

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
(919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9880028073

Date: 04/20/22

Section A: Project Information

Project Name: Stanat's Place

Property Address: 2516 Homestead Rd, Chapel Hill, NC Zip Code: 27516

Use Groups (A, B, and/or C): A Existing Zoning District: R-2

Project Description: A residential community with 47 lots designated for townhomes.

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Adanced Civil Design, Inc.

Address: 51 Kilmayne Drive, Suite 102

City: Cary State: NC Zip Code: 27511

Phone: 919-481-6290 Email: crice@advancedcivildesign.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: _____ Date: April 20, 2022

Owner/Contract Purchaser Information:

Owner

Contract Purchaser

Name: CapKov Ventures, Inc.

Address: P.O. Box 16815

City: Chapel Hill State: NC Zip Code: 27516

Phone: 919-942-8005 (office), 919-260-7262 (Cell) Email: ericbchupp@bellsouth.net

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: April 20, 2022

[Click here](#) for application submittal instructions.



CONDITIONAL ZONING

TOWN OF CHAPEL HILL

Planning Department

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section A: Project Information

Use Type: (check/list all that apply)

Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all that apply)

Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	355,563	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	0	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=	35,556	sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	391,119	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	325,000
Area of Land Disturbance within RCD	58,000
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	18,107	18,107	170,000	170,000
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	0.046	0.046	0.44	0.44
If located in Watershed Protection District, % of impervious surface on 7/1/1993	N/A	N/A	N/A	N/A



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	(4) 5,786	(4) 5,786	(47) 85,000	(47) 85,000
Number of Floors	1 - 1.5	1 - 1.5	2	2
Recreational Space	0	0	27,956	27,956

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	3,190	3,190	101,000q	101,000
Total Square Footage of All Units	3,190	3,190	85,000	85,000
Total Square Footage of Affordable Units	0	0	6,759	6,759
Total Residential Density	15 units/ac	15 units/ac	5.23 units/ac	5.23 units/ac
Number of Dwelling Units	1	1	47	47
Number of Affordable Dwelling Units	0	0	4	4
Number of Single Bedroom Units	0	0	0	0
Number of Two Bedroom Units	0	0	0	0
Number of Three Bedroom Units	1	1	43	43

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	20'	0'	20'
	Interior (neighboring property lines)	6'	0'	6'
	Solar (northern property line)	8'	N/A	8'
Height (maximum)	Primary	39'	N/A	39'
	Secondary	60'	N/A	60'
Streets	Frontages	40'	0	0
	Widths	50'	0	0



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Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Cabernet Dr	50'	22'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Aquatic Dr	60' Public Access Easement	28'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
Cabernet Drive	27' b/b (36',40.5', 50' R/W)	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street A	27' b/b (40.5' R/W)	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street B	27' b/b (52.5' R/W)	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	n/a	n/a	16
Handicap Spaces	n/a	n/a	1
Total Spaces	n/a	n/a	17
Loading Spaces	0	0	0
Bicycle Spaces	n/a	n/a	13 total (11 will be wall-mounted bike hook within garage)
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Eastern Property Line	20'	20	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Western Property Line	10'	20	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
Southern Property Line	10'	10'	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



Section I: Land Use Intensity

Existing Zoning District:
 Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-5-CZD	n/a	n/s	n/a			n/a	n/a
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning Department**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 968-2728 or at planning@townofchapelhill.org.

cmr	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	35,986.40
cmr	Pre-application meeting –with appropriate staff		
cmr	Digital Files – provide digital files of all plans and documents		
cmr	Recorded Plat or Deed of Property		
cmr	Project Fact Sheet		
n/a	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
n/a	Description of Public Art Proposal , if applicable		
cmr	Statement of Justification		
n/a	Response to Community Design Commission and Town Council Concept Plan comments , if applicable		
cmr	Affordable Housing Proposal , if applicable		
cmr	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
cmr	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
cmr	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	450.00
cmr	Written Narrative describing the proposal, including proposed land uses and proposed conditions		
cmr	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
cmr	Jurisdictional Wetland Determination – if applicable		
n/a	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
n/a	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
cmr	Reduced Site Plan Set (reduced to 8.5” x 11”)		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



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Planning and Development Services**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



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SUBMITTAL REQUIREMENTS
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Planning and Development Services**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)



Stanat's Place Project Narrative

Developers Background: Capkov Ventures Inc. is a Chapel Hill owned and operated development company that has been building communities in Chapel Hill and Carrboro for the last 30 years. Capkov Ventures is owned by Scott Kovens who has lived in Chapel Hill for his entire adult life. Communities that have been designed and developed by Capkov Ventures Inc. include;

- 1) Weatherhill Pointe, Carrboro
- 2) Bolin Forest, Carrboro
- 3) Erwin Village, Chapel Hill
- 4) Columbia Place, Chapel Hill
- 5) Pickard Oaks, Chapel Hill
- 6) The Cedars at Bolin Forest, Carrboro
- 7) Franklin Grove, Chapel Hill
- 8) Chancellors View, Chapel Hill
- 9) Winmore, Carrboro
- 10) The Goddard School, Chapel Hill
- 11) Burch Kove, Chapel Hill (design and entitlements only)
- 12) Chandlers Woods (design and entitlements only)

Overview: Capkov Ventures is proposing to develop a community of 47 town homes on a wonderful infill site located between the Vineyard Square town home community and Homestead Park. Cabernet Drive will extend through the community and intersect with Aquatic Dive which leads directly to Homestead Park. Stanat's Place is an ideal location for a town home community immediately adjacent to Chapel Hill's signature park and aquatics center.

Capkov recently received approval for the Bridgepoint town home community just across Weaver Dairy Road Extension from this proposed site. We have taken the feedback we received from the Town Council, the Community Design Commission, and the Town Review Boards during the approval process for Bridgepoint and tried to incorporate that feedback into the design of this new community.

The roughly eight (8) acre property has been owned by the Stanat family for the last 30 years. The Stanat's are hoping to downsize and move to a community for active seniors with less maintenance.

Stanat's Place will serve a wide range of age groups focusing on first time home buyers, families, and downsizing seniors who are looking for lower maintenance than a single-family home. The community is designed to serve the middle-income price range often referred to in Chapel Hill as the "Missing Middle". As we are all aware it has become virtually impossible to find homes in Chapel Hill in the middle-income price range. Stanat's Place will add diversity and depth to the available housing opportunities in Chapel Hill.

Proposal Specifics: Stanat's Place is roughly eight-acres. Capkov is requesting a Conditional Zoning Permit for 47 town homes. The current zoning of R-2 will need to be revised to Conditional Zoning (CZ)-R-5. The property is located north of Homestead Road, west of Aquatic Drive, east of Weaver Dairy Extension Road, and south of the Vineyard Square community. As proposed Stanat's Place will have two means of ingress and egress. One from the natural extension of Cabernet Drive on the west, and a second from Aquatic Drive on the east side of the community. All utilities are currently available to the site and a 30' OWASA sewer easement with a public-main runs west to east through the site. The property is triangular in shape with a stream running from west to east across the southern property line. A 20' Greenway Trail Easement will run along the stream and will be dedicated to the Town of Chapel Hill creating an important link in the Greenway Trail System. A water quality pond will be constructed just south of the town homes overlooking the Greenway Trail and the creek. The water quality pond will be a wet pond that is heavily landscaped.

Access and Circulation: Two vehicular access points have been proposed for Stanat's Place both conforming to the Chapel Hill Land Use Ordinance and the State Fire Code. The first access point will be facilitated by the extension of Cabernet Drive from Vineyard Square. Cabernet Drive was designed to extend into Stanat's Place when Vineyard Square was developed. A sign stating that "This Road May Continue in the Future" was required at the termination of Cabernet Drive when Vineyard Square was developed. The Cabernet Drive access point will provide direct access to I-40 via Weaver Dairy Road Extension. The second access will be formed by connecting Cabernet Drive to Aquatic Drive. Aquatic Drive then travels south to Homestead Road. The entry point of Cabernet Drive onto Aquatic Drive is south of any of the Homestead Park amenities. An extensive Traffic Impact Analysis was prepared for this area just over a year ago which indicated that both Weaver Dairy Road Extension and Homestead Road had sufficient capacity for additional development. The Traffic Impact Analysis is currently being updated. The soon to be constructed Homestead Road Improvement Project, and the signal light improvements being done as part of Bridgepoint, will enhance traffic safety along Homestead Road. All roads will be built to public standards and dedicated to the Town of Chapel Hill as public roadways. Stanat's Place will also provide an important link in the Chapel Hill Greenway System that will eventually connect the Green Tract and all the communities to the south to Homestead Park. Currently Greenway Trail Easements are in place across the Towns 2200 Homestead Road site, Bridgepoint, and as proposed Stanat's Place.

Buffers and Natural Constraints: Buffers and Natural Constraints: Stanat's Place has been designed with vegetative buffers around the perimeter of the community and street trees along the internal public streets. The buffers will conform to both the Design Guidelines and the Chapel Hill Land Use Ordinance. There is an existing buffer between Stanat's Place and Homestead Park that is roughly 40' of both hardwood and evergreen trees. The community will feature a central park with over half of an acre public green. The southern property line has a perennial stream running west to east across the site. The proposed plan takes advantage of the Resource Conservation District (RCD) surrounding the stream by allowing it to become a beautiful natural area with an extension of the Chapel Hill Greenway Trail running along the creek. We will place benches along the Greenway Trail and dedicate it to the Town of Chapel Hill Parks and Recreation System. The town homes which front Public Street "B" will overlook a heavily landscaped pond, the Greenway Trail, and the stream and associated buffers. The site is generally flat sloping from north to south. There are small unconnected areas of moderately steep slopes resulting from the house and driveway construction. The site is naturally gently sloping.

Stormwater Management: As proposed Stanat's Place will have an elongated wet pond running parallel, but separated from, the perennial stream running along the southern portion of the site. The pond will be heavily landscaped with three tiers of plantings above and below the water line and will be an attractive amenity. The pond will be designed to conform with volume, velocity, and water quality standards laid out in the Chapel Hill Land Use Management Ordinance and the Design Guidelines.

Recreational Amenities: Stanat's Place will provide onsite recreational facilities. The Applicant proposes constructing an important link in the Chapel Hill Greenway Trail leading to Homestead Park. It will eventually connect Bridgepoint, the Town owned 2200 Homestead Road community, and future communities to the north. A Greenway Trail link was provided by the Bridgepoint site community to the east and the Town owned 2200 Homestead Road site as part of their respective approvals. The only remaining link will be across the Vineyard Square Open Space and Chapel Hill Parks and Recreation Department is working to acquire that last segment. With the inspiration of Brian Peterson, we have designed a central park which all of the homes will look out onto. The park will have an open green with a Chapel Hill stone wall running along the north side for sitting. It will have a reading area with a community library and fire pit, and a separate small children's playground with benches and picnic tables. One of the wonderful things about this unique location is that it shares a property line with Homestead Park with its soccer fields, baseball fields, dog park, aquatics center, skateboard park, and several wonderful playgrounds for the children.

Home Design: The town homes in the Stanat's Place community will be a traditionally designed homes with attached two car garages. There will be two full parking spaces outside the garage providing two off-street parking spaces. The lot size will allow for a town home with a footprint of 24' X 62' providing great flexibility in design and size of the homes. Each town home will have a private courtyard. The homes will be designed for middle income families that will enjoy the nearby schools and recreational opportunities and downsizing adults moving from single family homes. Both upstairs and downstairs master plans will be

available with three-bedroom two bath town homes being the most frequently purchased. The town homes will be arranged in buildings ranging between 4-6 units.

Impact on Neighboring Properties: Stanat's Place is entirely consistent with the adjacent town homes in the Vineyard Square community. The connection to Vineyard Square will allow neighboring residents to access Homestead Park more easily by either driving or walking. We believe connectivity in this location is important as it promotes all of the many attributes of connectivity.

We are very excited about the possibility of having an opportunity to bring Stanat's Place to Chapel Hill. We believe the town home market in Chapel Hill is badly underserved as is middle income homes across the region. We believe that Stanat's will fill an essential part of the communities' housing needs and we ask for your support.

Thank you, Eric Chupp

Director of Development
Capkov Ventures Inc.
(919) 260-7262
ericbchupp@bellsouth.net



Stanat's Place Statement of Compliance with the Comprehensive Plan

The proposed Stanat's Place townhome community has been designed to comply with the Town of Chapel Hill's Comprehensive Plan, Northern Area Task Force Report, and the Future Land Use Map. The site plan has been designed to meet the plans in the following ways;

A. Compliance with the Comprehensive Plan

1) A Place for Everyone

One of the major goals under the theme "A Place for Everyone" is to provide "A range of housing options for current and future residents". Diversity of housing options has become a significant problem in Chapel Hill. Stanat's Place will provide 47 town homes and make a significant contribution to "Missing Middle". In the last several years over 3,500 for rent apartment units have been built in Chapel Hill but only one town home community has been approved which was Bridgepoint. If approved Stanat's Place will fill an essential housing that is almost missing in Chapel Hill, homes for middle income families and downsizing seniors. As the University of North Carolina tries to attract the best and the brightest to Chapel Hill, those potential employees who have children, or anticipate having children, will have as one of their primary considerations the availability of for sale housing. The same is true for the wider community as Chapel Hill tries to encourage innovative businesses to locate in Chapel Hill. While Stanat's Place will not solve the problem of providing diversity in housing it will provide some additional options for middle income families who are looking for something other than an apartment home.

2) Community Prosperity and Engagement

One of the major goals under the theme "Community Prosperity and Engagement" is to "Foster success of local businesses." The Town of Chapel Hill has consistently expressed the desire to promote our world-class university and to attract new employers who can utilize the talents and technologies developed at UNC to launch new and creative businesses. As mentioned in the preceding paragraph, to successfully attract such businesses the Town must provide appropriate housing to meet the needs of the prospective employees. Stanat's

Place will add diversity to the existing housing stock, which is terribly underserved. The proposed Stanat's Place is ideally located. The site surrounded by Homestead Park and Aquatics Center, across the street from the Seymore Senior Center, the Orange County Health and Human Services Center, right down the street from all three levels of public schools. It is also next door to the Horace Williams tract, the University of North Carolina's next big campus.

3) *Getting Around*

The goal is to promote "A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation." The Stanat's Place as proposed will provide a critical link in providing a holistic transportation system in Chapel Hill. Stanat's Place is proposing to construct an important link in a branch of the Chapel Hill Greenway System connecting the communities north of Homestead Road to Homestead Park. The Town owned and soon to be developed 2200 Homestead Road Community, Bridgepoint, Vineyard Square, and now Stanat's Place have or will dedicate Greenway Trail easements which connect to Homestead Park. Eventually the Greenway Trail could stretch north all the way to the Green Tract and Eubanks Road. Stanat's Place will have two access points. One from Cabernet Drive on the western side of the site that will feed into Weaver Dairy Extension Road and provide direct access to I-40. The second entrance will be at Aquatic Drive, which will provide access to Homestead Road. The second entrance at Aquatic Drive will also provide two means of access to Homestead Park increasing the public safety for all of those using the park and enhance overall connectivity.

4) *Good Places, New Spaces*

Stanat's Place will promote several of the goals of "Good Places, New Spaces" including the goal of providing "Open and accessible common spaces for community gathering, cultural uses, and community development." As mentioned above, Stanat's Place will provide a Greenway System link between the communities to the north of Homestead Road and Homestead Park. The trail will run parallel with the creek, be appointed with benches, and open for the entire Chapel Hill community to enjoy. There are few places more community oriented than Homestead Park with the Aquatics Center, soccer fields, baseball fields, skate park, dog park, and several playgrounds for children. We have also located a "Central Park" in the middle of the community. As designed, it will have an open green, stone retaining walls, an area for reading with a community book exchange and a fire pit, and a separate area for a young children's playground with picnic tables and benches.

