

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514
phone (919) 969-5040 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9778-37-4748, 9778-37-6817

Date: 22 May 2020

Section A: Project Information

Project Name: Rosemary Street Parking Deck

Property Address: 125 E Rosemary St Zip Code: 27514

Use Groups (A, B, and/or C): C Existing Zoning District: TC-2

Project Description: Demolition of 276 space existing parking deck and construction of a 1,000 to 1,100 space deck

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Ballentine Associates, attn: George Retschle

Address: 221 Providence Road

City: Chapel Hill State: NC Zip Code: 27514

Phone: (919) 929-0481 Email: georger@bapa.eng.pro

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 22 May 2020

Owner/Contract Purchaser Information:

Owner

Contract Purchaser

Name: Grubb Management LLC c/o Grubb Properties, Inc

Address: 113 Edinburgh South Drive Suite 120

City: Cary State: NC Zip Code: 27511

Phone: (919) 388-5774 Email: JDye@grubbproperties.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 22 May 2020

Click [here](#) for application submittal instructions.

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Parcel Identifier Number (PIN): 9778-37-4748, ~~9778-37-6817~~ ⁹⁷⁸⁸⁻³⁷⁻⁶⁸¹⁷ Date: 5 Jun 2020

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Phone: (919) 929-0481 Email: georger@bapa.eng.pro

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: Date: 5 Jun 2020

Owner/Contract Purchaser Information:

Owner Contract Purchaser

Name: Investors Title Company
Address: 135 E. Rosemary Street
City: Chapel Hill State: NC Zip Code: 27514
Phone: 919-968-2200 Email: dmartin@invtitle.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: By: James A. Fin Jr Date: 6-10-2020
President

Investors Title Company [Click here for application submittal instructions.](#)



CONDITIONAL ZONING

TOWN OF CHAPEL HILL
Planning and Development Service

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



Section A: Project Information

Use Type: *(check/list all that apply)*

- Office/Institutional Residential Mixed-Use Other: _____

Overlay District: *(check all that apply)*

- Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	73,097	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	7,310	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	80,407	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: *(check all those that apply)*

- Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	79,000
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	66,548	66,548	64,496	64,496
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	82.76	82.76	80.21	80.21
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	1 +/- 200 sf enclosed	all	1,415 enclosed	1,415
Number of Floors	3	3	6-7	6-7
Recreational Space	n/a	n/a	n/a	n/a

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office		5000			
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other	200	1000 (Storage)			

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	0	9.5	8
	Interior (neighboring property lines)	0	0	0
	Solar (northern property line)	0 (TC-2), 11 (R-3), 8 (R-6)	10	0 (TC-2), 5 (R-3, R-6)
Height (maximum)	Primary	44	34	73
	Secondary	90	40	73
Streets	Frontages	12	191/165	356
	Widths	15	191/165	356



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Services

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Rosemary St	60	39	3	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			1,076
Handicap Spaces			28
Total Spaces			1,104
Loading Spaces			
Bicycle Spaces			40
Surface Type	conc parking deck		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North 1	15 & 20	6	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> Yes
North 2	15	varies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> Yes
south, east, west	0	0	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Services

Section I: Land Use Intensity

Existing Zoning District:
 Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
TC-2 CZ	1.97	n/a			n/a	158,402	n/a
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	8,585
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
Pend	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
n/a	Description of Public Art Proposal, if applicable		
X	Statement of Justification		
n/a	Response to Community Design Commission and Town Council Concept Plan comments		
n/a	Affordable Housing Proposal, if applicable		
X	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	
X	Written Narrative describing the proposal, including proposed land uses		
n/a	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
n/a	Jurisdictional Wetland Determination – if applicable		
n/a	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
n/a	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
X	Reduced Site Plan Set (reduced to 8.5” x 11”)		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
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TOWN OF CHAPEL HILL
Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



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Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



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Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

Rosemary Street Parking Deck – Conditional Zoning

Project Narrative

The Rosemary Street Parking Deck will create much needed parking for visitors, businesses and workers in downtown Chapel Hill and will be an integral component of the revitalization of East Rosemary Street. This redevelopment strategy for East Rosemary Street will create space for hundreds of new technology workers and researchers in the heart of downtown. The new deck will also create an attractive new arrival experience for visitors to downtown and will improve the streetscape on the southern frontage of Rosemary Street.

The new parking deck will be located on the site of the existing 'CVS' parking deck combined with the surface parking lot immediately to the east. Combining these parcels will create a combined parcel of approximately 1.6 acres. Grubb Properties controls these properties and is proposing to exchange these parcels with the Town of Chapel Hill for the land currently occupied by the Wallace Parking deck, a parcel of 1.49 acres which would be developed into a new research facility with labs and office space for business and institutional tenants.

The existing parking deck is a three-level structure and parks 276 cars. It was built over 40 years ago and has reached the end of its service life. The new parking deck will be a seven-level structure and will park approximately 1,100 cars.

In addition to new parking spaces the Rosemary Street frontage will be improved by widening the sidewalks to incorporate a 'retail porch' that will provide space for small business, artisans and food vendors to operate on an economical, short term basis.

Statement of Justification – Conditional Zoning

This is a statement of justification to support the request for Conditional Zoning for 125 East Rosemary Street and the parcel immediately to the east. Both parcels are currently within the TC-2 zoning district. The Conditional Zoning is being requested to facilitate an open dialogue with the public and negotiations between the applicant and the Town of Chapel Hill.

In order to establish and maintain sound, stable, and desirable development within the planning jurisdiction of the Town, it is intended that the Land Use Management Ordinance (as stated in Section 4.4) shall not be amended except:

- 1) To correct a manifest error in the chapter; or
- 2) Because of changed or changing conditions in a particular area or in the jurisdiction generally; or
- 3) To achieve the purposes of the Comprehensive Plan.

Below is the applicant's evaluation of this application based on these three findings.

- 1) **Finding #1:** The proposed zoning amendment is necessary to correct a manifest error.

Response: We do not believe there is error in the Town's Zoning Atlas Amendment related to the project site.

- 2) **Finding #2:** The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.

Response: We believe that the conditions have changed in the following respect: In recent years downtown Chapel Hill has undergone a loss of jobs and businesses which has adversely affected the economic vitality of Chapel Hill. One component of this problem is the lack of centralized public parking to support business and visitors, which this project addresses.

3) Finding #3: The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.

Response: The proposed rezoning would contribute to the following elements of the Comprehensive Plan:

Theme 2: Community Prosperity and Engagement

- Balance and sustain finances by increasing revenues and decreasing expenses (CPE.1).
- Foster success of local businesses (CPE.2).

Theme 3: Getting Around

- A connected community that links neighborhoods, businesses and schools through the provision of greenways, sidewalks, bike facilities and public transportation (GA.2).

Theme 4: Good Places, New Spaces

- A vibrant, diverse, pedestrian-friendly, and accessible downtown with opportunities for growing office, retail, residential and cultural development and activity (GPNS.2).
- A community that welcomes and supports change and creativity (GPNS.6).

Theme 6: Town and Gown Collaboration

- Take full advantage of ideas and resources to create a thriving economy and incorporate the utilize the intellectual capital that the University and Town create (TGC.1).

Modifications of Regulations:

Building Height, Setback - LUMO Table 3.8-1 Dimensional Matrix limits the maximum building height at the setback line in the TC-2 zoning district to 44 feet. In order to provide the desired number of parking spaces, the deck will need to be 7 levels and will exceed the 44 feet maximum allowed. The applicant therefore requests that Council approve a modification approving a building height at the setback line of 73 feet.

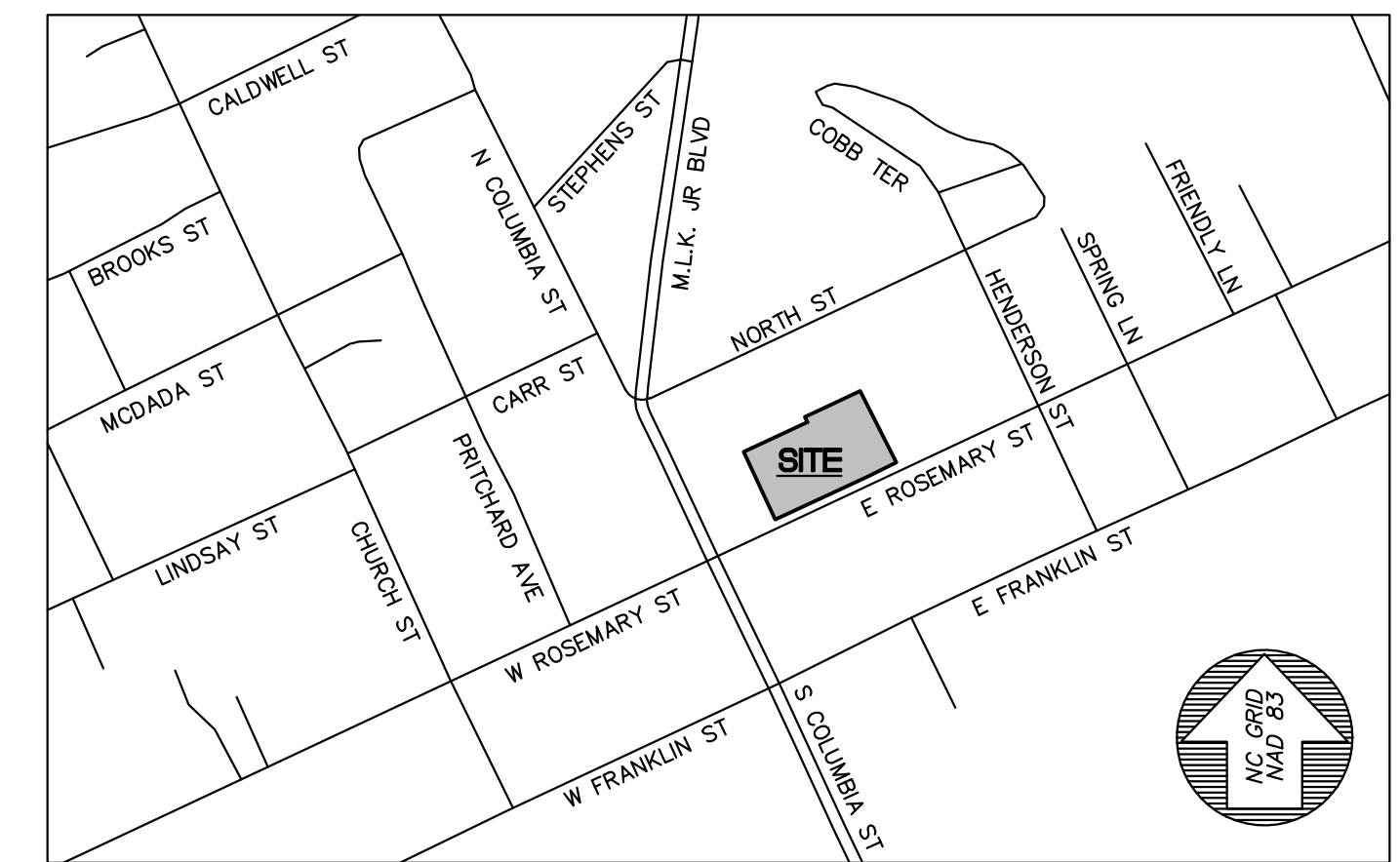
LUMO section 3.8.4 requires a minimum solar setback for the land adjacent to the residential districts R-3 and R-6 of 11 feet and 8 feet, respectively. In order to provide the desired number of parking stalls and drive aisles, the deck will need to be within the minimum solar setback. The applicant therefore requests that Council approve a modification reducing the minimum solar setback to 5 feet for the land adjacent to the residential districts at the north end of the property.

CONDITIONAL ZONING DRAWINGS

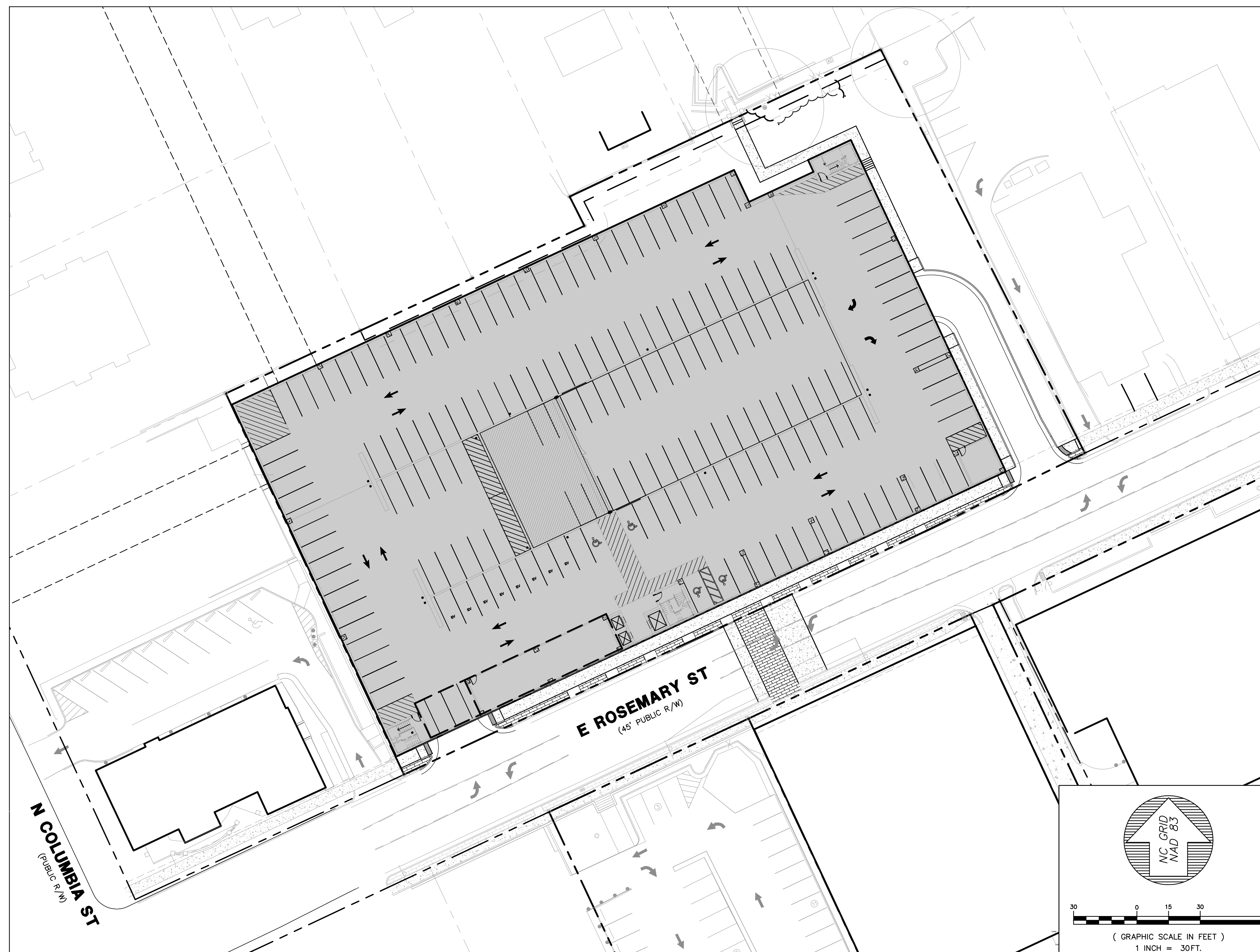
FOR

ROSEMARY STREET PARKING DECK

CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA



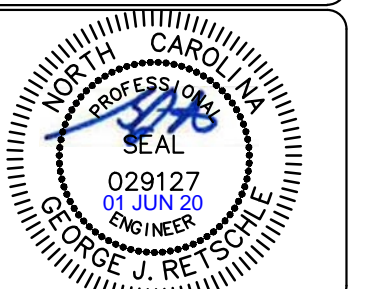
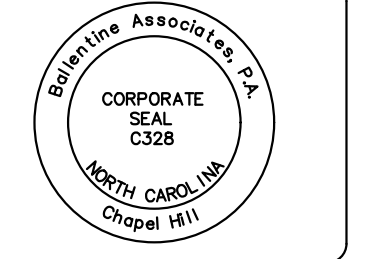
VICINITY MAP
SCALE: 1"=500'



SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER	01 JUN 20
C0001	AREA MAP	22 MAY 20
C0101	EXISTING CONDITIONS, LANDSCAPE PROTECTION & DEMOLITION PLAN	22 MAY 20
C1001	SITE PLAN	01 JUN 20
C1200	GRADING & UTILITY PLAN	01 JUN 20
C1301	PRELIMINARY EROSION CONTROL PLAN	22 MAY 20
L01-01	LANDSCAPE PLANS	01 JUN 20
L01-02	LANDSCAPE DETAILS	22 MAY 20
A10-01	OVERALL FLOOR PLAN - P1	22 MAY 20
A10-02	OVERALL FLOOR PLAN - P2	22 MAY 20
A10-03	OVERALL FLOOR PLAN - P3	22 MAY 20
A10-04	OVERALL FLOOR PLAN - P4	22 MAY 20
A10-05	OVERALL FLOOR PLAN - P5	22 MAY 20
A10-06	OVERALL FLOOR PLAN - P6	22 MAY 20
A10-07	OVERALL FLOOR PLAN - P7	22 MAY 20
A10-08	OVERALL FLOOR PLAN - ROOF	22 MAY 20
A20-01	EXTERIOR ELEVATIONS	22 MAY 20

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481

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DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
01 JUN 20	REVISED TREE WELL SPACING

OWNER INFORMATION
GRUBB PROPERTIES, INC.
4500 CAMERON VALLEY PKWY.
SUITE 350
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
JOE DYE
(919) 388-5774
FAX (919) 461-3939
EMAIL: jdye@grubbs.com

DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

ARCHITECTURE:
Perkins&Will
411 W CHAPEL HILL STREET, SUITE 200
DURHAM, NC 27701
(919) 433-5300

DEVELOPER:
 **GRUBB PROPERTIES**
People who care. Places that matter.
115 EDINBURGH SOUTH DR, SUITE 120
CARY, NC 27511
(919) 388-5772

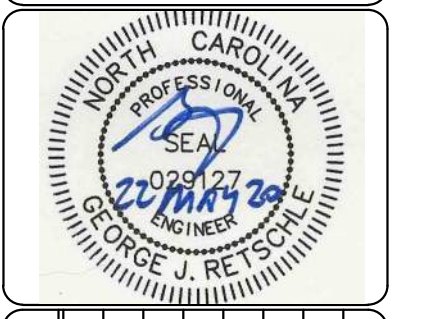
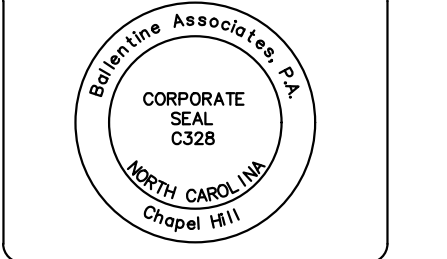
SITE PLANNING / CIVIL ENGINEERING:
 **BALLENTINE ASSOCIATES, P.A.**
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 929 - 0481 (919) 489 - 4789

JOB #: 118038.01
DATE: 02 MAR 20
SCALE: AS NOTED
DRAWN BY: J.B.M.
REVIEWED BY: G.J.R.

SHEET
G0001

REVIEW DRAWING
NOT FOR CONSTRUCTION

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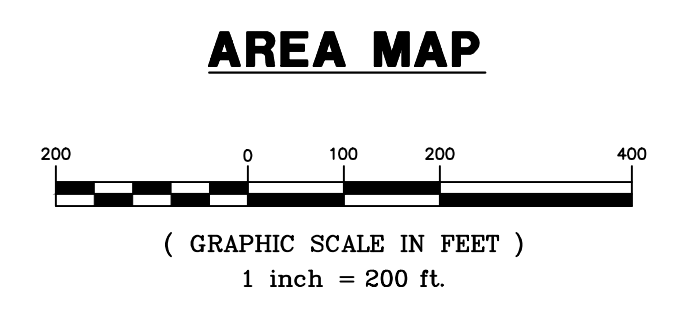
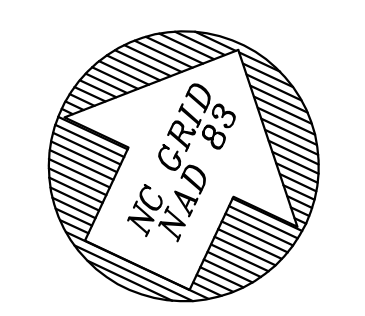
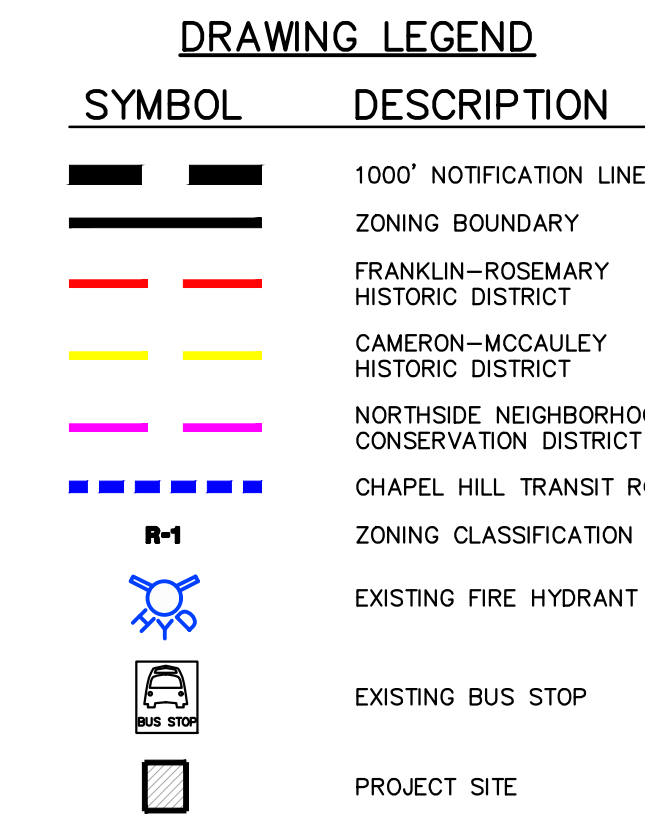
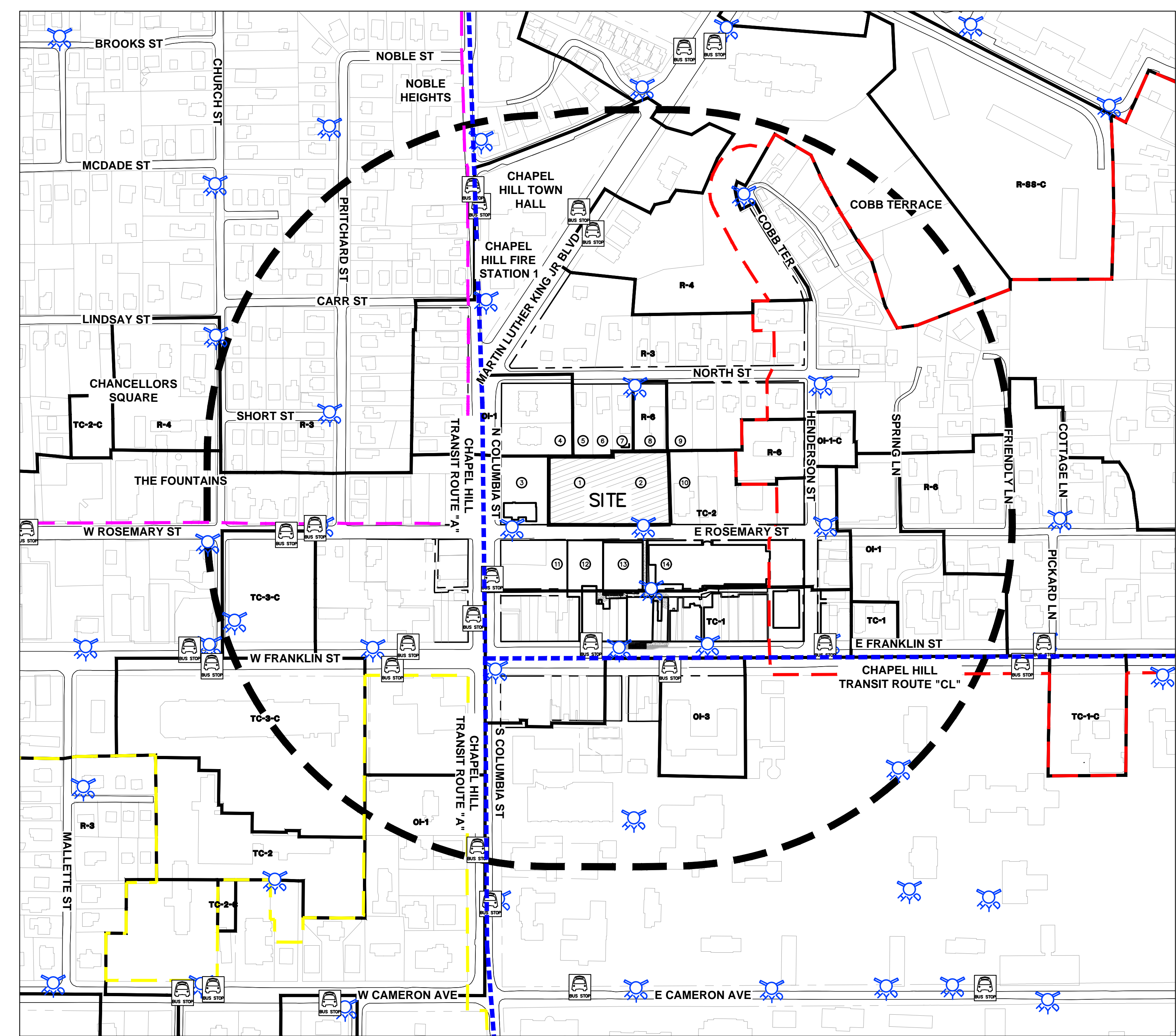


