

REQUIRED CONDITIONS

1. NCPC SECTION 510. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS.
2. PRIVATE FIRE SERVICE MAINS (PIR/SPRINKLER LATERALS); PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24. 2018 NCFC SECTION 507
3. CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE. 2018 NCFC CHAPTER 33
4. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911. SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFC SECTION 3304.5
5. FIRE PROTECTION AND UTILITY PLAN: SHALL INCLUDE THE FIRE FLOW REPORT: FOR A HYDRANT WITHIN 500' OF EACH BUILDING, PROVIDE THE CALCULATED GALLONS PER MINUTE OF WITH A RESIDUAL PRESSURE OF 20 POUNDS PER SQUARE INCH. THE CALCULATIONS SHOULD BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NC AND ACCOMPANIED BY A WATER SUPPLY FLOW TEST CONDUCTED WITHIN ONE YEAR OF THE SUBMITTAL. REFERENCE TOWN DESIGN MANUAL. FOR REQUIRED GALLONS PER MINUTE.
6. WATER SUPPLY FOR FIRE PROTECTION: WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. 2018 NCFC 3132
7. ADDRESS IDENTIFICATION: 505.1 ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPILLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 6 INCHES (153 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/16 INCH (2.4 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. 2018 NCFC 505.1
8. FIRE LANES: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING-FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAR AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. 2018 NCFC SECTION 503.3 AND APPENDIX D 103.6, D 103.6.1, D 103.6.2
9. GATES AND BARRICADES: 03.5 REQUIRED GATES ON BARRICADES. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE THE INSTALLATION AND MAINTENANCE OF GATES OR OTHER APPROVED BARRICADES ACROSS FIRE APPARATUS ACCESS ROADS, TRAILS, OR OTHER ACCESSWAYS, NOT INCLUDING PUBLIC STREETS, ALLEYS, OR HIGHWAYS. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2200. 2018 NCFC SECTION 503 AND APPENDIX D103
10. FIRE DEPARTMENT ACCESS/CONSTRUCTION: DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NCFC SECTION 505.2
11. FIRE DEPARTMENT ACCESS/CONSTRUCTION: FENCING AROUND PROJECTS SHALL INCLUDE ACCESS GATES WITH A 20' FOOT SWING OR SLIDE MOTION. ANY AREAS WHICH WILL BE UNACCESSIBLE FOR FIRE FIGHTING OR RESCUE OPERATIONS SHALL BE NOTED. EMERGENCY ACCESS DESIGNATION FOR APPARATUS SHALL BE PROVIDED. 2018 NCFC SECTION 503, APPENDIX D.

PROJECT NARRATIVE

THE PURPOSE OF THIS PROJECT IS TO DISTURB 0.537 ACRES IN ORDER TO CONSTRUCT 10 AFFORDABLE APARTMENTS IN A 7,697 SF BUILDING, 13 PARKING SPACES AND ASSOCIATED SIDEWALKS, BMP AND SUPPORT FACILITIES.

EROSION CONTROL SEQUENCE

1. ORGANIZE ON-SITE PRE-CONSTRUCTION MEETING WITH ORANGE COUNTY EROSION CONTROL PRIOR TO LAND DISTURBING ACTIVITIES.
2. INSTALL ALL TEMPORARY EROSION CONTROL MEASURES ACCORDING TO THE INFORMATION DISCUSSED DURING THE PRE-CONSTRUCTION MEETING. MINIMAL CLEARING MAY OCCUR IN THE IMMEDIATE AREA OR ALL MEASURES TO PROVIDE FOR INSTALLATION OF THE CONSTRUCTION ENTRANCE, SILT FENCE AND SILT FENCE OUTLETS AND WASH OUT AREA.
3. BEGIN CUT AND FILL FOR PARKING AREA AND BUILDING PAD. COMMENCE BUILDING AND UTILITY CONSTRUCTION.
4. INSTALL RETAINING WALL, INSTALL DRAIN PIPES, DRAINAGE STRUCTURES, ROOF LEADERS AND BMP ONLY WHEN APPROVED BY THE ENGINEER.
5. COMPLETE SELF-INSPECTIONS WEEKLY AND WITHIN 24 HOURS OF A 0.5" OR GREATER RAINFALL EVENT.
6. MAINTAIN ALL EROSION AND SEDIMENT CONTROL MEASURES IN GOOD WORKING ORDER. SILT FENCE, INLET PROTECTION AND OTHER SIMILAR MEASURES MUST BE CLEANED OUT WHEN THEY ARE HALF FULL. CLOGGED SILT FENCE OUTLETS MUST BE REFRESHED/REPLACED. SILT FENCE CANNOT HAVE HOLES OR TEARS.
7. GROUND COVER SHALL BE PROVIDED AS FOLLOWS:
 - A. STABILIZE PIPE OUTLETS WITH GROUND COVER IMMEDIATELY AFTER INSTALLATION.
 - B. STABILIZE DIVERSION DITCHES INTENDED TO BE IN SERVICE FOR (14) DAYS OR MORE WITH TEMPORARY SEEDING.
 - C. FOR ALL AREAS OF MODERATE AND/OR STEEP SLOPES, STABILIZE AREA WITH SEED AND MATTING IF THE SLOPE HAS NOT BEEN DISTURBED FOR A PERIOD OF (7) DAYS.
 - D. PROVIDE GROUND COVER SUFFICIENT TO RESTRAIN EROSION ON ANY PORTION OF THE SITE UPON WHICH FURTHER LAND-DISTURBING ACTIVITY IS NOT BEING UNDERTAKEN WITHIN (14) CALENDAR DAYS OF TEMPORARILY OR PERMANENTLY SUSPENDING LAND DISTURBING ACTIVITY.
 - E. ESTABLISH PERMANENT GROUND COVER SUFFICIENT TO RESTRAIN EROSION IMMEDIATELY FOLLOWING COMPLETION OF CONSTRUCTION OR DEVELOPMENT AND/OR PRIOR TO FINAL INSPECTION.
8. RE-INSTALL ADEQUATE EROSION AND SEDIMENT CONTROL MEASURES AND/OR INCREASE MAINTENANCE FREQUENCY WHERE APPROVED MEASURES FAIL TO PREVENT ACCELERATED EROSION.
9. PRIOR TO REMOVAL OF EROSION CONTROL MEASURES, CONTACT ORANGE COUNTY TO REQUEST AN INSPECTION AND OBTAIN A SIGNOFF.
10. ONCE GRADING AND CONSTRUCTION ACTIVITIES ARE COMPLETE, TEMPORARY MEASURES ARE REMOVED, AND THE SITE IS STABILIZED, CALL ORANGE COUNTY EROSION CONTROL DIVISION TO SCHEDULE THE FINAL INSPECTION.
11. ONCE THE FINAL INSPECTION IS COMPLETE THE PERMIT WILL BE CLOSED AND NO ADDITIONAL LAND DISTURBANCE IS PERMITTED.

NOTES:

1. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND THROUGHOUT THE SITE AS ALLOWED BY LOCAL CODES, UNLESS OTHERWISE SHOWN ON PLANS.
2. ALL PUBLIC UTILITIES AND CONNECTIONS TO PUBLIC UTILITIES SHALL CONFORM TO THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS NECESSARY FOR CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS THE TOWN OF CHAPEL HILL AND APPROPRIATE UTILITY COMPANIES SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
6. UTILITY CONNECTIONS FOR BUILDING PLUMBING LINES SHALL BE COORDINATED BY CONTRACTOR. LOCATIONS, BOTH HORIZONTAL AND VERTICAL, SHALL BE VERIFIED PRIOR TO BEGINNING THEIR CONSTRUCTION.
7. SEWER CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING.



Know what's below. Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4848) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

CIVIL ENGINEER

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delores.bailey@gmail.com

ZCP SITE PLANS FOR PEACH APARTMENTS

107 JOHNSON STREET
CHAPEL HILL, NORTH CAROLINA

PIN: 9788-03-2946, 9788-03-0899 & 9788-03-0940

DATE: FEBRUARY 3, 2023

REVISION #1: MARCH 15, 2023

REVISION #2: MAY 4, 2023

REVISION #3: MAY 30, 2023

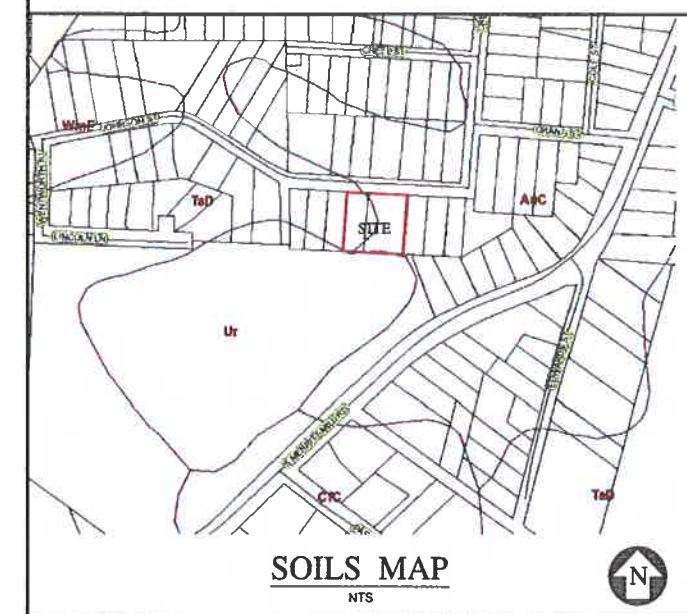
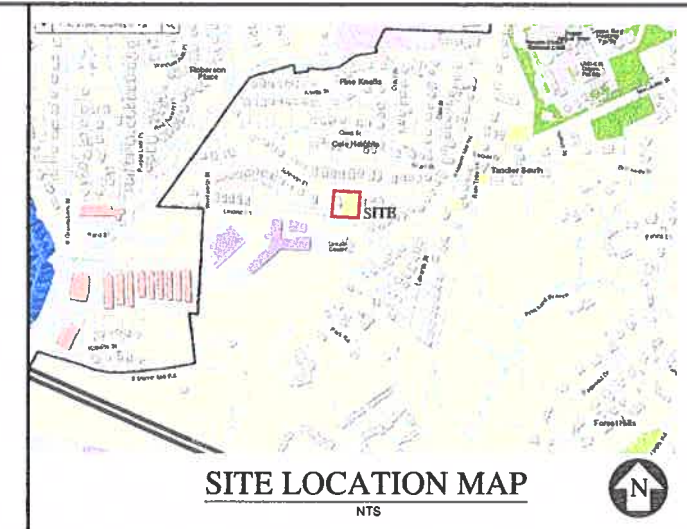
REVISION #4: JUNE 4, 2023

REVISION #5: JUNE 28, 2023

REVISION #6: NOVEMBER 24, 2023

REVISION #7: DECEMBER 28, 2023

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D-4	SITE DETAILS
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L-1	LANDSCAPE PLAN

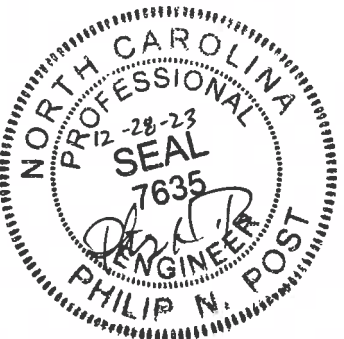


DEVELOPMENT INFORMATION

NET LAND AREA = 29,268 SF (0.67 AC)
GROSS LAND AREA = 32,164 SF (0.74 AC)
EXISTING ZONING = R-SS-CZD
PROPOSED AFFORDABLE DWELLING UNITS: 10 UNITS
(2) EFFICIENCIES; (4) ONE BEDROOM; (3) TWO BEDROOM; (1) THREE BEDROOM
PROPOSED FLOOR AREA = 7,697 SF
ALLOWABLE PARKING: 13 SPACES
PROPOSED PARKING: 9 REGULAR
2 ACCESSIBLE
2 OVERFLOW
13 TOTAL SPACES
BICYCLE PARKING: 4 SPACES
PROPOSED AMENITIES: PLAYGROUND, GAZEBO, COMMUNITY GARDEN
PROPOSED STORMWATER CONTROL MEASURE: BIORETENTION SCM
PROPOSED DISTURBED AREA = 23,525 SF (0.54 AC)
EXISTING IMPERVIOUS AREA = 5,141 SF (0.118 AC)
PROPOSED IMPERVIOUS AREA =
ROOFS = 8,232 SF (MAIN)
ROOFS = 120 SF (GAZEBO)
ROOFS = 60 SF (SHELTER)
WALKS/WALLS = 1,552 SF
DRIVES = 4,447 SF
TOTAL = 12,411 SF (0.28 AC)
NET NEW IMPERVIOUS SURFACE = 7,270 SF (0.167 AC)

Zoning Approved Plans

Chapel Hill Planning Department
Tasmaya Lagoo
01/19/2024



NO.	REVISIONS	DATE	BY
7	UPDATE DETAILS AND LANDSCAPE PLAN	12/28/2023	DMC
6	NOTES AND DETAILS	11/24/2023	DMC
5	NOTES & SCHEDULES	6/28/2023	DMC
4	ROOF DRAINS AND IMPERVIOUS CALC.	6/6/2023	DMC
3	COMMENTS	5/29/2023	DMC
2	REVISED	5/9/2023	DMC
1	INITIAL	4/27/2023	DMC

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PHILIP N. POST, PE, PLS

CHECKED BY
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DRAWN BY
DMC

FIRST ISSUE DATE
02-03-2023

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PHILIP POST ENGINEERING
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ZCP SITE PLANS
PEACH APARTMENTS
107 JOHNSON STREET - PIN: 9788-03-2946, 9788-03-0899 & 9788-03-0940
CHAPEL HILL, NORTH CAROLINA

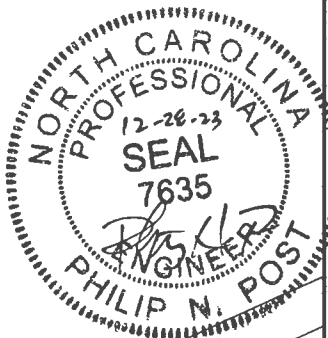
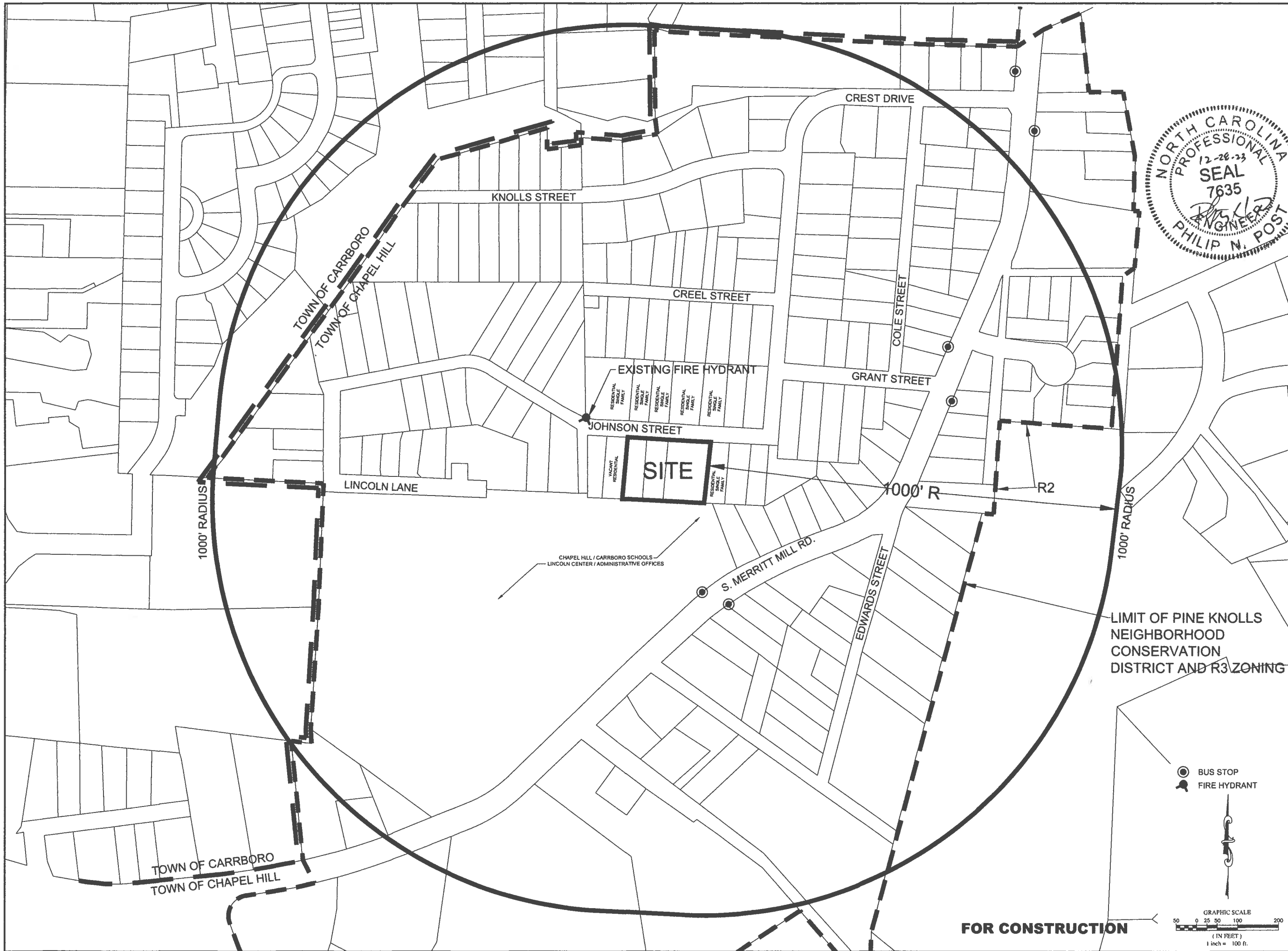
COVER SHEET

