

Aquabella Major Subdivision Amended Application:

Preliminary Plat Approval

Chapel Hill Town Council

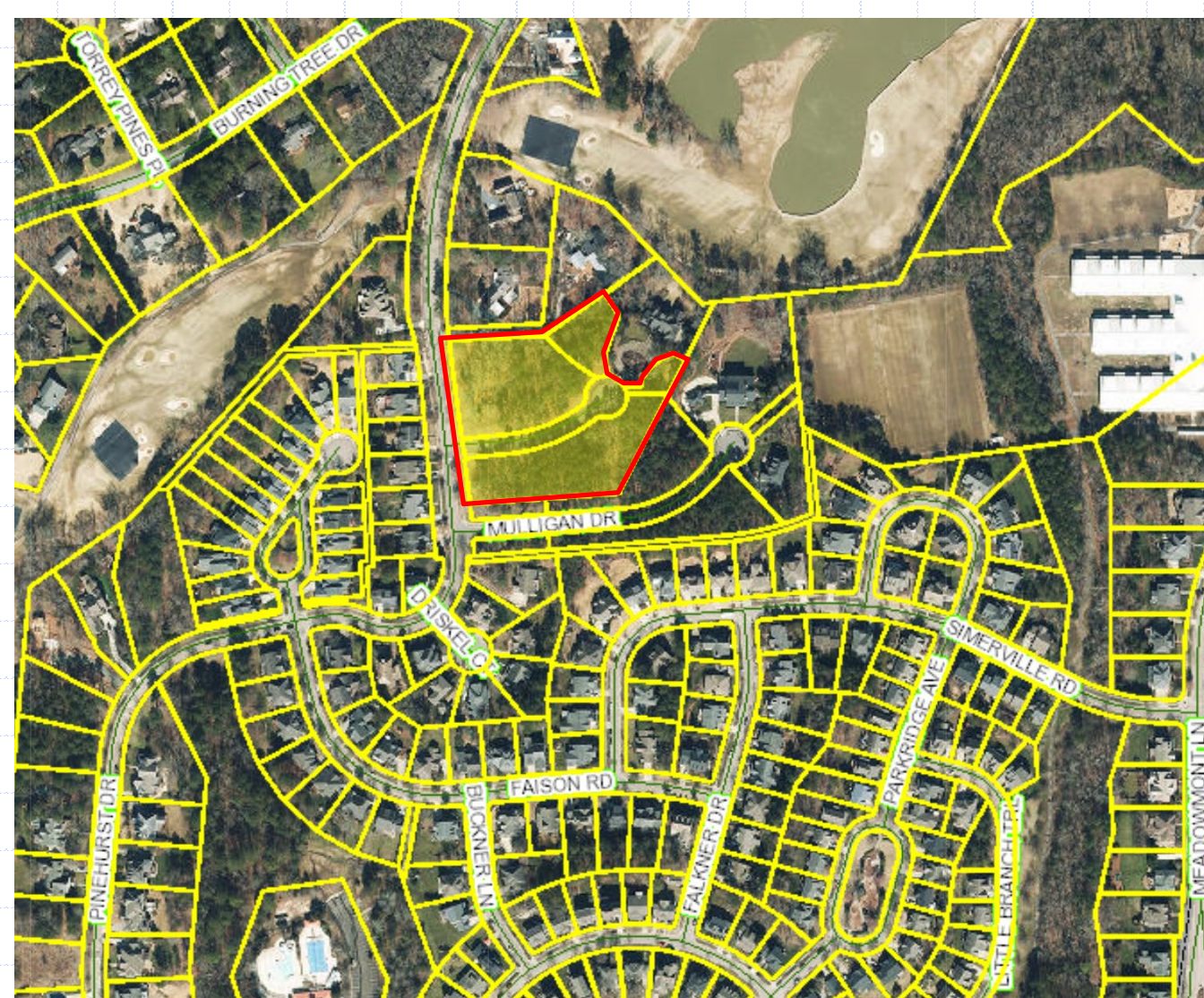
Sept 25, 2024

Initial Preliminary Plat Approval in 2006

Mackowiak Subdivision Aquabella/Shelbourne Court

- ◆ Proposed by John and Leslie Mackowiak, homeowners from 1999-2016.
- ◆ 4.7 acre site with one existing home.
- ◆ Zoning Compliance Permit approved in 2009, allowing road and utility construction to begin.

Aquabella location



Oaks lots to
North –
2/3 to 1 acre

Meadowmont
lots to West &
South –
1/4 acre

Aquabella lots –
1/3 acre

Pinehurst Drive View to North and South



Pinehurst 2006 View to South (to Meadowmont)



Meadowmont lots across street have 80' frontage and are 10,500 square feet or greater (usually 1/4 acre).

View of new pine growth on old Meadowmont pasture



2006 Approved Preliminary Plat

VICINITY MAP NO SCALE

7. ALL DEVELOPMENT RESTRICTED IN ACCORDANCE WITH THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE.
8. RECREATIONAL STORMWATER FACILITIES ON ADJACENT LOTS WITHIN THE SUBDIVISION MUST BE WITHIN A STORMWATER EASEMENT AND CONVEYMENTS SHALL BE PROVIDED FOR THE MAINTENANCE OF THE FACILITIES.
9. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED FOR THE CONSTRUCTION OF DWELLING UNITS ON A LOT CREATED BY THE SUBDIVISION UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS IN THE AREA OF SAID LOT ARE COMPLETED.
10. NO BUILDING PERMITS FOR ANY PHASE SHALL BE ISSUED UNTIL ALL PUBLIC IMPROVEMENTS REQUIRED IN PREVIOUS PHASES ARE COMPLETED TO A POINT ADJACENT TO THE NEW PHASE.
11. THE STORMWATER AREA AND THE PEDESTRIAN ACCESS EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
12. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, AGREEMENTS, AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
13. 100 YEAR FLOOD LINE DASH FROM FEMA MAP NO. 37070W0001 PHASE 02NA, EFFECTIVE DATE MAY 2, 2008 AND LAST REVISED 2-2-07.

THE UNDERSIGNED OWNER HEREBY DESIGNATES ALL RIGHTS-OF-WAY, EASEMENTS, STREETS, RECREATION AND OPEN SPACE, COMMON AREAS, UTILITIES AND OTHER IMPROVEMENTS TO PUBLIC OR PRIVATE COMMON USE AS NOTED ON THIS PLAT, AND FURTHER ASSUMES FULL RESPONSIBILITY FOR THE MAINTENANCE AND CONTROL OF SAID IMPROVEMENTS UNLESS THEY ARE ACCORDED FOR MAINTENANCE AND CONTROL BY AN APPROVED PUBLIC BODY OR BY AN INCORPORATED NEIGHBORHOOD OR HOMEOWNERS ASSOCIATION OF SIMILAR LEGAL ENTITY.

DATE _____
 DATE _____

NORTH CAROLINA
 STATE COUNTY

I, A NOTARY PUBLIC OF THE COUNTY AND STATE AFORESAID, CERTIFY THAT PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT, WITNESS MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 2007.

NOTARY PUBLIC
 MY COMMISSION EXPIRES _____

THE TOWN MANAGER HEREBY CERTIFIES THAT ALL IMPROVEMENTS REQUIRED BY THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE HAVE BEEN PROVIDED AS SPECIFIED BY THE APPROVED PRELIMINARY PLAT FOR SUBDIVISION, SUBSEQUENT AND THAT SAID IMPROVEMENTS COMPLY WITH TOWN SPECIFICATIONS.

PROVIDED THAT THE PLAT BE RECORDED WITHIN 30 DAYS OF FINAL APPROVAL, APPROVED BY _____

TOWN MANAGER DATE _____

STATE OF NORTH CAROLINA
 COUNTY OF _____

I, _____ REVIEW OFFICER OF _____ COUNTY, CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____

THIS SURVEY DIVIDES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

PROFESSIONAL LAND SURVEYOR DATE _____

NORTH CAROLINA
 STATE COUNTY

I, _____ COPY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DESCRIBED IN RECORD BOOK _____ PAGE _____ THAT THE BOUNDARIES AND SURVEYED ARE CLEARLY SHOWN BY DATA FROM INFORMATION FOUND IN SAID BOOK _____ PAGE _____ THAT THE INFO OF PRECISION AS CALCULATED IS _____ THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 21-13 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL, THIS 18th DAY OF _____, 2007 A.D.