SITE PARCEL DATA

LABEL #	OWNER	PIN #	ZONING	DB./PG.	PARCEL ACREAGE	CURRENT LAND USE
1	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-4748	TC-2	6603/282	0.87	PARKING LOT
2	INVESTORS TITLE COMPANY	9788-37-6817	TC-2	778/87	0.81	PARKING LOT

ADJOINER PARCEL DATA

LABEL #	OWNER(S)	PIN #	ZONING	CURRENT LAND USE
3	CENTURA BANK	9788-37-2791	TC-2	BANK
4	BELL FAMILY PROPERTIES LLC	9788-37-2875	OI-1	OFFICE
5	SHARON M KIRK & WILLIAM E KIRK	9788-37-3947	R-3	RESIDENTIAL
6	SHARON M KIRK & WILLIAM E KIRK	9788-37-4909	R-3	RESIDENTIAL
7	CIDER 5 LLC	9788-38-4062	R-3	RESIDENTIAL
8	ZETA TAU ALPHA FRATERNITY HOUSING CORPORATION	9788-38-5035	R-6	FRATERNITY DWELLING
9	126 NORTH ST UNIT B & 126 NORTH ST UNIT A	9788-38-6019	R-3	RESIDENTIAL
10	BRANCH BANKING AND TRUST CO	9788-37-7911	TC-2	COLLEGE
11	TOWN OF CHAPEL HILL	9788-37-4469	TC-2	PARKING LOT
12	TOWN OF CHAPEL HILL	9788-37-5557	TC-2	PARKING LOT
13	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-7517	TC-2	OFFICE
14	MKELL PROPERTIES LLC	9788-37-5461	TC-1	PARKING LOT



REVIEW DRAWING NOT FOR CONSTRUCTION

DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3

ISSUED

OWNER INFORMATION
 DBBB PROPERTIES, INC.
 4500 CAMERON VALLEY PKWY.
 SUITE 350
 CHARLOTTE, NC 28211
 OWNER'S REPRESENTATIVE:
 JOE DYE
 (919) 388-5774
 FAX (919) 461-3939
 EMAIL jodye@dbbb.com

JOB #: 118038.01
 DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: J.B.M.
 REVIEWED BY: G.J.R.

SHEET C0001

ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
 CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

DEMOLITION NOTES

- PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE NORTH CAROLINA 811 (1-800-832-4849) LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED. AND IF SO, CONTRACTOR SHALL PROVIDE ASBESTOS REMEDIATION IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
- ANY EXISTING WATER AND SEWER SERVICES AND CLEANOUTS TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH OWASA REQUIREMENTS.
- ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVICING THE STRUCTURE TO BE DEMOLISHED SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S STANDARDS & SPECIFICATIONS.
- PRIOR TO ANY LAND DISTURBANCE, DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH:
 - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
 - TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-5114
 - TOWN OF CHAPEL HILL STORMWATER DIVISION: (919) 969-7246

- ORANGE COUNTY SOLID WASTE STAFF: (919) 968-2788
 - ORANGE COUNTY EROSION CONTROL OFFICER: (919) 245-2587
- IN ALL AREAS WHERE IMPERVIOUS COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PERVIOUS COVER, THE FOLLOWING STEPS SHALL BE TAKEN:
 - REMOVE ALL ASPHALT CONCRETE, BEDDING MATERIALS, GRAVEL, DEBRIS, BUILDING MATERIALS, ETC.
 - RIP AND KERATE TO A DEPTH OF 18 INCHES BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED. IN THAT CASE, LIMIT RIPPING TO A DEPTH OF 6".
 - PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.
 - DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
 - DURING CONSTRUCTION, FIREFIGHTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

TREE PROTECTION NOTES

- TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND INSPECTED BY THE TOWN PRIOR TO ANY DEMOLITION ACTIVITY OR LAND DISTURBANCE.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES SHALL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

OCSW CONSTRUCTION WASTE REQUIREMENTS

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

NOTES

- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEYS PERFORMED BY BALLENTINE ASSOCIATES, KCI ASSOCIATES AND ORANGE COUNTY GIS DATA.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-832-4849). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL STEEP SLOPES AREAS ARE EITHER LESS THAN 400 SQ FT OR ARE ASSOCIATED WITH ROADWAY, PARKING LOTS OR DRIVEWAYS WHICH ARE EXCLUDED FROM ANY SPECIAL CONSTRUCTION TECHNIQUES.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
SD	SD	SD	STORM DRAIN LINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
UE	UE	UE	UNDERGROUND ELECTRIC LINE
OHU	OHU	OHU	OVERHEAD ELECTRIC LINE
G	G	G	GAS LINE
FO	FO	FO	FIBER OPTIC LINE
---	---	---	TREE PROTECTION FENCE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	SOIL BOUNDARY
AuC			APPLING-URBAN LAND COMPLEX
Ur			URBAN LAND
○			BORCHOLE
○			EXISTING IRON PIPE
○			SIGN
○			CATCH BASIN
○			DROP INLET
○			WATER VALVE
○			FIRE HYDRANT
○			SANITARY SEWER MANHOLE
○			SANITARY SEWER CLEANOUT
○			POWER POLE
○			LIGHT POLE
○			ELECTRIC BOX
○			HVAC UNIT
○			GAS METER
○			GAS VALVE
○			TELEPHONE VAULT
○			FIBER OPTIC MARKER
○			DECIDUOUS TREE
○			CONIFEROUS TREE
○			PAVEMENT/STRUCTURES
○			CONCRETE SIDEWALK
○			BRICK SIDEWALK

TREE SUMMARY

	RARE	SPECIMEN	TOTAL
EXISTING TREES	3	3	6
TREES TO BE REMOVED	2	3	5

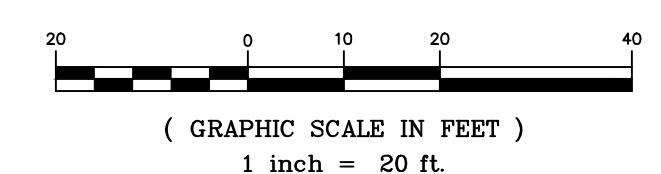
TREE LEGEND:

- RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN DECIDUOUS TREE TO BE REMOVED
- RARE CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN CONIFEROUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPECIMEN CONIFEROUS TREE TO BE REMOVED

BORHOLES

BH #	DESCRIPTION	HUB ELEV.	TOP ELEV. OF UTILITY
#1	6" DIP WDM	465.83	459.87
#2	2" WSIGM	466.23	464.28
#3	36"X18" CONC. DUCT BANK	466.29	465.22
#4	6" CIPWDM	466.07	462.73
#5	18"X18" DUCT BANK	467.43	463.44
#6	1" COPPER WATER	467.15	464.34
#7	36"X18" CONC. DUCT BANK	467.11	464.91
#7A	ELECTELE	466.98	464.78
#8	3" WSIGM	467.34	465.16
#9	6" CIPWDM	467.48	463.67
#10	12" ACWDM	467.25	461.79
#11	3" WSIGM	465.21	463.09
#12	36"X18" CONC. DUCT BANK	465.27	463.93
#13	36"X18" CONC. DUCT BANK	464.95	462.96

EXISTING CONDITIONS, LANDSCAPE PROTECTION & DEMOLITION PLAN



REVISIONS

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 928-0461

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REVISIONS

DATE	DESCRIPTION
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS

ISSUED

DATE	CONDITIONAL ZONING SUBMITTAL #1	CONDITIONAL ZONING SUBMITTAL #2	CONDITIONAL ZONING SUBMITTAL #3
02 MAR 20			
08 APR 20			
22 MAY 20			

OWNER INFORMATION
B2B8 PROPERTIES, INC.
4500 CAMERON VALLEY PKWY.
SUITE 350
CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
JOE DYE
(919) 388-5774
FAX (919) 461-3939
joe.dye@b2b8properties.com

ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

JOB # 118038.01
DATE: 02 MAR 20
SCALE: AS NOTED
DRAWN BY: J.B.M.
REVIEWED BY: G.J.R.

SHEET
C0101

NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATION.
2. THE TOWN OF CHAPEL HILL, ITS' ASSIGNS OR ORANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAVEMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
3. PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
4. ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY WILL BE INSTALLED USING A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 125 MILS.
5. ALL WALKWAYS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.

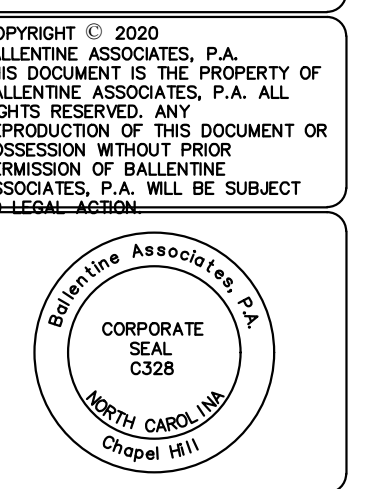
SITE DATA

APPLICANT:		GRUBB PROPERTIES, INC		
PROPERTY OWNER:		FRANKLIN OFFICE CHAPEL HILL, LLC & INVESTORS TITLE COMPANY		
PROPERTY ADDRESS:		125 EAST ROSEMARY STREET, CHAPEL HILL, NC		
PIN NUMBERS:		9788-37-4748 & 9788-37-6917		
DEED REFERENCES:		DB/PG: 6603/282 & 778/87		
EXISTING ZONING:		TC-2		
PROPOSED ZONING:		TC-2-CZ		
BUILDING SETBACK SUMMARY:		TC-2-CZ	ADJACENT RESIDENTIAL (R-3)	
MINIMUM STREET SETBACK	0 FT.	N/A	N/A	
MINIMUM INTERIOR SETBACK	0 FT.	N/A	N/A	
MINIMUM SOLAR SETBACK	0 FT.	11 FT.	8 FT.	
PROPOSED SOLAR SETBACK	0 FT.	5 FT.	5 FT.	
EXISTING USE:		PARKING DECK/SURFACE PARKING		
PROPOSED USE:		PARKING DECK/OFFICE		
NET LAND AREA:		73,097 SF (1.68 AC)		
CREDITED STREET AREA:		7,310 SF (0.17 AC)		
GROSS LAND AREA:		80,407 SF (1.85 AC)		
VEHICLE PARKING SUMMARY:		REGULAR	ACCESSIBLE	TOTAL
REQUIRED	N/A	22 (INCL. 4 VAN)	N/A	
PROPOSED	1,076	28 (INCL. 4 VAN)	1,104	
BICYCLE PARKING SUMMARY:				
REQUIRED		6 SPACES		
PROPOSED		40 SPACES		
FLOOR AREA SUMMARY:				
MAX. FLOOR AREA	1.97 (FAR) X 80,407 SF (GLA) = 158,402 SF			
PROPOSED FLOOR AREA	6,000 SF (OFFICE & MECHANICAL SPACE, MAX.)			
IMPERVIOUS SUMMARY:				
EXISTING	66,548 SF (1.528 AC)			
POST DEVELOPED - CURRENT SITE PLAN	64,412 SF (1.479 AC)			
POST DEVELOPED - ADDITIONAL ALLOWANCE	1,088 SF (0.025 AC)			
TOTAL POST-DEVELOPED INCLUDING ALLOWANCE	65,500 SF (1.504 AC)			
NET IMPERVIOUS REDUCTION	-1,048 SF (0.024 AC)			
LAND DISTURBANCE SUMMARY:				
ON-SITE	73,000 SF			
OFF-SITE	6,000 SF			
TOTAL	79,000 SF			

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
---	---	SETBACK LINE
---	---	FENCE LINE
---	---	TREE LINE
---	---	EXISTING IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	MAIL BOX
---	---	BOLLARD

BALLENTINE ASSOCIATES, P.A.
 221 PROVIDENCE ROAD,
 CHAPEL HILL, NC 27514
 (919) 928-0461



DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
01 JUN 20	REVISED TREE WELL SPACING

DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

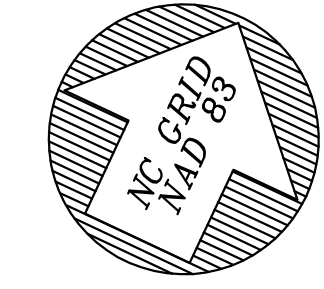
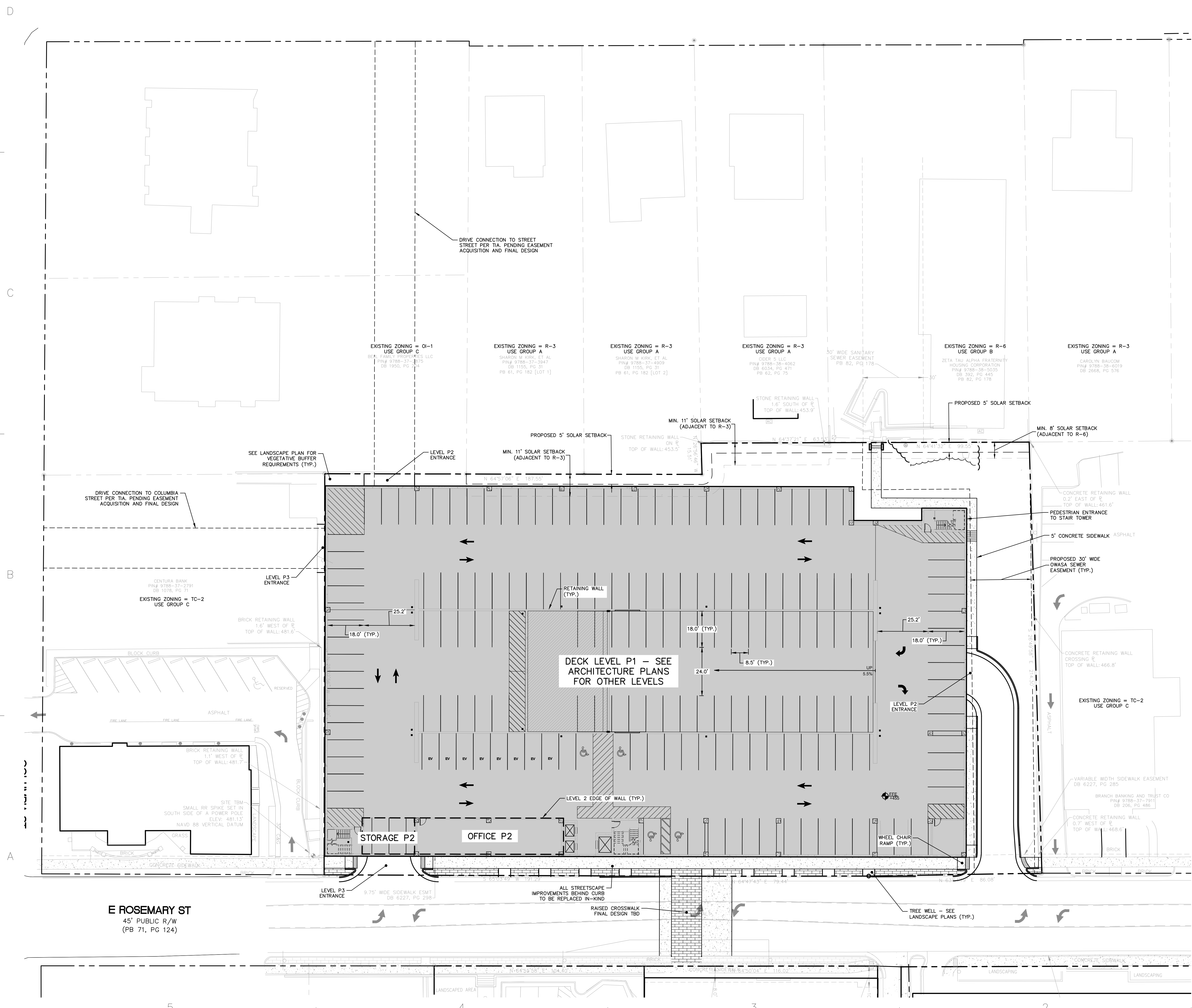
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 CHARLOTTE, NC 28211
 OWNER'S REPRESENTATIVE:
 JOE DYE
 (919) 388-5774
 FAX (919) 461-3939
 EMAIL: jodye@grubbs.com

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22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

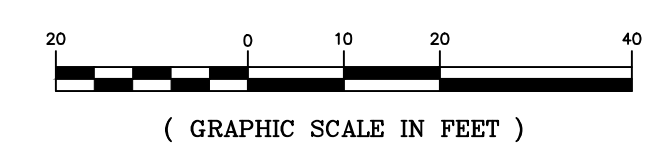
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 DRAWN BY: J.B.M.
 REVIEWED BY: G.J.R.

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SITE PLAN



REVIEW DRAWING
NOT FOR CONSTRUCTION

GRADING AND STORM DRAINAGE NOTES

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE AISLE SHALL SLOPE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- INSTALL 1/8" 30" RCP AND CB TO DIVERT EXISTING 30" RCP. CONNECT TO EXISTING CB WITH 4' LONG SECTION OF 18" RCP. FILL ABANDONED SECTION OF 30" RCP WITH FLOWABLE FILL AND ABANDON IN PLACE.

UTILITY PLAN NOTES

- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS.
- ALL PROPOSED UTILITY LINES SHALL BE LOCATED UNDERGROUND. THIS DOES NOT APPLY TO COMPONENTS THAT ARE REQUIRED TO BE LOCATED ABOVE GROUND SUCH AS BACKFLOW PREVENTERS AND TRANSFORMERS.

