



CONSIDER AN APPLICATION FOR A SPECIAL USE PERMIT MODIFICATION FOR 1200 MLK (PROJECT #19-065)

STAFF REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT
 Judy Johnson, Interim Planning Director
 Michael Sudol, Planner II

PROPERTY ADDRESS 1200 & 1204 Martin Luther King Jr. Blvd.	DATES Community Design Commission: July 28, 2020 Transportation & Connectivity Advisory Board: August 25, 2020 Environmental Stewardship Advisory Board: September 8, 2020 Housing Advisory Board: September 8, 2020 Planning Commission: September 15, 2020	APPLICANT Jeremy Anderson, Coulter Jewell Thames, PA
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STAFF RECOMMENDATION

That the Transportation & Connectivity Advisory Board, Community Design Commission, Environmental Stewardship Advisory Board, Housing Advisory Board, and Planning Commission review and make recommendations on the application to the Town Council.

STAFF ANALYSIS

An accompanying application to rezone the property from Residential – 4 (R-4) and Neighborhood Commercial (NC) to Office/Institutional – 2 (OI-2) and Neighborhood Commercial (NC), with a Planned Development – Housing (PD-H) overlay for the Mobile Home Park portion of the site.

PROCESS

The application will be presented to Council for approval of a Special Use Permit. The Council must consider the **four findings** for approval of a Special Use Permit, which indicate that the use or development:

1. is located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. would comply with all required regulations and standards of the Land Use Management Ordinance;
3. is located, designed, and proposed to be operated so as to maintain or enhance the value of contiguous property, or that the use or development is a public necessity; and
4. conforms to the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the Comprehensive Plan.

DECISION POINTS

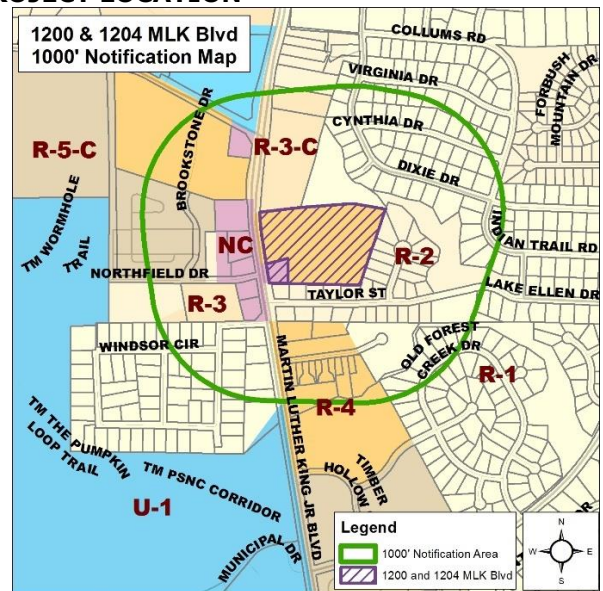
- The applicant is requesting a Special Use Permit modification along with the accompanying rezoning application.

PROJECT OVERVIEW

The site consists of two parcels, totaling approximately 13.9 acres. The applicant proposes to replace the existing abandoned gas station/convenience store with a new gas station/convenience store and a 4-story self-storage building. Approximately 16 of the existing 73 dwelling units are proposed to be relocated on-site as part of the redevelopment.

The applicant is requesting multiple modifications to Land Use Management Ordinance (LUMO) regulations, as outlined in the Developer’s Narrative (attached).

PROJECT LOCATION



ATTACHMENTS

1. Technical Report
2. Application Form
3. Developer’s Narrative
4. Submitted Plans
5. Traffic Impact Assessment Executive Summary



TECHNICAL REPORT

PROJECT OVERVIEW

The application proposes a Special Use Permit modification with a rezoning from Residential – 4 (R-4) and Neighborhood Commercial (NC) to Office/Institutional – 2 (OI-2) and Neighborhood Commercial (NC), with a Planned Development – Housing (PD-H) overlay for the Mobile Home Park portion of the site. The 13.9 acre site currently consists of two parcels with one existing single-family home, 72 mobile home units, and an abandoned gas station/convenience store. The applicant is proposing to replace the existing abandoned gas station/convenience store with a new 5000 square foot gas station/convenience store and a 134,400 square foot 4-story self-storage building. The existing 73 dwelling units will be maintained on site, relocating 16 of the existing units on-site as part of the redevelopment. An additional 10 mobile home units are also proposed.

The Developer’s Narrative explains that the applicant is seeking to modernize the service station, add a new self-storage building, and preserve or reposition all of the existing mobile home residential units onsite. The developer understands the significance that the existing affordable housing plays in the Towns variety of housing options, thus retaining as many of the existing units, while redeveloping a portion of the site, is important. More details about the proposed development can be found in the applicant’s narrative and statement of justification.

Information about the site and zoning districts can be found below, as well as a list of proposed Modifications to Regulations, and a Technical Report.

SITE CONTEXT

Staff has identified the following physical and regulatory characteristics of the land which are relevant to consideration of a Zoning Atlas Amendment:

- The 13.9 acre subject site fronts on and has access to Martin Luther King Jr. Blvd., an arterial street with high traffic volume and existing bus service.
- Properties on the opposite side of Martin Luther King Jr. Blvd is zoned Neighborhood Commercial (NC), and consist of an assortment of commercial buildings, including a car wash and gas station.
- The property adjacent to the north is zoned Residential – 3 – Conditional (R-3-C) and contains a place of worship.
- Properties to the south and east are zoned Residential – 2 (R-2) and consist of single-family residences.
- A perennial stream runs through the northern portion of the site, is subject to a 150-foot Resource Conservation District (RCD) and 50-foot Jordan Buffer. Multiple mobile homes are currently located in both the RCD and Jordan Buffer.

PROPOSED MODIFICATIONS TO REGULATIONS

1. Per LUMO section 6.23, self-storage is only allowed on the same zoning lot as other office, commercial, or institutional.
 - a. A Modification to regulations is requested to allow Self-Storage to be on the

same zoning lot and accessory to a Mobile Home Park (in terms of land area)

2. Per LUMO section 6.23, self-storage facilities shall not be permitted on property located at an intersection with any arterial street.
 - a. The applicant contends that the Self-Storage building is not located at an intersection, but across from the intersection of MLK Jr. Blvd and Northfield. A Modification to regulations is requested to allow a Self-Storage building to be located across from an intersection, but not on a corner lot created by two intersecting streets.
3. Per LUMO section 6.12, a service station/convenience store shall not be located within three hundred (300) feet of any intersecting street or within seven hundred fifty (750) feet of driveways intersecting the same street and serving another existing or approved service station.
 - a. A Modification to regulations is requested to allow a service station / convenience store to be located within the thresholds listed above if an existing service station / convenience store was previous approved and permitted on this site.
4. Per LUMO section 3.6.3-2, Permitted Uses within Resource Conservation District
 - a. The applicant requests a modification to allow mobile home residences to remain in or be moved into the RCD, to preserve the residence onsite, within the existing mobile home park.
5. Per LUMO section 5.9.7, Minimum and maximum parking space requirements
 - a. The applicant requests a modification to the required minimum number of parking spaces for a Conditioned Self Storage Facility. Based on the LUMO calculation of a minimum of 1 space per 2,500 sf, the minimum requirement would be 90 spaces. The Developer feels this is almost 5x the actual requirement. Based market experience of other facilities, this facility would require 16-20 spaces during a peak period.
6. Per LUMO section 3.7.3, Use Groups
 - a. The applicant requests a modification to the Use Group Table that would allow existing Class B manufactured homes to be allowed within a PD-H. The exiting mobile home community consists of Class B units, and this modification would allow the existing units to remain onsite, as outlined elsewhere in this Developer Narrative.



PROJECT FACT SHEET




Project Details

Site Description	
Project Name	1200 MLK (Tarheel Mobile Home Park)
Address	1200 & 1204 Martin Luther King Jr. Blvd.
Property Size (NLA)	13.9 acres
Existing	Mobile homes and gas station/convenience store
Orange County Parcel Identifier Numbers	9789-29-7279 and 9789-39-2409
Existing Zoning	Neighborhood Commercial (NC) and Residential-4 (R-4)
Proposed Zoning	Neighborhood Commercial (NC) and Office/Institutional-2 (OI-2)


Site Development Standards

Topic	Comment	Status
Development Intensity		
Use/Density (Sec. 3.7)	Manufactured Home Park; Service station/convenience store	M
Dimensional Standards (Sec. 3.8)	No change proposed	
Floor area (Sec. 3.8)	139,400 sq. ft. commercial, 52,358 sq. ft. residential	
Landscape		
Buffer – North (Sec. 5.6.2)	<i>Required: None</i>	
Buffer – East (Sec. 5.6.2)	<i>Required: None</i>	
Buffer – South (Sec. 5.6.2)	<i>Required: 20' Type "C"</i>	
Buffer - West (Sec. 5.6.2)	<i>Required: 30' Type "D"</i>	
Tree Canopy (Sec. 5.7)	<i>Required: 30%</i>	
Landscape Standards (Sec. 5.9.6)	<i>Required: 5' foundation buffer planting strip</i> <i>Required: Landscaped interior islands every 10 spaces</i> <i>Required: Maximum distance of 75' that a parking space may be located from a shade tree</i> <i>Required: 8' minimum landscaped buffer strip requirement for parking entrance drives</i>	
Environment		

Resource Conservation District (Sec. 3.6)	<i>Proposed:</i> Existing Mobile Homes to remain in RCD	M
Erosion Control (Sec. 5.3.1)	Orange County Erosion Control permit required	
Steep Slopes (Sec. 5.3.2)	<i>Required:</i> Disturb < 25% of slopes greater than 25% slope	
Stormwater Management (Sec. 5.4)	No stormwater measures currently on-site; applicant proposes to install measures, inlets, and piping designed to meet or exceed LUMO 5.4 standards	
Land Disturbance	244,335 sq. ft. (40% of site)	
Impervious Surface	271,416 sq. ft. (45% of site)	
Solid Waste & Recycling	Private trash pickup proposed	
Jordan Riparian Buffer (Sec. 5.18)	<i>Proposed:</i> Existing Mobile Homes to remain in Jordan Buffer	M
Access & Circulation		
Road Improvements (Sec. 5.8)	Addition of right turn lane into development	
Vehicular Access (Sec. 5.8)	Two points of access proposed at the intersection with Martin Luther King Jr. Blvd.	
Bicycle Improvements (Sec. 5.8)	No improvements proposed	
Pedestrian Improvements (Sec. 5.8)	5' sidewalk proposed along Martin Luther King Jr. Blvd.	
Traffic Impact Analysis (Sec. 5.9)	TIA completed and Executive Summary attached	
Vehicular Parking (Sec. 5.9)	<i>Required:</i> 68 commercial, 73 residential <i>Proposed:</i> 45 commercial, 158 residential	M
Transit (Sec. 5.8)	Construct a transit stop to accommodate future Bus Rapid Transit service with a shelter	
Bicycle Parking (Sec. 5.9)	10 spaces required (10 proposed)	
Electric Vehicle Parking	None proposed	
Parking Lot Standards (Sec. 5.9)	Constructed to Town Standards	
Technical		
Fire	Meet Town Standards	
Site Improvements	Not applicable	NA
Schools Adequate Public Facilities (Sec. 5.16)	Application must comply	
Inclusionary Zoning Ordinance (Sec. 3.10)	All mobile home units are considered to be affordable	

Recreation Area (Sec. 5.5)	<i>Proposed: 27,887 sq. ft.</i>	
Lighting Plan (Sec. 5.11)	Maximum of 0.3 foot-candles at property line	
Homeowners Association (Sec. 4.6)	Yes	

Project Summary Legend

Symbol	Meaning
	Meets Requirements
M	Seeking Modification
C	Requires Council Endorsement
FP	Required at Final Plan
NA	Not Applicable

RESOLUTION A

(Approving the Special Use Permit Modification Application)

A RESOLUTION APPROVING AN APPLICATION FOR A SPECIAL USE PERMIT MODIFICATION FOR 1200 MLK, 1200 & 1204 MARTIN LUTHER KING JR. BLVD. (**-**-**/R-**)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Special Use Permit Modification application, proposed by Jeremy Anderson of Coulter Jewell Thames, PA, for property located at 1200 & 1204 Martin Luther King Jr. Blvd. and having Orange County Property Identifier Numbers 9789-29-7279 and 9789-39-2409, if developed according to the Site Plan dated _____ and last revised _____, the conditions listed below would:

1. Be located, designed, and proposed to be operated so as to maintain or promote the public health, safety, and general welfare;
2. Comply with all required regulations and standards of the Land Use Management Ordinance;
3. Be located, designed, and operated so as to maintain or enhance the value of contiguous property; and
4. Conform with the general plans for the physical development of the Town as embodied in the Land Use Management Ordinance and in the 2020 Comprehensive Plan.

MODIFICATIONS TO REGULATIONS

BE IT FURTHER RESOLVED by the Council of the Town of Chapel Hill that it finds, in this particular case, that the proposed development with the following requested modifications to regulations satisfies public purposes to an equivalent or greater degree:

1. **LUMO 6.23.4 – Self-storage facility, conditioned:** Self-storage facilities, conditioned, shall not be the principal use on a zoning lot, but shall be on the same zoning lot as other office, commercial, and/or institutional uses permitted in the zoning district

A Modification to regulations is requested to allow Self-Storage to be on the same zoning lot and accessory to a Mobile Home Park (in terms of land area)

2. **LUMO 6.23.2 – Self-storage facility, conditioned:** Self-storage facilities, conditioned, shall not be permitted on property located at an intersection with any arterial street. This extends to include properties one hundred (100) feet from the center point of an intersection.

A Modification to regulations is requested to allow a Self-Storage building to be located across from an intersection, but not on a corner lot created by two intersecting streets.

3. **LUMO 6.12(d) – Service station/convenience store:** Driveways for a service station/convenience store shall not be located within three hundred (300) feet of any

intersecting street or within seven hundred fifty (750) feet of driveways intersecting the same street and serving another existing or approved service station. These distances shall be measured centerline to centerline.

A Modification to regulations is requested to allow a service station/convenience store to be located within the thresholds listed above if an existing service station/convenience store was previously approved and permitted on this site.

4. LUMO 3.6.3-2, Permitted Uses within Resource Conservation District:

A Modification to regulations is requested to allow mobile home residences to remain in or be moved into the Resource Conservation District, to preserve the residence onsite, within the existing mobile home park.

5. LUMO 5.9.7, Minimum and maximum parking space requirements:

A Modification to regulations is requested for the required minimum number of parking spaces for a Conditioned Self Storage Facility. Based on the LUMO calculation of a minimum of 1 space per 2,500 sf, the minimum requirement would be 90 spaces. Based on the Applicant’s market experience of other facilities, this facility would require 16-20 spaces during a peak period.

6. LUMO 3.7.3, Use Groups:

A Modification to regulations for the Use Group Table that would allow existing Class B manufactured homes to be allowed within a PD-H. The existing mobile home community consists of Class B units, and this modification would allow the existing units to remain onsite.

STIPULATIONS SPECIFIC TO 1200 MLK

1. Construction Deadline: That construction begin by _____ (two years from the date of approval) to be completed by _____ (four years from the date of approval). [LUMO 4.5.5]
2. Land Use Intensity: This Special Use Permit Modification authorizes the following:

Use: Commercial/Office/Medical Clinic	
Number of Buildings	2 commercial, 83 residential
Gross Land Area	635,644 sq. ft.
Maximum Floor Area	139,400 sq.ft commercial, 52,358 sq. ft. residential
Maximum Height	34 ft. setback, 60 ft. core (FFE)
Total Impervious Surface	271,416 sq. ft.
Maximum Land Disturbance	244,335 sq. ft.
Maximum Land Disturbance in RCD	37,464 sq. ft.
Maximum Parking Spaces	45 commercial, 158 residential

Minimum Bicycle Parking Spaces	10 spaces
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3. Permitted Construction: This Special Use Permit Modification authorizes the construction or maintenance of two (2) commercial buildings and eighty-three (83) mobile homes. Any additional future buildings and other new development would need to meet all applicable Town requirements.
4. Martin Luther King Jr. Blvd Intersection Improvements: Prior to Final Zoning Inspection, the developer shall construct a right-in/right-out entrance north of the existing entrance, subject to NCDOT approval.
5. Pedestrian Improvements: Pedestrian crosswalks shall be installed at both entrances on the northbound approach of Martin Luther King Jr. Blvd. prior to Final Zoning Inspection.
6. Transit Stop: That prior to Final Zoning Inspection, the developer shall install a transit stop, including pad, lighting, Nextbus signage, and waste receptacles.
7. Multi-Use Path: As part of the Final Plans Zoning Compliance Permit, the developer commits to working with the Town to identify an appropriate alignment of a multi-use path along Martin Luther King Jr. Blvd. associated with the North-South Bus Rapid Transit plan. Any minor changes to the site plan to accommodate this path may be approved administratively.
8. Landscape Bufferyards: That the following landscape bufferyards shall be provided:

Location	Required Buffer
West	30' External Type "D"
South	20' External Type "C"

9. Landscaping within ROW: All landscaping within NCDOT right-of-way shall comply with the NCDOT Guidelines for Planting within Highway Right-of-way, including a Landscape Encroachment Agreement and private maintenance of landscaping in the right-of-way.
10. Demolition Plan: The Landscape Protection Plan shall be consistent with the Demolition Plan.
11. Solid Waste: Solid waste and mixed recycling (including corrugated cardboard) will be collected by a private waste contractor, once the new buildings are built and in service.
12. Stormwater Structures: No stormwater management structures are permitted in the rights-of-way or building setbacks. This includes the outlet structure and stabilization, any underdrains, side slopes, and the downgradient toe of french drains. Further, the discharge must be in a sheet flow condition.
13. Stormwater Control Measure: The proposed stormwater control measure for the site shall be designed to meet the current North Carolina Division of Environmental Quality Design Manual.
14. Building Height: Prior to issuance of a Certificate of Occupancy, a secondary fire apparatus access shall be reviewed and approved by the Town of Chapel Hill and

NCDOT. Buildings exceeding 30 feet or three stories in height must have at least two means of fire apparatus access separated by at least one half the diagonal distance of the building. NC FPC 2012, D104.1, D104.3

TOWN OF CHAPEL HILL – SPECIAL USE PERMIT STANDARD STIPULATIONS

The following standard stipulations are supplemental to site-specific conditions as set by Town Council-approved resolution. Unless modified by the site-specific conditions noted above, these standards apply to all development permitted by Special Use Permits.

Access

15. Accessibility Requirements: Prior to issuance of a Certificate of Occupancy, the developer shall provide the minimum required handicapped infrastructure according to the Americans with Disabilities Act and associated codes and standards.

Transportation

16. Transportation Management Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit a Transportation Management Plan, subject to Town Manager approval. The Transportation Management Plan shall include monitoring of electric vehicle parking spaces usage. [LUMO 4.5.2]
17. Bicycle Parking: Prior to issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details that comply with the Town parking standards for required and/or proposed bicycle parking spaces. Bicycle parking spaces should be placed near building entrances. The spaces must comply with the Spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines and the Class I and Class II bicycle parking standards required by the Town Design Manual. [LUMO 4.5.2]
18. Parking Lot: Any newly proposed parking lots, including additions to existing parking lots, shall be constructed to Town standards for dimensions and pavement design. [LUMO 5.9.5]
19. Parking Lot Landscape and Screening: The parking lot landscape design shall adhere to the standards of the Chapel Hill Land Use Management Ordinance. [LUMO 5.9.6]
20. Lighting: Prior to issuance of a Zoning Compliance Permit, the developer shall design and install street lighting along the site frontage. Design and construction details must be approved by the Town Manager and the North Carolina Department of Transportation (NCDOT).
21. Driveway Permit: The developer must obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within the NCDOT right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved roadway and signal construction plans, inspection fees, and any necessary performance and indemnity bonds.
22. Pavement Markings: Any pavement markings proposed within the public street rights-of-way shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadways.

23. Off-Site Construction Easements: Prior to any development associated land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
24. Sight Distance Triangles: Prior to issuance of a Certificate of Occupancy, the developer shall provide the Town of Chapel Hill with standard sight distance triangles at the proposed driveway locations. [Town Design Manual]
25. Low Vision Design Features: Any proposed pedestrian facilities should incorporate low vision design features as feasible. [LUMO 4.5.2]
26. Repairs in Public Right-of-Way: Prior to issuance of a Certificate of Occupancy, the developer shall repair all damage for work in the public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design of such repairs must be reviewed and approved by the Town Manager and NCDOT prior to issuance of a Zoning Compliance Permit. [Town Code 17.40]
27. Street Closure Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a street closure plan, subject to Town Manager and NCDOT approval, for any work requiring street, sidewalk, or lane closure(s). [Town Code 21.7.1]
28. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager and NCDOT. The Work Zone Traffic Control Plan shall comply with the U.S. Department of Transportation Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging, construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]

Landscaping and Building Elevations

29. Invasive Exotic Vegetation: Prior to issuance of a Zoning Compliance Permit, the developer shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal of these species from the landscape buffer areas prior to planting. [Town Design Manual]
30. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, approval shall be required from the Community Design Commission for any proposed alternate buffer. [LUMO 5.6.8]
31. Landscape Protection: Prior to issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include a complete and currently updated tree survey showing critical root zones of all rare and specimen trees and labeled according to size and species. The plan shall also indicate which trees will be removed and which will remain. The plan shall also include standard notes, fencing details, and location of fencing. [LUMO 5.7.3]
32. Tree Protection Fencing: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detail of a tree protection fence and a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site. The plans shall include continuous tree protection fencing around construction limits

and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]

33. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approval. [LUMO 4.5.3]
34. Tree Canopy: A minimum of tree canopy coverage be provided through a combination of retained and replanted trees, unless a modification to regulations is approved. Calculations demonstrating compliance with Chapel Hill Land Use Management Ordinance Section 5.7.2 shall be included. [LUMO 5.7.2]
35. Retaining Wall Construction: If applicable, the final design and location of all retaining walls shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
36. Demolition Plan: Prior to beginning any proposed demolition activity, the developer must obtain demolition permits from both the Planning and Inspections departments. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit shall be issued prior to an Inspection's Demolition permit. Further, prior to the issuance of a demolition permit for all existing structures 500 square feet or larger, Orange County Solid Waste staff shall conduct a deconstruction assessment pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO).
37. Lighting Plan Approval: Prior to issuance of a Zoning Compliance Permit, the Community Design Commission shall approve a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize upward light pollution and off-site spillage of light. [LUMO 8.5.5]
38. Community Design Commission Approval: The developer shall obtain Community Design Commission approval of building elevations, including the location and screening of all HVAC/Air Handling Units for the site, prior to issuance of a Zoning Compliance Permit. [LUMO 8.5.5] Within the Town's historic districts, the Historic District Commission will act in place of the Community Design Commission. [LUMO 8.4.6]

Environment

39. Stormwater Management Plan: Development projects must comply with *Section 5.4 Stormwater Management* of the Chapel Hill Land Use Management Ordinance.
40. Phasing Plan: If phasing of the project is proposed, then, prior to issuance of a Zoning Compliance Permit, the developer shall obtain approval of a Phasing Plan that provides details of which improvements are to be constructed during each phase. The Phasing Plan also shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase may not begin until all public improvements in previous phases have been completed, with a note to this effect on the final plans and plats. [LUMO 4.5.3]
41. Erosion Control Bond: If one acre or more is to be uncovered by land-disturbing activities for the project, then a performance guarantee in accordance with *Section 5-*

97.1 *Bonds* of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [Town Code 5.98]

42. Silt Control: The developer shall take appropriate measures to prevent and remove the deposit of wet or dry silt on adjacent roadways. [Town Code Article V]
43. Erosion Control Inspections: In addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs. [Orange County Erosion Control]
44. Curb Inlets: The developer shall provide pre-cast curb inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-5A, for all new curb inlets for private, Town and State rights-of-way. [Town of Chapel Hill Design Manual]
45. As-Built Plans: Prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [Town Design Manual Chapter 10]
46. On-Site/Adjacent Stormwater Features: The final plans shall locate and identify existing site conditions, including all on-site and adjacent stormwater drainage features, prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [Town of Chapel Hill Design Manual]
47. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [Town Design Manual Chapter 10]
48. Energy Efficiency: The Final Plans shall incorporate a "20 percent more energy efficient" feature relative to the energy efficiency standard of the American Society of Heating, Refrigeration, and Air Conditioning Engineers (ASHRAE), as amended and in effect at the time of building permit issuance. The developer may use comparable standards generally recognized as applicable to building energy consumption, as amended and in effect at the time of building permit issuance, when incorporating the "20 percent more energy efficient" feature into the final plans.[Town Policy April 2007]
49. Energy Management Plan: The final plan application shall include an Energy Management Plan. The plan shall: a) consider utilizing sustainable energy, currently defined as solar, wind, biofuels, and hydroelectric power; b) consider purchase of carbon offset credits and green power production through coordination with the NC GreenPower program; c) provide for 20 percent more efficiency that ensures indoor air quality and adequate access to natural lighting, and allows for the proposed utilization of sustainable energy in the project; d) include ongoing energy management practices, and e) that the property owner reports to the Town of Chapel Hill both the expected energy consumption as part of a model prior to issuance of a Zoning Compliance Permit

and the actual energy consumption as par to sealed engineering calculations at the time construction is completed.[Town Policy April 2007]

Recreation

50. Recreation Space (Multi-Family): A minimum of 25 percent of the required Recreation Space for the project shall be provided in the form of a payment in lieu. The payment in lieu shall be paid prior to the issuance of a Zoning Compliance Permit.
51. Recreation Area (Subdivision): A minimum of 25 percent of the required Recreation Area for the project shall be provided in the form of a payment in lieu. The payment in lieu shall be paid prior to the issuance of a Zoning Compliance Permit.