5) *Nurturing Our Community*

In the design of the proposed Stanat's Place community we have made a conscious effort to leave the southern part of the site undisturbed where a perennial stream runs west to east through the site. The only exception will be the natural mulched surface Greenway Trail running along the stream. North of the stream and Greenway Trail we will construct a wet

pond that will serve as the water quality device but also as a continuation of the natural area being created on the southern portion of the property. We will heavily landscape the pond with three different tiers of landscaping both above and below the water line. We propose meeting or exceeding the rigorous Chapel Hill storm water, open space, and tree canopy standards.

6) *Town and Gown Collaboration*

While the proposed Stanat's Place community may not directly affect the operations of the University of North Carolina, we believe that adding to the diversity of the Chapel Hill housing stock near the Universities' future northern campus on the Horace Williams site will provide opportunities for the families who move to Chapel Hill to work at the University. With the future supply of town homes seriously in question this may be important factor in the University of North Carolina's ability to attract the best and the brightest work force.

Best Regards, Eric Chupp

Director of Development
Capkov Ventures Inc.
(919) 260-7262
ericbchupp@bellsouth.net

Stanat's Place Townhome Community Statement of Reasonableness Chapel Hill Land Use Ordinance Section 4.4.3(f)(2)

Section 4.3.3(f)(2) of the Town of Chapel Hill's Land Use Management Ordinance states that "When adopting or rejecting any petition for a zoning atlas amendment a statement analyzing the reasonableness of the proposed rezoning shall be approved by the Town Council. The statement of reasonableness may consider, among other factors.

- (i) The size, physical conditions, and other attributes of the area proposed to be rezoned.
- (ii) The benefits and detriments to the landowners, the neighbors, and the surrounding community.
- (iii) The relationship between the current actual and permissible development on the tract and adjoining areas and the development that would be permissible under the proposed amendments.
- (iv) Why the action taken is in the public interest,
- (v) Any changed conditions warranting the amendment.

The applicant hereby submits the following "Statement of Reasonableness" as evidence that the proposed Stanat's Place townhome community meets the standard of reasonableness found under NCGS-160D-605(b).

- (i) The size, physical conditions, and other attributes of the area proposed to be rezoned.

The Stanat's Place property is located just north of Homestead Road between the Aquatic Center in Homestead Park and Weaver Dairy Road. Vineyard Square townhomes are located immediately north of the site. The site is just over eight acres in size and is triangular shaped. It slopes gently towards the south where a perennial stream runs west to east along the southern property line.

Stanat's Place is designed to help meet the middle-income housing needs of the Chapel Hill community. The proposed site plan has forty-seven townhome lots that are twenty-four' wide and ninety-five' deep and will accommodate townhomes in the 1700 – 2100 square foot range. The proposed density is consistent with the immediately adjacent neighborhoods and is aligned with the Chapel Hill 2020 Comprehensive Plan and the recently approved Future land Use Map. The size of the lots, the overall density and the size of the homes is almost identical to the Vineyard Square community which adjoins the site to the north, and the Bridgepoint

community across Weaver Dairy Extension Road to the west. Chapel View and Chapel Ridge Apartments are located south of the site across Homestead Road. Stanat's Place serves as a perfect transition between the single-family homes north of Vineyard Square townhomes and the apartment homes south of Homestead Road and is consistent with the adjoining residential uses.

In addition to the surrounding residential uses Stanat's Place is surrounded by public amenities and services which make it a wonderful location for medium density residential. Homestead Park will share a property line with Stanat's Place, and we have designed several pedestrian connections so that future residents can take advantage of the Park's walkability. The Aquatics Center, skate park, soccer fields, dog park, playgrounds, and baseball field will all be walkable from Stanat's Place. The Seymore Senior Center is just across Homestead Road from Stanat's Place, as is the Orange County Health and Human Services Complex. All three public school levels are within one mile and public sidewalks will provide walkability the entire way. The site is close to numerous bus stops and the BRT (Bus Rapid Transit) planned for Martin Luther King Jr. Blvd. will be within a short walk providing quick and efficient commutes to downtown Chapel Hill and the University. As proposed, Stanat's Place is a perfect infill community.

The Chapel Hill Future Land Use Map shows the Stanat's Place property within the North MLK Boulevard Focus Area and shows townhomes as a primary recommended use. The map also shows the connection between the Vineyard Square townhomes running through Stanat's Place as a "proposed connection."

- (ii) The benefits and detriments to the landowners, the neighbors, and the surrounding community.

Stanat's Place provides multiple benefits for the adjacent landowners, neighbors, and the wider Chapel Hill community.

1. The proposed plan for Stanat's Place includes the dedication of a Greenway Trail easement and the improvement of the trail with a Chapel Hill Gravel surface that will make a connection to Homestead Park. The section of Greenway Trail provides a vital link in the overall approved Greenway Trail Plan for Chapel Hill. The link to be provided by the Stanat's Place development is a spur off the "Rail Trail" section of the Greenway and will eventually connect the Horace Williams Tract with the Green Tract and proceed north to Millhouse Road.
2. The proposed plan for Stanat's Place will provide a new sidewalk connection for adjacent communities to use to access Homestead Park and the BRT (Bus Rapid Transit) stops along MLK Blvd. One connection will be directly to the Aquatic Center's parking lot and the other will provide access to Aquatics Drive and Cabernet Drive.
3. The only undeveloped adjacent property is the Maddry property which shares the southern property line of Stanat's Place. We have been contacted by a representative of Ms. Maddry's about the potential future development of her property for a senior living condominium. We have agreed to work with them on an access easement, sewer easement and to work together to provide the best developments on both sites.
4. Chapel Hill has seen very few middle-income housing in the last 20 years. A recent housing needs report commissioned by the Town stressed the need for additional housing to be built

to accommodate the “Missing Middle.” Stanat’s Place will provide middle income housing at a time when the community needs it most.

5. Stanat’s Place as proposed will provide (4) affordable homes to the Community Home Trust for perpetual affordability. Two of the homes will be built for those earning 65% or less of the median income and two of the homes will be build for those earning less than 80% of the median income.
6. The homes will be attractive to downsizing seniors who live in Chapel Hill or who are moving here. Seniors are Chapel Hill’s fastest growing age demographic and Stanat’s Place will provide them with a townhome alternative.

- (iii) The relationship between the current actual permissible development on the tract and adjoining areas and the development that would be permissible under the proposed amendment.

There is little difference in what the current zoning will allow in terms of the number of allowable homes or the potential use. The current Zoning is R-2 which given the net land area of approximately nine acres would allow thirty-six homes. The R-5 would allow up to fifteen units per acre or 135 homes. We are not changing the allowable uses under the current zoning. We are requesting R-5CZD which will only allow the forty-seven homes we are providing as shown on our site plan. The constraining factor of R-2 zoning is floor area. To make a financially viable community, forty-seven homes is the minimum threshold. As stated earlier the R-5 CZD zoning is entirely consistent with the adjacent and surrounding uses.

- (iv) Why the action taken is in the public interest.

1. As described above providing middle income housing has been a challenge in Chapel Hill for the better part of the last two decades. Predictions in the recently commissioned Housing Needs Report state that if more middle-income housing is not provided Chapel Hill risks losing its major employers to other areas where more affordable housing is available. UNC Hospital could start moving facilities to Hillsborough and Wake County. Providing middle income housing as is being proposed with Stanat’s Place is a public interest.
2. As stated above the Stanat’s Place proposal is offering to build (4) perpetually affordable homes for dedication to the Community Home Trust. This is a public interest.
3. The Stanat’s Place proposal provides a vital link in the Chapel Hill Greenway Plan. This is a public interest.
4. Stanat’s Place is an infill community surrounded by public utilities, public amenities, and public services. This type of infill development allows for the most efficient use of public resources and is a public interest.
5. Through multiple sidewalk connections to Homestead Park the Stanat’s Place community will add over 1,000 feet to the public sidewalk system in Chapel Hill. This is a public interest.

- (v) Any change in conditions warranting the amendment.

At the risk of sounding redundant a major shift in housing production and housing prices has occurred in Chapel Hill over the last 20 years. Single-family housing in Chapel Hill is virtually impossible to build with the limited land left for development. Townhomes have become a viable option for downsizing seniors and young families alike and everyone in between. Housing cost have risen dramatically over the last 10 years where a single-family home is often unattainable for those who work in Chapel Hill. Townhome communities like Stanat's Place will need to replace single family communities to adapt to these changing conditions.

Please contact me at 919-780-8005 if you have any questions or concerns.

Sincerely,

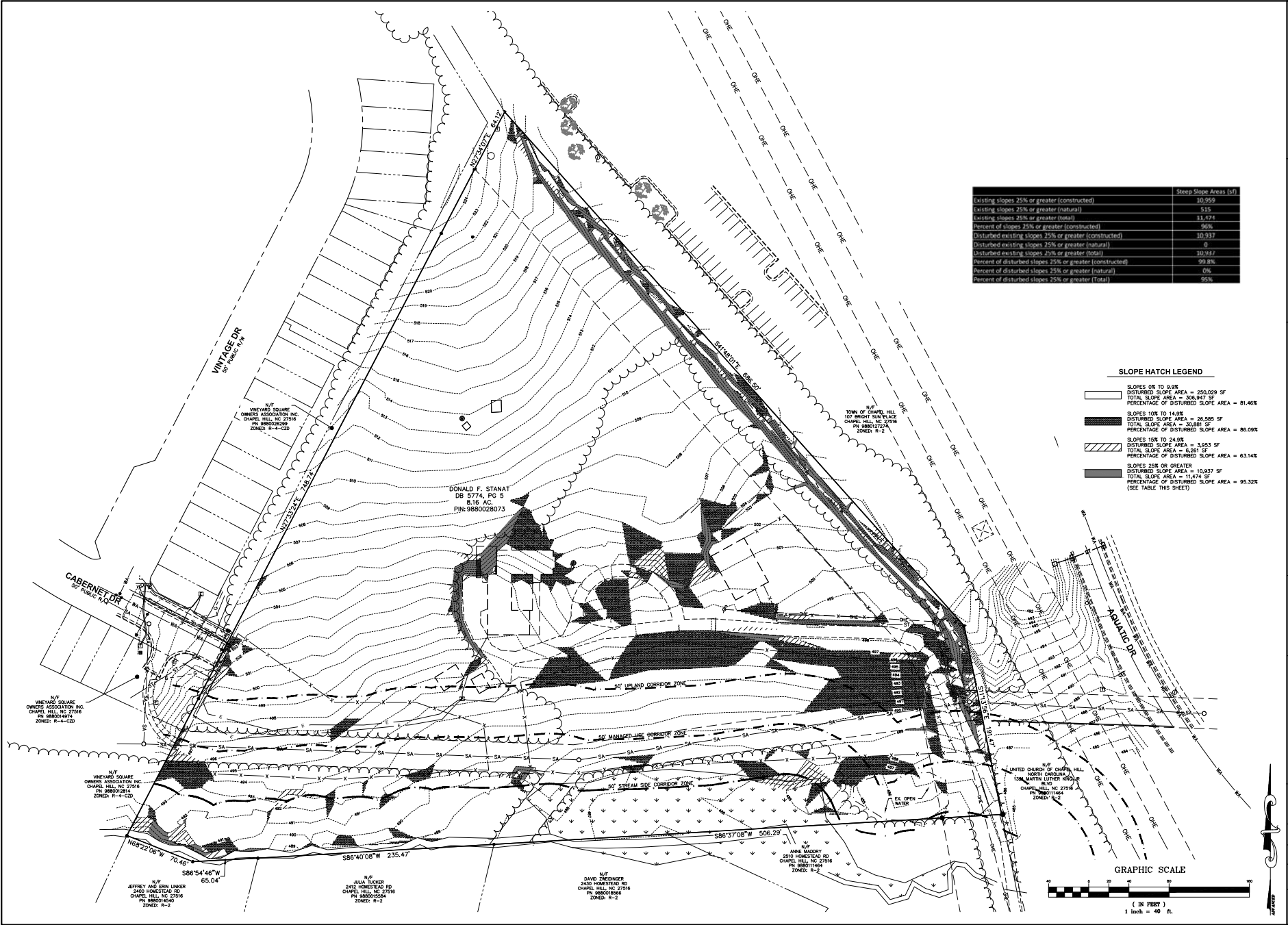
ADVANCED CIVIL DESIGN, INC.

Cameron M. Rice

Cameron M. Rice, P.E.
Senior Project Manager

cc: 21-0002-978
KB Homes
CapKov

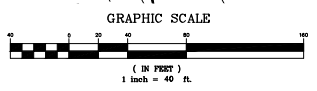
G:\31-002-978\31-002-978\Drawings\Development\Planning\Conditional Zoning Plans\002-978 Slope Analysis Plan.dwg 05/04/2022 2:30:41pm cbr



Slope Slope Areas (sf)	
Existing slopes 25% or greater (constructed)	10,959
Existing slopes 25% or greater (natural)	515
Existing slopes 25% or greater (total)	11,474
Percent of slopes 25% or greater (constructed)	96%
Disturbed existing slopes 25% or greater (constructed)	10,917
Disturbed existing slopes 25% or greater (total)	0
Percent of disturbed slopes 25% or greater (constructed)	99.8%
Percent of disturbed slopes 25% or greater (natural)	0%
Percent of disturbed slopes 25% or greater (Total)	99%

SLOPE HATCH LEGEND

	SLOPES 0% TO 9.9% DISTURBED SLOPE AREA = 250,029 SF TOTAL SLOPE AREA = 26,847 SF PERCENTAGE OF DISTURBED SLOPE AREA = 81.46%
	SLOPES 10% TO 14.9% DISTURBED SLOPE AREA = 26,800 SF TOTAL SLOPE AREA = 30,881 SF PERCENTAGE OF DISTURBED SLOPE AREA = 86.09%
	SLOPES 15% TO 24.9% DISTURBED SLOPE AREA = 3,953 SF TOTAL SLOPE AREA = 6,387 SF PERCENTAGE OF DISTURBED SLOPE AREA = 63.14%
	SLOPES 25% OR GREATER DISTURBED SLOPE AREA = 10,937 SF TOTAL SLOPE AREA = 11,474 SF PERCENTAGE OF DISTURBED SLOPE AREA = 95.32% (SEE TABLE THIS SHEET)



PLAN PREPARED BY:
KB HOME CAROLINAS
4008 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.68.7560

PROJECT PREPARED FOR:
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
SLOPE ANALYSIS PLAN



Date	Submitted By	Submitted To
2022-02-01	CONDONAL ZONING SUBMITTAL #1	JRR
2022-04-01	DATE ENVIRONMENTAL DOCUMENT PREPARED	JRR
2022-05-04	CONDITIONAL ZONING SUBMITTAL #2	JRR

Date: 05/04/2022
Scale: 1" = 40'
Drawn By: JRR
Checked By: CMR
Project Number: 21-0002-978
Sheet Number: 4 / 16

CODED NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) STONE FACADE RETAINING/SEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1: CHILDREN'S PLAY STRUCTURE WITH PICNIC TABLES
- (G) GATHERING SPACE #2: FIRE PIT WITH CHAPEL HILL CRT SURFACE
- (H) 4' BRICK WALKWAY
- (I) 30" STANDARD CURB AND GUTTER
- (J) 30" VALLEY CURB AND GUTTER
- (K) CURB TRANSITION BETWEEN STANDARD AND VALLEY
- (L) CONCRETE STEP (12-INCH TREAD, RISER PER SPOT GRADES)
- (M) HANDICAP RAMP IN SIDEWALK WITH DETECTABLE WARNING DOMES ATTACHED TO BACK OF CURB
- (N) ACCESSIBLE VAN PARKING SPACE
- (O) 20-FT PUBLIC DRAINAGE EASEMENT
- (P) 20-FT PRIVATE DRAINAGE EASEMENT
- (Q) PUBLIC SIDEWALK EASEMENT
- (R) MAIL KIOSK
- (S) BIKE RACK
- (T) ENTRY FEATURE
- (U) RETAINING WALL WITH FENCE
- (V) TRASH COLLECTION TURNAROUND
- (W) COLLAPSIBLE BOLLARDS
- (X) TREE SAVE AREA
- (Y) END CURB AND GUTTER
- (Z) WOODEN FENCE ON TOP OF WALL
- (AA) LIGHT POLE
- (BB) CURB & GUTTER REMOVAL
- (CC) PAVEMENT SPLITTING TO DEDICATE TEMPORARY STORAGE OF REFUSE AND RECYCLING CONTAINERS DURING SERVICE DAY FOR LOTS 15-19
- (DD) TEMPORARY CONSTRUCTION EASEMENT
- (EE) MOPED/MOTORCYCLE PARK
- (FF) WHEEL STOP