PROJECT NO.
PEACH

DRAWING NAME:
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SHEET NO.
C-1

FOR CONSTRUCTION



NO.	DESCRIPTION	DATE	BY
7	UPDATE DETAILS AND LANDSCAPE PLAN	12/28/2023	DHC
6	NOTES AND DETAILS	11/29/2023	DHC
5	NOTES & SCHEDULES	9/28/2023	DHC
4	ROOF DRAINS AND IMPERVIOUS CALC.	8/17/2023	DHC
3	COMMENTS	5/09/2023	DHC
2	COMMENTS	5/09/2023	DHC
1	HYD. UNITS	4/27/2023	DHC

PROJECT ENGINEER PNP	CHECKED BY PNP	DRAWN BY DC	FIRST ISSUE DATE 02-03-2020
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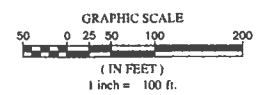
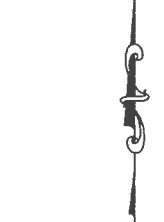


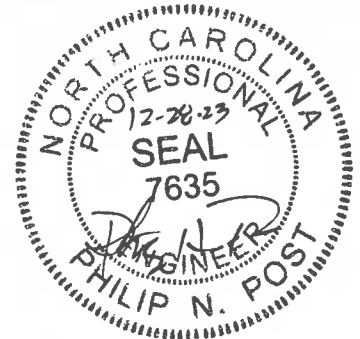
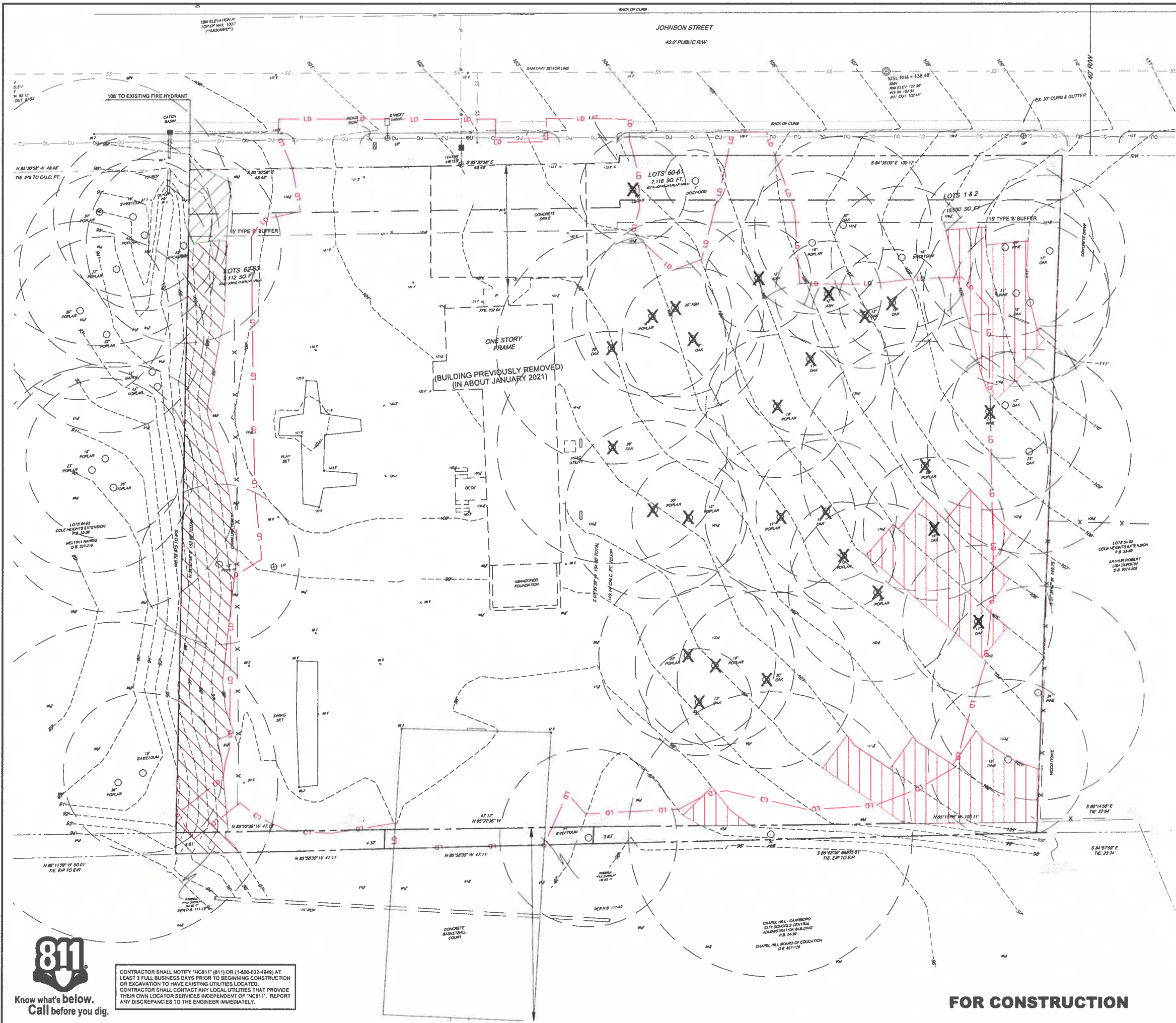
ZCV SITE PLANS
PEACH APARTMENTS
 107 JOHNSON STREET - PHN: 9788-03-2946, 9788-03-0689 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA
AREA MAP

PROJECT NO.
PEACH
 DRAWING NAME
 AREA MAP.dwg
 SHEET NO.
C-2

FOR CONSTRUCTION

- BUS STOP
- FIRE HYDRANT





SLOPES LEGEND

	10% TO 15% SLOPES AREA = 1853 SF DISTURBED = 870 SF
	15% TO 25% SLOPES AREA = 138 SF DISTURBED = 0 SF
	OVER 25% SLOPES AREA = 1318 SF DISTURBED = 87 SF

REMINDER OF SITE IS LESS THAN 10%

NOTE: ALL INFORMATION ON THIS MAP WAS FIELD SURVEYED, USING ASSUMED ELEVATION AT TBM AS SHOWN HEREON. TO CONVERT TO MSL DATUM, ADD 330" TO ALL CONTOURS AND GRADES.

LEGEND

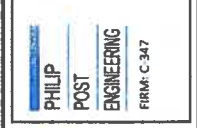
	TELEPHONE PEDESTAL
	CONTROL CABINET
	CURB INLET
	DROP INLET
	LIGHT POLE
	WATER METER
	WATER VALVE
	TRAFFIC SIGNAL BOX
	EXISTING SEWER MANHOLE
	CLEAN OUT
	FIRE HYDRANT
	POWER/LIGHT POLE
	GUY WIRE
	EXISTING MONUMENT FOUND
	IRON ROD OR PIPE
	CONCRETE MONUMENT SET
	CONCRETE MONUMENT
	EXISTING PIPE/CULVERT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING TELEPHONE
	EXISTING GAS LINE
	EXISTING OVERHEAD UTILITY
	EXISTING UNDERGROUND UTILITY
	EXISTING WOODS LINE
	LIMITS OF DISTURBANCE LINE

NO.	DESCRIPTION	DATE	BY
7	UPDATE DETAILS AND LANDSCAPE PLAN	12/28/2023	DNC
6	NOTES AND DETAILS	11/24/2023	DNC
5	NOTES & SCHEDULES	8/28/2023	DNC
4	ROOF DRAINS AND INTERIORS CALC.	6/4/2023	DNC
3	CAZEMBO	5/20/2023	DNC
2	COMMENTS	5/04/2023	DNC
1	HVAC UNITS	4/27/2023	DNC

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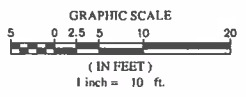
ZCP SITE PLANS
PEACH APARTMENTS
 107 JOHNSON STREET - PH: 9788-03-2946, 9788-03-0899 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA
EXISTING CONDITIONS - SLOPE ANALYSIS PLAN

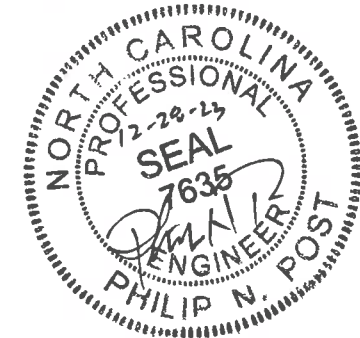
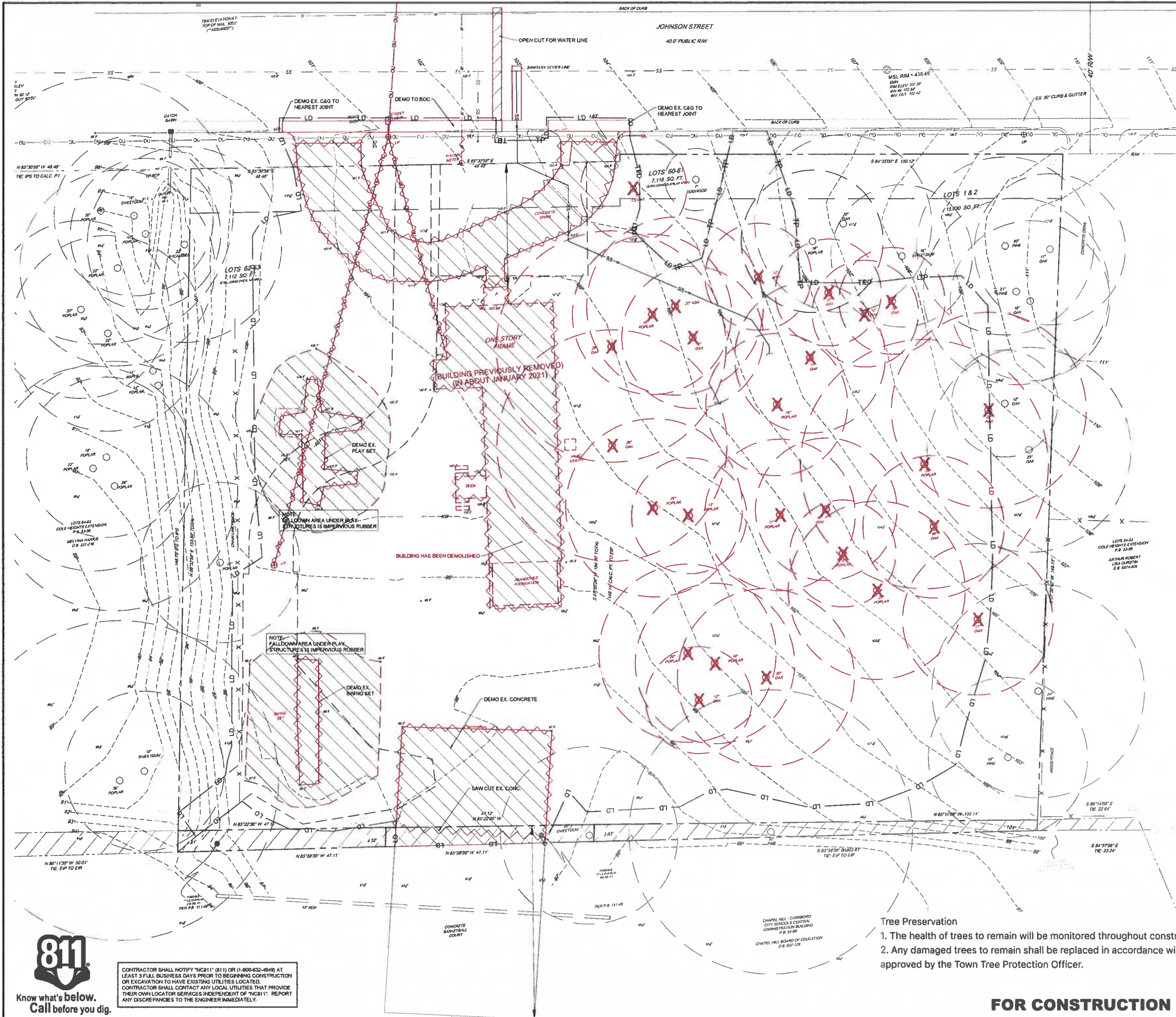
PROJECT NO.
PEACH
 DRAWING NAME
PEACH_XC.dwg
 SHEET NO.
C-3



CONTRACTOR SHALL NOTIFY 'NC811' (811) OR (1-800-632-4948) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 'NC811'. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

FOR CONSTRUCTION





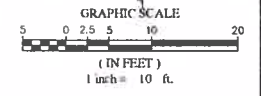
LEGEND

	TELEPHONE PEDESTAL
	CONTROLLER CABINET
	CURB INLET
	DROP INLET
	LIGHT POLE
	WATER METER
	WATER VALVE
	TRAFFIC SIGNAL BOX
	EXISTING SEWER MANHOLE
	CLEAN OUT
	FIRE HYDRANT
	POWERLIGHT POLE
	GUY WIRE
	EXISTING MANHOLE FOUND
	IRON ROD OR PIPE
	CONCRETE MONUMENT SET
	CONCRETE MONUMENT
	EXISTING PIPE/CULVERT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING TELEPHONE
	EXISTING GAS LINE
	EXISTING OVERHEAD UTILITY
	EXISTING UNDERGROUND UTILITY
	EXISTING WOODS LINE
	LIMITS OF DISTURBANCE LINE
	EXISTING IMPERVIOUS AREAS DEMOLISHED = 5,141 SF

NOTE: FALLODOWN AREA UNDER PLAY STRUCTURES IS IMPERVIOUS RUBBER

Tree Preservation

- The health of trees to remain will be monitored throughout construction.
- Any damaged trees to remain shall be replaced in accordance with Town regulations, as approved by the Town Tree Protection Officer.



