

**CIVIL PERMIT PLAN SET**

ISSUANCE SCHEDULE	NUMBER	DATE	DESCRIPTION
	0	07/22/23	CONDITIONAL ZONING SUBMITTAL
	1	10/05/23	CONDITIONAL ZONING RESUBMITTAL
	2	12/09/23	CONDITIONAL ZONING RESUBMITTAL
	3	02/17/23	CONDITIONAL ZONING RESUBMITTAL

**BEECHWOOD HOMES  
SOUTH CREEK  
MIXED USE DEVELOPMENT**

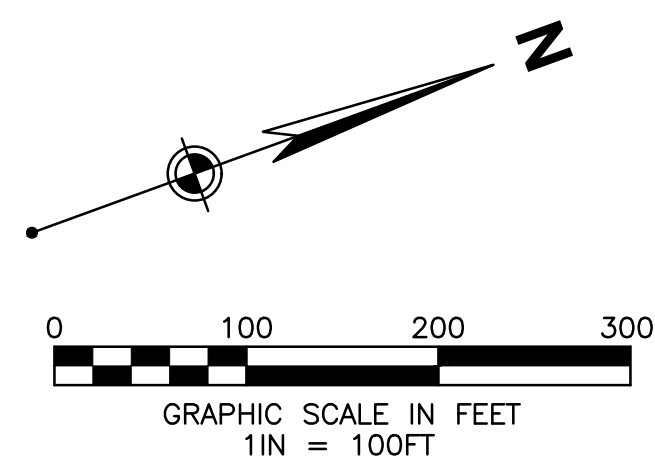
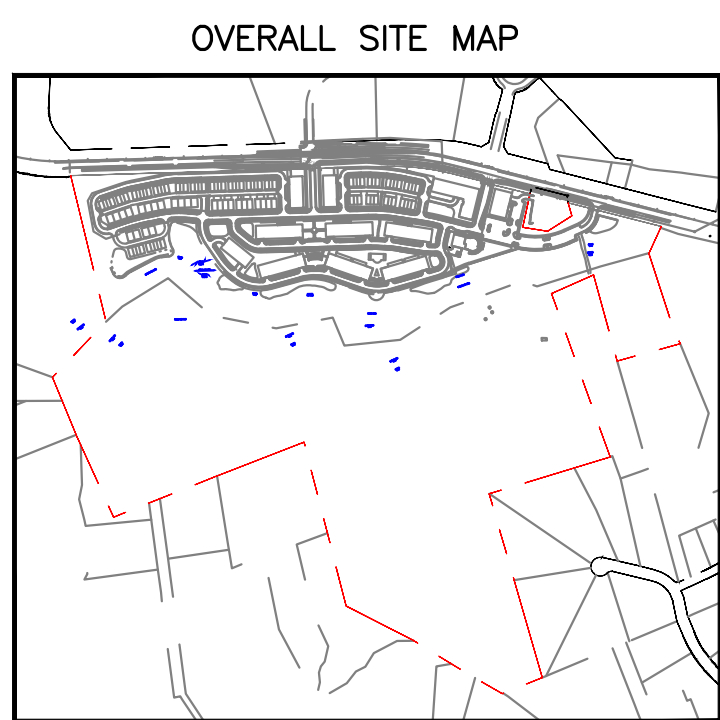
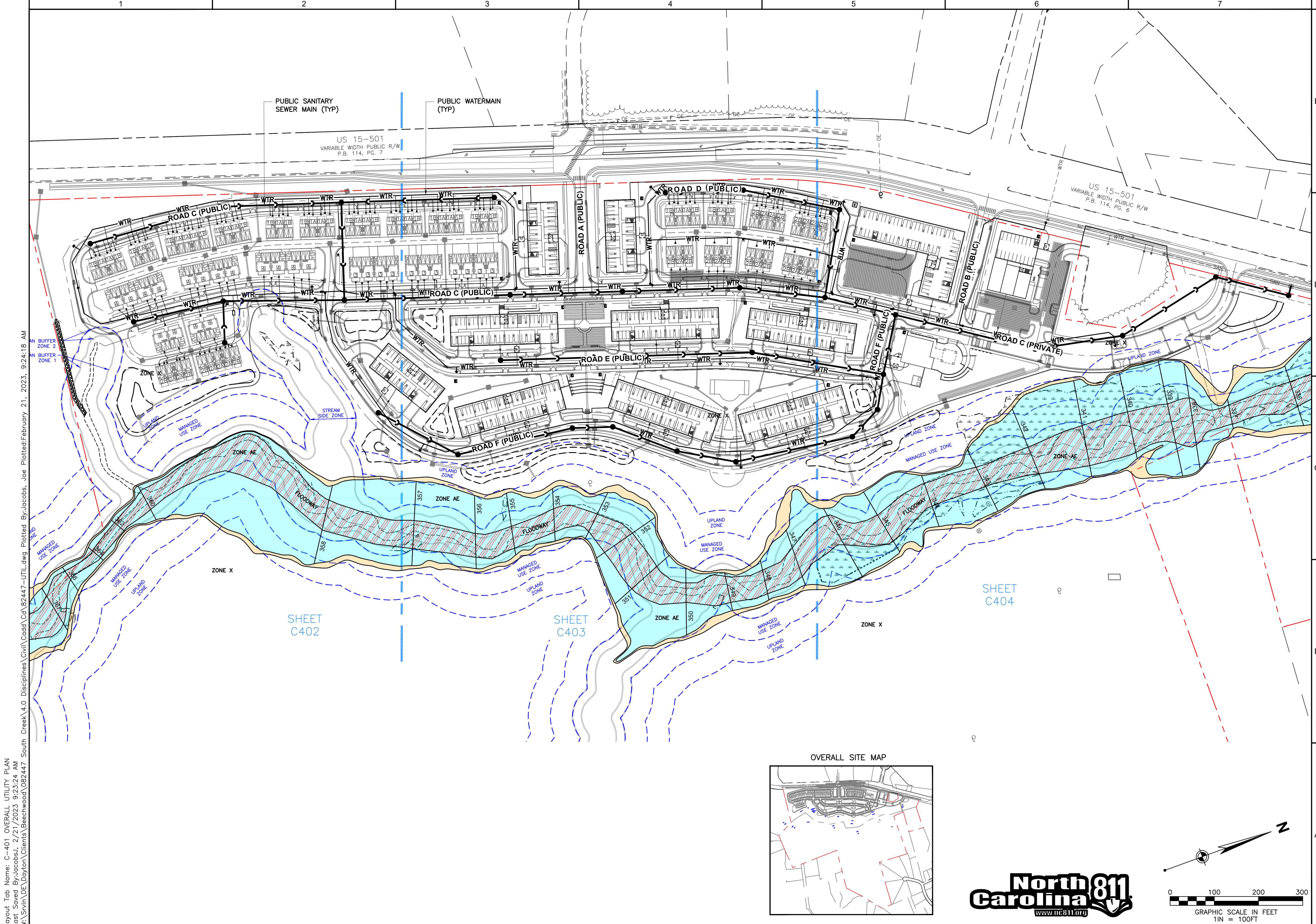
S COLUMBIA ST.  
CHAPEL HILL, NC 27514