Water, Sewer, and Other Utilities

52. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, other applicable local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The developer shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]
53. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan; providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
54. Relocation of Overhead Utilities Underground: Prior to issuance of a Certificate of Occupancy, the developer will install underground all public utilities that are currently located overhead on the site except for 3 phase or greater electric lines. [LUMO 5.12.2]
55. Water/Sewer Line Construction: All public water and sewer plans shall be approved by and constructed according to OWASA standards. Where sewer lines are located beneath drive aisles and parking areas, construction methods approved by OWASA shall be employed to ensure that sewer lines will not be damaged by heavy service vehicles. [LUMO 5.12.1]
56. OWASA Approval: Prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12]
57. Irrigation: If permanent irrigation is proposed to support landscaping, an irrigation plan shall be submitted which includes the use of smart technologies to conserve water and energy.

Fire Safety

58. Fire Sprinklers: The developer shall install sprinklers under the North Carolina Fire Code prior to issuance of a Certificate of Occupancy. Prior to issuance of a Zoning Compliance

Permit, the plans shall show all proposed fire department connections to such systems.
[TOWN CODE 7-56]

59. Gates and Barricades: Where required or authorized by the fire code official and permanent or temporary (construction), any gates across fire apparatus access roads shall be a minimum width of 20 feet, be of swinging or sliding type, have an emergency means of operation, shall be openable by either forcible entry or keyed, capable of being operated by one person, and shall be installed and maintained according to UL 325 and ASTM F 2200. [NC FPC 2012, 503.5, 503.6, D103.5]
60. Grade and Approach: Fire apparatus access roads shall not exceed 10 percent in grade unless approved by the fire chief, and all approach and departure angles shall be within the limits established based on the Fire Department's apparatus. [NC FPC 2012, 503.2.7, 503.2.8 and D103.2]
61. Fire Protection and Utility Plan: The Fire Protection and Utility Plan shall include the fire flow report that for hydrants within 500 feet of each building, provides the calculated gallons per minute with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of North Carolina and accompanied by a water supply flow test conducted within one year of the submittal. Refer to the Town Design Manual for required gallons per minute.
62. Fire Department Connections and Standpipes: When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40 feet in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. [NC FPC 2012 Section 1413]
63. Fire Command Center: Where required in the North Carolina Fire Protection Code and in all high rise buildings, a fire command center must be constructed in accordance with Section 508, NC FPC 2012.
64. Aerials: Where a building exceeds 30 feet in height OR 3 stories above the lowest level of Fire Department Access, overhead power and utility lines shall not be allowed within the aerial apparatus access roadway and the roadway shall have an unobstructed width of 26 feet exclusive of the shoulders. At least one of the apparatus access roadways shall be located within a minimum of 15 feet and maximum of 30 feet from one complete side of the building. [NC FPC 2012 D105.1, D105.2, D105.3]
65. Fire Apparatus Access Road: Any fire apparatus access roads (any public/private street, parking lot access, fire lanes and access roadways) used for fire department access shall be all-weather and designed to carry the imposed load of fire apparatus weighing at least 80,000 lbs. Fire apparatus access roads shall have a minimum width of 20 feet exclusive of shoulders with an overhead clearance of at least 13 feet 6 inches for structures not exceeding 30 feet in height and shall provide access to within 150 feet of all exterior portions of the building. Structures exceeding 30 feet in height shall be provided with an aerial apparatus access road 26 feet in width in the immediate vicinity of the building or portion thereof and shall provide at least one of the required access roads to be located not less than 15 feet and not more than 30 feet from the structure parallel to one entire side of the structure. [NC FPC 2012 502.1, 503.1.1, 503.2.1, D102.1 SECOND ACCESS DEPENDANT UPON DOT APPROVAL]

66. Dead End Access Roads: Dead end fire apparatus access roads exceeding 150 feet shall have a designated turn around. The turnaround shall meet one of the design standards of NC FPC 2012, Appendix D table D 103.4.
67. Building Height: Buildings exceeding 30 feet or three stories in height must have at least two means of fire apparatus access separated by at least one half the diagonal distance of the building. [NC FPC 2012, D104.1, D104.3 DEPENDANT UPON DOT APPROVAL]
68. Fire Access: Prior to issuance of a Certificate of Occupancy, fire access shall be reviewed and approved by the Town of Chapel Hill.
69. Fire Apparatus Access Road Authority: The fire code official shall have the authority to increase the minimum access widths where they are deemed inadequate for fire and rescue operations. [NC FPC 503.2.2]
70. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Code, and National Fire Protection Association 13. [NC Fire Protection Code Section 507.5.6]
71. Fire Hydrant and FDC Locations: The Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department Connections shall be located on the street side of the building within 100 feet of a hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC Fire Protection Code Section 507.5.6]
72. Firefighting Access during Construction: As required by NC Fire Code (Section 1410.1 Required Access), vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC Fire Code, Section 1410.1]
73. Premise Identification: Approved building address numbers, placed in a position acceptable to the fire code official, shall be required on all new buildings. [NC FPC 2012, 505.1]
74. Key Boxes: Where required by the fire code official, a secure key box, mounted on the address side of the building, near the main entrance, shall be provided to ensure adequate access to the building based on life safety and/or fire protection needs. [NC FPC 2012, 506]
75. Automatic Fire Sprinkler System Required: Town Code 7-56.
An automatic fire sprinkler system meeting the requirements of NFPA Standard #13 is required to be installed in non-residential construction, as follows.
 - 1) In new non-residential structures if:

- a. The building has more than 6,000 square feet of floor area;
 - b. Twenty (20) per cent or more of the total floor area is more than two hundred (200) feet of travel distance from the nearest access point for a fire truck; or
 - c. The building exceeds two (2) stories or twenty-four (24) feet in height from the average grade of the lot to the windows on the topmost occupied floor.
- 2) In a structural addition to a non-residential building of more than six thousand (6,000) square feet where the cost of the addition exceeds fifty (50) percent of the value of the building. Fire sprinklers are required in the addition.
 - 3) In a non-residential building of more than six thousand (6,000) square feet which is either renovated at a cost greater than fifty (50) percent of value or which is damaged and rebuilt at a cost greater than fifty (50) percent of value.

In addition, all connections shall be located on the street side of each building, and activation of the sprinkler system shall activate both a local building alarm and a supervisory alarm at a twenty-four (24) hour certified and licensed alarm monitoring service.

- 76. Fire Department Connections, Locations: Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 13D, 13R, or 14 of the NC FPC 2012 and Town Code 7-38 for location. FDCs shall be installed within 100 feet of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping. FDCs shall be equipped with National Standard Thread (NST).
- 77. Fire Department Connections, Installation: A working space of not less than 36 inches in width and depth and a working space of 78 inches in height shall be provided on all sides with the exception of wall mounted FDCs unless otherwise approved by the fire code official. The FDCs where required must be physically protected from impacts by an approved barrier. [NC FPC 2012, 912.1, 912.2 912.2.1, 912.3.2, 312]
- 78. Fire Apparatus Access for Chapel Hill Fire Department: All fire department access determinations shall be based upon Chapel Hill Fire Department apparatus specifications (data specifications provided by Office of the Fire Marshal/Life Safety Division) and field verification. All proposed fire department access designs shall be reviewed and shall also pass field inspection.
- 79. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]
- 80. Fire Lane: Prior to issuance of a Certificate of Occupancy, any fire lane shall be marked and signed in accordance with Town standards, with the associated plans approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC Fire Code, Sections 503.3, D103.6, D103.6.1, D103.2]

Solid Waste Management and Recycling

81. Solid Waste Management Plan: Prior to issuance of a Zoning Compliance Permit, a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager and Orange County Solid Waste (OCSW). The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. If a refuse compactor is proposed or if the collection enclosure is not accessible by Town vehicles, the developer shall provide documentation of an agreement for solid waste collection by a private provider prior to issuance of a Zoning Compliance Permit. [Orange County Solid Waste]
82. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard (Regulated Recyclable Materials), all present in construction waste, must be recycled. All haulers of construction waste containing Regulated Recyclable Materials must be properly licensed with Orange County Solid Waste. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]
83. Deconstruction Assessment: For any existing structure 500 square feet or larger a deconstruction assessment shall be conducted by OCSW staff prior to the issuance of a demolition permit pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO). Prior to any demolition or construction activity on the site, the developer shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be held at the same pre-construction meeting held with other development/enforcement officials.

State and Federal Approvals

84. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]
85. North Carolina Department of Transportation Approvals: Prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT. [NC Department of Transportation]

Miscellaneous

86. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [Town Design Manual Chapter 10]
87. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The

plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [TOWN CODE 17-42]

88. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.4]
89. Schools Adequate Public Facilities Ordinance: If applicable, the developer shall provide the necessary Certificates of Adequacy of Public Schools or an exemption prior to issuance of a Zoning Compliance Permit. [LUMO 5.16]
90. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [TOWN CODE, Article 9 Sec. 5.50]
91. Detailed Plans: Prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Chapel Hill Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]
92. Certificates of Occupancy: No Certificates of Occupancy shall be issued until all required public improvements are complete. A note to this effect shall be placed on the final plats.

If the Town Manager approves a phasing plan, no Certificates of Occupancy shall be issued for a phase until all required public improvements for that phase are complete, and no Building Permits for any phase shall be issued until all public improvements required in previous phases are completed to a point adjacent to the new phase. A note to this effect shall be placed on the final plats.
93. Traffic Signs: The developer shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.
94. New Street Names and Numbers: The name of the development and its streets and house/building numbers shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
95. As-Built Plans: Prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [Town Design Manual Chapter 10]

96. Vested Right: This Special Use Permit or Special Use Permit Modification constitutes a site specific development plan (and is defined as such in the Chapel Hill Land Use Management Ordinance) establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance. During the period of vesting this permit may be subject to subsequent changes to Town regulations to the extent such regulations have been enacted under authority other than the Town's zoning authority.
97. Continued Validity: Continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
98. Non-Severability: If any of the above conditions is held to be invalid, approval in its entirety shall be void.
99. Not-Comprehensive: The listing of these standard stipulations, and the specific stipulations applicable to this Permit, is not intended to be comprehensive and does not exclude other state and local laws and regulations which may applicable to this Permit and development project.

BE IT FURTHER RESOLVED that the Council hereby approves the application for a Special Use Permit Modification for 1200 MLK at 1200 & 1204 Martin Luther King Jr. Blvd.

This the ___th day of _____, 2020.

SPECIAL USE PERMIT APPLICATION



TOWN OF CHAPEL HILL
Planning and Development Services
405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514
phone (919) 969-5066 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9789297279 & 9789392409

Date: Rev. 04.17.2020

Section A: Project Information

Project Name: 1200 MLK

Property Address: 1200 & 1204 Martin Luther King Jr. Blvd. Zip Code: 27514

Use Groups (A, B, and/or C): C Existing Zoning District: NC & R-4

Project Description: Convenience Store and 12 gas pumps (replacing existing convenience store with 6 pumps)

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):


Name: Coulter Jewell Thames, PA – c/o Jeremy Anderson

Address: 111 West Main Street

City: Durham State: NC Zip Code: 27701

Phone: 919-682-0368 Email: JAnderson@cjtpa.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 05-30-2019

Owner/Contract Purchaser Information:

Owner

Contract Purchaser

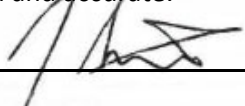
Name: Stackhouse Properties, LLC

Address: PO Box 14466

City: RTP State: NC Zip Code: 27709

Phone: 919-408-7150 Email: accounting@rentstackhouse.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 05-30-2019

Click [here](#) for application submittal instructions.



Section A: Project Information

Use Type: (check/list all that apply)

- Office/Institutional Residential Mixed-Use Other: Commercial (Convenience store & self storage)

Overlay District: (check all that apply)

- Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	537,504 (OI-2) 68,740 (NC)	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	16,250 (OI-2) 13,150 (NC)	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=	n/a	sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	553,754 (OI-2) 81,890 (NC)	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

- Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	244,335 sf
Area of Land Disturbance within RCD	37,464 sf
Area of Land Disturbance within Jordan Buffer	4,960 sf

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	185,732	Per SIA	Per SIA	271,416
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%		Per SIA	Per SIA	Per SIA
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	57,100	4,742	5,000 + 134,400	139,400
Number of Floors	1		1 & 4	
Recreational Space				

Residential Space				
Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	54,704	2,346	0	52,358
Total Square Footage of All Units	54,704	2,346		52,358
Total Square Footage of Affordable Units	54,704	2,346		52,358
Total Residential Density	5.9			5.9
Number of Dwelling Units	73		10	83
Number of Affordable Dwelling Units	73		10	83
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)					
Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial		139,400			
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	22	65	33
	Interior (neighboring property lines)	8	36	31
	Solar (northern property line)	9	35	307.6
Height (maximum)	Primary	34		34
	Secondary	60		60
Streets	Frontages			
	Widths			



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Services

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Martin Luther King Jr. Blvd.	100'	66'	5	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
Martin Luther King Jr. Blvd.	5 and 6	Conc.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	68	110	44
Handicap Spaces			2
Total Spaces	68	110	46
Loading Spaces	2		2
Bicycle Spaces	10		10
Surface Type	Concrete or asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
West (MLK JR. BLVD.)	30'	30'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
South	20'	20'	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Services

Section I: Land Use Intensity

Existing Zoning District: **NC & R4**
 Proposed Zoning Change (if any): **NC & OI-2**

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
OI-2	.264	.046				146,191	25,473
N.C.	.264					21,619	
TOTAL						167,810	24,473
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
Telephone	<input type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input checked="" type="checkbox"/> Private		



**SPECIAL USE PERMIT APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	<input type="text" value="See attached slip"/>
2/4	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
X	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
n/a	Description of Public Art Proposal , if applicable		
X	Statement of Justification		
X	Response to Community Design Commission and Town Council Concept Plan comments		
n/a	Affordable Housing Proposal , if applicable		
X	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	<input type="text" value="286.40"/>
X	Written Narrative describing the proposal, including proposed land uses		
X	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
n/a	Jurisdictional Wetland Determination – if applicable		
n/a	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
n/a	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
x	Reduced Site Plan Set (reduced to 8.5” x 11”)		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)



Coulter Jewell Thames, PA

MAIN OFFICE
111 WEST MAIN STREET
DURHAM, NC 27701
p 919.682.0368 f 919.688.5646

Planning for the Future

1200 MLK

ZONING ATLAS AMENDMENT AND SPECIAL USE PERMIT

05.30.2019

08.06.2019 - revised

04.13.2020 - revised

06.18.2020 - revised

DEVELOPER'S PROGRAM

This is a request for review of a Zoning Atlas Amendment and concurrent Special Use Permit applications by the Town of Chapel Hill.

Introduction

The '1200 MLK' project is the redevelopment of the existing Tar Heel Mobile Home Park and non-operational Marathon Service Station, on the east side of Martin Luther King Boulevard, across from the intersection with Northfield Drive. The project is proposing to modernize the service station, add a new self-storage building, and preserve or reposition all of the existing mobile home residential units onsite. The developer understands the significance that the existing affordable housing plays in the Town's variety of housing options, thus retaining as many of the existing units, while redeveloping a portion of the site, is important. The parcel addresses are 1200 and 1204 MLK Jr. Blvd.

The proposal is to enlarge the Commercial Neighborhood (NC) Zoning at the front of the site, and rezone the R-4 to O-12 at the sides and rear of the site. The O-12 portion at the rear of the site will include a PD(H) overlay, to allow for the existing mobile home park.

The project was previously submitted as a Concept Plan and reviewed by Town staff, the Housing Advisory Board and Town Council earlier this year. An outline of the applicant responses to comments made at the Council meeting are attached to this application.

Site Description

The site consists of two parcels, totaling approximately 13.9 acres. The site is partially wooded, with the old Marathon service station at the front of the site, and approximately 73 existing mobile home residential units and 1 single family residence at the rear and sides of the site. The site has access via multiple access points off of MLK Jr. Blvd. Two of these access points are oddly positioned on either side of the signalized intersection with Northfield Drive. There are existing bus stops on both the east and west sides of MLK Jr. Blvd, adjacent to the site.

The project site is bounded by the Orange United Methodist Church to the north, an existing single family residential neighborhood to the east and south, and various commercial businesses on the west side of MLK Jr Blvd.

The site slopes gently from the front (west) to the rear (east). An existing OWASA lift station is positioned at the northeast corner of the project site.

Site Access and Circulation

The site is currently accessed via a split driveway spanning the across the signalized intersection at Northfield Drive. This pair of driveways will be reworked to align with the signalized intersection, improving access functionality and safety. There are two additional residential driveways off of MLK Jr Blvd. that will remain unchanged. The project will improve vehicular circulation into to the mobile home park via the reworked signalized intersection. Pedestrian sidewalk improvements will be provided along the frontage of the site, which currently does not have one. Adequate onsite parking will be provided for both of the proposed uses.

Per the Town of Chapel Hill LUMO, the combined parking requirement for the commercial components of the project is a minimum of 68 spaces and a maximum of 110 spaces. The proposed site plan shows 46 spaces, which based on the real market demands for the parking of these uses (30 for Gas/Convenience Store and 16 for Self-Storage), is adequate. See below for a modification request to reduce the minimum required spaces for the Self-Storage facility.

Building Orientation and Site Layout

The convenience store building will be oriented so that the parking is at the side or rear, with the fuel pump canopy positioned behind the building. The multi-story self-storage building will be located approximately 250' from the ROW, minimizing visibility, and serving a buffer to the existing mobile home units. Several of the existing mobile home units (~16) will have to be relocated for the proposed site redevelopment, but the developer has analyzed the units and opportunity rezoned within the existing property, to relocate all of the units that can physically be moved. The building architecture will meet or exceed the LUMO requirements.

Environmental and Landscaping

The 13.9 acre site contains 4.5 acres of protected RCD buffer area, extending 150' from the Kings Branch Stream along the northern property line. The existing mobile home park contains a variety of mature trees, with the majority of these to be retained. New landscaping and street trees will be provided for the redeveloped portion of the site. Required tree coverage, parking lot shading, and landscape buffers will provide screening and visual interest. The developer will continue to work with the existing residents to best utilize the open space areas onsite, including the open play field, the frontage RCD areas, and landscaping along the rear of the storage building.

Stormwater

The existing site currently doesn't have stormwater treatment. The proposed redevelopment will comply with the current stormwater quality and quantity regulations through the installation of Stormwater Control Measures, inlets and piping. The project will comply with all sedimentation and erosion control requirements utilizing on and offsite protection measures.

Utilities

The project site is currently served by OWASA water and sewer services. The new commercial buildings will have new water and sewer services designed to current standards and specifications. Water and sewer services to the existing and relocated residences will remain as is, or be reconnected to the new lines run as part of the commercial project. The existing OWASA pump station will remain.

PD-H Determination

Per LUMO section 6.18.1, the following points are provided in support of the location of the PD-H designation.

- The creation of this PD-H is unique in the fact that this is an established residential community that has existed at this location for over 30 years.
- The community is located with access to a major street, with pedestrian and bicycle access. This site is located along the route of the future BRT transportation improvements. The site does not require access through a residential neighborhood outside the development.
- The site has access to public water and sewer facilities, without requiring public extensions. The project will be incorporating new stormwater improvements, as the site currently does not have any.
- The proposal to keep the residential community in place means the current public infrastructure (schools, parks, etc,) will continue to serve the community and its residents. The site is within walking distance to Homestead Park, and well as the greenway trails within the Carolina North nature area. In addition to surrounding public amenities, the project is proposing a new playground within the site for the residents.

- The continuation of this residential community should cause an increase on maintenance or operation cost of the existing public facilities.

In summary, the developer finds that the existing residential community would continue to serve and be served by the adjacent public infrastructure, and not have an appreciable negative impact of the adjacent residential neighborhoods.

Outline of Modifications requested

The following is list of Modifications to the LUMO that are being requested as part of this Special Use Application:

1. *Per LUMO section 6.23, self-storage is only allowed on the same zoning lot as other office, commercial, or institutional.*

A Modification to regulations is requested to allow Self-Storage to be on the same zoning lot and accessory to a Mobile Home Park (in terms of land area)

2. *Per LUMO section 6.23, self-storage facilities shall not be permitted on property located at an intersection with any arterial street.*

The applicant contends that the Self-Storage building is not located at an intersection, but across from the intersection of MLK Jr. Blvd and Northfield.

A Modification to regulations is requested to allow a Self-Storage building to be located across from an intersection, but not on a corner lot created by two intersecting streets.

3. *Per LUMO section 6.12, a service station/convenience store shall not be located within three hundred (300) feet of any intersecting street or within seven hundred fifty (750) feet of driveways intersecting the same street and serving another existing or approved service station.*

A Modification to regulations is requested to allow a service station / convenience store to be located within the thresholds listed above if an existing service station / convenience store was previous approved and permitted on this site.

4. *Per LUMO section 3.6.3-2, Permitted Uses within Resource Conservation District*

The applicant requests a modification to allow mobile home residences to remain in or be moved into the RCD, to preserve the residence onsite, within the existing mobile home park.

5. *Per LUMO section 5.9.7, Minimum and maximum parking space requirements*

The applicant requests a modification to the required minimum number of parking spaces for a Conditioned Self Storage Facility. Based on the LUMO calculation of a minimum of 1 space per 2,500 sf, the minimum requirement

would be 90 spaces. The Developer feels this is almost 5x the actual requirement. Based market experience of other facilities, this facility would require 16-20 spaces during a peak period.

6. *Per LUMO section 3.7.3, Use Groups*

The applicant requests a modification to the Use Group Table that would allow existing Class B manufactured homes to be allowed within a PD-H. The existing mobile home community consists of Class B units, and this modification would allow the existing units to remain onsite, as outlined elsewhere in this Developer Narrative.

1200 MLK

SPECIAL USE PERMIT APPLICATION CHAPEL HILL, NORTH CAROLINA

OWNER / CLIENT:

STACKHOUSE PROPERTIES, LLC
PO BOX 14466
RTP, NC 27709
919-408-7150

APPLICANT / CONSULTANT:

LANDSCAPE ARCHITECT / LAND PLANNER:
COULTER JEWELL THAMES, PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: JEREMY ANDERSON

ENGINEER:
COULTER JEWELL THAMES, PA
111 WEST MAIN STREET
DURHAM, NC 27701
919-682-0368
CONTACT: PRESTON ROYSTER

PROJECT DATA:

EXISTING PARCELS

PARCEL A:
ADDRESS 1200 MARTIN LUTHER KING JR. BLVD.
PIN 9789297279
ACREAGE 32,068.98 SF / 0.736 AC
ZONE NC

PARCEL B:
ADDRESS 1204 MARTIN LUTHER KING JR. BLVD.
PIN 9789392409
ACREAGE 574,173.80 SF / 13.181 AC
ZONE R-4

GROSS LAND AREA: 606,242.78 SF / 13.917 AC

PROPOSED PARCELS

RE: 2/C200
PARCEL 1:
ACREAGE 68,739.55 SF / 1.578 AC
PROPOSED ZONE NC

PARCEL 2:
ACREAGE 75,123.73 SF / 1.725 AC
PROPOSED ZONE OI-2

PARCEL 3:
ACREAGE 462,379.49 SF / 10.615 AC
PROPOSED ZONE OI-2 WITH PLANNED DEVELOPMENT OVERLAY (PD-H)

GROSS LAND AREA: 606,242.78 SF / 13.917 AC

LAND USE:
EXISTING CONVENIENCE STORE & MOBILE HOME PARK
PROPOSED
PARCEL 1 PRINCIPAL USE - CONVENIENCE STORE
PARCEL 2 ACCESSORY USE TO PARCEL 3 - SELF STORAGE
PARCEL 3 PRINCIPAL USE - MOBILE HOME PARK

ZONING:
EXISTING NC & R-4
PROPOSED NC - 68,739.55 SF / 1.578 AC
OI-2 - 537,503.22 SF / 12.339 AC

ALLOWABLE FAR FOR
PROPOSED ZONE: .264

EXISTING BUILDINGS: 5,200 SF CONVENIENCE STORE TO BE REMOVED
EXISTING 73 CLASS B MOBILE HOMES LOCATED IN PROJECT AREA TO BE RELOCATED WITHIN PROJECT SITE

PROPOSED BUILDINGS:
CONVENIENCE STORE +/- 5,000 SF FOOTPRINT
SELF STORAGE +/- 33,600 SF FOOTPRINT (4 STORY / 134,400 SF OVERALL)
EX. RESIDENTIAL EXISTING 73 CLASS B UNITS TO REMAIN (ALL WILL BE RELOCATED ONSITE)
PROPOSED RESIDENTIAL 10 NEW UNITS

VEHICULAR PARKING:
REQUIRED 14 TO 20 - CONVENIENCE STORE (MIN. 1/375 SF, MAX. 1/250 SF)
54 TO 90 - SELF STORAGE (MIN. 1/2500 SF, MAX. 1/1500 SF)
= 68 TO 100 SPACES REQUIRED

