



CONSIDER AN APPLICATION FOR SPECIAL USE PERMIT – 11SIXTY5 Weaver Dairy Road

STAFF REPORT

TOWN OF CHAPEL HILL PLANNING AND DEVELOPMENT SERVICES
 Ben Hitchings, Director
 Judy Johnson, Operations Manager
 Michael Sudol, Planner II

PROPERTY ADDRESS 1165 Weaver Dairy Road	DATE March 19, 2018	APPLICANT Coulter Jewell Thames, PA
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STAFF RECOMMENDATION

That the Environmental Stewardship Advisory Board, Community Design Commission, Transportation and Connectivity Advisory Board, and Planning Commission review and make a recommendation on the application to the Town Council.

STAFF ANALYSIS

The applicant is asking for modifications to regulations. See attached Staff Analysis for additional information.

PROCESS

The application is before the Council for approval of a Special Use Permit. The Council must consider the **four findings** for approval of a Special Use Permit, which indicate that the use or development:

1. is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. would comply with all required regulations and standards of the Land Use Management Ordinance;
3. is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity; and
4. conforms to the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the Comprehensive Plan.

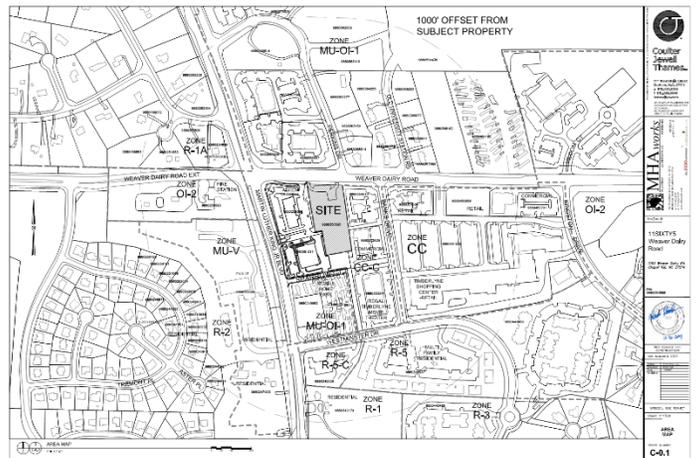
DECISION POINTS

- Modifications to landscape buffers on three sides, with alternative allocation of tree sizes.
- Modification to steep slope requirements, with more than 25% of steep slopes being disturbed on-site.
- The proposal is contingent upon approval of a rezoning for the project area.

PROJECT OVERVIEW

The applicant proposes construction of a 3-story building for office, retail, and medical clinic uses, with an attached 231 space parking deck. A landscaped plaza is also proposed along the street frontage of the property.

PROJECT LOCATION



ATTACHMENTS

1. Project Summary Form
2. Resolution A
3. Resolution B
4. Application Form & Materials
5. Submitted Plans

TECHNICAL REPORT

2016 Demolition of 2,700 sq. ft. Montessori School

October 17, 2016 Concept Plan for 1165 Weaver Dairy Road is presented to Council. A 3-story office/retail development with 51,600 sq. ft. of floor area was presented.

Connections to other Documents:

Town staff has reviewed this application for compliance with the themes from the [2020 Comprehensive Plan](#)¹, the standards of the [Land Use Management Ordinance](#)², and the [Town of Chapel Hill, NC : Design Manual and Standard Details](#)³ and offers the following evaluation:

Comprehensive Plan Themes: The following are themes from the 2020 Comprehensive Plan, adopted June 25, 2012:

Council Goals:

☒		Create a Place for Everyone	☒		Develop Good Places, New Spaces
☒		Support Community Prosperity	☒		Nurture Our Community
☒		Facilitate Getting Around	☒		Grow Town and Gown Collaboration

Staff believes the 11SIXTY5 proposal complies with the above themes of the 2020 Comprehensive Plan.

Land Use Plan: The [2020 Land Use Plan](#)⁴, a component of the 2020 Comprehensive Plan, designates this site for Town/Village Center. The [Northern Area Task Force Report](#)⁵ calls for this parcel to be developed as a commercial use.

Proposed Modifications to Regulations:

1) Section 5.6.6 Buffer Modification: The applicant proposes modified buffers on the eastern, northern, and western property lines. The eastern buffer is proposed to be the required width but without tall canopy trees due to conflicts with overhead power lines. The proposed planting materials is acceptable to Duke Energy. The northern buffer (street) is proposed to meet the required width but with fewer plantings to accommodate hardscape. This buffer is proposed with 50% of the required trees and all the required shrubs. The western buffer is proposed with reduced plantings and reduced widths. The adjacent property, Weaver Crossing, has a planted buffer along this shared property line.

¹ <http://www.townofchapelhill.org/home/showdocument?id=15001>

² https://www.municode.com/library/#!/nc/chapel_hill/codes/code_of_ordinances?nodeId=CO_APXALOUSMA

³ <http://www.townofchapelhill.org/town-hall/departments-services/public-works/engineering/design-manual-and-standard-details>

⁴ <http://www.townofchapelhill.org/home/showdocument?id=1215>

⁵ <http://www.townofchapelhill.org/home/showdocument?id=1050>

Staff Comment: Staff believes that Council could find a public purpose for the reduced plantings and buffer widths. As an infill project with existing utility lines and a narrow lot configuration, we believe the Council could find a public purpose.

2) Section 5.3.2: Steep Slopes: The total amount of steep slopes on the site is 5,735 sq. ft., entirely located within the Duke Energy easement. The developer is proposing to disturb 100 percent of the steep slopes. The elevation change along the steep slope area ranges from 2 to 8 feet, and is approximately 25 feet across at its widest point. It appears that these slopes are man-made and not related to water bodies or wetlands and are not wooded.

Staff Comment: Staff believes that Council could find a public purpose to allow a Modification to Regulations to allow a disturbance of greater than 25 percent of the steep slopes on the site as they are not naturally occurring slopes.

Council Findings and Public Purpose: The Council has the ability to modify the regulations according to Section 4.5.6 of the Land Use Management Ordinance. Staff believes that the Council could modify the regulations if it makes a finding in this particular case that public purposes are satisfied to an equivalent or greater degree. If the Council chooses to deny a request for modifications to regulations, the developer's alternative is to revise the proposal to comply with the regulations.

For additional information on the proposed modifications, please refer to the developer's attached materials.

Overview

Site Description	
Project Name	11SIXTY5 Weaver Dairy Road
Address	1165 Weaver Dairy Road
Property Description	78,557 sq. ft. (1.91 acres)
Existing	Vacant land (previous site of Montessori School)
Orange County Parcel Identifier Numbers	9880-35-0595
Existing Zoning	Mixed Use-Office/Institutional-1 (MU-OI-1)
Proposed Zoning	Office/Institutional-3 (OI-3)

Regulatory Land Use Intensity

Comment		Advisory Board	Status
Use/Density (Sec. 3.7)	Office, retail, and medical clinic	PC	
Dimensional Standards (Sec. 3.8 and Sec. 6.15)	No setbacks required; proposing 19' street setback, 7' interior setback, and 30' solar setback.	PC	
Floor area (Sec. 3.8)	Maximum of 48,909 sq. ft.; 48,324 sq. ft. proposed	PC	
Modification to Regulations (Sec. 4.5.6)	landscape buffers on north, west, and east property lines; steep slopes	PC	M

Site Design

Comment		Advisory Board	Status	
Landscape	Buffer – North (Sec. 5.6.2)	30' External Type "D"	PC	M
	Buffer – East (Sec. 5.6.2)	10' Internal Type "B"	PC	M
	Buffer – South (Sec. 5.6.2)	10' Internal Type "B"	PC	
	Buffer - West (Sec. 5.6.2)	10' Internal Type "B"	PC	M
	Tree Canopy (Sec. 5.7)	Minimum 30% canopy	CDC	
	Landscape Standards (Sec. 5.9.6)	Constructed to Town standards	PC	
Envi ron	Resource Conservation District (Sec. 3.6)	Not applicable	ESAB	N/A

	Erosion Control (Sec. 5.3.1)	More than 1 acre of land disturbance proposed; Performance bond required.	ESAB	FP
	Steep Slopes (Sec. 5.3.2)	Slopes in easement appear to be manmade- 5,735 sq. ft. steep slopes to be removed >25%.	ESAB	M
	Stormwater Management (Sec. 5.4)	Underground Stormwater treatment measure	ESAB	
	Land Disturbance	83,200 sq. ft. (106% of net land area, includes off-site work)	ESAB	
	Impervious Surface	58,219 sq. ft. (74% of net land area)	ESAB	
	Solid Waste & Recycling	Private trash pickup; County recyclable pickup	OCSW	
	Jordan Riparian Buffer (Sec. 5.18)	Not applicable	ESAB	N/A
Access & Circulation	Road Improvements (Sec. 5.8)	None	NCDOT	
	Vehicular Access (Sec. 5.8)	Improved curb cut on Weaver Dairy Road; Rear parking garage access from adjacent easement on west property line	TCAB	
	Bicycle Improvements (Sec. 5.8)	Signage at entrance "Covered bike parking in deck"	TCAB	
	Pedestrian Improvements (Sec. 5.8)	Improved 5-foot concrete sidewalk with accessible ramp; accessible plaza along building frontage; warning sign and LED lights to be added to existing crosswalk across Weaver Dairy Rd.	TCAB	
	Traffic Impact Analysis (Sec. 5.9)	Monitor and retime NC 86 and Weaver Dairy Road intersection; Cross-access with Weaver Crossing; Pedestrian warning signage at driveway; Additional access point for one-way drive.	TCAB Staff	
	Vehicular Parking (Sec. 5.9)	231 spaces total, including 14 handicap spaces, with 12 reserved motorcycle spaces	TCAB, PC	
	Transit (Sec. 5.8)	None	TCAB	
	Bicycle Parking (Sec. 5.9)	24 total proposed spaces (2 in plaza, 10 in parking deck, 12 in lockers in parking deck)	TCAB, PC	
	Electric Vehicle Parking	3 total proposed spaces (in parking deck)	TCAB	
	Parking Lot Standards (Sec. 5.9)	Built to Town standards	TCAB	
Technical	Fire	Full fire flow study and report will be provided during the ZCP phase	Staff	
	Site Improvements	Driveway access and connection to adjoining Weaver Crossing property	Staff	

Schools Adequate Public Facilities (Sec. 5.16)	Not applicable	Staff	N/A
Inclusionary Zoning Ordinance (Sec. 3.10)	Not applicable	Staff	N/A
Recreation Area (Sec. 5.4)	Not applicable	PC	
Lighting Plan (Sec. 5.11)	0.3 foot-candles at property line	CDC	
Homeowners Association (Sec. 4.6)	Not applicable	Staff	N/A

Project Summary Legend

Symbol	Meaning	Symbol	Meaning
	Meets Requirements	CDC	Community Design Commission
M	Seeking Modification	HAB	Housing Advisory Board
C	Requires Council Endorsement	TCAB	Transportation and Connectivity Board
FP	Required at Final Plan;	ESAB	Environmental and Sustainability Board
NA	Not Applicable	OCSW	Orange County Solid Waste
PC	Planning Commission	NCDOT	North Carolina Department of Transportation

RESOLUTION A

(Approving the Special Use Permit Application)

A RESOLUTION APPROVING AN APPLICATION FOR A SPECIAL USE PERMIT FOR 11SIXTY5 WEAVER DAIRY ROAD (PROJECT #17-112)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit application, proposed by Comprop LLC, located at 1165 Weaver Dairy Road on property identified as Orange County Property Identifier Numbers 9799-24-5967 and 9799-24-2361, if developed according to the Site Plan dated November 30, 2017 and last revised February 22, 2018 and the conditions listed below would:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

MODIFICATIONS TO REGULATIONS

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that it finds, in this particular case, that the proposed development with the following requested modifications to regulations satisfies public purposes to an equivalent or greater degree:

Section 5.6.6 Buffer Modification: To modify the western property line buffer from the required minimum 10 foot Type "B" buffer to a buffer 7 feet in width with reduced planting quantities.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as staff acknowledges the reduced buffer is adjacent to an existing buffer and as both properties are commercial uses, pedestrian and vehicle connections between the two properties is anticipated.

Section 5.6.6 Buffer Modification: To modify the northern property line buffer from the required minimum 30 foot Type "C" buffer to a buffer varying between 11 feet and 25 feet in width with reduced planting quantities. A reduction of 50 percent of tree plantings is requested.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as staff acknowledges the reduced buffer will be planted with all required shrubs while still providing separation from the street.

Section 5.6.6 Buffer Modification: To modify the eastern property line buffer with reduced planting quantities as the area is encumbered with a utility easement. A reduction of 65 percent of the tree plantings is requested with all the shrubs to be installed.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as staff acknowledges the reduced buffer will be planted with all required shrubs while still providing separation from the adjoining commercial property.

Section 5.3.2 Steep Slopes: To modify the maximum 25 percent disturbance of the areas with slopes exceeding 25 percent. Proposing to disturb 5,735 sq. ft., the entire area of steep slopes.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as staff believes the steep slopes on this site are man-made and are not necessary to protect water bodies, to protect plant and animal habitats, or to preserve the natural beauty and economic value of the Town’s wooded hillsides.

STIPULATIONS SPECIFIC TO 11SIXTY5

1. Construction Deadline: That construction begin by _____ (two years from the date of approval) to be completed by _____ (four years from the date of approval). [LUMO 4.5.5]
2. Land Use Intensity: This Special Use Permit Modification authorizes the following:

Use: Commercial/Office	
Number of Buildings	1
Gross Land Area	86,412 sq. ft.
Maximum Floor Area	48,624 sq. ft.
Total Impervious Surface	58,219 sq. ft.
Maximum Land Disturbance	83,200 sq. ft.
Maximum Parking Spaces	232 spaces
Minimum Bicycle Parking Spaces	24 spaces

3. Electric Vehicle Charging: Three parking spaces within the parking deck shall be dedicated for electric vehicle charging spaces with stations installed.

Transportation

4. Traffic Signal Timing: That prior to issuance of a Zoning Compliance Permit, the developer shall provide a \$2,000 payment to the Town for retiming signal at the intersection of Weaver Dairy Road and Martin Luther King Jr Blvd.
5. Pedestrian Crosswalk: That prior to issuance of Zoning Compliance Permit, the design for upgrading the existing crosswalk on Weaver Dairy Road near the proposed development with flashing lights, rectangular rapid flashing beacons, or other similar traffic control devices shall be approved by the Town and N.C. Department of Transportation. Prior to issuance of a Certificate of Occupancy, the crosswalk shall be upgraded with the approved design.
6. Pedestrian Warning Signage: That prior to issuance of a Certificate of Occupancy, pedestrian warning signage be installed at the site driveway on Weaver Dairy Road.

7. Bicycle Wayfinding Signage: That prior to issuance of a Certificate of Occupancy, bicycle wayfinding signage be installed directing cyclist to bicycle parking located at the rear of the building.
8. Access easements: That the access easement that enters the parking deck from adjacent property on the west side be extended north to allow direct access to the proposed solid waste enclosure, and that a future pedestrian cross access easement, location to be approved, be recorded to the adjacent property to the east.
9. Landscape Bufferyards: That the following landscape bufferyards shall be provided:

Location	Type	Vegetation
North	30' External Type "D" (Modified)	6 large trees, 14 small trees, and 85 shrubs
West	10' Internal Type "B" (Modified)	12 large trees, 20 small trees, and 35 shrubs
South	10' Internal Type "B"	5 large trees, 9 small trees, 16 shrubs
East	10' Internal Type "B" (Modified)	0 large trees, 28 small trees, columnar form tall trees, and 48 shrubs

10. Solid Waste: The Town anticipates providing collection once per week for solid waste disposal. If refuse generated by future building tenants exceeds the capacity of the single container as shown, private refuse collection will be necessary.
11. Stormwater Structures: No stormwater management structures are permitted in the rights-of-way or building setbacks. This includes the outlet structure and stabilization, any underdrains, side slopes, and the downgradient toe of french drains. Further, the discharge must be in a sheet flow condition.
12. Stormwater Control Measure: The proposed stormwater control measure for the site shall be designed to meet the current North Carolina Division of Environmental Quality Design Manual.
13. Vested Right: This Special Use Permit constitutes a site specific development plan establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance.
14. Continued Validity: That continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
15. Non-Severability: That if any of the above conditions is held to be invalid, approval in its entirety shall be void.

BE IT FURTHER RESOLVED that the Council hereby approves the application for a Special Use Permit for 11SIXTY5 Weaver Dairy Road. This the _____ day of _____ 2018.

TOWN OF CHAPEL HILL – SPECIAL USE PERMIT STANDARD STIPULATIONS

Supplemental to site-specific conditions as set by Town Council-approved resolution.

Access

1. Accessibility Requirements: Prior to issuance of a Certificate of Occupancy, the developer shall provide the minimum required handicapped infrastructure according to the Americans with Disabilities Act and associated codes and standards.

Transportation

2. Transportation Management Plan: Prior to issuance of a Zoning Compliance Permit, it will be necessary to submit a Transportation Management Plan, subject to Town Manager approval. The Transportation Management Plan shall include monitoring of electric vehicle parking spaces usage. [LUMO 4.5.2]
3. Bicycle Parking: Prior to issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details that comply with the Town parking standards for required and/or proposed bicycle parking spaces. Bicycle parking spaces should be placed near building entrances. The spaces must comply with the Spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines and the Class I and Class II bicycle parking standards required by the Town Design Manual. [LUMO 4.5.2]
4. Parking Lot: Any newly proposed parking lots, including additions to existing parking lots, shall be constructed to Town standards for dimensions and pavement design. [Town Code 5.9.5]
5. Parking Lot Landscape and Screening: That the parking lot landscape design shall adhere to the standards of Ordinance. [LUMO 5.9.6]
6. Lighting: Prior to issuance of a Zoning Compliance Permit, the developer shall design and install street lighting along the site frontage. Design and construction details must be approved by the Town Manager and N.C. Department of Transportation prior to a Zoning Compliance Permit.
7. Driveway Permit: It will be necessary to obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within the NCDOT right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved roadway and signal construction plans, inspection fees, and any necessary performance and indemnity bonds.
8. Pavement Markings: Any pavement markings proposed within the public street rights-of-way shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadways.
9. Off-Site Construction Easements: Prior to any land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]

10. Site Distance Triangles: Prior to issuance of a Certificate of Occupancy, the developer shall provide the Town of Chapel Hill with standard sight distance triangles at the proposed driveway locations. [Town Design Manual]
11. Low Vision Design Features: Any proposed pedestrian facilities should incorporate low vision design features as feasible. [LUMO 4.5.2]
12. Repairs in Public Right-of-Way: Prior to issuance of a Certificate of Occupancy, the developer shall repair all damage for work in the public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design must be reviewed and approved by the Town Manager and NCDOT prior to issuance of a Zoning Compliance Permit. [Town Code 6.10]
13. Street Closure Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a street closure plan, subject to Town Manager and NCDOT approval, for any work requiring street, sidewalk, or lane closure. [Town Code 21.7.1]
14. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager and NCDOT. The Work Zone Traffic Control Plan shall comply with the Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]
15. North Carolina Department of Transportation Approvals: Plans for improvements to State-maintained roads shall be approved by NCDOT prior to issuance of a Zoning Compliance Permit for the development.

Landscaping and Building Elevations

16. Invasive Exotic Vegetation: That prior to issuance of a Zoning Compliance Permit, the applicant shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal from the landscape buffer areas prior to planting. [Town Design Manual]
17. Minimum Landscape Caliper Size: That prior to issuance of the Certificate of Occupancy, all proposed landscape materials shall be planted with a minimum as identified in the Town Design Manual. [Town Design Manual]
18. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, approval from the Community Design Commission shall be required for any proposed alternate buffer. [LUMO 5.6.8]
19. Landscape Protection: Prior to issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include a complete and currently updated tree survey showing critical root zones of all rare and specimen trees and labeled according to size and species, and indicate which trees will be removed and which will remain. [LUMO 5.7.3]
20. Tree Protection Fencing Prior to Construction: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site and a

detail of the tree protection fence. Tree protection fencing shall be provided around construction limits and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]

21. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approvals. [LUMO 4.5.3]
22. Tree Canopy: That a minimum of tree canopy coverage be provided through a combination of retained and replanted trees, unless a modification to regulations is approved. Calculations demonstrating compliance with LUMO Section 5.7.2 shall be included. [LUMO 5.7.2]
23. Retaining Wall Construction: If applicable, the final design and location of all retaining walls shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
24. Demolition Plan: Prior to beginning any proposed demolition activity, it will be necessary to obtain demolition permits from both Planning and Inspections. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit may be acquired from Planning prior to proceeding with a demolition permit application to Inspections.
25. Lighting Plan Approval: Prior to issuance of a Zoning Compliance Permit, the Community Design Commission shall approve a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize 1) upward light pollution; and 2) off-site spillage of light. [LUMO 8.5.5]
26. Community Design Commission Approval: That the developer obtain Community Design Commission approval of building elevations, including the location and screening of all HVAC/Air Handling Units for the site, prior to issuance of a Zoning Compliance Permit. [LUMO 8.4.6] Within the Town's historic districts, the Historic District Commission will act in place of the Community Design Commission.

Environment

27. Stormwater Management Plan: Development projects must comply with the *Section 5.4 Stormwater Management* of the Land Use Management Ordinance. [LUMO 5.4]
28. Phasing Plan: If phasing of the project is proposed, that prior to issuance of a Zoning Compliance Permit, the property owner shall obtain approval of a Phasing Plan that provides details of which improvements are to be constructed during each phase. The phasing plan shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase may not begin until all public improvements in previous phases are complete, with a note to this effect on the final plans and plats. [LUMO 4.9.2]
29. Erosion Control Bond: If one acre or more is uncovered by land-disturbing activities for this project, then a performance guarantee in accordance with Section 5-97.1 Bonds of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [LUMO 4.5.2]

30. Silt Control: That the developer take appropriate measures to prevent and remove the deposit of wet or dry silt on adjacent roadways. [LUMO 4.5.2, Town Code Chapter 5]
31. Erosion Control Inspections: That, in addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs. [LUMO 4.5.2]
32. Curb Inlets: The developer shall provide pre-cast curb inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-5A, for all new curb inlets for private, Town and State rights-of-way. [LUMO 4.5.2]
33. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [LUMO 4.9.2]
34. On-Site/Adjacent Stormwater Features: That the final plans locate and identify existing site conditions including all on-site and adjacent stormwater drainage features on the plans prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [LUMO 4.9.2]
35. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [LUMO 4.9.2]
36. Energy Efficiency: That the Final Plans incorporate a "20 percent more energy efficient" feature relative to the energy efficiency standard of the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE), as amended and in effect at the time of building permit issuance. Comparable standards generally recognized as applicable to building energy consumption, as amended and in effect at the time of building permit issuance, may be used by the Applicant when incorporating the "20 percent more energy efficient" feature into the final plans.
37. Energy Management Plan: That the final plan application include an Energy Management Plan. The plan shall: a) consider utilizing sustainable energy, currently defined as solar, wind, biofuels, and hydroelectric power; b) consider purchase of carbon offset credits and green power production through coordination with the NC GreenPower program; c) provide for 20 percent more efficiency that ensures indoor air quality and adequate access to natural lighting, and allows for the proposed utilization of sustainable energy in the project; d) include on-going energy management practices, and e) that the property owner reports to the Town of Chapel Hill both the expected energy consumption as part of a model prior to issuance of a Zoning Compliance Permit and the actual energy consumption as par to sealed engineering calculations at the time construction is completed.