FOR CONSTRUCTION



CONTRACTOR SHALL NOTIFY 811 (811) OR (1-800-433-8849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF 811. REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

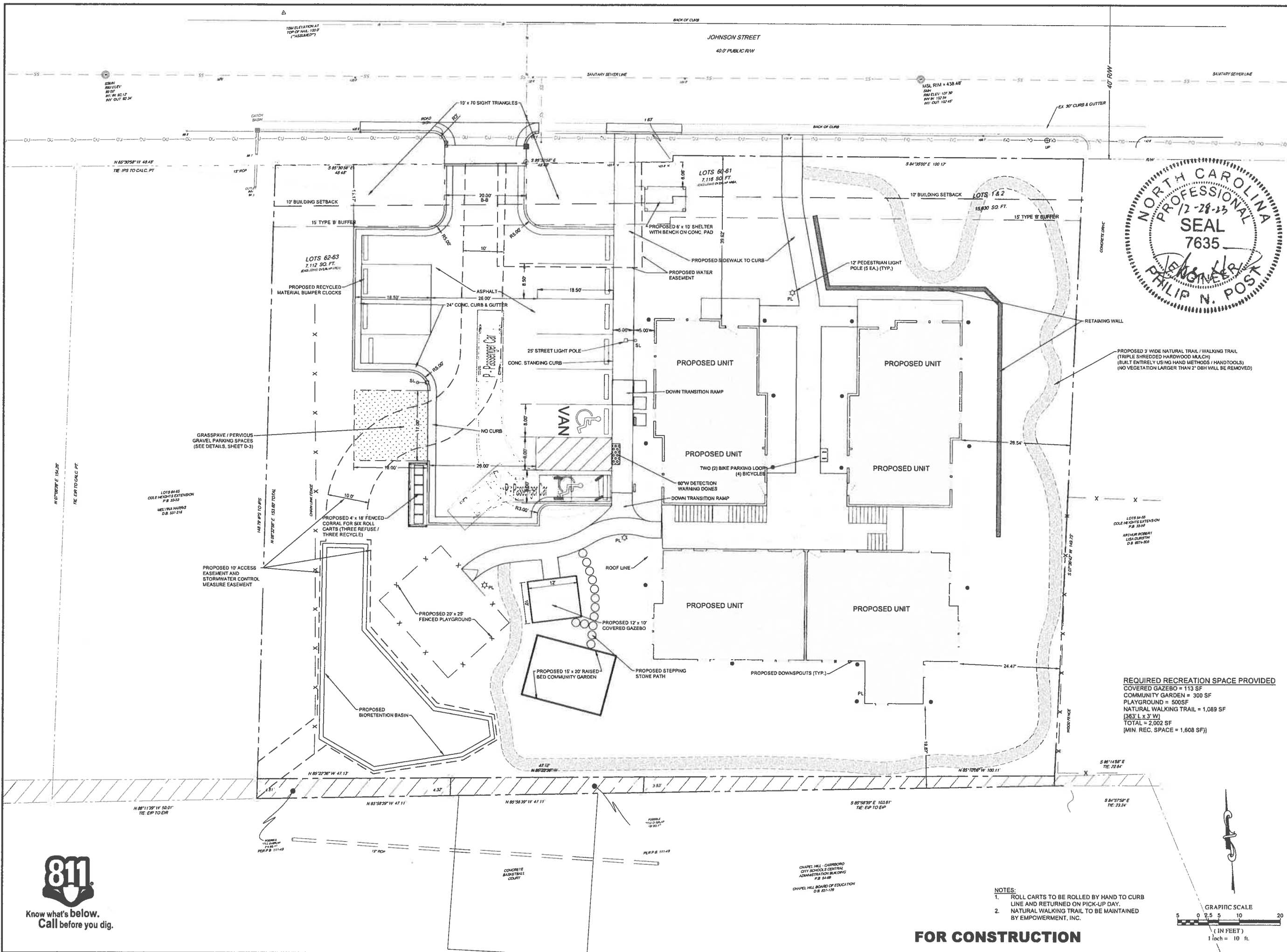
7	UPDATE DETAILS AND LANDSCAPE PLAN	DMC	12/28/2023	BY
6	NOTES AND DETAILS	DMC	11/29/2023	
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4	ROOF DRAINS AND IMPERVIOUS CALL.	DMC	6/4/2023	
3	CAZEMO	DMC	5/30/2023	
2	COMMENTS	DMC	4/04/2023	
1	HWAC UNITS	DMC	4/27/2023	

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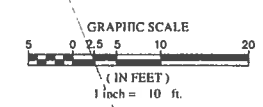
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C-4



REQUIRED RECREATION SPACE PROVIDED
 COVERED GAZEBO = 113 SF
 COMMUNITY GARDEN = 300 SF
 PLAYGROUND = 500 SF
 NATURAL WALKING TRAIL = 1,089 SF
 TOTAL = 2,002 SF
 (363' L x 3' W)
 (MIN. REC. SPACE = 1,608 SF)

- NOTES:**
- ROLL CARTS TO BE ROLLED BY HAND TO CURB LINE AND RETURNED ON PICK-UP DAY.
 - NATURAL WALKING TRAIL TO BE MAINTAINED BY EMPOWERMENT, INC.



FOR CONSTRUCTION

NO.	DATE	BY	REVISIONS
7	12/29/2023	DC	UPDATE DETAILS AND LANDSCAPE PLAN
6	11/24/2023	DC	NOTES AND DETAILS
5	6/28/2023	DC	NOTES & SCHEDULES
4	6/4/2023	DC	ROOF DRAWS AND IMPROVED CALC.
3	5/29/2023	DC	COMMENTS
2	5/04/2023	DC	GAZEBO
1	4/27/2023	DC	FINAL UNITS

PROJECT ENGINEER	PHILIP N. POST, PE, PLS
CHECKED BY	PHILIP N. POST
DRAWN BY	PHILIP N. POST
FIRST ISSUE DATE	02-03-2023

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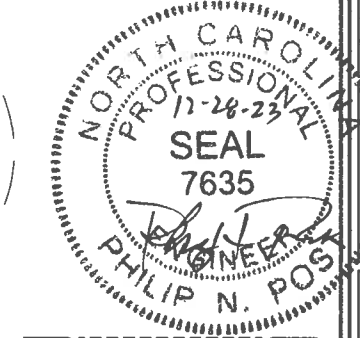
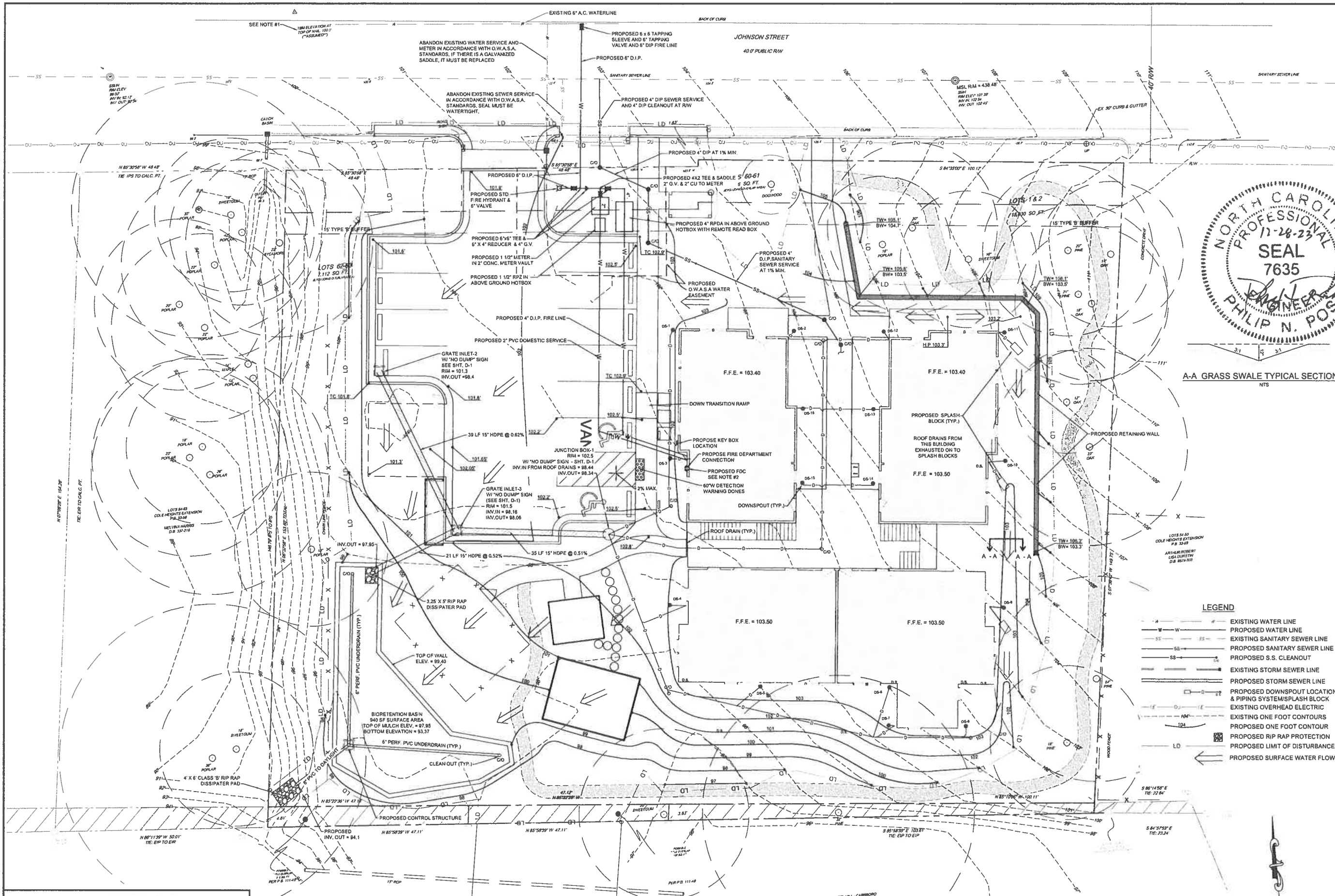
PHILIP POST ENGINEERING
 FIRM: C-347

ZCP SITE PLANS
PEACH APARTMENTS
 107 JOHNSON STREET - PH: 9788-03-2946, 9788-03-0899 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA

SITE PLAN

PROJECT NO. PEACH
 DRAWING NAME: SITE PLAN.dwg
 SHEET NO. C-5





A-A GRASS SWALE TYPICAL SECTION
NTS

LEGEND

	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED S.S. CLEANOUT
	EXISTING STORM SEWER LINE
	PROPOSED STORM SEWER LINE
	PROPOSED DOWNSPOUT LOCATION & PIPING SYSTEM/SPLASH BLOCK
	EXISTING OVERHEAD ELECTRIC
	EXISTING ONE FOOT CONTOURS
	PROPOSED ONE FOOT CONTOUR
	PROPOSED RIP RAP PROTECTION
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SURFACE WATER FLOW

NO.	DATE	BY
7	12/28/2023	DMC
6	11/24/2023	DMC
5	6/29/2023	DMC
4	6/4/2023	DMC
3	5/22/2023	DMC
2	5/04/2023	DMC
1	4/27/2023	DMC

NO.	DATE	BY
7	12/28/2023	DMC
6	11/24/2023	DMC
5	6/29/2023	DMC
4	6/4/2023	DMC
3	5/22/2023	DMC
2	5/04/2023	DMC
1	4/27/2023	DMC

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FIRM: C-347

ZCP SITE PLANS
PEACH APARTMENTS
107 JOHNSON STREET - PIN: 9788-03-2946, 9788-03-0890 & 9788-03-0840
CHAPEL HILL, NORTH CAROLINA
GRADING & DRAINAGE & UTILITY PLAN

PROJECT NO. PEACH
DRAWING NAME: PEACH_G.dwg
SHEET NO. C-6

STORM DRAINAGE SCHEDULE
PEACH APARTMENTS
6/25/23
Design Storm: 10-YEAR
Note: Rim elevations are taken from the top of structure.

STRUCTURE	RIM ELEV.	INV. IN	INV. OUT	LENGTH	SIZE	SLOPE
JB-1	102.50	98.34	35	15'	0.51%	
GH-2	101.30	98.40	39	15'	0.82%	
GH-3	101.50	98.16	21	15'	0.52%	

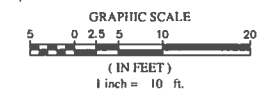
GRATE INLET GH-3 DRAINS DIRECTLY INTO BIORETENTION BASIN

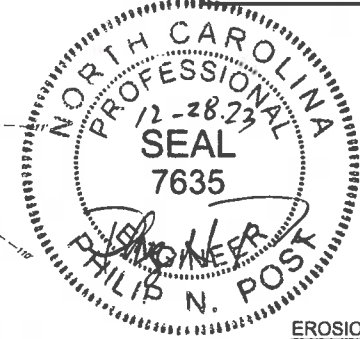
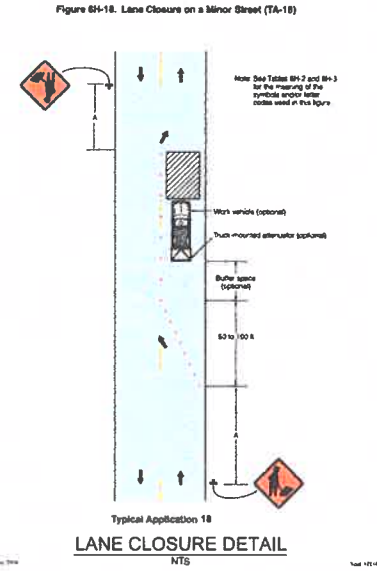
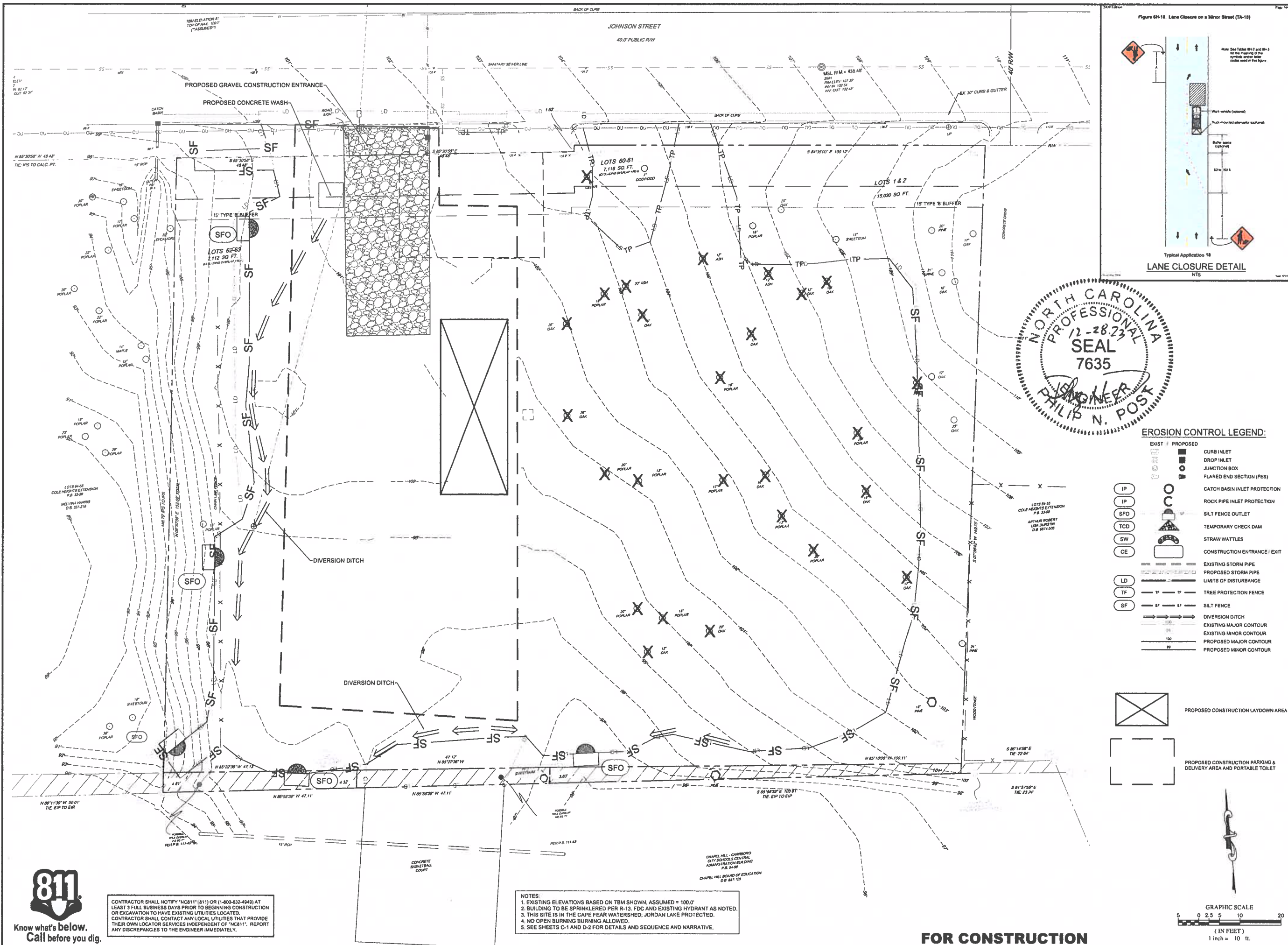
- NOTES:**
- EXISTING ELEVATIONS BASED ON TBM SHOWN, ASSUMED = 100.0'. TO CONVERT TO MSL ELEVATIONS, ADD 331.09' TO ALL ASSUMED ELEVATIONS.
 - BUILDING TO BE SPRINKLERED PER R-13. FDC AND PROPOSED HYDRANT AS NOTED.
 - THIS SITE IS IN THE CAPE FEAR WATERSHED; JORDAN LAKE PROTECTED.