73 TO 146 - RESIDENTIAL (MIN. 1 PER UNIT, MAX. 2 PER UNIT)

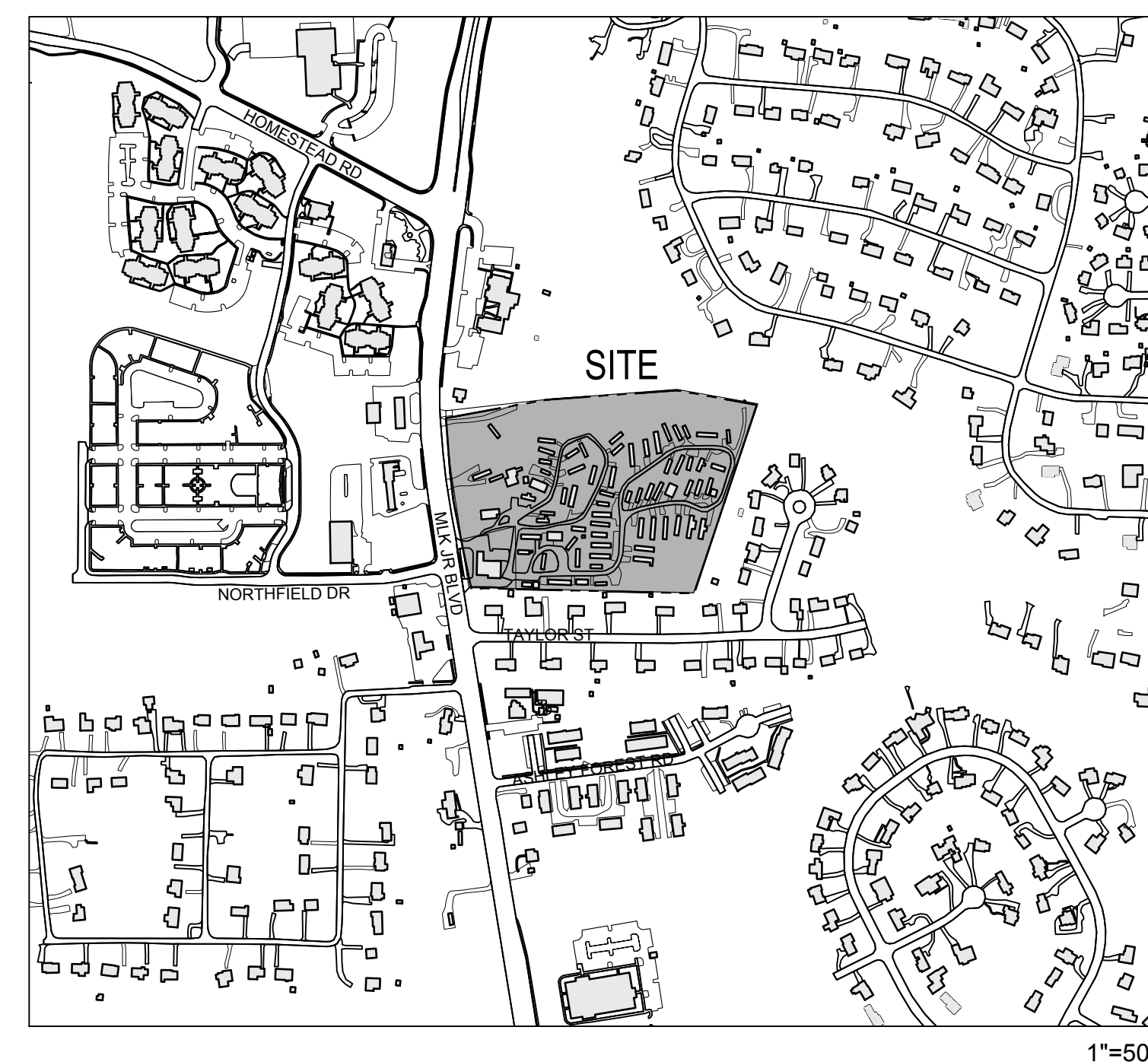
PROPOSED = 45 SPACES PROVIDED
158 SPACES PROVIDED FOR RESIDENTIAL

BICYCLE PARKING:
REQUIRED 6 - CONVENIENCE STORE (4 MIN + 2/2,500 SF)
+ 4 - SELF STORAGE
= 10 SPACES REQUIRED

PROPOSED 8 - SHORT TERM SPACES (4 LOOPS)
+ 2 - LONG TERM SPACES (1 LOOP LOCATED INSIDE CONVENIENCE STORE)
= 10 SPACES (5 LOOPS) PROVIDED

IMPERVIOUS SURFACE:
EXISTING 185,732 SF
PROPOSED 271,416 SF

VICINITY MAP



CONDITIONS OF APPROVAL

- Main Site Entrance at Northfield Dr and Martin Luther King Jr Blvd:** The Applicant shall construct the main entrance with a three lane section with minimum 11-foot wide lanes (two-lane outbound and one lane inbound). Construction details shall be approved by the Town and NCDOT prior to the issuance of Zoning Compliance Permit. Construction shall be completed prior to the issuance of Certificate of Occupancy.
- Second Site Entrance on Martin Luther King Jr Blvd:** The Applicant shall design and construct the second entrance on Martin Luther King Jr Blvd as Right-In and Right-Out-Only entrance. Construction details shall be approved by the Town and NCDOT prior to the issuance of Zoning Compliance Permit. Construction shall be completed prior to the issuance of Certificate of Occupancy.
- Traffic Signal Upgrade:** The Applicant shall upgrade the traffic signal at the intersection of Martin Luther King Jr Blvd and Northfield Dr/Site Entrance with pedestrian amenities (high visibility crosswalks on all approaches and APS equipment), bike activated loops, and appropriate traffic signal phasing and other elements as approved by NCDOT and the Town. Upgraded traffic signal design plans and construction details shall be approved prior to the issuance of Zoning Compliance Permit. Construction shall be completed prior to the issuance of Certificate of Occupancy.
- Payment-in-Lieu for Traffic Signal Timing:** The Applicant shall provide a payment-in-lieu of \$5,000 for traffic signal timing plan revisions shall be provided prior to the issuance of Zoning Compliance Permit. Signal Timing Plans will be revised by the Town Consultant after six months of issuance certificate of occupancy.
- Street lighting:** Prior to the issuance of Certificate of Occupancy, the Applicant shall upgrade the street lighting along the site frontage to LED lighting and AASHTO standards. The design and construction details shall be approved by the Town and NCDOT prior to the issuance of Zoning Compliance Permit.

TOWN OF CHAPEL HILL NOTES

- A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
- P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.
- JORDAN SURETY: PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE OWNER SHALL POST A MAINTENANCE BOND OR OTHER SURETY INSTRUMENT SATISFACTORY TO THE TOWN MANAGER, IN AN AMOUNT EQUAL TO ONE HUNDRED TWENTY-FIVE (125) PERCENT OF THE CONSTRUCTION COST OF EACH STORMWATER MANAGEMENT FACILITY TO ASSURE MAINTENANCE, REPAIR, OR RECONSTRUCTION NECESSARY FOR ADEQUATE PERFORMANCE OF THE STORMWATER MANAGEMENT FACILITY, OR ESTABLISH A STORMWATER MAINTENANCE (SINKING FUND) BUDGET AND ESCROW ACCOUNT IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 5.19 OF THE LAND USE MANAGEMENT ORDINANCE.
- STORMWATER FACILITIES, EASEMENTS, AND OPERATIONS AND MAINTENANCE PLANS: ALL STORMWATER DETENTION, TREATMENT AND CONVEYANCE FACILITIES LOCATED ON AND BELOW THE GROUND SHALL BE WHOLLY CONTAINED WITHIN AN EASEMENT ENTITLED: "RESERVED STORMWATER FACILITY EASEMENT HEREBY DEDICATED" AND SHALL BE RESERVED FROM ANY DEVELOPMENT WHICH WOULD OBSTRUCT OR CONSTRICT THE EFFECTIVE MANAGEMENT, CONTROL, AND CONVEYANCE OF STORMWATER FROM OR ACROSS THE PROPERTY, OTHER THAN THE APPROVED DESIGN AND OPERATION FUNCTIONS. A COPY OF THE FINAL PLAT OR EASEMENT EXHIBIT, SIGNED AND SEALED BY A NORTH CAROLINA-REGISTERED LAND SURVEYOR AND RECORDED BY THE COUNTY REGISTER OF DEEDS, AND CONTAINING THE FOLLOWING NOTES SHALL BE SUBMITTED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
 - ALL ENGINEERED STORMWATER MANAGEMENT CONTROL, TREATMENT, AND CONVEYANCE STRUCTURES ON AND BELOW THE GROUND SHALL BE WHOLLY LOCATED WITHIN AN EASEMENT ENTITLED: "RESERVED STORMWATER FACILITY EASEMENT HEREBY DEDICATED" AND SHALL BE RESERVED FROM ANY DEVELOPMENT WHICH WOULD OBSTRUCT OR CONSTRICT THE EFFECTIVE MANAGEMENT, CONTROL, AND CONVEYANCE OF STORMWATER FROM OR ACROSS THE PROPERTY, OTHER THAN THE APPROVED DESIGN AND OPERATION FUNCTIONS. A SUITABLE MAINTENANCE ACCESS (MINIMUM 20' WIDE) TO ACCOMMODATE HEAVY EQUIPMENT FROM THE NEAREST PUBLIC RIGHT-OF-WAY TO THE RESERVED STORMWATER FACILITY EASEMENT MUST BE PROVIDED AND SHOWN ON THE PLANS.
 - THE "RESERVED STORMWATER FACILITY EASEMENT(S)" AND THE FACILITIES IT THEY PROTECT ARE CONSIDERED TO BE PRIVATE, WITH THE SOLE RESPONSIBILITY OF THE OWNER TO PROVIDE FOR ALL REQUIRED MAINTENANCE AND OPERATIONS AS APPROVED BY THE TOWN MANAGER.
 - THE RESERVED STORMWATER FACILITY EASEMENT AND THE OPERATIONS AND MAINTENANCE PLAN ARE BINDING ON THE OWNER, HEIRS, SUCCESSORS, AND ASSIGNS.
- JORDAN STORMWATER MANAGEMENT FOR NEW DEVELOPMENT: THAT PRIOR TO THE ISSUANCE OF A ZONING COMPLIANCE PERMIT, THE APPLICANT SHALL SUBMIT THE FINAL JORDAN ACCOUNTING TOOL SPREADSHEET, STORMWATER REPORT, AND PLANS FOR REVIEW AND APPROVAL BY THE TOWN MANAGER. THIS PROJECT MUST COMPLY WITH THE JORDAN STORMWATER MANAGEMENT REGULATIONS OF THE LAND USE MANAGEMENT ORDINANCE TO PROVIDE THE REQUIRED REDUCTIONS IN NITROGEN AND PHOSPHORUS LOADS FOR NEW DEVELOPMENT AND REDEVELOPMENT PROJECTS.
- STORMWATER MANAGEMENT PLAN: THAT PRIOR TO THE ISSUANCE OF A ZONING COMPLIANCE PERMIT, THE APPLICANT SHALL SUBMIT A STORMWATER MANAGEMENT PLAN FOR REVIEW AND APPROVAL BY THE TOWN MANAGER. THIS PROJECT MUST COMPLY WITH THE STORMWATER MANAGEMENT REQUIREMENTS OF THE LAND USE MANAGEMENT ORDINANCE TO PROVIDE FOR 85 PERCENT TOTAL SUSPENDED SOLIDS REMOVAL FROM THE INCREASED IMPERVIOUS AREA, RETENTION FOR 2-5 DAYS OF THE INCREASED VOLUME OF STORMWATER RUNOFF FROM THE 2-YEAR, 24-HOUR STORM, AND CONTROL OF THE STORMWATER RUNOFF RATE FOR THE 1-YEAR, 2-YEAR, AND 25-YEAR STORMS.

LIST OF SHEETS:

C000	COVER SHEET
C100	AREA MAP
C101	EXISTING CONDITIONS PLAN
C102	PLAN NOTES
C200	SITE PLAN
C201	ELEVATION MASSING
C202	UNIT RELOCATION PLAN
C300	GRADING PLAN
C900	UTILITY PLAN
	LIGHTING PLAN
	LANDSCAPE PLAN
C700	SITE DETAILS
C800	SITE DETAILS
C801	SITE DETAILS
A-1	ARCHITECTURAL ELEVATION

RESOURCE CONSERVATION NOTES

STREAM BUFFERS:
THERE IS A MAPPED STREAM AND ASSOCIATED STREAM BUFFER LOCATED ON SITE. A DETERMINATION WAS COMPLETED BY CHAPEL HILL PUBLIC WORKS TO VERIFY THAT THE STREAM SHOWING UP ON THE ORANGE COUNTY SOIL SURVEY EXISTS.

FLOODPLAIN PROTECTION:
THE SITE IS AN AREA AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAPS 3710978900 J (FEB. 2 2007).

STEEP SLOPE PROTECTION:
THERE ARE STEEP SLOPES ON SITE LOCATED PRIMARILY WITHIN THE RCD.

WETLANDS:
THERE ARE NO MAPPED WETLANDS ONSITE.

TREE PROTECTION:
REFER TO SHEET C101 AND C700.

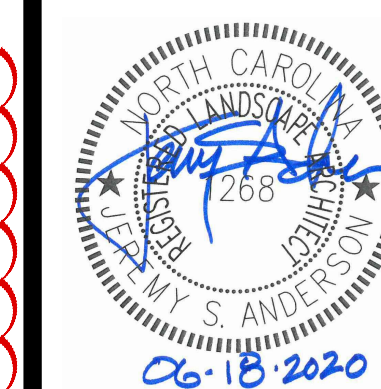
Project:

1200 MLK

1200 & 1204
Martin Luther King Jr.
Boulevard

Orange County,
North Carolina

PIN:
9789297279
9789392409



PRELIMINARY-DO NOT
USE FOR CONSTRUCTION

Job Number: 1858

Drawn	JSA, MTC
Checked	JSA
Date	5-31-2019 SUP
Revisions	8-06-2019 SUP Rev. 1
	4-17-2020 SUP Rev. 2
	6-18-2020 SUP Rev. 3

Special Use Permit

Sheet Title:

**COVER
SHEET**

Sheet Number

C000



TOPOGRAPHY/SLOPES:

THE SITE SLOPES FROM SOUTHWEST TO NORTHEAST, AND DROPS APPROXIMATELY 44 FEET OVER THE LENGTH OF THE SITE.

THE SITE HAS SLOPES OF 1% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

EXISTING SLOPES:

THERE ARE STEEP SLOPES LOCATED IN THE RCD ON THIS SITE.

HYDROLOGICAL FEATURES/DRAINAGE

THE SITE GENERALLY DRAINS FROM SOUTHWEST TO NORTHEAST, EVENTUALLY DRAINING INTO A TRIBUTARY OF KINGS BRANCH STREAM THAT RUNS ROUGHLY PARALLEL WITH THE NORTHERN PROPERTY LINE.

SOIL TYPES

THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES TWO SOIL TYPES ON THIS SITE.

- T0: TARRUS SILT LOAM
- H1C: HERNDON SILT LOAM
- G0B: GEORGEVILLE SILT LOAM (2-6% SLOPES)
- G0C: GEORGEVILLE SILT LOAM (6-10% SLOPES)

SUN/SHADE PATTERNS

THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE STRUCTURES DURING THE COURSE OF THE DAY. THE FRONT ENTRIES WILL GET MORNING SUN. EXISTING TREES WILL BE RETAINED SOUTH AND WEST OF THE BUILDING TO PROVIDE SHADE FOR THESE SIDES OF THE BUILDING.

TREES WILL BE ADDED TO THE NEW PARKING TO PROVIDE SHADE AND MEET MINIMUM REQUIREMENTS. TREES AND SHRUBS WILL BE ADDED TO ALL UNPAVED AREAS TO PROVIDE AS MUCH SHADE AND LANDSCAPING AS POSSIBLE.

FEMA FLOODPLAIN INFORMATION.

THERE IS MAPPED FLOODPLAIN ON SITE PER FEMA PANEL 3710978900J DATED 2/2/2007

SPECIAL FEATURES

THIS PROPERTY HAS FRONTAGE ON MARTIN LUTHER KING JR. BLVD.

VEGETATION

THE SITE CONTAINS OF MIX OF VARIOUS HARDWOODS AND PINES.

2 SITE NOTES

C100

LEGEND

- Water Valve
- Curb Inlet/Catch Basin
- Mail Box
- Traffic Signal Box
- Electric Transformer
- Electric Junction Box
- Gas Meter
- Sanitary Sewer Manhole
- Storm Sewer Manhole
- Telephone Manhole
- Electric Manhole
- Sign
- Telephone Pedestal
- Fire Hydrant
- Post Indicator Valve
- Water Manhole
- Water Meter
- Hot Box
- Utility Pole
- Light Pole
- Sewer Cleanout
- Flared End Section
- Gas Valve
- Existing Iron Pipe (3/4" unless noted)
- 1/2" Iron Pipe Set
- Existing PK Nail
- PK Nail Set
- Computed Point
- Concrete Monument
- Tree Line
- Fence
- Underground Electric
- Underground Telephone
- Gas Line
- Water Line
- Overhead Utilities
- Storm Sewer
- Sanitary Sewer
- Guard Rail

1 AREA MAP
1" = 140'-0"



Coulter Jewell Thames
PA

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Durham, N.C. 27701
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www.cjtpa.com

NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # C-1268
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

Project:

1200 MLK

1200 & 1204
Martin Luther King Jr.
Boulevard
Orange County,
North Carolina

PIN:
9789297279
9789392409



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

Job Number: 1858

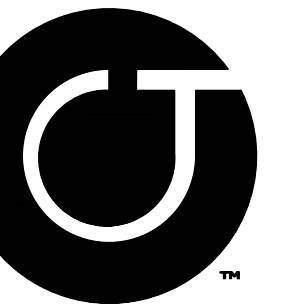
Drawn	JSA, MTC
Checked	JSA
Date	5-31-2019 SUP
Revisions	8-06-2019 SUP Rev. 1
	4-17-2020 SUP Rev. 2
	6-18-2020 SUP Rev. 3

Special Use Permit

Sheet Title:

AREA MAP

Sheet Number
C100



**Coulter
Jewell
Thames** P.A.

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NO BOARD OF EXAMINERS FOR
ENGINEERS AND SURVEYORS
LIC # C-1098
NO BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104

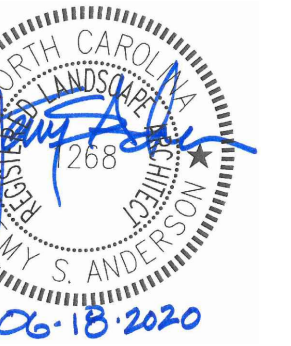
Project:

1200 MLK

1200 & 1204
Martin Luther King Jr.
Boulevard

Orange County,
North Carolina

PIN:
9789297279
9789392409



PRELIMINARY-DO NOT
USE FOR CONSTRUCTION

Job Number: 1658

Drawn JSA, MTC
Checked JSA
Date 5-31-2019 SUP
Revisions 8-06-2019 SUP Rev. 1
4-17-2020 SUP Rev. 2
6-18-2020 SUP Rev. 3

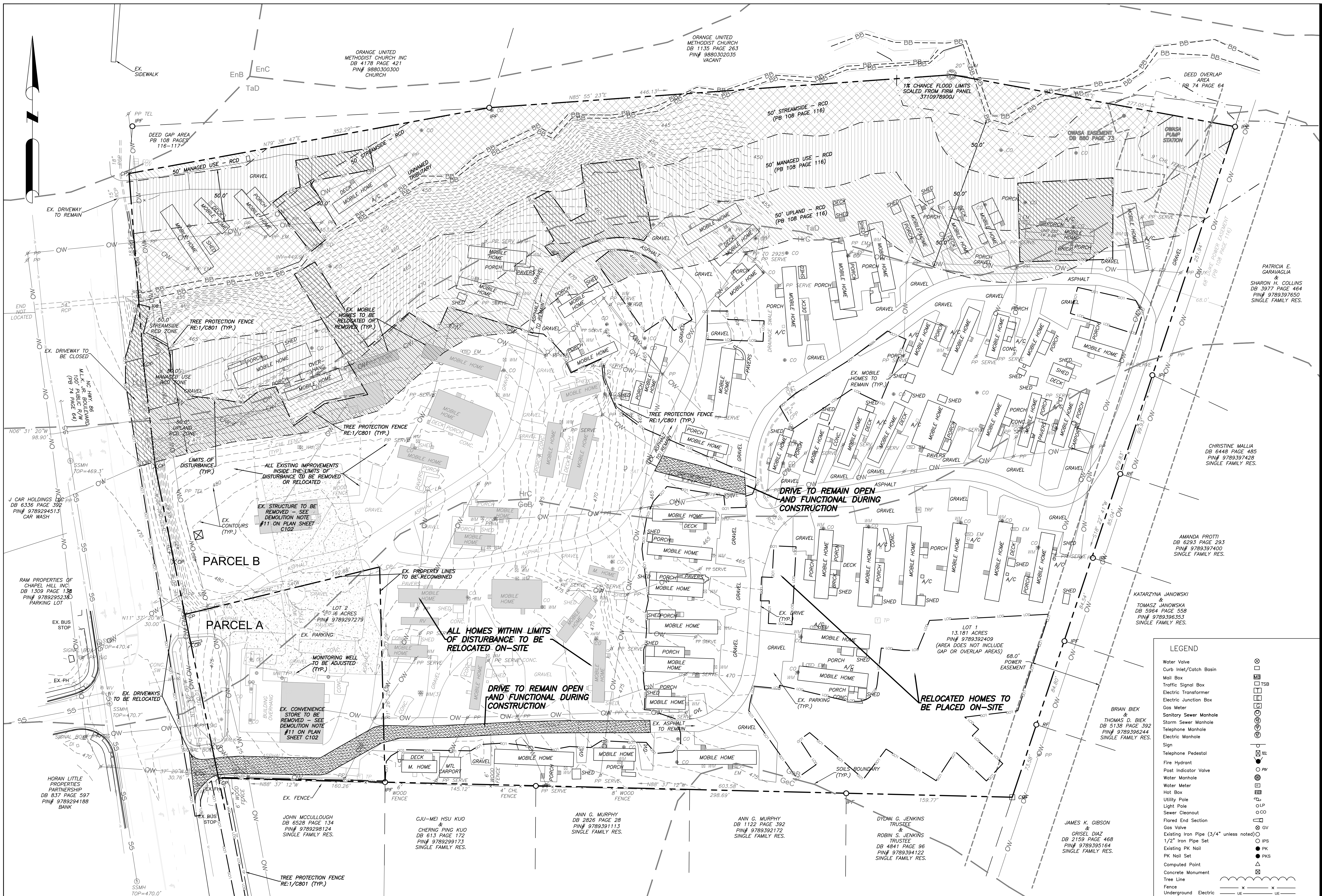
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Sheet Title:

**EXISTING
CONDITIONS
& DEMOLITION**

Sheet Number

C101



LEGEND

Water Valve	
Curb Inlet/Catch Basin	
Mail Box	
Traffic Signal Box	
Electric Transformer	
Electric Junction Box	
Gas Meter	
Sanitary Sewer Manhole	
Storm Sewer Manhole	
Telephone Manhole	
Electric Manhole	
Sign	
Telephone Pedestal	
Fire Hydrant	
Post Indicator Valve	
Water Manhole	
Water Meter	
Hot Box	
Utility Pole	
Light Pole	
Sewer Cleanout	
Flored End Section	
Gas Valve	
Existing Iron Pipe (3/4" unless noted)	
1/2" Iron Pipe Set	
Existing PK Nail	
PK Nail Set	
Computed Point	
Concrete Monument	
Tree Line	
Fence	
Underground Electric	
Underground Telephone	
Gas Line	
Water Line	
Overhead Utilities	
Storm Sewer	
Sanitary Sewer	
Guard Rail	

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C101

EXISTING CONDITIONS & DEMOLITION PLAN

1" = 40'-0"

SEE NOTES RE:2/C102



ADA route notes apply to all sheets

FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

- 1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
- 2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
- 3. MINIMUM 1" SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
- 4. ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA – PARKING SPACES AND AISLES.
- 5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
- 6. PARKING – NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.
- 7. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%. CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
- 8. SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

1 C102

GENERAL NOTES

- 1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
- 2. SEE SITE PLAN SHEET C101 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
- 3. UTILITIES: SEE UTILITY PLAN C500. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
- 4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
- 5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
- 6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDINGS MATERIALS.
- 7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- 8. ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
- 9. ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
- 10. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY SPECIFICATIONS AND STANDARDS.
- 11. A DEMOLITION ASSESSMENT MUST BE CONDUCTED BY OCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING CONVENIENCE STORE AND 2 STORY STRUCTURE. CONTACT OCSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT.
- 12. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- 13. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- 14. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- 15. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- 16. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- 17. DEMOLITION PERMIT REQUIRED TO REMOVE 5,200 SF STORE.
- 18. ASBESTOS ABATEMENT REPORT REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
- 19. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS, 2018 NC FIRE CODE SECTION 105.6.17 #5.
- 20. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS, 2018 NC FIRE CODE SECTION 105.6.17 #7.
- 21. TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006

2 C102

DEMOLITION NOTES

- 1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- 2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- 3. LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- 4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- 5. ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- 6. REFERENCE EXISTING CONDITION SHEET C101 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- 7. BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- 8. BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- 9. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- 10. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- 11. MASONRY WALLS WILL NOT BE REPAIRED BY THE TOWN RESULTING FROM MAINTENANCE ON TOWN OF CHAPEL HILL AND OWASA MAINTAINED UTILITIES.
- 12. THERE WILL BE TWO CLASS 1 BIKE RACKS LOCATED INSIDE THE BUILDING.
- 13. KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
- 14. MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
- 15. PRIOR TO PERFORMING WORK IN THE NCDOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
 - (1) APPROVED NCDOT DRIVEWAY PERMITS FOR PROPOSED ACCESSSES TO NC 86.
 - (2) APPROVED NCDOT THREE-PARTY ENFORCEMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPURTENANCES.
 - (3) APPROVED NCDOT THREE-PARTY ENFORCEMENT AGREEMENT WITH OWASA FOR PROPOSED WATER AND SEWER CONNECTIONS.
- 16. PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCDOT, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.