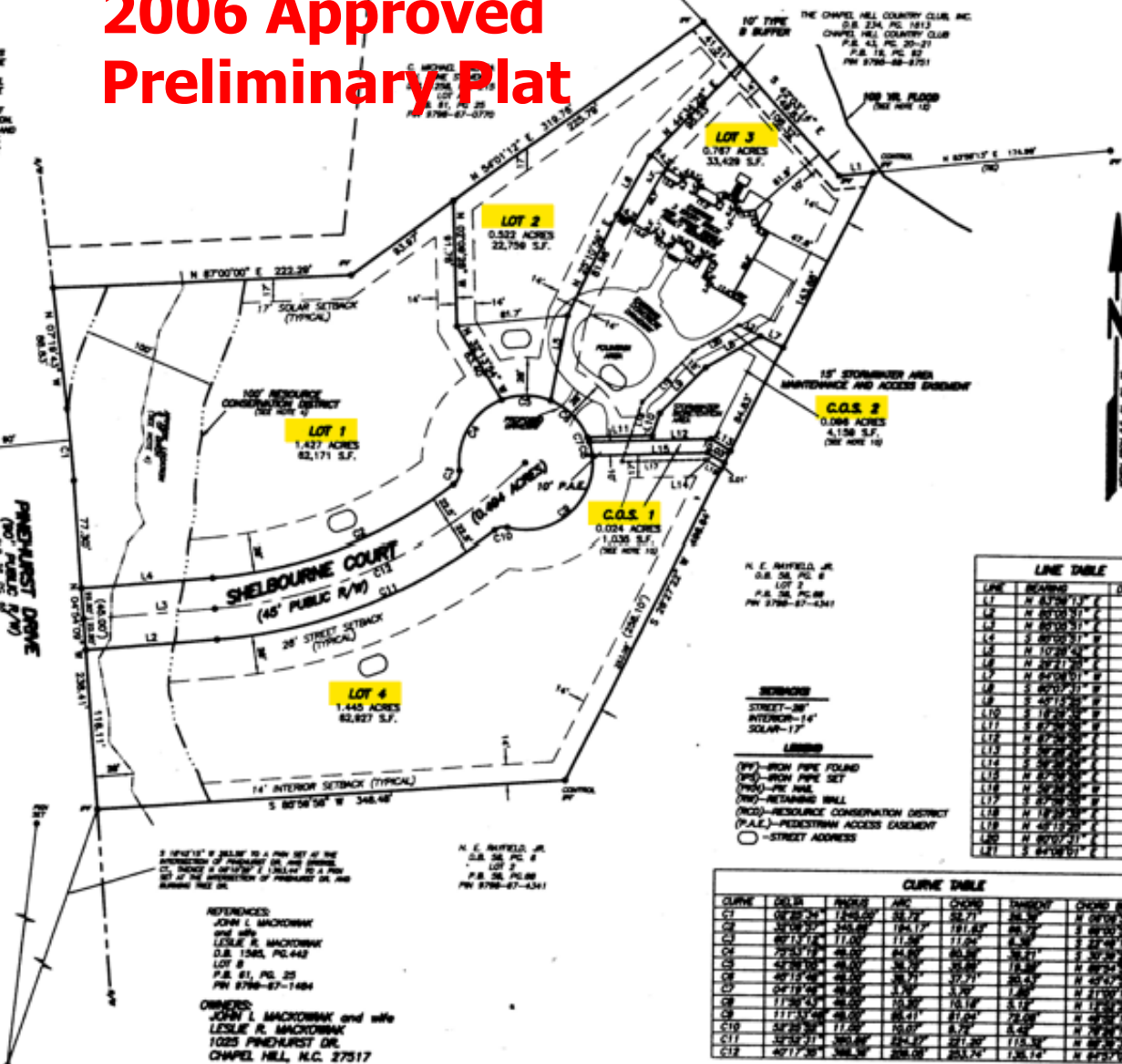
PROFESSIONAL LAND SURVEYOR LICENSE NO. 1-442

PRELIMINARY PLAT--NOT FOR RECORDATION, CONVEYANCES, OR SALES

RECORDED IN PLAT BOOK _____ PAGE _____

NOTE: METRIC LINE WAS DETERMINED BY THE COMPARIS METHOD, THE DIMENSIONS ON THIS MAP ARE ADJUSTED HORIZONTAL GROUND DIMENSIONS UNLESS OTHERWISE NOTED. ALL AREA CALCULATED BY COORDINATE COMPUTATION.

0' 60' 120' 180'
 SCALE IN FEET



N. E. RAFFIELD, JR.
 D.B. 58, PG. 8
 LOT 2
 P.B. 58, PL. 8
 PW 5798-67-4341

STREETS--8"
 INTERIOR--14"
 SOLAR--17"

- LEGEND
- (PP)--IRON PIPE FOUND
 - (PS)--IRON PIPE SET
 - (PNS)--PIE HALL
 - (R)--RETAINING WALL
 - (RD)--RESOURCE CONSERVATION DISTRICT
 - (P.A.E.)--PEDESTRIAN ACCESS EASEMENT
 - (-)-STREET ADDRESS

LINE TABLE

LINE NUMBER	BEARING	DISTANCE
L1	N 87°00'00" E	223.26'
L2	N 87°00'00" E	223.26'
L3	N 87°00'00" E	223.26'
L4	N 87°00'00" E	223.26'
L5	N 87°00'00" E	223.26'
L6	N 87°00'00" E	223.26'
L7	N 87°00'00" E	223.26'
L8	N 87°00'00" E	223.26'
L9	N 87°00'00" E	223.26'
L10	N 87°00'00" E	223.26'
L11	N 87°00'00" E	223.26'
L12	N 87°00'00" E	223.26'
L13	N 87°00'00" E	223.26'
L14	N 87°00'00" E	223.26'
L15	N 87°00'00" E	223.26'
L16	N 87°00'00" E	223.26'
L17	N 87°00'00" E	223.26'
L18	N 87°00'00" E	223.26'
L19	N 87°00'00" E	223.26'
L20	N 87°00'00" E	223.26'
L21	N 87°00'00" E	223.26'

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BEG.	CHORD END.
CI	07°00'00"	124.50'	33.72'	39.71'	26.30'	N 87°00'00" E	N 87°00'00" E
CD	07°00'00"	124.50'	33.72'	39.71'	26.30'	S 87°00'00" E	S 87°00'00" E
CE	07°00'00"	124.50'	33.72'	39.71'	26.30'	N 87°00'00" E	N 87°00'00" E
CF	07°00'00"	124.50'	33.72'	39.71'	26.30'	S 87°00'00" E	S 87°00'00" E
CG	07°00'00"	124.50'	33.72'	39.71'	26.30'	N 87°00'00" E	N 87°00'00" E
CH	07°00'00"	124.50'	33.72'	39.71'	26.30'	S 87°00'00" E	S 87°00'00" E
CI	07°00'00"	124.50'	33.72'	39.71'	26.30'	N 87°00'00" E	N 87°00'00" E
CD	07°00'00"	124.50'	33.72'	39.71'	26.30'	S 87°00'00" E	S 87°00'00" E
CE	07°00'00"	124.50'	33.72'	39.71'	26.30'	N 87°00'00" E	N 87°00'00" E
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CF	07°00'00"	124.50'	33.72'	39.71'	26.30'	S 87°00'00" E	S 87°00'00" E
CG	07°00'00"	124.50'	33.72'	39.71'	26.30'	N 87°00'00" E	N 87°00'00" E
CH	07°00'00"	124.50'	33.72'	39.71'	26.30'	S 87°00'00" E	S 87°00'00" E

REFERENCES:
 JOHN L. MACKOWAY
 ONE 2ND
 LESLIE R. MACKOWAY
 D.B. 1585, PG. 442
 LOT 8
 P.B. 81, PG. 25
 PW 5798-67-1484

OWNERS:
 JOHN L. MACKOWAY and wife
 LESLIE R. MACKOWAY
 1025 PINCHURST DR.
 CHAPEL HILL, N.C. 27517

REVISIONS	SUBDIVISION MAP OF AQUABELLA SUBDIVISION		ROBINSON & PLANTE, P.C. LAND SURVEYING 1330 SE MOUNTAIN ROAD, SUITE 108 CARY, NC 27511 PHONE: (919)481-1348 FAX: (919)481-1111	
	TOWNSHIP: CHAPEL HILL	COUNTY: ORANGE	SURVEY DATE: 8-30-07	SURVEYED BY: GJ
	STATE: NORTH CAROLINA		SCALE: 1"=60'	DRAWN BY: KB
	ZONE: R-1	P.L.N.: 5798-67-1484	CHECKED & _____	P.L.N.: _____

2016 Final Plat

STATE OF NORTH CAROLINA
 COUNTY OF _____, REVIEW OFFICER OF _____ COUNTY,
 CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL
 STATUTORY REQUIREMENTS FOR RECORDING.