FOR CONSTRUCTION

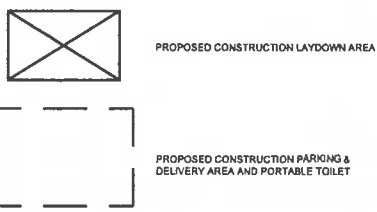
PROPOSED SCM = 940 SF (RAIN GARDEN)
PROPOSED DISTURBED AREA = 23,525 SF (0.54 AC)
EXISTING IMPERVIOUS AREA = 5,141 SF (0.116 AC) (DEMOLISHED)
PROPOSED IMPERVIOUS AREA = 12,411 SF (0.28 AC)
NET NEW IMPERVIOUS SURFACE = 7,270 SF (0.167 AC)





EROSION CONTROL LEGEND:

EXIST	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	CURB INLET
[Symbol]	[Symbol]	DROP INLET
[Symbol]	[Symbol]	JUNCTION BOX
[Symbol]	[Symbol]	FLARED END SECTION (FES)
[Symbol]	[Symbol]	CATCH BASIN INLET PROTECTION
[Symbol]	[Symbol]	ROCK PIPE INLET PROTECTION
[Symbol]	[Symbol]	SILT FENCE OUTLET
[Symbol]	[Symbol]	TEMPORARY CHECK DAM
[Symbol]	[Symbol]	STRAW WATTLES
[Symbol]	[Symbol]	CONSTRUCTION ENTRANCE / EXIT
[Symbol]	[Symbol]	EXISTING STORM PIPE
[Symbol]	[Symbol]	PROPOSED STORM PIPE
[Symbol]	[Symbol]	LIMITS OF DISTURBANCE
[Symbol]	[Symbol]	TREE PROTECTION FENCE
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	DIVERSION DITCH
[Symbol]	[Symbol]	EXISTING MAJOR CONTOUR
[Symbol]	[Symbol]	EXISTING MINOR CONTOUR
[Symbol]	[Symbol]	PROPOSED MAJOR CONTOUR
[Symbol]	[Symbol]	PROPOSED MINOR CONTOUR



NO.	DATE	BY
7	12/28/2023	DNC
6	11/24/2023	DNC
5	6/26/2023	DNC
4	6/14/2023	DNC
3	5/29/2023	DNC
2	5/24/2023	DNC
1	4/27/2023	DNC

PROJECT ENGINEER	CHECKED BY	DRAWN BY	FIRST ISSUE DATE
PNP	PNP	DC	02/05/2023

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 FIRM: C-347

ZCF SITE PLANS
PEACH APARTMENTS
 107 JOHNSON STREET - PIN: 9788-03-2946, 9788-03-0889 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA

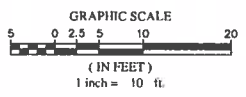
EROSION CONTROL - CONSTRUCTION MANAGEMENT PLAN

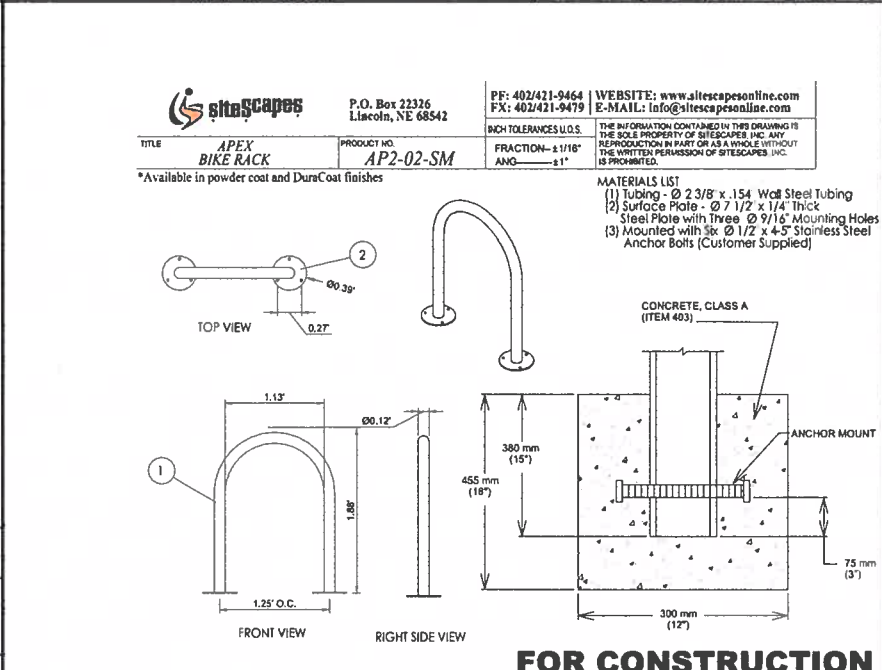
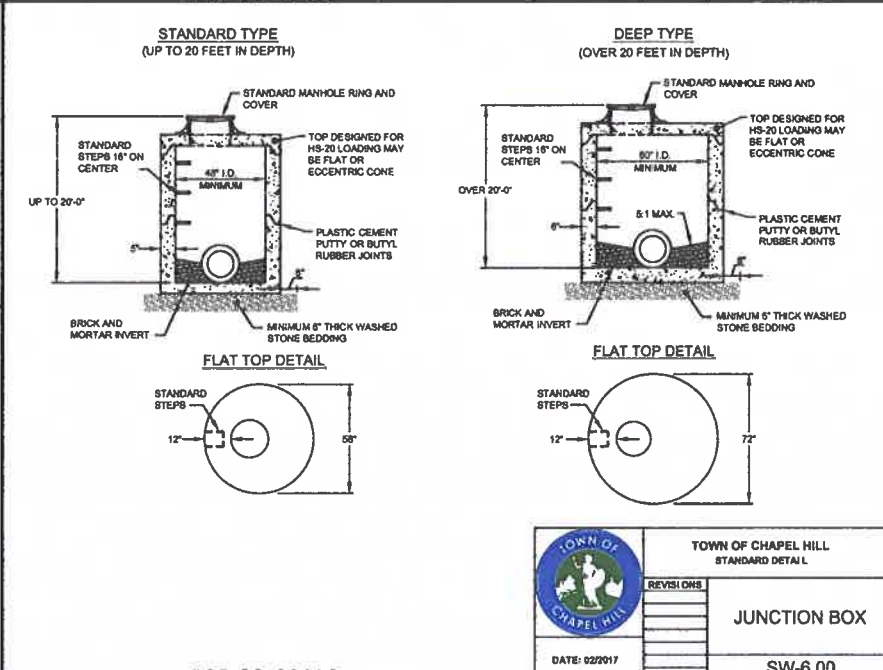
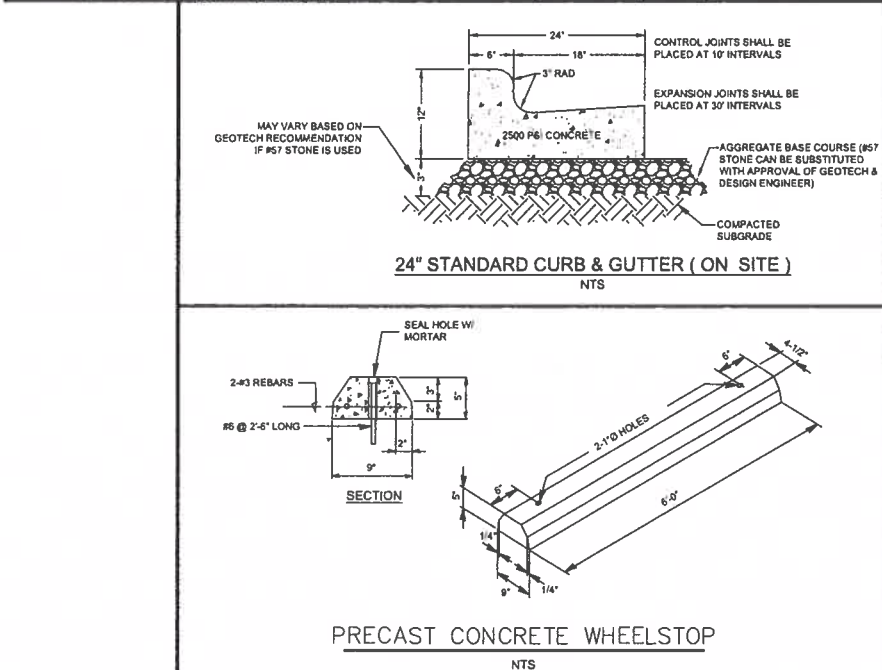
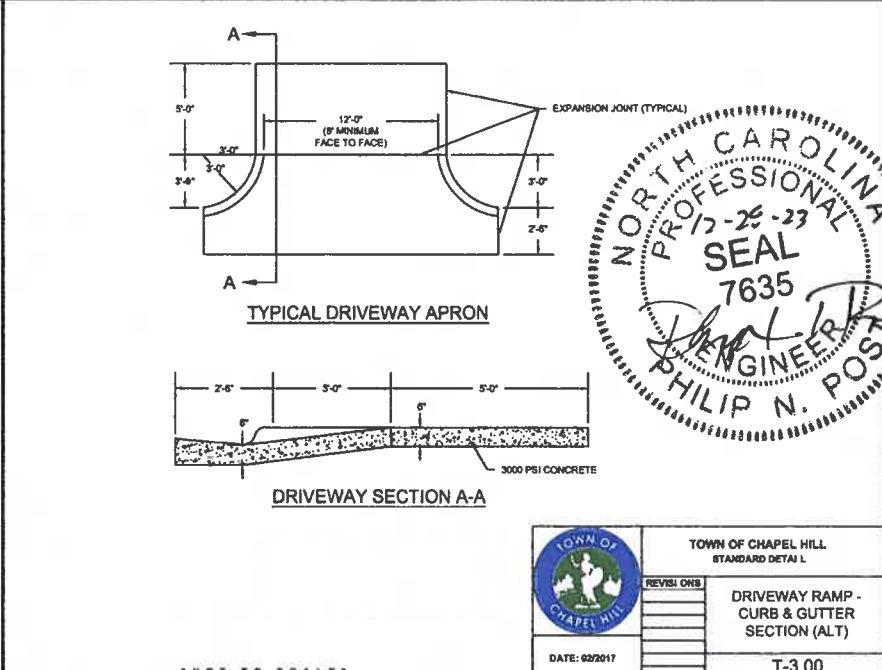
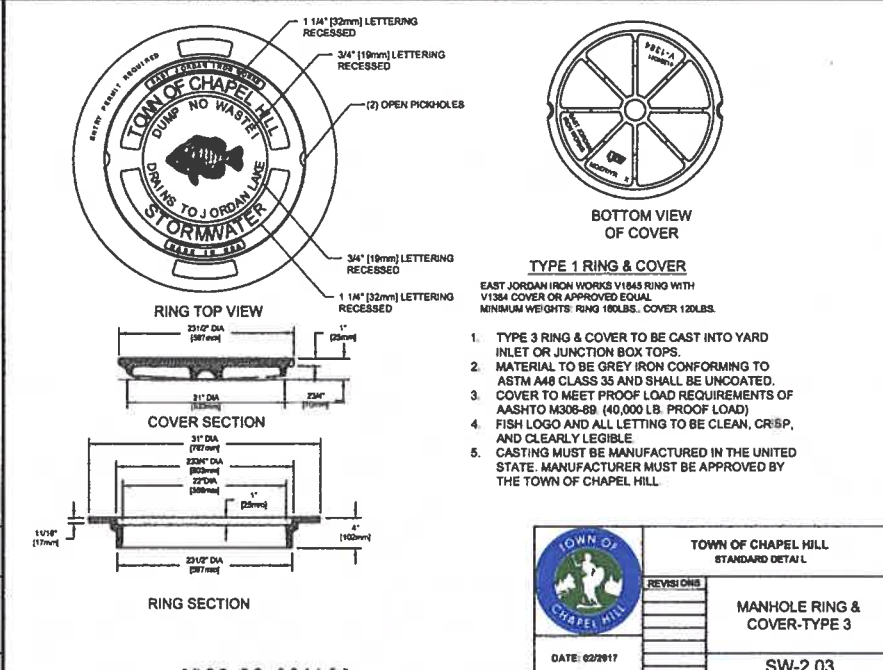
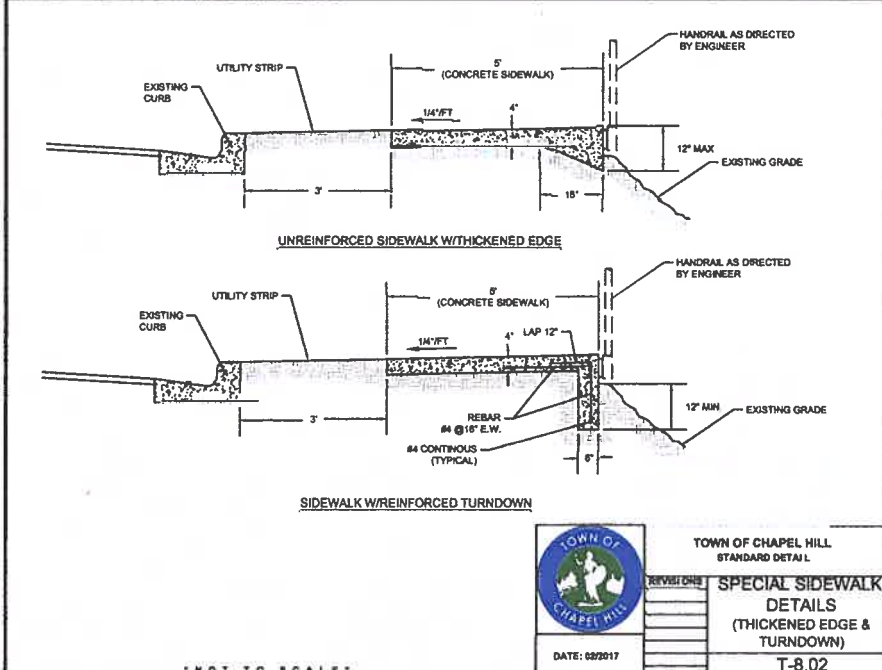
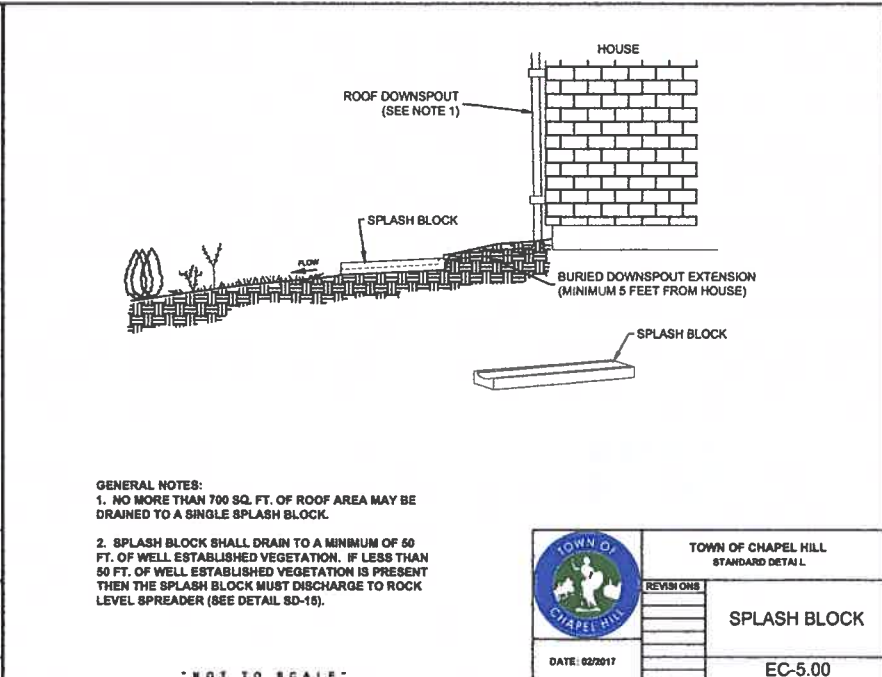
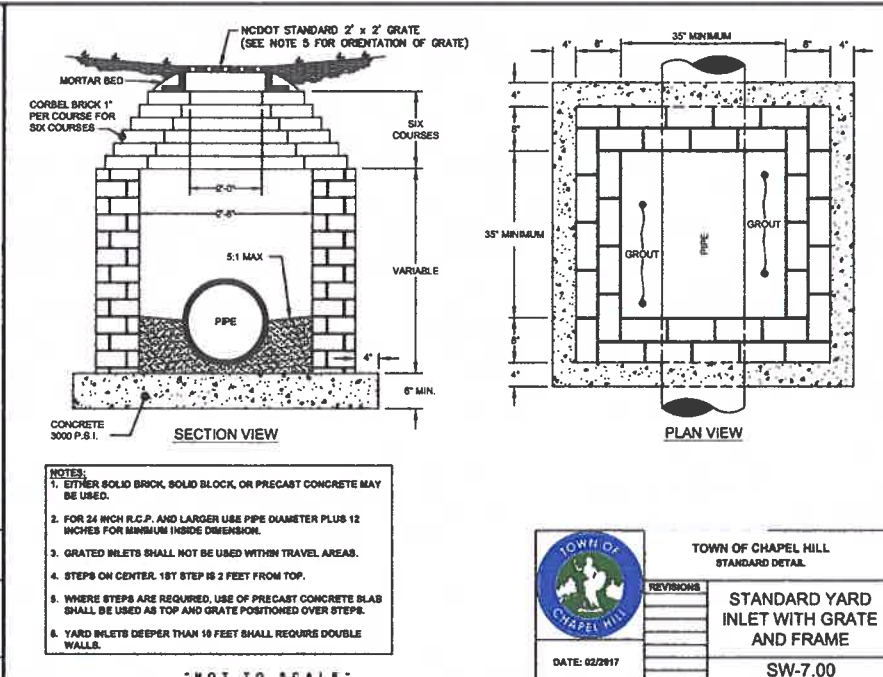
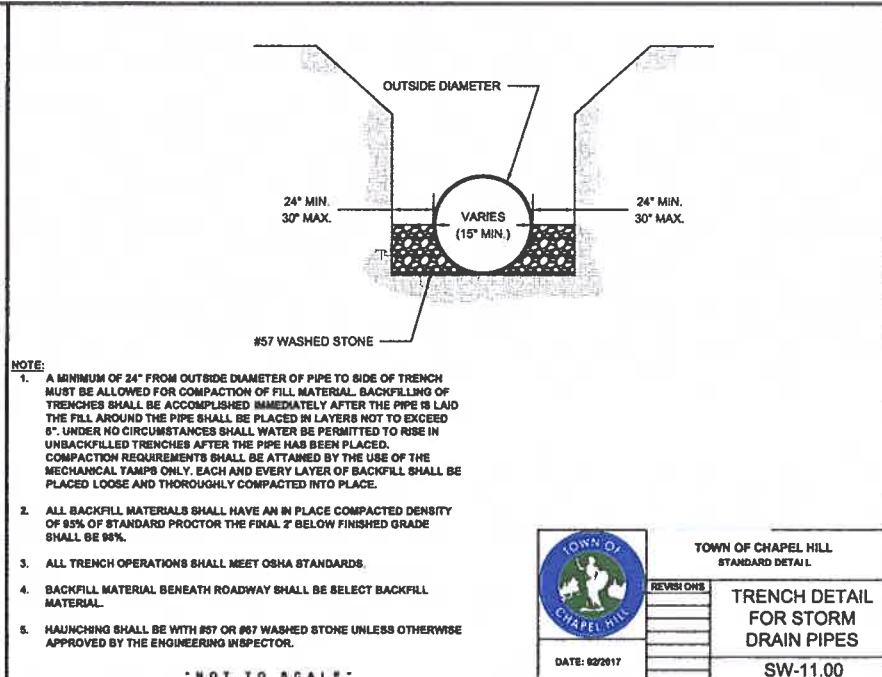
PROJECT NO.
PEACH
 DRAWING NAME:
PEACH_EC.dwg
 SHEET NO.
C-7

CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-433-4948) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

NOTES:
 1. EXISTING ELEVATIONS BASED ON TBM SHOWN. ASSUMED = 100.0'
 2. BUILDING TO BE SPRINKLERED PER R-13, FDC AND EXISTING HYDRANT AS NOTED.
 3. THIS SITE IS IN THE CAPE FEAR WATERSHED; JORDAN LAKE PROTECTED.
 4. NO OPEN BURNING BURNING ALLOWED.
 5. SEE SHEETS C-1 AND D-2 FOR DETAILS AND SEQUENCE AND NARRATIVE.

