



TOWN OF CHAPEL HILL

Town Council Meeting Agenda

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Mayor Pam Hemminger
Mayor pro tem Karen Stegman
Council Member Jessica Anderson
Council Member Camille Berry
Council Member Tai Huynh

Council Member Paris Miller-Foushee
Council Member Michael Parker
Council Member Amy Ryan
Council Member Adam Searing

Wednesday, June 8, 2022 7:00 PM

Virtual Meeting

Language Access Statement

For interpretation or translation services, call 919-969-5105.

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如需口头或
书面翻译服
务，请拨打
919-969-5105.

Para servicios de interpretación o traducción, llame al 919-969-5105.

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Virtual Meeting Notification

Town Council members will attend and participate in this meeting remotely, through internet access, and will not physically attend. The Town will not provide a physical location for viewing the meeting.

The public is invited to attend. The Town of Chapel Hill wants to know more about who participates in its programs and processes, including Town Council business meetings and work sessions. Please participate in a voluntary demographic survey <https://www.townofchapelhill.org/demosurvey> before accessing the Zoom webinar registration. After registering, you will receive a confirmation email containing information about joining the webinar in listen-only mode. Phone: 301-715-8592, Meeting ID: 823 0813 9683

View Council meetings live at <https://chapelhill.legistar.com/Calendar.aspx> – and on Chapel Hill Gov-TV (townofchapelhill.org/GovTV).

OPENING

ROLL CALL

PUBLIC COMMENT FOR ITEMS NOT ON PRINTED AGENDA AND PETITIONS FROM THE PUBLIC AND COUNCIL MEMBERS

Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the Status of Petitions to Council webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.

1. Cultural Arts Commission Requests for Arts Funding, Amending the Membership, and Delaying Spring Appointments. [\[22-0497\]](#)
2. Jeffrey Charles Regarding Transportation Concerns on Homestead Road. [\[22-0498\]](#)

ANNOUNCEMENTS BY COUNCIL MEMBERS

CONSENT

Items of a routine nature will be placed on the Consent Agenda to be voted on in a block. Any item may be removed from the Consent Agenda by request of the Mayor or any Council Member.

3. Approve the First Block of Consent Agenda Items. [\[22-0499\]](#)
By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.
4. Approve the Miscellaneous Budget Ordinance Amendment to Adjust Various Fund Budgets for FY 2021-22. [\[22-0500\]](#)
By enacting the budget ordinance amendment, the Council adjusts the General Fund, Downtown Service District Fund, Library Gift Fund, Debt Fund, and Off-Street Parking Fund. By enacting the project ordinance amendment, the Council adjusts the Housing Capital Grants Fund.
5. Adopt the Recommended 2022-2023 Capital Fund Program for Public Housing Renovations. [\[22-0501\]](#)

By adopting the resolution, the Council authorizes the Town Manager to submit this 2022 - 2023 Annual Action Plan for the Capital Funds to the United States Department of Housing and Urban Development (HUD). By enacting the ordinance, the Council establishes the capital fund.

- 6.** Call a Legislative Hearing to Consider Annexing Property at 7300 Millhouse Road on September 14, 2022. [\[22-0502\]](#)

By adopting the resolution, the Council schedules a legislative hearing to consider annexing property at 7300 Millhouse Road, also known as the 'Flex Buildings Millhouse Road' site, on September 14, 2022.

- 7.** Adopt a Calendar of Council Meetings through December 2022. [\[22-0503\]](#)

By adopting the resolution, the Council adopts its meeting calendar adding a June 21 meeting and meetings through December 2022.

CONTINUED CONSENT

Prior to a motion to approve the second consent resolution, there may be a motion to recuse one or more members who serve on governing boards of non-profit organizations being considered.

- 8.** Approve the Second Block of Consent Agenda Items. [\[22-0504\]](#)

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.

- 9.** Adopt the Recommended 2022-2023 Community Development Block Grant Program Plan. [\[22-0505\]](#)

By adopting the resolution, the Council approves the recommended 2022-2023 Community Development Program Plan for use of \$676,336 and authorizes the Town Manager to submit the Plans to the U.S. Department of Housing and Urban Development as the annual update to the Five-Year Consolidated Plan. By enacting the attached project ordinances, the Council establishes the CDBG budget for the 2022-2023 program and amends the CDBG budgets for the 2016-2017, 2018-2019, 2020-2021, 2021-2022 programs.

- 10.** Approve the 2022-2023 HOME Investment Partnership Program Annual Plan. [\[22-0506\]](#)

By adopting the resolution, the Council authorizes this plan to be incorporated into the Annual Update to the 2020-2024 Consolidated Plan, for submission to the U.S. Department of Housing and Urban Development.

INFORMATION

- 11.** Receive Upcoming Public Hearing Items and Petition Status List. [\[22-0507\]](#)

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

- 12.** Pedestrian and Bicycle Wayfinding Plan Development and Progress Report. [\[22-0508\]](#)

By accepting the report, the Council acknowledges receipt of the Pedestrian and Bicycle Wayfinding Plan Development and Progress report.

DISCUSSION

- 13.** Consider the Final Budget and Related Items for FY 2022-23. [\[22-0509\]](#)

PRESENTER: Maurice Jones, Town Manager

- a. Introduction and revised recommendations
- b. Comments from the public
- c. Comments from the Mayor and Town Council
- d. Motion to enact the FY2022-23 budget ordinance
- e. Motion to recuse one or more members who serve on governing boards of non-profit organizations being considered for human services funding
- f. Motion to adopt the resolution approving the human services funding.

RECOMMENDATION: That the Council enact the FY 2022-23 budget ordinance to establish the budget for 2022-23 and authorize the related items.

- 14.** Consider Approving Town Use of ARPA Funds and Provide Feedback on Community Partner Application Process. [\[22-0510\]](#)

PRESENTER: Maurice Jones, Town Manager
Amy Oland, Business Management Director
Sarah Poulton, Senior Project Manager

RECOMMENDATION: That the Council share feedback on the community partner application process and enact a grant project ordinance so Town departments can begin using \$3.15M funding.

ZONING ATLAS AMENDMENT

Zoning Atlas Amendment: The Zoning Atlas Amendment, to change the zoning designation on this property, is Legislative. The Council receives and considers public comment on the merits of the proposed rezoning, including opinions, when making Legislative decisions.

- 15.** Close the Legislative Hearing and Consider an Application for Conditional Zoning -PEACH Apartments, 107 Johnson Street. [\[22-0511\]](#)

PRESENTER: Jacob Hunt, Planner I

- a. Without objection, the revised report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and revised recommendation
- c. Presentation by the applicant
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adjourn the Legislative Hearing
- g. Motion to adopt the Resolution of Consistency with the Comprehensive Plan
- h. Motion to enact an Ordinance to rezone the property.

RECOMMENDATION: That the Council receive the Town Manager's recommendation, close the legislative hearing, consider adopting Resolution A, Resolution of Consistency and Reasonableness, and enacting Ordinance A, approving the Conditional Zoning application.

CONTINUED DISCUSSION

- 16.** Open a Public Hearing to Consider a Request to Close an Unimproved and Unpaved Portion of Stinson Street Public Right-of-Way. [\[22-0512\]](#)

PRESENTER: Chris Roberts, Manager of Engineering and Infrastructure

- a. Introduction and preliminary recommendation
- b. Comments from the public
- c. Comments and questions from the Mayor and Town Council
- d. Motion to close the Public Hearing
- e. Motion to adopt a resolution approving the ROW closure.

RECOMMENDATION: That the Council open and close a Public Hearing to consider closing an unimproved and unpaved portion of Stinson Street public right-of-way and adopt a resolution to permanently close this public ROW.

- 17.** Consider Library Internet Use Policy and Internet Filtering. [\[22-0513\]](#)
- PRESENTER: Susan Brown, Chapel Hill Public Library Director
- RECOMMENDATION: That the Council authorize the Town Manager to revise the library's Internet Use Policy and install an internet filtering device that restricts access to pornographic images on library-owned computers.
- 18.** Update the Standing Advisory Board Membership Policy to Allow Boards to Act to Approve or Deny Matters under Remote Participation Parameters on an Ongoing Basis. [\[22-0514\]](#)
- PRESENTER: Corey Liles, Planning Manager
- RECOMMENDATION: That the Council adopt a resolution to update the Standing Advisory Board Membership Policy.
- 19.** Consider Staff Response to Environmental Stewardship Advisory Board Petition Regarding Electrification. [\[22-0515\]](#)
- PRESENTER: John Richardson, Community Sustainability Manager
- RECOMMENDATION: That the Council review the attached staff report, consider the options presented, and provide staff with additional direction, as appropriate.

APPOINTMENTS

- 20.** Appointments to the Community Design Commission. [\[22-0516\]](#)
- 21.** Appointments to the Community Policing Advisory Committee. [\[22-0517\]](#)
- 22.** Appointments to the Housing Advisory Board. [\[22-0518\]](#)
- 23.** Appointments to the Parks, Greenways, and Recreation Commission. [\[22-0519\]](#)
- 24.** Appointments to the Transportation and Connectivity Advisory Board. [\[22-0520\]](#)

REQUEST FOR CLOSED SESSION TO DISCUSS ECONOMIC DEVELOPMENT, PROPERTY ACQUISITION, PERSONNEL, AND/OR LITIGATION MATTERS



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 1., File #: [22-0497], Version: 1

Meeting Date: 6/8/2022

Cultural Arts Commission Requests for Arts Funding, Amending the Membership, and Delaying Spring Appointments.

Staff:

Sabrina M. Oliver, Director and Town Clerk
Amy T. Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the [Status of Petitions to Council <https://www.townofchapelhill.org/government/mayor-and-council/how-to-submit-a-petition/petition-status>](https://www.townofchapelhill.org/government/mayor-and-council/how-to-submit-a-petition/petition-status) webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.



Recommendation(s):

That the Council consider the petition.



Attachments:

- CAC Request for Arts Funding
- CAC Request for Amending the Membership
- CAC Request for Delaying Spring Appointments

Dear Mayor and Council,

The role of the Cultural Arts Commission is to provide you guidance on arts policies and programs. In that spirit, we are writing to share a strong concern with the Manager's Proposed Budget for 2022/23. Specifically, our concern is with the \$20,000 listed for "Cultural Arts" which is earmarked for grants to arts non-profits.

While we are not opposed to the Town awarding small grants to arts organizations, we are concerned that, in practice, this prioritizes arts non-profits over the Town's own cultural arts initiatives, specifically those of the Community Arts & Culture Division. We feel strongly that the funds, in the immediate term, would be more effectively and more efficiently used by the Community Arts & Culture Division. Once the Division is more fully funded, then we think it would be appropriate and prudent to launch a granting program for the arts in Chapel Hill.

In 2017, Community Arts & Culture was formed out of Council's prioritization of arts and culture and their strategic goal of creating a "Vibrant and Inclusive Community." However, the Town's budget for public art and arts programming has remained stagnant since then – and for years before that:

2009-2010	44,900
2010-2011	46,800
2011-2012	48,140
2012-2013	47,565
2013-2014	47,790
2014-2015	46,279
2015-2016	48,440
2016-2017	49,240
2017-2018	48,690
2018-2019	43,688
2019-2020	43,522
2020-2021	47,240
2021-2022	47,240

We've all seen the substantial impact that the Community Arts & Culture Division has been able to make with these dollars – from the Art + Transit program to new downtown murals to public art on greenways to the Tracks Music Library to the Poet Laureate program. These projects not only activate our community with engaging arts experiences, but they also directly support local, diverse artists and creatives who make the art, cultural, and musical experiences. However, if we want to move beyond these and have the impact that could truly be transformational for our community, the Council must first allocate more funding to the Community Arts & Culture budget.

While the government can't be the *only* provider of public and cultural arts, we believe it has a central role that merits appropriate funding. We are concerned that the town's public and cultural arts funding has not just remained flat – it has effectively decreased due to inflationary cost increases over the past 15 years. The Division has consistently delivered high-quality programs and projects and has continued to "do more with less". Those programs and projects have created more demand for public art in our community, and more collaborative possibilities.

Once we have a more fully and appropriately funded public art program in Chapel Hill, we believe an additional program providing grants for arts and cultural projects would be welcome and impactful, and as a Commission, we are poised to play a central role in designing it. In line with Chapel Hill's own stated values, such a program would by necessity be transparent, inclusive, and equitable. There would need to be an open call, impartial criteria, and thoughtful stewardship. For several years, the Town has been funding a few non-profits without such a process and without input from the Commission, and we are concerned about this lack of transparency and lack of a clear process.