FOR MULTIPLE PIN SHEET
 SEE BOOK 6192 PAGE 490

- NOTES:
1. PROPERTY IS NOT IN THE 100 YR. FLOOD BY FIRM MAP NO. 37109B00K PANEL 9704, EFFECTIVE DATE MAY 2, 2006. LAST REVISED ON FEBRUARY 2, 2007. 100 YR. FLOOD LINE TAKEN FROM FIRM MAP NO. 37109B00K PANEL 9704, EFFECTIVE DATE MAY 2, 2006 AND LAST REVISED 2-2-07.
 2. TO THE BEST OF MY KNOWLEDGE THIS PROPERTY IS NOT LOCATED WITHIN 200' OF A N.C. 0106 MONUMENT.
 3. REBASIS SET AT ALL CORNERS UNLESS OTHERWISE NOTED.
 4. RESOURCE CONSERVATION DISTRICT AND LIVING TREES TO BE PROTECTED TAKEN FROM A SITE PLAN ENTITLED "AQUABELLA SUBDIVISION" PREPARED BY MICHAEL A. NEAL & ASSOCIATES, P.L.C. AND DATED 6-28-07 AND LAST REVISED ON 11-25-07.
 5. LOTS ON THIS PLAT ARE COVERED BY THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AND ROAD MAINTENANCE AGREEMENT AND "BY-LAWS OF AQUABELLA HOA" AS RECORDED IN ORANGE COUNTY D.B. _____ PG. _____.
 6. ANY RESOURCE CONSERVATION DISTRICT SHOWN ON THIS PLAT SHALL HAVE DEVELOPMENT RESTRICTED IN ACCORDANCE WITH THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE.
 7. RESIDENTIAL STORMWATER FACILITIES ON INDIVIDUAL LOTS WITHIN THIS SUBDIVISION MUST BE WITHIN A STORMWATER EASEMENT AND COVENANTS SHALL BE PROVIDED FOR THE MAINTENANCE OF THE FACILITIES.
 8. NO CONTRACT OF OCCUPANCY SHALL BE ISSUED FOR CONSTRUCTION OF DWELLING UNITS ON A LOT CREATED BY THIS SUBDIVISION UNTIL ALL REQUIRED PUBLIC IMPROVEMENTS IN THE RIGHT OF WAY ARE COMPLETED.
 9. NO BILLING POINTS FOR ANY PHASE SHALL BE ISSUED UNTIL ALL PUBLIC IMPROVEMENTS REQUIRED IN PREVIOUS PHASES ARE COMPLETED TO A POINT ADJACENT TO THE NEW PHASE.
 10. THE STORMWATER AREA AND THE PEDESTRIAN ACCESS EASEMENT TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. THIS PROPERTY IS SUBJECT TO ALL EASEMENTS, AGREEMENTS, AND RIGHTS OF WAY OF RECORD PRIOR TO THE DATE OF THIS PLAT.
 11. 100 YR. FLOOD LINE TAKEN FROM FIRM MAP NO. 37109B00K PANEL 9704, EFFECTIVE DATE MAY 2, 2006 AND LAST REVISED 2-2-07.
 12. AT SUCH TIME THAT THE PEDESTRIAN PATH CONCEPT IS AN APPROVED AND CONSTRUCTED BIKE/PEDESTRIAN PATH IN SPOTTERS RIDGE, THE HOME SHOWN AND MAXIMUM A SIGN STANDING "AT THE ENTRANCE TO THE PATH DESIGN AND LOCATION OF THE SIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN MANAGER.
 13. 14' STORMWATER MAINTENANCE AREA AND ACCESS EASEMENT IS 14' FROM EXISTING CONCRETE DRIVEWAY.
 14. THE INFILTRATION BASIN IN THE NORTHEAST CORNER OF LOT 3 IS TO BE OWNED BY THE OWNERS OF LOT 3 AND MAINTAINED BY THE HOA BECAUSE IT PROVIDES IMPERVIOUS SURFACE CREDITS FOR OTHER LOTS IN AQUABELLA.
 15. IF THE MAXIMUM IMPERVIOUS AREA AMOUNT FOR ANY LOT, AS SHOWN ON THE PLAT, IS EXCEEDED THEN A STORMWATER MANAGEMENT REPORT, PLANS, AND STRUCTURES SHALL BE PROVIDED ON THE LOT FOR THE INCREASED IMPERVIOUS AREA.
 16. RESIDENTIAL DRIVEWAYS SHALL ACCESS GRAND ALEXANDER COURT AND SHALL BE PROVIDED ON THE LOT FOR THE INCREASED IMPERVIOUS AREA.
 17. THAT FOR EACH LOT, A STORMWATER IMPACT STATEMENT ADDRESSING STORMWATER MANAGEMENT ON A LOT BY BASIS MUST BE REVIEWED AND APPROVED BY THE TOWN MANAGER PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT FOR SAID LOT.
 18. ALL ENGINEERED STORMWATER MANAGEMENT CONTROL, TREATMENT, AND CONVEYANCE STRUCTURES LOCATED ON OR BELOW THE GROUND SHALL BE WHOLLY COMPLETED WITHIN AN EASEMENT ENTITLED "STORMWATER FACILITY EASEMENT HEREBY DEDICATED" AND SHALL BE REVIEWED FROM ANY DEVELOPMENT WHICH WOULD OBSTRUCT OR CONSTRUCT THE EFFECTIVE MANAGEMENT, CONTROL, AND CONVEYANCE OF STORMWATER FROM OR ACROSS THE PROPERTY, OTHER THAN THE APPROVED DESIGN AND OPERATION FUNCTIONS.
 19. THE RESERVED STORMWATER FACILITY EASEMENT(S) AND FACILITIES TO BE PROTECT ARE CONSIDERED TO BE PRIVATE WITH THE SOLE RESPONSIBILITY OF THE OWNER TO PROVIDE FOR ALL REQUIRED MAINTENANCE AND OPERATIONS AS APPROVED BY THE TOWN MANAGER.
 20. THE RESERVED STORMWATER FACILITY EASEMENT AND THE OPERATIONS AND MAINTENANCE PLAN ARE BINDING ON THE OWNER, HEIRS, SUCCESSORS, AND ASSIGNS, 21. PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR LOTS 1, 2, OR 4 THE FOLLOWING CONDITIONS MUST BE MET:
 (A) STORMWATER FACILITY EASEMENT(S) SHALL BE REVIEWED AND APPROVED BY THE TOWN MANAGER.
 (B) PEDESTRIAN SURFACE BIKE/PEDESTRIAN PATH MUST BE BUILT AND AS-BUILT PLANS OF PUBLIC MANAGEMENT, CONTROL, AND CONVEYANCE OF STORMWATER MUST BE PROVIDED TO THE TOWN OF CHAPEL HILL IN DIFF BINARY FORMAT USING STATE PLANE COORDINATES.
 22. AT SUCH TIME THAT THE PEDESTRIAN PATH CONCEPT IS AN APPROVED AND CONSTRUCTED BIKE/PEDESTRIAN PATH IN SPOTTERS RIDGE, THE HOME SHOWN AND MAXIMUM A SIGN STANDING "AT THE ENTRANCE TO THE PATH DESIGN AND LOCATION OF THE SIGN SHALL BE REVIEWED AND APPROVED BY THE TOWN MANAGER.

"THE UNDERSIGNED OWNER HEREBY FREELY DEDICATES ALL RIGHTS-OF-WAY, EASEMENTS, STREETS, RECREATION AREA, OPEN SPACE, COMMON AREA, UTILITIES AND OTHER IMPROVEMENTS TO PUBLIC PRIVATE COMMON USE AS NOTED ON THIS PLAT, AND FURTHER ASSUMES FULL RESPONSIBILITY FOR THE MAINTENANCE AND CONTROL OF SAID IMPROVEMENTS UNTIL THEY ARE ABANDONED OR MAINTENANCE AND CONTROL BY AN APPROPRIATE PUBLIC BODY OR, BY AN INCORPORATED NEIGHBORHOOD OR HOMEOWNER'S ASSOCIATION OR SIMILAR LEGAL ENTITY."

