



CJT P.A.

111 WEST MAIN STREET

DURHAM, NORTH CAROLINA 27701

919-682-0368 F 919-688-5646

Planning for the Future

February 16, 2021

Mr Jake Lowman
Town of Chapel Hill Planning Department
405 Martin Luther King Jr Blvd
Chapel Hill, NC 27514

RE: CONDITIONAL ZONING PERMIT APPLICATION – PROJECT NARRATIVE
COLUMBIA STREET ANNEX, 1150 South Columbia Street

Jake:

Enclosed is the final submittal for the Conditional Zoning Permit application for the Columbia Street Annex multi-use project.

The project site is located at the northwest corner of South Columbia Street and the NC 54 westbound on-ramp at the south end of Chapel Hill. The site is currently wooded / vacant with a jurisdictional stream buffer running north to south approximately 200-300 feet west of the street right of way.

The proposed development will include 4-story buildings set into the steep drop between the Columbia Street roadway and the much lower stream area to the west, facing Columbia Street. There will be a 5-story building on the lower portion of the site facing the NC 54 on ramp. That building will be connected to the 4-story building by a pedestrian plaza at street level and by upper level open walkways. The lowest level under all buildings will be underground parking. The main floor at street level will be residential in the south building, and office/general business space in the north building. The non-residential space being offered is to support the residents in the project by providing office space and recreation space for them. The intent of the project is to attract small households wishing to reside in a live / work space with easy access to public transportation, the University and other employment centers, and multiple cultural and recreational spaces.

The main floor of occupied space in both buildings will sit above and overlook the stream area to the west, but will be at street level with plaza pedestrian access on the Columbia Street side. The top three levels in the buildings facing Columbia will be residential units, mainly 1-bedroom, with a few 2-bedroom

units. The upper 4 stories in the south facing building will be residential also, with some larger units on the top floors.

Total square footage for the building will not exceed 57,000 square feet broken down as approximately 2,000-3,000 sf of general business space, and 54,000 sf for up to 60 residential units. There will be 69 parking spaces in an underground garage and surface spaces on the west side of the building, not visible from the street. Some surface parking located near Columbia Street right of way will sit 16' below street level but will be separated from the street view by a retaining wall and plant screening. Service and trash will be located at the south end of the project and not visible from Columbia Street. The vehicular layout allows service and emergency vehicle access. Bicycle parking will be accommodated in the residential units, in the underground garage, and a few short term spaces located in the street level plaza accessible from Columbia Street. There will also be bicycle storage inside the building in the non-residential space off the plaza.

Site vehicular access will be located at the northernmost part of the site, across from Purefoy Road to remove it as much as possible from the 15/501/54 / Columbia Street intersection. This configuration will allow full turn circulation as requested by NC DOT. A new sidewalk would be built in the right of way to connect to existing sidewalk from the north and continuing down to the NC54 ramp intersection. There is a requirement for 40% tree coverage on site that will be satisfied entirely with existing trees on the west side of the stream buffer. This project will include only minimal land disturbance west of the stream where an existing culvert will be removed at the request of the Town's stormwater group, and some amount of stream restoration as determined by a biologist during the ZCP phase of design. Landscape buffers will be planted in disturbed areas on the northern, northwestern and eastern property lines, and a modified buffer will be provided on the street frontage.

The applicant has been working with the Town's Urban Designer to incorporate elements important to the Town and ensure the project design continues to develop in a way beneficial to the Town. The buildings have been separated somewhat allowing visual space between as well as pedestrian ways. The buildings facing Columbia Street have been lowered to 4 stories above the parking, and appear 4 stories from the street as the parking will be entirely below street level. The buildings which remain 5 story are fronting the NC 54 highway ramp. Existing forest will remain to buffer that view. There have been changes made to the parking and retaining walls resulting in a more efficient parking layout, terraced retaining walls allowing planting between walls, and opportunities for pedestrian access to the nature trails that will be located in the wooded half of the site.

Multiple modifications to code are being requested:

- Buffer modification on S Columbia Street frontage
- Potential parking reduction
- RCD encroachment (a separate Encroachment Exemption application was submitted during the review process)
- Permission to disturb more than 25% of the steep slopes on site
- Use mix percentage to be more residential than noted in the code.

The applicant is requesting a landscape buffer modification on South Columbia Street. The required buffer would be a 30' wide buffer planted to 'D' level opacity. But we are requesting a buffer ranging in width from 0 to 30' and with 30% of the total required plantings on the project property. This frontage will be opening to a pedestrian plaza to allow this awkward site to be accessible by pedestrians from South Columbia Street. The Owner would like to also plant some street trees in the DOT right of way and will work with DOT toward this condition. Those would be additional to the 30% plantings. The reduction will provide some buffering between the street and the building and shade for pedestrians along that sidewalk, while still providing view of the building and extensive access to the plaza area.

The applicant is requesting a reduction in parking to a minimum of 80% of the minimum requirement. The unit mix and quantity within the building have not been finalized by the owner. Project minimum parking is 67 spaces. If the unit count is kept to 60 and the non-residential space to the low end, the 69 spaces that can be provided on site will satisfy the requirement. But the project is accessible to multiple alternate forms of transit, and if at the time of final design the market does not demand as much parking and the building program is at the higher end of the approved range, the total parking count may fall below the current LUMO requirement. The 69 spaces shown on the current plan are expected to satisfy the parking demand at this location. There are 20 double stacked spaces in the underground garage, suiting parking needs for 10 of the largest residential units and leaving 49 spaces to satisfy the demands of the other units and the non-residential space. With the existing sidewalk system in place, the bike lanes, public transit service, and the location of this project close to campus and downtown Chapel Hill, it is expected that 80% of the parking requirement will fulfil the user demands and encourage alternative forms of transportation. The owner is requesting a modification to allow a reduction to 80% of the required spaces as the minimum standard, though would have the right to provide as many as 69 spaces total.

Stormwater management will be handled through a BMP located under the surface parking west of the building. Stormwater management will meet State regulations. The developer is arguing that during the early application review in 2014 the stream was determined to be intermittent and therefore needed only a 50' RCD and buffer area. This is the information shown on the plans. The site is steeply sloped and is not in a flood plain. The 50' stream buffer will be protected and the majority of all construction and disturbance will remain outside of that zone except for specific stream restoration elements. The stream itself does not always have water in it, and is only 1-2 feet wide, and any visible banks are less than a foot above the bottom of the channel. The new project will have a retaining wall as the divider between the buffer and the parking lot. The development sits a minimum of 11 feet higher than the bottom of the stream. A modification to allow development in the managed and upland RCD zones, and a modification to disturb all steep slopes east of the stream area also being requested. This modification also includes a request to disturb more than stated ordinance amount, and to increase the impervious more than the stated ordinance amount. The project will be in conformance with the disturbance and impervious limits in the streamside zone. In the managed zone the disturbance will be approximately 60% - the ordinance restricts disturbance in this area to 40%. The project will be in conformance with the impervious limits in the managed zone. In the upland zone, the disturbance will be approximately 53% while the ordinance restricts it to 40%. And the final impervious will be approximately 40% - double the ordinance restriction of 20%. A separate RCD Exemption Application has been submitted.

LUMO section 5.3.2 specifies that the disturbance of steep slopes is to be minimized in order to protect water bodies from the effects of erosion on water quality, to protect plant and animal habitat, and to preserve the natural beauty and economic value of the Town's wooded hillsides. And the stated limit to disturbance of steep slopes is one quarter of existing steep slopes on site. The applicant is asking for permission to disturb a higher percentage of the steep slopes. The site accessible to the street is entirely steep slope, man-made steepness resulting from the building of the 15/501/54 overpass whose steepness has been increasing over time with increasing road widenings. The project proposes to stabilize that slope by using the building as a retaining wall – the main floor of the building would be accessible in a handicap accessible way, with elevators and stairs providing access to the lower level. Terracing of the site and treatment from impervious surfaces will improve the quality of water reaching the existing stream channel.

The final modification being requested is for a use mix percentage well below the LUMO mandated 25% per use. This is to reduce the parking needs while still providing general business space to encourage a live-work opportunity. The new zoning was chosen because of the site's location at the intersection of an arterial and a highway, and in order to allow for higher square footage density on site.

Trash and recycling will be handled in a dumpster facility at the bottom on the entry drive, accessible for Town and County pickup. Both garbage truck and fire truck access will meet Town standards.

A traffic impact study has been completed for this project, which fronts two NC DOT streets and no Town streets. The Owner has spoken with Chuck Edwards at DOT and will work with DOT to provide the turn lanes and safety measures required by DOT. The Town requested an updated traffic impact study. The traffic engineer looked at the updated mix of uses and the current trip generation numbers in December 2020. The result was an estimate of traffic generation at only 70% of the level that was anticipated with the original proposal in June 2014.

The project has gone through the Town's Concept review process. It was presented to the Community Design Commission in October 2007 and there is a separate document responding to the board members' comments. The project also was reviewed by Town Council in February 2008, and a separate document addresses and responds to their concerns.

Sincerely,
Coulter Jewell Thames, PA
Wendi Ramsden RLA



cc. Phil Szostak – Architect, Szostak Design
Roland Gammon – Owner, CH Properties



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Planning for the Future

COLUMBIA STREET ANNEX

1150 South Columbia Street

CONDITIONAL ZONING PERMIT APPLICATION - **STATEMENT OF JUSTIFICATION**

16 February 2021

The project site is located at the northwest corner of South Columbia Street and the NC54 westbound entry ramp. The proposed use will be a mix of 60 residential units and some office/general business space in a 57,000 sf building. Stormwater control and tree coverage will meet Town standards. We will be asking for 5 modifications: 1- Reduction of the width and plantings in the landscape buffer on South Columbia Street 2- Potential reduction of parking from the requirement 3- Permission to encroach in the managed use and upland RCD zones and to exceed ordinance disturbance and impervious limits, 4- Permission to disturb steep slopes, and 5-modification to the required use mix percentages.

Per section 4.4 of the Town's Land Use Management Ordinance, the request for rezoning is based on the desire to respond to changing conditions in this particular area, and we believe the project continues to achieve the purposes of the comprehensive plan. The project responds to the 6 goals of the 2020 Plan as follows:

Theme 1: A Place For Everyone - The proposed development will add to the diversified housing types in town. (PFE.3)

Theme 2: Community Prosperity and Engagement - The project site is a vacant lot in a gateway location at the south end of town. The proposed development will increase the value of the land in a place where infrastructure is already completely in place. Because the site is so far below the street (25') and is limited by a stream and associated buffer only 200-300 feet inside the site, there is a limit to the R-2 potential building in this location. By recombining the parcels and creating access to the whole piece from the most northerly point, the lot will become more valuable by being fully developed, but only if the increased density and building height can be built. (CPE.1) The small size general business space available within the building will foster small / start-up businesses and live-work space, and the project provides housing and small scale work space within walking distance of the hospital and science buildings on campus. (CPE.3)

Theme 3: Getting Around - The project site has accessible frontage on one public street and is already connected to the rest of the community by sidewalks, bike lanes, and local bus service. (GA.2) There is an existing Chapel Hill Transit stop at the north end of the site which is serviced by 4 local bus routes. (GA.4) The developer proposes to install a shelter, solar lighting, and a passenger information sign to improve the existing bus stop at the Purefoy / Columbia intersection. Potentially a future BRT station would also be located in this block. The project is located very close to schools, the University, and the Morgan Creek Greenway Trail, allowing users to access the site on foot or by bicycle as well as public transit or private car. The project will provide underground and open car parking, and covered bicycle parking. (GA.8)

Theme 4: Good Places, New Spaces - The proposed development increases density in a well-served area, which helps minimize sprawl. (GPNS.1) Development of these lots was made difficult years ago when the raised South Columbia / NC 54 intersection was installed, creating a site located as much as 25' below street level at points, and with no possible access from the south end. Additionally, more stringent stormwater and stream protection requirements adopted during the past 15 years have severely limited the building envelope on site. The proposed development works within these limitations. The underground parking takes advantage of land below street level and the building itself acts as a transition providing a public street front on the east side and a more private space overlooking the natural environment of stream and forest toward the west. (GPNS.2 and GPNX.6) This development will be a signature building visible to everyone entering Town at this location. At the same time, the project is protecting the stream and buffer area, and by increasing the density on the east portion of the site is able to leave a large forested area protected in the western half of the site, thereby fully utilizing the site while protecting environmental elements. (GPNS.8)

Theme 5: Nurturing Our Community - The proposed development will provide tree coverage and stormwater management on site to meet or exceed the Town's standard requirements. (NOC.2) The steep difference between the street elevation and the stream elevation only 200-300 feet away creates a challenge to development that would require either fill or very high retaining walls to create a level building envelope. The building design takes advantage of this elevation difference by setting the building into the slope and allowing the building to become the transition between the street and stream as fixed elements. The site allows for building access on at least two levels and the development takes advantage of that by tucking over half of the parking under the building, thereby reducing impervious area and screening the parking from the street view. There will be a pedestrian plaza at street level providing an urban feel for the pedestrian and creating a gracious visual and pedestrian entry into the building. The west facing side of the building will have views of the stream and forest and allow the building to create a noise and visual buffer from the busy street. This is the direction many of the residential units will face. (NOC.7) The high density of the building itself allows the footprint to remain small and therefore allows a large portion of the site to remain undisturbed in existing forest and stream buffer. (NOC.3) The siting of the building also creates a transition between the noise and commotion of Columbia Street and the quieter residential neighborhood to the west. The project design responds to this by having the shorter buildings toward existing residential uses, and the taller buildings facing the highway. (NOC.8)

Theme 6: Town and Gown Collaboration - Though the project is not being built in collaboration with the University, it's location within easy walking distance of the south end of campus will make it an attractive support facility for University employees and students and people whose business is connected with the University. (TGC.4 and TGC.6)

Requested Modifications

The applicant is requesting 5 modifications.

1. **Reduction of the width and plantings in the streetside landscape buffer on South Columbia Street.** The required buffer would be 30' wide and planted to 'D' level opacity. The applicant is requesting a reduction to 70% of the plant material in an area with an average width of 12' against the proposed new street sidewalk.

Landscape Buffer Reduction Justification

The Owner is creating a pedestrian plaza at the street level which is being partially built on top of underground parking and that roof system will not support the full landscape buffer. Additionally the design intent is to create an open space for pedestrians to transition between the public sidewalk and the streetside plaza and for the space to have an urban atmosphere rather than a suburban one. Parking near the street will be located 16' below street level and retaining walls and landscaping will be used to screen that parking which will not be visible from the street. We will work with NC DOT and are requesting permission from them to plant some trees the Columbia Street DOT right of way. The buffer as currently designed will vary in width between zero and 30' with an average width of 12'. The modification also requests a 70% reduction in plant material from the required 23 canopy trees, 47 understory trees and 156 shrubs to 7 canopy trees, 15 understory trees, and 50 shrubs within the project site.

2. Potential Parking Reduction

The unit mix and quantity within the building has not been finalized by the owner. Project minimum parking is 67 spaces, and if the unit count is kept to this, the 69 spaces that can be provided on site will satisfy the requirement.

Parking Reduction Justification

The project is accessible to multiple alternate forms of transit, and if at the time of final permitting the market does not demand as much parking, the total count may fall below the current LUMO requirement. The 69 spaces shown on the current plan are expected to satisfy the parking demand at this location. There are 20 double stacked or tandem spaces in the underground garage, suiting parking needs for 10 of the larger residential units. With the existing sidewalk system in place, the bike lanes, public transit service, and the location of this project close to campus and downtown Chapel Hill, it is expected that 80% of the parking requirement will fulfil the user demands and encourage alternative forms of transportation. The

owner also intends to offer a discount on some units if they are taken without associated parking spaces. The owner is requesting a modification to allow a reduction to 80% of the required spaces as the minimum standard if needed at final plan.

3. Modification to allow structures and parking in the managed and upland RCD zones and to exceed disturbance and impervious limits within the managed and upland RCD zones

There is only 120-320 feet between the right of way and the existing stream on site. There is no associated flood plain on this property or within 300' of the parcel. The developer is requesting permission to construction the building and parking in the outer RCD zones and to concentrate development on the east side of the stream, thereby leaving over half the site in undisturbed forest.

RCD Buffer Impact Justification

A Special Use Permit Application for this project was first submitted in April, 2014. At that time, the subject stream was identified by the Town as being *Intermittent* in nature, and the resulting 50' RCD line was incorporated into the project design. The advancement of the SUP was then stalled by delays created over indecision by NCDOT and the Town about potential future right of way taking needed for a S. Columbia/Fordham Blvd. Interchange improvement precipitated by the Obey Creek Project south on NC 15/501. The Applicant subsequently withdrew the application and then re-submitted in order to try and force the issue on the right of way acquisition.

In the interval between the initial submittal and the recent submittal, Town Staff re-evaluated the stream and subsequently determined that it is now a *perennial* stream, which by LUMO requires a 150' RCD from top of bank. The developer is puzzled by this, as the stream and surrounding environment have not changed since the initial application. This determination now essentially renders the land area between the eastern side of the stream and South Columbia unusable, absent a consideration of an RCD Encroachment.

Further, the location of the stream channel bisecting the site north to south, along with the constraint along Fordham Blvd on-ramp means that the land on the west side of the stream is challenging at best to access. This is further exacerbated by the steep slopes to the east and west of the channel. The site is for all intents and purposes rendered un-buildable given a 300' plus wide swath of RCD through the property.

We would suggest that proposed project has too many positive benefits to the goals of the Town to remain undeveloped. Those include creation of a mixed-use building that has the inherent efficiencies of live/work opportunities; the millions of dollars in tax base created for the Town and County; and not least the construction of a significant well-designed building that can further enhance the southern gateway into Town.

We would also suggest that there are negligible if any adverse environmental impacts that would be created by granting our RCD encroachment request. The lowest floor elevation will still be well above the above the stream channel. There is no flood plain on the site that would be impacted. Stormwater will be treated in an underground detention facility to meet State and

Town standards. This facility will be reviewed and approved by the Town Stormwater Department prior to construction and will mitigate increased runoff conditions caused by the increase in impervious surface on the site. The project development will remove some stream obstructions currently in place, and will help remove some of the non-native invasive vegetation on site. The Developer is also committed to working with stream specialists to ensure that the streambanks are stable and mitigation to improve habitat can occur.

For these and other reasons we are therefore requesting that the project as proposed be allowed to be constructed in the location shown on the Conditional Zoning Plans.

4. Modification to steep slope disturbance

LUMO section 5.3.2 specifies that the disturbance of steep slopes is to be minimized in order to protect water bodies from the effects of erosion on water quality, to protect plant and animal habitat, and to preserve the natural beauty and economic value of the Town's wooded hillsides. And the stated limit to disturbance of steep slopes is one quarter of existing steep slopes on site.

Steep Slope Disturbance Justification

Basically all the land between the stream buffer and the street will be disturbed to install the project and that land is very steep in its entirety. There is no flat space in the parcel that would be better suited to development. The majority of steep slope on the site is located in this area and was man-made during the South Columbia Street/15/501/NC54 interchange construction over 20 years ago.

The steep slopes on site are not related to water bodies or wetlands. And the terracing of the site and stormwater mitigation of all impervious area will protect the stream area. When the project is complete there will still be significant evidence of steep slopes and elevation change throughout the site.

5. Modification to required use mix percentages in the MU-V zone

LUMO section 3.5.1 specifies that the MU-V mixed use district have a mix of at least 25% floor area residential and a minimum 25% floor area in office/commercial uses. The developer is requesting an exemption to the minimum non-residential component to allow as little as 3% non-residential uses.

Office/Commercial Percentage Reduction Justification

The building is not located in an area with other businesses, but is on a busy street not suitable for the single family residential use it is currently zoned for. The existing topography of the site is conducive to a tall building (a high square footage) to bridge the elevation changes between the stream buffer area below and the existing streets above. But there is no on-street parking nearby or public parking available, so any uses on site will need to have all parking provided on

site. The parking requirements for commercial or office space are much higher per square foot than residential use, both the ordinance and market driven requirements. The non-residential space in this project will target consultants or businesses that do not have a lot of visitors, and will target users who live in the building so that the project is geared for a live/work facility. Therefore the developer is asking for a reduction in the commercial component to be able to provide a live/work space, but not a full office/restaurant/retail experience as the area is not currently conducive to retail or restaurant uses.

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
(919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9788206500/ -4502/ -5716

Date: 8-26-2020

Section A: Project Information

Project Name: Columbia Street Annex
Property Address: 1150 South Columbia Street Zip Code: 27514
Use Groups (A, B, and/or C): A, C Existing Zoning District: R-2
Project Description: Multi-use 52-unit residential development, underground parking, 4,000 sf general business space.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Coulter Jewell Thames PA, Attn: Wendi Ramsden
Address: 111 West Main Street
City: Durham State: NC Zip Code: 27701
Phone: 919-682-0368 Email: wramsdencjtpa.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: *Wendi Ramsden* Date: 2-16-2021

Owner/Contract Purchaser Information:

Owner

Contract Purchaser

Name: CN Hotel Associates Limited Partnership (9788205716)
Address: 3008 Anderson Drive, Suite 120
City: Raleigh State: NC Zip Code: 27609
Phone: 919-821-4665 Email: roland@whiteoakinc.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: *Bruce L. Roland* Date: 2/16/2021

Click [here](#) for application submittal instructions.