Water, Sewer, and Other Utilities

38. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, and other local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The property owner shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]
39. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan, providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
40. Relocation of Overhead Utilities Underground: Prior to a Certificate of Occupancy, the developer will install underground all public utilities that are currently located overhead on the site except for 3 phase or greater electric lines. [LUMO 5.12.2]
41. Water/Sewer Line Construction: That all public water and sewer plans be approved by OWASA and constructed according to their standards. Where sewer lines are located beneath drive aisles and parking areas construction methods approved by OWASA shall be employed, to ensure that sewer lines will not be damaged by heavy service vehicles. Prior to issuance of a Zoning Compliance Permit, final plans shall be approved by OWASA and the Town Manager. [LUMO 5.12.1]
42. OWASA Approval: That prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12.1]

Fire Safety

43. Fire Sprinklers: The developer shall install sprinklers under the North Carolina Fire Code prior to issuance of a Certificate of Occupancy. Prior to issuance of a Zoning Compliance Permit, the plans shall show all proposed fire department connections to such systems. [TOWN CODE 7-56]
44. Fire Access: Prior to issuance of a Certificate of Occupancy, fire access shall be reviewed and approved by the Town of Chapel Hill.
45. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Code, and NFPA 13. [NC Fire Protection Code Section 507.5.6]
46. Fire Hydrant and FDC Locations: The Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department

Connections shall be located on the street side of the building within 100 feet of a hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC Fire Protection Code Section 507.5.6]

47. Firefighting Access during Construction: As required by NC Fire Code (Section 1410.1 Required Access), vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC Fire Code, Section 1410.1]
48. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]
49. Heavy-Duty Paving: Prior to issuance of a Certificate of Occupancy, the developer shall, in designated areas, provide heavy duty paving designed and built to withstand fire apparatus weighing at least 75,000 pounds. [Town Design Manual]
50. Fire Lane: Prior to issuance of a Certificate of Occupancy, any fire lane shall be marked and signed in accordance with Town standards, with the associated plans approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC Fire Code, Sections 503.3, D103.6, D103.6.1, D103.2]

Solid Waste Management and Recycling

51. Solid Waste Management Plan: Prior to issuance of a Zoning Compliance Permit, a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager. The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. Prior to issuance of a Zoning Compliance Permit, the developer shall provide documentation of an agreement for solid waste collection by a private provider. [Orange County Solid Waste]
52. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard, all present in construction waste, must be recycled. All haulers of construction waste must be properly licensed. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]

State and Federal Approvals

53. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]

54. North Carolina Department of Transportation Approvals: That prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT. [NC Department of Transportation]

Miscellaneous

55. Offsite Construction Easements: That prior to any land disturbance on abutting properties the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
56. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [LUMO 4.5.2, TOWN CODE 17-42]
57. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [LUMO 4.5.2, TOWN CODE 17-42]
58. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. (§5.14.3(g) of Land Use Management Ordinance). The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.3]
59. Schools Adequate Public Facilities Ordinance: If applicable, the developer shall provide the necessary Certificates of Adequacy of Public Schools or an exemption prior to issuance of a Zoning Compliance Permit. [LUMO 5.16]
60. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [TOWN CODE, Article 9]
61. Detailed Plans: That prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]

62. Certificates of Occupancy: That no Certificates of Occupancy shall be issued until all required public improvements are complete; and that a note to this effect shall be placed on the final plats.

If the Town Manager approves a phasing plan, no Certificates of Occupancy shall be issued for a phase until all required public improvements for that phase are complete; and no Building Permits for any phase shall be issued until all public improvements required in previous phases are completed to a point adjacent to the new phase; and that a note to this effect shall be placed on the final plats.

63. Traffic Signs: That the property owners shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.

64. New Street Names and Numbers: That the name of the development and its streets and house/building numbers be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.

65. As-Built Plans: That prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88.
[LUMO 4.9.2]

66. Modification to Approved Plans: The applicant shall submit a Special use Permit (SUP) modification application prior to making any changes to approved plans.

67. Vested Right: This Special Use Permit constitutes a site specific development plan establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance.

68. Continued Validity: That continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.

69. Non-Severability: That if any of the above conditions is held to be invalid, approval in its entirety shall be void.

**RESOLUTION B
DENYING THE SPECIAL USE PERMIT**

**A RESOLUTION DENYING AN APPLICATION FOR A SPECIAL USE PERMIT FOR
11SIXTY5 WEAVER DAIRY ROAD (PROJECT #17-112)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit application, proposed by Comprop LLC, located at 1165 Weaver Dairy Road on property identified as Orange County Property Identifier Numbers 9799-24-5967 and 9799-24-2361, if developed according to the Site Plan dated November 30, 2017 and last revised February 22, 2018 the conditions listed below would not:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

BE IT FURTHER RESOLVED that the Council hereby denies the application for a Special Use Permit for 11SIXTY5 Weaver Dairy Road.

This the _____ day of _____, 2018.



Coulter Jewell Thames, PA

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Planning for the Future

11SIXTY5 WEAVER DAIRY ROAD

1165 Weaver Dairy Road

SPECIAL USE PERMIT APPLICATION

STATEMENT OF JUSTIFICATION

25 January 2018

PROJECT SUMMARY

The project site is located on the south side of Weaver Dairy Road east of Martin Luther King Jr Blvd between Timberlyne Shopping Center and the recently completed Weaver Crossing. The proposed use is a mixed commercial / retail center with a parking deck.

The parcel is owned by Comprop, a business located in Chapel hill. The 1.98 acre parcel is currently vacant, but is the former location of a small Montessori preschool. The site was very under-developed compared with the new building that has occurred over the past 10 years.

There has been a lot of recent development in the surrounding area over the past 10 years. Within 1000 feet of the project site those new developments have included expansion of Chapel Hill North retail center, clinic and office space on the north side of Weaver Dairy Road, 1701 North Apartments, a new daycare center, and the Weaver Crossing development. The site is currently zoned MU-OI-1. A concurrent rezoning is being requested to allow a higher density on the site.

SPECIAL USE PERMIT – REQUIRED FINDINGS OF FACT

We believe the project satisfies all the required findings as stated in section 4.5.2 of the Town's Land Use Management Ordinance. These findings and our responses to how we address each finding are submitted as follows:

Finding #1: The use is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare.

The project will be operated as a commercial and retail center with on-site parking. The buildings will comply with all current building and safety codes. There will be good visual and pedestrian connectivity between the public right of way and the entry plaza, walls will have railings, sidewalk will have curb edges, and there will be provision for bicycle parking. There is existing sidewalk on the street frontage, and new pedestrian paths will be created between the street and the plaza, the street and the entry, and between this site and the adjacent development.

Traffic and Pedestrian Circulation

There are currently two vehicular entries to the site from Weaver Dairy Road. The western entry will be closed to reduce conflict between turning vehicles and through traffic on the street. The access easement between the site and the adjacent Weaver Crossing will be utilized to aid vehicular circulation.

A traffic study was completed in relation to this project. The study found no intersections that would experience deficit traffic operations due to the development of this project. The study also finds that the proposed vehicular entry, in its current location, will meet or exceed acceptable conditions.

There is an existing sidewalk on Weaver Dairy Road. The project includes a public plaza accessible from the sidewalk. There is also pedestrian access midway through the site between the proposed project and the adjacent Weaver Crossing. The project scope includes improvement of the existing crosswalk across Weaver Dairy Road with the addition of warning signage and LED lighting. Along the east side of the site is a topographic drop into a Duke Energy easement and a fenced property line backing up to the service areas of adjacent Timberlyne Plaza building. The owner will grant a reasonable easement to any future redeveloper of the parcels to the east. In addition, the site stormwater treatment facility has been sized to accommodate 300 sf of additional pavement to allow for a future conveniently located sidewalk from the adjacent site.

Utilities

The project parcel is well serviced and ideally sited for denser development. Water is available from Weaver Dairy Road. Sanitary sewer service is available at the south edge of the parcel. And electric service runs through the eastern edge of the parcel. The area is service by natural gas. There will be no need for public upgrades to utilities to serve the new facility.

The project will include the addition of a fire hydrant at the street and the new building will be sprinklered. There is a fire station location approximately 1000 feet to the west.

Refuse will be collected by Orange County (recycling) and by the Town of Chapel Hill (trash). Should the Town not be able to satisfactorily collect refuse, the owner will contract with a private collection service.

The project has been reviewed by the Town Public Works Dept, Planning, Solid Waste, Orange County Solid Waste, and by OWASA. In addition, the applicant has been consulting with Duke Energy and with PSNC and design is conforming to existing utility rules and requirements.

Stormwater Management

The site is currently 16% impervious with no stormwater management. The proposed condition is 66% impervious. The project site generally drains from the southwest to the northeast. There are no streams or wetlands on site. Stormwater detention and treatment will be included on site in underground filters and holding vaults. Stormwater treatment will conform with state regulations as administered by the Town Stormwater Department.

Finding #2: The use complies with all required regulations and standards of the LUMO including all applicable provisions of articles 3 and 5, the applicable specific standards contained in the supplemental use regulations (article 6) and with all other applicable regulations.

The 1165 Weaver Dairy development is designed to be in conformance with Town regulations and development standards. All dimensional, design, and development standards are in conformance with applicable LUMO standards except for landscape buffers and steep slope disturbance for which we are requesting modifications. We are requesting a concurrent zoning amendment to allow for more built square footage than would currently be allowed, and the application also requests modifications to three of the four landscape buffers, and to the amount of steep slope disturbance.

Section 4.5.6 of the LUMO allows for modification to the regulations.

4.5.6 Permitted Modifications of Regulations.

Where actions, designs, or solutions proposed by the applicant are not literally in accord with applicable special use regulations, general regulations, or other regulations in this appendix, but the town council makes a finding in the particular case that public purposes are satisfied to an equivalent or greater degree, the town council may make specific modification of the regulations in the particular case. Any modification of regulations shall be explicitly indicated in the special use permit, or modification of special use permit.

- ***Modification to Steep Slope Disturbance***

LUMO section 5.3.2 specifies that the disturbance of steep slopes is to be minimized in order to protect water bodies from the effects of erosion on water quality, to protect plant and animal habitat, and to preserve the natural beauty and economic value of the Town's wooded hillsides.

The stated limit to disturbance of steep slopes is one quarter of existing steep slopes on site.

In this case the total amount of steep slope on site is 5,735 square feet, entirely located alongside the Duke Energy transmission line. This steep slope was created when dirt was pushed aside to create a more level area under the power lines for ease of utility maintenance. The steep slopes on site are not related to water bodies or wetlands, and there are not wooded. When the project is complete there will still be evidence of elevation change. The final grading will include a parking deck where the steep slope exists and the top of that slope at the foot of the parking deck will be replanted with columnar trees, understory trees, and shrubs acceptable to both the Town and to Duke Energy. The street plaza will also show elevation change. The western portion of the plaza will sit flush with the street, but the eastern corner will sit above the street behind a short retaining wall to provide separation from the vehicular entry drive.

- *Modification to North / Street Landscape Buffer*

The requirement at the street edge of the property is a 30' wide buffer with 13 large trees, 26 small trees, and 85 shrubs. The modification is requested for both the buffer width and the plant quantity. During Concept review, both the Planning Commission and Council advocated for a pedestrian plaza between the building and the street. This space has been designed as an urban plaza with some amount of hardscape. Additional to the hardscape area, there are limitations on planting in the 30' wide power easement at the east, the 26' wide access driveway next to the easement, and the utility service easement area at the northwest corner of the site. This reduces the plantable frontage from 213 feet to 128' - an 85' or 40% reduction.

The applicant is requesting a reduction of width to approximately 18' – the width varies between 11' and 25'. We are also requesting a reduction of plant materials to 6 large trees and 14 small trees – 50% of the tree requirement. All the required shrubs will be installed. The proposed planting will produce a sense of separation from street traffic while keeping the connection between the plaza and the street sidewalk.

- *Modification to East / Utility Easement Landscape Buffer*

The requirement to the east is a 10' wide buffer with 16 large trees, 28 small trees, and 48 shrubs. The modification is requested for buffer location and the plant quantity. This section of the site is located in a 30' wide electric utility easement. The request is to install the buffer at the western edge of the easement between the power lines and the parking deck structure. The adjacent land use is retail and general business, similar to the proposed project uses. As such the need for separation of spaces and privacy is lessened.

The applicant is requesting a reduction of plant materials to 28 columnar and understory trees and 14 small trees – 64% of the tree requirement. All the required shrubs will be installed. The proposed planting will be located 25'-35' from the property line.

- *Modification to West Landscape Buffer*

The requirement to the west is a 10' wide buffer with 18 large trees, 31 small trees, and 53 shrubs. The modification is requested for both buffer width and the plant quantity. This section of the site is located adjacent to the parking lot of Weaver Crossing, a development of retail and general business uses similar to the proposed project uses. As such the need for separation of spaces and privacy is lessened. The adjacent owner has planted a 10' wide area with shrubs and midsize evergreens to screen their parking area. The project site is narrow and limited to the east by the power easement. In order to reduce impervious on site and provide parking for the proposed building the developer is proposing parking in a deck structure behind the building. Deck parking is only efficient at a dimension allowing double loaded aisles and side by side ramps. This leaves the buffer area between 7 and 10' wide with structures at the edge of the buffer.

The applicant is requesting a reduction of buffer width to 7' wide, and a one third reduction of plant materials to 12 large trees (many columnar), 20 understory trees and 35 shrubs. The reduced buffer alongside existing adjacent buffer would provide some separation between the two developments, but as both are commercial uses and pedestrian and vehicular cross connection is expected, the proposed buffers would provide appropriate screening and privacy.

Finding #3: The use is located, designed and proposed to be operated so as to maintain or enhance the value of contiguous property, or the use is a public necessity.

The current use is a vacant site left after the closing of a small Montessori pre-school. It is expected that the new project will maintain or enhance the value of contiguous property for the following reasons:

- The proposed mixed use commercial and retail would complement the adjacent office, commercial, clinic and retail uses and serve the nearby residential areas as well as the larger Town population.
- Located near the MLK intersection with Hwy I-40 it is also well-sited to serve the larger community.
- The project will provide commercial and office space that supports existing area development.
- It is in line with more dense development as called out in the Town's 2020 Comprehensive Plan and area study. The proposed use is allowed in the current

MU-OI-1 zone but a rezoning application is being submitted concurrently to allow for a denser development.

- The proposed project will provide significant aesthetic improvements: a new building compatible with recent nearby development, public pedestrian spaces, parking in a deck barely visible from the street.
- The new project will improve pedestrian infrastructure and connections in the area.
- Stormwater mitigation will meet the current Town requirements.
- The new project will add to the Town's commercial tax base.

Finding #4: The use conforms with the general plans for the physical development of the town as embodied in the appendix and in the comprehensive plan.

The project site is located on the south side of Weaver Dairy Road just east of Martin Luther King Jr Blvd. It is in the Future Focus Discussion Area 2 called out in the 2020 Comprehensive Plan, and is also in the area studied by the Northern Area Task Force.

- *2020 Comprehensive Plan*

The proposed project complies with the all applicable goals as specified in the 2020 Plan.

Theme 1: A Place For Everyone - The proposed development will be a non-residential mixed use building with public plaza accessible from the street. The infill building between Tymberline Shopping Center and Weaver Crossing will allow for businesses to develop in north Chapel Hill. Specific goals addressed include:

- The plaza provides and exterior space of public use (PFE.1)
- Pedestrian access through the site and improvement of the Weaver Dairy crosswalk add to the area pedestrian connectivity (PFE.1)

Theme 2: Community Prosperity and Engagement - The project site is located at the southeast corner of Martin Luther King Jr Blvd and Weaver Dairy Road. The proposed development represents an increased intensity of use in an area that is already fully serviced with infrastructure. The Owner is a local business owner with a desire to develop within Chapel Hill and attract expanding and new business to the area.

Specific goals addressed include:

- The project adds to the Town's commercial tax base (CPE.1)
- The developer is a local Chapel Hill business (CPE.2)
- Pedestrian access through the site and improvement of the Weaver Dairy crosswalk add to the area pedestrian connectivity (CPE.3)

Theme 3: Getting Around - The project site has frontage on Weaver Dairy Road and is already connected to the rest of the community by sidewalks, bike lanes, and local and regional bus service. There is an existing Chapel Hill Transit stop just east of the site, and two Triangle Transit routes operate on Martin Luther King Jr. Blvd to the west. Additionally, the project is located very close to many residential units which will allow some users to access the site on foot or by bicycle. The project will provide covered bicycle parking.

Specific goals addressed include:

- The project serves users of all modes of transit (GA.1, GA.3)
- Pedestrian access through the site and improvement of the Weaver Dairy crosswalk add to the area pedestrian connectivity (GA.2)
- The parking deck allows for enough parking to serve the tenants while using less land area and limited the impervious surface (GA.6)
- The project location supports bicycle and moped/motorcycle use as well as public transit and car (GA.6, GA.8)

Theme 4: Good Places, New Spaces - The project site is located in an area identified as a Development Opportunity Area – Town Village Center in the 2020 Plan. The denser development promotes pedestrian and bicycle use. And the public plaza on the street frontage creates a space for community use.

Specific goals addressed include:

- The plaza provides open and accessible common space for individual and community use (GPNS.7)
- Easy access from the highway and from public transit, walking and biking make this business location accessible to people who do not have cars (GPNS.8)

Theme 5: Nurturing Our Community - The proposed development will provide tree coverage and stormwater management on site to meet or exceed the Town's standard requirements. The design takes advantage of the long narrow site to put the building and public plaza at the street, thereby screening a parking garage at the back of the site. The multi-level parking deck provides accommodation for the building tenants and visitors, thereby reducing impervious area. The architect plans for use of local materials, energy efficiency, a high albedo (reflecting) roof, as well as the stormwater treatment and planting to reduce the impact of the building on the environment.

Specific goals addressed include:

- Stormwater management, use of local materials, high efficiency building systems, and high reflectivity roofing improve water quality and reduce heat island effect. (NOC.2, NOC.7, NOC.8)
 - While not adding to the park system, the bicycle friendly nature of the location and facility encourage the use of Town trails and bike lanes. (NOC.4)
- The plaza provides open and accessible common space for individual and community use (GPNS.7)

Theme 6: Town and Gown Collaboration - The proposed development will be designed to allow flexibility of fit up and is open to all general business uses.

Specific goals addressed include:

- The building is designed to accommodate many general business users including University related uses. (TGC.6)

- *Northern Area Task Force Report*

The Northern Area Task Force Report calls for this parcel to be developed in a commercial use. The proposed development meets the Plan's goals as follows:

Goal 1 – Gateway Entrance The parcel is located in the portion of the neighborhood which is designated as a Gateway Entrance. The architecture will be compatible with recent development at the corner, and the entry plaza will contain public art and provide a community gathering spot. The development specifically conforms with:

- Objective 1 - Public art and interesting architectural design will be visible from the street. The plaza will serve as a small gathering place and be accessible to the public.

Goal 2 – Neighborhood Protection The development as designed will focus activity on the street. Vehicular access only from Weaver Dairy Road and from the adjacent commercial Weaver Crossing development will keep vehicular traffic away from nearby residential streets. It will continue to focus commercial and retail uses on the Weaver Dairy arterial and buffer vehicular circulation from the nearby residential neighborhoods, as well as providing commercial and retail opportunities for nearby residents. The development specifically conforms with:

- Objective 1 – The development facing and oriented toward Weaver Dairy protects existing residential neighborhoods from light, noise, and visual impacts of the new development.
- Objective 3 – The density of the project is oriented toward Weaver Dairy Road and not toward the residential uses south of the site.
- Objective 6 – Vehicle access to the site is from Weaver Dairy Road and from the adjacent commercial development and does not encourage traffic through nearby residential neighborhoods.

Goal 3 – Protect, Restore and Enhance the Environmental Quality of the Area The site is currently vacant with gravel and asphalt remnants from previous development, and surface stormwater runoff. The new development will provide underground stormwater mitigation. It will also increase the tree coverage on site. There will be publicly accessible pedestrian gathering space near the street. The development specifically conforms with:

- Objective 4 – The development's plaza area is publicly accessible open space.
- Objective 8 – Redevelopment of this site will eventually result in more vegetation and stormwater management than currently exist there.

- Objective 9 – Power lines will be buried.

Goal 4 – Development that Supports Active Pedestrian Environment and Promotes Transit Use

The site is on Weaver Dairy Road near Martin Luther King Jr Blvd – streets supported by public bus service, both Chapel Hill Transit and Go Triangle commuter service. The project will also add to pedestrian connectivity in the area with additional sidewalk routes off the street. There will be bicycle parking provided on site and uses within walking distance to serve nearby commercial and health care users and residents. The development specifically conforms with:

- Objective 1 – The development works toward concentrating commercial development at an existing commercial center.
- Objective 2 – The higher density use encourages public transit use.
- Objective 3 – The 3 story building is appropriately scaled for the area.
- Objective 4 – The development is oriented to the transit corridor – Weaver Dairy Road and parking is out of site from the street, encouraging public transit use.
- Objective 6 – The development does not include drive through services.
- facing and oriented toward Weaver Dairy protects existing residential neighborhoods from light, noise, and visual impacts of the new development.

Goal 5 – Pedestrian and Bicycle Mobility Pedestrian amenities will be provided just off the right of way with the installation of a welcoming pedestrian plaza. The development specifically conforms with:

- Objective 3 – The plaza will provide publicly accessible benches, lighting and shade.
- Objective 4 – The existing crosswalk across Weaver Dairy Road will be made safer with warning signage and LED lighting.
- Objective 5 – The new development has off street connectivity with Weaver Crossing commercial center to the west, and is providing for future connectivity to its eastern neighbor.
- Objective 8 – The space between the street sidewalk and the building will have trees, plantings, and hardscape areas scaled to the street. The building has a front façade with two planes for interest.

Goal 6 – Comprehensive Transportation System Promoting Bicycling, Walking, and Transit Use

The site is located within easy walking distance of public bus service and will provide bicycle parking and interior sidewalks. There will be shading and benches for pedestrian use with appropriate night lighting for safe after-hours use. The development specifically conforms with:

- Objective 1 – The development has located most of the parking away from and hidden from the street in a structured parking deck.
- Objective 3 – The use of space between the building and street for pedestrian plaza only, and not for parking, creates a pleasing shaded usable streetscape. The overhang of upper floors adds to this visual interest and creates some sheltered pedestrian space.

- Objective 5 – The removal of one existing driveway curb cut allows for better sidewalk function (fewer driveway crossings) and encourages the use of cross access between this property and the development to the west.

-

Goal 7 – Promotion of Design of Safe, Comfortable, Active and Visually Interesting Buildings and Streetscapes

The building is being designed to be visually compatible with recent area construction and that architecture will be reviewed by the Community Design Commission at the SUP and Final Plan stages. The building is being set back on the site to provide for a generous pedestrian use area between the building and the street, with multiple access points from the existing public sidewalk. There will be no parking in front of the building, minimal surface parking in general, and the parking deck will be located behind the building to reduce its visual impact and create a more pedestrian friendly atmosphere. The development specifically conforms with:

- Objective 1 – The plaza encourages ground level pedestrian activity.
- Objective 3 – Lighting at the plaza area creates a safe pedestrian environment for day or night use.
- Objective 4 – The break in the front building façade create a form to reflect the street angle and the transition between this project and adjacent projects with larger setbacks.
- Objective 5 – The bicycle parking on site encourages bicycle pathways into the commercial development.
- Objective 6 – The 19’ setback with modified landscape buffer at the street brings this building close to the street.
- Objective 8 – The development includes a public plaza with seating.
- Objective 10 – The street tree plantings continue some of the street trees used on the adjacent site to the west.
- Objective 11 – The development includes a landscaped streetside area between the building and the sidewalk.
- Objective 13 – Parking is located away from the street, and circulation between this and adjacent property is encouraged by parking deck access from both the Weaver Dairy driveway and from the adjacent development parking lot.
- Objective 14 – The service area for this building is located both within the parking deck, and also at the back of the building away from streets and most pedestrian ways.



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Planning for the Future

November 30, 2017

Ms Kay Pearlstein
Town of Chapel Hill Planning Department
405 Martin Luther King Jr Blvd
Chapel Hill, NC 27514

RE: SPECIAL USE PERMIT APPLICATION – PROJECT NARRATIVE
11SIXTY5 WEAVER DAIRY ROAD

Kay:

Enclosed is the Special Use Permit application for the 11SIXTY5 Weaver Dairy Road commercial project.

