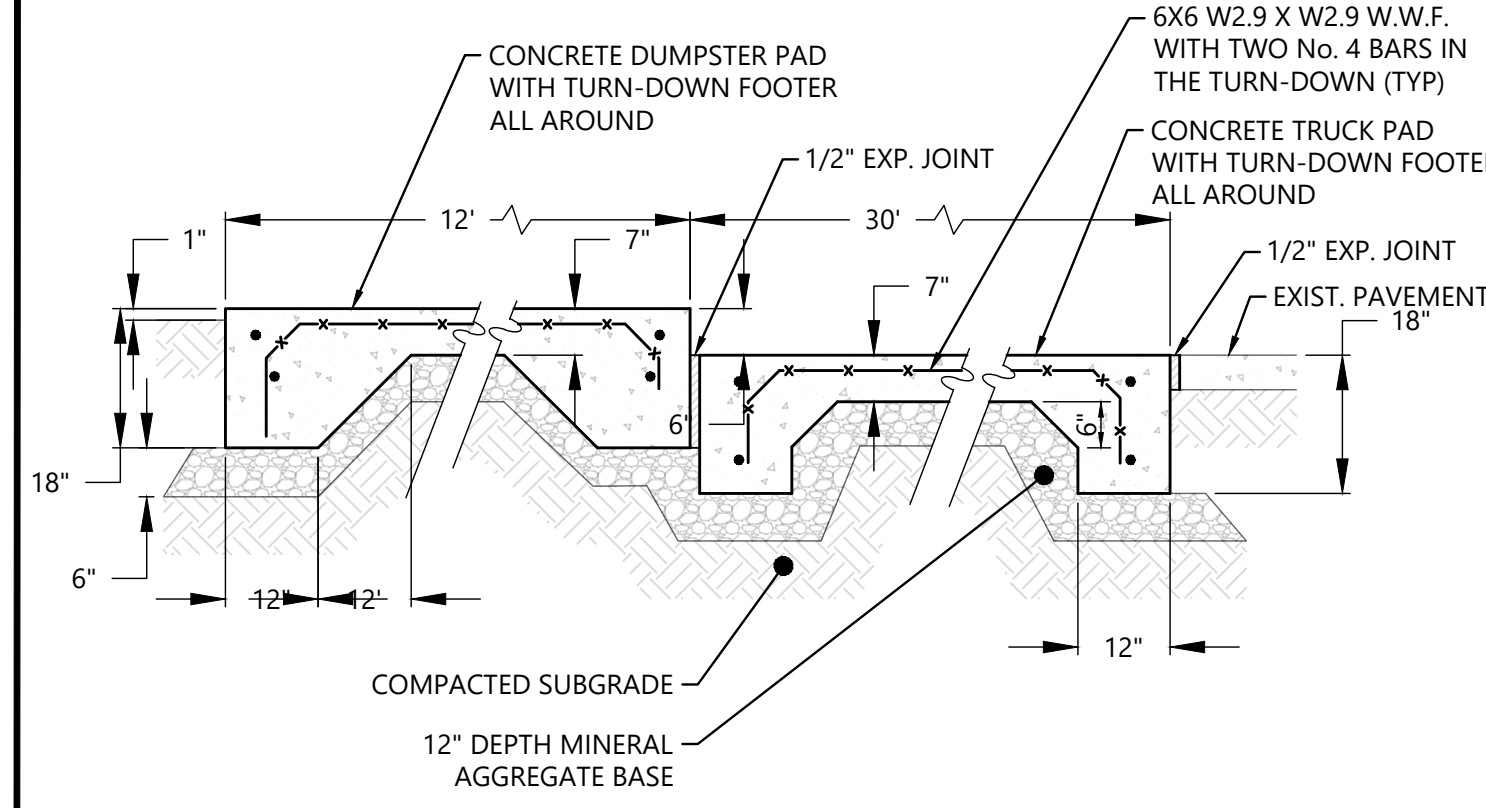
**1** **ASPHALT PAVEMENT**  
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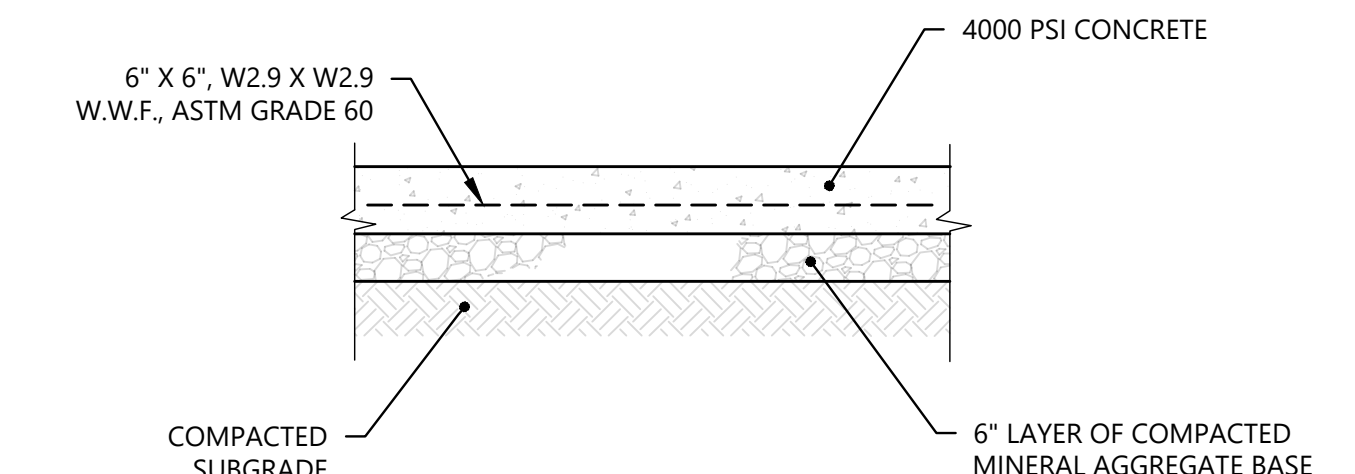
**11** **PEDESTRIAN CROSSWALK**  
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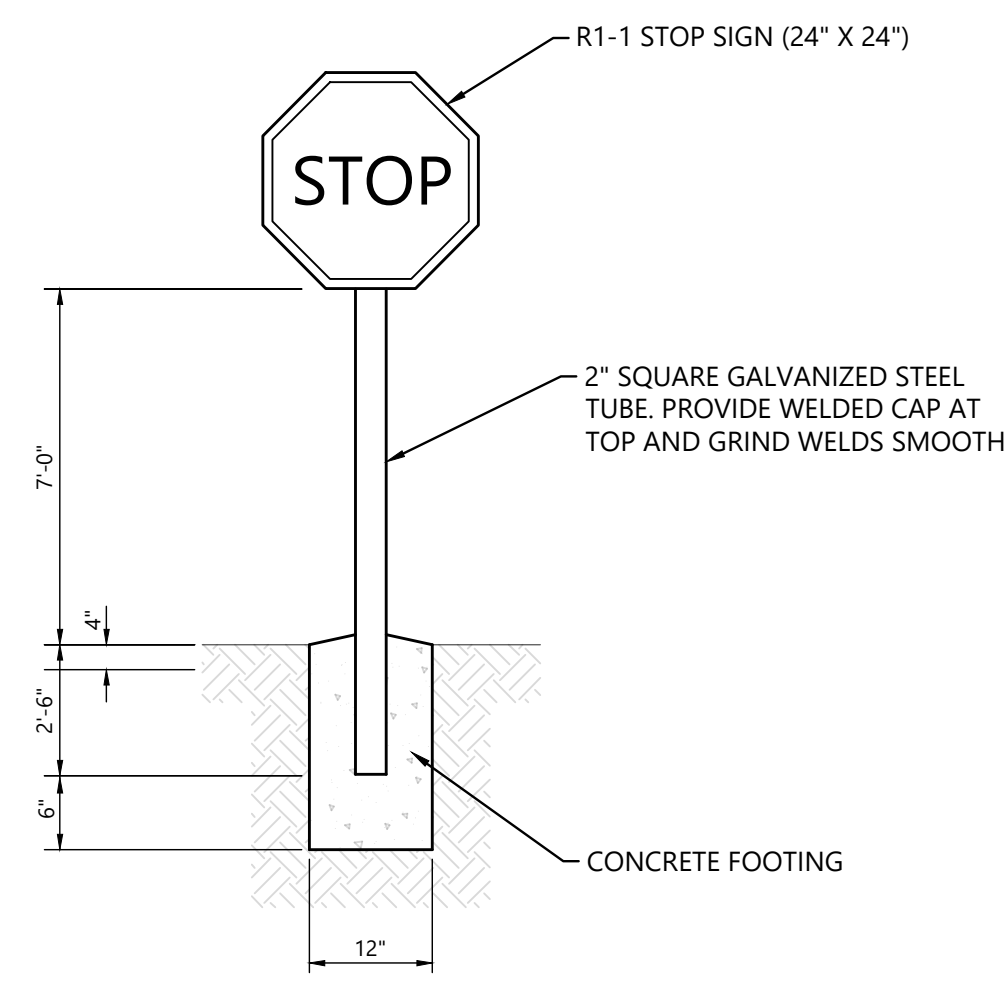
**8** **TACTILE WARNING**  
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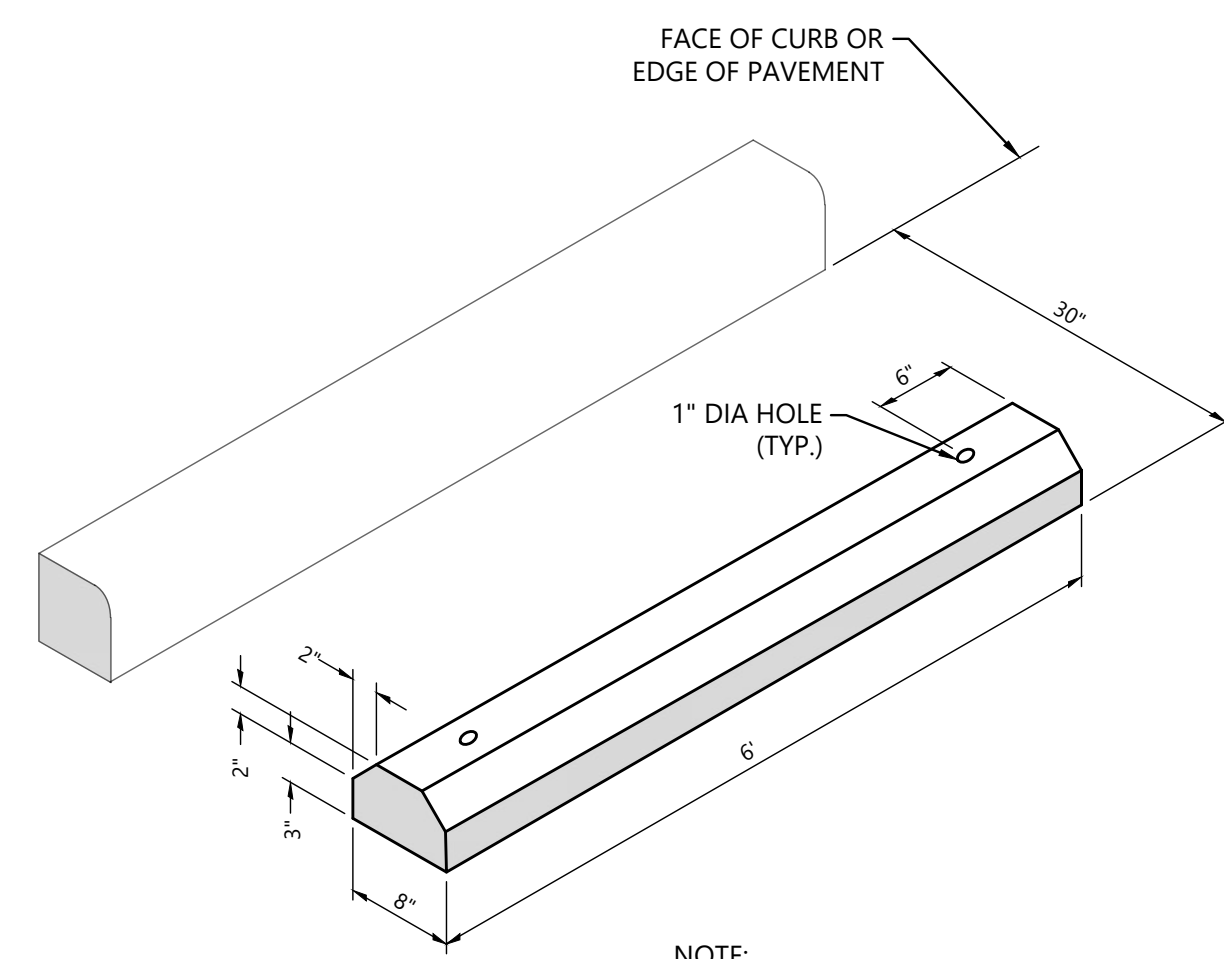
**5** **DUMPSTER PAD**  
NO SCALE