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NC BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF
LANDSCAPE ARCHITECTS
LIC # C-104

COLUMBIA STREET ANNEX

1150 South Columbia Street
Chapel Hill, North Carolina

OWNER:
CH HOTEL ASSOCIATES LLC.
3008 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609



If this drawing is not 24 x 36" it is a reduced print - refer to graphic scale

Date	For
24 May 18	Addition of RCD data
20 May 19	Review Comment Revisions
24 Oct 19	Review Comment Revisions
14 Feb 20	Review Comment Revisions
11 May 20	Review Comment Revisions
16 Feb 21	CZ Revisions

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Drawn By: WLR, MIC Date: 26 April 18

NOT FOR CONSTRUCTION
DRAWINGS FOR CONDITIONAL
ZONING PERMIT SUBMITTAL

COVER

CZ-0.0

COLUMBIA STREET ANNEX

1150 SOUTH COLUMBIA STREET, CHAPEL HILL, NC 27514

CONDITIONAL ZONING PERMIT APPLICATION

PROJECT DATA

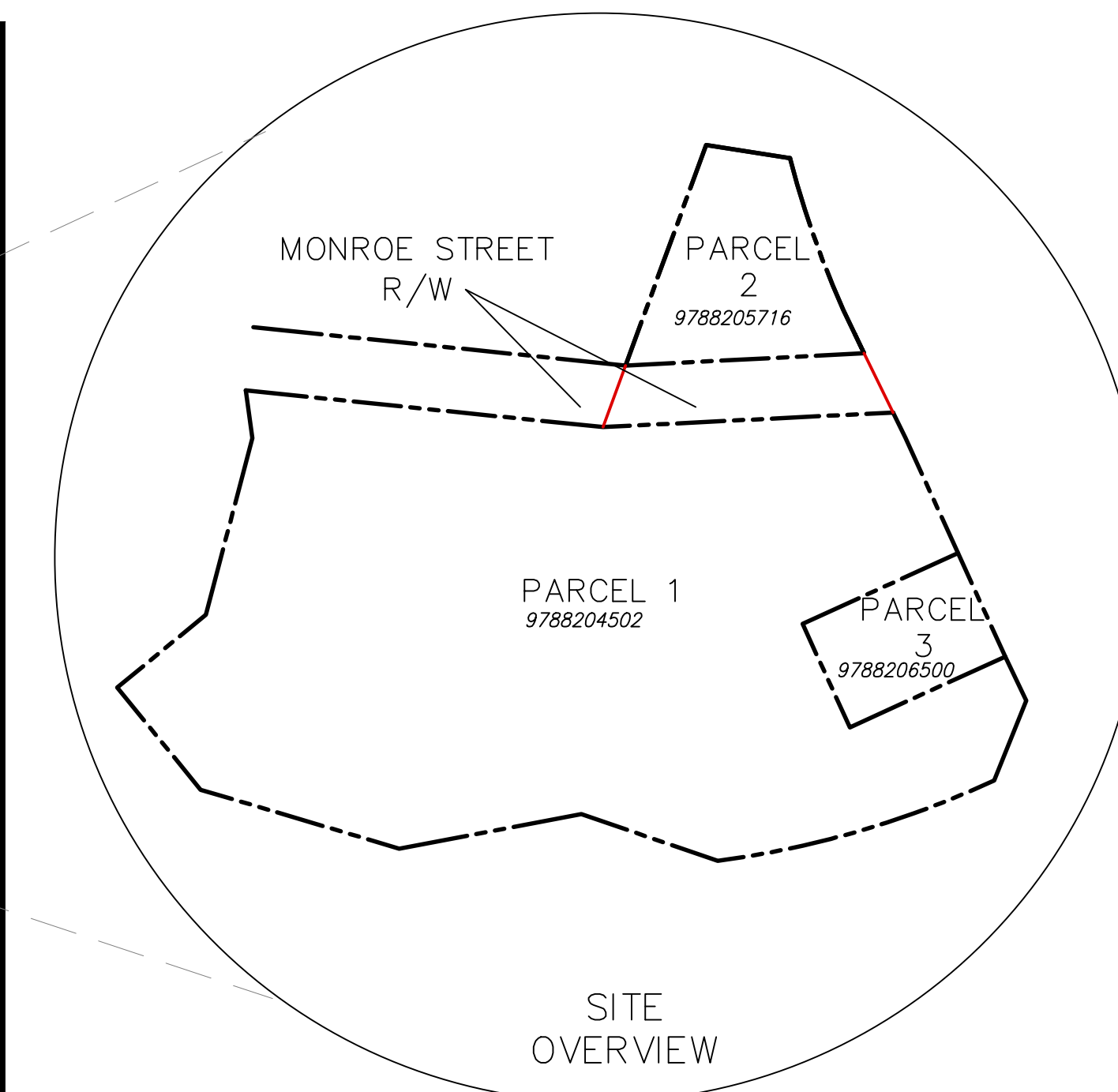
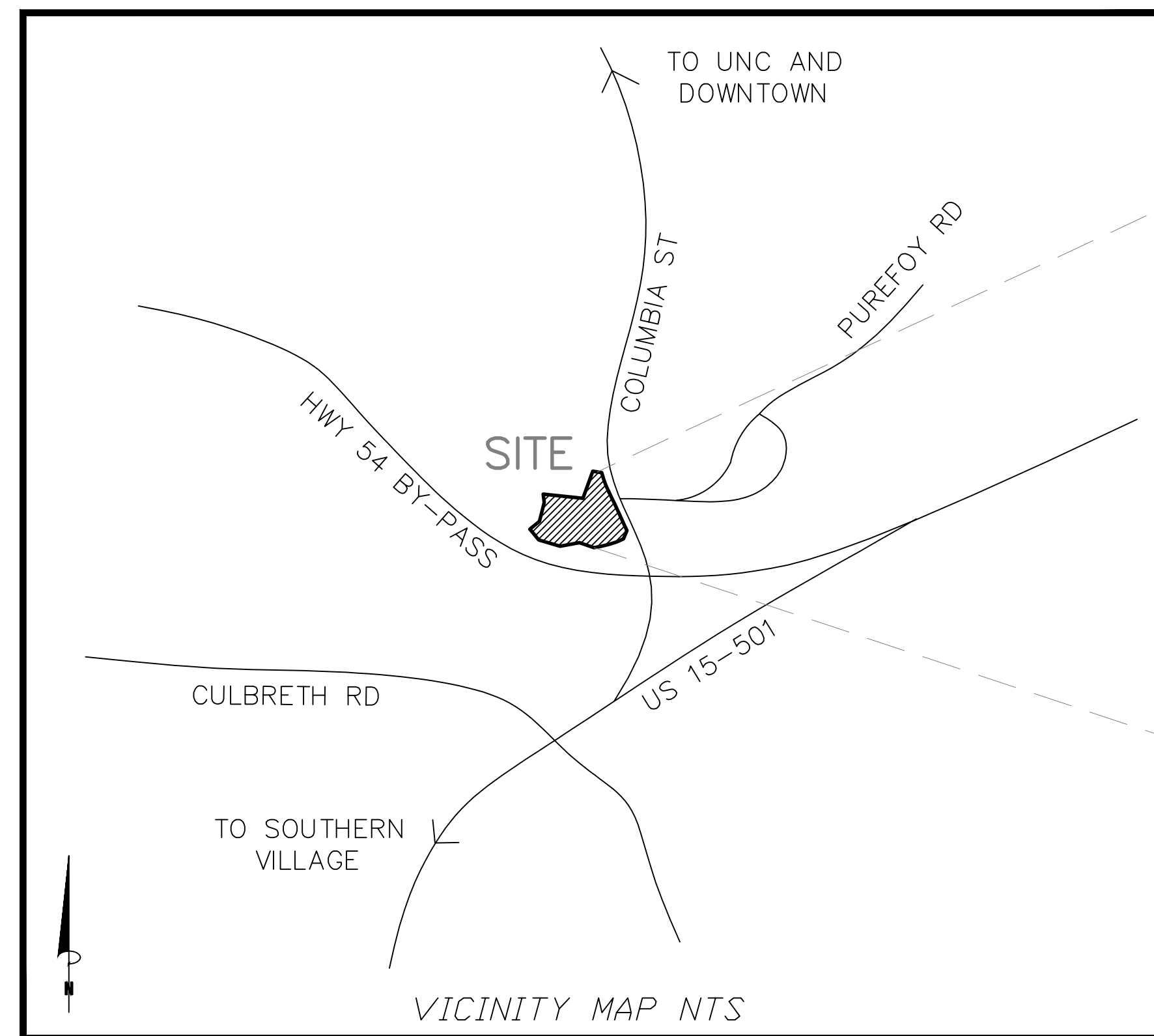
EXISTING USE	VACANT RESIDENTIAL
PROPOSED USE GROUP	MIXED USE - RESIDENTIAL, COMMERCIAL, RETAIL
PARCEL 1	9788204502
PARCEL 2	9788205716
PARCEL 3	9788206500
EXISTING LAND AREA	131,340.04 SF - PARCEL 1 14,228.80 SF - PARCEL 2 8,453.88 SF - PARCEL 3 6,967.76 SF - MONROE ST R/W 160,990.47 SF TOTAL NET LAND AREA
POST RECOMBINATION AREAS:	3.69 ACRES, NET
LAND AREA IN RCD streamside zone	35,935 SF net
LAND AREA IN RCD managed use zone	38,618 SF net
LAND AREA IN RCD upland zone	34,668 SF net
LAND AREA non-RCD	51,769 SF net
GROSS LAND AREA	177,090 SF / 4.065 ACRES
PROJECT AREA	1.64 ACRES NET / 1.804 AC GROSS
DISTURBED AREA	1.64 ACRES
EXISTING ZONING	R-2
PROPOSED ZONING	MU-V
FAR	MU-V ARTERIAL 1.2 x 86,437 = 103,724 sf RCD - streamside 0.01 x 35,935 = 359 sf RCD - managed use 0.019 x 38,618 = 734
MAXIMUM BUILDING SIZE	104,817 SF BASED ON GROSS LAND AREA

EXISTING BUILDING SIZE	N/A
PROPOSED BUILDING SIZE	54,000 SF residential 2,000-3,000 SF general business maximum 57,000 SF total (incl mechanical, excl underground parking and outdoor walkways / balconies) RESIDENTIAL: maximum 60 UNITS TOTAL (15% WILL BE DESIGNATED AFFORDABLE)
PROPOSED FAR	.322
REQUIRED PARKING BASED ON MAXIMUM BLDG SIZE	MIN 67 SPACES, MAX 120 SPACES
PROPOSED PARKING	69 SPACES INCLUDING: 3 VAN ACCESSIBLE ADA (all in underground parking) 18 STANDARD SURFACE SPACES 28 SINGLE LOADED UNDERGROUND SPACES INCLUDING 3 COMPACT 20 UNDERGROUND GARAGE (DOUBLE STACKED)

PROPOSED CAR CHARGING STATIONS	1 LOCATED IN UNDERGROUND GARAGE SERVING 2 SPACES (3% OF PARKING)
EXISTING IMPERVIOUS	676 SF
PROPOSED IMPERVIOUS	48,950 SF
REQUIRED BICYCLE PARKING	GENERAL BUSINESS: 4 + 2 per 2500 sf = 6 SPACES (20% CLASS I AND 80% CLASS II) RESIDENTIAL: 1 per 4 units = 15 SPACES (90% CLASS I AND 10% CLASS II) TOTAL BIKE PARKING REQUIRED WILL EXCEED LUMO REQUIREMENT
PROPOSED BICYCLE PARKING	LOCATIONS: UNDERGROUND PARKING, SURFACE PLAZA, IN RESIDENTIAL UNITS, IN COMMON NON-RESIDENTIAL SPACE
EXISTING TREE CANOPY	134,000 SF = 80.8% OF SITE
REQUIRED TREE CANOPY	40% = 58,724 SF CALCULATION ON SHEET CZ-7.0
PROPOSED TREE CANOPY	66,331 SF (EXISTING RETAINED COVERAGE)

REQUIRED RECREATION SPACE	0.046 RSR GROSS LOT AREA IS 177,090 SF PROJECT AREA IS 71,450 SF RESIDENTIAL PERCENTAGE OF PROJECT IS 93.4% PROJECT AREA x RECREATION MULTIPLIER x PERCENTAGE RESIDENTIAL = 71,450 x 0.06 x .934 = 3,070 SF PAYMENT IN LIEU IS \$12/SF
RECREATION SPACE PROVIDED	3,070 SF ACTIVE RECREATION SPACE PROVIDED AS FITNESS CENTER IN THE BUILDING FOR TENANTS SHORTFALL IN FINAL INTERIOR FITNESS SPACE SQUARE FOOTAGE WILL BE MADE UP AS PAYMENT IN LIEU AT \$12/SF

2,000-3,000 SF GENERAL BUSINESS
1 SPACE/300 SF TO 1 SPACE /200 SF = 7 MIN 15 MAX
60 RESIDENTIAL UNITS
MIX OF STUDIO / 1 BDRM / 2 BDRM
1.0 TO 1.75 PER UNIT = 60 MIN 105 MAX
NON-RESIDENTIAL SPACE IS INTENDED FOR USE BY RESIDENTS FOR WORK/LIVE USE. THERE IS NO PARKING SPECIFICALLY RESERVED FOR THE NON-RESIDENTIAL SPACE.



LIST OF SHEETS

CZ-0.0	COVER SHEET
CZ-0.1	AREA MAP
CZ-1.0	EXISTING CONDITIONS, TREE SURVEY, DEMOLITION, AND TREE PROTECTION PLAN
CZ-1.1	SITE ANALYSIS
CZ-1.2	TREESAVE PLAN
CZ-2.0	SITE PLAN - OVERALL
CZ-2.1	SITE PLAN - UNDERGROUND PARKING
CZ-3.0	GRADING PLAN
CZ-3.1	SITE / RCD SECTIONS
CZ-3.2	DRIVEWAY/PARKING SECTIONS
CZ-3.3	STORMWATER MAINTENANCE PLAN
CZ-4.0	EROSION CONTROL PLAN
CZ-5.0	UTILITY PLAN
CZ-6.0	NOT USED
CZ-7.0	LANDSCAPE AND TREESAVE PLAN
CZ-8.0	SITE DETAILS
CZ-8.1	STORMWATER DETAILS
CZ-8.2	STREAM RESTORATION DETAILS
CZ-8.3	SITE DETAILS
A-5.1	ELEVATIONS - EAST, WEST
A-5.2	ELEVATIONS - NORTH, SOUTH
A-5.3	ZONING ENVELOPE DIAGRAM

SPECIAL CONDITIONS OF APPROVAL

1. PARCELS MUST BE RECOMBINED PRIOR TO ZCP APPROVAL.
2. THE BUILDINGS ARE REQUIRED TO BE SPRINKLED.
3. LAYOUT IS BASED ON A RIGHT-IN / RIGHT-OUT DRIVEWAY CONFIGURATION.
4. THE APPLICANT MUST SUBMIT A CONSTRUCTION MANAGEMENT PLAN FOR APPROVAL BY THE TOWN PRIOR TO ISSUANCE OF A ZONING COMPLIANCE PERMIT.
5. THE PROJECT WILL MEET THE TOWN'S 15% AFFORDABLE HOUSING REQUIREMENT, WITH THE PROVISION OF 7 AFFORDABLE UNITS PROVIDED IN THE BUILDING.
6. CONTRACTORS MUST COMPLETE THE TOWN'S TREE PROTECTION SEMINAR PRIOR TO TREE PROTECTION FENCE INSTALLATION. CONTACT ADAM NICHOLSON, URBAN FORESTRY, 919-969-5006.
7. DEVELOPER WILL BE REQUIRED TO INSTALL ADA RAMPS AND PEDESTRIAN ACTIVATED LED SIGNAL AT THE EVENTUAL SOUTH COLUMBIA STREET CROSSWALK LOCATION IN FRONT OF OR JUST NORTH OF THE PROJECT SITE.
8. REVISED S COLUMBIA STREET TRAFFIC COUNTS WILL BE REQUIRED AT ZCP SUBMITTAL.

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COLUMBIA STREET ANNEX

1150 South Columbia Street
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OWNER:
 CH HOTEL ASSOCIATES LLC.
 3008 ANDERSON DRIVE, SUITE 120
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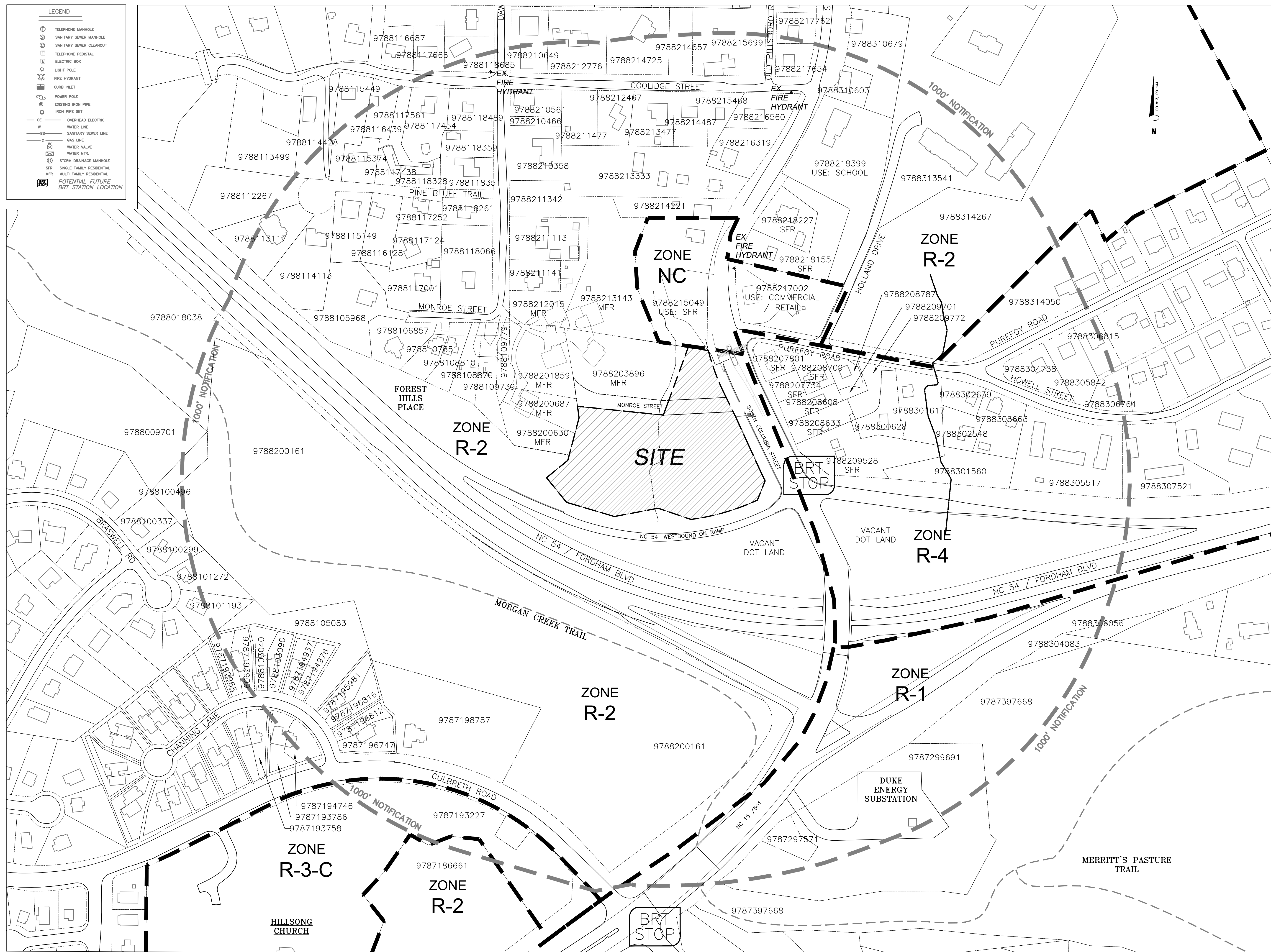
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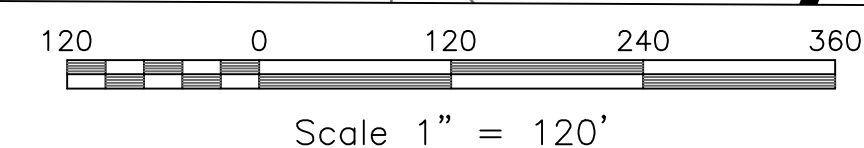
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AREA MAP

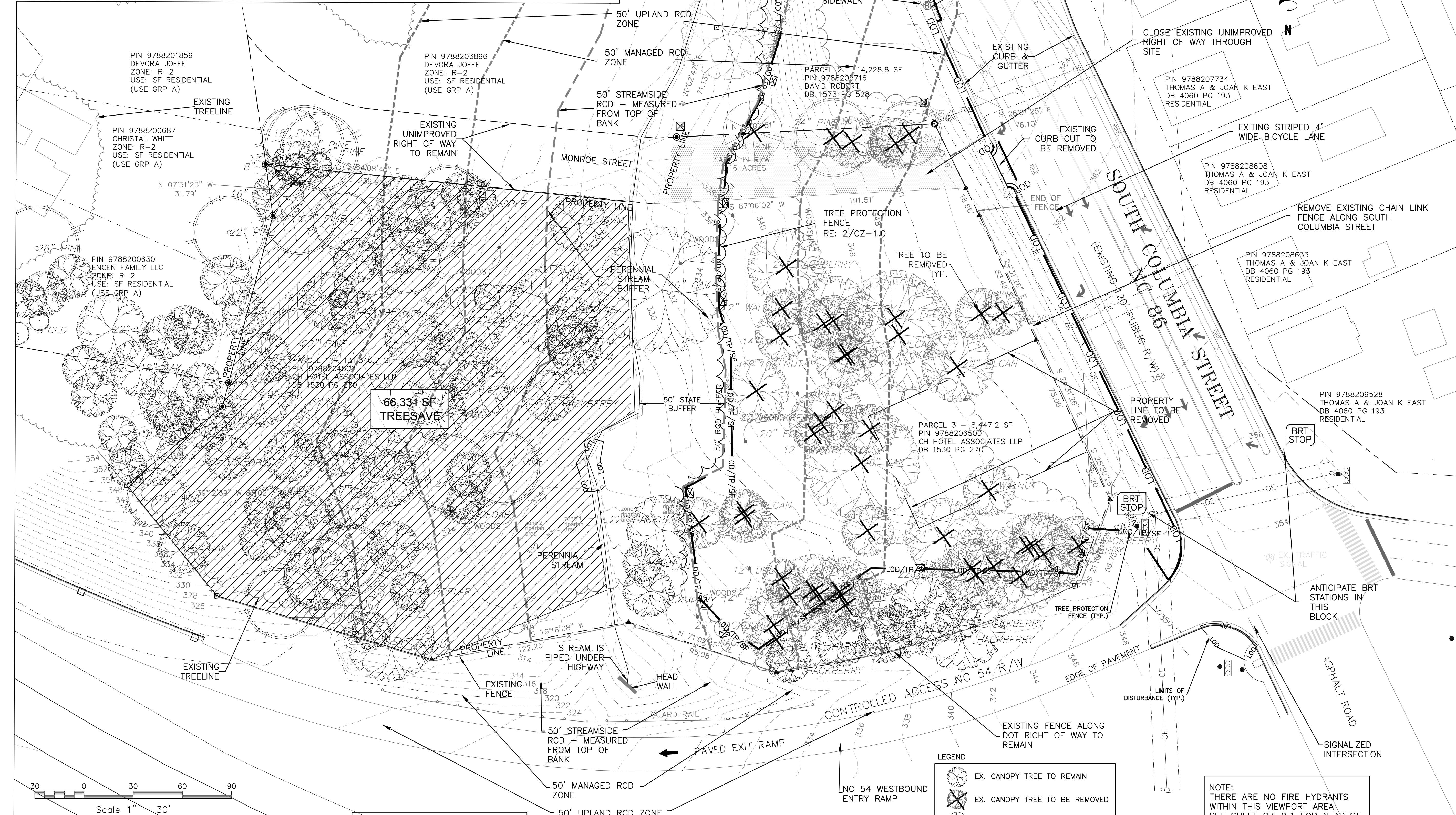
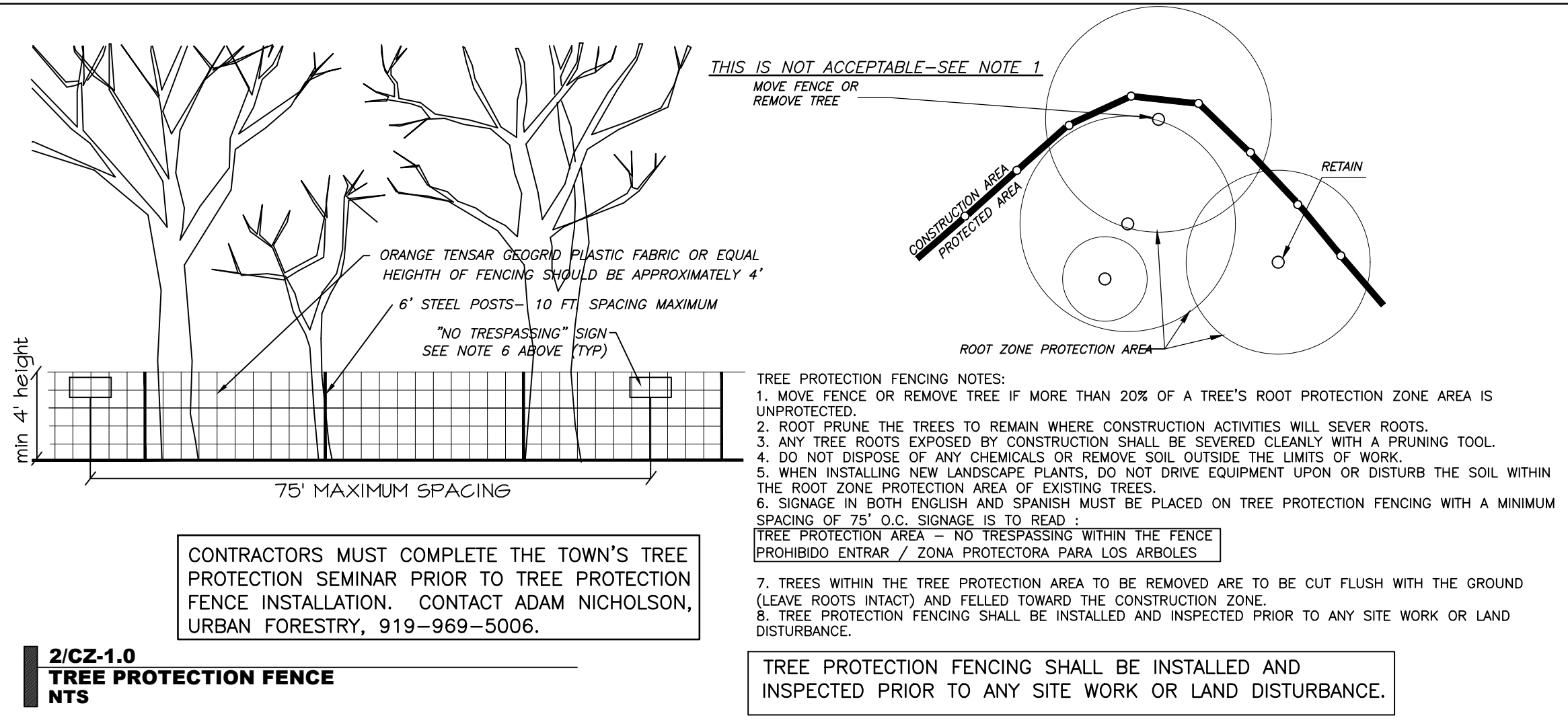
CZ-0.1



1/16"=1'-0"
 AREA MAP
 SCALE: 1"=120'



Scale 1" = 120'



1/CZ-1.0 EXISTING CONDITIONS & DEMOLITION PLAN
SCALE: 1"=30'

EXISTING CONDITIONS WERE SURVEYED BY THE JOHN R. MCADAM COMPANY, 3-9-98. TREE SURVEY WAS COMPLETED BY COULTER JEWELL THAMES PA, 4-26-13.