The proposed development is located on the south side of Weaver Dairy Road east of Martin Luther King Jr Blvd between Timberlyne Shopping Center and the recently completed Weaver Crossing. The site formerly housed a small Montessori school which was closed a few years ago and the building demolished in 2016. There are a few improvements remaining on site – a circular drive, some gravel parking, a well, and some playground areas. These items will all be demolished.

The proposed project is to be a 48,624 sf 3 story structure with retail on the main floor facing the street, and office / business space in the remainder of the building. There will be a part to the structure, a parking deck containing 225 parking spaces in three covered levels and one rooftop open level. This deck will be attached to and located behind the building, with vehicular access from Weaver Dairy Road and also from the adjacent Weaver Crossing site. A few surface parking spaces will be accommodated in the entry drive, reserved for short term retail visitors. Bicycle parking will be provided near the street plaza with the majority of bike parking accommodated in the covered parking deck near the elevators.

Stormwater mitigation for increased impervious will be contained in and underground facility under the parking deck. All tree coverage requirements will be provided by new plantings on site. A full landscape buffer will be provided on the south property line. The applicant is requesting buffer modifications on the other three sides. The east landscape buffer will be the required width but without tall canopy trees

as it is located near overhead electrical lines. That buffer will also be located approximately 25'-35' from the property line and at an elevation of the parking deck. The plant material acceptable to Duke Energy is smaller narrow shrubs and smaller understory trees at the outer edge of their easement and away from the wires. This configuration also leaves them the flatter lower area under the wires to be able to drive their maintenance equipment along the easement. The western landscape buffer will contain two thirds of the required plant material in an area that in places is up to 4' narrower than required. The adjacent project, Weaver Crossing, has already planted buffer on their side and their plant material is shown on our plans. The street landscape buffer is being provided at the required width, but with fewer plantings to accommodate hardscape in a more interactive plaza area to be used by both tenants and the general public. There are many utilities coming into the project from Weaver Dairy Road, as well as the vehicular access and the almost 30' wide electric easement, greatly reducing the area we have for planting trees. We propose this buffer to have 50% of required trees, and all the required shrubs.

The Town commissioned a TIS which is included in this application. It was completed in June 2015 and revised in June 2017.

The project has gone through the Town's Concept Plan review process three times. It was presented to the Community Design Commission on the 27 May 2015 as two buildings with surface parking in a fairly suburban style layout. Response from the CDC at that time was basically that they would like to see a more urban type layout with pedestrian interaction opportunities between Weaver Dairy Road and the entry. The second concept was presented 27 October 2015 as a multi story secure self storage facility with retail on the ground floor facing the street. This use was questionable to the CDC and the Council, as they indicated a preference for self storage uses to be located in a less visible site. But that layout set the multi story building close to the street with an opportunity for a streetside plaza and without a lot of surface parking which was praised by the two groups. The third concept presented to the CDC 27 September 2016 and Council on 17 October 2016 was more acceptable and is the concept being presented in this application. It included an office / commercial / retail type building set close to the street with a parking deck behind and vehicular connectivity to the adjacent recently completed Weaver Crossing development to the west, as well as a pedestrian space at the street.

Sincerely,
Coulter Jewell Thames, PA
Wendi Ramsden RLA



cc. Mike Slomiany, Pete Slomiany, - Owners
Andy King, Scott LaPorte – Architects, MHA Works

11SIXTY5 Weaver Dairy - Statement of Public Art:

It is the design intent of the project to include a public art element inside of the public plaza along Weaver Dairy Rd. The public art element will consist of a commissioned sculpture by a local artist that helps to provide a defining marker for the site. It is the intent that this element be made of steel or iron and draw upon elements of the architecture and surrounding environment. Whether the sculpture is completely static or includes a kinetic element is still to be determined.

SPECIAL USE PERMIT APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514
phone (919) 969-5066 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9880 35 0595 Date: REV 22 Feb 2018

Section A: Project Information

Project Name: 11SIXTY5 Weaver Dairy Road
Property Address: 1165 Weaver Dairy Road Zip Code: 27514
Use Groups (A, B, and/or C): B, C Existing Zoning District: MU-OI-1 (Proposed OI-3)
Project Description: Office, retail, and medical clinic in a 3-story building with attached parking deck.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Coulter Jewell Thames, PA Attn: Wendi Ramsden
Address: 111 West Main Street
City: Chapel Hill State: NC Zip Code: 27701
Phone: 919-682-0368 Email: wramsdn@cjtpa.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: on file Date: _____

Owner/Contract Purchaser Information:

Owner **Contract Purchaser**

Name: Comprop LLC
Address: 727 Eastown Drive, Suite 300-D
City: Chapel Hill State: NC Zip Code: 27514
Phone: _____ Email: _____

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: on file Date: _____

Click [here](#) for application submittal instructions.



PROJECT FACT SHEET

TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Use Type: (check/list all that apply)

Office/Institutional Residential Mixed-Use Other: Retail, Medical Clinic

Overlay District: (check all that apply)

Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	78,557	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=		sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	86,412	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	83,200 sf
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	15,363 sf	15,363 sf	58,219 sf	58,219 sf
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	17.78%			67.37%
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	0	0	48,624	48,624
Number of Floors	0	0	3	
Recreational Space			n/a	

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq.ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial	0	2,557			
Restaurant			# of Seats		
Government					
Institutional					
Medical	0	13,820			
Office	0	32,247			
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	0	n/a	19'
	Interior (neighboring property lines)	0	n/a	6.8'
	Solar (northern property line)	0	n/a	30'
Height (maximum)	Primary	n/a	n/a	
	Secondary	n/a	n/a	
Streets	Frontages	15'	212.79'	212.79'
	Widths	15'	202'	202'



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Weaver Dairy Road	Var	Min 78' w median	4	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking is not required in OI-3 zone Parking required in non-Town Center zones would be as follows:

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	149	225	217
Handicap Spaces	6	7	14
Total Spaces	155	232	231
Loading Spaces	2	n/a	2
Bicycle Spaces	20	n/a	24 (12 loops)
Surface Type	Asphalt and concrete		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North (street)	30'	30'	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
West	10'	8'	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
South	10'	10'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
East	10	10' in util easmt	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section I: Land Use Intensity

Existing Zoning District: MU-OI-1

Proposed Zoning Change (if any): OI-3

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
OI-3	.566	n/a			.70	48,909 sf	n/a
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input checked="" type="checkbox"/> Private trash pickup, County recyclable pickup		



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	23,525
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
X	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
X	Description of Public Art Proposal		
X	Statement of Justification		
X	Response to Community Design Commission and Town Council Concept Plan comments		
n/a	Affordable Housing Proposal, if applicable		
n/a	Provide existing Special Use Permit, if Modification		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	112.00
X	Written Narrative describing the proposal		
	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
	Jurisdictional Wetland Determination – if applicable		
	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
X	Reduced Site Plan Set (reduced to 8.5” x 11”)		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

**1165 WEAVER DAIRY ROAD COMMERCIAL BUILDING
TRAFFIC IMPACT STUDY - UPDATE**

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

March 2018

HNTB

1165 WEAVER DAIRY ROAD COMMERCIAL BUILDING

TRAFFIC IMPACT STUDY - UPDATE

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill

Public Works Department - Engineering

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*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

March 2018



3-12-18



EXECUTIVE SUMMARY

Project Overview

A new office and retail development tentatively named 1165 Weaver Dairy Road Commercial Building, to be located along Weaver Dairy Road to the east of NC 86 (Martin Luther King, Jr. Blvd), is being proposed in Chapel Hill. **Figure ES-1** shows the general location of the site. The project is anticipated to be fully complete by 2020, based on initial assumptions and information provided in a previous traffic impact study of the proposed site (see details below). This report analyzes the full build-out scenario for the year 2020 (one year after anticipated completion), and uses information developed from an assumed “no-build” scenario for 2020, as well as 2017 existing “base year” traffic conditions.

This traffic impact study document represents an update to the original *Weaver Dairy Road Commercial Building Traffic Impact Study*, submitted to the Town by HNTB in July 2015. All information from that study related to initial “existing” conditions and build-out year + 1 analyses are assumed to remain valid unless specifically updated and addressed in this traffic impact study update. The primary focus of the update is to analyze the impacts of several changes to the proposed site plan from what was analyzed in the original study, including a larger development density.

Figure ES-2 displays the preliminary updated concept plan of the 1165 Weaver Dairy Road Commercial Building project and nearby land uses and roadways. The proposed site concept plan shows a restricted right-turn in/right-turn out only (RIRO) driveway along Weaver Dairy Road. It also features an internal circulation driveway that would connect to the Weaver Crossing development and its internal circulation driveway aisles. The current plan includes one commercial building to be developed into a mixture of office and retail space. 225 on-site parking spaces will also be provided in a parking deck internal to the site parcel, along with 6-10 surface lot space near the site driveway connection to Weaver Dairy Road.

This report analyzes and presents the transportation impacts that the 1165 Weaver Dairy Road Commercial Building will have on the following intersections in the project study area:

- NC 86 (Martin Luther King, Jr. Boulevard) and Weaver Dairy Road
- NC 86 (Martin Luther King, Jr. Boulevard) and Weaver Crossing Site Access (Right-Turn In Only)
- NC 86 (Martin Luther King, Jr. Boulevard) and Sparrow Lane
- NC 86 (Martin Luther King, Jr. Boulevard) and Westminster Drive
- Weaver Dairy Road and Site Access Driveway #1 (RIRO)
- Weaver Dairy Road and Banks Drive

The impacts of the proposed site at the study area intersections will be evaluated during the AM, noon, and PM peak hours of an average weekday.

Existing Conditions

The study area contains two signalized intersections along Martin Luther King, Jr. Boulevard at Weaver Dairy Road and Westminster Drive. It also includes several existing and future unsignalized stop-controlled intersections. Site traffic is expected use the proposed access driveway and a cross-access connection with the Weaver Crossing development at NC 86. External u-turn movements may be necessary for site-related traffic, due to access restrictions along NC 86 and Weaver Dairy Road. Internal driveways on the preliminary site plan will circulate site traffic to designated parking areas.

NC 86 (Martin Luther King, Jr. Boulevard) is a major north-south arterial providing connectivity between downtown Chapel Hill, north and south Chapel Hill, the I-40 corridor, and Hillsborough. Weaver Dairy



Road is a minor east-west arterial providing connectivity through northern Chapel Hill. Remaining study area network roadways are either suburban collector streets or local neighborhood/commercial access streets.

Site Traffic Generation

With the addition of new peak hour trips during the weekday AM, noon, and PM peak hours, there are potential site traffic impacts to the study area intersections. **Table ES-1** shows the site trip generation details, with generation rates taken from the Institute of Transportation Engineers (ITE) *Trip Generation Manual*, Volume 9, 2012. To be conservative, no modifications of trip generation estimates was made to include potential multi-modal or “pass-by” type trips – though in reality, the proposed site location and land uses may reduce total vehicular trips for these factors.

**Table ES-1 - Weekday Vehicle Trip Generation Summary
 Proposed 1165 Weaver Dairy Road Commercial Building**

Trip Generation Statistic	Daily Volumes			AM Peak Hour Trips			Noon Peak Hour Trips			PM Peak Hour Trips		
	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
ITE “Raw” Trip Generation	492	492	984	51	11	62	43	39	82	35	67	102
Transit/Bike/Ped Trip Reductions	-0	-0	-0	-0	-0	-0	-0	-0	-0	-0	-0	-0
External Vehicle Trips (Driveway Volumes)	492	492	984	51	11	62	43	39	82	35	67	102
Pass-By Trips	-0	-0	-0	-0	-0	-0	-0	-0	-0	-0	-0	-0
External Vehicle Trips Added To Adjacent Streets (New Trips)	492	492	984	51	11	62	43	39	82	35	67	102
Original TIS Data	277	277	554	35	7	42	27	24	51	19	41	60

Background Traffic

Background traffic growth for the 2020 analysis year is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Town staff provided information for development-related traffic growth for eight Town-approved sites in the north Chapel Hill area near the project study area, some of which have been constructed since the original traffic study, but their effects were still included in the traffic volume development assumptions for this TIS Update. An ambient area-wide traffic growth percentage of 1.0 percent per year was applied to original TIS study traffic volumes based on information from the historic daily traffic growth patterns in the project study (NCDOT and Town of Chapel Hill daily traffic information) and consistent with recent traffic impact studies completed in the project study area.

Impact Analysis

Peak Hour Intersection Level of Service (LOS)

Existing traffic operations at all study area intersections are acceptable during all three peak hours analyzed. The projected ambient and background development traffic growth will increase impacts by 2018. Even with the addition of peak hour site-generated trips to the projected 2020 background traffic volumes, only one study area intersection is expected to experience deficient traffic operations in any



peak hour and additional study of this intersection suggests that operations may be better than reported delay and LOS values. A summary of the traffic operations for each intersection related to vehicular delays (intersection average as a whole if signalized, critical movement if stop-controlled) and the corresponding LOS is shown in **Table ES-2**.

**Table ES-2. Weaver Dairy Road Commercial Building
 LOS and Delay (Seconds/Vehicle) Summary**

Intersections	Peak Hour	2020 Build		2020 Mitigated	
		LOS	Delay	LOS	Delay
NC 86 (Martin Luther King Jr. Blvd) and Weaver Dairy Road	AM	D	41.8	N/A	N/A
	NOON	D	36.7	N/A	N/A
	PM	D	51.4	N/A	N/A
NC 86 (Martin Luther King Jr. Blvd) and Sparrow Lane (RIRO)#	AM	C	16.0	N/A	N/A
	NOON	C	18.5	N/A	N/A
	PM	F**	64.7**	N/A**	N/A**
NC 86 (Martin Luther King, Jr. Blvd) and Westminster Drive	AM	C	22.1	N/A	N/A
	NOON	B	17.4	N/A	N/A
	PM	C	27.7	N/A	N/A
Weaver Dairy Road and Site Driveway #1 (RIRO)#	AM	B	11.7	N/A	N/A
	NOON	B	10.4	N/A	N/A
	PM	B	10.8	N/A	N/A
Weaver Dairy Road and Banks Drive#	AM	B	12.3	N/A	N/A
	NOON	B	11.0	N/A	N/A
	PM	B	11.3	N/A	N/A

- Worst-Case LOS/Delay for Unsignalized/Stop-Controlled Critical Movement

** - Additional Analysis in SimTraffic Microsimulation tool indicates acceptable operations and queue lengths.

Access Analysis

Vehicular site access is to be accommodated via a restricted access driveway connecting to Weaver Dairy Road. An additional internal cross-access connection to the adjacent Weaver Crossing development is also shown on the site concept plan (see **Figure ES-2**). Both access points directly connect to the proposed three story parking deck on-site.

The proposed access concept would provide over 50 feet of driveway throat length along Weaver Dairy Road, which should be adequate for projected peak hour queues (less than one vehicle) exiting the driveway. The distances from the proposed site access driveway along Weaver Dairy Road from the signalized intersection at NC 86 (approximately 425 feet) and Banks Drive (approximately 250 feet) are acceptable, based on recommendations of 100 foot minimum corner clearance as set forth in the 2003 *NC DOT Policy on Street and Driveway Access to North Carolina Highways* and the 250 foot minimum along arterial streets specified in the 2005 *Town of Chapel Hill Design Manual*. The distance between the site driveway and the existing site driveway for the Weaver Crossing development to the west is approximately 200 feet, less than Town standards for driveways along an arterial facility (750 feet), though the impacts of both driveways are lessened by the fact that both will be RIRO-type intersections with eastbound Weaver Dairy Road.



Access from NC 86 would be provided by the current right-turn in only driveway for Weaver Crossing. Egress from the site would utilize internal Weaver Crossing driveway aisle connections to Sparrow Lane and the RIRO intersection connection to NC 86 northbound.

Access for pedestrians and bicyclists are excellent in the project study area. Sidewalks are present on both sides of Weaver Dairy Road throughout the study area and connectivity is available on at least one side of the street along many facilities in the project study area that connect to the Martin Luther King, Jr. Boulevard and Weaver Dairy Road. Crosswalks exist across the NC 86 intersections with Weaver Dairy Road and Westminster Drive and across Weaver Dairy Road immediately adjacent to the site. Striped bicycle lanes along NC 86, Weaver Dairy Road, Westminster Drive and the Weaver Dairy Road Extension currently exist in the study area.

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the 2001 Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Generalized Peak Hour and/or Daily V/C Analysis	Daily Volume/Capacity Ratio and generalized planning-level peak hour roadway link LOS analyses were not conducted for this study, as the proposed site is not expected to generate a significant amount of daily vehicular trips (less than 1,000 new trips) compared to existing daily vehicular trips along NC 86 (27,000 AADT), Weaver Dairy Road (13,000 AADT), and other study area roadways.
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using Synchro and HCM 95 th percentile (max) queue length estimates for the 2020 Build Scenario. No recommendations for improvements to storage bays are expected, based on the analysis results, other than to monitor and retune the Weaver Dairy Road and NC 86 (Martin Luther King, Jr. Blvd) intersection, as necessary, to contain left-turn vehicle queues within their current storage bays provided.
Appropriateness of Acceleration/Deceleration Lanes	<p>The site concept plan shows no specifics related to acceleration/deceleration lanes. Weaver Dairy Road in the vicinity of the site driveway has a 35 mph speed limit with no special acceleration or deceleration lanes for other development driveways, other than a short deceleration right-turn lane for the adjacent Weaver Crossing development driveway that is close to the functional area of the major NC 86/Weaver Dairy Road intersection and thus benefits from the right-turn lane to remove turning traffic flows near the larger intersection.</p> <p>The proposed 1165 Weaver Dairy Road Commercial Building access is further downstream of the major signalized intersection at NC 86. The projected volumes for this driveway do not cause capacity issues and do not necessitate the provision of an additional right-turn deceleration lane at this location.</p> <p>No other specific acceleration/deceleration lane issues were analyzed in the project study area.</p>



Mitigation Measures/Recommendations

Planned Improvements

There are no Town of Chapel Hill or North Carolina Department of Transportation improvement projects for study area facilities within the analysis year time frame of 2017-2020.

Background Committed Improvements

There are three specific private development projects (Charterwood, Weaver Crossing, and The Children's Campus of Chapel Hill) that have been completed or under construction and nearing full occupancy in the immediate vicinity of the proposed project since the original TIS study. Recommended improvements for these projects have been field verified and considered complete for the 2020 Build-out year + 1 analysis for the Weaver Dairy Road Commercial Building project.

No other background committed improvements from other private development projects are expected to be constructed by the 2020 Build-out year +1.

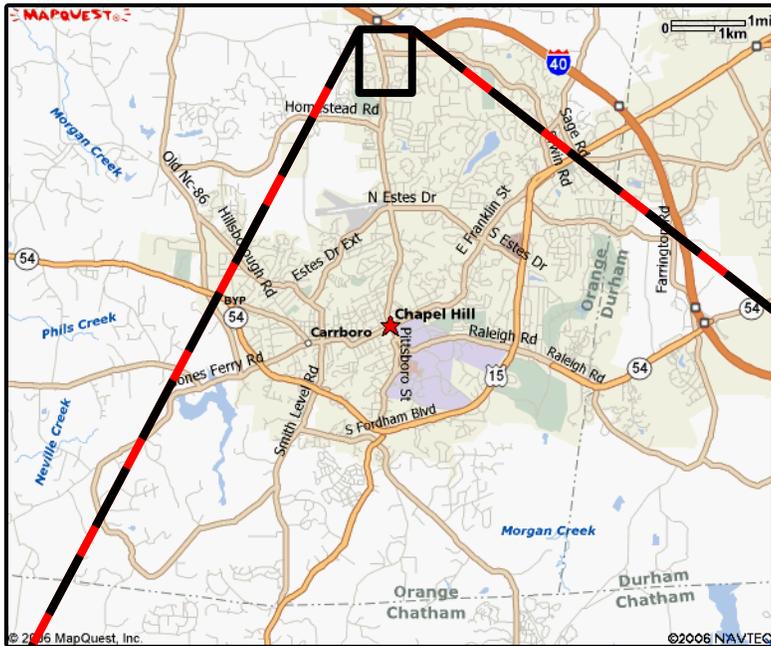
Applicant Committed Improvements

Based on the preliminary site plan and supporting development information provided, no external transportation improvements are shown, other than the RIRO access driveway request along eastbound Weaver Dairy Road. Internally, the Applicant is proposing a cross-access connection to the Weaver Crossing internal driveway aisles, to obtain better access to the NC 86 corridor.

Necessary Improvements

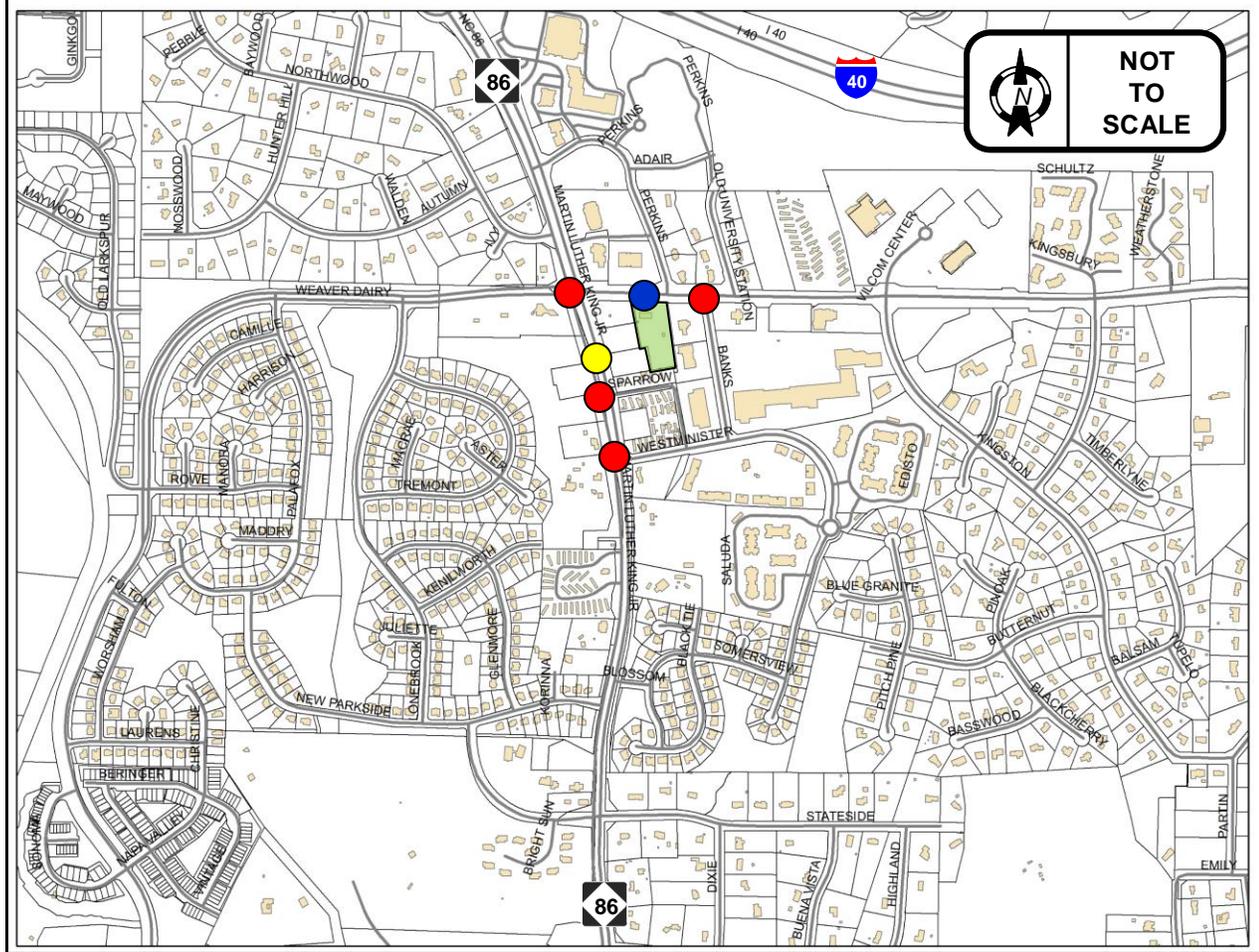
Based on traffic capacity analyses for the 2020 design year, and analyses of existing study area turning bay storage lengths and site access, the following improvements are recommended as being necessary for adequate transportation network operations (see **Figure ES-3**).