DRAWING LEGEND

SYMBOL	ABBREVIATION	DESCRIPTION
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJONER PROPERTY LINE
---	---	EASEMENT LINE
SD	SD	STORM DRAIN LINE
W	W	WATER LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
T	T	TELEPHONE LINE
---	---	LIMITS OF DISTURBANCE
460	460	MAJOR CONTOUR
462	462	MINOR CONTOUR
*	*	EXISTING IRON PIPE
☐	☐	CATCH BASIN
☐	☐	DROP INLET
☐	☐	JUNCTION BOX
☐	☐	WATER VALVE
☐	☐	FIRE DEPARTMENT CONNECTION
☐	☐	FIRE HYDRANT
☐	☐	SANITARY SEWER MANHOLE
☐	☐	SANITARY SEWER CLEANOUT
☐	☐	POWER POLE
☐	☐	LIGHT POLE
☐	☐	ELECTRIC BOX
☐	☐	HVAC UNIT
☐	☐	TELEPHONE PEDESTAL
☐	☐	TELEPHONE VAULT
☐	☐	FIBER OPTIC MARKER

PIPE TABLE

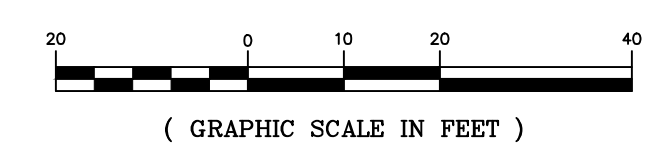
US STR	DS STR	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
EX JB	3	30	EX RCP	460.10	458.92	27	0.0440
DECK	10	36	RCP	448.80	448.60	17	0.0115
EX CB	4	18	RCP	458.30	458.20	6	0.0168
2	EX CB	15	RCP	462.70	460.80	56	0.0341
3	4	36	RCP	458.10	458.00	10	0.0102
4	5	36	RCP	458.00	455.80	84	0.0261
5	6	36	RCP	455.80	455.20	20	0.0301
6	7	36	RCP	455.20	453.20	60	0.0332
7	8	36	RCP	453.20	450.70	93	0.0269
8	9	36	RCP	450.70	449.80	35	0.0254
9	10	36	RCP	449.80	448.60	45	0.0268
10	11	36	RCP	448.60	447.90	30	0.0237
11	12	36	RCP	447.90	446.90	48	0.0210
12	EX DI	30	EX RCP	446.80	440.10	117	0.0571

STRUCTURE TABLE

STR. ID	RIM ELEV. (FT)	STRUCTURE TYPE
EX DI	444.30	DI
DECK	452.63	PIPE END
EX CB	464.80	CB
EX JB	465.00	JB
1	466.40	CB DH
2	466.70	CB
3	465.30	JB
4	465.40	CB
5	466.48	CB
6	466.75	JB
7	464.80	CB
8	463.80	DI
9	459.50	DI
10	459.10	JB
11	455.36	JB
12	454.10	RTM

*RIM ELEV. REFER TO:
 JUNCTION BOX TOP OF MANHOLE COVER
 CATCH BASIN BOT OF CURB/TOP OF GRATE
 DROP INLET/NYLOPLAST TOP OF CASTING/GRATE
 PIPE END INVERT

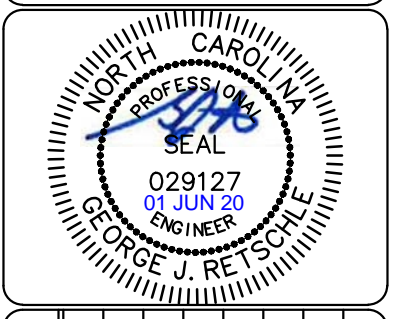
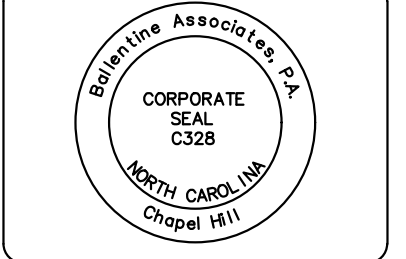
GRADING & UTILITY PLAN



REVISION DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
 221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
 (919) 528-0461

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DATE	REVISIONS
08 APR 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
22 MAY 20	PER TOWN OF CHAPEL HILL REVIEW COMMENTS
01 JUN 20	REVISED TREE WELL SPACING

DATE	ISSUED
02 MAR 20	CONDITIONAL ZONING SUBMITTAL #1
08 APR 20	CONDITIONAL ZONING SUBMITTAL #2
22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3
01 JUN 20	PLANNING COMMISSION MEETING

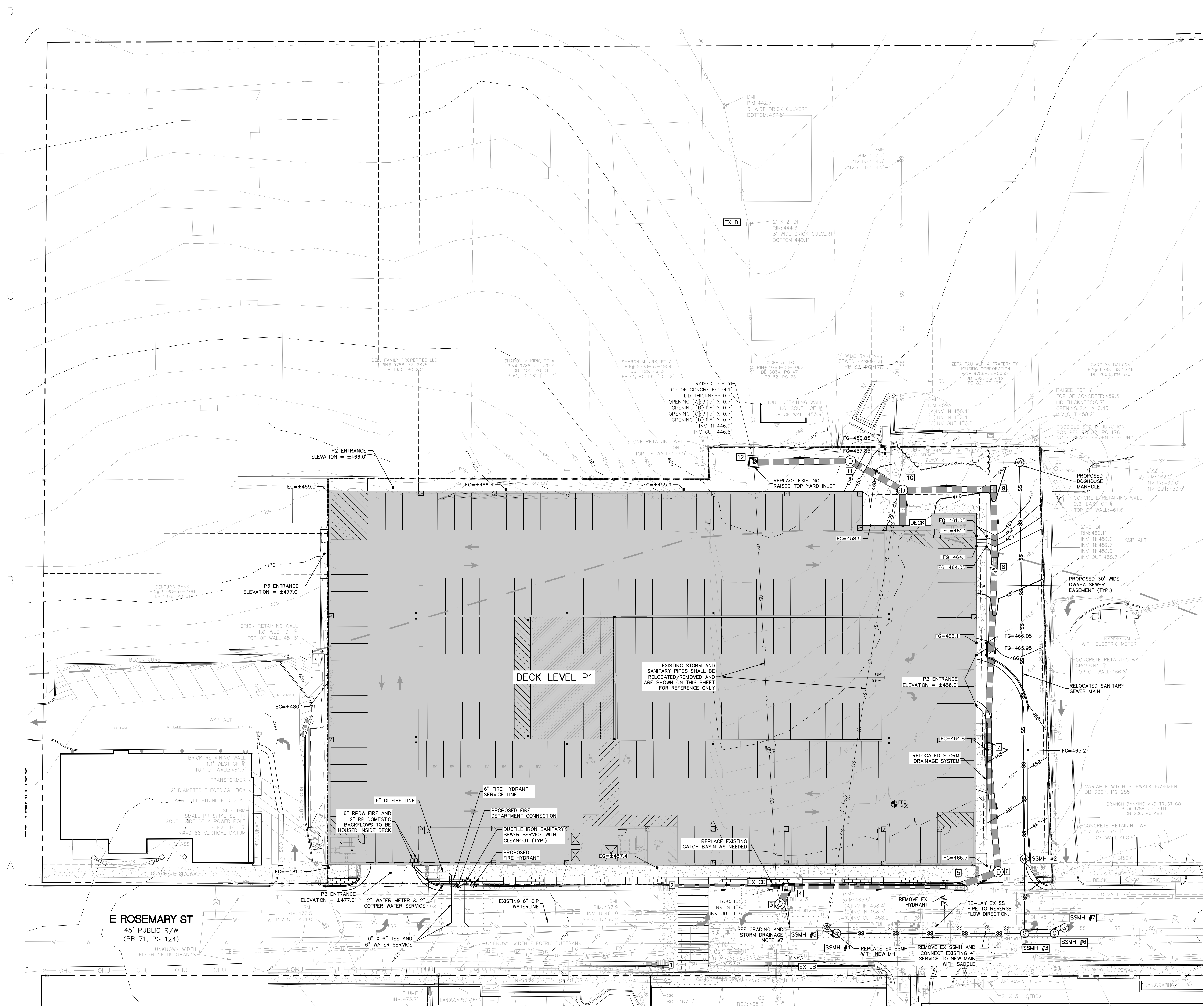
OWNER INFORMATION
 2828B PROPERTIES, INC.
 4500 CAMERON VALLEY PKWY.
 SUITE 350
 CHARLOTTE, NC 28211
 OWNER'S REPRESENTATIVE:
 JOE DYE
 (919) 388-5774
 FAX (919) 461-3939
 EMAIL: joe.dye@2828b.com

ROSEMARY STREET PARKING DECK
 125 E. ROSEMARY ST
 CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

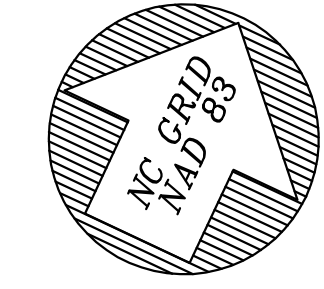
JOB #: 118038.01
 DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: J.B.M.
 REVIEWED BY: G.J.R.

SHEET C1201



E ROSEMARY ST
 45' PUBLIC R/W
 (PB 71, PG 124)

EXISTING STORM AND SANITARY PIPES SHALL BE RELOCATED/REMOVED AND ARE SHOWN ON THIS SHEET FOR REFERENCE ONLY



D

C

B

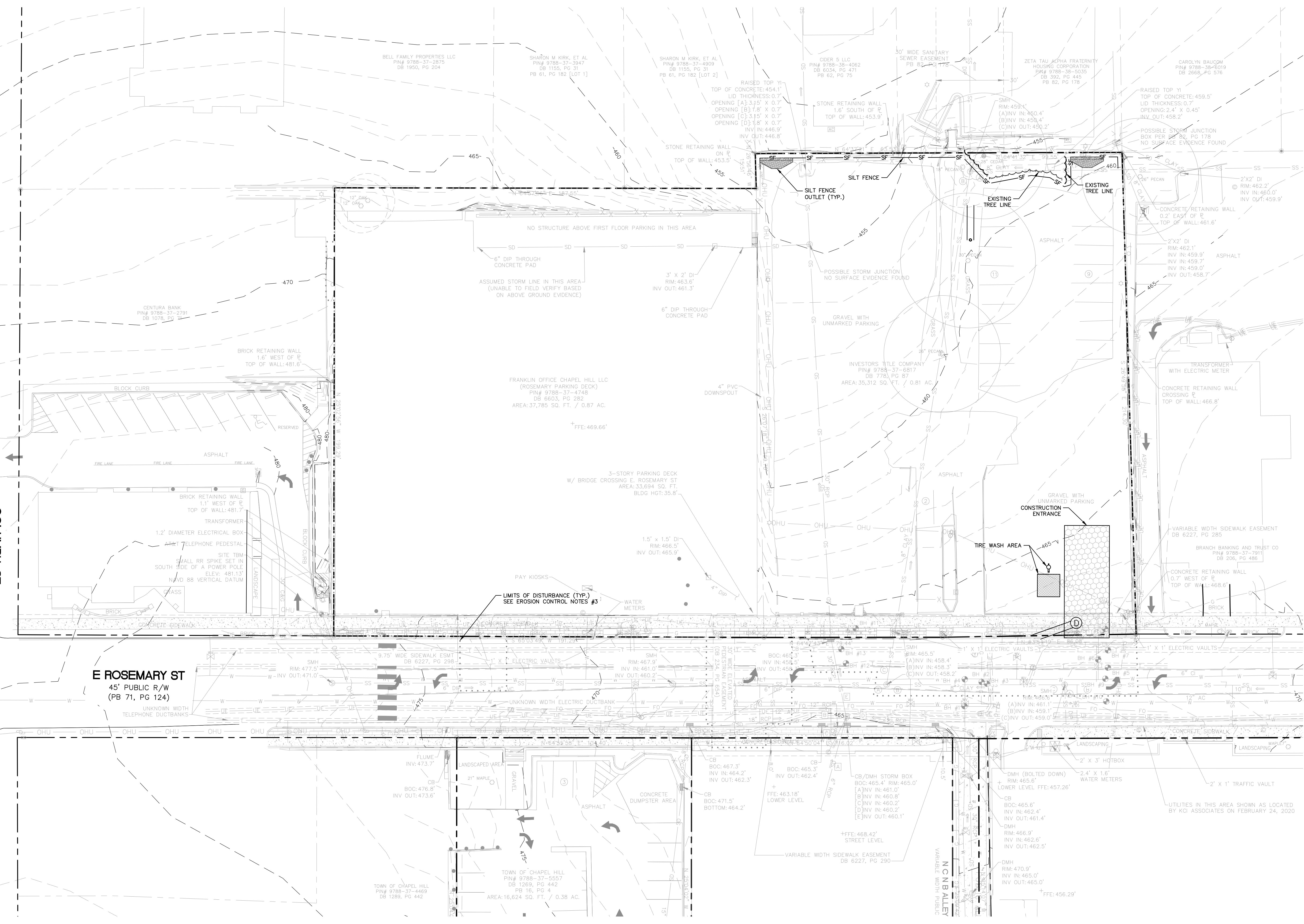
A

D

C

B

A



EROSION CONTROL NOTES

1. THIS PLAN IS SCHEMATIC AND IS INTENDED ONLY TO SHOW THE GENERAL LOCATION OF MAJOR EROSION CONTROL FEATURES TO BE REQUIRED. A DETAILED EROSION CONTROL PLAN MEETING ALL APPLICABLE TOWN OF CHAPEL HILL & ORANGE COUNTY REQUIREMENTS WILL BE SUBMITTED AS PART OF A LAND DISTURBANCE APPLICATION DURING THE ZCP PROCESS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCEOD, ORANGE COUNTY AND TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. TOTAL DISTURBED AREA: 1.80 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.

CONSTRUCTION MANAGEMENT PLAN

1. CONSTRUCTION MANAGEMENT PLAN WILL BE FINALIZED DURING THE ZCP PHASE.
2. CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 3, SECTION 11-40.
3. CONSTRUCTION HOURS SHALL BE FROM 7:00 AM - 9:00 PM ON WEEKDAYS AND 8:00 AM - 9:00 PM ON WEEKENDS PER SECTION 11-40.
4. A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
5. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF SILT ON ADJACENT PAVED ROADWAYS.
6. ALL STORAGE, STAGING, AND PARKING SHALL BE ON-SITE AND CONTAINED WITHIN THE CONSTRUCTION LIMITS. NONE OF THESE ACTIVITIES SHALL OCCUR WITHIN TREE PROTECTION ZONES AT ANY TIME.
7. CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM EAST ROSEMARY STREET.

CONSTRUCTION SEQUENCE

1. CONSTRUCTION SEQUENCE WILL BE PROVIDED DURING ZCP PHASE.

TRAFFIC CONTROL PLAN

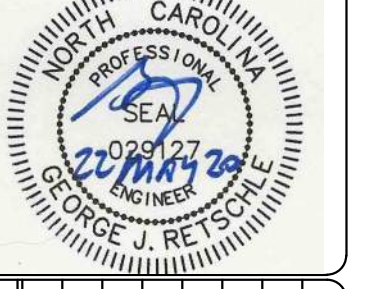
1. TRAFFIC CONTROL PLAN WILL BE PROVIDED DURING ZCP PHASE.

DRAWING LEGEND

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	STORM DRAIN LINE
---	---	WATER LINE
---	---	SANITARY SEWER LINE
---	---	UNDERGROUND ELECTRIC LINE
---	---	OVERHEAD ELECTRIC LINE
---	---	Gas LINE
---	---	FIBER OPTIC LINE
---	---	SILT FENCE
---	---	TREE PROTECTION FENCE
---	---	LIMITS OF DISTURBANCE
---	---	TREE LINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR

BALLENTINE ASSOCIATES, P.A.
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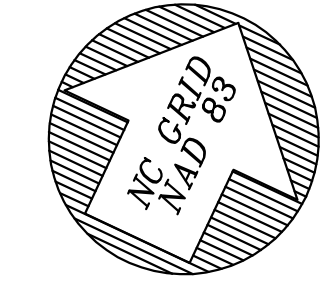
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 4500 CAMERON VALLEY PKWY.
 SUITE 350
 CHARLOTTE, NC 28211
OWNER'S REPRESENTATIVE:
 JOE DYE
 (919) 388-5774
 FAX (919) 461-3939
 email: jodye@2888properties.com

DATE	ISSUED
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22 MAY 20	CONDITIONAL ZONING SUBMITTAL #3

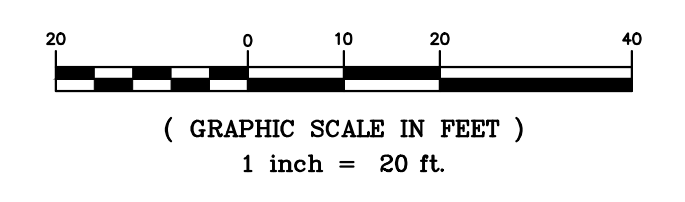
ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
 CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

JOB #: 118038.01
 DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: J.B.M.
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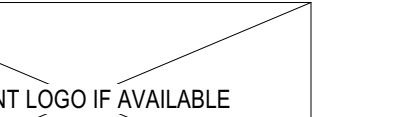
SHEET
C1301



PRELIMINARY EROSION CONTROL PLAN



REVISION DRAWING NOT FOR CONSTRUCTION



MARK	ISSUE	DATE
Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved		

TITLE

GENERAL PLANTING NOTES:

- HATCHES DO NOT REPRESENT SPACING OR SIZING - SEE SCHEDULE FOR PLANT SPECIFICATIONS
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS & DISEASES.
- ALL PLANTS MUST BE CONTAINER-GROWN (CONT.) OR BALLED AND BURLAPPED (B&B) AS INDICATED IN PLANT LIST
- ALL TREES MUST BE STRAIGHT TRUNKED, FULL HEADED, & MEET ALL REQUIREMENTS SPECIFIED
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECT & THE OWNER BEFORE, DURING, & AFTER INSTALLATION
- ALL TREES MUST BE GUYPED OR STAKED AS SHOWN IN THE DETAILS
- ALL PLANTS AND PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED
- PRIOR TO CONSTRUCTION, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES & SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY & ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCUR AS A RESULT OF THE LANDSCAPE CONSTRUCTION
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDED BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC...) OF ALL PLANTING AND LAWN AREAS UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ARCHITECT AND OWNER
- THE LANDSCAPE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE LANDSCAPE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END GUARANTEE PERIOD (AS DIRECTED BY THE OWNER)
- THE ARCHITECT WILL APPROVE THE STAKED LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION

LAYOUT AND MATERIALS NOTES:

- REFER TO CIVIL DRAWINGS FOR EASEMENT INFORMATION
- BASE TOPOGRAPHICAL AND EXISTING CONDITIONS AS SHOWN ON EXISTING CONDITIONS DRAWINGS
- UTILITY WORK IS NOT INDICATED ON THIS DRAWING. REFER TO GRADING AND DRAINAGE AND UTILITY PLANS (CIVIL DRAWINGS)
- DO NOT SCALE THESE DRAWINGS
- DIMENSIONS ARE FROM BACK OF CURB, TO FACE OF WALL, TO OUTSIDE EDGE OF PAVEMENTS FROM COLUMN CENTERLINES TO HARDSCAPE CENTERLINES, TO CENTERLINE OF PAVEMENTS, TO OUTSIDE EDGE OF PAVEMENTS, TO CENTERLINES OF STAIRS; FROM EDGE OF PAVEMENT TO FACE OF WALL
- ALL CURVES TO BE TRUE RADI WITHOUT STRAIGHT SEGMENTS
- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION
- ALL WALLS, COLUMNS, SIDEWALKS, PATHWAYS, FENCES, AND STAIRWAYS SHALL BE COMPLETELY LAID OUT AND STAKED WITH VISIBLE MARKERS. THE STAKES SHALL BE APPROVED IN THE FIELD BY OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE 48 HOURS PRIOR TO SITE VISIT

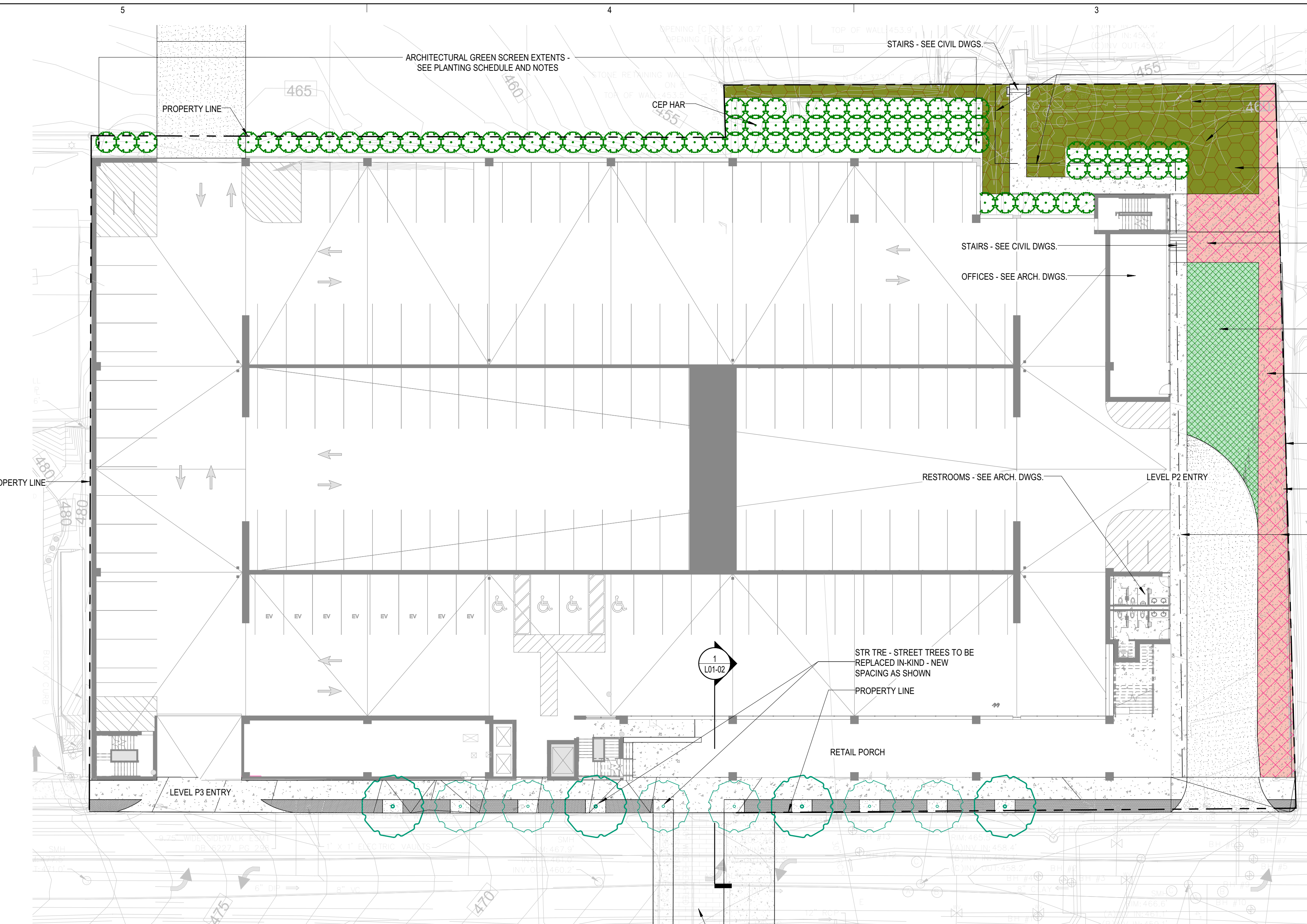
PLANTING SCHEDULE

QTY	CODE	SCIENTIFIC NAME	COMMON NAME	ROOT	HEIGHT	SPREAD	SPACING	COMMENTS
GROUND COVER								
412	CAR FLA	Carex flacca	Blue Sedge	1 GAL	18"	18"	18" OC	FULL, WELL SHAPED
550	DRY ERY	Dryopteris erythrosora	Autumn Fern	1 GAL	2'	2'	18" OC	FULL, WELL SHAPED
SHRUB / GRASS								
87	CEP HAR	Cephalotaxus harringtonia var. druceana	Japanese Plum Yew	3 GAL	6'	6'	6'	FULL, WELL SHAPED
230	PEN ORI	Pennisetum orientale Karley Rose®	Karel Forester Fountain Grass	3 GAL	3'	3'	3'	FULL, WELL SHAPED
TREE								
4	STR TRE LG	Verify and match existing species	Replace to match existing species	B&B	14'	12'	AS SHOWN	FULL, WELL BRANCHED; LIMBED UP 8'
6	STR TRE MED	Verify and match existing species	Replace to match existing species	B&B	10'	6'	AS SHOWN	FULL, WELL BRANCHED; LIMBED UP 8', 15FT MAX
GREEN SCREEN								
		HEDERA HELIX (ENGLISH IVY)						