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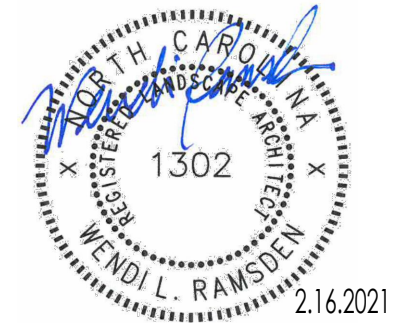
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EXISTING CONDITIONS, TREE SURVEY, AND DEMOLITION PLAN

CZ-1.0

TOPOGRAPHY/SLOPES:

BECAUSE OF DOT ROAD CONSTRUCTION IN THE 1990'S, THE SITE SITS MUCH LOWER THAN COLUMBIA STREET AND THERE IS A STEEP DROP FROM THE STREET INTO THE SITE. THE SITES SLOPES FROM NORTH TO SOUTH, AND DROPS APPROXIMATELY 30 FEET OVER THE WIDTH OF THE SITE. THE DEVELOPMENT WILL TAKE ADVANTAGE OF THIS DROP BY SETTING THE BUILDING INTO THE SLOPE AND PROVIDING STREET LEVEL ACCESS TO THE PLAZA AND BUILDING. SERVICE AND PARKING USES WILL BE PLACED BELOW STREET LEVEL. SOME USABLE SPACE WILL FACE AND ACCESS LOWER LEVEL PARKING ON THE WEST SIDE. THE SITE HAS SLOPES OF 4% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

EXISTING SLOPES:

10-15% = 37,161.8 SF (22.4% OF THE SITE)
 15-25% = 24,507.7 SF (14.8% OF THE SITE)
 >25% = 9,541.8 SF (5.8% OF THE SITE)
 57.0% OF THE SITE HAS <10% SLOPE

HYDROLOGICAL FEATURES/DRAINAGE:

THERE IS AN PERENNIAL STREAM IN THE CENTER OF THE SITE AND AN EPHEMERAL STREAM ON THE WESTERN SIDE OF THE SITE. THE SITE GENERALLY DRAINS FROM NORTH TO SOUTH.

SOIL TYPES:

THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES TWO SOILS ON THIS SITE. THE WESTERN, EASTERN, AND SOUTH-CENTRAL PORTIONS OF THE SITE ARE WEDDOWEE SANDY LOAM WITH 4% TO >25% SLOPES. THE NORTH-CENTRAL PORTION OF THE SITE IS A APPLING SANDY LOAM WITH 6% TO >25% SLOPES.

SUN/SHADE PATTERNS:

THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE STRUCTURE DURING THE COURSE OF THE DAY. THE FRONT ENTRY WILL GET MORNING SUN. SOME EXISTING TREES WILL BE RETAINED SOUTH OF THE BUILDING IN THE BUFFER AGAINST THE NC 54 ON-RAMP. PLANTINGS WILL BE ADDED TO THE COLUMBIA STREET PLAZA AND FRONTAGE.

TREES IN THE PARKING LOT WILL BE CONCENTRATED ALONG THE EAST AND SOUTH SIDES OF THE PARKING BAYS TO PROVIDE MAXIMUM SHADE FOR VEHICLES. SOME PARKING IS LOCATED UNDER THE BUILDING. SOME PARKING IS ON THE NORTH SIDE OF 6 AND 7 STORY BUILDINGS AND WILL BE SHADED BY THE BUILDINGS. THERE WILL BE PLANTINGS AT THE ENTRY AND ALONG THE SIDEWALKS TO PROVIDE MAXIMUM SHADE FOR PEDESTRIANS.

FEMA FLOODPLAIN INFORMATION:

THERE IS NO MAPPED FLOODPLAIN ON SITE PER FEMA PANEL 3710978800J.

SPECIAL FEATURES:

THIS PROPERTY HAS FRONTAGE ON SOUTH COLUMBIA STREET AND THE WESTBOUND NC 54 ON-RAMP.

VEGETATION:

THE SITE IS ENTIRELY TREED IN HARDWOODS AND SOME PINES TO THE WEST. THE SITE WEST OF THE PERENNIAL STREAM WILL BE LEFT FORESTED AND UNDISTURBED.

SLOPE DISTURBANCE IN PROJECT AREA
 CALCULATIONS ARE FOR AREA EAST OF STREAM CENTERLINE

- [Blank Box] SLOPES <10%
- [Diagonal Lines] AREA OF SLOPES 10-15% 24,508 SF
- [Cross-hatch] AREA OF SLOPES 15-25% 34,509 SF
 AREA OF 15-35% SLOPE DISTURBANCE 11,573 SF
 = 33.5%
- [Dense Cross-hatch] AREA OF SLOPES >25% 9,541 SF
 STEEP SLOPE DISTURBANCE: 9,541 SF
 = 100%



Scale 1" = 30'

1/CZ-1.1
 SITE ANALYSIS
 SCALE: 1"=30'

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Drawn By: WLR, MTC Date: 26 April 18

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SITE ANALYSIS

CZ-1.1

LEGEND

- ⊕ TELEPHONE MANHOLE
- ⊙ SANITARY SEWER MANHOLE
- ⊕ SANITARY SEWER CLEANOUT
- ⊕ TELEPHONE PEDISTAL
- ⊕ ELECTRIC BOX
- ⊕ LIGHT POLE
- ⊕ FIRE HYDRANT
- ⊕ CURB INLET
- ⊕ POWER POLE
- ⊕ EXISTING IRON PIPE
- ⊕ IRON PIPE SET
- OE OVERHEAD ELECTRIC
- W WATER LINE
- SS SANITARY SEWER LINE
- G GAS LINE
- ⊕ W VALVE
- ⊕ W MTR.
- ⊕ STORM DRAINAGE MANHOLE
- SFR SINGLE FAMILY RESIDENTIAL
- MFR MULTIFAMILY RESIDENTIAL

- WmE SOIL CLASSIFICATION
- ⊕ EXIST TREE
- [Blank Box] SLOPES <10%
- [Diagonal Lines] SLOPES 10-15%
- [Cross-hatch] SLOPES 15-25%
- [Dense Cross-hatch] SLOPES >25%



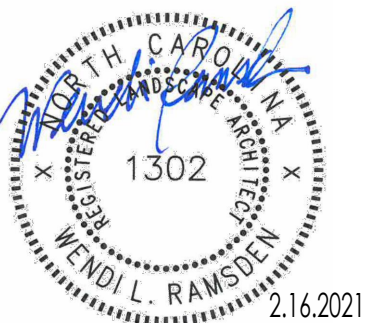
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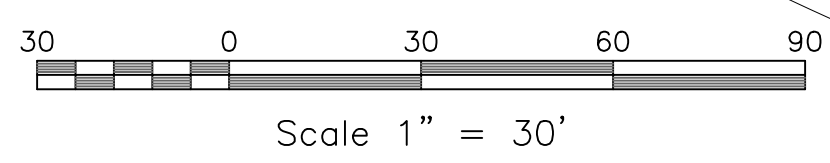
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TREE CANOPY PLAN

CZ-1.2

SLOPE DISTURBANCE IN PROJECT AREA CALCULATIONS ARE FOR AREA EAST OF STREAM CENTERLINE

- SLOPES <10%
- AREA OF SLOPES 10-15% 24,508 SF
- AREA OF SLOPES 15-25% 34,509 SF
AREA OF 15-35% SLOPE DISTURBANCE 11,573 SF = 33.5%
- AREA OF SLOPES >25% 9,541 SF
STEEP SLOPE DISTURBANCE: 9,541 SF = 100%

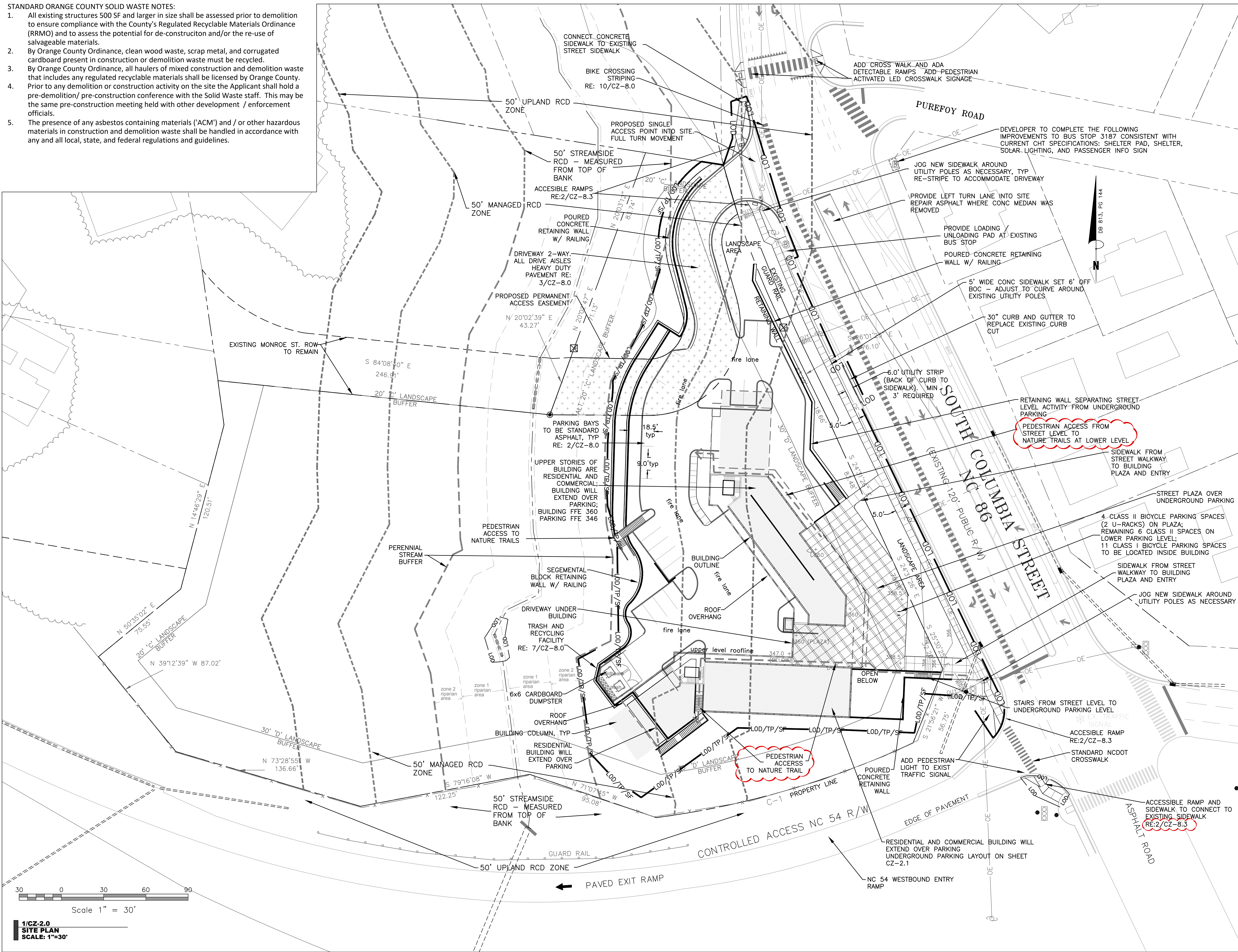


1/CZ-1.2
TREE CANOPY PLAN
SCALE: 1"=30'

- #### LEGEND
- TELEPHONE MANHOLE
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - TELEPHONE PEDISTAL
 - ELECTRIC BOX
 - LIGHT POLE
 - FIRE HYDRANT
 - CURB INLET
 - POWER POLE
 - EXISTING IRON PIPE
 - IRON PIPE SET
 - OVERHEAD ELECTRIC
 - WATER LINE
 - SANITARY SEWER LINE
 - GAS LINE
 - WATER VALVE
 - WATER MTR.
 - STORM DRAINAGE MANHOLE
 - SINGLE FAMILY RESIDENTIAL
 - MULTI FAMILY RESIDENTIAL

STANDARD ORANGE COUNTY SOLID WASTE NOTES:

- All existing structures 500 SF and larger in size shall be assessed prior to demolition to ensure compliance with the County's Regulated Recyclable Materials Ordinance (RRMO) and to assess the potential for de-construction and/or the re-use of salvageable materials.
- By Orange County Ordinance, clean wood waste, scrap metal, and corrugated cardboard present in construction or demolition waste must be recycled.
- By Orange County Ordinance, all haulers of mixed construction and demolition waste that includes any regulated recyclable materials shall be licensed by Orange County. Prior to any demolition or construction activity on the site the Applicant shall hold a pre-demolition/pre-construction conference with the Solid Waste staff. This may be the same pre-construction meeting held with other development/enforcement officials.
- The presence of any asbestos containing materials (ACM) and/or other hazardous materials in construction and demolition waste shall be handled in accordance with any and all local, state, and federal regulations and guidelines.



1/CZ-2.0
SITE PLAN
SCALE: 1"=30'

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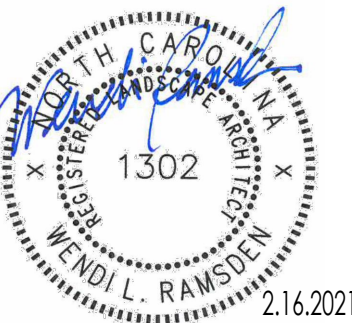
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**COLUMBIA
STREET ANNEX**

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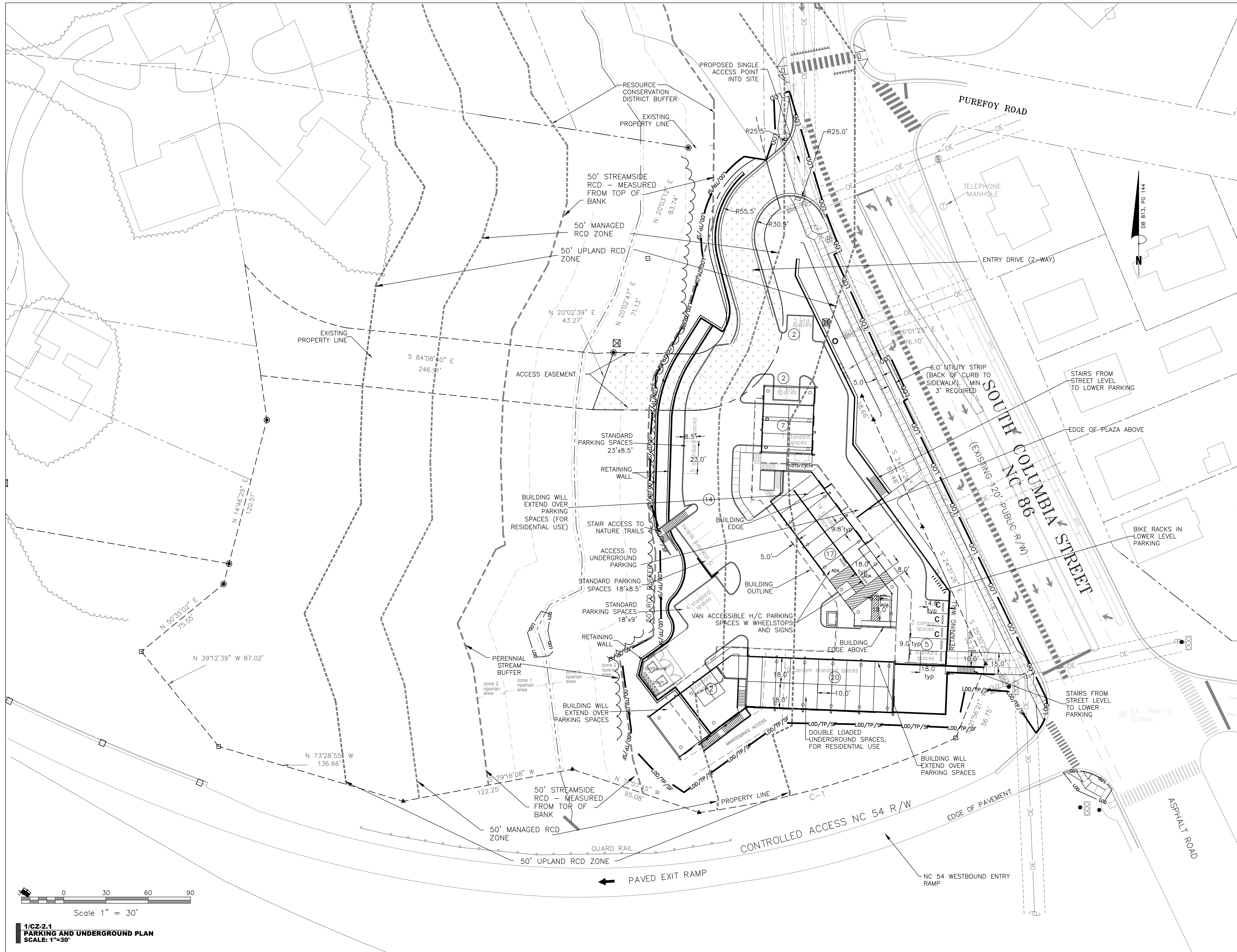
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**OVERALL
SITE PLAN
STREET LEVEL
BUILDING PLAN**

CZ-2.0



1/CZ-2.1
PARKING AND UNDERGROUND PLAN
SCALE: 1"=30'

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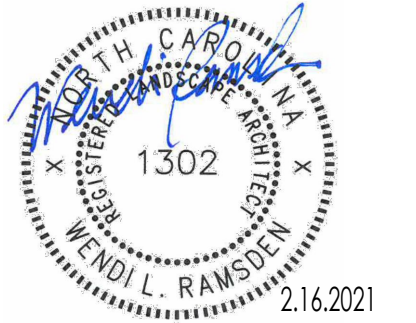
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SITE PLAN UNDERGROUND PARKING LAYOUT

CZ-2.1



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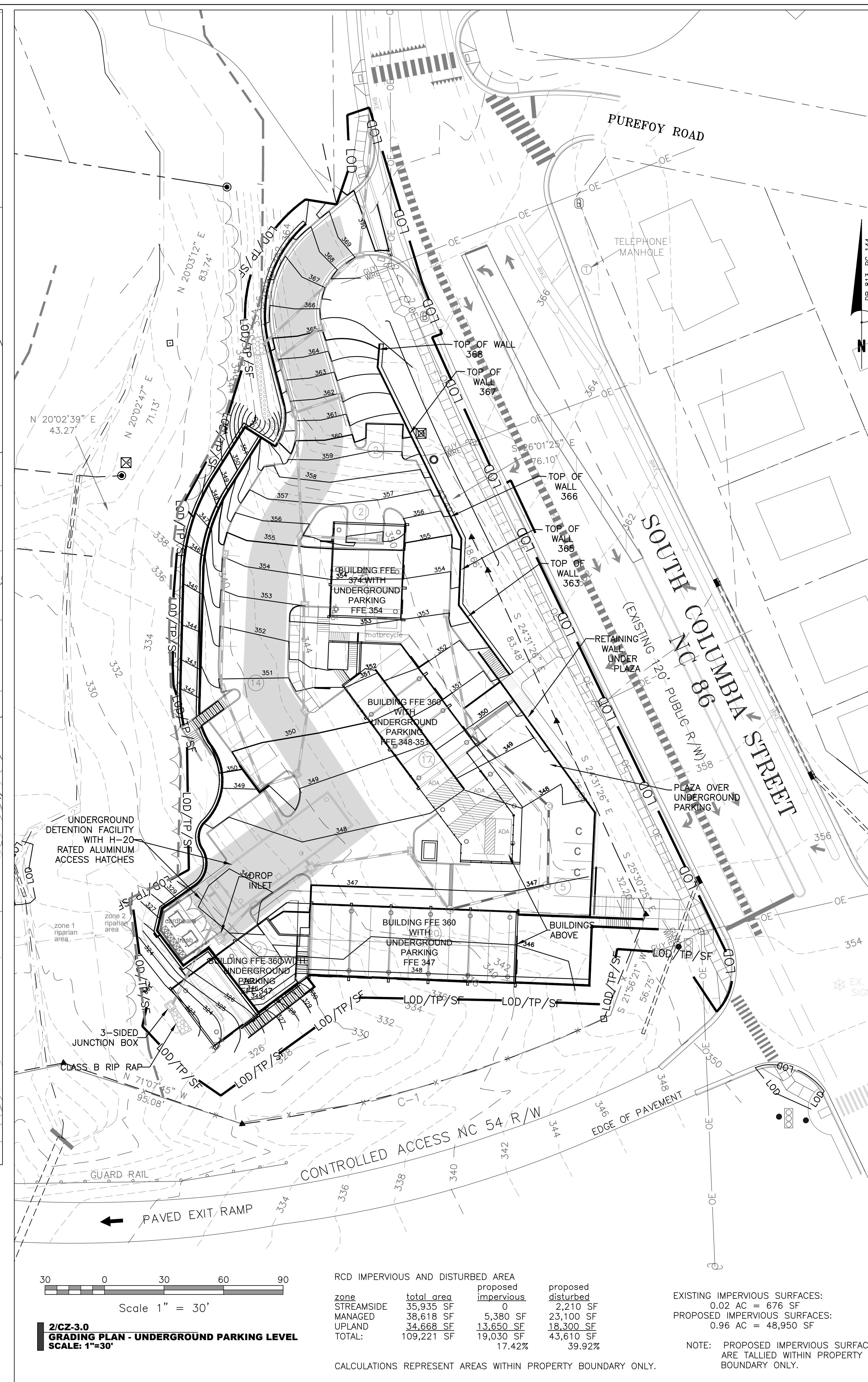
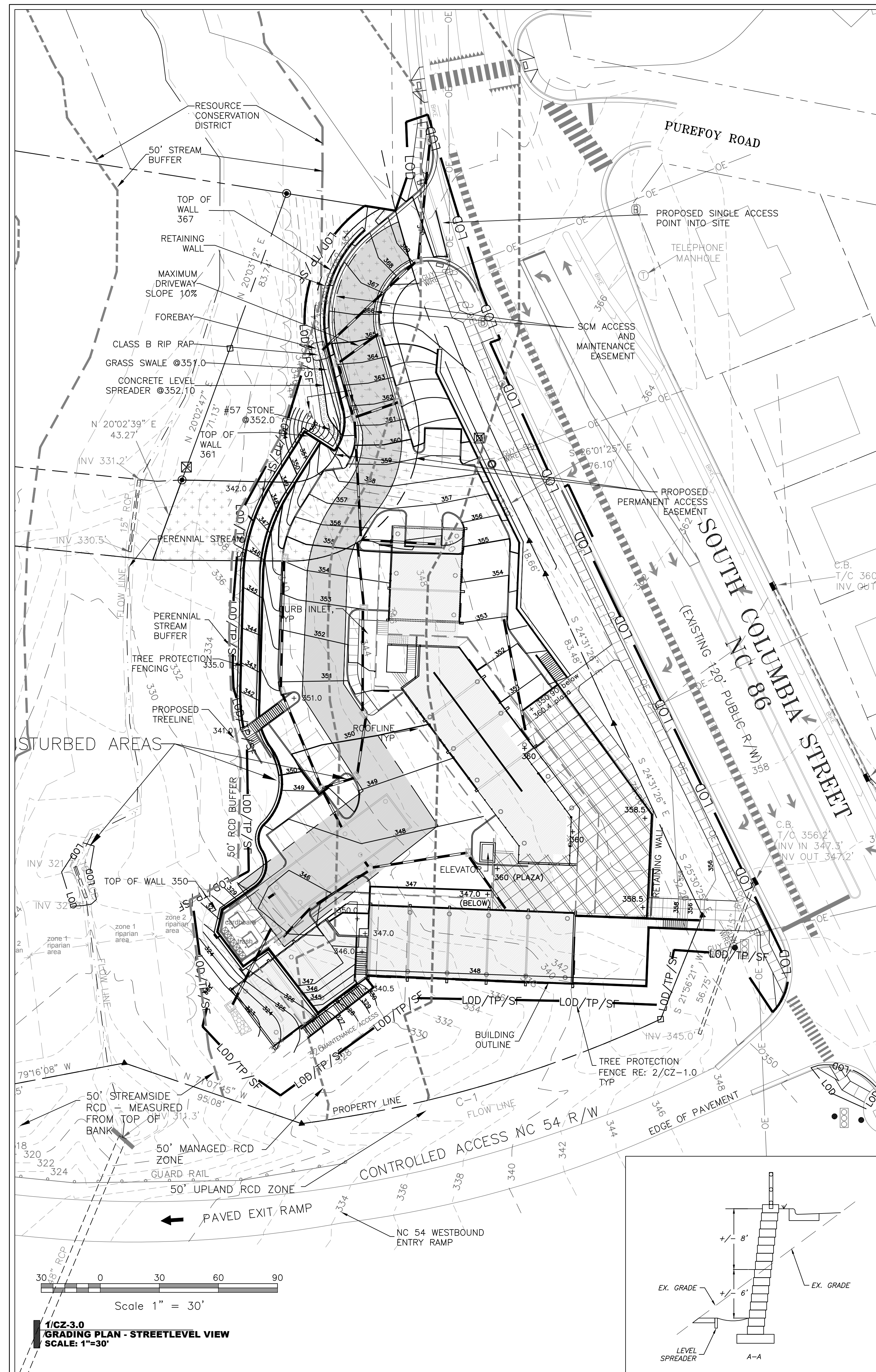
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GRADING, TREE PROTECTION AND STORMWATER PLAN