PROJECT NO: 082447  
DATE ISSUED: 02/17/23  
DESIGNED BY: RMN  
DRAWN BY: VCS  
CHECKED BY: RMN

SHEET NAME:  
OVERALL UTILITY PLAN

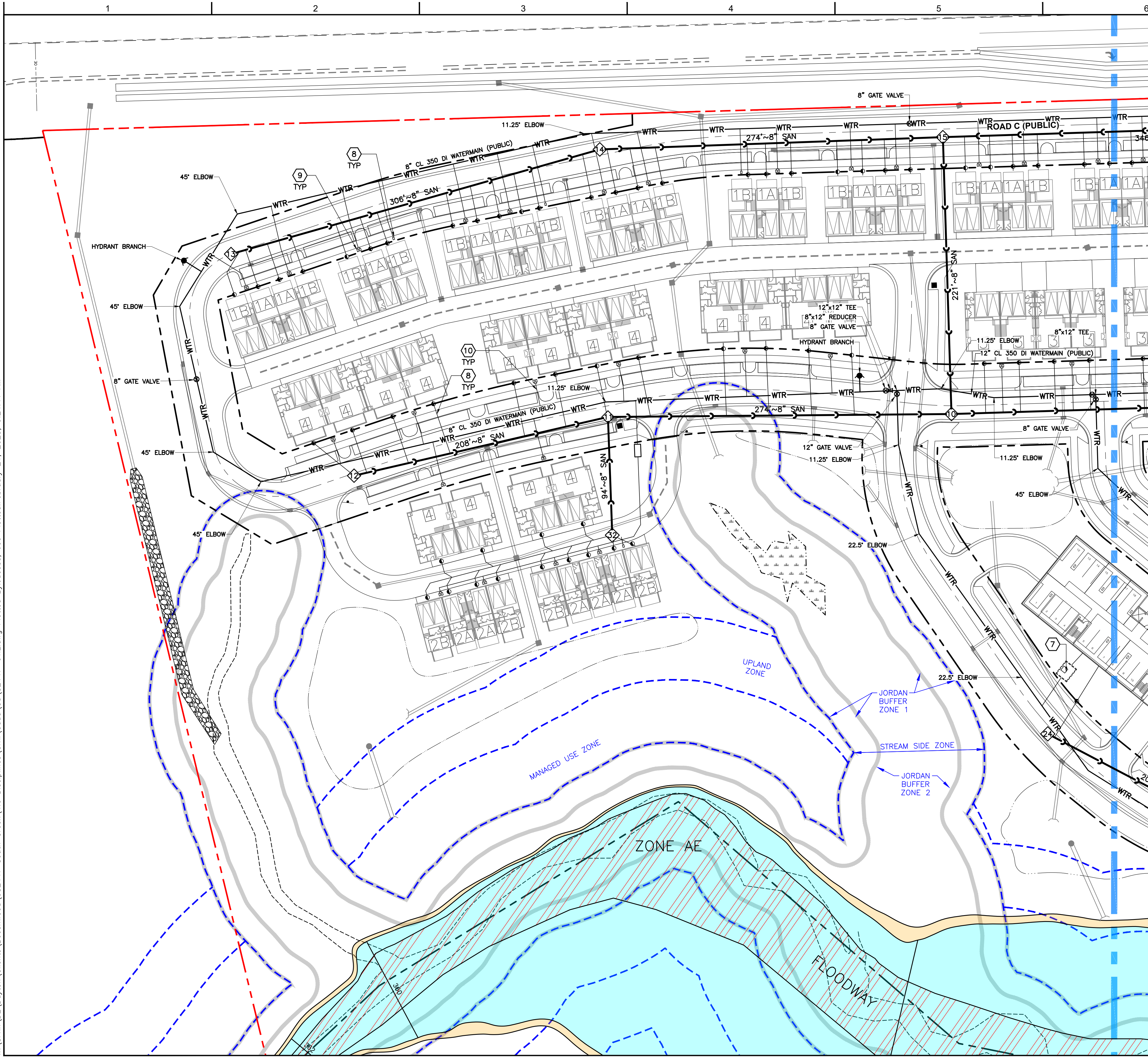
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**C-401**



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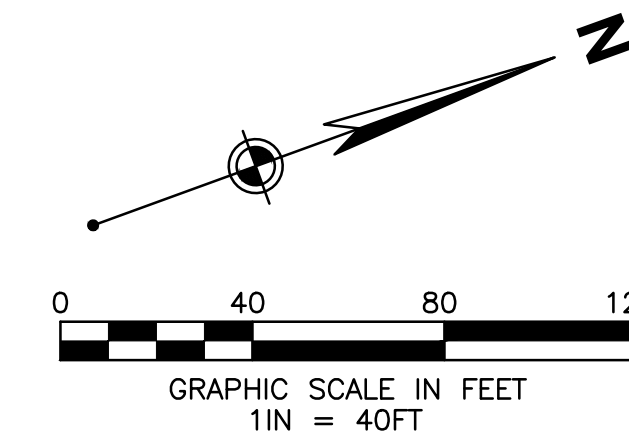
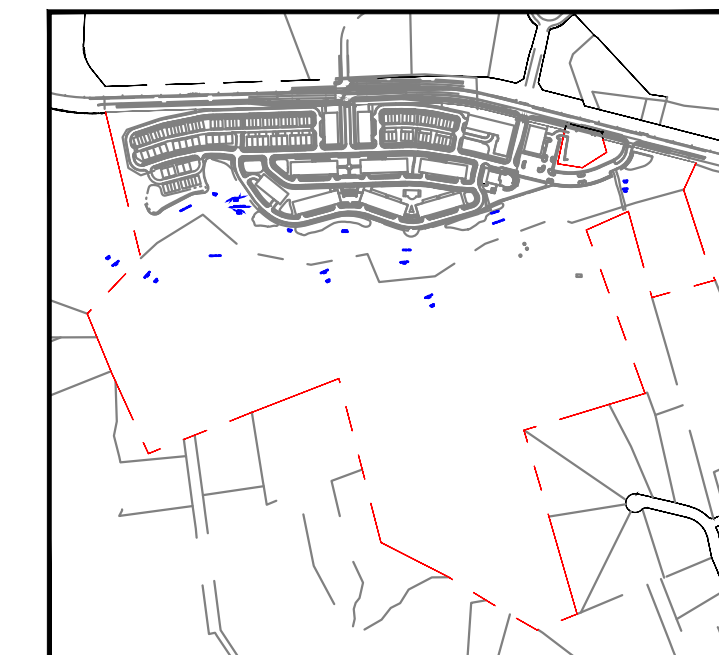
**NOTES**

- SEE SHEET C-003 FOR GENERAL NOTES.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET WITHIN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- REFER TO ARCHITECTURAL PLANS FOR EXACT BUILDING UTILITY ENTRANCE LOCATIONS AND MEP PLANS FOR CONTINUATION INTO BUILDING.
- ALL WATER MAIN PIPE MATERIAL SHALL BE DUCTILE IRON CLASS 350 PER WATER DEPARTMENT REQUIREMENTS.
- ALL SANITARY PIPE MATERIAL SHALL BE SDR 35 PER SANITARY SEWER DEPARTMENT REQUIREMENTS.
- CONTRACTOR TO PRACTICE CAUTION WHEN WORKING IN AREA OF EXISTING UTILITIES.
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- UNDER NO CIRCUMSTANCE SHALL THE POOL BACKWASH WATER BE DISCHARGED INTO THE STORM SEWER SYSTEM
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**KEYNOTES**