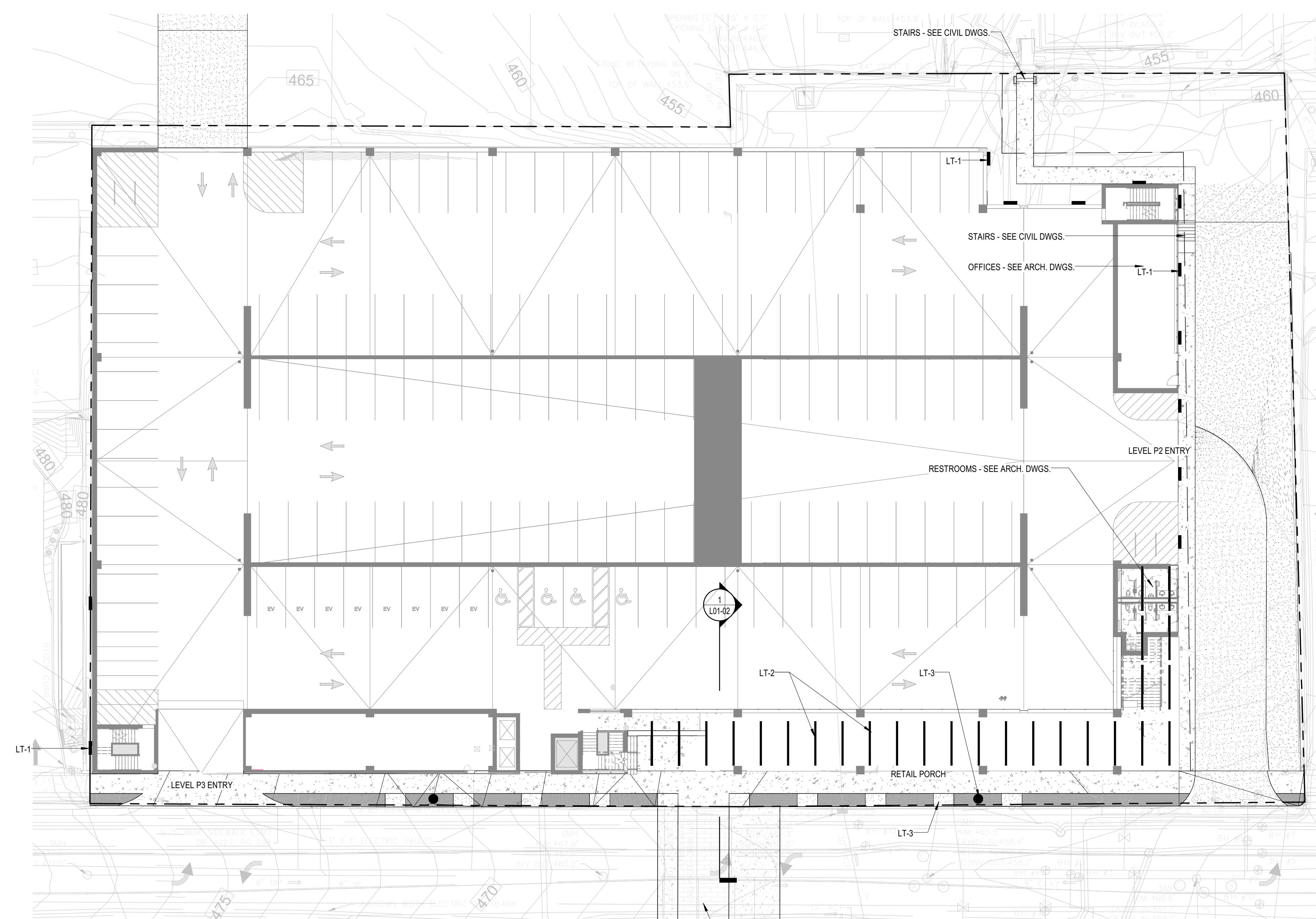
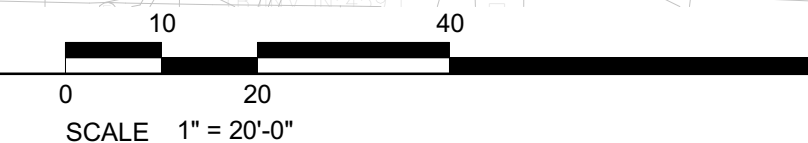
GREEN SCREEN

HEDERA HELIX (ENGLISH IVY)	
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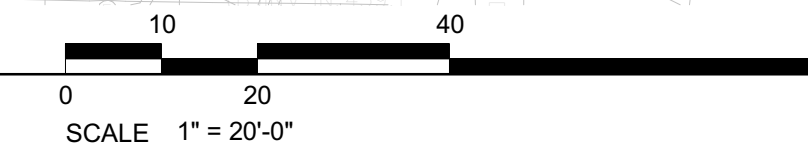
*QUANTITIES TO BE DECIDED



1 LANDSCAPE SITE PLAN
1" = 20'-0"



2 SITE LIGHTING PLAN
1" = 20'-0"



LIGHTING SCHEDULE

KEY	ID	DESCRIPTION	FIXTURE
—	LT-1	WALL MOUNT AREA	HOLM S QUAD 8A FB SLEEVE - BLACK
—	LT-2	SOFFIT RECESSED	2" ARCHITECTURAL RECESSED SLOT LUMINAIRE
●	LT-3	PEDESTRIAN POLE	TOWN OF CHAPEL HILL STANDARD

*SEE L01-02 FOR PRODUCT CUT SHEETS

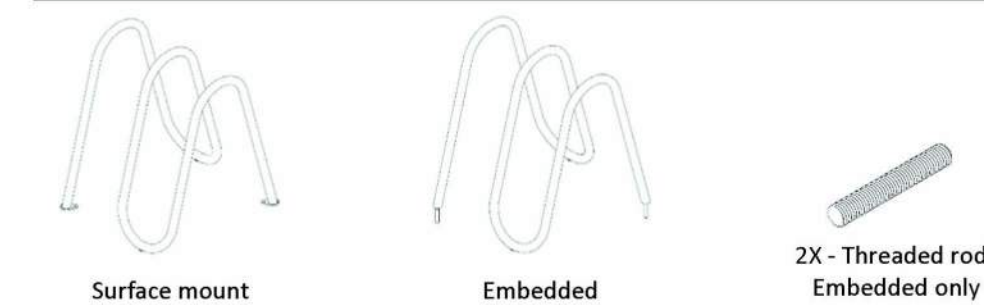
GENERAL LIGHTING NOTES:

- THIS DRAWING IS FOR LAYOUT OF FIXTURES ONLY
- THE DRAWINGS INDICATE DESIGN INTENT ONLY. THEY DO NOT REFLECT AND/OR DEFECT ELECTRICAL DESIGN. THEY ARE NOT INTENDED TO SHOW THE EXACT LOCATION OF ELECTRICAL COMPONENTS, ETC. OR THE ROUTING OF CONDUIT
- NOTIFY THE LANDSCAPE ARCHITECT IN WRITING OF CONDITIONS ENCOUNTERED IN THE FIELD CONTRADICTORY TO THOSE SHOWN ON THE DRAWINGS
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION ACTIVITIES RELATED TO THIS LIGHTING LAYOUT
- THE CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL WORK THAT COMPLIES WITH ALL STATE OF NORTH CAROLINA, ORANGE COUNTY, OTHER LOCAL BUILDING CODES HAVING JURISDICTION, AND THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE
- THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES AND PAY ALL FEES REQUIRED BY LOCAL AUTHORITIES. ARRANGE FOR ALL NECESSARY INSPECTIONS REQUIRED BY THE AUTHORITIES HAVING JURISDICTION AND PROVIDE WRITTEN CERTIFICATES OF APPROVAL TO THE OWNER
- ALL SYSTEMS, EQUIPMENT, COMPONENTS, WORK, ETC. SHALL BE COVERED BY A ONE (1) YEAR GUARANTEE BEGINNING AT THE DATE OF SUBSTANTIAL COMPLETION. THE GUARANTEE SHALL INCLUDE PROVIDING ALL NECESSARY CUTTING, PATCH WORK, REPAINTING, ETC. TO MAKE THE WORK COMPLETE AND NEW
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGES TO EXISTING UTILITIES, STRUCTURES, PAVING, LANDSCAPE MATERIALS AND/OR WORK OF OTHER TRADES RESULTING FROM ELECTRICAL WORK
- SOURCE OF POWER SHALL BE DETERMINED BY OWNER. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ELECTRICAL CONNECTION AND WIRING TO THE SOURCE WITH THE OWNER PRIOR TO CONSTRUCTION AND PRIOR TO ORDERING MATERIALS. ALL MATERIALS USED SHALL BE NEW AND SHALL BE STAMPED WITH THE LABEL OF UNDERWRITERS LABORATORIES, INC. (UL)
- REFER TO LIGHT FIXTURE SCHEDULE FOR FIXTURE TYPE INDICATION (LETTER) AND SYMBOL DESCRIPTION
- CONTRACTOR SHALL PROVIDE AND INSTALL ALL FIXTURES, WIRING TO POWER SOURCE, ELECTRICAL CONNECTION, AND OTHER NECESSARY ELECTRICAL HARDWARE FOR A COMPLETE AND OPERABLE LIGHTING SYSTEM
- PROVIDE AND INSTALL GROUND MOUNTED PULL BOXES EVERY 200 FEET IN HOMERUN CIRCUITS. LOCATIONS SHALL BE COORDINATED WITH OTHER SITE IMPROVEMENTS AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION
- PROVIDE LOOPED SLACK EQUAL TO THREE (3) FEET. IN WIRE RUNS TO LANDSCAPE LIGHTING FIXTURES TO ALLOW FOR ADJUSTMENTS ONCE PLANT MATERIAL IS INSTALLED
- THE CONTRACTOR SHALL MAKE ADJUSTMENTS IN FIXTURE LAYOUT, AIM FIXTURES AND LOCK DOWN ANY ADJUSTING FASTENERS ON FIXTURES SUBJECT TO THE FINAL APPROVAL OF LAYOUT AND AIMING BY THE LANDSCAPE ARCHITECT
- PROTECT ALL EQUIPMENT, COMPONENTS, ETC. DURING CONSTRUCTION FROM DIRT, CHEMICAL AND MECHANICAL DAMAGE, ETC. PROTECT ALL CONDUIT OPENINGS SO THAT NO FOREIGN MATERIAL WILL ENTER THE CONDUIT

5/22/2020 CONDITIONAL ZONING APPLICATION

Flo Bike Rack Installation Guide

Date: September 9, 2016
www.landscapiforms.com Phone: 800.521.2646

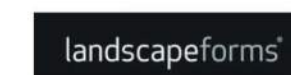
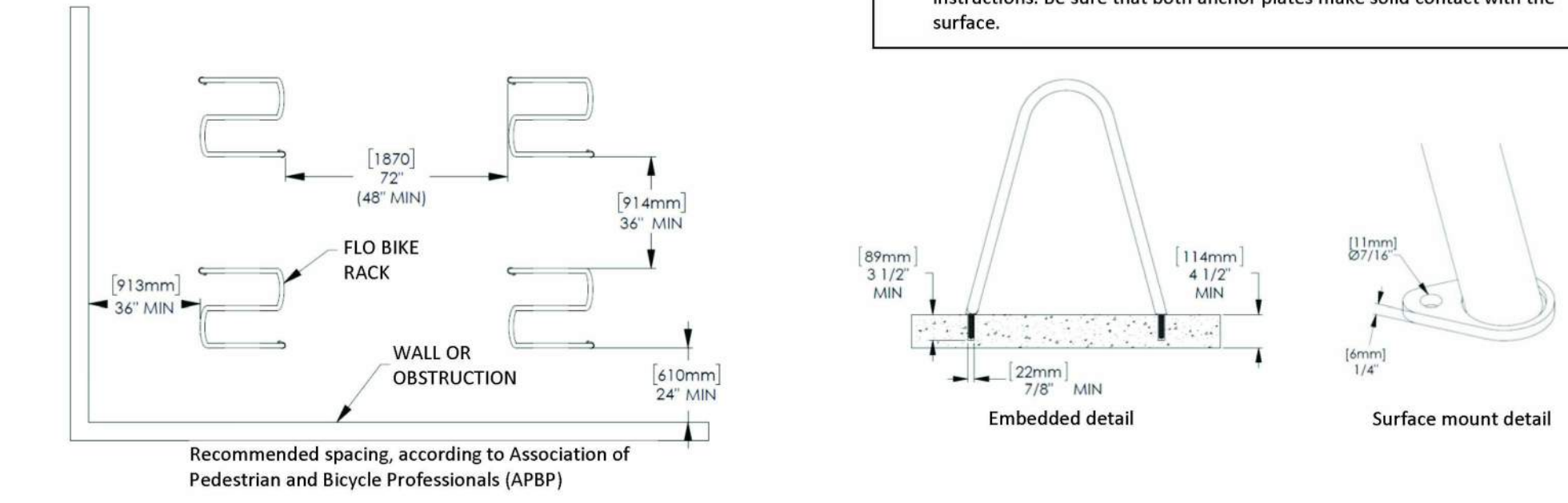


HANDLE WITH CARE! Flo's finish can be scuffed by contact with tools, concrete, or other abrasive surfaces. Protect the finish from damage during installation. Use touch-up paint to repair any powder coat finish abrasions.

- EMBEDDED INSTALLATION:**
1. Install thread patch ends of threaded rods into the bike rack legs.
 2. Set unit in position and mark hole locations.
 3. Move unit and drill 3/8" diameter (minimum) holes 1/2" deep.
 4. Set unit in position to make sure that Nylon flange make contact with the surface. Threaded rods should not be resting on the bottom of the drilled hole.
 5. Move unit. Clear holes of debris.
 6. Fill holes with chemical anchoring adhesive.
 7. Set unit in position.
 8. Wipe away excess adhesive.

- SURFACE MOUNT INSTALLATION:**
1. Set unit in place and mark holes.
 2. Move the unit and drill the holes.
 3. Install the anchors and bike rack according to the anchor manufacturer's instructions. Be sure that both anchor plates make solid contact with the surface.

- Included components:**
- (2) 5/8-11 x 4" threaded rods with Loticite for embedded unit
- Tools required:**
- Surface mount unit ships fully assembled
 - Surface mount option: (2) non-corrosive anchor bolts required per unit, maximum size 3/8" x 2-1/2" to 3" length
 - Hammer drill with masonry bits
 - For embedded mount option: chemical anchoring adhesive (Hilti HIT RE 500 or equivalent)



BIKE RACK



sQuad-8a SPECIFICATIONS

Output	1LED	3LED	6LED	9LED	ZDC
Total Lumens*	66	202	367	398	174
Input Voltage	10.5V-15V	10.5V-15V	10.5V-15V	10.5V-15V	10.5V-15V
Input Power (W)	2.0	4.2	10.1	11.2	9.1
VA	2.4	4.5	13.5	13.5	11.0
Efficacy (Lumens/Watt)	36	52	44	47	33
Color Rendering Index (CRI)	83	80	80	79	82
Center Beam Candle Power**	275	975	2,022	2,276	198
Spot (CFP)	---	---	---	---	---
Dimming	PWM, Phase**	PWM, Phase**	PWM, Phase**	PWM, Phase**	---
RGBW Available	No	No	No	No	Yes
Laser Compatibility	Default	Zoning	Zoning	Zoning	---
ZDC Option	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	Zoning/Dimming	---
ZDC Option	---	---	---	---	Zoning/Dimming/Color
Minimum Rated Life (L70)	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs	50,000 Hrs

sQuad-8a PHOTOMETRICS

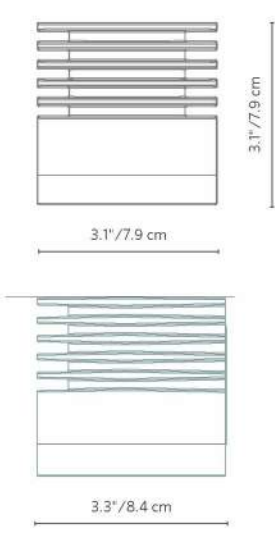
Photometric data tables for sQuad-8a showing beam footcandle and beam width at various distances (2.0m, 4.0m, 6.0m, 8.0m, 10.0m) for different beam configurations.

LED SURFACE-MOUNTED FIXTURES

sQuad-8a

Wall-mounted square geometric down light in 1, 3, 6, or 9 LED. Available in die-cast aluminum. An RGBW version is also available for use with ZDClink systems.

- Quick Facts**
- Die-cast aluminum
 - Two-layer marine-grade anodization and powder coat finish
 - Cowl-Integrated LEDs
 - Tamper resistant features
 - Color temperature filters
 - Compatible with Luxor® technology
 - Phase and PWM dimmable
 - Input voltage: 10-15V



ARCHITECTURAL & LANDSCAPE LIGHTING | hoimlighting.com

A Hunter Industries Company

More product resources available at hoimlighting.com

Customer Service 1-844-200-4555

More product resources available at hoimlighting.com

Item: 00155-sQuad8a-EN 3/16

LT-2



DATE	PROJECT	TYPE	QUANTITY

R-2

- FEATURES**
- 2', 4', & 8' standard — custom lengths available
 - Custom power and mounting options for any application
 - CRI 90+
 - Universal voltage powered with 120-277V AC
 - Lamp Location Rated
 - 5-year warranty

APPLICATIONS Offices, Corridors, Hospitality, Lobbies
CONSTRUCTION Extruded Aluminum Housing, Steel Gear Tray, FINISH White powder coated standard, custom RAL available Acrylic Lens

ORDERING

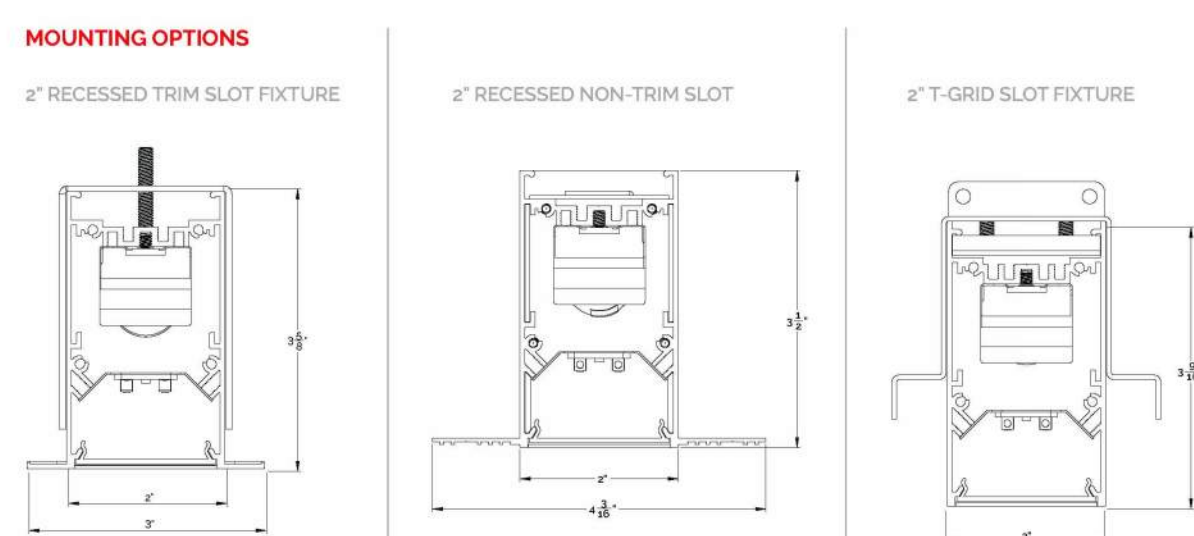
PRODUCT	POWER	LENGTH	LED COLOR	CONTROL	FINISH	OPTICS	SENSOR	EM PACK
R-2	20W	2' / 24"	3000K	None	Standard	Standard	None	None
R-2	40W	4' / 48"	3000K	None	Standard	Standard	None	None
R-2	80W	8' / 96"	3000K	None	Standard	Standard	None	None

RATINGS & CERTIFICATION

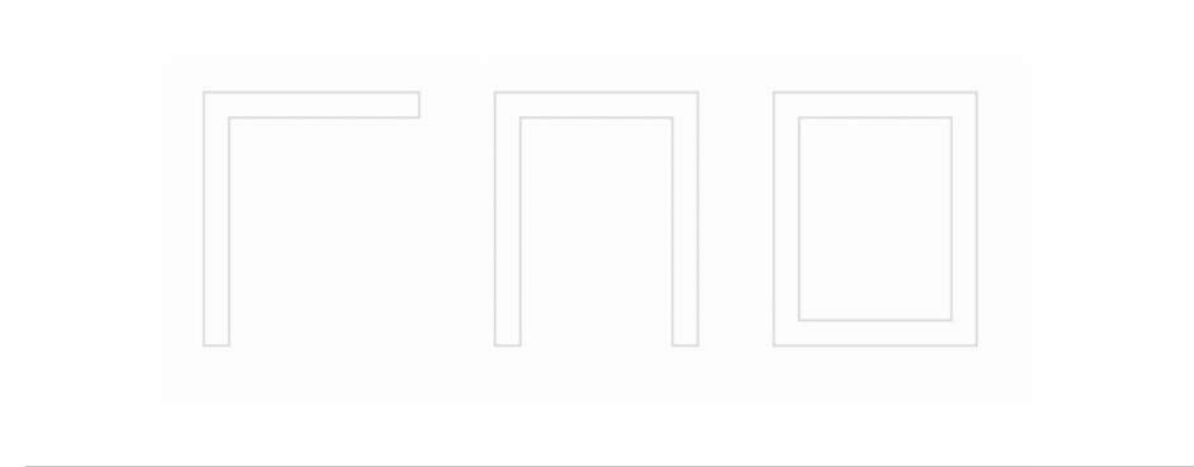
- cETLus Listed
- Made in the USA
- Lamp Location Rated
- Average rated LED life of 50,000 hours @ 70% lumen output