FOR CONSTRUCTION





NO.	DESCRIPTION	DATE	BY
7	UPDATE DETAILS AND LANDSCAPE PLAN	12/28/2023	DNC
6	NOTES AND DETAILS	11/29/2023	DNC
5	NOTES & SCHEDULES	6/28/2023	DNC
4	ROOF DRAINS AND PERVIOUS CALC.	6/7/2023	DNC
3	CALCULATIONS	5/29/2023	DNC
2	COMMENTS	5/24/2023	DNC
1	HWAC UNITS	4/27/2023	DNC

NO.	DESCRIPTION	DATE	BY
1	REVISIONS		

NO.	DESCRIPTION	DATE	BY
1	REVISIONS		

NO.	DESCRIPTION	DATE	BY
1	REVISIONS		

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FIRM: C-347

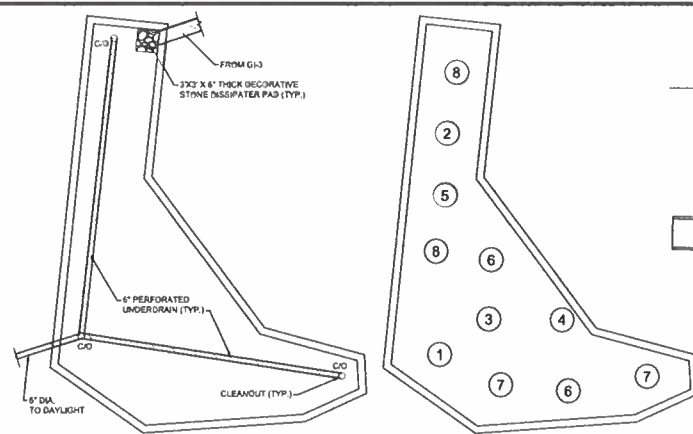
ZCP SITE PLANS
PEACH APARTMENTS
107 JOHNSON STREET - PHN: 978-03-2946, 978-03-0899 & 978-03-0940
CHAPEL HILL, NORTH CAROLINA

SITE DETAILS

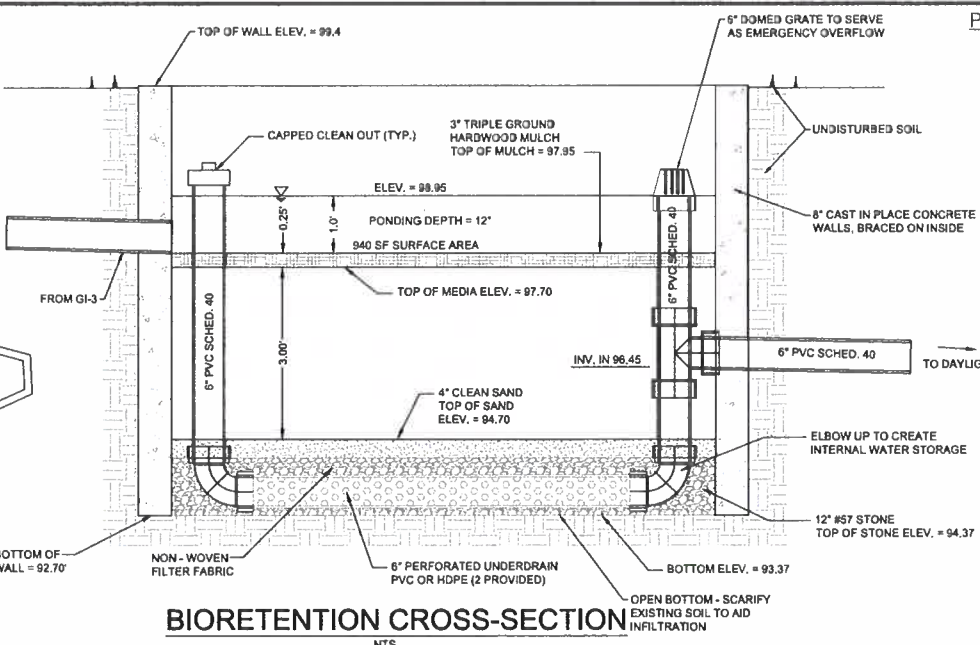
PROJECT NO.
PEACH
DRAWING NAME:
PEACH_D.dwg
SHEET NO.
D-1

BIORETENTION BASIN NOTES

- The drainage area to the basin must be stabilized before construction of the basin begins to prevent clogging with sediment.
- Installation of the filtering media must be done in a manner that will ensure adequate filtration. The media shall not be mechanically compacted. The media shall be placed in the basin in 12" lifts. Each lift may be lightly watered to encourage natural compaction or walked on as it is placed.
- Avoid over compaction by allowing time for natural compaction and settlement. There shall be no manual compaction of the filter media. Rake soil as needed to level. Overflow above the proposed surface elevation to accommodate natural settlement to proper grade. Up to 20% natural compaction may occur.
- The media shall be a homogeneous soil mix engineered media blend with approximate volumes of:
 - 75 to 85 percent medium to coarse washed sand (ASTM C33, AASHTO M 6/M 80, ASTM C330, AASHTO M195, or the equivalent);
 - 8 to 15 percent fines (silt and clay); and
 - 5 to 10 percent organic matter (such as pine bark fines).
- The phosphorus index (P-index) for the media shall not exceed 30 in NSW Waters as defined in 15A NCAC 02B .0202 and shall not exceed 50 elsewhere.
- A purchase receipt of the soil media meeting this specification must be submitted as part of the "As-Built" submission to the town of Chapel Hill.



BIORETENTION PLAN VIEW PLANTING PLAN



BIORETENTION CROSS-SECTION

PLANT KEY:

NUMBER	QUANTITY	COMMON NAME	SCIENTIFIC NAME
1.	1	EASTERN REDBUD	CERCIS CANADENSIS
2.	1	FRINGETREE	CHIONANTHUS VIRGINICUS
3.	1	AMERICAN BEAUTYBERRY	CALLICARPA AMERICANA
4.	1	DWARF AZALEA	RHODODENDRON ATLANTICUM
5.	1	JOE PYE WEED	EUTROCHITUM FISTULOSUM
6.	2	TICKSEED	COREOPSIS LANCEOLATA
7.	2	CARDINAL FLOWER	LOBELIA CARDINALIS
8.	2	SWITCHGRASS	PANICUM VIRGATUM

PLANT LIST

PERMANENT SEEDING IN NORTH CAROLINA (TABLE 6.1)

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
FALL FESCUE	250
SERICEA LESPEDEZA	50
KOBE LESPEDEZA	10

- SEEDING NOTES**
- AFTER AUGUST 15 USE UNSCRIPED SERICEA SEED.
 - WHERE PERIODIC MOWING IS PLANNED OR A NEAR APPEARANCE IS DESIRED, OMIT SERICEA AND INCREASE KOBE LESPEDEZA TO 40 LB/ACRE.
 - TO EXTEND SPRING SEEDING DATES INTO JUNE, ADD 15 LB/ACRE HALLED BERMUDAGRASS. HOWEVER, AFTER MID-APRIL IT IS PREFERABLE TO SEED TEMPORARY COVER.

WINTER PLANTS
BETWEEN MAY 1 AND AUGUST 15, ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE SUDANGRASS. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN).

SEEDING DATES

FALL:	BEST	POSSIBLE
AUGUST 25 - SEPTEMBER 15		AUGUST 20 - OCTOBER 25
LATE WINTER:	FEBRUARY 15 - MARCH 21	FEBRUARY 1 - APRIL 15

FALL IS BEST FOR ALL FESCUE AND LATE WINTER FOR LESPEDEZAS. OVER SEEDING OF KOBE LESPEDEZA OVER FALL-SEEDING TALL FESCUE IS VERY EFFECTIVE.

SOIL AMENDMENTS
APPLY LIME AND FERTILIZER ACCORDING TO SOIL TESTS, OR APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCH. ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING OR ROVING OR BY CRIMPING WITH A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFER FERTILIZER IN THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MAY BE MOWED ONCE OR TWICE A YEAR, BUT MOWING IS NOT NECESSARY. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

SEEDING SCHEDULE

- CHISEL COMPACTED AREAS AND SPREAD TOPSOIL 3 INCHES DEEP OVER ADVERSE SOIL CONDITIONS, IF AVAILABLE.
- RIP THE ENTIRE AREA TO 8 INCHES DEPTH.
- REMOVE ALL LOOSE ROCK, ROOTS, AND OTHER OBSTRUCTIONS LEAVING SURFACE REASONABLY SMOOTH AND UNIFORM.
- APPLY AGRICULTURAL LIME, FERTILIZER, AND UNIFORMLY MIX WITH SOIL (SEE BELOW).
- CONTINUE TILLAGE UNTIL A WELL-PULVERIZED, FIRM REASONABLY UNIFORM SEEDBED IS PREPARED 4 TO 6 INCHES.
- SEED ON A FRESHLY PREPARED SEEDBED AND SEED LIGHTLY WITH SEEDING EQUIPMENT OR CULTIPACK.
- MULCH IMMEDIATELY AFTER SEEDING.
- INSPECT ALL SEEDING AREAS AND MAKE NECESSARY RESEEDINGS WITHIN THE PLANTING SEASON, IF POSSIBLE. STAND SHOULD BE OVER 60% DAMAGED, REESTABLISH WITH ORIGINAL LIME, FERTILIZER AND SEEDING RATES.
- CONSULT CONSERVATION INSPECTOR ON MAINTENANCE AND BIORETENTION AFTER PERMANENT COVER IS STABILIZED.

* APPLY:
AGRICULTURAL LIMESTONE - 2 TONS/ACRE (3 TONS/ACRE IN CLAY SOILS)
FERTILIZER - 1,000 lb./ACRE - 10-10-10
SUPERPHOSPHATE - 500 lbs./ACRE - 20% ANALYSIS
MULCH - 2 TONS/ACRE (5000 LBS/AC FOR STEEP SLOPES) - SMALL GRAIN STRAW
ANOTHER - ASPHALT EMULSION @ 300 GALS/ACRE

SEEDBED PREPARATION

MAINTENANCE:
NEW SEEDINGS SHOULD BE INSPECTED FREQUENTLY AND MAINTENANCE PERFORMED AS NEEDED. IF RILLS AND GULLIES DEVELOP, THEY MUST BE FILLED, RE-SEED, AND MULCHED AS SOON AS POSSIBLE. OVERSEEDS MAY BE NEEDED UNTIL NEW PLANTS TAKE HOLD.
DAMAGE TO VEGETATION FROM DISEASE, INSECTS, TRAFFIC, ETC., CAN OCCUR AT ANY TIME. HERBICIDES AND REGULAR MOWING MAY BE NEEDED TO CONTROL WEEDS, DUST AND SPRAYS MAY BE NEEDED TO CONTROL INSECTS.
WEED OR DAMAGED SPOTS MUST BE RESEED, FERTILIZED, MULCHED, AND RESEED AS PROMPTLY AS POSSIBLE.

TEMPORARY SEEDING IN NORTH CAROLINA

SEEDING MIXTURE SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120
ANNUAL LESPEDEZA (KOBE IN PIEDMONT AND COASTAL PLAIN, KOREAN IN MOUNTAINS)	50
GERMAN MILLET	40
OMIT ANNUAL LESPEDEZA WHEN DURATION OF TEMPORARY COVER IN THE PIEDMONT AND MOUNTAINS, A SMALL-STEMMED SUDANGRASS	

FALL: RYE (GRAIN) IS NOT TO EXTEND BEYOND JUNE. MAY BE SUBSTITUTED AT A RATE OF 50 LB/ACRE.

SEEDING DATES:

LATE WINTER & EARLY SPRING	MOUNTAINS - ABOVE 2500 FT. FEB. 15 - MAY 15 BELOW 2500 FT. FEB. 1 - MAY 1
PIEDMONT - JAN. 1 - MAY 1	COASTAL PLAIN - DEC. 1 - APR. 15
SUMMER	MOUNTAINS - MAY 15 - AUG. 15 PIEDMONT - MAY 1 - AUG. 15 COASTAL PLAIN - APR. 15 - AUG. 15
FALL	MOUNTAINS - AUG. 15 - DEC. 15 COASTAL PLAIN AND PIEDMONT - AUG. 15 - DEC. 30

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.

MULCH
APPLY 4,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKLING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS A MULCH ANCHORING TOOL.

MAINTENANCE
REFER FERTILIZER IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.



CONCRETE WASHOUT PIT

- NOTES:**
- INSTALL CONCRETE WASHOUT PIT AT LOCATIONS SHOWN ON PLANS.
 - LINE PIT WITH IMPERVIOUS FABRIC OR POLYETHYLENE SHEET. ANCHOR FABRIC INTO GROUND OUTSIDE PIT AS SHOWN.
 - MAXIMUM WATER AND SEDIMENT DEPTH IS 12" PIT MUST BE EXCAVATED AND RE-LINED WHEN DEPTH OF SEDIMENT REACHES 12" OR COMBINED WATER AND SEDIMENT DEPTH EXCEEDS 12" FOLLOWING WASHOUT OF CONCRETE TRUCK.
 - ALLOW WATER TO EVAPORATE COMPLETELY PRIOR TO EXCAVATING PIT.
 - WASHOUT PIT MAY BE LOCATED NO CLOSER THAN 50 TO DRAIN INLETS OR SURFACE WATERS.

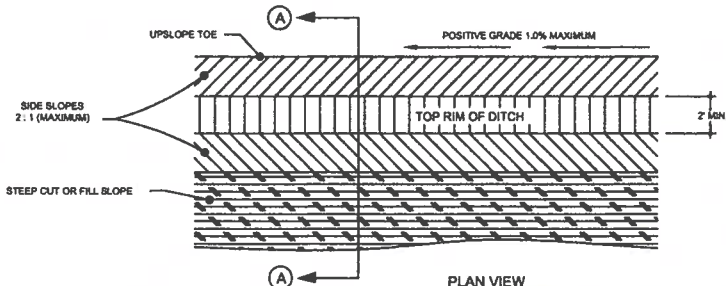
CONCRETE WASHOUT PIT

FOR CONSTRUCTION



CROSS SECTION A-A

NOTE: STABILIZE DIVERSION DITCH WITH TEMPORARY SEEDING AND EROSION CONTROL NETTING.