In addition to the granting process being ethical and effective, it would need to be efficient for Community Arts & Culture staff, who would administer the funding once they and the Commission administer the process. There's also the overarching question of what the Town's role should be in providing funds to arts non-profits, who else provides such funding, and what the funding would be for (operational, programmatic, etc.). There is much that must be clarified and vetted before a granting program can be launched in Chapel Hill, but the Commission is eager to work with Council and Staff to develop, design, and deploy a highly effective arts granting program that has the potential to have a transformational effect on the arts and the arts community in Chapel Hill.

Respectfully, we ask that the Council:

- 1) allocate the \$20,000 in the Manager's Recommended Budget to the Community Arts & Culture Division; and
- 2) charge the Cultural Arts Commission with working with Community Arts & Culture staff to review the current funding for arts & culture non-profits and consider the cost/benefit of creating a transparent, open grants program for the arts and artists in our community. We would come back to Council in advance of the FY2023/24 budget with our findings and recommendations.

Signed,
Justin Haslett and Josh Rosenstein
On Behalf of the Chapel Hill Cultural Arts Commission

Dear Mayor and Council:

At the April 20, 2022 meeting of the Chapel Hill Cultural Arts Commission (CAC), the CAC voted unanimously to change the existing seat on the CAC which is held exclusively for a resident of the town of Carrboro into a regular "at large" seat for a Chapel Hill resident.

This decision was based on a desire for uniformity with other councils and commissions in Chapel Hill, and to allow the CAC to have the ability to have members of other local arts groups (including, but not limited to Carrboro, Orange County, and Hillsborough) attend CAC meetings as non-voting liaisons. Finally, this change creates parity with the Carrboro Arts Council, where there is not a designated seat for a Chapel Hill resident.

We submit this petition for review and approval at your earliest convenience.

Signed,
Justin Haslett and Josh Rosenstein
On Behalf of the Chapel Hill Cultural Arts Commission

Dear Mayor and Council:

We write to you today to ask that you allow the currently empty and soon-to-be vacated seats on the Chapel Hill Cultural Arts Commission (CAC) to remain unfilled until such time as the CAC has been able to complete its current and upcoming work on re-structuring the nature and purpose of the CAC, clarifying the role and function of the Percent for Art Program, waiting for the development of a plan to include the Town's new offerings to support Board/Commission members into the recruitment drive, and while the CAC takes its customary break from regular meetings over the summer.

Once these long-term projects are complete, the CAC would like to launch a targeted campaign in the community to solicit new applicants for what we hope will be a revitalized body with new focus and new energy. We anticipate being complete with our work and ready to start recruiting new members in the fall of 2022.

Many thanks in advance for your consideration of this request.

Signed,
Justin Haslett and Josh Rosenstein
On Behalf of the Chapel Hill Cultural Arts Commission



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 2., **File #:** [22-0498], **Version:** 1

Meeting Date: 6/8/2022

Jeffrey Charles Regarding Transportation Concerns on Homestead Road.

Staff:

Sabrina M. Oliver, Director and Town Clerk
Amy T. Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: Petitions and other similar requests submitted by the public, whether written or oral, are heard at the beginning of each regular meeting. Except in the case of urgency and unanimous vote of the Council members present, petitions will not be acted upon at the time presented. After receiving a petition, the Council shall, by simple motion, dispose of it as follows: consideration at a future regular Council meeting; referral to another board or committee for study and report; referral to the Town Manager for investigation and report; receive for information. See the [Status of Petitions to Council <https://www.townofchapelhill.org/government/mayor-and-council/how-to-submit-a-petition/petition-status>](https://www.townofchapelhill.org/government/mayor-and-council/how-to-submit-a-petition/petition-status) webpage to track the petition. Receiving or referring of a petition does not constitute approval, agreement, or consent.



Recommendation(s):

That the Council consider the petition.



Attachments:

- Jeffrey Charles Request

Amy Harvey

From: Michael Parker
Sent: Thursday, June 02, 2022 9:05 PM
To: Amy Harvey
Subject: FW: Petition to Mayor and Council
Attachments: 2022.06.02 Petition on Roundabout.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

FYI

Michael

919 883 2063 (landline)
917 770 9234 (mobile)

----- Original message -----

From: Jeff Charles <jmc51@ix.netcom.com>
Date: 6/2/22 9:01 PM (GMT-05:00)
To: Manager <manager@townofchapelhill.org>
Cc: Jess Anderson <janderson@townofchapelhill.org>, Michael Parker <mparker@townofchapelhill.org>, Karen Stegman <kstegman@townofchapelhill.org>
Subject: Petition to Mayor and Council

External email: Don't click links or attachments from unknown senders. To check or report forward to reportspam@townofchapelhill.org

Mayor, Town Manager, and Council Members,

Attached please find a petition I wish to submit to Council regarding transportation concerns on Homestead Road, particularly in the area of Weaver Dairy Rd. Ext. and Homestead Road. I plan to attend the regular Council meeting on Wednesday, June 8, and would like to present this petition at this time.

Please let me know if you have any further questions.

Respectfully,
Jeffrey Charles
213 Greenway Lndg
Chapel Hill, NC 27516
(919)949-2680

This petition is to request that Council establish a clear definition of what connectivity means in Chapel Hill, and to address my growing concerns on the intense traffic on Homestead Road due to the major developments on Homestead Road. I am using my experience as a former member of the Chapel Hill Transportation and Connectivity Board and the Orange County Outboard.

This issue is very personal to me as I live in the Courtyards at Homestead Road. Both issues affect me with respect to the proposed connector from our development to the new development on the Wood property, and to the traffic flow on Homestead Road as we enter and exit our community.

1. I request that Council set up an advisory committee to address what connectivity means in Chapel Hill, considering the present and future needs. This committee should include Town staff and citizens of Chapel Hill, and meetings should be open to all concerned citizens. I volunteer to serve on this advisory committee to help Council clarify this very important issue.

2. Due to the vast increase in development on Homestead Road, Council should consider whether a roundabout be constructed at the intersection of Weaver Dairy Extension and Homestead Road. Also, consideration should be made as to whether a third lane should be added on Homestead Road to service the traffic to the Senior Center, to all the current homes, and those that will exist in the future. Both projects will obviously be very costly and will require funding from NCDOT. As you are aware, to compete for this funding Chapel Hill will need to make this a priority for the Town's transportation plan and get the projects on the County road improvement list. After this step the County will have to compete with other projects that have been identified in our State region. This competition is stiff and takes many years to accomplish successfully. The sooner we start the better.

I will not accept any modifications or revisions to this petition by a Town resident. Instead, they should submit their own petition.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 3., **File #:** [22-0499], **Version:** 1

Meeting Date: 6/8/2022

Approve the First Block of Consent Agenda Items.

Staff:

Sabrina M. Oliver, Director/Town Clerk
Amy T. Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: Items of a routine nature to be voted on in a block. Any item may be removed from the Consent Agenda by the request of the Mayor or any Council Member.



Recommendation(s):

That the Council adopt the various resolutions and ordinances.

Fiscal Impact/Resources: Please refer to each agenda item for specific fiscal notes.



Attachments:

- Resolution

**A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES
(2022-06-08/R-1)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the following resolutions and ordinances as submitted by the Town Manager in regard to the following:

- 4 Approve the Miscellaneous Budget Ordinance Amendment to Adjust Various Fund Budgets for FY 2021-22. (O-1) (O-2)
- 5 Adopt the Recommended 2022-2023 Capital Fund Program for Public Housing Renovations (R-2) (O-3)
- 6 Call a Legislative Hearing to Consider Annexing Property at 7300 Millhouse Road on September 14, 2022. (R-3)
- 7 Adopt a Calendar of Council Meetings through December 2022. (R-4)

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 4., File #: [22-0500], Version: 1

Meeting Date: 6/8/2022

Approve the Miscellaneous Budget Ordinance Amendment to Adjust Various Fund Budgets for FY 2021-22.

Staff:

Amy Oland, Director
Matt Brinkley, Assistant Director

Department:

Business Management

Overview: After the Council approves the annual budget, periodic changes require the Town to amend the current budget.



Recommendation(s):

That the Council:

- Enact the attached budget ordinance amendment to adjust the General Fund, Downtown Service District Fund, Library Gift Fund, Debt Fund, and Off-Street Parking Fund; and
- Enact the attached project ordinance amendment to adjust the Housing Capital Grants Fund.

Key Issues:

• **General Fund**

The Town partnered with the University of North Carolina - Chapel Hill to reconstruct Country Club Road. The University committed \$75,000 to this project. In November of 2021, the Town completed this project and received the funding from the University. Enactment of the attached budget ordinance amendment would recognize and appropriate the \$75,000 from UNC for town-wide street resurfacing needs.

• **Downtown Service District Fund**

The FY 2021-22 budget included a budget of \$100,000 for 140 West expenses. Based upon our analysis of anticipated expenditures through year end, we expect to need an additional \$10,000 from fund balance for the Downtown Service District Fund to break even. Enactment of the attached budget ordinance amendment would allocate \$10,000 in fund balance to ensure that the fund is balanced at year end.

• **Library Gift Fund**

The Chapel Hill Public Library has received a \$900 donation from the East Chapel Hill Rotary Club Foundation to purchase native plants and trees to be installed in Pritchard Park in support of the Library's Explore More environmental education initiative. Enactment of the attached budget ordinance amendment would recognize and appropriate the \$900 from the East Chapel Hill Rotary Club Foundation in support of the Library's Explore More project.

• **Debt Fund & Off-Street Parking Fund**

On August 12, 2021, the Town closed on the issuance of \$51.526 million of limited obligation bonds (LOBS). The total amount of the proceeds, including a bond premium, is \$58,241,903. \$39,000,000 is for the East Rosemary Parking Deck project, \$6,480,000 is for the Blue Hill District

Phase II - Elliott Road Reconstruction project, \$12,241,044 is to pay off the Series 2012 LOBS and 2015 installment purchase contract, and \$520,859 is to pay costs associated with the financing. The new debt issuance and refinancing changed the total amount of debt service payments for FY 2022 in both the Debt Fund and Parking Fund, which now need to be amended.

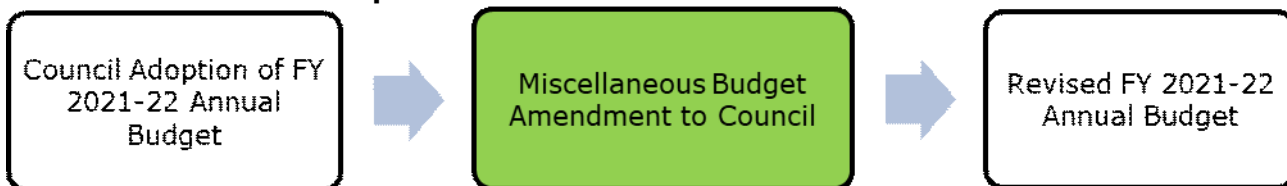
Enactment of the attached budget ordinance amendment will reduce the Debt Fund debt service payment by \$757,288 (\$545,000 in principal and \$212,288 in interest), increase the transfer to the Parking Fund needed to balance that fund by \$1,558,976, reduce the transfer from the Parking Fund to the Debt Fund by \$916,832, and reduce the contribution to reserve by \$1,718,520 to balance the Debt Fund.

Enactment of the attached budget ordinance amendment will increase the Parking Fund debt service payment by \$1,874,213 (\$836,000 in principal and \$1,038,213 in interest), increase the transfer needed from the Debt Fund by \$1,558,976, reduce the transfer to the Debt Fund by \$916,832, reduce the American Rescue Plan Funds originally budgeted to balance the fund by \$1,141,223, increase the Wallace Deck daily revenues budget by \$350,000 and reduce salaries by \$189,658.

- **Housing Capital Grant Fund**

The Town receives annual capital funding from the U.S. Department of Housing and Urban Development (HUD). In FY15, the Town was allocated \$449,057 in Capital Grant Funds from HUD. Staff transitions prevented adequate time to fully expend the entirety of the funds. The original intent of the funding was for renovation of Oakwood apartments and appliance replacement at Pritchard Park. Of the allocation, \$191,680 was spent and the period to spend the remaining \$257,377 lapsed. Enactment of the attached project ordinance will reduce the grant revenue and expenditures in the amount of \$257,377.

Where is this item in its process?