EXISTING IMPERVIOUS SURFACES

BUILDINGS	= 6,447 SF
DRIVEWAYS	= 11,880 SF
TOTAL	= 18,327 SF

PROPOSED IMPERVIOUS SURFACES (ON-SITE)

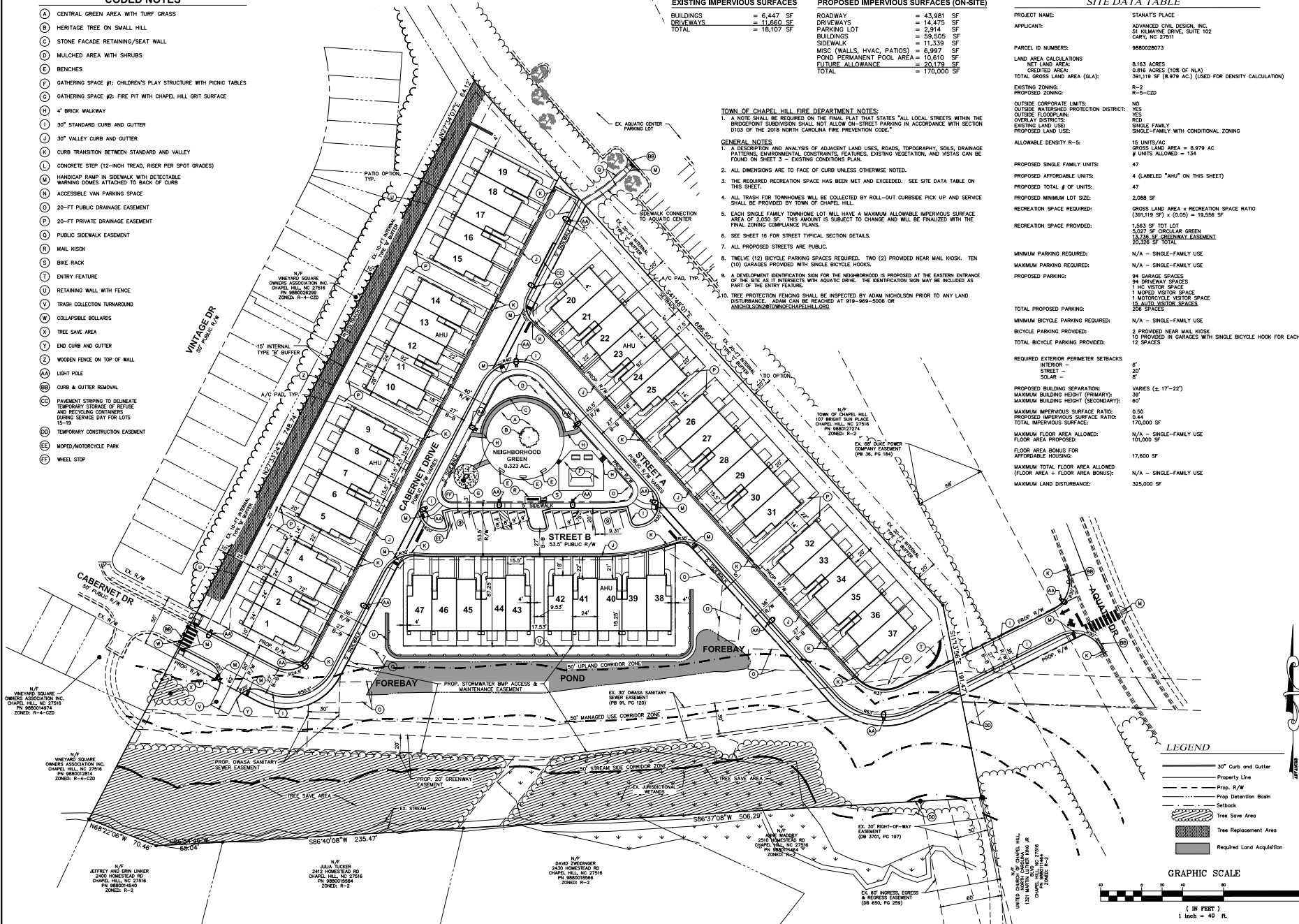
ROADWAY	= 43,981 SF
DRIVEWAYS	= 14,475 SF
PARKING LOT	= 2,914 SF
BUILDINGS	= 59,505 SF
SIDEWALK	= 11,359 SF
MISC (WALLS, HVAC, PATIOS)	= 6,997 SF
POND PERMANENT POOL AREA	= 10,610 SF
FUTURE ALLOWANCE	= 20,178 SF
TOTAL	= 170,000 SF

SITE DATA TABLE

PROJECT NAME:	STANAT'S PLACE
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KEMAYNE DRIVE, SUITE 102 CARY, NC 27511
PARCEL ID NUMBERS:	988002873
LAND AREA CALCULATIONS	6.163 ACRES
NET LAND AREA	0.816 ACRES (10% OF NLA)
CREDITED AREA:	38,119 SF (8,979 AC) (USED FOR DENSITY CALCULATION)
TOTAL GROSS LAND AREA (GALA):	R-2
EXISTING ZONING:	R-5-C2D
PROPOSED ZONING:	NO
OUTSIDE CORPORATE LIMITS:	YES
OUTSIDE WATERED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	NO
OVERLAY DISTRICTS:	R53
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
GROSS LAND AREA =	6,979 AC
# UNITS ALLOWED =	134
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	2,078 SF
PROPOSED MINIMUM LOT SIZE:	4,000 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (391,119 SF) x (0.05) = 19,558 SF
RECREATION SPACE PROVIDED:	1,563 SF TOT LOT 5,027 SF CIRCULAR GREEN 13,736 SF GREENWAY EASEMENT 20,326 SF TOTAL
MINIMUM PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
MAXIMUM PARKING PROVIDED:	N/A - SINGLE-FAMILY USE
PROPOSED PARKING:	94 GARAGE SPACES 94 DRIVEWAY SPACES 1 HC VISTOR SPACE 1 MOPED VISTOR SPACE 16 AUTO VISTOR SPACES 206 SPACES
TOTAL PROPOSED PARKING:	N/A - SINGLE-FAMILY USE
MINIMUM BICYCLE PARKING REQUIRED:	N/A - SINGLE-FAMILY USE
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL KIOSK
TOTAL BICYCLE PARKING PROVIDED:	10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
REQUIRED EXTERIOR PERIMETER SETBACKS	INTERIOR - 6' STREET - 20' SOLAR - 0'
PROPOSED BUILDING SEPARATION:	VARIABLES (E. 17'-22')
MAXIMUM BUILDING HEIGHT (PRIMARY):	35'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.44
TOTAL IMPERVIOUS SURFACES:	170,000 SF
MAXIMUM FLOOR AREA ALLOWED:	N/A - SINGLE-FAMILY USE
FLOOR AREA PROPOSED:	101,000 SF
FLOOR AREA TOTAL FOR AFFORDABLE HOUSING:	17,600 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	N/A - SINGLE-FAMILY USE
MAXIMUM LAND DISTURBANCE:	325,000 SF

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:
1. A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGPORT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION D103 OF THE 2018 NORTH CAROLINA FIRE PREVENTION CODE"

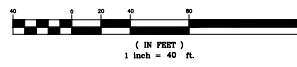
GENERAL NOTES:
1. A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
2. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
3. THE REQUIRED RECREATION SPACE HAS BEEN COLLECTED AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
4. ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
5. EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 2,000 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
6. SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
7. ALL PROPOSED STREETS ARE PUBLIC.
8. TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL KIOSK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOKS.
9. A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUIATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
10. TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-989-5008 OR ANICHOLOSON@TOWNOFCHAPELHILL.ORG



LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area
- Required Land Acquisition

GRAPHIC SCALE



0:31--002--1986C\Drawings\Development\Zoning\2002-978 SITE PLAN - OPTION B.dwg 05/04/2022 - 2:31:09pm cbr

PLAN PREPARED BY:

81 Wilmore Drive, Suite 102
 Cary, North Carolina 27513
 Phone: 919.326.9277

**ADVANCED
CIVIL DESIGN**
 CIVIL DESIGN

PLAN PREPARED FOR:

KB HOME CAROLINAS
 4008 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.68.7980

PROJECT:

STANAT'S PLACE
 CONDITIONAL ZONING PLAN
 KB HOME CAROLINAS
 SITE PLAN - OPTION B

Issue Date:

2021-12-20 CONDITIONAL ZONING SUBMITTAL #1
 2022-04-07 DRAINAGE ENCOURAGEMENT SUBMITTAL #1
 2022-05-04 CONDITIONAL ZONING SUBMITTAL #2

Date:

05/04/2022

Drawn By:

JRR

Checked By:

CUR

Project Number:

21-0002-978

Sheet Number:

5B/16

CODED NOTES

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) ROOF DRAIN LEADER
- (G) RETAINING WALL WITH FENCE
- (H) WOODEN FENCE ON TOP OF WALL
- (I) TEMPORARY CONSTRUCTION EASEMENT

Acres on Site	RCD Areas (A1)		
	50-ft Stream Side	50-ft Managed Use	50-ft Upland
Existing Sewer Easement	14.530	43.665	41.136
Existing Buildings	0	0	66
Existing Drive	0	433	695
Proposed Public Greenway Easement	0	523	354
Proposed Public Sewer Easement	0	0	719
Proposed Impervious Area - Streets & Sidewalk	0	0	4,509
Proposed Impervious Area - Paved	0	0	7,417
Actual Impervious	0	0%	376
Percent Impervious per Table 3.6.3.1 (sewered areas)	10%	2%	2%
Proposed Land Disturbance	0	18,446	38,776
Proposed Land Disturbance (minus easements, impervious, & public greenway)	0	3,304	23,904
Percent of land disturbance	0	43%	36%
Percent of land disturbance (minus easements, impervious, & public greenway)	0	5%	73%
Percent of disturbance per Table 3.6.3.3	20%	40%	40%

Slopes		Steep Slope Areas (A1)
Existing slopes 25% or greater (constructed)		10,959
Existing slopes 25% or greater (natural)		515
Existing slopes 25% or greater (total)		11,474
Percent of slopes 25% or greater (constructed)		96%
Disturbed existing slopes 25% or greater (constructed)		10,937
Disturbed existing slopes 25% or greater (natural)		0
Disturbed existing slopes 25% or greater (total)		10,937
Percent of disturbed slopes 25% or greater (constructed)		99.8%
Percent of disturbed slopes 25% or greater (natural)		0%
Percent of disturbed slopes 25% or greater (Total)		99%

SECTION 1 - GROUND STABILIZATION

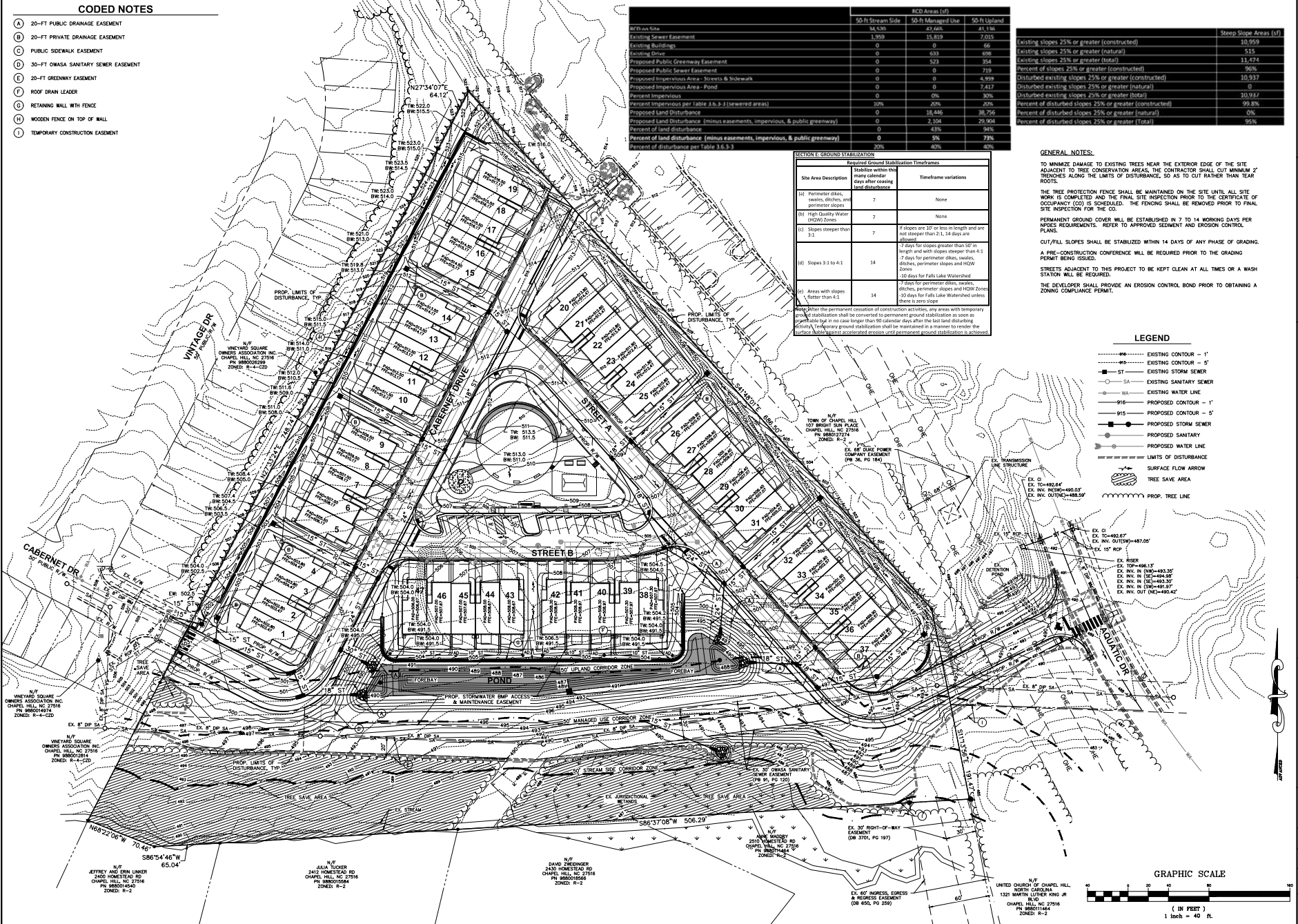
Site Area Description	Stabilize within the many calendar days after ceasing land disturbance	Timeframe variations	
		7 days	14 days
(D) Perimeter dikes, swales, ditches, and perimeter slopes	7	None	None
(E) High Quality Water (HQW) Zones	7	None	None
(F) Slopes steeper than 3:1	7	7 days for slopes greater than 10' in length and with slopes steeper than 2:1, 14 days are allowed.	None
(H) Slopes 3:1 to 4:1	14	7 days for slopes greater than 10' in length and with slopes steeper than 2:1, 14 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones	None
(I) Areas with slopes (steeper than 2:1)	14	30 days for Full Lake Watershed (perimeter dikes, swales, ditches, perimeter slopes and HQW Zones 20' long for Full Lake Watershed unless there is zero slope)	None

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to reduce the surface runoff accelerated erosion until permanent ground stabilization is achieved.