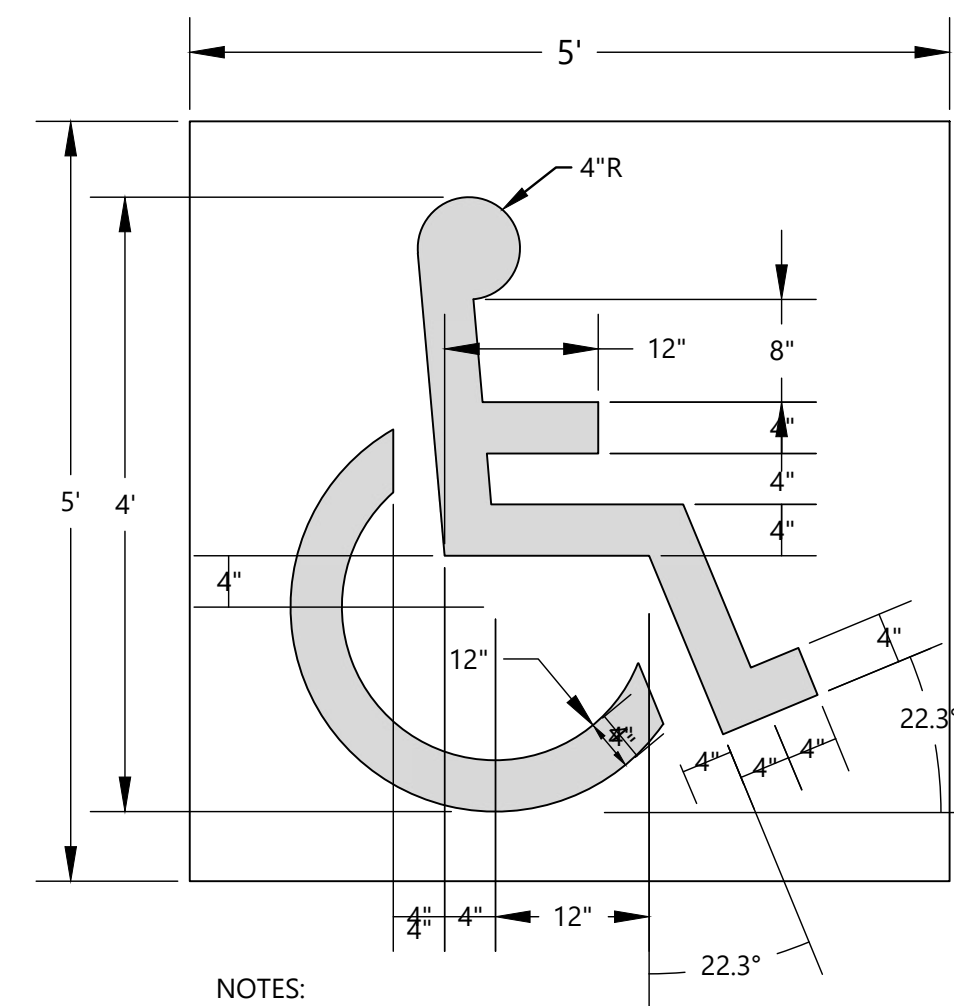
**2** **CONCRETE PAVEMENT**  
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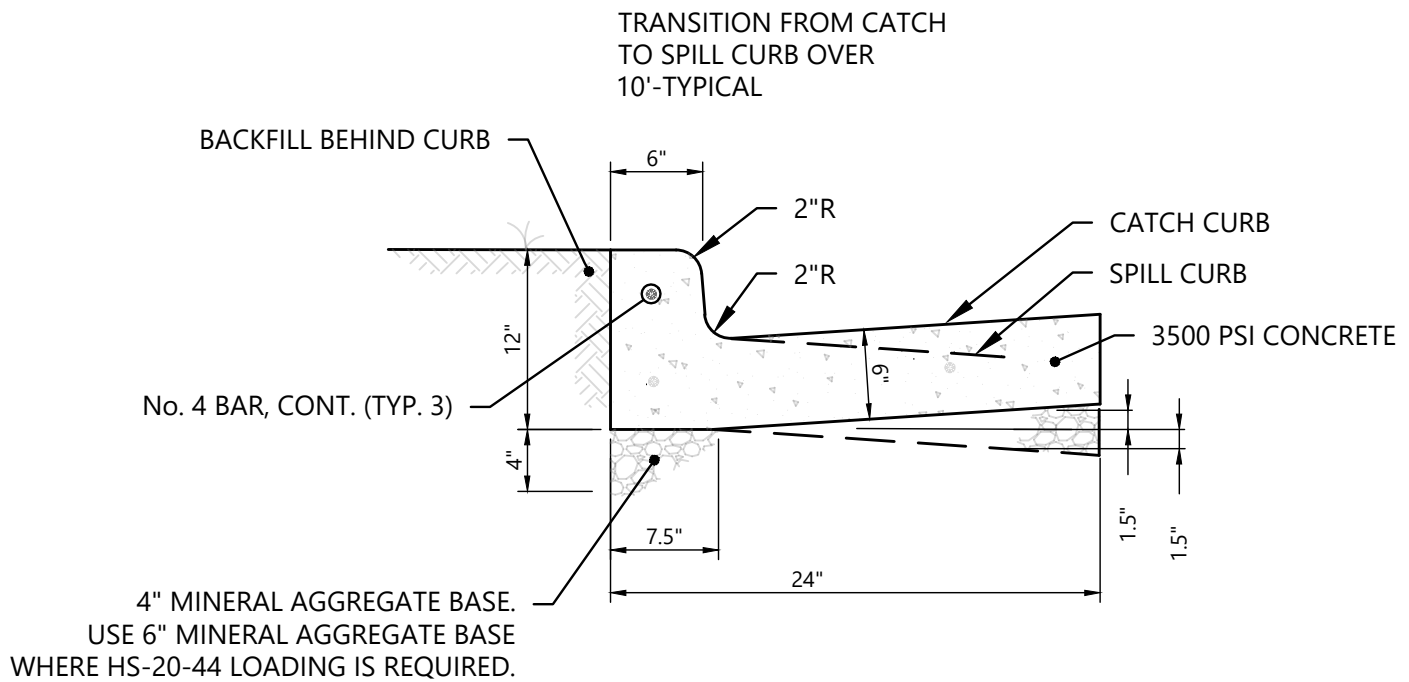
**12** **STOP SIGN**  
NO SCALE



**9** **PRECAST CONCRETE WHEELSTOP**  
NO SCALE



**6** **PAINTED ACCESSIBLE SYMBOL**  
NO SCALE



**3** **CONCRETE CURB AND GUTTER**  
NO SCALE



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144



BARLOW MOTORS BUILDING  
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CINCINNATI, OH 45202  
PHONE: (513) 914-5835



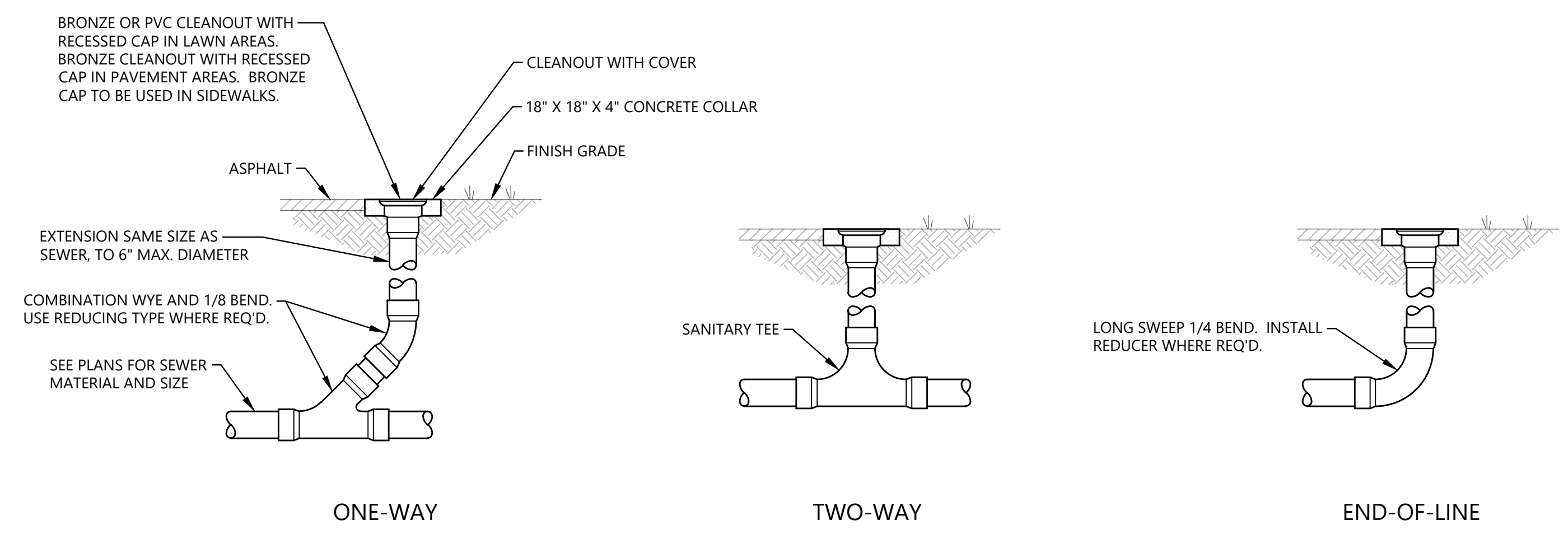
NO.	DATE	DESCRIPTION	BY	CHK	DV	APP
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL				

