

- ### PLAN KEY NOTES
- ◇ SECU SIGN (APPROXIMATE LOCATION)
  - ◇ PAINT "DO NOT ENTER" USING 24" WHITE REFLECTIVE PAINT PER NCDOT STANDARDS
  - ◇ DIRECTIONAL SIGN (TYPE AS NOTED ON PLAN)
  - ◇ HS-2 VAN ACCESSIBLE PARKING SIGN
  - ◇ HS-1 STANDARD ACCESSIBLE PARKING SIGN
  - ◇ USE CROSSWALK TO CROSS M.L.K. JR BLVD SIGN
  - ◇ STOP SIGN
  - ◇ NO PARKING - FIRE LANE SIGN
  - ◇ PASS WITH CARE SIGN
  - ◇ WINDING ROAD SIGN

- ### PLAN KEY NOTES
- ◇ HANDICAP PARKING SPACE STRIPING (TYP.)
  - ◇ 30" CONCRETE CURB AND GUTTER (TYP.)
  - ◇ 30" CONCRETE SPILL CURB AND GUTTER (TYP.)
  - ◇ 5' WIDE CONCRETE SIDEWALK (TYP. UNLESS OTHERWISE NOTED)
  - ◇ WHEEL CHAIR RAMP
  - ◇ CONCRETE WHEEL STOP (TYP.)
  - ◇ INVERTED "U" BIKE RACK (CLASS II BIKE PARKING)
  - ◇ BIKE PARKING ENCLOSURE (2 SPACES) (CLASS I BIKE PARKING)
  - ◇ DUMPSTER ENCLOSURE
  - ◇ COLLAPSIBLE BOLLARD
  - ◇ CAST-IN-PLACE RETAINING WALL (DESIGN BUILD)
  - ◇ CAST-IN-PLACE SEAT WALL (DESIGN BUILD)
  - ◇ SEGMENTAL BLOCK RETAINING WALL (DESIGN BUILD)
  - ◇ 42" GUARDRAIL ALONG RETAINING WALL
  - ◇ ACCESSIBLE RAMP WITH HANDRAIL
  - ◇ FRENCH DRAIN
  - ◇ KEY NEW ASPHALT INTO 2" WIDE X 1.5" DEEP MILL STRIP
  - ◇ HVAC PAD (8'X13' CONCRETE PAD)
  - ◇ LIGHTING FIXTURE - SEE SHEET S11001 (TYP.)
  - ◇ ELECTRICAL TRANSFORMER PAD (BY OTHERS) PAD ELEVATION = 576.0'
  - ◇ CONCRETE STAIRS #1 W/ HANDRAIL

- ### PAVING LEGEND
- HEAVY-DUTY ASPHALT
  - STANDARD DUTY ASPHALT
  - CONCRETE PAVEMENT
  - INTERLOCKING CONCRETE PAVERS (COLOR TO BE DETERMINED)
  - GRASS PAVEMENT
  - DUMPSTER PAD

- ### NOTES
1. ALL DIMENSIONS SHOWN ARE MEASURED FROM THE FACE OF CURB.
  2. ALL RADIAL DIMENSIONS SHOWN HEREON ARE 3" UNLESS OTHERWISE NOTED.
  3. ALL SIDEWALK IS 5' WIDE UNLESS OTHERWISE NOTED.
  4. ANY AND ALL ROADS, DRIVEWAYS OR DEDICATED FIRE LANES USED FOR FIRE DEPARTMENT ACCESS SHALL BE ALL-WEATHER AND DESIGNED TO SUPPORT TO CARRY THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING 75,000 LBS. FIRE ACCESS ROADS SHALL HAVE A MINIMUM WIDTH OF 20 FEET WITH OVERHEAD CLEARANCE OF 13' 6" IN.
  5. APPROVAL OF THE DESIGNED RETAINING WALL BY TOWN OF CHAPEL HILL INSPECTION DIVISION IS REQUIRED PRIOR TO CONSTRUCTION OF THE WALL.