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SITE PLAN NOTES

- 1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- 3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- 4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- 5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- 6. SOIL UNDER BUILDING PAVED, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
- 7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
- 8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
- 9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
- 10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
- 11. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
- 12. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.
- 13. AN TOWN OF CHAPEL HILL ENCROACHMENT AGREEMENT WILL BE NEEDED FOR THE ROUGH GRADING FOR THE FUTURE SIDEWALK WITHIN THE COLLEIDGE ROAD RIGHT-OF-WAY.
- 14. AN ENCROACHMENT AGREEMENT WILL BE NEEDED FOR THE ROUGH GRADING FOR THE FUTURE SIDEWALK WITHIN THE COLLEIDGE ROAD RIGHT-OF-WAY.

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GRADING NOTES

- 1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
- 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
- 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
- 5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
- 6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
- 7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMING BLOW OR PROOF ROLLING.
- 8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
- 9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
- 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
- 11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.

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STORM DRAINAGE NOTES

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EROSION CONTROL NOTES

- 1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- 2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- 4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- 5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHALL BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- 6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES, NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- 7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- 8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- 9. PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS.

SANITARY SEWER:

- 1. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- 2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- 3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- 4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- 1. WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- 2. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- 3. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE, HAVING WATER MAIN QUALITY JOINTS.
- 4. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- 5. MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- 6. ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMASE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- 7. A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE SELF-STORAGE FACILITY.
- 8. A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY NEW UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.

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UTILITY NOTES

LIGHTING CONDUIT

LIGHTING CONDUIT SHALL MEET THE FOLLOWING GUIDELINES.

- 1. CONDUIT DESIGN MUST BE APPROVED BY DUKE ENERGY PRIOR TO INSTALLATION. CHANGING THE CONDUIT LAYOUT CAN CAUSE CONDUCTOR LENGTH TO EXCEED ACCEPTABLE VOLTAGE LEVEL WHICH WILL AFFECT THE LIGHT'S ABILITY TO OPERATE.
- 2. ALL CONDUITS ARE TO BE 2" SCHEDULE 40 GRAY ELECTRICAL PVC.
- 3. ALL JOINTS ARE TO BE GLUED.
- 4. ALL ENDS ARE TO BE MARKED WITH SCRAP CONDUIT OR A BOARD (PAINTING THE GROUND WITH MARKING PAINT IS NOT ACCEPTABLE). IT IS STRONGLY SUGGESTED THAT THE ENDS SHOULD BE IDENTIFIED BY GPS COORDINATES.
- 5. ALL ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
- 6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A STRING INSTALLED.
- 7. TO COMPLY WITH NESC; ALL CONDUIT ARE TO BE INSTALLED AT A MINIMUM DEPTH OF 30" FROM FINISH GRADE TO TOP OF CONDUIT. CONDUITS THAT CAN NOT MEET THIS CRITERIA MUST BE INCASED IN 3" MINIMUM CONCRETE ENVELOPE. (FLOWABLE FILL IS ACCEPTABLE IN PLACE OF CONCRETE).
- 8. IF CONCRETE ENCASED CONDUIT IS REQUIRED AT ANY POINT, IT MUST BE ENCASED IN CONCRETE UNTIL PIPE IS BACK DOWN TO REQUIRED DEPTH.
- 9. PEDESTAL AREAS WHERE MULTIPLE CONDUIT ENDS TERMINATE ARE TO HAVE THE CONDUIT ENDS WITHIN 12" OF EACH OTHER.
- 10. DIRECT BURIED LIGHT POLE AREAS ARE TO HAVE CONDUITS TERMINATE 36" APART AND 12" BACK OF POLE LOCATION.
- 11. CONDUITS SERVING LIGHTS ON CONCRETE REVEALS ARE TO BE CONTINUOUS FROM REVEAL TO REVEAL.

LIGHTING NOTES

- 1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
- 2. PROVIDE 2" PVC CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AS NECESSARY, AND AS DETERMINED BY DUKE ENERGY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES. COORDINATE WITH DUKE ENERGY TO FINALIZE CONDUIT LOCATIONS AND LENGTHS.

SPECIAL COORDINATION NOTES:

- 1. CONTRACTOR IS TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS WITH DUKE ENERGY PRIOR TO INSTALLATION OF WALLS AND PAVING.
- 2. ABOVE GROUND PESTALS AND LIGHT POLES WILL BE PROVIDED AND INSTALLED BY DUKE ENERGY.
- 3. CONTRACTOR IS TO REFER TO DUKE ENERGY SPECIFICATIONS FOR CONDUIT INSTALLATION.
- 4. CONDUIT IS TO BE FURNISHED AND INSTALLED BY CONTRACTOR.

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LIGHTING NOTES

- 1. LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- 2. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- 3. IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- 4. BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- 5. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELV WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- 6. CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- 7. IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- 8. CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- 9. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- 10. CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- 11. MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- 12. ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- 13. IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- 14. ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- 15. LINE OF SIGHT NOTE; NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7' ABOVE FINISHED GRADE.
- 16. ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- 17. THE AREA WITHIN THE SIGHT TRIANGLE AREA SHALL BE THINNED OF ALL SHRUBS, UNDERSTORY TREES UNDER 1" IN CALIPER, VINES, AND DEAD PLANT MATERIAL. EXISTING TREES LARGER THAN 1" SHALL BE LIMBED UP TO 7' ABOVE EXISTING GRADE TO IMPROVE VISIBILITY.

9 C102

LANDSCAPE NOTES

- 1. NCFC Section 510. Emergency responder radio coverage in new buildings. All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems.
- 2. FIRE WATCH: During construction and demolition where hot work, materials subject to spontaneous combustion, or other hazardous construction or demolition is occurring, the owner or their designee shall be responsible for maintaining a fire watch. The fire watch shall consist of at least one person with a means of communicating an alarm to 911, shall have a written address posted in a conspicuous location, and shall maintain constant patrols. 2018 NCFC Section 3304.5
- 3. CONSTRUCTION/DEMOLITION: All Construction and demolition conducted shall be in compliance of the current edition of the NC Fire Code, 2018 NCFC Chapter 33
- 4. FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A working space of not less than 36" in width and depth and a working space of 78" in height shall be provided on all sides with the exception of wall mounted FDCs unless otherwise approved by the fire code official. The FDCs where required must be physically protected by an approved barrier from impacts. 2018 NCFC Section 912
- 5. FIRE PROTECTION AND UTILITY PLAN: Shall include the fire flow report; for a hydrant within 500' of each building, provide the calculated gallons per minute of water with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of NC and accompanied by a water supply flow test conducted within one year of the submittal. Reference Town Design Manual for required gallons per minute.
- 6. AUTOMATIC FIRE SPRINKLER SYSTEM REQUIRED: An automatic fire sprinkler system meeting the requirements of NFPA Standard #13 is required to be installed in non-residential construction, as follows:
 - (1) In new non-residential structures if:
 - i. The building has more than 6,000 square feet of floor area;
 - ii. Twenty (20) per cent or more of the total floor area is more than two hundred (200) feet of travel distance from the nearest access point for a fire truck; or
 - iii. The building exceeds two (2) stories or twenty-four (24) feet in height from the average grade of the lot to the windows on the topmost occupied floor.

- In addition, all connections shall be located on the street side of each building, and activation of the sprinkler system shall activate both a local building alarm and a supervisory alarm at a twenty-four (24) hour certified and licensed alarm monitoring service. Town Ordinance 7-56
- 7. WATER SUPPLY FOR FIRE PROTECTION: When required. An approved water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material arrives on the site. 2018 NCFC 3312
- 8. KEY BOXES, 506.1 Where required. Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the fire code official is authorized to require a key box to be installed in an approved location. The key box shall be of an approved type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the fire code official. 2018 NCFC 506.1
- 9. ADDRESS IDENTIFICATION: 505.1 Address identification. New and existing buildings shall be provided with approved address identification. The address identification shall be legible and placed in a position that is visible from the street or road front the property. Address identification characters shall contrast with their background. Address numbers shall be Arabic numerals or alphabetical letters. Numbers shall not be spelled out. Each character shall be not less than 6 inches (153 mm) high with a minimum stroke width of 3/4 inch (20 mm). Where required by the fire code official, address identification shall be provided in additional approved locations to facilitate emergency response. Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole, or other sign or means shall be used to identify the structure. Address identification shall be maintained. 2018 NCFC 505.1
- 10. AERIAL FIRE APPARATUS ACCESS ROADS; D105.4 Obstructions. Overhead utility and power lines shall not be located over the aerial fire apparatus access road or between the aerial fire apparatus road and the building. Other obstructions shall be permitted to be placed with the approval of the fire code official. 2018 NCFC Appendix D105
- 11. FIRE LANES: Where required by the fire code official, approved signs or other approved notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which fire lanes are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. 2018 NCFC Section 503.3 and Appendix D 103.6, D 103.6.1, D 103.6.2
- 12. FIRE APPARATUS ACCESS ROADS AUTHORITY; 503.2. Authority. The fire code official shall have the authority to require or permit modifications to the required access widths where they are inadequate for fire or rescue operations or where necessary to meet the public safety objectives of the jurisdiction. 2018 NCFC Section 503
- 13. FIRE APPARATUS ACCESS ROADS;
 - (1) 503.1 Where required. Fire apparatus access roads shall be provided and maintained in accordance with Sections 503.1.1 through 503.1.3
- 14. TRAFFIC CALMING DEVICES. Traffic calming devices shall be prohibited unless approved by the fire code official. 2018 NCFC 503.4.1
- 15. OBSTRUCTION OF FIRE APPARATUS ACCESS ROADS. Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Sections 503.2.1 and 503.2.2 shall be maintained at all times. 2018 NCFC 503.4
- 16. FIRE DEPARTMENT ACCESS/CONSTRUCTION: During construction, vehicle access for firefighting shall be provided. Temporary street signs shall be installed at each street intersection when construction allows the passage of vehicles. Signs shall be of an approved size, weather resistant, and maintained until replaced by permanent signs. 2018 NCFC Section 505.2
- 17. FIRE DEPARTMENT ACCESS/CONSTRUCTION: Fencing around projects shall include access gates with a 20 foot swing or slide motion. Any access which will be inaccessible for firefighting or rescue operations shall be noted. Emergency access designation for apparatus shall be provided. 2018 NCFC Section 503, Appendix D.
- 18. FIRE DEPARTMENT ACCESS: All turns, radii, bridges, and depressions within roadways shall be designed and constructed to be accessible by the largest fire apparatus operated by the Town of Chapel Hill. Technical information on this equipment is available from the Towns Fire Marshal. 2018 NCFC Section 503, Appendix D.

10 C102

FIRE NOTES • FIRE NOTES ABOVE WILL BE ADDRESSED DURING ZCP AND/OR BUILDING PERMIT PLANS.

ENGINEERING · PLANNING · LANDSCAPE ARCHITECTURE

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NC BOARD OF EXAMINERS FOR
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LIC # C-1088
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104

Project:

1200 MLK

1200 & 1204
Martin Luther King Jr.
Boulevard
Orange County
North Carolina

PN:
9789297279
9789392409

PRELIMINARY-DO NOT
USE FOR CONSTRUCTION

Job Number: 1858

Drawn	JSA, MTC
Checked	JSA
Date	5-31-2019 SUP
Revisions	8-06-2019 SUP Rev. 1
	4-17-2020 SUP Rev. 2
	6-18-2020 SUP Rev. 3

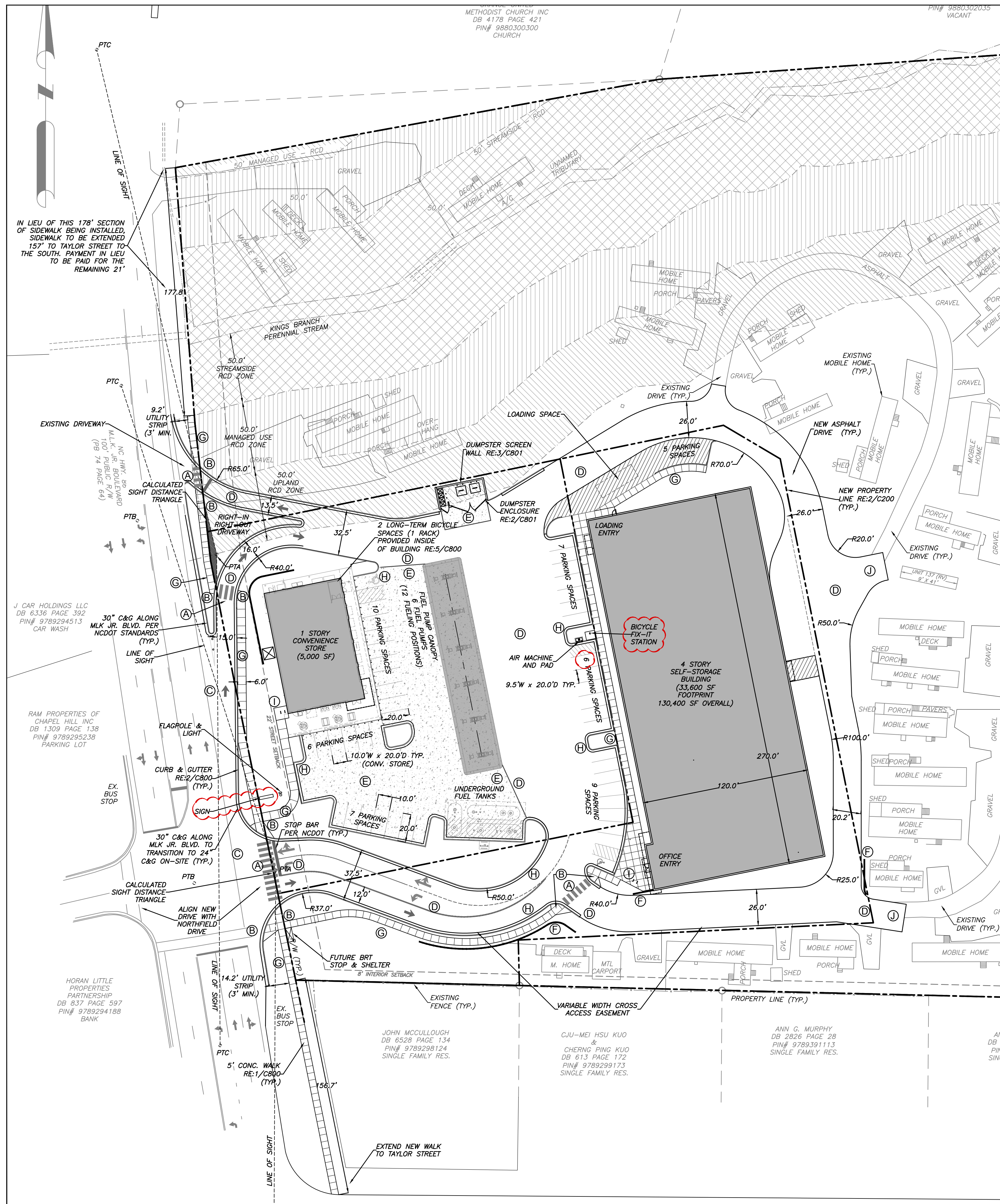
Special Use Permit

Sheet Title:

NOTES

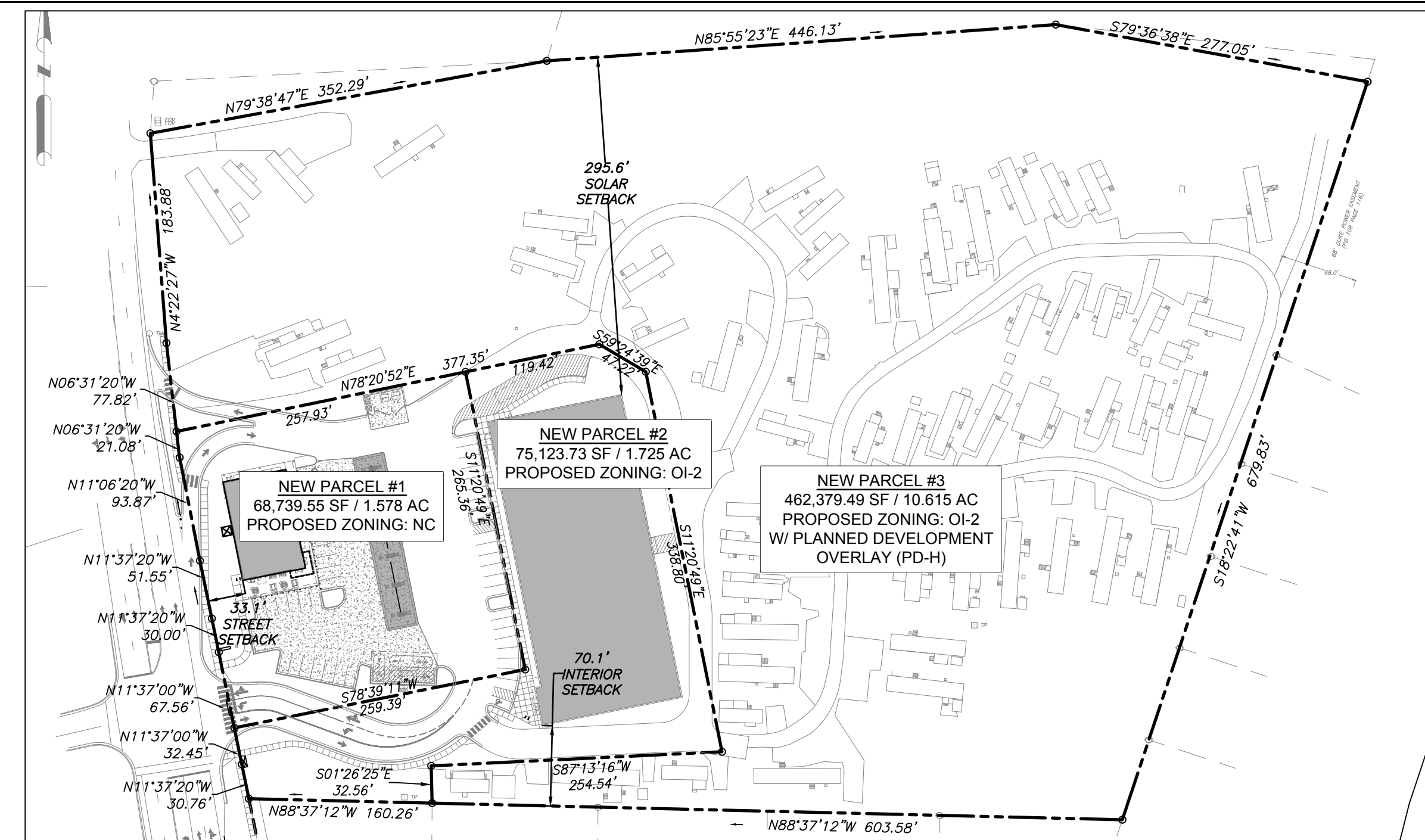
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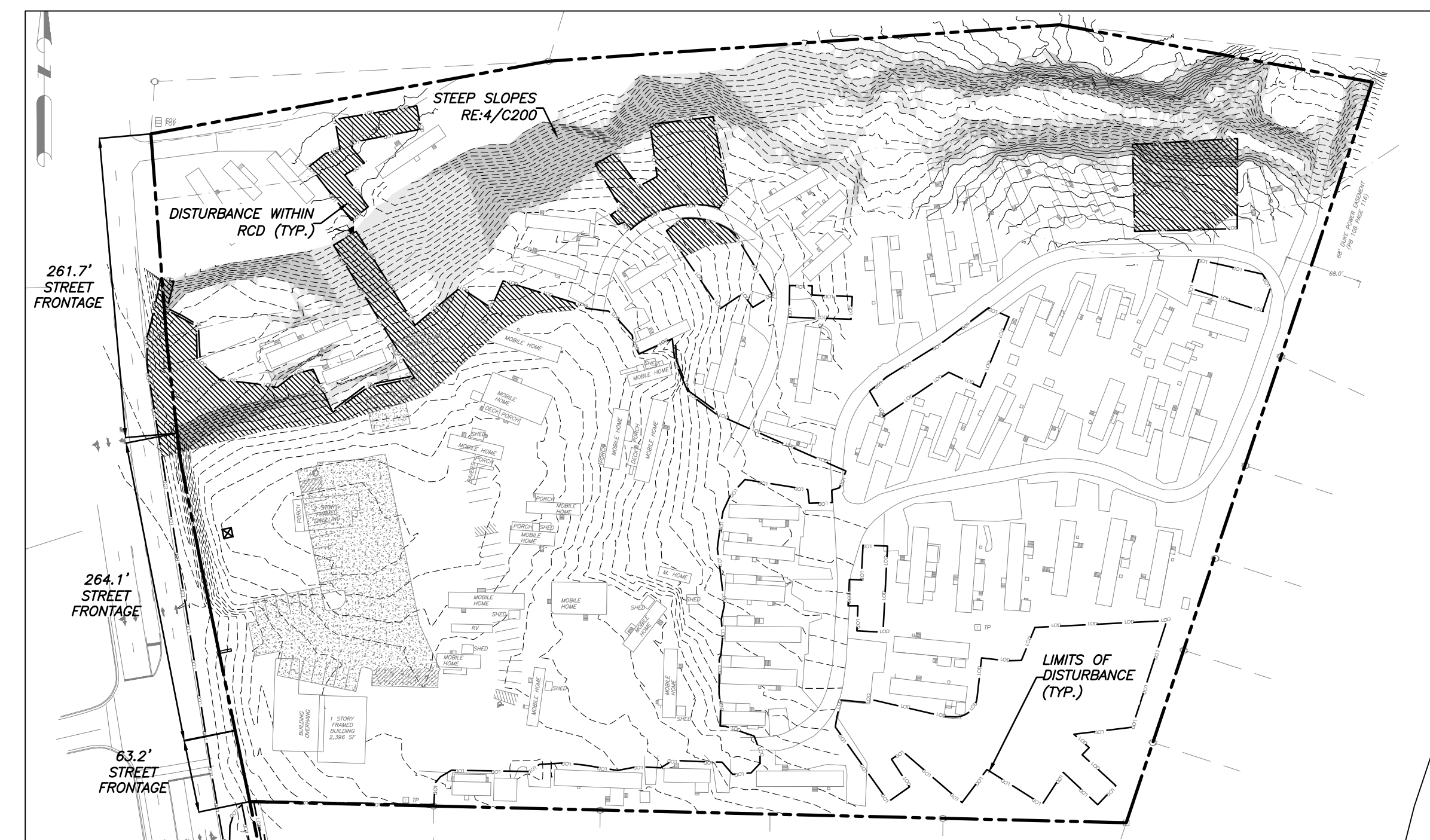
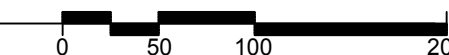


1 SITE PLAN
1" = 40'-0"

SEE NOTES RE: 3/C102



2 NEW LOTS & BUILDING SETBACKS
1" = 100'-0"



3 RCD SLOPE ANALYSIS & LOT FRONTAGE CALLOUTS
1" = 100'-0"



SITE PLAN KEY

- A CROSSWALK RE: 10/C800
- B ADA RAMP WITH DETECTABLE WARNING DOMES PER TOWN OF CHAPEL HILL STANDARD DETAIL ST-5.1 RE: 8/C801
- C VALLEY GUTTER RE: 9/C800
- D HEAVY DUTY ASPHALT PAVEMENT RE: 3/C800
- E HEAVY DUTY CONCRETE PAVEMENT RE: 4/C800
- F KEYSTONE RETAINING WALL
- G CONCRETE SIDEWALK RE: 1/C800
- H CURB & GUTTER RE: 2/C800
- I BICYCLE RACK RE: 7/C801
- J FIRE TRUCK TURNAROUND

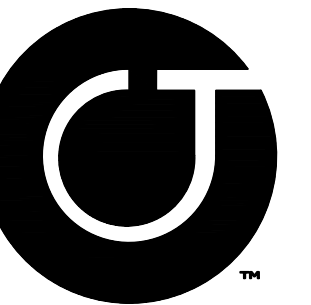
DIMENSIONAL STANDARDS

Zone	Size (min.)	Frontage (min.)	Width (min.)
NC	5,500 sf	40'	40'
OI-2	5,500 sf	40'	40'

LEGEND

- SLOPES > 25%
34,976 SF
PROPOSED 1,269 SF ESTIMATED
DISTURBANCE OF SLOPES > 25%
- SLOPES 15%-25%
32,651 SF
PROPOSED 1,423 SF ESTIMATED
DISTURBANCE OF SLOPES 15%-25%
- AREA NOT HATCHED
REPRESENTS SLOPES < 15%
538,616 SF

4 SLOPE SUMMARY
C200



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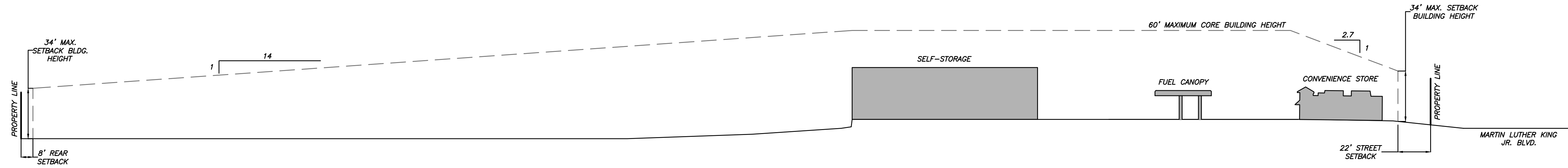
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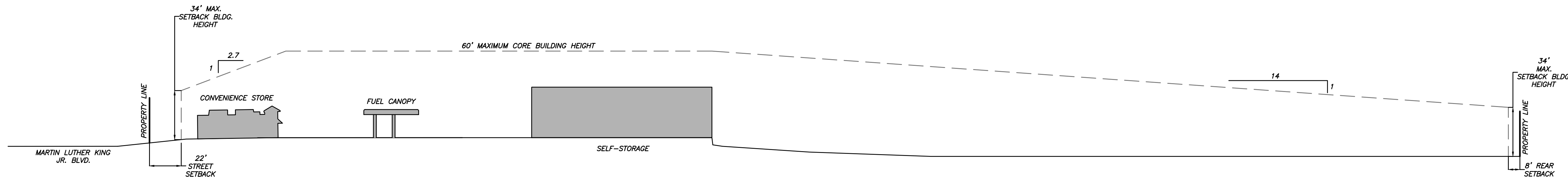
SITE PLAN