GENERAL NOTES:
 TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2" TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.
 THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.
 PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NPDES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.
 CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING. A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.
 STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.
 THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A ZONING COMPLIANCE PERMIT.

LEGEND

- 1' EXISTING CONTOUR
- 5' EXISTING CONTOUR
- ST EXISTING STORM SEWER
- SA EXISTING SANITARY SEWER
- WA EXISTING WATER LINE
- 1' PROPOSED CONTOUR
- 5' PROPOSED CONTOUR
- ST PROPOSED STORM SEWER
- SA PROPOSED SANITARY
- WA PROPOSED WATER LINE
- LIMITS OF DISTURBANCE
- SURFACE FLOW ARROW
- TREE SAVE AREA
- PROP. TREE LINE



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Project Name:
STANAT'S PLACE
 CONDITIONAL ZONING PLAN
 KB HOME CAROLINAS
 GRADING & DRAINAGE PLAN

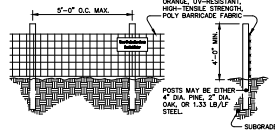


Issue Dates:

2022-12-20 CONDITIONAL ZONING SUBMITTAL #1	05/04/2022
2022-04-20 DRAINAGE EROSION CONTROL SUBMITTAL #1	
2022-05-04 CONDITIONAL ZONING SUBMITTAL #2	

Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CUR
 Project Number: 21-0002-978
 Sheet Number: 8 / 16

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- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAIL.
 - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
 - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 - FOR TREE PROTECTION AREAS LESS THAN 300' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT. ADDITIONAL SIGNS MAY BE REQUIRED BY THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.

- MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DISCOLORED OR BECOME REFLECTING, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANUP.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TREE PROTECTION FENCE
NOT TO SCALE

TREE PROTECTION NOTES

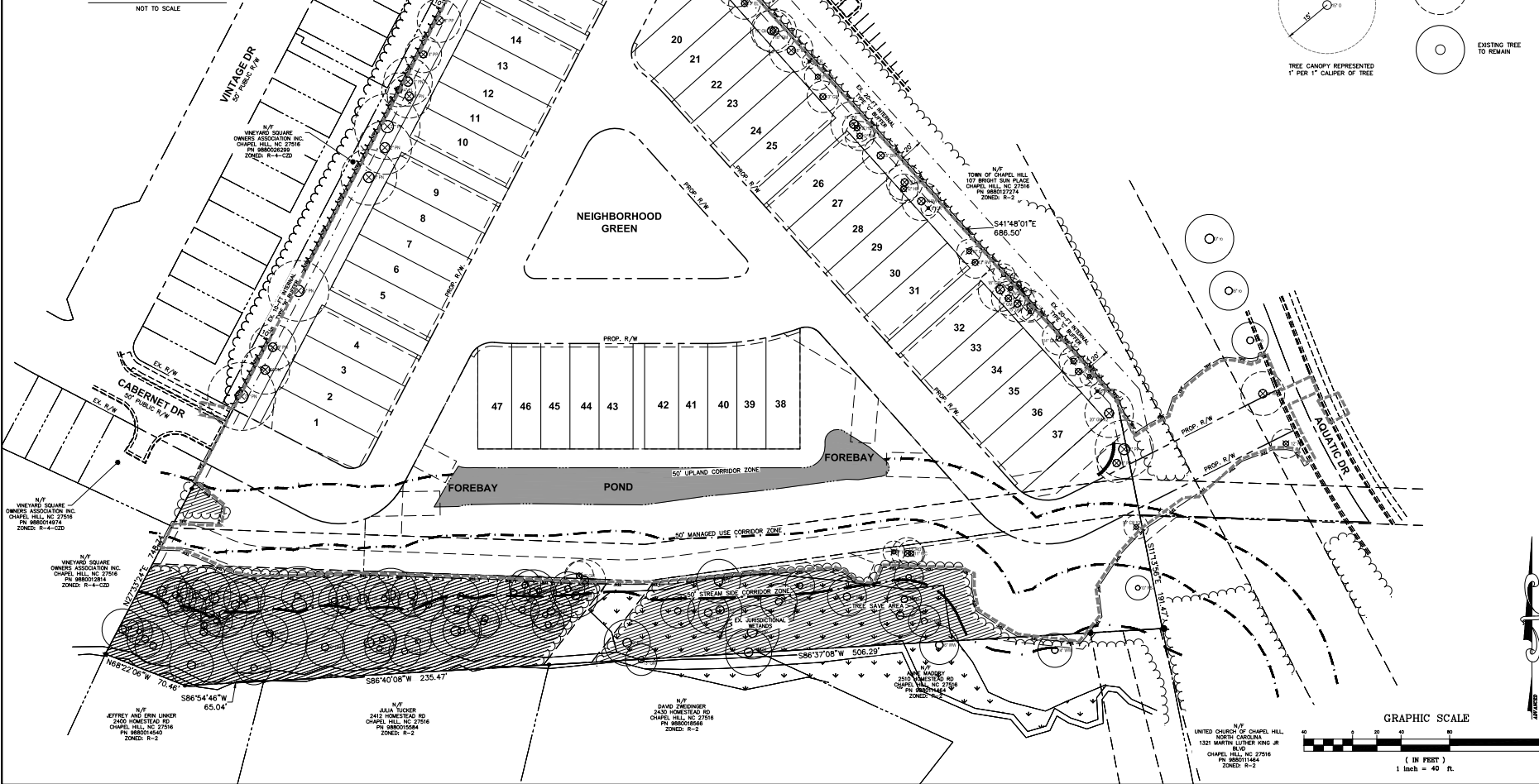
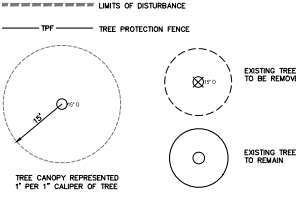
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, ADAM NICHOLSON (919.969.5006), PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE FOLLOWING ACTIVITIES ARE TAKING PLACE: CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY, TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- CONTACT ADAM NICHOLSON FOR TREE PROTECTION SEMINAR PRIOR TO TREE PROTECTION FENCE INSTALLATION.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5006 OR ANICHO@SANDHILLCOUNTYGOV.GOV.
- RARE TREES WERE NOT OBSERVED WITHIN THE PLANNED LIMITS OF DISTURBANCE. RARE TREES ARE PINES 36-INCHES OR MORE, ANY OTHER SPECIES 24-INCHES OR MORE, OR NO NATIVE SPECIES 12-INCHES OR MORE.

EXISTING VEGETATION NOTE

1) SIGNIFICANT TREES AND POCKETS OF SHRUBS ARE PREVALENT THROUGHOUT THE SITE. THE SOUTHERN PORTION OF THE SITE IS HEAVILY WOODED. SIGNIFICANT TREE STANDS HAVE BEEN LOCATED AND SHOWN ON THIS SHEET. THE VAST MAJORITY OF SPECIES FOUND ARE OAK, SWEET GUM, POPLAR, AND PINE.

TREE LEGEND

APPLE	AP	MADONNA	MD
ASH	AS	MAPLE	MP
BEECH	BE	MEADOW	ME
BIRCH	BI	MULBERRY	MB
BUR ALNUT	BA	NORFOLK	NO
BACDROF PEAR	BP	PECAN	PC
CATALPA	CA	PROSPER	PS
CEDAR	CE	PRUNE	PR
COTTONWOOD	CO	REDBUD	RB
CORONA	CO	REDFLOW	RF
CRABAPPLE	CA	REDBUD	RB
CREW PINE	CP	REDBUD	RB
CYPRUSS	CY	REDBUD	RB
DOGWOOD	DO	REDBUD	RB
ELM	EL	SWEETBAY	SB
HICKORY	HI	SWEETBAY	SB
HOLLY	HO	WALNUT	WN
HORNWOOD	HW	WAXY OAK	WO
LOCUST	LC	WILD CHERRY	WC
		YELLOW	YL



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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
LANDSCAPE PROTECTION & TREE SURVEY PLAN



Issue Dates:

2021-12-01	CONDITIONAL ZONING SUBMITTAL #1
2022-04-01	DATE ENVIRONMENTAL DOCUMENT #1
2022-05-04	CONDITIONAL ZONING SUBMITTAL #2

Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CMR
 Project Number: 21-0002-978
 Sheet Number: 10/16

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TREE CANOPY COVERAGE CALCULATIONS

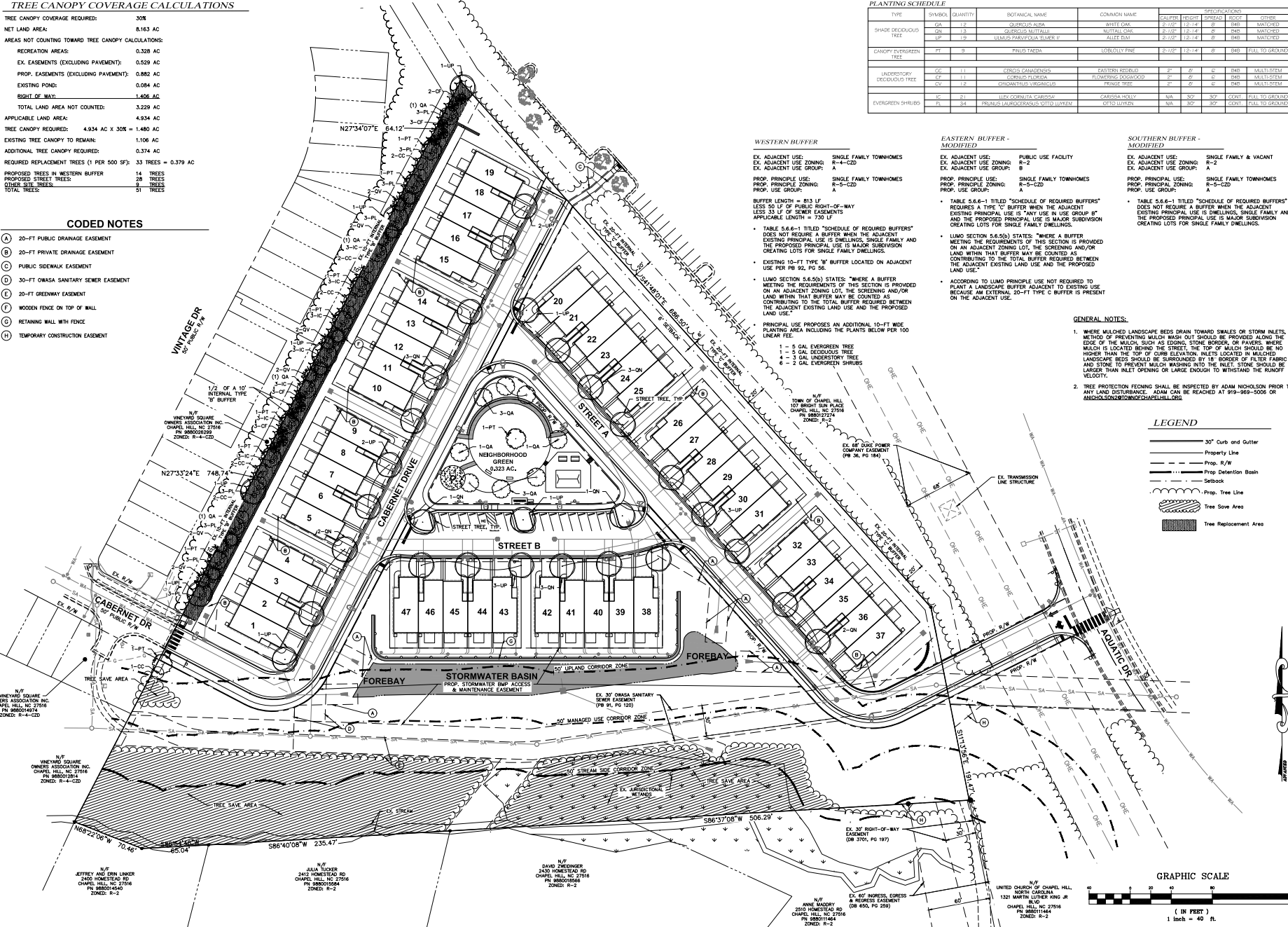
TREE CANOPY COVERAGE REQUIRED:	30%
NET LAND AREA:	8,163 AC
AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:	
RECREATION AREAS:	0.328 AC
EX. EASEMENTS (EXCLUDING PAVEMENT):	0.529 AC
PROP. EASEMENTS (EXCLUDING PAVEMENT):	0.882 AC
EXISTING POND:	0.084 AC
RIGHT-OF-WAY:	1,406 AC
TOTAL LAND AREA NOT COUNTED:	3,229 AC
APPLICABLE LAND AREA:	4,934 AC
TREE CANOPY REQUIRED: 4.934 AC X 30% = 1.480 AC	
EXISTING TREE CANOPY TO REMAIN:	1,106 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.374 AC
REQUIRED REPLACEMENT TREES (1 PER 500 SF): 33 TREES = 0.379 AC	
PROPOSED TREES IN WESTERN BUFFER:	14 TREES
PROPOSED STREET TREES:	28 TREES
OTHER SITE TREES:	9 TREES
TOTAL TREES:	51 TREES

CODED NOTES

- (A) 20-FT PUBLIC DRAINAGE EASEMENT
- (B) 20-FT PRIVATE DRAINAGE EASEMENT
- (C) PUBLIC SIDEWALK EASEMENT
- (D) 30-FT OWASA SANITARY SEWER EASEMENT
- (E) 20-FT GREENWAY EASEMENT
- (F) WOODEN FENCE ON TOP OF WALL
- (G) RETAINING WALL WITH FENCE
- (H) TEMPORARY CONSTRUCTION EASEMENT

PLANTING SCHEDULE

TYPE	SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	CALIPERS	HEIGHT	SPACING	NOTES	OTHER
SHADE DECIDUOUS TREE	QA	12	QUERCUS ALBA	WHITE OAK	2" DB	12-14'	8'	840	MATCHED
	QB	15	QUERCUS NUTTALLII	NUTTALL'S OAK	2" DB	12-14'	8'	840	MATCHED
	QP	15	ULMUS PARVIFLORA-FLABER IF	SLICE OAK	2" DB	12-14'	8'	840	MATCHED
CANOPY EVERGREEN TREE	PT	8	PRUNUS YABEDA	LOBLOLLY PINE	2" DB	12-14'	8'	840	PAI TO GROUND
	PC	1	CUNYLA CAMERONII	EASTERN REDWOOD	2"	8'	8'	840	MULTI-STEM
LINDSEY POND DECIDUOUS TREE	QF	12	QUERCUS LAEVOGLOBOSA	ROCKY MOUNTAIN DOGWOOD	2"	8'	8'	840	MULTI-STEM
	QV	12	CHAMAENOPHYLLIS VIRGINICUS	FRINGE TREE	2"	8'	8'	840	MULTI-STEM
EVERGREEN SHRUBS	IC	21	ILEX CORNUTA VAR. OPACIFOLIA	CARRONIA HOLEY	3/4"	3'-3'	3'-3'	1000	PAI TO GROUND
	IL	34	PRUNUS LAUROCESTRIS VITIFOLIA	SPOTTED LAVENDER	3/4"	3'-3'	3'-3'	1000	PAI TO GROUND



WESTERN BUFFER

EX. ADJACENT USE: SINGLE FAMILY TOWNHOMES
 EX. ADJACENT USE ZONING: R-4-CDD
 EX. ADJACENT USE GROUP: A
 PROP. PRINCIPLE USE: SINGLE FAMILY TOWNHOMES
 PROP. PRINCIPLE ZONING: R-5-CDD
 PROP. USE GROUP: A

BUFFER LENGTH = 813 FT
 LESS 50 LF OF PUBLIC RIGHT-OF-WAY
 LESS 33 LF OF SEWER EASEMENTS
 APPLICABLE LENGTH = 730 FT

TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

EXISTING 10-FT TYPE "B" BUFFER LOCATED ON ADJACENT USE PER PB 90, PG 58.

