

UNC HEALTH CARE SYSTEM EASTOWNE REDEVELOPMENT MOB 1

SPECIAL USE PERMIT FOR:
UNC HEALTH CARE SYSTEM EASTOWNE
REDEVELOPMENT MOB 1
CHAPEL HILL, NORTH CAROLINA
PROJECT NUMBER: UNC-17020

SITE DATA:

PHYSICAL ADDRESS:	100 EASTOWNE DRIVE CHAPEL HILL, NC 27514		
OWNER:	HEALTH SYSTEM PROPERTIES, LLC 211 FRIDAY CENTER DRIVE CHAPEL HILL, NORTH CAROLINA 27517		
PIN:	9890800195		
EXISTING ZONING:	OI-2		
PROPOSED ZONING:	OI-3		
NET LAND AREA:	8.38 AC.		
CREDITED STREET AREA:	0.83 AC.		
GROSS LAND AREA:	9.21 AC.		
AREA IN FLOODWAY/FLOODPLAIN:	NONE		
AREA IN RCD:	74,320 SF		
BUILDING HEIGHTS:	OI-3	PROPOSED MOB	PROPOSED PARKING DECK
MAXIMUM BUILDING HEIGHT (SETBACK):	N/A	57'	70'
MAXIMUM BUILDING HEIGHT (CORE):	N/A	90'	90'
FLOOR AREA:	MAXIMUM FAR: 0.566 MAXIMUM FAR IN RCD: 0.566/0.019/0.01 MAXIMUM FLOOR AREA: 199,772 SF PROPOSED FLOOR AREA: 153,000 SF EXISTING FLOOR AREA TO REMAIN: 25,546 SF		
BUILDING SETBACKS:	OI-3	EASTOWNE DRIVE	
STREET	0 FEET	22 FEET	
INTERIOR	0 FEET	8 FEET	
SOLAR	0 FEET	9 FEET	
PARKING SUMMARY	REQUIRED	PROPOSED	
MEDICAL OFFICE	VEHICULAR	VEHICULAR	EVCS
EXISTING OFFICE	N/A	1100 IN DECK	6 (IN DECK)*
	N/A	69 SURFACE	0
	N/A		26 (20 CLASS 1 IN MOB)
BIKE	N/A		4
ACCESSIBLE PARKING:	*CONDUIT INSTALLED TO SERVE 20% OFF TOTAL SPACES.		
MEDICAL OFFICE		66 (IN DECK)	
EXISTING OFFICE		4 (SURFACE)	
IMPERVIOUS AREA SUMMARY:			
MAXIMUM ALLOWED	330,303 SF (82.3%)		
EXISTING	183,032 SF (45.6%)		
PROPOSED	173,373 SF (43.2%)		
EXISTING IMPERVIOUS IN RCD:			
STREAMSIDE	4,080 SF		
MANAGED USE	8,570 SF		
UPLAND	15,719 SF		
PROPOSED IMPERVIOUS IN RCD:	EXISTING TO REMAIN	PROPOSED	TOTAL
STREAMSIDE	2,630 SF	0 SF	2,630 SF
MANAGED USE	7,584 SF	0 SF	7,584 SF
UPLAND	6,567 SF	3,806 SF	10,373 SF
BUFFERS	REQUIRED	PROVIDED	
15-501	30' TYPE 'D'	30' MODIFIED	
EASTOWNE DRIVE	20' TYPE 'C'	30'	
INTERIOR PROPERTY LINE	10'	10'	

SPECIAL USE PERMIT 100 EASTOWNE DR CHAPEL HILL, NORTH CAROLINA PROJECT NUMBER: UNC-17020

DATE: MARCH 6, 2018
REVISED: APRIL 4, 2018
REVISED: JUNE 12, 2018
REVISED: AUGUST 31, 2018

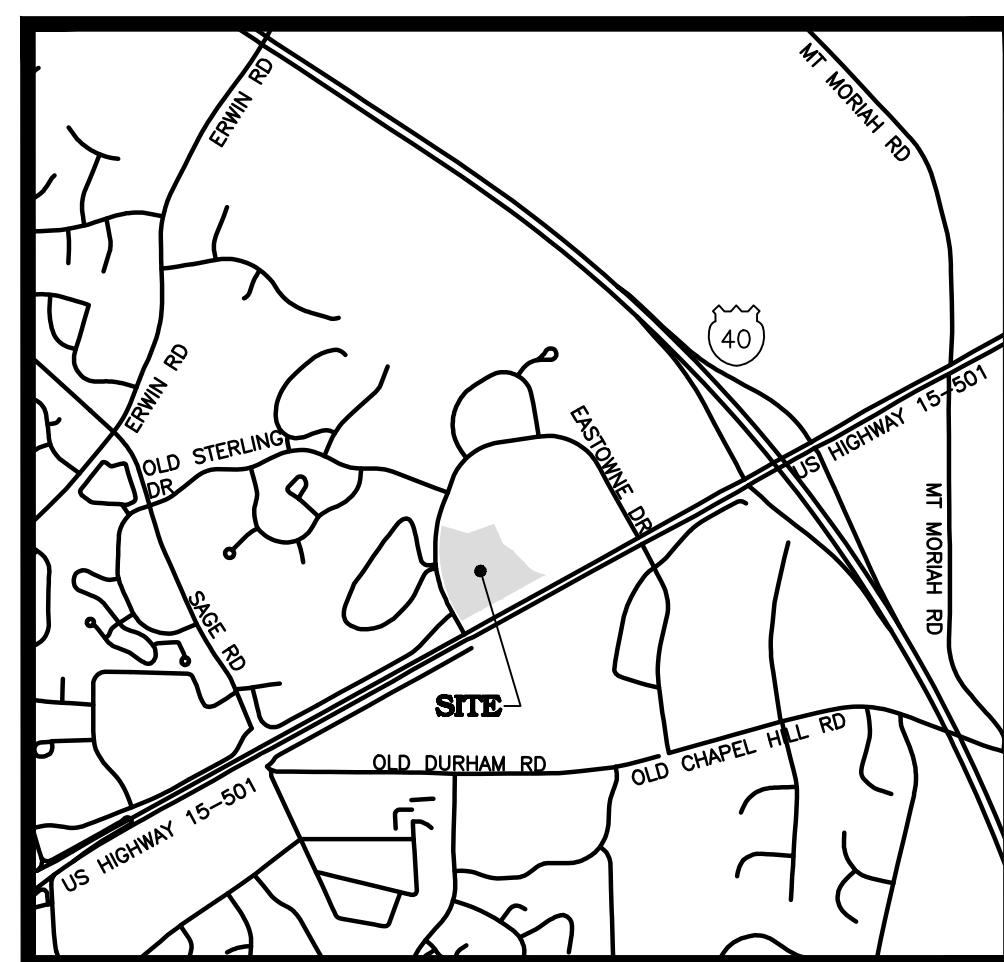
OWNER:



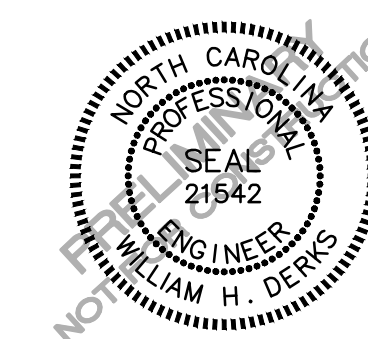
HEALTH SYSTEM PROPERTIES, LLC
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517
SIMON.GEORGE@UNCHEALTH.UNC.EDU
(984) 974-5388

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- A202 PARKING DECK ELEVATION

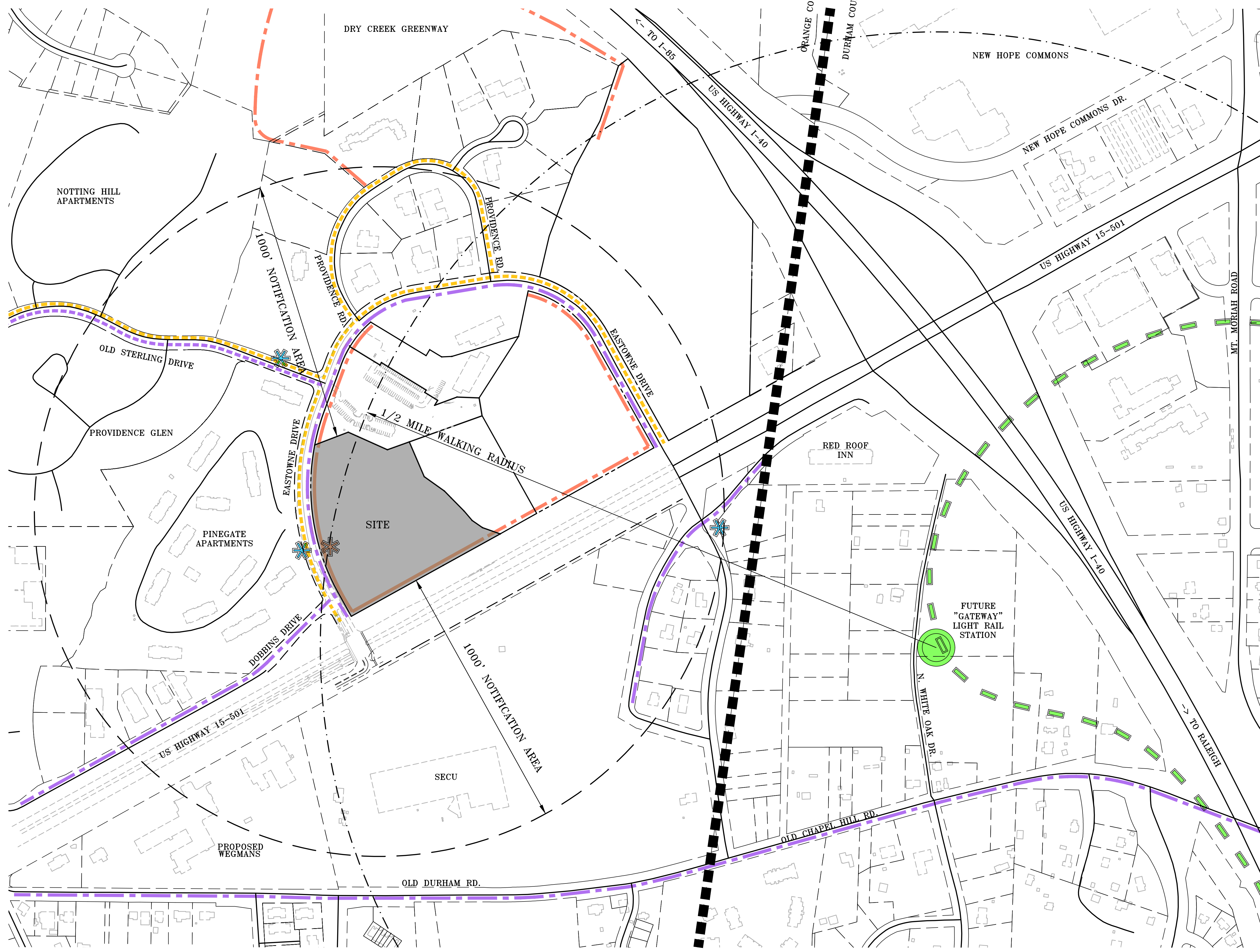


VICINITY MAP
1"=1500'



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COMPANY, INC.
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Durham, North Carolina 27713
License No.: C-0293
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Contact: Bill Derks
Derks@mcadamsco.com

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- LEGEND**
- 1,000' NOTIFICATION BOUNDARY
 - - - 1/2 MILE WALKING RADIUS TO FUTURE STATION
 - EXISTING ZONING BOUNDARY
 - ✱ EXISTING BUS STOP
 - ✱ PROPOSED BUS STOP
 - EXISTING SIDEWALK
 - PROPOSED MULTIUSE TRAIL
 - FUTURE CONNECTION
 - EXISTING BIKE LANE
 - FUTURE BIKE LANE
 - FUTURE LIGHTRAIL TRANSIT STATION
 - FUTURE DURHAM-ORANGE LIGHTRAIL

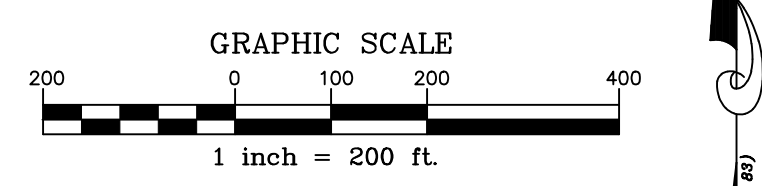
SITE INFORMATION:

PIN: 9890800195
 ADDRESS: 100 EASTOWNE DR
 CHAPEL HILL, NC 27517

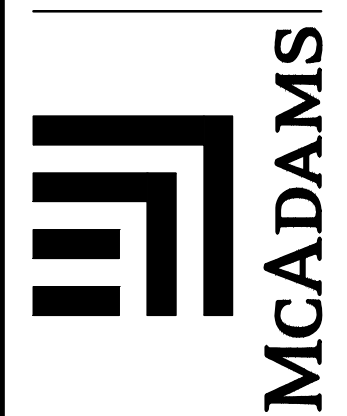
OWNER: HEALTH SYSTEM PROPERTIES, LLC
 ACREAGE: 8.38

GENERAL NOTES

1. PLANIMETRIC INFORMATION OBTAINED FROM ORANGE AND DURHAM COUNTY GIS.



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 2905 Meridian Parkway
 Durham, North Carolina 27713
 Tel: C-0283
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REVISIONS:

2018-04-04	REVISED PER CHAPEL HILL COMMENTS
2018-06-12	REVISED PER CHAPEL HILL COMMENTS
2018-08-31	REVISED PER CHAPEL HILL COMMENTS

OWNER:
 HEALTH SYSTEM PROPERTIES, LLC.
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 CHAPEL HILL, NORTH CAROLINA**

AREA MAP AND BIKE-PED NETWORK DIAGRAM

PROJECT NO:	UNC-17020
FILENAME:	UNC17020-A1
CHECKED BY:	WHD
DRAWN BY:	HMA
SCALE:	1" = 200'
DATE:	04-27-18
SHEET NO.:	C-1



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TREE LEGEND

- ⊙A ASH
- ⊙BE BEECH
- ⊙BI BIRCH
- ⊙CE CEDAR
- ⊙CH CHERRY
- ⊙CM CRAPE MYRTLE
- ⊙CP CYPRESS
- ⊙DG DOGWOOD
- ⊙EL ELM
- ⊙SG SWEET GUM
- ⊙HW MISC. HARDWOOD
- ⊙HI HICKORY
- ⊙HO HOLLY
- ⊙MG MAGNOLIA
- ⊙MA MAPLE
- ⊙JM JAPANESE MAPLE
- ⊙MI MIMOSA
- ⊙RO RED OAK
- ⊙WO WHITE OAK
- ⊙O OAK
- ⊙PE PEACH
- ⊙PER PECAN
- ⊙PS PERSIMMON
- ⊙P PINE
- ⊙PO POPLAR
- ⊙RB REDBUD
- ⊙SY SYCAMORE
- ⊙W WALNUT
- DOUBLE AND TRIPLE TRUNKS
- ⊙=O DOUBLE OAK
- ⊙=T TRIPLE OAK
- CALIPER INCH SIZE OF TREE
- TYPE OF TREE
- D FOR DOUBLE, T FOR TRIPLE

SLOPE ANALYSIS

- SLOPES 0% - 15% (74% BY AREA)
- ▒ SLOPES 15% - 25% (15% BY AREA)
- SLOPES >25% (11% BY AREA)

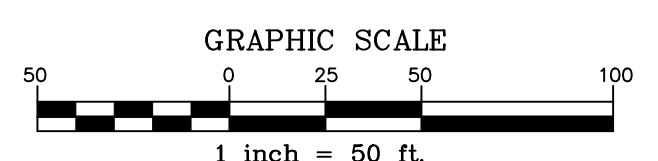
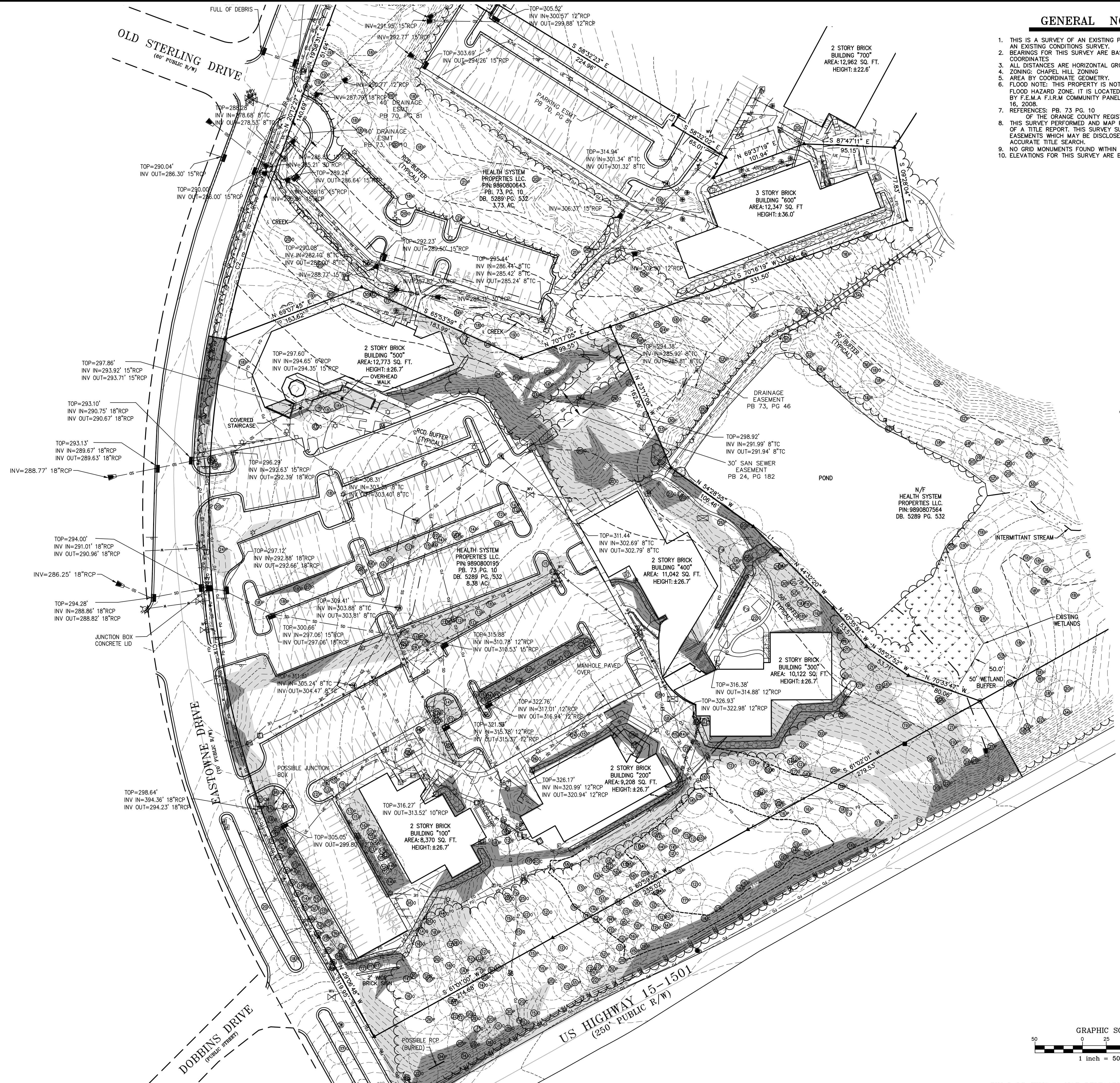
NOTE SLOPE ANALYSIS RAN FOR PIN: 9890800195 PROPERTY, EASTOWNE DRIVE FRONTAGE FROM R/W TO BACK OF CURB AND US HWY 15-501 FRONTAGE FROM R/W TO EDGE OF PAVEMENT.

LEGEND

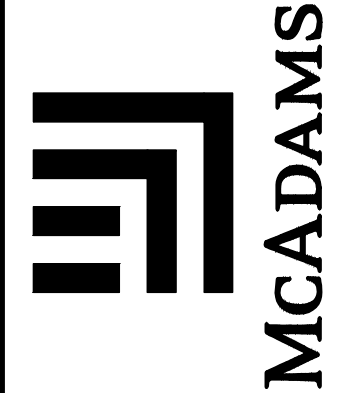
- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ BORE HOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊙ SANITARY SEWER CLEANOUT
- ⊙ WATER VALVE
- ⊙ WATER METER
- ⊙ FIRE HYDRANT
- ⊙ TELEPHONE PEDESTAL
- ⊙ TELEPHONE MANHOLE
- ⊙ ELECTRIC BOX
- ⊙ LIGHT POLE
- ⊙ POWER POLE
- ⊙ CURB INLET
- ⊙ STORM DRAINAGE MANHOLE
- YARD INLET
- SD — STORM DRAIN PIPE
- OU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE

GENERAL NOTES

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS AN EXISTING CONDITIONS SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NC GRID NAD 83 COORDINATES.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: CHAPEL HILL ZONING
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #371089000L DATED MAY 16, 2008.
7. REFERENCES: PB. 73 PG. 10
8. THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT BENEFIT OF A TITLE REPORT. THIS SURVEY SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
9. NO GRID MONUMENTS FOUND WITHIN 2000' OF SITE.
10. ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD 88 DATUM



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REVISIONS:

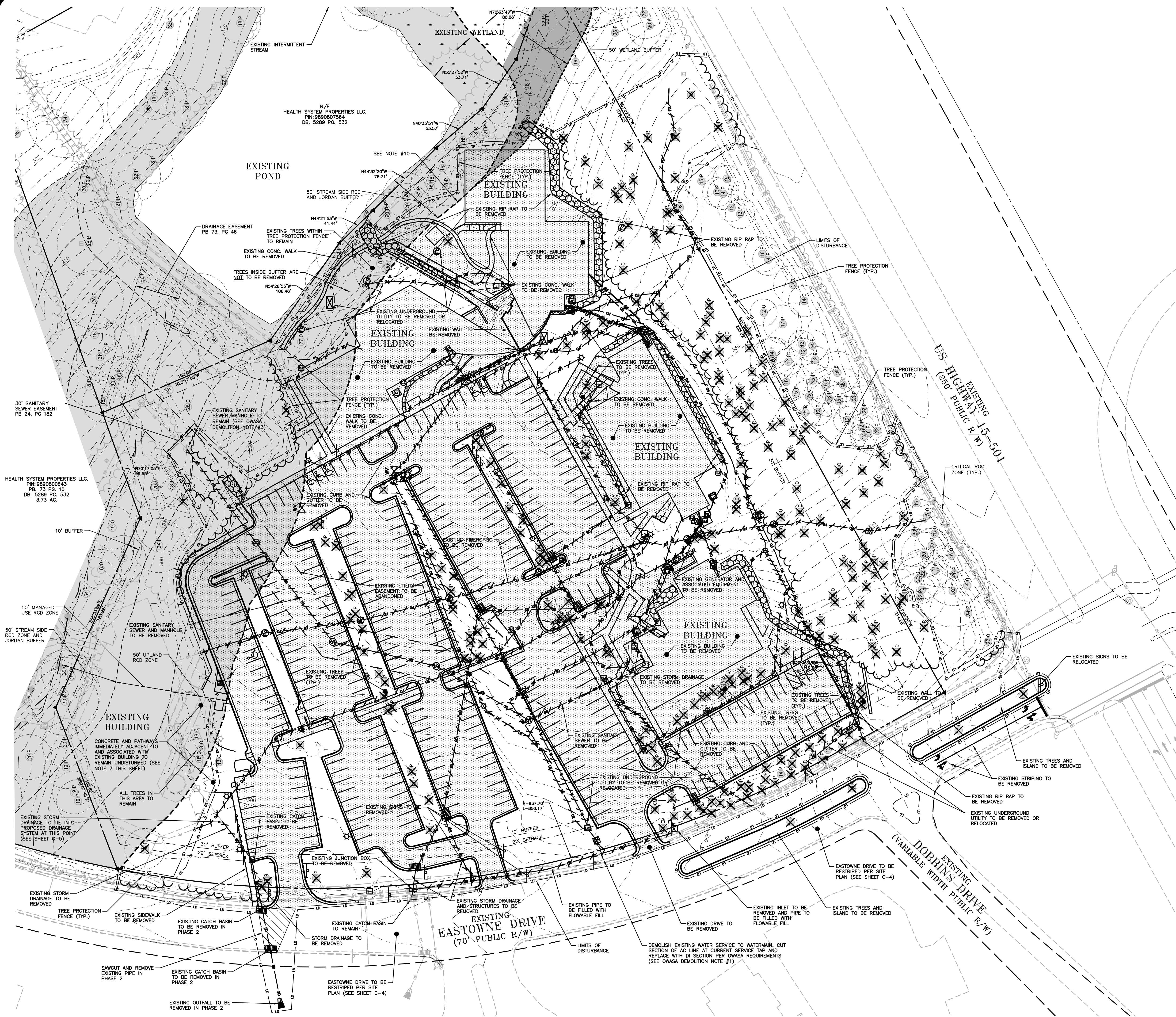
NO.	DATE	DESCRIPTION

OWNER:
UNC HOSPITALS
101 MANNING DRIVE
CHAPEL HILL, NORTH CAROLINA 27514

PROJECT NO: UNC-17020
FILENAME: UNC17020-XC1
CHECKED BY: RTF
DRAWN BY: JBT
SCALE: 1"=50'
DATE: 06-29-18
SHEET NO. C-2

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
CHAPEL HILL, NORTH CAROLINA
EXISTING CONDITIONS

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DEMOLITION LEGEND

- TREE OR OTHER VEGETATION TO BE REMOVED
- UNDERGROUND UTILITY TO BE REMOVED
- AREA TO BE REMOVED (SIDEWALK, CURB AND GUTTER, STRUCTURES, ASPHALT, CONCRETE PAVING, ETC.)
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE

NOTE: SEE PLAN FOR DETAILED DEMOLITION PROCEDURES, SEQUENCING AND SPECIFICATIONS.

DEMOLITION NOTES:

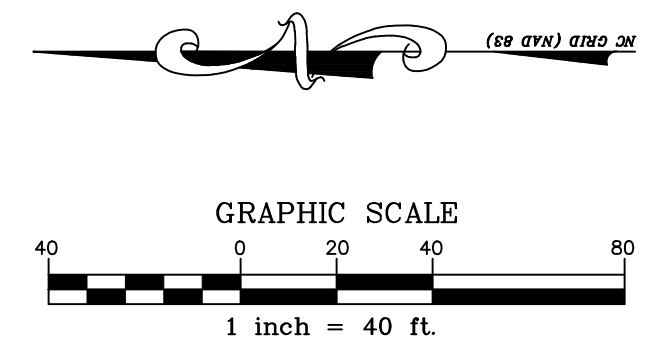
1. IN ACCORDANCE WITH 40 CFR, PART 61, SUBPART M, A THOROUGH INSPECTION SHALL BE CONDUCTED FOR ASBESTOS-CONTAINING MATERIALS. PRIOR TO CONDUCTING A RENOVATION OR DEMOLITION ACTIVITY OF AN EXISTING STRUCTURE, THE ASBESTOS INSPECTION MUST BE CONDUCTED BY A NORTH CAROLINA ACCREDITED ASBESTOS INSPECTOR. ALL REGULATED AND/OR FRIABLE ASBESTOS-CONTAINING MATERIALS IDENTIFIED DURING THE SURVEY, WHICH WILL BE DISTURBED, MUST BE PROPERLY REMOVED BY ACCREDITED INDIVIDUALS BEFORE BEGINNING THE RENOVATION OR DEMOLITION ACTIVITY. IF REGULATED AND/OR FRIABLE ASBESTOS CONTAINING MATERIALS TO BE REMOVED EXCEED 160 SQUARE FEET, 260 LINEAR FEET OR 35 CUBIC FEET, A PERMIT SHALL BE APPLIED FOR THROUGH THE NORTH CAROLINA DEPARTMENT OF HEALTH AND HUMAN SERVICES.
2. ALL MATERIAL TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT A PERMITTED SITE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS.
3. OBTAIN LAND DISTURBING PERMIT FROM ORANGE COUNTY PRIOR TO COMMENCING SITE DEMOLITION THAT REQUIRES GRADING OR DEVALUES THE SITE.
4. INSTALL SECURITY FENCING AROUND THE PERIMETER OF THE DEMOLITION SITE PRIOR TO START OF DEMOLITION
5. INSTALL TREE PROTECTION FENCING PRIOR TO STARTING DEMOLITION
6. EXISTING BUILDINGS, PARKING, DRIVE AISLES, CONCRETE, AND UTILITIES WITHIN THE LIMITS OF DISTURBANCE ARE TO BE DEMOLISHED AND REMOVED. THE STORM CROSSING THE STREET WILL BE REMOVED IN PHASE 2. DO NOT DEMO IN EASTOWNE DRIVE UNTIL PHASE 2.
7. THE SIDEWALK IMMEDIATELY ADJACENT TO THE EXISTING BUILDING IS TO REMAIN UNDISTURBED. CONCRETE SIDEWALK IS PROPOSED TO TIE INTO EXISTING SIDEWALK NEAR THE BUILDING. USE SHEET C-4 FOR CLARIFICATION.
8. UNLESS OTHERWISE NOTED, ALL TREES WITHIN THE LIMITS OF DISTURBANCE TO BE REMOVED. CONTRACTOR TO SAVE TREES WHEREVER POSSIBLE AROUND THE PERIMETER AND WITHIN TREE PROTECTION FENCING. THIS INCLUDES TREES IN THE BUFFERS, RCD ZONES, AND ADJACENT TO EASTOWNE DRIVE
9. ANY NECESSARY UTILITY RELOCATIONS ALONG EASTOWNE DRIVE ARE TO BE COORDINATED WITH THEIR RESPECTIVE OWNERS.
10. CONTRACTOR IS TO ENSURE THAT NO SERVICES OR UTILITIES ARE INTERRUPTED FOR THE EXISTING BUILDING THAT IS PROPOSED TO REMAIN. CONTRACTOR IS TO COORDINATE UTILITY RELOCATIONS WITH APPROPRIATE OWNERS PRIOR TO DEMING EXISTING UTILITY AND SERVICE LINES.
11. DEMOLITION, CLEARING, OR PRELIMINARY GRADING IN ANY PORTION OF THE RCD SHALL BE DELAYED UNTIL SUCH POINT THAT THE DISTURBED AREA IN THE RCD CAN BE IMMEDIATELY STABILIZED.

OWASA DEMOLITION NOTES:

1. WATERLINE TO BE ABANDONED ALL THE WAY TO EXISTING MAIN AND A SECTION OF EXISTING MAIN AT LOCATION OF THE TAP TO BE REPLACED WITH DI PIPE
2. PRIOR TO DEMOLITION OF SEWER MAINS, CONTRACTOR TO JET CLEAN EXISTING MAIN AND INSPECT WITH CCTV TO VERIFY ALL SEWAGE IS REMOVED FROM ALL EXISTING LINES AND SERVICE LATERALS AS MUCH AS POSSIBLE.
3. ONCE CLEANED CONTRACTOR SHALL REMOVE +/- 10 LF SECTION OF EXISTING MAIN AT EXISTING SSMH AND CAP EXISTING INVERT BEFORE DEMOLITION OF EXISTING LINES AND STRUCTURES.
4. EXISTING SERVICE LINES TO BE CRUSHED IN PLACE (CLAY), FILL WITH FLOWABLE FILL OR COMPLETELY REMOVED.

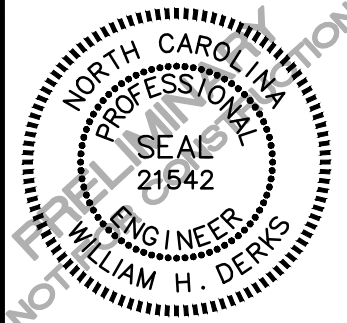
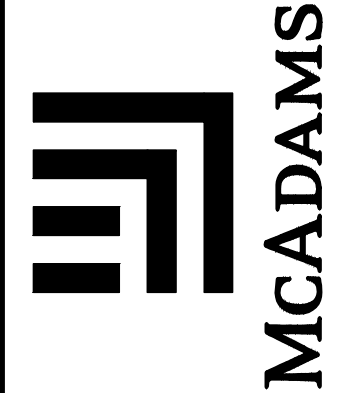
TREE LEGEND

- TREE EXISTING TREE
- P EXISTING PINE
- G EXISTING GUM
- O EXISTING OAK
- M EXISTING MAPLE
- CM EXISTING CRAPE MYRTLE
- C EXISTING CEDAR
- BE EXISTING BEECH
- B EXISTING BIRCH



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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Durham, North Carolina 27713
Tel: C-0283
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REVISIONS:

2018-04-04	REVISED PER CHAPEL HILL COMMENTS
2018-06-12	REVISED PER CHAPEL HILL COMMENTS
2018-08-31	REVISED PER CHAPEL HILL COMMENTS

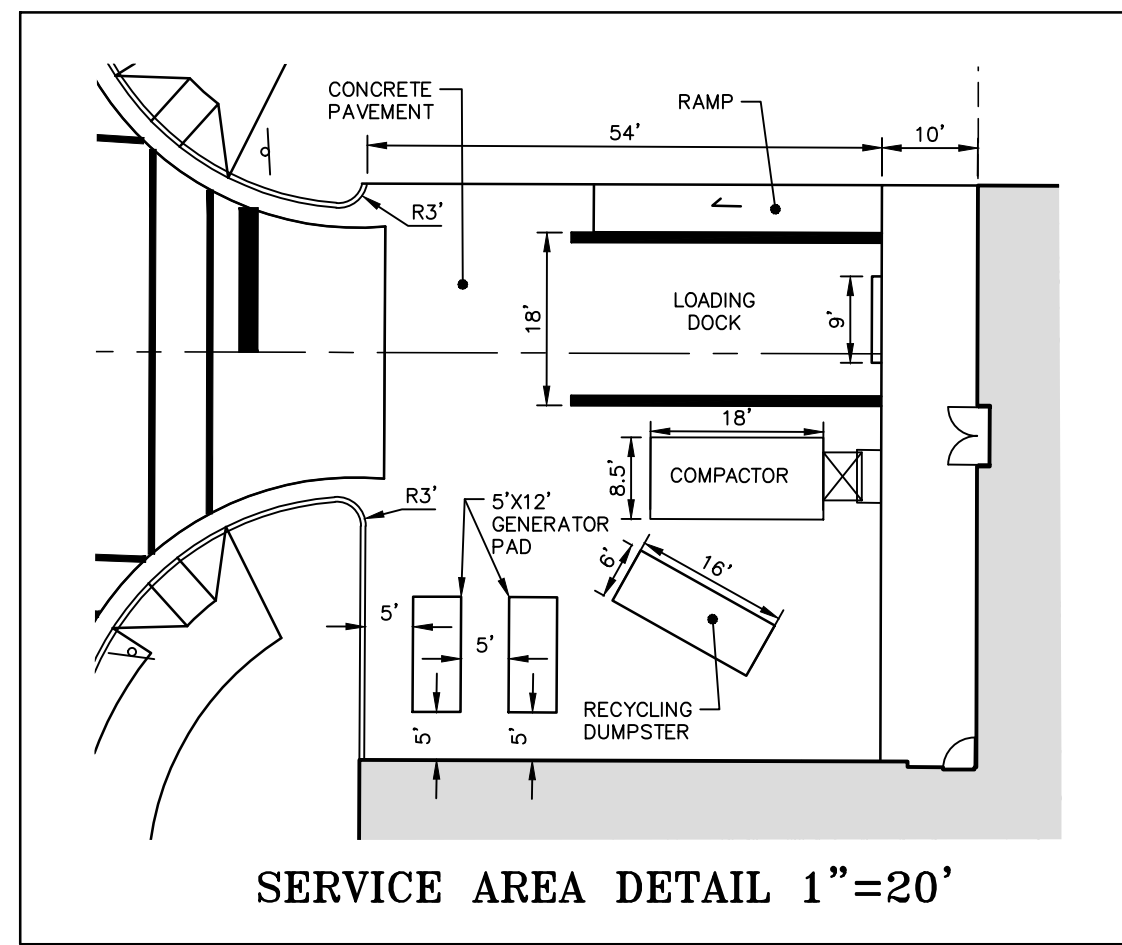
OWNER:
HEALTH SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
DEMOLITION PLAN

PROJECT NO:	UNC-17020
FILENAME:	UNC17020-DM1
CHECKED BY:	WHD
DRAWN BY:	CJJ
SCALE:	1"=40'
DATE:	04-27-18
SHEET NO.	C-3

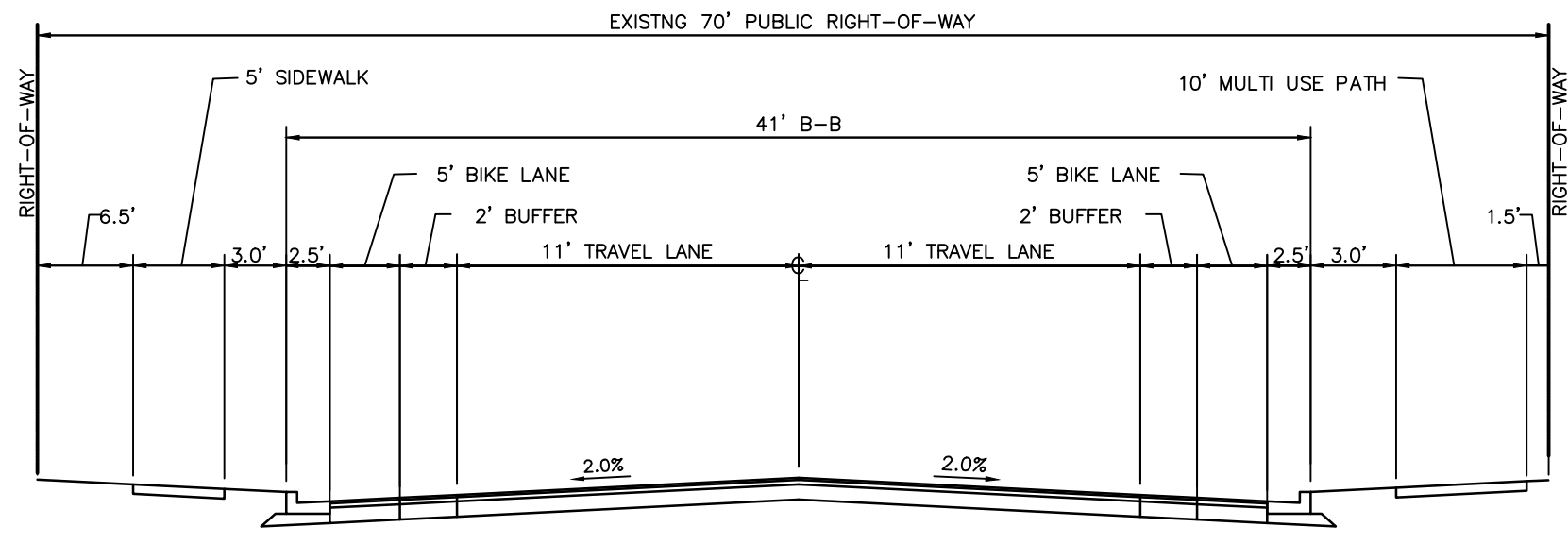


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ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.