WARRANTY 5 Year warranty

LT-1



CORNERS



PHOTOMETRY

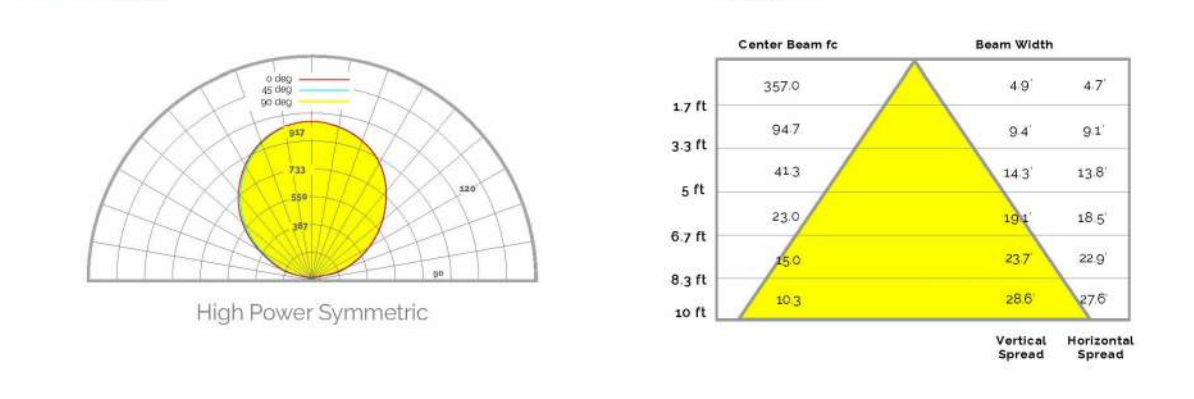
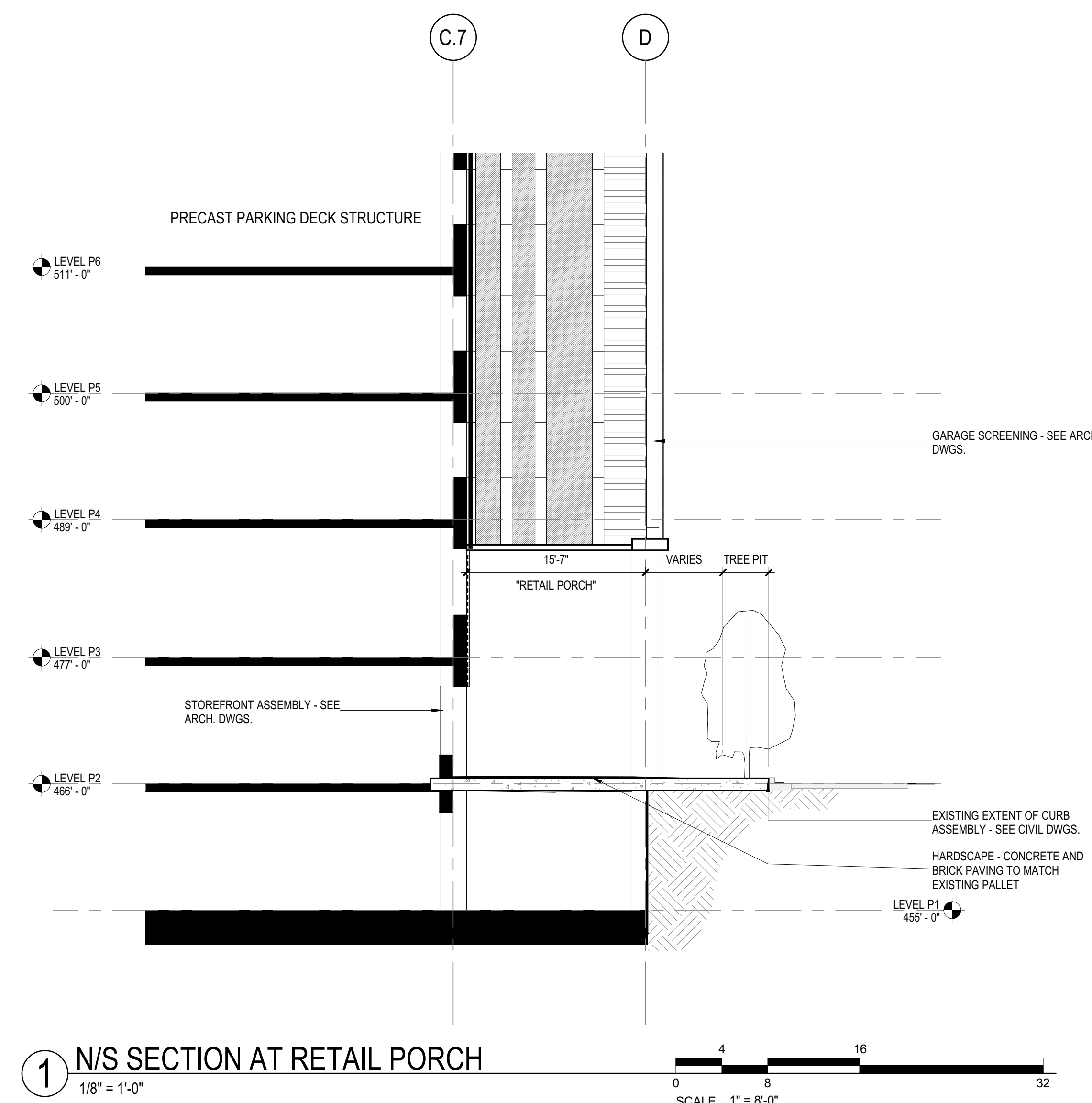


IMAGE SHOWN FOR REFERENCE ONLY - REPLACE LIGHT FIXTURES ALONG ROSEMARY STREET IN-KIND

LT-3



1 N/S SECTION AT RETAIL PORCH
1/8" = 1'-0"

SCALE 1" = 8'-0"

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Durham, North Carolina 27701
1-919-433-5300
perkinswill.com

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STRUCTURAL
NV5
6750 Tryon Road, Cary, NC 27526

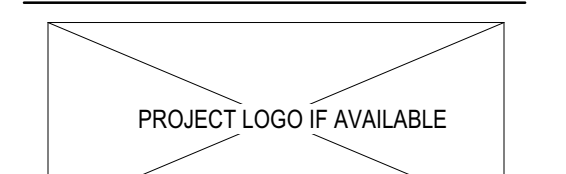
MEP
NV5
6750 Tryon Road, Cary, NC 27526

LANDSCAPING
PERKINS & WILL
411 W Chapel Hill St Suite 200, Durham, NC 27701

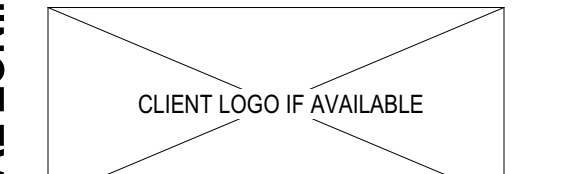
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GRUBB PROPERTIES
4601 Park Road Suite 450, Charlotte, NC 28209

CONTRACTOR
SAMET Corporation
5420 Wade Park Boulevard, Suite 104, Raleigh, NC 27607

PROJECT



126 E ROSEMARY ST
PARKING DECK



KEYPLAN

ISSUE CHART

MARK	ISSUE	DATE
Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

SITE DETAILS

SHEET NUMBER
L01-02

FLOOR PLAN GENERAL NOTES

- PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
- PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES *CODE COMPLIANCE PLANS* FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

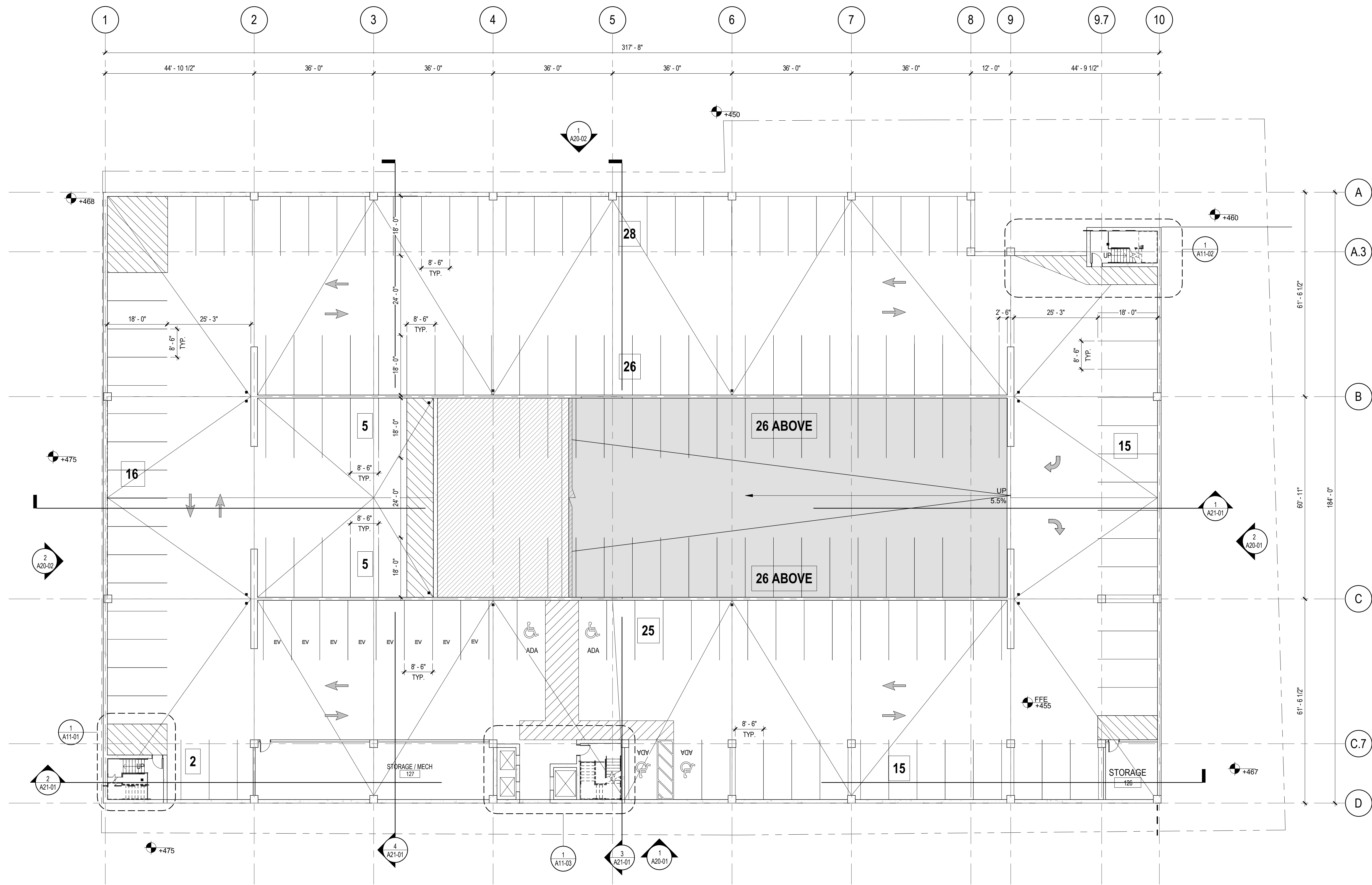
FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

FLOOR PLAN NOTES BY NUMBER

LEVEL P1 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P1	ACCESSIBLE SPACE (STD)	4
LEVEL P1	ELECTRIC VEHICLE SPACE	8
LEVEL P1	STANDARD SPACE	124
		136

BUILDING PARKING SCHEDULE	
	Count
ACCESSIBLE SPACE (STD)	24
ACCESSIBLE SPACE (VAN)	4
ELECTRIC VEHICLE SPACE	56
STANDARD SPACE	1030
	1104



1 PLAN - LEVEL - P1 - 136 SPACES
1/16" = 1'-0"

**FLOOR PLAN
GENERAL NOTES**

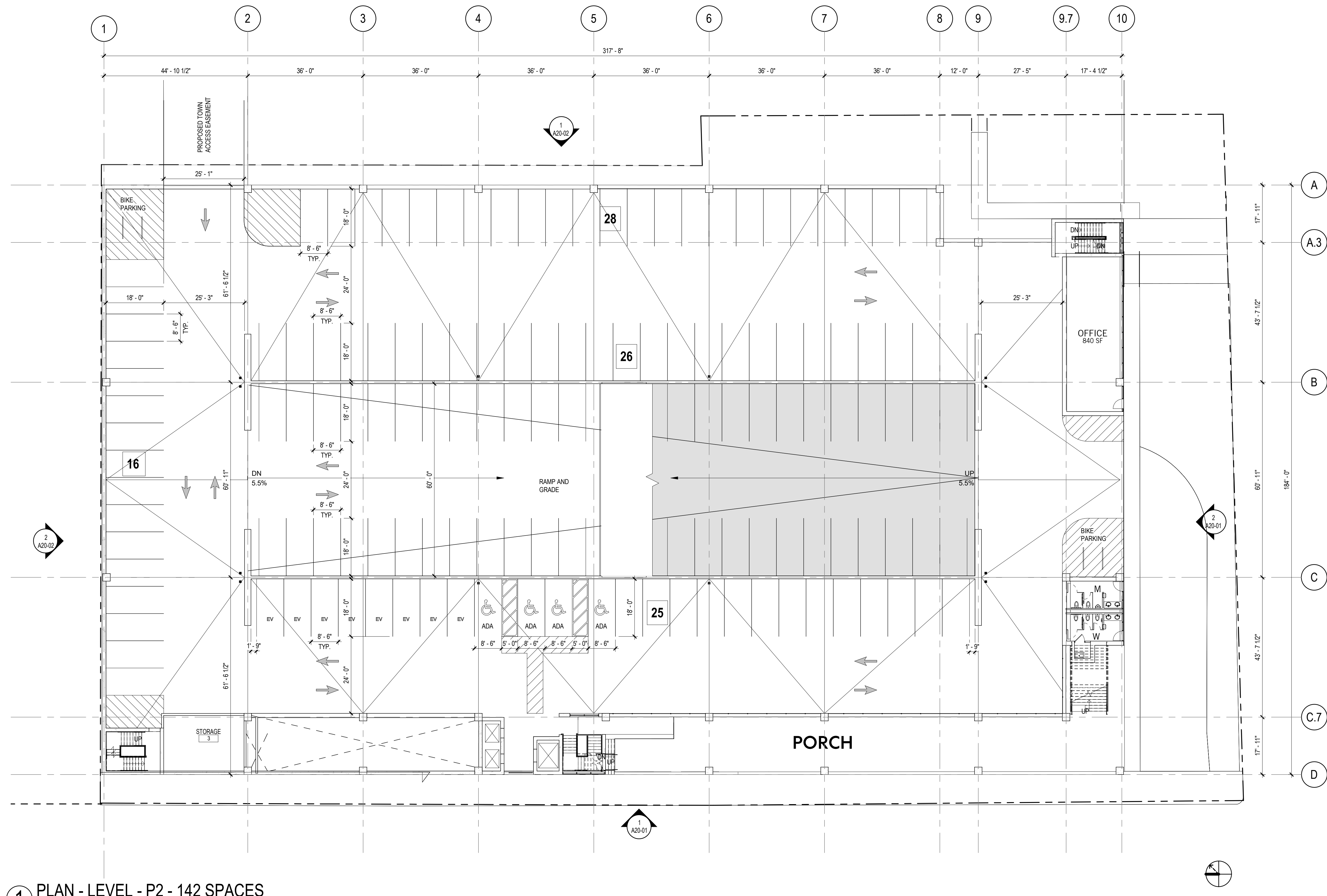
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3. REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
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FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN
NOTES BY NUMBER**

LEVEL P2 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P2	ACCESSIBLE SPACE (STD)	4
LEVEL P2	ELECTRIC VEHICLE SPACE	6
LEVEL P2	STANDARD SPACE	130
		142



1 PLAN - LEVEL - P2 - 142 SPACES
1/16" = 1'-0"

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Drawn	Author	
Checked	Checker	
Approved	Approver	
TITLE		

**OVERALL FLOOR
PLAN - LEVEL P2**

SHEET NUMBER

A10-02

FOR REFERENCE ONLY

FLOOR PLAN GENERAL NOTES

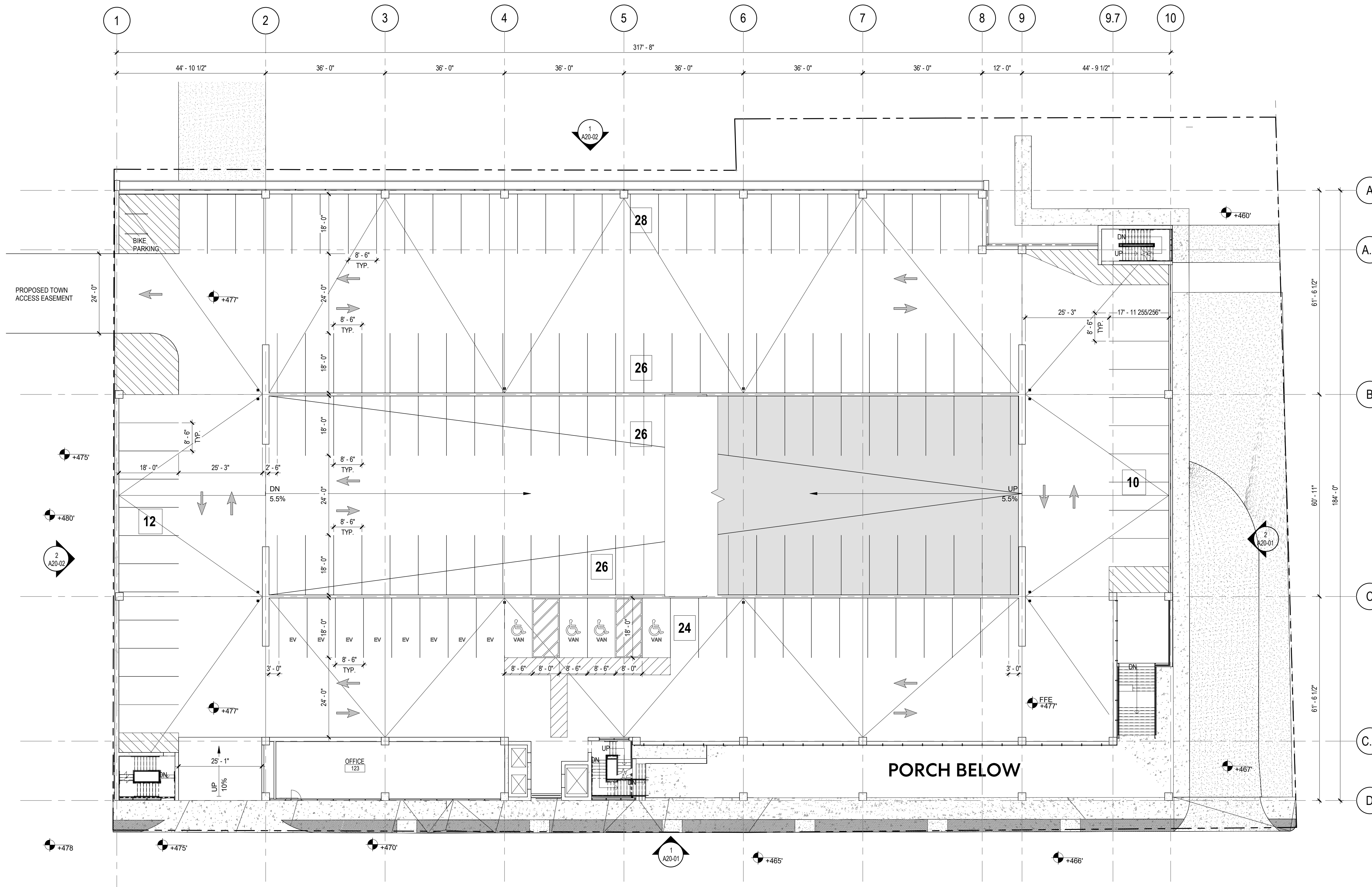
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- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- EXTERIOR GLAZING SYSTEM TAG REF: A33-0X SERIES FOR SCHEDULE
- INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

FLOOR PLAN NOTES BY NUMBER

LEVEL P3 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P3	ACCESSIBLE SPACE (VAN)	4
LEVEL P3	ELECTRIC VEHICLE SPACE	8
LEVEL P3	STANDARD SPACE	140
		152



1 LEVEL P3 - 152 SPACES
1/16" = 1'-0"

5/22/2020 - CONDITIONAL ZONING APPLICATION

FLOOR PLAN GENERAL NOTES

- PROPOSED OCCUPIED OFFICE, MECHANICAL AND RESTROOM SPACES SHALL NOT EXCEED 6,000SF TOTAL.
- PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES *CODE COMPLIANCE PLANS* FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
- (ALPHA) EXTERIOR GLAZING SYSTEM TAG REF: A53-0X SERIES FOR SCHEDULE
- (NUMERICAL) INTERIOR GLAZING REFER: A63-0X SERIES FOR SCHEDULE
- 301A DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- A11 PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FD FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

FLOOR PLAN NOTES BY NUMBER

LEVEL P4 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P4	ACCESSIBLE SPACE (STD)	4
LEVEL P4	ELECTRIC VEHICLE SPACE	8
LEVEL P4	STANDARD SPACE	173
		185

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Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

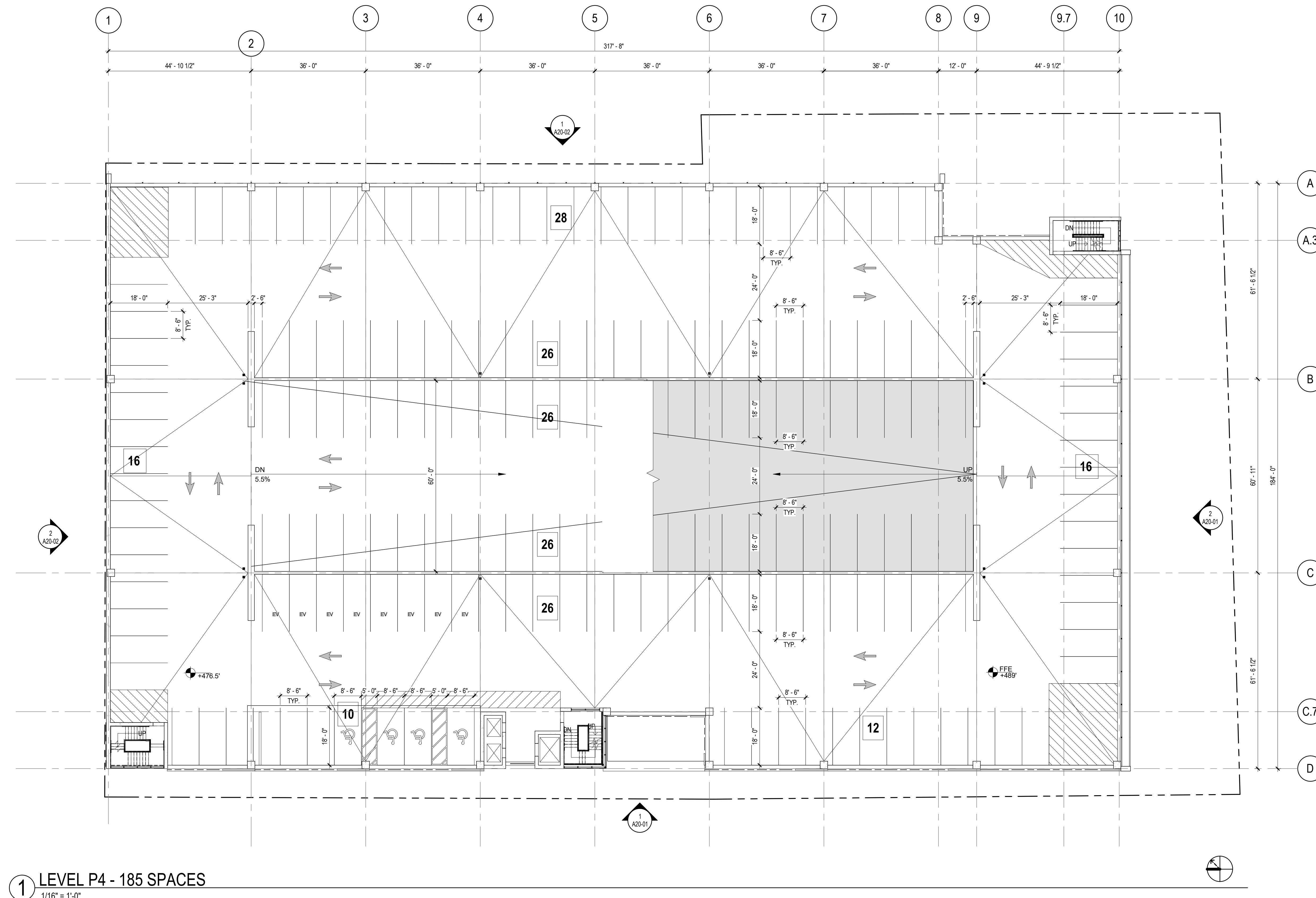
OVERALL FLOOR PLAN - LEVEL P4

SHEET NUMBER

A10-04

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1 LEVEL P4 - 185 SPACES
1/16" = 1'-0"