John W. Waack DATE: 9/10/2016
Leslie Mackowiak DATE: 9/10/2016
Paul J. Waack

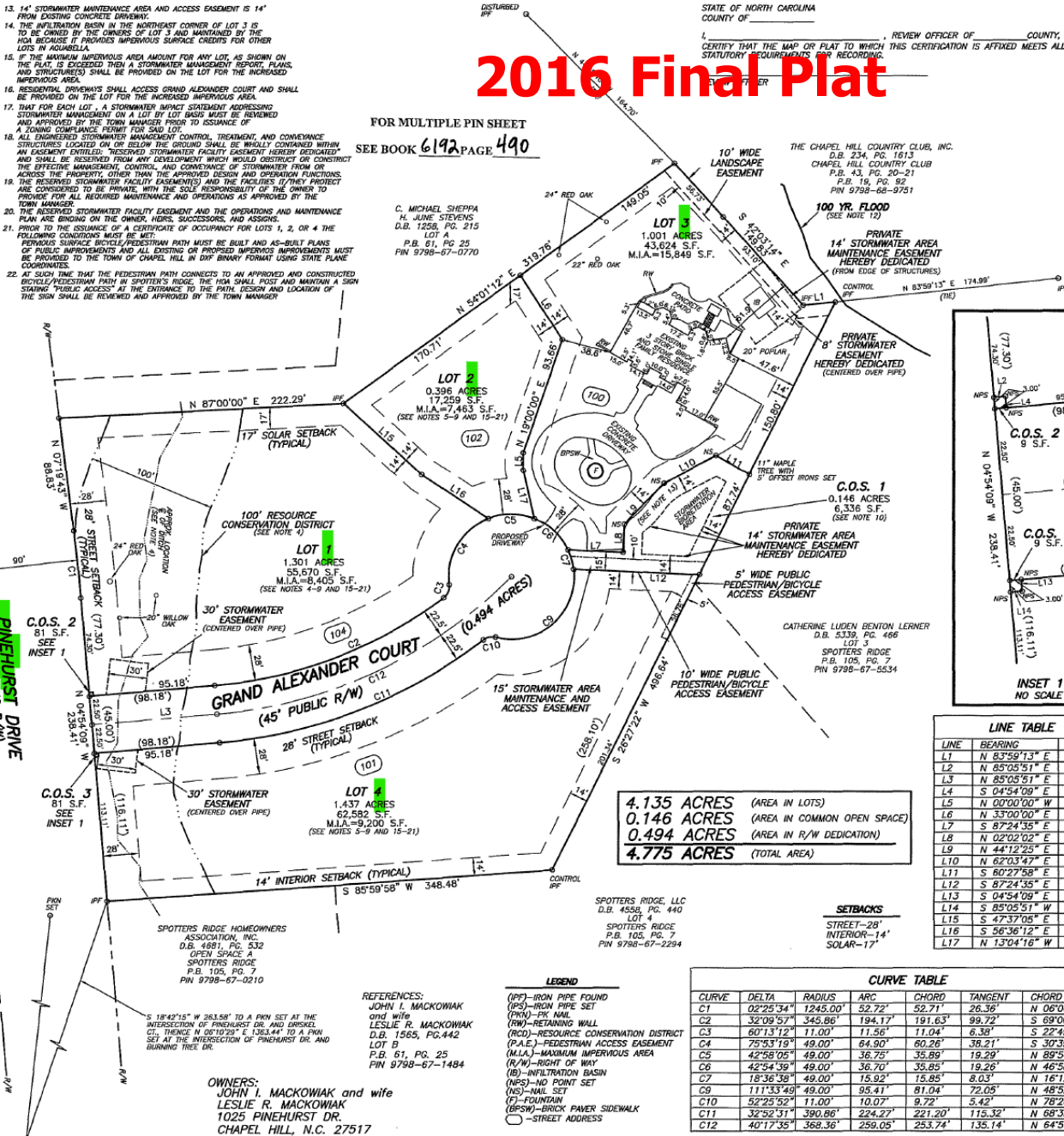
I, _____, a Notary Public of the County and State aforesaid, CERTIFY THAT I, A NOTARY PUBLIC OF THE COUNTY AND STATE aforesaid, PERSONALLY APPEARED BEFORE ME THIS DAY AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT, WITNESS MY HAND AND OFFICIAL SEAL THIS 10th DAY OF SEPTEMBER, 2016.
 NOTARY PUBLIC *Yvonne Bennett Petit Jeanne*
 MY COMMISSION EXPIRES 12/11/2020
 State of North Carolina
 County of Orange



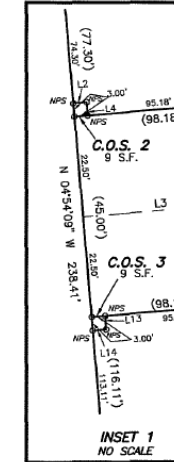
I, **LDRi K. BERRY**, Review Officer of Orange County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording for which the Review Officer has responsibility as provided by law.
LDRi K. Berry
 Review Officer
 Orange County Land Records/GIS
 Date of Certification: 9/22/2016
 "THE TOWN MANAGER HEREBY CERTIFIES THAT A SURETY BOND OF A SATISFACTORY AMOUNT HAS BEEN POSTED WITH THE TOWN OF CHAPEL HILL WHICH SURETY GUARANTEES THAT ALL PUBLIC IMPROVEMENTS WILL BE COMPLETED AS SPECIFIED BY THE APPROVED PRELIMINARY PLAT FOR AQUABELLA SUBDIVISION WITHIN 300 DAYS UNLESS AFFIRMATIVELY EXTENDED BY THE TOWN MANAGER. NOTICE WILL BE SOLELY RECORDED WITH THE REGISTER OF DEEDS IF AND WHEN SAID SURETY IS MARKED OR EXTENDED PRIOR TO COMPLETION OF ALL PUBLIC IMPROVEMENTS FOR WHICH IT WAS POSTED."
 09/12/16

PROVIDED THAT THIS PLAT BE RECORDED WITHIN 30 DAYS OF FINAL APPROVAL.
 APPROVED BY: *Shant E. Peltzer* DATE: 9/16/16
 TOWN MANAGER
 PROFESSIONAL LAND SURVEYOR

NORTH CAROLINA WAKE COUNTY
 I, **SQUARE E. PLANTE III**, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION, DESCRIPTION RECORDED IN DEED BOOK 1559 PAGE 442 THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN DEED BOOK _____ PAGE _____ THAT THE RATIO OF PRECISION AS CALCULATED IS 1:116,690 +/- THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH C.S. 47-30-30 AMENDED WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 9th DAY OF SEPTEMBER, 2016 A.D.
Shant E. Peltzer PROFESSIONAL LAND SURVEYOR
 LICENSE NO. L-4432



4.135 ACRES	(AREA IN LOTS)
0.146 ACRES	(AREA IN COMMON OPEN SPACE)
0.494 ACRES	(AREA IN R/W DEDICATION)
4.775 ACRES	(TOTAL AREA)



LINE	BEARING	DISTANCE
L1	N 83°59'13" E	25.00
L2	N 85°05'51" E	3.00
L3	N 85°05'51" E	96.00
L4	S 04°54'09" E	3.00
L5	N 09°00'00" W	13.00
L6	N 33°00'00" E	80.00
L7	S 87°24'35" E	4.00
L8	N 02°02'02" E	22.00
L9	N 44°12'25" E	4.00
L10	N 62°03'47" E	4.00
L11	S 80°27'58" E	25.00
L12	S 87°24'35" E	96.00
L13	S 04°54'09" E	3.00
L14	S 85°05'51" W	3.00
L15	S 47°37'05" E	82.00
L16	S 56°36'12" E	6.00
L17	N 13°04'16" W	36.00

SETBACKS

- STREET-28'
- INTERIOR-14'
- SOLAR-17'

LEGEND

- (PP)-IRON PIPE FOUND
- (PFS)-IRON PIPE SET
- (PKW)-PK NAIL
- (RW)-RETAINING WALL
- (RCO)-RESOURCE CONSERVATION DISTRICT
- (P.A.E.)-PEDESTRIAN ACCESS EASEMENT
- (M.I.A.)-MAXIMUM IMPERVIOUS AREA
- (R/W)-RIGHT OF WAY
- (IB)-INFILTRATION BASIN
- (NPS)-NO POINT SET
- (NS)-NAIL SET
- (F)-FOUNTAIN
- (BPSW)-BRICK PAVEMENT SIDEWALK
- (-)-STREET ADDRESS

CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	02°25'34"	1245.00'	52.72'	52.71'	26.39'	N 08°08'56"
C2	32°09'57"	345.86'	194.17'	191.63'	99.72'	S 69°00'53"
C3	60°13'12"	11.00'	11.56'	11.04'	6.39'	S 22°49'19"
C4	75°53'19"	49.00'	61.66'	60.26'	38.21'	S 30°39'22"
C5	42°58'05"	49.00'	36.75'	35.89'	19.29'	N 89°34'56"
C6	42°54'39"	49.00'	36.70'	35.85'	19.26'	N 46°58'34"
C7	18°36'38"	49.00'	15.92'	15.85'	8.03'	N 16°12'55"
C8	11°13'49"	49.00'	95.41'	81.04'	72.05'	N 48°52'18"
C9	52°25'52"	11.00'	10.07'	9.72'	5.42'	N 78°26'17"
C10	32°52'31"	390.86'	224.27'	221.20'	115.32'	N 68°39'36"
C11	40°17'35"	368.36'	259.05'	253.74'	135.14'	N 64°57'04"

OWNERS:
 JOHN I. MACKOWIAK and wife
 LESLIE R. MACKOWIAK
 1025 PINEHURST DR.
 CHAPEL HILL, N.C. 27517

REVISIONS

SUBDIVISION MAP OF

AQUABELLA SUBDIVISION

ROBINSON & PLANTE, P.A.
LAND SURVEYING



LOT	NLA(SF)	GLA(SF)
A	15,583	17,142
B	14,156	15,572
C	15,776	17,353
D	14,380	15,818
E	14,036	15,017
F	14,733	16,206
G	14,897	16,387
H	15,620	17,182
I	14,801	16,281

NLA:Net Land Area
GLA:Gross Land Area

NOTE
FROM 28' SETBACK
FROM 10' SETBACK
FROM TWO FRONT CORNERS
FROM TWO FRONT CORNERS EXCEPT CUL-DE-SAC
CUL-DE-SAC
CUL-DE-SAC
CUL-DE-SAC
FROM TWO FRONT CORNERS
FROM TWO FRONT CORNERS
FROM 10' SETBACK
NOTE
AT 53' BACK FROM FRONT
AT 53' BACK FROM FRONT
AT 53' BACK FROM FRONT
AT 53' BACK FROM FRONT
AT 64.28' BACK FROM FRONT
AT 53' BACK FROM FRONT
AT 53' BACK FROM FRONT
AT 53' BACK FROM FRONT

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	55.08'	345.88'	190°18'	S 80°31'15" W 55.00'	55.00'
C2	126.52'	345.86'	203°33'	S 63°28'50" W 126.91'	126.91'
C3	12.59'	345.86'	2°05'10"	S 53°57'29" W 12.59'	12.59'
C4	11.57'	11.00'	60°14'27"	N 22°48'20" E 11.04'	11.04'
C5	38.34'	49.00'	44°50'13"	S 15°07'14" W 37.37'	37.37'
C6	63.29'	49.00'	74°00'20"	N 74°32'50" E 58.98'	58.98'
C7	18.07'	49.00'	21°07'34"	S 03°37'58" W 17.97'	17.97'
C8	77.35'	49.00'	90°26'42"	N 59°25'06" E 69.56'	69.56'
C9	10.07'	11.00'	52°26'24"	N 28°59'18" E 9.77'	9.77'
C10	6.49'	390.86'	0°57'07"	N 52°40'56" E 6.49'	6.49'
C11	88.63'	390.86'	12°59'34"	S 59°39'17" W 88.44'	88.44'
C12	93.78'	390.86'	13°44'50"	N 73°01'39" E 93.56'	93.56'
C13	38.34'	390.86'	15°10'57"	N 59°25'06" E 38.34'	38.34'
C14	33.15'	1245.00'	1°31'32"	S 06°36'36" E 33.15'	33.15'
C15	19.57'	1245.00'	0°54'02"	N 05°23'49" W 19.57'	19.57'
C18	45.31'	343.86'	7°32'58"	S 58°46'53" W 45.27'	45.27'
C19	11.37'	392.86'	1°39'32"	S 89°43'40" W 11.37'	11.37'

LOT	NLA(SF)	GLA(SF)
A	15,583	17,142
B	14,156	15,572
C	15,776	17,353
D	14,036	15,017
E	14,733	16,206
F	14,733	16,206
G	14,897	16,387
H	15,620	17,182
I	14,801	16,281

NLA:Net Land Area
GLA:Gross Land Area

**PRELIMINARY
R-1 SETBACKS**
NOT FOR RECORDATION

LOT LINES
ADJACENT LOT LINES
CREATED NEW EASEMENT
ABANDONED EASEMENT

Drawing name: Y:\eids_docs\COMMERCIAL_PROJECTS\22-294\120,121,130 GRAND ALEXANDER CT.CHAPEL HILL.NC\27517\SUR\22-294\120,121,130 GRAND ALEXANDER CT.CHAPEL HILL.NC\10'06'06" E 12'00"

LEGEND

BC=BACK OF CURB
CB=CATCH BASIN
CO=CLEAN OUT
C.O.S.=COMMUNITY OPEN SPACE
CPP=CORRUGATED PLASTIC PIPE
DW=DRIVEWAY
EB=ELECTRIC BOX
EP=EDGE OF PAVEMENT
FH=FIREF HYDRANT
LP=LIGHT POLE
MB=MAIL BOX
RCP=REINFORCED CONC.PIPE
PP=POWER POLE
RR=RIP RAP
RS=ROAD SIGN
SMH=SANITARY SEWER MANHOLE
SW=SIDE WALK
TP=TELECOMMUNICATION PEDESTAL
TSB=TELEPHONE SWITCH BOX
WL=WALL
WM=WATER METER

OWNERS:

JOHN & LESLIE MACKOWIAK
186 BLUFF ROAD,DEKAR POINT
NC 28584

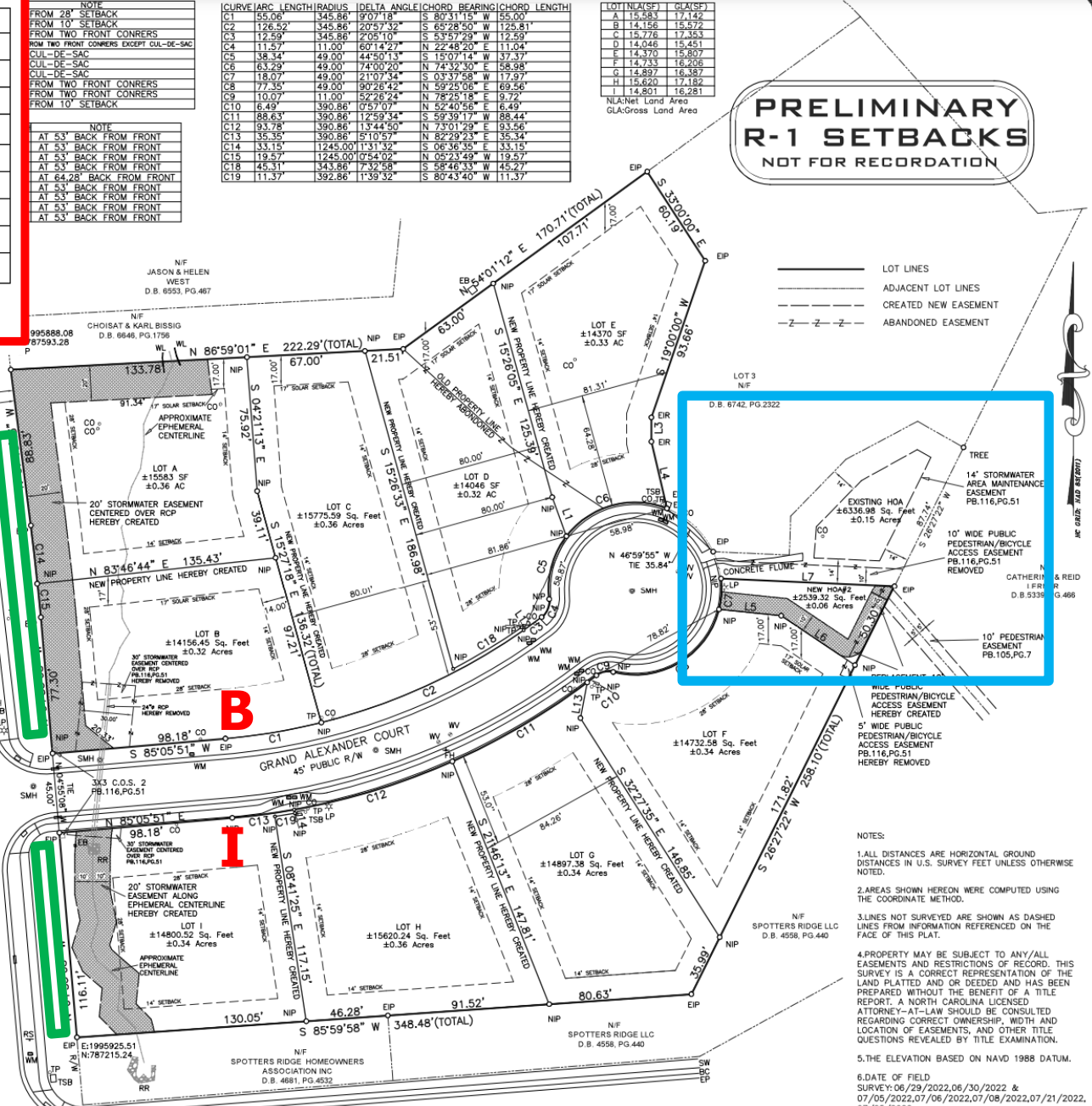
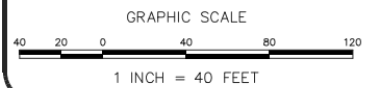
SETBACKS PER CHAPEL HILL:

FRONT 28'
INTERIOR 14'
SOLAR(NORTH) 17'

ZONING R-1

FLOOD NOTE:

THIS PROPERTY IS NOT LOCATED IN THE SPECIAL FLOOD HAZARD AREA. FLOOD MAP: 3710979800. TOWN OF CHAPEL HILL CD: 370180 PANEL: 9798 SUFFIX: L EFFECTIVE DATE 10/19/2018



- NOTES:**
- 1.ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
 - 2.AREAS SHOWN HEREON WERE COMPUTED USING THE COORDINATE METHOD.
 - 3.LINES NOT SURVEYED ARE SHOWN AS DASHED LINES FROM INFORMATION RECEIVED ON THE FACE OF THIS PLAT.
 - 4.PROPERTY MAY BE SUBJECT TO ANY/ALL EASEMENTS AND RESTRICTIONS OF RECORD. THIS SURVEY IS A CORRECT REPRESENTATION OF THE LAND PLATTED AND OR DEEDED AND HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. A NORTH CAROLINA LICENSED ATTORNEY-AT-LAW SHOULD BE CONSULTED REGARDING CORRECT OWNERSHIP, WIDTH AND LOCATION OF EASEMENTS, AND OTHER TITLE QUESTIONS REVEALED BY TITLE EXAMINATION.
 - 5.THE ELEVATION BASED ON NAVD 1988 DATUM.
 - 6.DATE OF FIELD SURVEY: 09/29/2022,06/30/2022 & 07/05/2022,07/06/2022,07/08/2022,07/21/2022, 07/25/2022
 - 7.ORIGINAL PATH WILL MOVE TO THE REPLACEMENT PATH LOCATION IF AND WHEN THE BIORETENTION AREA IS EXPANDED.

ECLS GLOBAL
U.S. VETERAN-OWNED
19 N. MCKINLEY ST.
COATS, NC 27525
910.897.3257 (TEL) 910.897.2329 (FAX) CO# C-175

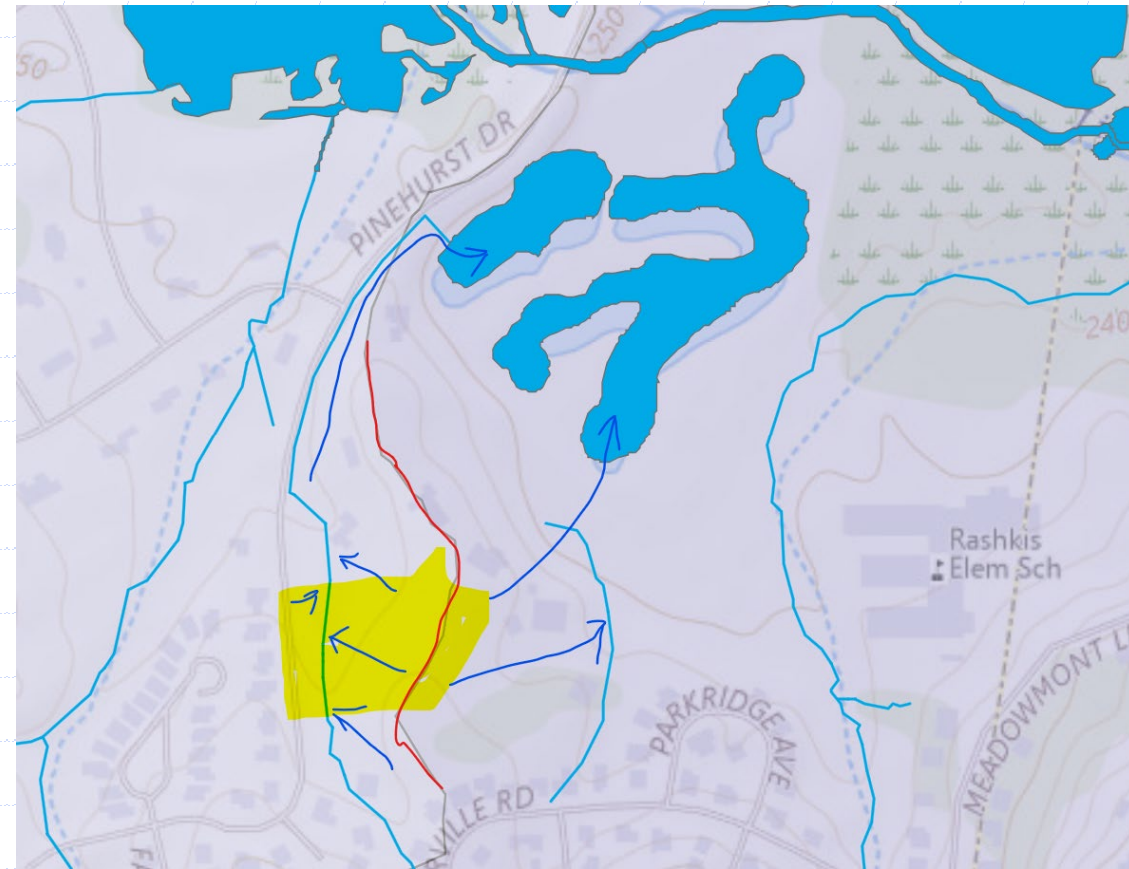
REVIEWS:
REVISED PEDESTRIAN AND STORM EASEMENT ON 07/25/2024

PRELIMINARY PLAT
AQUABELLA SUBDIVISION
JOHN & LESLIE MACKOWIAK
120,121,130 GRAND ALEXANDER COURT, CHAPEL HILL, N.C.
CHAPEL HILL TWP., ORANGE CO., N.C.
P.B. 116 PG.51 PIN:9798-67-0429
PIN:9798-67-1340
PIN:9798-67-1690