CZ-3.0



RCD IMPERVIOUS AND DISTURBED AREA

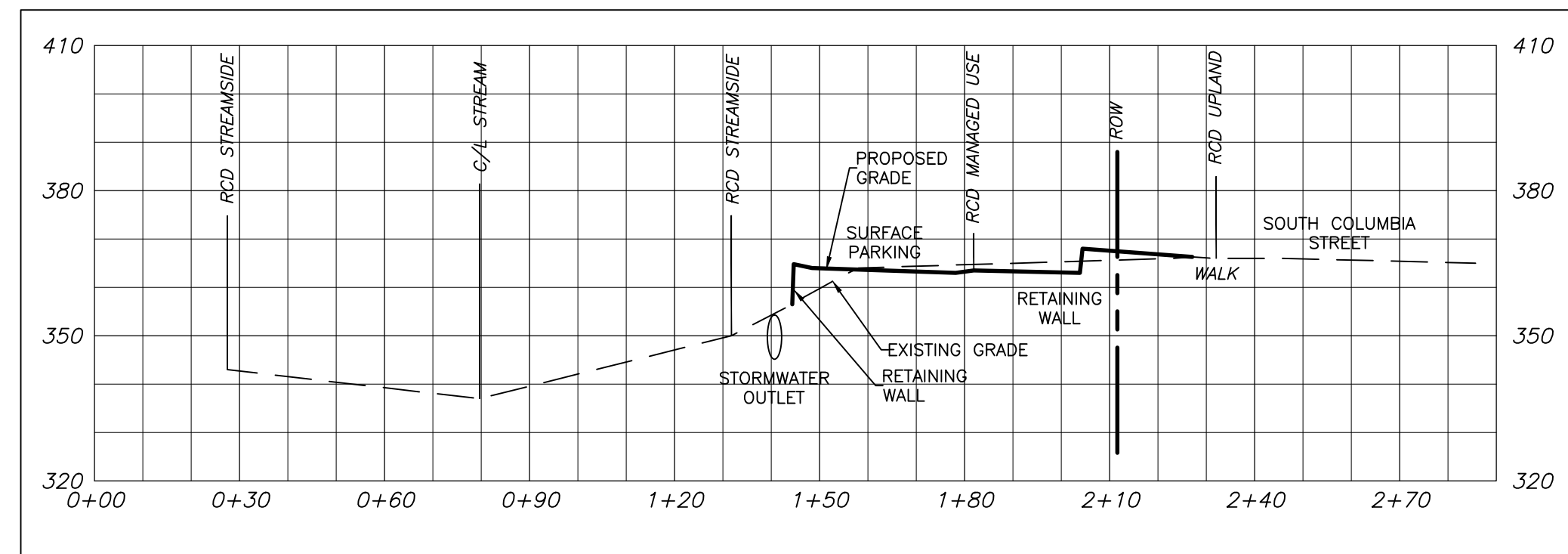
zone	total area	proposed impervious	proposed disturbed
STREAMSIDE	35,935 SF	0	2,210 SF
MANAGED	38,618 SF	5,380 SF	23,100 SF
UPLAND	34,668 SF	13,650 SF	18,300 SF
TOTAL:	109,221 SF	19,030 SF	43,610 SF
		17.42%	39.92%

EXISTING IMPERVIOUS SURFACES:
 0.02 AC = 676 SF

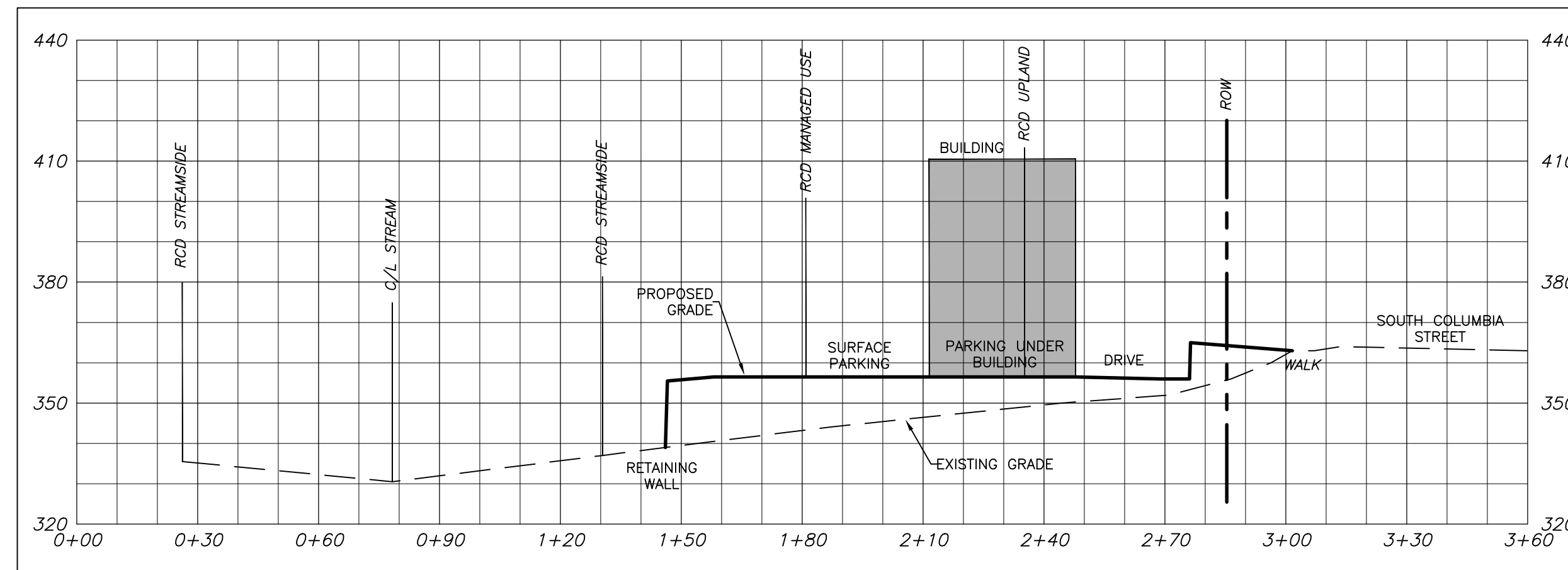
PROPOSED IMPERVIOUS SURFACES:
 0.96 AC = 48,950 SF

NOTE: PROPOSED IMPERVIOUS SURFACES ARE TALLIED WITHIN PROPERTY BOUNDARY ONLY.

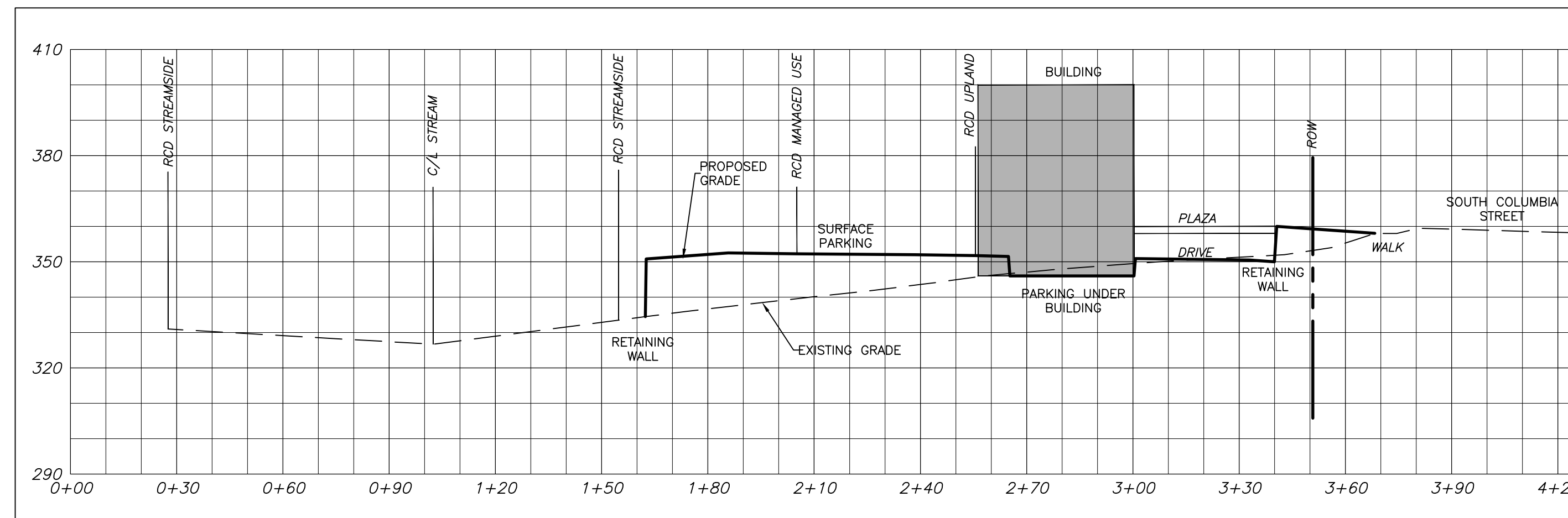
CALCULATIONS REPRESENT AREAS WITHIN PROPERTY BOUNDARY ONLY.



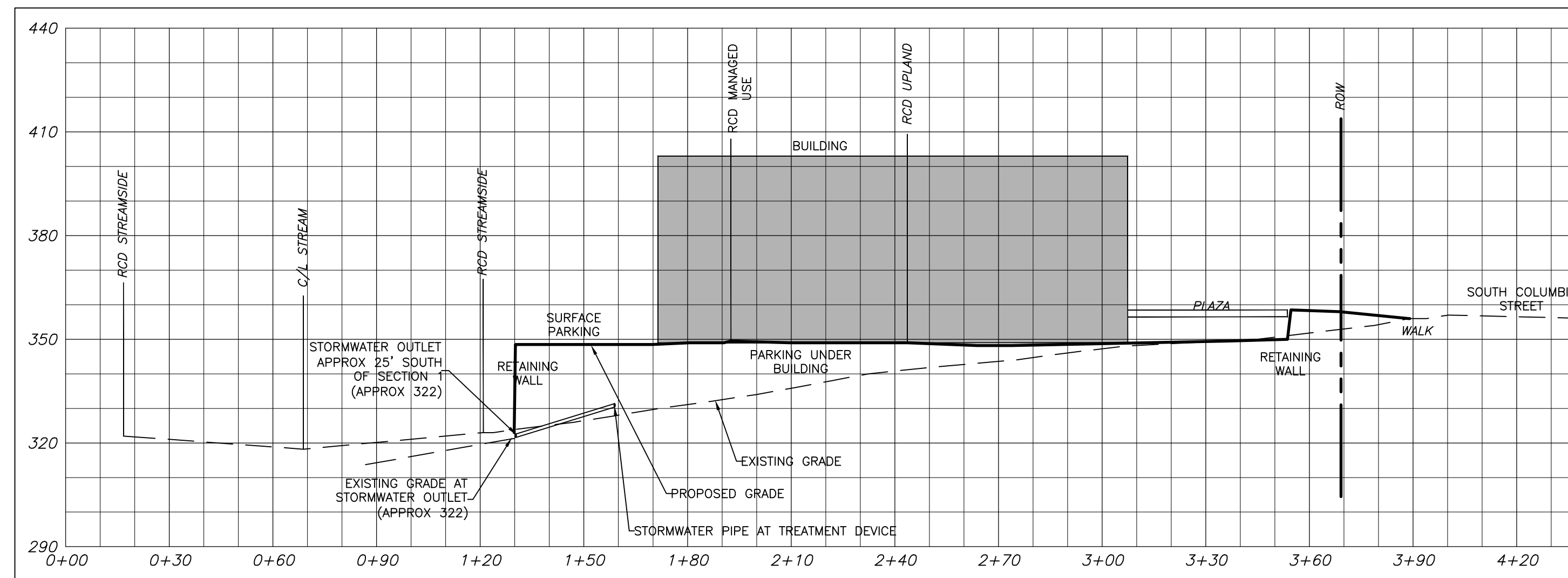
6/CZ-3.1 SECTION 5
 HORIZ: 1"=30'
 VERT: 1"=30'



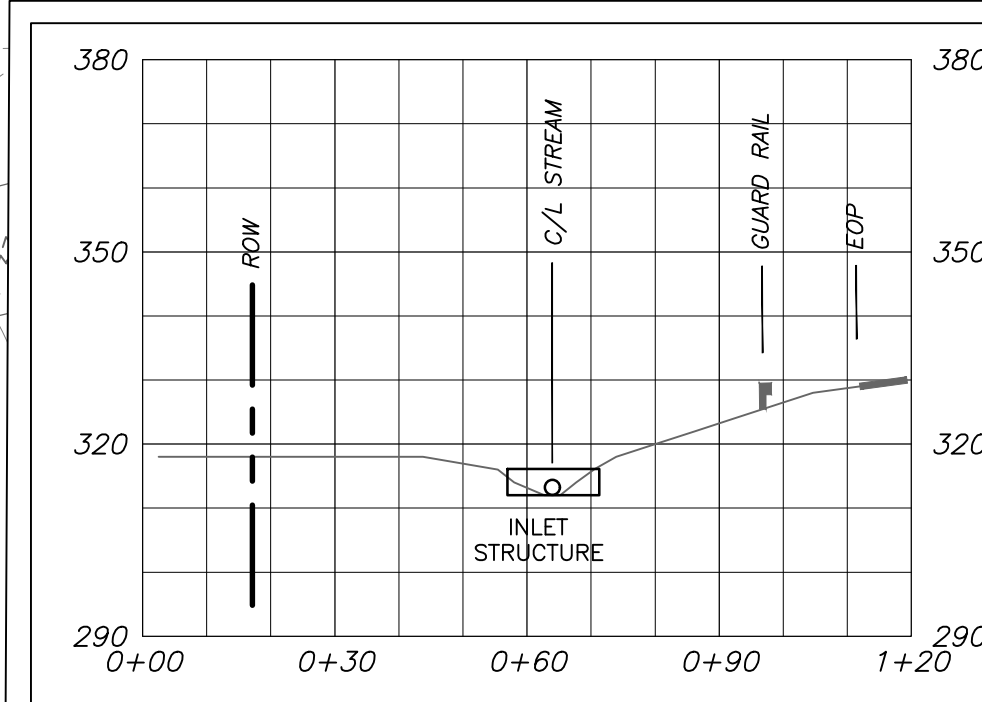
5/CZ-3.1 SECTION 4
 HORIZ: 1"=30'
 VERT: 1"=30'



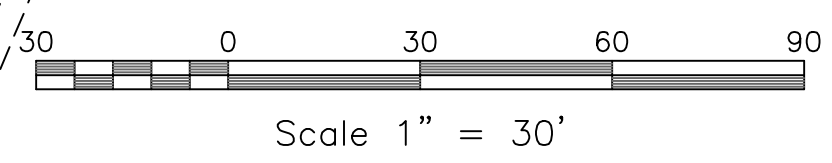
4/CZ-3.1 SECTION 3
 HORIZ: 1"=30'
 VERT: 1"=30'



3/CZ-3.1 SECTION 2
 HORIZ: 1"=30'
 VERT: 1"=30'



2/CZ-3.1 SECTION 1
 HORIZ: 1"=30'
 VERT: 1"=30'



1/CZ-3.1 SECTION KEY
 SCALE: 1"=30'

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COLUMBIA STREET ANNEX

1150 South Columbia Street
 Chapel Hill, North Carolina

OWNER:
 CH HOTEL ASSOCIATES LLC.
 3008 ANDERSON DRIVE, SUITE 120
 RALEIGH NC 27609



If this drawing is not 24" x 36" it is a reduced print - refer to graphic scale

Date	For
24 May 18	Addition of RCD data
20 May 19	Review Comment Revisions
24 Oct 19	Review Comment Revisions
14 Feb 20	Review Comment Revisions
11 May 20	Review Comment Revisions
16 Feb 21	CZ Revisions

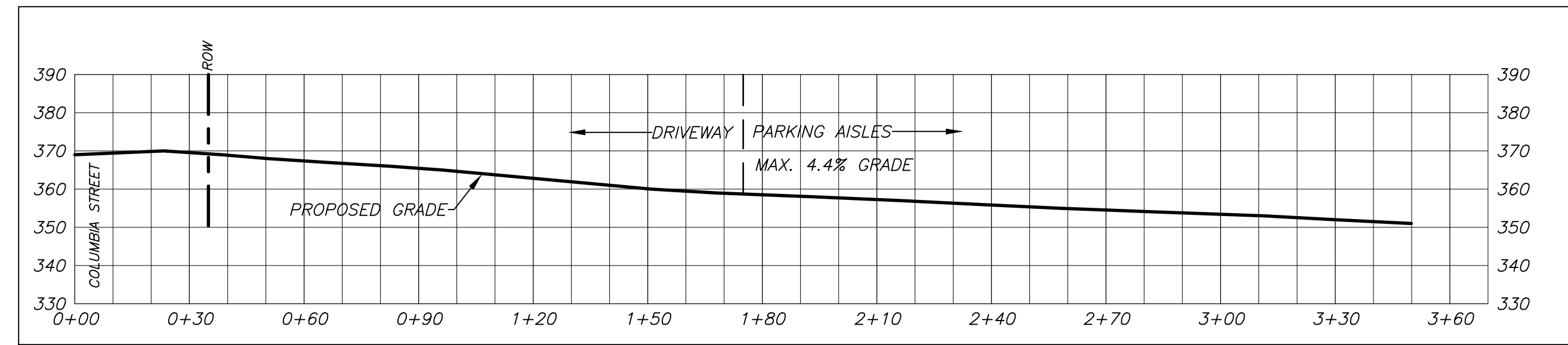
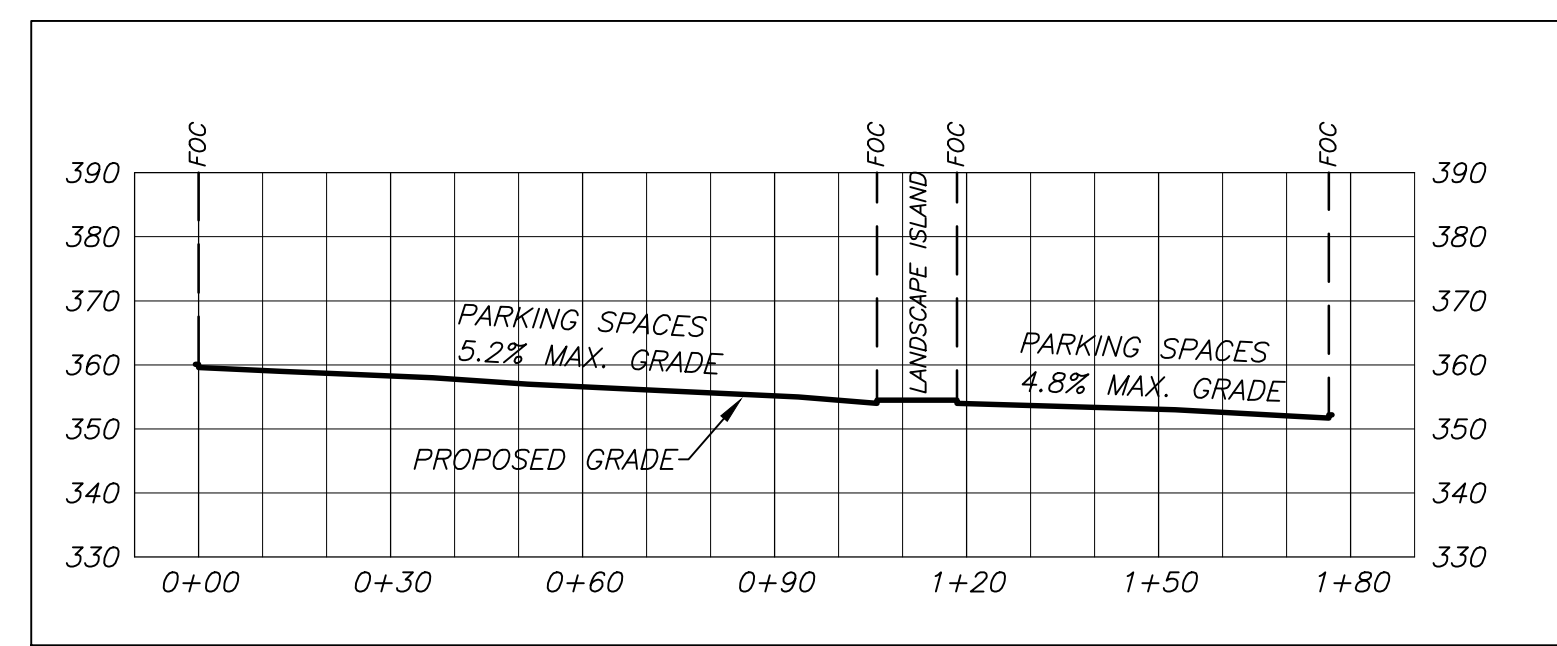
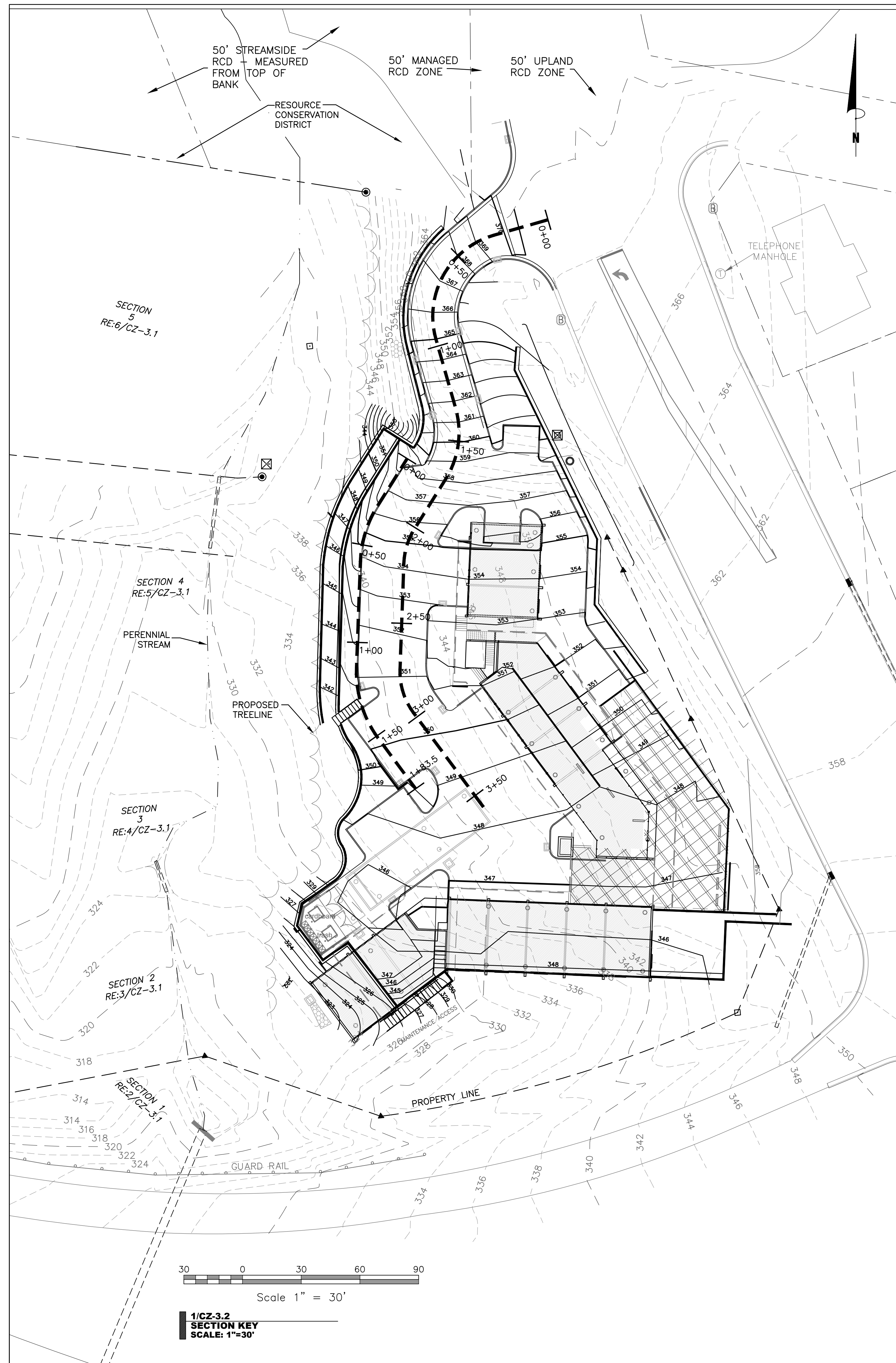
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SITE / RCD SECTIONS