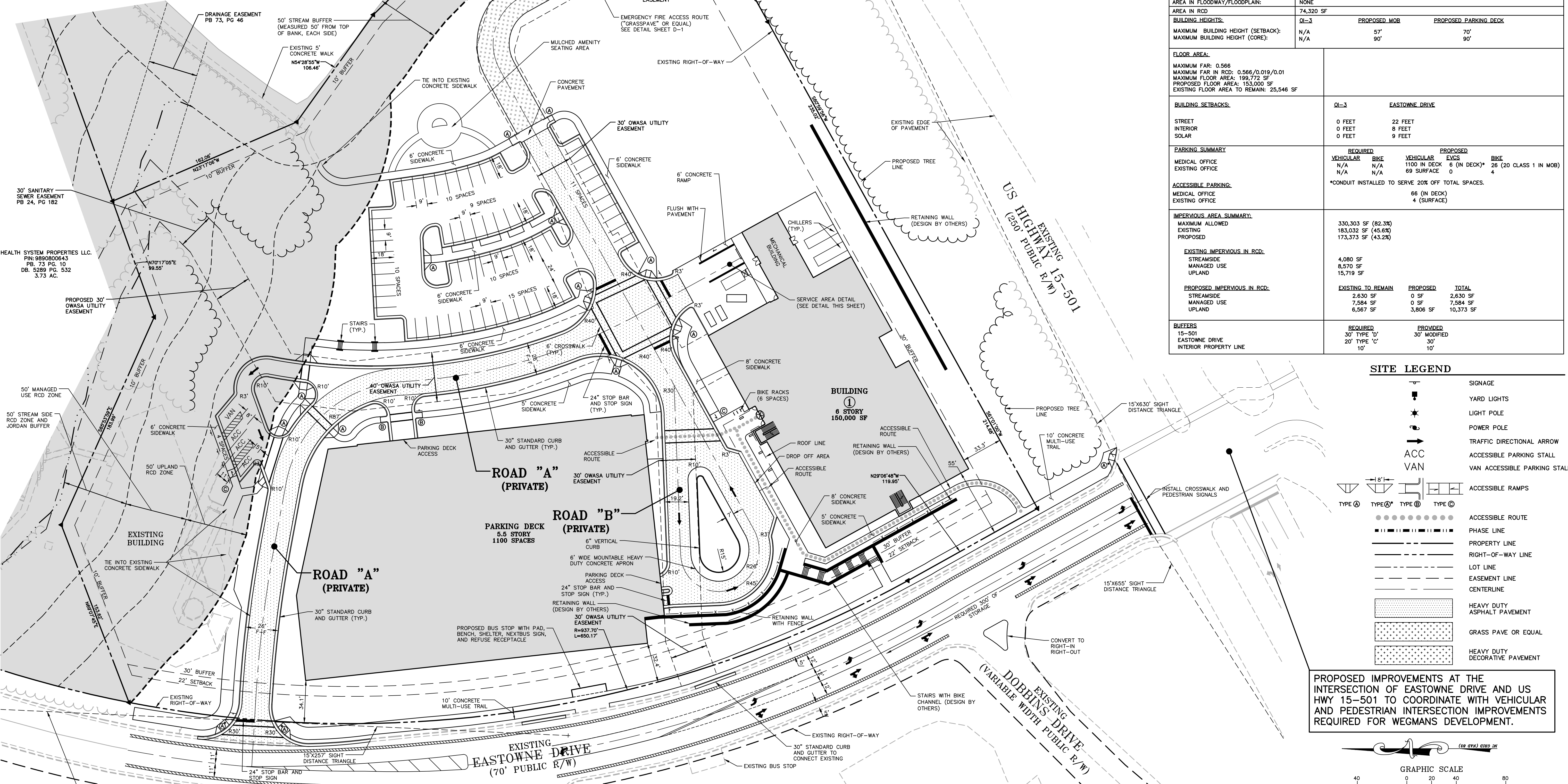
CONTRACTOR TO COORDINATE WITH TOWN OF CHAPEL HILL THE INSTALLATION AND LOCATION OF CLEAR WAYFINDING SIGNAGE TO DIRECT RIDESHARING USERS AND SERVICES TO DESIGNATED PICK-UP AND DROP-OFF AREAS



PROPOSED SECTION FOR EASTOWNE DR. (70' R/W, 41' B-B)

SITE DATA:

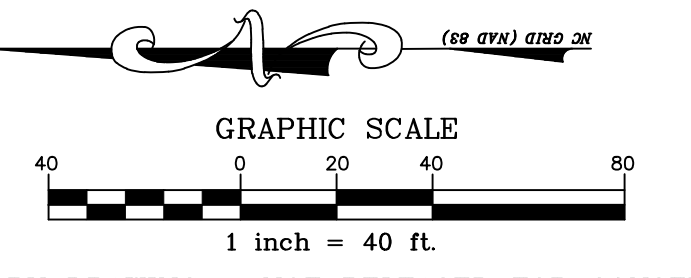
PHYSICAL ADDRESS:	100 EASTOWNE DRIVE CHAPEL HILL, NC 27514		
OWNER:	HEALTH SYSTEM PROPERTIES, LLC. 211 FRIDAY CENTER DRIVE CHAPEL HILL, NORTH CAROLINA 27517		
PIN:	9890800195		
EXISTING ZONING:	O1-2		
PROPOSED ZONING:	O1-3		
NET LAND AREA:	8.38 AC.		
CREDITED STREET AREA:	0.83 AC		
GROSS LAND AREA:	9.21 AC.		
AREA IN FLOODWAY/FLOODPLAIN:	NONE		
AREA IN RCD	74,320 SF		
BUILDING HEIGHTS:	O1-3	PROPOSED MOB	PROPOSED PARKING DECK
MAXIMUM BUILDING HEIGHT (SETBACK):	N/A	57'	70'
MAXIMUM BUILDING HEIGHT (CORE):	N/A	90'	90'
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BUILDING SETBACKS:	O1-3	EASTOWNE DRIVE	
STREET INTERIOR SOLAR:	0 FEET	22 FEET	8 FEET
	0 FEET	8 FEET	9 FEET
	0 FEET	8 FEET	9 FEET
PARKING SUMMARY:	REQUIRED	PROPOSED	
MEDICAL OFFICE EXISTING OFFICE:	VEHICULAR N/A	BIKE N/A	VEHICULAR EVCS 1100 IN DECK
	N/A	N/A	6 (IN DECK)* 26 (20 CLASS 1 IN MOB)
	N/A	N/A	4
ACCESSIBLE PARKING:	*CONDUIT INSTALLED TO SERVE 20% OFF TOTAL SPACES.		
MEDICAL OFFICE EXISTING OFFICE:	66 (IN DECK)		
	4 (SURFACE)		
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PROPOSED IMPERVIOUS IN RCD:	EXISTING TO REMAIN	PROPOSED	TOTAL
STREAMSIDE:	2,630 SF	0 SF	2,630 SF
MANAGED USE:	7,594 SF	0 SF	7,594 SF
UPLAND:	6,567 SF	3,806 SF	10,373 SF
BUFFERS:	REQUIRED	PROVIDED	
15-501:	30' TYPE 'D'	30' MODIFIED	
EASTOWNE DRIVE:	20' TYPE 'C'	30'	
INTERIOR PROPERTY LINE:	10'	10'	



SITE LEGEND

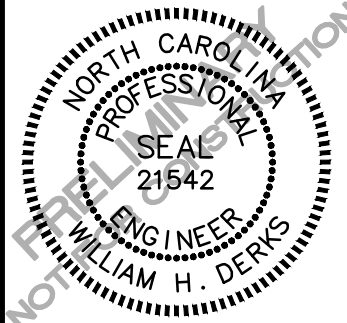
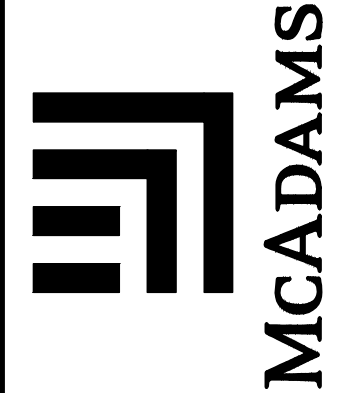
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[Symbol]	LIGHT POLE
[Symbol]	POWER POLE
[Symbol]	TRAFFIC DIRECTIONAL ARROW
[Symbol]	ACCESSIBLE PARKING STALL
[Symbol]	VAN ACCESSIBLE PARKING STALL
[Symbol]	ACCESSIBLE RAMPS
[Symbol]	ACCESSIBLE ROUTE
[Symbol]	PHASE LINE
[Symbol]	PROPERTY LINE
[Symbol]	RIGHT-OF-WAY LINE
[Symbol]	LOT LINE
[Symbol]	EASEMENT LINE
[Symbol]	CENTERLINE
[Symbol]	HEAVY DUTY ASPHALT PAVEMENT
[Symbol]	GRASS PAVE OR EQUAL
[Symbol]	HEAVY DUTY DECORATIVE PAVEMENT

PROPOSED IMPROVEMENTS AT THE INTERSECTION OF EASTOWNE DRIVE AND US HWY 15-501 TO COORDINATE WITH VEHICULAR AND PEDESTRIAN INTERSECTION IMPROVEMENTS REQUIRED FOR WEGMANS DEVELOPMENT.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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REVISIONS:

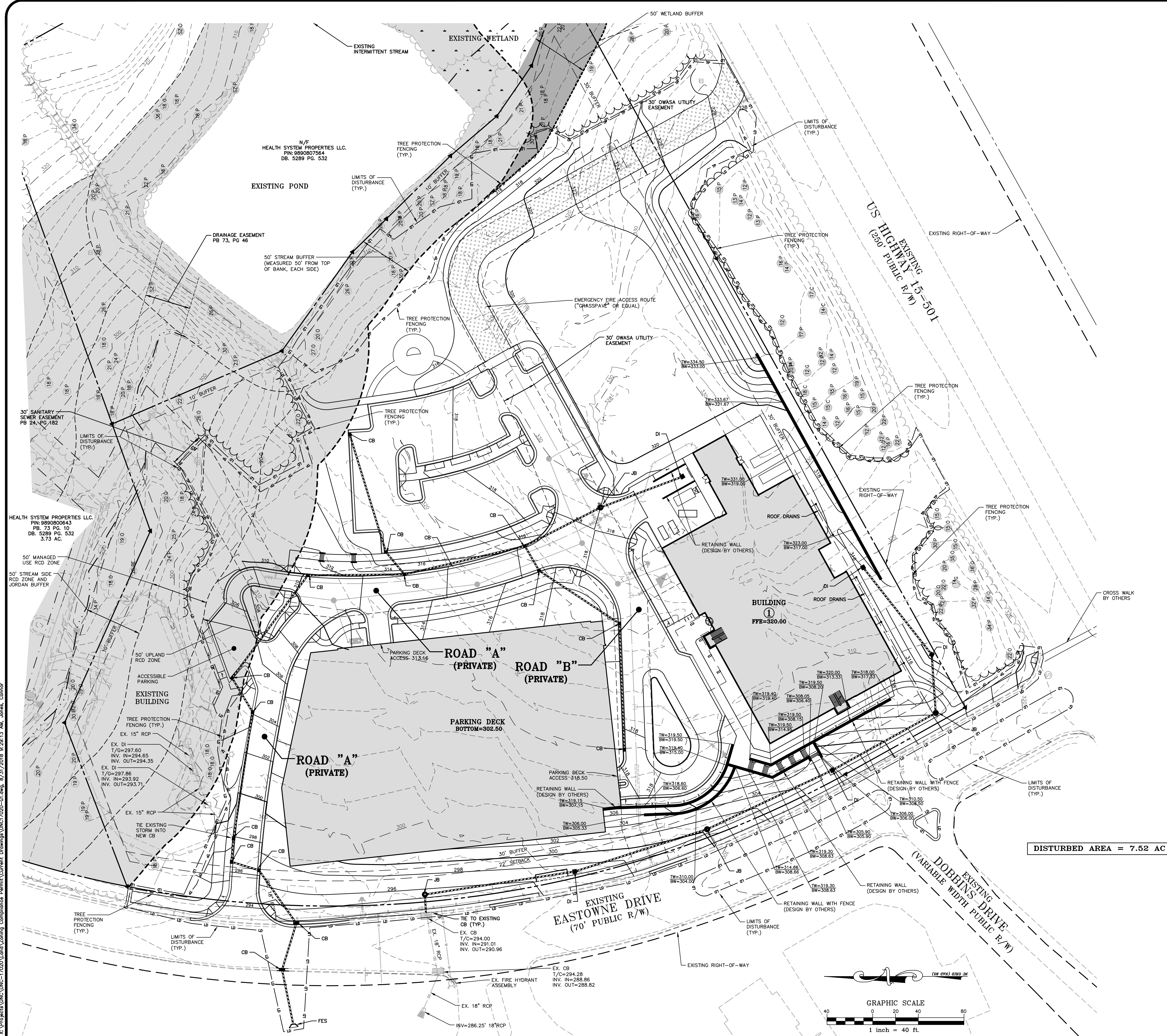
2018-04-04	REVISED PER CHAPEL HILL COMMENTS
2018-06-12	REVISED PER CHAPEL HILL COMMENTS
2018-08-31	REVISED PER CHAPEL HILL COMMENTS

OWNER:
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211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM EASTOWNE REDEVELOPMENT MOB 1 SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
SITE PLAN

PROJECT NO: UNC-17020
FILENAME: UNC17020-S1
CHECKED BY: WHD
DRAWN BY: CJJ
SCALE: 1"=40'
DATE: 04-27-18
SHEET NO.





GRADING LEGEND

	FLARED END SECTION
	ENDWALL SECTION
	CATCH BASIN
	DROP INLET
	STORM SERVICE INLET
	STORM SERVICE ROOF-RAIN
	JUNCTION BOX
	DRAINAGE FLOW ARROW
	LINE BREAK SYMBOL
	TOP & BOTTOM CURB ELEVATIONS
	TOP OF WALL ELEVATION
	BOTTOM OF WALL ELEVATION (NOTE: BOTTOM OF WALL IS GROUND ELEVATION NOT WALL FOUNDATION)
	SPOT ELEVATION
	STORM DRAINAGE
	STORM SERVICE LINE
	ROOF DRAIN, 8" ADS NON-PERFORATED TUBING OR EQUAL 1.0% MIN. SLOPE 3' MIN. COVER PVC SCHEDULE 40 IN TRAFFIC AREAS
	TREE PROTECTION FENCE
	LIMITS OF DISTURBANCE
	WOODED AREA
	250 MAJOR CONTOUR
	252 MINOR CONTOUR
	250 EXISTING MAJOR CONTOUR
	252 EXISTING MINOR CONTOUR
	EASEMENT LINE
	ACCESSIBLE PARKING AREA (2% MAX. SLOPE IN ALL DIRECTIONS)
	GRASS PAVE OR EQUAL

GRADING/STORMWATER NOTES:

1. THE PROPOSED ELEVATORS, WHICH MAY REQUIRE SUMPS IF HYDRAULIC, WILL BE REQUIRED TO BE EQUIPPED WITH OIL SEPARATORS AND PLUMBED TO THE SANITARY SEWER SYSTEM, UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
3. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL LATEST STANDARDS AND SPECIFICATIONS.
4. ALL DAMAGE TO STREETS MAINTAINED BY THE TOWN OF CHAPEL HILL DUE TO PROJECT CONSTRUCTION SHALL BE REPAIRED AT NO COST TO THE TOWN PRIOR TO A CERTIFICATE OF OCCUPANCY BEING ISSUED.
5. NO STORMWATER RUNOFF FROM THE FIRST FLOOR OF THE PARKING GARAGE IS TO BE CONVEYED INTO THE STORM DRAINAGE SYSTEM. ALL STORMWATER RUNOFF FROM WITHIN THE GARAGE IS TO BE CONVEYED TO A 50-TYPE OIL/WATER SEPARATOR THROUGH A DRAIN LOCATED IN THE GARAGE SLAB AND CONNECTED TO SANITARY SEWER.
6. ALL PIPING TO LANDSCAPE AREA DRAINS SHALL BE 8" PVC PIPE AT 1.0% MIN SLOPE AND 2" MINIMUM COVER. PIPE SIZES DIFFERENT THAN 8" ARE NOTED ON THE PLAN.
7. ALL LANDSCAPE DRAINS SHALL BE NYLOPLAST 1201 DI (12" GRATE) OR EQUAL.
8. CONTRACTOR SHALL SLOPE GRADE AWAY FROM BUILDING FACE AT 2.0% MIN SLOPE (1.0% MIN FOR SIDEWALK) FOR A MINIMUM DISTANCE OF 5 FEET. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDING.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.

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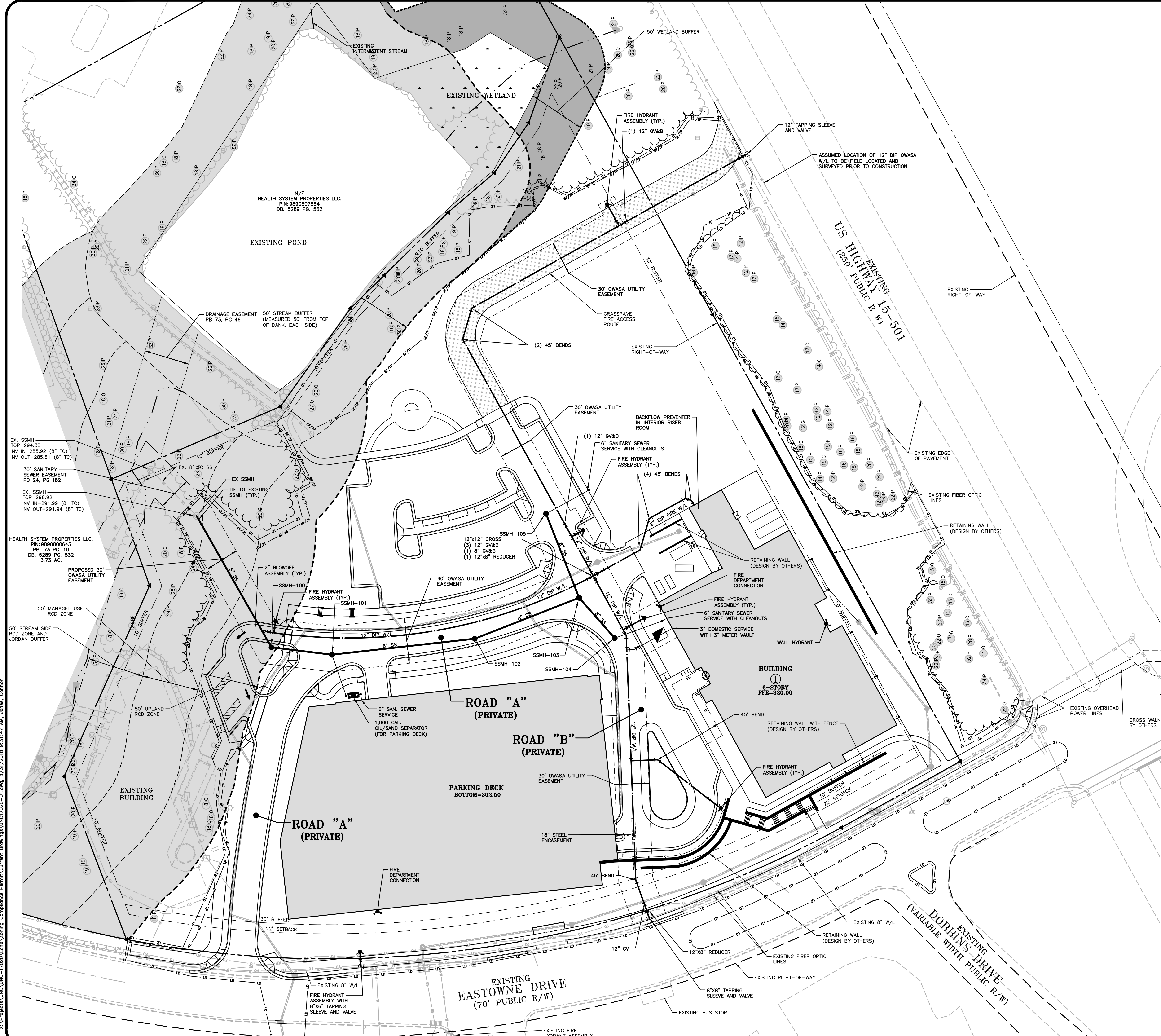
2018-04-04	REVISED PER CHAPEL HILL COMMENTS
2018-06-12	REVISED PER CHAPEL HILL COMMENTS
2018-08-31	REVISED PER CHAPEL HILL COMMENTS

OWNER:
 HEALTH SYSTEM PROPERTIES, LLC.
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517

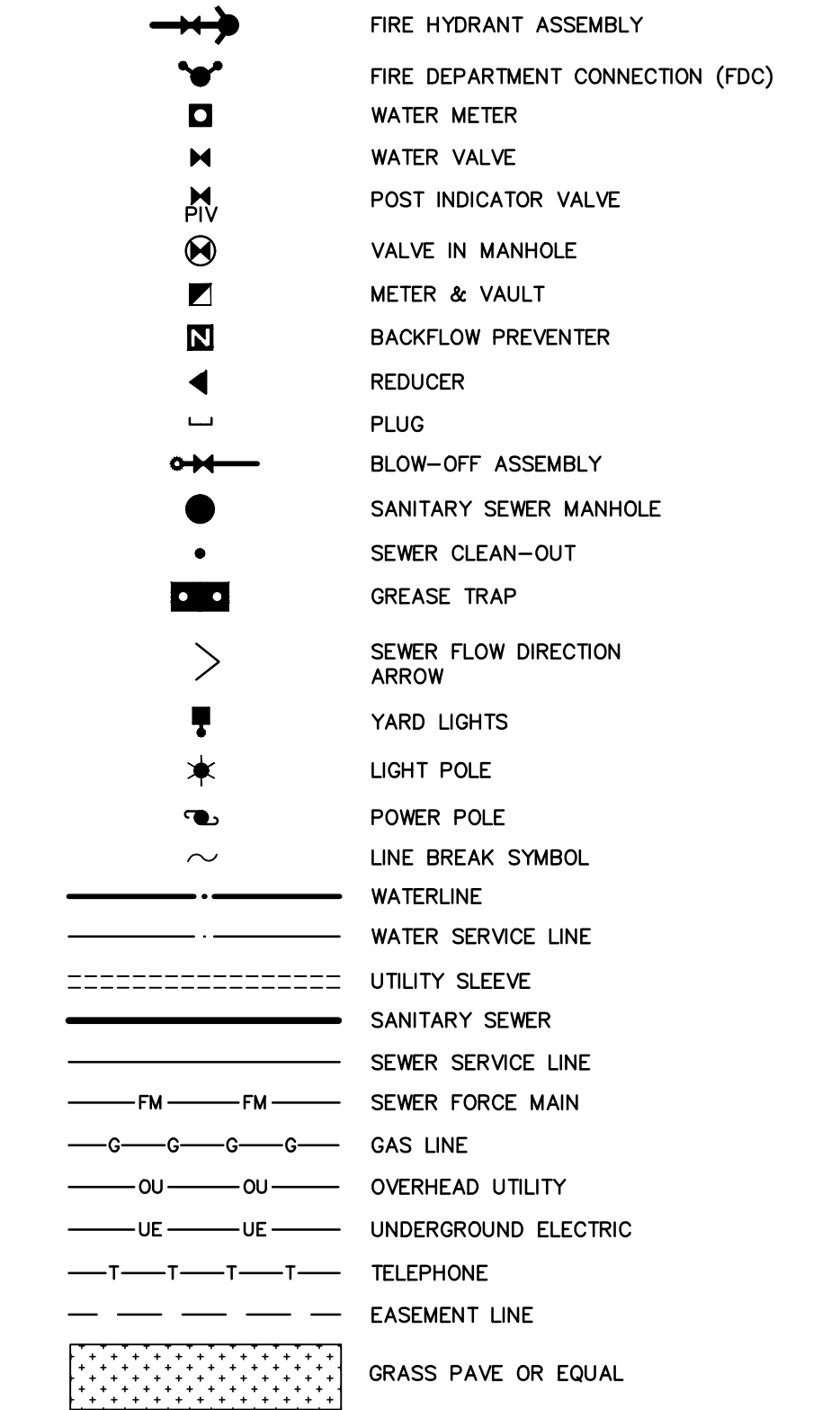
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FILENAME: UNC17020-G1
CHECKED BY: WHD
DRAWN BY: C.J.J.
SCALE: 1"=40'
DATE: 04-27-18
SHEET NO.: C-5

UNC HEALTH CARE SYSTEM EASTOWNE REDEVELOPMENT MOB 1 SPECIAL USE PERMIT CHAPEL HILL, NORTH CAROLINA GRADING AND STORM DRAINAGE PLAN

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



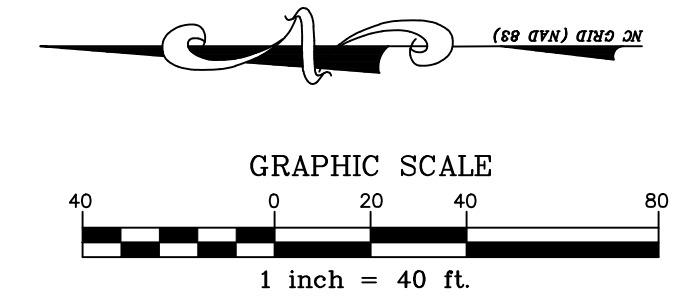
UTILITY LEGEND



UTILITY NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS DATED AUGUST, 2003, OR LATEST REVISED VERSION.
- PLEASE BE ADVISED THAT OWASA APPROVAL OF THIS PROJECT IS FOR COMPLIANCE WITH OWASA POLICIES, STANDARDS, AND SPECIFICATIONS ONLY. ALL OTHER MATTERS PERTAINING TO THIS PROJECT ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. OWASA APPROVAL DOES NOT PRECLUDE THE DEVELOPER, PROJECT ENGINEER, CONTRACTOR, OR OTHER AGENTS OR PARTIES ACTING ON THEIR BEHALF FROM FULL COMPLIANCE WITH OWASA CURRENT STANDARDS, SPECIFICATIONS, AND PROCEDURES OR FROM COMPLYING WITH ANY AND ALL STATUTES, RULES, REGULATIONS, AND ORDINANCES WHICH MAY BE IMPOSED BY OTHER GOVERNMENT AGENCIES (LOCAL, STATE, AND FEDERAL) WHICH MAY HAVE JURISDICTION. VIOLATIONS WILL RESULT IN THE OWASA PROJECT APPROVAL BEING RESIGNED.
- DISCHARGE FROM THIS PROJECT MUST BE IN COMPLIANCE WITH THE OWASA SEWER USE ORDINANCE. A GREASE INTERCEPTOR SHALL BE PROVIDED WHEN IN THE OPINION OF OWASA IT IS NECESSARY FOR THE PROPER HANDLING OF WASTEWATER CONTAINING EXCESSIVE AMOUNTS OF GREASE. ALL INTERCEPTION UNITS MUST BE OF THE TYPE AND CAPACITY WHICH IS CERTIFIED BY THE PROJECT ENGINEER AS MEETING THE REQUIREMENTS OF OWASA.
- BACKFLOW PREVENTION WILL BE REQUIRED IN ACCORDANCE WITH OWASA CROSS-CONNECTION CONTROL ORDINANCE AND MANUAL.
- ALL IRRIGATION SYSTEMS SHALL BE EQUIPPED WITH AUTOMATIC CONTROLLERS THAT ACTIVATE THE SYSTEM ACCORDING TO A DESIRED FREQUENCY AND DURATION, AND SHALL ALSO BE EQUIPPED WITH RAIN OR SOIL MOISTURE SENSORS THAT WILL PREVENT IRRIGATION DURING PERIODS OF RAINFALL OR WHEN THERE IS SUFFICIENT MOISTURE IN THE GROUND FOR PLANT HEALTH AND SURVIVAL IN ACCORDANCE WITH THE LOCAL GOVERNMENT WATER CONSERVATION ORDINANCES.
- REMOTE READ-OUT DEVICES - RPDA AND RPZ DEVICES LOCATED INSIDE BUILDINGS MUST BE EQUIPPED WITH AN AMR METER TO BE PURCHASED FROM OWASA AND INSTALLED BY THE CONTRACTOR. CONTACT THE OWASA CONSTRUCTION INSPECTOR FOR DETAILS OF THIS INSTALLATION.
- EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- ALL BUILDINGS WITH FIRE SUPPRESSION LINES MUST HAVE BACKFLOW DEVICES LOCATED INSIDE THE BUILDING IN AN ABOVE GROUND LOCATION ADJACENT TO THE OUTSIDE WALL WHERE THE WATERLINE ENTERS THE BUILDING.
- FOR IRRIGATION SERVICE BACKFLOW DEVICE, USE A REDUCED PRESSURE ZONE ASSEMBLY MEETING THE STANDARDS OF THE OWASA CROSS CONNECTION CONTROL ORDINANCE AND MANUAL. INSTALL THE IRRIGATION DEVICE INSIDE AN ABOVE GROUND HOT BOX.
- CONNECTION OF SANITARY SEWER SERVICE TO AN EXISTING MANHOLE SHALL COMPLY WITH OWASA STANDARDS, INCLUDING: CORE DRILL FOR OPENING INTO MANHOLE AND INSTALL WITH FLEXIBLE BOOT. IF PAVEMENT CUT IS REQUIRED, CONTRACTOR SHALL PATCH PAVEMENT IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND PROPER GEOTECHNICAL INFORMATION FOR SOIL LOADING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY, AGENCY, OR COMPANY.

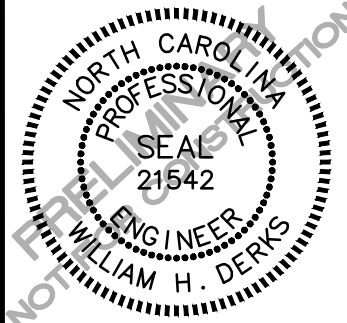
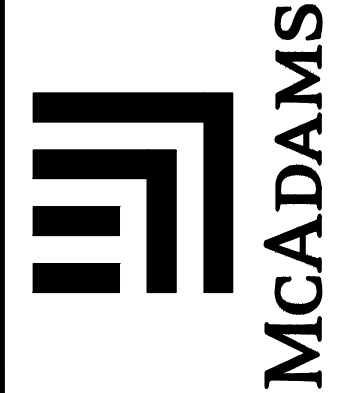
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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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OWNER:
HEALTH SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
UTILITY PLAN

PROJECT NO: UNC-17020
 FILENAME: UNC17020-U1
 CHECKED BY: WHD
 DRAWN BY: C.J.J.
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: C-6

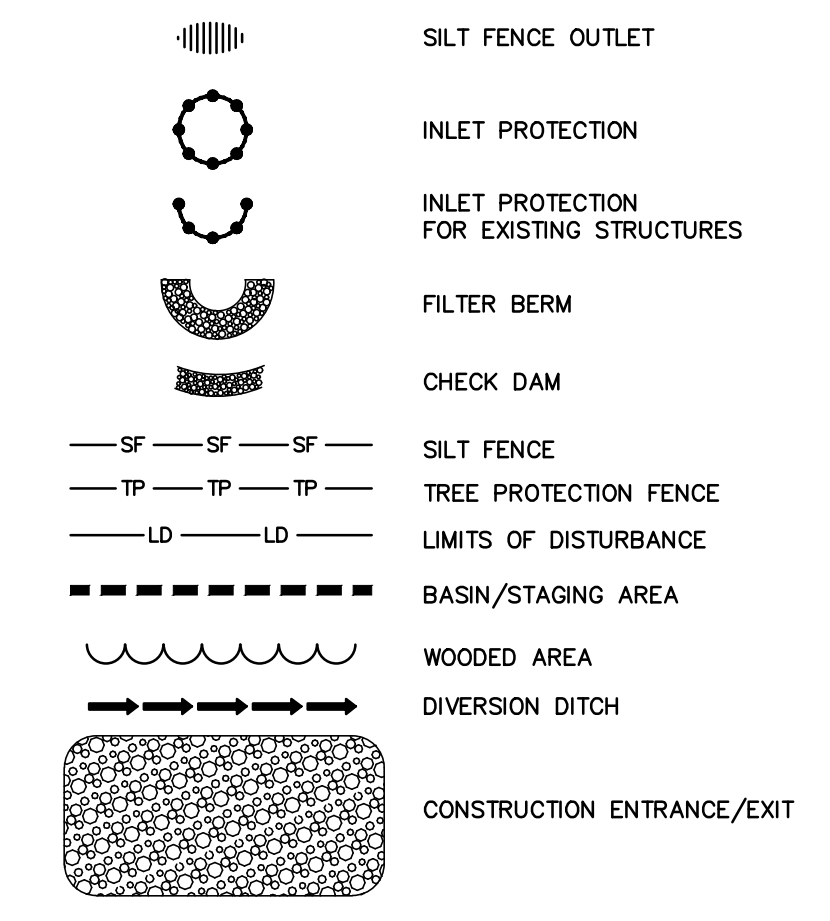


DISTURBED AREA = 7.52 AC

CONSTRUCTION SEQUENCE - STAGE 1

- OBTAIN A LAND-DISTURBING PERMIT. SCHEDULE A PRECONSTRUCTION CONFERENCE WITH ORANGE COUNTY EROSION CONTROL OFFICER, (919)245.2587. PRECONSTRUCTION MEETING SHALL INCLUDE A REPRESENTATIVE FROM OWASA, TOWN OF CHAPEL HILL, TOWN'S URBAN FORESTER, AND OWNER.
- NOTE: INSTALL A RURAL TYPE MAILBOX ON THE SITE TO HOLD A COPY OF THE APPROVED EROSION CONTROL PLAN AND TO PROVIDE A PLACE FOR INSPECTORS TO LEAVE INSPECTION REPORT, COMPLIANCE NOTICES, ETC.
- INSTALL GRAVEL CONSTRUCTION ENTRANCE(S) PER PLAN. ALSO INSTALL TEMPORARY SILT FENCING WITH OUTLETS AT LOW POINTS. ONLY DISTURB AREAS NECESSARY TO INSTALL PERIMETER MEASURES. WHERE SILT FENCE IS SHOWN IN EXISTING DRIVEWAY AREAS, SAW CUT DRIVEWAYS AND PLACE SILT FENCE FLUSH WITH PAVEMENT.
- INSTALL INLET PROTECTION PER ORANGE COUNTY SEC STANDARDS AND SPECIFICATIONS ON ALL EXISTING INLETS.
- DEMO EXISTING BUILDINGS TO THE SLAB PER THE DEMOLITION PLAN (SHEET C-3)
- INSTALL THE JUNCTION BOX NECESSARY FOR CONNECTION FROM SB-1
- INSTALL SKIMMER BASIN SB-1 FIRST, AND THEN SB-2 WITH THEIR RESPECTIVE DIVERSION DITCHES IN THE LOCATIONS SHOWN. ONLY DISTURB AREAS NECESSARY TO INSTALL THE SKIMMER BASINS AND THE TEMPORARY DIVERSION DITCHES.
- CALL 919.245.2587 FOR ON-SITE INSPECTION BY ORANGE COUNTY EROSION CONTROL.
- BEGIN DEMOLITION OF THE SITE. MAINTAIN DEVICES AS NEEDED, AS SHOWN ON THE APPROVED DEMOLITION PLAN. DO NOT DEMO EASTOWNE DRIVE UNTIL PHASE 2 - EROSION CONTROL STAGE 3 (NOT IN THIS APPROVAL)
- USE EXTREME CARE IN BUFFER AREAS WHEN REMOVING EXISTING SITE FEATURES SUCH AS UNDERGROUND UTILITIES AND EXISTING CONCRETE PATHS AS TO NOT DISTURB EXISTING TREES. ONCE SITE FEATURES TO BE REMOVED WITHIN THE BUFFER AREAS HAVE BEEN REMOVED AND THE AREA STABILIZED, CONTACT THE ORANGE COUNTY EROSION CONTROL INSPECTOR FOR INSPECTION AND APPROVAL TO RELOCATE TREE PROTECTION AND SILT FENCE OUT OF THE BUFFER IN ORDER TO FULLY PROTECT THE EXISTING BUFFER TREES.
- NO MUD SHALL BE TRACKED ONTO EXISTING PAVEMENT OR A NOTICE OF VIOLATION FROM THE EROSION CONTROL DEPARTMENT MAY ENSUE. ADDITIONAL MEASURES MAY BE NECESSARY TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
- WITH APPROVAL FROM ORANGE COUNTY EROSION CONTROL INSPECTOR, CONTINUE TO STAGE 2.
- DEMOLITION, CLEARING, OR PRELIMINARY GRADING IN ANY PORTION OF THE RCD SHALL BE DELAYED UNTIL SUCH POINT THAT THE DISTURBED AREA IN THE RCD CAN BE IMMEDIATELY STABILIZED.