**SITE DETAILS**  
SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
**213004**  
DRAWING NUMBER

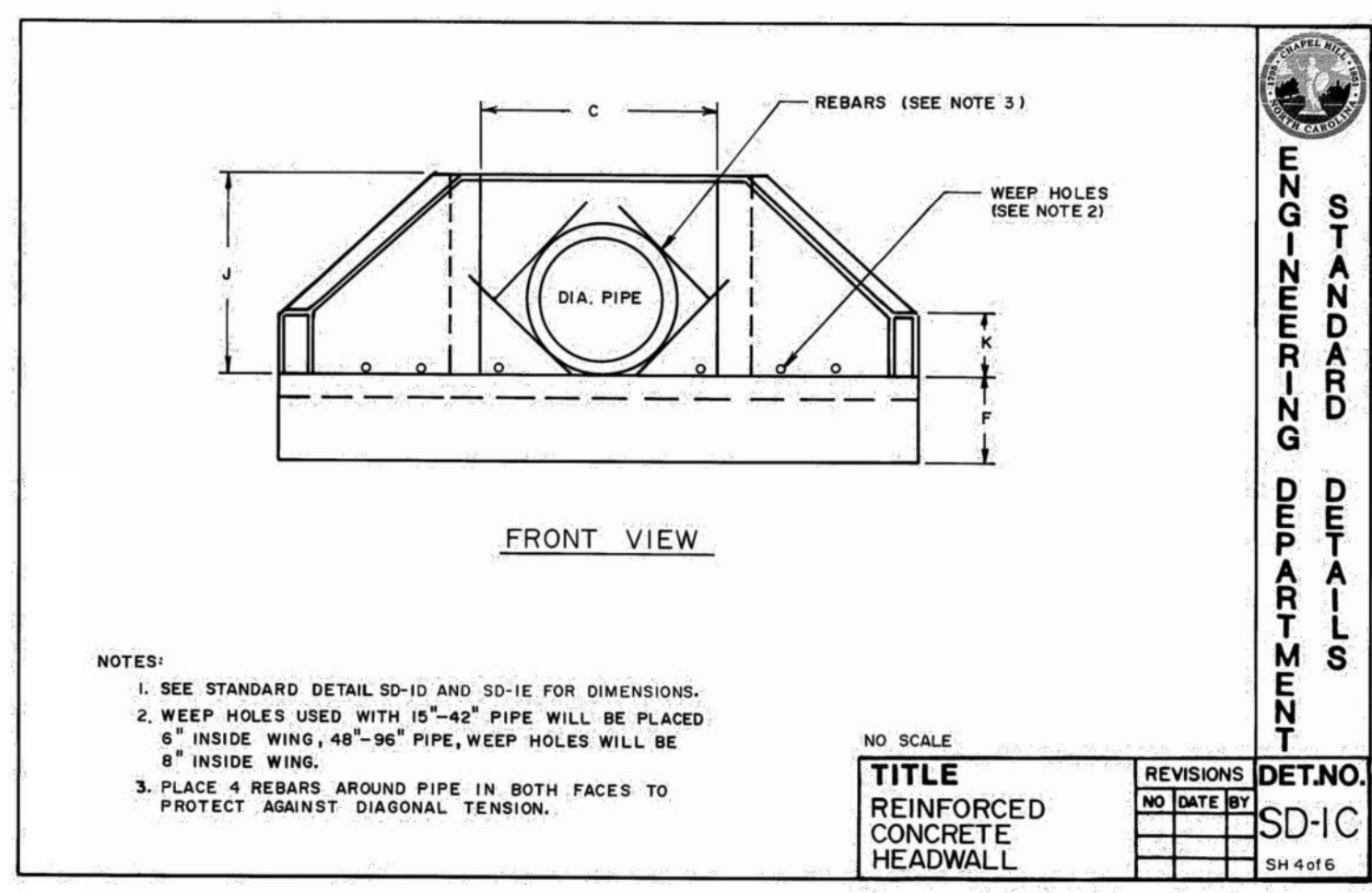
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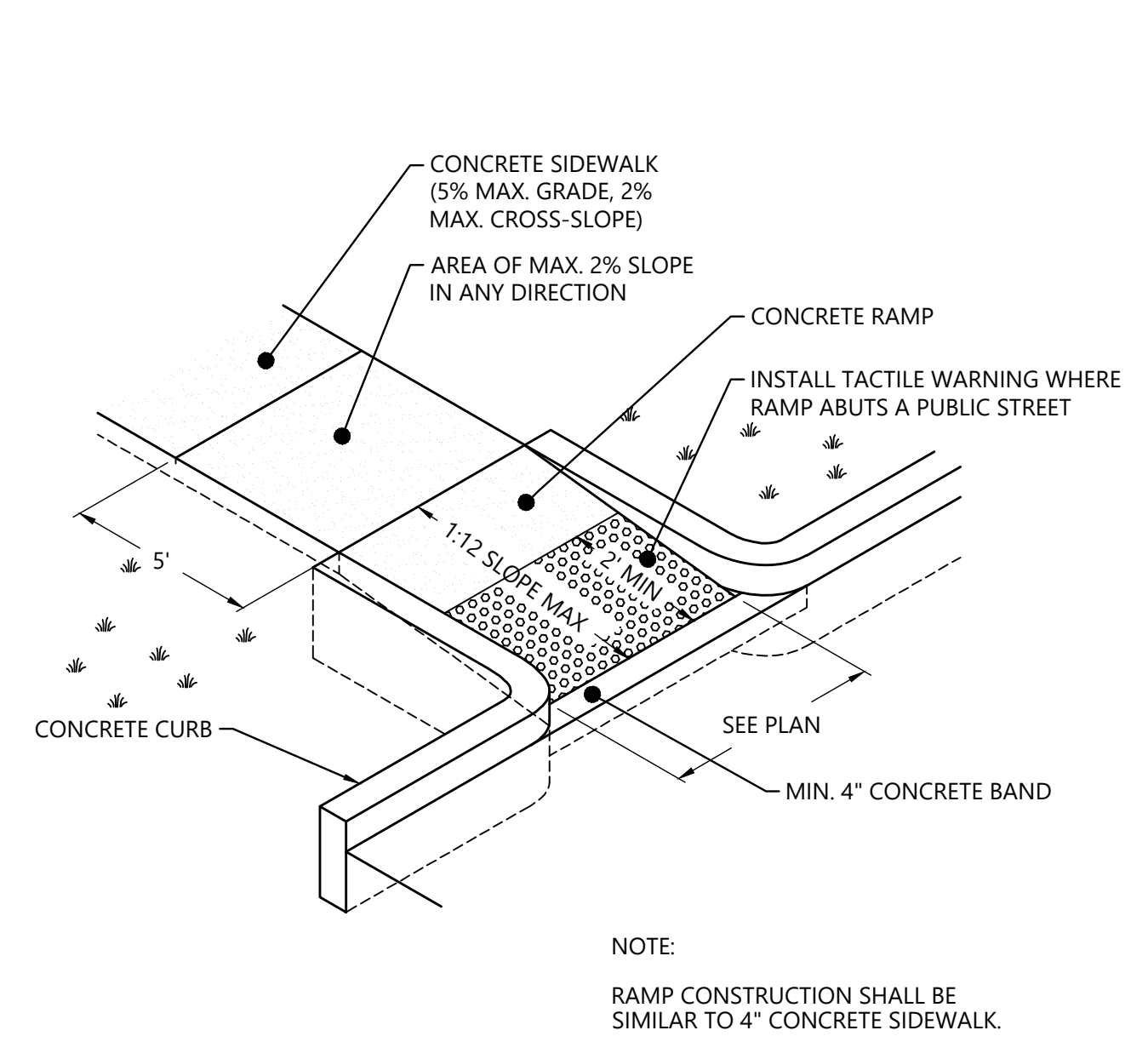
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CLEANOUTS  
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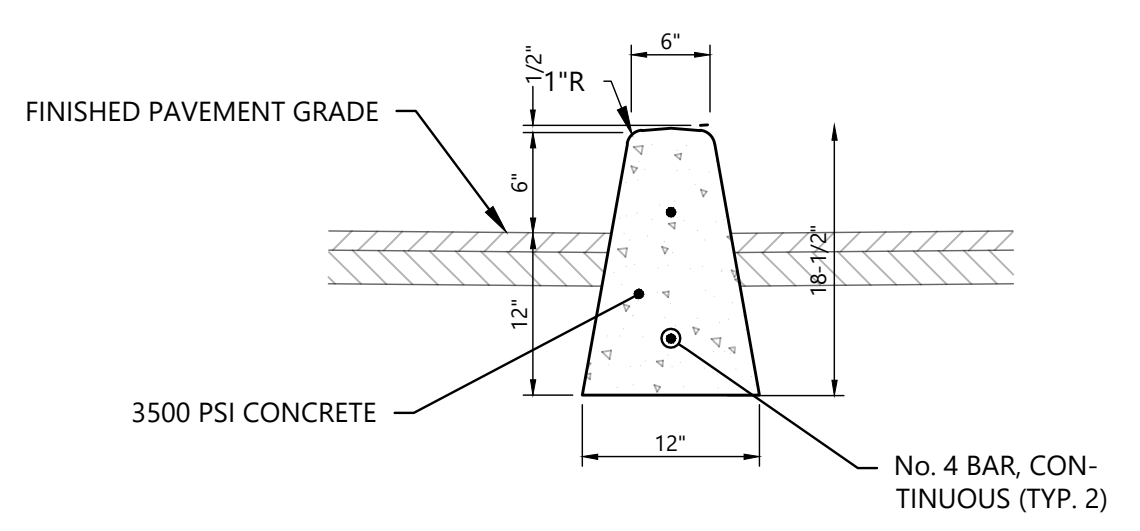
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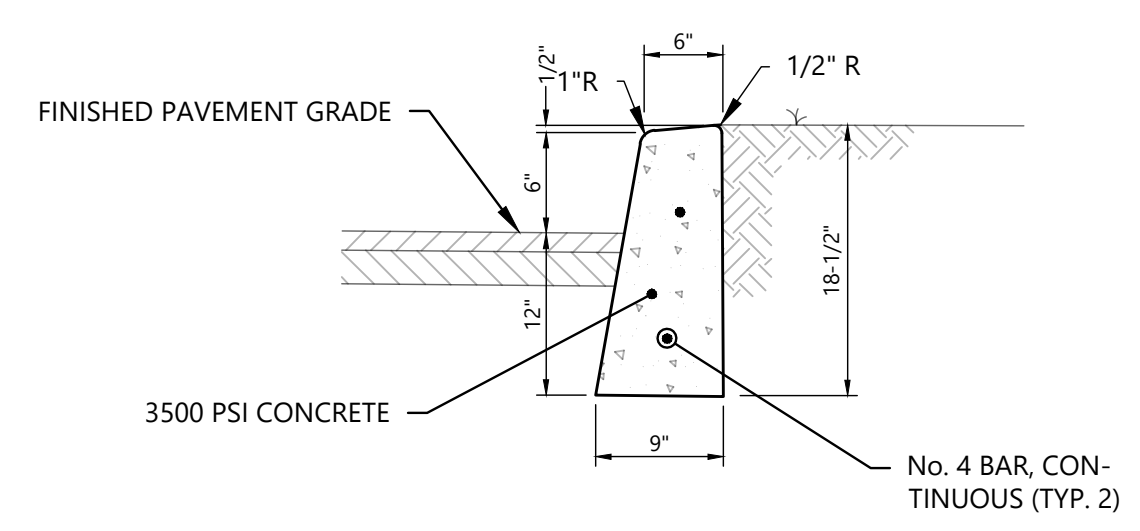
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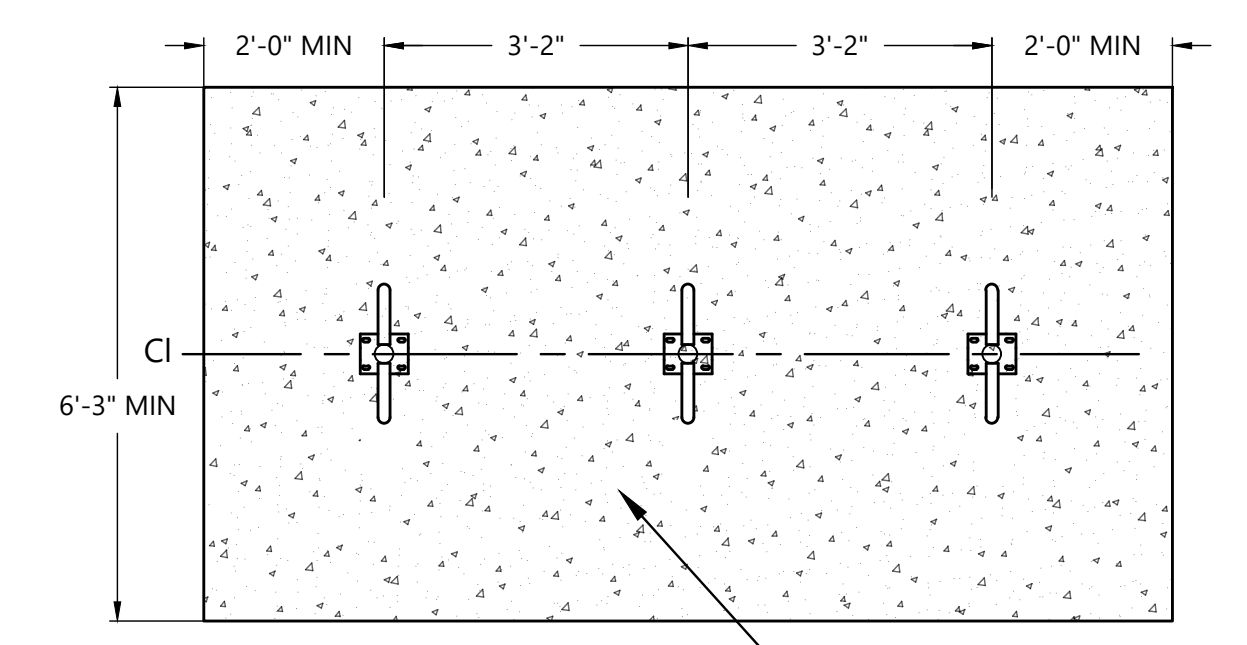
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CONCRETE MEDIAN CURB  
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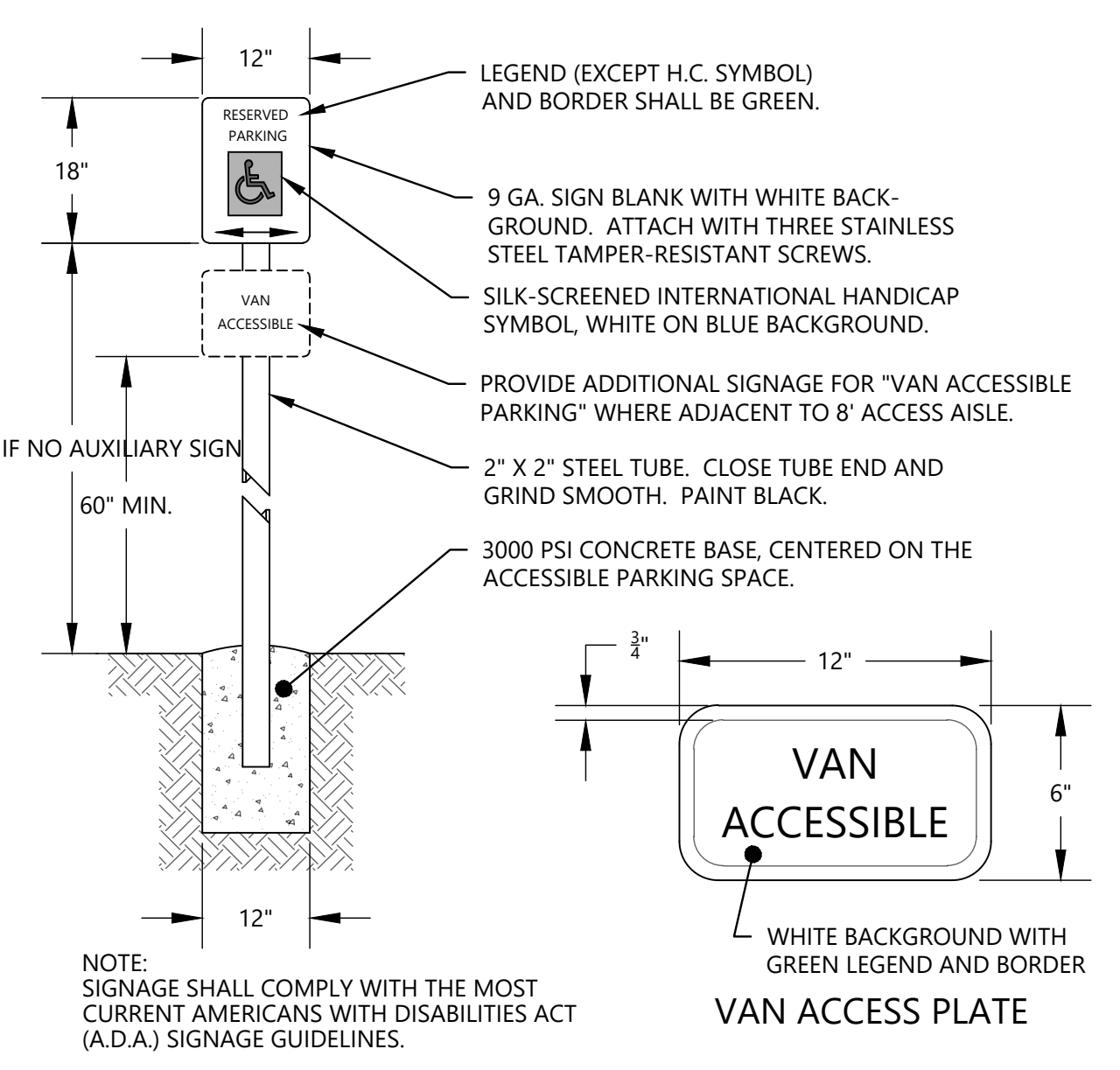
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CONCRETE POST CURB  
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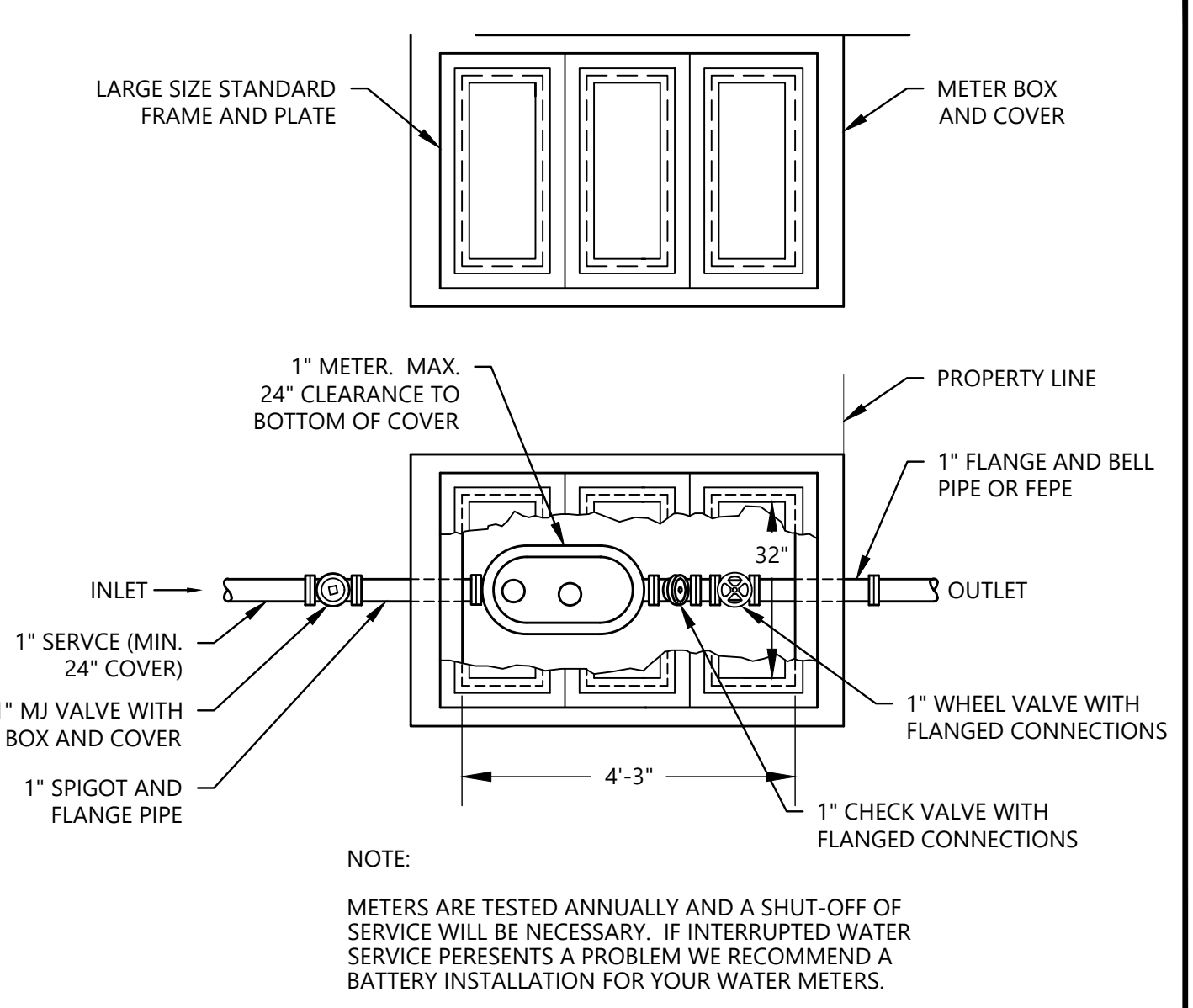
PLAN  
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10