- CORE AND CONNECT TO EXISTING STRUCTURE. CONTRACTOR SHALL FIELD VERIFY THAT CONDITION OF STRUCTURE IS SUITABLE FOR MODIFICATION. IF NOT, THEN IT SHOULD BE REPLACED.
- OUTSIDE DROP MANHOLE CONNECTION.
- SANITARY LATERAL CONNECTION WITH CLEANOUT.
- GREASE INTERCEPTOR.
- CONNECT TO EXISTING 16" TEE WITH A 16" GATE VALVE.
- DEFLECT PIPING MAXIMUM 5' TO ACHIEVE LAYOUT.
- COMBINED SERVICE WATER METER VAULT.
- SINGLE SERVICE WATER METER VAULT.
- DUAL SERVICE WATER METER VAULT.
- WATER SERVICE
- MINIMUM 18" VERTICAL CLEARANCE AT UTILITY CROSSING

OVERALL SITE MAP



**CIVIL PERMIT PLAN SET**

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**BEECHWOOD HOMES**  
**SOUTH CREEK**  
 MIXED USE DEVELOPMENT

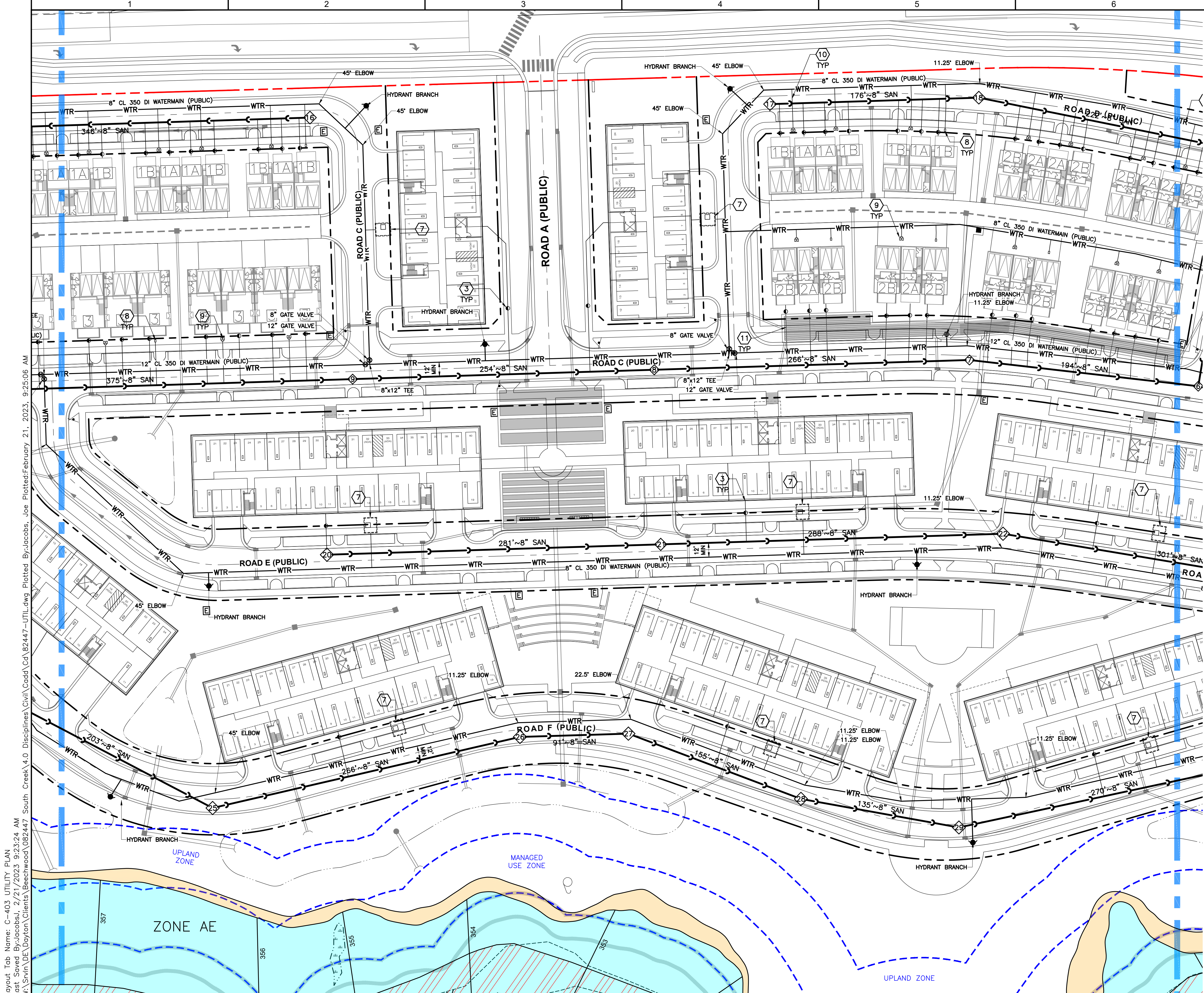
S COLUMBIA ST.  
 CHAPEL HILL, NC 27514

PROJECT NO: 082447  
 DATE ISSUED: 02/17/23  
 DESIGNED BY: RMN  
 DRAWN BY: VCS  
 CHECKED BY: RMN

SHEET NAME:  
 UTILITY PLAN

SHEET NO:

**C-402**



**NOTES**

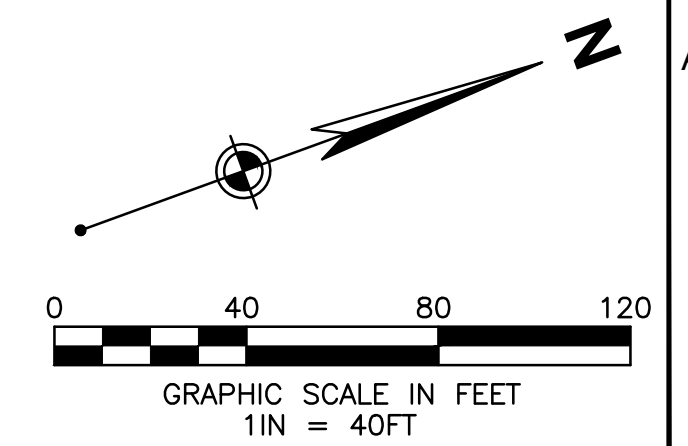
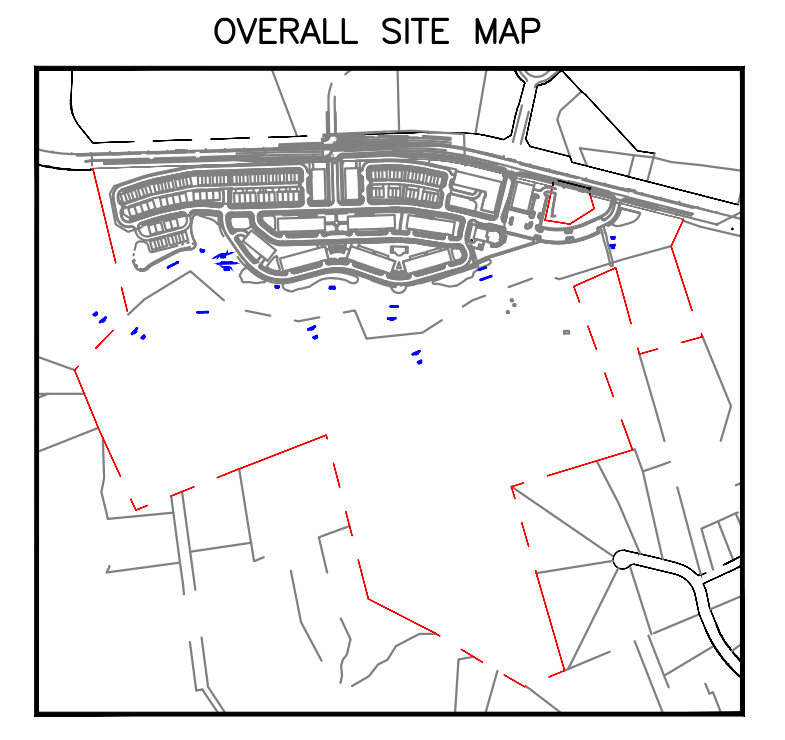
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**KEYNOTES (X)**

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**BEECHWOOD HOMES**  
**SOUTH CREEK**  
**MIXED USE DEVELOPMENT**  
S COLUMBIA ST.  
CHAPEL HILL, NC 27514

PROJECT NO: 082447  
DATE ISSUED: 02/17/23  
DESIGNED BY: RMN  
DRAWN BY: VCS  
CHECKED BY: RMN

SHEET NAME:  
UTILITY PLAN

SHEET NO:  
**C-403**

Layout Tab Name: C-403 UTILITY PLAN  
Last Saved By: jacobson, 2/21/2023 9:23:24 AM  
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SOUTH CREEK  
MIXED USE DEVELOPMENT**

S COLUMBIA ST.  
CHAPEL HILL, NC 27514

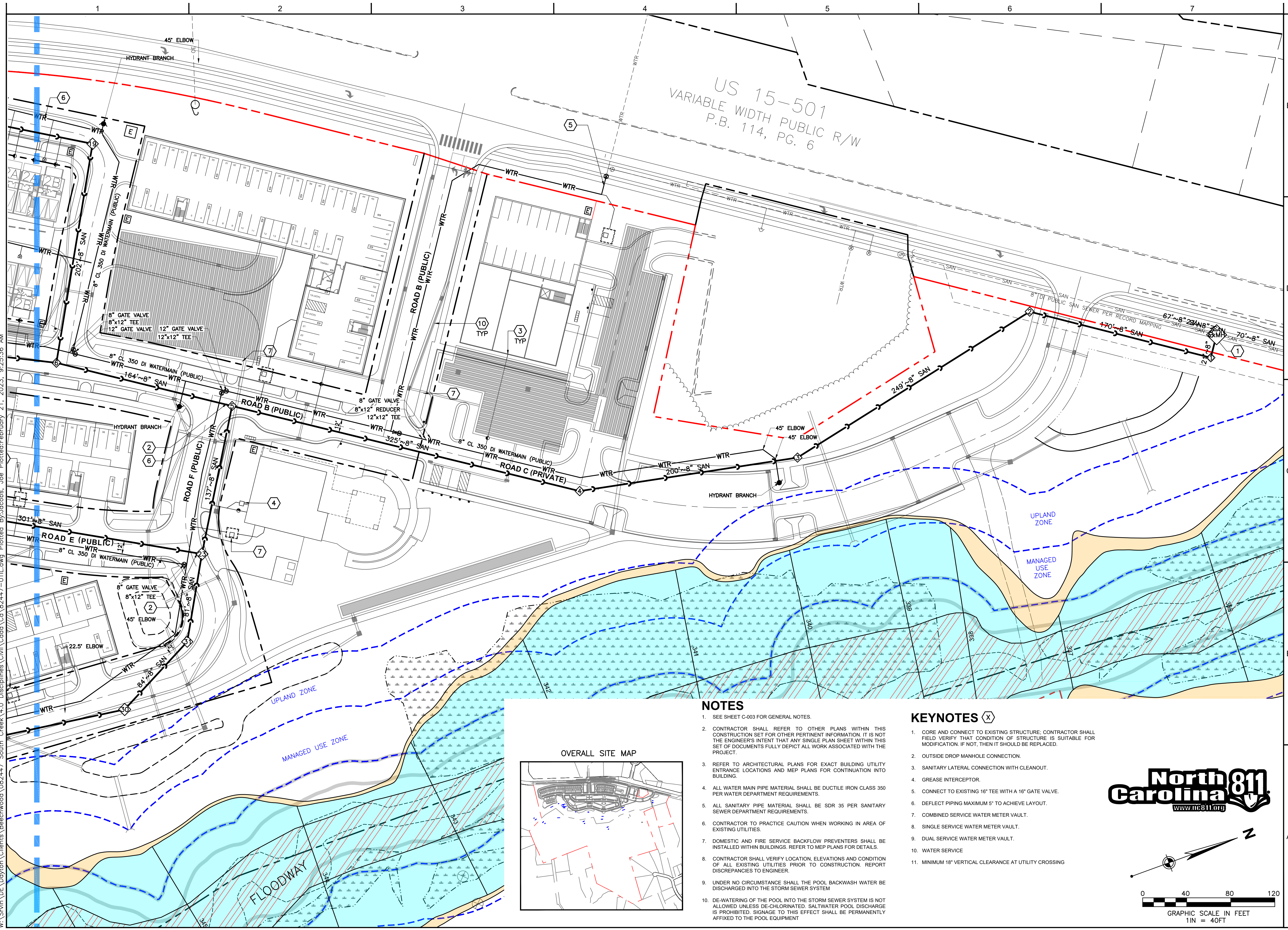
PROJECT NO: 082447  
DATE ISSUED: 02/17/23  
DESIGNED BY: RMN  
DRAWN BY: VCS  
CHECKED BY: RMN

SHEET NAME:  
UTILITY PLAN

SHEET NO:

**C-404**

US 15-501  
VARIABLE WIDTH PUBLIC R/W  
P.B. 114, PG. 6



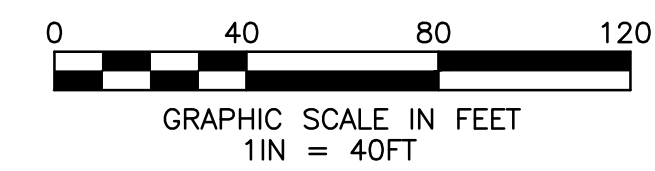
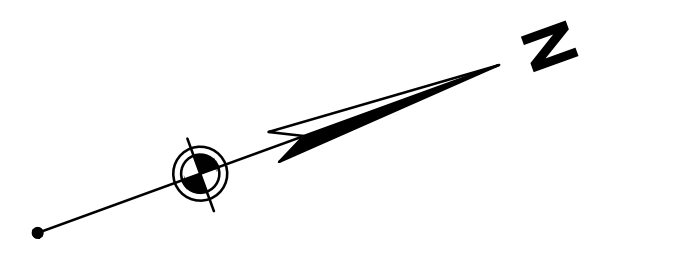
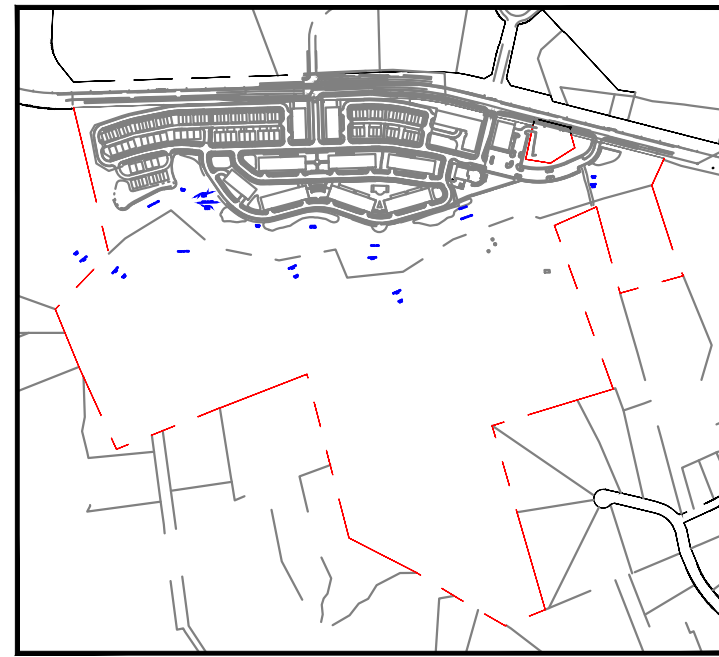
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OVERALL SITE MAP



Layout Tab Name: C-404 UTILITY PLAN  
Last Saved By: jacobsl, 2/21/2023 9:23:24 AM  
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**BEECHWOOD HOMES  
SOUTH CREEK  
MIXED USE DEVELOPMENT**

S COLUMBIA ST.  
CHAPEL HILL, NC 27514

PROJECT NO: 082447  
DATE ISSUED: 7/8/22  
DESIGNED BY: RMN  
DRAWN BY: VCS  
CHECKED BY: RMN

SHEET NAME:  
DETAILS

SHEET NO:

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: LOCAL STREET (WITH ON-STREET PARKING)**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-ID

SH.5 of 8

NOTES:  
1. UTILITY STRIP WIDTH MAY VARY DEPENDING ON APPROVED LANDSCAPING DESIGN.  
2. ALTERNATIVE PAVEMENT DESIGNS MAY BE REQUIRED BASED UPON SITE-SPECIFIC SOIL AND DRAINAGE CONDITIONS.  
3. ADDITIONAL RIGHT-OF-WAY MAY BE REQUIRED FOR UTILITY INSTALLATION.  
4. ADDITIONAL TRAVEL LANE WIDTH MAY BE REQUIRED ON STREETS EXPECTED TO CONVEY HIGH TRAFFIC VOLUMES AND/OR TRUCK TRAFFIC.  
5. ADD 9" (MINIMUM) OF ADDITIONAL PAVEMENT WIDTH IF TURN LANE IS REQUIRED.  
6. AGGREGATE BASE COURSE THICKNESS SHALL BE 8" IN TYPE I AREA; 10" IN TYPE II AREA.

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: TYPICAL SIDEWALK**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-4

SH.1 of 3

NOTES:  
1. ALL CONCRETE 3000 PSI.  
2. SEE STANDARD DETAIL "D-1" FOR THROUGH DRIVEWAY SPECIFICATIONS.  
3. EXPANSION JOINTS 50' APART MAXIMUM.  
4. CONTROL JOINT EVERY 5 FEET.  
5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.  
6. IF UTILITY STRIP IS COMPLETELY ELIMINATED, SIDEWALK SHALL BE PLACED DIRECTLY AT BACK-OF-CURB, WITH 1/4" EDGE RADIUS.

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: TYPICAL SIGHT DISTANCE EASEMENT FOR AT-GRADE INTERSECTION OF TWO ROADS**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-10

NOTE - WHEN THE GRADES OF THE INTERSECTION LEGS ARE OTHER THAN FLAT, CORRECTIONS SHOULD BE MADE TO SIGHT DISTANCE REQUIREMENTS AS OUTLINED BY A.A.S.H.T.O.

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: RETAINING WALLS**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-13

NOTES:  
1. CONCRETE f'c = 3000 PSL MIN.  
2. REINFORCEMENT STEEL fy = 60,000 PSL.  
3. REINFORCEMENT STEEL LAPS = CLASS C.  
4. BACKFILL TO BE LEVEL.  
5. PLACE EXP. JOINTS @ 90'-0" MAX.  
6. PLACE CONSTR. JOINTS @ 30'-0" o.c.  
7. EARTH LATERAL FORCE EQ. 30 PSF EQUIV. FLUID PRESSURE.  
8. FOOTINGS TO BE PLACED ON NATIVE MATERIAL, COMPACTED TO 95% MAX. DENSITY.  
9. 12" WIDE x 12" DEEP x 12" HIGH CRUSHED STONE @ WEEP HOLES WRAPPED IN FABRIC (TYP.) ALL WALLS.

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: LOT LAYOUT SCHEDULE**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: P-1

	A	B	C	D	D'	E	F	F'	G
0°	8.0'	N/A	12.0'	20.0'	23.0'	28.0'	36.0'	N/A	
45°	8.5'	16.0'	13.0'	20.0'	12.0'	49.0'	56.0'	2.0'	
60°	8.5'	19.5'	16.0'	20.0'	9.8'	55.0'	59.6'	2.5'	
75°	8.5'	19.8'	20.0'	20.0'	8.8'	59.6'	59.6'	3.0'	
90°	8.5'	18.5'	25.0'	25.0'	8.5'	62.0'	62.0'	3.0'	

	A	B	C	D	D'	E	F	F'	G
0°	8.0'	N/A	11.0'	20.0'	19.0'	27.0'	36.0'	N/A	
45°	8.0'	15.3'	11.5'	20.0'	11.3'	42.1'	50.6'	1.5'	
60°	8.0'	16.3'	13.3'	20.0'	9.2'	45.9'	52.6'	1.8'	
75°	8.0'	16.5'	16.0'	20.0'	8.2'	49.0'	53.0'	2.0'	
90°	8.0'	15.5'	20.0'	20.0'	8.0'	51.0'	51.0'	2.0'	

ADDITIONAL WIDTH MAY BE REQUIRED WHERE THE AISLE SERVES AS A PRINCIPAL VEHICULAR ACCESS TO ON-SITE USES OR STRUCTURES OR SERVES TWO-WAY TRAFFIC.  
PARKING STALLS ABUTTING SIDEWALK AND PLANTING STRIPS SHALL PROVIDE ADDITIONAL CLEARANCE BETWEEN THE STALL AND THE SIDEWALK OR PLANTING STRIP.