LUMO SECTION 5.6.5(5) STATES: "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

PRINCIPAL USE PROPOSES AN ADDITIONAL 10-FT WIDE PLANTING AREA INCLUDING THE PLANTS BELOW PER 100 LINEAR FEET:

- 1 - 5 GAL EVERGREEN TREE
- 1 - 5 GAL DECIDUOUS TREE
- 1 - 5 GAL INDUSTRY TREE
- 6 - 2 GAL EVERGREEN SHRUBS

EASTERN BUFFER - MODIFIED

EX. ADJACENT USE: PUBLIC USE FACILITY
 EX. ADJACENT USE ZONING: R-2
 EX. ADJACENT USE GROUP: B
 PROP. PRINCIPLE USE: SINGLE FAMILY TOWNHOMES
 PROP. PRINCIPLE ZONING: R-5-CDD
 PROP. USE GROUP: A

TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" REQUIRES A TYPE "C" BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS "ANY USE IN USE GROUP "B" AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

LUMO SECTION 5.6.5(5) STATES: "WHERE A BUFFER MEETING THE REQUIREMENTS OF THIS SECTION IS PROVIDED ON AN ADJACENT ZONING LOT, THE SCREENING AND/OR LAND WITHIN THAT BUFFER MAY BE COUNTED AS CONTRIBUTING TO THE TOTAL BUFFER REQUIRED BETWEEN THE ADJACENT EXISTING LAND USE AND THE PROPOSED LAND USE."

ACCORDING TO LUMO PRINCIPLE USE NOT REQUIRED TO PLANT A LANDSCAPE BUFFER ADJACENT TO EXISTING USE BECAUSE AN EXTERNAL 20-FT TYPE "C" BUFFER IS PRESENT ON THE ADJACENT USE.

SOUTHERN BUFFER - MODIFIED

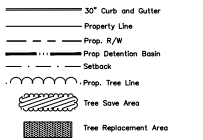
EX. ADJACENT USE: SINGLE FAMILY & VACANT
 EX. ADJACENT USE ZONING: R-2
 EX. ADJACENT USE GROUP: A
 PROP. PRINCIPLE USE: SINGLE FAMILY TOWNHOMES
 PROP. PRINCIPLE ZONING: R-5-CDD
 PROP. USE GROUP: A

TABLE 5.6.4-1 TITLED "SCHEDULE OF REQUIRED BUFFERS" DOES NOT REQUIRE A BUFFER WHEN THE ADJACENT EXISTING PRINCIPAL USE IS DWELLINGS, SINGLE FAMILY AND THE PROPOSED PRINCIPAL USE IS MAJOR SUBDIVISION CREATING LOTS FOR SINGLE FAMILY DWELLINGS.

GENERAL NOTES

- WHERE MULCHED LANDSCAPE BEDS DRAIN TOWARD SWALES OR STORM INLETS, A METHOD OF PREVENTING MULCH WASH OUT SHOULD BE PROVIDED ALONG THE EDGE OF THE MULCH, SUCH AS EROSION STONE BORDERS OR PARADES. WHERE MULCH IS LOCATED BEHIND THE STREET, THE TOP OF MULCH SHOULD BE NO HIGHER THAN THE TOP OF CURB ELEVATION. INLETS LOCATED IN MULCHED LANDSCAPE BEDS SHOULD BE SURROUNDED BY 18" BORDER OF FILTER FABRIC AND STONE TO PREVENT MULCH WASHING INTO THE INLET. STONE SHOULD BE LARGER THAN INLET OPENING OR LARGE ENOUGH TO WITHSTAND THE RUNOFF VELOCITY.
- TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-969-5008 OR ANICHOSON@TRCINC.COM@CHAPELHILL, NC

LEGEND



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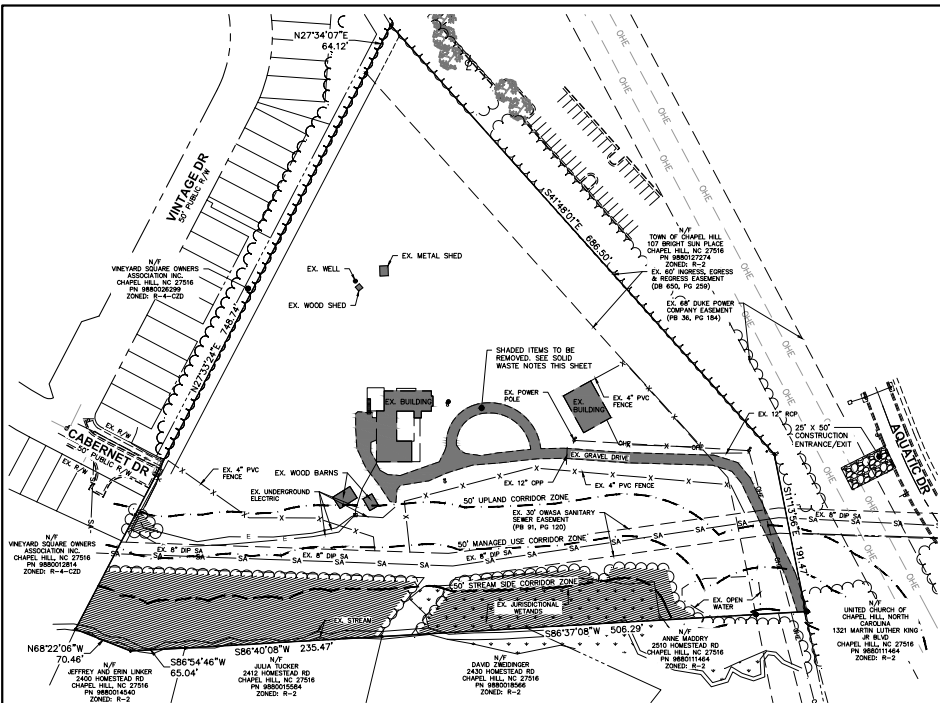
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
 CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
 PLANTING PLAN

PRELIMINARY
 05/04/2022

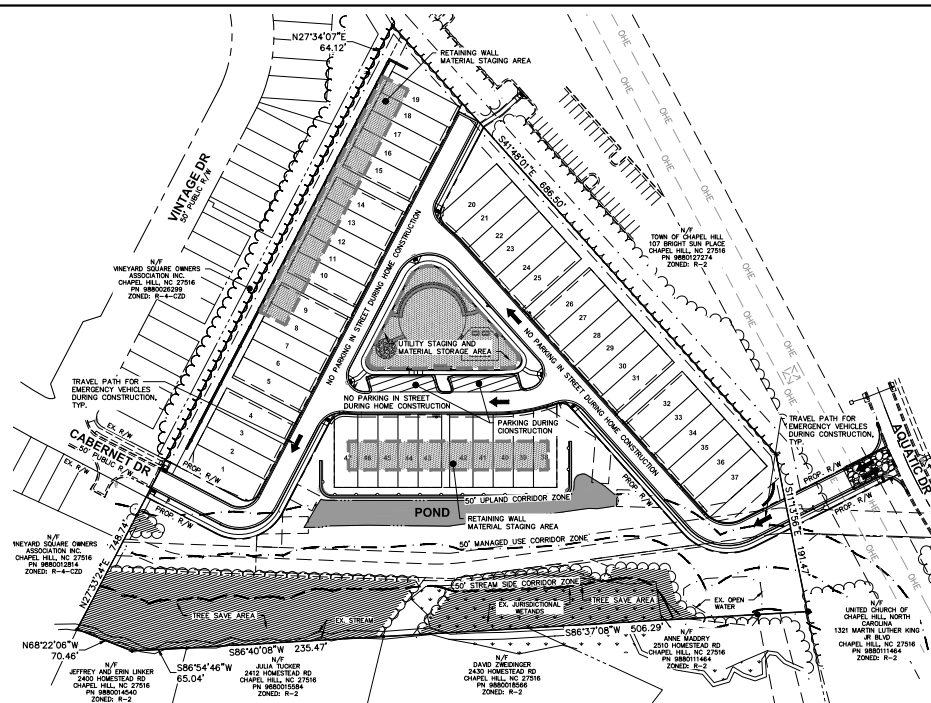
Issue Date:
 2022-02-20 CONDITIONAL ZONING SUBMITTAL #1
 2022-04-01 DATE ENACTED ENCUMBRANCE #1
 2022-05-04 CONDITIONAL ZONING SUBMITTAL #2

Date: 05/04/2022
 Scale: 1" = 40'
 Drawn By: JRR
 Checked By: CMR
 Project Number: 21-0002-978
 Sheet Number: 11/16

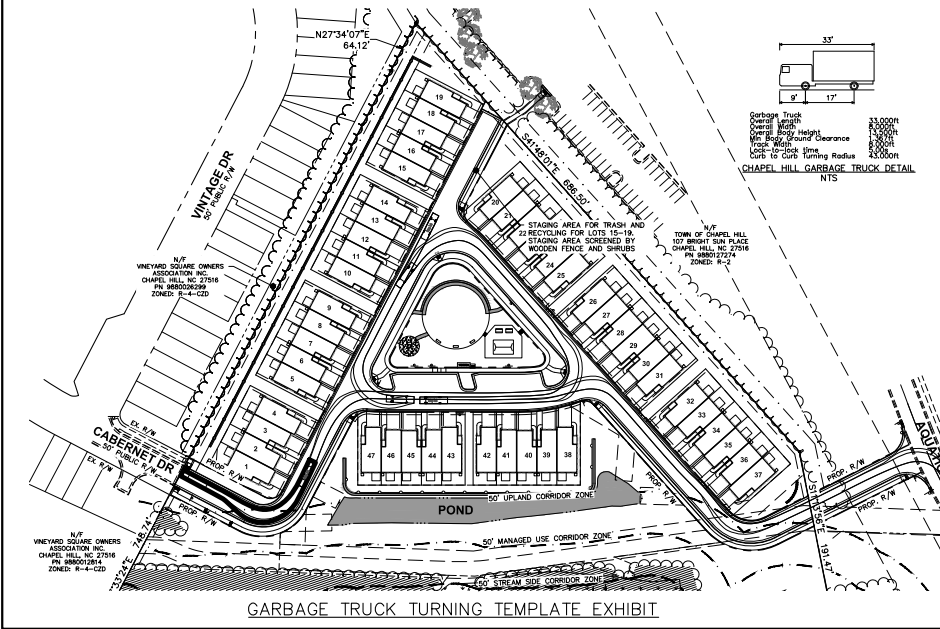
03-11-002-1789C-03(Pre)Construction Drawings/Development Plans/Conditional Zoning Plans/002-0178 Construction Management Plan May 04, 2022 - 2:32:37pm csh



DEMOLITION



CONSTRUCTION

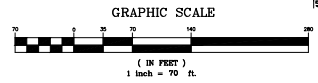
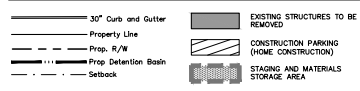


GARBAGE TRUCK TURNING TEMPLATE EXHIBIT

- SOLID WASTE NOTES:**
- ALL EXISTING STRUCTURES 500 SF AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
 - BY ORANGE COUNTY ORDINANCE CLEAN WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
 - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF (919-286-2789). THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
 - THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
 - IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
 - MIXED RECYCLING AND CARDBOARD WILL BE IN ROLL CARTS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY ORANGE COUNTY SOLID WASTE.
 - TRASH WILL BE IN ROLL CARTS PLACED AT THE CURB IN FRONT OF EACH RESIDENCE TO BE COLLECTED BY TOWN OF CHAPEL HILL SOLID WASTE MANAGEMENT, A DIVISION OF PUBLIC WORKS.
 - ALL CONSTRUCTION WASTE MATERIALS SHALL BE RECYCLED WHENEVER POSSIBLE. CONTRACTORS SHALL RETAIN POKER CHIPS TO RECORD/AUDITATE RECYCLING AS MAY BE REQUIRED FOR ENVIRONMENTAL CREDITS.
 - THE OWNER, OR THEIR DESIGNEE, SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH DURING CONSTRUCTION AND DEMOLITION. HAZARDOUS MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING.
 - ALL CONSTRUCTION AND DEMOLITION SHALL BE CONDUCTED IN COMPLIANCE WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FFC.
 - PRIOR TO A DEMOLITION PERMIT BEING ISSUED FOR ANY EXISTING STRUCTURE 500 SQUARE FEET OR GREATER IN SIZE, A RECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY ORANGE COUNTY SOLID WASTE STAFF. CONTACT WATT TAYLOR AT 919-286-2789 OR MIDDLEBORO@ORANGECOUNTY.GOV TO REQUEST AND SCHEDULE THE ASSESSMENT.

- CONSTRUCTION MANAGEMENT NOTES**
- ALL LARGE TRUCKS AS RELATED TO VEHICULAR CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE THE SITE THROUGH THE TEMPORARY CONSTRUCTION ENTRANCES AND EXITS AS SHOWN ON THIS PLAN.
 - ENTRANCES AND EXIT GATES SHALL BE CLOSED UNLESS ACTIVELY BEING USED FOR ENTERING AND EXISTING VEHICLES.
 - ON-SITE CONSTRUCTION MANAGER PARKING FOR SMALL CONSTRUCTION VEHICLES AND MATERIAL STAGING CAN OCCUR ON-SITE DURING EARLY STAGES OF CONSTRUCTION. ADDITIONAL CONTRACTOR PARKING AREA TO BE PROVIDED IN THE FUTURE OVERFLOW PARKING LOT.
 - CONSTRUCTION WILL BE LIMITED TO BETWEEN 7:00 AM AND 6:00 PM MONDAY THROUGH FRIDAY.
 - THE CONTRACTOR SHALL PROVIDE WORK ZONE TRAFFIC CONTROL DEVICES - REFER TO THE ZONING COMPLIANCE PERMIT TRAFFIC AND PEDESTRIAN CONTROL PLAN FOR SPECIFIC NOTES AND DETAILS.
 - NO OPEN BURNING SHALL BE PERMITTED.
 - THE APPLICANT SHALL POST A CONSTRUCTION SIGN ON THE DEVELOPMENT SITE THAT LISTS THE FOLLOWING:
 - PROPERTY OWNER'S REPRESENTATIVE AND TELEPHONE NUMBER
 - CONTRACTOR'S REPRESENTATIVE AND TELEPHONE NUMBER
 - TELEPHONE NUMBER FOR REGULATORY INFO AT THE OFFICE OF BUILDING PERMIT
 - SIGN MAY BE A MAXIMUM OF 32 SF AND A MAXIMUM HEIGHT OF 8 FT.
 - DURING CONSTRUCTION, VEHICLE ACCESS FOR FIREPROTECTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
 - ROADS WITH CURB AND GUTTER AND THE FIRST LIFT OF ASPHALT WILL NEED TO BE CONSTRUCTED BEFORE COMBUSTIBLES ARE ON SITE IN ORDER TO MEET REQUIREMENTS FOR FIRE CODE, STORMWATER, AND OTHER HYDRANTS SHALL BE ACTIVE IN THE AREAS FOR CONSTRUCTION BEFORE COMBUSTIBLES ARE ON SITE.
 - A PERMIT SHALL BE REQUIRED FOR A CONSTRUCTION TRAILER.