EROSION CONTROL LEGEND

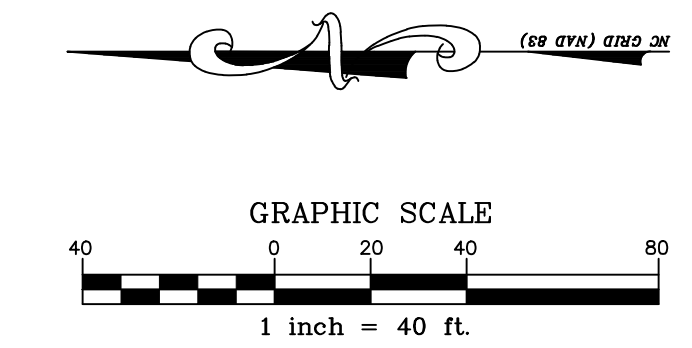


SEDIMENT BASIN SB-1 SUMMARY

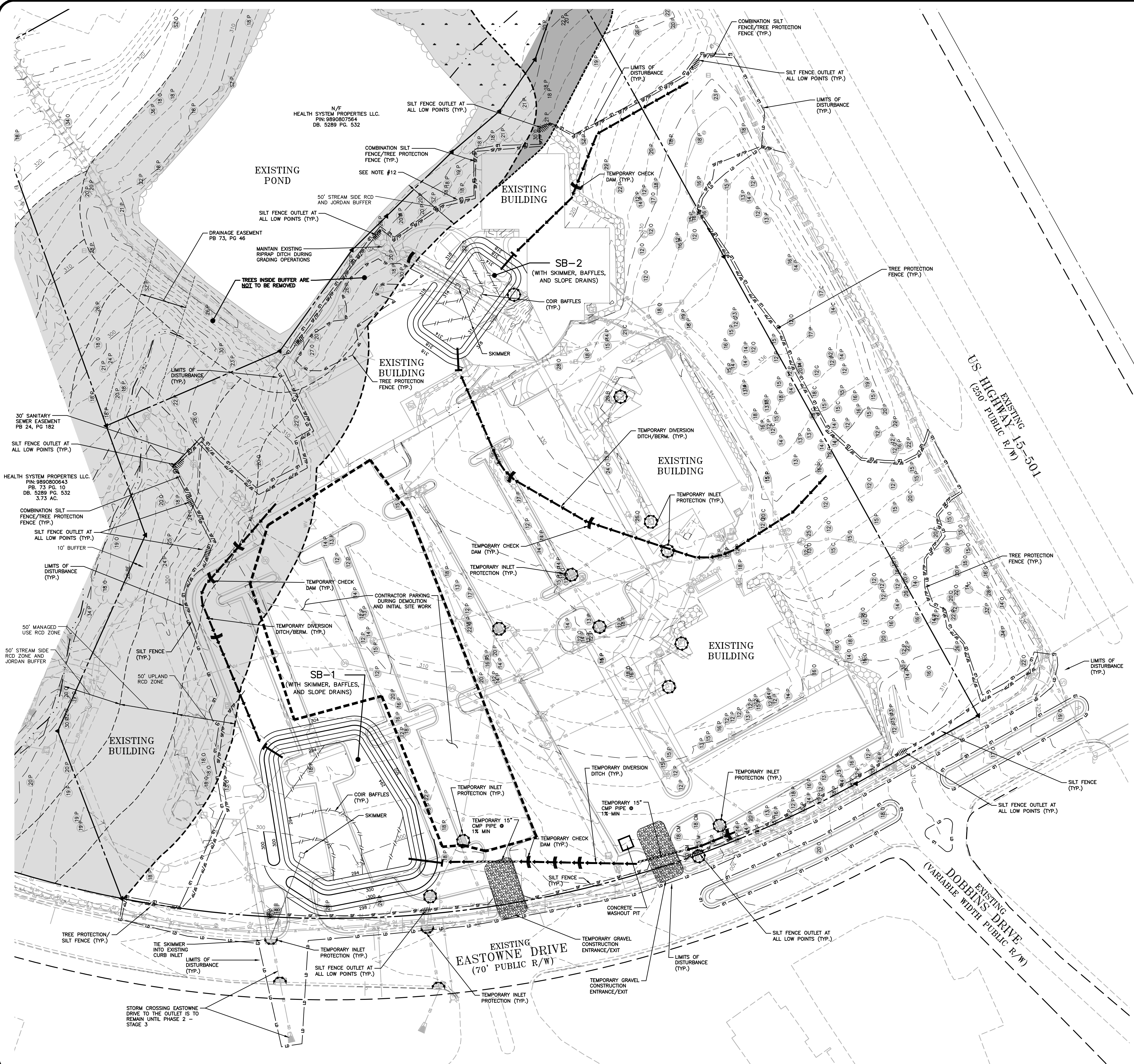
SEDIMENT TRAP ID	SB-1
Drainage Area (AC.)	4.57
Disturbed Area (AC.)	4.57
Flow Q25 (CFS)	22.34
Bottom Elevation (FT)	294
Sediment Depth (FT)	4
Freeboard (from Sediment Depth)	2
Depth to Crest of Emergency Spillway (FT)	4
Side Slopes	2.0H:1V
Spillway Length (FT)	10'
Height of Berm (FT)	6.0
Bottom Length (FT)	150
Bottom Width (FT)	70
Top of Trap Length (FT)	174
Top of Trap Width (FT)	94
Storage Volume Required (FT ³)	6,066
Storage Volume Prov'd. (FT ³)	49,370
Sediment Surface Area Req'd (FT ²)	7,900
Sediment Surface Area Prov'd (FT ²)	14,280
Number of Skimmers	1
Skimmer Size	2.00
Skimmer Orifice Size	1.5
Anti Flotation Block	N/A

SEDIMENT BASIN SB-2 SUMMARY

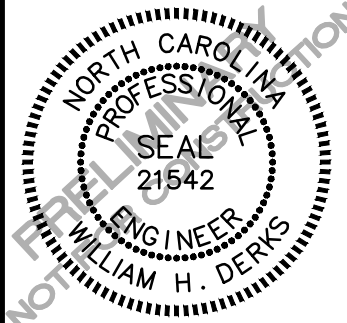
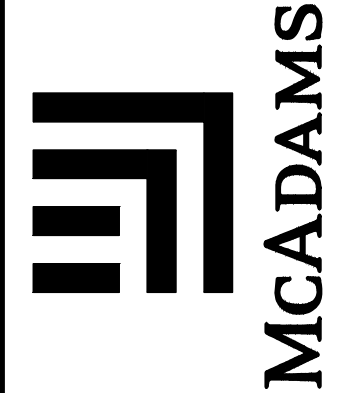
SEDIMENT TRAP ID	SB-2
Drainage Area (AC.)	2.54
Disturbed Area (AC.)	2.54
Flow Q25 (CFS)	11.20
Bottom Elevation (FT)	300
Sediment Depth (FT)	2
Freeboard (from Sediment Depth)	2
Depth to Crest of Emergency Spillway (FT)	2
Side Slopes	2.0H:1V
Spillway Length (FT)	10'
Height of Berm (FT)	4.0
Bottom Length (FT)	90
Bottom Width (FT)	45
Top of Trap Length (FT)	106
Top of Trap Width (FT)	61
Storage Volume Required (FT ³)	4,572
Storage Volume Prov'd. (FT ³)	9,220
Sediment Surface Area Req'd (FT ²)	4,790
Sediment Surface Area Prov'd (FT ²)	5,190
Number of Skimmers	1
Skimmer Size	2.00
Skimmer Orifice Size	1.25
Anti Flotation Block	N/A



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 2018-04-04 - REVISED PER CHAPEL HILL COMMENTS
 2018-06-12 - REVISED PER CHAPEL HILL COMMENTS
 2018-08-31 - REVISED PER CHAPEL HILL COMMENTS

OWNER:
 HEALTH SYSTEM PROPERTIES, LLC.
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 CHAPEL HILL, NORTH CAROLINA

PROJECT NO: UNC-17020
 FILENAME: UNC17020-EC1
 CHECKED BY: WHD
 DRAWN BY: CJJ
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: EC-1



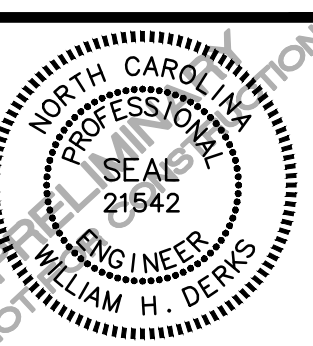
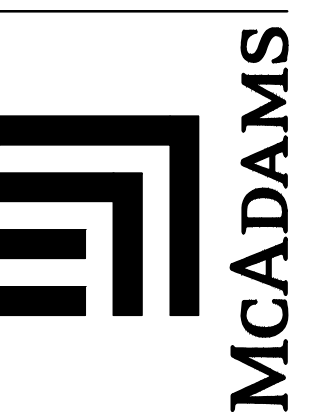
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DISTURBED AREA = 7.52 AC

CONSTRUCTION SEQUENCE - STAGE 2

1. WITH APPROVAL FROM ORANGE COUNTY EROSION CONTROL INSPECTOR, BEGIN MASS GRADING THE SITE AS SHOWN ON THE APPROVED PLAN
2. NO MUD SHALL BE TRACKED ONTO EXISTING PAVEMENT OR A NOTICE OF VIOLATION FROM THE EROSION CONTROL DEPARTMENT MAY ENSUE. ADDITIONAL MEASURES MAY BE NECESSARY TO ASSURE THAT NO SEDIMENT LEAVES THE SITE.
3. PROVIDE ALL DISTURBED AREAS WITH GROUND COVER WITHIN 14 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN. NOTE: SLOPES IN EXCESS OF 3H:1V SHALL BE STABILIZED WITHIN 7 DAYS AND FOR MODERATE SLOPES (SLOPES LESS THAN 3H:1V) SHALL BE STABILIZED WITHIN 14 DAYS.
4. ONCE PROPOSED BUILDING PADS HAVE BEEN BROUGHT TO GRADE, BEGIN STABILIZING THE PADS WITH STONE SUITABLE FOR THE BUILDINGS FOUNDATION AS SPECIFIED BY THE GEOTECHNICAL AND STRUCTURAL ENGINEERS.
5. APPROVAL FROM ORANGE COUNTY EROSION CONTROL INSPECTOR IS REQUIRED TO CONTINUE TO STAGE 3. (NOT INCLUDED IN THIS APPROVAL)
6. DEMOLITION, CLEARING, OR PRELIMINARY GRADING IN ANY PORTION OF THE RCD SHALL BE DELAYED UNTIL SUCH POINT THAT THE DISTURBED AREA IN THE RCD CAN BE IMMEDIATELY STABILIZED.

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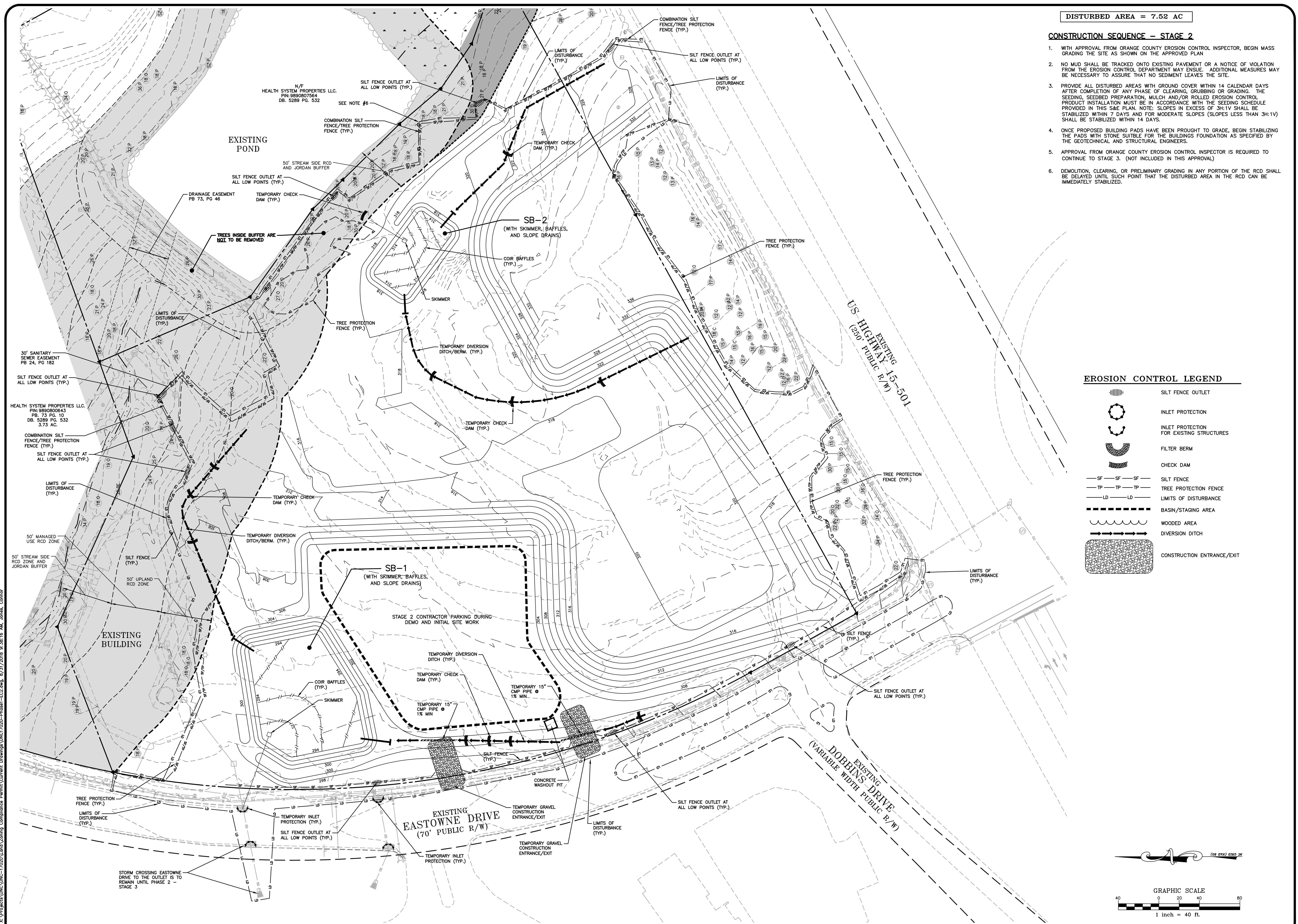


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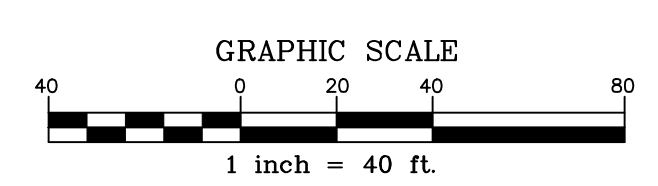
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 DRAWN BY: C.JJ
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 SHEET NO: EC-2



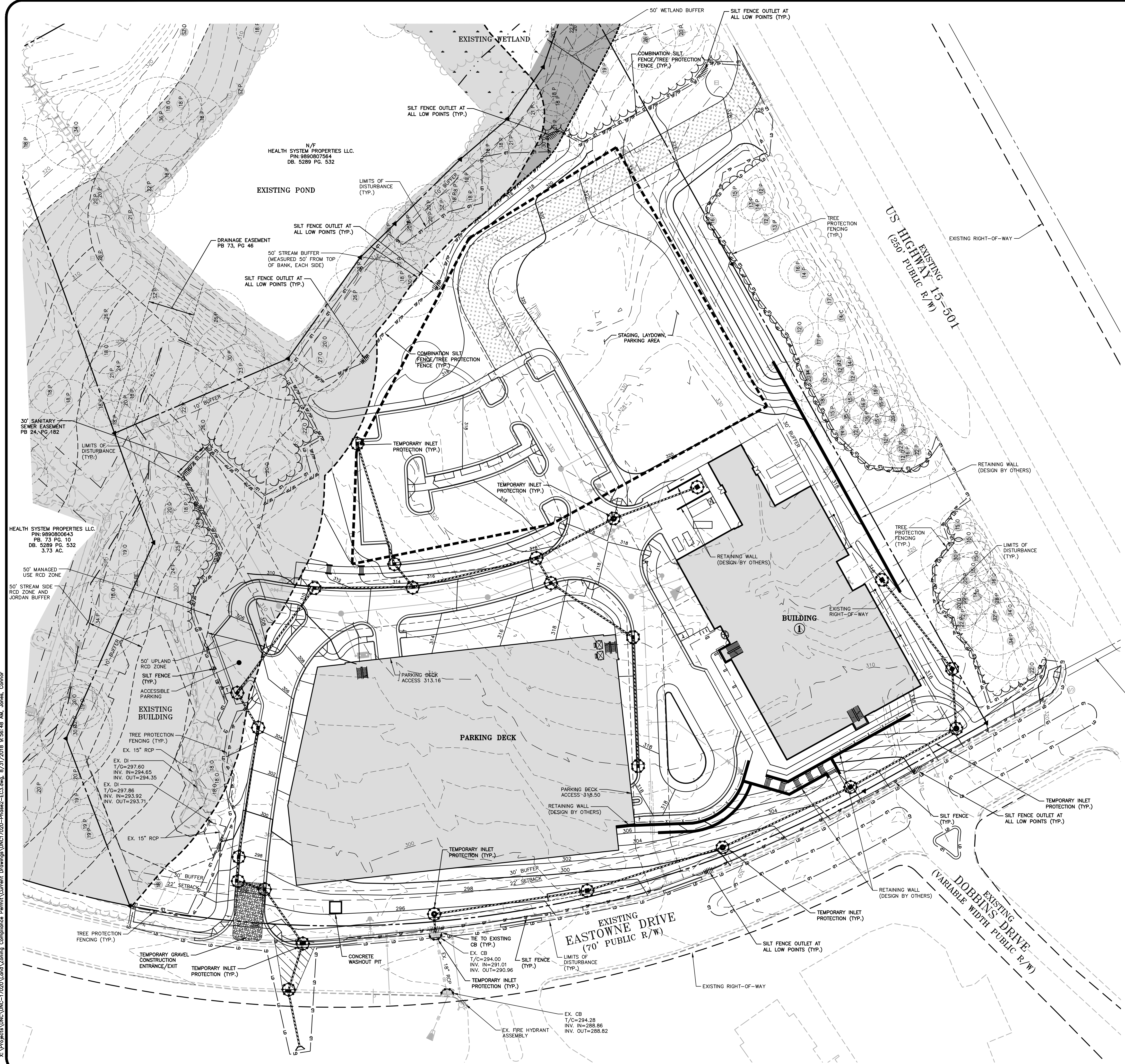
EROSION CONTROL LEGEND

- SILT FENCE OUTLET
- INLET PROTECTION
- INLET PROTECTION FOR EXISTING STRUCTURES
- FILTER BERM
- CHECK DAM
- SILT FENCE
- TREE PROTECTION FENCE
- LIMITS OF DISTURBANCE
- BASIN/STAGING AREA
- WOODED AREA
- DIVERSION DITCH
- CONSTRUCTION ENTRANCE/EXIT



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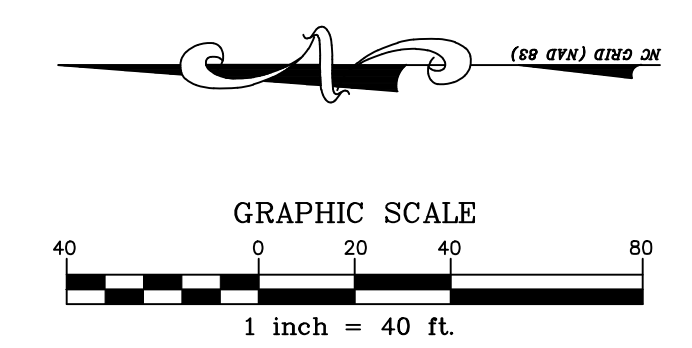
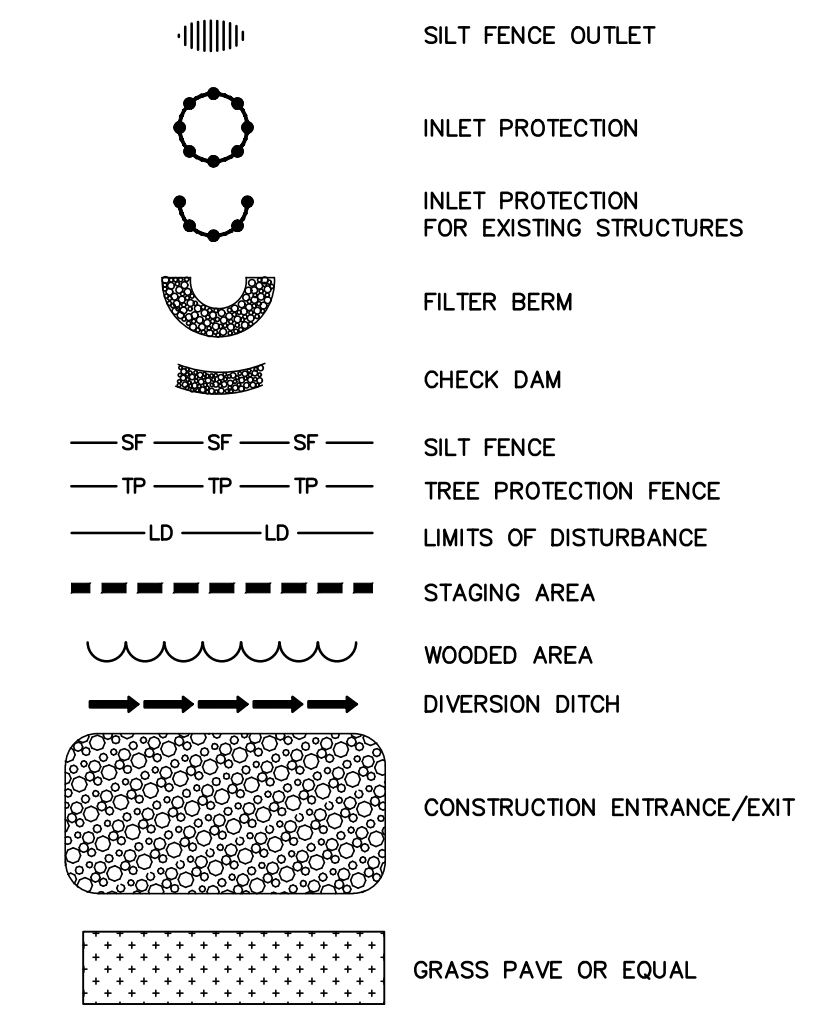


DISTURBED AREA = 7.52 AC

CONSTRUCTION SEQUENCE - STAGE 3

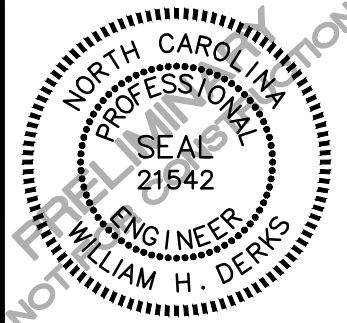
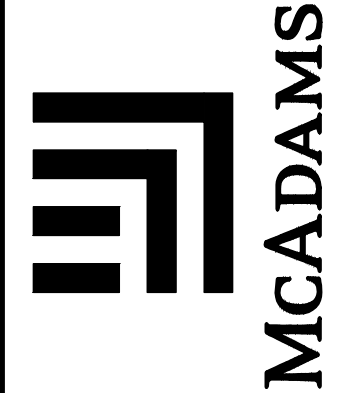
1. CONTINUE MASS GRADING FROM STAGE 1 AND STABILIZING THE PROPOSED BUILDING PADS AS THEY ARE BROUGHT TO FINAL GRADE.
2. CONSTRUCT STORM DRAIN SYSTEM AS SHOWN.
3. INSTALL INLET PROTECTION ON ALL INLET STRUCTURES DURING CONSTRUCTION.
4. STORM DRAINAGE IS TO BE ROUTED TO SKIMMER BASINS SB-1 AND SB-2 AS SHOWN IN STAGE 1 WHERE POSSIBLE UNTIL UPSTREAM BUILDING PADS AND OTHER AREAS HAVE BEEN STABILIZED. ONCE STABILIZED AND APPROVED BY THE ORANGE COUNTY EROSION CONTROL INSPECTOR, SB-1 AND SB-2 MAY BE REMOVED TO ALLOW FOR THE FULL BUILDOUT OF THE PROJECT.
5. INLET PROTECTION SHOULD BE INSPECTED AND MAINTAINED AFTER EVERY RAIN EVENT. NO OPEN TRENCHES SHALL BE LEFT AT THE END OF THE WORK DAY. CONTRACTOR SHALL INSPECT AND REPAIR ALL EROSION CONTROL DEVICES AT LEAST ONCE PER WEEK AFTER EVERY RAINFALL EVENT. GRADING ACTIVITIES SHALL BE PROHIBITED IN AREAS OF SEDIMENT CONTROL DEVICES UNTIL THE AREAS UPSTREAM OF THESE AREAS HAVE BEEN STABILIZED AND APPROVED. ORANGE COUNTY EROSION CONTROL DEPARTMENT RESERVES THE RIGHT TO ISSUE A NOTICE OF VIOLATION IF EROSION CONTROL DEVICES ARE NOT PERFORMING CORRECTLY. FOR THIS REASON THE CONTRACTOR MAY BE REQUIRED TO INSTALL ADDITIONAL MEASURES AS REQUIRED IN THE FIELD TO PERFORM THE CONTROL OF SEDIMENT LADEN RUNOFF.
6. PROVIDE ALL DISTURBED AREAS WITH GROUND COVER WITHIN 14 CALENDAR DAYS AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN. NOTE: SLOPES IN EXCESS OF 3H:1V SHALL BE STABILIZED WITHIN 7 DAYS AND FOR MODERATE SLOPES (SLOPES LESS THAN 3H:1V) SHALL BE STABILIZED WITHIN 14 DAYS.
7. AT THE CONCLUSION OF BUILDING OR IF LAND-DISTURBING ACTIVITY IS STOPPED FOR MORE THAN 14 CONSECUTIVE CALENDAR DAYS, PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IN ACCORDANCE WITH THIS S&E PLAN.
8. WHEN SITE IS AT FINAL GRADE AND NO FURTHER GRADING IS NECESSARY, CONTRACTOR SHALL STABILIZE PORTIONS OF THE SITE WITH SEED/MULCH UNTIL FINAL LANDSCAPING IS INSTALLED.
9. WHEN CONSTRUCTION IS COMPLETE, CALL OCEC TO OBTAIN FINAL INSPECTION AND CERTIFICATE OF COMPLETION TO CLOSE OUT EROSION CONTROL PERMIT.
10. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES.

EROSION CONTROL LEGEND



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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 CHAPEL HILL, NORTH CAROLINA 27517

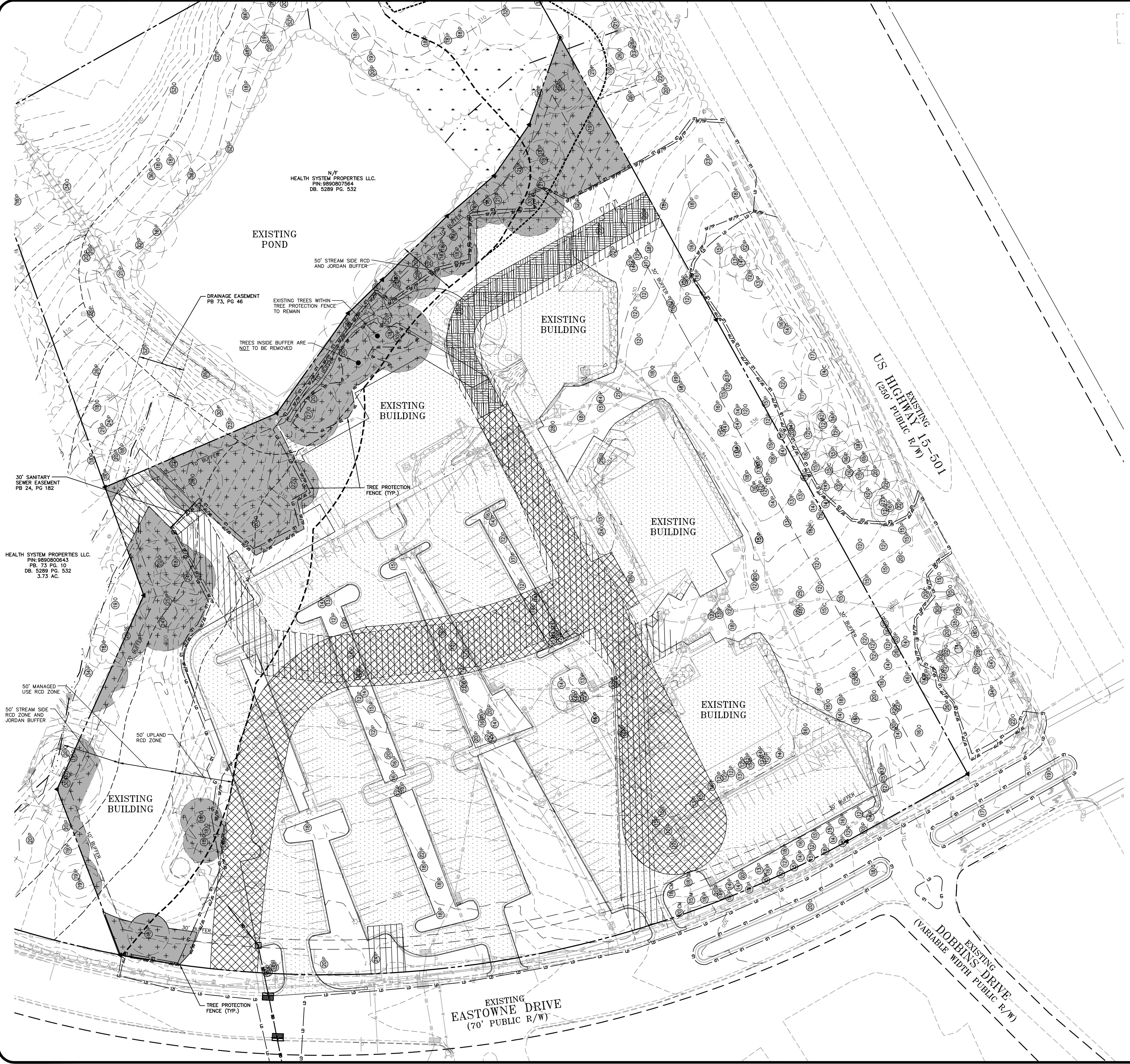
**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT**
 CHAPEL HILL, NORTH CAROLINA

SEDIMENT AND EROSION CONTROL PLAN - STAGE 3

PROJECT NO:	UNC-17020
FILENAME:	UNC17020-EC3
CHECKED BY:	WHD
DRAWN BY:	CJJ
SCALE:	1"=40'
DATE:	04-27-18
SHEET NO:	EC-3



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TREE CANOPY COVERAGE LEGEND

- TREE EXISTING TREE
- P EXISTING PINE
- G EXISTING GUM
- O EXISTING OAK
- M EXISTING MAPLE
- CM EXISTING GRAPE MYRTLE
- C EXISTING CEDAR
- BE EXISTING BEECH
- B EXISTING BIRCH
- TP — TP — TP — TREE PROTECTION FENCE
- LD — LD — LD — LIMITS OF DISTURBANCE

EXISTING CLEARED AREAS (EASEMENTS)	ACREAGE
	EXISTING SANITARY SEWER EASEMENT 0.05 ACRES
	AREA TO BE REMOVED. SEE SHEET C-3, DEMOLITION PLAN, FOR MORE INFORMATION. 4.44 ACRES
	LIMIT OF DISTURBANCE 7.52 ACRES
	FIRE ACCESS ROUTE 0.16 ACRES
	PROPOSED SANITARY SEWER, WATER MAIN EASEMENTS 0.96 ACRES
	PROPOSED RIGHT-OF-WAY 1.01 ACRES
	COMBINED UTILITY AND ACCESS EASEMENTS 1.46 ACRES
	EXISTING CANOPY TO REMAIN PRESERVED TREE CANOPY SAVED 1.07 ACRES

TREE CANOPY COVERAGE CALCULATIONS

REQUIREMENT: (30% MINIMUM TREE CANOPY COVERAGE OF NET LAND AREA)

NET LAND AREA

GROSS LAND AREA: 8.38 ACRES
 EXISTING EASEMENTS: -0.05 ACRES
 PROPOSED UTILITY AND ACCESS EASEMENTS: -1.46 ACRES
 NET LAND AREA: 6.87 ACRES

30% TREE CANOPY COVERAGE

NET LAND AREA: 6.87 ACRES
 30% MIN. TREE CANOPY COVERAGE REQUIREMENT: 2.06 ACRES

TREE CANOPY COVERAGE DEFICIT

TREE CANOPY COVERAGE REQUIREMENT: 2.06 ACRES (30.00 %)
 EXISTING CANOPY TO REMAIN: -1.07 ACRES (15.57 %)
 TREE CANOPY COVERAGE DEFICIT: 0.99 ACRES (14.41 %)

CANOPY REPLACEMENT CALCULATIONS

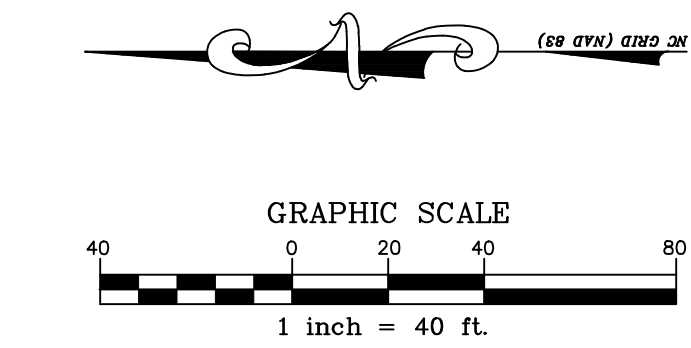
REQUIREMENT: (ONE LARGE TREE PER 500 SF OF TREE CANOPY COVERAGE DEFICIT)

TREE CANOPY COVERAGE DEFICIT: 43,124 SF (0.99 AC)
 LARGE TREE REPLACEMENT REQUIRED: 87

LANDSCAPE CALCULATION NOTES:

- TREE CANOPY CALCULATIONS ARE SUBJECT TO CHANGE. FINAL TREE REPLACEMENT REQUIREMENT TO BE DETERMINED WITH FINAL PLANS (ZCP).
- TREE REPLACEMENT TO BE PROVIDED VIA TREE PLANTING, RESERVE AREA, PAYMENT-IN-LIEU, OR A COMBINATION OF THOSE OPTIONS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.



FINAL DRAWING - NOT RELEASED FOR CONSTRUCTION

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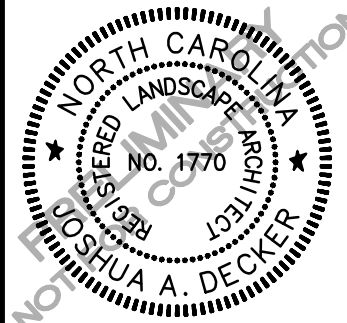
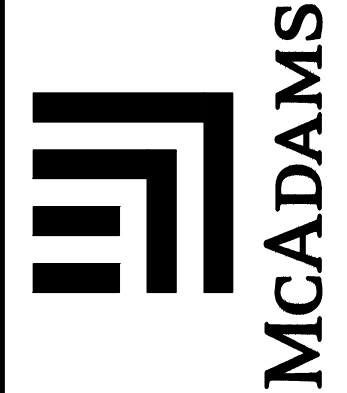
HEALTH SYSTEM PROPERTIES LLC.
 PIN: 9990800643
 PB: 73 PG. 10
 DB: 5289 PG. 532
 3.73 AC.

30' SANITARY SEWER EASEMENT
 PB 24, PG 182

DRAINAGE EASEMENT
 PB 73, PG 46

N/F
 HEALTH SYSTEM PROPERTIES LLC.
 PIN: 9990800764
 DB: 5289 PG. 532

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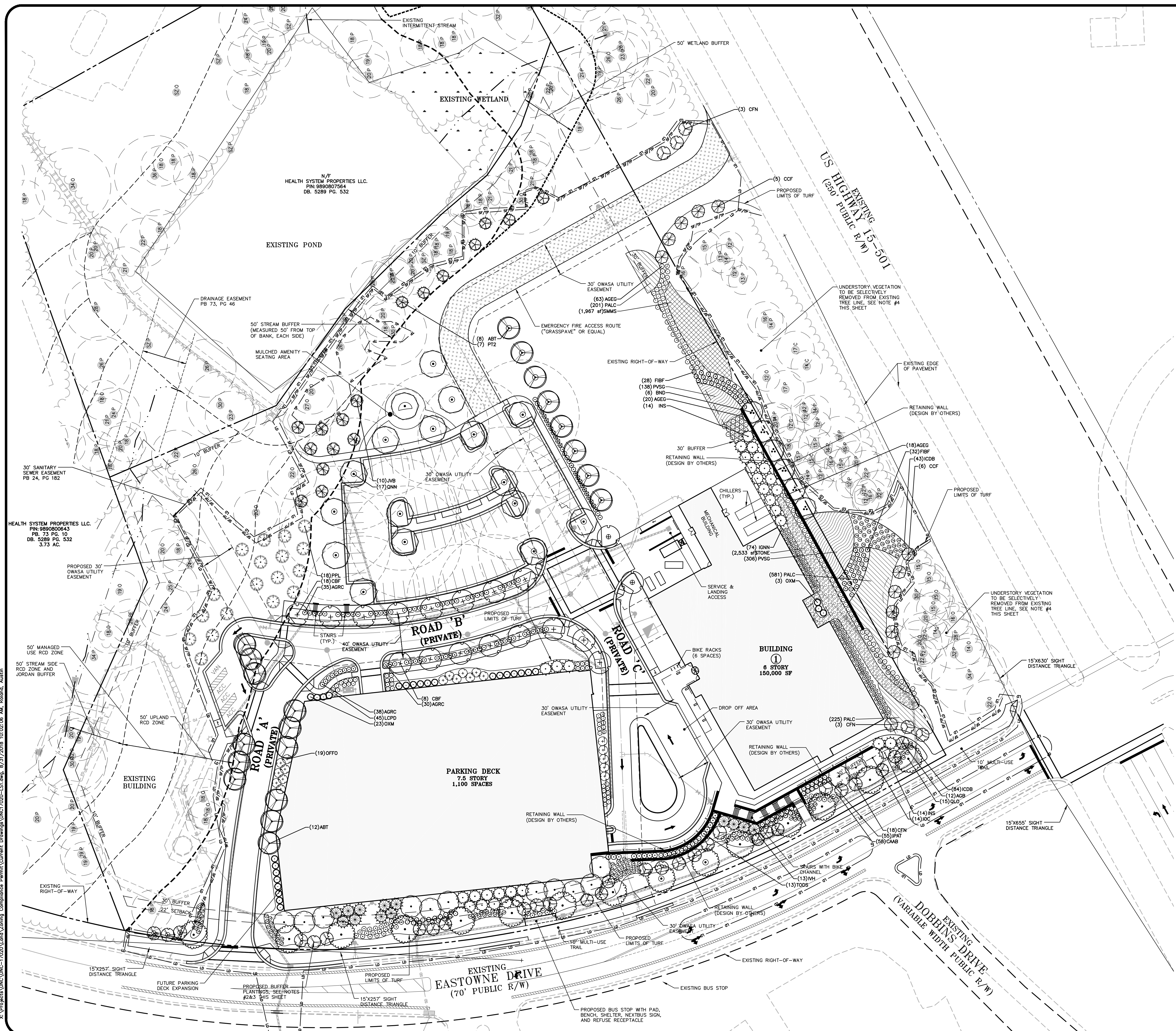
REVISIONS:

OWNER:
 HEALTH SYSTEM PROPERTIES, LLC.
 211 FRIDAY CENTER DRIVE
 CHAPEL HILL, NORTH CAROLINA 27517

**UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 ZONING COMPLIANCE PERMIT**
 CHAPEL HILL, NORTH CAROLINA
TREE CANOPY COVERAGE PLAN

PROJECT NO:	UNC-17020
FILENAME:	UNC17020-TCI
CHECKED BY:	JAD
REQUIREMENT:	AMR
DRAWN BY:	AMR
SCALE:	1" = 40'
DATE:	06-29-18
SHEET NO:	TC-1





SITE LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	LOT LINE
	EASEMENT LINE

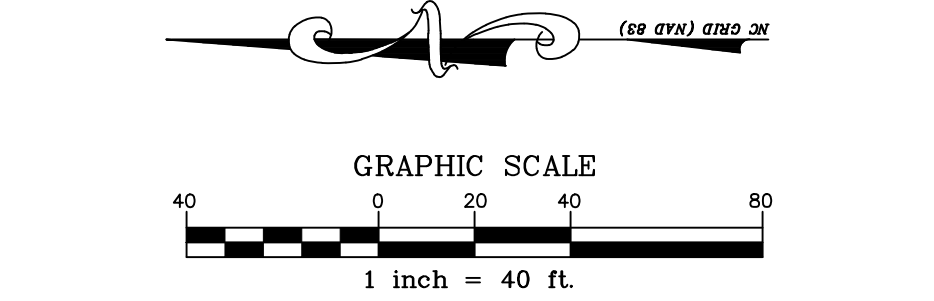
PLANT SCHEDULE

TREES	CODE	COMMON NAME
	ABT	Trident Maple
	AGB	'Autumn Brilliance' Serviceberry
	BND	Duraheat River Birch
	CBF	Pyramidal European Hornbeam
	CCF	Eastern Red Bud
	CFN	Cloud Nine Eastern Dogwood
	IOC	Carolina #2 American Holly
	IVH	Yaupon Holly
	OXM	Oakland Red Holly
	INS	Nellie Stevens Holly
	JVB	Eastern Red Cedar
	PPL	Longleaf Pine
	PT2	Loblolly Pine
	QLO	Overcup Oak
	QNN	Nuttall Oak
	SHRUBS	
	AGEG	Glossy Abelia
	AGRC	Rose Creek Abelia
	CAAB	American Beautyberry
	FIBF	Border Forsythia
	ICDB	Dwarf Burford Holly
	ICJJ	Convex-leaved Japanese Holly
	IGNN	Nigra Inkberry
	IPAT	Anise Tree
	IVHG	Henry's Garnet Sweetspire
	LCPD	Fringe Flower
	OFFO	Fortunei Osmanthus
	TODS	Degroot's Spire Arborvitae
	GROUND COVERS	
	SMMS	Native Seed Mix
	PVSG	Switch Grass
	PALC	Cassian Dwarf Fountain Grass
	STONE	River Rock

GENERAL NOTES:

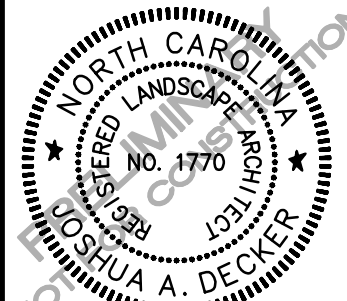
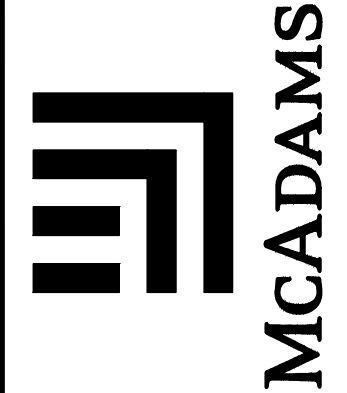
- SEE SHEET LS-2 (PHASE 1 - LANDSCAPE DETAILS) FOR COMPLETE PLANT SCHEDULE, LANDSCAPE DETAILS, NOTES, AND CALCULATIONS.
- PLANTINGS WHERE EXISTING VEGETATION IS PRESENT SHALL BE DONE IN A MANNER TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION.
- PROPOSED BUFFER PLANTINGS TO BE FIELD LOCATED WITH TOWN OF CHAPEL HILL DEVELOPMENT COMPLIANCE OFFICER (DCO). PLANTINGS MAY NOT BE REQUIRED DUE TO EXISTING VEGETATION PER CONFIRMATION WITH DCO.
- ALL UNDERSTORY VEGETATION REMOVALS WITHIN LOCATIONS INDICATED (WITHIN THE RIGHT-OF-WAY) MUST BE FIELD VERIFIED WITH CHAPEL HILL DCO AND COORDINATED WITH LANDSCAPE ARCHITECT AND/OR OWNER'S REPRESENTATIVE. CONTRACTOR TO REMOVE CONFIRMED VEGETATION WITHIN THESE AREAS USING HAND TOOLS ONLY.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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REVISIONS:
 2018-04-04 - REVISED PER CHAPEL HILL COMMENTS
 2018-06-12 - REVISED PER CHAPEL HILL COMMENTS
 2018-08-31 - REVISED PER CHAPEL HILL COMMENTS

OWNER:
HEALTH SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
PHASE 1 - LANDSCAPE PLAN

PROJECT NO: UNC-17020
 FILENAME: UNC17020-LS1
 CHECKED BY: JAD
 DRAWN BY: AMR
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: LS-1
 MCDAMS

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PLANT SCHEDULE

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS
	ABT	20	Trident Maple	Acer buergerianum	2"	-	
	AGB	12	'Autumn Brilliance' Serviceberry	Amelanchier x grandiflora 'Autumn Brilliance'	-	5'	
	BND	6	Duraheat River Birch	Betula nigra 'Duraheat'	2"	-	
	CBF	18	Pyramidal European Hornbeam	Corpinus betulus 'Fastigiata'	1.5"	-	
	CCF	11	Eastern Red Bud	Cercis canadensis 'Flame'	1"	8'	
	CFN	24	Cloud Nine Eastern Dogwood	Cornus florida 'Cloud Nine'	-	5'	
	IOC	14	Carolina #2 American Holly	Ilex opaca 'Carolina #2'	2"	-	
	IVH	27	Yaupon Holly	Ilex vomitoria	-	5'	
	OXM	28	Oakland Red Holly	Ilex x 'Maglona'	-	5'	
	INS	17	Nellie Stevens Holly	Ilex x 'Nellie R Stevens'	-	5'	
	JVB	10	Eastern Red Cedar	Juniperus virginiana	2.5"	-	Tree canopy replacement
	PPL	18	Longleaf Pine	Pinus palustris	2.5"	-	Tree canopy replacement
	PTZ	8	Loblolly Pine	Pinus taeda	2.5"	-	Tree canopy replacement
	QLO	15	Overcup Oak	Quercus lyrata	2"	12'	
	QNN	17	Nuttall Oak	Quercus nuttallii	2"	-	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT	OC	REMARKS
	AGEG	91	Glossy Abelia	Abelia x grandiflora 'Edward Goucher'	18"		
	AGRC	85	Rose Creek Abelia	Abelia x grandiflora 'Rose Creek'	18"		
	CAAB	58	American Beautyberry	Callicarpa americana	18"		
	FIBF	55	Border Forsythia	Forsythia x intermedia	18"		
	ICDB	127	Dwarf Burford Holly	Ilex cornuta 'Dwarf Burford'	18"		
	ICCJ	18	Convex-leaved Japanese Holly	Ilex crenata 'Convexa'	18"		
	IGNN	74	Nigra Inkberry	Ilex glabra 'Nigra'	24"		
	IPAT	55	Anise Tree	Illicium parviflorum	18"		
	IVHG	25	Henry's Garnet Sweetpire	Itea virginica 'Henry's Garnet'	18"		
	LCPD	45	Fringe Flower	Loropetalum chinense 'Purple Diamond'	18"		
	OFFO	19	Fortunei Osmanthus	Osmanthus x fortunei	18"		
	TODS	13	Degroot's Spire Arborvitae	Thuja occidentalis 'Degroot's Spire'	36"		
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	REMARKS	
	SMMS	1,967 sf	Native Seed Mix	MMF Stabilization Mix	Seed	Install per manufacturer's specifications. Source: Mellow Marsh Farms, Inc.	
	PVSG	444	Switch Grass	Panicum virgatum 'Shenandoah'	Flat	Size 32 liner trays (source: Hoffman Nursery)	
	PALC	1,032	Cassian Dwarf Fountain Grass	Pennisetum alopecuroides 'Cassian'	Flat	Size 32 liner tray (Source: Hoffman Nursery)	
	STONE	2,533 sf	River Rock	Stone	Stone	4-6" Diameter Min.	