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: VALLEY CURB AND GUTTER SECTION**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-2C

MANAGER'S PRIOR APPROVAL REQUIRED

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: PIPE OUTLET WITH DITCH**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-IG

SH.8 of 8

NOTES:  
1. AGGREGATE BASE COURSE THICKNESS SHALL BE 8" IN TYPE I AREA; 10" IN TYPE II AREA. (SEE AREA MAP IN DESIGN MANUAL.)  
2. TOWN STREETS SHALL TYPICALLY BE CONSTRUCTED USING TWO-COURSE PAVING IN ACCORDANCE WITH THE DESIGN MANUAL.

**STANDARD ENGINEERING DEPARTMENT DETAILS**

**TITLE: TYPICAL PAVEMENT THICKNESS FOR TYPE I AND TYPE II CONSTRUCTION AREAS**

NO SCALE

REVISIONS: NO DATE BY

DET.NO: ST-1G

SH.8 of 8

D	CLASS 'B' RIP RAP		CLASS 'I' RIP RAP		CLASS 'I' RIP RAP		CLASS 'I' RIP RAP		
	TONS	S.Y.	TONS	S.Y.	TONS	S.Y.	TONS	S.Y.	
12"	2	5	5	2	5	1	4	2	1
15"	2	7	7	3	7	1	5	3	2
18"	3	10	9	4	10	2	7	4	2
24"	5	14	15	7	15	3	11	7	4
30"	8	21	21	11	22	5	18	11	7
36"	11	28	28	15	30	7	22	16	10
42"	15	37	39	20	39	10	28	22	13
48"	-	-	49	26	50	-	-	28	17
54"	-	-	60	33	62	-	-	36	21
60"	-	-	73	40	75	-	-	44	26
66"	-	-	87	48	89	-	-	54	32
72"	-	-	102	57	104	-	-	64	38
78"	-	-	-	-	-	-	-	-	-

**STANDARD ENGINEERING DEPARTMENT DETAILS**

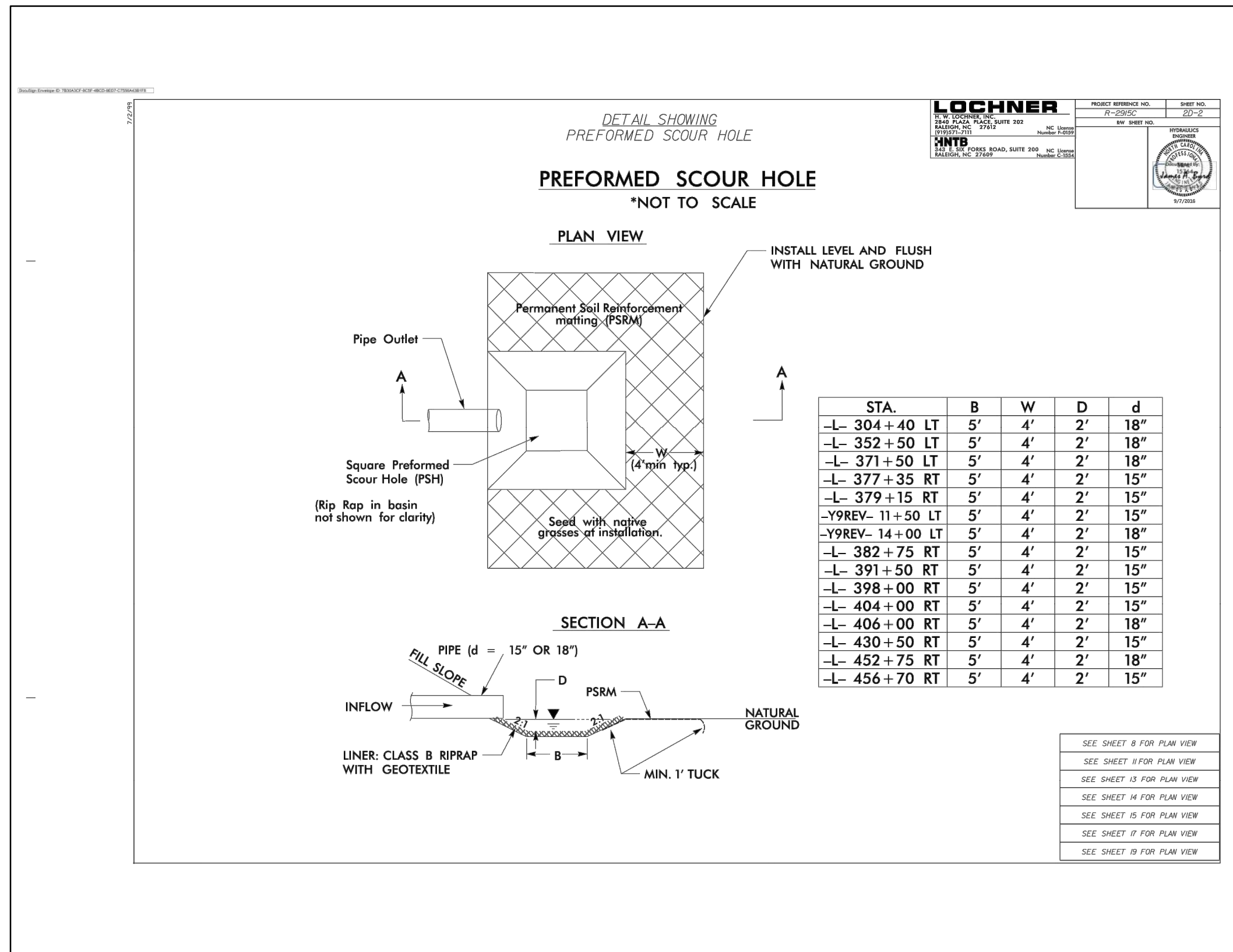
**TITLE: CURB & GUTTER SECTION**

SCALE: 1" = 1'-0"

REVISIONS: NO DATE BY

DET.NO: ST-2

Layout Tab Name: C-802 DETAILS  
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**CIVIL  
 PERMIT  
 PLAN SET**

ISSUANCE SCHEDULE	DESCRIPTION
NUMBER	DATE
2	12/09/22
3	02/17/23

**BEECHWOOD HOMES  
 SOUTH CREEK  
 MIXED USE DEVELOPMENT**  
 S COLUMBIA ST.  
 CHAPEL HILL, NC 27514

PROJECT NO: 082447  
 DATE ISSUED: 7/8/22  
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SHEET NAME:  
**DETAILS**