PLAN VIEW

STANDARD TEMPORARY DIVERSION DITCH

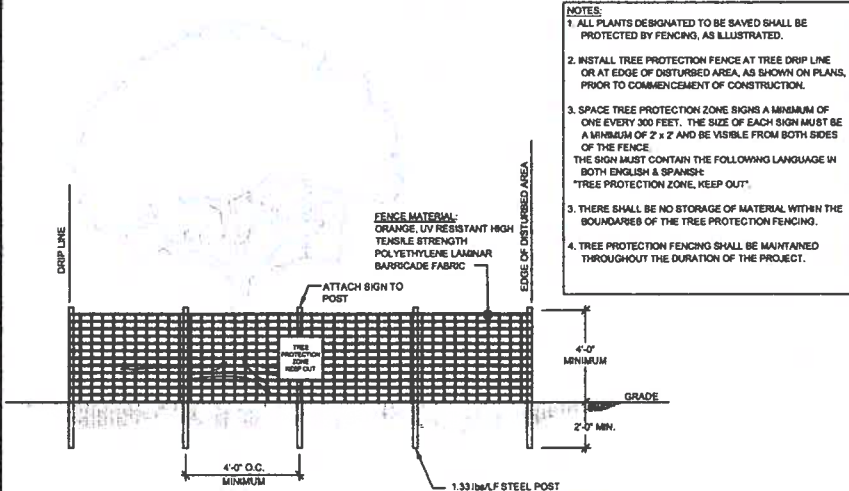
TOWN OF CHAPEL HILL STANDARD DETAIL

REVISIONS

STANDARD TEMPORARY DIVERSION DITCH

DATE: 02/2017

EC-11.00



- NOTES:**
- ALL PLANTS DESIGNATED TO BE SAVED SHALL BE PROTECTED BY FENCING, AS ILLUSTRATED.
 - INSTALL TREE PROTECTION FENCE AT TREE DRIP LINE OR AT EDGE OF DISTURBED AREA, AS SHOWN ON PLANS, PRIOR TO COMMENCEMENT OF CONSTRUCTION.
 - SPACE TREE PROTECTION ZONE SIGNS A MINIMUM OF ONE EVERY 300 FEET. THE SIZE OF EACH SIGN MUST BE A MINIMUM OF 2' x 2' AND BE VISIBLE FROM BOTH SIDES OF THE FENCE. THE SIGN MUST CONTAIN THE FOLLOWING LANGUAGE IN BOTH ENGLISH & SPANISH: "TREE PROTECTION ZONE, KEEP OUT".
 - THERE SHALL BE NO STORAGE OF MATERIAL WITHIN THE BOUNDARIES OF THE TREE PROTECTION FENCING.
 - THE PROTECTION FENCING SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.

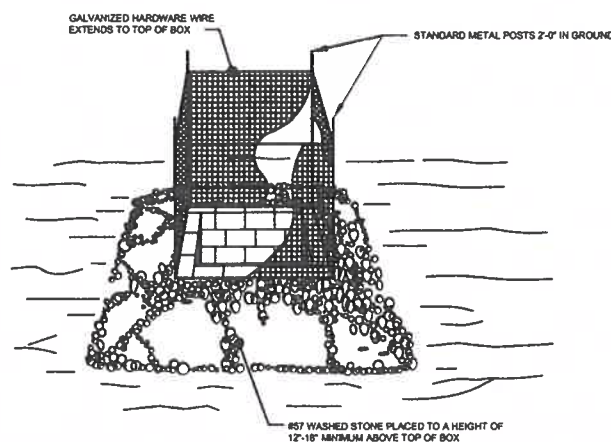
TOWN OF CHAPEL HILL STANDARD DETAIL

REVISIONS

TREE PROTECTION FENCE

DATE: 02/2017

EC-12.00



TOWN OF CHAPEL HILL STANDARD DETAIL

REVISIONS

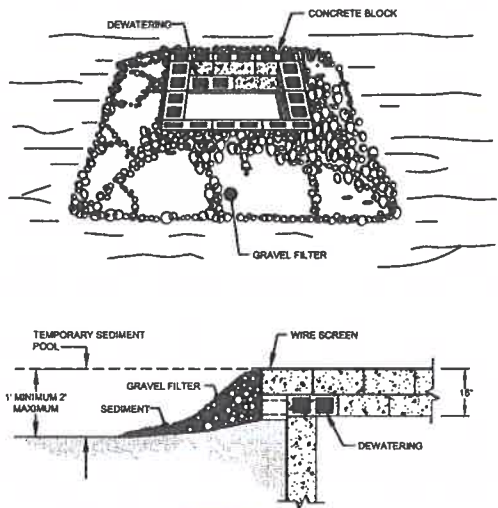
STANDARD CATCH BASIN/YARD INLET PROTECTION

DATE: 02/2017

EC-16.00

CONSTRUCTION SPECIFICATIONS

- LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE IN THE BOTTOM ROW TO ALLOW POOL DRAINAGE. THE FOUNDATION SHOULD BE EXCAVATED AT LEAST 2 INCHES BELOW THE CREST OF THE STORM DRAIN. PLACE THE BOTTOM ROW OF BLOCKS AGAINST THE EDGE OF THE STORM DRAIN FOR LATERAL SUPPORT AND TO AVOID WASHOUTS WHEN OVERFLOW OCCURS. IF NEEDED, GIVE LATERAL SUPPORT TO SUBSEQUENT ROWS BY PLACING 2x4 WOOD STUDS THROUGH BLOCK OPENINGS.
- CAREFULLY FIT HARDWARE CLOTH OR COMPARABLE WIRE MESH WITH 1/2 INCH OPENINGS OVER ALL BLOCK OPENINGS TO HOLD GRAVEL IN PLACE.
- USE CLEAN GRAVEL, 3/4 TO 1/2 INCH IN DIAMETER, PLACED 2 INCHES BELOW THE TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER AND SMOOTH IT TO AN EVEN GRADE. DOT #57 WASHED STONE IS RECOMMENDED.



TOWN OF CHAPEL HILL STANDARD DETAIL

REVISIONS

STANDARD BLOCK & GRAVEL DROP INLET PROTECTION

DATE: 02/2017

EC-15.00



NEW STABILIZATION TIMEFRAMES (Effective Aug. 3, 2017)

SITE AREA DESCRIPTION	TIMEFRAME EXCEPTIONS	STABILIZATION
Perimeter ditches, swales, ditches, slopes	None	7 days
High Quality Water (HOW) Zones	None	7 days
Slopes steeper than 3:1	If slopes are 10' or less in length and are not steeper than 3:1, 14 days are allowed.	7 days
Slopes 3:1 or flatter	7 days for slopes greater than 50' in length.	14 days
All other areas with slopes flatter than 4:1	None, except for perimeters and HOW Zones.	14 days

NO.	DATE	BY
1	12/20/2016	DNC
2	1/18/2017	DNC
3	6/28/2017	DNC
4	6/14/2017	DNC
5	5/12/2017	DNC
6	5/04/2017	DNC
7	4/27/2017	DNC

PROJECT ENGINEER	CHECKED BY	DRAWN BY	FIRST ISSUE DATE
PNP	PNP	DC	02/03/2017

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PO Box 4912
Chapel Hill, NC 27515

PHILIP POST ENGINEERING
FIRM: C-347

ZCP SITE PLANS

PEACH APARTMENTS

107 JOHNSON STREET - PIN 9788-03-2946, 9788-03-0940
CHAPEL HILL, NORTH CAROLINA

SITE DETAILS

PROJECT NO.
PEACH

DRAWING NAME
PEACH_D.dwg

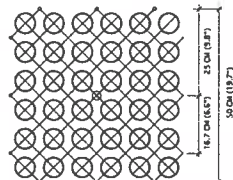
SHEET NO.
D-2



100% Grass Covered Porous Pavement

Grasspave2 Flexible Plastic Porous Pavement

Grasspave2 protects and enhances the environment in three ways: First, made from 100% recycled plastic...



- Maximum porosity
Low to zero runoff
Free air/water movement
Permits more trees
Cooler site
Greater oxygen
Removes air pollutants
Can preserve existing trees
Helps to meet "Green Coverage Codes"
Fast, low cost installation
Competes in cost with asphalt paving
No gutter and rain system needed
No added land required for detention facilities
Lower life cycle costs

Applications

- Church/employee parking
Overflow and event parking
Golf cart paths
Residential driveways
Firelanes

Grasspave2 has thin-walled independent plastic rings connected by an interlocking geogrid structure...

Specifications

Unit Size - 20" x 20" x 1" (50 x 50 x 2.5cm)
Unit Weight - 18oz (510 grams)
Strength - 15,940 psi (109,906 kPa)
Connector Pull Apart Strength (Tensile) - 458 lb/in
Color - Black
Resin - 100% recycled HDPE with 3% carbon black

Invisible Structures, Inc.
303-233-8383
www.invisiblestructures.com
US Patent #5,250,340



The rings also act to contain the root zone medium (sand) and prevent lateral migration away from tires, feet, or other loads.

Features and Benefits

- Allows 100% grass coverage instead of asphalt
Made from 100% post consumer plastic
High strength to weight load-bearing capacity
Supports vehicle and pedestrian traffic

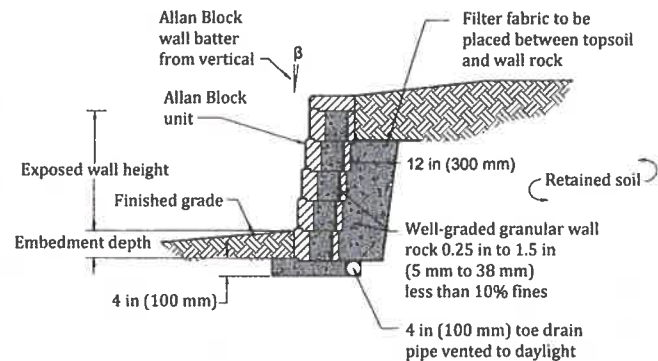
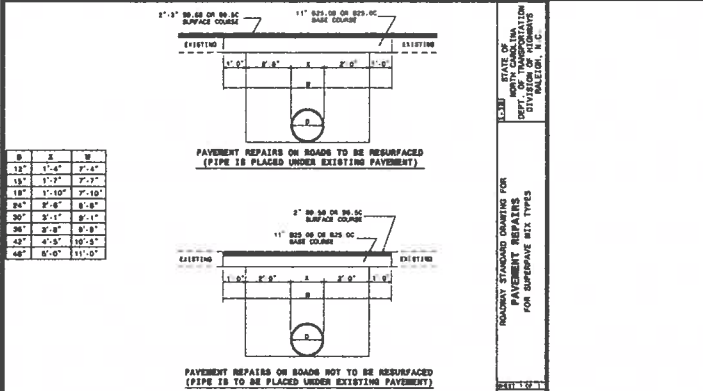


Table with columns: Designed By, Title, Date, Checked By, Project No, Scale, Drawing No.



6. Pavement repairs on roads not to be resurfaced (pipe is to be placed under existing pavement)
7. Pavement repairs on roads to be resurfaced (pipe is to be placed under existing pavement)

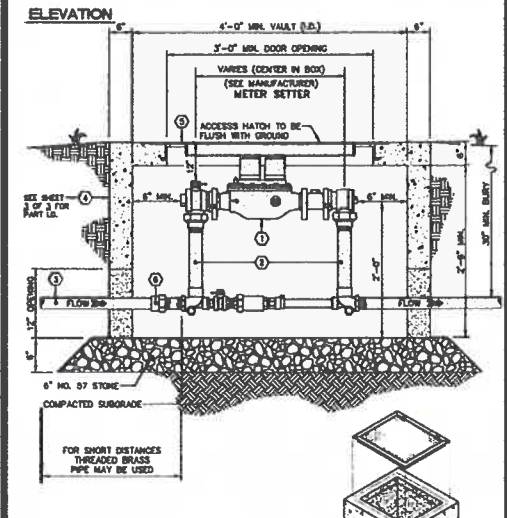
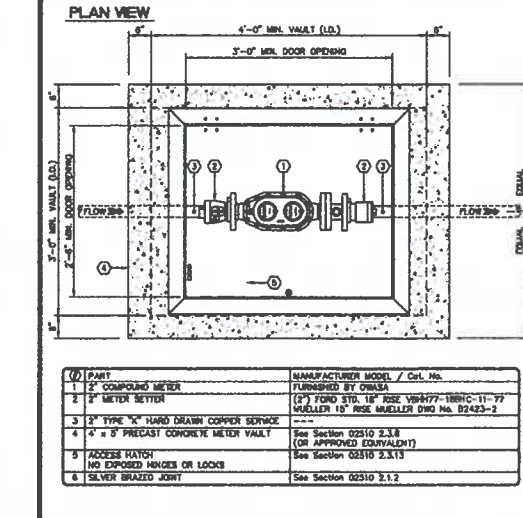
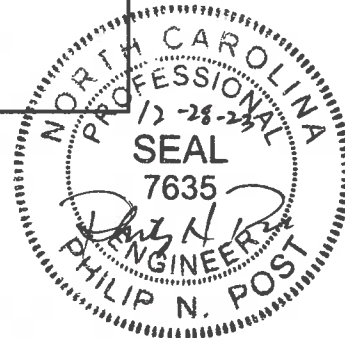
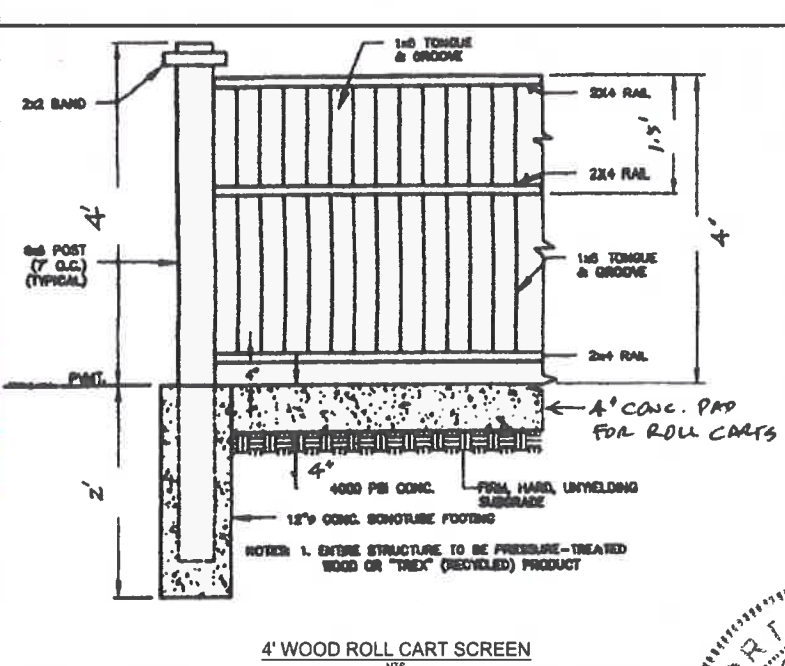
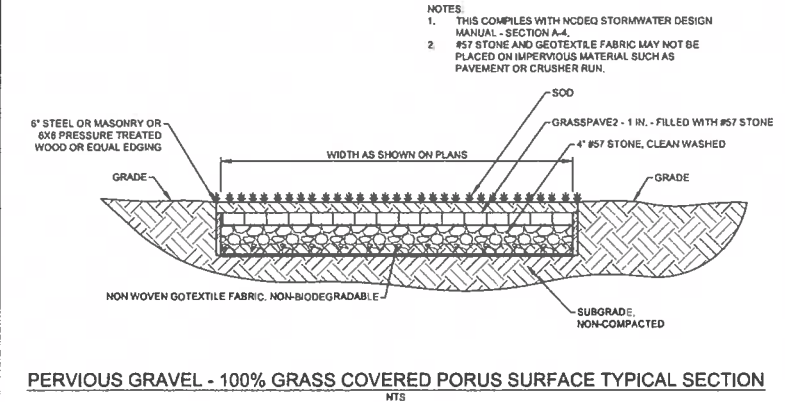
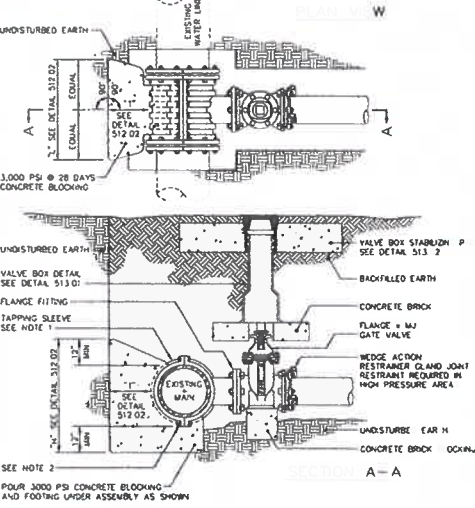


Table with columns: Part, Manufacturer Model / Cat. No., Description.

Table with columns: Part, Manufacturer Model / Cat. No., Description.



NOTES:
1. Concrete blocking is to be formed to ensure accessibility to fittings and poured against undisturbed earth...
2. Fittings are to be completely wrapped with plastic, prior to pouring concrete...
3. Concrete to be minimum 3,000 psi @ 28 days...
4. Tops onto in-service mains by OWSA personnel only.