FLOOR PLAN GENERAL NOTES

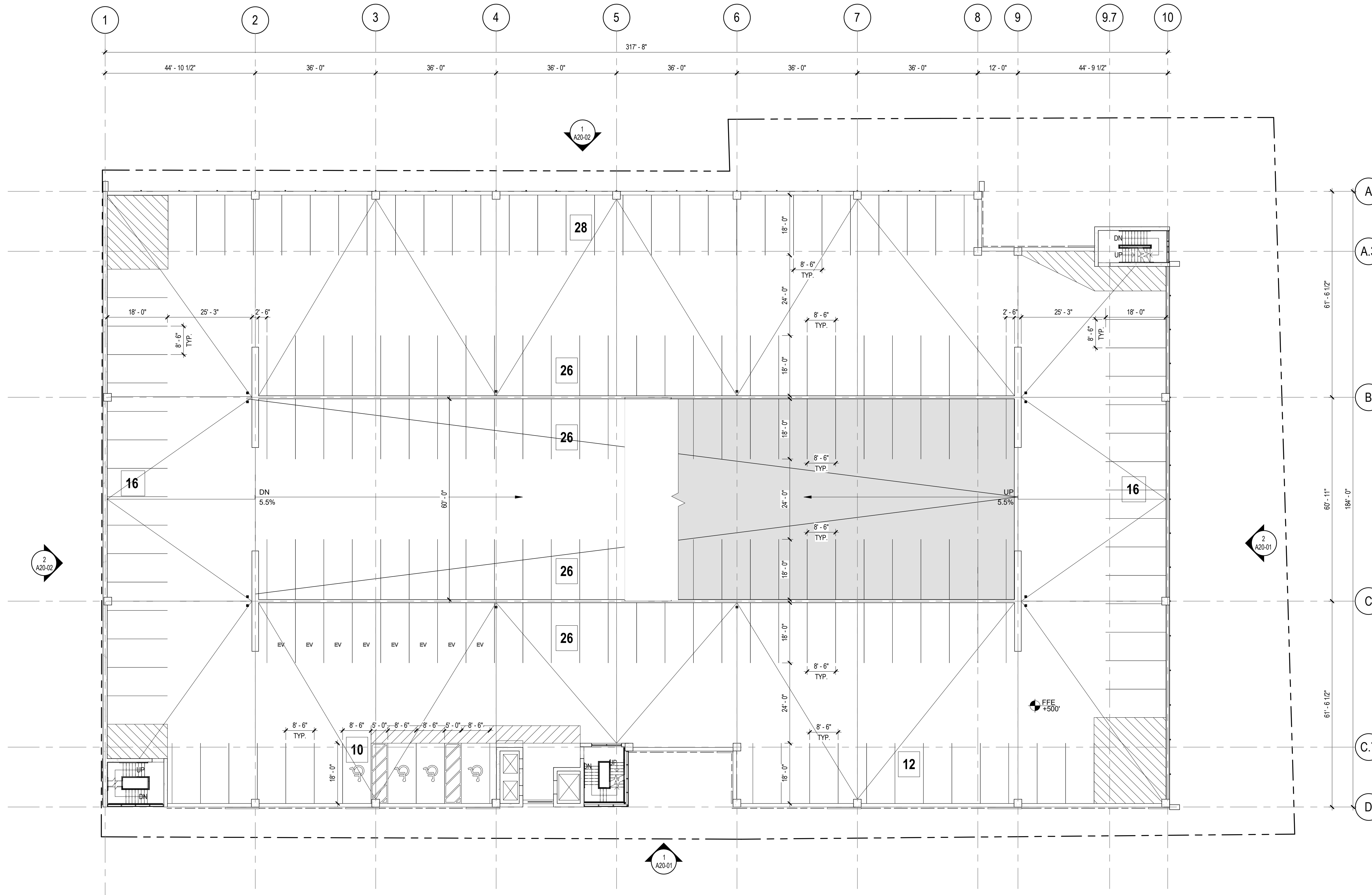
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4. REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
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- 301A DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- A11 PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FD FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

FLOOR PLAN NOTES BY NUMBER

LEVEL P5 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P5	ACCESSIBLE SPACE (STD)	4
LEVEL P5	ELECTRIC VEHICLE SPACE	8
LEVEL P5	STANDARD SPACE	173
		185



1 LEVEL P5 - 185 SPACES
1/16" = 1'-0"

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Approved	TITLE	

OVERALL FLOOR PLAN - LEVEL P5

SHEET NUMBER

A10-05

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FLOOR PLAN GENERAL NOTES

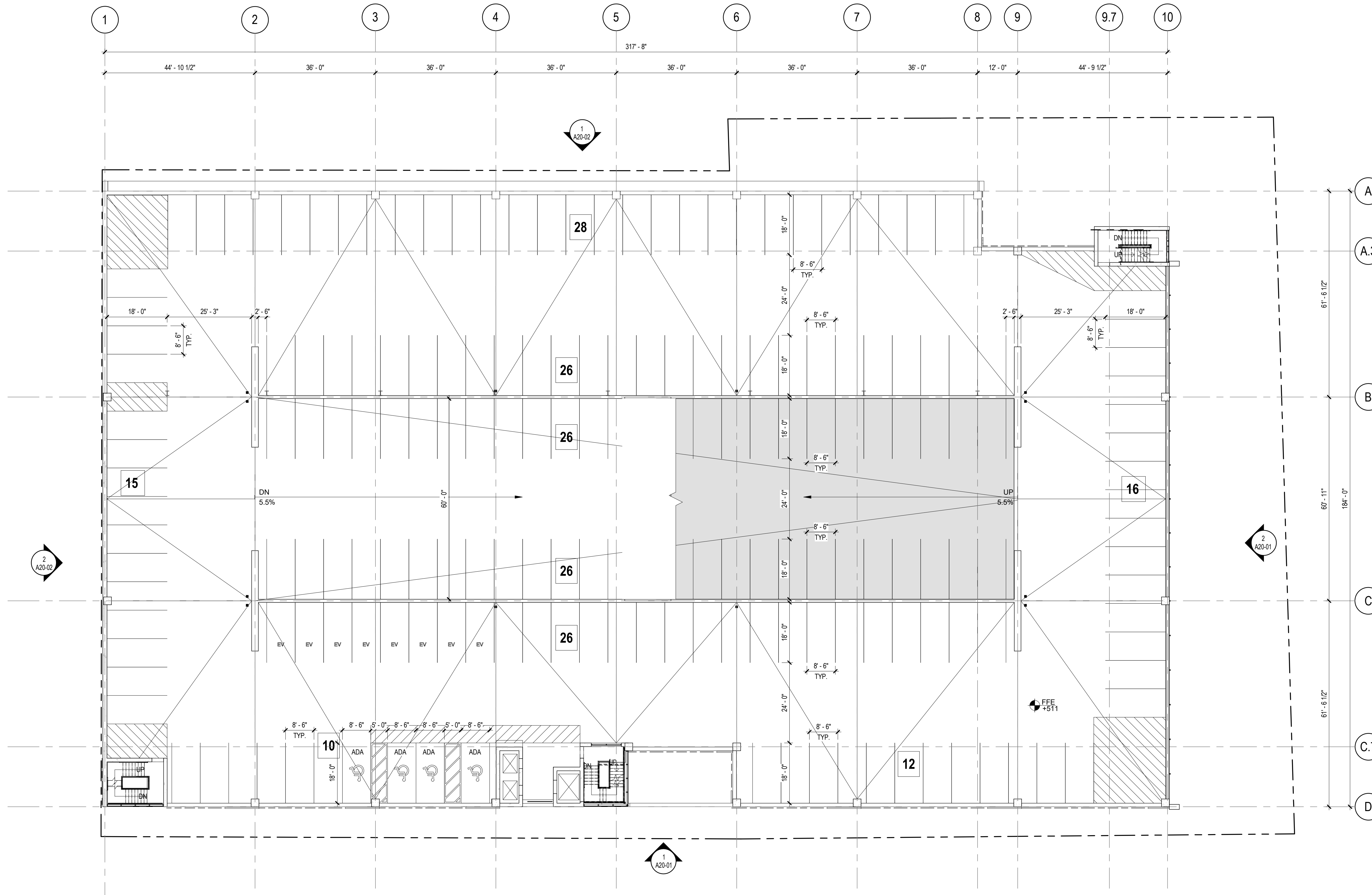
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- REFER TO SHEET A00-01 FOR ADDITIONAL GENERAL NOTES.
- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
- BUILDING SECTION TAG
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- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

FLOOR PLAN NOTES BY NUMBER

LEVEL P6 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P6	ACCESSIBLE SPACE (STD)	4
LEVEL P6	ELECTRIC VEHICLE SPACE	8
LEVEL P6	STANDARD SPACE	172
		184



1 LEVEL P6 - 184 SPACES
1/16" = 1'-0"

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Approved	TITLE	

OVERALL FLOOR PLAN - LEVEL P6

SHEET NUMBER

A10-06

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**FLOOR PLAN
GENERAL NOTES**

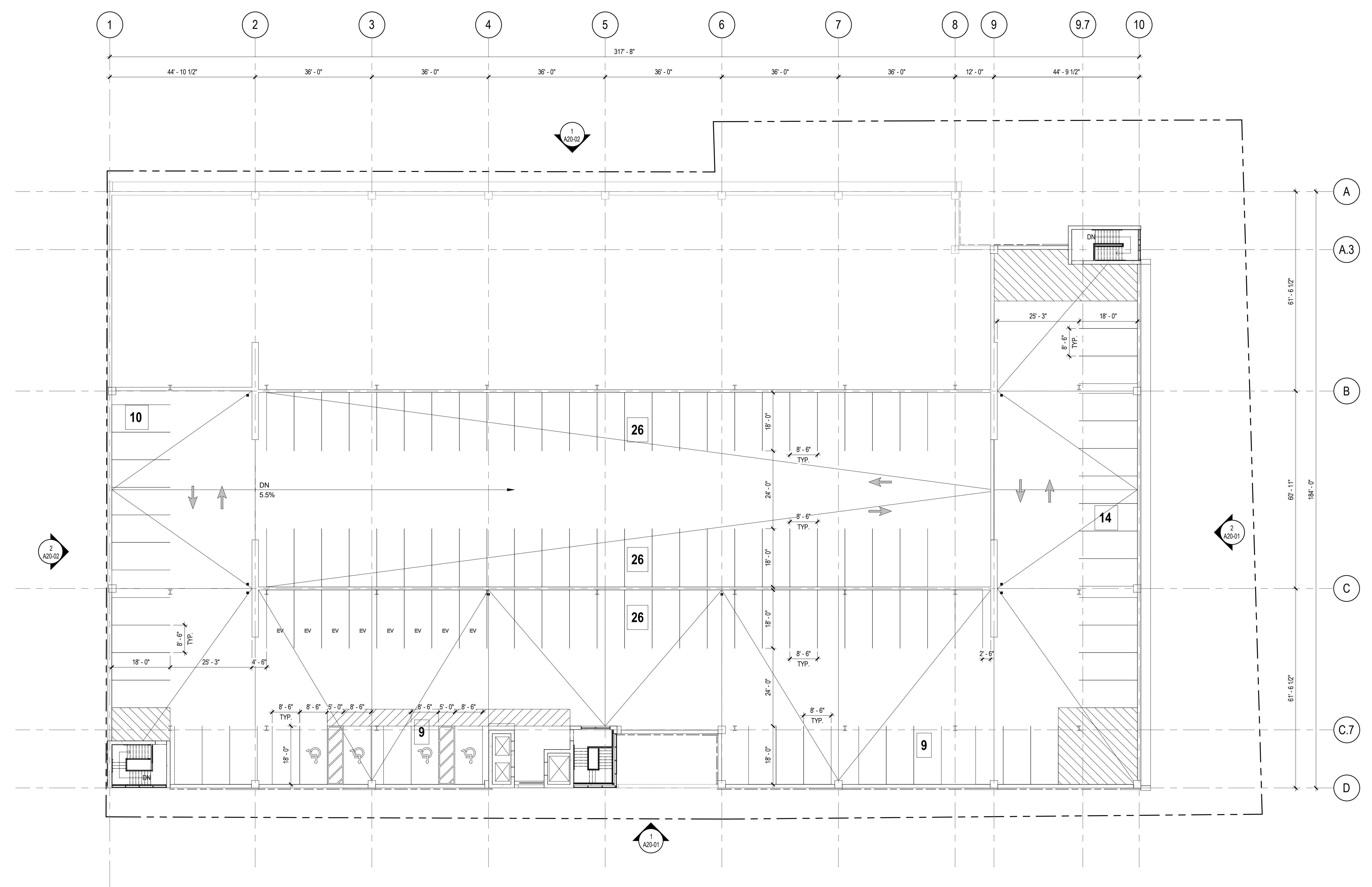
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- PARTITION TYPES ARE SCHEDULED IN THE A61 SERIES. RE: A01 SERIES "CODE COMPLIANCE PLANS" FOR GRAPHIC EXTENT OF FIRE RATED PARTITIONS. REFER TO PARTITION TYPE SCHEDULE FOR LOCATION OF SOUND ATTENUATION BLANKETS.
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- REFER TO FLOOR PLAN SERIES A11 FOR LOCATION OF PARTITION TYPES.

FLOOR PLAN LEGEND

- BUILDING EXPANSION JOINT
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
- WALL SECTION TAG
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- DOOR TAG REF: A62-0X SERIES FOR DOOR SCHEDULE.
- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

**FLOOR PLAN
NOTES BY NUMBER**

LEVEL P7 PARKING SCHEDULE		
Level	Parking Type	Count
LEVEL P7	ACCESSIBLE SPACE (STD)	4
LEVEL P7	ELECTRIC VEHICLE SPACE	8
LEVEL P7	STANDARD SPACE	108
		120



1 LEVEL P7 - 120 SPACES
1/16" = 1'-0"

5/22/2020 - CONDITIONAL ZONING APPLICATION

FLOOR PLAN GENERAL NOTES

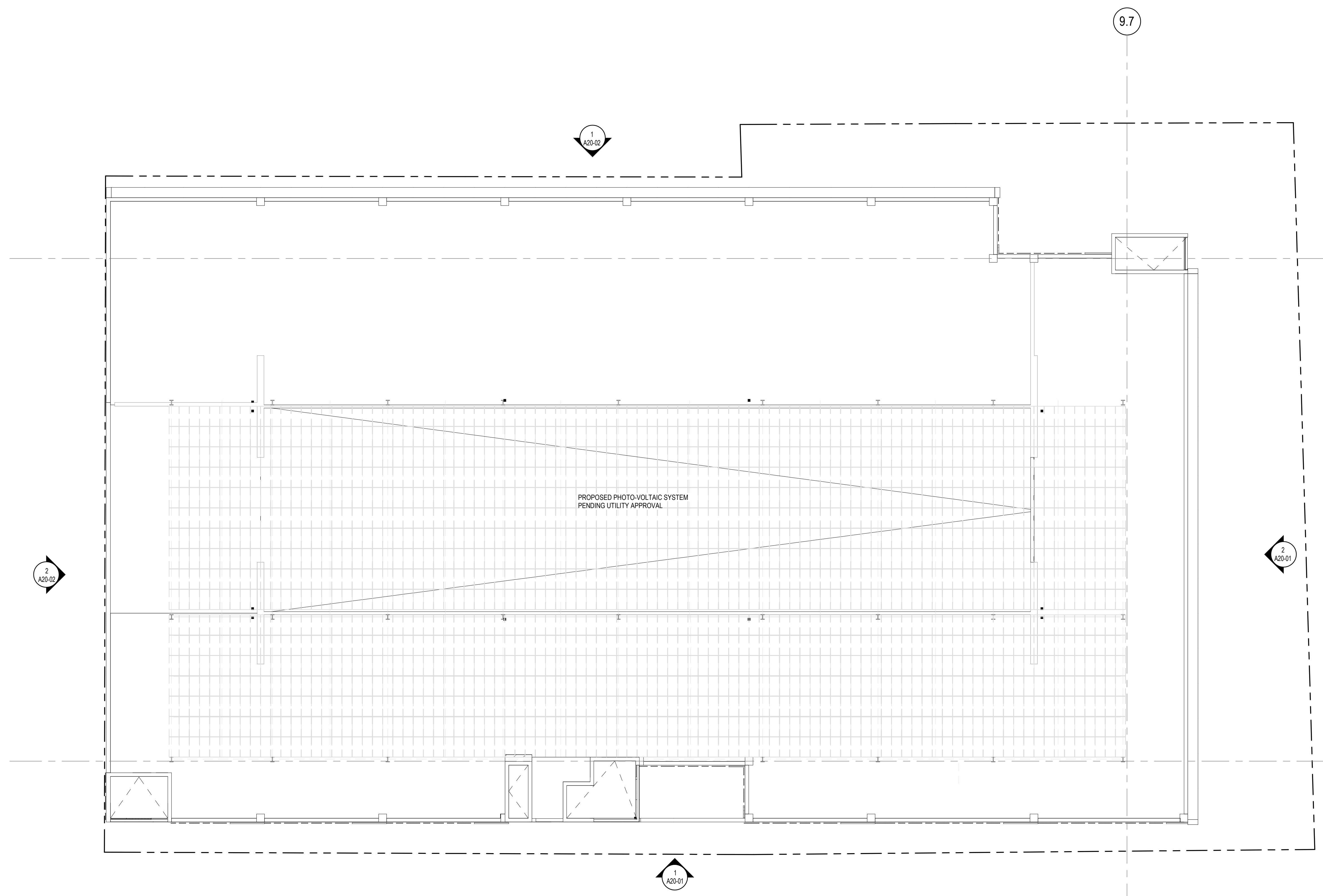
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FLOOR PLAN LEGEND

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- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- NEW COLUMN
- EXTERIOR ELEVATION TAG
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- PARTITION TAG REF: A61-0X SERIES FOR CHARTS
- FLOOR DRAIN
- OWNER FURNISHED EQUIPMENT ITEM

FLOOR PLAN NOTES BY NUMBER

1 LEVEL - ROOF
1/16" = 1'-0"



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Checked	Approver	
Approved	TITLE	

OVERALL FLOOR PLAN - ROOF

SHEET NUMBER

A10-08
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MEP
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LANDSCAPING
PERKINS & WILL
411 W Chapel Hill St Suite 200, Durham, NC 27701

OWNER
GRUBB PROPERTIES
4601 Park Road Suite 450, Charlotte, NC 28209

FACILITY

CONTRACTOR
SAMET Corporation
5420 Wade Park Boulevard Suite 104, Raleigh, NC 27607

NOTE: DOCUMENTS ARE INCOMPLETE AND MAY NOT BE USED FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION PURPOSES.

PROJECT

126 E ROSEMARY ST PARKING DECK

5/22/2020 - CONDITIONAL ZONING APPLICATION

KEYPLAN

ISSUE CHART

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Job Number	Author	
Drawn	Checker	
Checked	Approver	
Approved	TITLE	