Attachments:

- Budget Ordinance
- Project Ordinance - Housing Capital Grants Fund

AN ORDINANCE TO AMEND "THE ORDINANCE CONCERNING APPROPRIATIONS AND THE RAISING OF REVENUE FOR THE FISCAL YEAR BEGINNING JULY 1, 2021" (2022-06-08/O-1)

BE IT ORDAINED by the Council of the Town of Chapel Hill that the Budget Ordinance entitled "An Ordinance Concerning Appropriations and the Raising of Revenue for the Fiscal Year Beginning July 1, 2021" as duly adopted on June 9, 2021, be and the same is hereby amended as follows

ARTICLE I

APPROPRIATIONS	Current Budget	Increase	Decrease	Revised Budget
GENERAL FUND				
Mayor/Council	\$ 492,520	\$ -	\$ -	\$ 492,520
Town Manager/CaPA	3,274,278	-	-	3,274,278
Human Resource Dev't	2,009,707	-	-	2,009,707
Business Management	2,615,541	-	-	2,615,541
Technology Solutions	2,547,572	-	-	2,547,572
Attorney	577,687	-	-	577,687
Planning & Sustainability	2,423,422	-	-	2,423,422
Building and Development Services	2,518,666	-	-	2,518,666
Afford Hsg & Community Connections	1,293,694	-	-	1,293,694
Public Works	13,657,106	75,000	-	13,732,106
Police	13,438,173	-	-	13,438,173
Fire	10,203,486	-	-	10,203,486
Parks and Recreation	7,510,326	-	-	7,510,326
Library	3,885,064	-	-	3,885,064
Non-Departmental	<u>11,092,636</u>	<u>-</u>	<u>-</u>	<u>11,092,636</u>
	\$ 77,539,878	\$ 75,000	\$ -	\$ 77,614,878
DOWNTOWN SERVICE DISTRICT	\$ 482,491	\$ 10,000	\$ -	\$ 492,491
LIBRARY GIFT FUND				
Other Expenses	\$ 678,535	\$ -	\$ -	\$ 678,535
East Chapel Hill Rotary Club Found.	<u>-</u>	<u>900</u>	<u>-</u>	<u>900</u>
	\$ 678,535	\$ 900	\$ -	\$ 679,435
DEBT SERVICE FUND				
Other Expenses	\$ 12,246,253	\$ -	\$ -	\$ 12,246,253
Bond Principal	5,556,000	-	545,000	5,011,000
Bond Interest	1,954,975	-	212,288	1,742,687
Transfer to Parking Fund	-	1,558,976	-	1,558,976
Contribution to Reserve	<u>6,538,957</u>	<u>-</u>	<u>1,718,520</u>	<u>4,820,437</u>
	\$ 26,296,185	\$ 1,558,976	\$ 2,475,808	\$ 25,379,353

OFF-STREET PARKING FUND

Other Expenses	\$ 1,565,565	\$ -	\$ -	\$ 1,565,565
Full Time Salaries	40,916	-	40,916	-
Program Support Salaries	148,742	-	148,742	-
Bond Principal	-	836,000	-	836,000
Bond Interest	-	1,038,213	-	1,038,213
Transfer to Debt Fund	916,832	-	916,832	-
	<u>\$ 2,672,055</u>	<u>\$ 1,874,213</u>	<u>\$ 1,106,490</u>	<u>\$ 3,439,778</u>

ARTICLE II

REVENUES	Current Budget	Increase	Decrease	Revised Budget
GENERAL FUND				
Other Revenues	\$ 77,539,878	\$ -	\$ -	\$ 77,539,878
UNC Contributions	<u>-</u>	<u>75,000</u>	<u>-</u>	<u>75,000</u>
	\$ 77,539,878	\$ 75,000	\$ -	\$ 77,614,878
DOWNTOWN SERVICE DISTRICT				
Other Revenues	\$ 465,500	\$ -	\$ -	\$ 465,500
Appropriated Fund Balance	<u>16,991</u>	<u>10,000</u>	<u>-</u>	<u>26,991</u>
	\$ 482,491	\$ 10,000	\$ -	\$ 492,491
LIBRARY GIFT FUND				
Other Expenses	\$ 678,535	\$ -	\$ -	\$ 678,535
East Chapel Hill Rotary Club Found.	<u>-</u>	<u>900</u>	<u>-</u>	<u>900</u>
	\$ 678,535	\$ 900	\$ -	\$ 679,435
DEBT SERVICE FUND				
Other Revenues	\$ 25,379,353	\$ -	\$ -	\$ 25,379,353
Transfer from Parking Fund	<u>916,832</u>	<u>-</u>	<u>916,832</u>	<u>-</u>
	\$ 26,296,185	\$ -	\$ 916,832	\$ 25,379,353
OFF-STREET PARKING FUND				
Other Revenues	\$ 1,430,832	\$ -	\$ -	\$ 1,430,832
Wallace Deck Daily Revenues	100,000	350,000	-	450,000
American Rescue Plan Funds	1,141,223	-	1,141,223	-
Transfer from Debt Fund	<u>-</u>	<u>1,558,946</u>	<u>-</u>	<u>1,558,946</u>
	\$ 2,672,055	\$ 1,908,946	\$ 1,141,223	\$ 3,439,778

This the 8th day of June, 2022.

AN ORDINANCE TO AMEND A CAPITAL FUND PROGRAM (CFP) PROJECT ORDINANCE (2022-06-08/O-2)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby amended as follows:

SECTION I

The project authorized is the Housing Capital Fund Project budget as approved by the Council on September 8, 2014.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation with the project within the terms of the Contract document(s), the rules and regulations of the U.S. Department of Housing and Urban Development, and budget contained herein.

SECTION III

The following revenue is available to complete the project:

	Current Budget	Revised Budget
Capital Fund Program	<u>\$ 449,057</u>	<u>\$ 191,680</u>
Total Revenues	\$ 449,057	\$ 191,680

SECTION IV

The amounts appropriated for the project are amended as follows:

	Current Budget	Revised Budget
Administration	\$ 44,905	\$ 44,905
Building Improvements	272,991	111,141
Professional Services	15,642	-
Maintenance Training	1,176	1,176
Small Equipment	23,889	23,889
Section 504 Compliance	<u>90,454</u>	<u>10,569</u>
Total Expenditures	\$ 449,057	\$ 191,680

SECTION V

The Finance Officer of the Town of Chapel Hill is hereby directed to maintain within the Project Fund

sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the Annual Contributions Contract and federal regulations.

SECTION VI

Funds may be advanced from General funds for the purpose of making payments as due. Reimbursement requests should be made to HUD in an orderly and timely manner.

SECTION VII

The Manager is directed to report annually on the financial status of each project in Section IV and on the total revenues received."

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By enacting the budget ordinance amendment, the Council adjusts the General Fund, Downtown Service District Fund, Library Gift Fund, Debt Fund, and Off-Street Parking Fund. By enacting the project ordinance amendment, the Council adjusts the Housing Capital Grants Fund.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 5., File #: [22-0501], Version: 1

Meeting Date: 6/8/2022

Adopt the Recommended 2022-2023 Capital Fund Program for Public Housing Renovations.

Staff:

Faith M. Brodie, Director
Lisa Edwards, Assistant Director
Julian Gerner, Maintenance Supervisor

Department:

Public Housing

Overview: Each year, the United States Department of Housing and Urban Development (HUD) awards grants to Public Housing Agencies for the renovation and repair of their apartments. The 2021 - 2022 grant amount was \$935,260. HUD has not yet notified the Town of the 2022 -23 Grant award. The proposed uses of this year's grant are based on the amount received last year. If the amount awarded is different from the anticipated amount, we will adjust the Public Housing renovations program to remain consistent with the Public Housing Master Plan within the confines of the amounts awarded and share those changes with Council.



Recommendation(s):

That the Council Approve the 2022-2023 Recommended Public Housing Renovations based on the Capital Fund Grant award of 2021-2022.

Additional Information

- Proposed Renovations are in accordance with the Public Housing Master Plan and HUD recommendations
- Supply chain and contractor staffing challenges have delayed implementation of some aspects of the Master Plan
- Public Housing staff have solidified new contracts with vendors to support moving forward with our proposed recommendations



Attachments:

- Resolution
- Project Ordinance
- Proposed Renovations

A RESOLUTION APPROVING ACTIVITIES FOR THE 2022 - 2023 CAPITAL FUND PROGRAM (2022-06-08/R-2)

WHEREAS, the Town has not yet received confirmation of the 2022-2023 Capital Fund Grant by the U.S. Department of Housing and Urban Development (HUD); and

WHEREAS the 2022 - 23 Capital Fund Program grant will provide an estimated \$935,260 for the renovation of Chapel Hill Public Housing properties.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that based on the Town's estimated allocation of \$935,260 of Capital Fund Program funds the Chapel Hill Town Council approves the following 2022 - 23 Capital Grant Program Plan:

Proposed Sources of Funds

<u>Capital Fund Program</u>	<u>\$ 935,260</u>
TOTAL	\$935,260

Proposed Uses of Funds

<u>Appliance Replacement Schedule</u>	<u>\$350,000</u>
Professional Services	\$250,000
Asphalt Assessment & Repair (5-year plan)	\$125,000
Administrative Costs	\$ 89,000
Interior Renovations	\$ 85,000
<u>Training & Development (New staff)</u>	<u>\$ 36,260</u>
TOTAL	\$935,260

BE IT FURTHER RESOLVED that the Council authorizes the Town Manager to submit this 2022 - 2023 Annual Action Plan to the U.S. Department of Housing and Urban Development.

This the 8th Day of June 2022.

AN ORDINANCE TO ESTABLISH A CAPITAL FUND PROGRAM (CFP) PROJECT ORDINANCE (2022-06-08/O-3)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby established as follows:

"SECTION I

The project authorized is the Housing Capital Fund Project budget as approved by the Council on February 23, 2022.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation with the project within the terms of the Contract document(s), the rules, and regulations of the U.S. Department of Housing and Urban Development, and budget contained herein.

SECTION III

The following revenue is available to complete the project:

SECTION IV

The amounts appropriated for the project are established as follows:

	Current Budget
Capital Fund Program	\$ 935,260
	<hr/>
Total Revenues	\$ 935,260

SECTION V

The Finance Officer of the Town of Chapel Hill is hereby directed to maintain within the Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the Annual Contributions Contract and federal regulations.

SECTION VI

Funds may be advanced from General funds for the purpose of making payments as due. Reimbursement requests should be made to HUD in an orderly and timely manner.

SECTION VII

The Manager is directed to report annually on the financial status of each project in Section IV and on the total revenues received.”

This the 8th day of June 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council authorizes the Town Manager to submit this 2022 - 2023 Annual Action Plan for the Capital Funds to the United States Department of Housing and Urban Development (HUD). By enacting the ordinance, the Council establishes the capital fund.

Public Housing Capital Fund Grant Program for 2022 -23

Purpose

Federal regulations allow the Town to use the annual Public Housing Capital Fund grant for comprehensive renovation and improvements to public housing neighborhoods.

Federal rules give priority to work needed to meet statutory requirements such as:

- Testing for and removing or otherwise controlling lead-based paint;
- Testing for and removing or otherwise controlling asbestos; and
- Renovations to meet the needs of disabled residents.

Estimated Grant for 2022 - 23

The 2021 - 2022 grant amount was \$935,260. HUD has not yet notified the Town of the 2022 -23 Grant award. The proposed uses are based on the amount received last year. If the amount awarded is different from the anticipated amount, we will adjust the Public Housing renovations program by completing fewer renovations than proposed using the new allocations.

PRELIMINARY 2022 - 23 CAPITAL FUND PROGRAM

Proposed Sources of Funds

Capital Fund Program	\$ 935,260
TOTAL	\$935,260

Proposed Uses of Funds

Appliance Replacement Schedule	\$350,000
Professional Services	\$250,000
Asphalt Assessment & Repair (5-year plan)	\$125,000
Administrative Costs	\$ 89,000
Interior Renovations	\$ 85,000
Training & Development (New staff)	\$ 36,260
TOTAL	\$935,260

Many of the proposed repairs and renovations for the 2021-2022 Capital Grant Fund were stalled by the impact of COVID on supplies, distribution, increasing cost and staffing deficiencies. We have revisited many of the proposals received and updated where costs increased. We have also increased the allocations for training for development of new staff members.

We plan to fulfill more Public Housing Master Plan items and resume the replacement of appliances annually.

1. Appliance Upgrade / Replacement (\$350,000)

Consistent with the Public Housing Master Plan, we have assessed the age and condition of all major appliances in the 296 units we maintain. Our goal is to replace as many refrigerators, ranges, and water heaters that we can with each grant disbursement until all units have Energy Star efficient appliances. We are developing new vendor relationships since many of our previous vendors are experiencing staffing and supply chain challenges.

2. Professional Services (\$250,000)

Continued professional contracts to assist our efforts to review and select architects and engineers to address the flooding issues of South Estes, the bridge at the administrative offices, training and professional development, and redevelopment of the space in the administrative office at 317 Caldwell as well as the bay space in the Town Operations Center to accommodate more staff and increase common work areas.

3. Asphalt Assessment & Repair (\$125,000)

In an effort to realize economies of scale, Public Housing partnered with the Public Works Department to order a Pavement Condition Survey for the Asphalt Assets in our Town. Our portion was much less expensive than if we had commissioned the work as a single unit. This is our second payment on a proposed five-year plan.