Table with columns: DWABA, Project No, Date, Rev, Description.

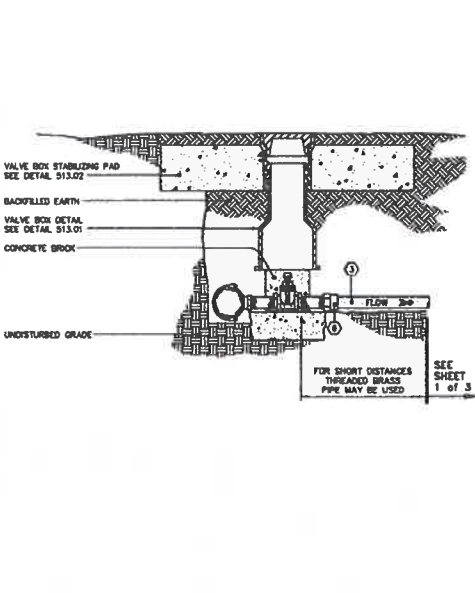
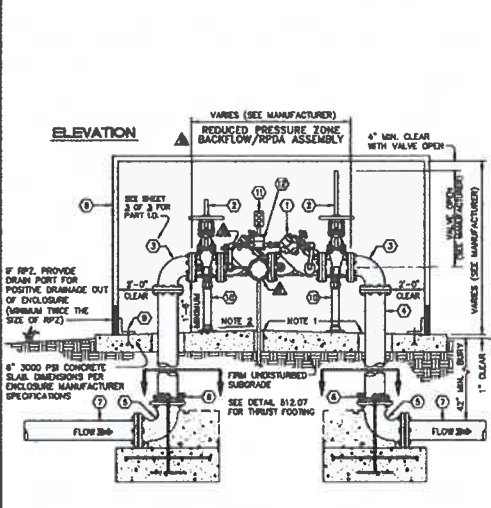


Table with columns: DWABA, Project No, Date, Rev, Description.



NOTES:
1. Provide minimum 3" annular clearance around all DP risers and 1" around identified conduit.
2. Slope floor to drain to parts at both ends. Ensure positive surface grade away from enclosure.
3. If metal enclosure issued, mount ERT on outside of box.

Table with columns: DWABA, Project No, Date, Rev, Description.

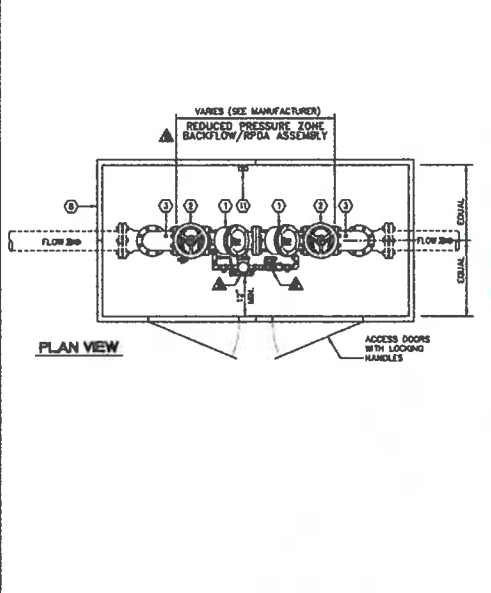


Table with columns: DWABA, Project No, Date, Rev, Description.

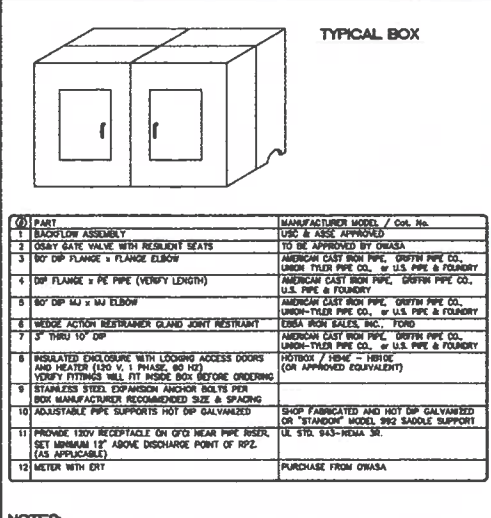
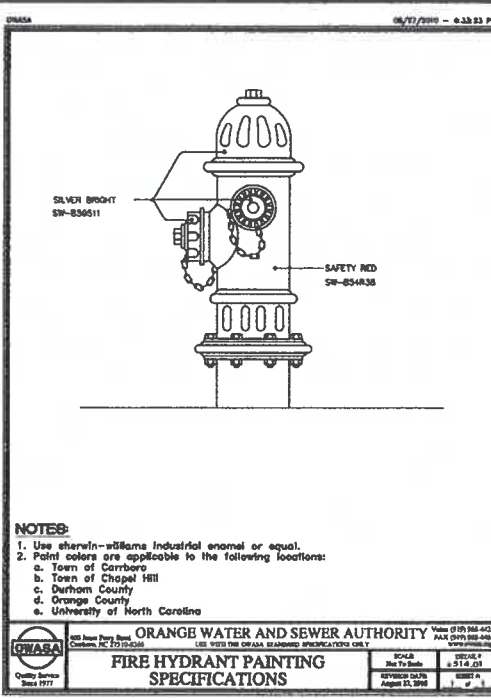


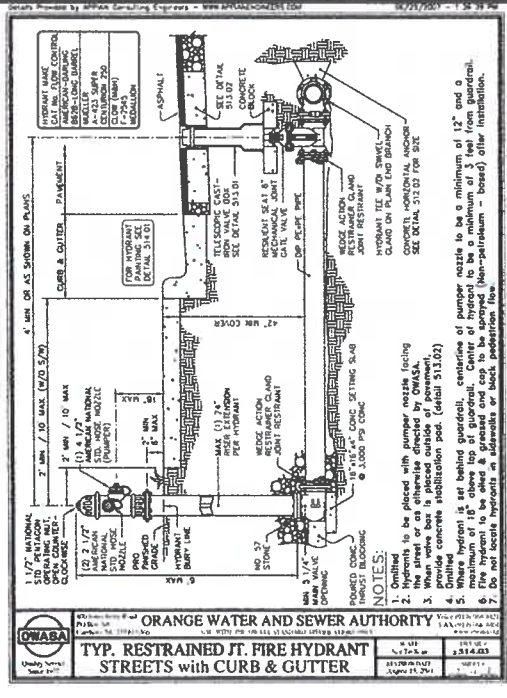
Table with columns: Part, Manufacturer Model / Cat. No., Description.

Project information including title 'PEACH APARTMENTS', drawing number 'D-3', and contact details for Philip N. Post, PE, PLS.

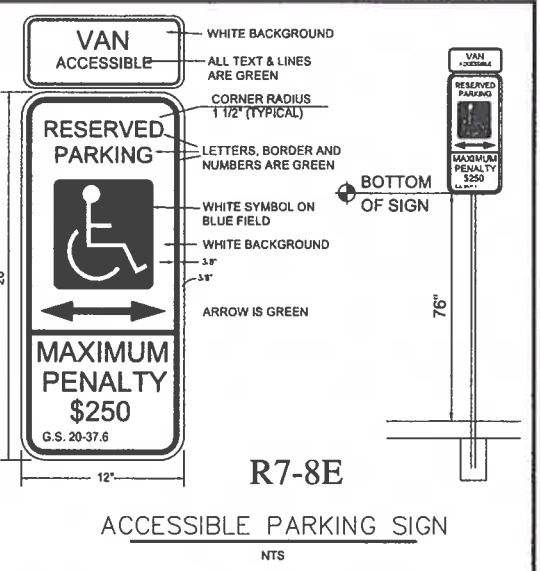
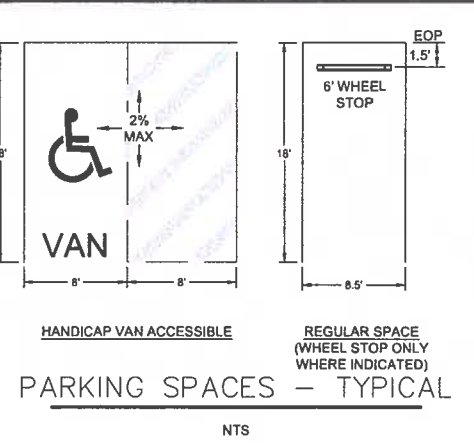
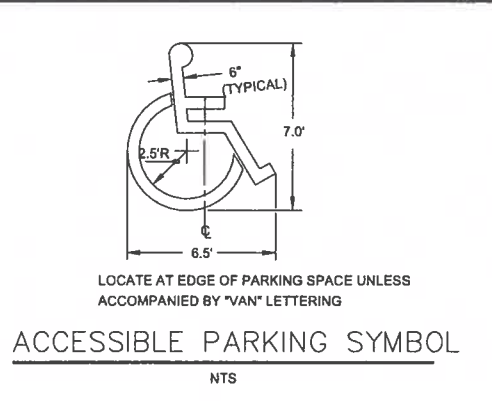


- NOTES:**
1. Use silver-bronite industrial enamel or equal.
 2. Paint colors are applicable to the following locations:
 - a. Town of Cary
 - b. Town of Chapel Hill
 - c. Durham County
 - d. Orange County
 - e. University of North Carolina

ORANGE WATER AND SEWER AUTHORITY
 FIRE HYDRANT PAINTING SPECIFICATIONS
 July 2021



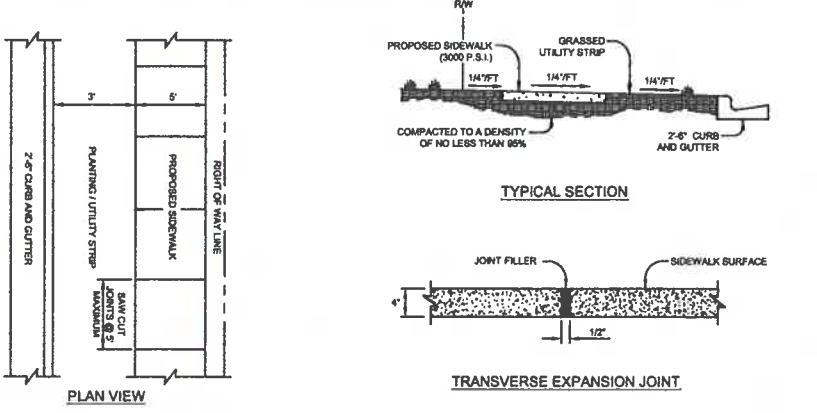
ORANGE WATER AND SEWER AUTHORITY
 TYP. RESTRAINED JT. FIRE HYDRANT
 STREETS with CURB & GUTTER
 July 2021



NO.	REVISIONS	DATE	BY
7	UPDATE DETAILS AND LANDSCAPE PLAN	12/28/2023	DWC
6	NOTES AND DETAILS	11/29/2023	DWC
5	NOTES & SCHEDULES	6/28/2023	DWC
4	RIDE DRAWS AND IMPROVING CALC.	6/4/2023	DWC
3	CHIEF	5/30/2023	DWC
2	COMMENTS	5/04/2023	DWC
1	HYAC UNITS	4/27/2023	DWC

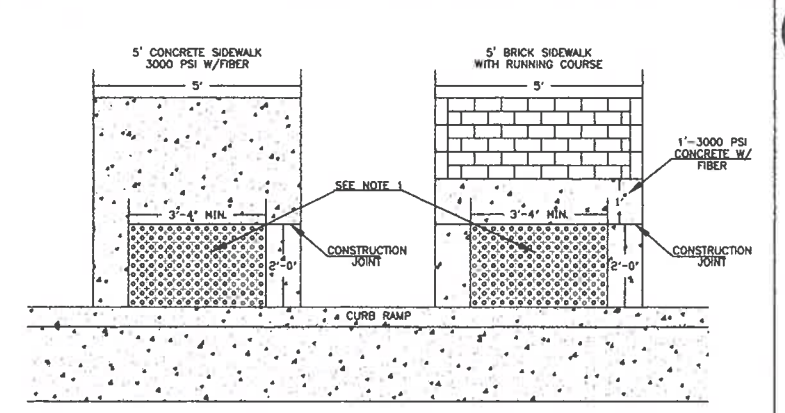
OWASA - Manual of Specifications, Standards, and Design July 2021

OWASA - Manual of Specifications, Standards, and Design July 2021

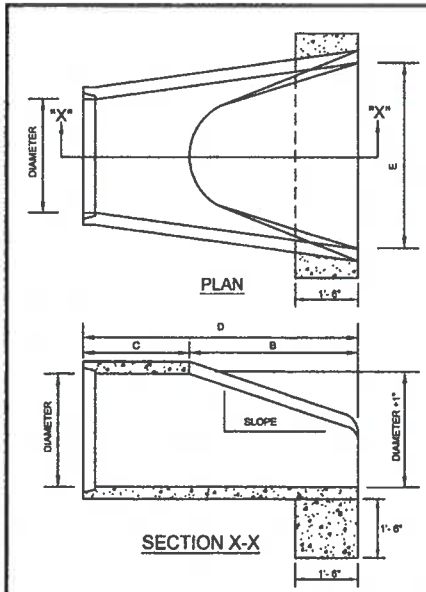


- NOTES:**
1. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
 2. SEE STANDARD DETAIL "T-0.00" FOR THROUGH DRIVEWAY SPECIFICATION.
 3. EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
 4. CONTROL JOINT EVERY 5 FEET.
 5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.
 6. IF UTILITY STRIP IS COMPLETELY ELIMINATED SIDEWALK SHALL BE PLACED DIRECTLY AT BACK OF CURB, WITH 1/4" EDGE RADIUS.

TOWN OF CHAPEL HILL
 STANDARD DETAIL
 TYPICAL SIDEWALK
 T-8.01
 DATE: 02/2017



ENGINEERING DEPARTMENT
 STANDARD DETAILS
 ACCESSIBLE RAMP WITH DETECTABLE WARNING DOMES
 DET. NO. T-2.06
 DATE: 7/27/22

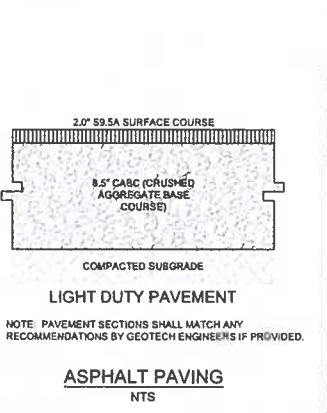


NOTE:
 1. STRUCTURAL DESIGN OF END SECTION SHALL CONFORM WITH THAT OF STANDARD REINFORCED CONCRETE.