SHEET NO:  
**C-802**

**CIVIL PERMIT PLAN SET**

ISSUANCE SCHEDULE NUMBER	DESCRIPTION	DATE

**BEECHWOOD HOMES SOUTH CREEK MIXED USE DEVELOPMENT**

PROJECT NO:	082447
DATE ISSUED:	02/17/23
DESIGNED BY:	RMN
DRAWN BY:	VCS
CHECKED BY:	RMN

SHEET NAME:  
**LANDSCAPE PLAN**

SHEET NO:  
**L-101**

TAG	QTY	SCIENTIFIC NAME	COMMON NAME	COND.	SIZE	REMARKS
<b>TREE</b>						
AP	62	Aesculus pavia	Red Buckeye	B&B	1" cal. 6'ht. 4'wd	Full, well shaped
CC	80	Cercis canadensis	Eastern Redbud	B&B	1" cal. 6'ht. 3'wd	Full, well shaped
AL	79	Amelanchier laevis	Serviceberry	B&B	1" cal. 6'ht. 3'wd	Full, well shaped
NS	19	Nyssa sylvatica	Black Gum	B&B	2" cal. 6'ht. 4'wd	Full, well shaped
AR	53	Acer rubrum	Red Maple	B&B	2" cal. 6'ht. 3'wd	Full, well shaped
QP	47	Quercus pagodifolia	Cherrybark Oak	B&B	2" cal. 6'ht. 3'wd	Full, well shaped
<b>EVERGREEN SHRUB</b>						
IG	477	Ilex glabra	Inkberry Holly	#3 cont.	30"ht. x 24"wd.	Full, vigorous
LC	494	Lorapetalum chinense 'Rubrum'	Chinese Fringe Flower	#3 cont.	30"ht. x 24"wd.	Full, vigorous
GJ	221	Gardenia jasminoides 'Radicans'	Dwarf Gardenia	#3 cont.	36"ht. x 24"wd.	Full, vigorous
<b>DECIDUOUS SHRUB</b>						
CA	46	Clethra alnifolia	Summersweet Clethra	#5 cont.	36"ht. x 24"wd.	Full, vigorous
<b>GROUND COVER</b>						
SEED	+/-378,412 SF					

**PERMANENT SEED BLEND**

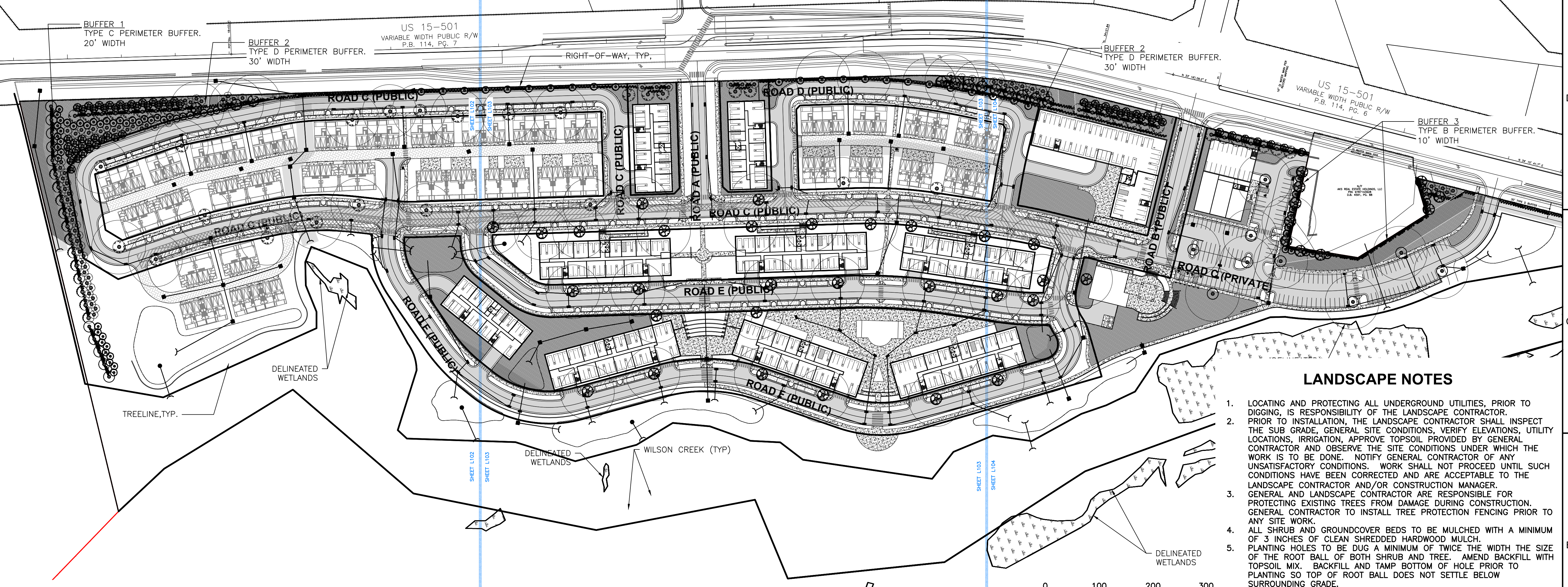
90% FINE LEAF FESCUE (FESTUCA ARUNDINACEA) REBEL, REBEL II, WRANGLER, BONANZA, MOJAVE OR EQUAL

10% KENTUCKY BLUEGRASS (POA PRATENSIS) MIDNIGHT, RUGBY II, MIDIRON VARIETIES OR EQUAL

98% PURITY AND 85% GERMINATION  
95% WEED FREE

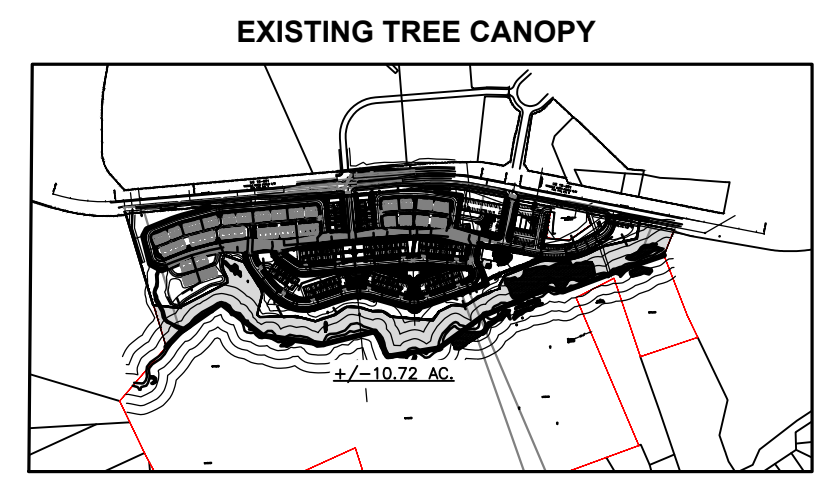
SHREDDED HARDWOOD MULCH TO 3" DEPTH, UNLESS NOTED OTHERWISE. SEE SPECIFICATIONS.