CZ-3.1



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DRIVE / PARKING SECTIONS

CZ-3.2



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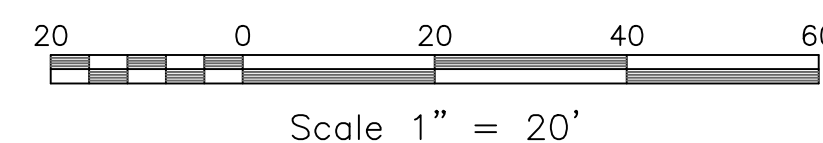
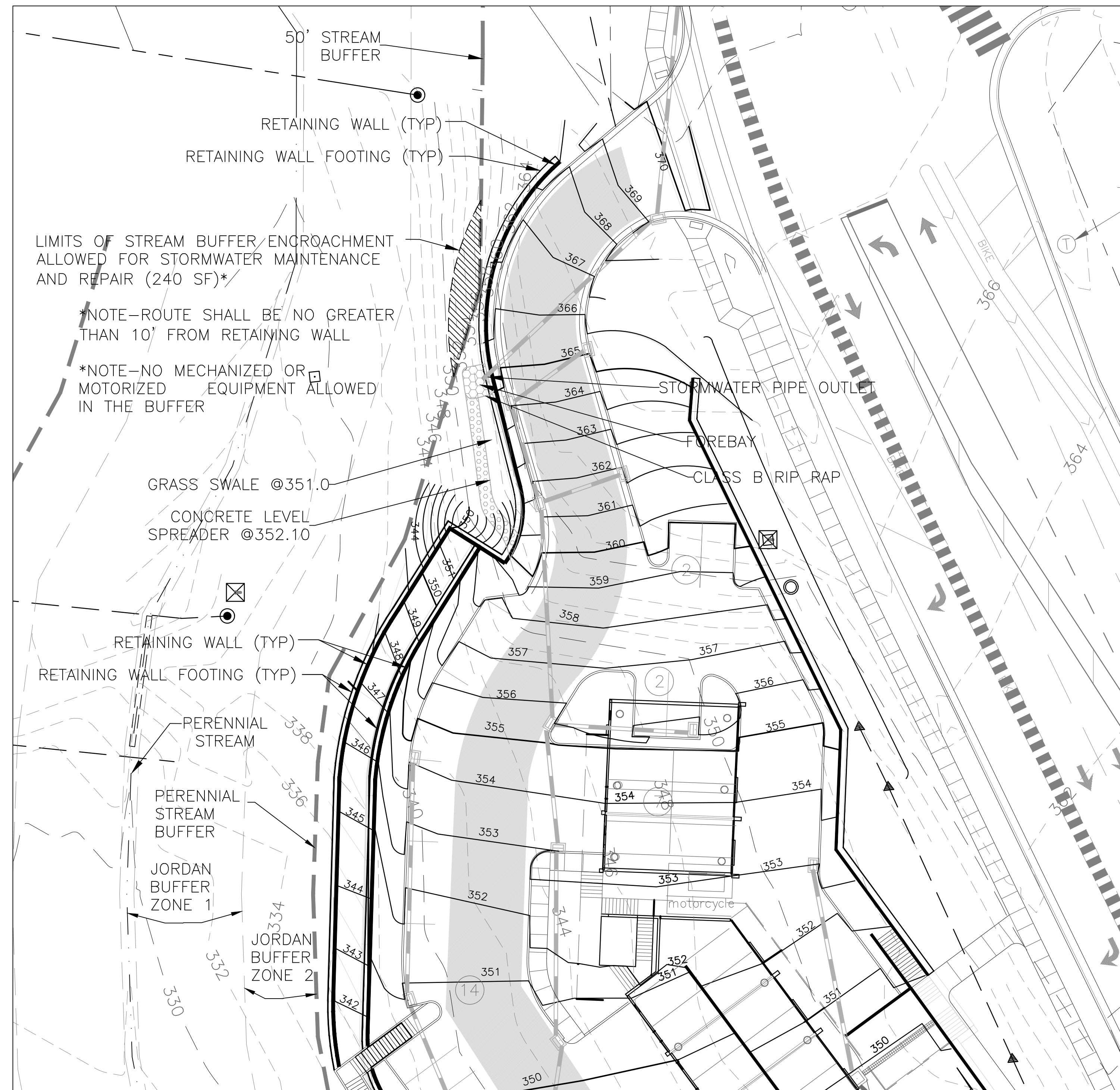
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STORMWATER MAINTENANCE PLAN

CZ-3.3



1/CZ-3.3
 STORMWATER MAINTENANCE PLAN
 SCALE: 1"=20'

NOTES:

1. THE STORMWATER PIPING OUTLET AND LEVEL SPREADER BEHIND THE RETAINING WALL NEAR THE PROJECT ENTRANCE HAS LIMITED ACCESS BECAUSE OF THE PROTECTIVE STREAM BUFFER IN THIS LOCATION. AS SHOWN ON THE DRAWINGS, THE PIPING AND LEVEL SPREADER ARE NOT LOCATED WITHIN THIS BUFFER.
2. ACCESS TO THE PIPING OUTLET AND LEVEL SPREADER FOR MAINTENANCE AND/OR REPAIR IS ALLOWABLE, WITH STRICT LIMITATIONS AS FOLLOWS:
3. PERSONNEL WITH HAND OPERATED TOOLS OR EQUIPMENT MAY ACCESS THE STORMWATER PIPING OUTLET AND LEVEL SPREADER ON FOOT ALONG A ROUTE BEHIND THE RETAINING WALL. THE ROUTE SHALL BE LIMITED TO WITHIN 10' OF THE WALL TO AVOID DAMAGE TO THE BUFFER AREA AS MUCH AS POSSIBLE. NO TREES MAY BE REMOVED ALONG THIS ROUTE FOR MAINTENANCE PURPOSES. ANY DISTURBANCE OF THE GROUND BY THIS FOOT TRAFFIC SHALL BE REPAIRED IMMEDIATELY AFTER COMPLETION OF THE STORMWATER MAINTENANCE.
4. NO MECHANICAL OR MOTORIZED EQUIPMENT IS ALLOWED TO TRAVERSE THIS ROUTE THROUGH THE BUFFER TO ACCESS THE PIPING OUTLET OR LEVEL SPREADER.
5. IF MECHANICAL OR MOTORIZED EQUIPMENT IS REQUIRED FOR MAINTENANCE OR REPAIR ACTIVITIES BEHIND THE RETAINING WALL, THE EQUIPMENT SHALL BE LOWERED OVER THE WALL SUCH THAT THE EQUIPMENT DOES NOT ENCROACH INTO THE STREAM BUFFER.

1/CZ-3.3 STORMWATER MAINTENANCE PLAN NOTES



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EROSION CONTROL PLAN

CZ-4.0

- INSTALL SILT FENCE PRIOR TO WORK IN ANY AREA TO PREVENT SILT FROM LEAVING SITE.
- ALL STORMWATER PIPING SHALL BE PROTECTED FROM FLOW UNTIL STABILIZATION IS ACHIEVED. PROTECTION SHALL BE INSTALLED AT THE END OF CONSTRUCTION EACH WORK DAY AND AT ANY TIME RAIN EVENTS CAUSE FLOW INTO OPEN TRENCH, PER DETAILS.
- ALL STORMWATER STRUCTURES SHALL BE PROTECTED FROM INFLOW UNTIL STABILIZATION IS ACHIEVED USING EITHER STAKED HARDWARE CLOTH OR SILT SACKS, PER DETAILS.
- CONSTRUCTION ENTRANCES SHOWN ARE IN SUGGESTED LOCATIONS. CONSTRUCTION ENTRANCES SHALL BE INSTALLED AND MAINTAINED SUCH THAT NO CONSTRUCTION TRAFFIC MAY LEAVE THE SITE WITHOUT PASSING OVER THE ENTRANCE DEVICE.

2/CZ-4.0 EROSION CONTROL NOTES

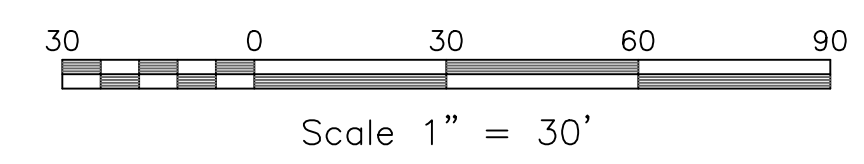
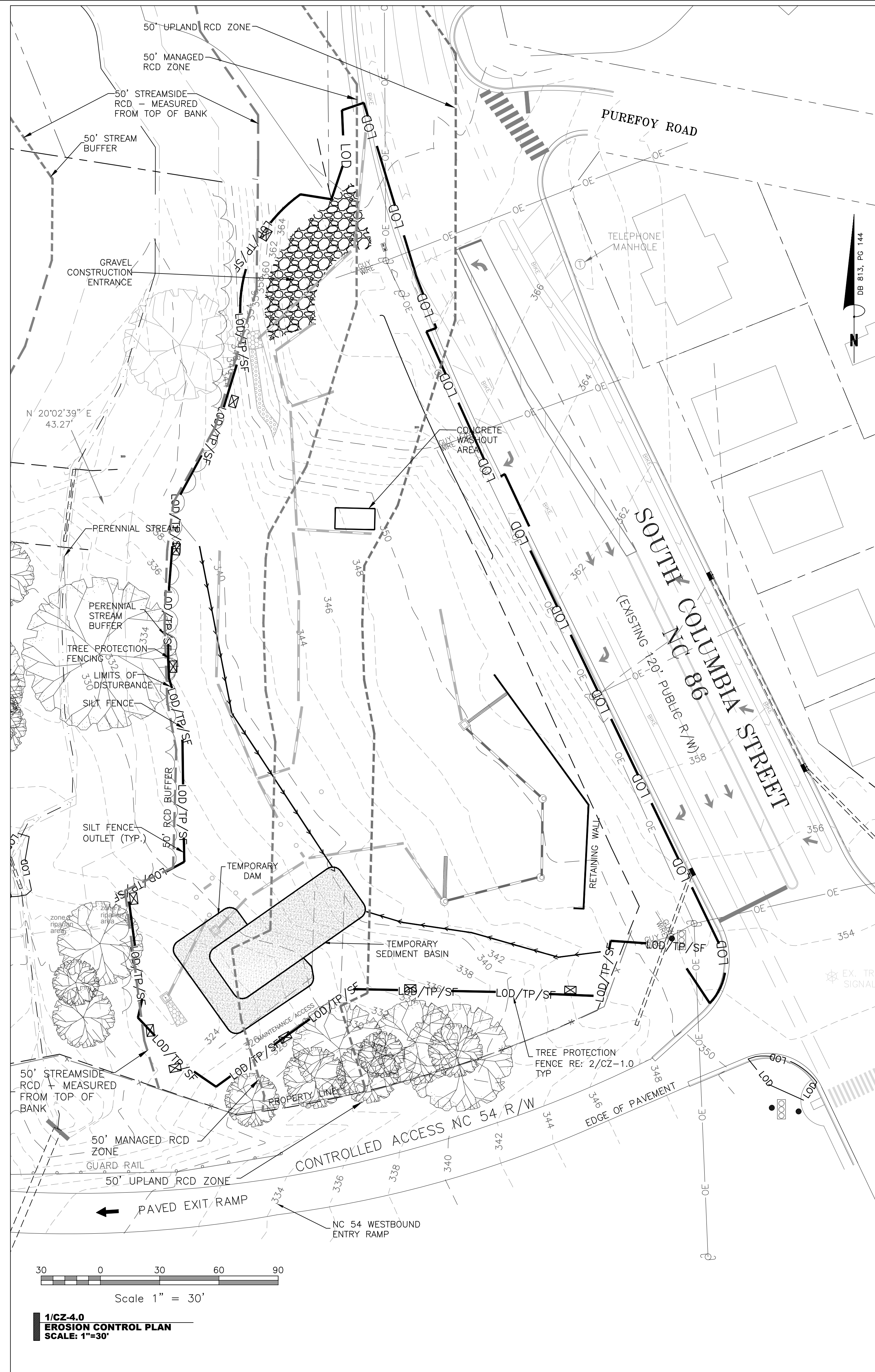
- INSTALL ALL TREE PROTECTION FENCING REQUIRED.
- OBTAIN ALL APPROVALS AND PERMITS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. THE APPROVALS AND PERMITS MUST BE OBTAINED BEFORE THE DISTURBANCE BEGINS SO THAT WORK WILL NOT BE INTERRUPTED OR DELAYED.
- SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE TO DISCUSS EROSION CONTROL PLAN AND SCHEDULE WITH THE OWNER OR OWNER'S REPRESENTATIVE, GRADING CONTRACTOR, AND EROSION CONTROL PERSONNEL BEFORE STARTING ANY DEMOLITION, TIMBERING, GRUBBING, CLEARING, OR GRADING ACTIVITIES.
- CLEAR ONLY THE AREA NECESSARY TO GAIN ACCESS TO AND INSTALL THE INITIAL EROSION CONTROL DEVICES; THE CONSTRUCTION ENTRANCE, SILT FENCE AND OUTLETS, DIVERSION DITCHES, ARCH FILTERS, AND CHECK DAMS. ALL DITCHES ARE TO BE SEEDED AND MULCHED IMMEDIATELY AFTER THEY ARE INSTALLED.
- CLEAR AND GRADE THE REMAINDER OF THE SITE. INSTALL STORM DRAINS AND OTHER UTILITIES.
- INSTALL TEMPORARY INLET PROTECTION AND RIP RAP APRONS AS SOON AS POSSIBLE AFTER PIPE HAS BEEN INSTALLED AND DRAINAGE STRUCTURES HAVE BEEN INSTALLED AND BACKFILLED. ENSURE THAT UPSTREAM EROSION CONTROL DEVICES ARE IN PROPER WORKING ORDER TO PREVENT RIP RAP APRONS FROM BECOMING CLOGGED WITH SILT.
- INSTALL CURB AND GUTTER, PAVEMENT BASE, AND PAVEMENT. REMOVE TEMPORARY INLET PROTECTION AND INSTALL SILT SACKS IN INLETS.
- INSPECT AND MAINTAIN THE SEDIMENT CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. THE PERSON RESPONSIBLE FOR EROSION CONTROL WILL OVERSEE THE INSPECTING AND MAINTENANCE OF THESE DEVICES. MEASURES SHOULD BE INSPECTED WEEKLY AND AFTER A RAINFALL OF MORE THAN 0.5 INCHES. SEDIMENT TO BE REMOVED FROM TRAPS WHEN SEDIMENT DEPTH IS ONE HALF OF THE TOTAL DEPTH OF TRAP. EROSION CONTROL DEVICES SHALL BE REPLACED WHEN DAMAGED OR DO NOT APPEAR TO BE WORKING PROPERLY.
- IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE PROJECT SITE, DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
- KEEP MUD, DUST, AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD, DUST, AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN.
- SILT FENCE AND DIVERSION DITCHES ARE TO BE RELOCATED AS NECESSARY AS GRADING PROGRESSES TO ENSURE THAT NO SEDIMENT LEAVES THE SITE AND RUNOFF ENTERS THE SEDIMENT BASIN.
- SEEDING AND RESTABILIZATION OF DISTURBED AREAS MUST BE ACCOMPLISHED PER THE PLANS AND SPECIFICATIONS WITHIN THE TIMEFRAMES GIVEN IN THE STABILIZATION TIME TABLE PROVIDED IN THE SEEDING SCHEDULE. CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEEDING THAT IS REQUIRED DURING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
- WHEN CONSTRUCTION IS COMPLETED, ALL TEMPORARY EROSION CONTROL DEVICES MUST BE REMOVED AFTER THE DRAINAGE AREA HAS BEEN SUFFICIENTLY STABILIZED TO RESTRAIN EROSION. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND DEBRIS FROM THE DEVICES AND STABILIZE THE LOCATIONS.
- ARRANGE A FINAL INSPECTION WITH THE EROSION CONTROL INSPECTOR TO CONFIRM THAT ALL THE REQUIREMENTS OF THE APPROVED EROSION CONTROL PLAN HAVE BEEN COMPLETE.
- SANDFILTERS ARE NOT TO RECEIVE RUNOFF FROM THE SITE UNTIL ALL EROSION AND SEDIMENT PHASES ARE COMPLETED. ALL INLETS TO SANDFILTERS SHALL REMAIN SEALED UNTIL SITE IS COMPLETELY STABILIZED.

3/CZ-4.0 CONSTRUCTION SEQUENCE NOTES

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HQW) Zones	7 days	None
Slopes steeper than 3:1	7 days	None
Slopes 3:1 or flatter	7 days	None
All other areas with slopes flatter than 4:1	7 days	None

* Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable" (Section 11.8(2)(b))

7-DAY STABILIZATION AREAS INCLUDE:
 SWALES 1 - 6
 ALL AREAS BETWEEN LIMITS OF DISTURBANCE AND WALL 3
 ALL AREAS BETWEEN LIMITS OF DISTURBANCE AND STORM LINE FROM MH1 TO MH3

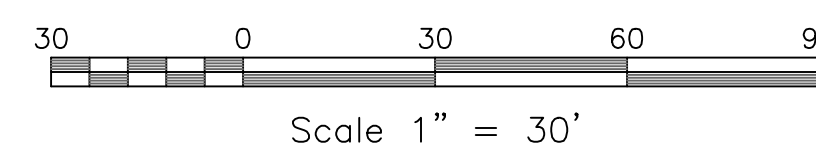
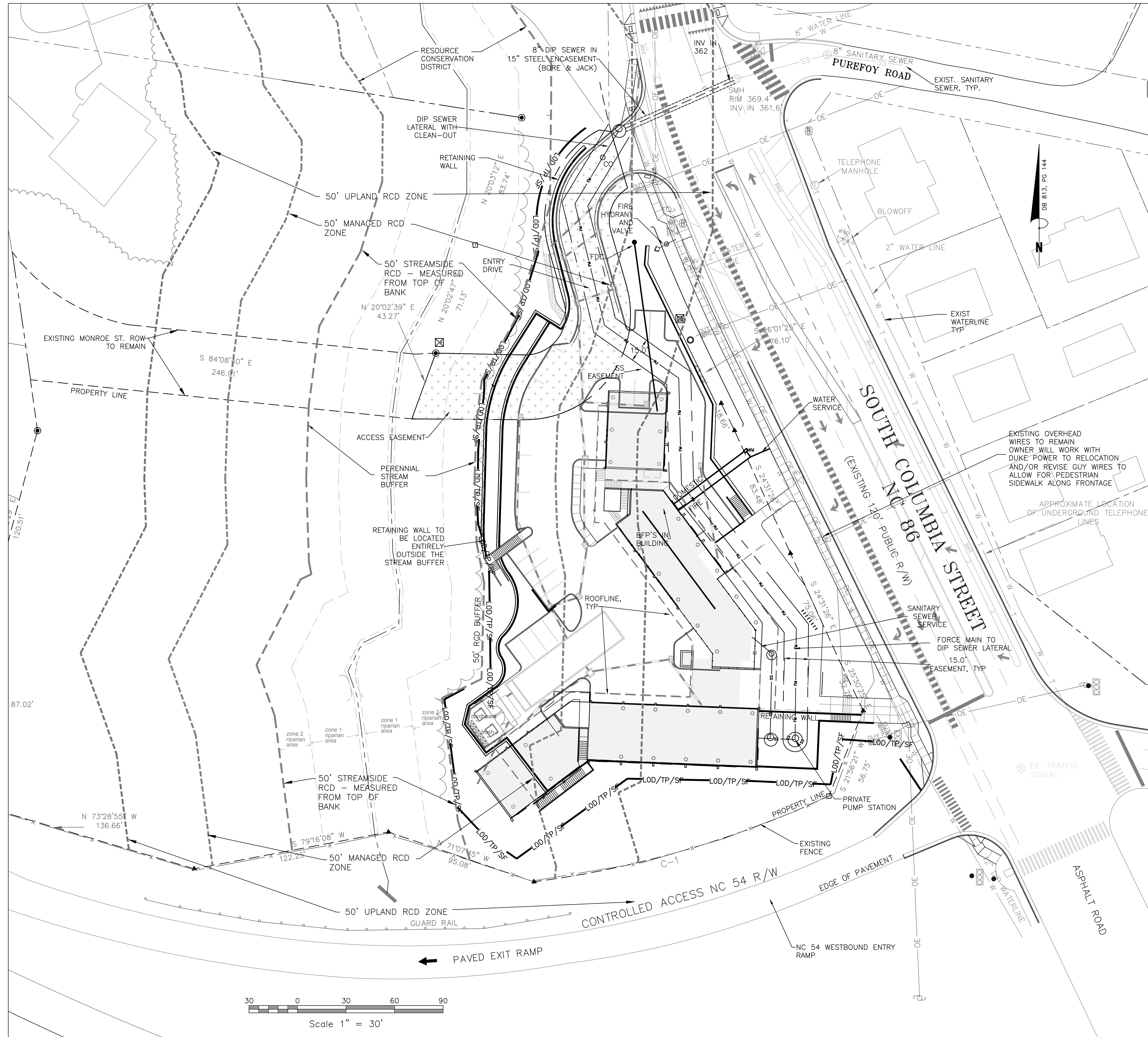


1/CZ-4.0
 EROSION CONTROL PLAN
 SCALE: 1"=30'

NOTE:
 EROSION CONTROL MEASURES SHOWN ARE THE MINIMUM REQUIRED. CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS MAY BE NECESSARY TO PREVENT SEDIMENT FROM LEAVING THE SITE OR ENTERING THE EXISTING AND PROPOSED STORMWATER BMP'S. ANY REQUIRED SEDIMENT REMOVAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

FIRE PROTECTION NOTES:

1. All construction and demolition conducted shall be in compliance of the current edition of Chapel 14 of the NC FPC.
2. When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40' in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. NC FPC 2012 Section 1413.