PROJECT: 22-294
SURVEYED BY: R.ANTONY
DRAWN BY: JX WANG
CHECK BY: D.B.
SCALE: 1"=40'
DATE: 07/25/2024

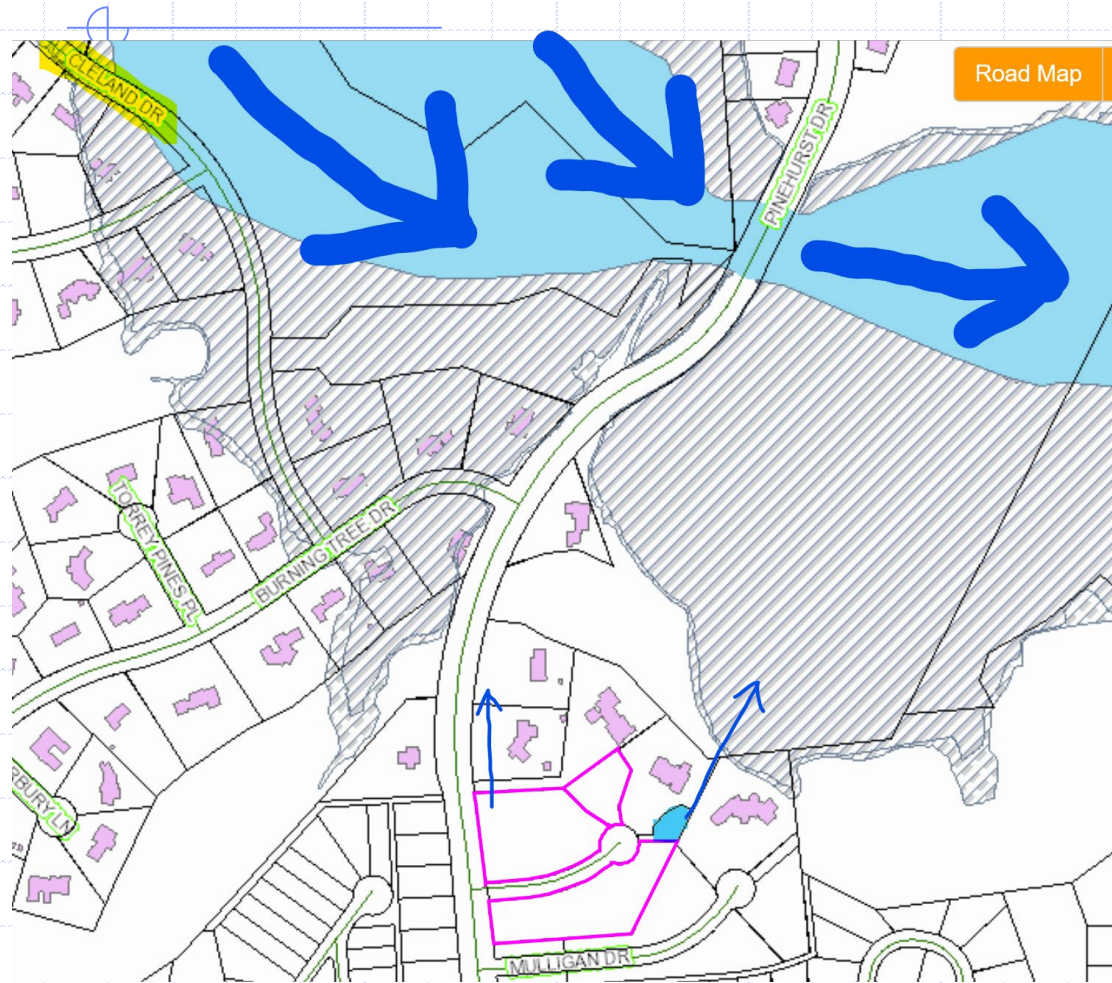
ECLS

Runoff goes to CHCC irrigation



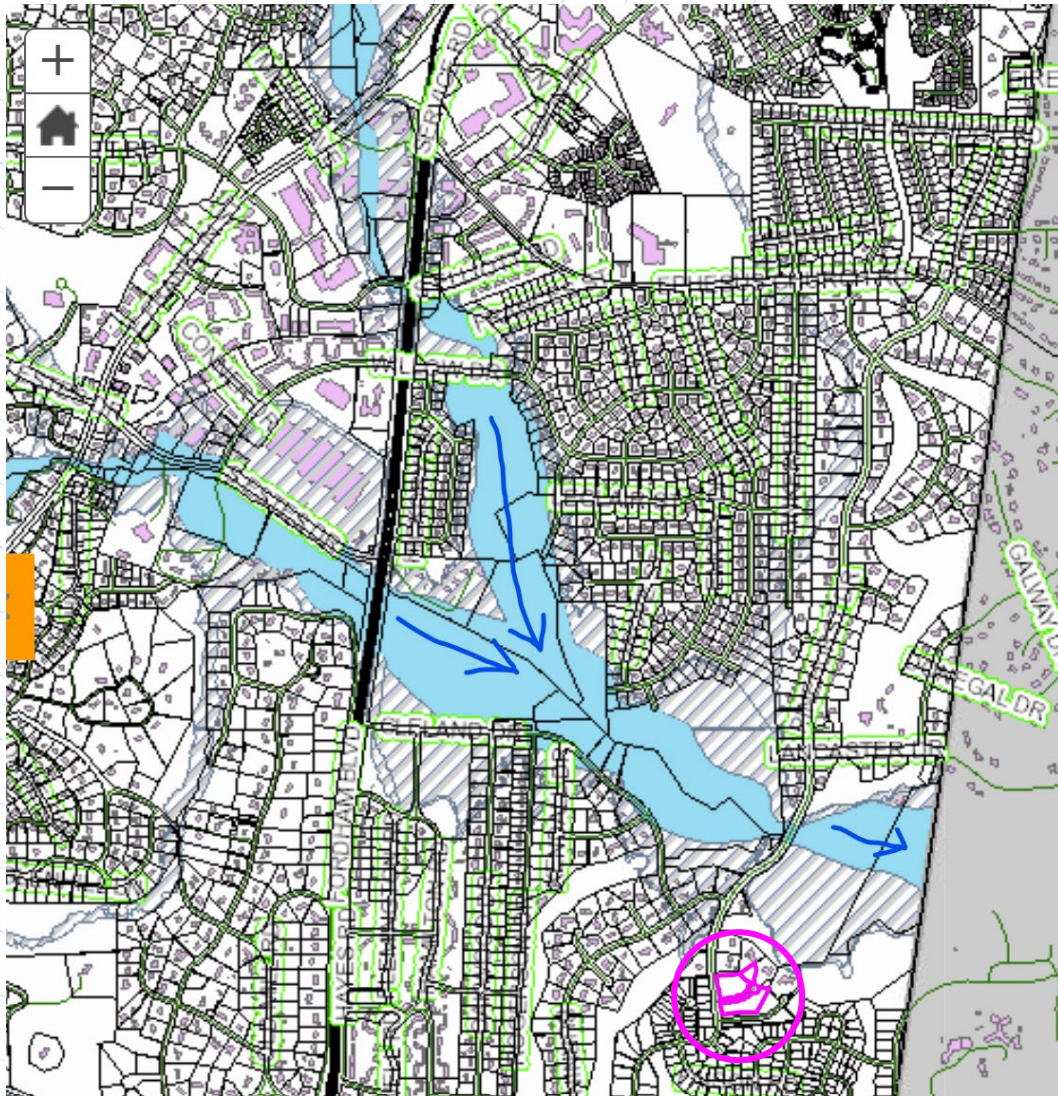
- ◆ Aquabella is shown in yellow
- ◆ Chapel Hill Watershed maps show runoff goes to CHCC ponds and is used for irrigation, avoiding use of OWASA water during droughts.

Chapel Hill nearby Flood Zones



As required for new subdivisions, SCMs will be employed so development does not make flooding worse.

Chapel Hill nearby Flood Zones

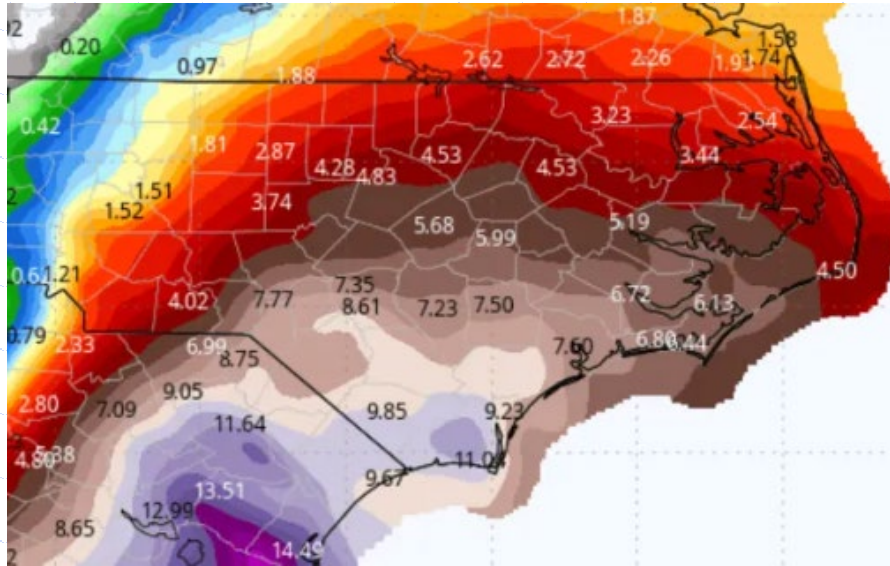


- ◆ As required for new subdivisions, SCMs will be employed so development does not make flooding worse.
- ◆ Local flooding is mostly from uphill development.

Stormwater Stipulation

4. Stormwater Management: Prior to issuance of a Zoning Compliance Permit for any lot within this subdivision, plans for development on that lot must demonstrate compliance with minimum stormwater management requirements found in LUMO.

Recent SCM Repairs



SCM is now repaired, mulched, planted and awaiting TOCH staff inspection.