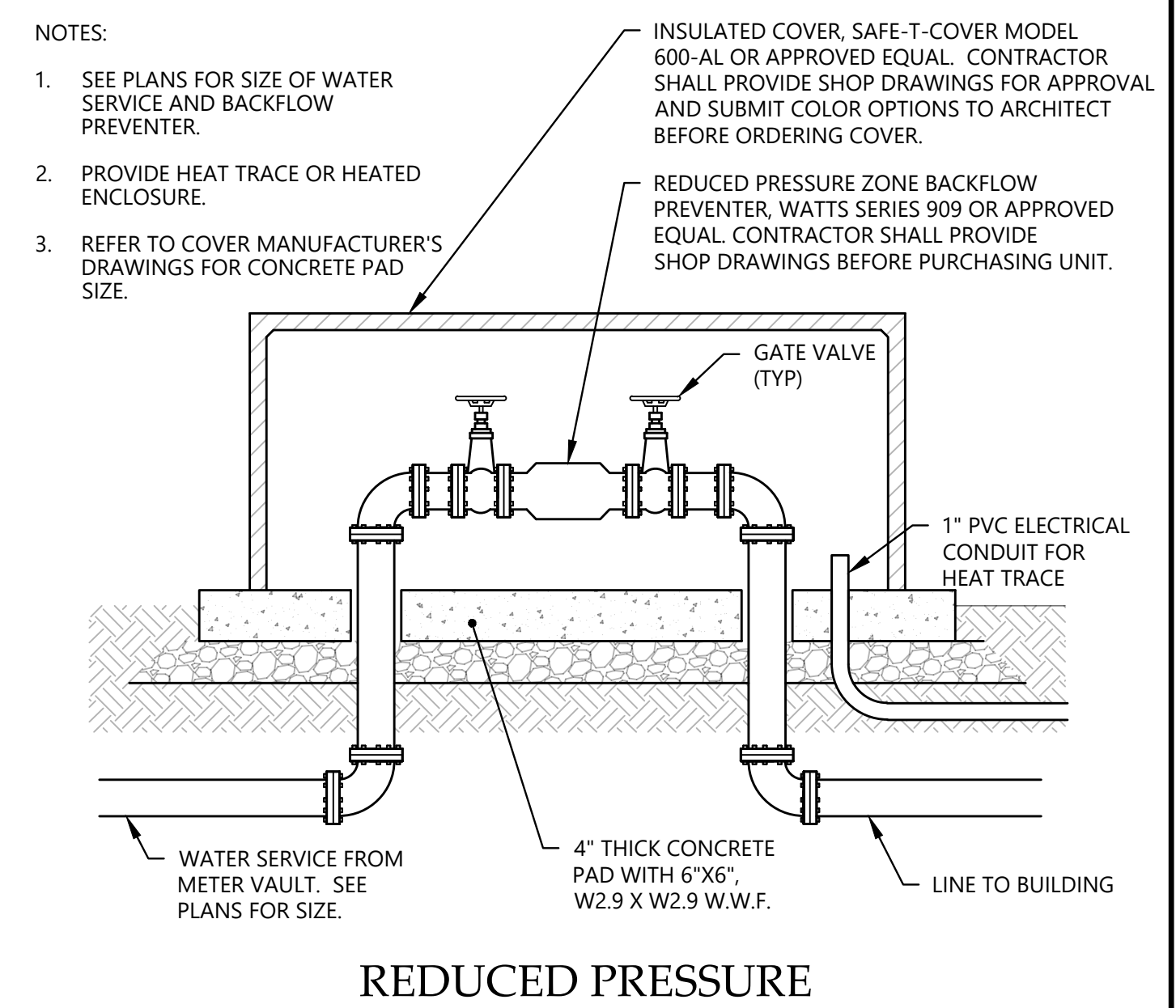
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ACCESSIBLE PARKING SIGN  
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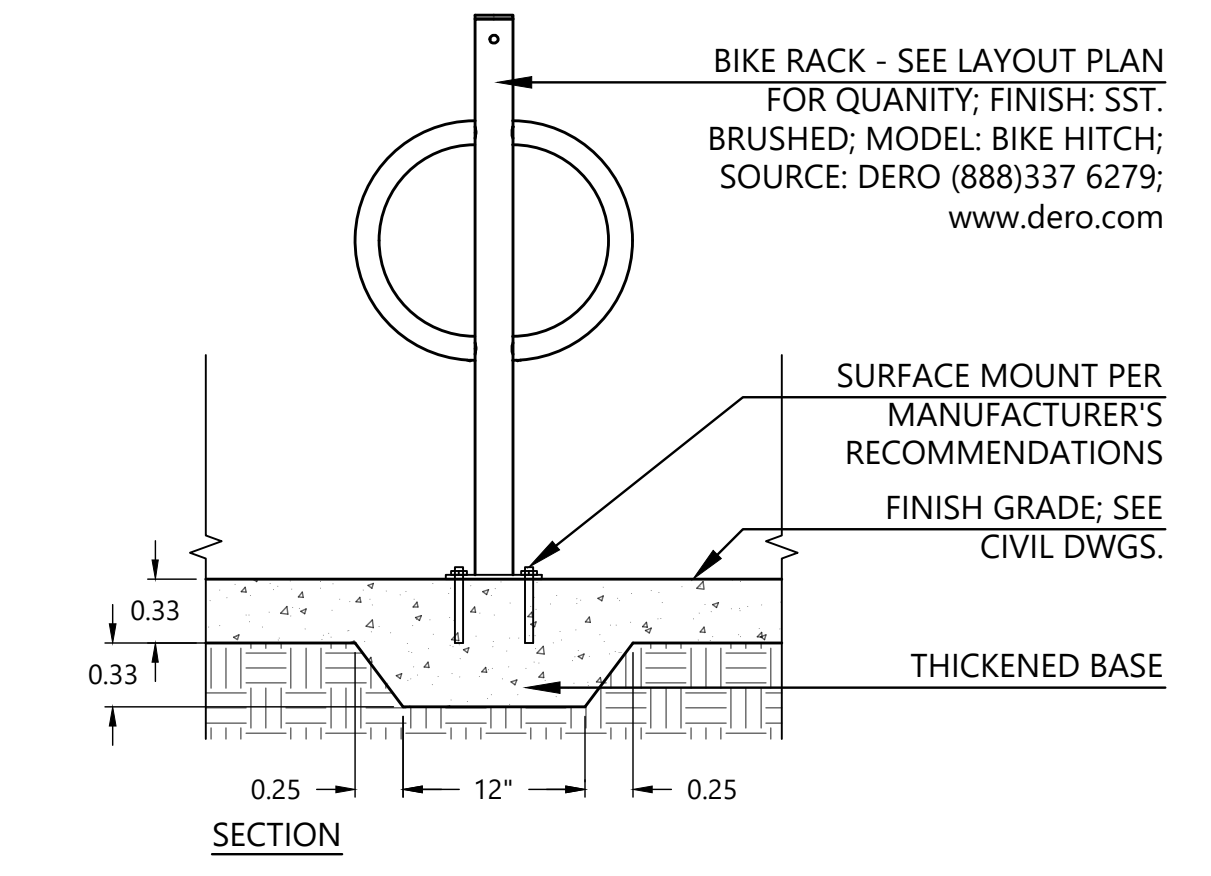
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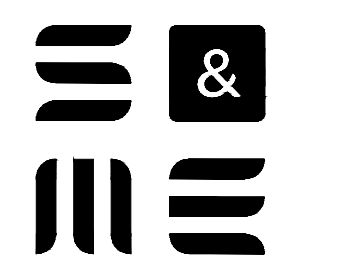
5

REDUCED PRESSURE  
BACKFLOW PREVENTER  
NO SCALE



2

BICYCLE RACK  
NO SCALE



658 GRASSMERE PARK DRIVE  
SUITE 100  
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NO.	DATE	DESCRIPTION	BY	CHK	APP
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL			

SITE DETAILS

SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
213004  
DRAWING NUMBER

C8.1

ORIGINAL SIZE: 24"x36" DRAWING PATH: T:\980\Projects\2021\213004\_MN\_Site\Site\ChapelHill\_CAD\Construction\213004\_C80\_DET

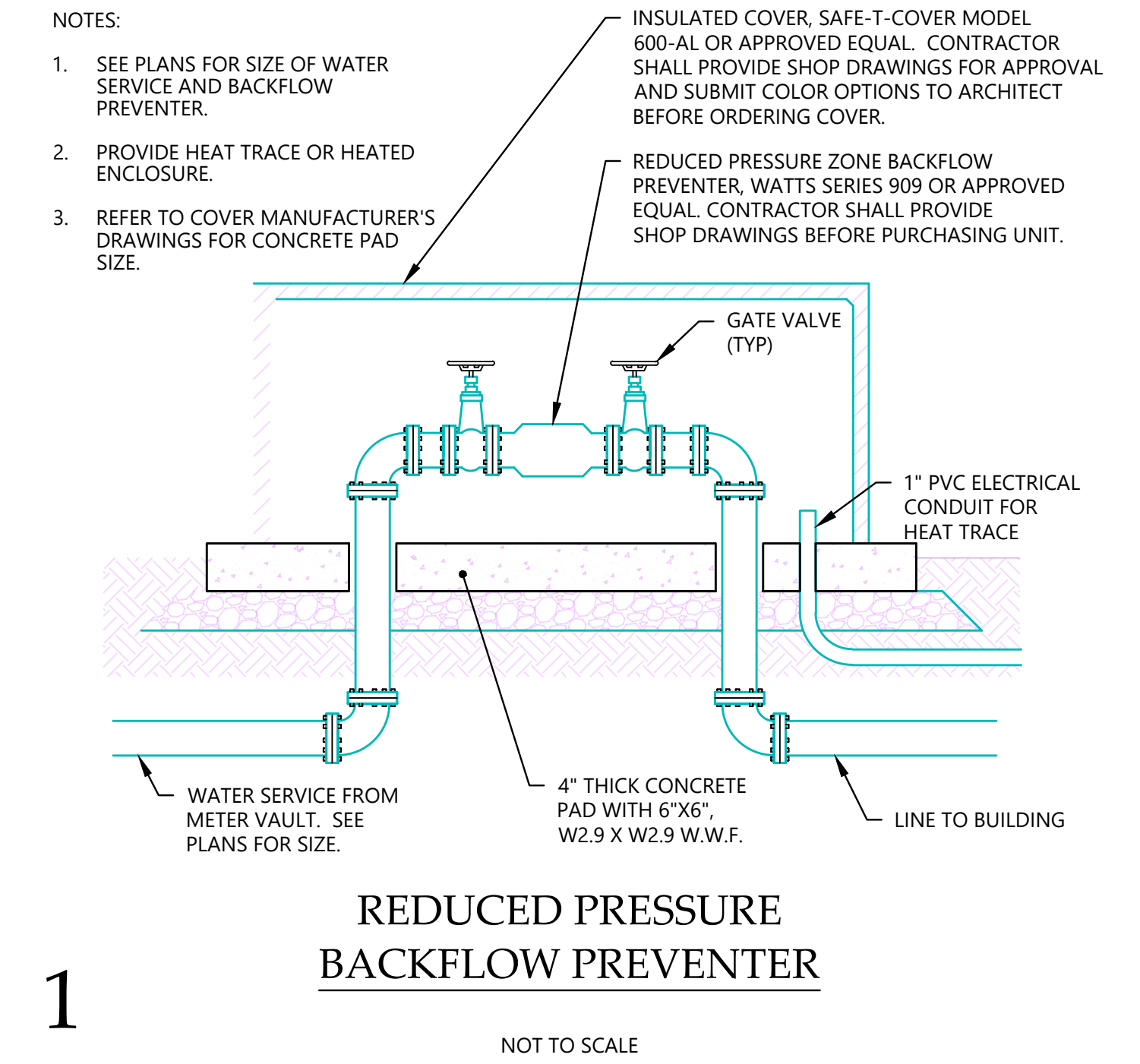


10

7

4

1



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
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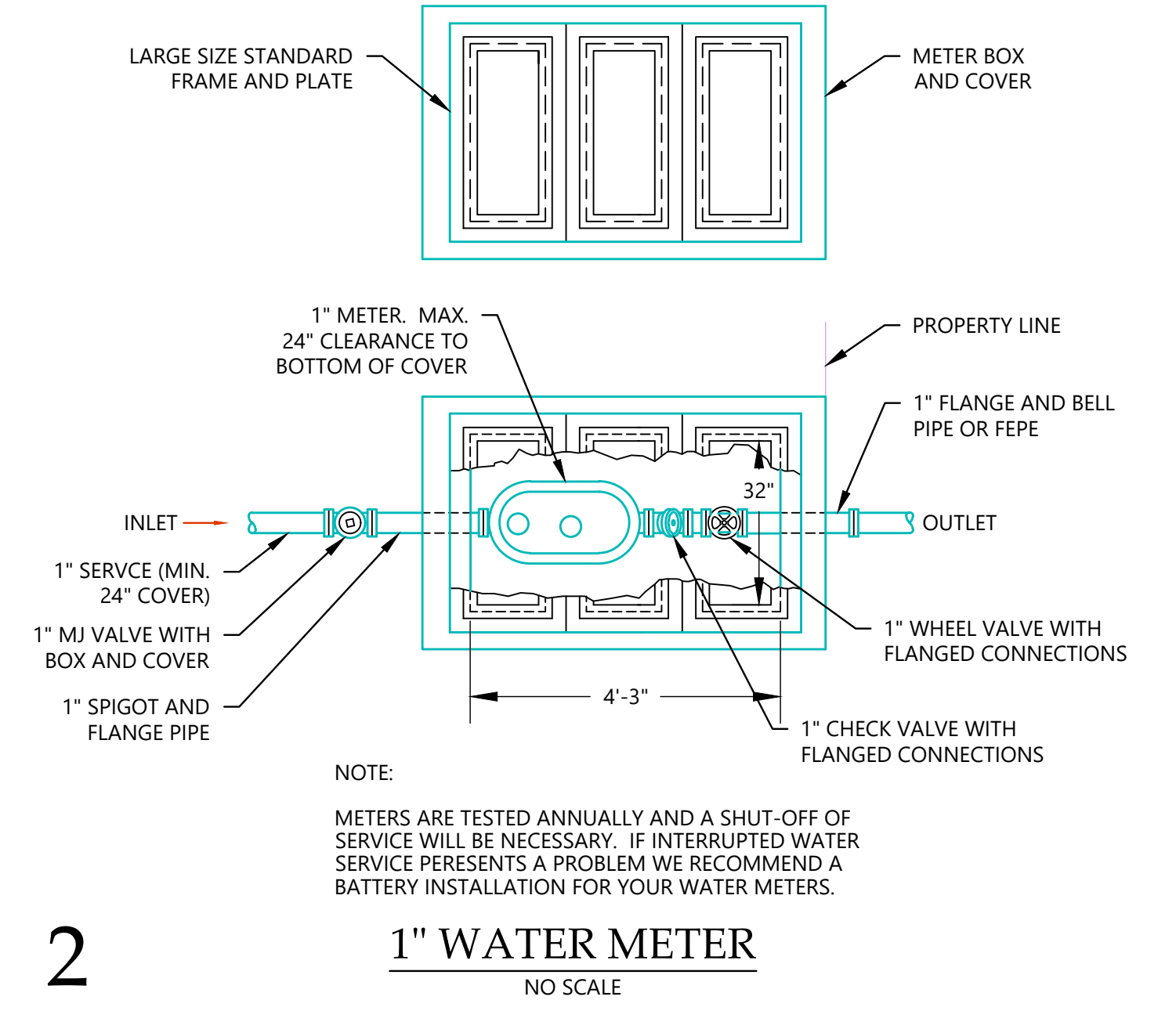
FIFTH THIRD BANK