- 1) Monitor and retime the NC 86 (Martin Luther King, Jr. Boulevard) traffic signal with Weaver Dairy Road to ensure adequate left-turn/u-turn movement green time for the movements impacted by u-turns due to the 1165 Weaver Dairy Road Commercial Building project (northbound and westbound approaches). This improvement is recommended if the Weaver Dairy Road Commercial Building site is developed.
- 2) Include additional pedestrian warning signage at the site driveway access exit along Weaver Dairy Road (see **Figure ES-4**). This driveway's location is immediately adjacent to the unsignalized cross-walk across Weaver Dairy Road.



LEGEND

- = Existing Building Footprint
- = Existing Study Area Intersection
- = Proposed Site Driveway
- = Existing Cross-Access Connection
- = Proposed Site Parcel

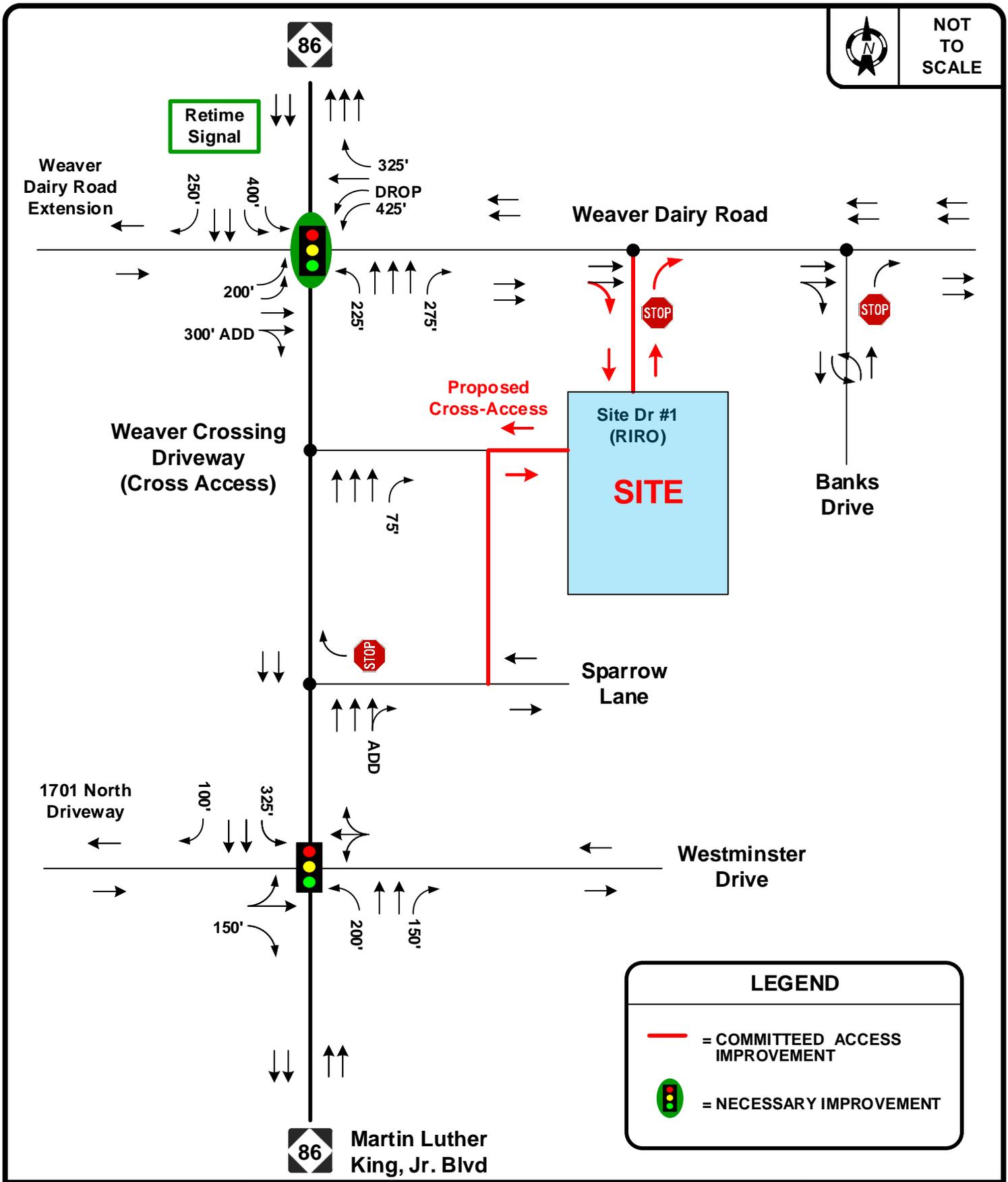


**1165 Weaver Dairy Rd Commercial Building
Traffic Impact Study - Update**

PROJECT STUDY AREA MAP

DATE: March 2018

FIGURE ES-1



LEGEND

— = COMMITTEED ACCESS IMPROVEMENT

= NECESSARY IMPROVEMENT

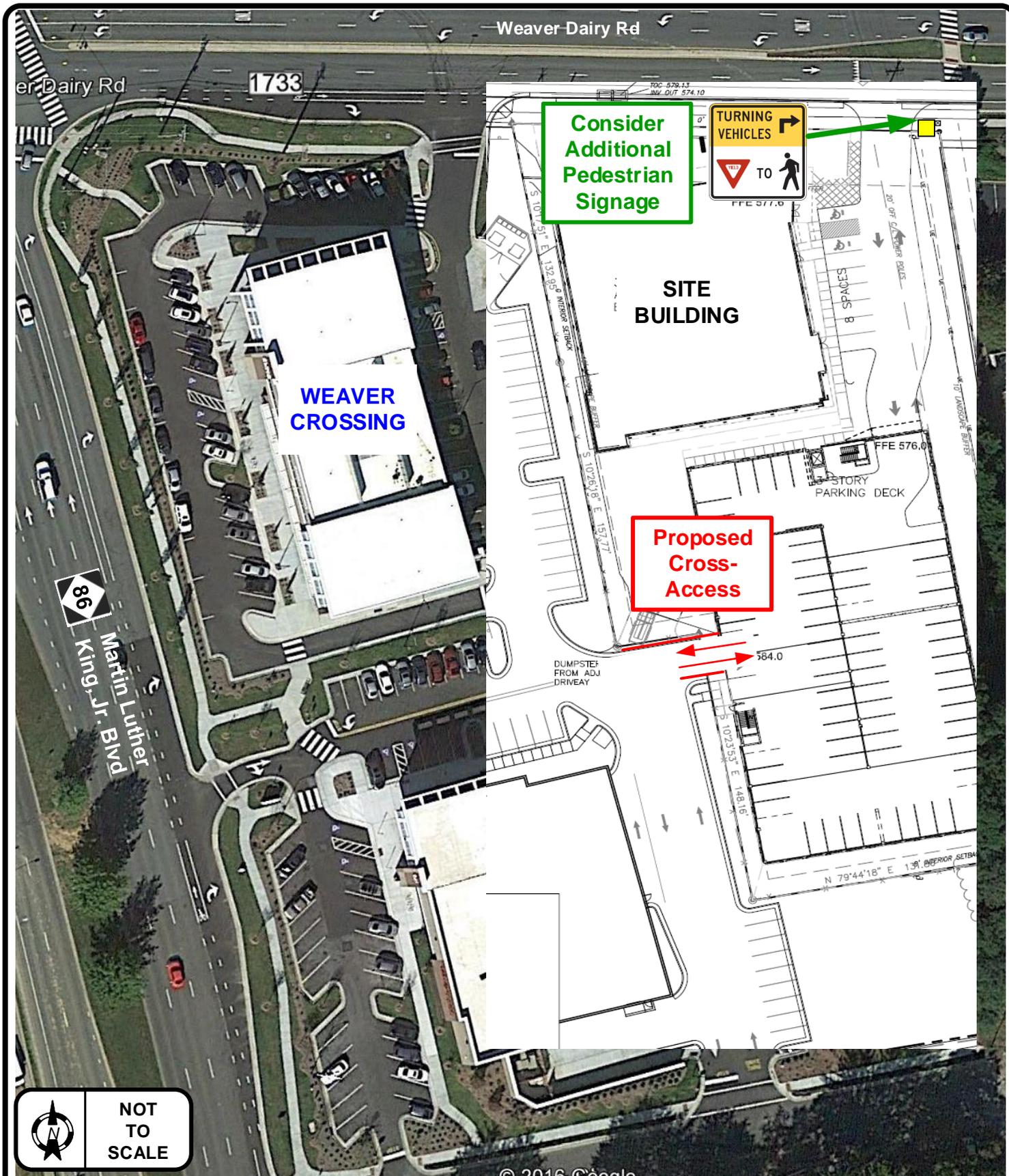


1165 Weaver Dairy Rd Commercial Building
 Traffic Impact Study - Update

COMMITTED AND RECOMMENDED IMPROVEMENTS

DATE: March 2018

FIGURE ES-3



 	<p>1165 Weaver Dairy Road Commercial Building Traffic Impact Study - Update</p>	<p>DATE: March 2018</p>
	<p>RECOMMENDED IMPROVEMENTS DETAIL</p>	<p>FIGURE ES-4</p>

11SIXTY5 WEAVER DAIRY ROAD

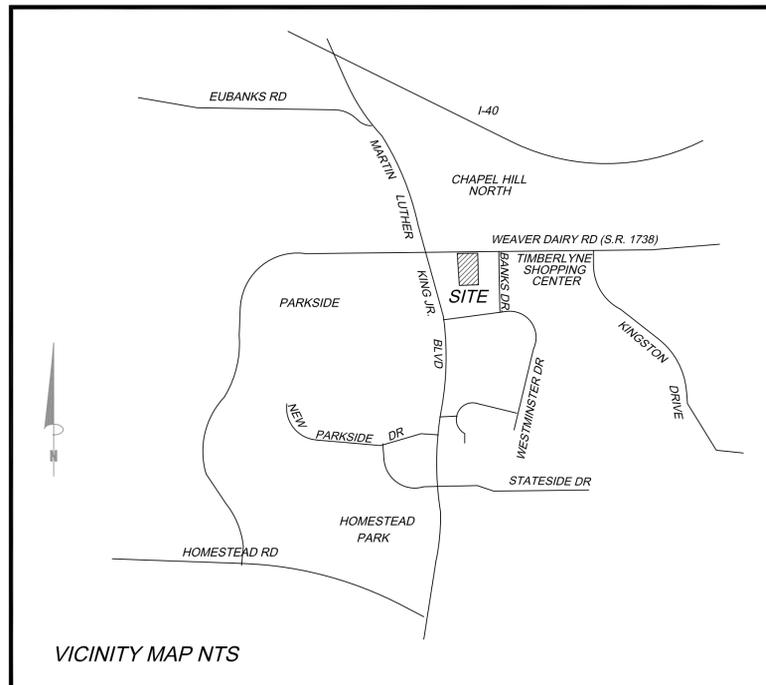
1165 WEAVER DAIRY ROAD, CHAPEL HILL, NC 27514

SPECIAL USE PERMIT

PROJECT DATA

PROPERTY ADDRESS	1165 WEAVER DAIRY ROAD	
PROPERTY OWNER	COMPROP LLC	
PIN	9880350595	
DEED REFERENCE	BOOK 6055 PAGE 580	
EXISTING USE	VACANT LAND	
PROPOSED USE	RETAIL, OFFICE, MEDICAL CLINIC	
USE GROUP	B, C	
LAND AREA	78,557 SF	
GROSS LAND AREA =	78,557 SF X 1.10 = 86,412 SF	
PROJECT AREA	1.91 ACRES	
ONSITE DISTURBED AREA	1.8 ACRES	
OFFSITE DISTURBED AREA	0.11 ACRES	
EXISTING ZONING	MU-01-1	
PROPOSED ZONING	01-3	
PIN	9880350595	
FAR (01-3)	.566	
MAXIMUM BUILDING SIZE	48,909 SF	
EXISTING BUILDING SIZE	0 SF (FORMER BUILDING ALREADY REMOVED)	
PROPOSED BUILDING SIZE	48,624 SF (EXCLUDING PARKING DECK)	
REQUIRED PARKING	NOT SPECIFIED IN 01-3 ZONE IN NON-TOWN CENTER ZONES REQUIRED PARKING WOULD BE: MINIMUM MAXIMUM	
	2,557 SF REST/RETAIL	9 34
	13,820 SF GEN BUSINESS/CLINIC	54 69
	32,247 SF OFFICE	92 129
	TOTAL SPACES	155 232
PROPOSED PARKING	1 PER 212 BUILT SF 1 H/C SURFACE SPACE 4 STANDARD SURFACE SPACES 10 H/C SPACES IN PARKING DECK + 216 STANDARD SPACES IN PARKING DECK 231 SPACES TOTAL PLUS MOPED AND MOTORCYCLE SPACES	
REQUIRED LOADING SPACES	2	
PROPOSED LOADING SPACE	1 FULL SIZE ON-SITE 1 IN PARKING DECK FOR BOX TRUCKS	
REQUIRED BICYCLE PARKING	NOT SPECIFIED IN 01-3 ZONE IN NON-TOWN CENTER ZONES THE MINIMUM BICYCLE PARKING WOULD BE 20 SPACES	
PROPOSED BICYCLE PARKING	24 TOTAL 2 SPACES (1 LOOP) IN ENTRY PLAZA 10 SPACES (5 LOOPS) IN OPEN PARKING DECK 12 SPACES (LOCKERS) LONG-TERM IN SECURED AREA IN PARKING DECK	

VICINITY MAP



VICINITY MAP NTS

LIST OF SHEETS

C-0	COVER SHEET
C-0.1	AREA MAP
C-1.0	EXISTING CONDITIONS, DEMOLITION AND TREE PROTECTION PLAN, AND SITE ANALYSIS
C-1.1	CONSTRUCTION MANAGEMENT PLAN
C-2.0	SITE PLAN
C-2.1	PEDESTRIAN CONNECTIVITY PLAN
C-3.0	GRADING AND STORMWATER PLAN
C-4.0	NOT USED (reserved for Erosion Control Plan)
C-5.0	UTILITY PLAN
C-6.0	NOT USED (reserved for Lighting Plan)
C-7.0	SITE DETAILS
L-1.0	LANDSCAPE AND TREE COVERAGE PLAN
A101D	FLOOR PLAN PARKING LEVELS 1 & 2
A200	BUILDING ELEVATIONS
A201	BUILDING ELEVATIONS
A203	PARKING DECK ELEVATIONS
A204	PARKING DECK ELEVATIONS
A205	COMPOSITE EAST + WEST ELEVATIONS

DESIGN TEAM

OWNER/DEVELOPER	COMPROP LLC 727 EASTOWN DRIVE, SUITE 300-D, CHAPEL HILL NC 27514 PETE SLOMIANYJ 919-949-1014
LANDSCAPE ARCHITECT	COULTER JEWELL THAMES PA 111 WEST MAIN STREET, DURHAM NC 27701 WENDI RAMSDEN 919-682-0368
CIVIL ENGINEER	COULTER JEWELL THAMES PA 111 WEST MAIN STREET, DURHAM NC 27701 VINCE CHRICHIELLA 919-682-0368
ARCHITECT	MHA WORKS 501 WASHINGTON STREET, SUITE G, DURHAM NC 27701 SCOTT LAPORTE 919-682-2870

PROJECT NOTES

GENERAL NOTES:

-
-
-
- CONSTRUCTION WASTE:
 - BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
 - BECAUSE THERE MAY BE REGULATED RECYCLABLE MATERIALS (METAL, WOOD, CARDBOARD) IN SOME OF THE DEMOLITION WORK IN EXCESS OF 500 SQUARE FEET (EXISTING BUILDING) AS WELL AS IN THE NEW CONSTRUCTION OF THE PROPOSED FACILITY, THE APPLICANT WILL NEED TO CONTACT SOLID WASTE MANAGEMENT STAFF TO CONDUCT A PRE-DEMOLITION ASSESSMENT BEFORE BEGINNING WORK. IN ADDITION, THE APPLICANT WILL BE REQUIRED TO OBTAIN A REGULATED RECYCLABLE MATERIALS PERMIT FROM THE TOWN OF CHAPEL HILL.

FIRE PROTECTION:

- ADDRESS NUMBERS MUST BE 4" TALL WITHIN 25' OF WEAVER DAIRY ROAD AND 8" TALL IF 26'-50' FROM THE STREET. ADDRESS NUMBERS MUST BE CLEARLY VISIBLE FROM THE STREET AND OF CONTRASTING COLOR TO THEIR BACKGROUND.

SOLID WASTE:

- TOWN OF CHAPEL HILL TRASH COLLECTION IS DONE ONE TIME PER WEEK. IF BUILDING OPERATIONS PRODUCE MORE TRASH THAN CAN BE ACCOMMODATED IN THE DUMPSTER FACILITY, THE OWNER WILL BE REQUIRED TO CONTRACT WITH A PRIVATE COLLECTION COMPANY WHO CAN ACCOMMODATE MORE FREQUENT PICKUP.

TRAFFIC ENGINEERING:

- A LANE OR SIDEWALK CLOSURE PERMIT MUST BE OBTAINED FROM THE TOWN'S PUBLIC WORKS DEPARTMENT AT LEAST 5 BUSINESS DAYS PRIOR TO CLOSURE.



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AIA 2030 Commitment | SUSTAINABILITY

Project:

11SIXTY5
Weaver Dairy
Road

1165 Weaver Dairy Rd.
Chapel Hill, NC 27514

PIN:
9880350595



NOT ISSUED FOR
CONSTRUCTION

Job Number: 1529

Drawn	WLR, MTC, VJC
Checked	WLR, VJC
Date	11-30-17
Revisions	1-25-18 TRT COMMENT REVISIONS 2-22-18 TOWN COMMENT REVISIONS

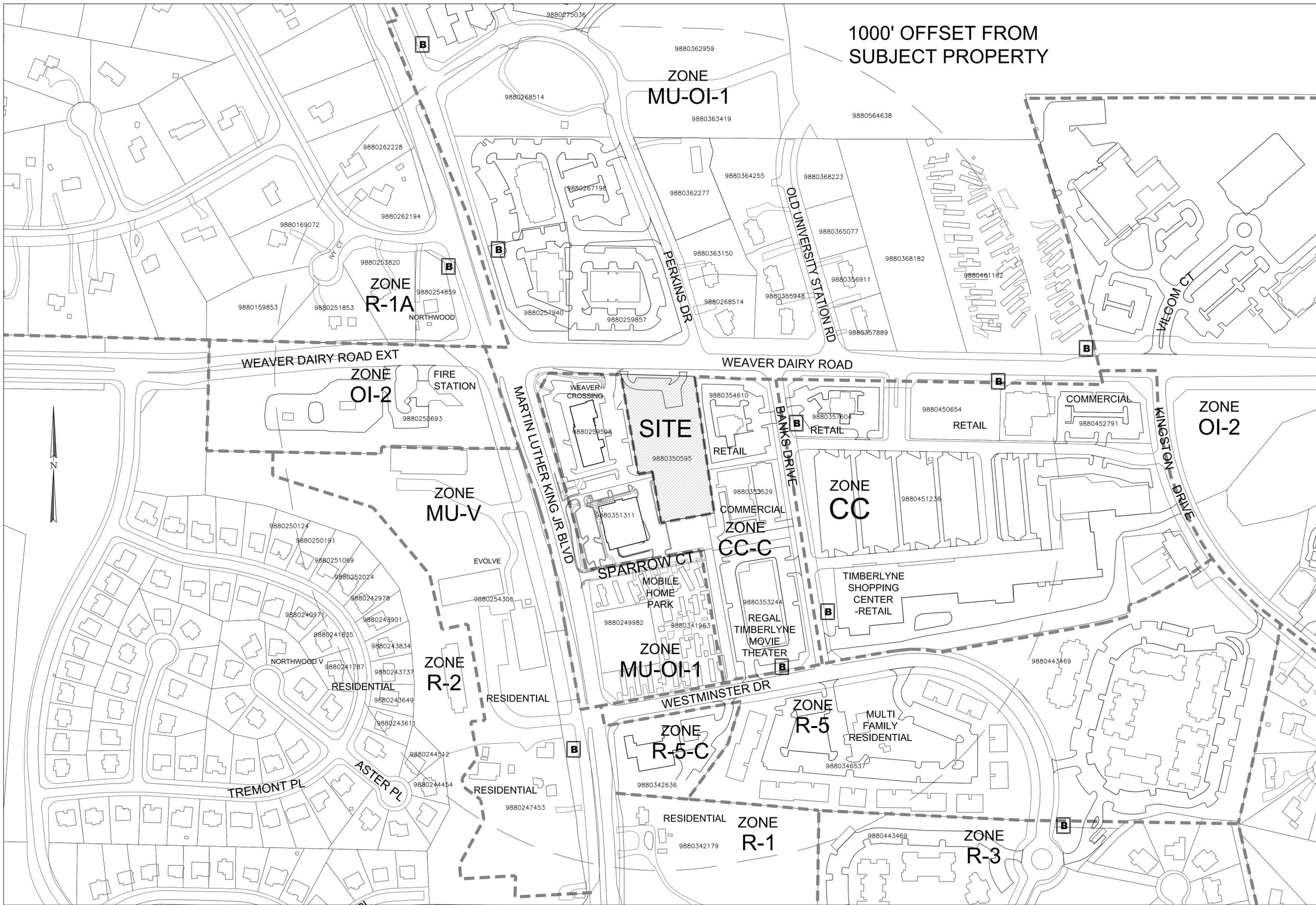
SPECIAL USE PERMIT

Sheet Title:

COVER
SHEET

Sheet Number

C-0



1000' OFFSET FROM
SUBJECT PROPERTY

ZONE
MU-OI-1

ZONE
R-1A
NORTHWOOD

ZONE
OI-2

ZONE
MU-V

ZONE
MU-OI-1

ZONE
R-2

ZONE
R-5-C

ZONE
CC

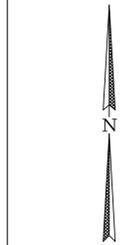
ZONE
CC-C

ZONE
R-5

ZONE
R-1

ZONE
R-3

ZONE
OI-2



1
C-0.1
AREA MAP
1" = 120'-0"



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	2-22-18
	TOWN COMMENT REVISIONS

SPECIAL USE PERMIT

Sheet Title:

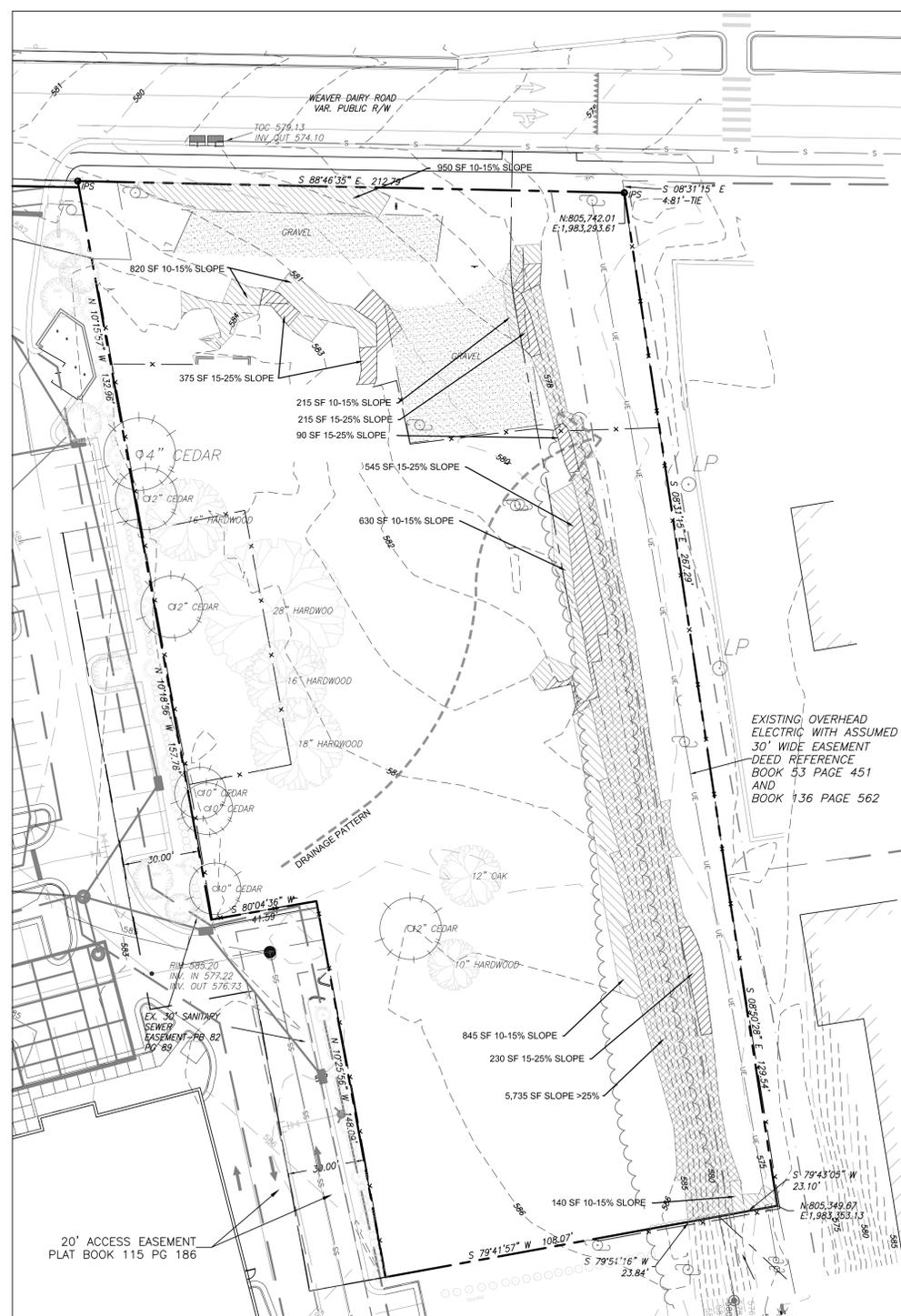
**AREA
MAP**

Sheet Number

C-0.1



1 EXISTING CONDITIONS
C-1.0
1" = 30'



2 SITE ANALYSIS
C-1.0
1" = 30'

GENERAL:
THE SITE IS CURRENTLY VACANT WITH FEW SPECIMEN TREES. THERE IS A 40' WIDE ELECTRIC POWER EASEMENT ALONG THE EASTERN PROPERTY LINE.