LANDSCAPE CALCULATIONS

BUFFER CALCULATIONS

EASTOWNE DRIVE, 30' TYPE 'C' BUFFER REQUIREMENT:
(5 LARGE TREES, 10 SMALL TREES, 36 SHRUBS / 100 LF)

SITE FRONTAGE:	582'
EASEMENTS/ACCESS/TREE SAVE:	-128'
TOTAL LINEAR FOOTAGE:	582'
LARGE TREES REQUIRED:	30
LARGE TREES PROVIDED:	29 (WITH 1 EXISTING TREE)
SMALL TREES REQUIRED:	59
SMALL TREES PROVIDED:	59
SHRUBS REQUIRED:	210
SHRUBS PROVIDED:	210

15-501_30' TYPE 'C' BUFFER (MODIFIED) REQUIREMENT:
(5 LARGE TREES, 10 SMALL TREES, 36 SHRUBS / 100 LF)

SITE FRONTAGE:	730'
EXISTING TREELINE:	-127'
TOTAL LINEAR FOOTAGE:	503'
LARGE TREES REQUIRED:	26
LARGE TREES PROVIDED:	(SEE PLAN FOR PROPOSED LAYOUT)
SMALL TREES REQUIRED:	51
SMALL TREES PROVIDED:	(SEE PLAN FOR PROPOSED LAYOUT)
SHRUBS REQUIRED:	182
SHRUBS PROVIDED:	(SEE PLAN FOR PROPOSED LAYOUT)

PARKING LOT CALCULATIONS

PARKING LOT TREE COVERAGE REQUIREMENT:
(ONE LARGE TREE PER 2,000 SF OF PAVED SURFACE)

PARKING LOT SQUARE FOOTAGE:	21,827 SF
LARGE TREES REQUIRED:	11
LARGE TREES PROVIDED:	11

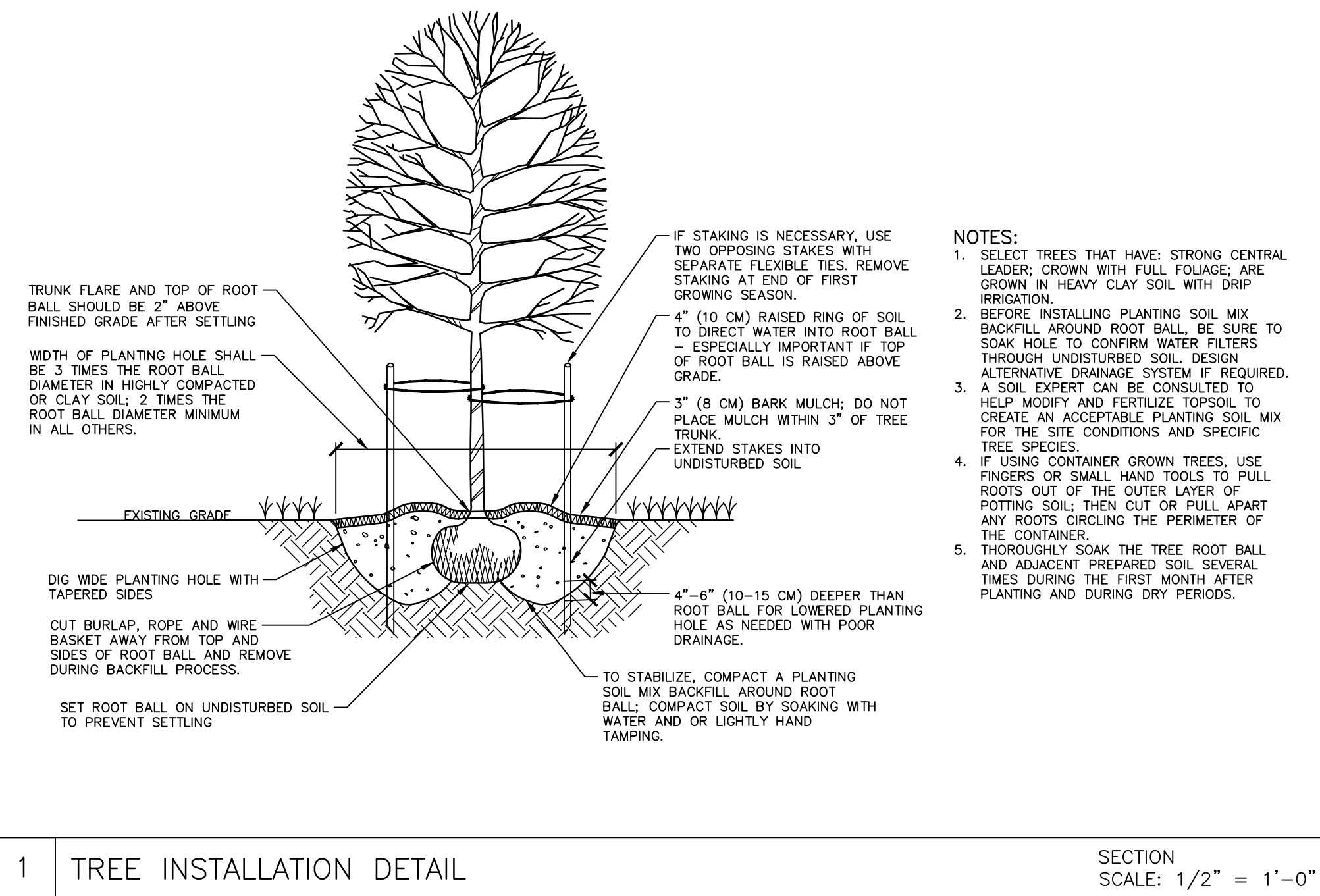
CANOPY REPLACEMENT CALCULATIONS REQUIREMENT:
(ONE LARGE TREE PER 500 SF OF TREE CANOPY COVERAGE DEFICIT)

TREE CANOPY COVERAGE DEFICIT:	43,124 SF (0.99 AC)
LARGE TREES REQUIRED:	87
LARGE TREES PROVIDED:	87

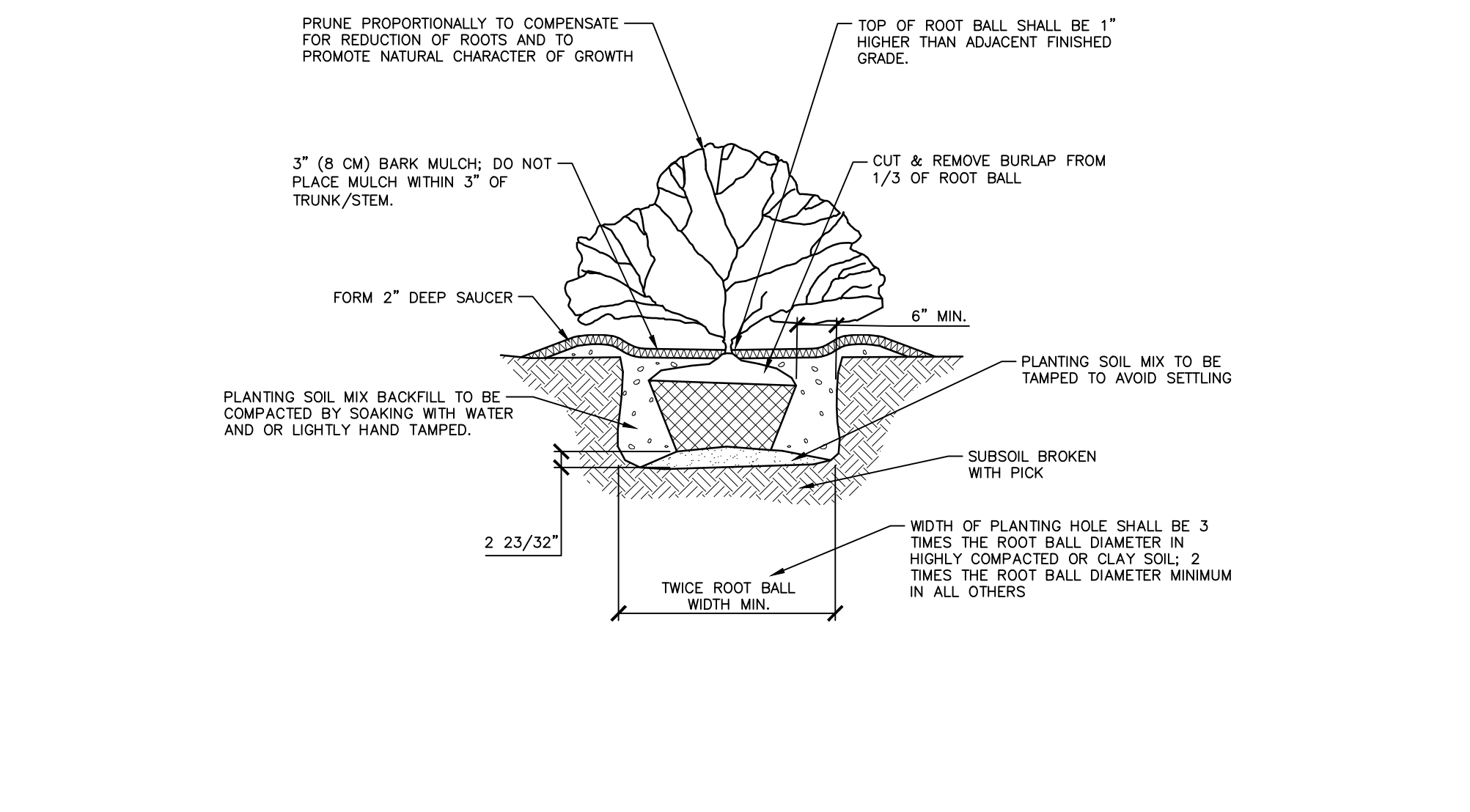
NOTE: PROPOSED LAYOUT INTENDED TO ALLOW MORE OF THE INTERIOR OF THE SITE TO BE VIEWED FROM THE ROAD WHILE ALLOWING FOR THE MAJORITY OF THE EXISTING TREE LINE TO REMAIN.

GENERAL LANDSCAPING NOTES:

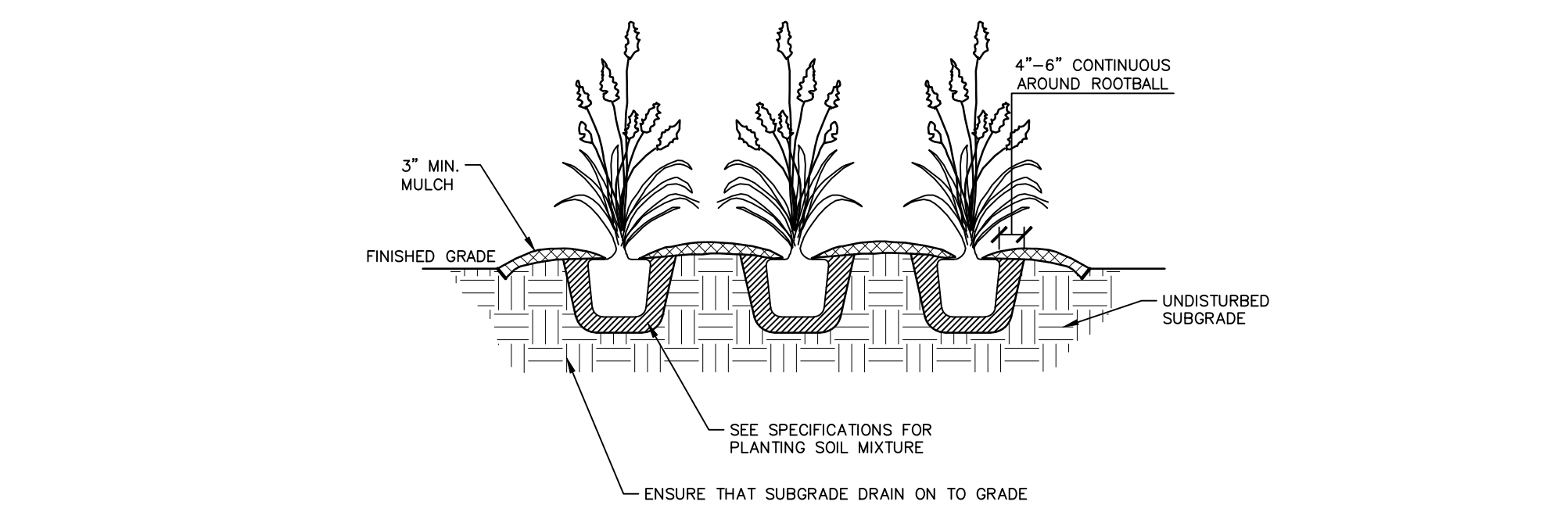
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CHAPEL HILL AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOD IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEEF FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES ARE STANDING, UNTIED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORMLY FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



1 TREE INSTALLATION DETAIL SECTION SCALE: 1/2" = 1'-0"



2 SHRUB INSTALLATION DETAIL SECTION SCALE: 1/2" = 1'-0"



3 ORNAMENTAL GRASS INSTALLATION DETAIL SECTION SCALE: 1/2" = 1'-0"

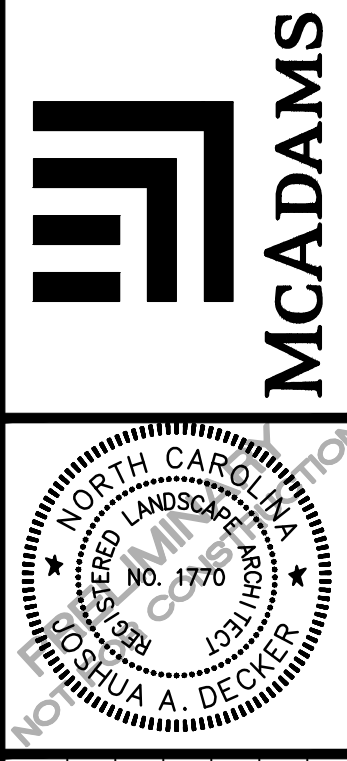
LANDSCAPE CALCULATION NOTES:

- SEE SHEET TC-1 (PHASE 1 - TREE CANOPY COVERAGE PLAN) FOR SITE TREE CANOPY COVERAGE CALCULATIONS.
- TREE CANOPY CALCULATIONS ARE SUBJECT TO CHANGE, FINAL TREE REPLACEMENT REQUIREMENT TO BE DETERMINED WITH FINAL PLANS (22P).
- TREE REPLACEMENT TO BE PROVIDED VIA TREE PLANTING, RESERVE AREA, PAYMENT-IN-LIEU, OR A COMBINATION OF THOSE OPTIONS.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TOWN OF CHAPEL HILL, NCDOT (WHERE APPLICABLE), AND OWASA STANDARDS AND SPECIFICATIONS.

X:\Projects\UNC\UNC-17020\Unc\Zoning Compliance Permits\Current\Drawings\UNC17020-LST.dwg, 8/21/2018, 10:01:49 AM, Roland, Austin

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REVISIONS:

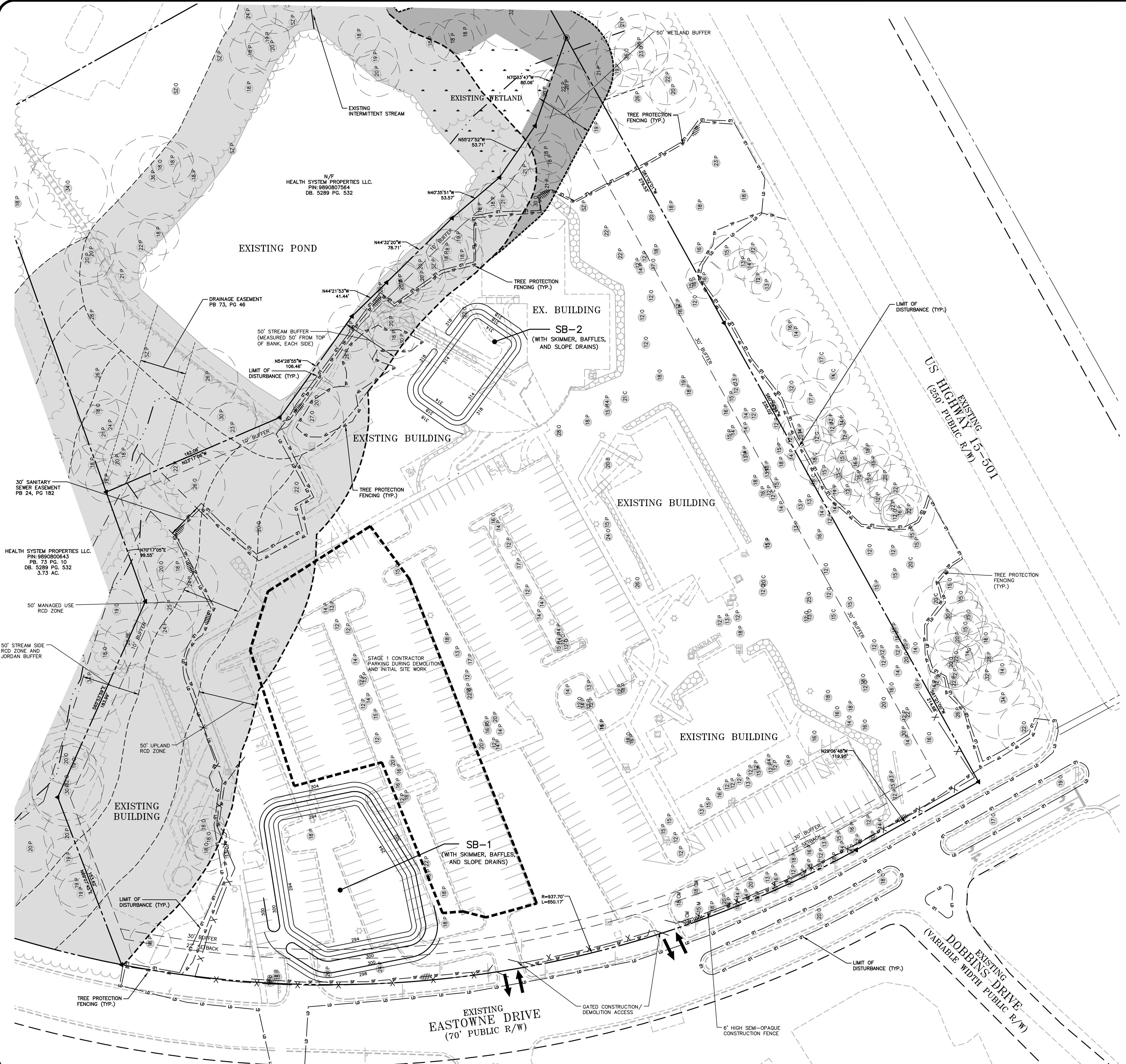
2018-04-04	REVISED PER CHAPEL HILL COMMENTS
2018-08-12	REVISED PER CHAPEL HILL COMMENTS
2018-08-31	REVISED PER CHAPEL HILL COMMENTS

OWNER:
HEALTH CARE SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
PHASE 1 - LANDSCAPE DETAILS

PROJECT NO.:	UNC-17020
FILENAME:	UNC17020-LST
CHECKED BY:	JAD
DRAWN BY:	AMR
SCALE:	-
DATE:	04-27-18
SHEET NO.:	LS-2





PROPOSED CONSTRUCTION MANAGEMENT PLAN:

NOTES:

- ALL LARGE TRUCKS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER/LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES & EXITS AS SHOWN ON THIS PLAN.
- ENTRANCE AND EXIT GATES SHALL BE OPEN DURING ACTIVE CONSTRUCTION ON SITE, GENERALLY BETWEEN THE HOURS OF 6AM AND 7PM.
- ONSITE CONSTRUCTION PARKING FOR SMALL CONSTRUCTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE. ADDITIONAL CONTRACTOR PARKING AREA, IF REQUIRED, TO BE PROVIDED OFF-SITE.
- PRIMARY CONSTRUCTION ACTIVITIES WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY, UNLESS SPECIFICALLY REQUESTED AND PERMITTED THROUGH THE TOWN OF CHAPEL HILL. LIMITED CONSTRUCTION ACTIVITIES MAY OCCUR DURING OFF HOURS.
- THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES --- REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
- NO OPEN BURNING SHALL BE PERMITTED.
- THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE AT THE DRIVE AND ON THE CONSTRUCTION TRAILERS FACING 15-501. THAT LISTS THE FOLLOWING:
 - PROPERTY OWNER'S REPRESENTATIVE & TELEPHONE NUMBER
 - CONTRACTOR'S REPRESENTATIVE & TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR REGULATORY INFO AT TIME OF BUILDING PERMIT
 - SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.
- THE SITE CONSTRUCTION SIGN SHALL INCLUDE A PHONE NUMBER TO CONTACT FOR NOISE NOTIFICATION DURING CONSTRUCTION.
- NO CONTRACTOR PARKING WILL BE ALLOWED ON EASTOWNE DRIVE. GENERAL CONTRACTOR TO ENSURE SUB-CONTRACTORS HAVE AVAILABLE ON-SITE PARKING WITHIN IDENTIFIED PARKING AREAS OR ARRANGE FOR LEGAL OFF-SITE PARKING AREA.

SOLID WASTE NOTES:

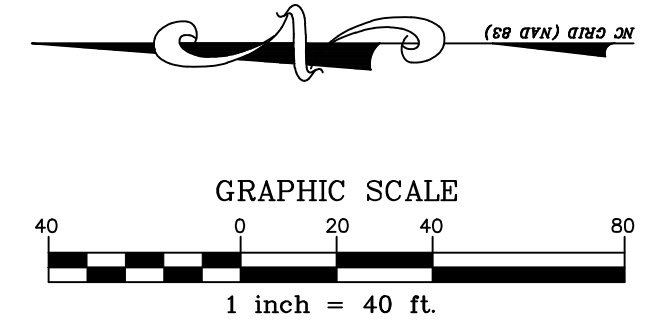
- MIXED RECYCLING (INCLUDING CARDBOARD) IN A ROLL OUT CONTAINER AND WILL BE COLLECTED BY PRIVATE WASTE COLLECTION CONTRACTOR. OWNER ACKNOWLEDGES THAT RIGHTS ARE BEING WAIVED FOR PUBLIC COLLECTION OF MIXED RECYCLABLES BY ORANGE COUNTY AND THAT PAYMENT OF ANNUAL FEE WITH REAL ESTATE TAXES WILL STILL BE REQUIRED.
- TRASH, CARDBOARD AND MIXED RECYCLABLES WILL BE IN SEPARATE CONTAINERS AND COLLECTED BY A PRIVATE WASTE COLLECTION CONTRACTOR.
- THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
- THE SITE WILL NOT RECEIVE PUBLIC MIXED RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS A MIXED RECYCLING CENTER MEETING OCSW SPECIFICATIONS IS CONSTRUCTED OR CONTINGENCY FOR SUCH A CENTER IS INCLUDED ON DEVELOPMENT PLANS.
- COUNTY FEES FOR MIXED RECYCLING COLLECTION AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROPERTY WILL NOT BE WAIVED.

FIRE DEPARTMENT NOTES:

- THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIREWATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
- ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- ANY GATES SHALL BE A MIN WIDTH OF 20'. BE OF SWINGING OR SLIDING TYPE. HAVE AN EMERGENCY MEANS OF OPERATION, SHALL BE OPENABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200

TREE LEGEND

○ TREE	EXISTING TREE
○ P	EXISTING PINE
○ G	EXISTING GUM
○ O	EXISTING OAK
○ M	EXISTING MAPLE
○ CM	EXISTING CRAPE MYRTLE
○ C	EXISTING CEDAR
○ BE	EXISTING BEECH
○ B	EXISTING BIRCH



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\UNC-17020\Land\Zoning Compliance Permit\Current Drawings\UNC17020-Phase1-CM1.dwg, 8/31/2018 9:08:53 AM, Jones, Connor

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Tel: C-0289
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REVISIONS:

- 2018-04-04 - REVISED PER CHAPEL HILL COMMENTS
- 2018-06-12 - REVISED PER CHAPEL HILL COMMENTS
- 2018-08-31 - REVISED PER CHAPEL HILL COMMENTS

OWNER:

HEALTH SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA

CONSTRUCTION MANAGEMENT PLAN - STAGE 1

PROJECT NO: UNC-17020
FILENAME: UNC17020-CM1
CHECKED BY: WHD
DRAWN BY: CJJ
SCALE: 1"=40'
DATE: 04-27-18
SHEET NO:

CM-1

McAdams

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PROPOSED CONSTRUCTION MANAGEMENT PLAN

NOTES:

- ALL LARGE TRUCKS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER/LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES & EXITS AS SHOWN ON THIS PLAN.
- ENTRANCE AND EXIT GATES SHALL BE OPEN DURING ACTIVE CONSTRUCTION ON SITE, GENERALLY BETWEEN THE HOURS OF 6AM AND 7PM.
- ONSITE CONSTRUCTION PARKING FOR SMALL CONSTRUCTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE. ADDITIONAL CONTRACTOR PARKING AREA, IF REQUIRED, TO BE PROVIDED OFF-SITE.
- PRIMARY CONSTRUCTION ACTIVITIES WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY, UNLESS SPECIFICALLY REQUESTED AND PERMITTED THROUGH THE TOWN OF CHAPEL HILL. LIMITED CONSTRUCTION ACTIVITIES MAY OCCUR DURING OFF HOURS.
- THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES --- REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
- NO OPEN BURNING SHALL BE PERMITTED.
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 - CONTRACTOR'S REPRESENTATIVE & TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR REGULATORY INFO AT TIME OF BUILDING PERMIT
 - SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.
- THE SITE CONSTRUCTION SIGN SHALL INCLUDE A PHONE NUMBER TO CONTACT FOR NOISE NOTIFICATION DURING CONSTRUCTION.

SOLID WASTE NOTES:

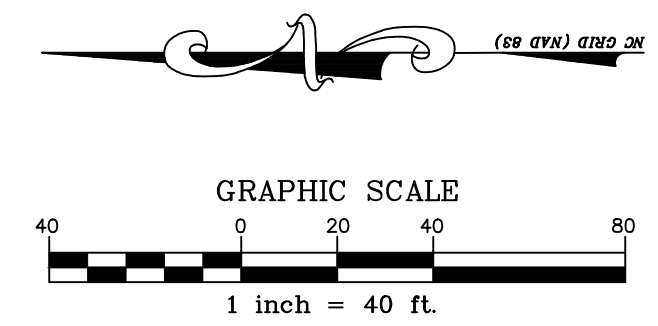
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- COUNTY FEES FOR MIXED RECYCLING COLLECTION AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROPERTY WILL NOT BE WAIVED.

FIRE DEPARTMENT NOTES:

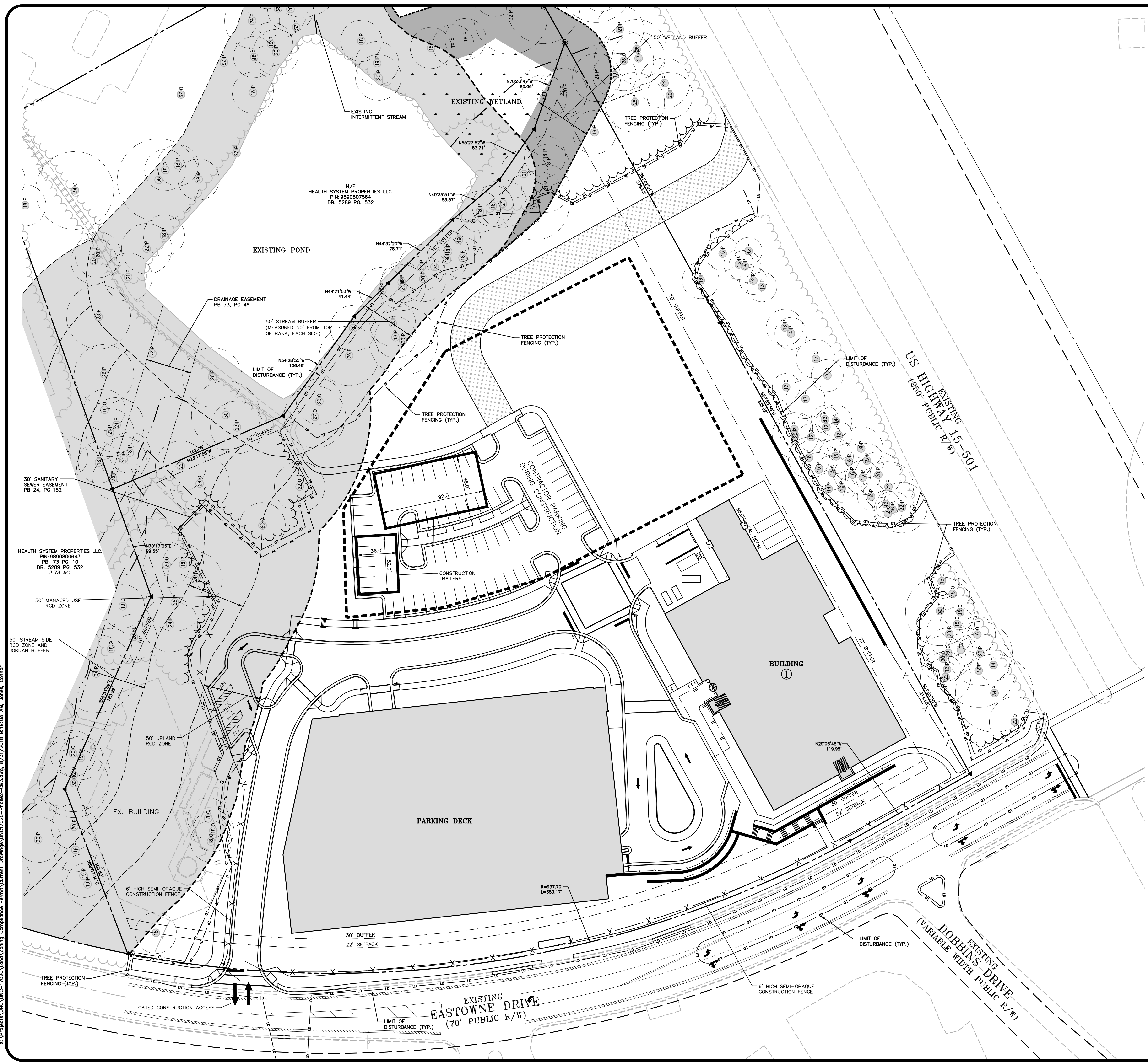
- THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIREWATCH DURING CONSTRUCTION AND DEMOLITION WHERE MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
- ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
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TREE LEGEND

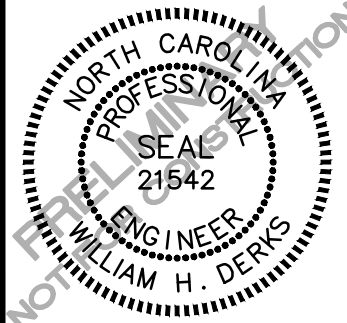
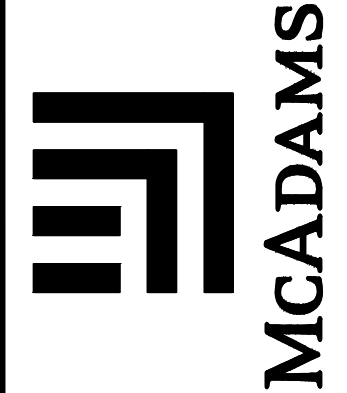
○	TREE	EXISTING TREE
○P		EXISTING PINE
○G		EXISTING GUM
○O		EXISTING OAK
○M		EXISTING MAPLE
○CM		EXISTING CRAPE MYRTLE
○C		EXISTING CEDAR
○BE		EXISTING BEECH
○B		EXISTING BIRCH



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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REVISIONS:

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△	2018-06-12	- REVISED PER CHAPEL HILL COMMENTS
△	2018-08-31	- REVISED PER CHAPEL HILL COMMENTS

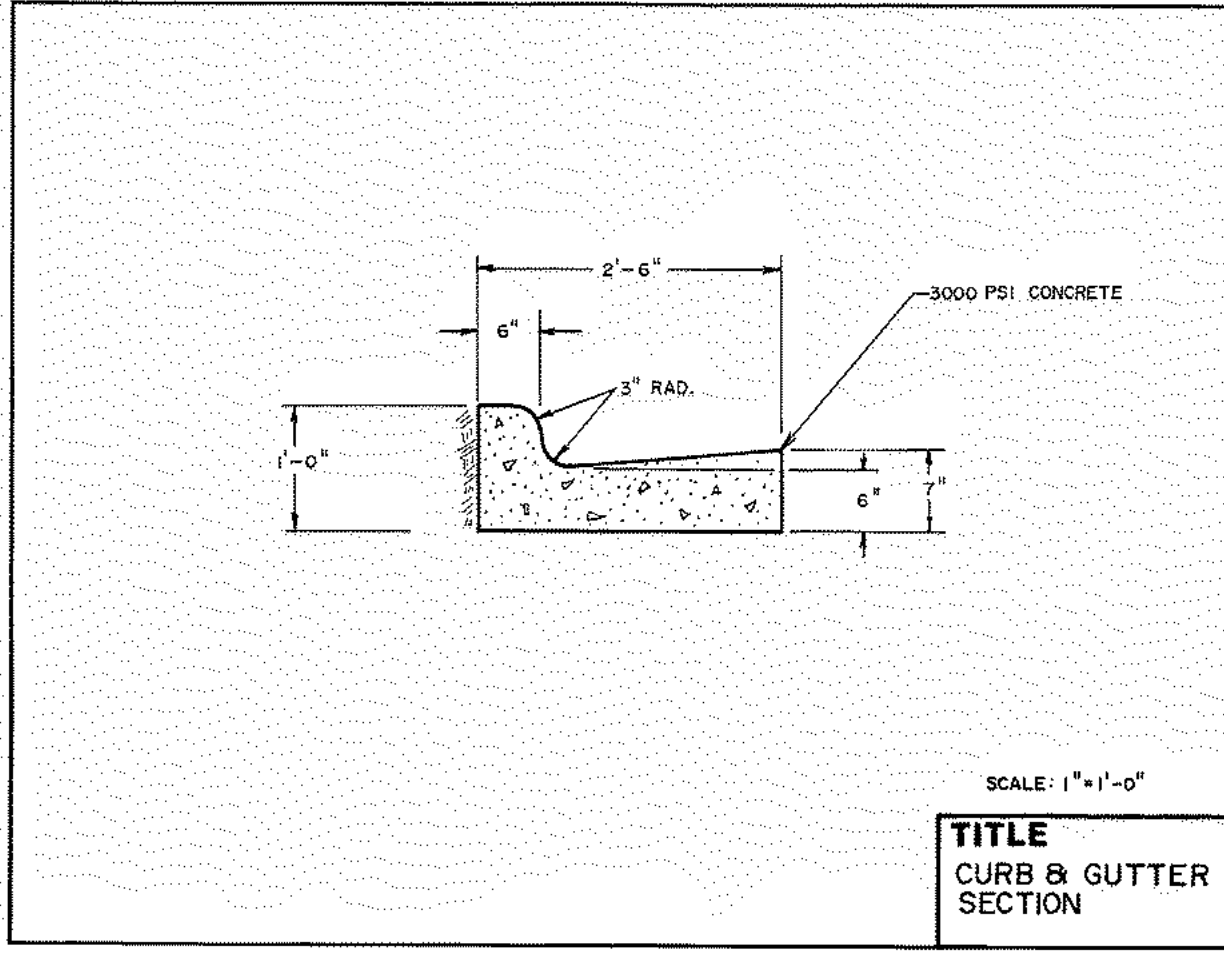
OWNER:
HEALTH SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
CONSTRUCTION MANAGEMENT PLAN - STAGE 3