- ### REFUSE/RECYCLING NOTES
1. ANY GATE DESIGN WILL INCLUDE GATE RETAINERS.
  2. THE USER WILL BE RESPONSIBLE FOR OPENING GATES TO THE DUMPSTER AREA ON COLLECTION DAYS OF ANY MATERIAL(S) TO BE COLLECTED FROM THIS LOCATION.
  3. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
  4. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
  5. IF ANY VEHICLES ARE PARKED IN THE REFUSE OR RECYCLABLES COLLECTION VEHICLE ACCESS AREA, THE CONTAINERS WILL NOT RECEIVE SERVICE UNTIL THE NEXT SCHEDULED COLLECTION DAY.
  6. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD DECONSTRUCTION ASSESSMENT CONFERENCE SPECIFICALLY CONCERNING THE BUILDINGS TO BE REMOVED FROM THE SITE AND A GENERAL PRE-DEMOLITION/ PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

### SITE DATA TABLE

APPLICANT/PROPERTY OWNER:	STATE EMPLOYEES' CREDIT UNION	
PROPERTY ADDRESS:	1621 MARTIN LUTHER KING JR. BLVD.	
PIN NUMBER:	9880-24-7453	
EXISTING ZONING:	R-2 & MU-V	
<b>BUILDING SETBACK SUMMARY:</b>	R-2	MU-V
MAXIMUM HEIGHT	54 FT.	54 FT.
MINIMUM STREET SETBACK	26 FT.	0 FT.
MINIMUM INTERIOR SETBACK	11 FT.	0 FT.
MINIMUM SOLAR SETBACK	13 FT.	20 FT.
EXISTING USE:	VACANT	
PROPOSED USE:	GROUP C - BANK & DRIVE-UP ATM	
EXISTING NET LAND AREA:	185,434 SF (4.26 AC)	
PROPOSED NET LAND AREA (LOT 1):	175,221 SF (4.02 AC)	
CREDITED STREET AREA (LOT 1):	17,822 SF (0.40 AC)	
GROSS LAND AREA (LOT 1):	192,743 SF (4.42 AC)	
<b>FLOOR AREA SUMMARY:</b>	R-2	MU-V
MAXIMUM ALLOWED	28,270 S.F.	250,000 S.F.
PHASE 1 (EXISTING)	17,085 S.F.	161,986 S.F.
PHASE 2 (PROPOSED)	0 S.F.	9,683 S.F.
PHASE 3 (FUTURE*)	0 S.F.	32,473 S.F.
TOTAL	17,085 S.F.	204,142 S.F.
<b>MU-V DEVELOPMENT SUMMARY:</b>	RESIDENTIAL	OFFICE/COMMERCIAL
MINIMUM REQUIRED	25% OF TOTAL FLOOR AREA	25% OF TOTAL FLOOR AREA
PHASE 1 (EXISTING)	150,567 S.F.	11,419 S.F.
PHASE 2 (PROPOSED)	0 S.F.	9,683 S.F.
PHASE 3 (FUTURE*)	0 S.F.	32,473 S.F.
TOTAL	150,567 S.F.	53,575 S.F.
% OF TOTAL	73.76	26.24
<b>VEHICLE PARKING SUMMARY:</b>	R-2	MU-V
MINIMUM REQUIRED	16	250
MAXIMUM ALLOWED	21	360
PHASE 1 (EXISTING)	21	198
PHASE 2 (PROPOSED)	0	68**
PHASE 3 (FUTURE*)	0	75
TOTAL	21	341
<b>BICYCLE PARKING SUMMARY:</b>	R-2	MU-V
MINIMUM REQUIRED	3	86
PHASE 1 (EXISTING)	9	50
PHASE 2 (PROPOSED)	0	12
PHASE 3 (FUTURE*)	0	24
TOTAL	9	86
<b>IMPERVIOUS SUMMARY:</b>		
MAXIMUM ALLOWED	227,446 S.F.	
PHASE 1 (EXISTING)	154,620 S.F.	
PHASE 2 (PROPOSED)	68,062 S.F.**	
PHASE 3 (FUTURE*)	4,764 S.F.	
TOTAL	227,446 S.F.	