LEGEND



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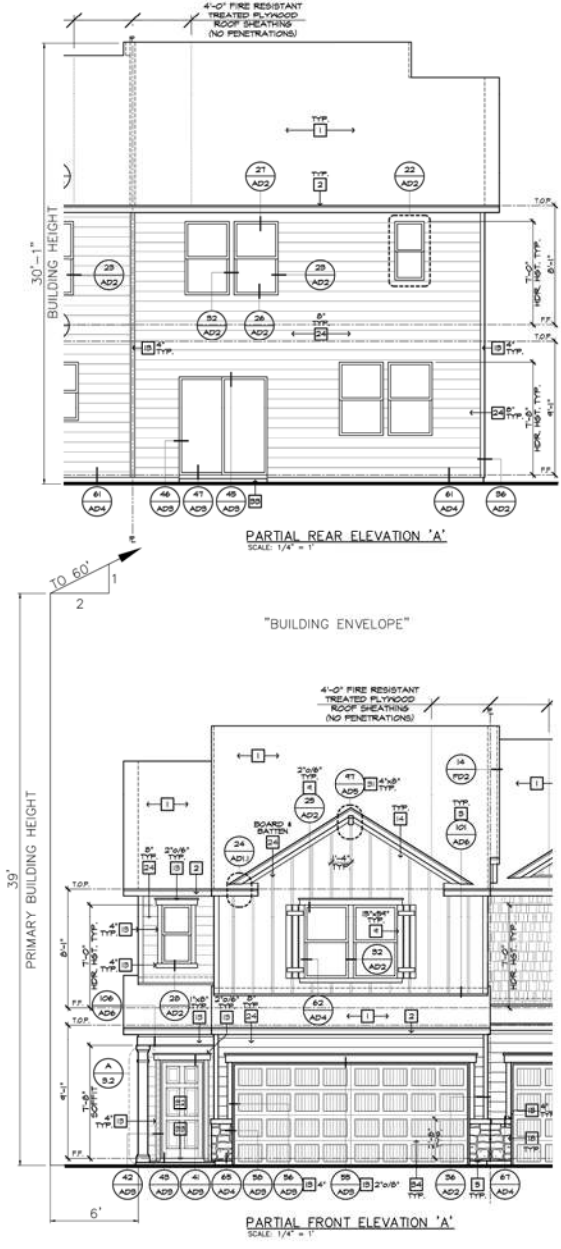
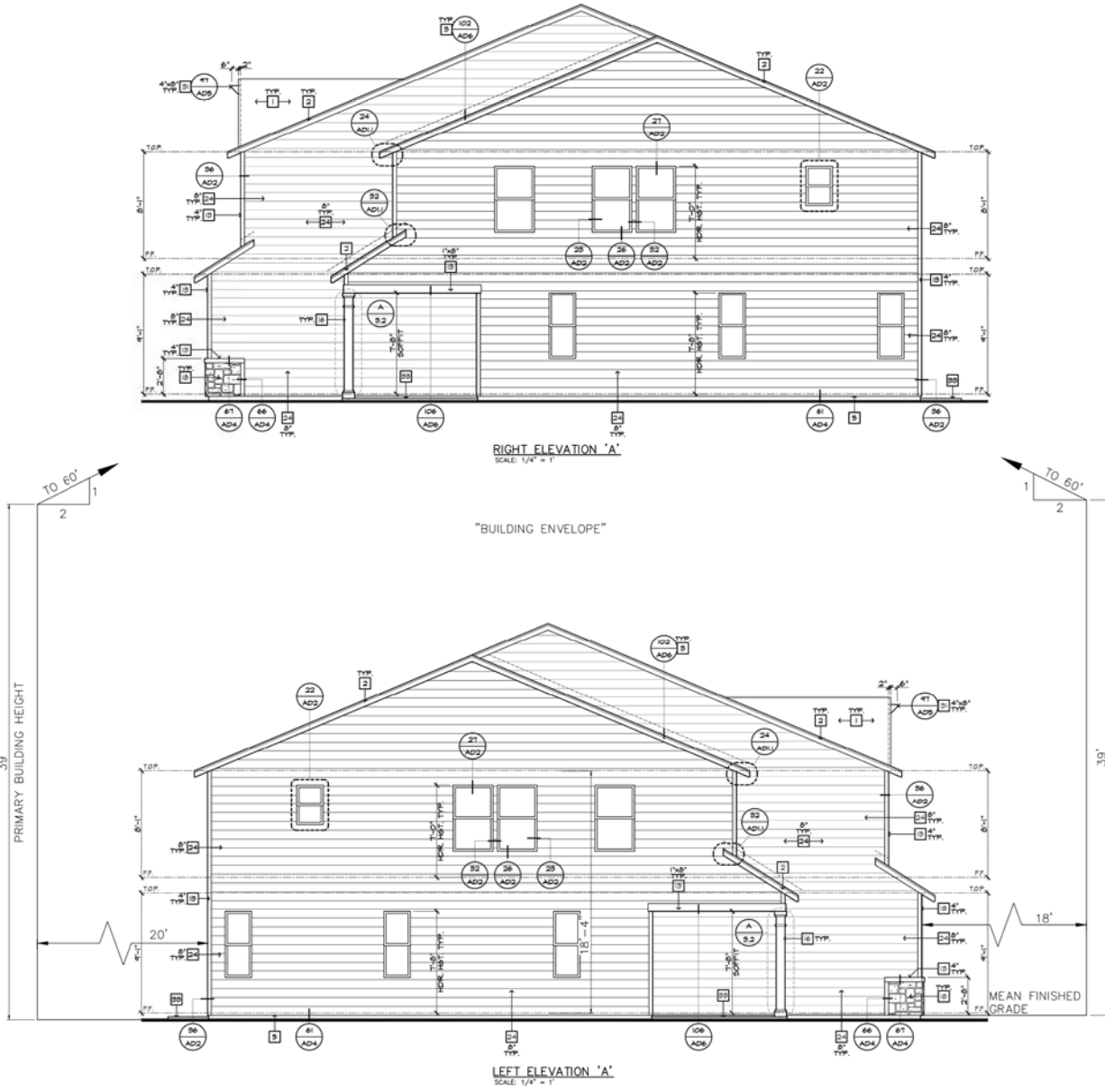
PROJECT: STANAT'S PLACE
 CONDITIONAL ZONING PLANS
 KB HOME CAROLINAS
 CONSTRUCTION MANAGEMENT PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

DATE: 05/04/2022
 SCALE: 1" = 70'
 DRAWN BY: JRR
 CHECKED BY: CMR
 PROJECT NUMBER: 21-0002-978
 SHEET NUMBER: 12/16

05/04/2022
 PRELIMINARY

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PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**
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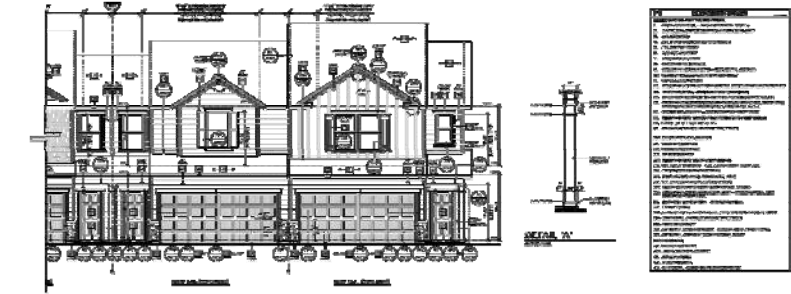
PROJECT: **STANAT'S PLACE**
 HOMESTEAD ROAD, CHEFEL HILL, NC - ORANGE COUNTY
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
BUILDING ELEVATION EXHIBIT

NORTH CAROLINA
PRELIMINARY
 05/04/2022

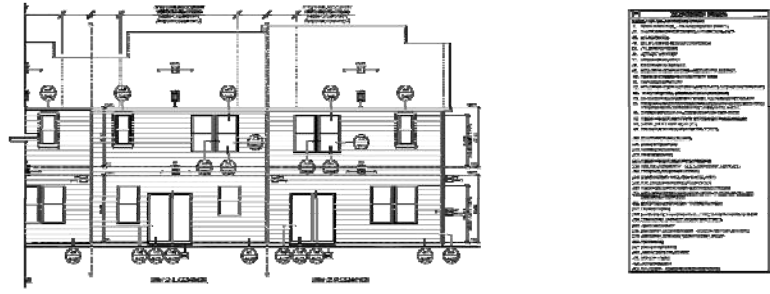
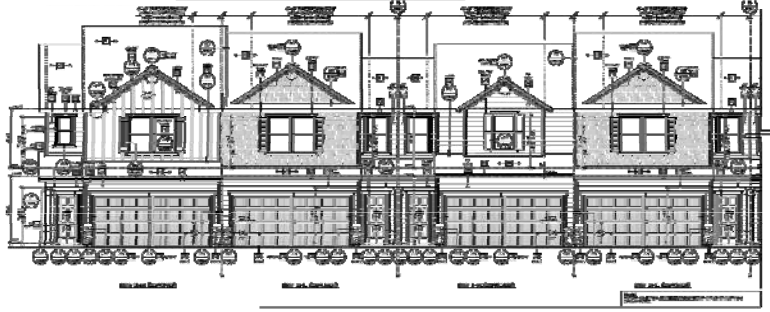
Date: 05/04/2022
 Scale: 1/4" = 1'
 Drawn By: JRR
 Checked By: CMR

Project Number: **21-0002-978**
 Sheet Number: **13 / 16**

G:\31--002--098\CD\31\Production\Drawings\DEVELOPMENT PLANS\CONDITIONAL ZONING PLANS\002--978 GROUP UNIT ELEVATION EXHIBIT May 04, 2022 - 2:33:06pm .dwg



PARTIAL FRONT ELEVATION 'A'
SCALE: 1/8" = 1'



PARTIAL REAR ELEVATION 'A'
SCALE: 1/8" = 1'

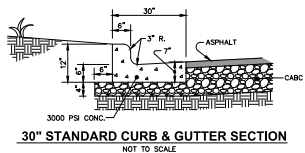
PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
INC. OF N. C.
31 KENNEDY DRIVE, SUITE 102
DURHAM, NC 27703
PHONE: 919.286.8200
FAX: 919.286.8277

PLAN PREPARED FOR:
KB HOME CAROLINAS
4508 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.686.7960

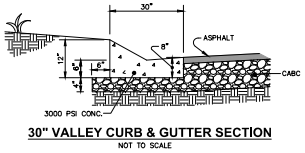
HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
STANAT'S PLACE
CONDITIONAL ZONING PLANS
KB HOME CAROLINAS
GROUP UNIT ELEVATION EXHIBIT



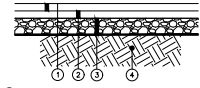
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2021-12-01 CONDITIONAL ZONING SUBMITTAL #1	
2022-04-01 CONDITIONAL ZONING SUBMITTAL #2	
2022-04-01 CASE ENERGY IMPROVEMENT & EFFICIENCY #1	
2022-05-04 CONDITIONAL ZONING SUBMITTAL #3	
Date:	05/04/2022
Scale:	1/8" = 1'
Drawn By:	JRR
Checked By:	CMR
Project Number:	21-0002-978
Sheet Number:	14 / 16



30" STANDARD CURB & GUTTER SECTION
NOT TO SCALE

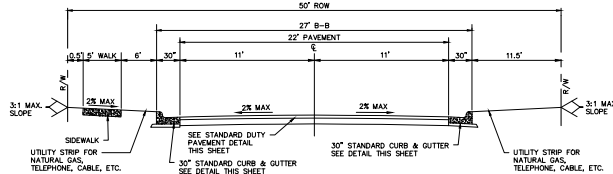


30" VALLEY CURB & GUTTER SECTION
NOT TO SCALE

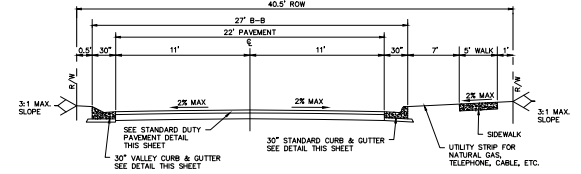


- ① SURFACE COURSE, 1" ASPHALT PAVEMENT
- ② BASE COURSE, 2" ASPHALT PAVEMENT
- ③ 8" COMPACTED AGGREGATE BASE COURSE
- ④ SUBGRADE COMPACTION

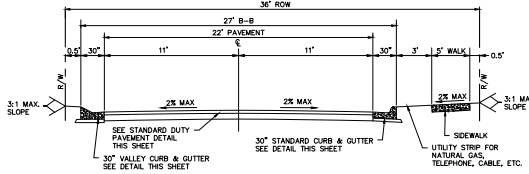
STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



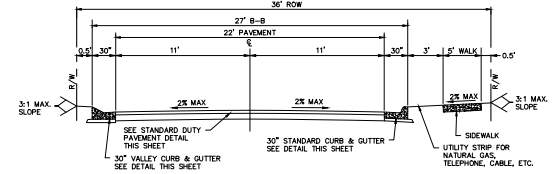
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NOT TO SCALE



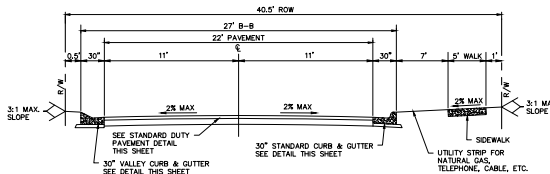
STREET A - 27' B/B SECTION (40.5' R/W)
NOT TO SCALE



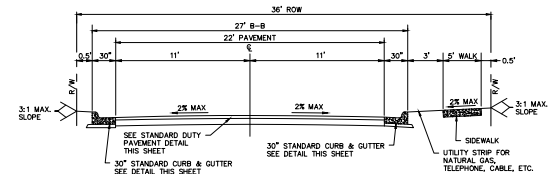
CABERNET DRIVE - 27' B/B SECTION (36' R/W)
NOT TO SCALE



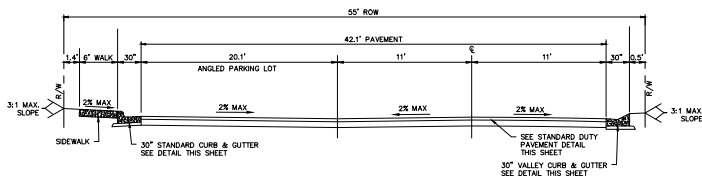
STREET A - 27' B/B SECTION (36' R/W)
NOT TO SCALE



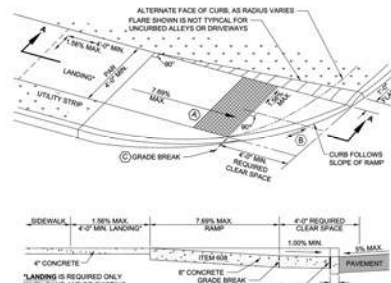
CABERNET DRIVE - 27' B/B SECTION (40.5' R/W)
NOT TO SCALE



STREET A - 27' B/B SECTION (36' R/W)
NOT TO SCALE

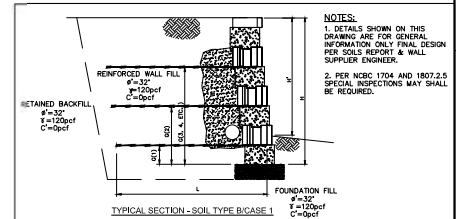


STREET B - 45.5' B/B SECTION (53' R/W)
NOT TO SCALE



- CODED NOTES:
- (A) DETECTABLE WARNING DOMES SHOULD BE 100% MINIMUM SLOPE
 - (B) PROVIDE POSITIVE DRAINAGE ALONG CURBLINE. WHERE THE DISTANCE FROM EITHER END OF THE BOTTOM OF THE GRADE BREAK TO THE BACK OF CURB IS GREATER THAN 1 FT, THE DETECTABLE WARNING SHALL BE PLACED AT THE BACK OF CURB

CURB RAMP DETAIL
NOT TO SCALE



- NOTES:
- DETAILS SHOWN ON THIS DRAWING ARE FOR GENERAL INFORMATION ONLY. FINAL DESIGN PER SOils REPORT & WALL SUPPLIER ENGINEER.
 - PER NCIC 1704 AND 1807.2.5 SPECIAL INSPECTIONS MAY BE REQUIRED.