4. Administrative Costs (\$89,000)

Administrative costs are those indirect costs associated with the performance of a sponsored activity (such as a grant or a contract or other similar agreement with an external funding source) and are 10% of the total grant amount. This activity includes the administrative cost for coordinating, tracking, and implementing the Capital Fund activities.

5. Interior Renovations (\$85,000)

As we attempt to resume refurbishing of the interior of our units after a hiatus of over 2 years due to COVID restrictions, we plan to paint interior walls, repair flooring, and replace obsolete cabinetry. We have started with the Church/Caldwell community as it is a community that houses our seniors and differently abled.

6. Training and Development (\$36,260)

Since December 2021, Public Housing has added three new staff members, and will experience the retirement of an employee with an excess of 28 years of experience.

Training provided by our Human Resource Department, professional organizations and Housing and Urban development are essential to our continued growth and success as a department.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 6., File #: [22-0502], Version: 1

Meeting Date: 6/8/2022

Call a Legislative Hearing to Consider Annexing Property at 7300 Millhouse Road on September 14, 2022.

Staff:

Colleen Willger, Director
Corey Liles, Planning Manager

Department:

Planning

Overview: The Town received a petition on March 30, 2022 from Merritt CP1, LLC to annex 19.65 acres of land into the Town of Chapel Hill corporate limits. The Town Clerk reviewed and determined this is a valid petition.



Recommendation(s):

That the Council schedule a hearing to consider annexing property at 7300 Millhouse Road on September 14, 2022.

Additional Information

- North Carolina General Statute 160A-31(c) requires the Town to set a hearing for annexation upon receiving a valid petition for land that is contiguous to Town boundaries.
- A development known as 'Flex Buildings Millhouse Road' is proposed for this site. The Town recently issued a Zoning Compliance Permit to develop 118,000 sq. ft. of flex warehouse space and associated site improvements. Council previously approved a Light Industrial Conditional Zoning District for the site on [June 20, 2018 <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3531763&GUID=07EF0DE4-18F8-4EC8-B9DC-B54F39F36B5B>](https://chapelhill.legistar.com/LegislationDetail.aspx?ID=3531763&GUID=07EF0DE4-18F8-4EC8-B9DC-B54F39F36B5B).

Fiscal Impact/Resources: Annexation of this area would include it in the Town's corporate limits. The property could then receive the full range of services provided by the Town of Chapel Hill. Annexation would also require the Town to make a one-time payment to offset long-term debt of the volunteer fire department currently serving the property. Staff will provide a fiscal impact assessment at the September 14, 2022 hearing.

Where is this item in its process?



Attachments:

- Resolution to Call a Legislative Hearing
- Proposed Annexation Map
- Voluntary Annexation Petition

Item #: 6., File #: [22-0502], Version: 1

Meeting Date: 6/8/2022

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council schedules a legislative hearing to consider annexing property at 7300 Millhouse Road, also known as the 'Flex Buildings Millhouse Road' site, on September 14, 2022.

RESOLUTION A

(Legislative Hearing on Annexation Petition)

A RESOLUTION CALLING A LEGISLATIVE HEARING FOR A PETITION TO ANNEX LANDS AT 7300 MILLHOUSE ROAD PURSUANT TO N.C.G.S. SEC. 160A-31 ON SEPTEMBER 14, 2022 (2022-06-08/R-3)

WHEREAS, staff has received a petition requesting annexation of property located at 7300 Millhouse Road, located contiguous to the corporate boundary of the Town of Chapel Hill and described herein; and

WHEREAS, the property proposed for annexation is further identified by Orange County Parcel Identification Number (PIN) 9870-89-2007, along with one half of the abutting right-of-way shared by Millhouse Road and the Southern Railroad; and

WHEREAS, the Town Clerk has investigated the sufficiency of the petition and found it to be valid.

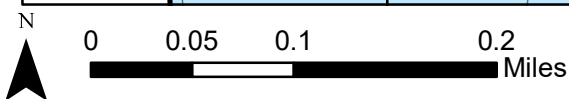
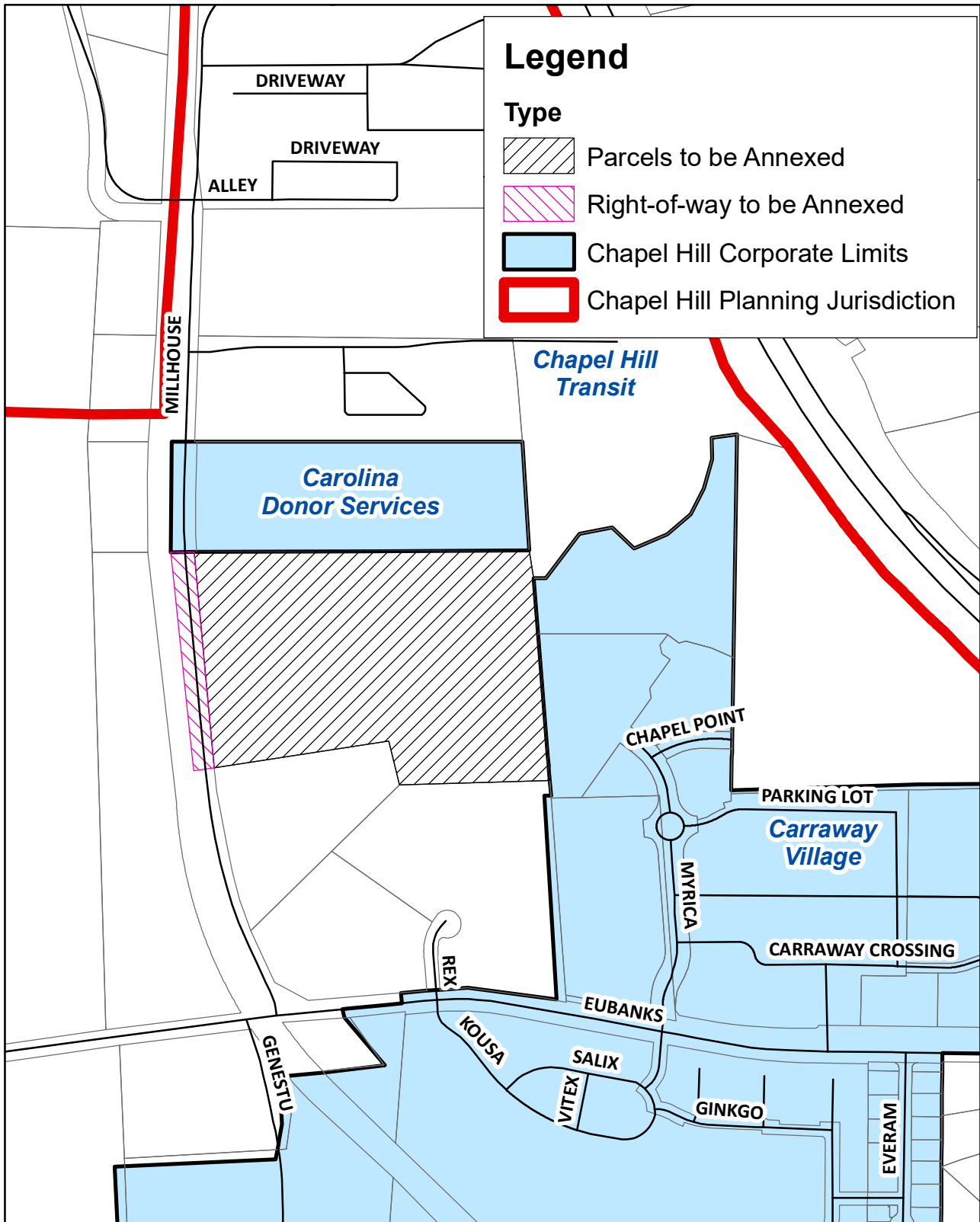
NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council will hold a legislative hearing on the question of annexation of property adjacent to the Town of Chapel Hill described herein on Wednesday, September 14, 2022 at 7:00 p.m.

BE IT FURTHER RESOLVED that notice of said hearing shall be published in accordance with N.C.G.S. Sec. 160A-31(c).

This the 8th day of June, 2022.

Proposed Annexation Map 7300 Millhouse Road

Orange Co. PIN(s):
9870892007



Map Created: 5-19-22
Planning Department

CERTIFICATE OF SUFFICIENCY

I, Sabrina M. Oliver, Town Clerk, do hereby certify that I have investigated the petition attached hereto and have found as a fact that said petition is signed by all owners of real property lying in the area described therein, in accordance with G.S. 160A-31.

In witness whereof, I have hereunto set my hand and affixed the seal of the Town of Chapel Hill, on May 12, 2022.



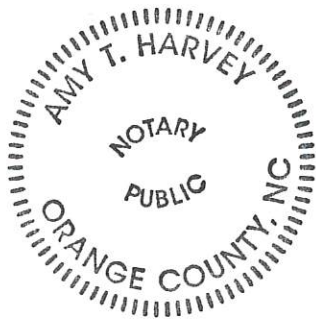
Sabrina M. Oliver, Town Clerk

Orange County, North Carolina

I certify that Sabrina M. Oliver, Town Clerk personally appeared before me this day, and acknowledging to me that she signed the foregoing document:

Date: May 12, 2022

(Official Seal)



Amy T. Harvey
Official Signature of Notary

Amy T. Harvey, Notary Public
Notary's printed or typed name

My commission expires: May 15, 2025

Petition Requesting Annexation

April 7th, 2022

To the Town Council of the Town of Chapel Hill:

- 1) We, the undersigned owner of real property, respectfully request that the area described below be annexed into the Town of Chapel Hill.
- 2) The area to be annexed is contiguous to the existing primary corporate limits of the Town of Chapel Hill, and includes the following Orange County, NC land parcel.
- 3) This petition is presented under the authority contained in G.S. 160A-31 for contiguous annexations and G.S. 160A-58 for non-contiguous annexations.

Parcel Identification Number: 9870892007 19.654 acres

Total Area to be annexed: 20.170 acres

Survey description: Commencing from an existing rebar and cap known as McKim & Creed control point # 2 having North Carolina (NAD 83-2011) Grid Coordinates of N: 809,325.00' E: 1,977,466.97', from said control point a bearing and distance of N 16° 21' 25" E 157.10' to an iron rod found on the eastern right of way of Millhouse Road, said iron rod also known as the Point of Beginning (POB) and having North Carolina (NAD 83-2011) Grid Coordinates of N: 809,475.74' E: 1,977,511.21'; thence from said POB and running with the southern line of the Carolina Donor Services property (DB 6665, Pg 839) along the existing Town of Chapel Hill limits the following two calls: N 89° 41' 13" E 1,144.32' to an iron pipe found; thence continuing N 89° 41' 13" E 7.26' to a computed point on a southern corner of the Town of Chapel Hill Property (DB 2827, Pg 371); thence with a western line of said property S 04° 38' 05" E 96.20' to a computed point on a northern corner of the NR Edge property (DB 6092, Pg 357); thence with a western line of said property S 04° 38' 05" E 704.38' to an iron pipe found on a northern line of the Reclar Corporation Property (DB 910, Pg 324); thence with said northern line S 88° 46' 21" W 525.27' to an iron pipe found on a western line in the Chip-Orange, Inc. property (DB 2030, Pg 189);

thence with said line N 05° 57' 39" W 15.16' to an iron pipe found; thence continuing on said line N 05° 07' 53" W a total distance of 139.39' passing an iron pipe found at 89.64' to an iron pipe found; thence with a northern line of said property S 81° 17' 08" W a total distance of 644.68' passing an iron pipe found on the western right of way of Millhouse Road at 614.35' to a computed point in the centerline of Millhouse Road; thence with said centerline of road N 05° 29' 10" W 749.95' to a computed point; thence N 89° 41' 13" E 31.87' to an iron rod found, said iron rod being the point and place of beginning containing 878,590 SF / 20.170 acres, more or less.

Vested Rights:

We acknowledge that any zoning vested rights acquired pursuant to G.S. 160 A-385.1 of G.S. 153A-344.1 must be declared and identified on this petition. We further acknowledge that failure to declare such rights on this petition shall result in a termination of vested rights previously acquired for the property. (If zoning vested rights are claimed, indicate below and attached proof.)

As of the date of this petition, the property owner has been pursuant to lawfully issued permits, and the right of the owner have vested pursuant thereto.

Property Owner Name

Merritt CP1, LLC

Address

2066 Lord Baltimore Dr
Baltimore, MD 21244

By: Merritt CP1, LLC

Authorized representative

Name: Keith Wallace



Title: Vice President

Date:

4/7/2022

STATE OF NC

COUNTY OF Wake

I, Brittany Callahan the undersigned Notary Public in and for the aforesaid County and State, certify that Keith Wallace personally came before me this day and acknowledged the due execution of the foregoing instrument.