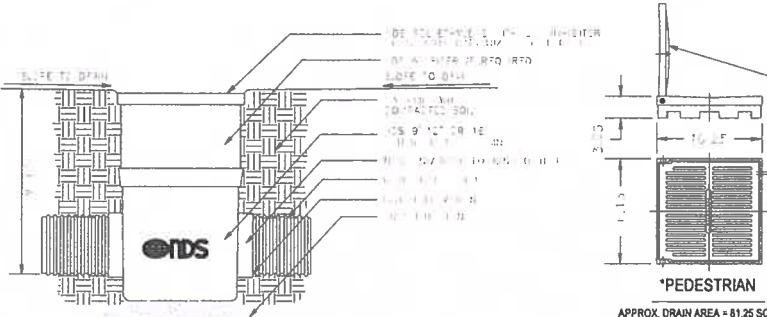
PIPE DIAMETER	WALL THICKNESS	SLOPE	B	C	D	E	UNIT WEIGHT
12	2 1/4	3:1	24	49	73	24	730
15	2 1/4	3:1	27	46	73	30	810
18	2 1/2	3:1	27	46	73	36	1180
21	2 3/4	3:1	36	37	73	42	1370
24	3	3:1	42	31 1/2	73 1/2	48	1770
27	3 1/4	3:1	48	25 1/2	73 1/2	54	2130
30	3 1/2	3:1	54	19 3/4	73 3/4	60	2380
33	3 3/4	3:1	60	38	96	66	3870
36	4	3:1	63	34 3/4	97 3/4	72	5320
42	4 1/2	3:1	83	35	96	78	5920
48	5	3:1	72	28	96	84	7470
54	5 1/2	2.4:1	86	34	100	90	8810
60	6	2:1	80	39	99	96	11180
72	7	2:1	78	21	99	108	13890

DIMENSIONS IN INCHES WEIGHTS IN POUNDS

TOWN OF CHAPEL HILL
 STANDARD DETAIL
 FLARED END SECTION
 SW-8.00
 DATE: 02/2017

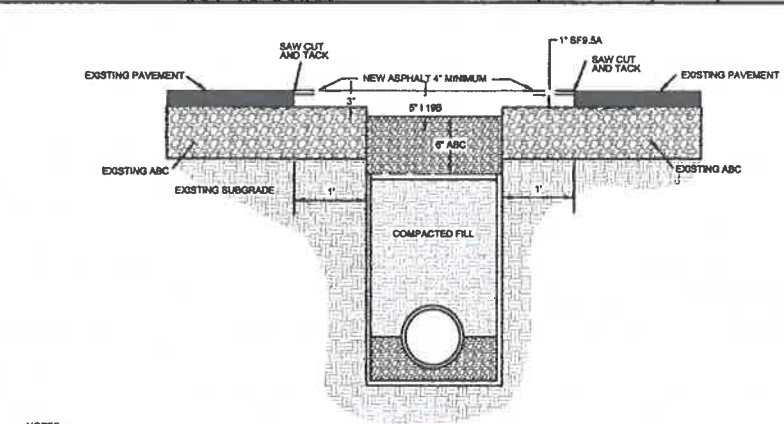
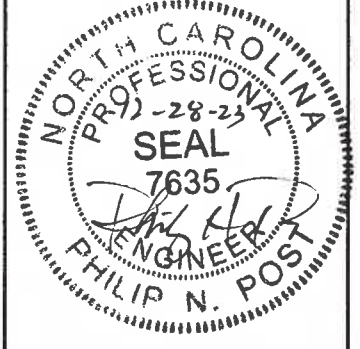


ASPHALT PAVING
 NTS



PEDESTRIAN
 APPROX. DRAIN AREA = 81.25 SQ. IN.
 APPROX. WEIGHT WITH FRAME = 33.70 LBS.
 NDS SQUARE GRATE WITH NDS SQUARE AREA DRAIN

NYLOPLAST 15" GRATES/COVERS
 PEDESTRIAN GRATE HAS H-10 MEDIUM DUTY RATING
 QUALITY MATERIALS SHALL CONFORM TO ASTM
 A536 GRADE 70-50-05 & A49-CLASS 30B
 MATERIAL: DUCTILE IRON GRATE W/CAST IRON FRAME
 PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT



- NOTES:**
1. THE PAVEMENT EDGE SHALL BE DEFINED BY A STRAIGHT EDGE FORMED BY A MACHINED SAW CUT
 2. THE TRENCH SUBGRADE MATERIAL SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO A DENSITY OF AT LEAST 98% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY RC001
 3. THE FINAL 1" OF FILL SHALL CONSIST OF ABC MATERIAL COMPACTED TO A DENSITY EQUAL TO 100% OF THAT OBTAINED BY COMPACTING A SAMPLE OF THE MATERIAL IN ACCORDANCE WITH AASHTO T-99 AS MODIFIED BY RC001. BITUMINOUS BASE OR SANDER MAY BE SUBSTITUTED IF APPROVED BY TOWN OF CHAPEL HILL ENGINEER.
 4. THE ENTIRE THICKNESS/VERTICAL EDGE OF THE CUT SHALL BE TACKED.
 5. THE SAME DEPTH OF PAVEMENT MATERIAL WHICH EXISTS SHALL BE REINSTALLED, BUT IN NO CASE SHALL THE ASPHALT BE LESS THAN 4" THICK.
 6. THE ASPHALT PAVEMENT MATERIAL SHALL BE INSTALLED AND COMPACTED THOROUGHLY AND ROLLED WITH A SMOOTH DRUM ROLLER TO ACHIEVE A SMOOTH LEVEL PATCH.

TOWN OF CHAPEL HILL
 STANDARD DETAIL
 ASPHALT PAVEMENT PATCH
 T-7.01
 DATE: 02/2017

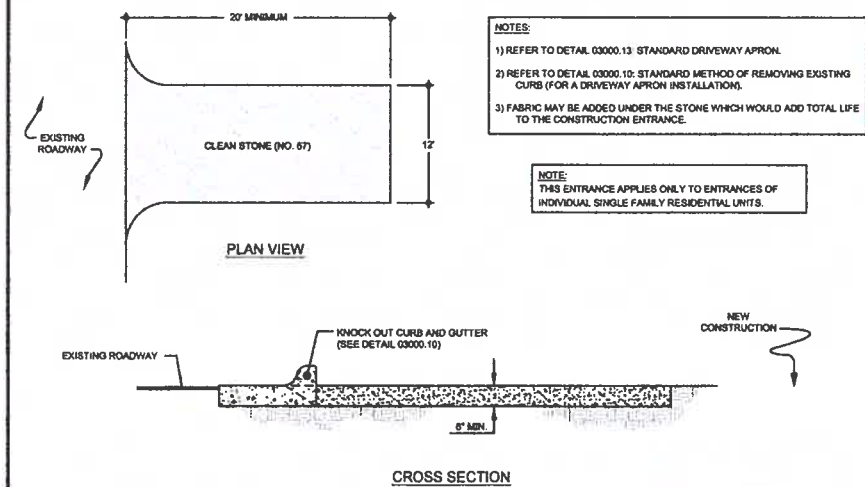
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 philip.n.post@gmail.com
 PO Box 4912
 Chapel Hill, NC 27515

PHILIP POST ENGINEERING
 FIRM: C 347

ZCP SITE PLANS
PEACH APARTMENTS
 107 JOHNSON STREET • PH: 978-03-2946, 978-03-0889 & 978-03-0940
 CHAPEL HILL, NORTH CAROLINA

SITE DETAILS

PROJECT NO. PEACH
 DRAWING NAME: PEACH_D.dwg
 SHEET NO. D-4



NOTES:

- 1) REFER TO DETAIL 03000.13 STANDARD DRIVEWAY APRON.
- 2) REFER TO DETAIL 03000.10 STANDARD METHOD OF REMOVING EXISTING CURB (FOR A DRIVEWAY APRON INSTALLATION).
- 3) FABRIC MAY BE ADDED UNDER THE STONE WHICH WOULD ADD TOTAL LIFE TO THE CONSTRUCTION ENTRANCE.

NOTE:
THIS ENTRANCE APPLIES ONLY TO ENTRANCES OF INDIVIDUAL SINGLE FAMILY RESIDENTIAL UNITS.



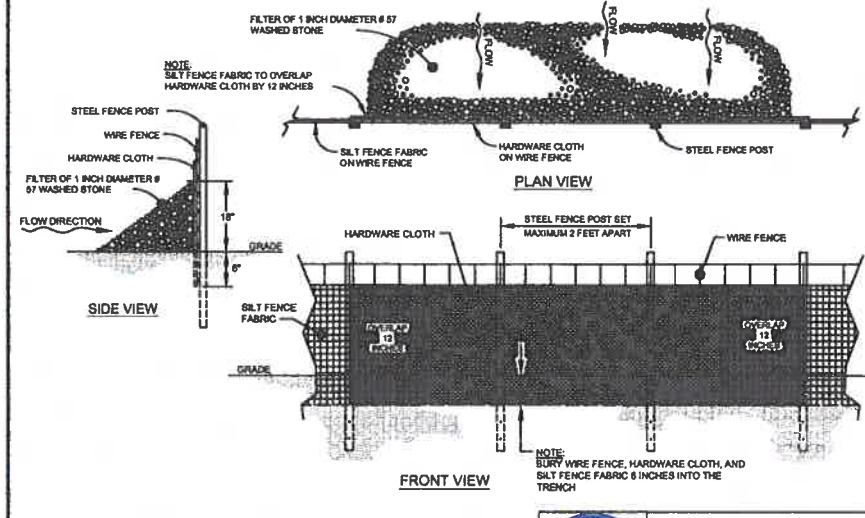
TOWN OF CHAPEL HILL
STANDARD DETAIL

REVISIONS

RESIDENTIAL CONSTRUCTION ENTRANCE

DATE: 02/2017

EC-1.02



NOTE:
USE SILT FENCE OUTLETS ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND THERE IS A LOW AREA. USE AS A REPAIR OF SILT FENCE FAILURES.



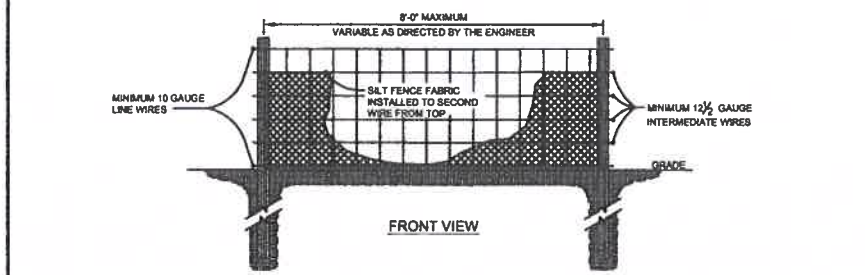
TOWN OF CHAPEL HILL
STANDARD DETAIL

REVISIONS

STANDARD SILT FENCE OUTLET

DATE: 02/2017

EC-10.00



NOTE:
USE SILT FENCE ONLY WHEN DRAINAGE AREA DOES NOT EXCEED 1/4 ACRE AND NEVER IN AREAS OF CONCENTRATED FLOW

* FOR REPAIR OF SILT FENCE FAILURES USE DETAIL 04000.23



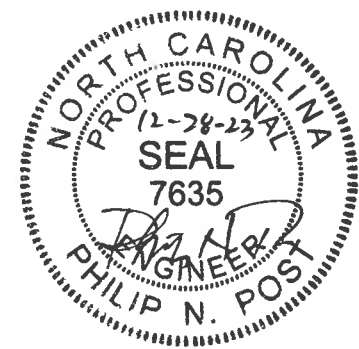
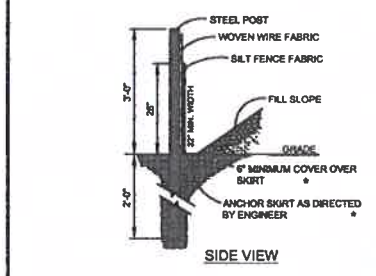
TOWN OF CHAPEL HILL
STANDARD DETAIL

REVISIONS

STANDARD SILT FENCE

DATE: 02/2017

EC-9.00



NO.	DATE	BY
7	12/28/2024	DMC
6	11/24/2023	DMC
5	6/28/2023	DMC
4	6/14/2023	DMC
3	5/29/2023	DMC
2	5/04/2023	DMC
1	4/27/2023	DMC

NO.	DATE	BY
7	12/28/2024	DMC
6	11/24/2023	DMC
5	6/28/2023	DMC
4	6/14/2023	DMC
3	5/29/2023	DMC
2	5/04/2023	DMC
1	4/27/2023	DMC

NO.	DATE	BY
7	12/28/2024	DMC
6	11/24/2023	DMC
5	6/28/2023	DMC
4	6/14/2023	DMC
3	5/29/2023	DMC
2	5/04/2023	DMC
1	4/27/2023	DMC

PROJECT ENGINEER
PNP

CHECKED BY
PNP

DRAWN BY
DC

FIRST ISSUE DATE
02-03-2023

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Chapel Hill, NC 27515

PHILIP POST ENGINEERING
FIRM: C 347

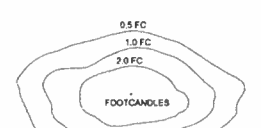
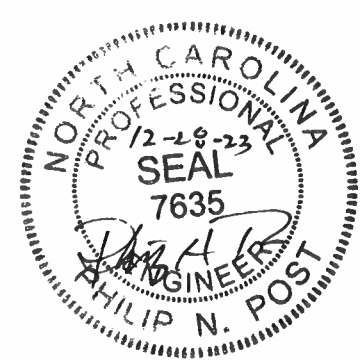
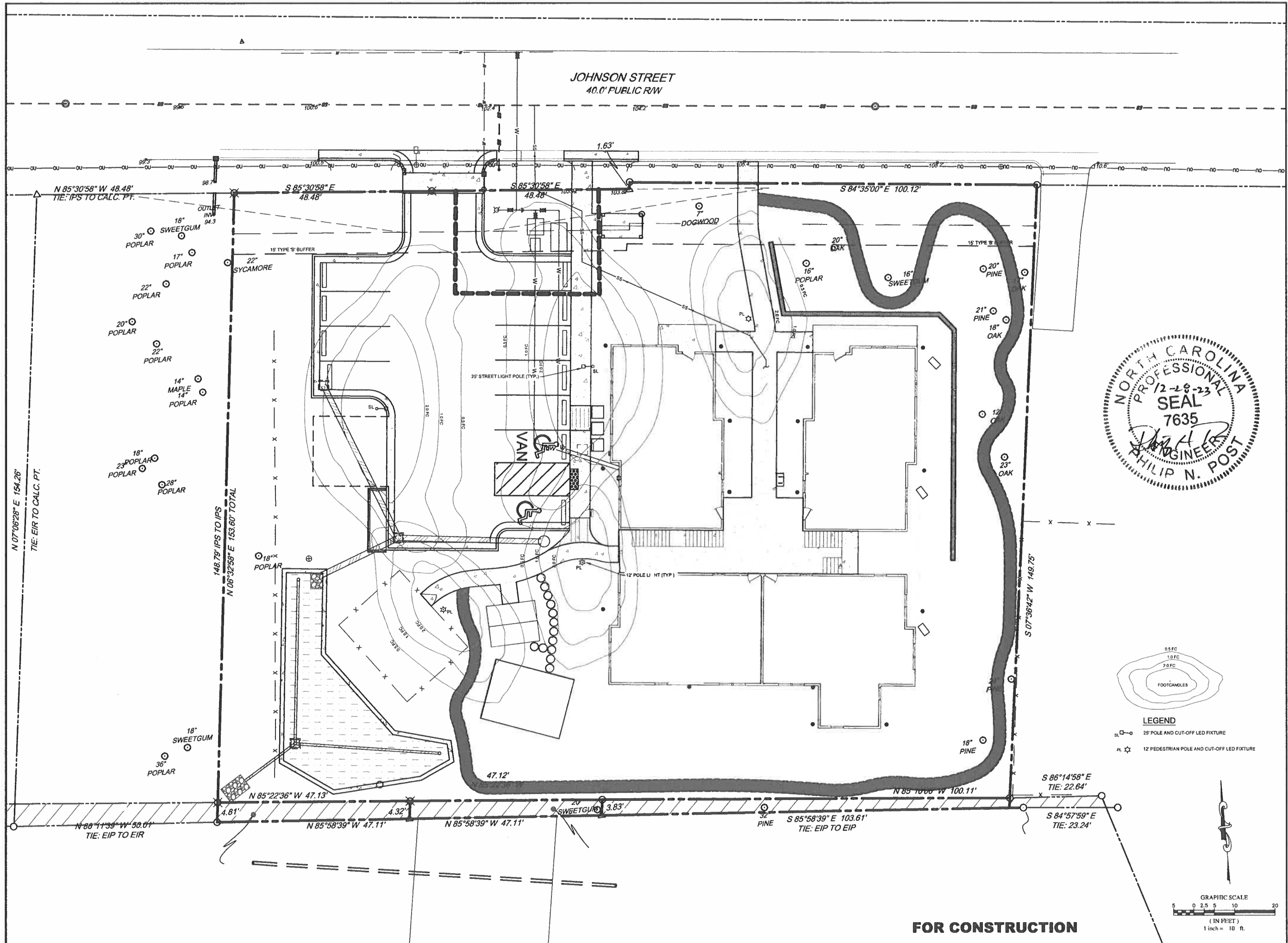
ZCP SITE PLANS
PEACH APARTMENTS
107 JOHNSON STREET - PIN: 9788-03-2946, 9788-03-0899 & 9788-03-0940
CHAPEL HILL, NORTH CAROLINA

SITE DETAILS

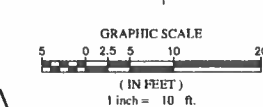
PROJECT NO.
PEACH

DRAWING NAME
PEACH_D.dwg

SHEET NO.
D-5



- LEGEND**
- ⊙ 25' POLE AND CUT-OFF LED FIXTURE
 - ⊙ 12' PEDESTRIAN POLE AND CUT-OFF LED FIXTURE



FOR CONSTRUCTION

NO.	DESCRIPTION	DATE	BY
7	UPDATE DETAILS AND LANDSCAPE PLAN	12/28/2023	DMC
6	NOTES AND DETAILS	11/24/2023	DMC
5	NOTES & SCHEDULES	9/28/2023	DMC
4	ROOF DRAWS AND IMPERVIOUS CALC.	8/11/2023	DMC
3	COMMENTS	5/29/2023	DMC
2	HVAC UNITS	5/04/2023	DMC
1	REVISIONS	4/21/2023	DMC

PROJECT ENGINEER	PHILIP N. POST
CHECKED BY	PHILIP N. POST
DRAWN BY	DC
FIRST ISSUE DATE	02-03-2023

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PHILIP POST ENGINEERING
 FIRM: C-347

ZCP SITE PLANS
PEACH APARTMENTS
 107 JOHNSON STREET - PH: 978-03-2946, 9786-03-0889 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA

LIGHTING PLAN

PROJECT NO.
PEACH
 DRAWING NAME
 LS-1 LIGHTING PLAN.dwg
 SHEET NO.
LI-1