**1/CZ-5.0
UTILITY PLAN
SCALE: 1"=30'**

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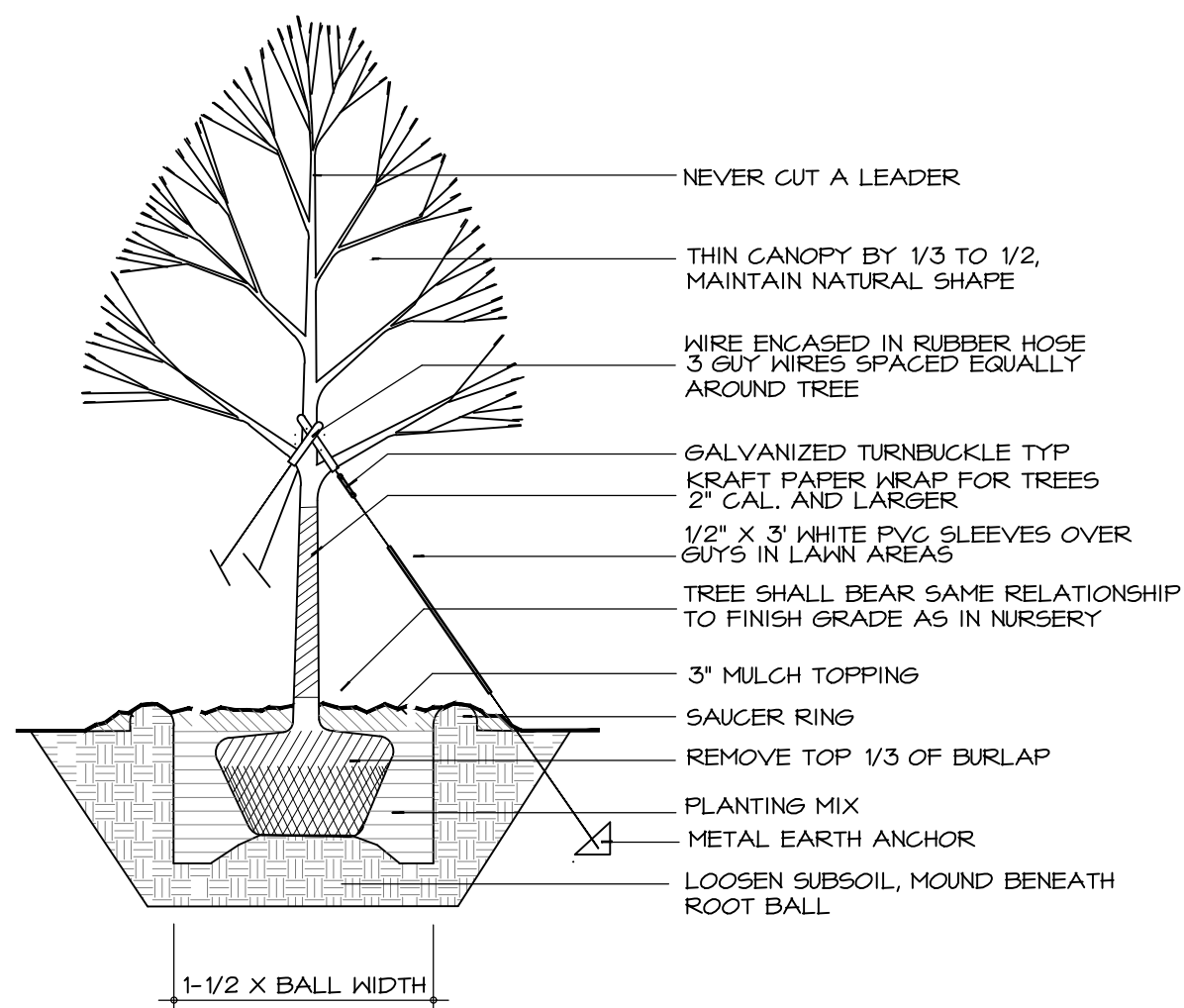
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UTILITY PLAN

CZ-5.0



**2/CZ-7.0
TREE PLANTING DETAIL**

POST DEVELOPMENT LAND AREA 165,828.8 SF
(RECOMBINATION & R/W CLOSURE)

LESS ACCESS EASEMENT	5,127 SF NET
LESS UTILITY EASEMENT	6,498 SF NET
LESS STORM EASEMENT	7,393 SF NET
NET SITE SIZE	146,810 SF

REQUIRED TREE CANOPY 40% X 146,811 = 58,724 SF
PROPOSED TREE CANOPY 66,331 SF
ALL TREESAVE WILL BE PROVIDED BY EXISTING TREE PRESERVATION

**4/CZ-7.0
TREESAVE CALCULATIONS**

PARKING LOT PLANTINGS WILL INCLUDE A SELECTION FROM:

CANOPY TREES:
ACER RUBRUM 'October Glory' - October Glory Red Maple
BETULA NIGRA - River Birch
QUERCUS SHUMARDII - Shumard Oak
ZELKOVA SERATA - Village Green
INSTALLATION SIZE WILL BE MIN. 2 1/2" CALIBER

UNDERSTORY TREES:
CERCIS RENIFORMIS 'Oklahoma' - Texas White Redbud
LAGERSTROEMIA INDICA - Grape Myrtle
MAGNOLIA VIRGINIANA - Sweetbay Magnolia
INSTALLATION SIZE 6' HT

SHRUBS/GROUND COVER:
CALLICARPA AMERICANA - American Beautyberry
ILEX - Small hollies
JUNIPERUS SARGENTII - Low growing Juniper
MULLENBERGIA CAPILLARIS - Pink Muhly Grass
PANICUM VIRGATUM 'Shenandoah' - Shenandoah Switchgrass
INSTALLATION SIZE WILL VARY
18"-30" ht for large shrubs, 12"-15" ht for small/spreading shrubs

LANDSCAPE / STREET BUFFER PLANTINGS WILL INCLUDE A SELECTION FROM:
Majority of buffer plantings shall be native species

CANOPY TREES - 2.5" caliper installation size
ACER COLUMNARE - Columnar Maple
ACER RUBRUM 'AUTUMN BLAZE' - Autumn Blaze Red Maple
ACER SACCHARUM 'Legacy' - Legacy Sugar Maple
BETULA NIGRA - River Birch
LIQUIDAMBER STYRACIFLUA 'Rotundiloba' - Fruitless Sweet Gum
NYSSA SYLVATICA - Blackgum
QUERCUS NUTALLI - Nuttall Oak

UNDERSTORY TREES - 6' minimum height installation size
AMELANCHIER SPP 'AUTUMN BRILLIANCE' - Autumn Brilliance Serviceberry
CARPINUS CAROLINIANA - Hornbeam
CORNUS FLORIDA 'White Cloud' - White Flowering Dogwood
CORNUS KOUSA - Kousa Dogwood
HALESIA CAROLINIANA - Carolina Silverbell
HAMAMELIS VIRGINIANA - Witch Hazel
ILEX OPACE - American Holly
LAGERSTROEMIA FAUREI - Grape Myrtle
MAGNOLIA VIRGINIANA - Sweetbay Magnolia
MYRTICA GERIFERA - Southern Wax Myrtle

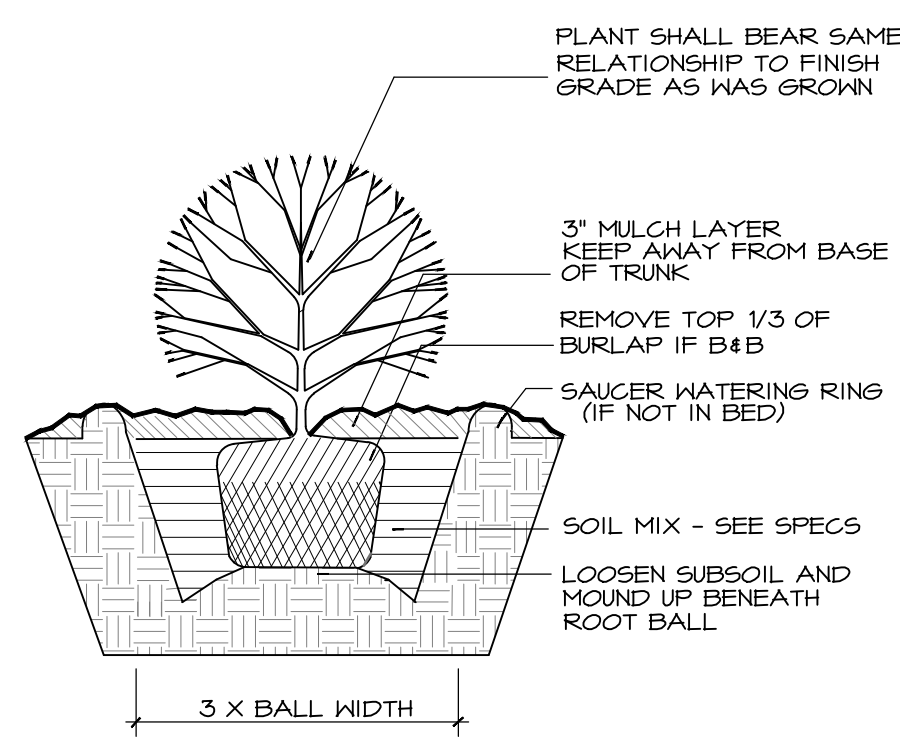
SHRUBS/GROUND COVER:
AZALEA X GRANDIFLORA - Glossy Abelia
AZALEA - Azalea, variety - street and plaza area
CAMELLIA JAPONICA - Japanese Camellia
CALLICARPA AMERICANA - American Beautyberry
CHASMANTHIUM LATIFOLIUM - River Oats
GARDENIA JASMINOIDES 'Kiehm's Hardy' - Kiehm's Hardy Gardenia
ILEX CRENATA 'CARISSA' - Carissa Holly
ILEX GLABRA - Inkberry
ILEX VERTICILLATA - Deciduous Holly
ILLICIUM PARVIFLORUM - Anise
MULLENBERGIA CAPILLARIS - Pink Muhly Grass
MYRTICA CERIFERA - Southern Wax Myrtle
PRUNUS LAUROCERASUS - Cherry Laurel

PLANTINGS FOR RIPARIAN BUFFER RESTORATION WILL INCLUDE A SELECTION FROM:
approx 35 LF of stream

UNDERSTORY PLANTINGS (sapling size):
CARPINUS CAROLINIANA - Ironwood
HAMAMELIS VIRGINIANA - Witch Hazel
ITEA VIRGINICA - Virginia Willow
MYRTICA CERIFERA - Southern Wax Myrtle

GROUND COVER (quart size):
CAREX PLANTAGINEA - Plantainleaf Sedge
CHASMANTHIUM LATIFOLIUM - River Oats
DRYOPTERIS MARGINALIS - Eastern Woodfern

**6/CZ-7.0
PLANT SELECTION**



**3/CZ-7.0
SHRUB PLANTING DETAIL**

- PRIOR TO PLANT INSTALLATION IN LANDSCAPE BUFFER, CONTRACTOR SHALL ENSURE REMOVAL OF ALL INVASIVE PLANT MATERIAL AS LISTED IN THE SOUTHEAST EXOTIC PEST PLANT COUNCIL LIST OF INVASIVE PLANT MATERIAL.
- A MINIMUM OF 10' MUST SEPARATE LIGHT POLES FROM CANOPY TREES.

**5/CZ-7.0
PLANTING NOTES**



**1/CZ-7.0
LANDSCAPE PLAN
SCALE: 1"=30'**



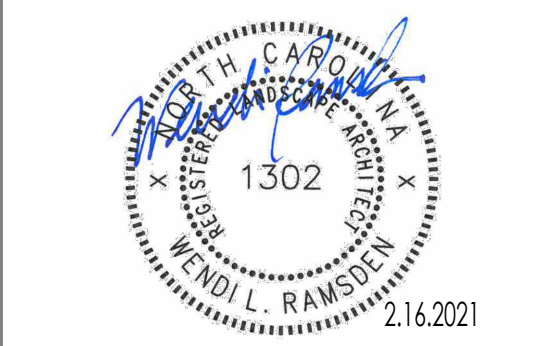
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COLUMBIA STREET ANNEX

1150 South Columbia Street
Chapel Hill, North Carolina

OWNER:
CH HOTEL ASSOCIATES LLC.
3008 ANDERSON DRIVE, SUITE 120
RALEIGH NC 27609



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Date	For
24 May 18	Addition of RCD data
20 May 19	Review Comment Revisions
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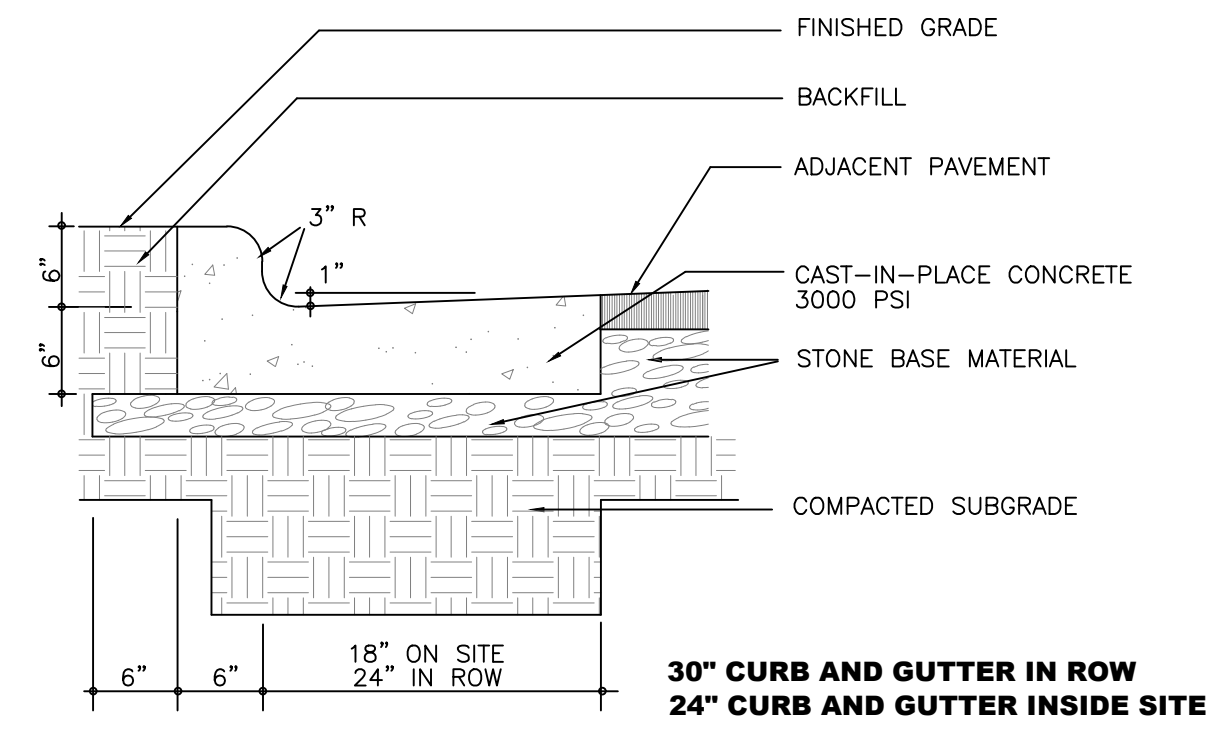
Drawn By: WLR, MTC Date: 26 April 18

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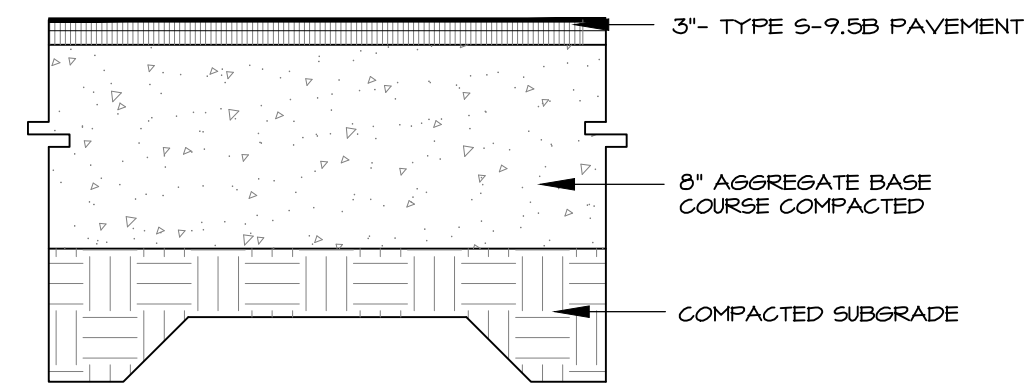
LANDSCAPE AND TREESAVE PLAN

CZ-7.0

-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.
 -ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.
 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.
 -EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



30" CURB AND GUTTER IN ROW
24" CURB AND GUTTER INSIDE SITE

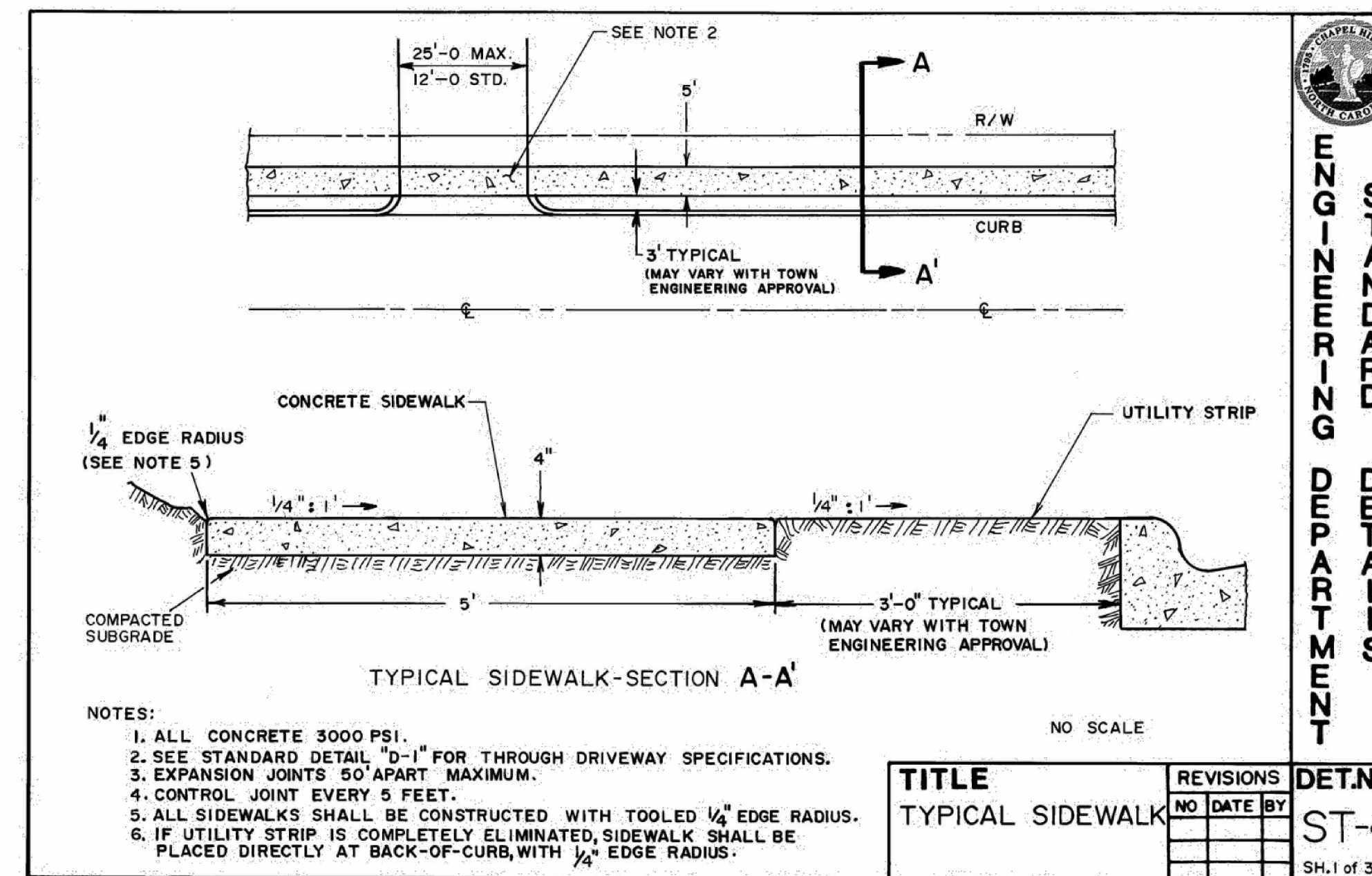


STANDARD PARKING AREAS:

FINAL PAVEMENT SECTION WILL BE PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