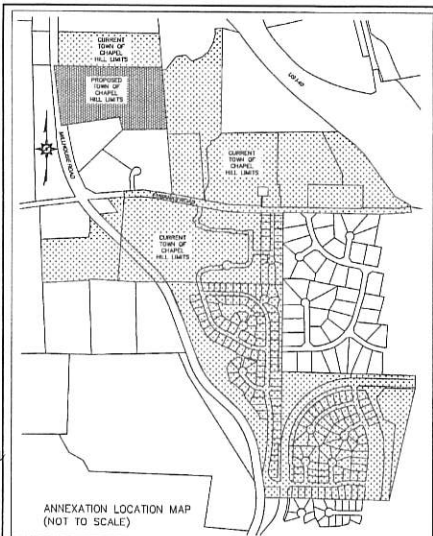
Witness my hand and notarial seal this the 7 day of April 2022.

Printed Name: Brittany N Callahan, Notary Public



My Commission expires: June 22, 2025





RECORDING OF THIS DOCUMENT DOES NOT REQUIRE SUBDIVISION APPROVAL OF THE TOWN OF CHAPEL HILL, AS PROVIDED IN SECTION 4.6.1 OF THE CHAPEL HILL LAND USE MANAGEMENT ORDINANCE.

Jeffrey D. Ayer
Date: 4/17/2022

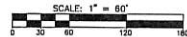
Map No. 1712022
Chapel County North Carolina
Map Color: Register of Deeds
SP 124 PG 166 - 165 (S)

- SURVEY NOTES:**
- ALL DISTANCES SHOWN ARE HORIZONTAL GROUND DISTANCES IN U.S. SURVEY FEET (UNLESS OTHERWISE STATED).
 - NO NC CRD MONUMENT IS WITHIN 2,000' OF SURVEYED TRACT.
 - ALL BEARINGS ARE BASED ON THE NORTH CAROLINA STATE PLANE COORDINATE SYSTEM (NAD 1983/NAD 2011).
 - THIS SURVEY PERFORMED AND MAP PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. THIS SURVEY IS SUBJECT TO ANY FACTS AND EASEMENTS WHICH MAY BE DISCLOSED BY A FULL AND ACCURATE TITLE SEARCH.
 - NO PROPERTY IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE THE 500 ANNUAL FLOOD ZONE "X" AREAS DETERMINED TO BE THE 500 ANNUAL FLOOD ZONE BY FEMA PANEL 211067803C, WITH AN EFFECTIVE DATE OF NOVEMBER 17, 2017.
 - DASHED LINES SHOWN HEREON WERE NOT FIELD SURVEYED.

REFERENCES:
DB 8761, PG 736
DB 8745, PG 273
DB 5122, PG 486
DB 3820, PG 212
FB 74, PG 161

SITE ADDRESS:
7300 WILKINSON ROAD
CHAPEL HILL, NC
27516

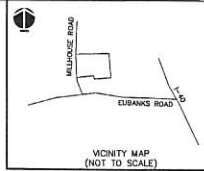
OWNER INFORMATION:
-MERRITT-CP1, LLC



DATE	REVISION	INITIAL

MCKIM & CREED
1730 Verity Drive Suite 500
Raleigh, North Carolina 27606
Phone: (919)231-8001, Fax: (919)233-8031
NC FIRM # F-1222
Internet Site: <http://www.mckimcreed.com>

TOTAL AREA OF ANNEXATION
20.170 Acres
878,590 SqFt



I, JEFFREY D. AYER, PLS. L-4234, CERTIFY THAT THIS PLAN AND DRAWING UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM INFORMATION SHOWN TO BE TRUE EITHER BY MEASUREMENT OR MAP AND MAP BOOKS REFERENCED ON MAP, THAT ANY LINES NOT ACTUALLY SURVEYED APPEAR AS BROKEN LINES AND WERE PLOTTED FROM INFORMATION AS NOTED ON THE PLAN; THAT THE METHOD OF PRECISION AS CALCULATED IS BETTER THAN 1:10,000; THAT THE AREA IS COMPUTED BY COORDINATE METHOD; THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH U.S. 47-30 AND 47-35, AND THE NORTH CAROLINA SURVEYING REGISTRATION NUMBER, AND SEAL THIS THE 17th DAY OF April 2022.

TOWN OF CHAPEL HILL
DB 2827, PG 373
FB 25, PG 116
PN# 9871-00-9160

Jeffrey D. Ayer
JERRY D. AYER
PROFESSIONAL LAND SURVEYOR L-4234

I, JEFFREY D. AYER, PLS. L-4234, CERTIFY THAT THE SURVEY IS OF ANOTHER CATEGORY, SUCH AS THE RECONSTRUCTION OF AN EXISTING PARCEL, A COURT-ORDERED SURVEY, OR OTHER EXCEPTION TO THE DEFINITION OF SUBDIVISION.

Jeffrey D. Ayer 4/5/22
JERRY D. AYER L-4234



N/T
MR EDGE PROPERTY
CORP, LLC
DB 8092, PG 307
FB 83, PG 116
PN# 9870-99-5152

State of North Carolina
County of Orange
I, Kimberly Cecil, Review Officer of Orange County, certify that the map or plat to which this certification is affixed meets all statutory requirements for recording for which the Review Officer has responsibility as provided by law.

Kimberly Cecil
Review Officer
Orange County Land Records
Date of Certification: 4/17/22

- LEGEND:**
- R.R. RAILROAD
 - FOR POINT OF BEGINNING
 - R/MON RIGHT OF WAY MONUMENT
 - R/W RIGHT OF WAY
 - CF COMBINED FEET
 - GRND GROUND
 - SqFt SQUARE FEET
 - AC ACRES
 - NOB OR FORMERLY NON-BEARING
 - DB DEDIC BOOK
 - PLAT BOOK
 - FACE
 - IPF IRON PIPE FOUND
 - IRP IRON ROD FOUND
 - CPM COMPUTED POINT
 - BCP BENCHMARK
 - EXISTING MONUMENT

VOLUNTARY CONTIGUOUS ANNEXATION PLAN
ON THE PROPERTY OF
MERRITT-CP1, LLC
FOR
THE TOWN OF CHAPEL HILL
DATE: MARCH 02, 2022 SCALE: 1" = 60'
CHAPEL HILL TOWNSHIP ORANGE COUNTY NORTH CAROLINA

PROJECT # : 07171-0004
PROJ. SVTR : JDA
DRAWN BY : JJC
FIELD SK :
COMP. FILE : VARI-77470004-ANNDWG
SHEET # : 1 OF 1
DWG. # :



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 7., File #: [22-0503], Version: 1

Meeting Date: 6/8/2022

Adopt a Calendar of Council Meetings through December 2022.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: The [Town Charter <%3chttps://library.municode.com/nc/chapel_hill/codes/code_of_ordinances>](#) and the [Town Code <%3chttps://library.municode.com/nc/chapel_hill/codes/code_of_ordinances>](#) state that the Council shall fix suitable times for its regular meetings. Adopting the calendar establishes Regular meetings, Work Sessions and other meetings.

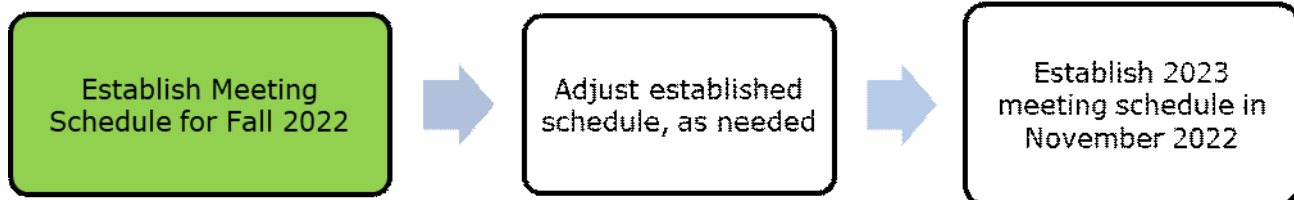


Recommendation(s):

That the Council adopt the attached resolution adding a special meeting in June and establishing the Council calendar through December 2022.

Fiscal Impact/Resources: Fiscal impact not determined.

Where is this item in its process?



Attachments:

- Resolution
- Proposed Chapel Hill Town Council Fall 2022 Meeting Calendar

**A RESOLUTION ADOPTING A CALENDAR OF COUNCIL MEETINGS THROUGH DECEMBER 2022
(2021-06-08/R-4)**

WHEREAS, the [Town Charter](https://library.municode.com/nc/chapel_hill/codes/code_of_ordinances) <%
3https://library.municode.com/nc/chapel_hill/codes/code_of_ordinances> and the [Town Code](https://library.municode.com/nc/chapel_hill/codes/code_of_ordinances) <%
3https://library.municode.com/nc/chapel_hill/codes/code_of_ordinances> state that the Council shall fix suitable times for its regular meetings; and

WHEREAS, the Council wants to schedule a special meeting to discuss the complete communities project.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council amends its 2021-22 meeting calendar to add a special meeting in work session format to June 21, 2022 at 4:30 PM online, see the Town's Calendar for details.

BE IT FURTHER RESOLVED that the Council adopt the following meeting schedule through December 2022

August 2022¹

- 31-W-Special Meeting², 7 PM

September 2022

- 14-W-Regular Meeting
- 21-W-Work Session
- 28-W-Regular Meeting

October 2022

- 3-M-Work Session
- 12-W-Special Meeting², 6 PM
- 12-W-Regular Meeting
- 19-W-Regular Meeting

November 2022

- 2-W-Regular Meeting
- 14-M-Work Session
- 16-W-Regular Meeting

December 2022

- 7-W-Regular Meeting

¹ Unless otherwise noted, Council Regular meetings start at 7:00 PM and Council Work Sessions start at 6:30 PM both are held virtually, see web calendar (<https://www.townofchapelhill.org/government/newsroom/calendar>) for details. When Council returns to physical meetings Council Regular meetings are held in the Chapel Hill Town Hall, Council Chamber (405 MLK Jr Blvd, Chapel Hill, NC 27514); Council Work Sessions start at 6:30 p.m. and are held at the Chapel Hill Public Library, Meeting Room B, (100 Library Drive, Chapel Hill, NC 27514)

² It is anticipated that the Council will go into closed session, as authorized by North Carolina General Statute Section 143-318.11(a)(6) to discuss a personnel matter.

Item #: 7., File #: [22-0503], Version: 1

Meeting Date: 6/8/2022

BE IT FURTHER RESOLVED that the Council continues to hold meetings in a virtual environment until conditions permit meetings in a physical environment. This extends the provisions in (2020-10-28/R-13).

BE IT FURTHER RESOLVED that the Council conducts the remote meetings as described in Resolution (2020-04-22/R-7).

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council adopts its meeting calendar adding a June 21 meeting and meetings through December 2022.

Adopted Chapel Hill Town Council Spring 2022 Meeting Calendar

JANUARY							FEBRUARY							MARCH						
S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S
					31	1			1	2	3	4	5			1	2	3	4	5
2	3	4	5	6	7	8	6	7	8	9	10	11	12	6	7	8	9	10	11	12
9	10	11	12	13	14	15	13	14	15	16	17	18	19	13	14	15	16	17	18	19
16	17	18	19	20	21	22	20	21	22	23	24	25	26	20	21	22	23	24	25	26
23	24	25	26	27	28	29	27	28						27	28	29	30	31		
30	31																			

APRIL							MAY							JUNE						
S	M	T	W	T	F	S	S	M	T	W	T	F	S	S	M	T	W	T	F	S
					1	2	1	2	3	4	5	6	7				1	2	3	4
3	4	5	6	7	8	9	8	9	10	11	12	13	14	5	6	7	8	9	10	11
10	11	12	13	14	15	16	15	16	17	18	19	20	21	12	13	14	15	16	17	18
17	18	19	20	21	22	23	22	23	24	25	26	27	28	19	20	21	22	23	24	25
24	25	26	27	28	29	30	29	30	31					26	27	28	29	30		

Proposed Fall 2022 Meeting Calendar

JULY

S	M	T	W	T	F	S
					1	2
3	4	5	6	7	8	9
10	11	12	13	14	15	16
17	18	19	20	21	22	23
24	25	26	27	28	29	30
31						

AUGUST

S	M	T	W	T	F	S
	1	2	3	4	5	6
7	8	9	10	11	12	13
14	15	16	17	18	19	20
21	22	23	24	25	26	27
28	29	30	31			

SEPTEMBER

S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	

OCTOBER

S	M	T	W	T	F	S
						1
2	3	4	5	6	7	8
9	10	11	12	13	14	15
16	17	18	19	20	21	22
23	24	25	26	27	28	29
30	31					

NOVEMBER

S	M	T	W	T	F	S
		1	2	3	4	5
6	7	8	9	10	11	12
13	14	15	16	17	18	19
20	21	22	23	24	25	26
27	28	29	30			

DECEMBER

S	M	T	W	T	F	S
				1	2	3
4	5	6	7	8	9	10
11	12	13	14	15	16	17
18	19	20	21	22	23	24
25	26	27	28	29	30	31

19	Regular Meetings 7 PM @ Town Hall	7	Council Work Sessions 6:30 PM @ Library	11	Other Meetings *Check web calendar for time/location
37	Total Number of Meetings	12	Town Holidays	10	CCES Meetings**