PROJECT NO.	UNC-17020
FILENAME	UNC17020-CM3
CHECKED BY:	WHD
DRAWN BY:	CJJ
SCALE:	1"=40'
DATE:	04-27-18
SHEET NO.	CM-3

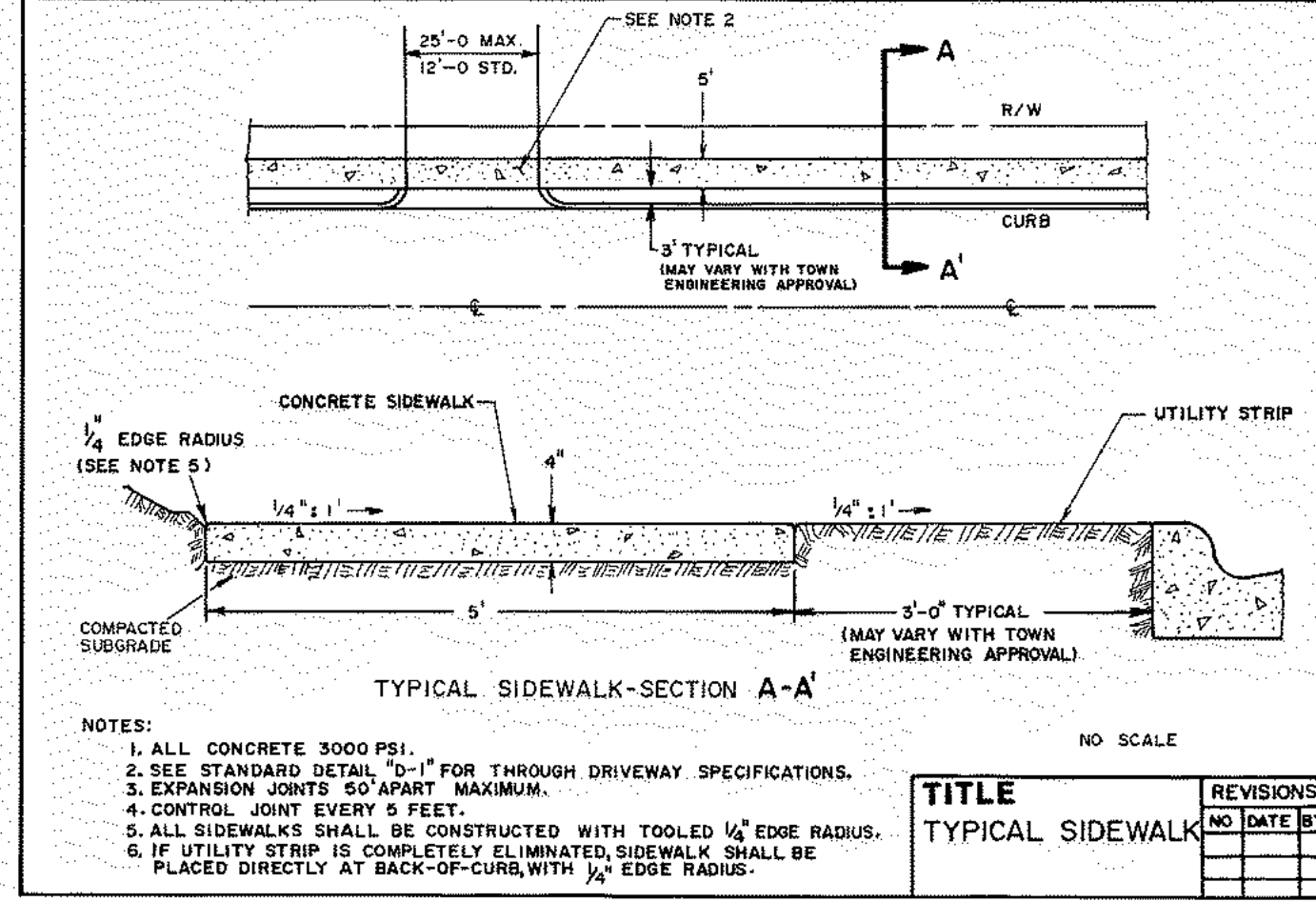


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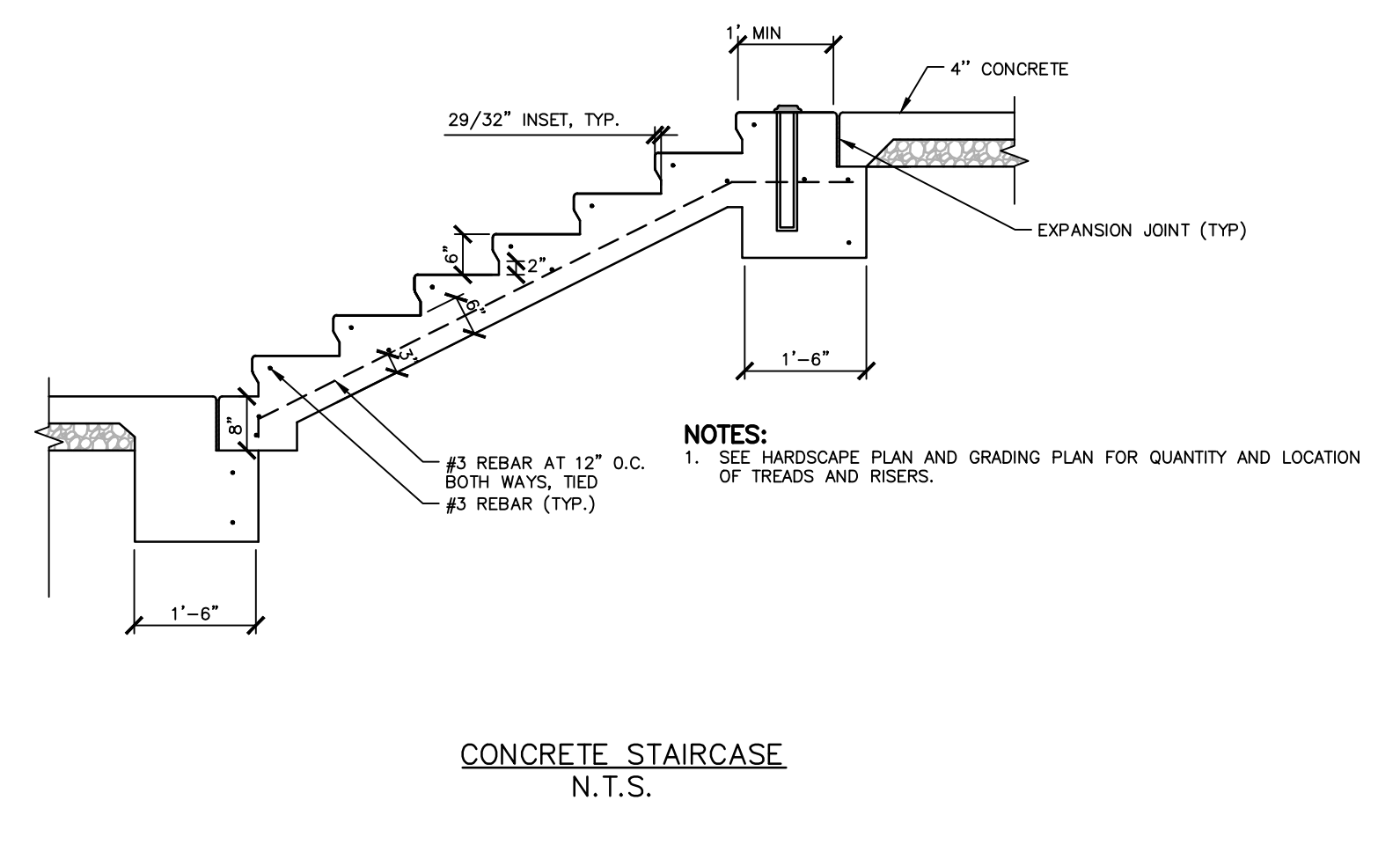
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TITLE	REVISIONS	DET.NO.
CURB & GUTTER SECTION		ST-2



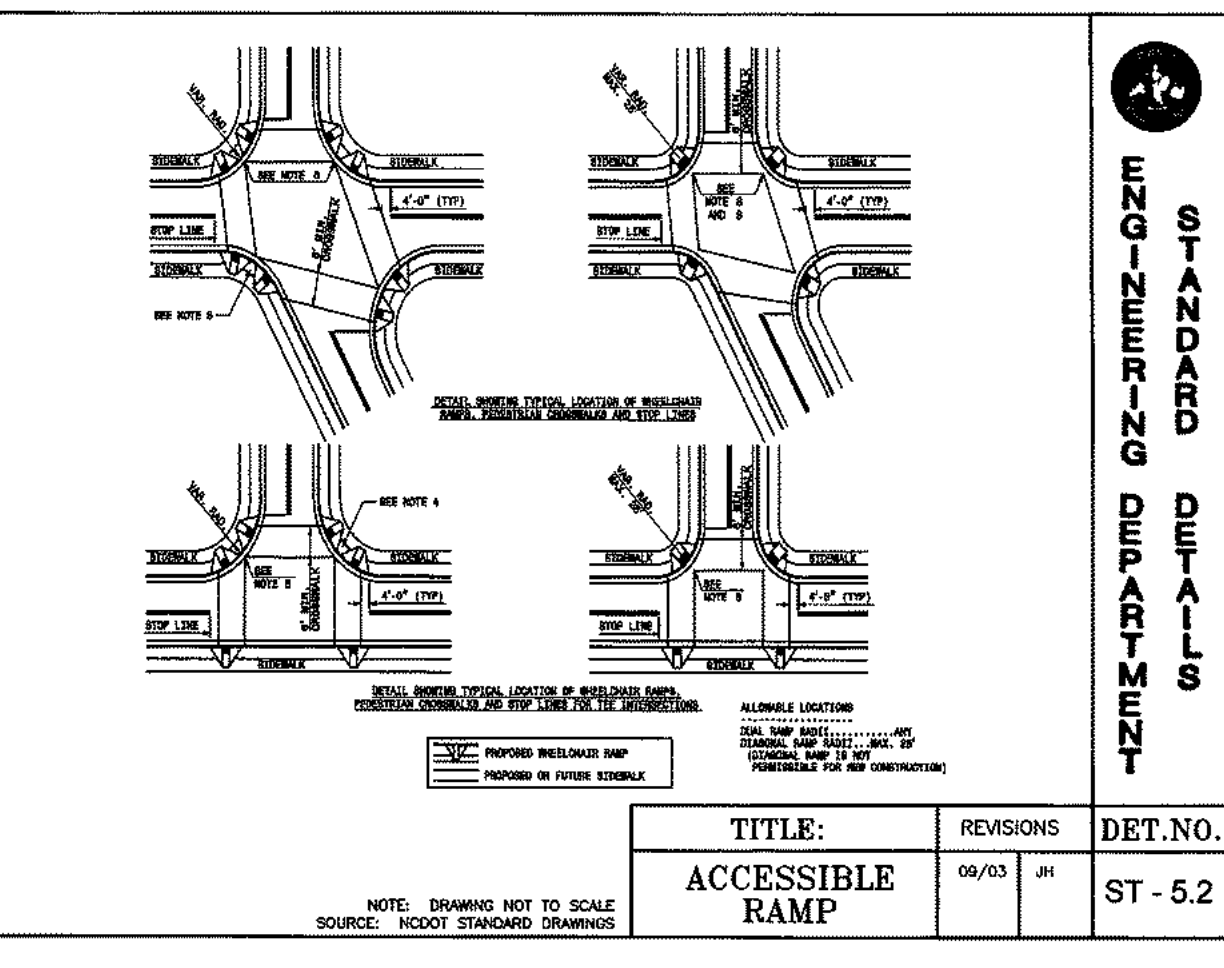
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TYPICAL SIDEWALK		ST-4



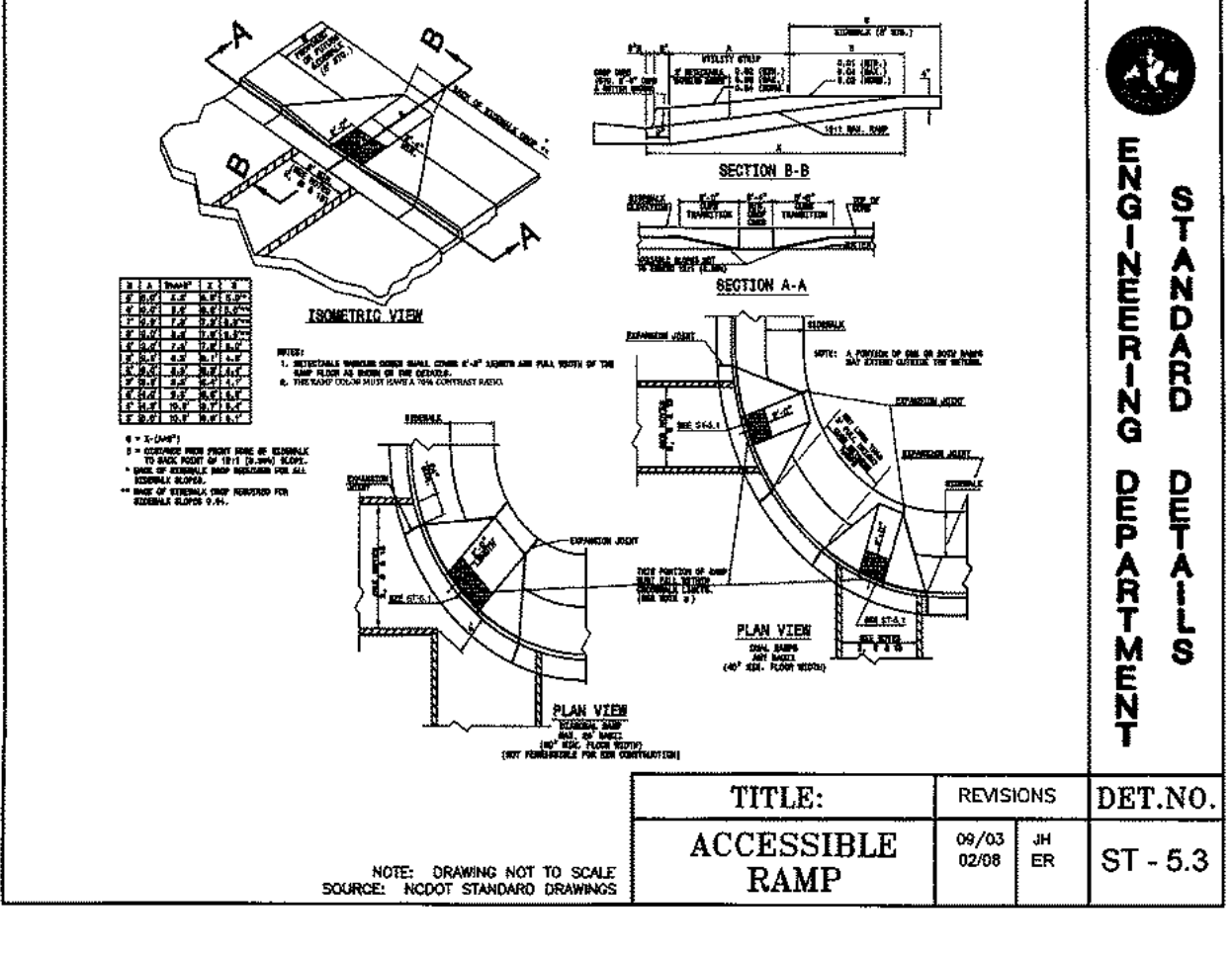
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CONCRETE STAIRCASE		N.T.S.



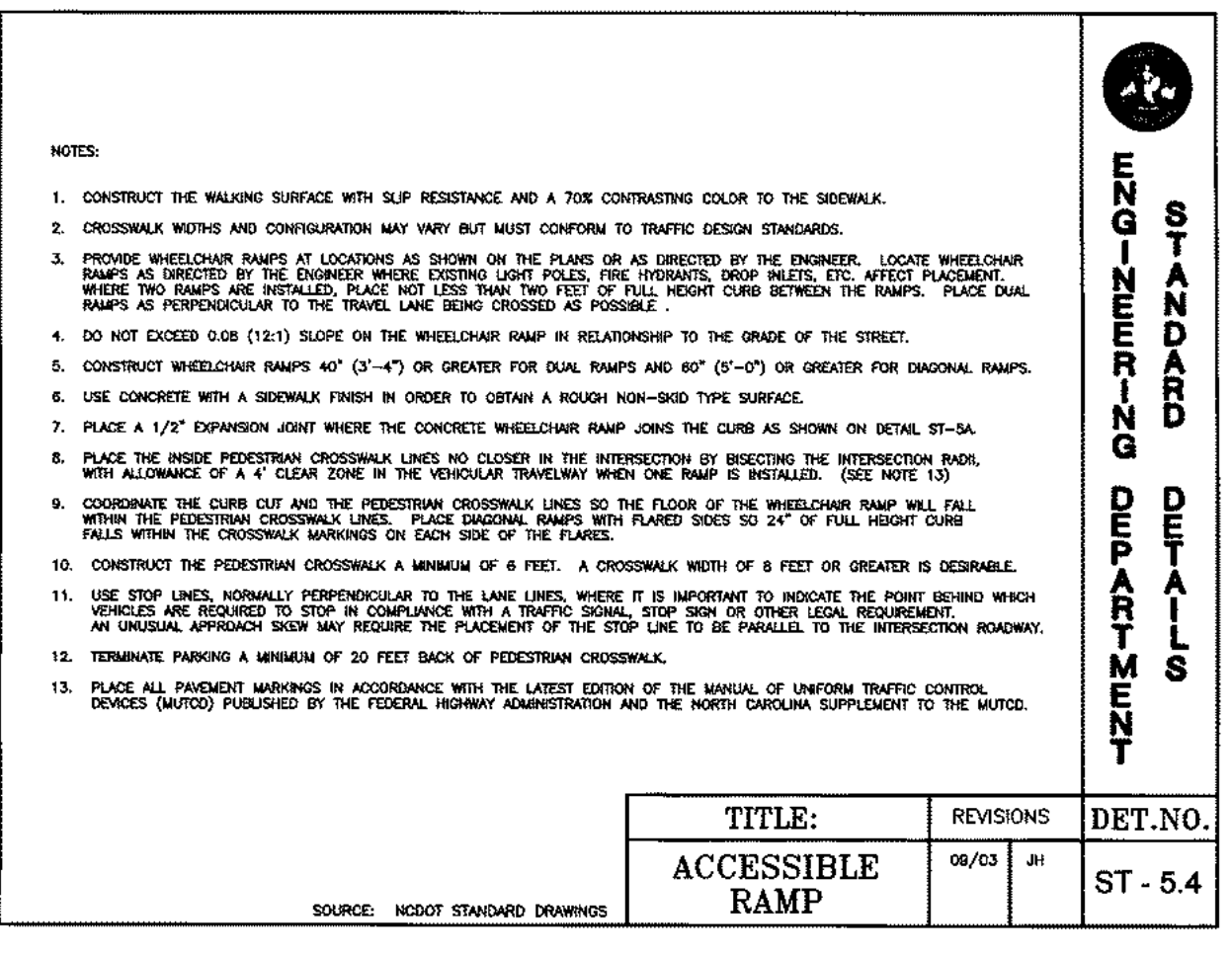
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ACCESSIBLE RAMP	09/03 JH	ST-5.2



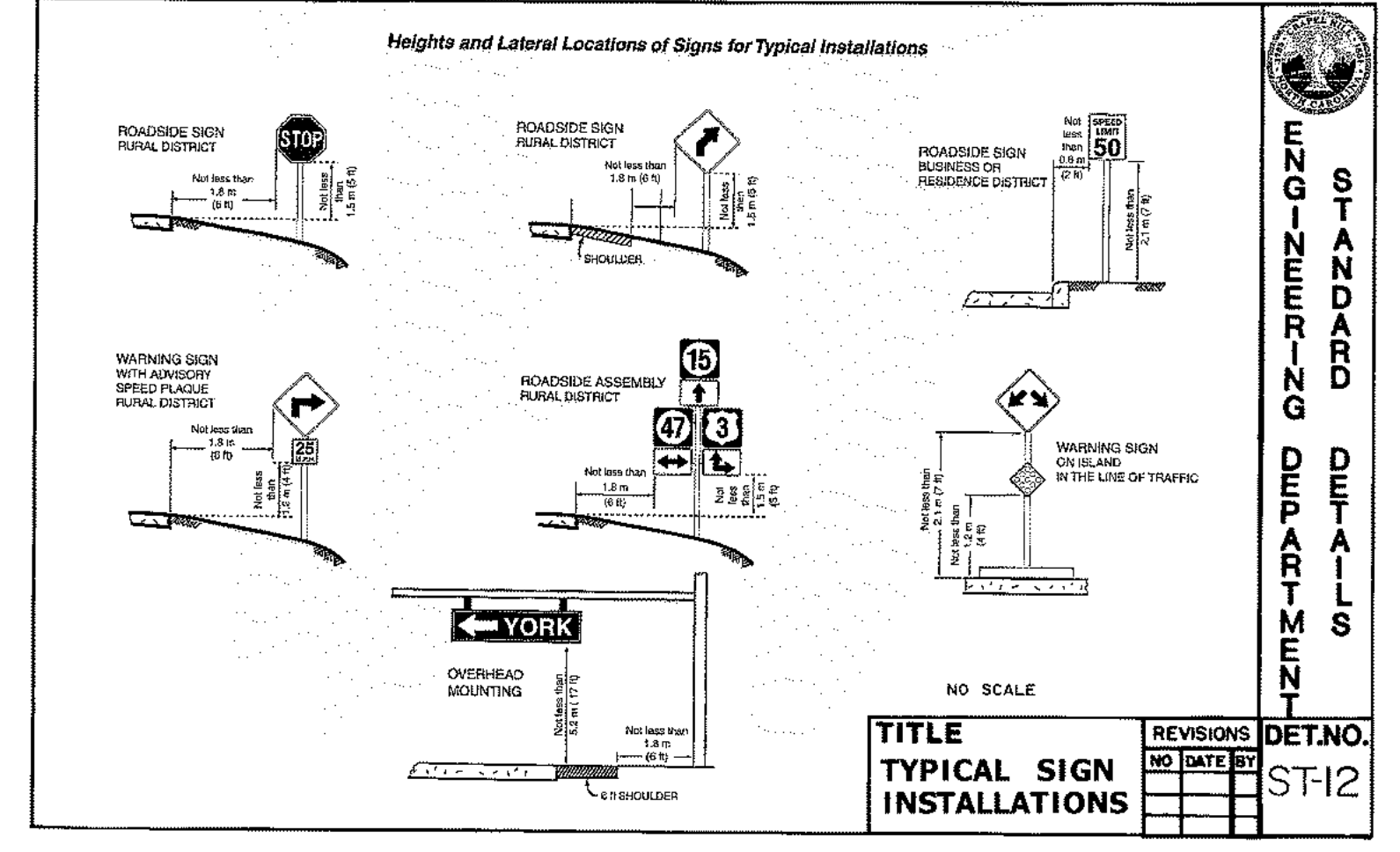
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ACCESSIBLE RAMP	09/03 JH	ST-5.3



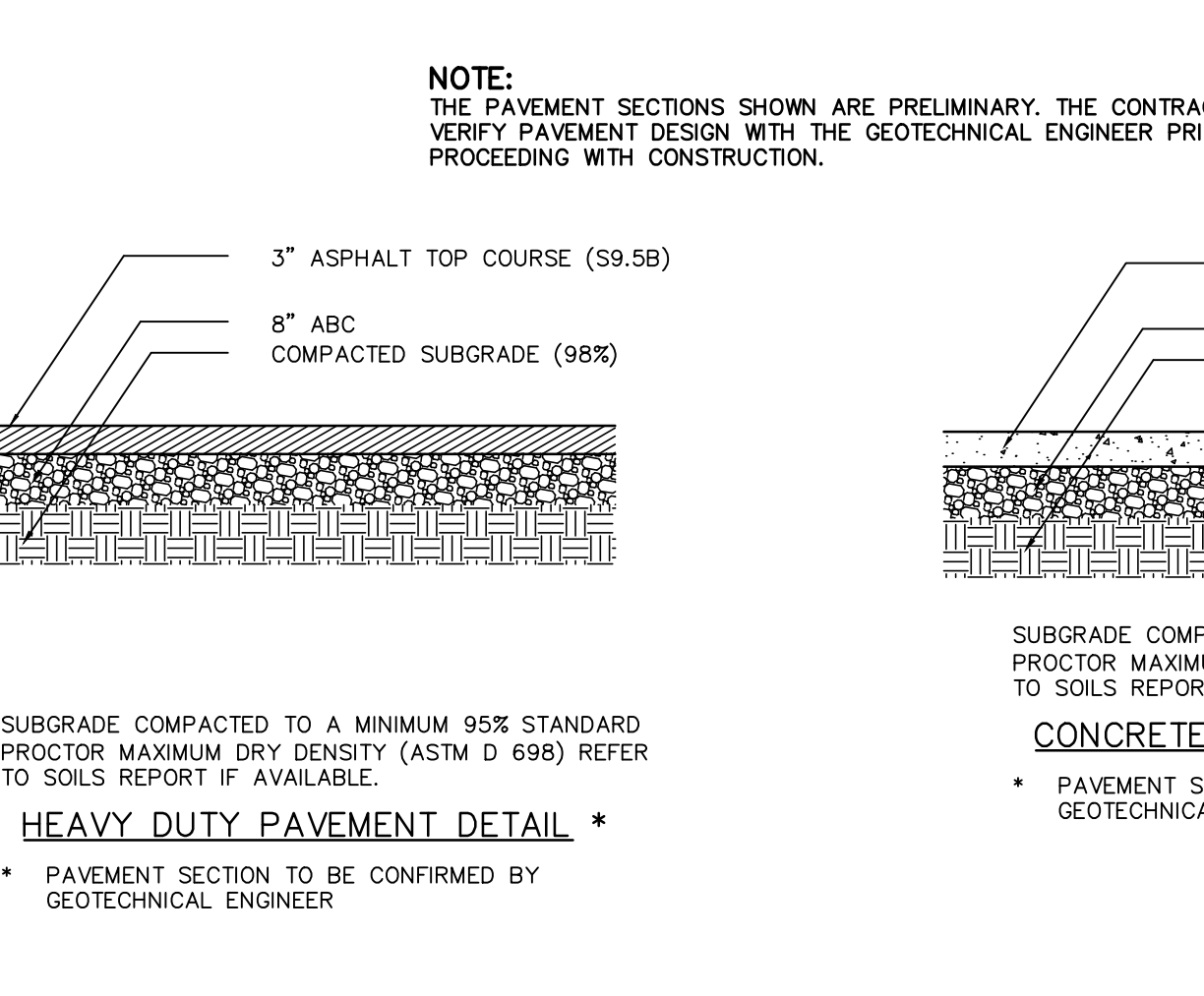
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ACCESSIBLE RAMP	09/03 JH	ST-5.4



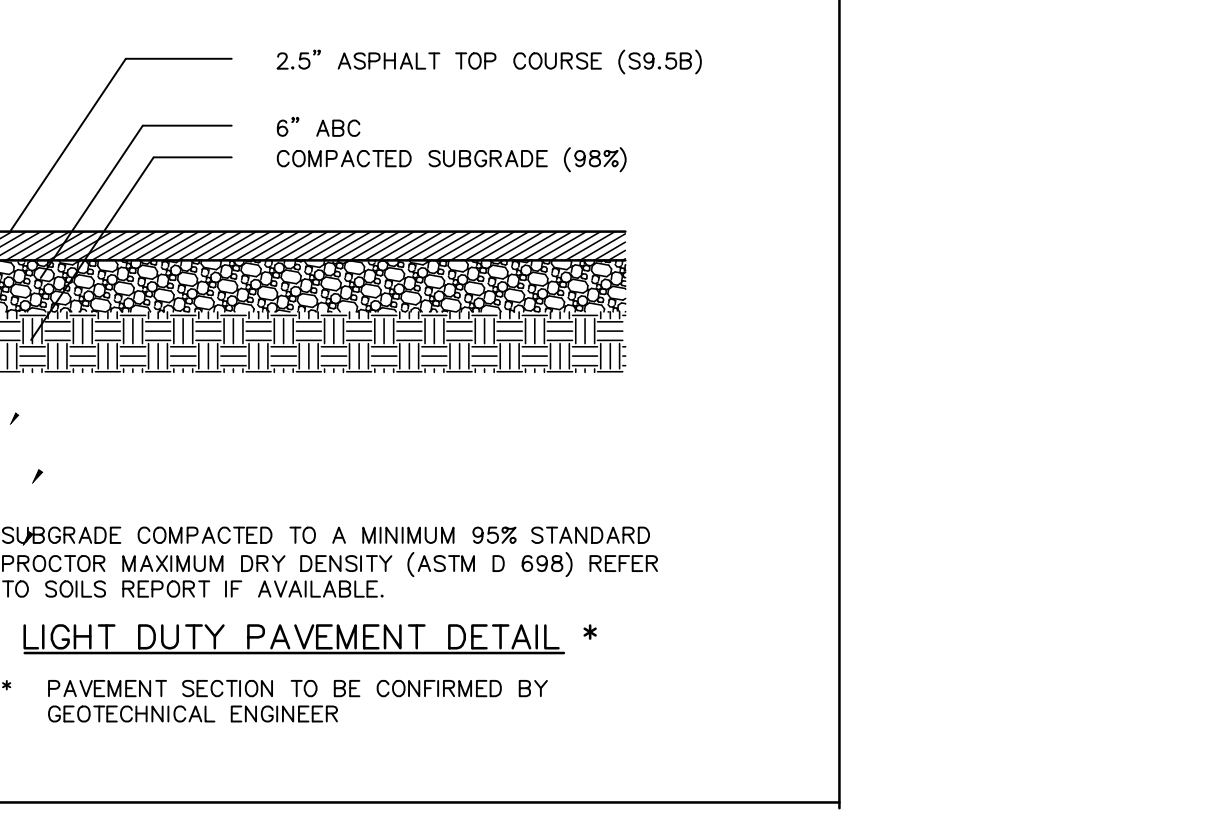
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TITLE	REVISIONS	DET.NO.
TYPICAL SIGN INSTALLATIONS		ST-12



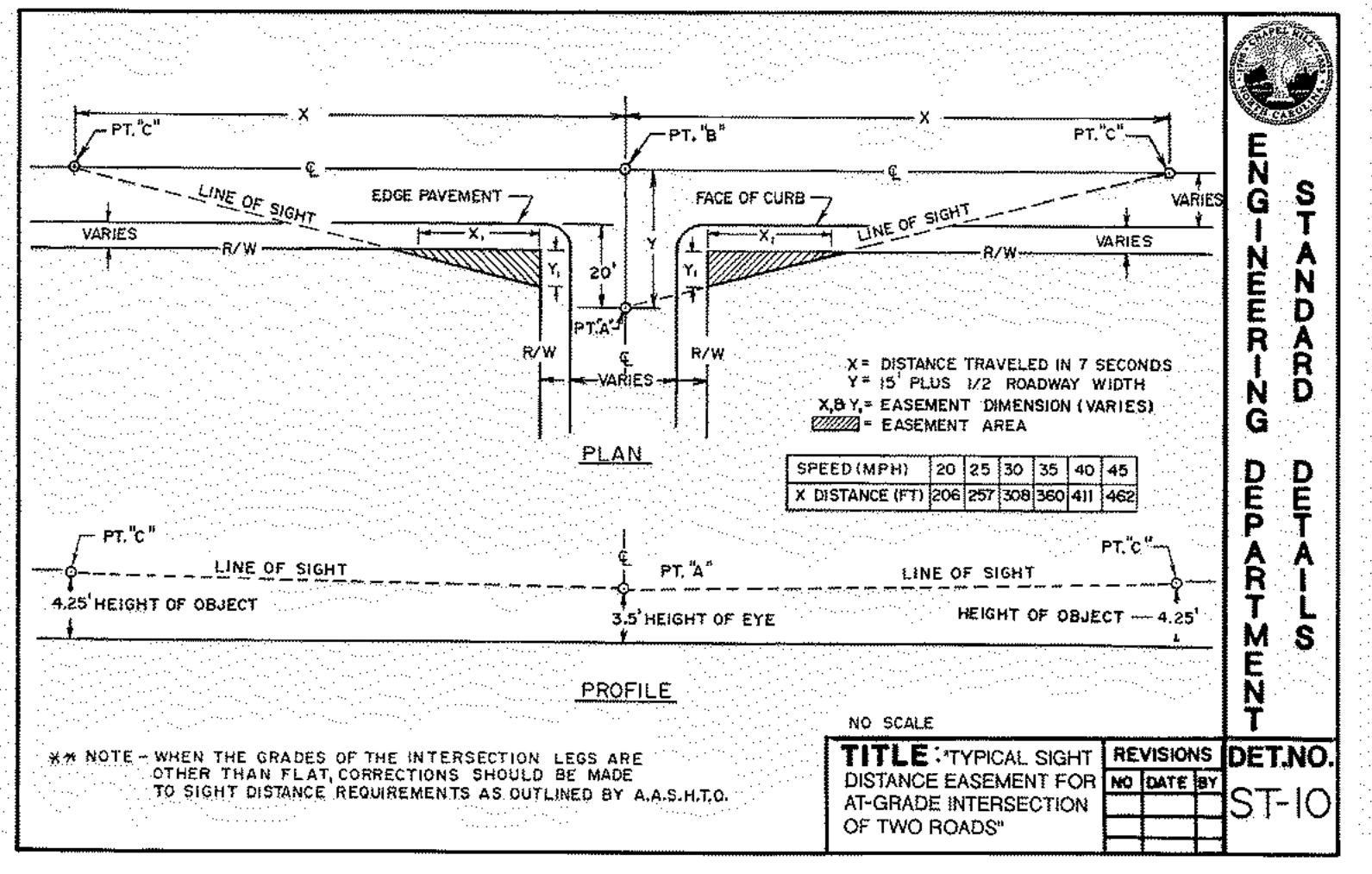
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* PAVEMENT SECTION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER



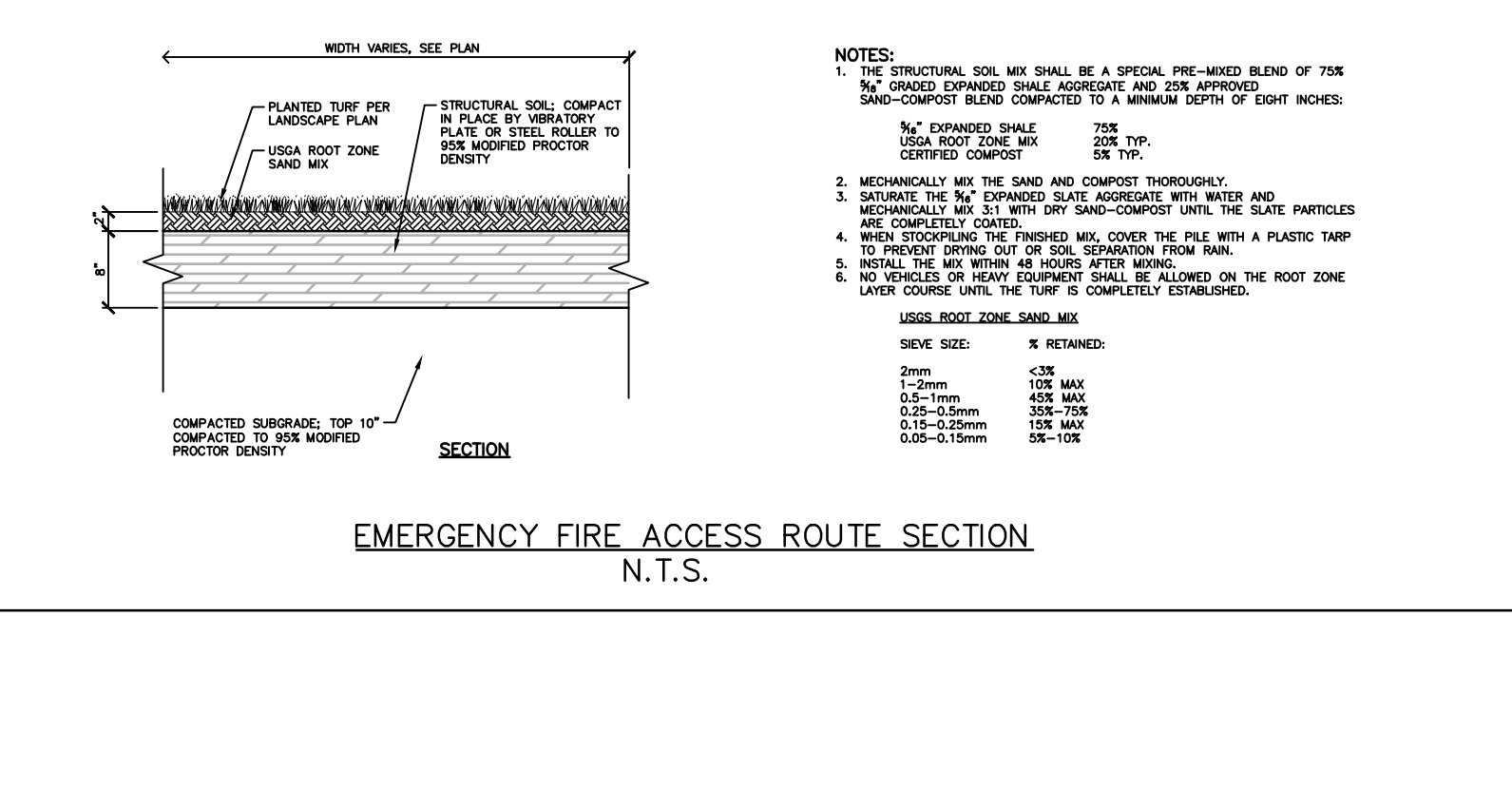
LIGHT DUTY PAVEMENT DETAIL *

* PAVEMENT SECTION TO BE CONFIRMED BY GEOTECHNICAL ENGINEER



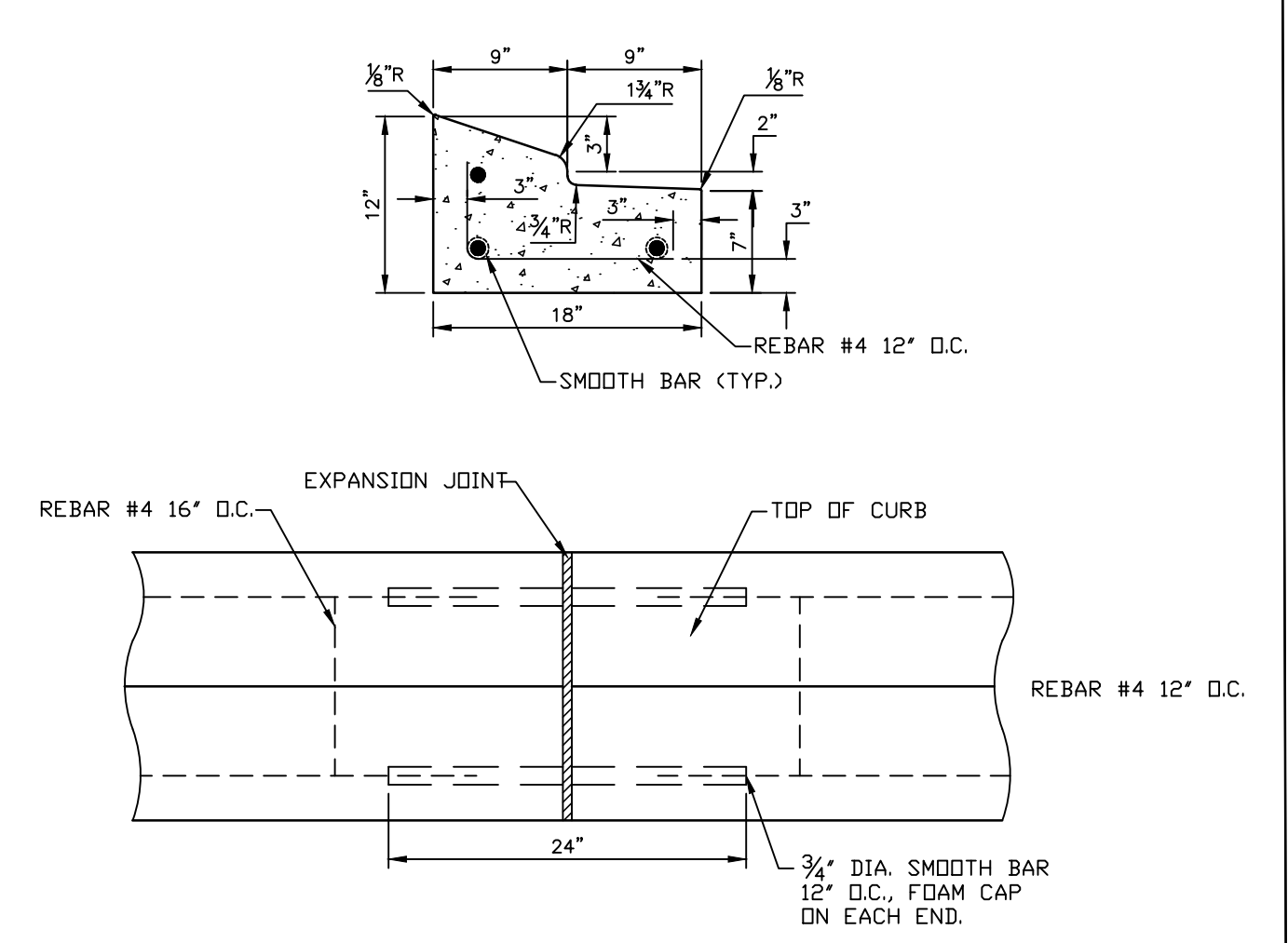
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TYPICAL SIGHT DISTANCE EASEMENT AT-GRADE INTERSECTION OF TWO ROADS		ST-10



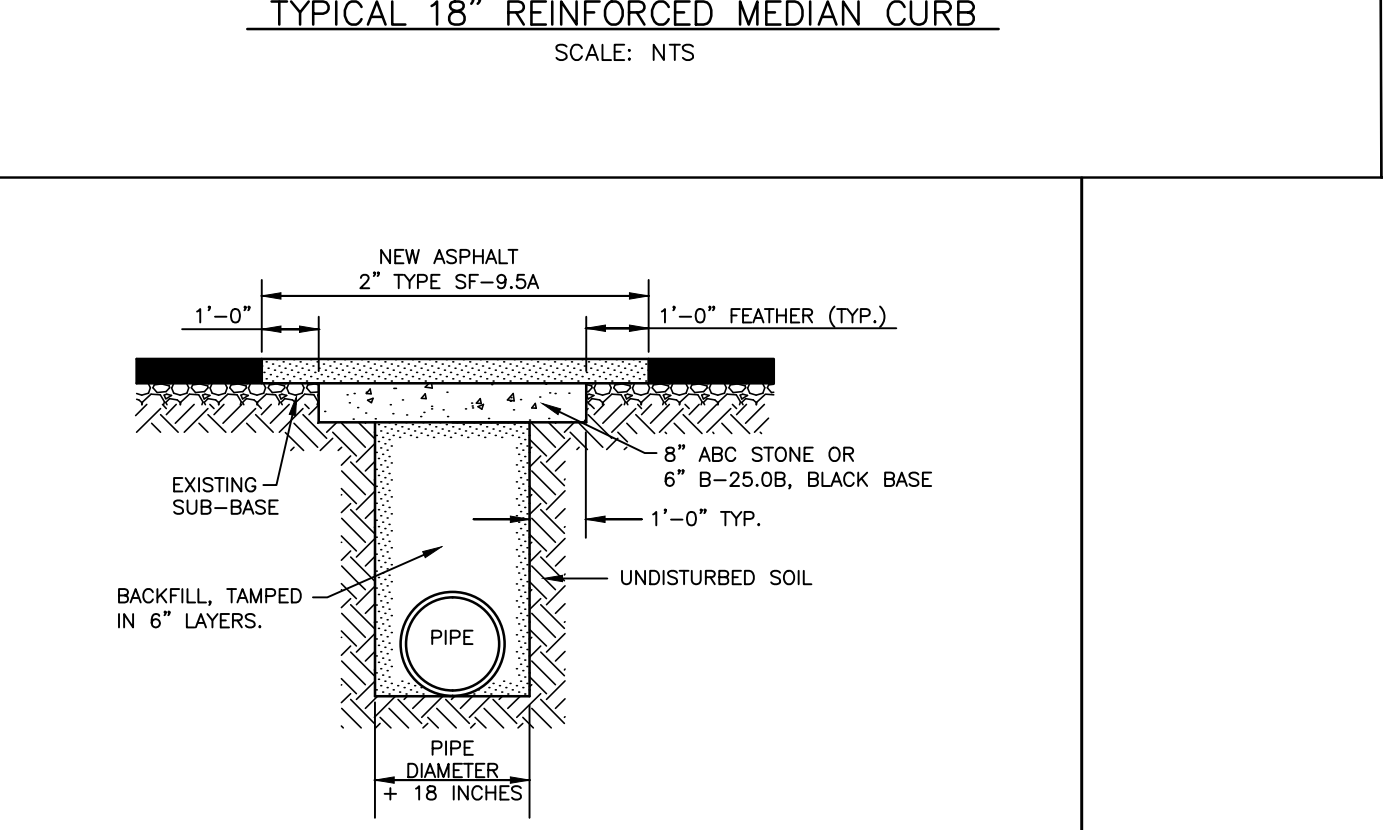
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EMERGENCY FIRE ACCESS ROUTE SECTION		N.T.S.