TOTAL HEIGHT	SOIL TYPE	SOIL TYPE B/CASE 1												
		1	2	3	4	5	6	7	8	9	10	11		
2'-0"	1	0	N/A	N/A	-	-	-	-	-	-	-	-	-	-
2'-0"	2	0	N/A	N/A	-	-	-	-	-	-	-	-	-	-
4'-0"	3	1	4'-0"	A	2'-4"	-	-	-	-	-	-	-	-	-
7'-0"	4	3	4'-0"	A	2'-0"	4'-0"	6'-0"	-	-	-	-	-	-	-
10'-0"	5	4	4'-0"	A	1'-4"	2'-4"	1'-4"	8'-4"	-	-	-	-	-	-
13'-0"	6	5	4'-0"	A	0'-4"	2'-0"	2'-4"	5'-4"	7'-4"	8'-4"	-	-	-	-
16'-0"	7	6	4'-0"	B	0'-4"	2'-0"	1'-4"	8'-4"	10'-4"	10'-4"	-	-	-	-
19'-0"	8	7	4'-0"	B	0'-4"	2'-0"	2'-4"	7'-0"	8'-0"	11'-0"	10'-4"	-	-	-
22'-0"	9	8	4'-0"	C	0'-4"	2'-4"	1'-4"	8'-4"	10'-4"	12'-4"	10'-4"	10'-4"	-	-
25'-0"	10	9	4'-0"	C	0'-4"	2'-4"	1'-4"	8'-4"	10'-4"	12'-4"	11'-4"	11'-4"	-	-

MODULAR RETAINING WALL
SCALE: NONE

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**STANAT'S PLACE
RESIDENTIAL DEVELOPMENT**

DRAFT TRANSPORTATION IMPACT ANALYSIS

EXECUTIVE SUMMARY



Prepared for:

The Town of Chapel Hill
Public Works Department - Engineering

Prepared by:

HNTB North Carolina, PC

*343 East Six Forks Road
Suite 200
Raleigh, NC 27609*

NCBELS License #: C-1554

March 2022



**STANAT'S PLACE
RESIDENTIAL DEVELOPMENT**

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NCBELS License #: C-1554

March 2022



EXECUTIVE SUMMARY - DRAFT

Project Overview

A new residential community, known as Stanat's Place, is being proposed in Chapel Hill near Homestead Road and Aquatic Drive. **Figure ES-1** shows the general location of the site. The project proposes to construct 47 individual residential townhome/condominium units and is anticipated to be fully complete and occupied by 2025. This report analyzes the full build-out scenario for Stanat's Place for the year 2026 (one year after anticipated completion), the no-build scenario for 2026, as well as 2022 existing year traffic conditions. The impacts of the proposed site at the study area intersections are evaluated during the AM, noon, and PM peak hours of an average weekday.

The current proposed site plan shows a provision for a full movement access driveway serving the site that connects to Aquatic Drive and a provision for a full movement access street connection to tie into existing Cabernet Drive in the Vineyard Square subdivision that would provide external connectivity to Weaver Dairy Road Extension via Napa Valley Way. No other external roadway vehicular access connections are proposed. **Figure ES-2** displays the overall site plan and nearby land uses and roadways. The Stanat's Place site is expected to provide individual vehicle parking spaces located as part of each condominium lot – with potential on-street parking allowed in areas where curb space permits. Several internal street parking spaces near the central neighborhood green are also proposed. This report analyzes and presents the transportation impacts that Stanat's Place will have on the following intersections in the project study area:

- Homestead Road and Weaver Dairy Road Extension
- Homestead Road and Aquatic Drive / Chapel View Apartments Driveway
- Homestead Road and NC 86 (Martin Luther King, Jr. Boulevard)
- Weaver Dairy Road Extension and Sonoma Way / Napa Valley Way
- Aquatic Drive and Proposed Site Driveway

Existing Conditions

Study Area

The site is located in north Chapel Hill north of Homestead Road. The study area contains two signalized intersections along Homestead Road at NC 86 (Martin Luther King, Jr. Boulevard) and Weaver Dairy Road Extension. Two scenarios are analyzed in this study – one assessing two access points from the site (Aquatic Drive and Cabernet Drive) and one assessing a single access at Aquatic Drive only. NC 86 (Martin Luther King, Jr. Boulevard) is a major north-south arterial providing connectivity between downtown Chapel Hill, north and south Chapel Hill, the I-40 corridor and Hillsborough. Homestead Road is a minor east-west arterial providing connectivity through northern Chapel Hill. Remaining study area network roadways are either suburban collector streets or local neighborhood/commercial access streets.

Site Traffic Generation

With the addition of new trips during the weekday AM, noon, and PM peak hours, there are potential site traffic impacts to study area intersections. **Table ES-1** shows the site trip generation details, with rates taken from the Institute of Transportation Engineers (ITE) *Trip Generation Manual, Version 10*.

Background Traffic

Background traffic growth for the 2026 analysis years is expected to come from two sources - ambient regional traffic growth and specific development-related traffic growth. Four Town-approved sites near the project study area were considered for specific development related growth. All remaining estimated



traffic volume increases are assumed to occur due to overall region-wide ambient growth (assumed 1.5 percent per year) based on NCDOT/Town historic growth data and taking into consideration the on-going rebound to pre-COVID traffic levels caused by the pandemic.

Table ES-1. Weekday Vehicle Trip Generation Summary

Description	Density	Daily			AM Peak			Noon Peak*			PM Peak		
		Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
Condominiums	47 Units	157	157	314	5	18	23	12	15	27	19	11	30

* - No Noon Peak ITE Data Available – Used Average of AM and PM Peak Data

Impact Analysis

Peak Hour Intersection Level of Service

Existing traffic operations at all study area intersections are acceptable during all three peak hours analyzed. The projected ambient and background development traffic growth will increase impacts by 2026. Even with the addition of peak hour site-generated trips to the projected 2026 background traffic volumes, no study area intersection is expected to experience deficient traffic operations in any peak hour and projected maximum queues at all locations are not expected to be excessive. No additional mitigation improvements to any intersection were considered necessary. A summary of the traffic operations for each intersection, related to vehicular delays (intersection average as a whole if signalized, critical movement if stop-controlled) and the corresponding traffic simulation Level-of-Service (LOS_s) is shown in **Table ES-2**.

Table ES-2. Peak Hour Intersection Capacity Analysis Summary

Intersections	Peak Hour	2022 Existing		2026 No-Build		2026 Build Two Access Points		2026 Build One Access Point		2026 Mitigated	
		LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay	LOS	Delay
Homestead Road & Weaver Dairy Road Extension	AM	B	15.6	A	9.0	A	9.1	A	9.0	N/A	N/A
	NOON	B	14.2	B	10.4	A	9.8	B	10.0	N/A	N/A
	PM	B	16.4	B	13.2	B	13.0	B	13.4	N/A	N/A
Homestead Road & Aquatic Drive / Chapel View Apts Driveway [#]	AM	A	7.7	A	8.2	A	8.9	A	9.6	N/A	N/A
	NOON	A	6.2	A	6.7	A	7.3	A	7.5	N/A	N/A
	PM	A	7.5	A	9.1	A	9.4	B	10.4	N/A	N/A
Homestead Road & NC 86 (Martin Luther King, Jr. Boulevard)	AM	B	17.0	B	14.2	B	14.4	B	14.3	N/A	N/A
	NOON	B	19.7	C	22.8	C	23.1	C	23.2	N/A	N/A
	PM	B	16.5	B	17.6	B	18.0	B	18.1	N/A	N/A
Weaver Dairy Road Extension & Sonoma Way / Napa Valley Way [#]	AM	A	8.3	A	8.8	A	9.1	A	8.6	N/A	N/A
	NOON	A	5.7	A	5.9	A	6.2	A	5.8	N/A	N/A
	PM	A	7.5	A	8.5	A	8.9	A	8.0	N/A	N/A
Aquatic Drive & Proposed Site Driveway [#]	AM	N/A	N/A	N/A	N/A	A	4.5	A	4.5	N/A	N/A
	NOON	N/A	N/A	N/A	N/A	A	4.6	A	4.5	N/A	N/A
	PM	N/A	N/A	N/A	N/A	A	4.6	A	4.5	N/A	N/A

N/A – Not Applicable or No Improvements Necessary

BOLD/ITALICS – Critical Movement or Overall Intersection Requires Mitigation Per Town TIA Guidelines

- Worst-Case LOS/Delay for Unsignalized/Stop-Controlled Critical Movement



Access Analysis

Vehicular site access to the project is to be accommodated at a proposed full movement local street access connecting to Aquatic Drive about 1,100 feet to the north of Aquatic Drive's intersection with the Homestead Road. The proposed driveway has single inbound and outbound lanes. A second local street access connection is also proposed to link with Cabernet Drive within the Vineyard Square subdivision. This connection would provide access between Stanat's Place and the Weaver Dairy Road Extension via Napa Valley Way. Driveway throat lengths, and intersection/driveway separation minimum criteria, as set forth in the 2003 *NCDOT Policy on Street and Driveway Access to North Carolina Highways* and the 2017 Town of Chapel Hill Design Manual are acceptable for current site plans for the project.

Access for pedestrians is adequate in the project study area and will be improved with the construction of the Town's Homestead Road Improvements project. Crosswalk exists across the NC 86, Aquatic Drive, and Weaver Dairy Extension intersections. No specific bicycle amenities are present along Homestead Road, but bicycle lanes are present on the Weaver Dairy Road Extension and along NC 86 north of Homestead Road. Additional bicycle lanes/off-road paved paths along Homestead Road will be provided upon the completion of the Town's improvement project.

Signal Warrant Analysis

Based on projected 2026 traffic volumes and proposed access plans, no unsignalized study area intersection with Homestead Road would warrant the installation of a traffic signal, based on the Peak Hour warrant methodology found in the *2009 Manual on Uniform Traffic Control Devices (MUTCD)*.

Crash Analysis

Data from the NCDOT Traffic Safety Unit was provided for the five-year period 2/1/2017 to 1/31/2022 for the segments of Homestead Road and Weaver Dairy Road Extension in the vicinity of the proposed site. There were 13 crashes reported along Homestead Road study area corridor between Weaver Dairy Road Extension and NC 86 over the five year period and 3 crashes along Weaver Dairy Road Extension north of Homestead Road to Sonoma Way. The primary crash type was rear end crashes and crashes were primarily clustered near the NC 86 intersection. Overall, the number and severity of crashes along Homestead Road and Weaver Dairy Road Extension in the project study area is lower than state-wide averages for similar facilities.

Other Transportation-Related Analyses

Other transportation-related analyses relevant to the 2001 Town of Chapel Hill Guidelines for the preparation of Traffic Impact Studies were completed as appropriate. The following topics listed in **Table ES-3** are germane to the scope of this study.

Table ES-3. Other Transportation-Related Analyses

Analysis	Comment
Turn Lane Storage Requirements	Storage bay lengths at study area intersections were analyzed using TransModeler maximum queue length estimates for the 2026 Build Scenario. At the intersection of Homestead Road and Weaver Dairy Road Extension, the southbound right-turn lane queue may exceed its existing storage regardless of site traffic impacts. Adjustments to signal timing may be necessary to mitigate this issue. No other intersection maximum queue results indicate potential queue spillback.
Appropriateness of Acceleration/Deceleration Lanes	With low posted neighborhood speed limits and relatively light traffic turning volumes, no additional acceleration/decelerations lanes are necessary in the vicinity of the project. Existing roadway facilities have appropriate auxiliary turn lanes to facilitate traffic flow.



Analysis	Comment
Pedestrian and Bicycle Analysis	Existing pedestrian access and connectivity is adequate along the Homestead Road corridor just south of the site, though some gaps exist on both sides of the road in certain areas. Bicycle lanes extend along NC 86 north of Homestead Road and along the Weaver Dairy Road Extension with bicycle sharrows present on Aquatic Drive, but no bicycle facilities exist along Homestead Road within the project study area. The Town's Homestead Road Improvements project will considerably improve pedestrian and bicycle facilities along Homestead Road to the west of the project study area.
Public Transportation Analysis	Public transportation service to the study area, and to the proposed site is adequate, with bus stops and multiple local and regional bus routes on both NC 86 and Homestead Road proximate to the site.

Mitigation Measures/Recommendations

Planned Improvements

There are no North Carolina Department of Transportation improvement projects for study area roadway facilities within the analysis year time frame of 2022-2026. The Town of Chapel Hill has a transportation improvement project currently slated for construction prior to the 2026 site build-out year. The Homestead Road Improvements project (U-4726 IK) will create a consistent three-lane roadway cross-section west of the Weaver Dairy Road Extension intersection, as well as construct pedestrian and bicycle facility improvements between Seawell School Road and Weaver Dairy Road Extension. Improvements related to this project are shown schematically on **Figure ES-3**.

The Town also has the North-South Bus Rapid Transit Project, which will provide dedicated lanes for transit along the NC 86 corridor, along with other transit amenity improvements scheduled for construction in 2028. As final design details are not complete as of the submittal of this TIA, no specific lane usage changes along NC 86 were analyzed as part of this study.

Background Committed Improvements

Several traffic impact studies for development projects in and near the study area recommended signal timing reoptimization for signalized intersections along the NC 86 corridor by their respective build-out years. It is assumed that signal timing reoptimization will occur for the NC 86 corridor and for the Homestead Road/Weaver Dairy Road intersection by the year 2026, whether or not specifically needed by any of the proposed background traffic generating developments included in this study.

Applicant Committed Improvements

Based on the preliminary site plans and supporting development information provided, there are several specific transportation-related improvements proposed for the Stanat's Place project. Internal and external improvements (shown schematically in **Figure ES-3**) include:

- Provision of a primary full movement access street connecting to Aquatic Drive with a proposed unsignalized crosswalk to access existing sidewalk on the eastern side of Aquatic Drive. Sidewalk on at least one side of this access street, along with all other proposed access streets within Stanat's Place will be provided.
- Provision of a multi-use path along the southern property frontage that ties into the proposed sidewalk described above and would allow future connection to undeveloped properties to the west near the Weaver Dairy Road Extension.
- Construction of a full access minor street connection to existing Cabernet Drive with an accompanying extension of existing sidewalk along Cabernet Drive to connect to internal sidewalk in the Stanat's Place development.

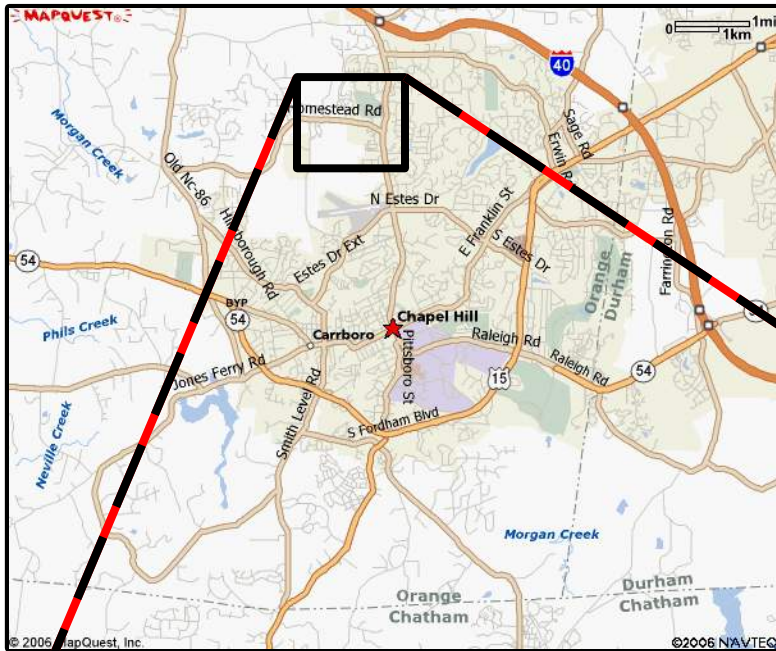


Necessary Improvements





Based on traffic capacity analyses for the 2026 design year with one access point or two access points for the Stanat's Place development and analyses of existing study area turning bay storage lengths and site access, the following improvement is recommended as being necessary for adequate transportation network operations and safety (see **Figure ES-3**).