UTILITY EASEMENTS



**LANDSCAPE NOTES**

- LOCATING AND PROTECTING ALL UNDERGROUND UTILITIES, PRIOR TO DIGGING, IS RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. PRIOR TO INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL INSPECT THE SUB GRADE, GENERAL SITE CONDITIONS, VERIFY ELEVATIONS, UTILITY LOCATIONS, IRRIGATION, APPROVE TOPSOIL PROVIDED BY GENERAL CONTRACTOR AND OBSERVE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE DONE. NOTIFY GENERAL CONTRACTOR OF ANY UNSATISFACTORY CONDITIONS. WORK SHALL NOT PROCEED UNTIL SUCH CONDITIONS HAVE BEEN CORRECTED AND ARE ACCEPTABLE TO THE LANDSCAPE CONTRACTOR AND/OR CONSTRUCTION MANAGER.
- GENERAL AND LANDSCAPE CONTRACTOR ARE RESPONSIBLE FOR PROTECTING EXISTING TREES FROM DAMAGE DURING CONSTRUCTION. GENERAL CONTRACTOR TO INSTALL TREE PROTECTION FENCING PRIOR TO ANY SITE WORK.
- ALL SHRUB AND GROUND COVER BEDS TO BE MULCHED WITH A MINIMUM OF 3 INCHES OF CLEAN SHREDDED HARDWOOD MULCH.
- PLANTING HOLES TO BE DUG A MINIMUM OF TWICE THE WIDTH THE SIZE OF THE ROOT BALL OF BOTH SHRUB AND TREE. AMEND BACKFILL WITH TOPSOIL MIX. BACKFILL AND TAMP BOTTOM OF HOLE PRIOR TO PLANTING SO TOP OF ROOT BALL DOES NOT SETTLE BELOW SURROUNDING GRADE.
- TOPSOIL MIX TO BE 4 PARTS SCREENED TOPSOIL AND 1 PART ORGANIC MATERIAL (i.e. NATURE'S HELPER OR PRO MIX).
- EXISTING GRASS IN PROPOSED PLANTING AREAS TO BE REMOVED AND AREA TO BE HAND RAKED TO REMOVE ALL ROCKS AND DEBRIS LARGER THAN 1 INCH IN DIAMETER PRIOR TO PLANTING SHRUBS.
- SOIL TO BE TESTED TO DETERMINE FERTILIZER AND LIME REQUIREMENTS. LIME AND FERTILIZER TO BE DISTRIBUTED PRIOR TO LAYING SOD. ALL DISTURBED AREAS (INCLUDING RIGHT-OF-WAYS) NOT RECEIVING PLANTINGS TO RECEIVE 4 INCHES OF TOPSOIL AND SODDED.
- SOD TO BE DELIVERED FRESH (CUT LESS THAN 24 HOURS PRIOR TO ARRIVING ON SITE), LAID IMMEDIATELY, ROLLED AND WATERED THOROUGHLY WITHIN ONE HOUR OF INSTALLATION.
- ALL CHANGES TO DESIGN AND/OR PLANT SUBSTITUTIONS TO BE AUTHORIZED BY LANDSCAPE ARCHITECT.
- ALL PARKING ISLANDS TO BE BERMED UP 6"-10" WITH CLEAN FRIABLE TOPSOIL PRIOR TO PLANTING.
- ALL LANDSCAPING SHALL BE INSTALLED IN CONFORMANCE WITH ANSI Z60.1 THE AMERICAN STANDARD FOR NURSERY STOCK, AND THE ACCEPTED STANDARDS OF AMERICANHORT.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS INSTALLED FOR ONE FULL YEAR FROM DATE OF ACCEPTANCE BY THE OWNER. ALL PLANTS SHALL BE ALIVE AND AT A VIGOROUS RATE OF GROWTH AT THE END OF THE GUARANTEE PERIOD. THE LANDSCAPE CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ACTS OF GOD OR VANDALISM.
- ANY PLANT THAT IS DETERMINED DEAD, IN AN UNHEALTHY OR UNSIGHTLY CONDITION, LOST ITS SHAPE DUE TO DEAD BRANCHES OR OTHER SYMPTOMS OF POOR, NON-VIGOROUS GROWTH SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR WITH THE COST OF THE REPLACEMENT INCLUDED IN THE BID OR PROPOSAL PRICE.
- WATER THOROUGHLY TWICE IN THE FIRST 24 HOURS AND APPLY MULCH IMMEDIATELY.



**PLANTING REQUIREMENTS**

**PERIMETER BUFFER 1**

PROPOSED USE ADJACENT TO LAND ZONING:  
R-LDS, RT, R-LD1, R-1, R-2, R-3  
BUFFER TYPE C REQUIRED - 20' MIN. WIDTH  
(SOUTHERN PROPERTY BOUNDARY)

<b>PLANTS REQUIRED PER 100 LF</b>	
LARGE TREES:	4
SMALL TREES:	8
SHRUBS:	30

<b>TOTAL BUFFER LENGTH: +/-530 LF</b>	
LARGE TREES REQUIRED:	21.2
SMALL TREES REQUIRED:	42.4
SHRUBS REQUIRED:	159
LARGE TREES PROVIDED:	22
SMALL TREES PROVIDED:	50
SHRUBS PROVIDED:	180

**PERIMETER BUFFER 2**

PROPOSED USE ADJACENT TO ARTERIAL STREET  
BUFFER TYPE D REQUIRED - 30' MIN. WIDTH  
(WESTERN PROPERTY BOUNDARY)

<b>PLANTS REQUIRED PER 100 LF</b>	
LARGE TREES:	5
SMALL TREES:	10
SHRUBS:	30

<b>TOTAL BUFFER LENGTH: +/-2,900 LF</b>	
LARGE TREES REQUIRED:	145
SMALL TREES REQUIRED:	290
SHRUBS REQUIRED:	870
LARGE TREES PROVIDED:	44
SMALL TREES PROVIDED:	158
SHRUBS PROVIDED:	878

**PERIMETER BUFFER 3**

PROPOSED USE ADJACENT TO INTUITIONAL USE (CHURCH):  
BUFFER TYPE B REQUIRED - 10' MIN. WIDTH  
(SOUTHERN PROPERTY BOUNDARY)

<b>PLANTS REQUIRED PER 100 LF</b>	
LARGE TREES:	4
SMALL TREES:	7
SHRUBS:	12

<b>TOTAL BUFFER LENGTH: +/-535 LF</b>	
LARGE TREES REQUIRED:	21.4
SMALL TREES REQUIRED:	37.4
SHRUBS REQUIRED:	64.2
LARGE TREES PROVIDED:	9
SMALL TREES PROVIDED:	13
SHRUBS PROVIDED:	180

**PARKING LOT SHADE TREES**

1 LARGE TREE PER 2,000 SF OF PARKING AREA REQUIRED; NO SPACE SHALL BE FARTHER THAN 50' FROM LARGE TREE; PLANTING ISLAND MIN. SF FOR LARGE TREE = 200 SF

PARKING LOT AREA:	+/-90,423 SF
TREES REQUIRED:	46
TREES PROVIDED:	59

**LOADING AREA SCREENING**

MIN. 12' WIDTH SCREENING FROM ALL PUBLIC R/W AND ADJACENT PROPERTIES

**TREE CANOPY COVERAGE**

<b>SITE ACREAGE (LOT 1): +/-42.80 AC.</b>	
REQUIRED: 40% (17.12 AC)	
PROPOSED: 10.72 AC. EXISTING TREES	
2.30 AC. PROPOSED TREES	
TOTAL: +/-30.43% (13.02 AC.)	

Layout Tab Name: L-101 LANDSCAPE PLAN  
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