Sheet Number

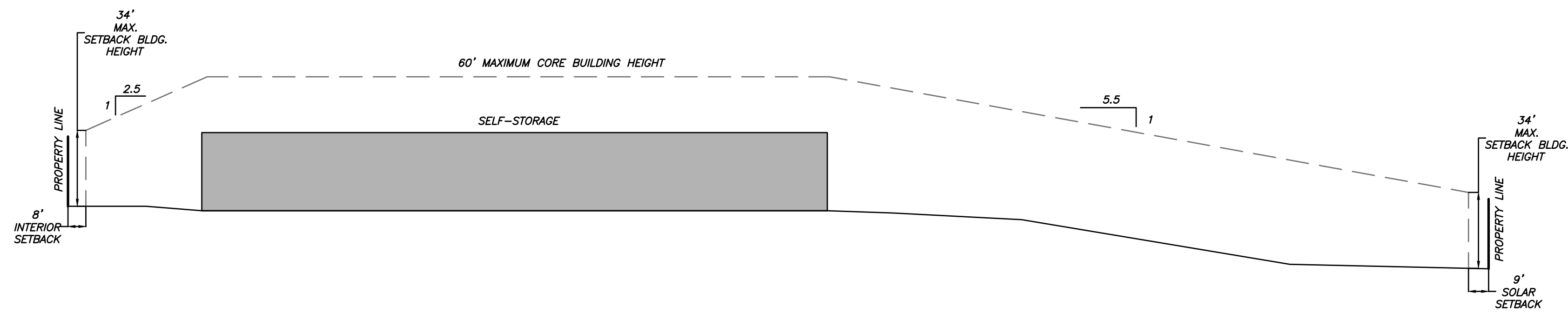
C200



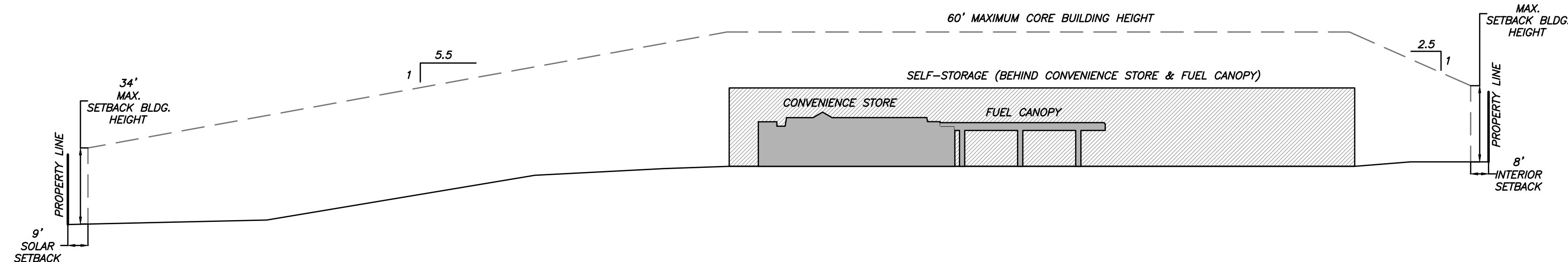
1 NORTH ELEVATION
C201 1" = 40'-0"



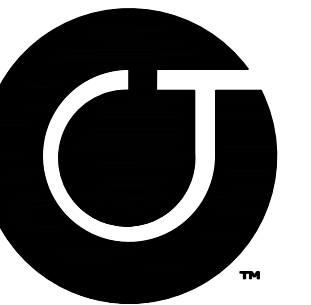
2 SOUTH ELEVATION
C201 1" = 40'-0"



3 EAST ELEVATION
C201 1" = 40'-0"



4 WEST ELEVATION
C201 1" = 40'-0"



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Boulevard

Orange County,
North Carolina

PIN:
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9789392409



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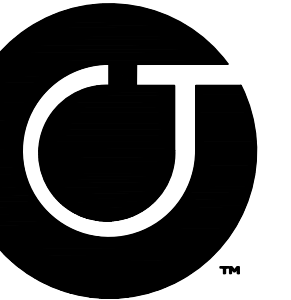
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Sheet Title:

EXTERIOR
ELEVATION
MASSING

Sheet Number

C201



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LIC # C-1098
NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104

PATRICIA E.
GARAVAGLIA
&
SHARON H. COLLINS
DB 3977 PAGE 464
PIN# 9789397650
SINGLE FAMILY RES.

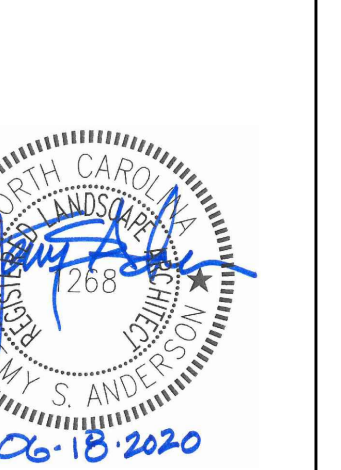
Project:

1200 MLK

1200 & 1204
Martin Luther King Jr.
Boulevard

Orange County,
North Carolina

PIN:
9789297279
9789392409



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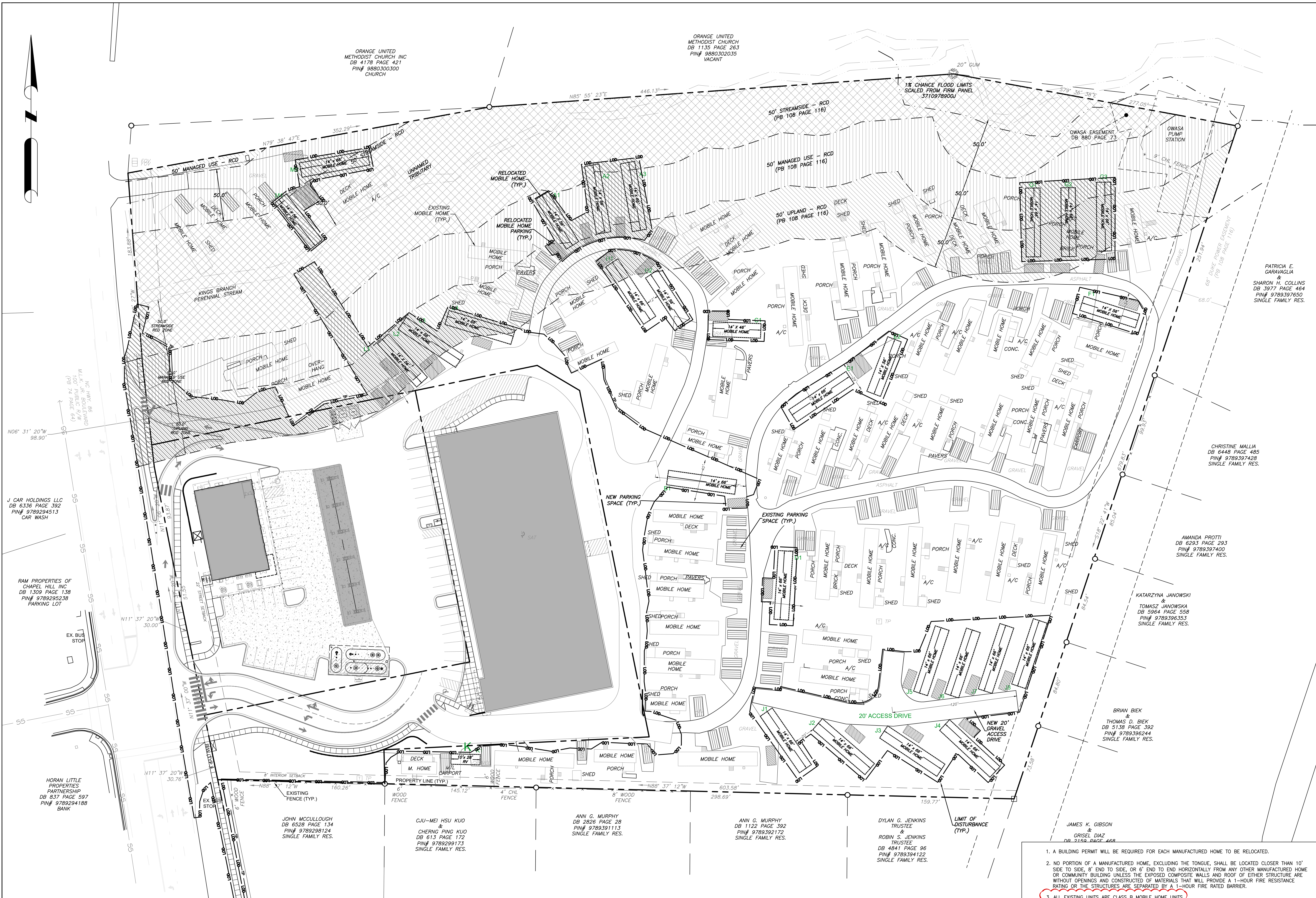
Special Use Permit

Sheet Title:

**UNIT
RELOCATION
PLAN**

Sheet Number

C202



1. A BUILDING PERMIT WILL BE REQUIRED FOR EACH MANUFACTURED HOME TO BE RELOCATED.
2. NO PORTION OF A MANUFACTURED HOME, EXCLUDING THE TONGUE, SHALL BE LOCATED CLOSER THAN 10' SIDE TO SIDE, 8' END TO SIDE, OR 6' END TO END HORIZONTALLY FROM ANY OTHER MANUFACTURED HOME OR COMMUNITY BUILDING UNLESS THE EXPOSED COMPOSITE WALLS AND ROOF OF EITHER STRUCTURE ARE WITHOUT OPENINGS AND CONSTRUCTED OF MATERIALS THAT WILL PROVIDE A 1-HOUR FIRE RESISTANCE RATING OR THE STRUCTURES ARE SEPARATED BY A 1-HOUR FIRE RATED BARRIER.
3. ALL EXISTING UNITS ARE CLASS B MOBILE HOME UNITS.

2
UNIT RELOCATION NOTES

1
UNIT RELOCATION PLAN
1" = 40'-0"



ORANGE UNITED
METHODIST CHURCH INC
DB 4178 PAGE 421
PIN# 9880300300
CHURCH

ORANGE UNITED
METHODIST CHURCH
DB 1135 PAGE 263
PIN# 9880302035
VACANT

J CAR HOLDINGS LLC
DB 6336 PAGE 392
PIN# 9789294513
CAR WASH

RAM PROPERTIES OF
CHAPEL HILL INC
DB 1309 PAGE 138
PIN# 9789295238
PARKING LOT

HORAN LITTLE
PROPERTIES
PARTNERSHIP
DB 837 PAGE 597
PIN# 9789294188
BANK

JOHN MCCULLOUGH
DB 6528 PAGE 134
PIN# 9789298124
SINGLE FAMILY RES.

CHI-MEI HSU KUO
&
CHERNG PING KUO
DB 613 PAGE 172
PIN# 978929173
SINGLE FAMILY RES.

ANN G. MURPHY
DB 2826 PAGE 28
PIN# 9789391113
SINGLE FAMILY RES.

ANN G. MURPHY
DB 1122 PAGE 392
PIN# 9789392172
SINGLE FAMILY RES.

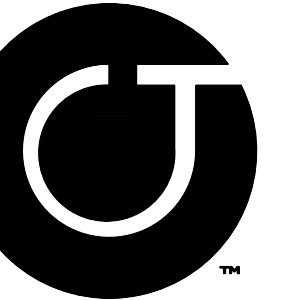
DYLAN G. JENKINS
TRUSTEE
&
ROBIN S. JENKINS
TRUSTEE
DB 4841 PAGE 96
PIN# 9789394122
SINGLE FAMILY RES.

BRIAN BIEK
&
THOMAS D. BIEK
DB 5138 PAGE 392
PIN# 9789396244
SINGLE FAMILY RES.

AMANDA PROTTI
DB 6293 PAGE 293
PIN# 9789397428
SINGLE FAMILY RES.

KATARZYNA JANOWSKI
&
TOMASZ JANOWSKA
DB 5964 PAGE 558
PIN# 9789396353
SINGLE FAMILY RES.

JAMES K. GIBSON
&
GRISSEL DIAZ
DB 2159 PAGE 468



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	6-18-2020 SUP Rev. 3

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Sheet Title:

**GRADING
& STORM
DRAINAGE PLAN**

Sheet Number
C300



LEGEND

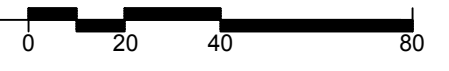
Water Valve	
Curb Inlet/Catch Basin	
Mail Box	
Traffic Signal Box	
Electric Transformer	
Electric Junction Box	
Gas Meter	
Sanitary Sewer Manhole	
Storm Sewer Manhole	
Telephone Manhole	
Electric Manhole	
Sign	
Telephone Pedestal	
Fire Hydrant	
Post Indicator Valve	
Water Manhole	
Water Meter	
Hot Box	
Utility Pole	
Light Pole	
Sewer Cleanout	
Flored End Section	
Gas Valve	
Existing Iron Pipe (3/4" unless noted)	
1/2" Iron Pipe Set	
Existing PK Nail	
PK Nail Set	
Computed Point	
Concrete Monument	
Tree Line	
Fence	
Underground Electric	
Underground Telephone	
Gas Line	
Water Line	
Overhead Utilities	
Storm Sewer	
Sanitary Sewer	
Guard Rail	

1
C300

GRADING & STORM DRAINAGE PLAN

1" = 40'-0"

SEE NOTES RE: 4/C102, 5/C102, 6/C102



ORANGE UNITED
METHODIST CHURCH INC
DB 4178 PAGE 421
PIN# 9880300300
CHURCH

ORANGE UNITED
METHODIST CHURCH
DB 1135 PAGE 263
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VACANT

PATRICIA E.
GARAVAGLIA
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SINGLE FAMILY RES.

CHRISTINE MALLIA
DB 6448 PAGE 485
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SINGLE FAMILY RES.

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SINGLE FAMILY RES.

KATARZYNA JANOWSKI
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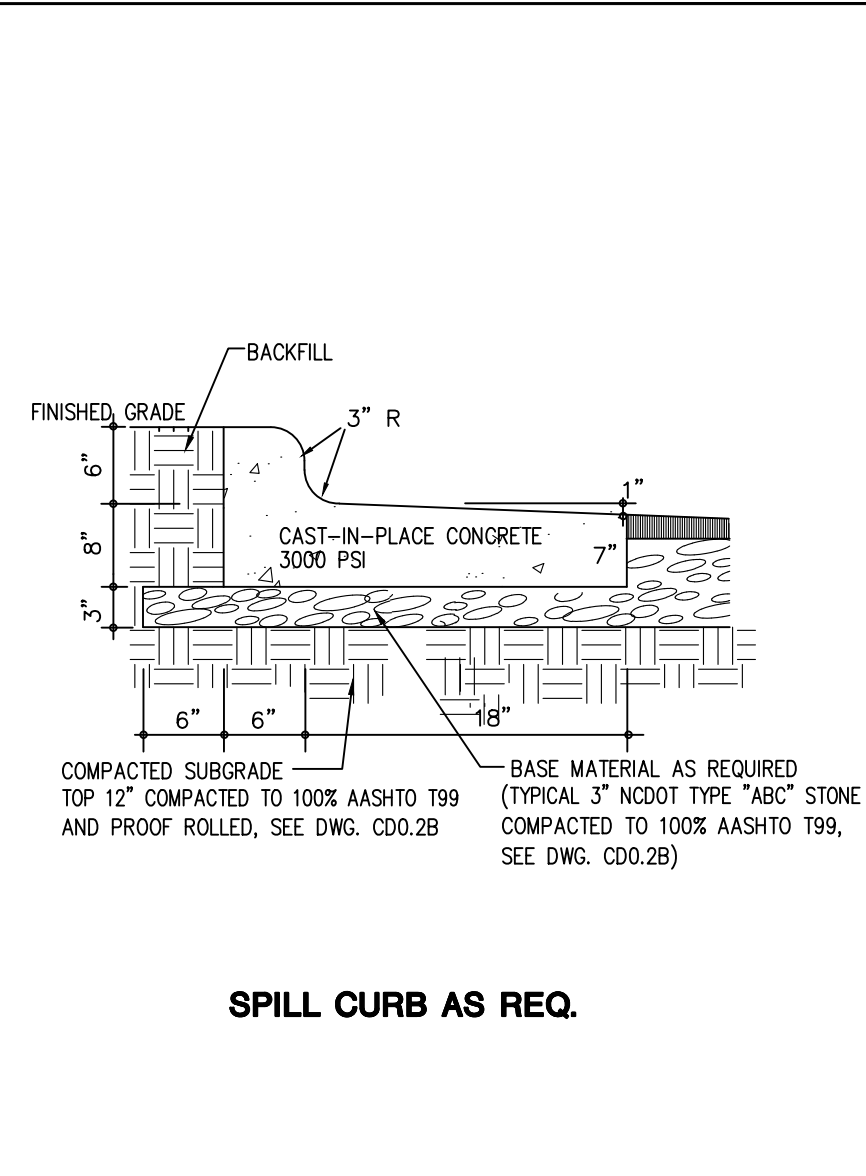
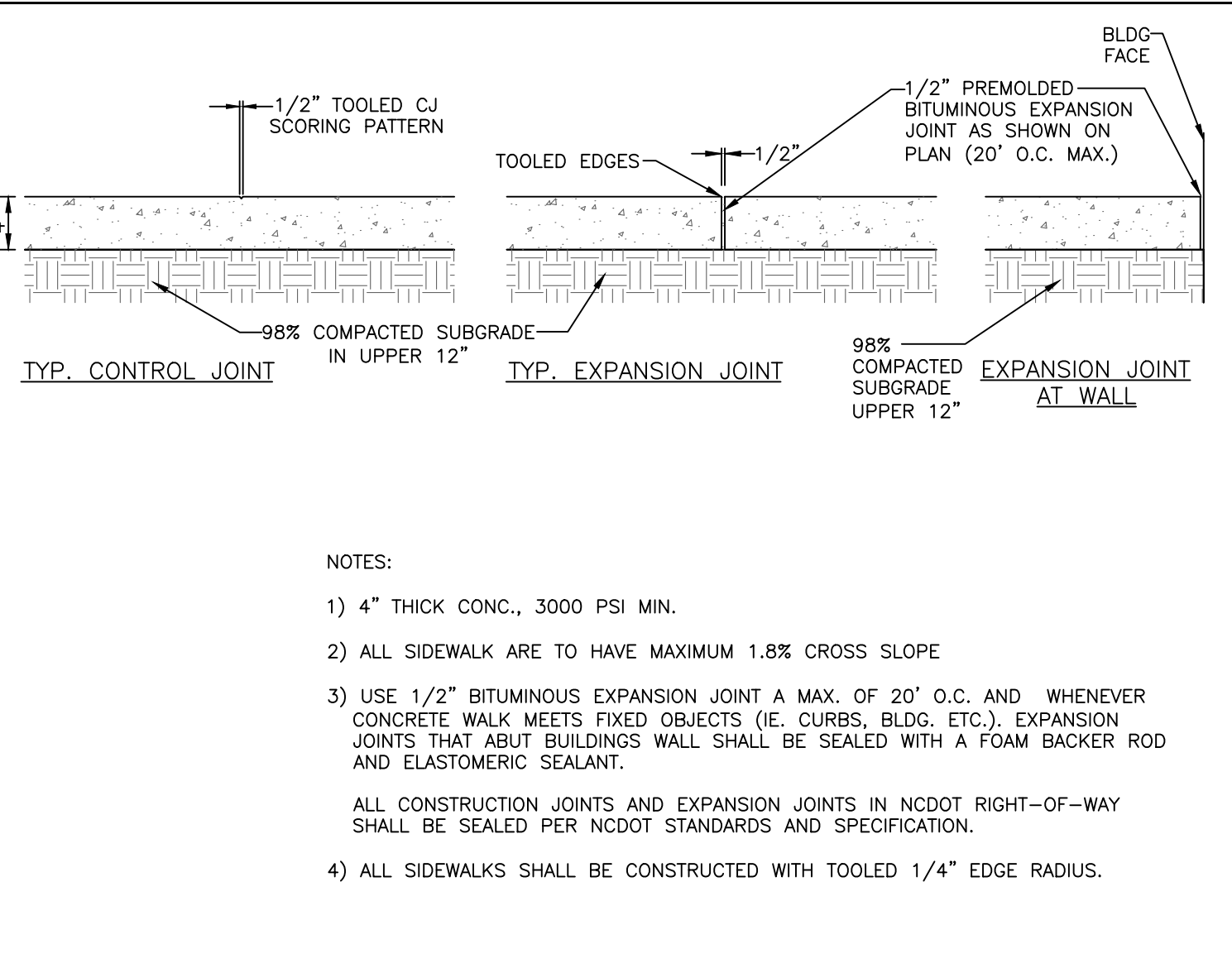
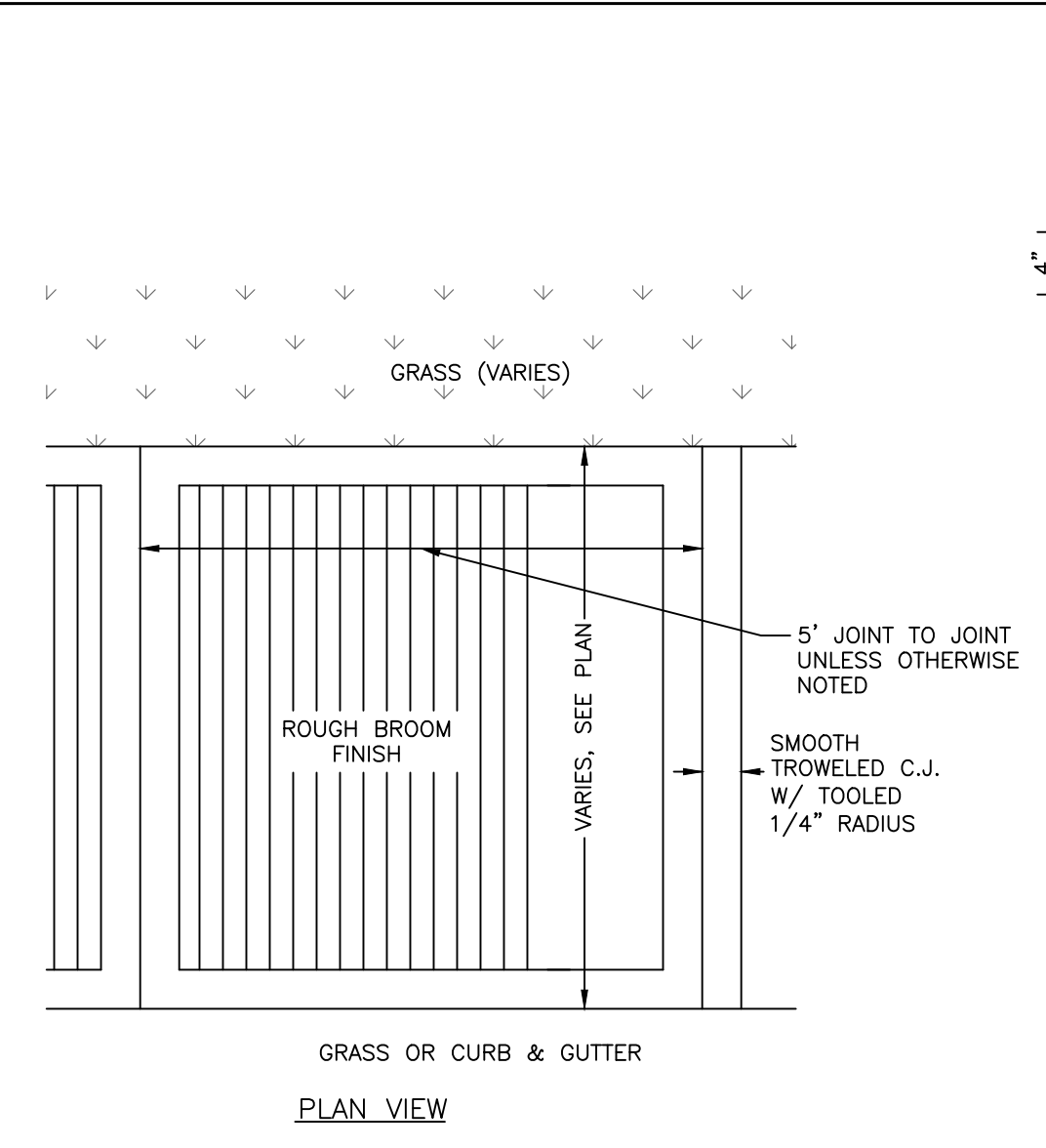
CIU-MEI HSU KUO
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DB 613 PAGE 172
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RAM PROPERTIES OF
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DB 1309 PAGE 138
PIN# 9789295238
PARKING LOT

HORAN LITTLE
PROPERTIES
PARTNERSHIP
DB 837 PAGE 597
PIN# 9789294188
BANK



CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.