- The proposed local access connection between the site and Cabernet Drive is not expected to cause excessive additional traffic demands through the existing Vineyard Square neighborhood, nor conversely to attract excessive traffic demand from the existing neighborhood through the Stanat's Place development. To help ensure that traffic traveling between the two neighborhoods maintains appropriate speeds using the connection, it is recommended that a traffic calming measure – such as a raised speed table – be constructed in the vicinity of the proposed connection along Cabernet Drive, along with appropriate upstream warning signage in both directions for the speed table. Coupled with the nearby curvature of the Cabernet Drive extension into Stanat's Place and the presence of on street parked vehicles in the Vineyard Square subdivision, these measures should mitigate any excessive vehicle speeds in the vicinity of this proposed connection.

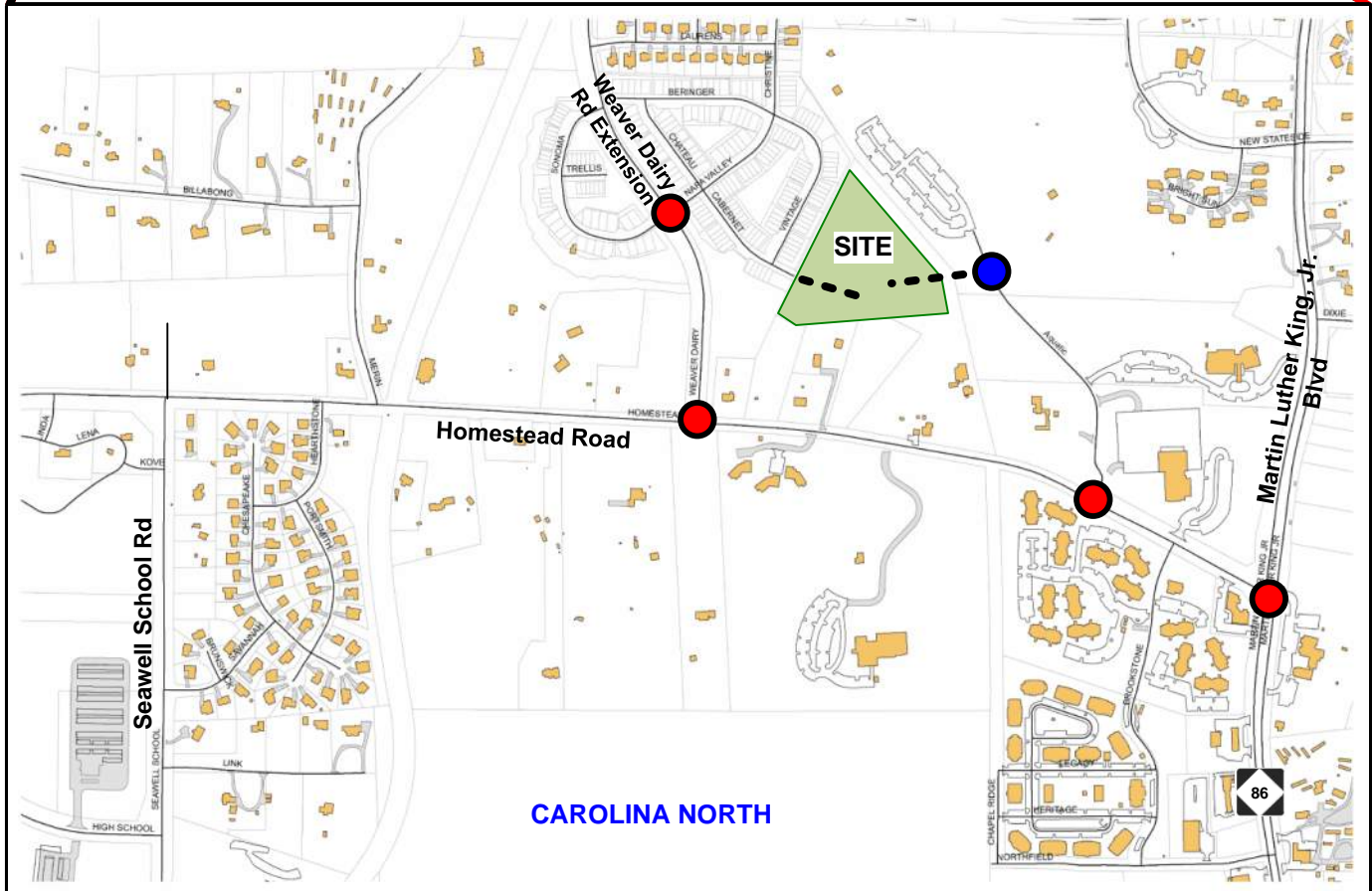




LEGEND

-  = Existing Building Footprint
-  = Existing Study Area Intersection
-  = Proposed Site Driveway
-  = Proposed 2200 Homestead Site

 **NOT TO SCALE**



Source: Town of Chapel Hill GIS Files

DRAFT



**Stanat's Place Residential
Transportation Impact Analysis**

PROJECT STUDY AREA

DATE: March 2022

FIGURE ES-1

LEGEND

← → = PROPOSED SITE ACCESS

EXISTING POND:	0.084 AC
RIGHT OF WAY:	1.294 AC
TOTAL LAND AREA NOT COUNTED:	3.429 AC
APPLICABLE LAND AREA:	4.734 AC
TREE CANOPY REQUIRED:	4.734 AC X 30% = 1.420 AC
EXISTING TREE CANOPY TO REMAIN:	1.130 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.291 AC
REQUIRED REPLACEMENT TREES (1 PER 500 SF):	25 TREES = 0.287 AC
PROPOSED STREET TREES:	26 TREES
OTHER SITE TREES:	4 TREES
TOTAL TREES:	30 TREES

CODED NOTES

- (A) CENTRAL GREEN AREA WITH TURF GRASS
- (B) HERITAGE TREE ON SMALL HILL
- (C) CHAPEL HILL STONE RETAINING/DEAT WALL
- (D) MULCHED AREA WITH SHRUBS
- (E) BENCHES
- (F) GATHERING SPACE #1 CHILDREN'S PLAY STRUCTURE WITH FRINGE TABLES
- (G) GATHERING SPACE #2 FIRE PIT WITH CHAPEL HILL GRIT SURFACE
- (H) 4' BRICK WALKWAY
- (I) FENCE

TOWN OF CHAPEL HILL FIRE DEPARTMENT NOTES:

- A NOTE SHALL BE REQUIRED ON THE FINAL PLAN THAT STATES "ALL LOCAL STREETS WITHIN THE BRIDGEPOINT SUBDIVISION SHALL NOT ALLOW ON-STREET PARKING IN ACCORDANCE WITH SECTION 0103 OF THE 2016 NORTH CAROLINA FIRE PREVENTION CODE."

- GENERAL NOTES:**
- A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND METAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
 - ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
 - ALL TRASH FOR TOWNHOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP AND SERVICE SHALL BE PROVIDED BY TOWN OF CHAPEL HILL.
 - EACH SINGLE FAMILY TOWNHOME LOT WILL HAVE A MAXIMUM ALLOWABLE IMPERVIOUS SURFACE AREA OF 1,500 SF. THIS AMOUNT IS SUBJECT TO CHANGE AND WILL BE FINALIZED WITH THE FINAL ZONING COMPLIANCE PLANS.
 - SEE SHEET 16 FOR STREET TYPICAL SECTION DETAILS.
 - ALL PROPOSED STREETS ARE PUBLIC.
 - TWELVE (12) BICYCLE PARKING SPACES REQUIRED. TWO (2) PROVIDED NEAR MAIL HOOK. TEN (10) GARAGES PROVIDED WITH SINGLE BICYCLE HOOKS.
 - A DEVELOPMENT IDENTIFICATION SIGN FOR THE NEIGHBORHOOD IS PROPOSED AT THE EASTERN ENTRANCE OF THE SITE AS IT INTERSECTS WITH AQUATIC DRIVE. THE IDENTIFICATION SIGN MAY BE INCLUDED AS PART OF THE ENTRY FEATURE.
 - TREE PROTECTION FENCING SHALL BE INSPECTED BY ADAM NICHOLSON PRIOR TO ANY LAND DISTURBANCE. ADAM CAN BE REACHED AT 919-369-5006 OR ANICHOLSON@TOWNOFCHAPELHILL.ORG.

CREATED AREA:	0.816 ACRES (10% OF NLA)
TOTAL GROSS LAND AREA (GLA):	391,119 SF (8,979 AC.) (USED FOR DENSITY CALCULATION)
EXISTING ZONING:	R-2
PROPOSED ZONING:	R-5-C20
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NO
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	SINGLE-FAMILY WITH CONDITIONAL ZONING
ALLOWABLE DENSITY R-5:	15 UNITS/AC
PROPOSED SINGLE FAMILY UNITS:	47
PROPOSED AFFORDABLE UNITS:	4 (LABELED "AHU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	47
PROPOSED MINIMUM LOT SIZE:	2,094 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA x RECREATION SPACE RATIO (391,119 SF) x (0.05) = 19,556 SF
RECREATION SPACE PROVIDED:	16,592 SF NEIGHBORHOOD GREEN 14,500 SF GOLFWAY FOREVAULT 31,112 SF TOTAL
MINIMUM PARKING REQUIRED:	1.5 SPACES PER UNIT = 71 SPACES
MAXIMUM PARKING REQUIRED:	2.25 SPACES PER UNIT = 105 SPACES
PROPOSED PARKING:	1.5 SPACES PER UNIT * 47 UNITS = 71 SPACES (ON DRIVEWAYS) 24 PARKING SPACES (INCLUDING 1 HANDICAP SPACE) 1 PARKING SPACE RESERVED FOR USPS (NOT COUNTED IN TOTAL) 95 SPACES
TOTAL PROPOSED PARKING:	95 SPACES
MINIMUM BICYCLE PARKING REQUIRED:	1 SPACE PER 4 UNITS = 12 SPACES
BICYCLE PARKING PROVIDED:	2 PROVIDED NEAR MAIL HOOK 10 PROVIDED IN GARAGES WITH SINGLE BICYCLE HOOK FOR EACH 12 SPACES
TOTAL BICYCLE PARKING PROVIDED:	12 SPACES
PROPOSED INTERIOR LOT SETBACKS:	FRONT - 0' SIDE - 0' REAR CORNER - 0' REAR - 0'
REQUIRED HEIGHTER SETBACKS:	INTERIOR - 6' STREET - 10' SOLAR - 8'
PROPOSED BUILDING SEPARATION:	12'
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	50'
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.46
TOTAL IMPERVIOUS SURFACE:	180,687 SF
MAXIMUM FLOOR AREA ALLOWED:	116,509 SF
FLOOR AREA PROPOSED:	90,000 SF
FLOOR AREA BONUS FOR AFFORDABLE HOUSING:	17,600 SF
MAXIMUM TOTAL FLOOR AREA ALLOWED (FLOOR AREA + FLOOR AREA BONUS):	136,109 SF
MAXIMUM LAND DISTURBANCE:	325,000 SF

PROPOSED FULL ACCESS TO EXISTING CABERNET DRIVE

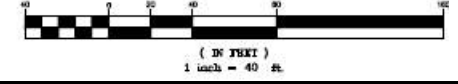
FULL ACCESS TO AQUATIC DRIVE

INTERNAL MULTI-USE PATH

LEGEND

- 30" Curb and Gutter
- Property Line
- Prop. R/W
- Prop. Detention Basin
- Setback
- Tree Save Area
- Tree Replacement Area

GRAPHIC SCALE



NOT TO SCALE

Stanat's Place Residential
Transportation Impact Analysis
PRELIMINARY SITE PLAN

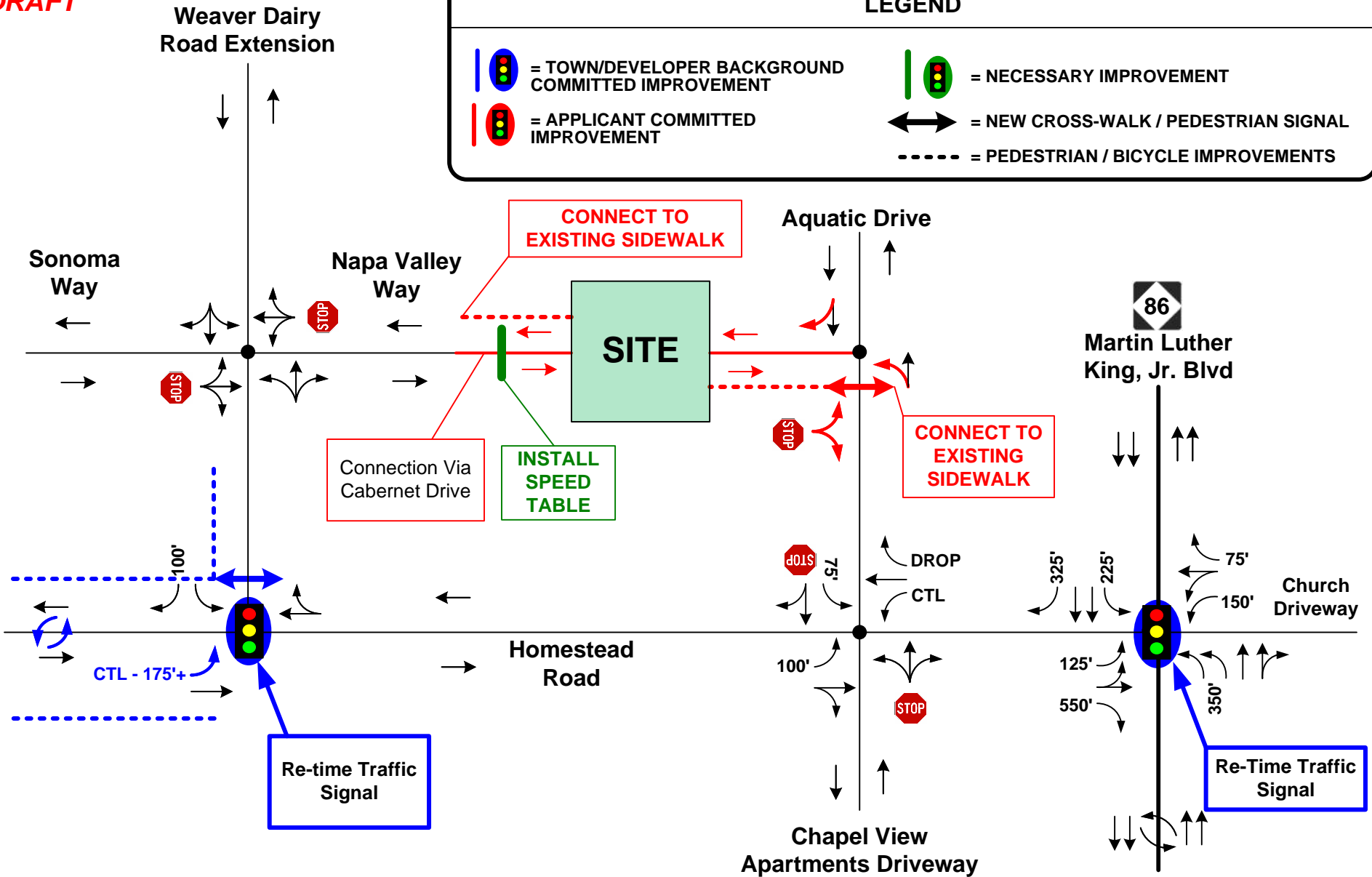
DATE: March 2022
FIGURE ES-2

DRAFT

LEGEND

- = TOWN/DEVELOPER BACKGROUND COMMITTED IMPROVEMENT
- = APPLICANT COMMITTED IMPROVEMENT

- = NECESSARY IMPROVEMENT
- = NEW CROSS-WALK / PEDESTRIAN SIGNAL
- = PEDESTRIAN / BICYCLE IMPROVEMENTS



NOT TO SCALE

Stanat's Place Residential Transportation Impact Analysis

COMMITTED AND RECOMMENDED IMPROVEMENTS

DATE: March 2022

FIGURE ES-3