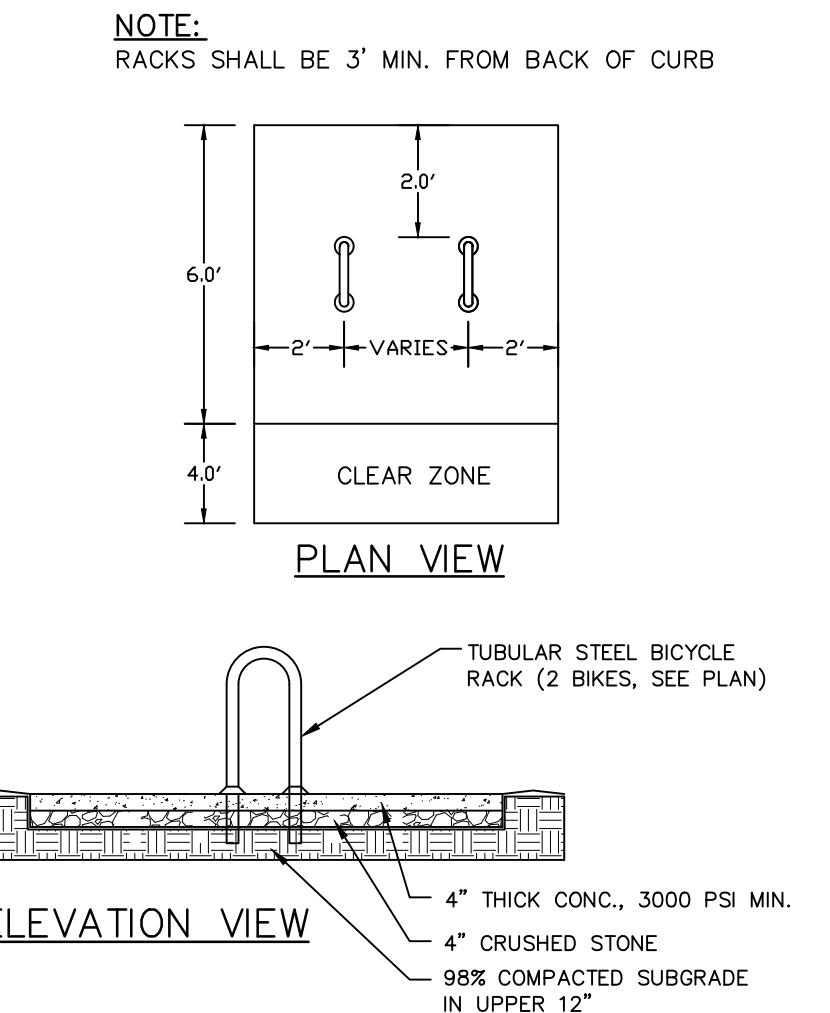
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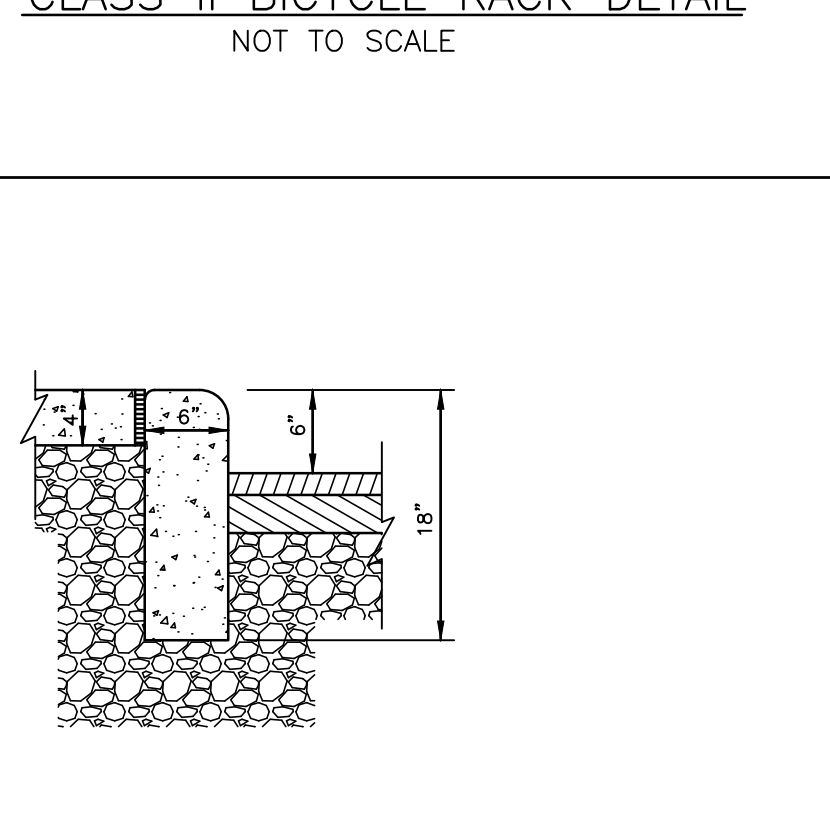
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TITLE	REVISIONS	DET.NO.
ASPHALT PAVEMENT REPAIR		N.T.S.



NO SCALE

TITLE	REVISIONS	DET.NO.
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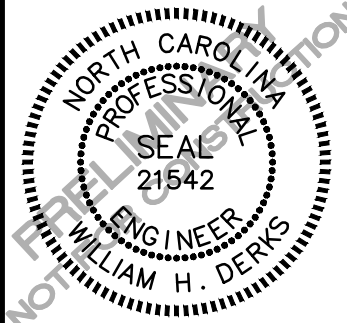
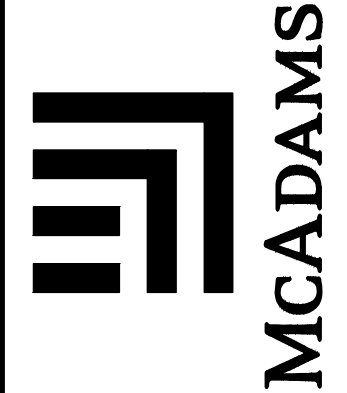


NO SCALE

TITLE	REVISIONS	DET.NO.
VERTICAL CURB FOR ROUNDABOUT		N.T.S.

X:\Projects\UNC-17020\Land\Zoning Compliance Permit\Current Drawings\UNC17020-Phase2-D1.dwg, 8/31/2018 9:50:31 AM, James Connor

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REVISIONS:

2018-04-04	REVISED PER CHAPEL HILL COMMENTS
2018-06-12	REVISED PER CHAPEL HILL COMMENTS
2018-08-31	REVISED PER CHAPEL HILL COMMENTS

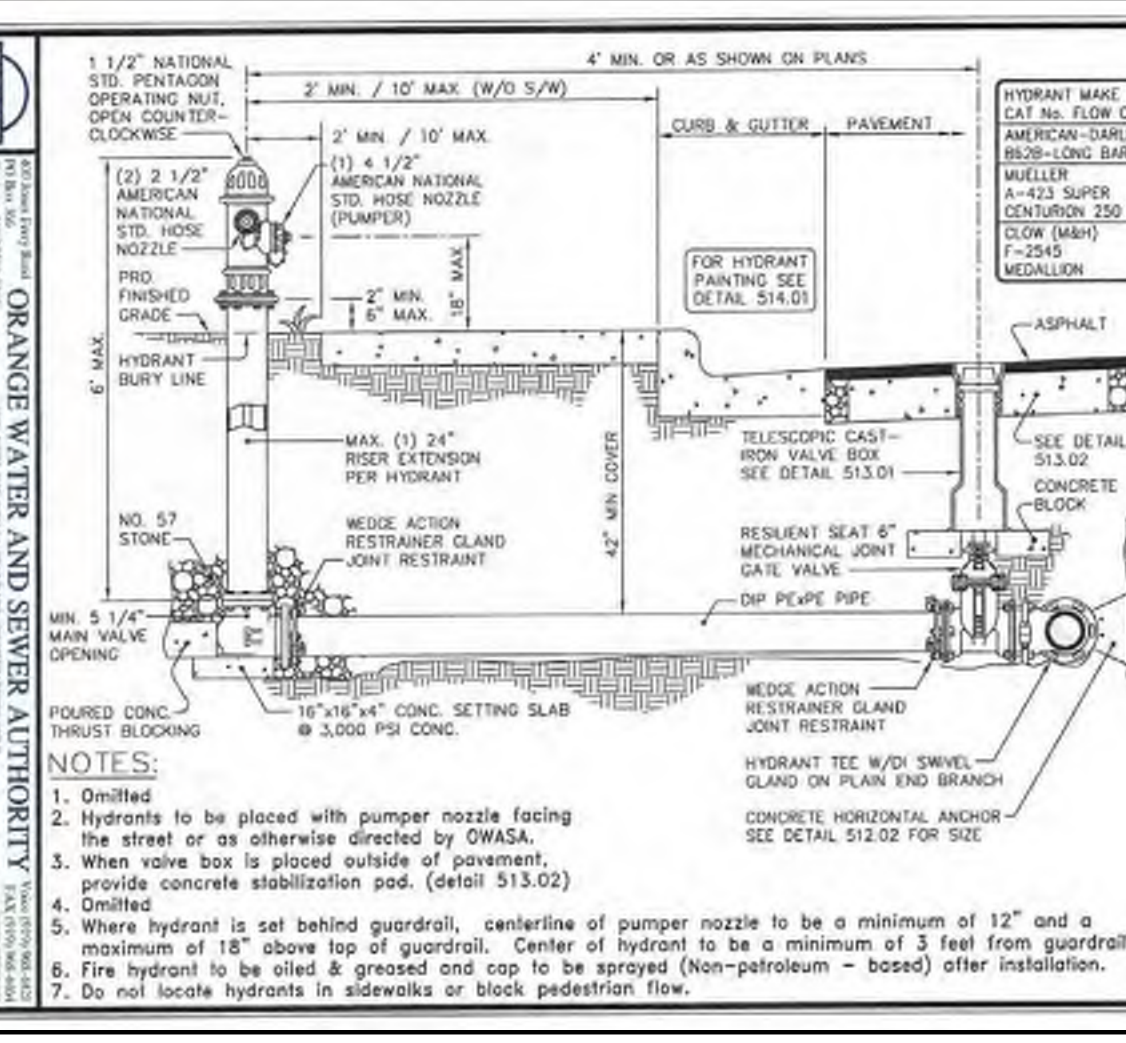
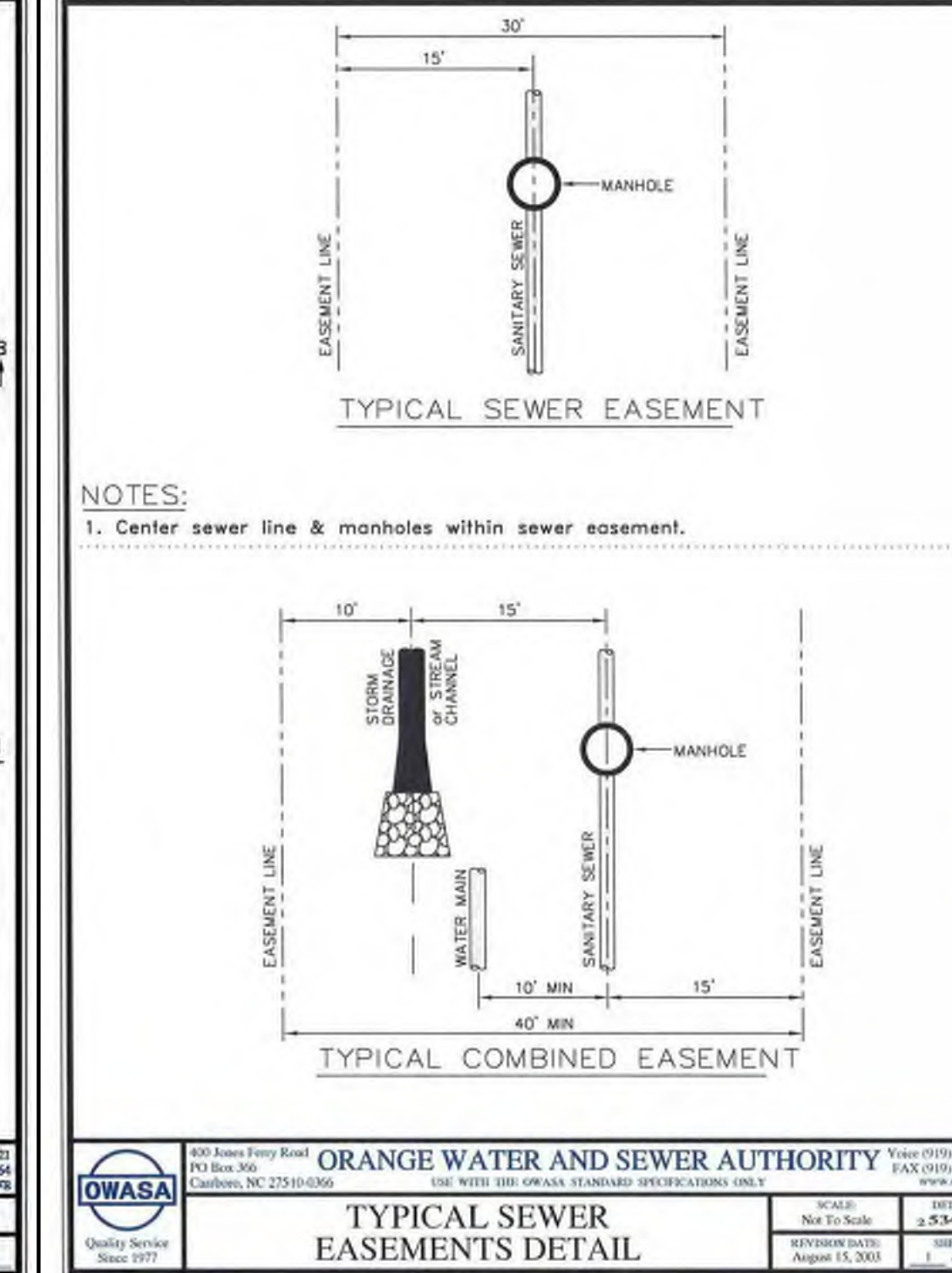
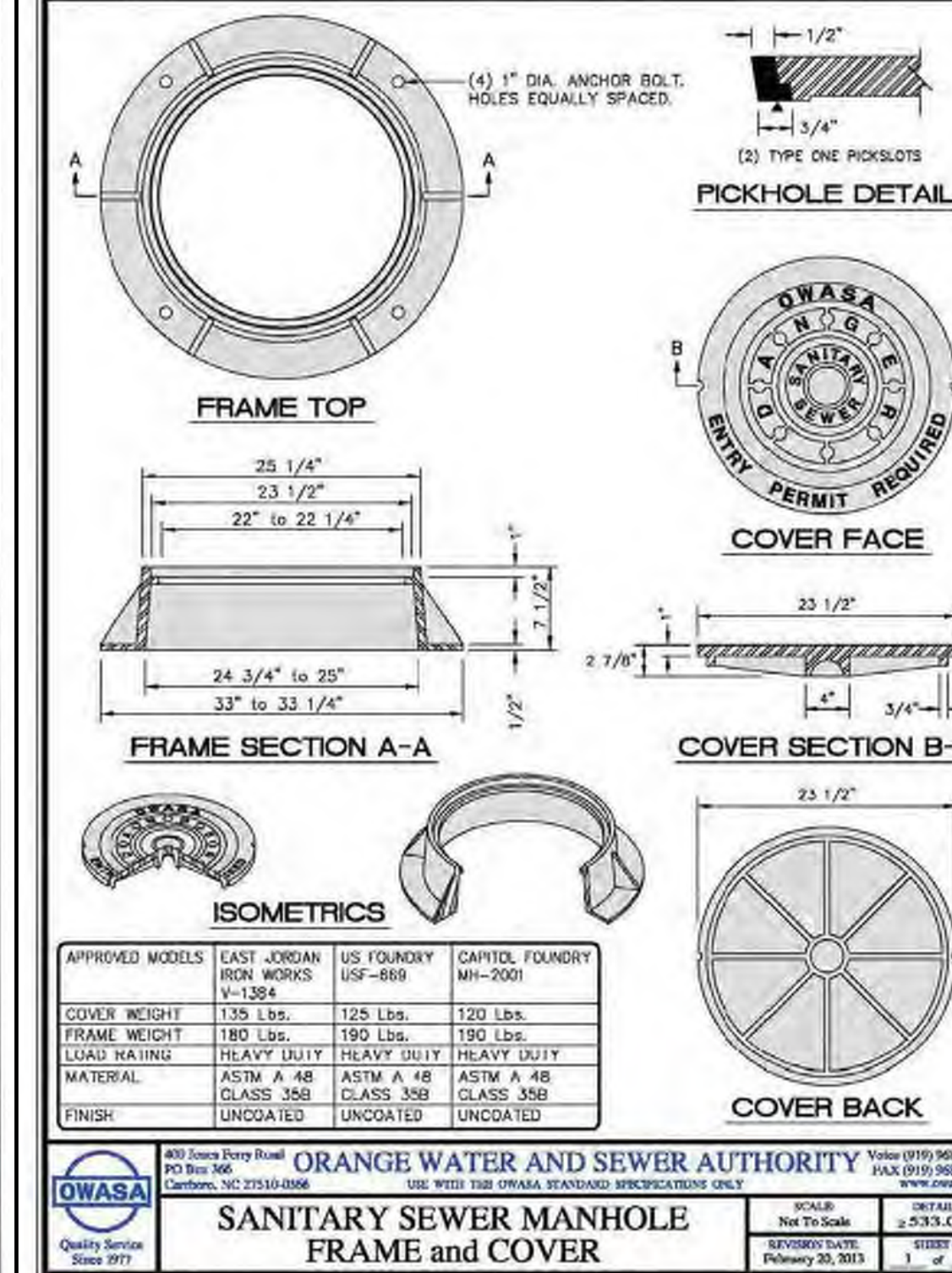
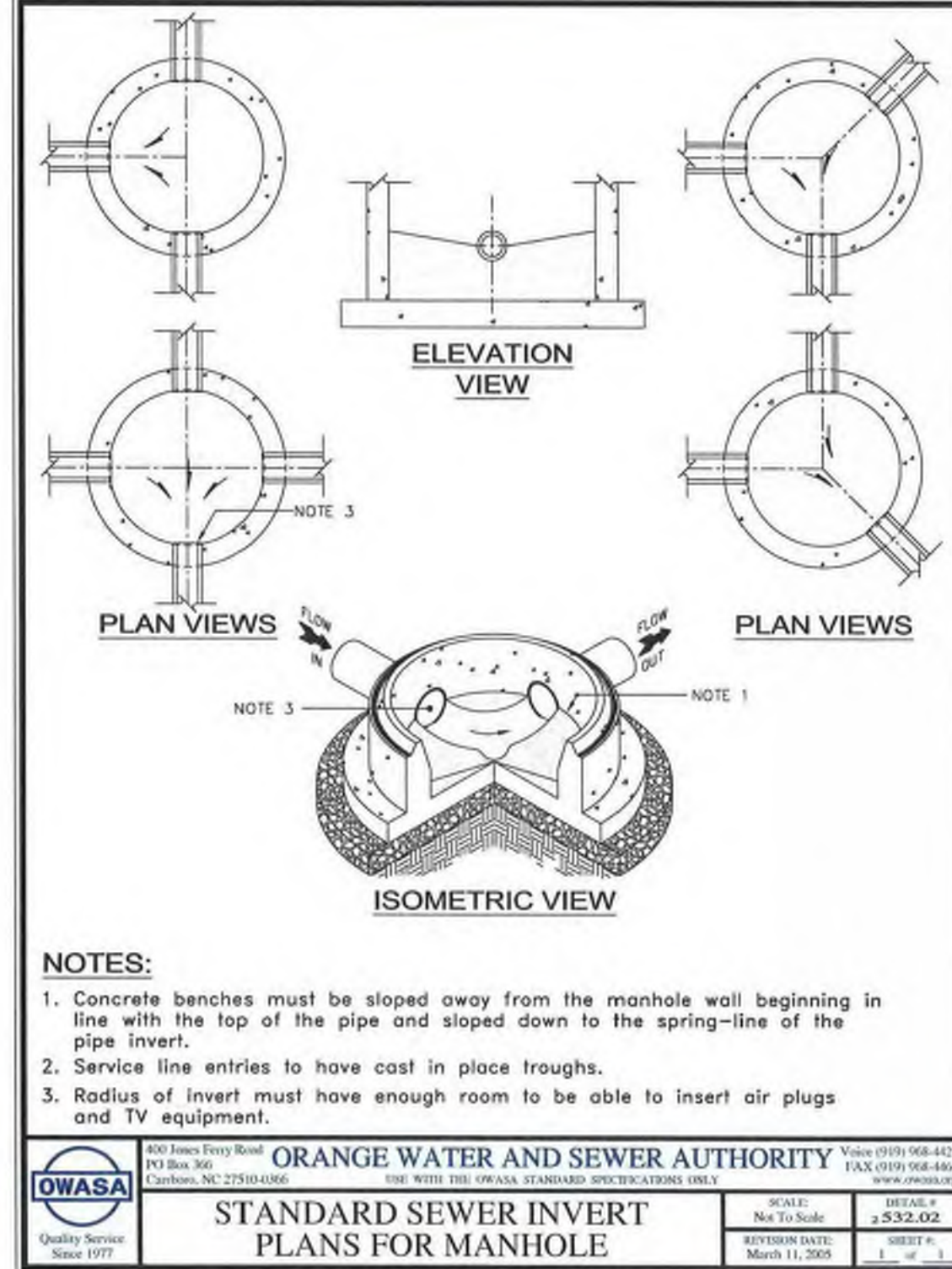
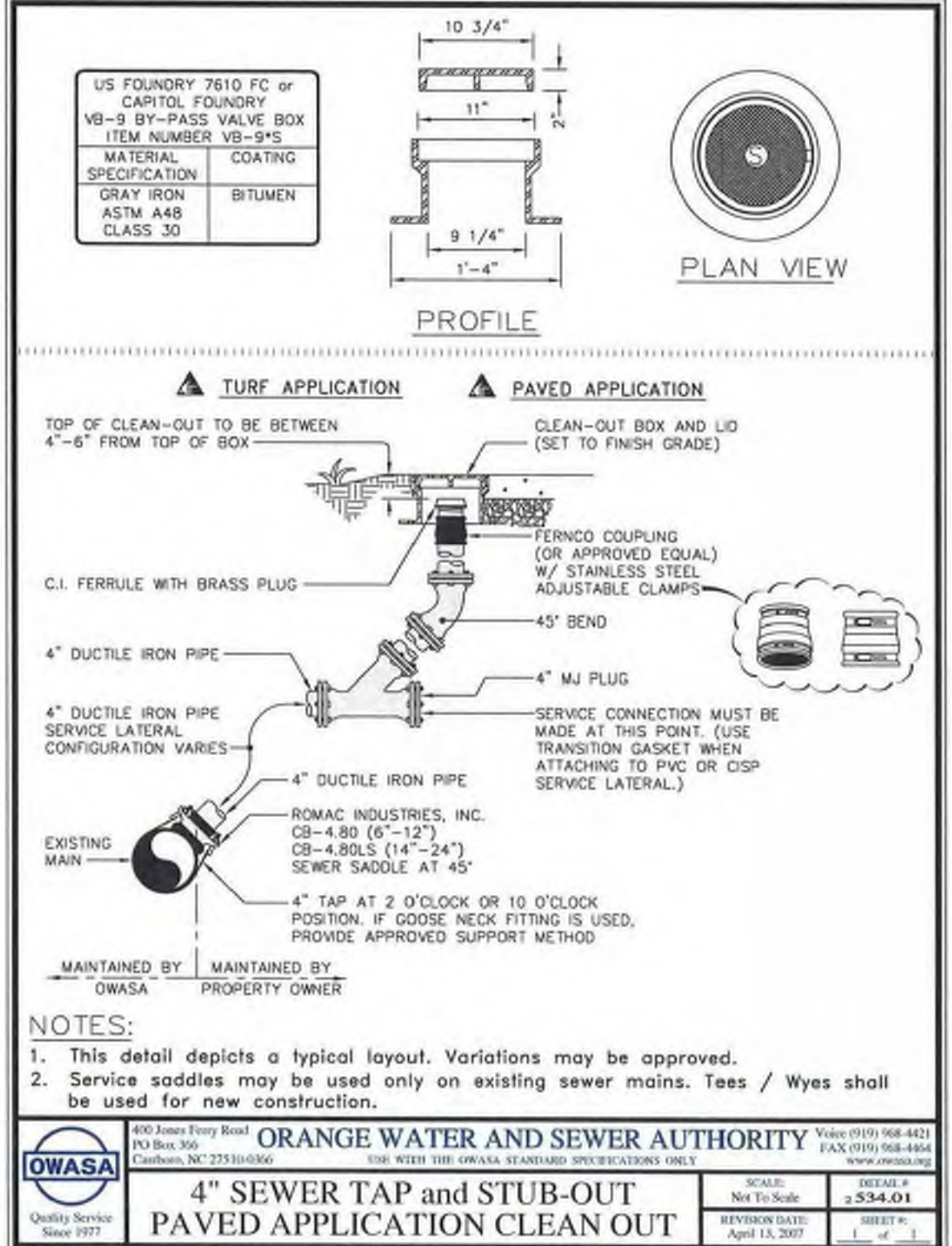
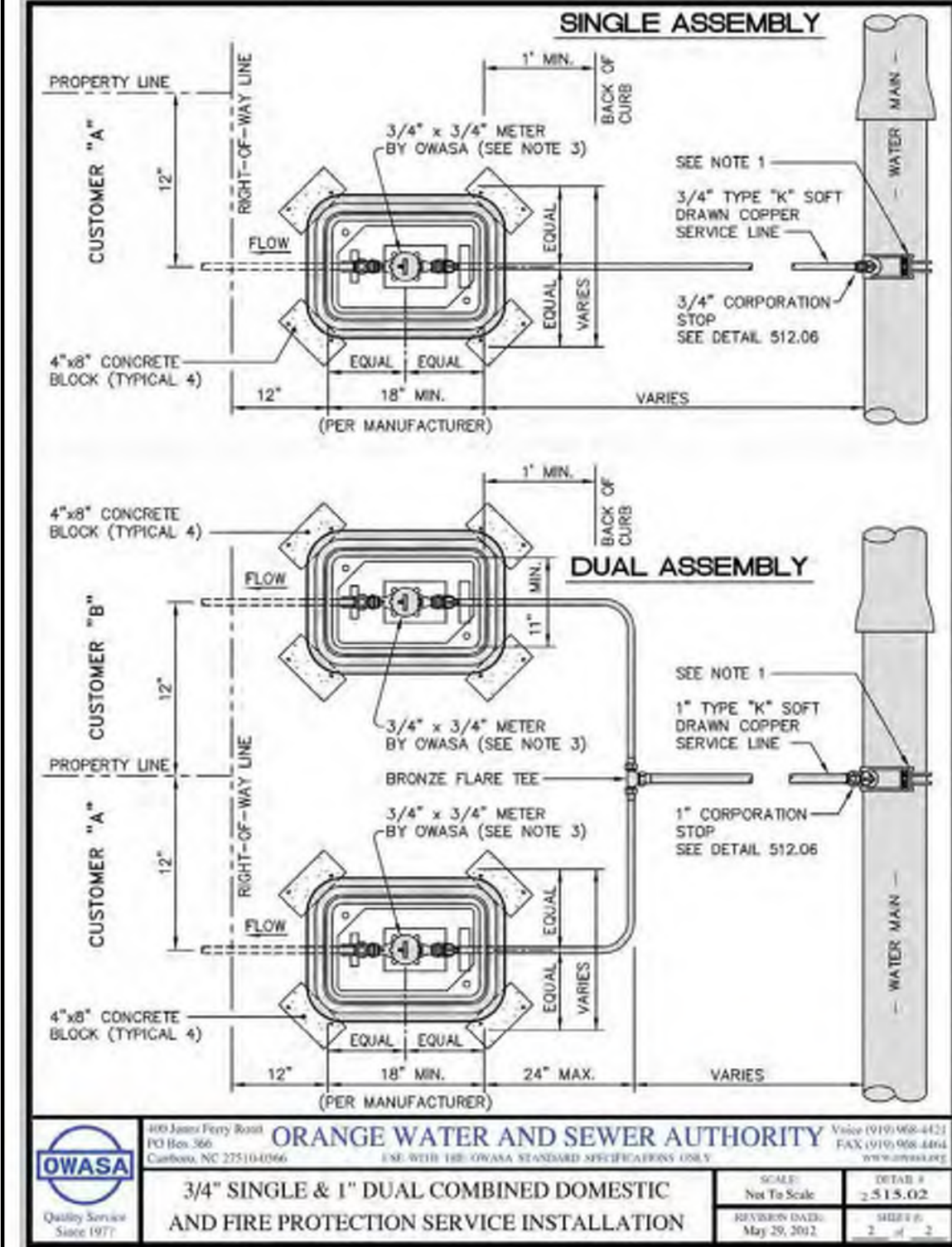
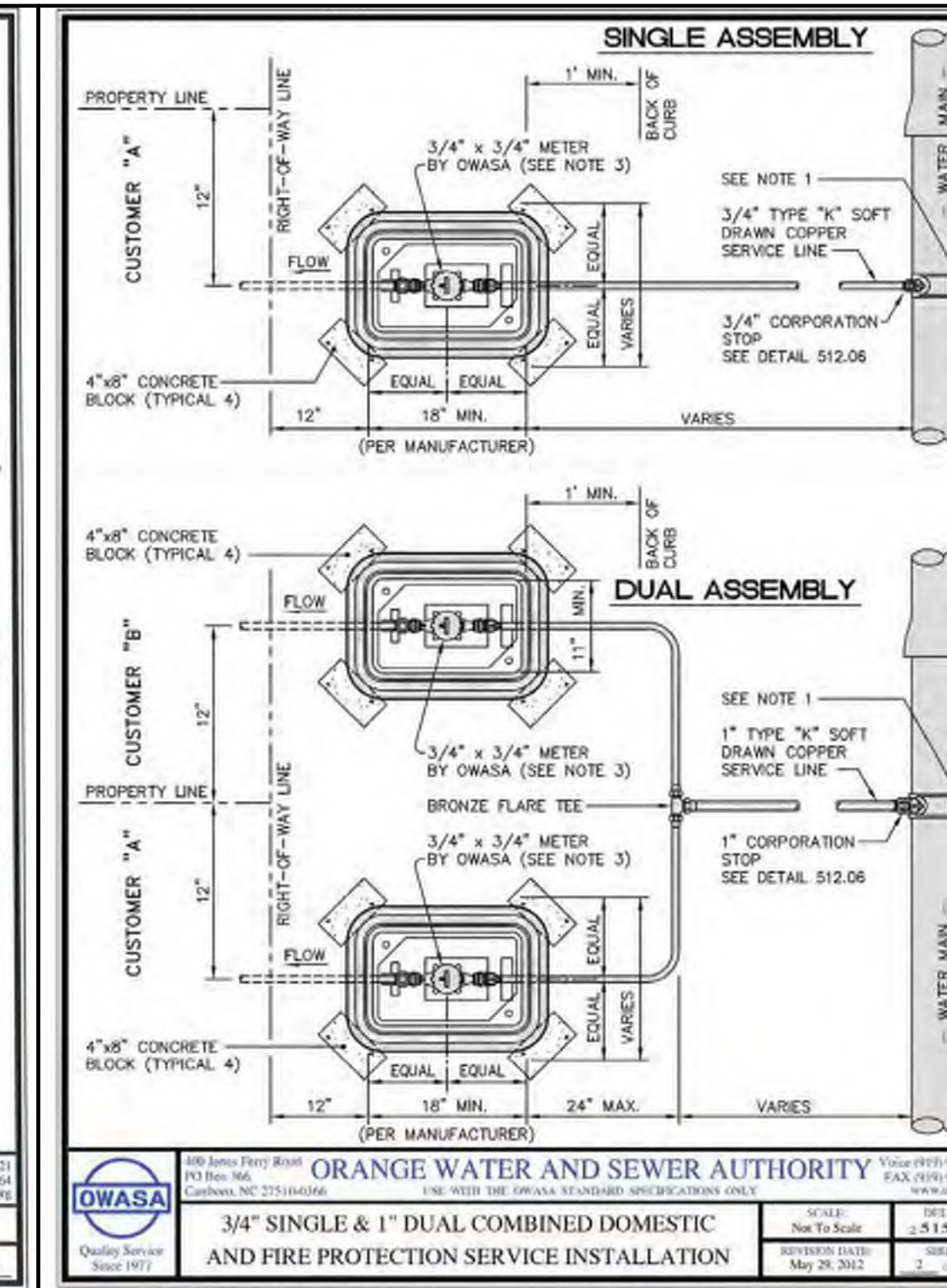
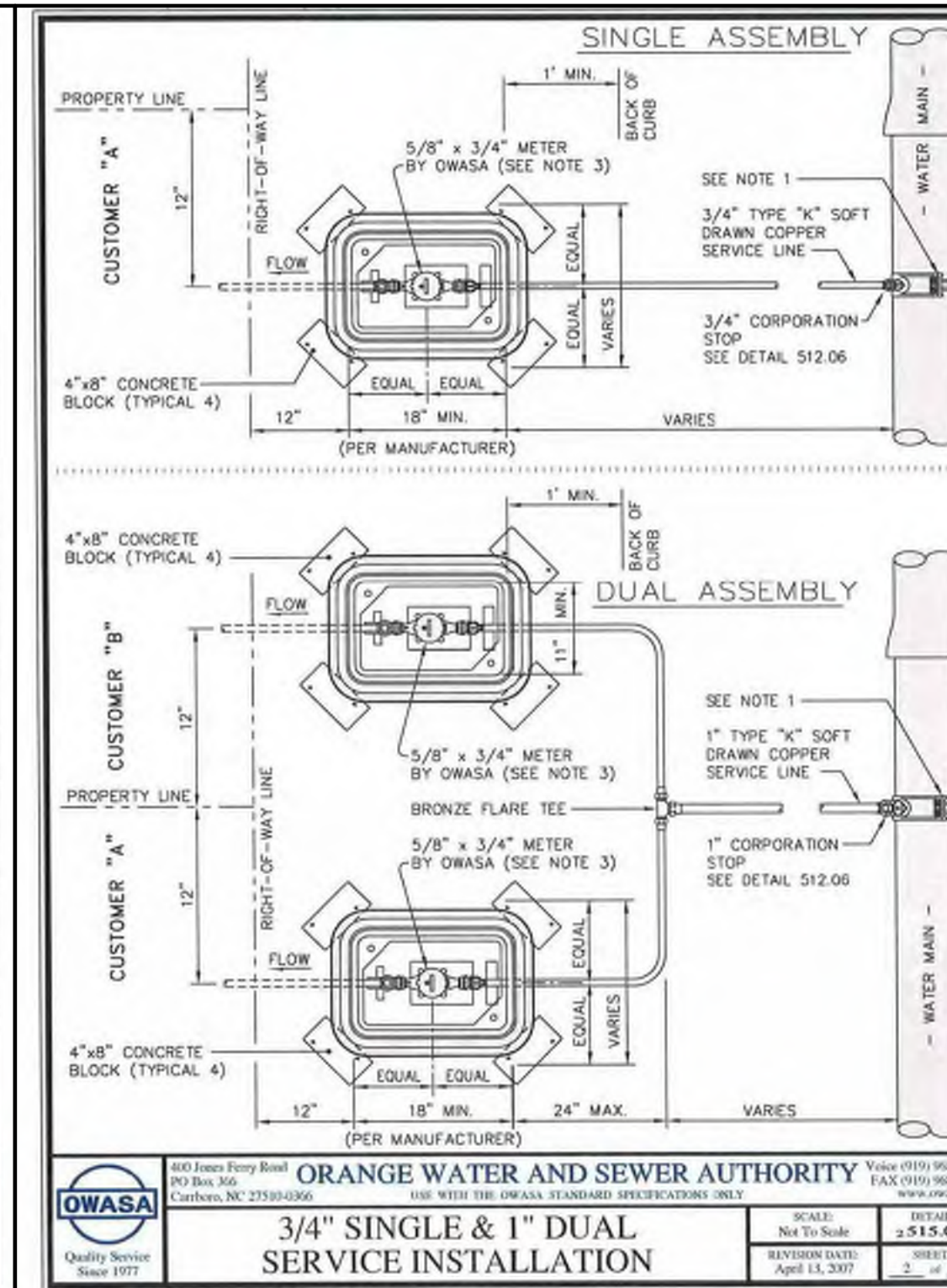
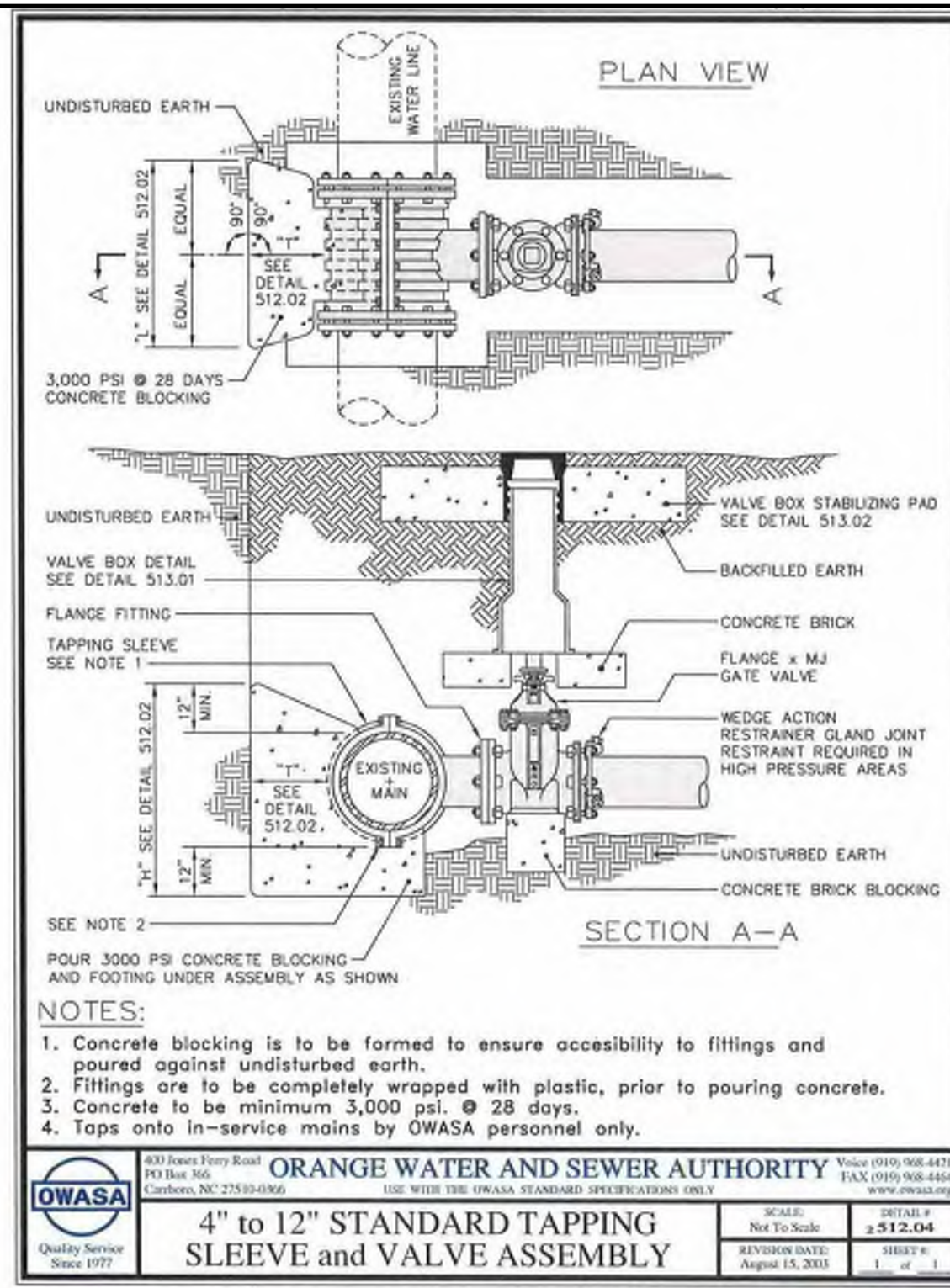
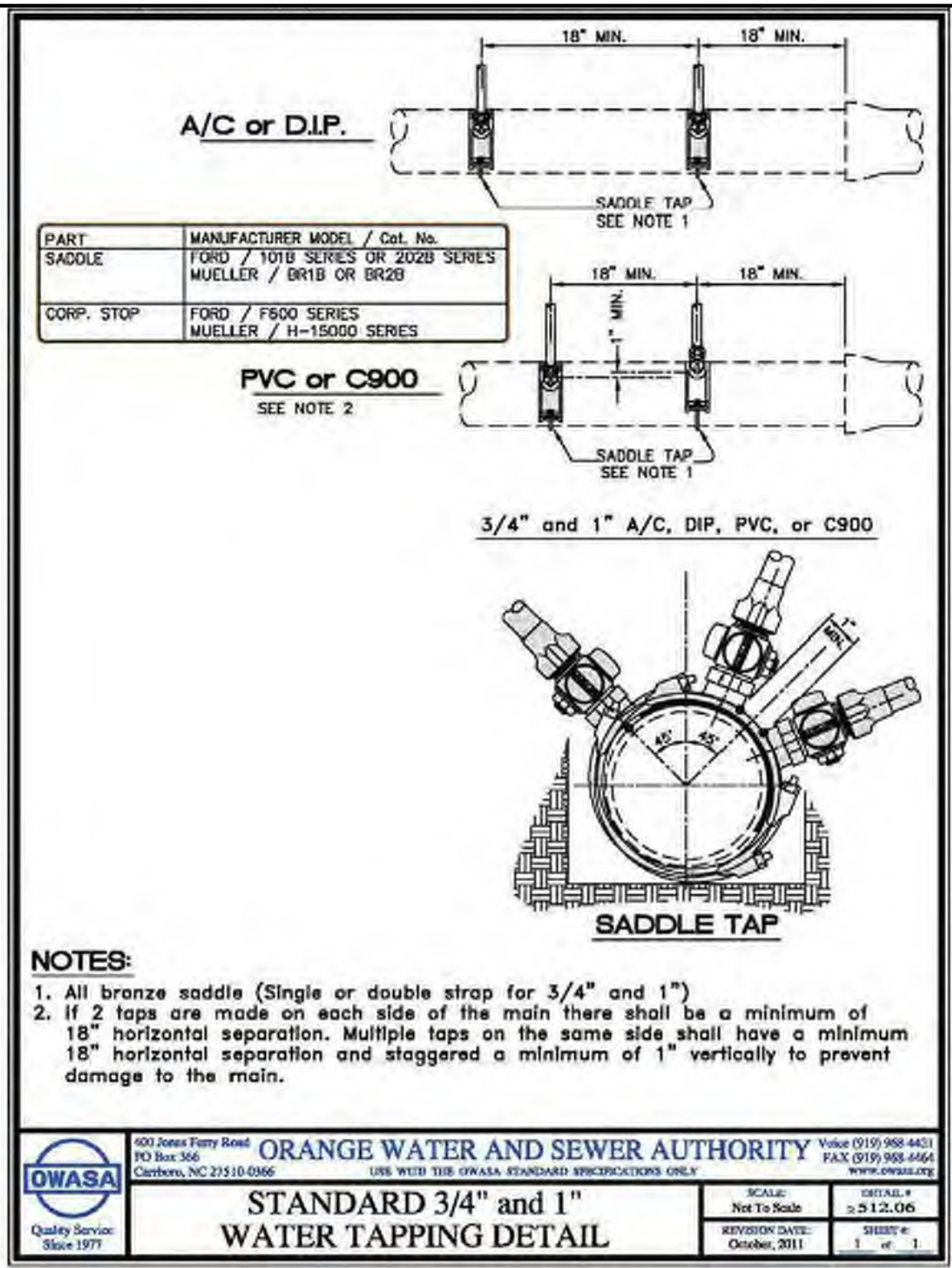
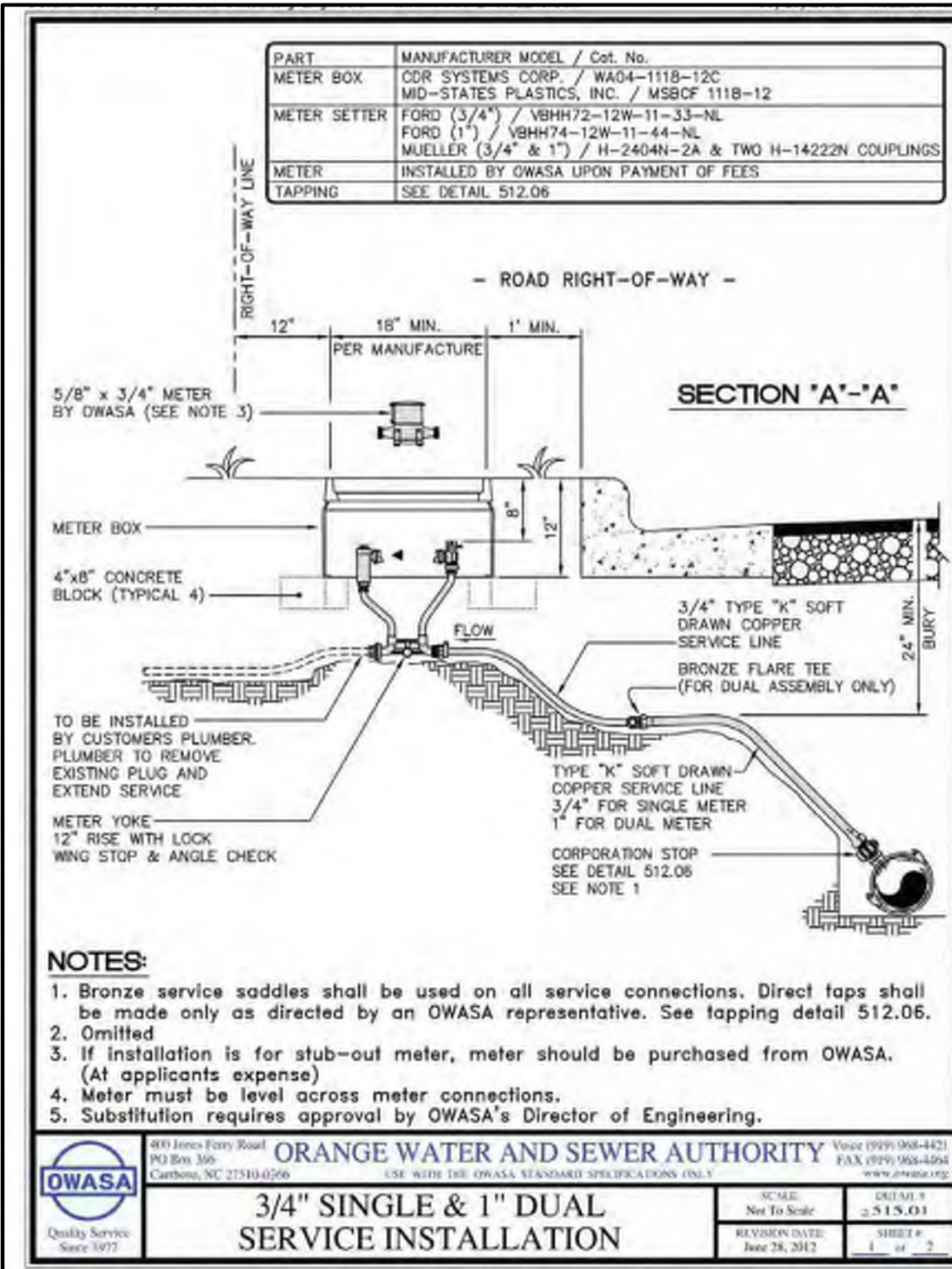
OWNER:
HEALTH SYSTEM PROPERTIES, LLC.
211 FRIDAY CENTER DRIVE
CHAPEL HILL, NORTH CAROLINA 27517