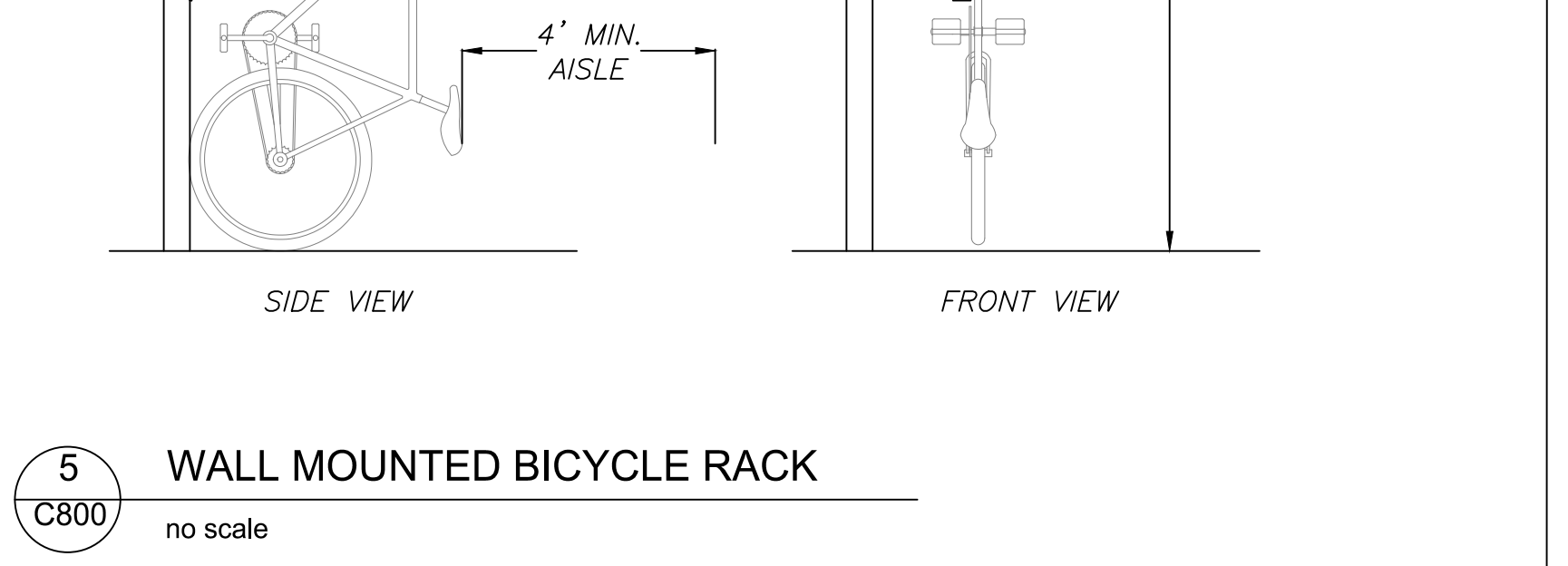
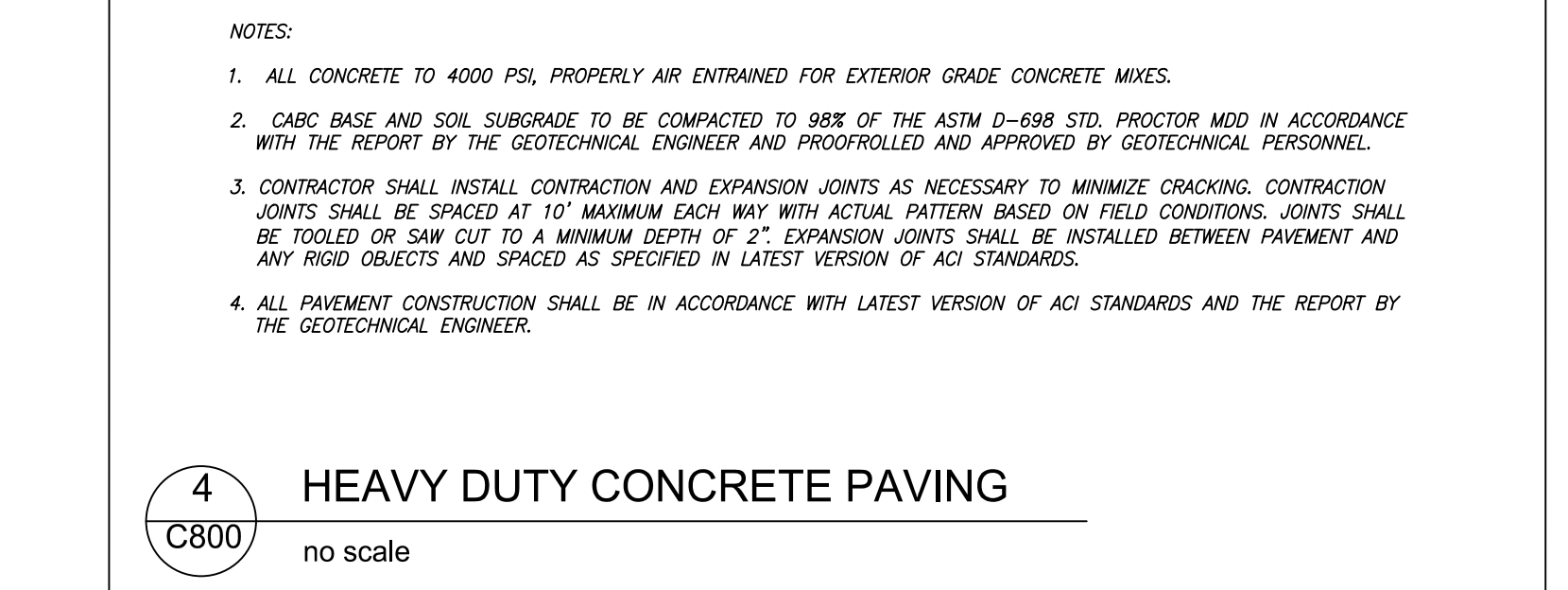
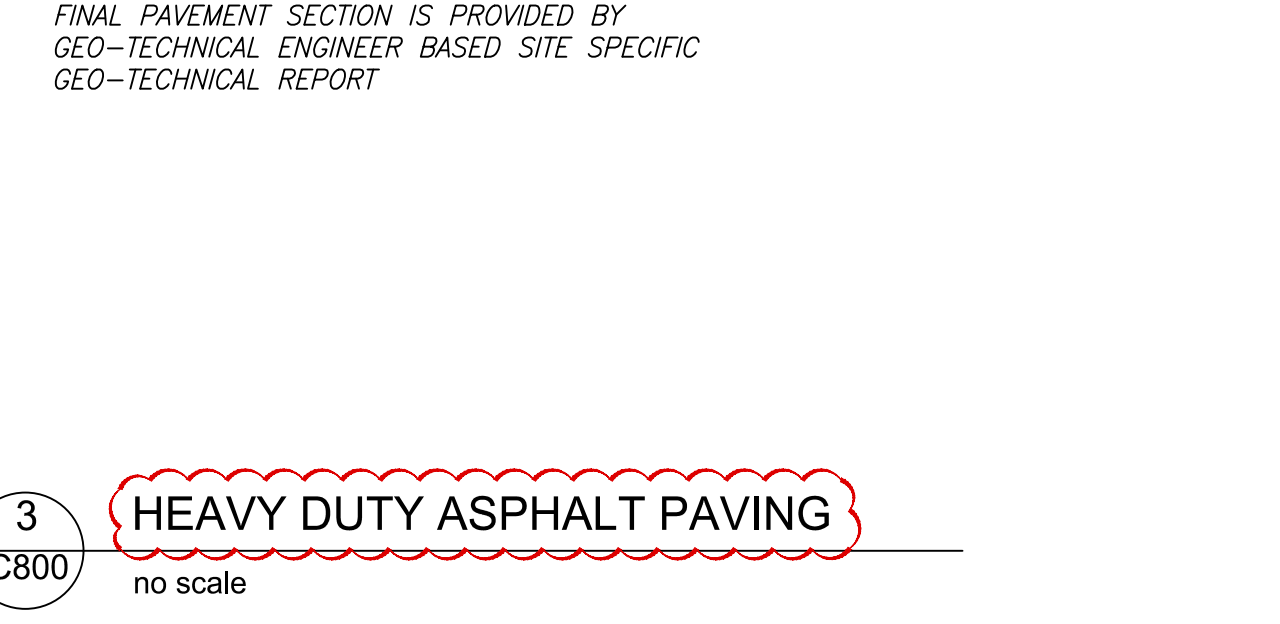
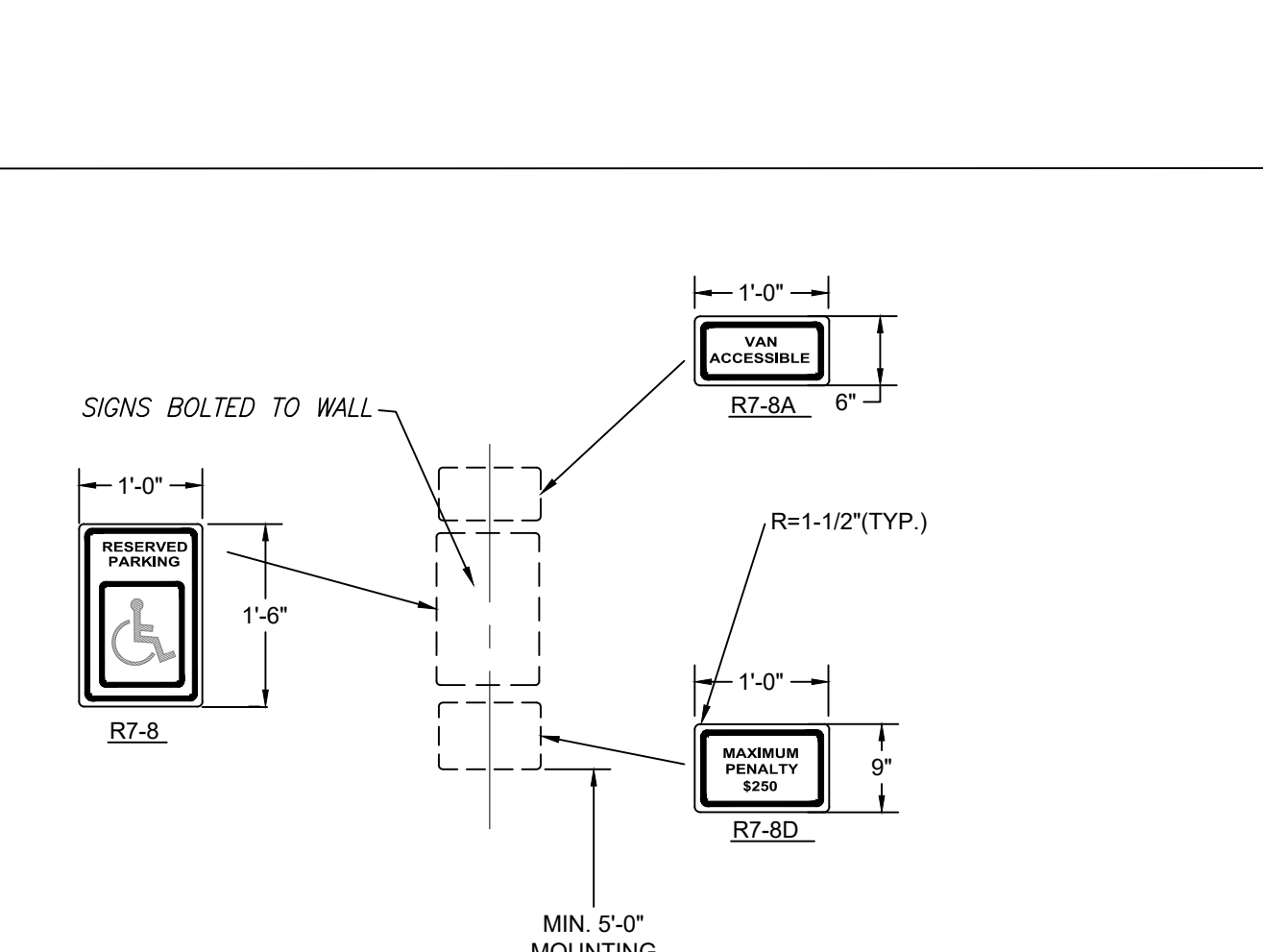
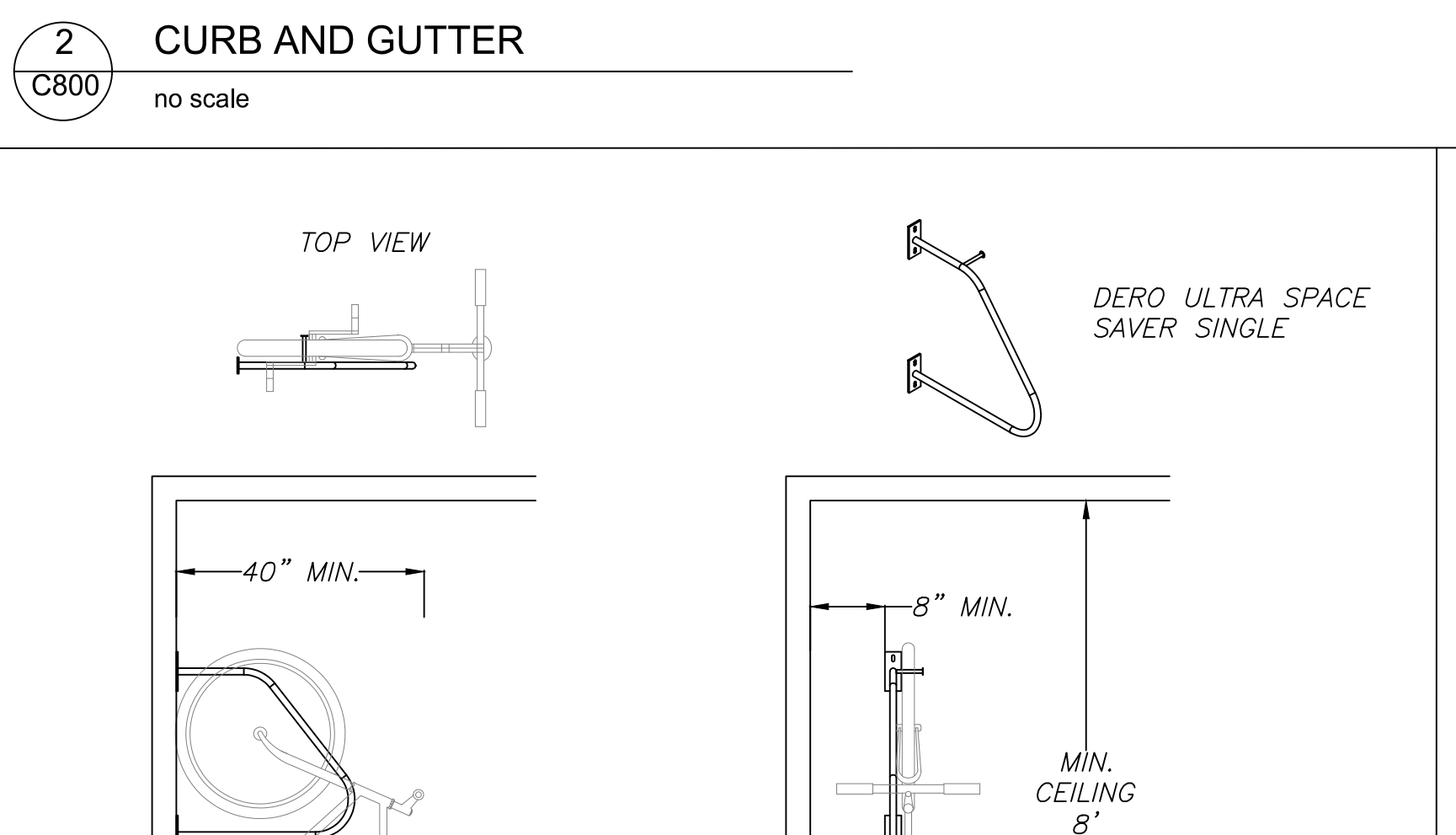
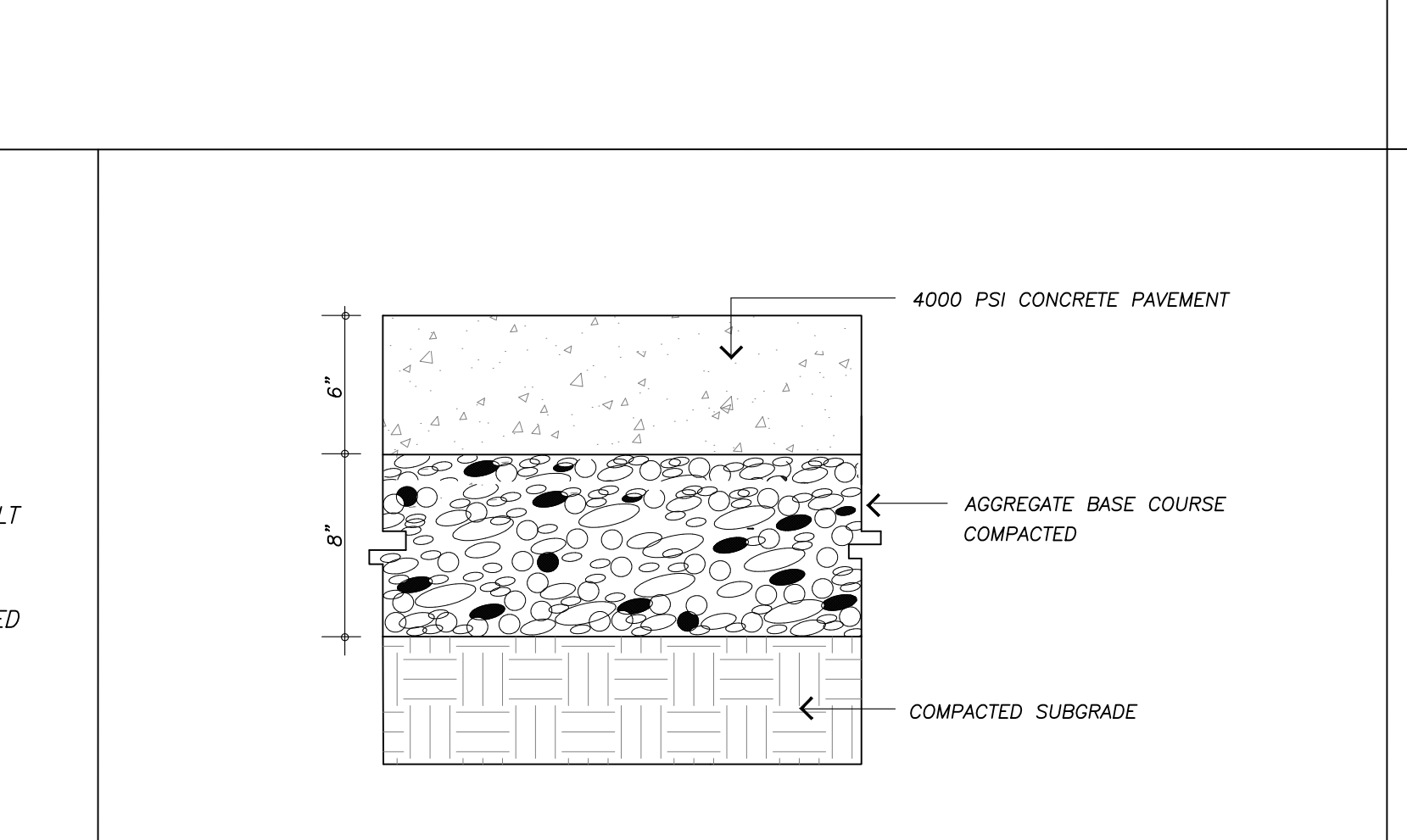
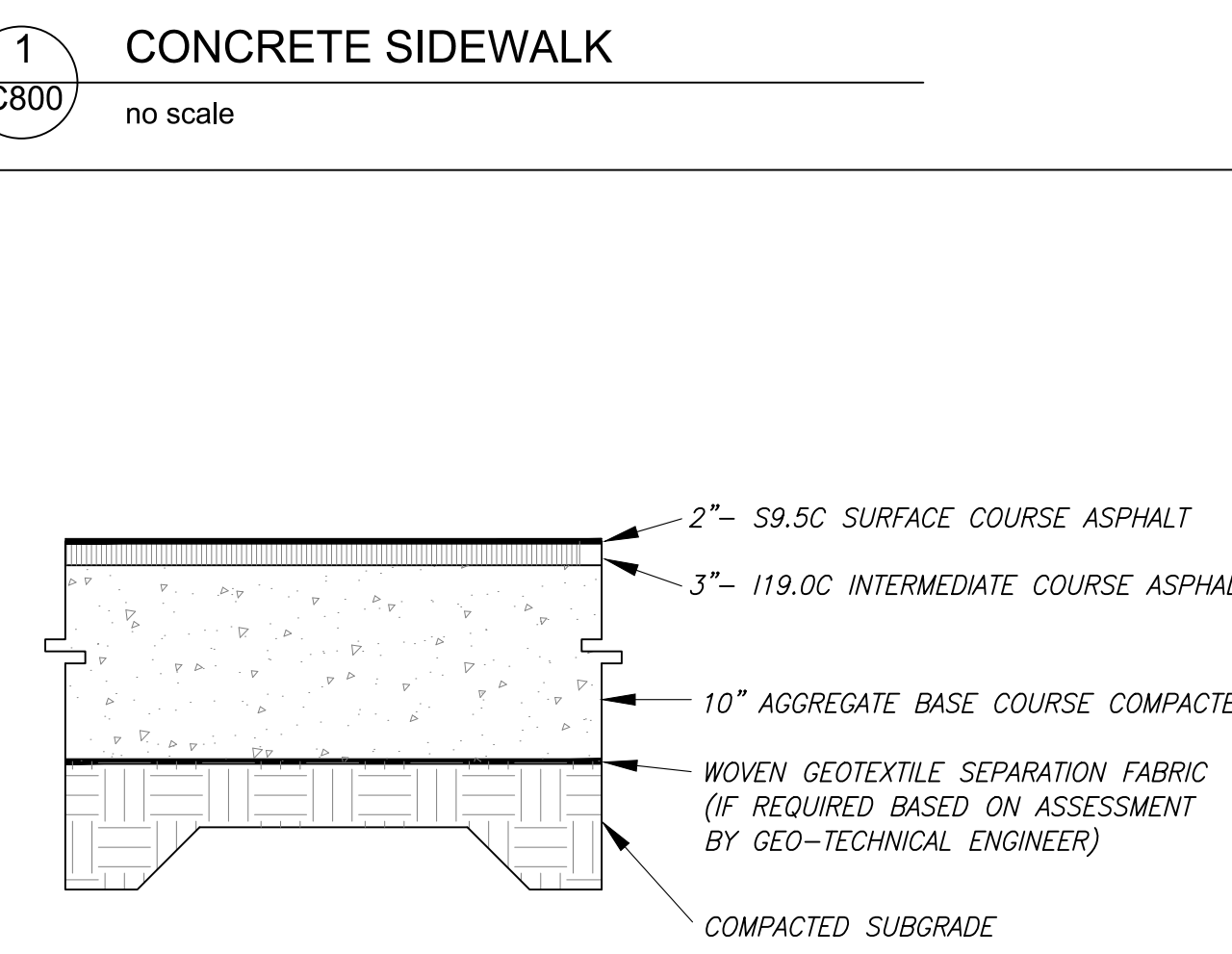
CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.

CONCRETE FOR CURBING SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS.

ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.