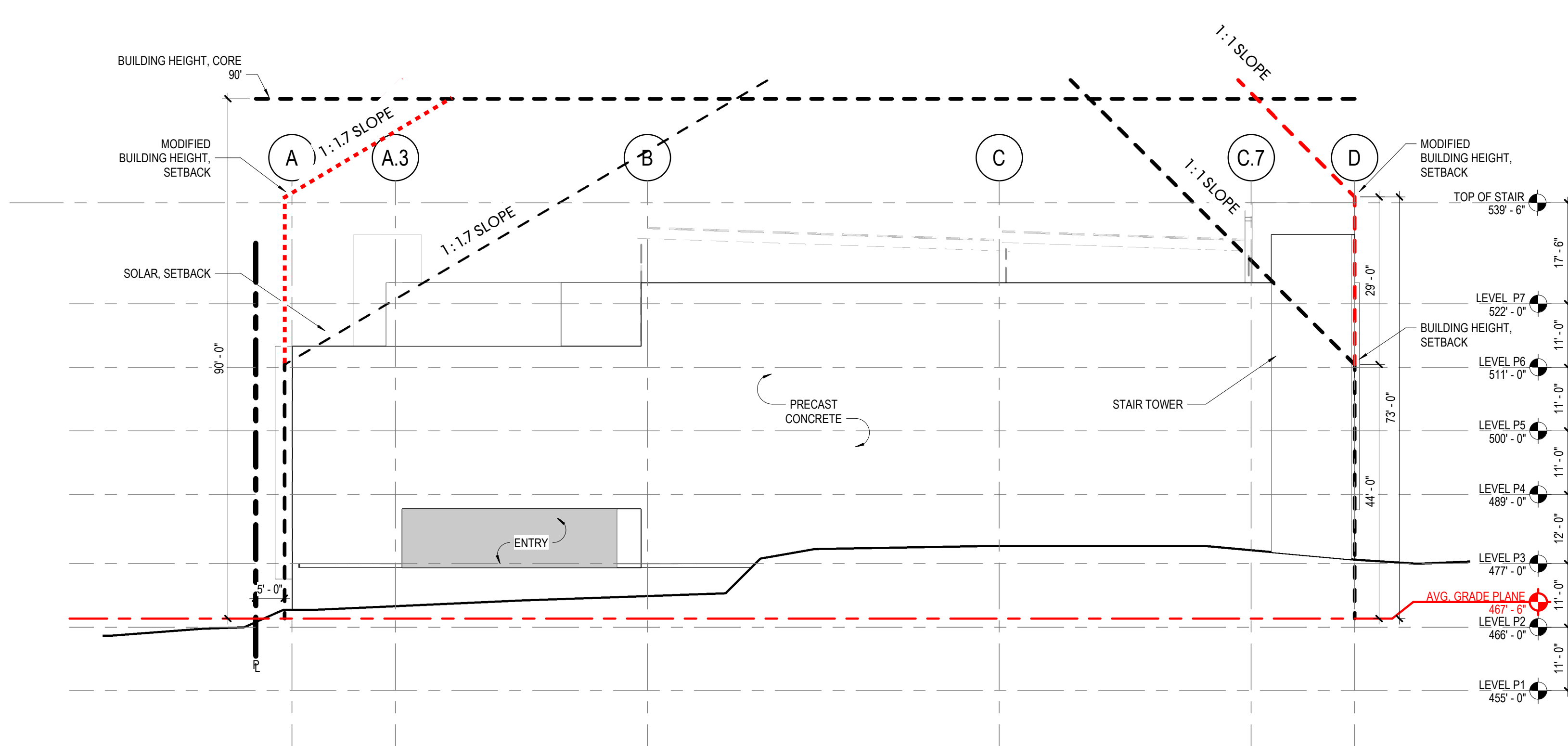
EXTERIOR ELEVATIONS

SHEET NUMBER

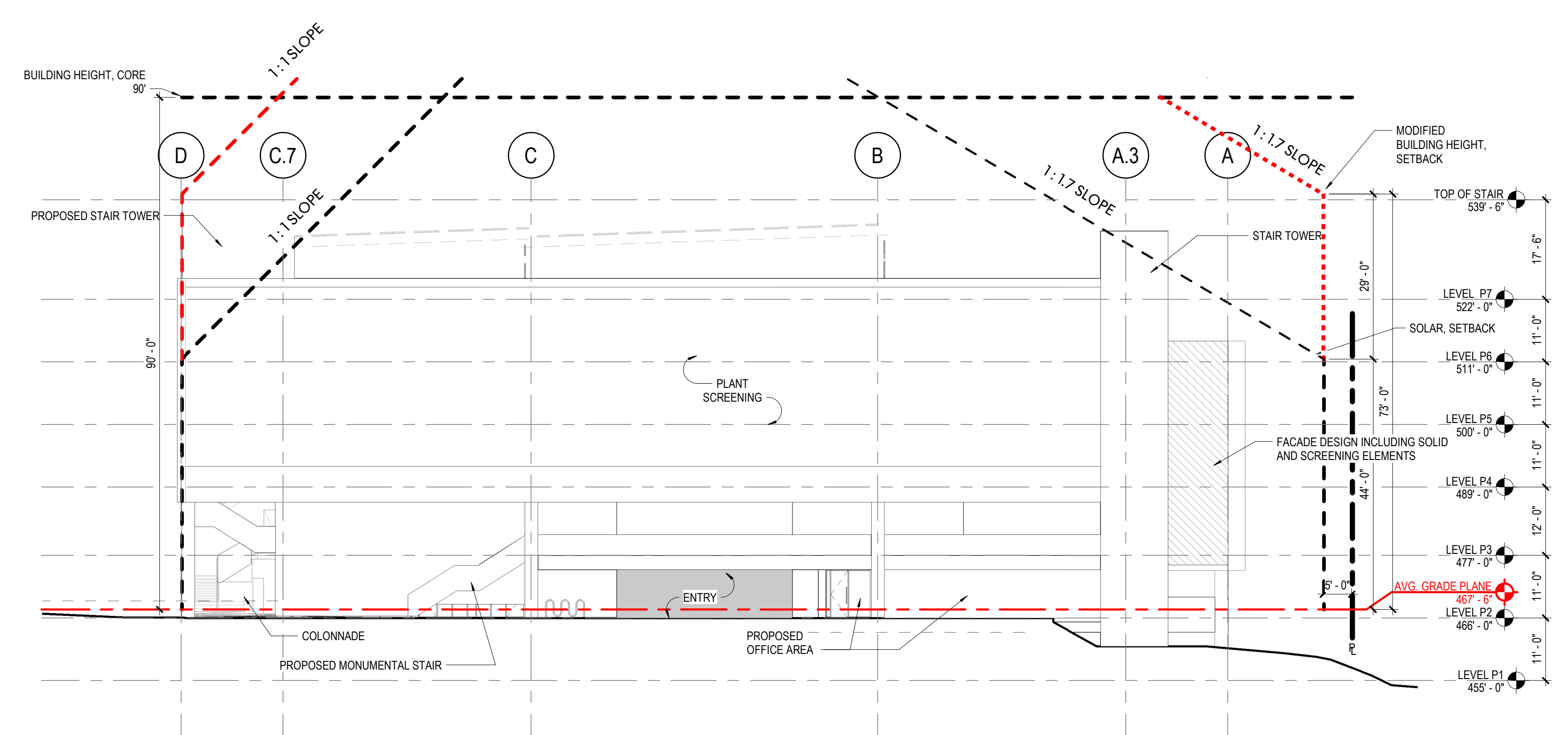
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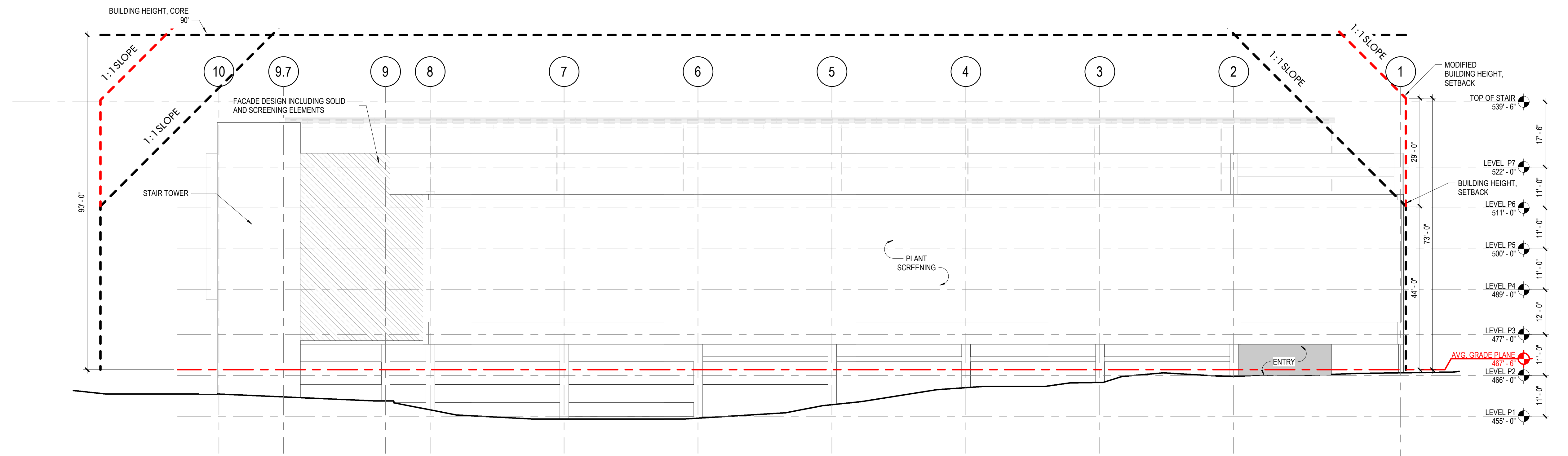
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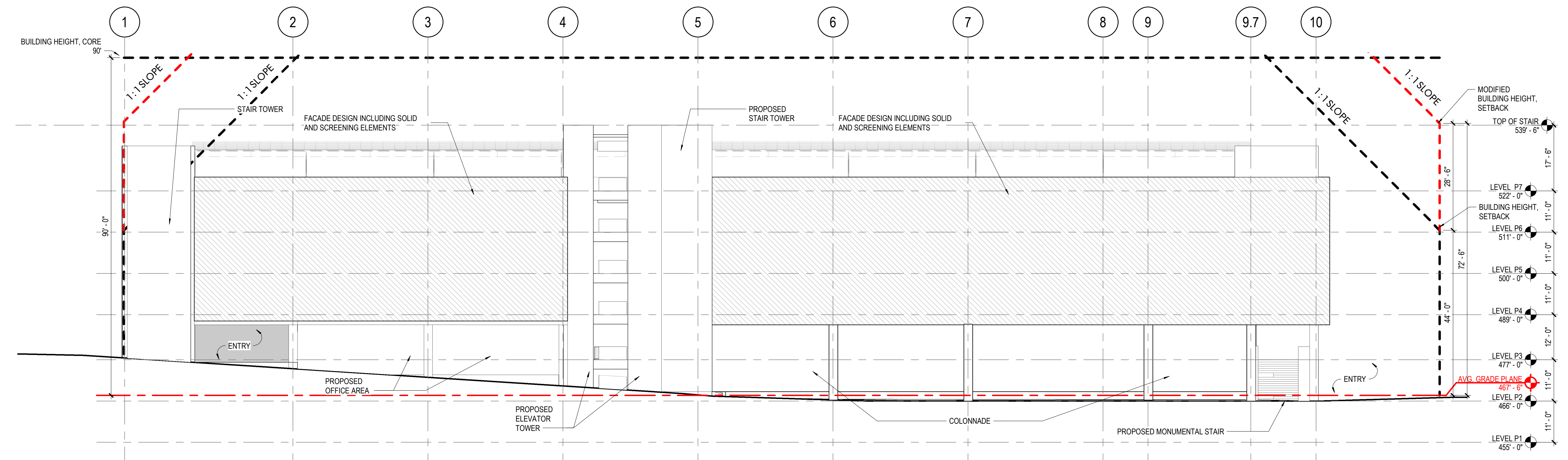
4 ELEVATION - WEST
1/16" = 1'-0"



3 ELEVATION - EAST
1/16" = 1'-0"



2 ELEVATION - NORTH
1/16" = 1'-0"



1 ELEVATION - SOUTH
1/16" = 1'-0"

**EAST ROSEMARY STREET
TOWN PARKING DECK & OFFICE BUILDING
REDEVELOPMENTS**

TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

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Raleigh, NC 27609*

NCBELS License #: C-1554

September 2020



EAST ROSEMARY STREET

TOWN PARKING DECK & OFFICE BUILDING REDEVELOPMENTS

TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

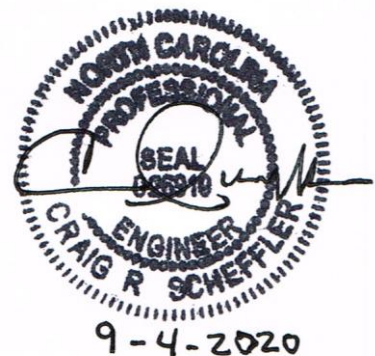
Prepared by:

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Raleigh, NC 27609*

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September 2020





EXECUTIVE SUMMARY

Project Overview

A new office building and parking deck are being proposed as a combined redevelopment project along E. Rosemary Street, just east of its intersection with NC 86 (N. Columbia Street) in Chapel Hill, NC. This report details the initial impacts of the proposed parking deck and then the subsequent impacts of the office building development after the new parking deck is complete. The overall project proposes to replace the current Town-owned Wallace Parking Deck with a 200,000 square foot office building and to create a new parking deck (with 1,100 spaces) where the existing Rosemary Deck (and adjacent private surface parking lot) are located, just east of PNC Bank. **Figure ES-1** shows the general location of the site. The project is anticipated to be completed in two stages – with the new Parking Deck constructed by 2021 and the office building by 2022. This report analyzes the full build-out scenarios for the year 2022 and 2023 (one year after full build-out of each redevelopment project), the no-build scenarios for 2022 and 2023, as well as 2020 existing year traffic conditions.

The initial site concept plan for the proposed parking deck showed a provision for two full movement access driveways that connect the new parking deck to E. Rosemary Street. Several additional access points have been analyzed in the study process and a full access connection from the deck to North Street is included in this report. **Figure ES-2A** displays the initial preliminary concept plan of the new Rosemary Parking Deck. **Figure ES-2B** displays an initial concept plan for the proposed office building, that will accommodate 200 on-site parking spaces in an underground garage. This report analyzes and presents the transportation impacts that the redevelopment projects will have on the following intersections in the project study area:

- W. Rosemary Street and Church Street
- W. Rosemary Street and NC 86 (N. Columbia Street)
- E. Rosemary Street and Henderson Street
- E. Rosemary Street and Hillsborough Street
- SR 1010 (W. Franklin Street) and Church Street
- SR 1010 (Franklin Street) and NC 86 (Columbia Street)
- SR 1010 (E. Franklin Street) and Henderson Street
- SR 1010 (E. Franklin Street) and Hillsborough Street / Raleigh Street
- NC 86 (N. Columbia Street / MLK Jr. Boulevard) and N. Columbia Street / North Street
- NC 86 (MLK Jr. Boulevard) and Longview Street / Mill Creek Condominiums
- W. Cameron Avenue and NC 86 SB (Pittsboro Street)
- Cameron Avenue and NC 86 (S. Columbia Street)
- E. Cameron Avenue / Country Club Road and Raleigh Street

The impacts of the proposed sites at the study area intersections were evaluated during the AM, noon, and PM peak hours of an average weekday. Additional existing and future parking deck and office building access driveway locations were also analyzed as part of the study.

Existing Conditions

The sites are located in downtown Chapel Hill along E. Rosemary Street east of the NC 86 corridor. The study area contains 12 signalized intersections in the downtown area. All future site traffic is expected use access points along E. Rosemary Street, or potentially on North Street. The NC 86 and Franklin Street corridors are major arterials providing both regional and local access. Rosemary Street is a minor arterial/collector street that provides connectivity throughout the downtown and into Carrboro. Remaining study area network roadways are local neighborhood / commercial / institutional access



streets. The downtown/UNC Main Campus area features moderate to high traffic activity throughout the day, as well as high levels of pedestrian, bicycle and transit activity.

Site Traffic Generation

Table ES-1 shows the site trip generation details, with generation rates taken from field collected data at the existing parking facility access points along E. Rosemary Street and the projected growth ratio of peak hour activity based on the increased in parking supply offered by the new deck compared to existing conditions, along with ITE Trip Generation Manual estimates for the proposed office building.

Table ES-1. Weekday Vehicle Trip Generation Summary

Facility	Units	Daily Estimate			AM Peak Hour			Noon Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total	In	Out	Total	In	Out	Total
Existing Parking Trips (Reallocated to new deck)	804 spaces	1,568	1,568	3,136	211	19	230	166	127	293	84	230	314
Proposed Lot Growth Ratio (1,100 / 804) = "Net" New Trips	0.269	422	422	844	57	5	62	45	34	79	23	62	85
Total Trips To/From New Deck		1,990	1,990	3,980	268	24	292	211	161	372	107	292	399
General Office Building	200kSF	883	883	1,766	229	31	260	102	87	189	43	199	242

Background Traffic

Background traffic growth for the 2022 and 2023 analysis years is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Historic growth patterns do not indicate sustained growth in the project study area, however a number of development projects are occurring or are expected to occur outside the project study area which may contribute to future area-wide traffic growth. To conservatively account for this potential, a 1.0 percent per year ambient growth rate was applied to 2020 traffic volumes to estimate 2022 and 2023 background traffic on study area roadways. One specific development, Union Chapel Hill Apartments, set to open in fall 2020, was included as a specific background development traffic generator.

Impact Analysis

Peak Hour Intersection Level of Service

Existing 2020 traffic operations at all study area intersections are acceptable during all three peak hours analyzed, except for the westbound stop-controlled approach at the NC 86 intersection with North Street/N. Columbia Street in the PM peak hour. Projected ambient and background development traffic growth and planned transportation projects will increase impacts at many study area locations by 2022, but will only cause one other intersection to operate at deficient levels in any peak hour. The Franklin Street/NC 86 (N. Columbia Street) intersection will drop from a LOS D to LOS E in the 2022 PM peak hour. With the addition of peak hour parking deck site-generated trips to the projected 2022 background traffic volumes, no additional study area intersections are expected to experience deficient traffic operations in any peak hour. The effect of site traffic is a "net" increase across the study area network that causes minor variations in traffic operational results. The proposed North Street access scenario produces beneficial operational results at the NC 86/Rosemary Street intersection. The 2023 analysis scenarios that include proposed office building site trip effects cause one additional intersection (NC 86 and Cameron Avenue) to operate over capacity in the PM peak hour, with or without the additional office building redevelopment. A summary of the traffic operations for each intersection, related to vehicular delays (intersection average as a whole if signalized, critical movement if stop-controlled) and the corresponding Level-of-Service (LOS) is shown in **Table ES-2** on the following page.



Town of Chapel Hill: Transportation Impact Analysis
E Rosemary Street - Proposed Town Parking Deck & Office Building Redevelopments

Table ES-2. Peak Hour Intersection Capacity Analysis Summary

Intersections	Peak Hour	2020 Existing		2022 No-Build		2022 Build		2022 Build Mitigated		2023 No-Build		2023 Build	
		LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
W. Rosemary Street & Church Street	AM	B	11.3	A	9.2	A	9.3			A	9.4	A	9.6
	NOON	B	10.8	A	9.5	A	9.5			A	9.4	A	9.5
	PM	B	15.8	B	13.9	B	13.8			B	13.8	B	13.7
W. Rosemary Street & NC 86	AM	C	25.4	C	26.6	C	26.6	C	24.4	C	24.1	C	24.5
	NOON	C	32.3	C	29.6	C	32.3	C	26.1	C	26.2	C	27.5
	PM	C	34.6	D	35.9	D	48.5	C	32.1	C	33.3	D	40.7
E. Rosemary Street & Henderson Street	AM	A	8.0	A	8.5	A	9.2	<i>No change to projected traffic volumes – Little to Marginal Change in Operations Expected Compared to the 2022 Build – Original Access Scenario</i>		A	9.3	B	10.1
	NOON	B	12.7	B	12.4	B	12.1		B	12.5	B	13.3	
	PM	B	13.4	B	11.3	B	11.2		B	12.5	B	12.6	
E. Rosemary Street & Hillsborough Street	AM	B	14.8	B	15.0	B	15.1		B	15.2	B	15.2	
	NOON	B	18.8	B	15.5	B	15.4		B	15.7	B	15.7	
	PM	B	17.5	B	17.4	B	17.7		B	17.8	B	17.5	
W. Franklin Street & Church Street	AM	A	6.4	A	7.8	A	7.7		A	7.7	A	7.7	
	NOON	B	10.7	B	11.8	B	12.7		B	13.0	B	13.4	
	PM	B	15.0	B	18.3	B	18.5		B	18.8	B	19.1	
Cameron Ave/Country Club Rd & Raleigh Street	AM	C	22.8	C	23.7	C	22.9		C	23.1	C	23.7	
	NOON	C	20.4	C	21.0	C	20.8		C	20.9	C	21.0	
	PM	C	29.6	C	30.7	C	30.4		C	30.6	C	30.8	
Franklin Street & NC 86 (Columbia Street)	AM	C	33.1	C	30.5	C	31.0		C	30.2	C	30.5	
	NOON	D	40.8	D	41.0	D	40.9		D	40.7	D	41.0	
	PM	D	49.8	E	58.7	E	57.8		E	60.6	E	59.4	
E. Franklin Street & Henderson Street	AM	A	7.4	A	7.8	A	8.0		A	8.0	A	7.7	
	NOON	B	12.7	B	12.6	B	12.2		B	12.3	B	13.1	
	PM	B	15.8	B	13.5	B	12.1		B	12.0	B	12.9	
E. Franklin Street & Hillsborough Street / Raleigh Street	AM	C	32.0	C	22.6	C	22.6	C	22.5	C	22.5		
	NOON	C	29.9	C	23.6	C	24.2	C	24.0	C	23.7		
	PM	C	31.9	C	21.6	C	21.3	C	21.4	C	21.6		
NC 86 (MLK Jr. Blvd) & N. Columbia Street / North Street [#] @	AM	C	15.1	C	15.7	C	16.4	B	11.7	B	11.6	B	11.6
	NOON	B	14.6	C	15.3	C	15.9	B	18.4	B	19.6	B	19.4
	PM	F	85.5	F	119.6	F	169.7	C	23.2	C	23.4	C	23.8
NC 86 (MLK Jr. Blvd) & Longview Street	AM	A	9.4	A	9.5	A	9.6	A	9.6	A	9.7		
	NOON	A	5.5	A	5.6	A	5.6	A	5.6	A	5.6		
	PM	A	8.0	A	8.1	A	8.1	A	8.1	A	8.1		
W. Cameron Avenue & NC 86 (Pittsboro Street)	AM	C	24.0	B	17.1	B	17.2	B	17.4	B	17.5		
	NOON	C	21.5	B	19.9	C	20.2	C	20.3	C	20.5		
	PM	C	30.8	C	21.0	C	20.4	C	20.3	C	20.1		
Cameron Avenue & NC 86 (S. Columbia St)	AM	C	32.1	C	27.9	C	28.3	C	28.4	C	28.7		
	NOON	C	33.4	C	32.6	C	33.4	C	33.4	C	33.7		
	PM	D	47.9	D	45.5	D	54.1	E	56.9	E	64.1		
E. Rosemary St & Recommended Parking Deck Primary Driveway [#]	AM	N/A	N/A	N/A	N/A	N/A	N/A	B	13.8	B	13.8	C	19.3
	NOON	N/A	N/A	N/A	N/A	N/A	N/A	C	15.1	C	15.2	C	15.9
	PM	N/A	N/A	N/A	N/A	N/A	N/A	C	15.2	C	15.2	C	16.1
E. Rosemary St & Recommended Office Bldg Primary Driveway [#]	AM	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	B	11.6
	NOON	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	B	12.4
	PM	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	C	15.2

BOLD/ITALICS – Critical Movement or Overall Intersection Requires Mitigation Analysis Per Town TIS Guidelines
 # - Worst-Case LOS/Delay for Two-Way Unsignalized/Stop-Controlled Critical Movement @ - Mitigation Scenario Signalized



Access Analysis

Vehicular site access is to be accommodated in the current parking deck site access plan at two proposed parking deck access driveways connecting to E. Rosemary Street. As conceptually shown in **Figure ES-2A**, the western driveway access point is approximately 275 feet from the NC 86 (N. Columbia Street) intersection and the eastern driveway access point has approximately 200 feet of separation from the western access point. No specific throat lengths are shown on the concept plan and should be part of the detailed design of the parking deck to provide a 50 foot minimum throat length found on Page 69 of the 2017 *Town of Chapel Hill Public Works Design Manual*. Current schematic drawings indicate that additional throat length may be needed depending on the desired internal circulation pattern and location of entry/exit gates. Driveway distances along E. Rosemary Street from the signalized intersections at NC 86 and Henderson Street are approximately 275 feet from the western driveway and 500 feet from the eastern driveway respectively are meet acceptable NCDOT and Town standards. No formal access design for the proposed Office Building on-site parking facilities was available at the time of this study. Per information from the Applicant and shown in **Figure ES-2B**, two potential access locations may occur along E. Rosemary Street, with no direct access from Henderson Street. The current alley serving the Wallace Deck entry and service access for adjacent commercial buildings behind the Wallace Deck is expected to be retained after the proposed Office Building is constructed.

Signal Warrant Analysis

Based on projected 2023 traffic volumes and proposed access plans, one unsignalized intersection would warrant the installation of a traffic signal, based on the methodology found in the 2009 *Manual on Uniform Traffic Control Devices (MUTCD)*. The intersection of NC 86 and N. Columbia Street/North Street is expected to experience deficient operations for stop-controlled movements in the future and should be monitored for signalization, based on satisfaction of Peak Hour Warrants in the 2023 PM peak hour and potential safety and operational issues due to increased traffic volumes to and from the proposed parking deck.

Crash Analysis

Crash analysis of the E. Rosemary Street and NC 86 corridors was compiled from the NCDOT TEAAS software for the last five years and results indicate that both corridors experience crash rates considerably higher than North Carolina statewide averages for similar roadway facilities, with most crashes located near high volume intersections.

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using Synchro and HCM 95 th percentile (max) queue length estimates for all analyzed scenarios. The original parking deck access concept's western access point on E. Rosemary would likely be blocked by westbound queues on E. Rosemary Street at the NC 86 intersection. The modified access scenario removes some site-related traffic from E. Rosemary Street, thus reducing queue lengths. Providing a single access point for the deck farther to the east of the NC 86 intersection provide adequate separation to manage left-turn queues and avoid deck access blockage. This impact of this recommendation would become more important with additional traffic generated by the proposed office building redevelopment.