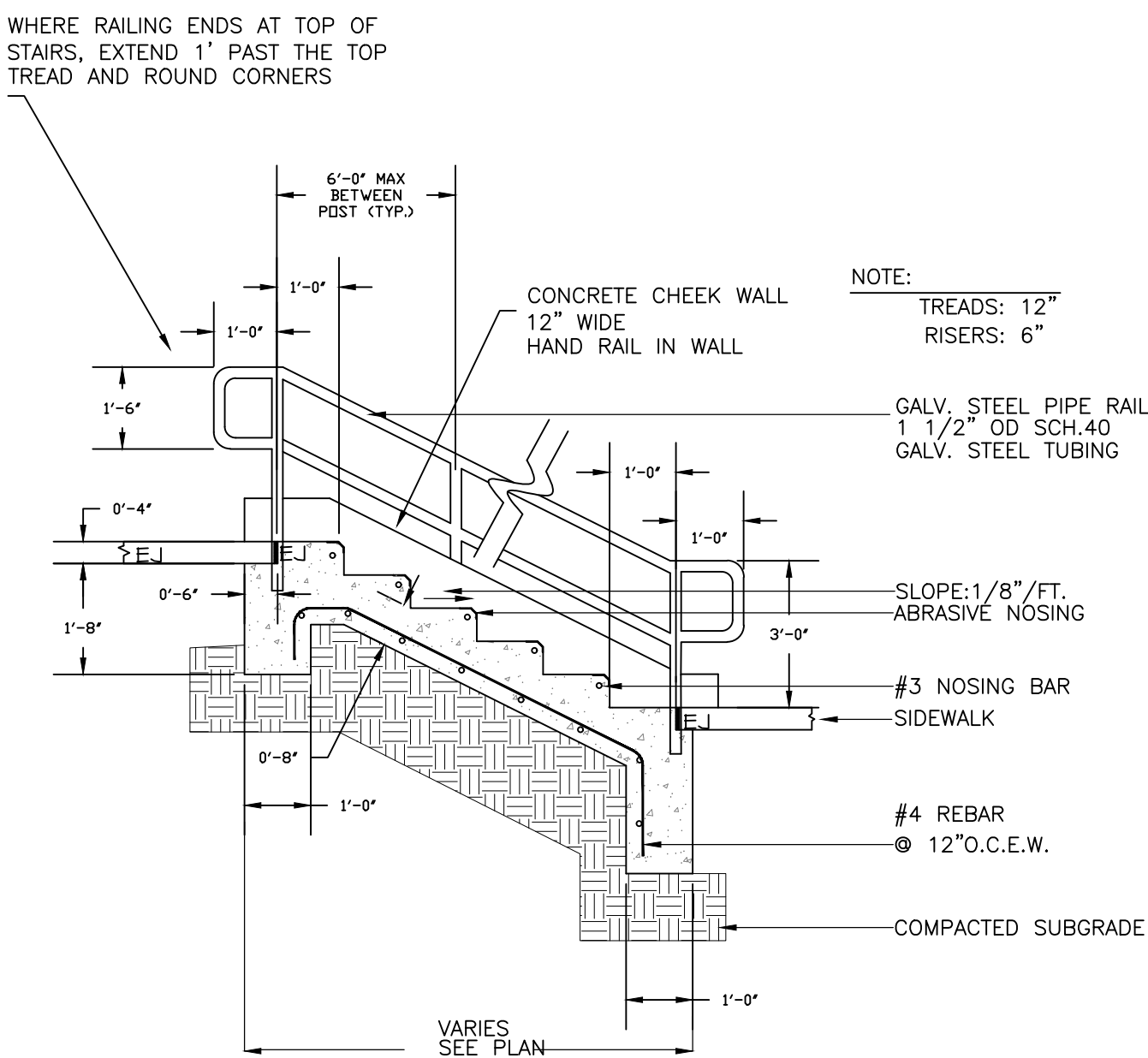
1/CZ-8.0
24" CONCRETE CURB & GUTTER
 NTS

2/CZ-8.0
STANDARD ASPHALT PAVING - PARKING BAYS
 NTS

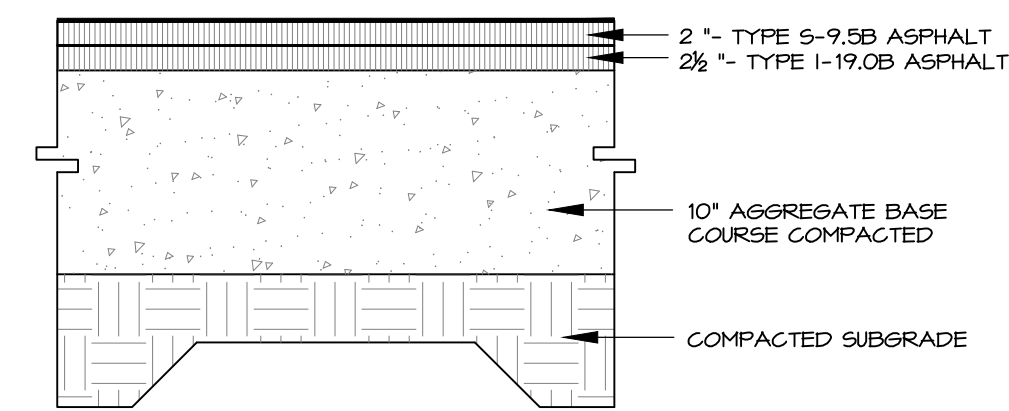


- NOTES:
 1. ALL CONCRETE 3000 PSI.
 2. SEE STANDARD DETAIL "D-1" FOR THROUGH DRIVEWAY SPECIFICATIONS.
 3. EXPANSION JOINTS 50' APART MAXIMUM.
 4. CONTROL JOINT EVERY 5 FEET.
 5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
 6. IF UTILITY STRIP IS COMPLETELY ELIMINATED, SIDEWALK SHALL BE PLACED DIRECTLY AT BACK-OF-CURB, WITH 1/4" EDGE RADIUS.

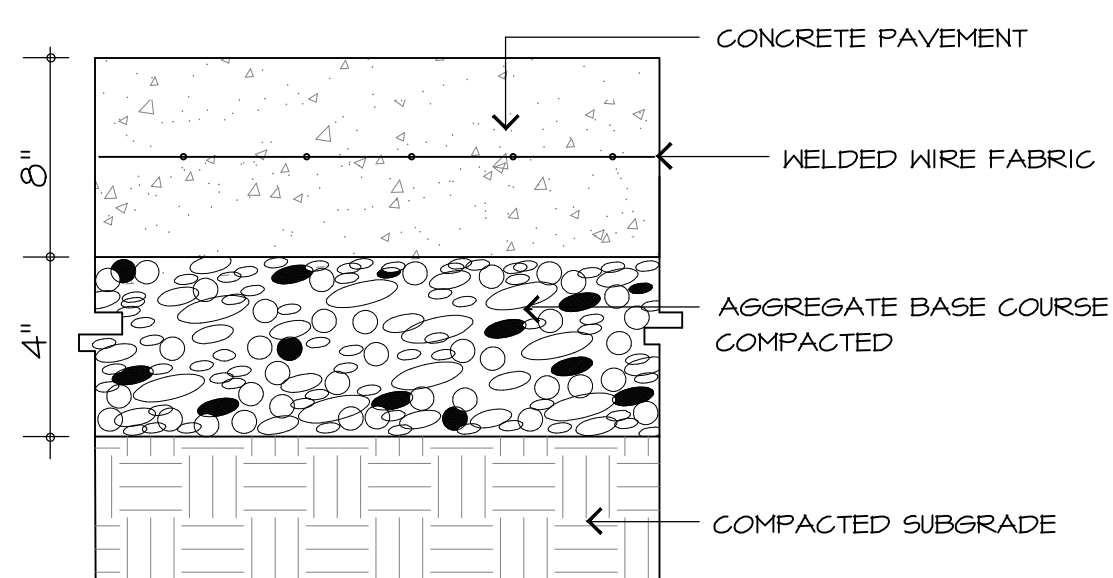
4/CZ-8.0
CONCRETE SIDEWALK
 NTS



5/CZ-8.0
TYPICAL EXTERIOR STAIR AND RAILING
 NTS

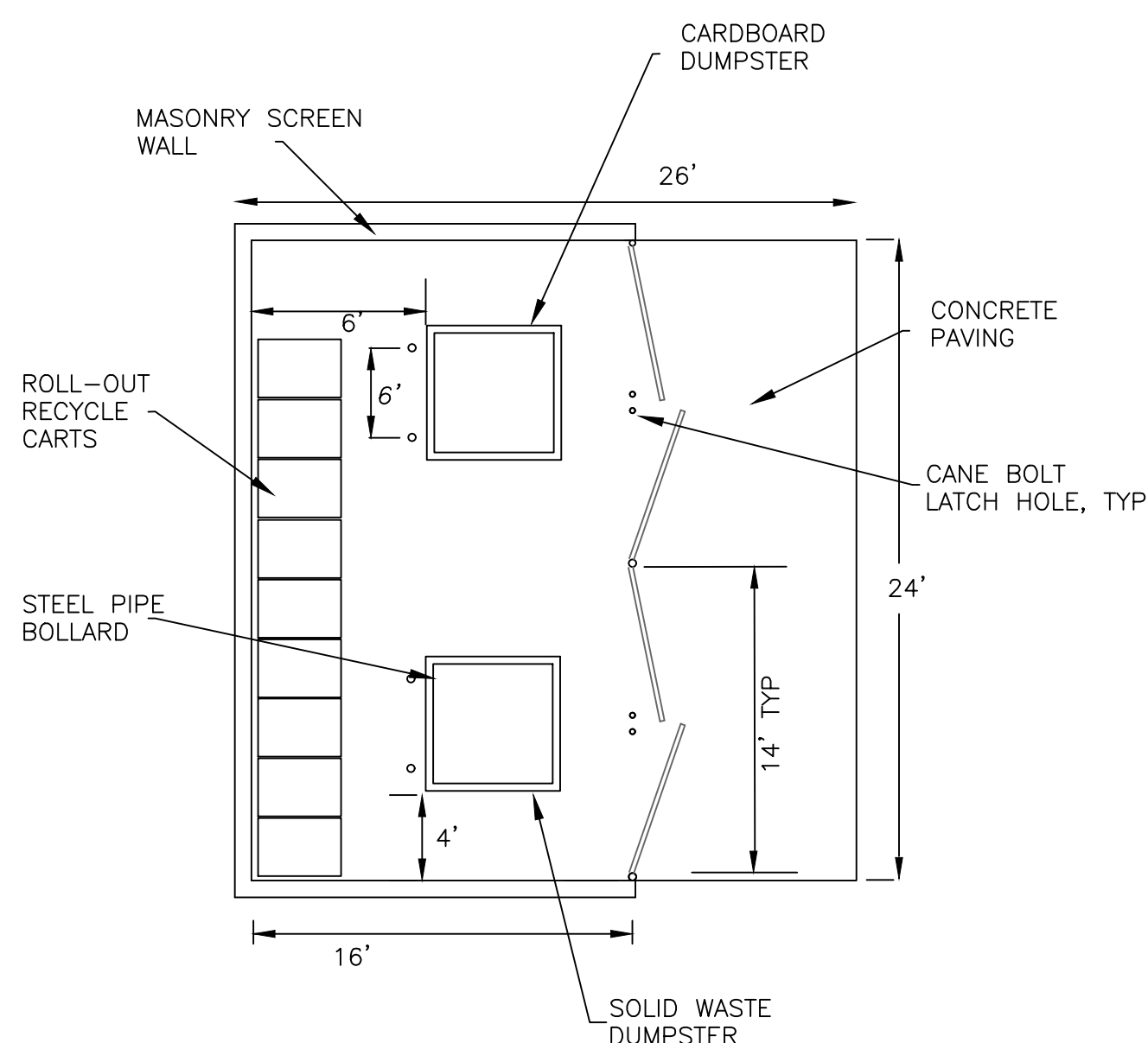


3/CZ-8.0
HEAVY DUTY ASPHALT PAVING - DRIVE AISLES
 NTS

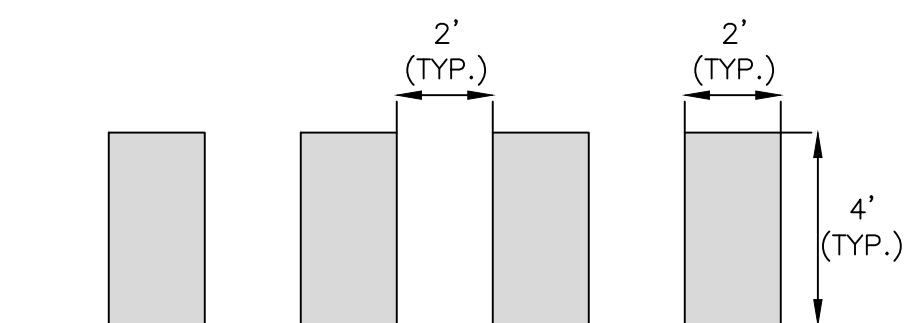


- NOTES:
 1. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
 2. CABG BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MDD AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.

6/CZ-8.0
DUMPSTER PAD CONCRETE PAVING
 NTS

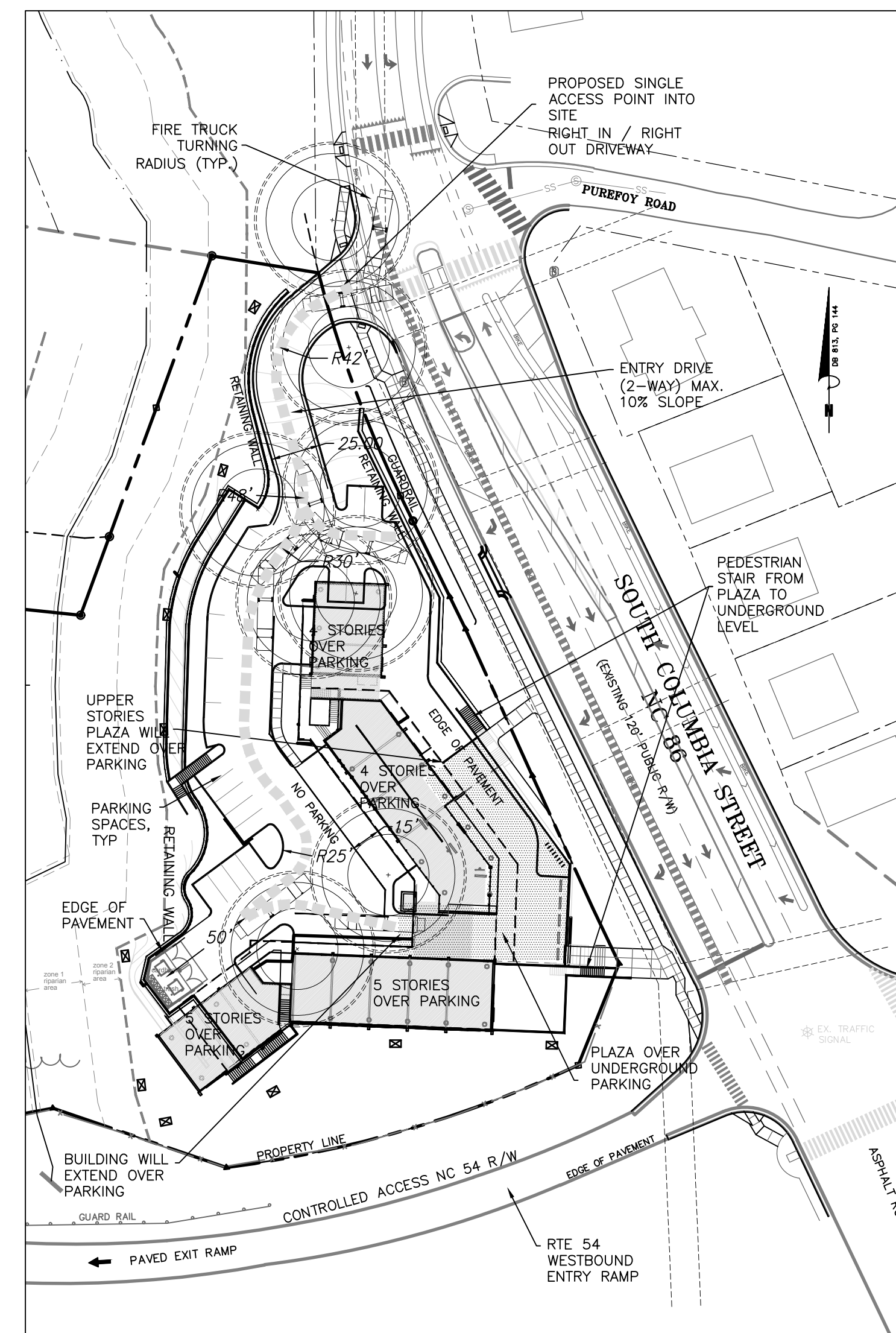


7/CZ-8.0
DUMPSTER ENCLOSURE
 NTS



- NOTES:
 MARKINGS TO BE MADE FROM THERMOPLASTIC AND HIGH VISIBILITY GREEN IN COLOR.

8/CZ-8.0
BIKE LANE STRIPING
 NTS



10/CZ-8.0
FIRE LANE ACCESS / SOLID WASTE PICKUP ACCESS
 SCALE: 1"=60'

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SITE DETAILS

CZ-8.0



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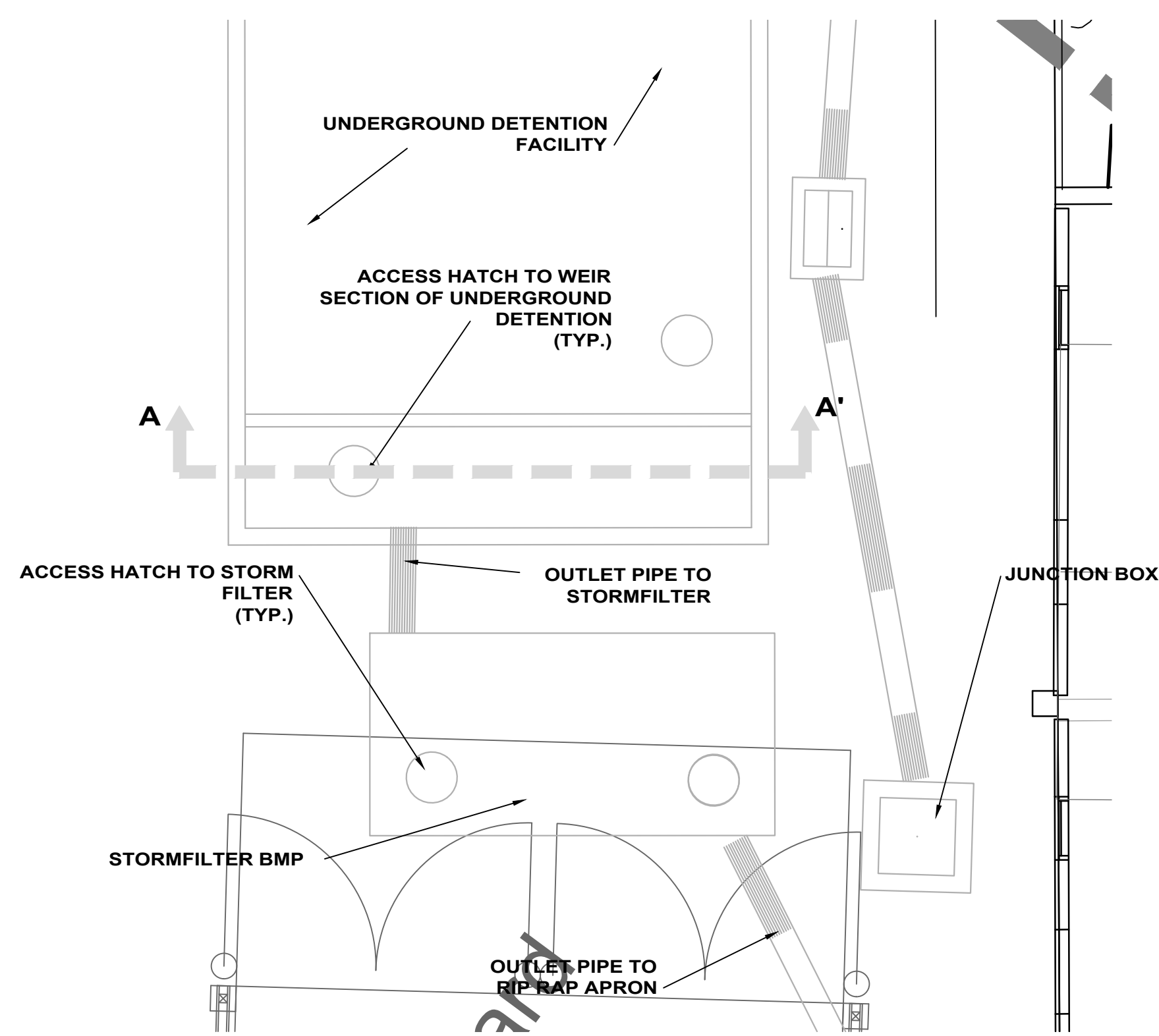
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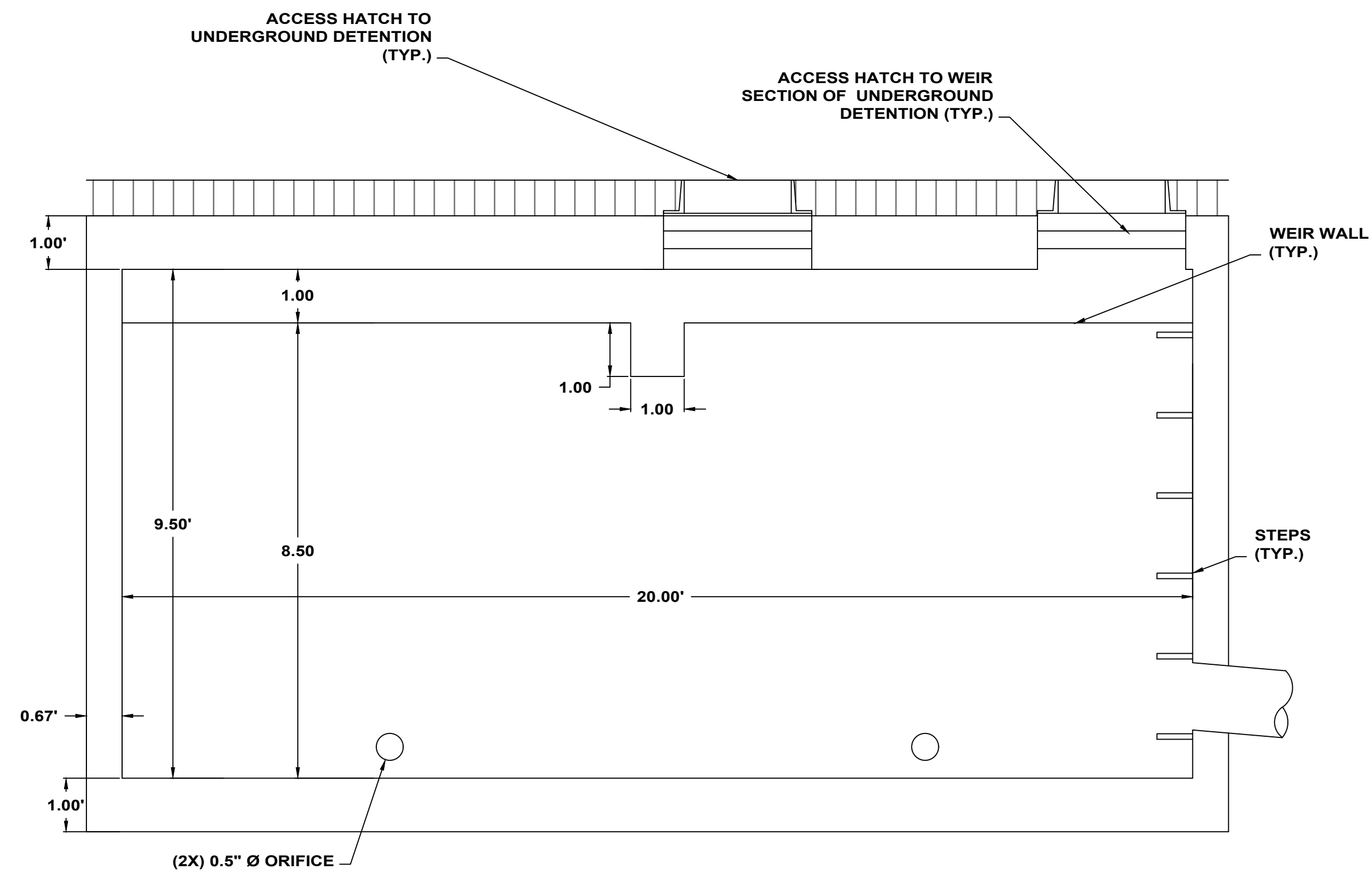
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STORMWATER DETAILS

CZ-8.1



PLAN VIEW



SECTION A-A' VIEW

1/CZ-8.1 UNDERGROUND DETENTION FACILITY SECTION

PLAN VIEW
VAULT STYLE: INLET BAY - OUTLET BAY

STORMFILTER DESIGN NOTES

STORMFILTER TREATMENT CAPACITY IS A FUNCTION OF THE CARTRIDGE SELECTION AND THE NUMBER OF CARTRIDGES. THE STANDARD VAULT STYLE IS SHOWN WITH THE MAXIMUM NUMBER OF CARTRIDGES (11). VAULT STYLE OPTIONS INCLUDE: OUTLET BAY (11), FULL HEIGHT BAFFLE WALL (12). STORMFILTER 6X12 PEAK HYDRAULIC CAPACITY IS 1.6 CFS. IF THE SITE CONDITIONS EXCEED 1.6 CFS AN UPSTREAM BYPASS STRUCTURE IS REQUIRED.