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA

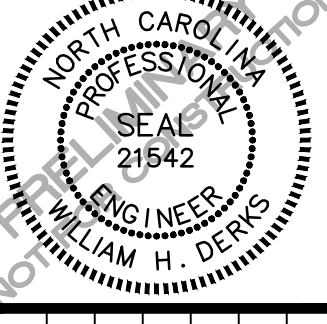
SITE DETAILS

PROJECT NO.	UNC-17020
FILENAME	UNC17020-D1
CHECKED BY	WHD
DRAWN BY	CJJ
SCALE	1"=40'
DATE	04-27-18
SHEET NO.	D-1





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 2905 Meridian Parkway
 Durham, North Carolina 27713
 Tel: 919-286-4444
 Fax: 919-286-4444
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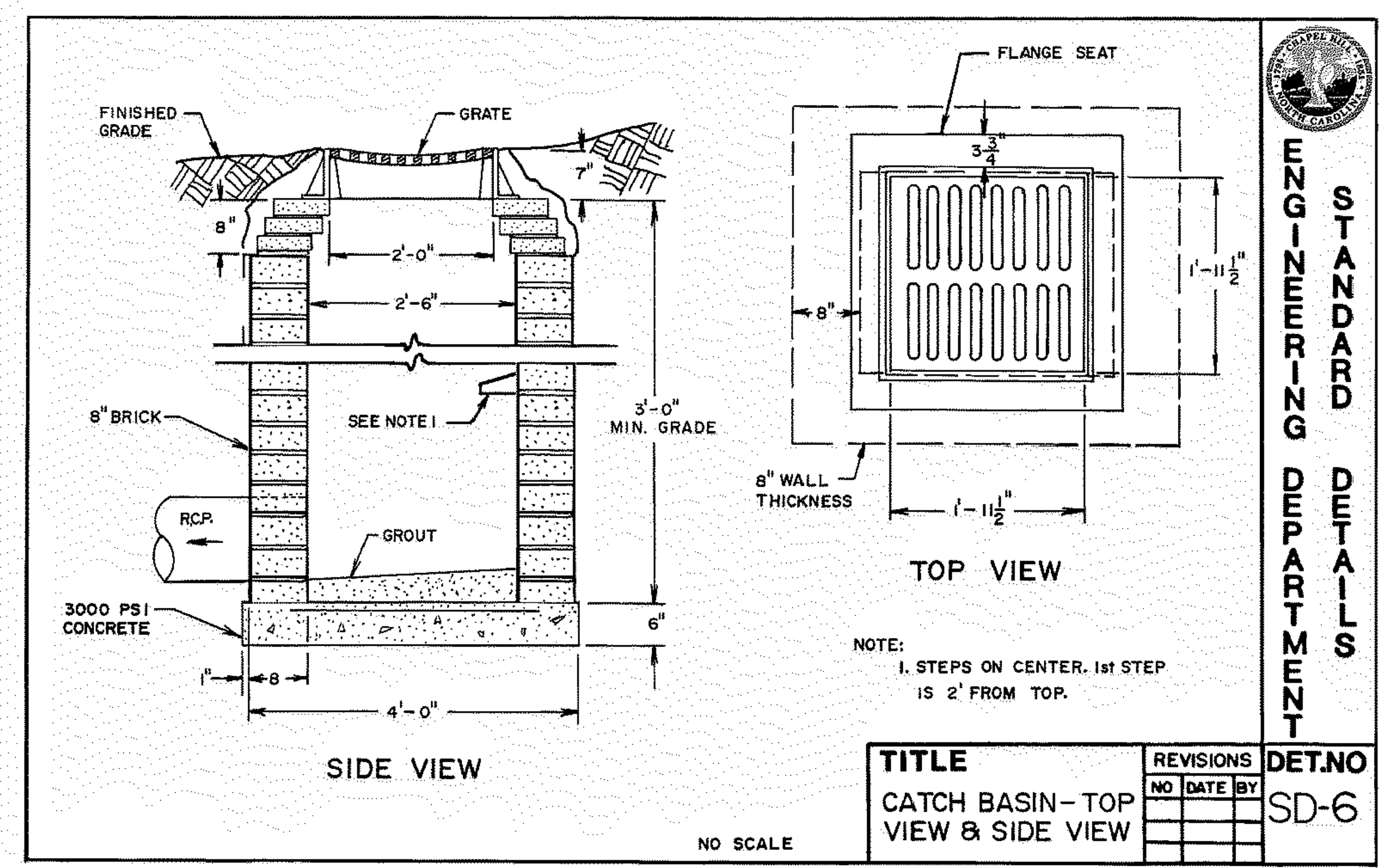
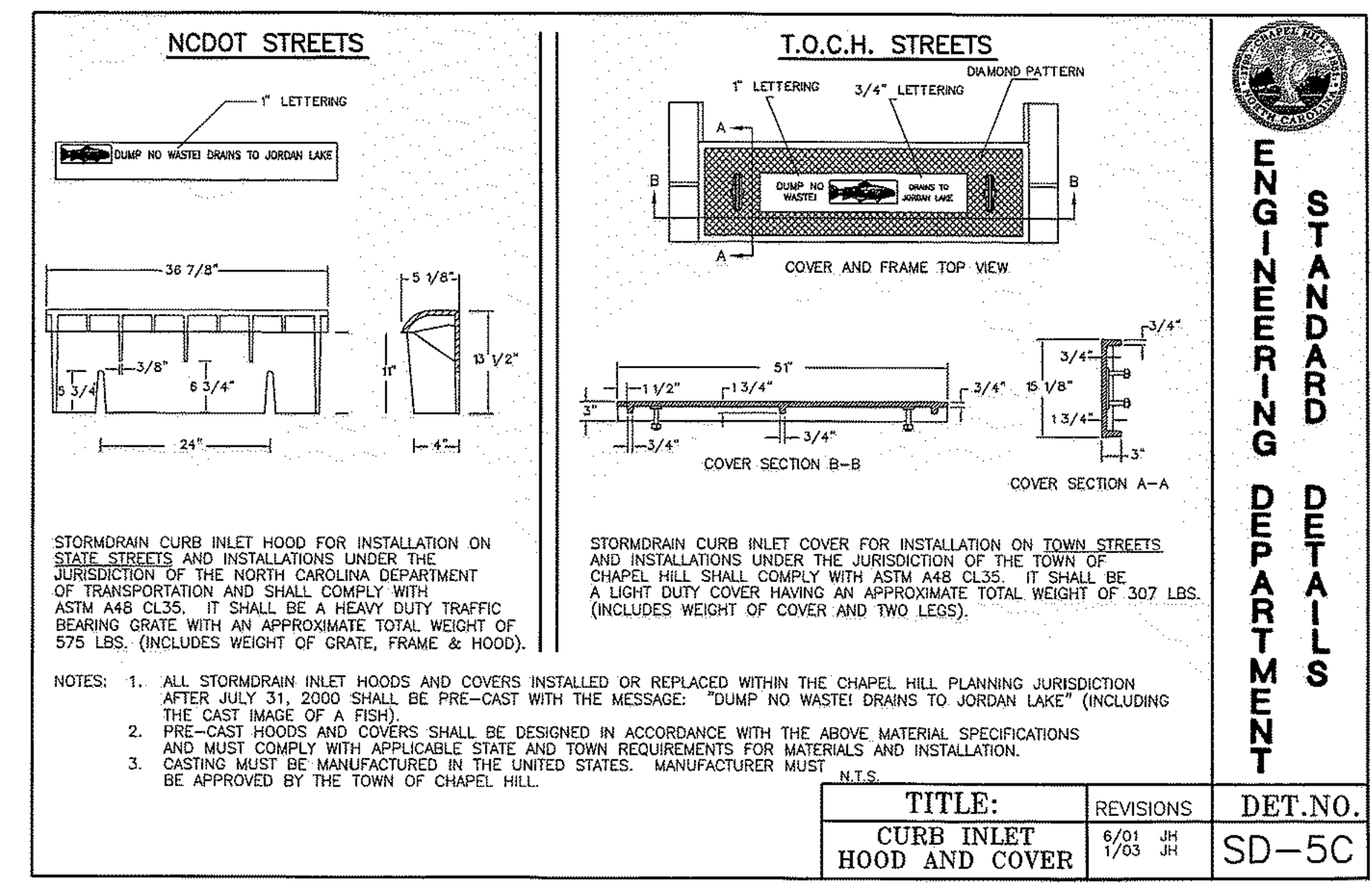
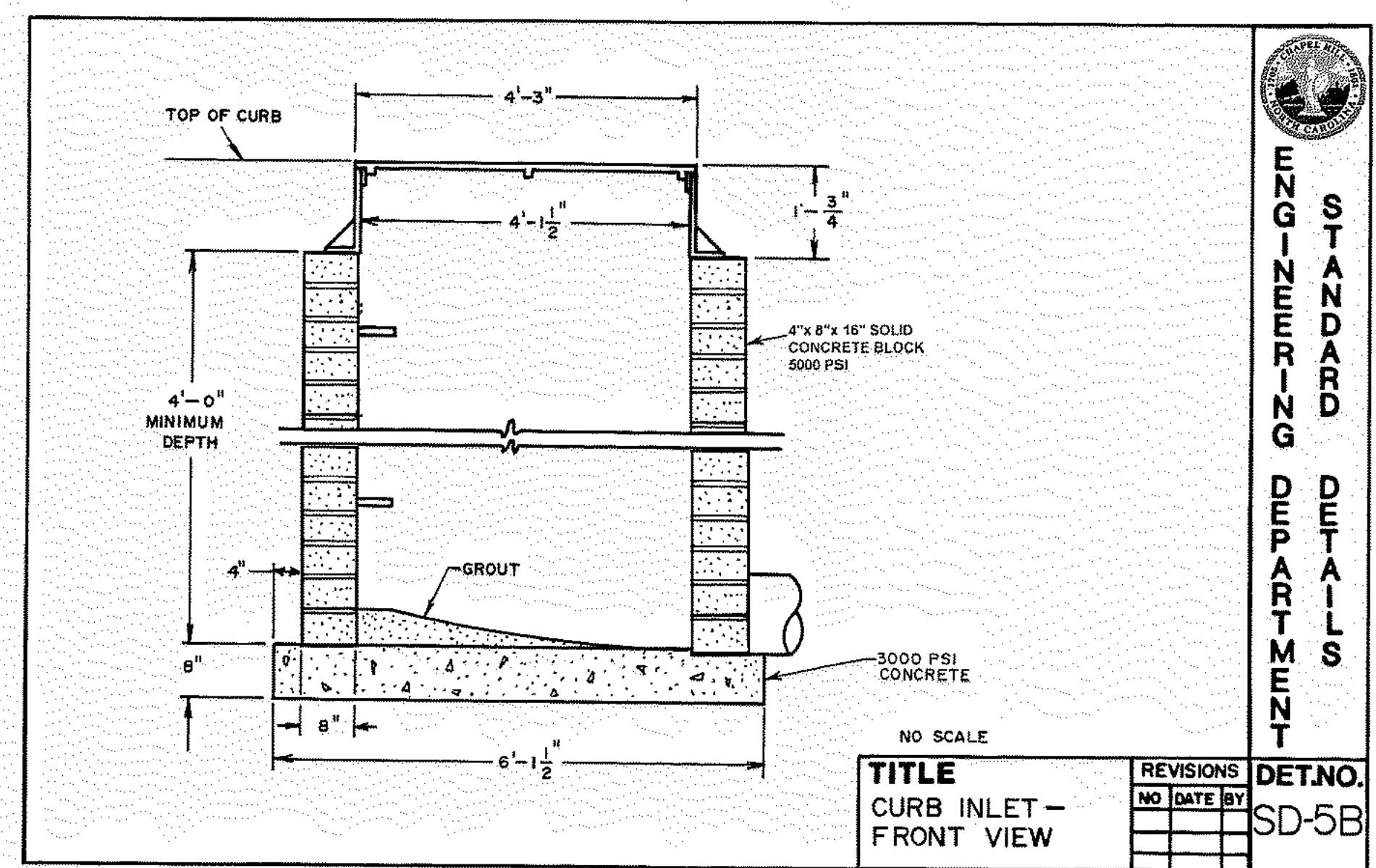
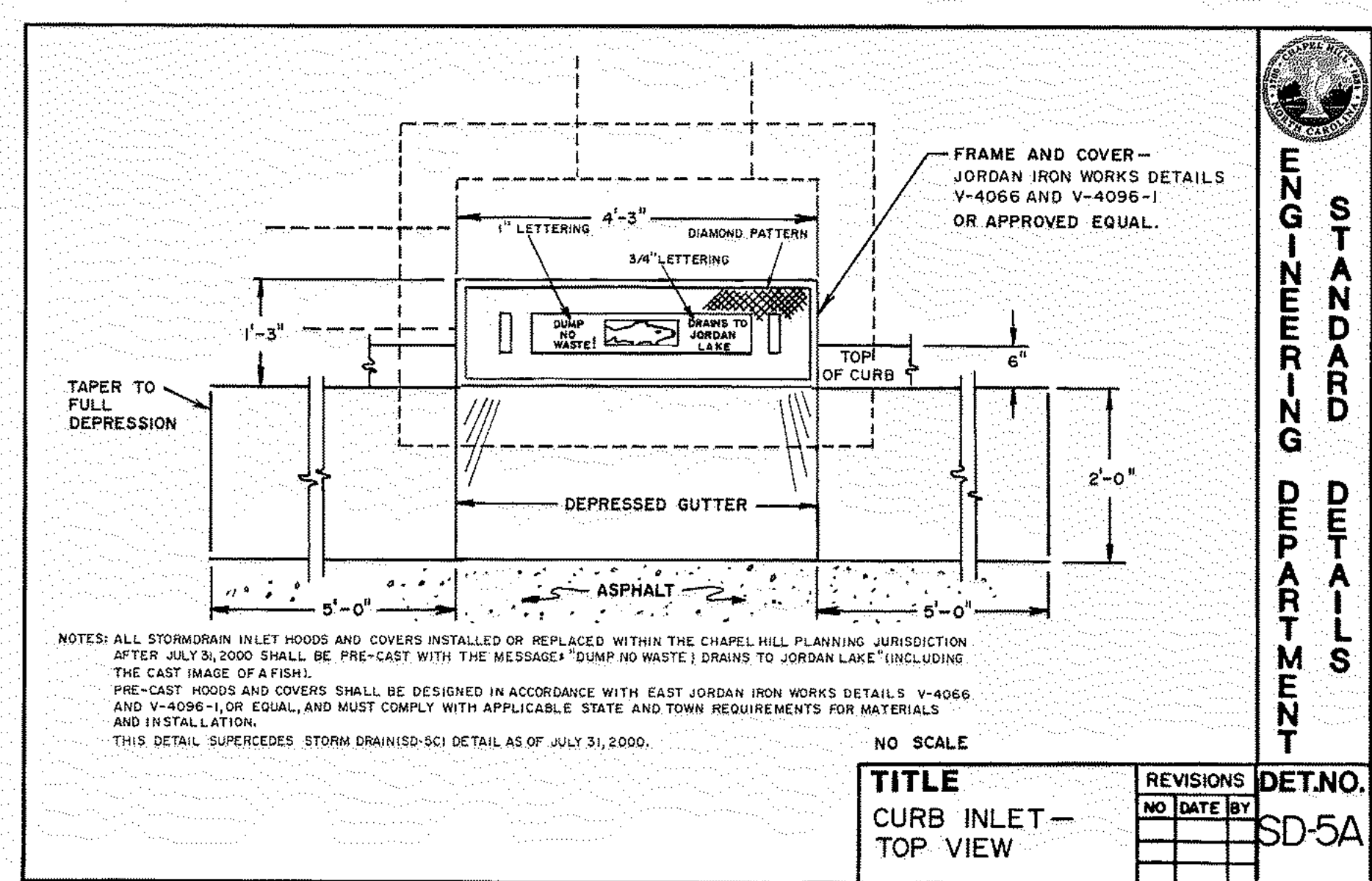
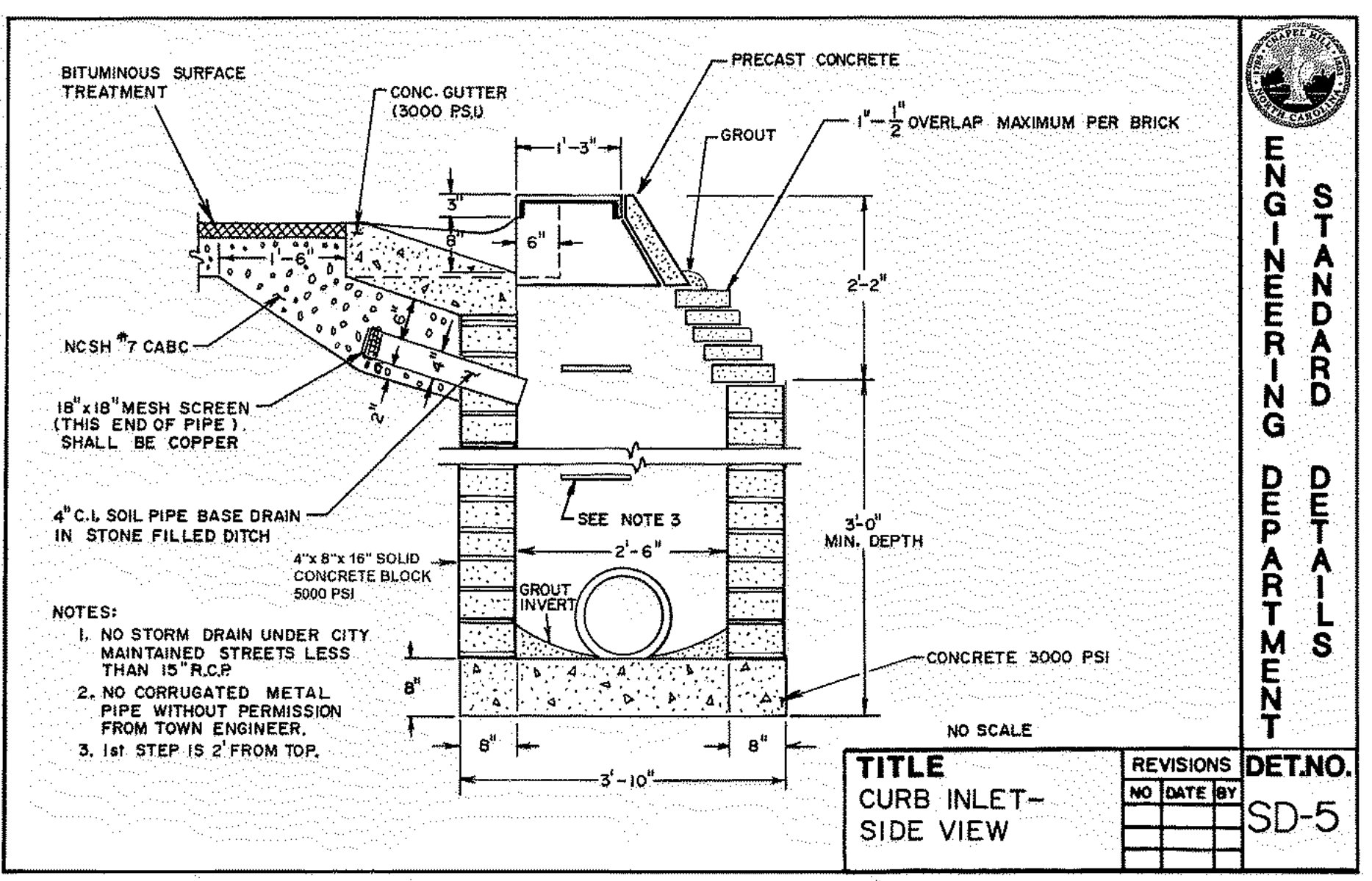
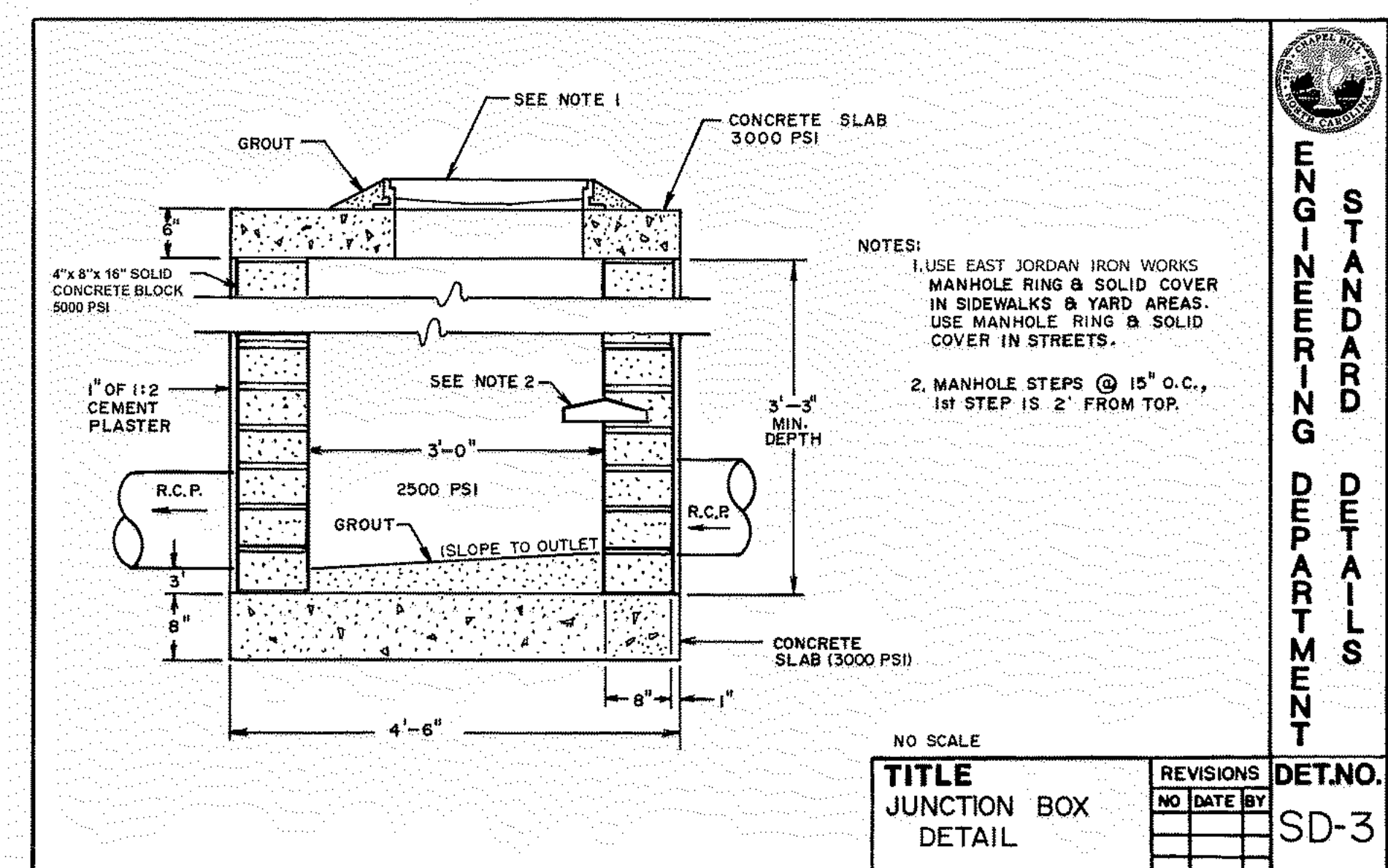
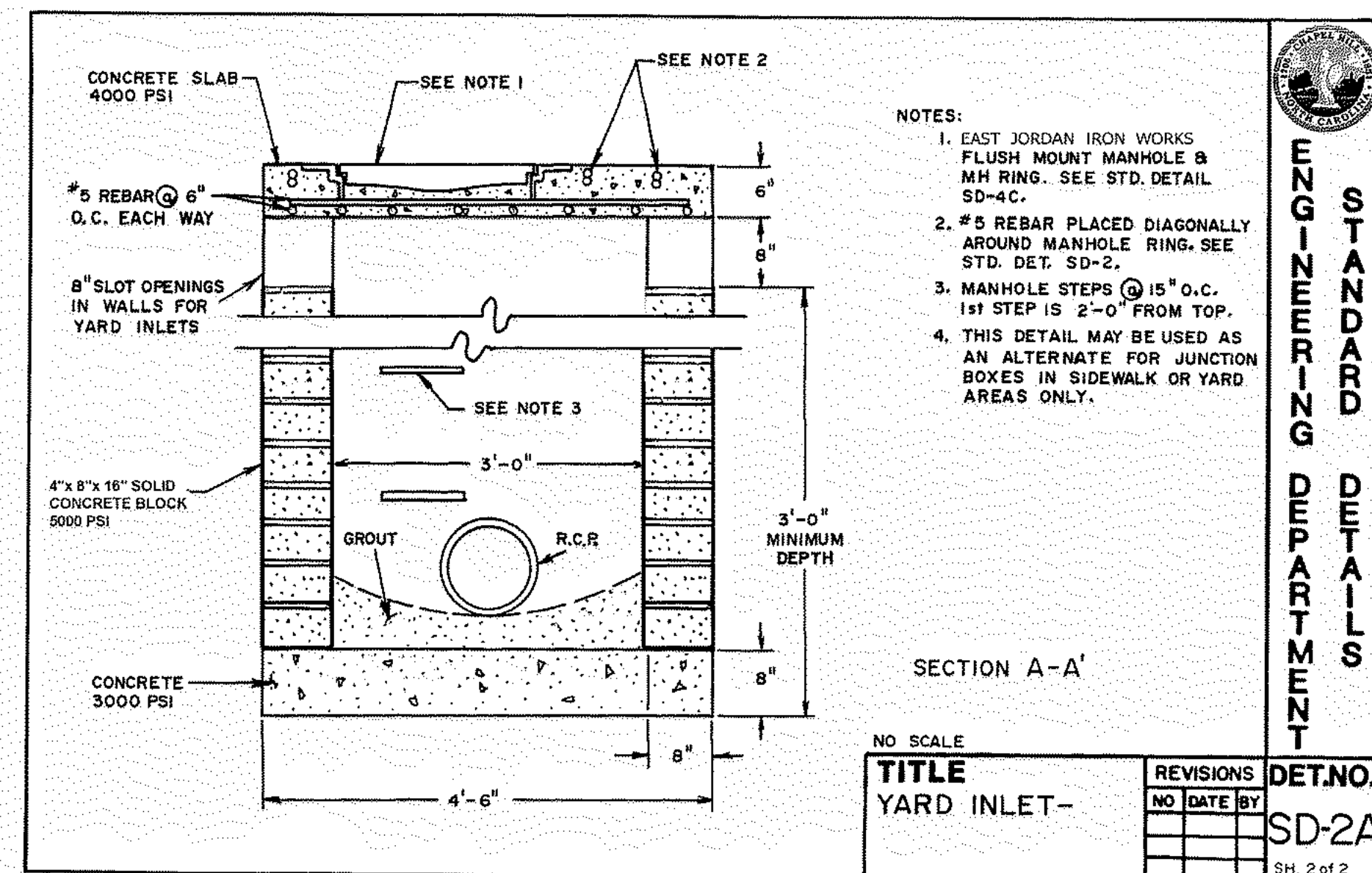
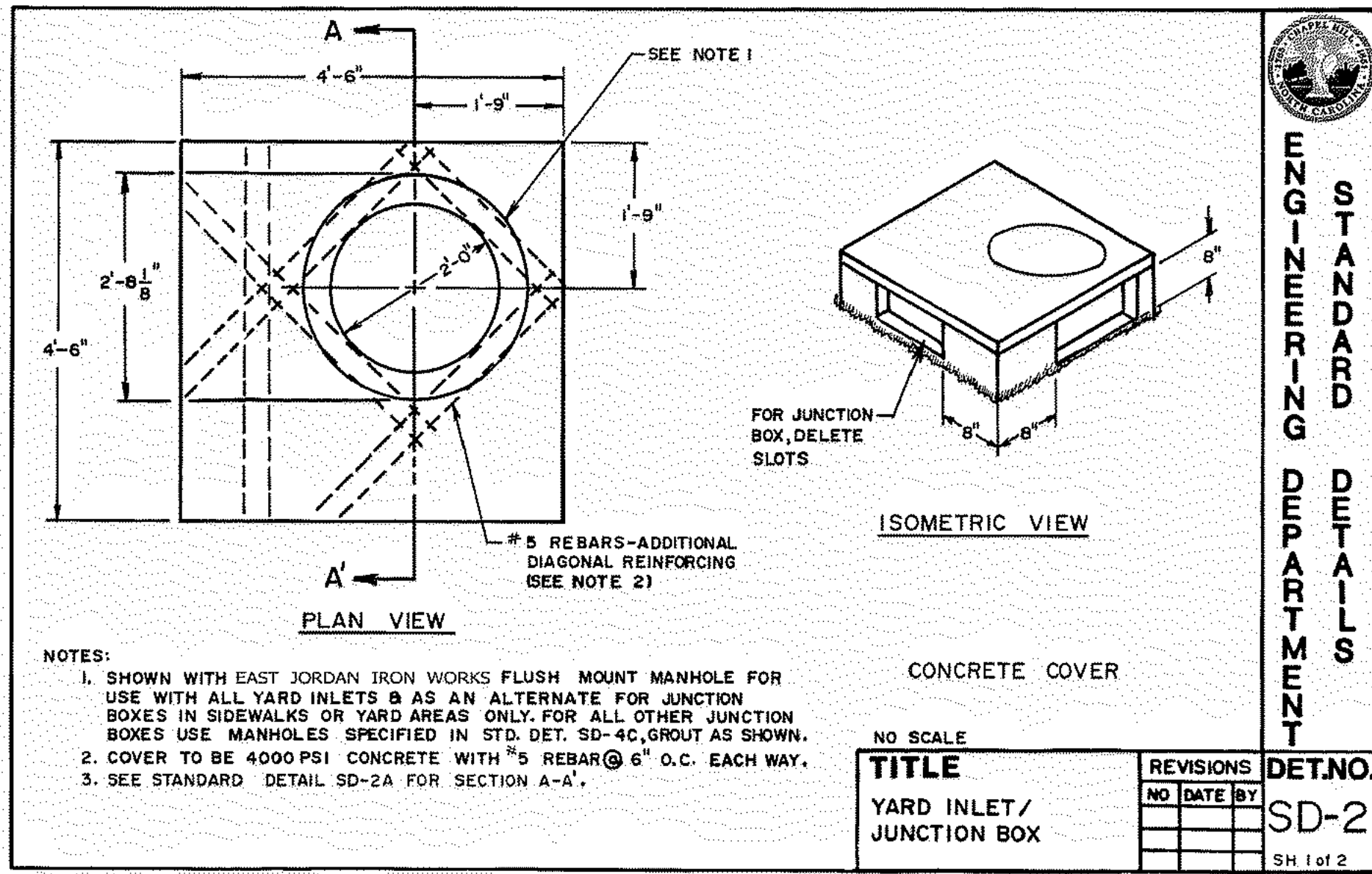