11

8

5

2



NO.	DATE	DESCRIPTION	BY	CHK	DV	APP
1	12-30-2021	TOWN OF CHAPEL HILL SUBMITTAL				

12

9

6

3

**SITE DETAILS**

SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

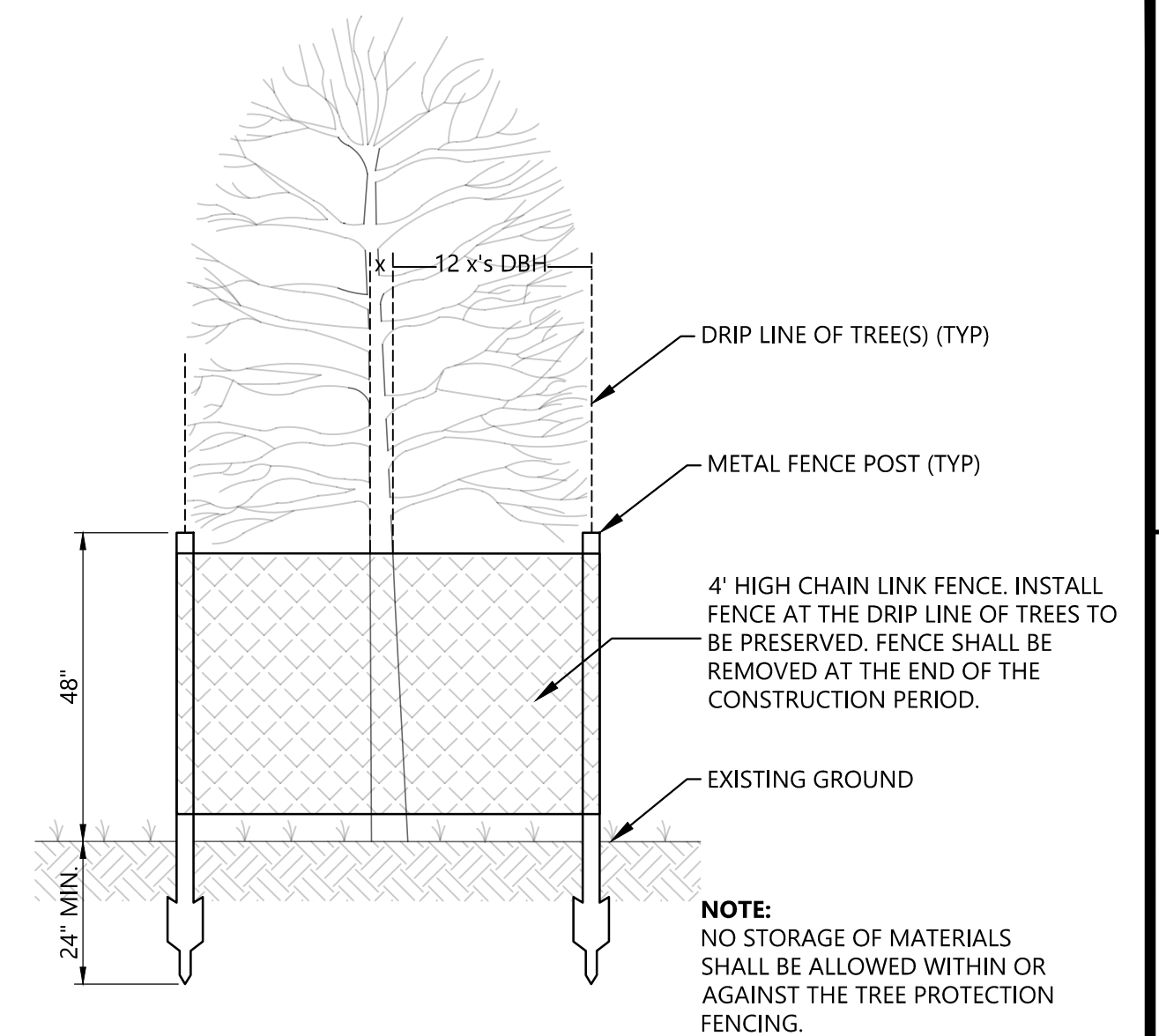
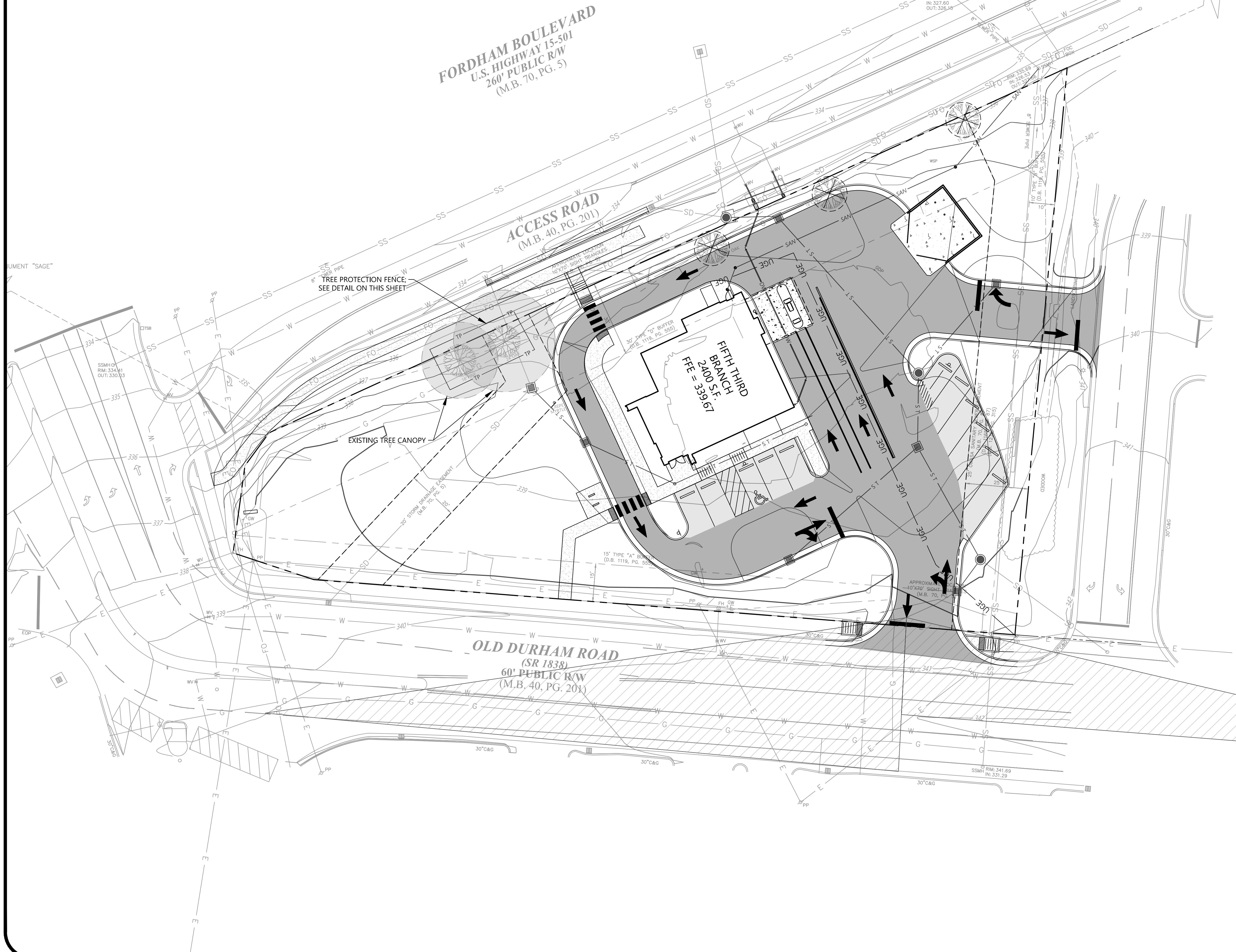
PROJECT NUMBER  
**213004**  
DRAWING NUMBER

**C8.3**

TIME STAMP: 4/26/2022 7:49 AM

EXISTING TREE DATA		
TREE TYPE	CALIPER	REMOVE/PRESERVE
PINE	18 IN.	PRESERVE
OAK	24 IN.	PRESERVE
OAK	24 IN.	REMOVE
OAK	18 IN.	REMOVE
GUM	15 IN.	REMOVE

TOTAL EXISTING TREES: 5  
 TOTAL EXISTING TREES TO BE PRESERVED: 2  
 PERCENTAGE OF EXISTING TREES TO BE REMOVED: 60%  
 EXISTING TREE CANOPY COVERAGE: 4%



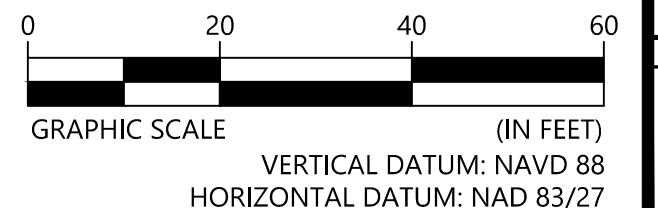
TREE PROTECTION FENCE  
 NO SCALE

**TREE PROTECTION NOTES**

- PRIOR TO CONSTRUCTION ACTIVITY, THE GENERAL CONTRACTOR SHALL STAKE THE LIMITS OF CLEARING, GRADING AND BUILDING FOOTPRINTS THAT AFFECT THE TREE PRESERVATION AREAS.
- THE LOCATION OF TREE PROTECTION MEASURES SHALL BE REVIEWED AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION COMMENCING. TREE PROTECTION BARRICADES SHALL CONSIST OF ORANGE PLASTIC BARRIER CONSTRUCTION FENCING, AND SHALL BE INSTALLED IN LOCATIONS AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL INSTALL ADEQUATE TREE PROTECTION MEASURES PRIOR TO ANY GRADING ACTIVITIES TO PREVENT CONSTRUCTION ACTIVITIES WITHIN PROXIMITY OF SPECIMEN TREES.
- ALL GRADING WITHIN PROTECTED-ROOT-ZONE AREAS SHALL BE DONE BY HAND OR WITH SMALL EQUIPMENT TO MINIMIZE ROOT DAMAGE.
- ROOTS EXPOSED BY CONSTRUCTION ACTIVITY SHALL BE PRUNED FLUSH WITH THE GROUND AND COVERED WITH BACKFILL AS SOON AS POSSIBLE. IF EXPOSED ROOTS ARE NOT COVERED WITHIN 24 HOURS, COVER THEM WITH MULCH AND THOROUGHLY WATER UNTIL COVERED WITH BACKFILL.
- DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIP LINES OF TREES TO BE PRESERVED.
- WHENEVER GRADING OR EXCAVATION IS DIRECTED WITHIN THE CANOPY COVERAGE AREA OF A TREE TO BE PRESERVED, FIRST CUT ROOTS USING A "DITCH WITCH" OR SIMILAR DEVICE TO PROVIDE CLEAN CUT OF ROOTS AT LIMITS OF ACTIVITY (PRIOR TO USE OF BACKHOE OR BULLDOZER). DO NOT ALLOW HEAVY EQUIPMENT WITHIN THE AREA BETWEEN CUT LINE AND TRUNK OF TREE. TRENCHES TO BE BACKFILLED AND TAMPERED TO MINIMIZE SETTLEMENT.
- BARRICADES SHALL ENCLOSE AREAS TO BE PAVED UNTIL PAVING AND/OR GRADE ADJUSTMENT ACTIVITIES BEGIN. ONLY THEN SHALL BARRICADES BE MOVED TO THE MAXIMUM ALLOWABLE PROTECTED ROOT TREE SAVE ZONE THAT WILL NOT ENCLOSE ON THE PLANNED CONSTRUCTION. REMOVAL OF BARRICADE SHALL OCCUR ONLY AFTER PAVING IS COMPLETED AND CURBING IS INSTALLED, OR AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- PROVIDE WATERING OF SPECIMEN TREES DURING CONSTRUCTION WHEN PERIODS OF DROUGHT EXCEED SEVEN DAYS. UTILIZE OSCILLATING TYPE SPRINKLERS TO COVER ENTIRE PROTECTED ROOT ZONE FOR FOUR HOURS EACH.
- ROOT AREA OF TREES WHERE SOIL HAS BEEN COMPACTED DUE TO CONSTRUCTION ACTIVITY SHALL BE VERTICALLY MULCHED (AERATED) AT DIRECTION OF THE QUALIFIED PROFESSIONAL. THIS SHALL BE ACCOMPLISHED BY AUGURING THE SOIL IN A 2' GRID PATTERN TO WITHIN 3' OF TRUNK AND TO 10' BEYOND THE DRIP LINE. A 2" TO 3" HAND OPERATED AUGUR SHALL BE USED TO DRILL HOLES TO A MINIMUM DEPTH OF 12". TYPE OF BACKFILL WILL BE DETERMINED BY THE QUALIFIED PROFESSIONAL.
- HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITY MAY OCCUR ON THE SURFACE OF TREE FOLIAGE. TO CONTROL DUST, TREE FOLIAGE MAY BE HOSED DOWN UPON THE REQUEST OF THE QUALIFIED PROFESSIONAL.
- REMOVAL OF ALL TREE PROTECTION FENCING, SILT FENCING AND SIGNAGE WILL BE DONE BY THE GENERAL CONTRACTOR WHEN PERMITTED BY THE LOCAL CODE ENFORCEMENT OFFICIALS. RESTORATION OF ALL AREAS DISTURBED BY THE FENCING AND/OR SIGNAGE WILL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY.
- PROJECT IS REQUIRED TO HAVE TWO (2) LANDSCAPE PROTECTION SUPERVISORS CERTIFIED BY THE PLANNING DEPARTMENT. PLEASE CALL ADAM NICHOLSON AT 919-969-5006 TO ARRANGE THIS REVIEW.
- AT LEAST ONE LANDSCAPE SUPERVISOR MUST BE ON-SITE WHEN ANY LAND DISTURBANCE ACTIVITIES ARE OCCURRING.
- PLEASE CALL ADAM NICHOLSON (919-969-5006) TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO TREE PROTECTION FENCE INSTALLATION.
- ONCE INSTALLED, PLEASE CALL ADAM NICHOLSON (919-969-5006) TO INSPECT TREE PROTECTION FENCING AND SILT FENCING.



Know what's below.  
 Call before you dig.



658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144



MOODY-NOLAN  
 BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY - FIRST FL  
 CINCINNATI, OH 45202  
 PHONE: (513) 914-5835



NO.	DATE	DESCRIPTION	BY	CHK	APPV
1	04-22-2022	TOWN OF CHAPEL HILL SUP R2 REVISIONS	WB	DA	DV
2	03-16-2022	TOWN OF CHAPEL HILL SUP R1 REVISIONS	WB	DA	DV

TREE PROTECTION PLAN  
 SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
 213004  
 DRAWING NUMBER

TP1.0

ORIGINAL SIZE: 24" X 36" DRAWING PATH: T:\P&D\Projects\3321213004\_MN\_24x36\ChapelHill\_CAD\Construction\213004\_TP1.0\_TREE PROTECTION

TIME STAMP: 4/26/2022 7:51 AM  
 ORIGINAL SIZE: 24"X36" DRAWING PATH: T:\P&ID\Projects\32021213004\_MN\_Subs\ChapelHill\_ChapeHill.CAD\Construction\213004\_L1\_0\_LAN

**SITE DATA**

SITE ADDRESS: 1800 FORDHAM ROAD  
 PARCEL NUMBER: 9799685750  
 BUILDING AREA: 2400 S.F.  
 EXISTING ZONING: CC-C2D  
 SITE ACREAGE: 0.97 ACRES (42,237 SQ. FT.)  
 PROPOSED USE: COMMERCIAL BANK

PROPOSED MAX. BUILDING HEIGHT: 1 STORIES  
 ALLOWED MAX. BUILDING HEIGHT: X STORIES

**PARKING SUMMARY**

PARKING REQUIRED: 1 SPACE PER 300 SQ. FT. GFA (MINIMUM)  
 2400 / 300 = 8 SPACES (MINIMUM)  
 1 SPACE PER 200 SQ. FT. GFA (MAXIMUM)  
 2400 / 200 = 12 SPACES (MAXIMUM)

**PARKING PROVIDED:**

STANDARD PARKING = 9 SPACES  
 MOTORCYCLE/MOPED = 2 SPACES  
 ACCESSIBLE PARKING = 1 SPACE  
 TOTAL PROVIDED = 12 SPACES

**BUILDING REQUIREMENTS**

BUILDING SETBACK - NORTH (FORDHAM ROAD) 22'  
 BUILDING SETBACK - EAST (WEGMAN'S SITE) 8'  
 BUILDING SETBACK - SOUTH (OLD DURHAM RD.) 10'  
 BUILDING SETBACK - WEST (OLD DURHAM RD.) 10'

**LANDSCAPE BUFFERS**

TYPE "C" BUFFER (FORDHAM BLVD. AND OLD DURHAM ROAD) 20'  
 TYPE "B" BUFFER (ADJACENT TO WEGMAN'S PROPERTY) 10'

**PLANTING REQUIRED PER 100 LINEAR FEET OF BUFFER**

	LARGE TREES	SMALL TREES	SHRUBS*
TYPE "C"	5	10	36
TYPE "B"	4	7	12

\* MINIMUM OF 50% OF SHRUBS WILL BE EVERGREEN

**FEMA PANEL:**

THE SUBJECT PROPERTY DOES NOT WITHIN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO COMMUNITY PANEL NO. FIRM MAP #3710979900K, FEBRUARY, 2009, PROPERTY LOCATED IN ZONE "X" AREAS OUTSIDE OF 0.2% CHANCE ANNUAL AND FUTURE CONDITIONS 1% ANNUAL FLOODPLAIN.