List of Meetings by Date

January 2022¹

- 5-W-Work Session
- 12-W-Regular Meeting
- 25-T-Assembly of Governments, online, 7 PM
- 26-W-Regular Meeting

February 2022

- 2-W-Work Session
- 9-W-Regular Meeting
- 18-F-Council Retreat, 3:30 PM., Rizzo Center
- 23-W-Regular Meeting

March 2022

- 2-W-Work Session
- 9-W-Regular Meeting
- 16-W-Council Retreat, 4 PM, Rizzo Center
- 23-W-Regular Meeting

April 2022

- 6-W-Regular Meeting
- 13-W-Work Session
- 25-M-Special Meeting²
- 27-W-Regular Meeting

May 2022

- 4-W-Regular Meeting
- 11-W- Work Session
- 18-W- Regular Meeting
- 19-TH-Legislative Breakfast, 8:30 AM, online
- 25-W- Budget Work Session (*Tentative*)

June 2022

- 1-W-Budget Work Session (*Tentative*)
- 8-Regular Meeting
- 15-Regular Meeting
- 21-T-Special Meeting (work session format), 4:30 PM, online

August 2022¹

- 31-W-Special Meeting², 7 PM

September 2022

- 14-W-Regular Meeting
- 21-W-Work Session
- 28-W-Regular Meeting

October 2022

- 3-M-Work Session
- 12-W-Special Meeting², 6 PM
- 12-W-Regular Meeting
- 19-W-Regular Meeting

November 2022

- 2-W-Regular Meeting
- 14-M-Work Session
- 16-W-Regular Meeting

December 2022

- 7-W-Regular Meeting

**Council Committee on Economic Sustainability

Meets monthly on the first Friday at 8 AM, unless otherwise indicated. These are held virtually, see [web calendar](#) for details. When the Committee returns to physical meetings the Council Committee on Economic Sustainability meetings are held at the Chapel Hill Public Library, Meeting Room B, (100 Library Drive, Chapel Hill, NC 27514) For more Committee information, see <https://www.townofchapelhill.org/government/departments-services/economic-development/council-economic-sustainability-committee>

¹ Unless otherwise noted, Council Regular meetings start at 7:00 PM and Council Work Sessions start at 6:30 PM both are held virtually, see web calendar (<https://www.townofchapelhill.org/government/newsroom/calendar>) for details. When Council returns to physical meetings Council Regular meetings are held in the Chapel Hill Town Hall, Council Chamber (405 MLK Jr Blvd, Chapel Hill, NC 27514); Council Work Sessions are held at the Chapel Hill Public Library, Meeting Room B, (100 Library Drive, Chapel Hill, NC 27514)

² It is anticipated that the Council will go into closed session, as authorized by North Carolina General Statute Section 143-318.11(a)(6) to discuss a personnel matter.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 8., **File #:** [22-0504], **Version:** 1

Meeting Date: 6/8/2022

Approve the Second Block of Consent Agenda Items.

Staff:

Sabrina M. Oliver, Director/Town Clerk
Amy T. Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: Items of a routine nature to be voted on in a block. Any item may be removed from the Consent Agenda by the request of the Mayor or any Council Member.

Prior to a motion to approve the second consent resolution, there may be a motion to recuse one or more members who serve on governing boards of non-profit organizations being considered.



Recommendation(s):

That the Council adopt the various resolutions and ordinances.

Fiscal Impact/Resources: Please refer to each agenda item for specific fiscal notes.



Attachments:

- Resolution

**A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES
(2022-06-08/R-5)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the following resolutions and ordinances as submitted by the Town Manager in regard to the following:

- 9 Adopt the Recommended 2022-2023 Community Development Block Grant Program Plan. (R-6) (O-4) (O-5) (O-6) (O-7) (O-8)
- 10 Approve the 2022-2023 HOME Investment Partnership Program Annual Plan. (R-7)

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 9., File #: [22-0505], Version: 1

Meeting Date: 6/8/2022

Adopt the Recommended 2022-2023 Community Development Block Grant Program Plan.

Staff:

Sarah Osmer Viñas, Director

Nate Broman-Fulks, Assistant Director

Megan Culp, Community Development Program Manager

Department:

Affordable Housing & Community
Connections

Overview: The Town of Chapel Hill receives an annual allocation of Community Development Block Grant (CDBG) funds from the U.S. Department of Housing and Urban Development (HUD) to address community development and affordable housing needs. The recommended 2022-23 CDBG Program Plan includes funding eligible affordable housing, public services, and administration activities for use of \$676,336. This includes a 2022-2023 CDBG grant award of \$421,755, \$241,764 in prior years' CDBG grant awards to be reallocated, plus \$12,817 in program income. Eligible activities must serve households earning less than 80% of the area median income, or \$76,400 for a family of four.



Recommendation(s):

That the Council:

1. Adopt the attached resolution approving the recommended 2022-2023 Community Development Program Plan for use of \$676,336;
2. Authorize the Town Manager to submit the Plan to the U.S. Department of Housing and Urban Development as the annual update to the 2020-2024 Consolidated Plan;
3. Enact the attached project ordinance to establish the CDBG budget for the 2022-2023 program; and
4. Enact the attached project ordinances to amend the CDBG budgets for the 2016-17, 2018-19, 2020-21, and 2021-22 programs.

Summary of Recommended Plans

2022-2023 Community Development Block Grant Program Plan

	Requested	Committee Recommendation
Public Services		
Town's Summer Youth Employment Program	\$25,000	\$25,000
Inter-Faith Council Homeless Case Management	\$102,067	\$34,935
Exchange Club's Family Center	\$5,250	\$5,250
Affordable Housing		
Community Home Trust - Acquisition 223 Graham	60,000	60,000
Community Home Trust - Down Payment Assistance	20,000	20,000
Community Home Trust - Legion Rd. repairs	25,000	25,000

Community Empowerment Fund - IDA Program	50,000	90,000
Rebuilding Together of the Triangle Home Preservation Administration and Repairs	110,400	165,600
Neighborhood Revitalization	-	163,637
Administration	86,914	86,914
Total	\$484,631	\$676,336

CDBG Funding Process Overview

- November 10, 2021: The Council held a [public forum](#) <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=5208013&GUID=8FF1004A-A3A6-4443-> to receive comments on the Town's community development needs and potential uses of 2022-2023 CDBG funds.
- November 16, 2021: Staff posted 2022-2023 funding applications on the Town's website.
- November 18, 2021: Staff held an information session for interested applicants.
- December 9, 2021: Staff held a Q&A session and offered one-on-one funding proposal meetings to interested applicants.
- January 6, 2022: Staff held a second Q&A session for applicants.
- January 14, 2022: Application submission deadline.
- March 10, 2022: CDBG Application Review Committee met to review and evaluate applications to make recommendations. The Review Committee is made up of one member from the Housing Advisory Board, one member of the Human Services Advisory Board, and Town staff members from the Manager's Office and Parks and Recreation Department. Affordable Housing and Community Connections staff members act as liaisons to the Review Committee.
- March 15, 2022: Staff posted the recommended CDBG Annual Program Plan for public review and comment on the Town's website.
- April 6, 2022: The Council held a [public forum](#) <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=5543870&GUID=60D0AD13-9F96-4F78-> to receive comments on the recommended 2022-2023 CDBG Program Plan based on an estimated CDBG award from HUD.
- May 13, 2022: HUD released the CDBG annual allocations so the recommended plan amounts could be finalized.
 - The Town's final CDBG allocation is higher than anticipated, so staff applied the contingency plan presented to Council at the public forum.
- If the Council approves the CDBG Program Plan, our next steps would be:
 - Submit the Plan to HUD, as the annual update to the 2020-2024 Consolidated Plan.
 - Post the approved annual CDBG plans on the [Town's CDBG webpage](#) <https://www.townofchapelhill.org/government/departments-services/housing-and->
 - Enter into Performance Agreements with agencies, according to the approved program plan.

Fiscal Impact/Resources: The Town is a CDBG Entitlement Community and receives an annual funding allocation from HUD. The Town provides CDBG funding through performance agreements with agencies that implement approved programs and services. The Town reimburses funding after subrecipients submit satisfactory documentation of accomplishments, expenses, and compliance with federal rules and regulations.

Where is this item in its process?



 **Attachments:**

- Resolution Approving the 2022-2023 CDBG Program Plan
- Project Ordinance Establishing the 2022-2023 CDBG Budget
- Project Ordinance Amending the 2016-2017 CDBG Budget
- Project Ordinance Amending the 2018-2019 CDBG Budget
- Project Ordinance Amending the 2020-2021 CDBG Budget
- Project Ordinance Amending the 2021-2022 CDBG Budget
- Summary of Application Review Committee Recommended 2022-2023 Program Plan

A RESOLUTION APPROVING THE 2022-23 COMMUNITY DEVELOPMENT BLOCK GRANT PROGRAM PLAN (2022-06-08/R-6)

WHEREAS, the Council of the Town of Chapel Hill used multiple methods to receive public input on use of 2022-2023 Community Development Block Grant funds; and

WHEREAS, the U.S. Department of Housing and Urban Development has notified the Town of the 2022-2023 Community Development Block Grant allocation of \$421,755; and

WHEREAS, the Town has \$241,764 available in prior year Community Development Block Grant allocations to be reprogrammed; and

WHEREAS, the Town received \$12,817 in program income for the repayment of two affordable housing loans making \$676,335.52 available to be allocated.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that based on the Town's available funding of \$676,336 of 2022-2023 Community Development Block Grant funds, the Council approves the following 2022-2023 Community Development Block Grant Program:

2022-2023 Community Development Block Grant Program Plan

	Recommendation
Public Services	
Town's Summer Youth Employment Program	\$25,000
Inter-Faith Council Homeless Case Management	34,935
Exchange Club's Family Center	5,250
Affordable Housing	
Community Home Trust - Acquisition	60,000
Community Home Trust - Down Payments	20,000
Community Home Trust - Legion Rd. Repairs	25,000
Community Empowerment Fund - IDA Program	90,000
Rebuilding Together of the Triangle	165,600
Neighborhood Revitalization	163,637
Administration	86,914
Total	\$676,336

BE IT FURTHER RESOLVED that the Council authorizes the Manager to include this 2022- 2023 Annual Action Plan in the 2020-2024 Consolidated Plan, for submission to the U.S. Department of Housing and Urban Development.

This the 8th day of June, 2022.

AN ORDINANCE TO ESTABLISH THE 2022-23 COMMUNITY DEVELOPMENT ENTITLEMENT GRANT PROJECT ORDINANCE (2022-06-08/O-4)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project is hereby established:

"SECTION I

The projects authorized are the Community Development projects as approved by the Council on June 8, 2022 funds are as contained in the Funding Approval and Grant Agreement between the Town and the U.S. Department of Housing and Urban Development (HUD). The projects are known more familiarly as the 2022 Entitlement Community Development Block Grant. The grant activities include eligible affordable housing, public services, low-income residents, and administration costs for the program.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with the grant project within the terms of the grant document(s), the rules and regulations of the U.S. Department of Housing and Urban Development, and the budget contained herein.

SECTION III

The following revenues are anticipated to be available to complete the project:

	Current Budget
Community Development Block Grant	\$ 421,755
Program Income	<u>12,817</u>
Total Revenues	\$ 434,572

SECTION IV

Amounts appropriated for projects are as follows:

	Current Budget
<u>Public Services</u>	
Town of Chapel Hill - Summer Youth Employment	\$ 25,000
Inter-Faith Council - Homeless Case Management	34,935
Exchange Club - Family Center Youth Services	5,250
<u>Affordable Housing</u>	
Community Home Trust - Downpayment Assistance	20,000
Community Home Trust - Townhome Repairs	8,836
Community Empowerment - Homeowner Counseling	10,000
Community Empowerment - Downpayment Assistance	80,000
Neighborhood Revitalization	163,637
<u>Administration</u>	
Grant Administration	<u>86,914</u>
Total Expenditures	\$ 434,572

SECTION V

The Director of Business Management is hereby directed to maintain within the Grant Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the grant agreement(s) and Federal and State regulations.

SECTION VI

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget and shall keep the Council informed of any unusual occurrences.

SECTION VII

Copies of this project ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk."

This the 8th day of June, 2022.