SPECIFIC FLOW RATE (gpm/ft²)	27"		18"		LOW DROP	
	2.00"	1.00"	2.00"	1.00"	2.00"	1.00"
CARTRIDGE FLOW RATE (gpm)	22.5	11.25	15	7.5	10	5

FRAME AND COVER
(DIAMETER VARIES)
N.T.S.

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID	TYPE	MATERIAL	DIAMETER
INLET PIPE #1	-	-	-
INLET PIPE #2	-	-	-
OUTLET PIPE	-	-	-

UPSTREAM RIM ELEVATION: _____
 DOWNSTREAM RIM ELEVATION: _____

ANTI-FLOTATION BALLAST	WIDTH	HEIGHT
-	-	-

NOTES/SPECIAL REQUIREMENTS:
 * PER ENGINEER OF RECORD

GENERAL NOTES

- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- DIMENSIONS MARKED WITH () ARE REFERENCE DIMENSIONS. ACTUAL DIMENSIONS MAY VARY.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED VAULT DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE: www.contechES.com
- STORMFILTER WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
- STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 5' AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO MIXER AND BE CAST WITH THE CONTECH LOGO.
- FILTER CARTRIDGES SHALL BE MEDIA-FILLED, PASSIVE, SIPHON ACTUATED, RADIAL FLOW, AND SELF CLEANING. RADIAL MEDIA DEPTH SHALL BE 7-INCHES. FILTER MEDIA CONTACT TIME SHALL BE AT LEAST 30 SECONDS.
- SPECIFIC FLOW RATE IS EQUAL TO THE FILTER TREATMENT CAPACITY (gpm) DIVIDED BY THE FILTER CONTACT SURFACE AREA (sq ft).

INSTALLATION NOTES

- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE STORMFILTER VAULT (LIFTING CLUTCHES PROVIDED).
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL VAULT SECTIONS AND ASSEMBLE VAULT.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT PIPES. MATCH OUTLET PIPE INVERT WITH OUTLET BAY FLOOR.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT CARTRIDGES FROM CONSTRUCTION-RELATED EROSION RUNOFF.

SECTION A-A'

2/CZ-8.1 STORMFILTER BMP NTS



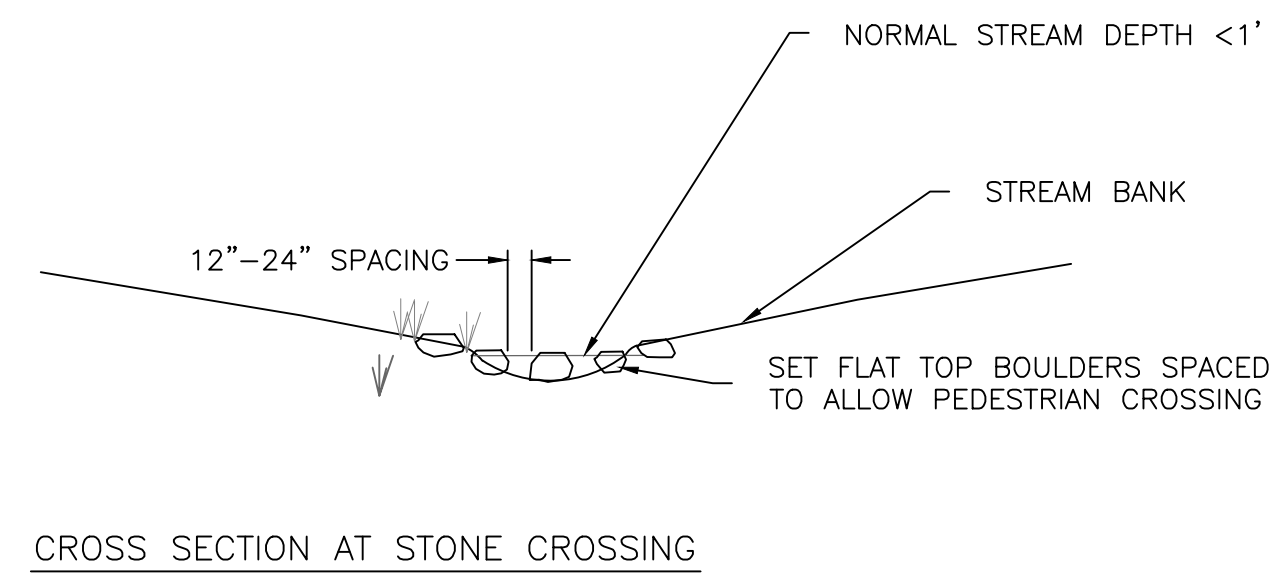
STORMFILTER
 STANDARD DETAIL



1/CZ-8.2
ON SITE STREAM AREA
 SCALE: 1"=30'

- STREAM AREA PROPOSED WORK:
1. REMOVE TRASH FROM THE STREAM AND STREAMSIDE RCD AREA
 2. REMOVE INVASIVE PLANT MATERIAL FROM THE STREAMSIDE RCD AREA
 3. REMOVE CULVERT AND REGRADE TO ALLOW STREAM FLOW THROUGH EXISTING BERM
 4. PLANT SEDGE PLUGS INTO THE DISTURBED AREA NEAR THE CULVERT REMOVAL TO STABILIZE THE DISTURBED AREA.
 5. CREATE A MULCH SURFACE NATURE TRAIL INCLUDING TWO STREAM CROSSINGS OF STRATEGICALLY PLACED BOULDERS
 6. DEVELOPER WILL WORK WITH A BIOLOGIST SPECIALIZING IN STREAM STABILIZATION AND RESTORATION TO REPAIR STREAM AREAS.

2/CZ-8.2
SUMMARY OF WORK TO BE DONE IN STREAM AREA



CROSS SECTION AT STONE CROSSING



PLAN VIEW

3/CZ-8.2
ON SITE STREAM CROSSING
 SCALE: 1"=10'

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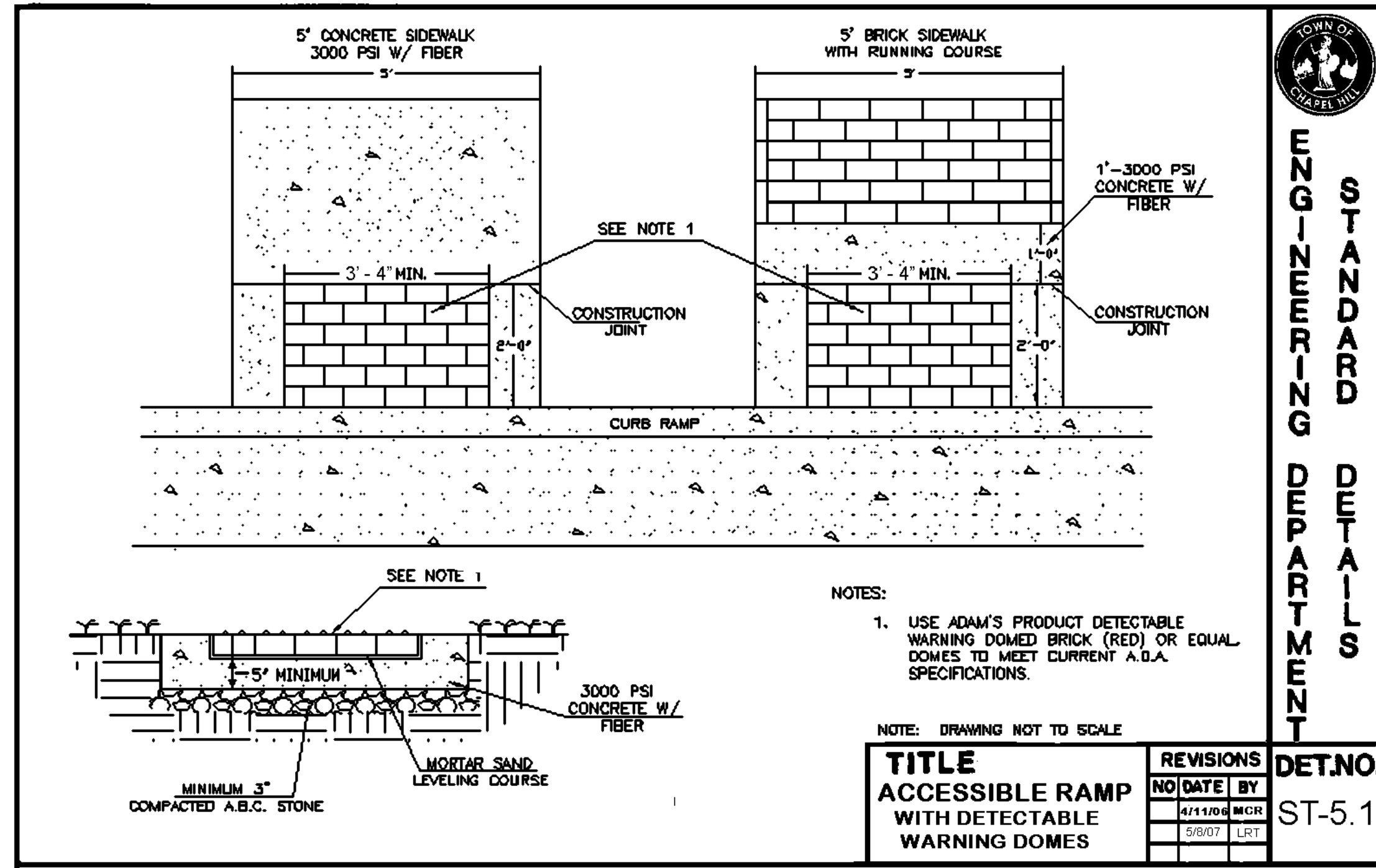
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**STREAM
 RESTORATION
 DETAILS**

CZ-8.2

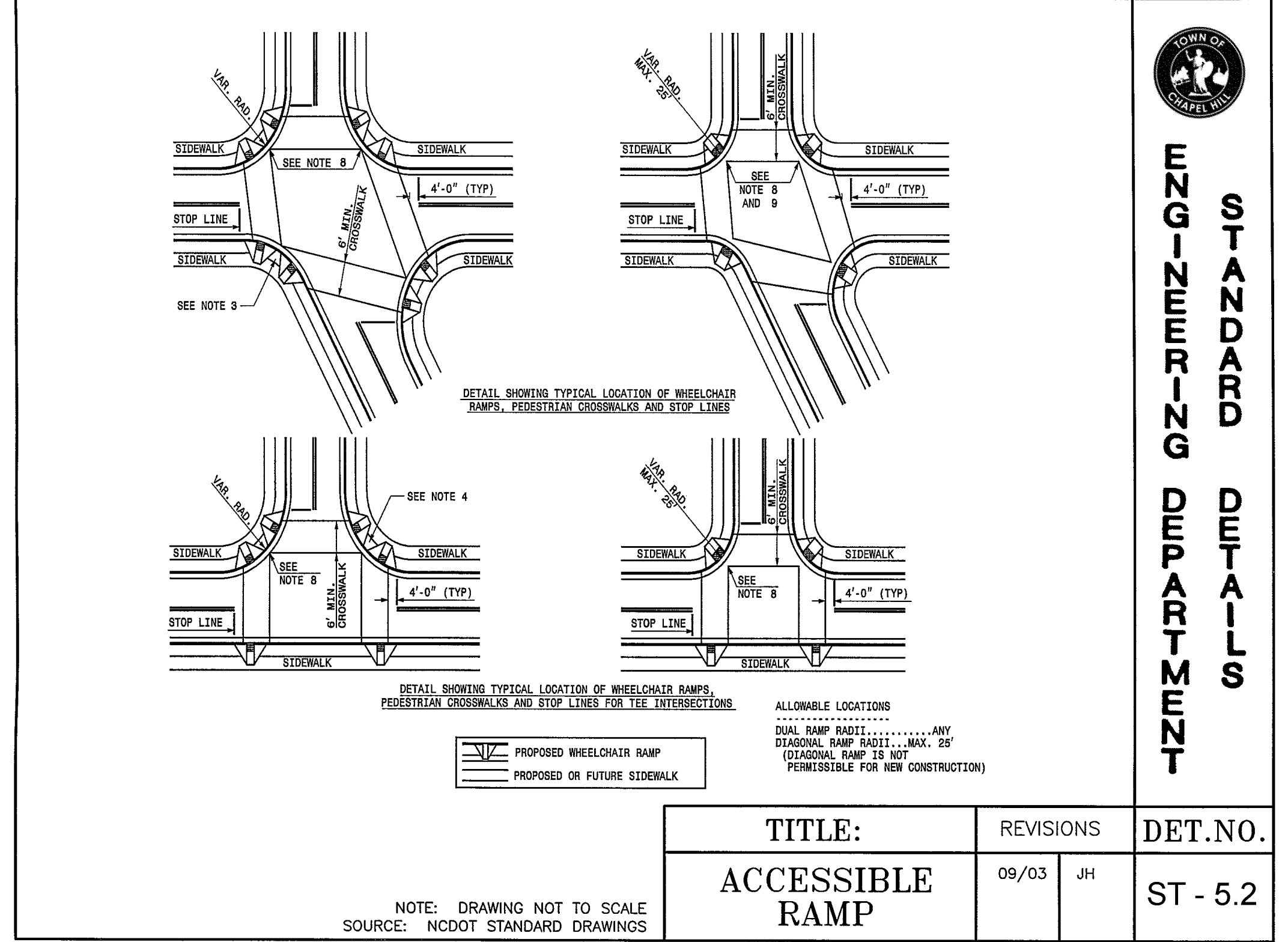


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NOTES:
 1. USE ADAM'S PRODUCT DETECTABLE WARNING DOMED BRICK (RED) OR EQUAL DOMES TO MEET CURRENT A.D.A. SPECIFICATIONS.

NOTE: DRAWING NOT TO SCALE		REVISIONS NO. DATE BY 01/11/04 MGR 05/07 LRT	DET.NO. ST-5.1
TITLE: ACCESSIBLE RAMP WITH DETECTABLE WARNING DOMES			

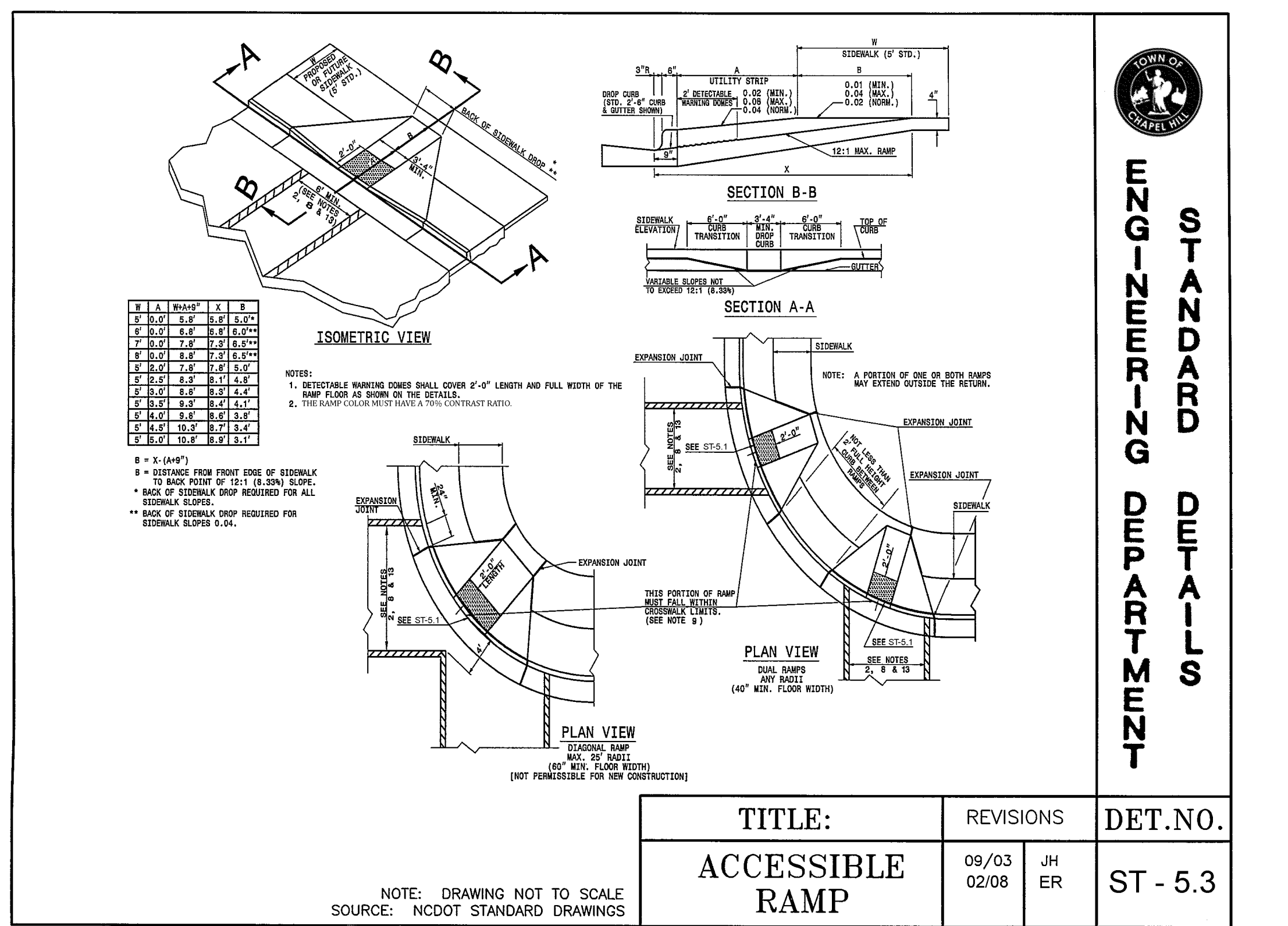
1/CZ-8.3
ACCESSIBLE RAMP
 NTS



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ENGINEERING DEPARTMENT
STANDARD DETAILS

NOTE: DRAWING NOT TO SCALE SOURCE: NCDOT STANDARD DRAWINGS		REVISIONS 09/03 JH	DET.NO. ST - 5.2
TITLE: ACCESSIBLE RAMP			

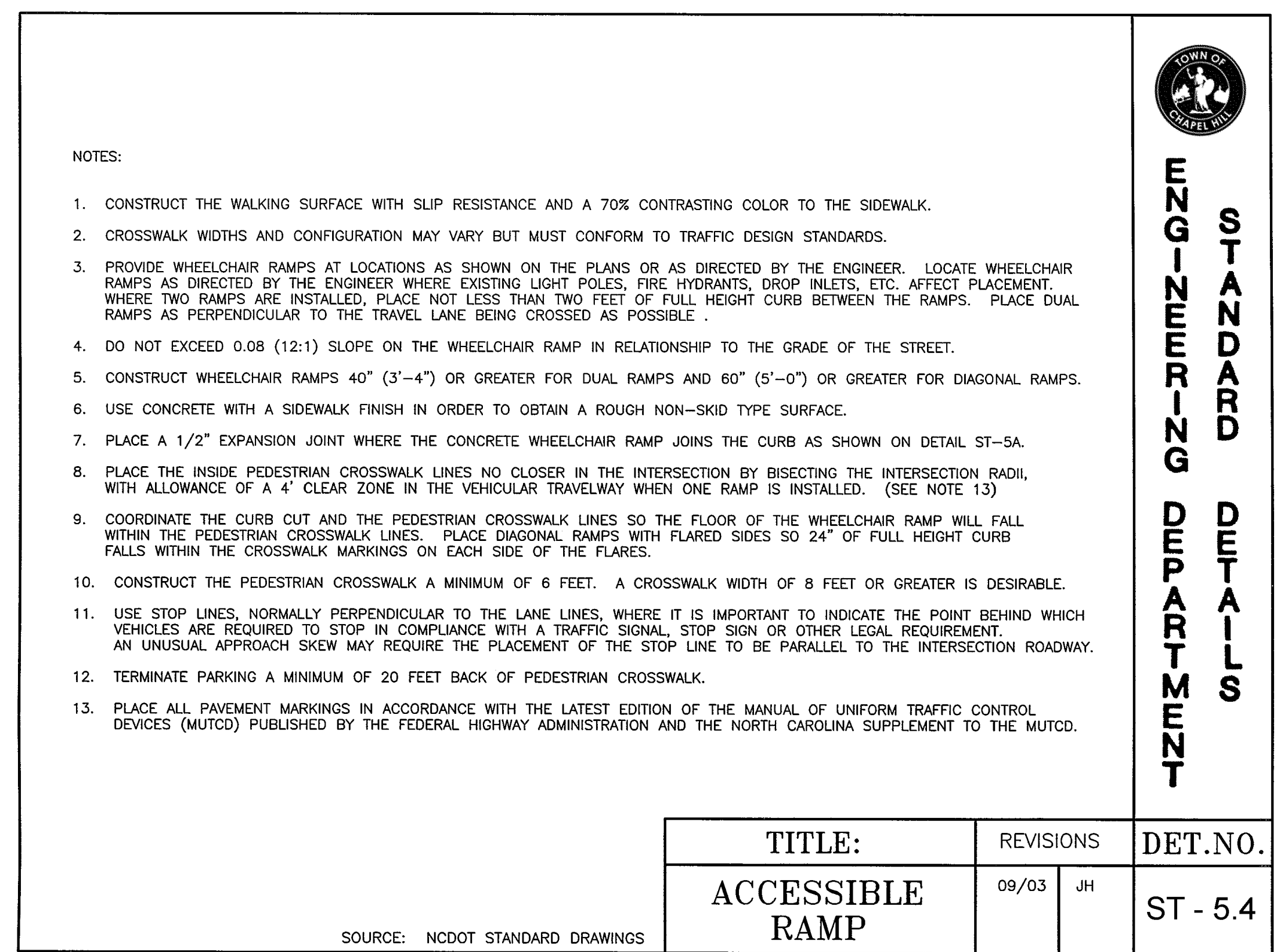
2/CZ-8.3
ACCESSIBLE RAMP
 NTS



TOWN OF CHAPEL HILL
ENGINEERING DEPARTMENT
STANDARD DETAILS

NOTE: DRAWING NOT TO SCALE SOURCE: NCDOT STANDARD DRAWINGS		REVISIONS 09/03 JH 02/08 ER	DET.NO. ST - 5.3
TITLE: ACCESSIBLE RAMP			

3/CZ-8.3
ACCESSIBLE RAMP
 NTS



TOWN OF CHAPEL HILL
ENGINEERING DEPARTMENT
STANDARD DETAILS

NOTE: DRAWING NOT TO SCALE SOURCE: NCDOT STANDARD DRAWINGS		REVISIONS 09/03 JH	DET.NO. ST - 5.4
TITLE: ACCESSIBLE RAMP			

4/CZ-8.3
ACCESSIBLE RAMP NOTES
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