**FORDHAM BOULEVARD**  
 U.S. HIGHWAY 15-501  
 260' PUBLIC R/W  
 (M.B. 70, PG. 5)

**ACCESS ROAD**  
 (M.B. 40, PG. 201)

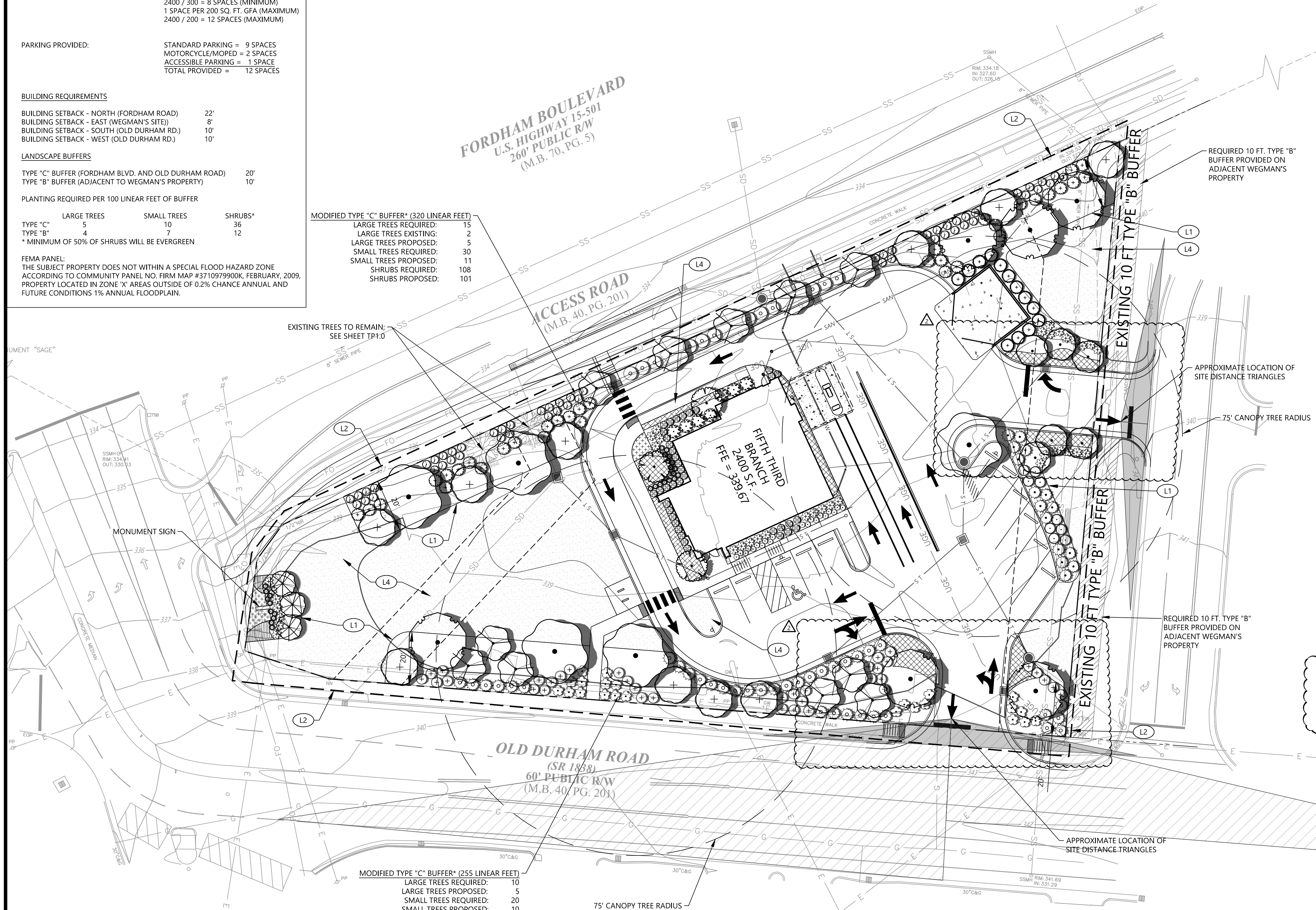
**OLD DURHAM ROAD**  
 (SR 1838)  
 60' PUBLIC R/W  
 (M.B. 40, PG. 201)

75' CANOPY TREE RADIUS

**MODIFIED TYPE "C" BUFFER\* (320 LINEAR FEET)**  
 LARGE TREES REQUIRED: 15  
 LARGE TREES EXISTING: 2  
 LARGE TREES PROPOSED: 5  
 SMALL TREES REQUIRED: 30  
 SMALL TREES PROPOSED: 11  
 SHRUBS REQUIRED: 108  
 SHRUBS PROPOSED: 101

EXISTING TREES TO REMAIN;  
 SEE SHEET TP1.0

**MODIFIED TYPE "C" BUFFER\* (255 LINEAR FEET)**  
 LARGE TREES REQUIRED: 10  
 LARGE TREES PROPOSED: 5  
 SMALL TREES REQUIRED: 20  
 SMALL TREES PROPOSED: 10  
 SHRUBS REQUIRED: 72  
 SHRUBS PROPOSED: 76



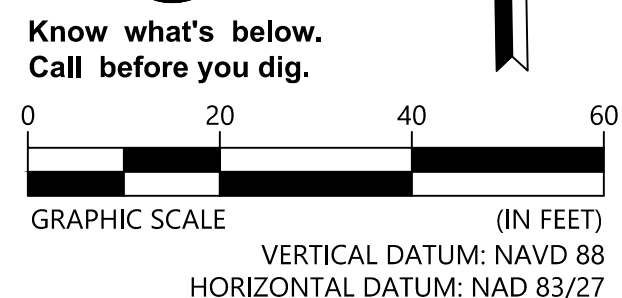
LANDSCAPE KEYNOTES		
CODE	DESCRIPTION	DET #/SHT #
L1	PLANTING BED LIMITS	2/L2,0
L2	IRRIGATION LIMITS	SEE NOTE/L2,0
L3	AREA TO BE SEEDDED	
L4	AREA TO BE SODDED	

**PLANT SCHEDULE**

CATEGORY	QTY	BOTANICAL NAME	COMMON NAME	CULT	CAL	HT	SPREAD	REMARKS
CANOPY TREES	5	Acer rubrum 'October Glory' TM	October Glory Maple	B & B	2"	10-12'		
	6	Nyssa sylvatica 'Widow'	Black Gum	B & B	2"	10-12'		
	13	Jurupara chinensis 'Spartan'	Spartan Juniper	B & B		8-10'		
UNDERCORY TREES	3	Acer glabrum 'Cinnamon Girl'	Paperbark Maple	#30 Cont.	1" cal. minimum	12-14'		Multi-trunk. Remove lower branches
	11	Ambrosia artemisiifolia 'Autumn Brilliance'	'Autumn Brilliance' Smartcology	B & B	2"	10-12'		
	10	Cercis canadensis 'Appalachian Red'	Appalachian Red Eastern Redbud	#35 Cont.	2" Cal.	8-10'		
	6	Cornus florida 'Cloud Nine'	Cloud Nine Eastern Dogwood	B & B	2"	8-10'	3-4'	
	3	Lagerstrœmia indica 'Natchez'	Natchez Cape Myrtle	#25 Cont.	2.5" Cal.	10-12'		Multi-trunk (3 min.) Limb up 4 ft.
UNDERCORY SHRUBS	34	Hydrangea paniculata 'Limelight' TM	Limelight Hydrangea	#1 Cont.		30-42"	27-30"	5-6' cal.
	7	Hydrangea paniculata 'Snow Queen'	Snow Queen Grandleaf Hydrangea	#5 Cont.		24-30"	60"	60" cal.
	9	Ilex opaca 'Henry's Garnet'	Henry's Garnet Box	#5 Cont.		27"	24"	40" cal.
	23	Loropetalum chinensis rubrum 'Tidier'	Just Herbs 'Vanguard' Fringe Flower	#5 Cont.				40" cal.
UNDERCORY SHRUBS	37	Cephalanthus harringtonii 'Prostrata'	Spreading Plum Yew	#3 Cont.		20"	30"	60" cal.
	12	Camelia japonica	Camellia	#5 Cont.				60" cal.
	54	Ilex cornuta 'Soft Touch'	Soft Touch Holly	#5 Cont.		18-21"	21-30"	30" cal.
	36	Ilex cornuta 'Needlepoint'	Needlepoint Holly	#5 Cont.		24-30"	18-21"	40" cal.
	36	Jurupara chinensis 'Blue Pacific'	Blue Pacific Juniper	#5 Cont.		12-18"	18-21"	60" cal.
	15	Jurupara s planiflora 'Sea Green'	Sea Green Pioneer Juniper	#5 Cont.				60" cal.
	20	Thuja occidentalis 'Spartan' TM	Fire Chief Arborvitae	#3 Cont.				24" cal.
ORNAIMENTAL GRASSES	37	Muhlenbergia capillaris 'Rugel Muz'	Pink Muhly	#3 Cont.				42" cal.
	26	Schizachyrium scoparium 'Trine Blue'	Lime Bluestem Grass	#3 Cont.				24" cal.
SPREAD COVER	109	Annual Color	Annual Color	See				8" cal.
	13	Jurupara horizontalis 'Blue Chip'	Blue Chip Juniper	#1 Cont.				30" cal.
	847	Liriodendron tulipifera	Creeeping Lily Turf	#1 Cont.				12" cal.
	118	Hesperis matronalis 'Walker Low'	Walker Low Cauter	#1 Cont.				18" cal.

\* BUFFER MODIFICATION BASED ON WEGMAN'S APPROVED LANDSCAPE SPECIAL USE PERMIT

- NOTES:**
- LANDSCAPE TO BE MAINTAINED AT HEIGHTS THAT ALLOW FOR CLEAR LINE OF SIGHT TO THE ATM FOR LAW ENFORCEMENT.
  - PERCENTAGE OF PROPOSED TREE CANOPY COVERAGE: 47%
  - PERCENTAGE OF EXISTING TREE CANOPY COVERAGE: 4%



658 GRASSMERE PARK DRIVE  
 SUITE 100  
 NASHVILLE, TN 37211  
 (615) 385-4144



**MOODY·NOLAN**  
 BARLOW MOTORS BUILDING  
 40 W. CENTRAL PKWY • FIRST FL  
 CINCINNATI, OH 45202  
 PHONE: (513) 914-5635



NO.	DATE	DESCRIPTION	BY	CHK	APPV
1	04-22-2022	TOWN OF CHAPEL HILL SUP R2 REVISIONS	WB	WB	DV
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NO.	DATE	DESCRIPTION	BY	CHK	APPV
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**LANDSCAPE PLAN**

SPECIAL USE PERMIT PLANS  
 FIFTH THIRD BANK  
 1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER: 213004  
 DRAWING NUMBER: L1.0

ORIGINAL SIZE: 24" X 36" DRAWING PATH: T:\BDD\Projects\2021\13000A\_Min\_24x36\ChapelHillCAD\Construction\213004\_L2\_0\_LAN.DWG TIME STAMP: 3/16/2022 8:50 PM