AN ORDINANCE TO AMEND THE 2021-2022 COMMUNITY DEVELOPMENT ENTITLEMENT GRANT PROJECT ORDINANCE (2022-06-08/O-5)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project is hereby amended to read as follows:

"SECTION I

The projects authorized are the Community Development projects as approved by the Council on June 9, 2021: funds are as contained in the Funding Approval and Grant Agreement between the Town and the U.S. Department of Housing and Urban Development (HUD). The projects are known more familiarly as the 2021 Entitlement Community Development Block Grant. The grant activities include renovation of public housing, homebuyer assistance programs, community services to low-income residents, and administration costs for the program.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with the grant project within the terms of the grant document(s), the rules and regulations of the U.S. Department of Housing and Urban Development, and the budget contained herein.

SECTION III

The following revenues are anticipated to be available to complete the project:

	Current Budget	Revised Budget
Community Development Block Grant	\$ 418,300	\$ 418,300
Program Income	<u>7,339</u>	<u>7,339</u>
Total Revenues	\$ 425,639	\$ 425,639

SECTION IV

Amounts appropriated for projects are as follows:

	Current Budget	Revised Budget
<u>Public Services</u>		
Inter-Faith Council Homeless Case Management	\$ 57,685	\$ 57,685
Exchange Club's Family Center	5,250	5,250
<u>Affordable Housing</u>		
EmPOWERment Inc.	135,000	135,000
Rebuilding Together of the Triangle	84,000	139,973
Neighborhood Revitalization	59,791	-
Community Home Trust	-	3,818
<u>Administration</u>		
Grant Administration	<u>83,913</u>	<u>83,913</u>
Total Expenditures	\$ 425,639	\$ 425,639

SECTION V

The Director of Business Management is hereby directed to maintain within the Grant Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the grant agreement(s) and Federal and State regulations.

SECTION VI

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget and shall keep the Council informed of any unusual occurrences.

SECTION VII

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk."

This the 8th day of June, 2022.

AN ORDINANCE TO AMEND THE 2020-2021 COMMUNITY DEVELOPMENT ENTITLEMENT GRANT PROJECT ORDINANCE (2022-06-08/O-6)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project is hereby amended to read as follows:

"SECTION I

The projects authorized are the Community Development projects as approved by the Council on April 29, 2020: funds are as contained in the Funding Approval and Grant Agreement between the Town and the U.S. Department of Housing and Urban Development (HUD). The projects are known more familiarly as the 2020 Entitlement Community Development Block Grant. The grant activities include renovation of public housing, homebuyer assistance programs, community services to low-income residents, and administration costs for the program.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with the grant project within the terms of the grant document(s), the rules and regulations of the U.S. Department of Housing and Urban Development, and the budget contained herein.

SECTION III

The following revenues are anticipated to be available to complete the project:

	Current Budget	Revised Budget
Community Development Block Grant	\$ 417,591	\$ 417,591
Program Income	<u>7,339</u>	<u>7,339</u>
Total Revenues	\$ 424,930	\$ 424,930

SECTION IV

Amounts appropriated for projects are as follows:

	Current Budget	Revised Budget
<u>Public Services</u>		
Summer Youth Employment Program	20,000	20,000
Children's Parenting Classes	5,000	4,980
Community Outreach	50,000	37,674
<u>Affordable Housing</u>		
Community Home Trust	30,000	42,346
Housing Repair	27,000	27,000
Rebuilding Together of the Triangle	24,000	24,000
Neighborhood Revitalization	-	-
Emergency Housing Assistance	185,399	185,399
<u>Administration</u>		
Grant Administration/HUD Compliance	<u>83,531</u>	<u>83,531</u>
Total Expenditures	\$ 424,930	\$ 424,930

SECTION V

The Director of Business Management is hereby directed to maintain within the Grant Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the grant agreement(s) and Federal and State regulations.

SECTION VI

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget and shall keep the Council informed of any unusual occurrences.

SECTION VII

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk."

This the 8th day of June, 2022.

AN ORDINANCE TO AMEND THE 2018-2019 COMMUNITY DEVELOPMENT ENTITLEMENT GRANT PROJECT ORDINANCE (2022-06-08/O-7)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project is hereby amended to read as follows:

SECTION I

The projects authorized are the Community Development projects as approved by the Council on June 20, 2018: funds are as contained in the Funding Approval and Grant Agreement between the Town and the U.S. Department of Housing and Urban Development (HUD). The projects are known more familiarly as the 2018 Entitlement Community Development Block Grant. The grant activities include renovation of public housing, homebuyer assistance programs, community services to low-income residents, and administration costs for the program.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with the grant project within the terms of the grant document(s), the rules and regulations of the U.S. Department of Housing and Urban Development, and the budget contained herein.

SECTION III

The following revenues are anticipated to be available to complete the project:

	Current Budget	Revised Budget
Community Development Block Grant	\$ 418,344	\$ 418,344
Program Income	<u>21,777</u>	<u>21,777</u>
Total Revenues	\$ 440,121	\$ 440,121

SECTION IV

Amounts appropriated for projects are as follows:

Item #: 9., File #: [22-0505], Version: 1

Meeting Date: 6/8/2022

		Current Budget	Revised Budget
<u>Affordable Housing</u>			
Town of Chapel Hill	Neighborhood Revitalization	176,527	53,675
Habitat for Humanity	Home Preservation	50,000	50,000
Community Home Trust	Homebuyer Assistance	40,000	40,000
Town of Chapel Hill	Code Enforcement	25,000	25,000
Community Home Trust	Property Acquisition	-	38,223
Rebuilding Together	Home Repairs	-	109,627
<u>Public Services</u>			
Orange County	Orange County Food Council	24,998	-
Town of Chapel Hill	Summer Youth Employment Program	24,000	24,000
Inter-Faith Council	HomeStart Case Management	15,928	15,928
<u>Administration</u>			
Town of Chapel Hill	Grant Administration/HUD Compliance	<u>83,668</u>	<u>83,668</u>
Total Expenditures		\$ 440,121	\$ 440,121

SECTION V

The Director of Business Management is hereby directed to maintain within the Grant Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the grant agreement(s) and Federal and State regulations.

SECTION VI

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget and shall keep the Council informed of any unusual occurrences.

SECTION VII

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk."

This the 8th day of June, 2022.

AN ORDINANCE TO AMEND THE 2016-2017 COMMUNITY DEVELOPMENT ENTITLEMENT GRANT PROJECT ORDINANCE (2022-06-08/O-8)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following grant project is hereby amended to read as follows:

"SECTION I

The projects authorized are the Community Development projects as approved by the Council on April 11, 2016: funds are as contained in the Funding Approval and Grant Agreement between the Town and the U.S. Department of Housing and Urban Development (HUD). The projects are known more familiarly as the 2016 Entitlement Community Development Block Grant. The grant activities include renovation of public housing, homebuyer assistance programs, community services to low-income residents, and administration costs for the program.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with the grant project within the terms of the grant document(s), the rules and regulations of the U.S. Department of Housing and Urban Development, and the budget contained herein.

SECTION III

The following revenues are anticipated to be available to complete the project:

	Current Budget	Revised Budget
Community Development Block Grant	\$ 387,702	\$ 387,702
Program Income	<u>7,338</u>	<u>7,338</u>
Total Revenues	\$ 395,040	\$ 395,040

SECTION IV

Amounts appropriated for projects are as follows:

		Current Budget	Revised Budget
Town of Chapel Hill	Neighborhood Revitalization	\$ 69,345	\$ 69,345
Town of Chapel Hill	Public Housing Improvements	64,146	64,146
Town of Chapel Hill	Code Enforcement	50,000	31,851
Community Home Trust	Homebuyer Assistance	50,000	50,000
Community Home Trust	Property Acquisition	-	21,777
Rebuilding Together	Home Repair	20,000	20,000
Habitat for Humanity	Exterior Housing Rehabilitation	25,000	25,000
Town of Chapel Hill	Summer Youth Employment Program	23,201	19,573
Inter-Faith Council	Residential Services at Homestart	12,934	12,934
Chapel Hill Carrboro Public Schools Foundation	Reading Partners Program	2,874	2,874
Town of Chapel Hill	Administration	77,540	77,540
		<u> </u>	<u> </u>
Total Expenditures		\$ 395,040	\$ 395,040

SECTION V

The Director of Business Management is hereby directed to maintain within the Grant Project Fund sufficient specific detailed accounting records to provide the accounting to the U.S. Department of Housing and Urban Development as required by the grant agreement(s) and Federal and State regulations.

SECTION VI

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget and shall keep the Council informed of any unusual occurrences.

SECTION VII

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk."

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council approves the recommended 2022-2023 Community Development Program Plan for use of \$676,336 and authorizes the Town Manager to submit the Plans to the U.S. Department of Housing and Urban Development as the annual update to the Five-Year Consolidated Plan. By enacting the attached project ordinances, the Council establishes the CDBG budget for the 2022-2023 program and amends the CDBG budgets for the 2016-2017, 2018-2019, 2020-2021, 2021-2022 programs.

Summary of 2022-2023 CDBG Funding Requests and Application Review Committee Recommendations

This document summarizes the Community Development Block Grant (CDBG) Application Review Committee's recommendation for \$676,336 in 2022-2023 CDBG funding. This includes a 2022-2023 CDBG grant award of \$421,755, \$241,764 in prior years' CDBG grant awards to be reallocated, plus \$12,817 in program income. The program income was received from the annual repayment of a loan made in 2008 to support development of the Dobbins Hill Low Income Housing Tax Credit development and from the repayment of the balance of a 2009 Comprehensive Rehabilitation Loan received in April.

Application Review Committee Recommended Funding Plan

Program	Requested	Recommended Plan	% of Request
Affordable Housing			
Community Home Trust - 223 Graham St. Acquisition	\$ 60,000	\$ 60,000	100%
Community Home Trust - Down Payment Assistance	\$ 20,000	\$ 20,000	100%
Community Home Trust - Legion Rd. repairs	\$ 25,000	\$ 25,000	100%
Community Empowerment Fund - IDA Program	\$ 50,000	\$ 90,000	180%
Rebuilding Together of the Triangle Home Repairs	\$ 110,400	\$ 165,600	150%
Neighborhood Revitalization	\$ -	\$ 163,637	
Total	\$ 265,400	\$ 524,237	
Public Services - 15% Cap of \$65,185			
Town's Summer Youth Employment Program	\$ 25,000	\$ 25,000	100%
Inter-Faith Council - Homeless Case Management	\$ 102,067	\$ 34,935	34%
Exchange Club's Family Center	\$ 5,250	\$ 5,250	100%
Refugee Community Partnership Interpreters	\$ 60,000	\$ -	0%
Total	\$ 192,317	\$ 65,185	
Administration - 20% Cap of \$86,914			
Total	\$ 86,914	\$ 86,914	100%
Total	\$ 544,631	\$ 676,336	

*Federal Regulations cap the amount of CDBG funding used for **public services at 15%** of the Town's current year grant plus program income equaling an estimated \$65,185 for FY22-23. **Administration is capped at 20%** of current year grant plus program income equaling an estimated \$86,914 for FY22-23.

Affordable Housing

1. **Community Home Trust – Single-Family Home Acquisition and Rehabilitation: \$ 60,000**
Requested Amount: \$60,000

Proposed Use: Acquire and rehabilitate a single-family home located on Graham St. and currently held in the Northside Land Bank. The home will be resold to a qualified household earning 60-80% of the area median income at an affordable price, with costs not to exceed 30% of their gross monthly income. The unit will be sold with a renewable

99-year ground lease to maintain long-term affordability. This project also frees up land bank funds to preserve more units for affordable housing.

Committee Recommendation: \$60,000 to fully fund the request.

2. **Community Home Trust – Homebuyer Down Payment Assistance: \$ 20,000**

Requested Amount: \$20,000

Proposed Use: The Community Home Trust requests funding for its Homebuyer Assistance Program. These funds would be used to make Home Trust homes more affordable to households earning 80% of the area median income or less.

Committee Recommendation: \$20,000 to fully fund the request.

3. **Community Home Trust – Legion Road Townhome Repairs: \$ 25,000**

Requested Amount: \$25,000

Proposed Use: Complete emergency repairs for up to 14 townhomes on Legion Road originally constructed by Community Home Trust in 2001 and currently occupied by low-to-moderate income homeowners. Repairs to the crawlspaces and exteriors are necessary to prevent worsening moisture damage and mold, ensuring structural integrity and safety of the units.

Committee Recommendation: \$25,000 to fully fund the request.

4. **Community Empowerment Fund – First-Time Homebuyers Program: \$ 90,000**

Requested Amount: \$50,000

Proposed Use: \$10,000 will be used to provide financial literacy education and personalized one-on-one financial coaching to support 20 low-income residents work toward purchasing their first home.