Analysis	Comment
	There are several intersections in the study area that are currently near capacity and are expected to continue to be in the 2022 and 2023 analysis years where one or multiple left-turn storage bays do not provide adequate storage to accommodate existing or projected maximum peak hour queues. As roadway capacity improvements in these situations would generally be difficult, given right-of-way constraints in the downtown and UNC Main Campus area, and the fact that the proposed parking deck and office building site trips are expected to marginally contribute to queuing issues beyond the immediate intersections adjacent to the sites, no additional recommendations were made for turn lane storage requirements for this study.
Appropriateness of Acceleration / Deceleration Lanes	The site concept plans do not show any provision for additional acceleration or deceleration lanes. With the proposed sites located in the downtown Chapel Hill central business district, most area roadways have low posted speeds and do not require additional acceleration / deceleration lanes. E. Rosemary Street has a three-lane cross section with center left-turn lane that will provide separation for turning traffic into the proposed parking deck and on-site office building parking garage. The parking deck North Street full access scenario also utilizes the center left-turn lane along NC 86 for safe separation of turning traffic onto North Street from the southbound through travel lanes.
Pedestrian and Bicycle Analysis	Existing pedestrian access and connectivity is currently well implemented throughout downtown Chapel Hill that would be served by the proposed deck and office building. Consideration should be made to provide a pedestrian overpass connection to development south of E. Rosemary Street adjacent to the proposed deck. A mid-block delineated pedestrian crossing with raised central median on E. Rosemary Street would also reduce likelihood of jay-walking from the deck to the south side of the street. Bicycle facilities (bike lanes and roadway “sharrows” and activity are prevalent in the downtown area as well and the proposed deck design could incorporate opportunities for bicycle parking convenient to E. Rosemary Street frontage.

Mitigation Measures/Recommendations

Planned Improvements

There are no planned transportation improvement projects by NCDOT expected to be complete between 2020 and 2023 in the immediate project study area. The Town of Chapel Hill is in the process of designing and implementing the West Franklin Street Lane Reallocation project to reduce the number of through travel lanes on West Franklin Street west of NC 86. The reallocated lanes will be used for parking, loading zones, bicycle lanes and other amenities. This project was expected to be complete by the 2022 analysis year and was also assumed to include signal retiming throughout the downtown area to account for vehicular flow changes in the lane reallocation vicinity. Details are shown on **Figure ES-3**.

The Town also has the North-South Bus Rapid Transit Project, which will provide dedicated lanes for transit along the NC 86 corridor, along with other transit amenity improvements scheduled for construction in 2022. As final design details are not complete as of the submittal of this TIA, no specific lane usage changes were analyzed as part of this study.

Background Committed Improvements

There are no specific transportation network improvements to study area roadway intersections related to background private development projects that are expected to be completed between 2020 and 2023.



Applicant Committed Improvements

Based on the preliminary site concept plans and supporting development information provided, there are no specific transportation-related improvements proposed external to the East Rosemary Parking Deck or Office Building sites. The current plans and preliminary deck design incorporate two full movement access points along E. Rosemary Street only, with single lane entry/exits to the deck.

There are currently no specific conceptual plan designs for the Office Building parking deck access points or internal/external assumed circulation. Per agreement with the Applicant, two access points were assumed along E. Rosemary Street, with no direct access to Henderson Street and retaining the possibility of providing access from the rear of the building to the existing alley that will continue to have ingress and egress access connections with E. Rosemary Street.

Necessary Improvements

Parking Deck

Based on traffic capacity analyses for the 2022 design year, and analyses of existing study area turning bay storage lengths and site access, the following improvements are recommended as being necessary for adequate transportation network operations (see **Figure ES-3A**).

- 1) To reduce potential conflicts and provide better separation for left-turning vehicles along E. Rosemary Street approaching the NC 86 intersection westbound and the parking deck eastbound, eliminate the currently proposed western deck access location and provide a single primary deck access location where the current eastern deck access is proposed. At this primary access point, provide separate left-turn and right-turn exit lanes. Depending on method of parking deck space management (gates/ticketing), provide adequate internal queue storage for entry flows that may reach 200 vehicles in a single hour. This improvement is recommended for the East Rosemary Parking Deck development.
- 2) Due to potential peak hour queuing issues for the westbound left-turn and through travel lanes at the E. Rosemary Street intersection with NC 86 (N. Columbia Street), reoptimize the traffic signal timings to allow adequate green time to reduce westbound queuing for this movement in all peak hours. This improvement is recommended for the East Rosemary Parking Deck development.
- 3) To reduce site-related traffic volumes at the critical E. Rosemary Street intersection with NC 86, provide alternate access using North Street to connect to a two-way inbound/outbound parking deck connection. This should remove most parking deck related traffic flow to/from the NC 86 corridor north of the site. A full access connection may add some site-related traffic that may cut-through the North Street neighborhood and potentially additional traffic calming measures may be needed to reduce as much cut-through traffic as possible. It is recommended that a traffic calming study for the segments of North Street to the east of the proposed parking deck access point and Henderson Street between North Street and E. Rosemary Street be conducted after the parking deck is complete and opened to traffic. These improvements are recommended for the East Rosemary Parking Deck development.
- 4) To reduce projected queues along North Street westbound that would include parking deck egress traffic, the provision of a right-turn bay (making the westbound approach a stop-controlled shared left-turn/through lane and right-turn lane) with at least 50 feet of vehicle storage is recommended to reduce overall approach delays and queues at this location. The currently skewed minor street intersection approaches for North Street and N. Columbia Street should be realigned to better align through movements. This intersection also may meet



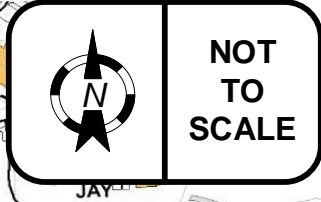
MUTCD Warrants for signalization after the parking deck and office building projects are complete and should be monitored for signalization if operational or safety issues results from the additional traffic produced by the two projects. These improvements are recommended for the East Rosemary Parking Deck development.

- 5) Additional wayfinding signage on external roadways and internal to the proposed parking deck is recommended to fully utilize the proposed North Street and N. Columbia Street access points, as well as identify routes to E. Franklin Street, US 15-501, and NC 54 (make a left-turn exiting the deck) and NC 86 South, Carrboro, Pittsboro (make a right-turn exiting the deck). These improvements are recommended for the East Rosemary Parking Deck development.
- 6) To provide direct, safe, and convenient pedestrian access from the parking deck to commercial developments south of the E. Rosemary Street corridor, it is recommended that a pedestrian overpass be included in the deck design, similar to the existing pedestrian overpass that connects the existing Rosemary Parking Deck. In addition, at street level, a mid-block pedestrian crosswalk, with appropriate signage and potentially a raised median refuge island depending on its location should be included. These improvements are recommended for the East Rosemary Parking Deck development.

Office Building

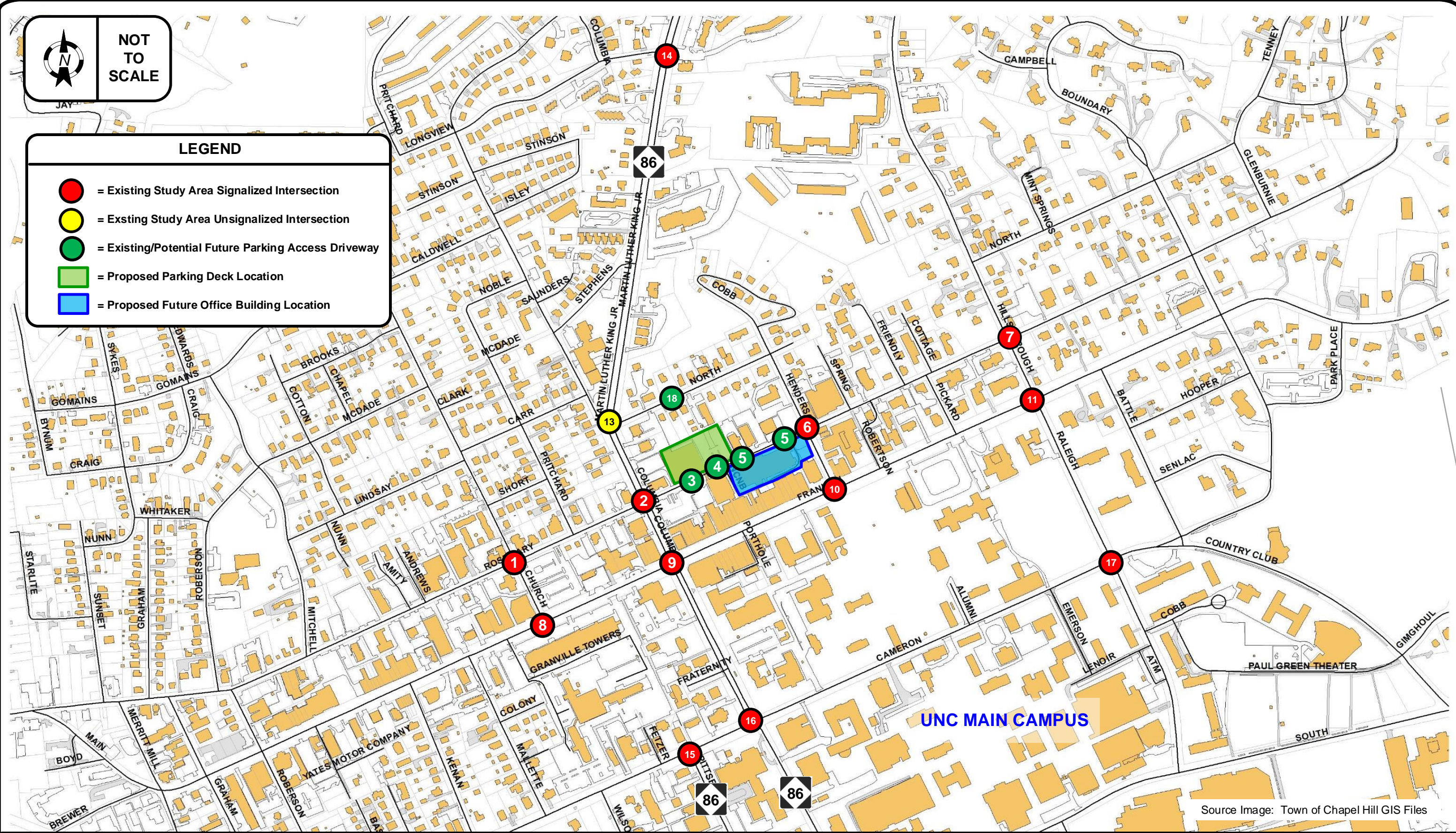
Based on traffic capacity analyses for the 2023 design year, and analyses of existing study area turning bay storage lengths and Office Building potential site access issues, the following improvements are recommended as being necessary for adequate transportation network operations (see **Figure ES-3A**). These improvements are made with the assumptions that the 2022 Parking Deck analysis year Necessary Improvements listed above are all completed by the 2023 analysis year for the proposed Office Building.

- 1) To reduce potential conflicts and provide better separation for left-turning vehicles along E. Rosemary Street approaching the parking deck access driveway westbound and Henderson Street eastbound, provide a single primary on-site underground parking garage access location approximately 225 feet west of the Henderson Street intersection and aligning with the current driveway to 151 E. Rosemary. This improvement is recommended for the East Rosemary Office Building development.
- 2) Maintain the existing one-way alley access configuration behind the proposed Office Building. A secondary enter-only access point for vehicles parking beneath the proposed Office Building could be located along the alley, but all structured parking egress should be directly onto E. Rosemary Street at the recommended single primary location described above. Egress should not be permitted for parking garage vehicles along the alley, as additional traffic access to E. Rosemary Street near the Henderson Street intersection may cause operational and safety issues.



LEGEND

- = Existing Study Area Signalized Intersection
- = Existing Study Area Unsignalized Intersection
- = Existing/Potential Future Parking Access Driveway
- = Proposed Parking Deck Location
- = Proposed Future Office Building Location



Source Image: Town of Chapel Hill GIS Files

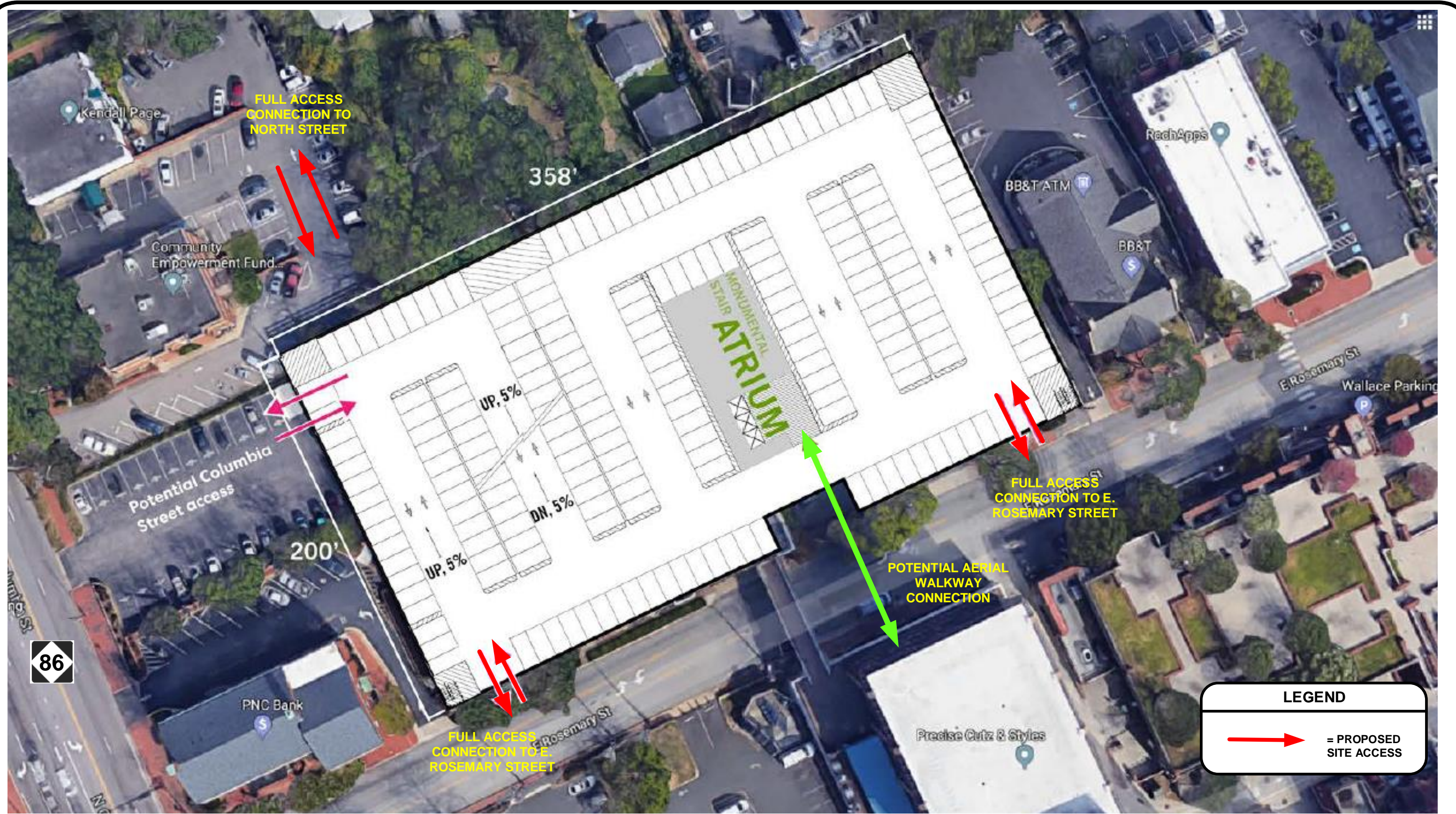


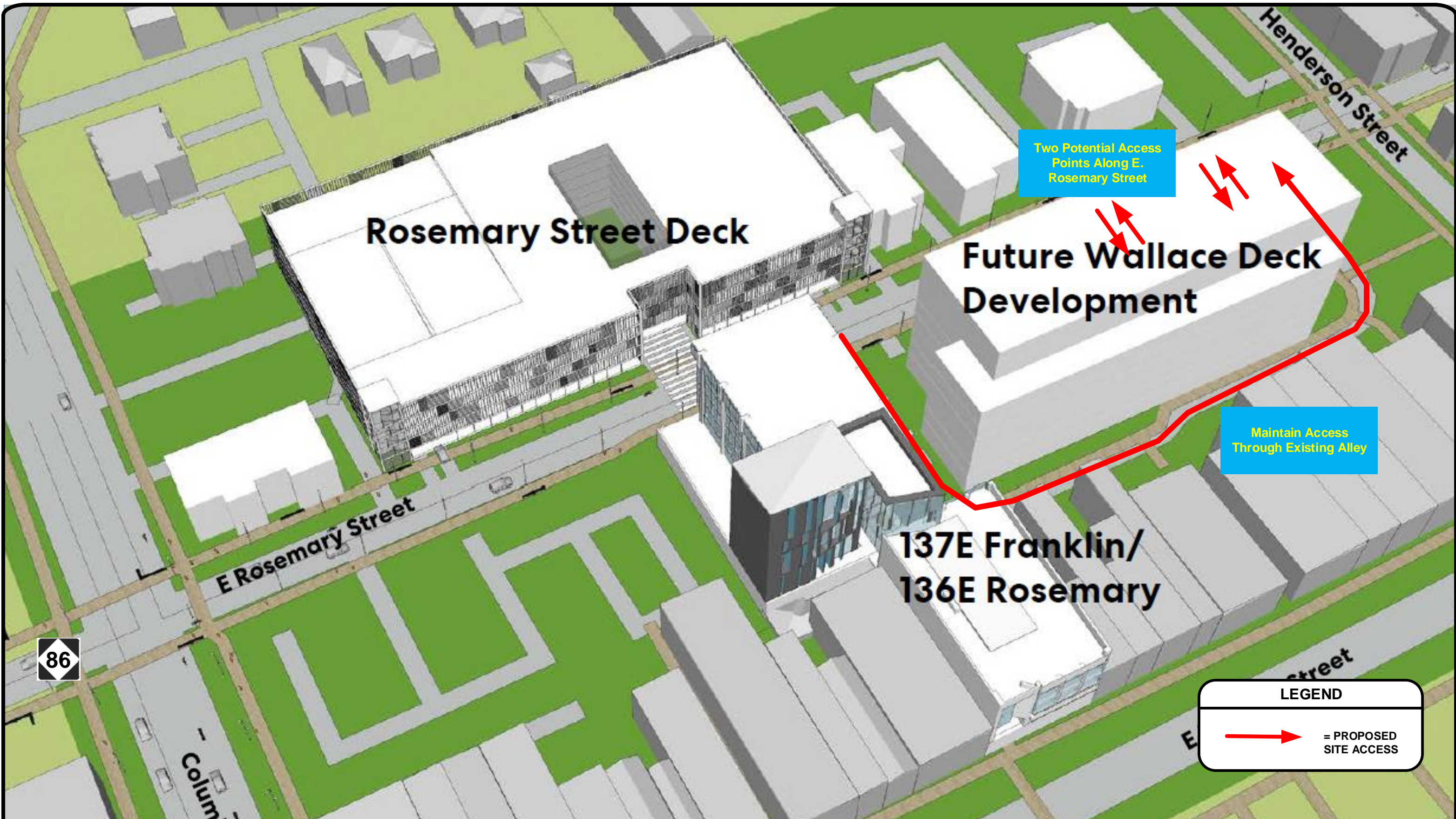
**East Rosemary Street Parking Deck & Office Building
Transportation Impact Analysis**

PROJECT STUDY AREA



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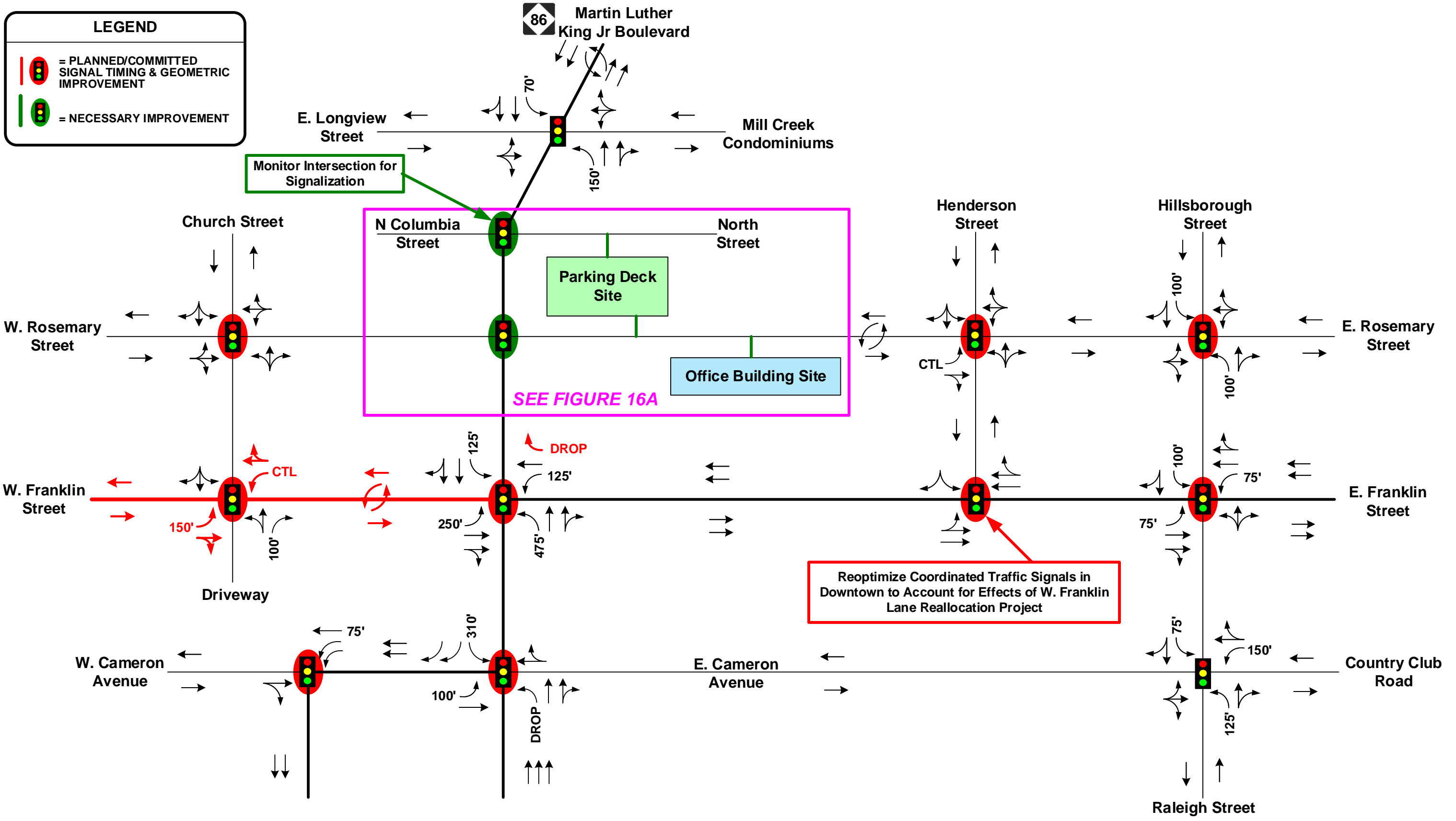
FIGURE ES-1





LEGEND

-  = PLANNED/COMMITTED SIGNAL TIMING & GEOMETRIC IMPROVEMENT
-  = NECESSARY IMPROVEMENT



NOT TO SCALE

**East Rosemary Street Parking Deck & Office Building
Transportation Impact Analysis**

PLANNED, COMMITTED AND RECOMMENDED IMPROVEMENTS

DATE: September 2020

FIGURE ES-3