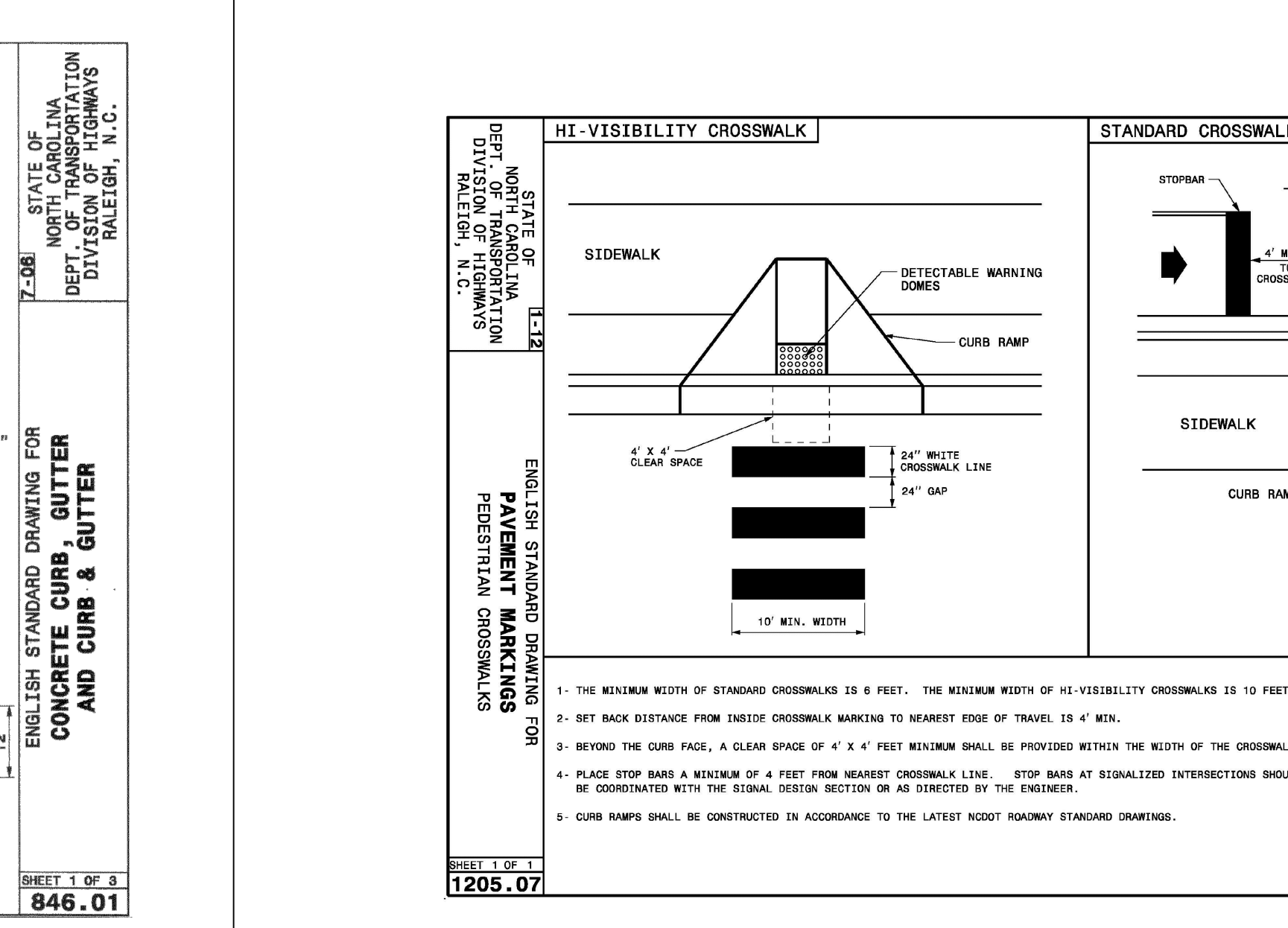
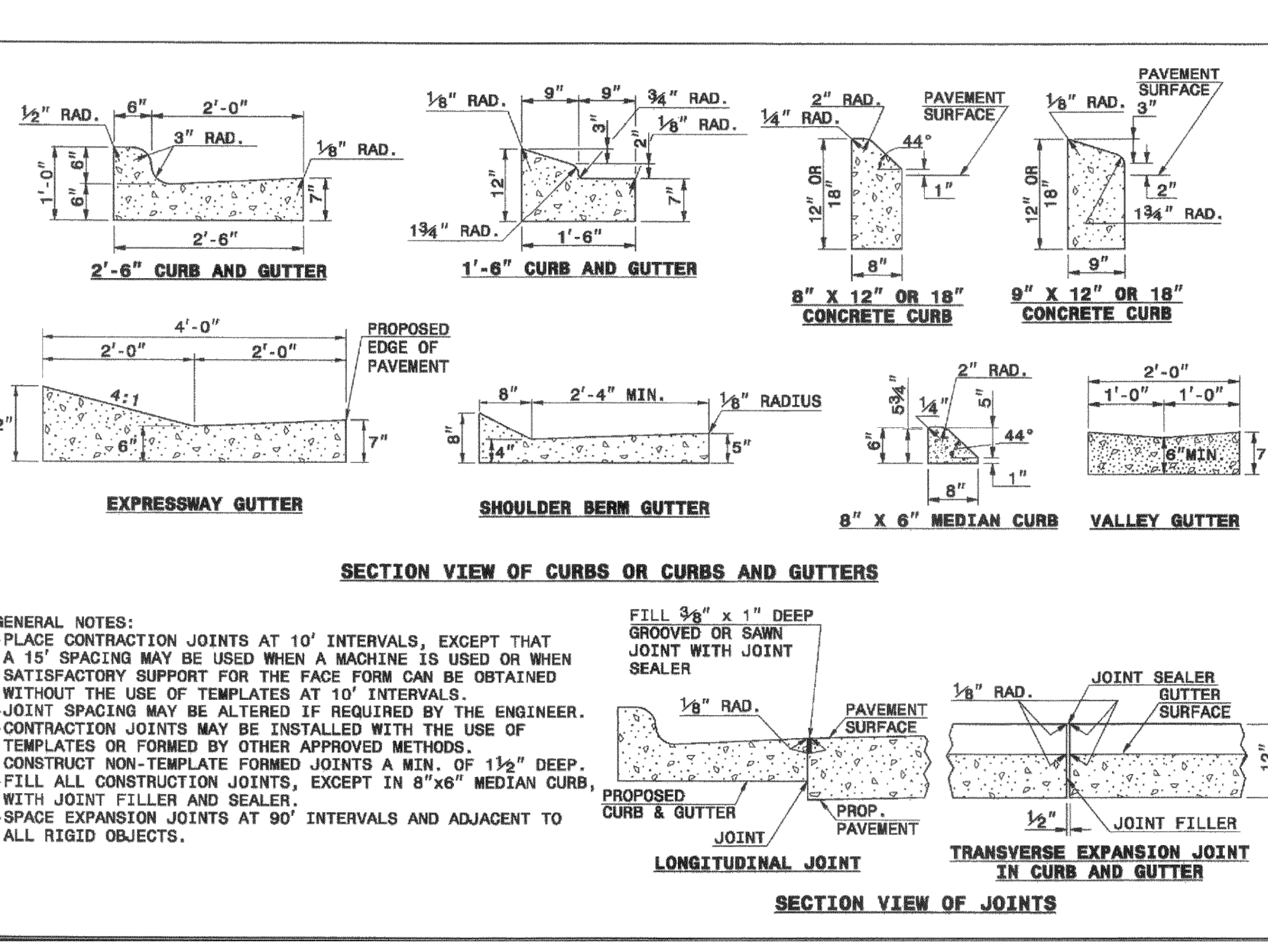
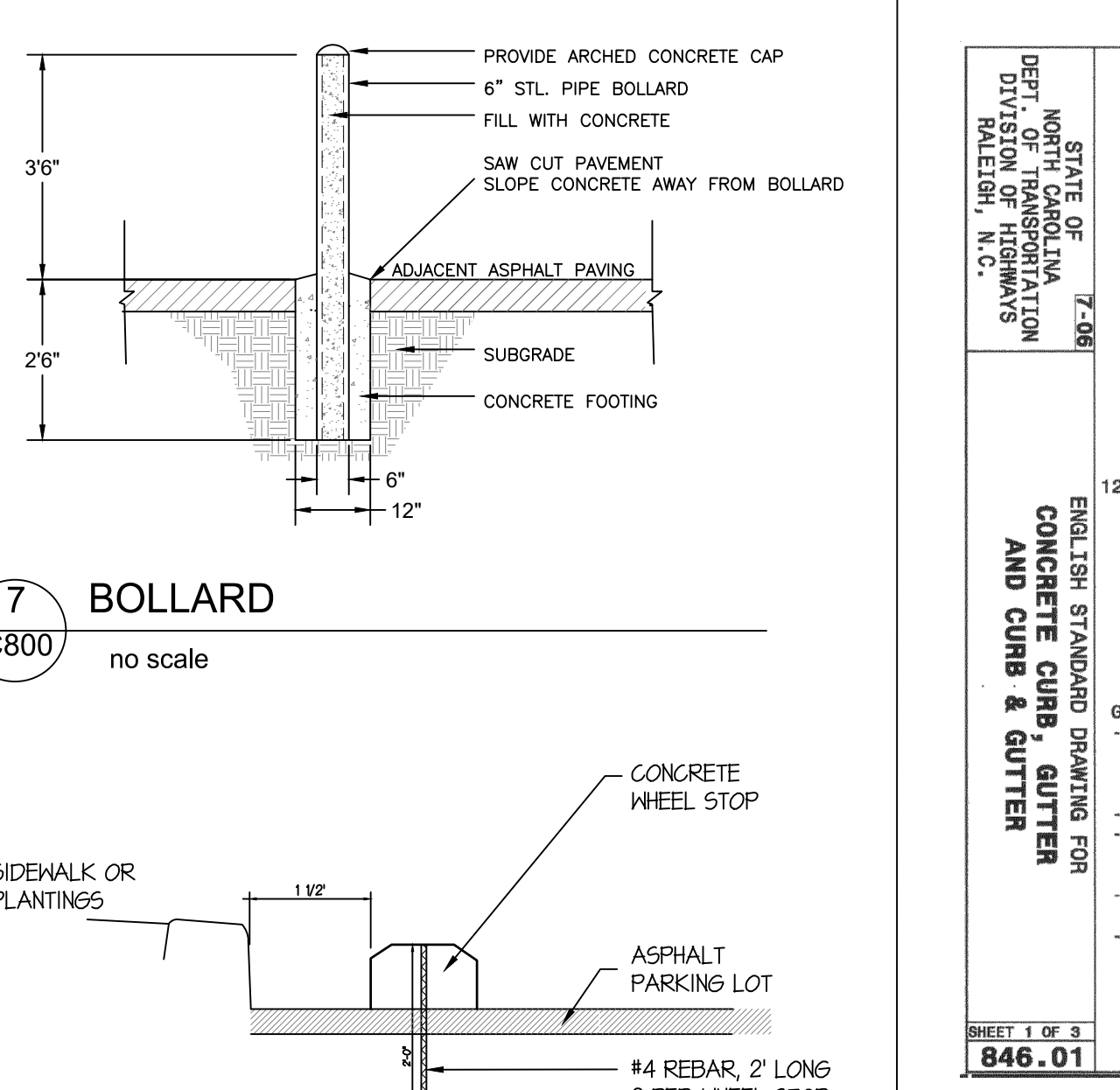
JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ABUTTING SIDEWALK.

EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



1200 MLK
 1200 & 1204
 Martin Luther King Jr. Boulevard
 Orange County,
 North Carolina

PIN:
 9789297279
 9789392409




Project:

1200 MLK

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 Orange County,
 North Carolina

PIN:
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 9789392409



PRELIMINARY-DO NOT USE FOR CONSTRUCTION

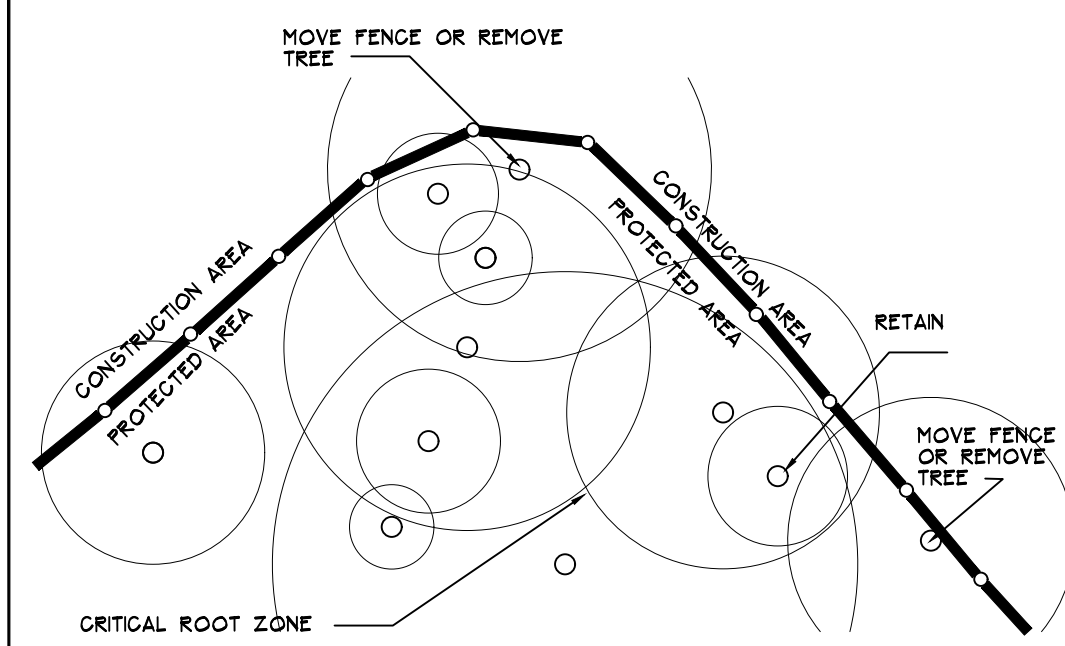
Job Number: 1858

Drawn: JSA, MTC
 Checked: JSA
 Date: 5-31-2019 SUP
 Revisions: 8-06-2019 SUP Rev. 1
 4-17-2020 SUP Rev. 2
 6-18-2020 SUP Rev. 3

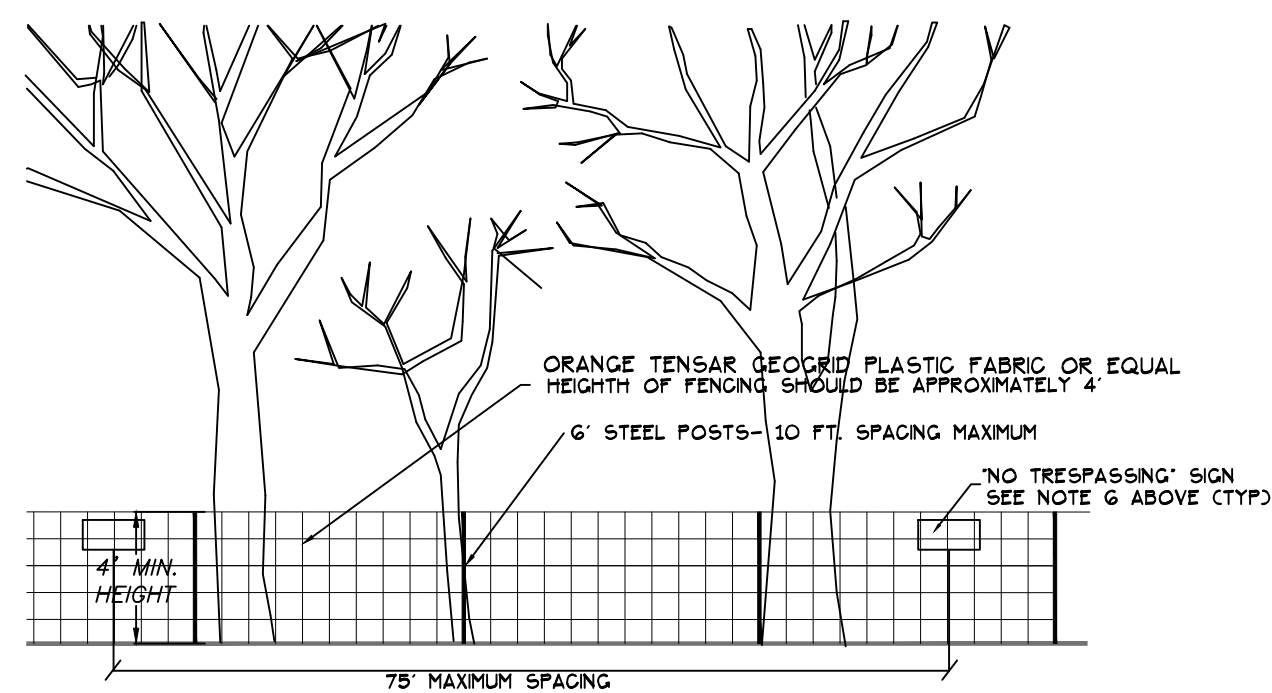
Special Use Permit

Sheet Title:
SITE DETAILS

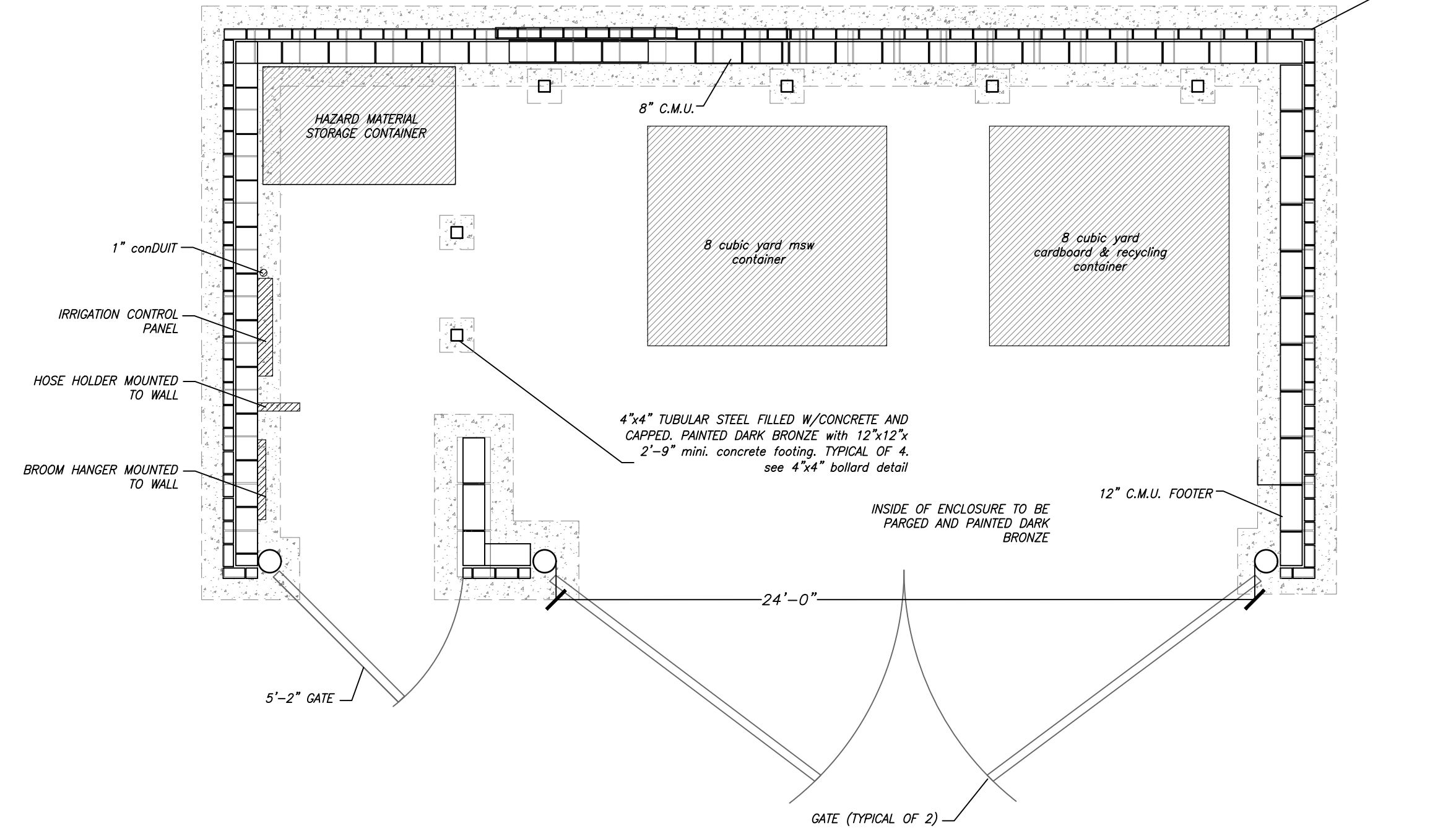
Sheet Number:
C800



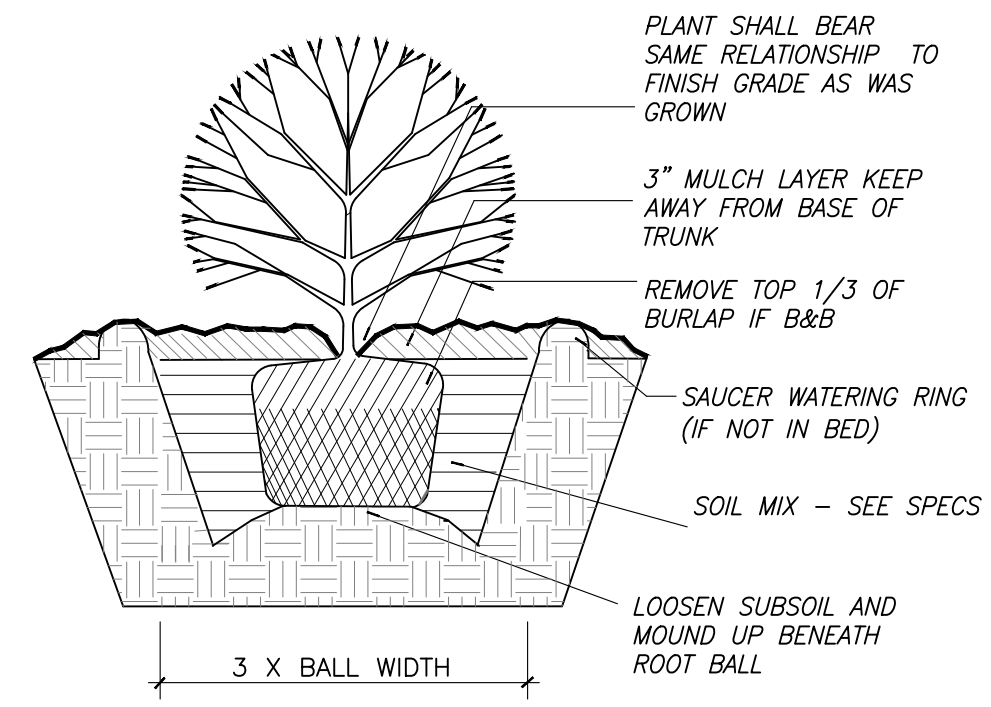
- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
 2. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
 3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
 4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
 5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
 6. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM MINIMUM SPACING OF 75' O.C. TO READ "TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE".



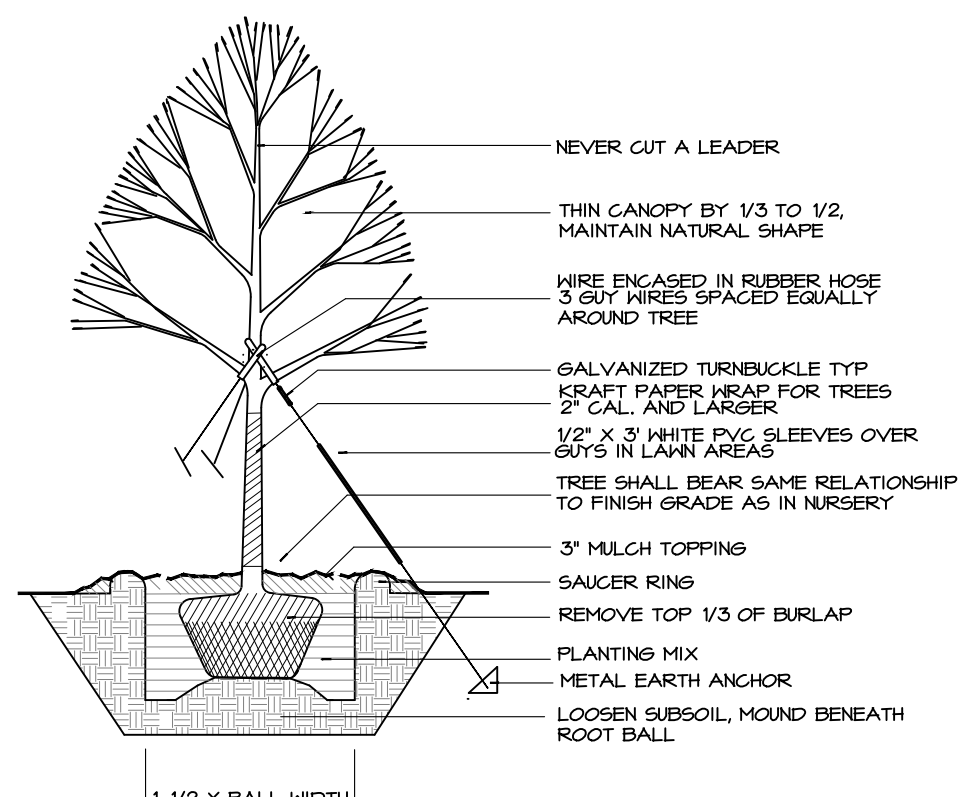
1 TREE PROTECTION FENCING
C801 1" = 4'-0"