Mackowiak's request

◆ That you:

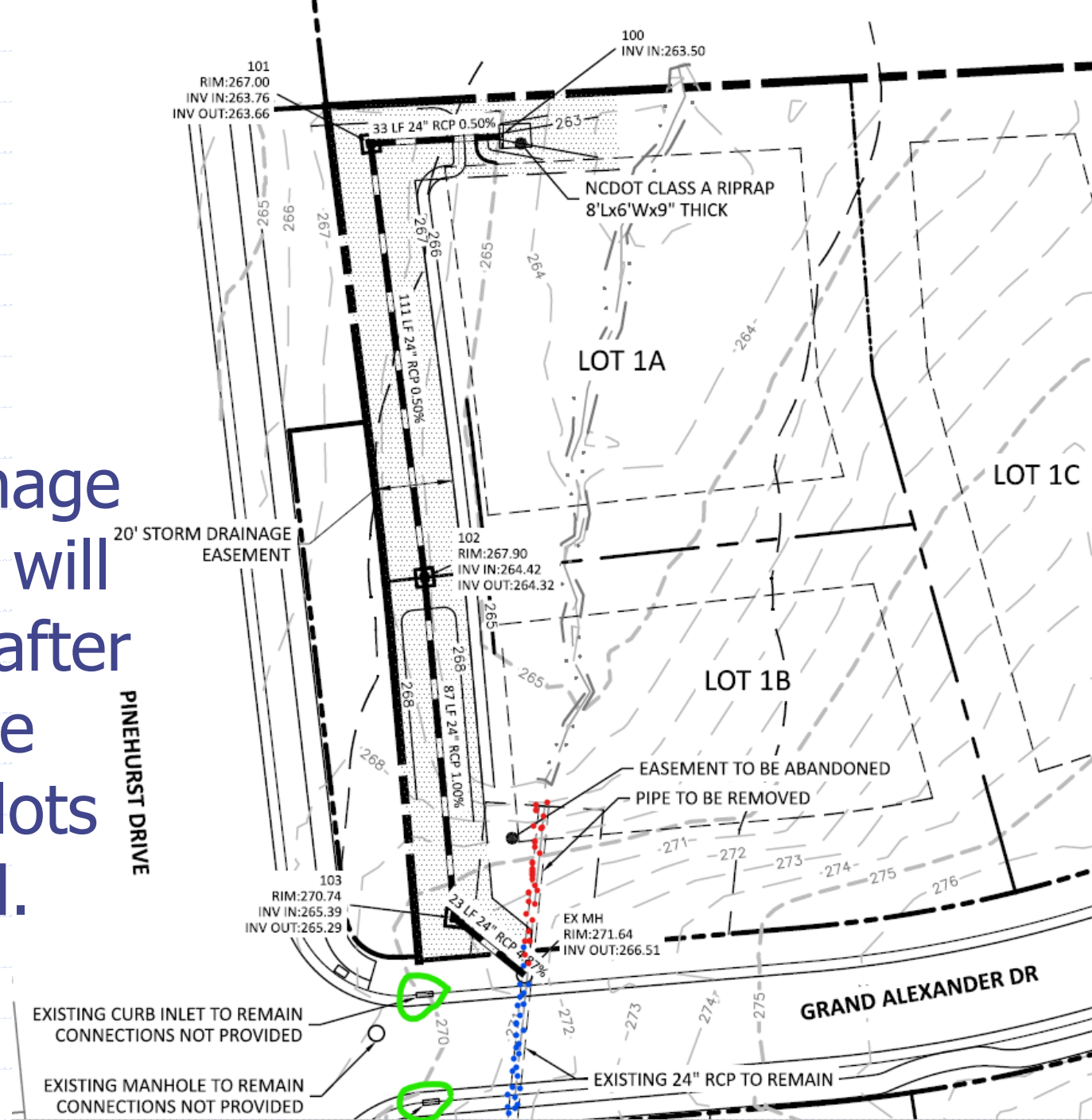
- Find this subdivision proposal would comply with LUMO provisions.
- Enhance the new LUMO to make more room for housing units and SCMs on existing lots.

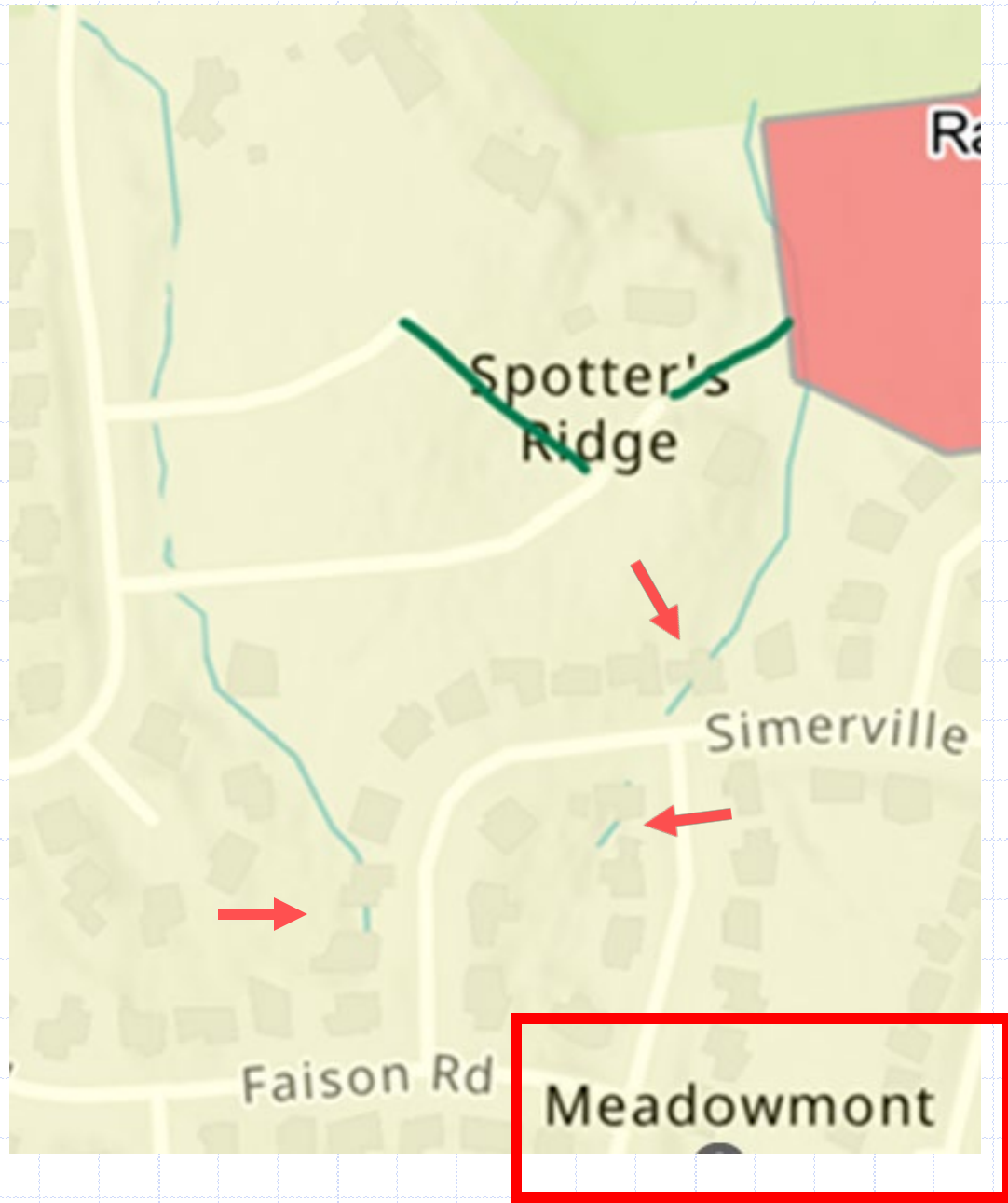
Thank You

◆ John & Leslie Mackowiak

Plan to Extend RCP

New drainage pathways will be made after houses are built and lots contoured.





Blue lines show previous location of ephemeral streams before Meadowmont homes were built.

BMP 4" underdrain separation



2006 Storm Water Proposal to be requested again after subdivision approval.

- ◆ Our original proposed location for a SCM would achieve pollutant removal from the new road surface, plus a portion of the existing Pinehurst Drive.
- ◆ A SCM sited in the ROW achieves pollutant removal from the road.

A photograph of a grassy area, possibly a golf course or park, with a yellow boundary line. The text "Proposed location for Northern SCM" is overlaid in white. In the background, there is a paved road, a dark car, and a dense line of trees.

Proposed location for
Northern SCM



Proposed location for
Southern SCM