**LANDSCAPE NOTES**

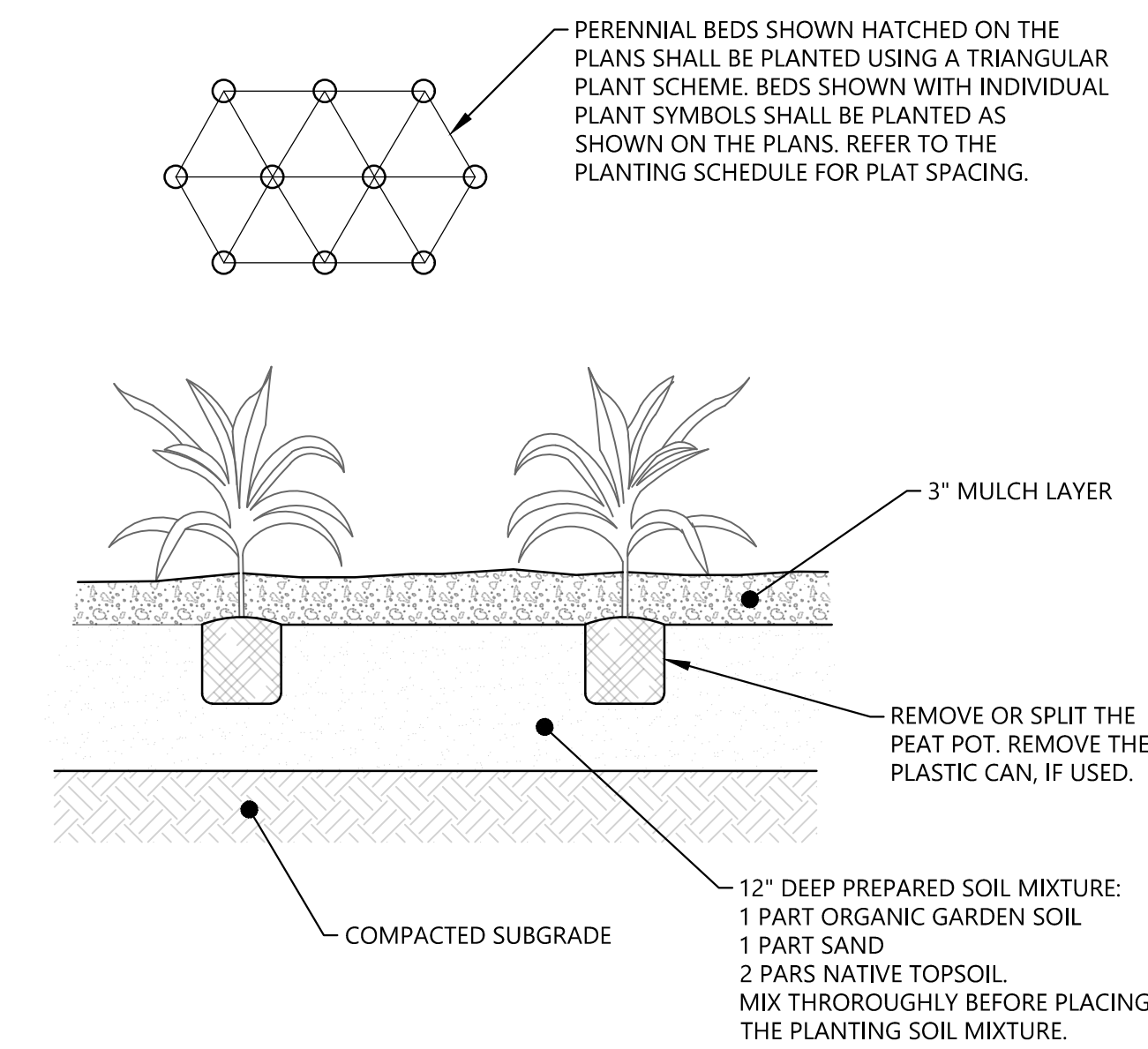
- THE CONTRACTOR SHALL REVIEW PLANS TO BECOME THOROUGHLY FAMILIAR WITH SURFACE AND SUBSURFACE UTILITIES.
- THE PLANT QUANTITIES SHOWN ON THE LANDSCAPE CONTRACT DOCUMENTS ARE FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES AND REPORTING ANY DISCREPANCIES TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION PRIOR TO CONTRACT AWARD AND COMMENCEMENT OF WORK.
- ALL INSTALLATION OF PLANT MATERIAL SHALL COMPLY WITH APPLICABLE JURISDICTIONAL CODES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS ASSOCIATED WITH THIS WORK.
- PRIOR TO PLANTING INSTALLATION, THE CONTRACTOR SHALL CONFIRM THE AVAILABILITY OF ALL THE SPECIFIED PLANT MATERIALS. SUBMIT DATED PHOTOGRAPHS OF ALL TREE MATERIAL AND SPECIMEN MATERIAL AS TO THE OWNER'S REPRESENTATIVE FOR REVIEW.
- ALL PLANT MATERIAL SIZES SPECIFIED ARE MINIMUM SIZES. CONTAINER SIZE SHALL BE INCREASED IF NECESSARY TO PROVIDE OVERALL PLANT SIZE SPECIFIED.
- IF PLANT MATERIAL DOES NOT COMPLY WITH THE REQUIREMENTS AS SPECIFIED HEREIN, THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT SUCH PLANTS AND REQUIRE THE CONTRACTOR TO REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL RE-INSPECTED AND FOUND TO BE ACCEPTABLE.
- THE CONTRACTOR SHALL AMEND ALL PLANTING AREAS PER CITY OF THORNTON REQUIREMENTS: TILL IN 4 CY CLASS I OR II COMPOST PER 1,000 SF TO A 6" DEPTH.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHRUBS, AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY INSTABILITY OF ANY PLANT MATERIALS. STAKING OF TREES OR SHRUBS SHALL BE DONE IN ACCORDANCE WITH PLANS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. IF INADEQUATE VERTICAL DRAINAGE IS ENCOUNTERED, THE CONTRACTOR SHALL SUBMIT RECOMMENDATIONS FOR PROVIDING ADEQUATE DRAINAGE TO THE OWNER'S REPRESENTATIVE.
- PEG SOD ON SLOPES GREATER THAN 3:1.
- CONTRACTOR SHALL PROTECT EXISTING VEGETATION TO REMAIN AS SHOWN ON DRAWINGS OR BY MEANS APPROVED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO CLEAN, PRUNE, AND SHAPE EDGES OF EXISTING VEGETATION AS DIRECTED BY OWNER'S REPRESENTATIVE. CREATE SMOOTH BED LINES AROUND EXISTING VEGETATION.
- THE CONTRACTOR SHALL BEAR ALL COSTS OF TESTING OF SOILS, AMENDMENTS, ETC. ASSOCIATED WITH THE WORK. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS.
- CONTRACTOR SHALL FIELD-ADJUST LOCATION OF PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL OF THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH LOCAL CODES.
- ALL PLANTING BEDS SHALL BE TOP-DRESSED WITH A 3" LAYER OF MULCH AS SPECIFIED.
- CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING AS REQUIRED TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
- CONTRACTOR SHALL RE-GRADE ALL AREAS DISTURBED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- CONTRACTOR SHALL REPLACE (BY EQUAL SIZE AND QUALITY) ANY AND ALL EXISTING PLANT MATERIAL DISTURBED OR DAMAGED BY PLANT REMOVAL, RELOCATION, AND/OR INSTALLATION WORK.
- MAINTENANCE SHALL BEGIN AFTER EACH PLANT HAS BEEN INSTALLED AND SHALL CONTINUE UNTIL THE PROJECT HAS BEEN DEEMED SUBSTANTIALLY COMPLETE. MAINTENANCE INCLUDES WATERING, PRUNING, WEEDING, MULCHING, REPLACEMENTS OF SICK OR DEAD PLANTS, AND ANY OTHER CARE NECESSARY FOR THE PROPER GROWTH OF THE PLANT MATERIAL.
- UPON COMPLETION OF ALL LANDSCAPING, AN INSPECTION FOR SUBSTANTIAL COMPLETION OF THE WORK SHALL BE HELD. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE FOR SCHEDULING THE INSPECTION AT LEAST SEVEN (7) DAYS PRIOR TO THE ANTICIPATED INSPECTION DATE.
- CONTRACTOR SHALL SUBMIT WRITTEN GUARANTEE OF SURVIVABILITY OF ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION.
- CONTRACTOR MUST REVIEW AND ACCEPT, APPROVE ALL GRADED AREAS PRIOR TO THE COMMENCEMENT OF PLANTING.
- TREES ADJACENT TO BUILDINGS SHOULD BE PLANTED AT LEAST THE DIAMETER OF THE TREE CANOPY OR A MIN. OF 10'-0" (WHICHEVER IS GREATER) AWAY FROM THE BUILDING WALL.
- ALL PLANTING AREAS SHALL BE AMENDED WITH 4 CY CLASS I OR II COMPOST PER 1,000 SF. TILL IN TO A 8" DEPTH.
- ALL LANDSCAPE WORK TO BE PERFORMED IN CONFORMANCE WITH THE CITY STANDARDS AND SPECIFICATIONS.

**IRRIGATION NOTES**

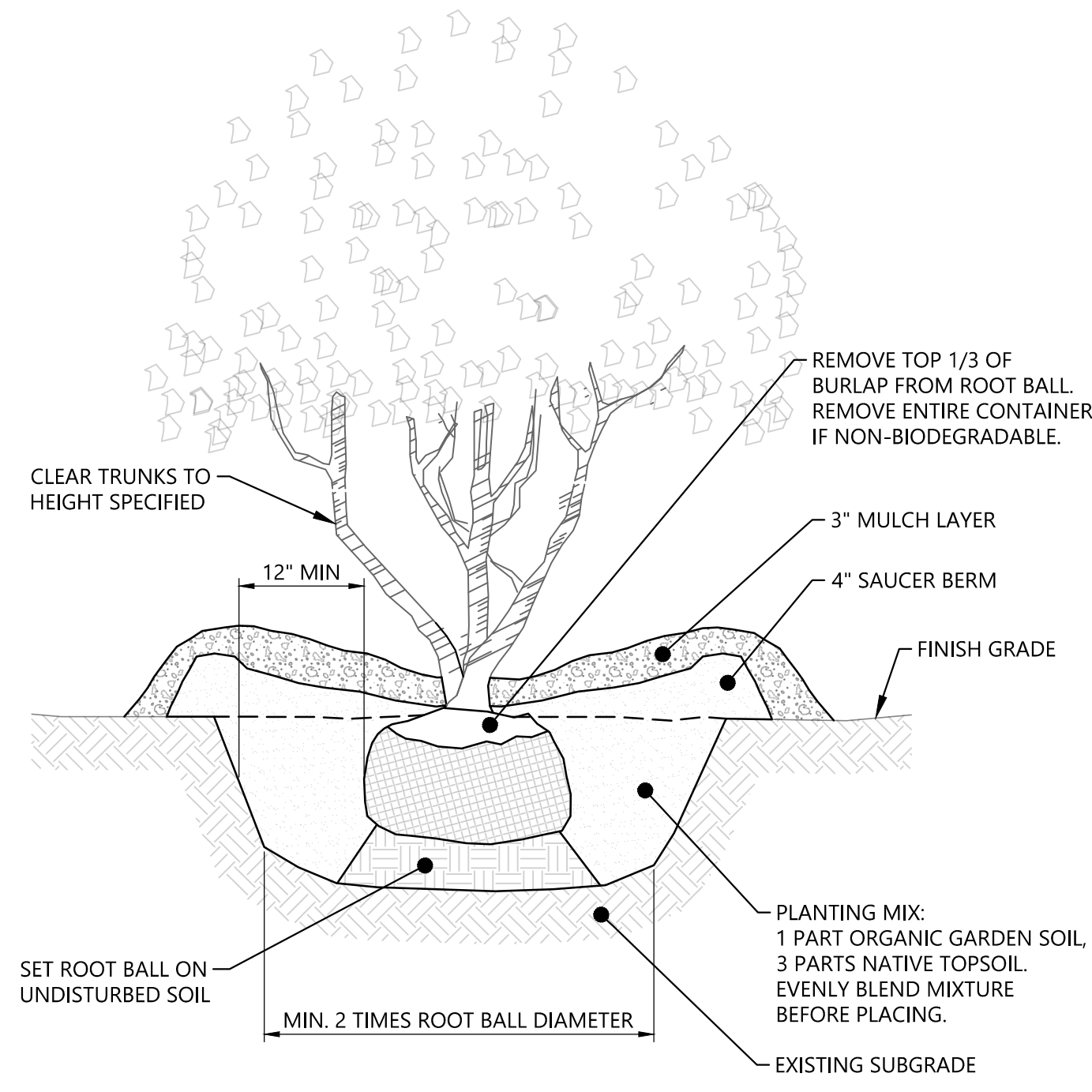
- LANDSCAPE CONTRACTOR TO PROVIDE IRRIGATION SYSTEM ON A DESIGN/BUILD ARRANGEMENT FOR AREA NOTED ON THE PLAN. CONTRACTOR TO PREPARE DESIGN DRAWINGS IN ACCORDANCE WITH PERFORMANCE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL AND SUBMIT SAME FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
- CONTRACTOR TO CONFIRM ADEQUATE PRESSURE EXISTS TO OPERATE SYSTEM PRIOR TO INSTALLATION.
- IRRIGATION SPRINKLER HEADS SHALL BE MANUFACTURED BY EITHER TORO OR RAINBIRD. IRRIGATION CONTROLLER SHALL BE TORO VISION II MODEL OR APPROVED EQUAL.
- MAIN LINE TO BE CLASS 200 PVC PIPE. LATERAL LINES TO BE CLASS 150 PVC.
- IRRIGATION SYSTEM TO BE OPERATIONAL BEFORE PLANTING MATERIALS MAY BE INSTALLED IN PLANTING BEDS.
- INSTALL SPRINKLER HEADS ACCORDING TO MANUFACTURERS SPECIFICATIONS. FLUSH ALL LINES BEFORE INSTALLING NOZZLES.
- WIRE CONNECTIONS TO BE MADE BY USING RAINBIRD MODEL ST-103/PT-ST SNAP-TITE CONNECTIONS.
- LEAVE 18 INCHES OF ADDITIONAL WIRE AT EACH VALVE LOCATION. ROLL WIRE INTO COIL AT EACH LOCATION.
- ALL VALVES SHALL BE LOCATED IN AMATEX 10 INCH CIRCULAR VALVE BOXES WITH COVER, OR EQUAL.
- IRRIGATION CONTRACTOR TO COORDINATE PLACEMENT OF REQUIRED SLEEVES WITH GENERAL CONTRACTOR PRIOR TO PAVING AND CONCRETE INSTALLATION BEING COMPLETED.

**PLANTING NOTES**

- BASE INFORMATION WAS TAKEN FROM A SURVEY PREPARED BY SURVEY COMPANY DATED SURVEY DATE. S&ME INC. AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO CONFIRM ALL MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE.
- NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN, REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
- ALL PLANTING BEDS TO RECEIVE HARDWOOD MULCH. MULCH TO BE INSTALLED TO 3" DEPTH UNLESS OTHERWISE INDICATED ON THE PLANTING DETAILS.
- NEW TREE PLANTINGS TO BE STAKED PER PLANTING DETAILS.
- DIMENSIONS LISTED FOR HEIGHTS, SPREAD AND TRUNK SPECIFICATIONS ON THE PLANT MATERIAL SCHEDULE ARE GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT.
- PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANTING BEDS IMMEDIATELY PRIOR TO PLACEMENT OF MULCH FOR WEED CONTROL.
- ALL DISTURBED AREAS OF THE SITE ARE TO BE SEEDED AND/OR SODDED IN ACCORDANCE WITH THE SPECIFICATIONS.
- NO EXCAVATION OR PLANTING PIT SHALL BE LEFT OPEN OVERNIGHT.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS, LICENSES, ETC. AND SHALL GIVE ALL NOTICES AND COMPLY WITH ALL APPLICABLE LAWS, ORDINANCES, CODES, RULES AND REGULATIONS DURING THE COURSE OF THE INSTALLATION OF THIS PROJECT.
- ALL PLANT MATERIALS TO BE NURSERY GROWN AND TO COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK FOR SIZE AND QUALITY.
- THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY PLANT MATERIAL OR ANY DEFECTIVE WORKMANSHIP.
- ALL PLANTS SHALL HAVE A WELL-FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAMAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY PERCENT (50%) OF THIS YEARS VERTICAL GROWTH (TOP CANDLE).
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT OR OWNER PRIOR TO OPENING ANY PLANT PITS.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE CONTRACTOR SHALL FILL THE BOTTOM OF SELECTED HOLES WITH SIX INCHES OF WATER. THIS WATER SHOULD PERCOLATE OUT WITHIN A 24-HOUR PERIOD. THE OWNER OR LANDSCAPE ARCHITECT SHALL VERIFY ACCURACY AND EFFECT OF PERCOLATION TESTING. IF THE SOIL AT A GIVEN AREA DOES NOT DRAIN PROPERLY, A P V C DRAIN OR GRAVEL SUMP SHALL BE INSTALLED OR THE PLANTING RELOCATED.
- SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR OTHER SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PAN, STEAM OF OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, HE MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS, OTHERWISE THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- NO MATERIAL SHALL BE PLANTED BEFORE FINISH GRADING HAS BEEN COMPLETED.
- EXISTING TREES TO BE PRESERVED ARE TO BE BARRICADED BEFORE BEGINNING CONSTRUCTION. IN ACCORDANCE WITH THE TREE PRESERVATION NOTES AND DETAILS ON THE LANDSCAPE PLAN.
- SELECTIVE CLEARING CONSISTING OF REMOVAL OF VINES, SAPLINGS UNDER 1" DIAMETER AND UNDERBRUSH SHALL BE PERFORMED IN TREE PRESERVATION AREAS INTERNAL TO THE PROJECT AND NOTED ON PLANS.
- PLANTS IDENTIFIED IN ALTERNATE AREAS ARE TO BE BID SEPARATELY.
- ALL BEDS ARE TO BE TILLED TO A DEPTH OF 8" WITH THE ADDITION OF: (1) 6 CU. FT. BALE OR SPHAGNUM PEAT MOSS PER 40 SQ. FT. OF BED AREA; (25#) 10-10-10 FERTILIZER PER 1000 SQ. FT. If azaleas, rhododendrons or PIERIS ARE USED, ADD 1.3 CU. FT. FINELY GROUND "PINE" BARK MULCH PER 25 SQ. FT. OF BED AREA. ALL ADDITIONS ARE TO BE SPREAD AND TILLED INTO THE SOIL UNIFORMLY.
- CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT WHEN THE PLANT MATERIALS ARE AVAILABLE AT THE JOB SITE FOR REVIEW BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