HYDROLOGICAL FEATURES/DRAINAGE
THERE ARE NO WATER FEATURES ON THE SITE. THE SITE SITS ON HIGH GROUND AND GENERALLY DRAINS FROM SOUTHWEST TO NORTHEAST.

SOIL TYPES
THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES TWO SOILS ON THIS SITE. THE NORTHERN HALF OF THE SITE IS Hrc, A HERDON SILT LOAM WITH 6%-10% SLOPES. THE SOUTH HALF OF THE SITE IS GcB A GEORGEVILLE SILT LOAM WITH 2%-6% SLOPES.

FEMA FLOODPLAIN INFORMATION.
THERE IS NO MAPPED FLOODPLAIN ON SITE. FEMA PANEL 9880.

TOPOGRAPHY/SLOPES:
EIGHTY PERCENT OF THE SITE IS FAIRLY FLAT, WITH AN AVERAGE SLOPE OF ABOUT 3%. THE NORTH PORTION OF THE SITE IS A LITTLE STEEPER AT ABOUT 5-6% SLOPE, AND THE BACK OF THE SITE HAS A FLATTER 2-3% SLOPE.

THE SITE SLOPES FROM SOUTHWEST TO NORTHEAST, AND DROPS APPROXIMATELY 11 FEET OVER THE LENGTH OF THE PARCEL. THE DEVELOPMENT WILL TAKE ADVANTAGE OF THIS DROP BY SETTING PARKING DECK LEVELS TO ACCESS WEAVER DAIRY ROAD GRADES, AND A DIFFERENT ACCESS POINT TO THE ADJACENT WEAVER CROSSING DEVELOPMENT.

THERE ARE STEEP SLOPES ON THE SITE WITHIN THE ELECTRIC EASEMENT. THESE APPEAR TO HAVE BEEN CREATED WHEN THE SITE WAS LEVELED TO BUILD THE FORMER SCHOOL AND / OR EXISTING SHOPPING PLAZA.

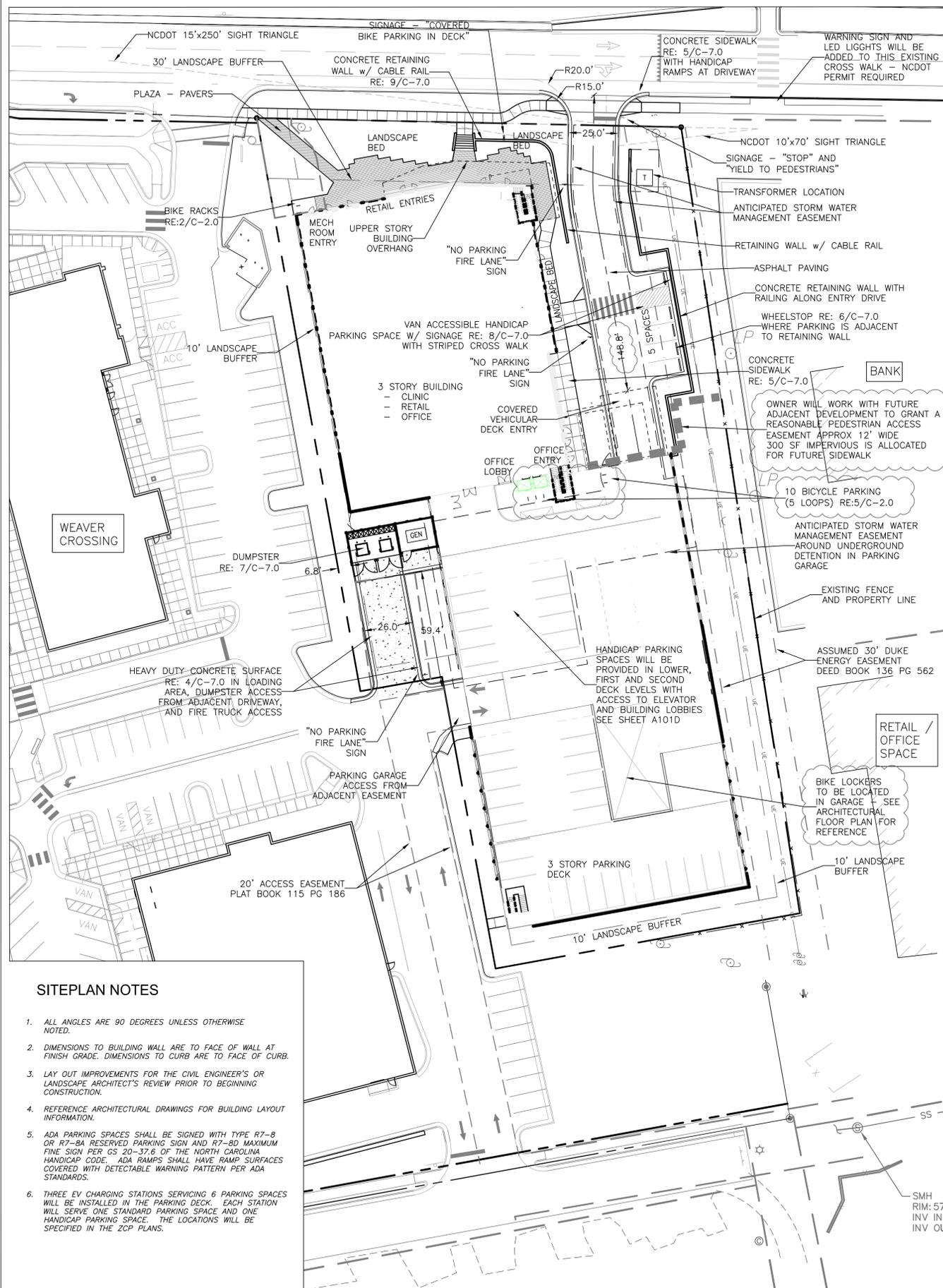
EXISTING SLOPES:
10-15% = 3,600 SF (4.6% OF THE SITE)
15-25% = 1,365 SF (1.7% OF THE SITE)
>25% = 5,735 SF (7.3% OF THE SITE)
86.4% OF THE SITE HAS <10% SLOPE

EXISTING STEEP SLOPES
>25% TO BE REMOVED:
5,735 SF - 100%

SUN/SHADE PATTERNS
THE SUN WILL PASS AROUND THE BACK SIDE OF THE BUILDING AND PARKING STRUCTURE DURING THE COURSE OF THE DAY. THE RETAIL ENTRIES AND THE PLAZA ON THE NORTH SIDE WILL BE IN THE SHADE MOST OF THE DAY. THE OFFICE AND CLINIC ENTRIES ON THE EAST WILL GET THE MORNING SUN. THEY WILL HAVE CANOPIES TO PROTECT PEDESTRIANS FROM SUN AND RAIN. TREES WILL BE ADDED TO THE EAST AND WEST BUILDING FACADE AREAS, AS WELL AS THROUGHOUT THE PEDESTRIAN PLAZA AND ALONG THE SOUTH SIDE OF THE PUBLIC SIDEWALK ON WEAVER DAIRY ROAD.

THE MAJORITY OF PARKING WILL BE IN A DECK. THE FEW SURFACE PARKING SPACES WILL BE SHADED MUCH OF THE DAY BY THE PARKING DECK, AND FROM THE HOT WEST AFTERNOON SUN BY THE BUILDING.

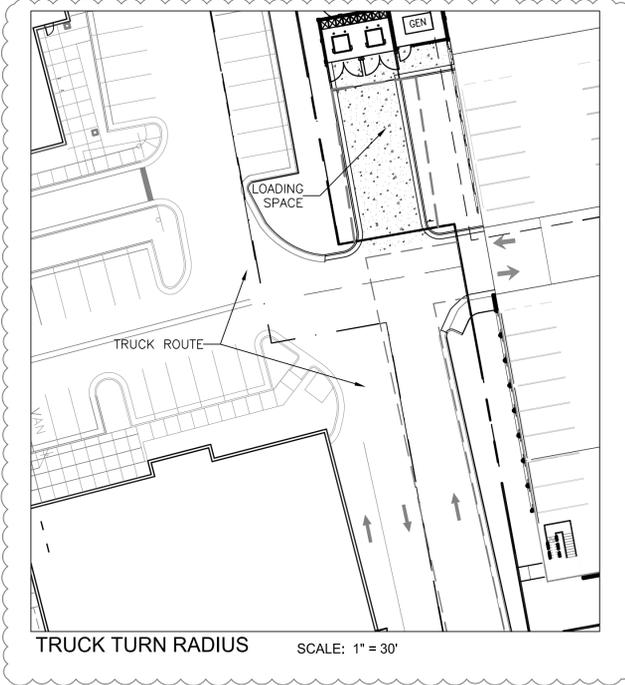
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	TOWN COMMENT REVISIONS



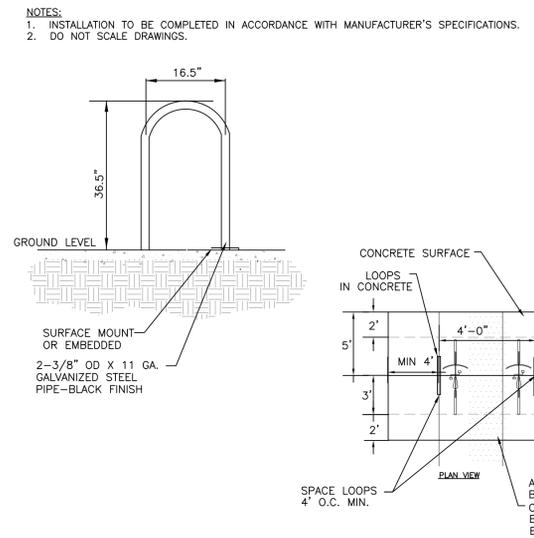
SITEPLAN NOTES

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-B OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- THREE EV CHARGING STATIONS SERVING 6 PARKING SPACES WILL BE INSTALLED IN THE PARKING DECK. EACH STATION WILL SERVE ONE STANDARD PARKING SPACE AND ONE HANDICAP PARKING SPACE. THE LOCATIONS WILL BE SPECIFIED IN THE ZCP PLANS.

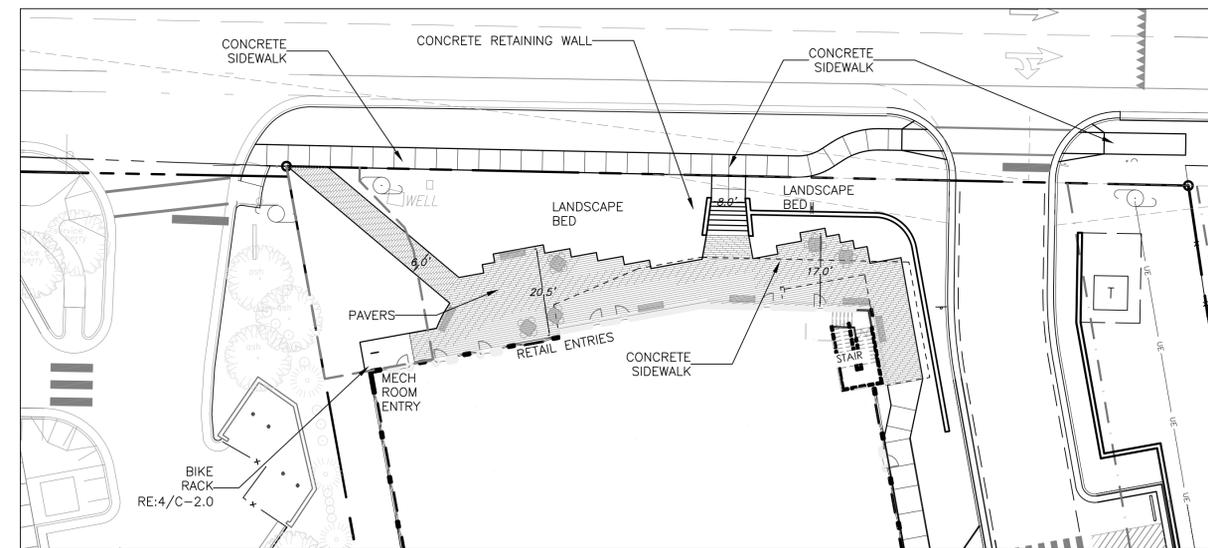
1 SITE PLAN
C-2.0 1" = 30'



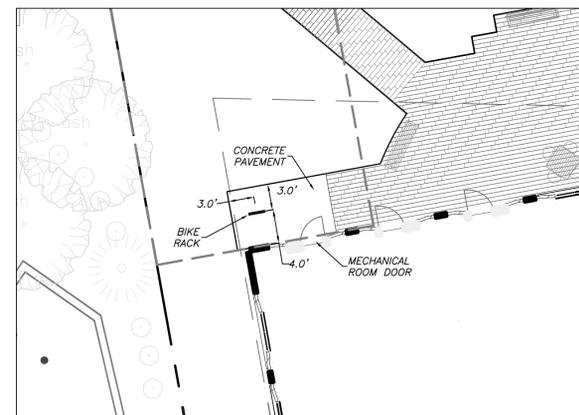
TRUCK TURN RADIUS SCALE: 1" = 30'



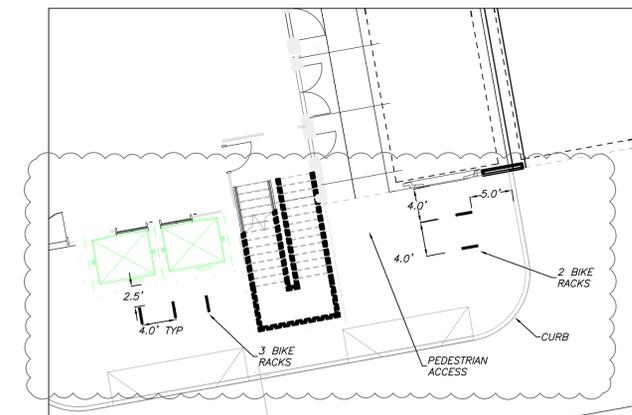
2 BICYCLE RACK
C-2.0 NTS



3 PLAZA DETAIL PLAN
C-2.0 1" = 20'



4 DIMENSIONS - SHORT TERM BIKE RACKS
C-2.0 1" = 10'



5 DIMENSIONS - SHORT TERM BIKE PARKING - DECK
C-2.0 1" = 10'



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AIA 2030 Commitment SUSTAINABILITY

Project:

11SIXTY5
Weaver Dairy Road

1165 Weaver Dairy Rd.
Chapel Hill, NC 27514

PIN:
9880350595



NOT ISSUED FOR CONSTRUCTION

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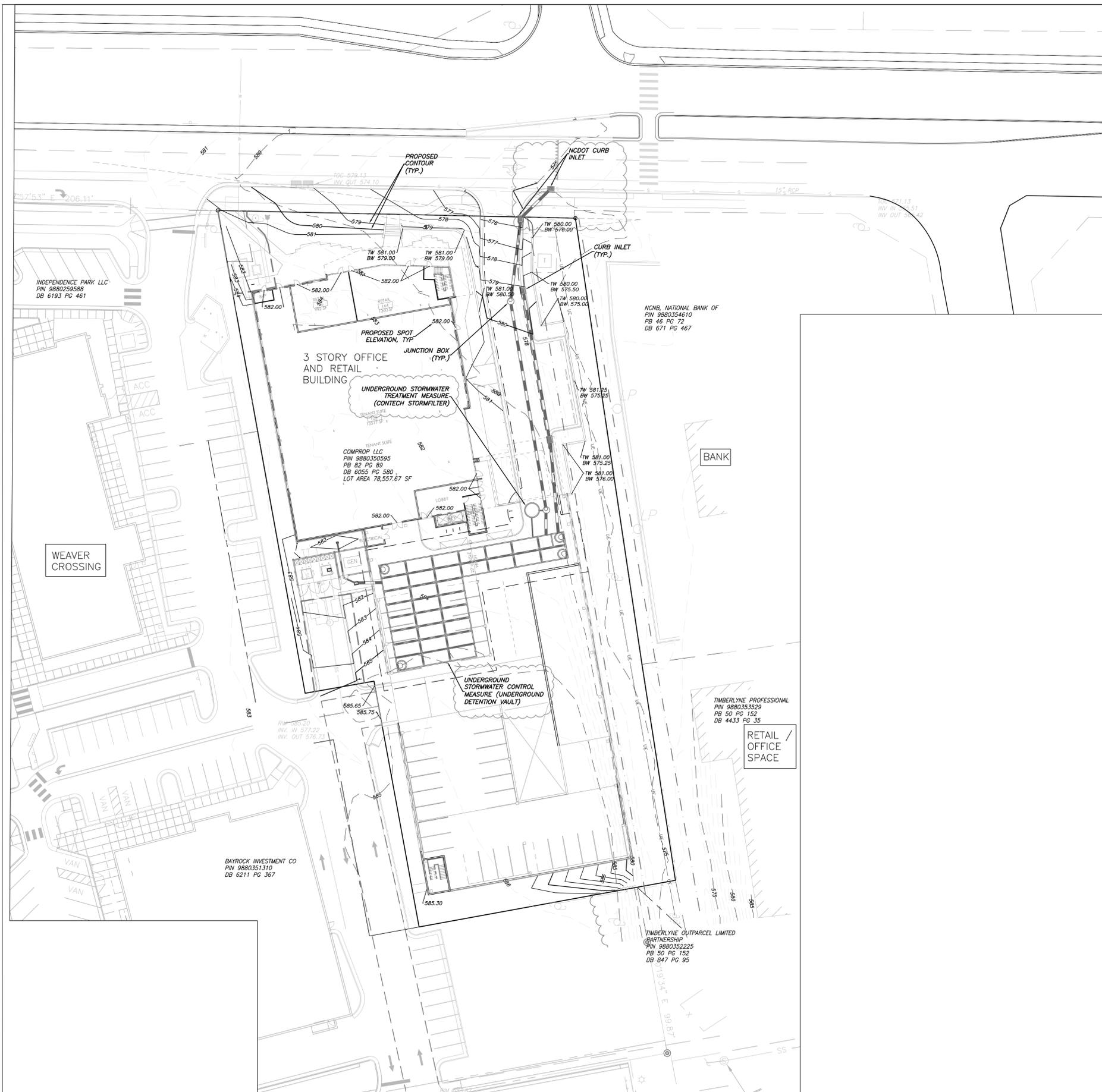
SPECIAL USE PERMIT

Sheet Title:

SITE PLAN

Sheet Number

C-2.0



storm drainage notes

1. PARKING GARAGE DRAINAGE:
 - A. DRAINAGE FROM THE TOP LEVEL SHALL DRAIN TO THE STORMWATER CONTROL MEASURE.
 - B. ALL OTHER DRAINAGE SHALL DRAIN TO SANITARY SEWER.
 - C. PARKING GARAGE DRAINAGE PLANS WILL BE PROVIDED AT ZCP.
2. BUILDING DRAINAGE:
 - A. ALL BUILDING ROOF DRAINAGE SHALL DRAIN TO THE STORMWATER CONTROL MEASURE.
 - B. BUILDING ROOF DRAINAGE PLANS WILL BE PROVIDED AT ZCP.
3. PRIOR TO ISSUANCE OF ZCP, A GEOTECHNICAL ENGINEERING REPORT SHALL BE PROVIDED INDICATING THE ELEVATION OF THE SEASONAL HIGH WATER TABLE WITHIN THE AREA OF THE PROPOSED STORMWATER CONTROL MEASURE.