\* PHASE 3 INCLUDES THE ALTMUELLER HOUSE AND FUTURE EXPANSION OF BUILDING D. ALL INFORMATION PROVIDED FOR PHASE 3 IS SUBJECT TO CHANGE, AS PHASE 3 IS NOT PART OF THIS APPLICATION. THE PHASE 3 DATA IS PROVIDED TO SHOW COMPLIANCE WITH THE CHARTERWOOD SUP.

\*\* INCLUDES 1 STANDARD ACCESSIBLE PARKING SPACE AND 2 VAN ACCESSIBLE PARKING SPACES.

\*\*\* IMPERVIOUS TOTAL INCLUDES 375 S.F. OF IMPERVIOUS ALLOWANCE AND 2,203 S.F. OF PLASTIC TURF REINFORCING GRID.

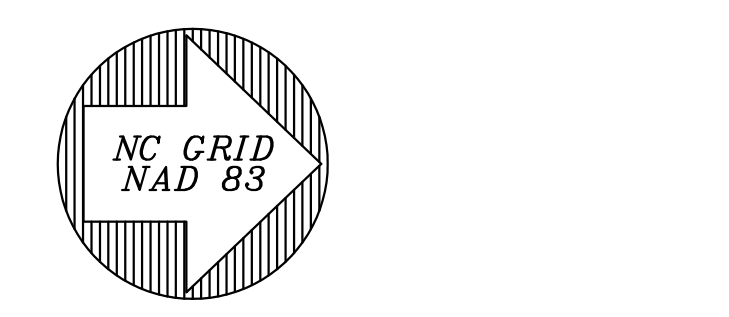
### PAVEMENT MARKING LEGEND

SEE DETAIL REFERENCE B1 (C5002)

T2	WHITE STOPBAR (24" x 120 MIL)
T3	WHITE CROSSWALK LINE (24" x 120 MIL)
TE	WHITE SOLID LANE LINE (4" x 120 MIL)
TL	WHITE SOLID LANE LINE (6" x 120 MIL)
UC	STRAIGHT ARROW (90 MIL)

### DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
OHE	---	---	OVERHEAD ELECTRIC LINE
OSG	---	---	OVERHEAD TRAFFIC SIGNAL LINE
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	SETBACK LINE
---	---	---	BUFFER LINE
---	---	---	TREE LINE



**SITE PLAN**

(GRAPHIC SCALE IN FEET)  
1 inch = 20 ft.

**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**

**BALLENTINE ASSOCIATES, P.A.**  
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514  
(919) 928-0461

**STATE EMPLOYEES' CREDIT UNION**  
CHARTERWOOD BRANCH (CHARTERWOOD PH 2)  
CHAPEL HILL, ORANGE COUNTY, NC

**ZONING COMPLIANCE PERMIT DRAWINGS**

**DATE**  
07 DEC 18  
25 MAR 19  
12 JUN 19

**REVISIONS**

DATE	DESCRIPTION
03 AUG 18	ZCP SUBMITTAL #1
07 DEC 18	ZCP SUBMITTAL #2
25 MAR 19	ZCP SUBMITTAL #3
12 JUN 19	CDC MEETING SUBMITTAL

**ISSUED**

**OWNER INFORMATION**  
STATE EMPLOYEES' CREDIT UNION  
P.O. BOX 28007  
RALEIGH, NC 27611

**OWNER REPRESENTATIVE:**  
MR. JAMIE APPLEQUIST  
(919) 438-1104  
FAX  
EMAIL: japplequist@secu.com

**DATE**  
03 AUG 18  
07 DEC 18  
25 MAR 19  
12 JUN 19

**JOB #** 117001.04  
**DATE:** 03 AUG 18  
**SCALE:** AS NOTED  
**DRAWN BY:** D.W.S.  
**REVIEWED BY:** G.J.R.

**SHEET**  
**C1001**