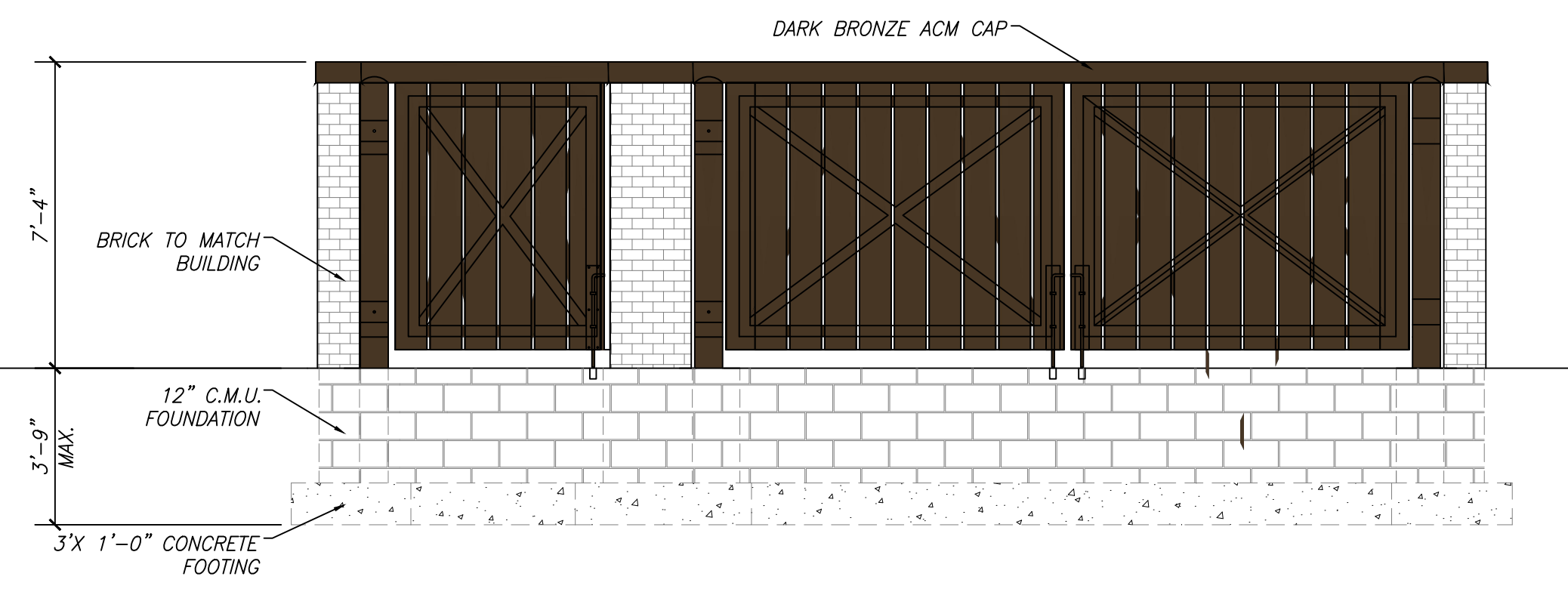
2 DOUBLE DUMPSTER
C801 NOT TO SCALE



4 SHRUB DETAIL
C801 NO SCALE

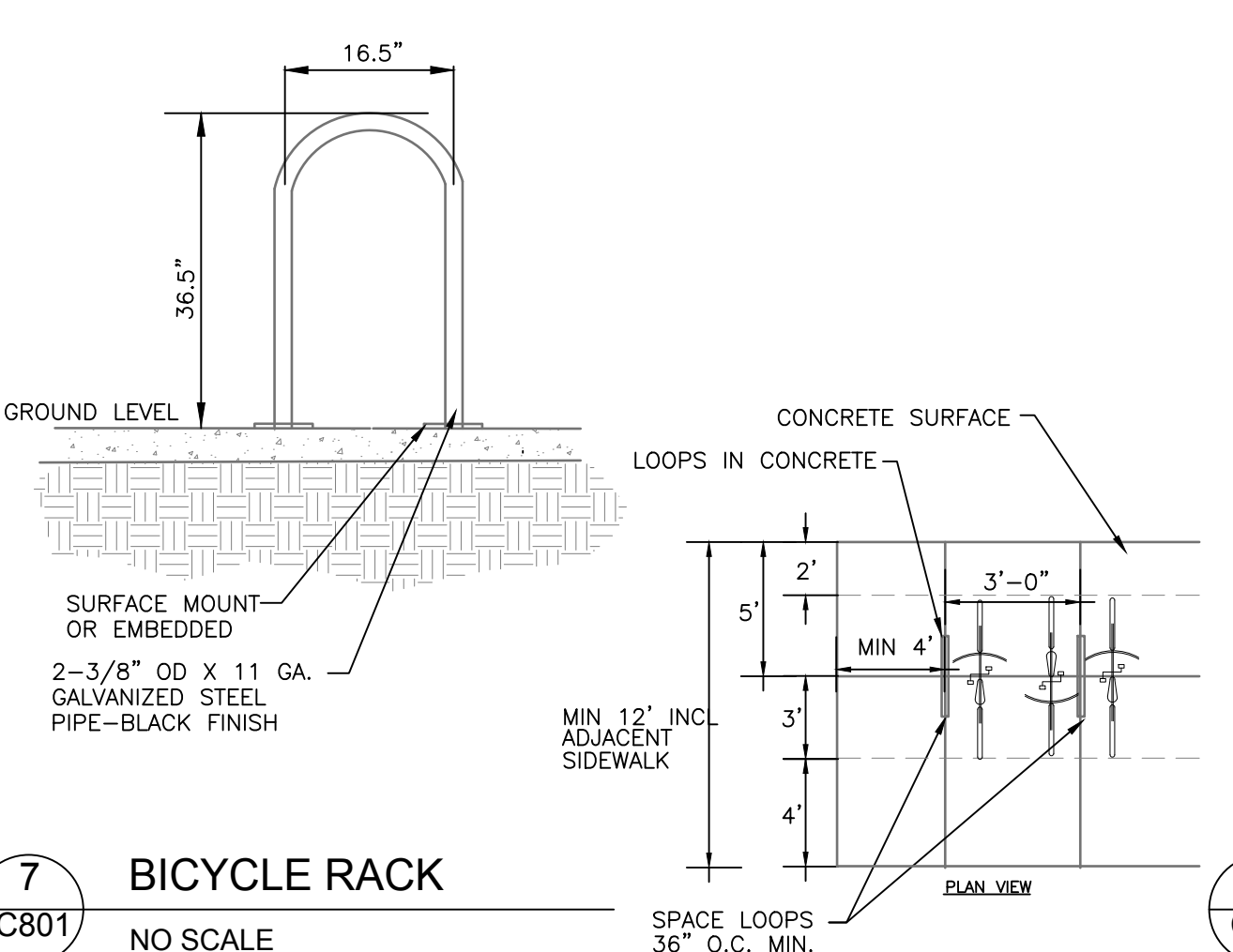


5 TREE PLANTING DETAIL
C801 NO SCALE

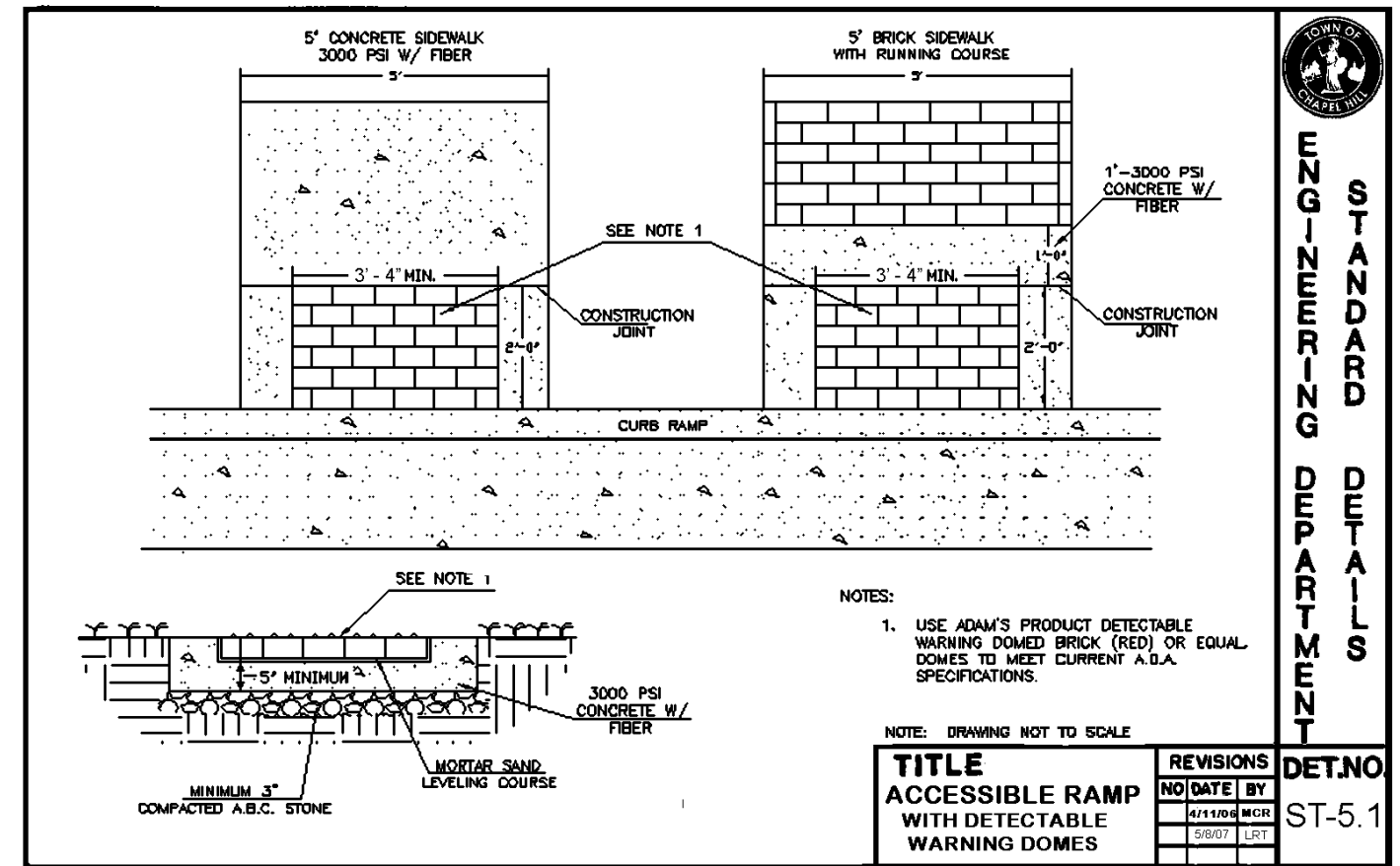


6 NOT USED
C801 NO SCALE

- NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.



7 BICYCLE RACK
C801 NO SCALE



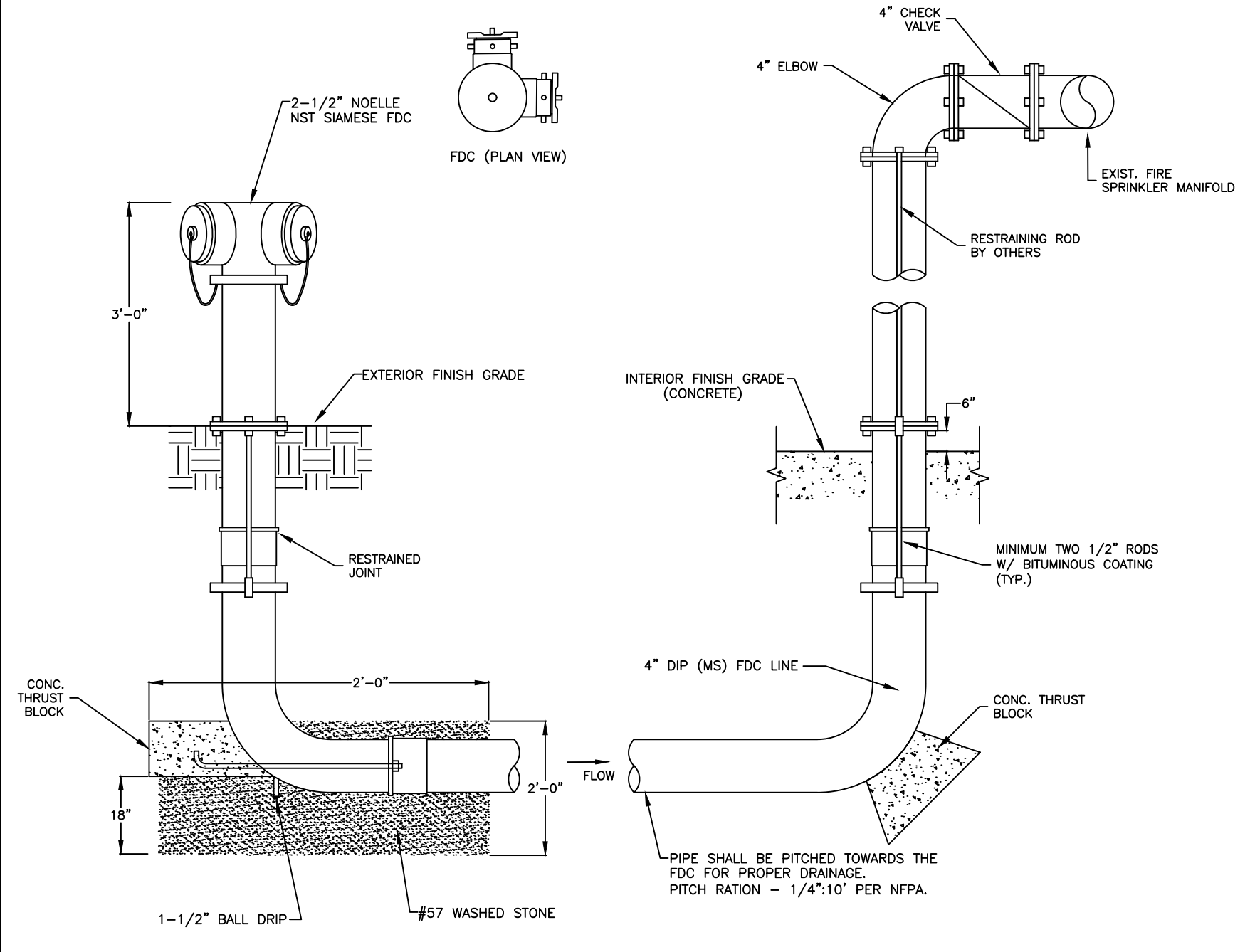
8 ACCESSIBLE RAMP
C801 NO SCALE

ENGINEERING STANDARDS DEPARTMENT

NOTES:

1. CONSTRUCT THE WALKING SURFACE WITH SLIP RESISTANCE AND A TONE CONTRASTING COLOR TO THE SIDEWALK.
2. CROSSWALK WIDTH AND CONFIGURATION MAY VARY BUT MUST CONFORM TO TRAFFIC DESIGN STANDARDS.
3. PROVIDE WHEELCHAIR RAMP AT LOCATIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER. LOCATE WHEELCHAIR RAMP AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, STOP SIGNS, ETC. WOULD PLACE WHEELCHAIR RAMP UNDESIRABLE. PLACE WHEELCHAIR RAMP AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, STOP SIGNS, ETC. WOULD PLACE WHEELCHAIR RAMP UNDESIRABLE. PLACE WHEELCHAIR RAMP AS DIRECTED BY THE ENGINEER WHERE EXISTING LIGHT POLES, FIRE HYDRANTS, STOP SIGNS, ETC. WOULD PLACE WHEELCHAIR RAMP UNDESIRABLE.
4. DO NOT EXCEED CURB (2-1/2) SLOPE ON THE WHEELCHAIR RAMP IN RELATIONSHIP TO THE GRADE OF THE STREET.
5. CONSTRUCT WHEELCHAIR RAMP 40" (3'-4") OR GREATER FOR DUAL RAMP AND 40" (3'-4") OR GREATER FOR DIAGONAL RAMP.
6. USE CONCRETE WITH A SIDEWALK FINISH IN ORDER TO OBTAIN A ROUGH NON-SKID TYPE SURFACE.
7. PLACE A 1/2" EXPANSION JOINT WHERE THE CONCRETE WHEELCHAIR RAMP JOINS THE CURB AS SHOWN ON DETAIL ST-5A.
8. RAISE THE INSIDE SIDEWALK CROSSWALK LANE TO CLEAR IN THE INTERSECTION BY RECEIVING THE INTERSECTION PAVEMENT WITH ALLOWANCE OF A 4' CLEAR ZONE IN THE VERTICAL TRAVELWAY WHEN THE RAMP IS INSTALLED. (SEE NOTE 1.3)
9. DISCONNECT THE CURB JOINT AND THE INTERSECTION CROSSWALK LANE TO THE FLOOR OF THE WHEELCHAIR RAMP. ALL FALL WITHIN THE PRECEDING CROSSWALK LANE. PLACE DIAGONAL RAMP WITH FLARED SIDES TO 24" OF FULL HEIGHT CURB FALL WITHIN THE CROSSWALK MARKING ON EACH SIDE OF THE FLARE.
10. CONSTRUCT THE PRECEDING CROSSWALK A MINIMUM OF 6 FEET. A CROSSWALK WIDTH OF 8 FEET OR GREATER IS DESIRABLE.
11. USE STOP LINES NORMALLY PERPENDICULAR TO THE LANE LINES, WHERE IT IS IMPORTANT TO INDICATE THE POINT BEHIND WHICH VEHICLES ARE REQUIRED TO STOP IN COMPLIANCE WITH A TRAFFIC SIGNAL, STOP SIGN OR OTHER SIGNAL REQUIREMENT. AN UNUSUAL APPROACH SIGN MAY REQUIRE THE PLACEMENT OF THE STOP LINE TO BE PARALLEL TO THE INTERSECTION ROADWAY.
12. TOWARD PARKING A MINIMUM OF 20 FEET BACK OF PRECEDING CROSSWALK.
13. PLACE ALL PAVEMENT MARKINGS IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.

TITLE: ACCESSIBLE RAMP WITH DETECTABLE WARNING DOMES
REVISIONS: 06/03 JH
DET. NO. ST-5.1



9 FDC
C801 NO SCALE

FIRE DEPARTMENT CONNECTIONS, LOCATIONS: Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 130, 13R, or 14 of the NCFAC and Town Ordinances; 7-38 for location. FDCs shall be installed on the street/address side of the building and within 100' of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping.

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**1200 MLK
SELF STORAGE CENTER**

ORANGE COUNTY
NORTH CAROLINA

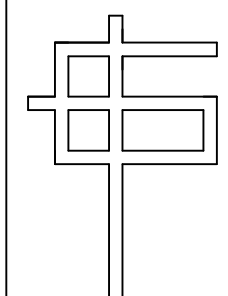
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GENERAL NOTES:

1. THIS DRAWING IS SCHEMATIC DESIGN ONLY AND NOT FOR CONSTRUCTION. IT IS FOR REVIEW AND DISCUSSION

REV. DATE: REVISION DESCRIPTION

8/1/19	BRICK PANELS
10/31/19	REV. PER SITE



G. CLEVELAND PATE, PLLC
Architecture • Planning
6013 Fordland Drive, Raleigh, NC 27606
919-851-0052

SEALS:

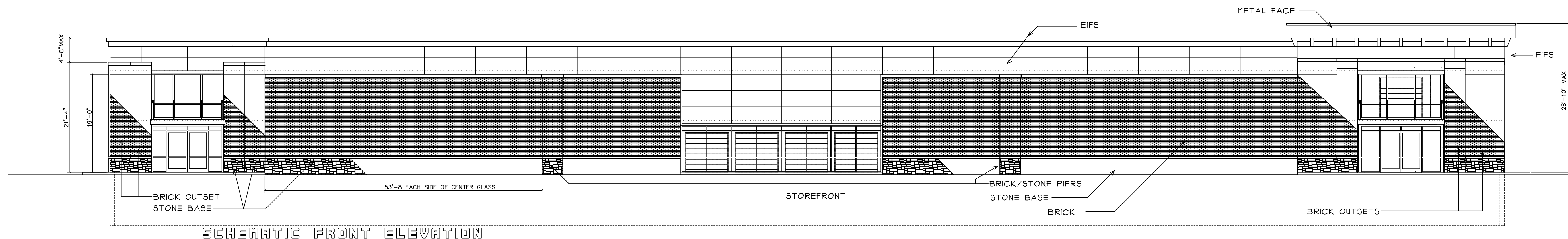


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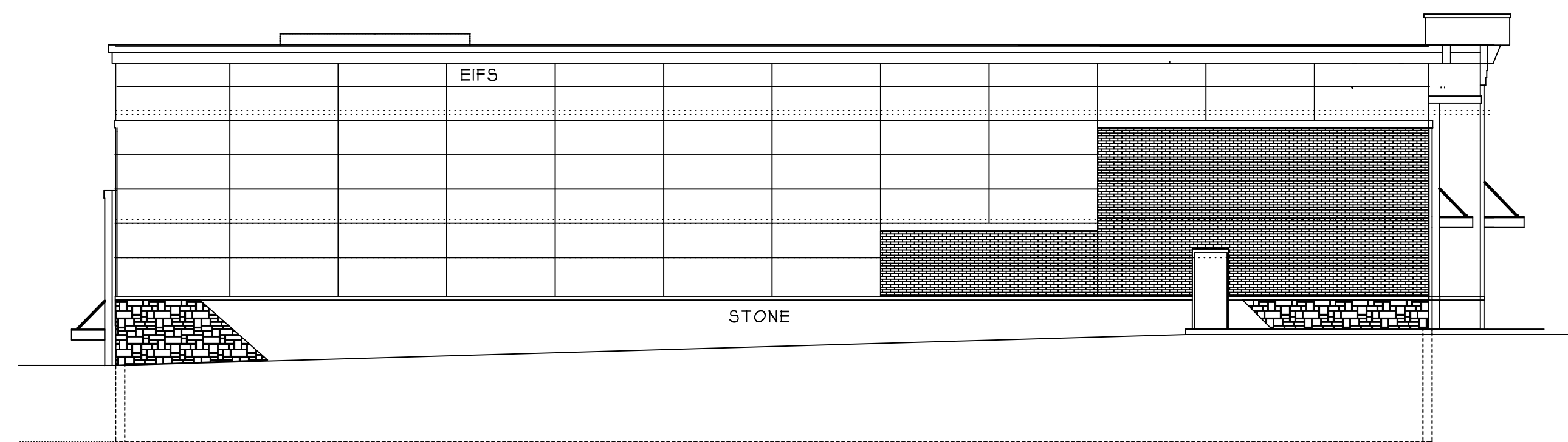
**NOT FOR
CONSTRUCT**

ELEVATIONS

GCP	GCP	SHEET:
DESIGNED BY:	DRAWN BY:	A-1
GCP	GCP	OF:
CHECKED BY:	APPROVED BY:	DATE:
1200MLK	1200MLKA	7/19/19
CAD FILE NAME:	PROJECT #	DATE:

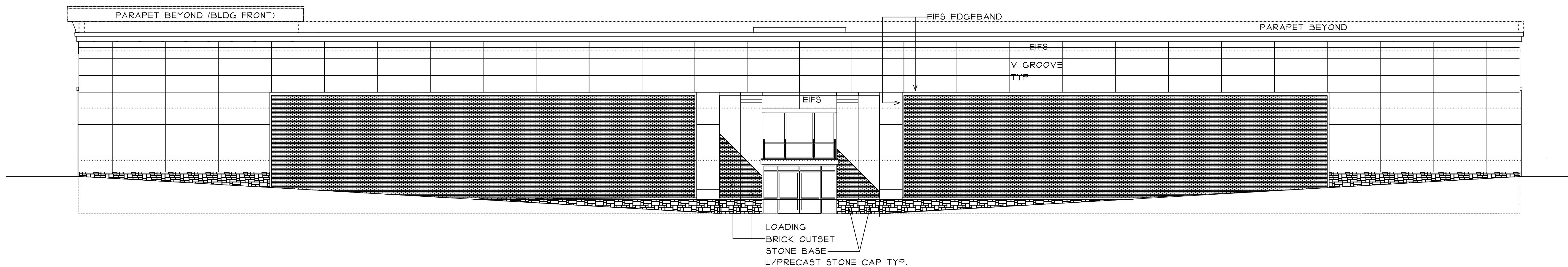


SCHEMATIC FRONT ELEVATION

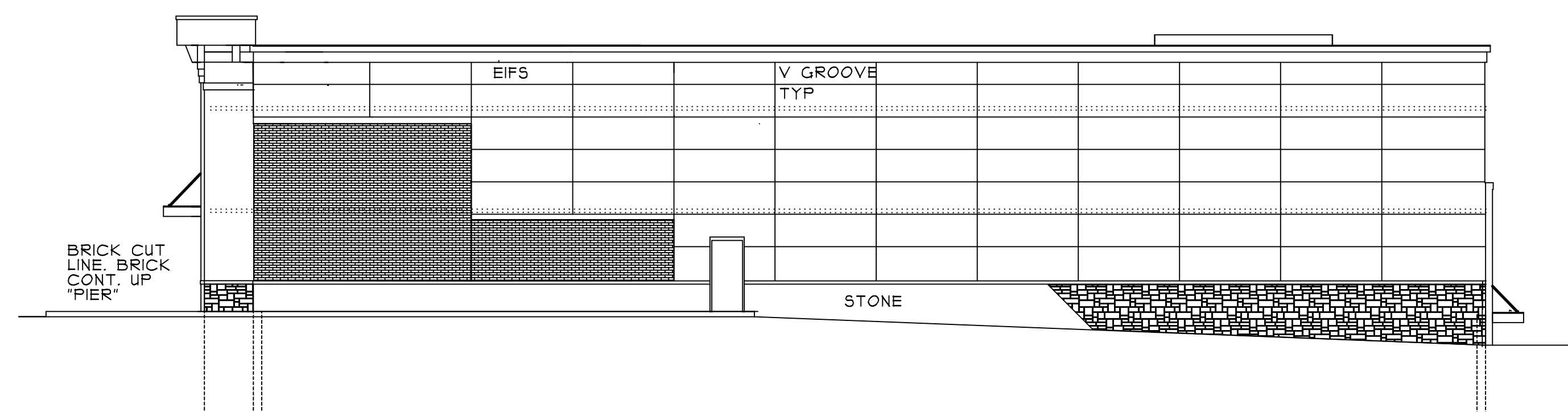


SCHEMATIC LEFT ELEVATION

MATERIAL COLOR KEY: (SEE SAMPLES)
 RED METAL-METAL CAP AS CALLED AND ALUMINUM STOREFRONT-REGAL RED
 RED EIFS- DRYVIT RED (POSSIBLY EIFS REFLECTIT (METAL LIKE EIFS)
 (PARAPET CAP FRONT AND SIDES ONLY-REAR CAP IS GREY)
 EIFS MAIN BLDG COLOR-MOUNTAIN FOG GRAY 132
 EIFS * ENTRY AND LOADING-DRIFTWOOD GRAY 133
 EIFS * DECORATIVE CAP WORK BELOW RED CAP-MOUNTAIN FOG GRAY 132
 BRICK-GENERAL SHALE SMOKE GREY VELOUR OR SIMILAR GREY
 (FINAL PICK SHOULD BE SOME CONTRAST TO EIFS/STONE.-GREY MORTAR)
 STONE BASE SIM. TO CULTURED STONE -"LIMESTONE SUEDE". NOTE THAT
 REAL STONE OR SIM. ARCHITECTURAL CONC. STONE MAY BE USED.



SCHEMATIC REAR ELEVATION
SEE FRONT ELEVATION FOR TYP, MATERIAL /COLOR NOTES



SCHEMATIC RIGHT ELEVATION

ALL @ 3/32"