1 GRADING AND DRAINAGE PLAN
 C-3.0
 1" = 30'



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Project:

11SIXTY5
Weaver Dairy Road

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 Chapel Hill, NC 27514

PIN:
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NOT ISSUED FOR CONSTRUCTION

Job Number: 1529

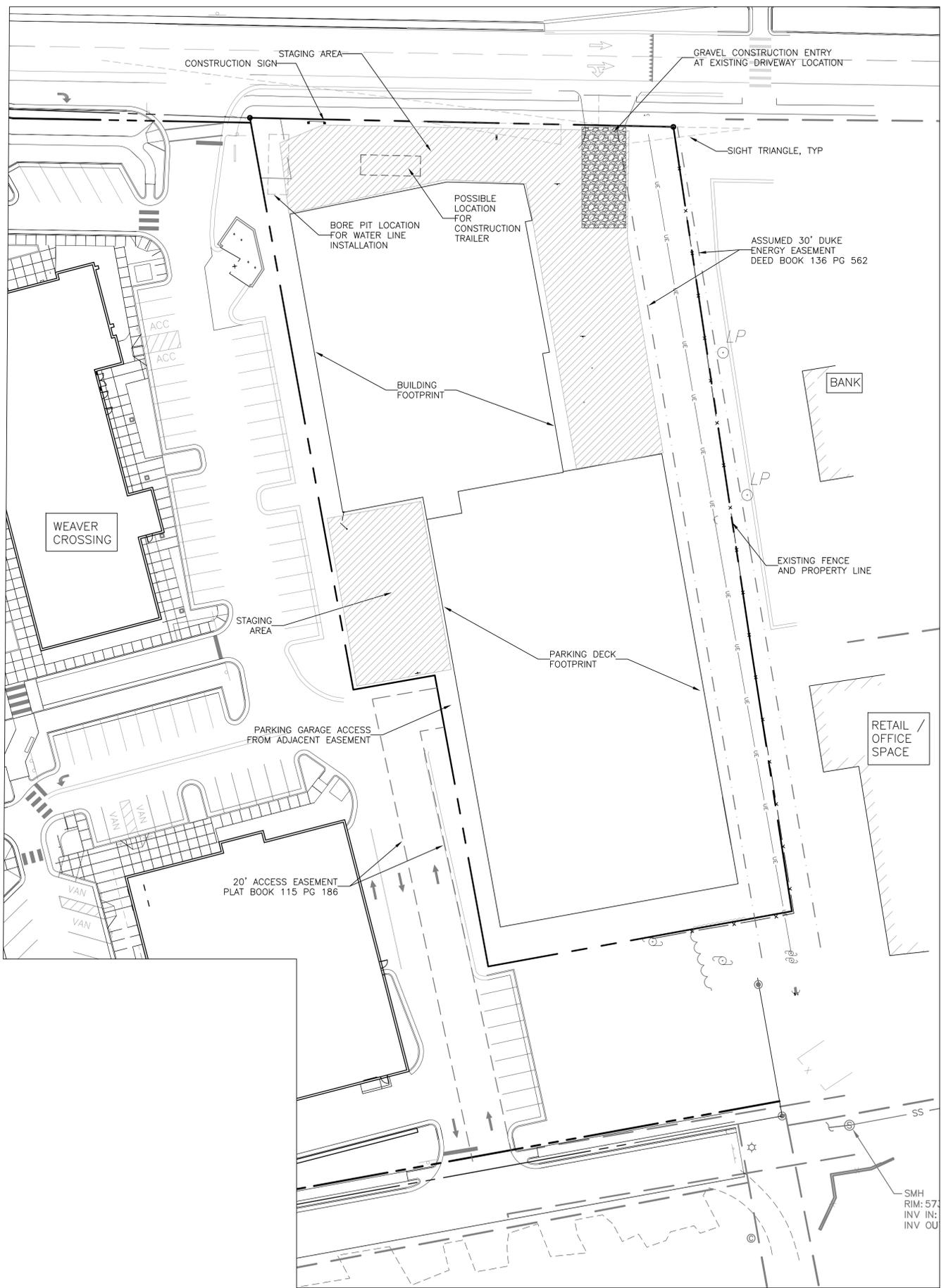
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SPECIAL USE PERMIT

Sheet Title:

GRADING PLAN

Sheet Number
C-3.0



TOWN NOISE ORDINANCE:
 -COMPLIANCE WITH THE TOWN NOISE ORDINANCE IS REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.

GENERAL CONSTRUCTION NOTES:
 -A NCDOT ENCROACHMENT AGREEMENT IS REQUIRED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY.
 -ALL PUBLIC SITE ELEMENTS MUST COMPLY WITH NCBC 2012 CH 11 AND ICC A 117.1. CONTACT TOWN FOR INSPECTION OF FORMS PRIOR TO PLACING CONCRETE FOR CURB CUTS AND ACCESSIBLE ROUTES. IN ACCORDANCE WITH THESE REGULATIONS, ANY SIDEWALK EXCEEDING 5% SLOPE WILL BE CONSIDERED A RAMP.

ON SITE CONSTRUCTION NOTE:
 -CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE IS LIMITED TO 1.8%.

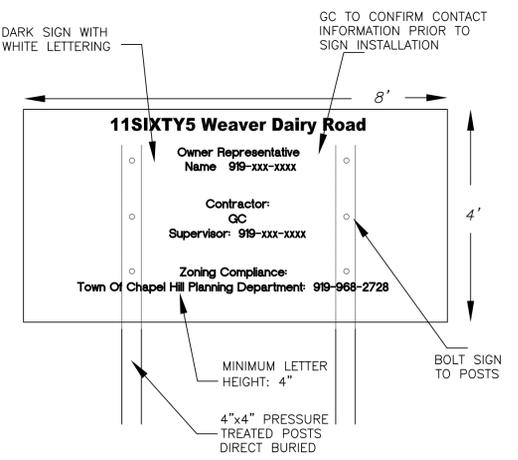
CONSTRUCTION PARKING NOTE:
 -CONSTRUCTION PARKING IS ALLOWED IN CONSTRUCTION STAGING AREAS AND IN THE CONSTRUCTION AREAS ON THE PROJECT SITE DURING THE PROJECT. CONSTRUCTION PARKING WILL NOT BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.

CONSTRUCTION STAGING NOTES

1. CONTRACTOR IS TO ARRANGE FOR CONSTRUCTION PARKING WITHIN THE STAGING AREA OR OFF SITE. NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
2. FIRE HYDRANTS MUST BE FULLY OPERATIONAL AND PHYSICALLY APPROVED BY OWASA BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT INTO THE SITE.

2 CONSTRUCTION NOTES

C-1.1 NTS



- NOTES:**
1. SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
 2. SIGN IS TO BE A MAXIMUM OF 4' X 8'
 3. SIGN IS TO BE REMOVED AT PROJECT COMPLETION

3 CONSTRUCTION SIGN

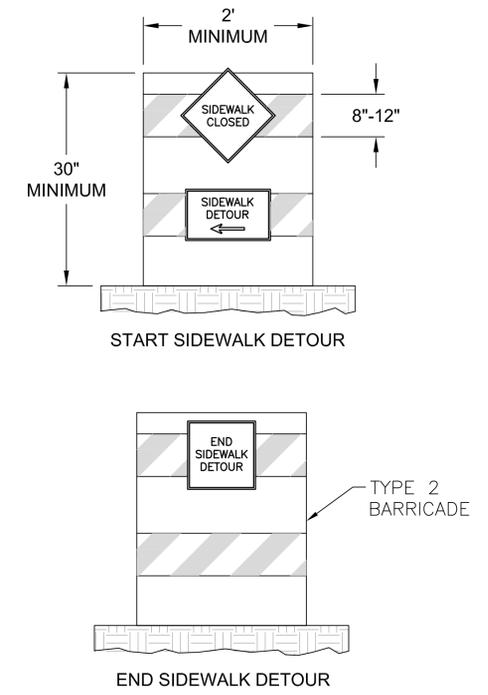
C-1.1 NTS

FIRE PROTECTION NOTES

1. EMERGENCY ACCESS FOR APPARATUS SHALL BE PROVIDED BY THE CONTRACTOR AT ALL TIMES.
2. DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, A WRITTEN ADDRESS SHALL BE POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404
3. ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
4. ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.
5. WHEN THE BUILDING BEING CONSTRUCTED REQUIRES STANDPIPES, A TEMPORARY STANDPIPE CONNECTION WILL BE CONSTRUCTED WITH READY FIRE DEPARTMENT ACCESS WHEN THE BUILDING IS NOT MORE THAN 40' IN HEIGHT. SUCH STANDPIPES SHALL PROVIDE USABLE CONNECTIONS ADJACENT TO THE STAIRS AND SHALL CONTINUE WITH BUILDING PROGRESSION ALWAYS BEING NOT MORE THAN ONE FLOOR BELOW THE HIGHEST FLOOR OF THE BUILDING. NC FPC 2012 SECTION 1413.

TRAFFIC/PEDESTRIAN CONTROL NOTES

1. SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.
2. CONSTRUCTION WILL REQUIRE TEMPORARY SIDEWALK AND LANE CLOSURES ON WEAVER DAIRY ROAD.
3. NOTIFY TOWN OF CHAPEL HILL ENGINEERING DEPARTMENT AT 919-968-2833, MINIMUM 72 HOUR NOTICE IS REQUIRED.
4. ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
5. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS AND A FLAGMAN MUST BE PRESENT AT ALL TIMES WHEN WORK IS OCCURRING IN THE TRAFFIC LANES.
6. PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT ERNIE ROGERS AT 919-968-2833, OF THE CHAPEL HILL ENGINEERING DIVISION, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
7. SIGNS AND TEMPORARY BARRICADES AS SHOWN BELOW WILL BE PLACED TO DIRECT PEDESTRIANS WHEN SIDEWALKS ARE IN THE CONSTRUCTION AREAS.

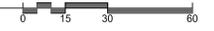


3 TEMPORARY SIDEWALK CLOSURE SIGN

C-1.1 NTS

1 CONSTRUCTION MANAGEMENT PLAN

C-1.1 1" = 30'



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AIA 2030 Commitment SUSTAINABILITY

Project:

11SIXTY5 Weaver Dairy Road

1165 Weaver Dairy Rd.
 Chapel Hill, NC 27514

PIN: 9880350595



NOT ISSUED FOR CONSTRUCTION

Job Number: 1529

Drawn	WLR, MTC, VJC
Checked	WLR, VJC
Date	11-30-17
Revisions	1-25-18
	TRT COMMENT REVISIONS
	2-22-18
	TOWN COMMENT REVISIONS

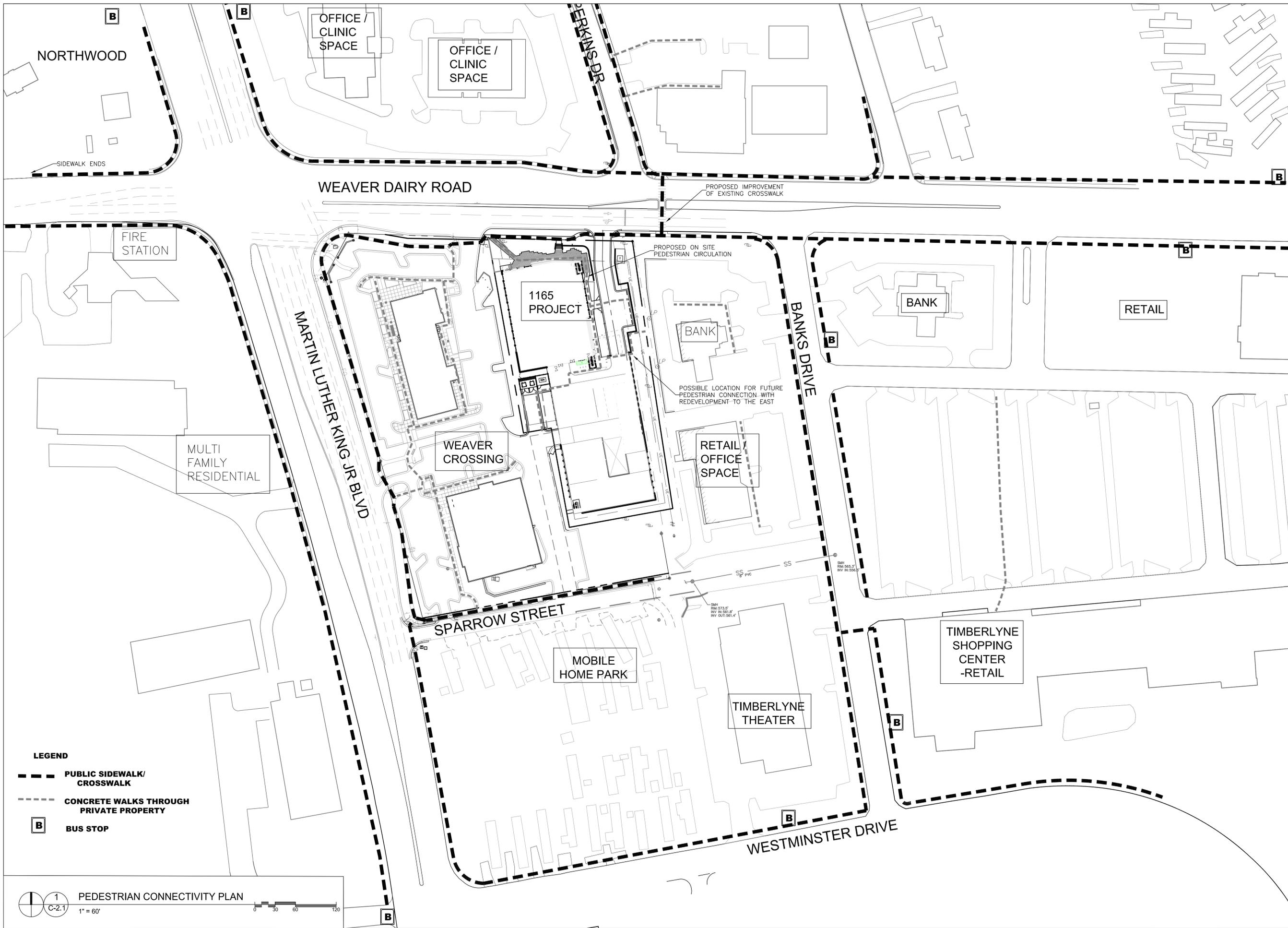
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Sheet Title:

CONSTRUCTION MANAGEMENT PLAN

Sheet Number

C-1.1



- LEGEND**
- PUBLIC SIDEWALK/ CROSSWALK
 - CONCRETE WALKS THROUGH PRIVATE PROPERTY
 - BUS STOP



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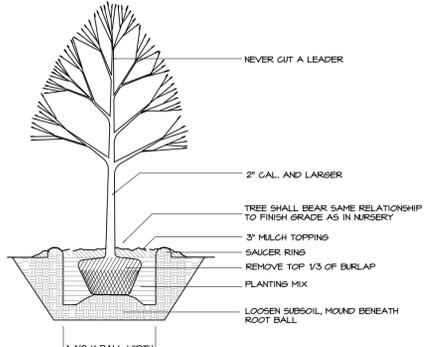
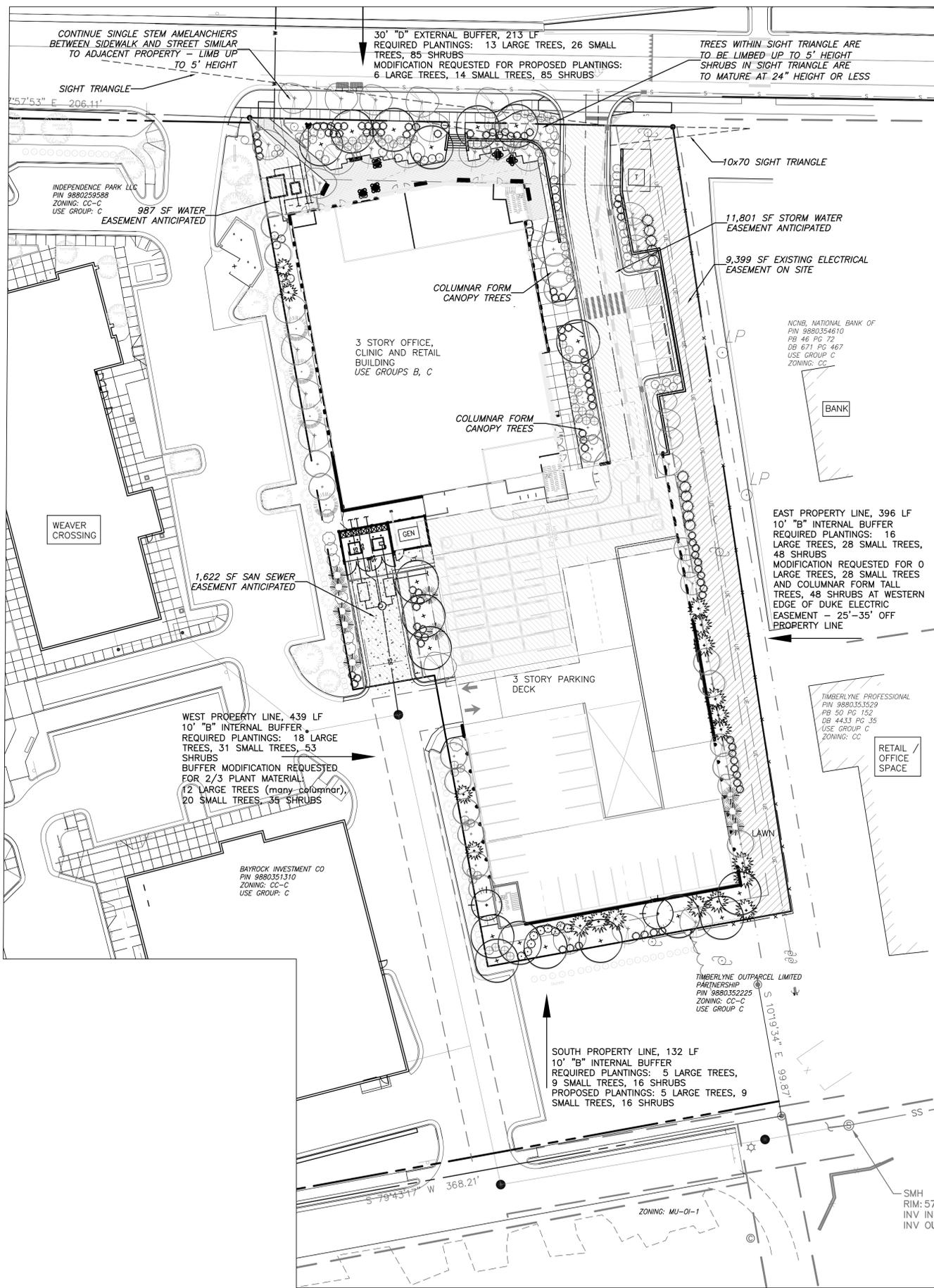
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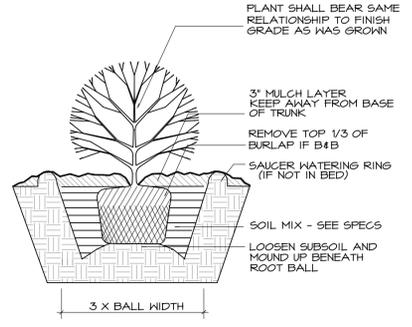
Sheet Title:

PEDESTRIAN CONNECTIVITY PLAN

Sheet Number
C-2.1



2 TREE PLANTING DETAIL
L-1.0 NTS



3 SHRUB PLANTING DETAIL
L-1.0 NTS

LANDSCAPE BUFFER PLAZA / PLANTINGS WILL INCLUDE A SELECTION FROM:

- CANOPY TREES:**
 ACER RUBRUM 'AUTUMN BLAZE' - Autumn Blaze Red Maple
 ACER SACCHARUM 'Legacy' - Legacy Sugar Maple
 CARPINUS BETULUS 'Fastigata' - Upright Hornbeam
 LIQUIDAMBER STYRACIFLUA 'Rotundiloba' - Fruitless Sweet Gum
 QUERCUS NUTALLII - Nuttall Oak
 ULMUS AMERICANA 'Princeton' - Princeton Elm

- UNDERSTORY TREES:**
 AMELANCHIER SPP AUTUMN BRILLIANCE - Autumn Brilliance Serviceberry
 CORNUS FLORIDA 'White Cloud' - White Flowering Dogwood
 CORNUS KOUSA - Kousa Dogwood
 ILEX CORNUTA 'Steads' - Steeds Holly
 LAGERSTROEMIA FAUREI - Grape Myrtle
 PRUNUS LAUROCERASUS - Cherry Laurel
 MYRICA CERIFERA - Southern Wax Myrtle
 THUJA STANDISH x PLICATA 'Green Giant' - Green Giant Arborvitae
 VITEX AGNUS-CASTUS - Chaste Tree

- SHRUBS/GROUNDCOVER:**
 ABELIA X GRANDIFLORA - Glossy Abelia
 BUXUS - Boxwood varieties
 CAMELLIA JAPONICA - Japanese Camellia
 CALLICARPA AMERICANA - American Beautyberry
 CEPHALOTAXUS HARRINGTONIA 'Fastigata' - Upright Plum Yew
 EVONYMUS JAPONICUS 'Monesue' - Silver Princess Evonymus
 GARDENIA JASMINOIDES - Gardenia varieties
 HELLEBORUS ORIENTALIS - Lenten Rose
 ILEX GLABRA - Inkberry
 ILEX VERTICILLATA - Deciduous Holly
 ILLICIAM PARVIFLORUM - Anise
 LIRIOPE MUSCARI - Liriope
 MUEHLENBERGIA CAPILLARIS - Pink Muhly Grass
 MYRICA CERIFERA - Southern Waxmyrtle
 PANICUM - Switchgrass
 ROSA - Drift Roses

INSTALLATION SIZE WILL VARY:
 24"-30" ht for larger shrubs
 12"-15" ht for low growing / spreading shrubs

LANDSCAPE BUFFER PLANTINGS IN DUKE ENERGY EASEMENT WILL INCLUDE A SELECTION FROM:

- UNDERSTORY TREES:**
 AMELANCHIER CANADENSIS - Serviceberry
 CHIONANTHUS VIRGINICUS - Fringe Tree
 HAMAMELIS VERNALIS - Vernal Witch Hazel
 ILEX CORNUTA 'Steads' - Steeds Holly
 MAGNOLIA STELLATA - Star Magnolia
 MAGNOLIA GRANDIFLOR 'Little Gem' - Little Gem Magnolia
 VITEX AGNUS-CASTUS - Chaste Tree

- SHRUBS/GROUNDCOVER:**
 ABELIA X GRANDIFLORA - Glossy Abelia
 BUXUS - Boxwood varieties
 CAMELLIA JAPONICA - Japanese Camellia
 CALLICARPA AMERICANA - American Beautyberry
 CEPHALOTAXUS HARRINGTONIA 'Fastigata' - Upright Plum Yew
 ILEX GLABRA - Inkberry
 ILLICIAM PARVIFLORUM - Anise
 MYRICA CERIFERA - Southern Waxmyrtle

INSTALLATION SIZE: 24"-36" ht

PARKING LOT PLANTINGS WILL INCLUDE A SELECTION FROM:

- CANOPY TREES:**
 ACER RUBRUM 'October Glory' - October Glory Red Maple
 CARPINUS BETULUS 'Fastigata' - Columnar Hornbeam
 ULMUS PARVIFOLIA - Chinese Elm
 ZELKOVA SERRATA 'Village Green' - Village Green Zelkova

- SHRUBS/GROUNDCOVER:**
 ILEX - Small hollies
 JUNIPERUS SARGENTII - Low growing Juniper
 LOROPETALUM CHINENSIS - low growing varieties Loropetalum
 MUEHLENBERGIA CAPILLARIS - Pink Muhly Grass
 PANICUM VIRGATUM 'Shenandoah' - Shenandoah Switchgrass

INSTALLATION SIZE WILL VARY
 18"-30" ht for large shrubs, 12"-15" ht for small/spreading shrubs

4 PLANT LIST
L-1.0

TREE COVERAGE CALCULATIONS

NET LAND AREA:
 = 78,557 SF
 LESS OVERHEAD UTILITY EASEMENT OF 9,399 SF
 LESS ANTICIPATED STORM EASEMENT OF 11,801 SF
 LESS ANTICIPATED SANITARY SEWER EASEMENT OF 1,622 SF
 LESS ANTICIPATED WATER EASEMENT OF 987 SF

NET SITE SIZE = 54,748 SF

REQUIRED TREE COVERAGE
 30% OF SITE = 16,424 SF

PROVIDED TREE COVERAGE:
 NO EXISTING CANOPY COVERAGE RETAINED
 33 NEW CANOPY TREES
 FOR 16,500 SF COVERAGE CREDIT

5 TREE COVERAGE SUMMARY
L-1.0

1 LANDSCAPE PLAN
L-1.0 1" = 30'

Project:
11SIXTY5
Weaver Dairy Road

1165 Weaver Dairy Rd.
 Chapel Hill, NC 27514

PIN:
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	TOWN COMMENT REVISIONS

SPECIAL USE PERMIT

Sheet Title:

LANDSCAPE AND TREE CANOPY PLAN

Sheet Number
L-1.0

FOR REFERENCE ONLY

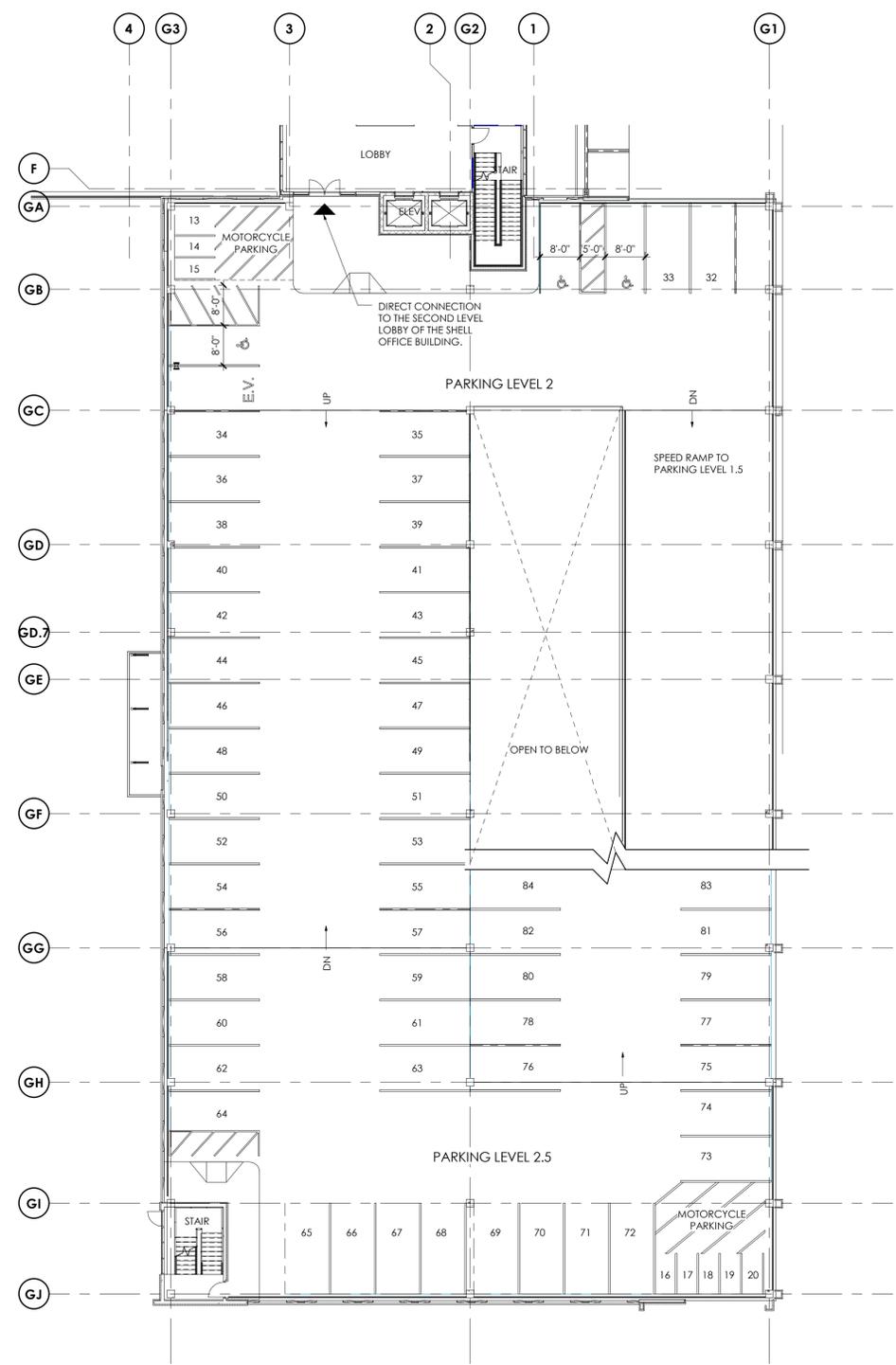
ALL STRUCTURED PARKING INFORMATION SHOWN IS IN PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE BASED ON REQUIREMENTS OF THE NCSBC, BUILDING OWNER REQUESTS, AND FUTURE TENANT NEEDS.

STRUCTURED PARKING INFORMATION:

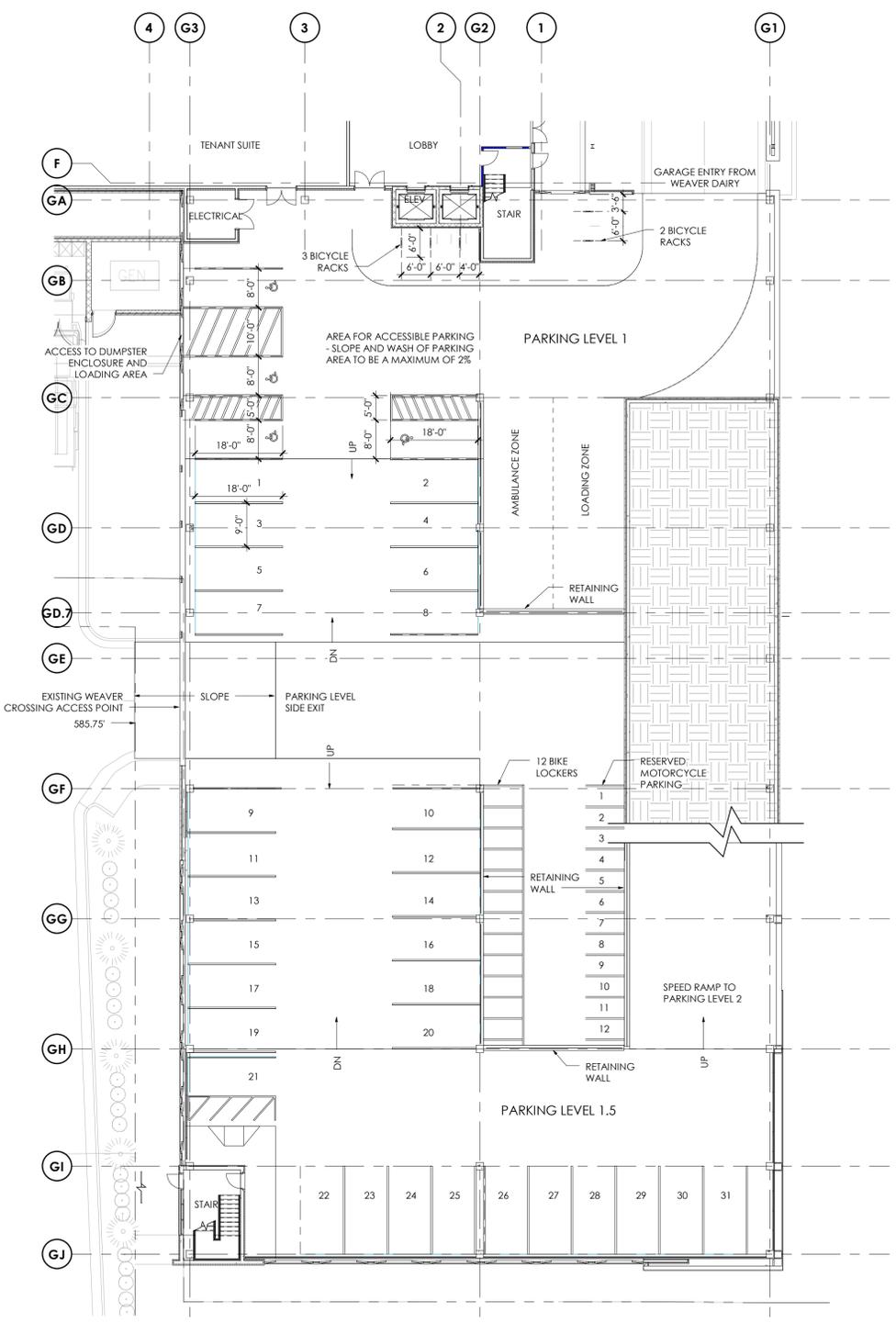
STANDARD PARKING SPACES:	215 SPACES
VAN ACCESSIBLE PARKING SPACES:	5 SPACES
STANDARD ACCESSIBLE PARKING SPACES:	8 SPACES
ELECTRIC VEHICLE PARKING SPACES:	3 SPACES
STANDARD BICYCLE STORAGE:	5 RACKS 10 SPACES
LOCKED BICYCLE STORAGE:	12 LOCKERS
MOTORCYCLE PARKING SPACES:	41 SPACES

- GENERAL NOTES:**
- FLOOR PLANS AND ELEVATIONS AS SHOWN ARE SUBJECT TO REVISIONS BASED ON COMMENTS AND REQUESTS FROM THE TOWN OF CHAPEL HILL AS A PART OF THE SPECIAL USE PERMIT PROCESS.
 - FLOOR PLANS AND ELEVATIONS AS SHOWN ARE SUBJECT TO REVISION BASED ON COSTING EXERCISES.
 - PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR DIRECTION.
 - INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNLESS OTHERWISE NOTED, MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
 - ALL INTERIOR DOORS TO BE LOCATED 6" OFF PERPENDICULAR WALL, UNO. DIMENSION TO INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET ANSI A117.1 2009 ACCESSIBLE CLEARANCES.
 - REFER TO THE OWNER FURNISHED OWNER INSTALLED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S CONTRACTORS THE SIZE, LOCATION, AND BLOCKING REQUIREMENTS.
 - PLUMBING AND ELECTRICAL UTILITY SERVICES SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BUILDING. GC RESPONSIBLE FOR FINAL COORDINATION OF THESE ELEMENTS IF SITE CONDITIONS VARY FROM THE CIVIL / LANDSCAPE DESIGN DOCUMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
 - REFER TO CIVIL / LANDSCAPE DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 6" BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

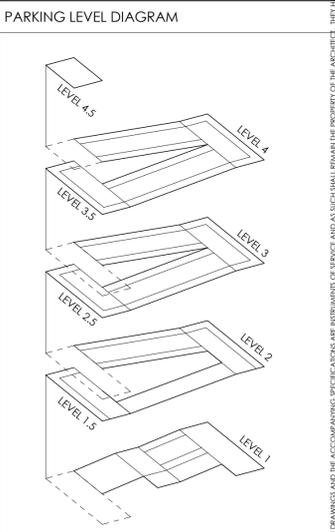
- DRAWING REFERENCES:**
- REFER TO G006 FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARM, FIRE STROBE, THERMOSTATS, ETC.
 - REFER TO SHEET G200 FOR EXTERIOR WALL TYPE INFORMATION.
 - REFER TO SHEET G210 FOR INTERIOR WALL TYPE INFORMATION, UNLESS NOTED OTHERWISE, ALL INTERIOR WALLS TO BE B1.



FLOOR PLAN - PARKING LEVEL 2
1/16" = 1'-0" **2**



FLOOR PLAN - PARKING LEVEL 1
1/16" = 1'-0" **1**



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Project:

**11SIXTY5
WEAVER
DAIRY**

SHELL OFFICE
BUILDING
1165 WEAVER DAIRY
CHAPEL HILL, NC

PIN:
9880350595

NOT ISSUED FOR CONSTRUCTION

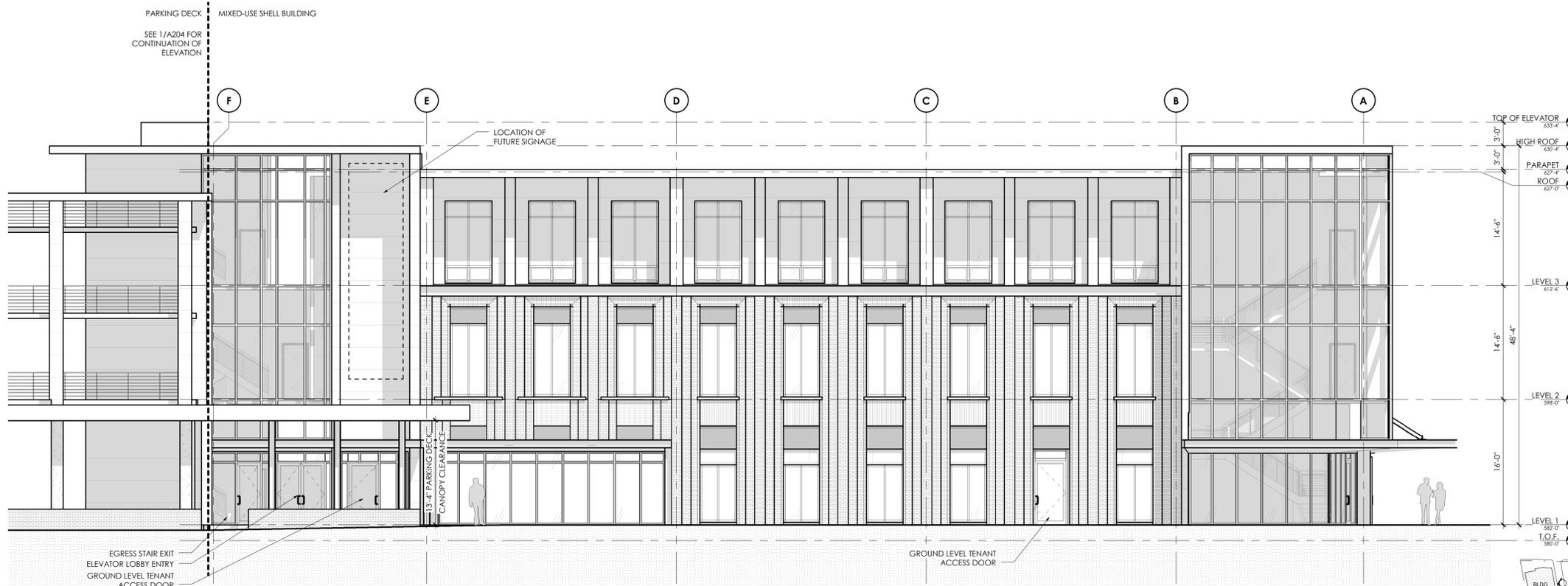
Job Number: 15060

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Date	01/25/18
Revisions	

SPECIAL USE PERMIT

Sheet Title:
**FLOOR PLANS
- PARKING
LEVELS 1 & 2**

Sheet Number
A101D



EAST ELEVATION ②
SITE ACCESS DRIVE ELEVATION: 1'-0"



NORTH ELEVATION ①
WEAVER DAIRY ELEVATION: 1'-0"

GENERAL NOTES:

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- PLUMBING AND ELECTRICAL UTILITY SERVICES SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BUILDING. GC RESPONSIBLE FOR FINAL COORDINATION OF THESE ELEMENTS IF SITE CONDITIONS VARY FROM THE CIVIL / LANDSCAPE DESIGN DOCUMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
- REFER TO CIVIL / LANDSCAPE DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 4" BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

DRAWING REFERENCES:

- REFER TO G006 FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARM, FIRE SMOKE, THERMOSTATS, ETC.
- REFER TO SHEET G200 FOR EXTERIOR WALL TYPE INFORMATION.
- REFER TO SHEET G210 FOR INTERIOR WALL TYPE INFORMATION, UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE B1.

DESIGN NARRATIVE

THE DESIGN INTENT FOR MATERIAL EXPRESSION IS BRICK VENEER ON LEVEL 1 & 2, AND AN ALTERNATE MATERIAL (METAL PANEL/EIPS) ON LEVEL 3, WITH LARGE AREAS OF GLAZING BREAKING UP THE ELEVATIONS TO SIGNIFY MOVEMENT AND ENTRY.

ToCH BLDG HGT REQ'S - OI-3

TABLE 3.8-1 - DIMENSIONAL MATRIX (4/20/2017)

ZONING DISTRICT	(F) PRIMARY HEIGHT	(G) SECONDARY HEIGHT	(H) STREET SETBACK	(I) INTERIOR SETBACK	(J) SOLAR SETBACK
OI-3	N/A	N/A	0'	0'	0'

NOTE: DUE TO THE BUILDING HEIGHT AND SOLAR SETBACK REQUIREMENTS BEING N/A AND 0, THIS INFORMATION HAS NOT BEEN INCLUDED ON THE EXTERIOR ELEVATIONS AS IT HAS NO BEARING ON THE OVERALL BUILDING DESIGN.

FINISH LEGEND - EXTERIOR MATERIALS

UM1
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
NOTE: PRIMARY FIELD BRICK

UM2
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
STACK BOND
NOTE: SECONDARY COLOR

MP1
07 4213.2 METAL COMPOSITE MATERIAL
DESCRIPTION: Metal Composite Metal
TYPE: Fire Retardant Core
SIZE: Refer to Sections and Elevations
THICKNESS: 0.157" Material, 2" Panel
STYLE: Route and Return

CW1
08 4413 Glazed Aluminum Curtain Wall
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
TYPE: RELIANCE-SS CASSETTE
SIZE: 2 1/2" x 8"
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE

ES1
08 4113 Entrances and Storefronts
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
TYPE: SERIES 3000 THERMAL MULTIPLANE
SIZE: 2' x 4 1/2"
STYLE: FRONT SET - 1" GLAZING
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE

GL1
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SNX 51/23
SIZE: 1" Unit Width
NOTE: Temper as indicated on Elevations

GL1*
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SNX 51/23
SIZE: 1" Unit Width
Apply Translucent Film on Surface 4
NOTE: Temper as indicated on Elevations

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Project: **11SIXTY5 WEAVER DAIRY**

SHELL OFFICE BUILDING
1165 WEAVER DAIRY CHAPEL HILL, NC

PIN: 9880350595

NOT ISSUED FOR CONSTRUCTION

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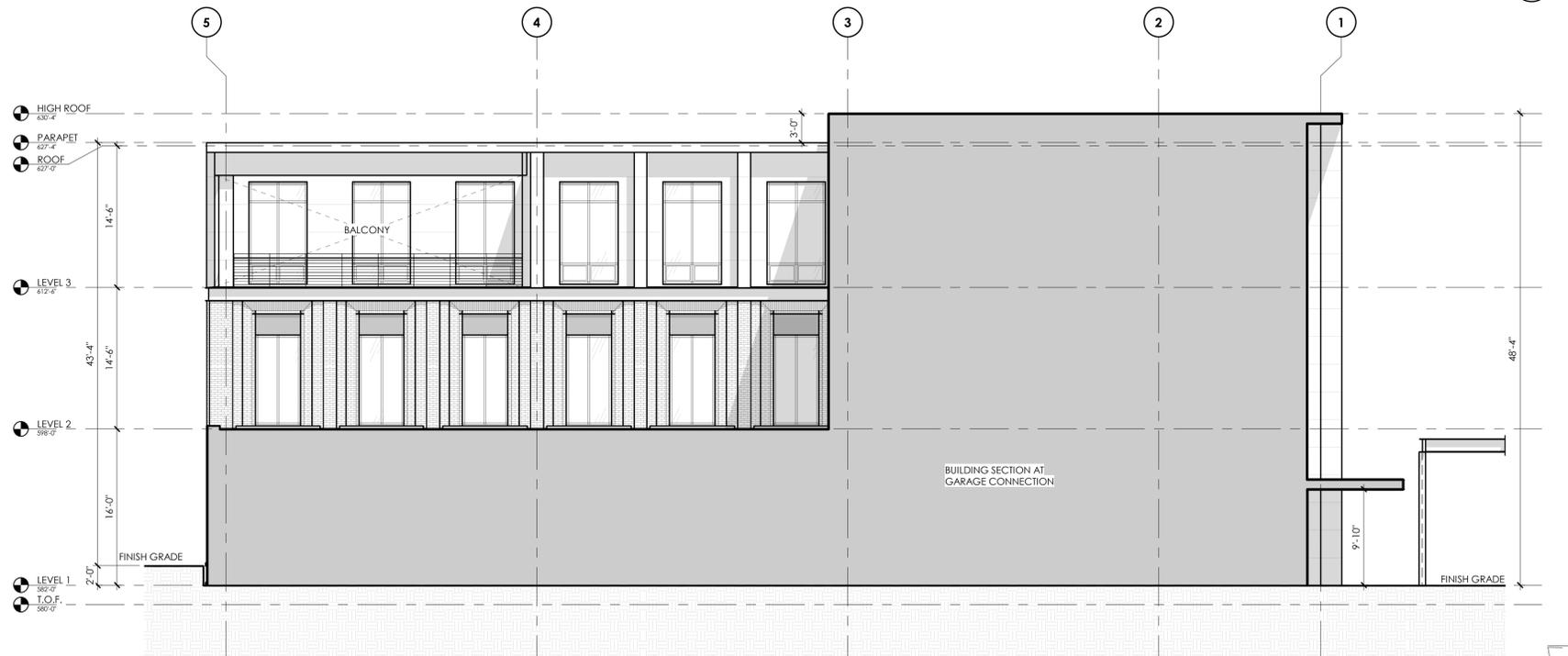
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Sheet Title: **BUILDING ELEVATIONS**

Sheet Number: **A200**



WEST ELEVATION
ELEVATION FACING WEAVER CROSSING



SOUTH ELEVATION
ELEVATION FACING PARKING DECK

GENERAL NOTES:

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3. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR DIRECTION.
5. INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
6. ALL INTERIOR DOORS TO BE LOCATED 4" OFF PERPENDICULAR WALL, UNO. DIMENSION TO INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET ANSI A117.1 2009 ACCESSIBLE CLEARANCES.
7. REFER TO THE OWNER FURNISHED OWNER INSTALLED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S CONTRACTORS THE SIZE, LOCATION, AND BLOCKING REQUIREMENTS.
8. PLUMBING AND ELECTRICAL UTILITY SERVICES SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BUILDING. GC RESPONSIBLE FOR FINAL COORDINATION OF THESE ELEMENTS IF SITE CONDITIONS VARY FROM THE CIVIL / LANDSCAPE DESIGN DOCUMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
9. REFER TO CIVIL / LANDSCAPE DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 4" BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

DRAWING REFERENCES:

1. REFER TO G006 FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARMS, FIRE STROBE, THERMOSTATS, ETC.
2. REFER TO SHEET G200 FOR EXTERIOR WALL TYPE INFORMATION.
3. REFER TO SHEET G210 FOR INTERIOR WALL TYPE INFORMATION, UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE B1.

DESIGN NARRATIVE

THE DESIGN INTENT FOR MATERIAL EXPRESSION IS BRICK VENEER ON LEVEL 1 & 2, AND AN ALTERNATE MATERIAL (METAL PANEL/EIFS) ON LEVEL 3, WITH LARGE AREAS OF GLAZING BREAKING UP THE ELEVATIONS TO SIGNIFY MOVEMENT AND ENTRY.

ToCh BLDG HGT REQ'S - OI-3

TABLE 3.8-1 - DIMENSIONAL MATRIX (4/20/2017)					
ZONING DISTRICT	PRIMARY HEIGHT	SECONDARY HEIGHT	STREET SETBACK	INTERIOR SETBACK	SOLAR SETBACK
OI-3	N/A	N/A	0'	0'	0'

NOTE: DUE TO THE BUILDING HEIGHT AND SOLAR SETBACK REQUIREMENTS BEING N/A AND 0, THIS INFORMATION HAS NOT BEEN INCLUDED ON THE EXTERIOR ELEVATIONS AS IT HAS NO BEARING ON THE OVERALL BUILDING DESIGN.