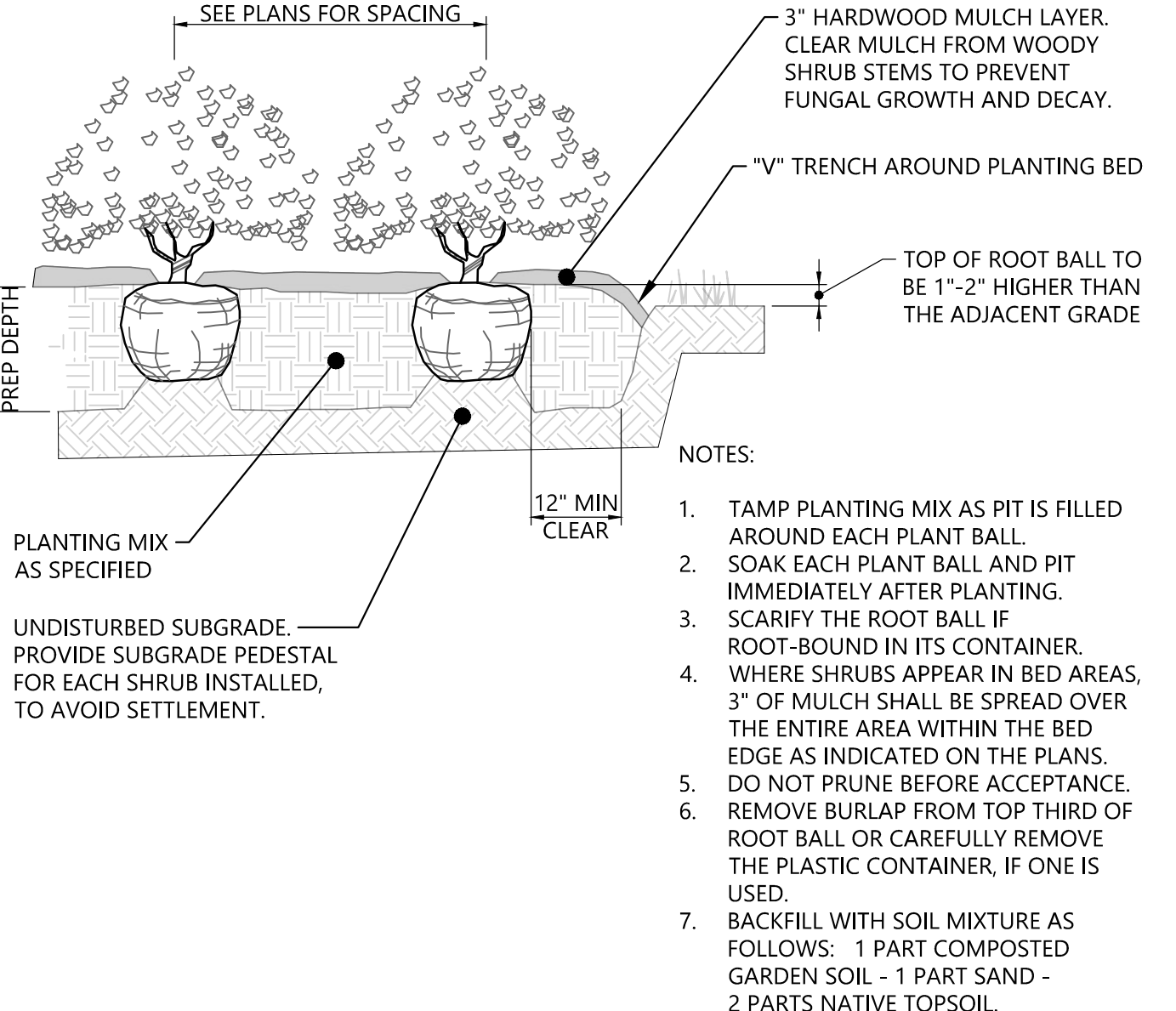


**5 PERENNIAL PLANTING**  
NO SCALE

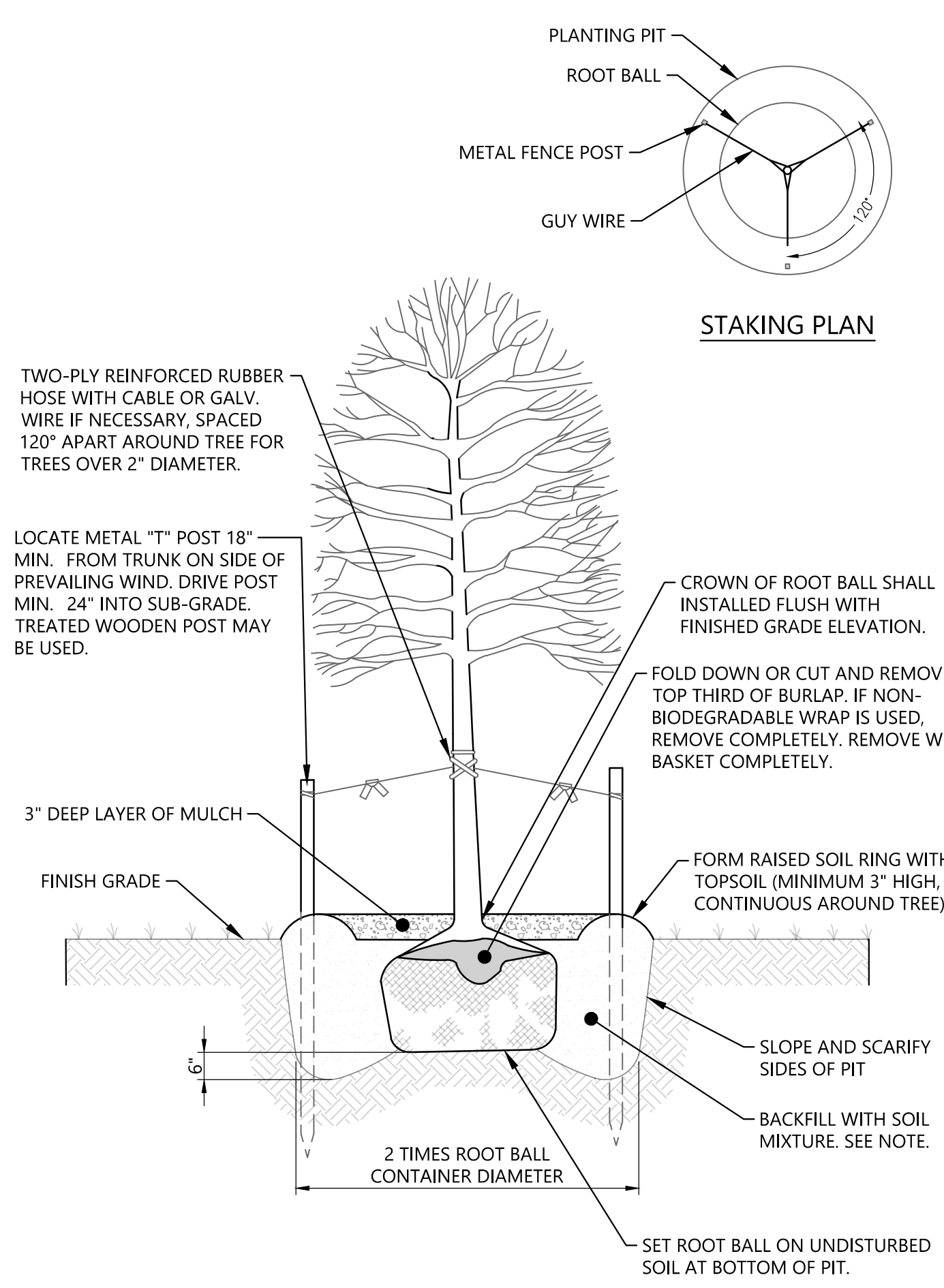


- PLANTING NOTES:**
- ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B). MINIMUM TREE SIZE SHALL BE PER THE PLANTING SCHEDULE, MEASURED 6" ABOVE THE ROOT BALL.
  - REMOVE ALL TREATED OR PLASTIC-COATED BURLAP, STRAPPING, WIRE OR NYLON TWINE FROM THE ROOT BALL. COMPLETELY REMOVE WIRE BASKET IF ONE EXISTS.
  - INSTALL THE TOP OF THE PLANT BALL FLUSH WITH OR 1" ABOVE THE ADJACENT GRADE.
  - SET THE TREE IN THE VERTICAL POSITION BEFORE STAKING IT IN PLACE.
  - SOAK THE ROOT BALL AND PIT IMMEDIATELY AFTER INSTALLATION. PLACE 4" TO 6" OF SEASONED MULCH OR PINE NEEDLES AROUND THE BASE OF THE TREE, 3" MINIMUM DIAMETER.

**3 MULTI-TRUNK PLANTING**  
NO SCALE

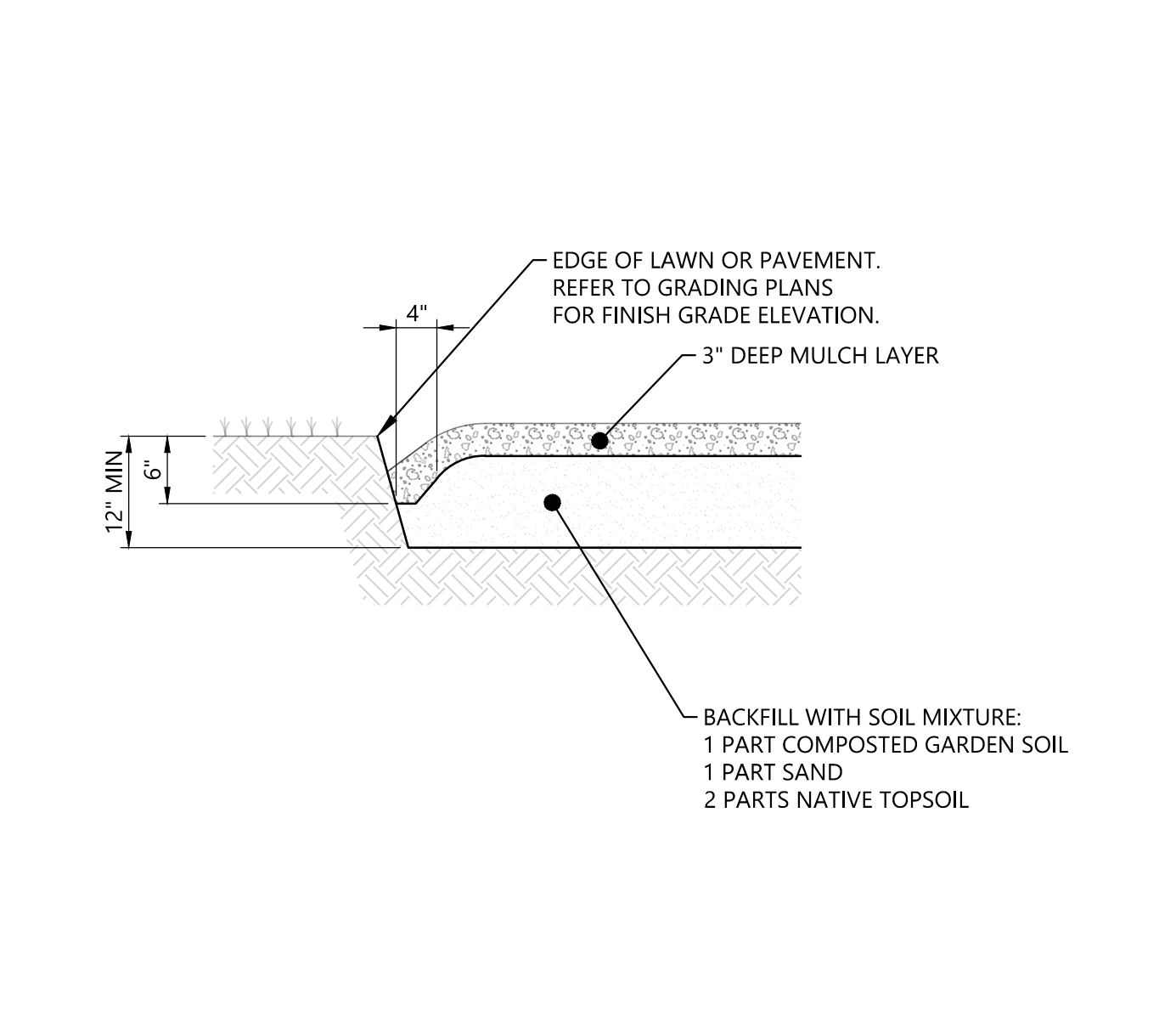


**4 SHRUB PLANTING**  
NO SCALE



- NOTES:**
- TREE STAKING IS NOT PREFERRED BUT TO BE USED AS A LAST RESORT ON WINDY SITES. INSTALL TWO OF THE THREE STAKES AND GUY WIRES ON THE UPHILL SIDE OF THE TREE.
  - DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
  - WATER THOROUGHLY AFTER INSTALLATION.
  - REMOVE GUY WIRES AND TIES AFTER 6 MONTHS OR AT THE DIRECTION OF THE LANDSCAPE ARCHITECT.
  - TREE SHALL STAND PLUMB.
  - SOIL MIX: 1 PART ORGANIC MATERIAL, 1 PART SAND AND 2 PARTS TOPSOIL.
  - REMOVE ALL TAGS, ROPE, AND CONTAINERS. APPLY TREE WRAP STARTING AT THE BOTTOM AND CONTINUING TO FIRST BRANCH.
  - CLEAN TRUNK TO HEIGHT SPECIFIED AND PAINT WOUNDS WITH APPROVED DRESSING COMPOUND.

**1 TREE PLANTING**  
NO SCALE



**2 SPADED BED EDGE**  
NO SCALE



658 GRASSMERE PARK DRIVE  
SUITE 100  
NASHVILLE, TN 37211  
(615) 385-4144



MOODY NOLAN  
BARLOW MOTORS BUILDING  
40 W. CENTRAL PKWY • FIRST FL  
CINCINNATI, OH 45202

PHONE: (513) 914-5835



NO.	DATE	DESCRIPTION	BY	CHK	DV	APV
12-30-2021		TOWN OF CHAPEL HILL SUBMITTAL				

**LANDSCAPE DETAILS**  
SPECIAL USE PERMIT PLANS  
FIFTH THIRD BANK  
1800 FORDHAM BLVD., CHAPEL HILL, NC

PROJECT NUMBER  
**213004**  
DRAWING NUMBER

**L2.0**