REVISIONS:
 2018-04-04 - REVISED PER CHAPEL HILL COMMENTS
 2018-06-12 - REVISED PER CHAPEL HILL COMMENTS
 2018-08-31 - REVISED PER CHAPEL HILL COMMENTS

OWNER:
 UNC HEALTH CARE SYSTEM
 EASTOWNE REDEVELOPMENT MOB 1
 SPECIAL USE PERMIT
 CHAPEL HILL, NORTH CAROLINA

PROJECT NO: UNC-17020
 FILENAME: UNC17020-01
 CHECKED BY: WHD
 DRAWN BY: CJJ
 SCALE: 1"=40'
 DATE: 04-27-18
 SHEET NO: D-2

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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Durham, North Carolina 27713
Tel: C-0283
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MCADAMS

ENGINEERING DEPARTMENT

STANDARD DETAILS

STORM DETAILS

OWNER:
UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA

PROJECT NO.: UNC-17020
FILENAME: UNC17020-D1
CHECKED BY: WHD
DRAWN BY: CJJ
SCALE: 1"=40"
DATE: 04-27-18
SHEET NO.: D-3

REVISIONS:

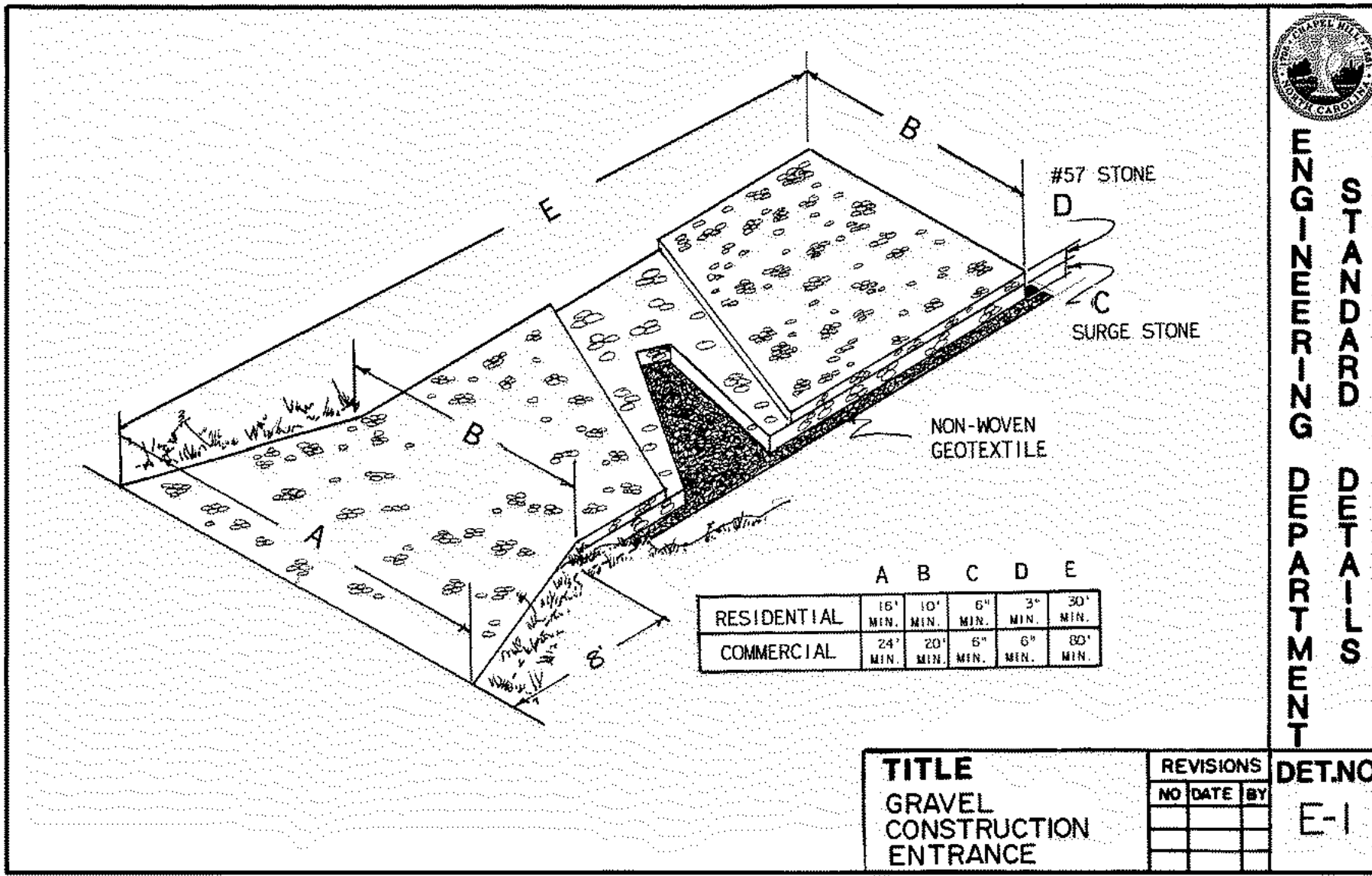
NO.	DATE	BY	COMMENTS

REVISIONS:

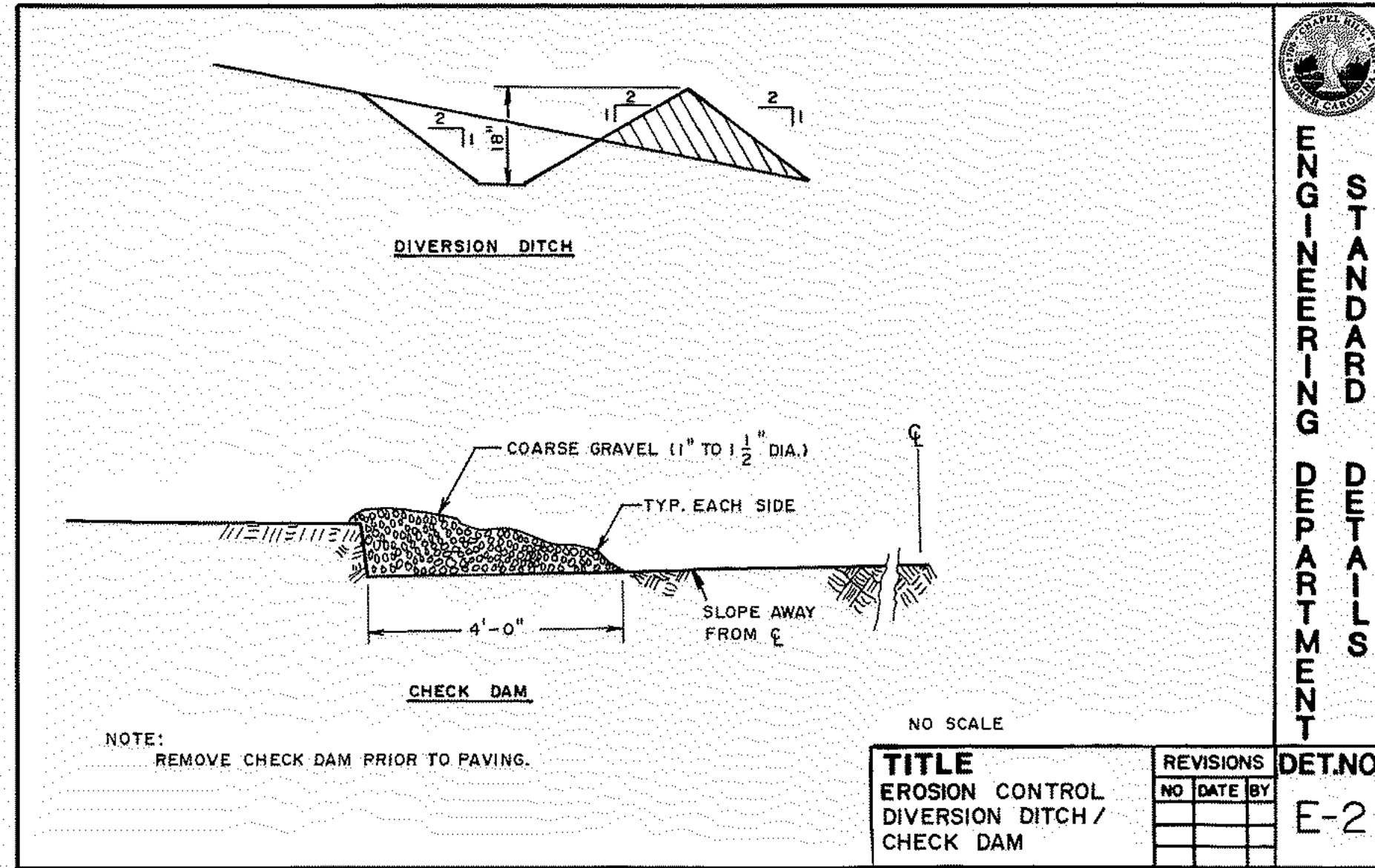
- 2018-04-04 - REVISED PER CHAPEL HILL COMMENTS
- 2018-06-12 - REVISED PER CHAPEL HILL COMMENTS
- 2018-08-31 - REVISED PER CHAPEL HILL COMMENTS

PROFESSIONAL SEAL
WILLIAM H. DEWIS
21542
NORTH CAROLINA PROFESSIONAL ENGINEER

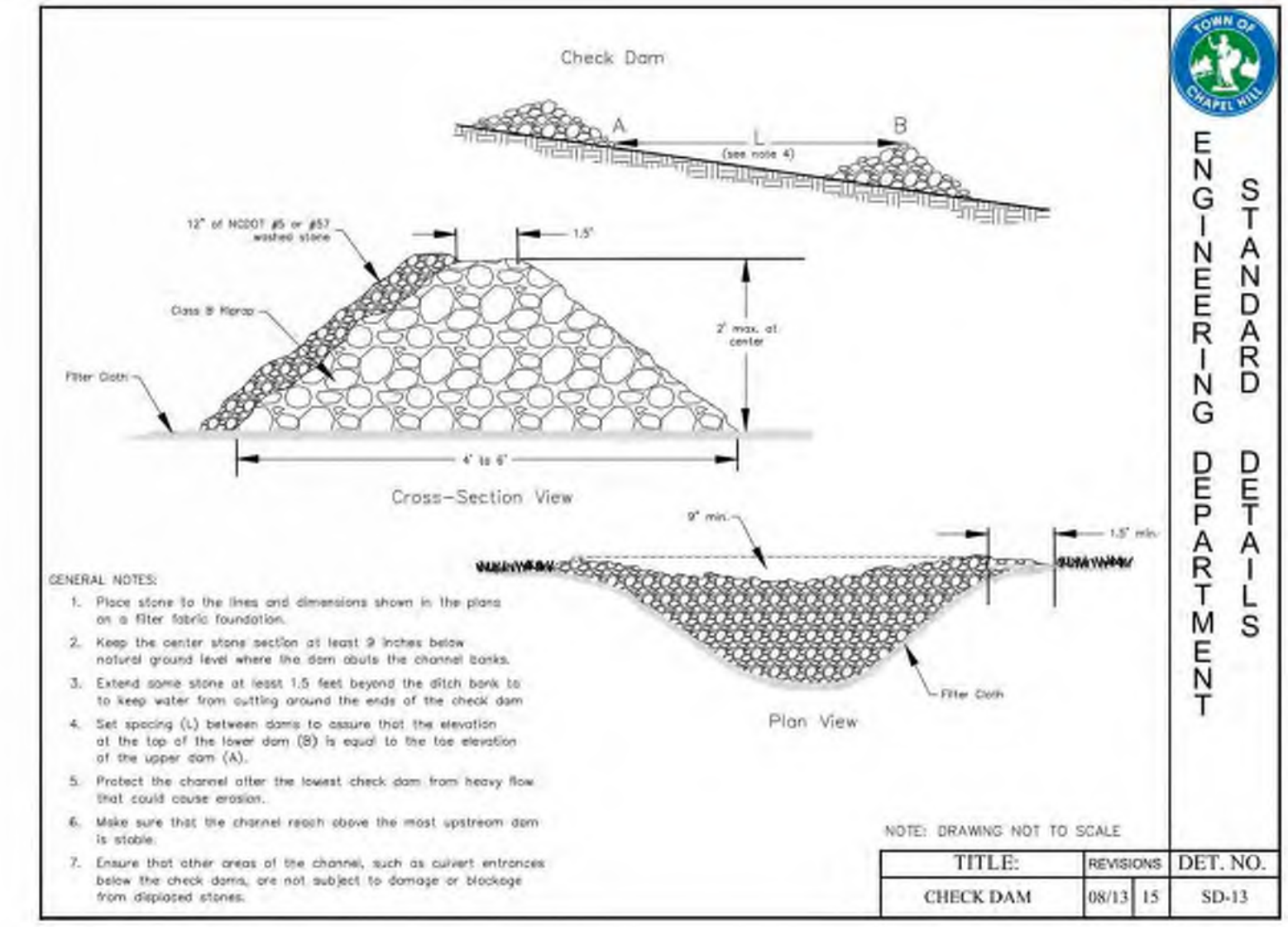
PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



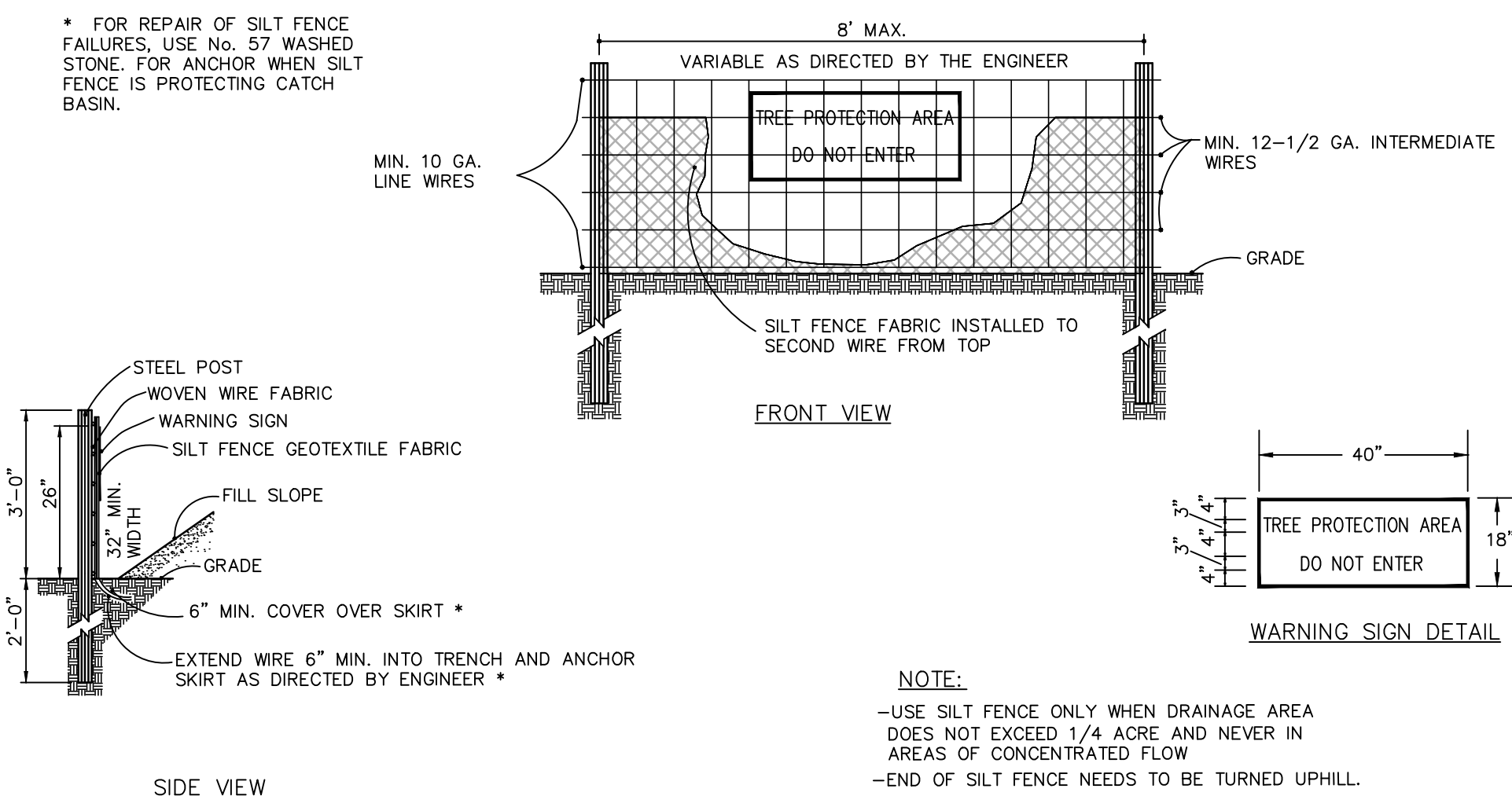
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GRAVEL CONSTRUCTION ENTRANCE	NO DATE BY	E-1



TITLE	REVISIONS	DET.NO.
EROSION CONTROL DIVERSION DITCH / CHECK DAM	NO DATE BY	E-2



TITLE	REVISIONS	DET.NO.
CHECK DAM	08/13 15	SD-13



STANDARD TEMPORARY SILT / TREE PROTECTION FENCE

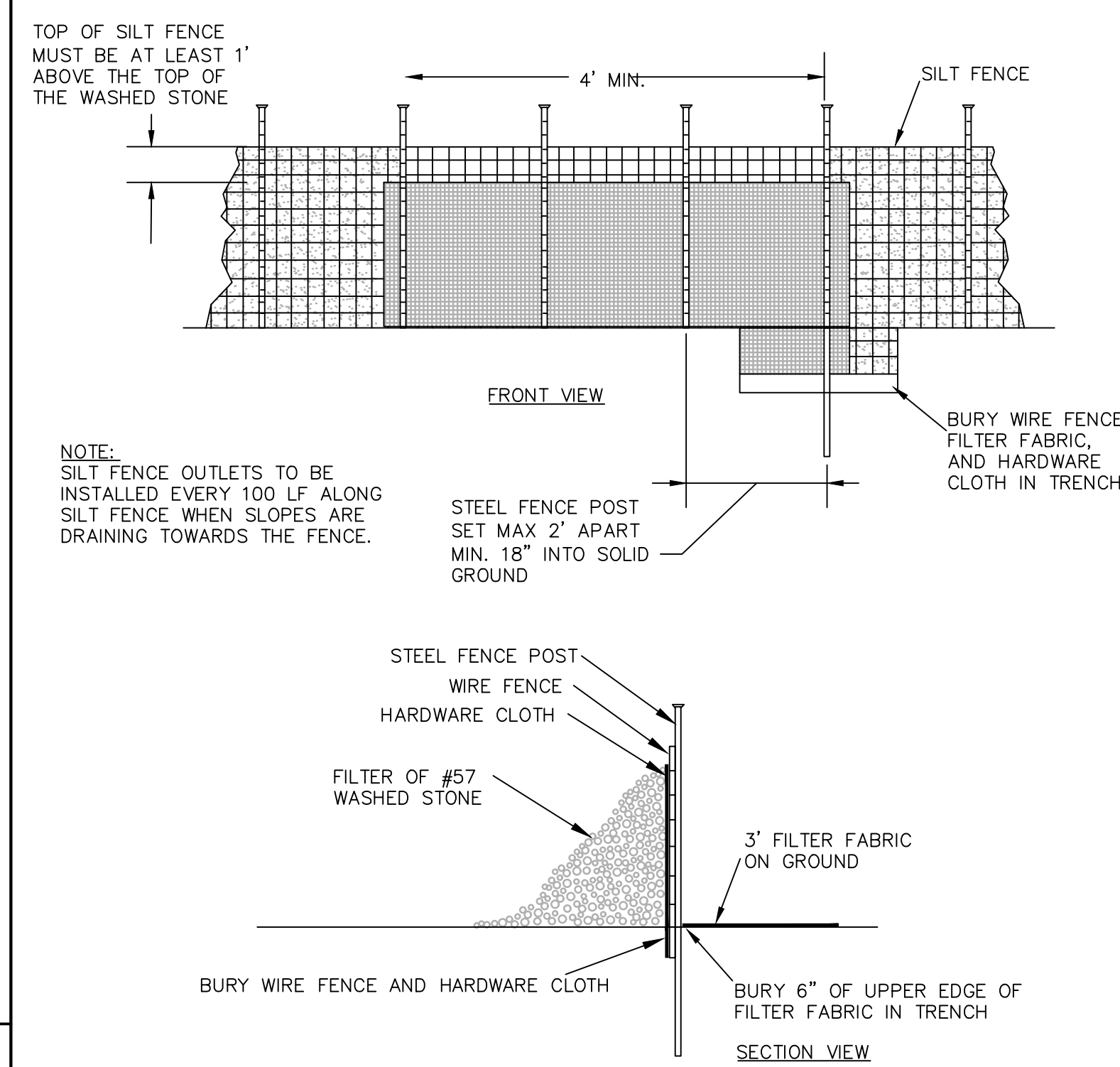
SILT FENCE MAINTENANCE

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



STANDARD SILT FENCE OUTLET

SILT FENCE OUTLET MAINTENANCE

REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.

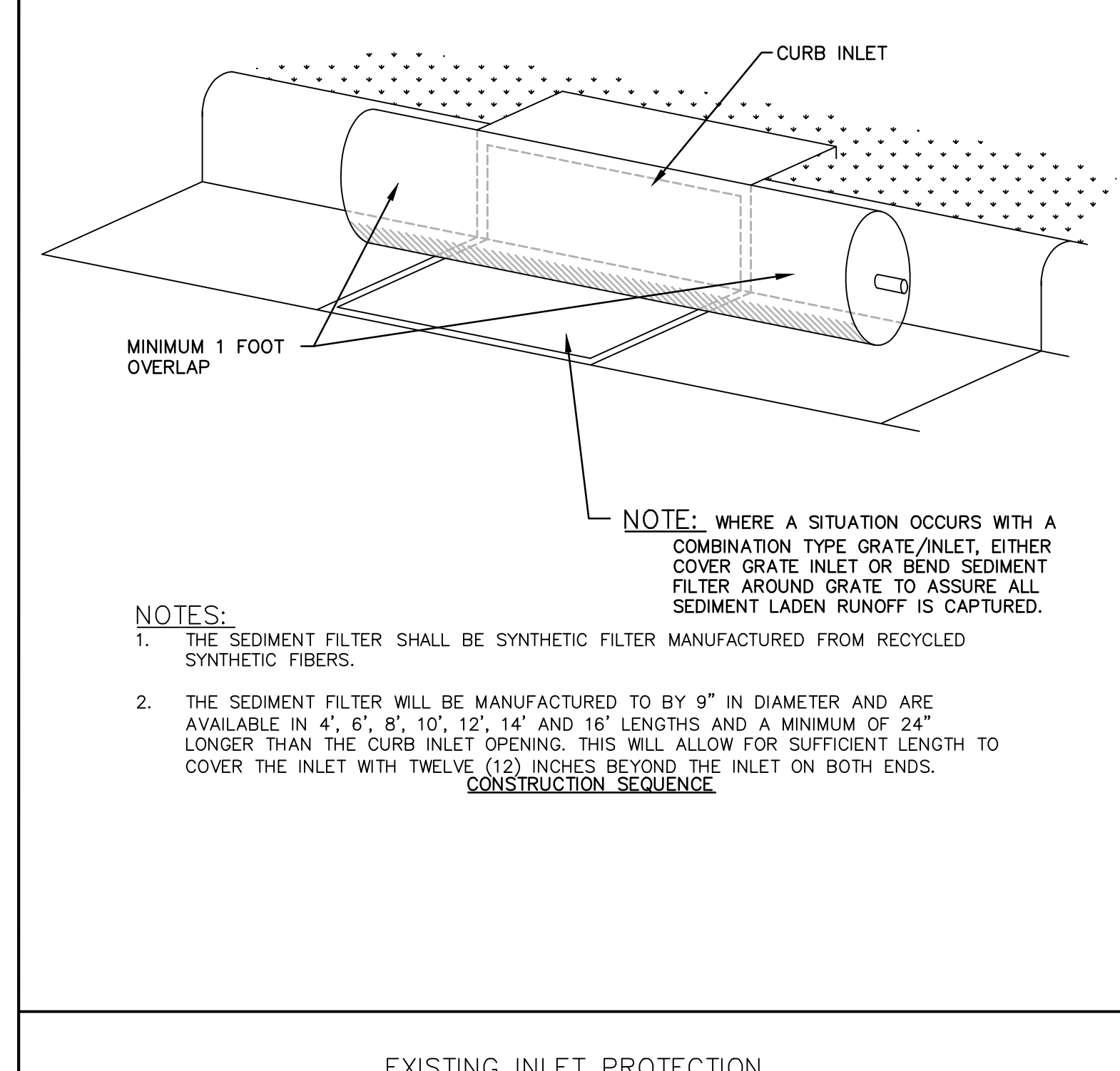
REPLACE STONE AS NEEDED TO ENSURE DEWATERING.

INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

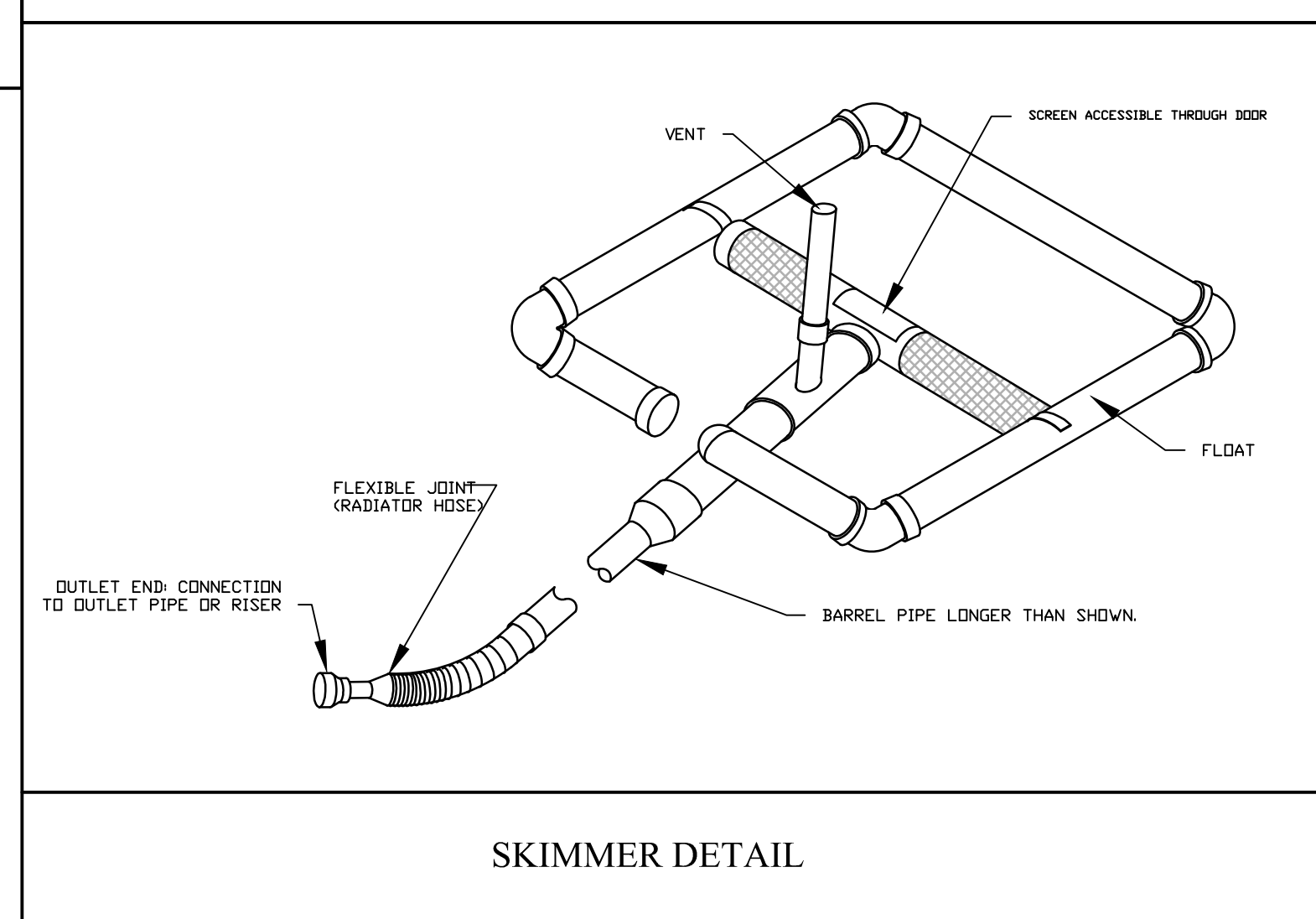
SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.

REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.

REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.



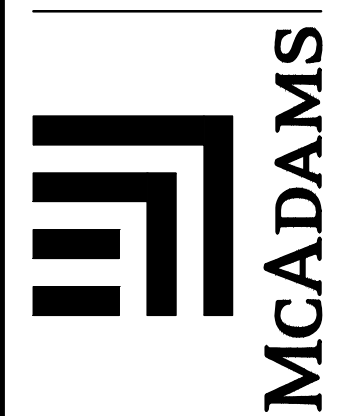
EXISTING INLET PROTECTION



SKIMMER DETAIL

X:\Projects\UNC-17020\Land\Zoning Compliance Permit\Current Drawings\UNC17020-Phase2-01.dwg, 8/31/2018 9:56:45 AM, Jones, Connor

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
Tel: C-2283
(800) 733-5646 • mcadamsco.com

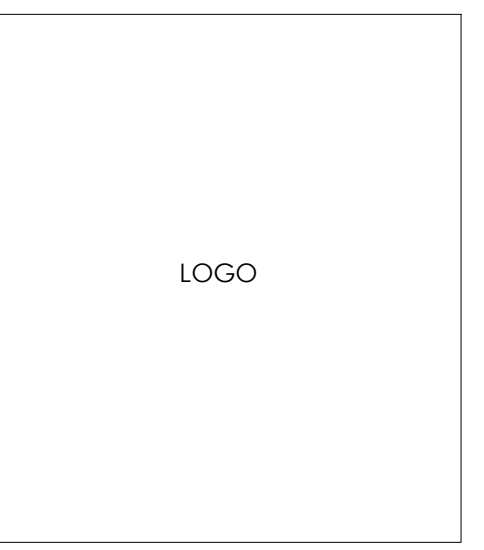


REVISIONS:	OWNER:
2018-04-04 - REVISED PER CHAPEL HILL COMMENTS	HEALTH CARE SYSTEM PROPERTIES, LLC. 211 FRIDAY CENTER DRIVE CHAPEL HILL, NORTH CAROLINA 27517
2018-06-12 - REVISED PER CHAPEL HILL COMMENTS	
2018-08-31 - REVISED PER CHAPEL HILL COMMENTS	

UNC HEALTH CARE SYSTEM
EASTOWNE REDEVELOPMENT MOB 1
SPECIAL USE PERMIT
CHAPEL HILL, NORTH CAROLINA
EROSION CONTROL DETAILS

PROJECT NO:	UNC-17020
FILENAME:	UNC17020-01
CHECKED BY:	WHD
DRAWN BY:	CJJ
SCALE:	1"=40'
DATE:	04-27-18
SHEET NO.	D-4





UNC HEALTH CARE SYSTEMS
 EASTOWNE REDEVELOPMENT
MEDICAL OFFICE BUILDING
 100 Eastowne Drive,
 Chapel Hill, North Carolina

FOR REVIEW ONLY
 NOT FOR CONSTRUCTION
 FOR CUMP PRICING ONLY

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REVISIONS:

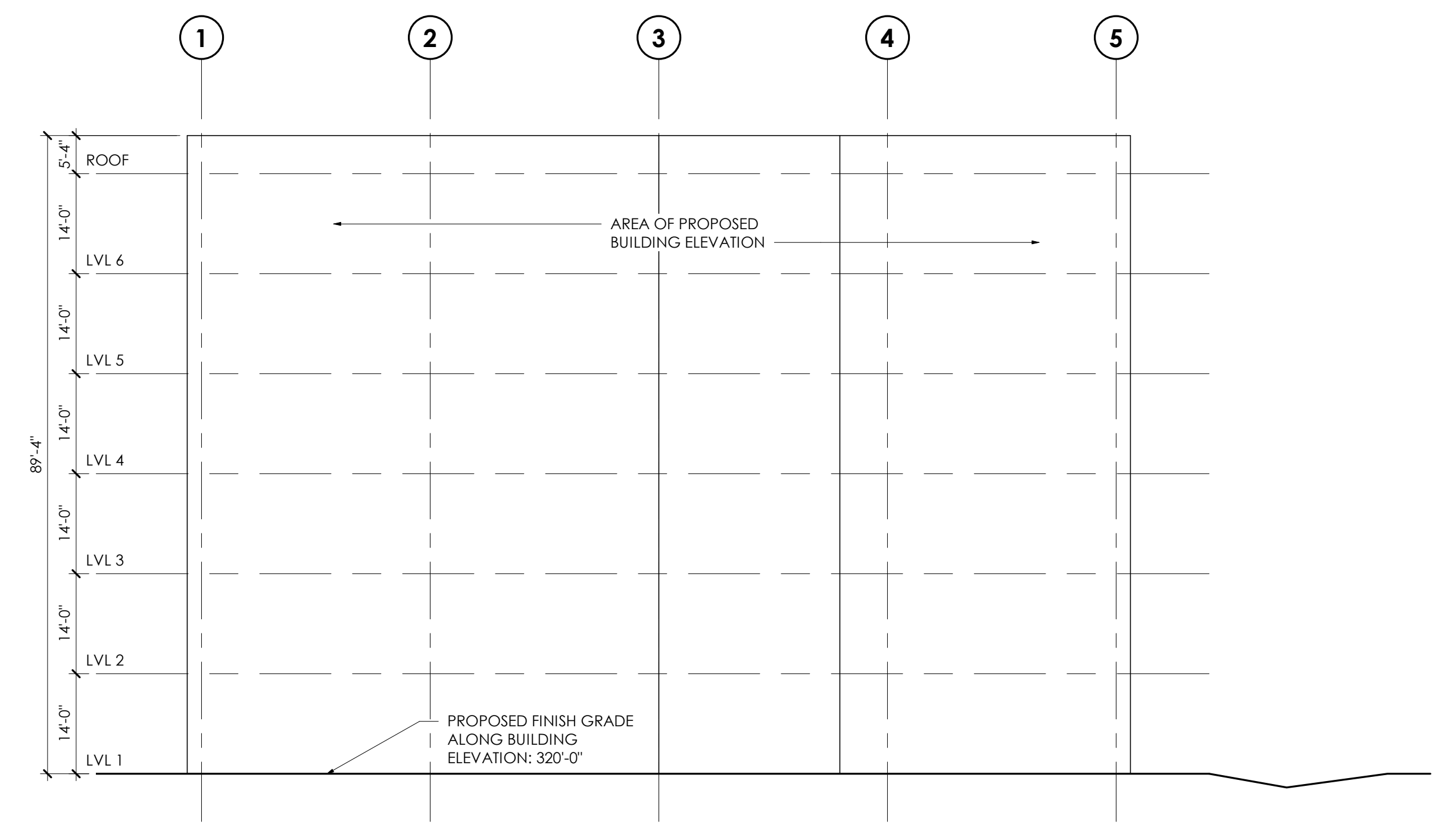
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SHEET NAME:
SITE PLAN MOB ELEVATIONS

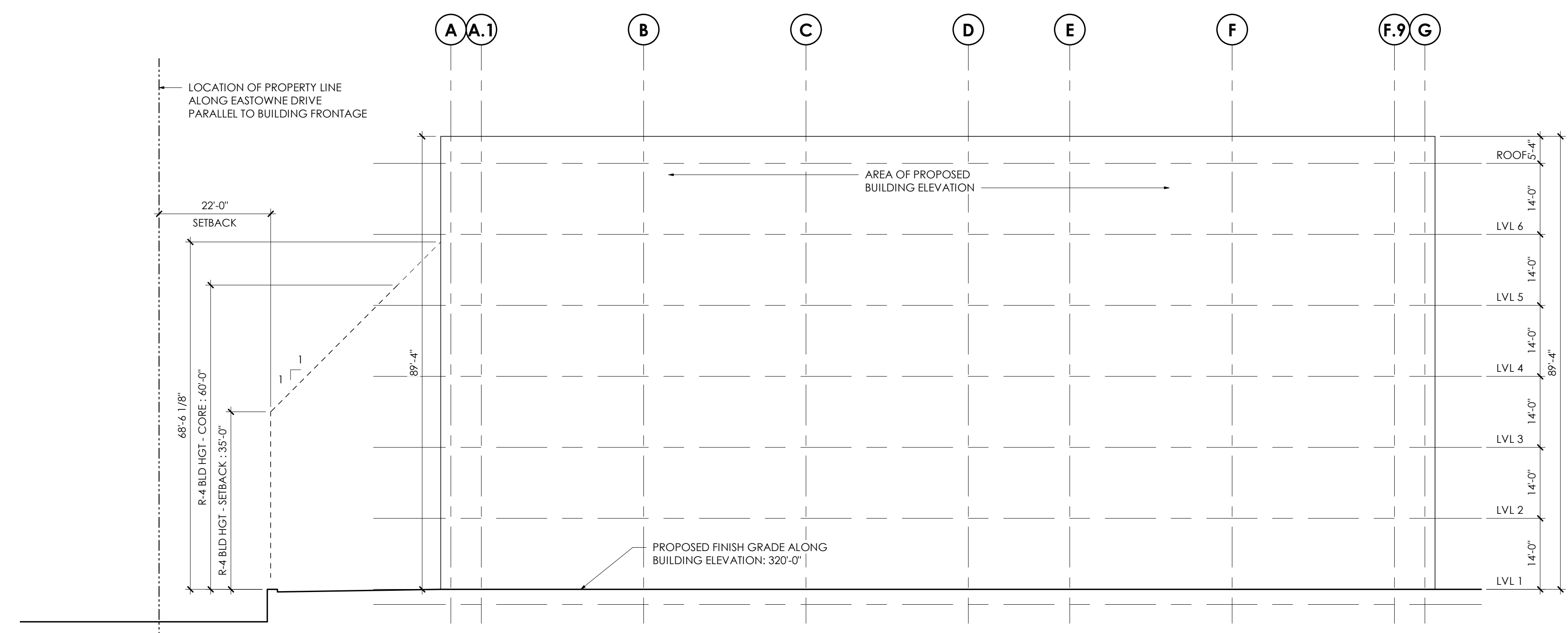
PHASE:
SUP RESUBMITTAL

ISSUE DATE: **08/29/18**
 PROJECT #: **17177**
 DRAWN BY: **SAL**

SHEET NUMBER
A201



OFFICE BUILDING - EASTOWNE ELEVATION ②
 1/16" = 1'-0"



OFFICE BUILDING - 15/501 ELEVATION ①
 1/16" = 1'-0"

FOR REVIEW ONLY
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REVISIONS:

#	DESC.	DATE

SHEET NAME:
PARKING STRUCTURE

PHASE:
SUP RESUBMITTAL

ISSUE DATE: **08/30/18**
 PROJECT #: **17177**
 DRAWN BY: **SAL**

SHEET NUMBER
A202