FINISH LEGEND - EXTERIOR MATERIALS

- UM1**
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
NOTE: PRIMARY FIELD BRICK
- UM2**
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
STACK BOND
NOTE: SECONDARY COLOR
- MP1**
07 4213.23 METAL COMPOSITE MATERIAL
DESCRIPTION: Metal Composite Metal
TYPE: Fire Retardant Core
SIZE: Refer to Sections and Elevations
THICKNESS: 0.157" Material, 2" Panel
STYLE: Route and Return
- CW1**
08 4413 Glazed Aluminum Curtain Wall
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
TYPE: RELIANCE-SS CASSETTE
SIZE: 2 1/2" x 8"
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE
- ES1**
08 4113 Entrances and Storefronts
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
TYPE: SERIES 3000 THERMAL MULTIPLANE
SIZE: 2' x 4 1/2"
STYLE: FRONT SET - 1" GLAZING
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE
- GL1**
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SNX 51/23
SIZE: 1" Unit Width
NOTE: Temper as indicated on Elevations
- GL1***
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SNX 51/23
SIZE: 1" Unit Width
Apply Translucent Film on Surface 4
NOTE: Temper as indicated on Elevations



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SHELL OFFICE BUILDING
1165 WEAVER DAIRY
CHAPEL HILL, NC

PIN:
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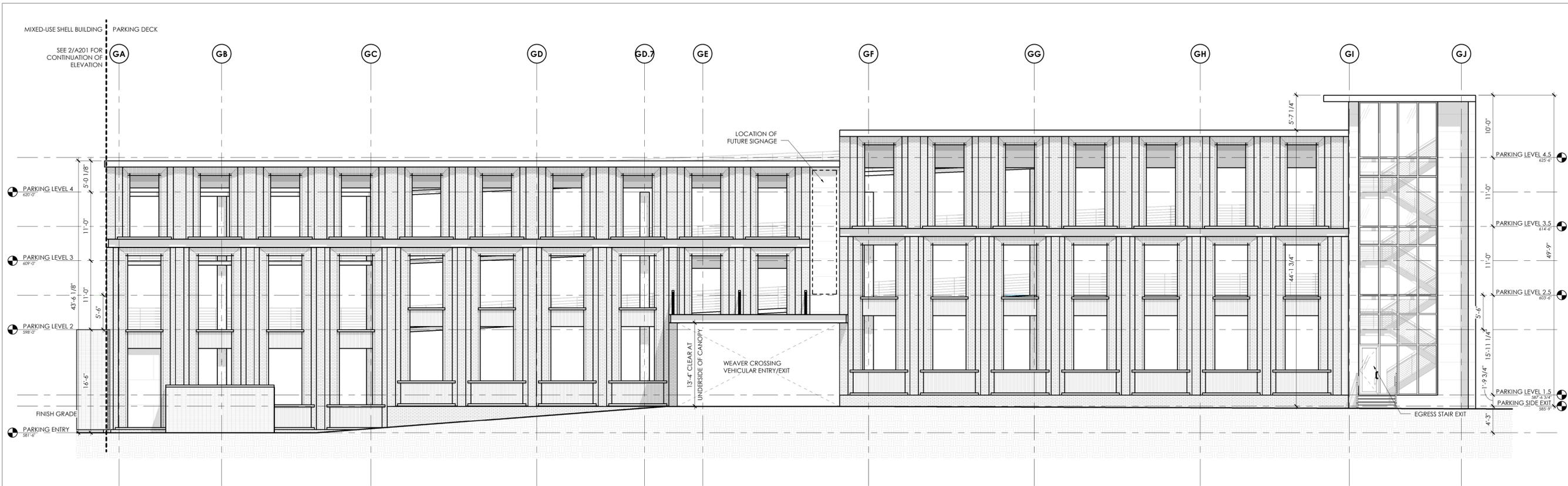
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Sheet Title:
BUILDING ELEVATIONS

Sheet Number
A201



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Revisions	

SPECIAL USE PERMIT
 Sheet Title:
PARKING DECK ELEVATIONS
 Sheet Number
A203

FINISH LEGEND - EXTERIOR MATERIALS

- UM1**
04 2000 UNIT MASONRY
 MATERIAL: CLAY MASONRY UNIT
 SIZE: MODULAR UNIT
 FINISH: SMOOTH
 NOTE: PRIMARY FIELD BRICK
- UM2**
04 2000 UNIT MASONRY
 MATERIAL: CLAY MASONRY UNIT
 SIZE: MODULAR UNIT
 FINISH: SMOOTH
 STACK BOND
 NOTE: SECONDARY COLOR
- MP1**
07 4213.2 METAL COMPOSITE MATERIAL
 DESCRIPTION: Metal Composite Metal
 TYPE: Fire Retardant Core
 SIZE: Refer to Sections and Elevations
 THICKNESS: 0.137" Material, 2" Panel
 STYLE: Route and Return
- CW1**
08 4413 Glazed Aluminum Curtain Wall
 MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
 TYPE: RELIANCE-SS CASSETTE
 SIZE: 2 1/2" x 8"
 NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE
- ES1**
08 4113 Entrances and Storefronts
 MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
 TYPE: SERIES 3000 THERMAL MULTIPLANE
 SIZE: 2' x 4 1/2"
 STYLE: FRONT SET - 1" GLAZING
 NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE
- GL1**
08 8000 Glazing
 DESCRIPTION: Heat Strengthened Insulated Glass
 MANUFACTURER: Guardian
 TYPE: SunGuard SNX 51/23
 SIZE: 1" Unit Width
 NOTE: Temper as indicated on Elevations
- GL1***
08 8000 Glazing
 DESCRIPTION: Heat Strengthened Insulated Glass
 MANUFACTURER: Guardian
 TYPE: SunGuard SNX 51/23
 SIZE: 1" Unit Width
 Apply translucent Film on Surface 4
 NOTE: Temper as indicated on Elevations

DESIGN NARRATIVE

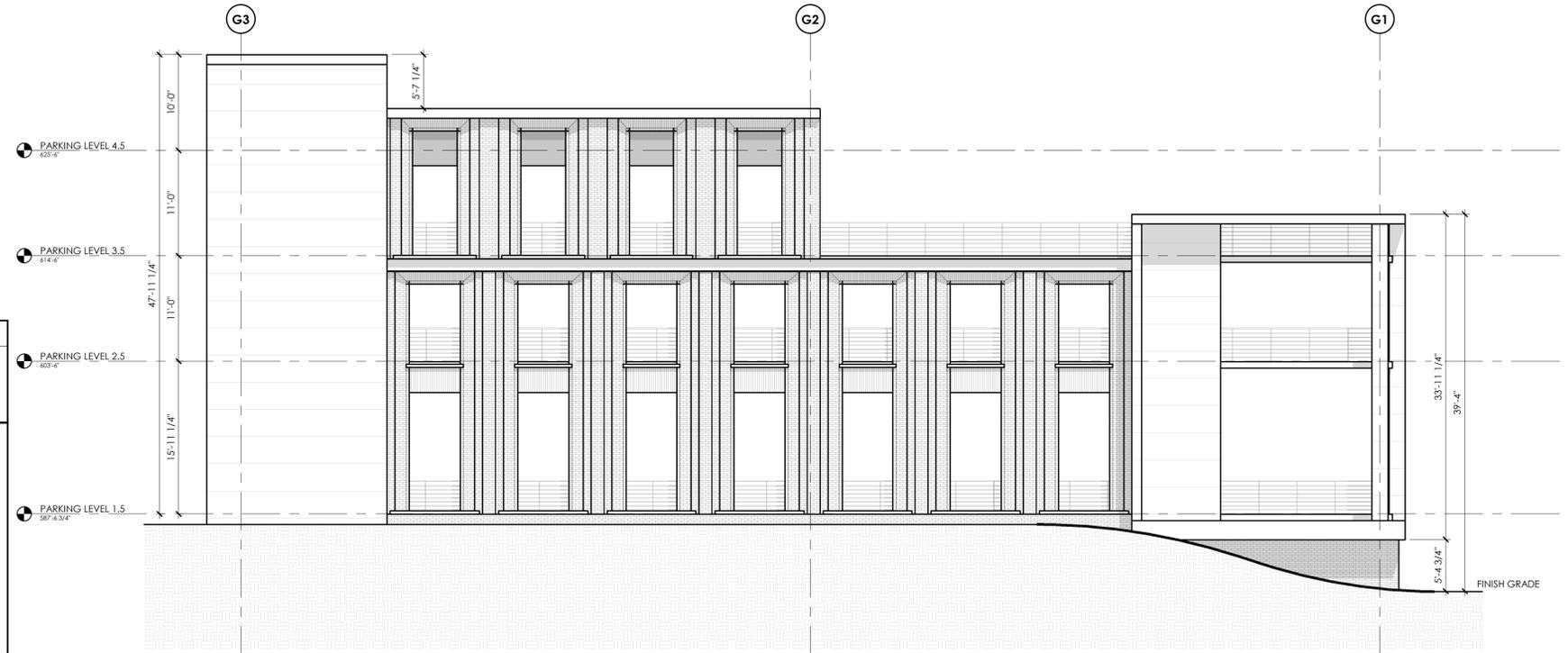
THE DESIGN INTENT FOR MATERIAL EXPRESSION IS BRICK VENEER ON LEVEL 1 & 2, AND AN ALTERNATE MATERIAL (METAL PANEL/EIFS) ON LEVEL 3, WITH LARGE AREAS OF GLAZING BREAKING UP THE ELEVATIONS TO SIGNIFY MOVEMENT AND ENTRY.

To CH BLDG HGT REQ'S - OI-3

TABLE 3.8-1 - DIMENSIONAL MATRIX (4/20/2017)					
ZONING DISTRICT	(F) PRIMARY HEIGHT	(G) SECONDARY HEIGHT	(H) STREET SETBACK	(I) INTERIOR SETBACK	(J) SOLAR SETBACK
OI-3	N/A	N/A	0'	0'	0'

NOTE: DUE TO THE BUILDING HEIGHT AND SOLAR SETBACK REQUIREMENTS BEING N/A AND 0, THIS INFORMATION HAS NOT BEEN INCLUDED ON THE EXTERIOR ELEVATIONS AS IT HAS NO BEARING ON THE OVERALL BUILDING DESIGN.

DECK ELEVATION - WEST
 ELEVATION FACING WEAVER CROSSING
 1/8" = 1'-0" 1



DECK ELEVATION - SOUTH
 1/8" = 1'-0" 2



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CHAPEL HILL, NC

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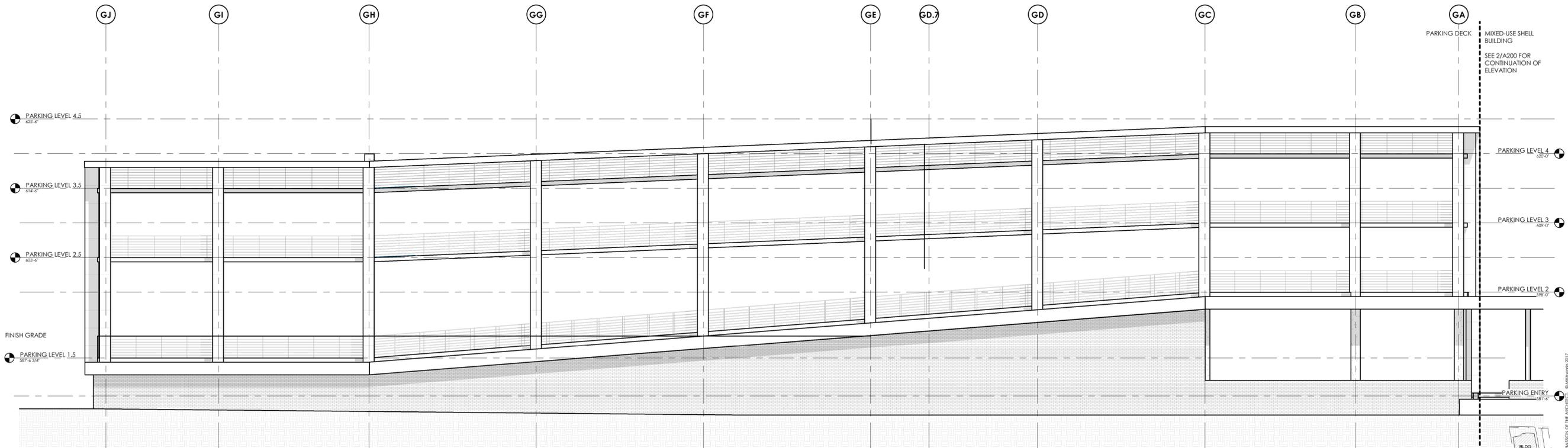
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Sheet Title:
**PARKING DECK
ELEVATIONS**

Sheet Number
A204



DECK ELEVATION - EAST 1
1/8" = 1'-0"

FINISH LEGEND - EXTERIOR MATERIALS

- UM1**
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
NOTE: PRIMARY FIELD BRICK
- UM2**
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
STACK BOND
NOTE: SECONDARY COLOR
- MP1**
07 4213.2 METAL COMPOSITE MATERIAL
DESCRIPTION: Metal Composite Metal
TYPE: Fire Retardant Core
SIZE: Refer to Sections and Elevations
THICKNESS: 0.157" Material, 2" Panel
STYLE: Route and Return
- CW1**
08 4413 Glazed Aluminum Curtain Wall
MANUFACTURER: OLDCASTLE BUILDING
ENVELOPE
TYPE: RELIANCE-SS CASSETTE
SIZE: 2 1/2" x 8"
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE
- ES1**
08 4113 Entrances and Storefronts
MANUFACTURER: OLDCASTLE BUILDING
ENVELOPE
TYPE: SERIES 3000 THERMAL MULTIPLANE
SIZE: 2' x 4 1/2"
STYLE: FRONT SET - 1" GLAZING
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE
- GL1**
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SHX 51/23
SIZE: 1" Unit Width
NOTE: Temper as indicated on Elevations
- GL1***
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SHX 51/23
SIZE: 1" Unit Width
Apply Translucent Film on Surface 4
NOTE: Temper as indicated on Elevations

DESIGN NARRATIVE

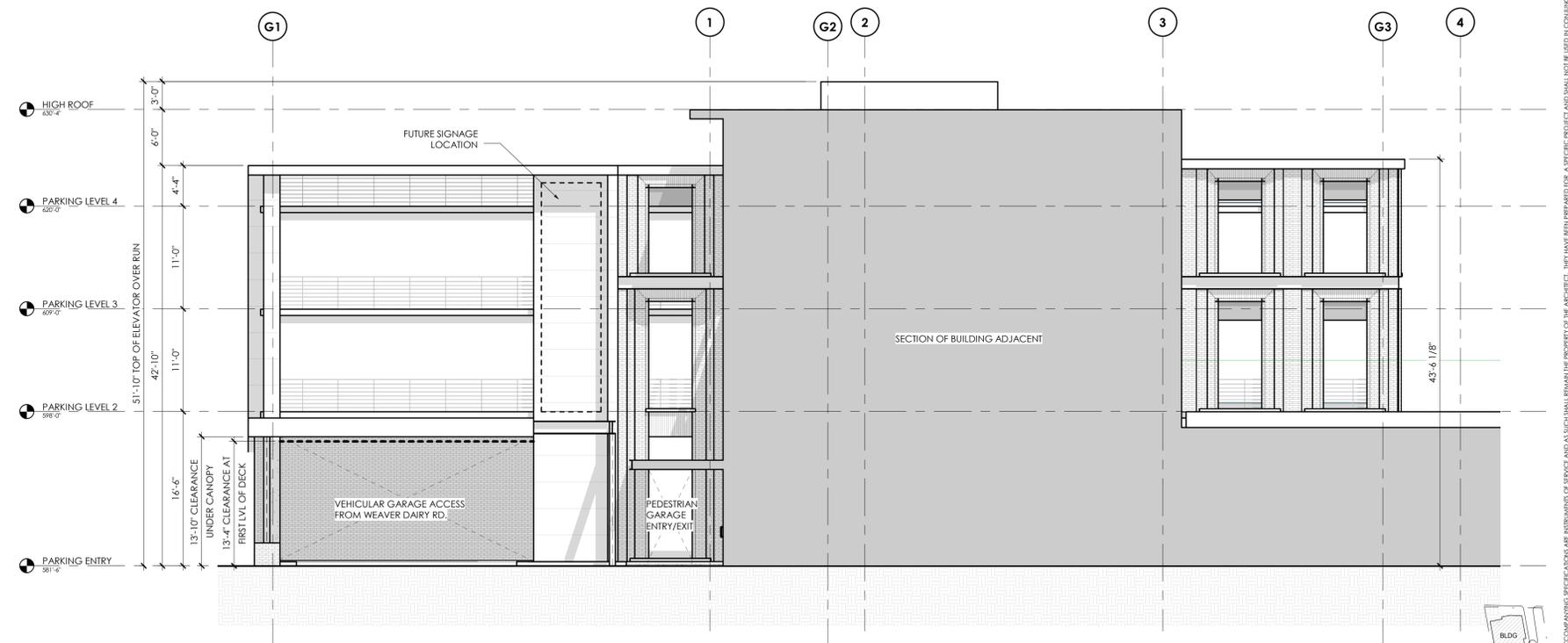
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ToCH BLDG HGT REQ'S - OI-3

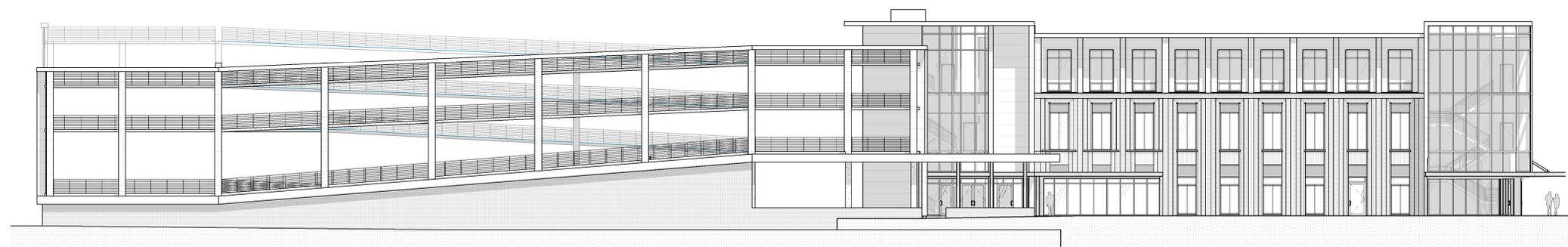
TABLE 3.8-1 - DIMENSIONAL MATRIX (4/20/2017)

ZONING DISTRICT	(F)	(G)	(H)	(I)	(J)
Primary Height	N/A	N/A	0'	0'	0'
Secondary Height	N/A	N/A	0'	0'	0'
Street Setback					
Interior Setback					
Solar Setback					

NOTE: DUE TO THE BUILDING HEIGHT AND SOLAR SETBACK REQUIREMENTS BEING N/A AND 0, THIS INFORMATION HAS NOT BEEN INCLUDED ON THE EXTERIOR ELEVATIONS AS IT HAS NO BEARING ON THE OVERALL BUILDING DESIGN.



DECK ELEVATION - NORTH 2
1/8" = 1'-0"



OVERALL EAST ELEVATION 2
1/16" = 1'-0"



OVERALL WEST ELEVATION 1
1/16" = 1'-0"



GENERAL NOTES:

1. FLOOR PLANS AND ELEVATIONS AS SHOWN ARE SUBJECT TO REVISIONS BASED ON COMMENTS AND REQUESTS FROM THE TOWN OF CHAPEL HILL AS A PART OF THE SPECIAL USE PERMIT PROCESS.
2. FLOOR PLANS AND ELEVATIONS AS SHOWN ARE SUBJECT TO REVISION BASED ON COSTING EXERCISES.
3. PROTECT AREA OF WORK AND ADJACENT AREAS FROM DAMAGE.
4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. IN CASE OF CONFLICT, CONSULT THE ARCHITECT FOR DIRECTION.
5. INTERIOR PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE. UNLESS OTHERWISE NOTED, MAINTAIN DIMENSIONS MARKED "CLEAR". ALLOW FOR THICKNESS OF FINISHED WALL MATERIAL WHEN LAYING OUT WALLS. REFER TO INTERIOR FINISH INFORMATION FOR WALL FINISH.
6. ALL INTERIOR DOORS TO BE LOCATED 4" OFF PERPENDICULAR WALL, UNO. DIMENSION TO INCLUDE INTERIOR FINISH MATERIALS. ALL DOOR CLEARANCES TO MEET ANSI A117.1 2009 ACCESSIBLE CLEARANCES.
7. REFER TO THE OWNER FURNISHED OWNER INSTALLED LIST FOR EQUIPMENT TO BE INSTALLED BY OWNER'S CONTRACTOR. PROVIDE CONCEALED BLOCKING AS REQUIRED FOR WORK BY OWNER'S OTHER CONTRACTORS. COORDINATE WITH THE OWNER'S CONTRACTORS THE SIZE, LOCATION, AND BLOCKING REQUIREMENTS.
8. PLUMBING AND ELECTRICAL UTILITY SERVICES SHOWN IN THE P AND E SERIES ONLY EXTENDS 5'-0" OUTSIDE OF THE BUILDING. GC RESPONSIBLE FOR FINAL COORDINATION OF THESE ELEMENTS IF SITE CONDITIONS VARY FROM THE CIVIL / LANDSCAPE DESIGN DOCUMENTS. NOTIFY ARCHITECT WITH ANY DISCREPANCIES OR ALTERATIONS TO THE DESIGN DOCUMENTS THAT RESULT FROM SITE CONDITIONS.
9. REFER TO CIVIL / LANDSCAPE DRAWINGS FOR FINAL GRADE ELEVATIONS AROUND BUILDING. FINISH GRADE TO BE A MINIMUM OF 4" BELOW FINISH FLOOR LEVEL UNLESS NOTED OTHERWISE.

DRAWING REFERENCES:

1. REFER TO G006 FOR TYPICAL INTERIOR MOUNTING HEIGHTS FOR TOILET ROOM ACCESSORIES, ELECTRICAL OUTLETS, DATA OUTLETS, FIRE ALARM, FIRE SMOKE, THERMOSTATS, ETC.
2. REFER TO SHEET G200 FOR EXTERIOR WALL TYPE INFORMATION.
3. REFER TO SHEET G210 FOR INTERIOR WALL TYPE INFORMATION, UNLESS NOTED OTHERWISE. ALL INTERIOR WALLS TO BE B1.

ToCH BLDG HGT REQ'S - OI-3

TABLE 3.8-1 - DIMENSIONAL MATRIX (4/20/2017)

ZONING DISTRICT	PRIMARY HEIGHT	SECONDARY HEIGHT	(F)	(G)	(H)	(I)	(J)
			STREET SETBACK	INTERIOR SETBACK	SOLAR SETBACK		
OI-3	N/A	N/A	0'	0'	0'		

NOTE: DUE TO THE BUILDING HEIGHT AND SOLAR SETBACK REQUIREMENTS BEING N/A AND 0, THIS INFORMATION HAS NOT BEEN INCLUDED ON THE EXTERIOR ELEVATIONS AS IT HAS NO BEARING ON THE OVERALL BUILDING DESIGN.

FINISH LEGEND - EXTERIOR MATERIALS

UM1
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
NOTE: PRIMARY FIELD BRICK

UM2
04 2000 UNIT MASONRY
MATERIAL: CLAY MASONRY UNIT
SIZE: MODULAR UNIT
FINISH: SMOOTH
STACK BOND
NOTE: SECONDARY COLOR

MP1
07 4213.2 METAL COMPOSITE MATERIAL
DESCRIPTION: Metal Composite Metal
TYPE: Fire Retardant Core
SIZE: Refer to Sections and Elevations
THICKNESS: 0.157" Material, 2" Panel
STYLE: Route and Return

CW1
08 4413 Glazed Aluminum Curtain Wall
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
TYPE: RELIANCE-SS CASSETTE
SIZE: 2 1/2" x 8"
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE

ES1
08 4113 Entrances and Storefronts
MANUFACTURER: OLDCASTLE BUILDING ENVELOPE
TYPE: SERIES 3000 THERMAL MULTIPLANE
SIZE: 2" x 4 1/2"
STYLE: FRONT SET - 1" GLAZING
NOTE: REFER TO ELEVATIONS FOR GLAZING TYPE

GL1
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SNX 51/23
SIZE: 1" Unit Width
NOTE: Temper as indicated on Elevations

GL1*
08 8000 Glazing
DESCRIPTION: Heat Strengthened Insulated Glass
MANUFACTURER: Guardian
TYPE: SunGuard SNX 51/23
SIZE: 1" Unit Width
Apply Translucent Film on Surface 4
NOTE: Temper as indicated on Elevations

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Sheet Title:
**COMPOSITE
EAST + WEST
ELEVATIONS**

Sheet Number
A205