\$80,000 will provide 2-to-1 matches up to \$4,000 each for those 20 program participants' savings accounts to be used for closing costs and down payment. Community Empowerment Fund applied for a 1-to-1 match, but given the cost of housing in Chapel Hill the Committee felt an increased match would increase the likelihood of success of the program. CEF has indicated that they could use the additional funding, above the amount of their original request.

Committee Recommendation: \$90,000 to fully fund the education component and increase the proposed match to a 2-to-1 savings match.

5. **Rebuilding Together of the Triangle – Rehabilitation Services & Home Repairs: \$ 165,600**

Requested Amount: \$110,400

Proposed Uses: \$38,100 for Rehabilitation Services to support the work of the Orange County Home Preservation Coalition (OCHPC), providing applicant intake, home assessments, work scopes, bid preparation, and project management of low-income homeowner repair and accessibility modification projects. Rebuilding Together applied for \$25,400 for this purpose, but the Committee proposed providing additional funding to OCHPC so that they could serve more households.

\$127,500 for repair projects identified through Rehabilitation Services to be completed by an OCHPC member agency/agencies and coordinated by Rebuilding Together. This program will serve at least 12 to 15 households earning 80% of the area median income or less. The original application was for \$85,000 to complete repairs on up to 10 homes, but the Committee recognizes construction costs are rising and recommended providing funding to the Preservation Coalition to complete more projects.

Committee Recommendation: \$165,600 to allow the OCHPC to serve more households with repairs and cover increasing construction costs.

6. **Town of Chapel Hill - Neighborhood Revitalization Activities: \$ 163,637**

Proposed Uses: A flexible pool of funding to be used for Affordable Housing and Community Development projects identified throughout the year. Activities include: second mortgage assistance; property acquisition and/or renovation; code enforcement; demolition; public housing improvements; public improvements such as installation of sidewalks; or parks and recreation facilities such as a community garden.

The Town Manager would approve projects, which must demonstrate compliance with Town policies and federal regulations.

Committee Recommendation: Allocate the balance of the CDBG award for future identified projects to allow flexibility to address needs as they arise.

Public Services

Public service activities, such as programs focusing on employment, childcare, healthcare, and education are eligible to be funded through the CDBG program. Federal regulations cap the amount of CDBG funding used for public services at 15% of the Town's Current Year grant plus program income equaling an estimated \$65,185 for FY 22-23.

1. **Summer Youth Employment Program: \$ 25,000**

Requested Amount: \$25,000

Proposed Use: The Town of Chapel Hill offers job training and paid employment to youth ages 14-18 in Chapel Hill households earning less than 80% of the Area Median Income. Every summer, the hired youth work 20 hours a week for 8-10 weeks in a variety of Town departments and outside agencies. With ongoing uncertainty around Covid-19, we will offer employment for around 15 youth this summer.

Committee Recommendation: \$25,000 to fully fund the Town's program.

2. **The Exchange Club's Family Center of Alamance County: \$ 5,250**

Requested Amount: \$5,250

Proposed Use: The Children's Parents program provides parenting classes to families at-risk for and/or involved in child abuse or neglect. Professionally trained instructors use tested curricula to teach the parents, and trained childcare workers provide trauma-informed care and instruction to the children.

Committee Recommendation: \$5,250 to fully fund the request.

3. **Inter-Faith Council for Social Service (IFC): \$ 34,935**

Requested Amount: \$102,067

Proposed Use: Case Manager for IFC's residential programs to assist households experiencing homelessness in obtaining shelter, securing permanent affordable housing and accessing outside resources.

Committee Recommendation: Allocate the balance of the Public Services portion of the CDBG award after fully funding Summer Youth Employment and Exchange Club; estimated to fund 1 of the 3 requested full-time equivalent case manager staff positions.

Program Administration: \$ 86,914

The Committee recommends the Council allocate funds to support oversight of the CDBG and related affordable housing programs including Town staff salaries.

Application Not Recommended for Funding

1. **Refugee Community Partnership (RCP) – Community Interpreters**

Requested Amount: \$60,000 in Public Services funding

Proposed Use: Staff positions to provide language access through community-based, on-call, as-needed interpretation and accompaniment for non-English speaking residents in Karen, Arabic, Burmese/Chin, and Dari/Pashto to increase institutional interaction, economic opportunity, health access, and civic participation.

Committee Reasoning: There was not enough Public Services funding to fund all requests, and the Committee felt that funding would be less effective split between IFC and RCP. They chose to recommend funding the single staff position with IFC because one of the 5-year Consolidated Plan priorities is homeless services. However, the Committee felt strongly that language access should be a Town priority and encourages opportunities for funding RCP in the future.

CDBG Application Review Committee Members

Mychal Weinert (Human Services Advisory Board)

Anne Hoole (Housing Advisory Board)

Shenekia Weeks (Town of Chapel Hill Diversity, Equity and Inclusion Officer)

John French (Town of Chapel Hill Parks and Recreation Supervisor of Hargraves Center)

Sarah Poulton (Town of Chapel Hill Downtown Special Projects Manager)

Staff Liaisons: Megan Culp, Community Development Program Manager and Nate Broman-Fulks, Assistant Director of Affordable Housing and Community Connections



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 10., File #: [22-0506], Version: 1

Meeting Date: 6/8/2022

Approve the 2022-2023 HOME Investment Partnership Program Annual Plan.

Staff:

Sarah Osmer Viñas, Director

Nate Broman-Fulks, Assistant Director

Megan Culp, Community Development Program Manager

Department:

Affordable Housing and Community
Connections

Overview: The Orange County HOME Consortium receives an annual allocation of federal [HOME Investment Partnership Program](#) <<https://www.hudexchange.info/programs/home/>> funds from the U.S. Department of Housing and Urban Development to address County-wide affordable housing needs. The recommended plan includes \$556,591 of 2022-2023 HOME Program funds for eligible affordable housing projects. HOME funded projects must benefit households earning 80% or less of the area median income (\$76,400 for a four-person household).

Background

- Orange County is the lead entity for the HOME Program Consortium.
- The Consortium includes four participating jurisdictions (Chapel Hill, Carrboro, Hillsborough, and Orange County).
- To enhance collaboration around affordable housing among the jurisdictions in the County, [the Orange County Local Government Affordable Housing Collaborative](#) <http://chapelhill.granicus.com/MetaViewer.php?view_id=21&clip_id=3270&meta_id=174509> (the Collaborative) was formed in 2017.
 - The Collaborative includes elected officials and staff from the each of the four participating jurisdictions and serves as the HOME Program Consortium application review team, charged with developing an annual HOME Program plan.
 - Mayor Pro Tem Karen Stegman represents the Chapel Hill Town Council on the Collaborative.
- All participating jurisdictions must approve and authorize submission of the plan prior to submittal to the U.S. Department of Housing and Urban Development (HUD).
- The Collaborative recommends the Council review and approve a 2022-2023 HOME Program Plan.



Recommendation(s):

That the Council:

1. Approve a spending plan recommended by the Collaborative for use of \$556,591, including \$443,498 of 2022-2023 Orange County HOME Program funds, \$13,306 in program income, and \$99,787 local match funding.
2. Authorize this plan to be incorporated into the Annual Update to the 2020-2024 Consolidated Plan for Orange County.

Summary of Recommended Plan:

	Requested	Collaborative Recommendation
Habitat for Humanity - Down Payment Assistance	\$475,000	\$167,241
EmPOWERment, Inc. - Rental Acquisition (15% CHDO Minimum)	105,000	105,000
Community Empowerment Fund - IDA Program	50,000	90,000
Rebuilding Together of the Triangle - 2 Manufactured Home Replacements	150,000	150,000
Administration (10% of HOME, per statute)	44,350	44,350
Total	\$824,350	\$556,591

HOME Investment Partnership Funding Process Overview

- November 16, 2021: The Orange County Board of County Commissioners held a public hearing to receive comment on the 2020-2021 HOME Program Consolidated Annual Performance Report and assess community needs for development of the 2022-2023 HOME Annual Action Plan.
- February 25, 2022: Application submission deadline.
- March 3, 2022: Local Government Affordable Housing Collaborative met to review and evaluate applications to make recommendations.
- April 1, 2022: Orange County Staff posted the recommended HOME Investment Partnership Annual Program Plan for public review and comment on the County's website.
- April 26, 2022: The Orange County Board of County Commissioners held a public hearing to receive comments on the recommended 2022-2023 HOME Program Plan based on an estimated HOME award from HUD.
- May 13, 2022: HUD released the HOME annual allocations so the recommended plan amounts could be finalized.
- June 7, 2022: The County's final HOME allocation is higher than anticipated changing the program allocations, so the Board of County Commissioners held a second public hearing to receive comments on the updated 2022-2023 HOME Program Plan and consider approving the plan.
- The next steps are:
 - Elected bodies of the other three jurisdictions consider the HOME Program Plan.
 - If all jurisdictions of the Collaborative approve the plan, Orange County will submit the Plan to HUD, as the annual update to the 2020-2024 Consolidated Plan.
 - County posts the approved annual HOME plans on the [HOME Program website](https://www.orangecountync.gov/2336/HOME-Program) [<https://www.orangecountync.gov/2336/HOME-Program>](https://www.orangecountync.gov/2336/HOME-Program).
 - County enters into Performance Agreements with agencies, according to the approved program plan.

Key Issues:

- HUD requires that at least 15% of the \$443,498 in HOME Program funds, or \$66,525, be reserved for use by Community Housing Development Organizations (CHDOs).
 - EmPOWERment, Inc. was the only CHDO application received. The recommended funding plan meets the 15% CHDO requirement with a \$105,000 allocation to EmPOWERment.
- The total local match requirement is \$99,787 and each jurisdiction contributes based on

population. Below is the breakdown of match allocations by jurisdiction based on 2020 Census data:

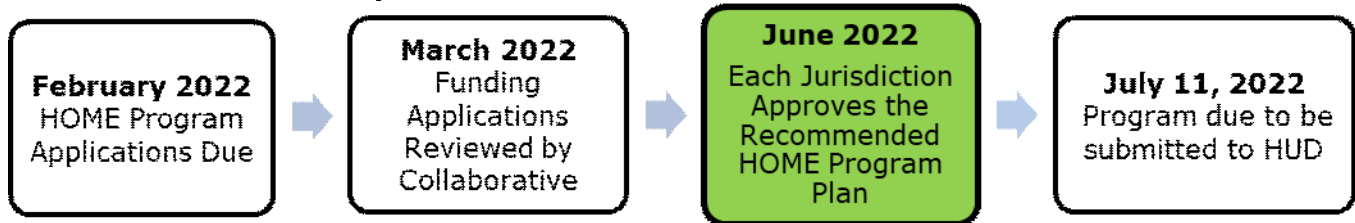
▪ Chapel Hill	\$39,615
▪ Carrboro	\$14,270
▪ Hillsborough	\$ 6,486
▪ Orange County	\$39,416
Total HOME Local Match	\$99,787

- As in previous years, we propose to use funds from the Affordable Housing Fund for the Town’s portion of the match requirement.
- Housing projects funded with Orange County HOME Consortium Program funds are subject to the County’s 99-year long-term affordability policy and must remain affordable for 99 years. Orange County records deed restrictions on the property with the Register of Deeds for affordable housing projects.
- If an agency does not implement a project after funding is awarded, the Collaborative would return to the governing bodies of the participating jurisdictions with a proposed plan for reallocation of funds.

Fiscal Impact/Resources:

- The recommended plan proposes to provide funds as grants to non-profit organizations for affordable housing activities.
- Participation in the HOME Program requires a local match. The Town’s portion is \$39,615. As in previous years, we propose to use an allocation from the Affordable Housing Fund for this purpose.

Where is this item in its process?



Attachments:

- Resolution Approving the 2022-2023 HOME Program Plan
- 2022-2023 HOME Program Annual Plan Summary of Activities

A RESOLUTION APPROVING THE 2022-2023 HOME INVESTMENT PARTNERSHIP PROGRAM ANNUAL PLAN (2022-06-08/R-7)

WHEREAS, Orange County held three public forums to receive resident comments and proposals regarding the use of 2022-2023 HOME Program funds; and

WHEREAS, the HOME program application review team reviewed and evaluated funding applications received for proposed 2022-2023 HOME program activities; and

WHEREAS, HUD requires grantees to provide local match funds which the four local jurisdictions contribute proportionally based on population, and the Town of Chapel Hill's 2022-2023 match allocation is \$39,615.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council approves the following 2022-2023 HOME Investment Partnership Program Annual Plan to be carried out by the members of the Orange County HOME Consortium:

- | | |
|---|------------------|
| • Habitat for Humanity - Second Mortgage Assistance | \$ 167,241 |
| • Rebuilding Together of the Triangle - Manufactured Home Replacement | \$ 150,000 |
| • EmPOWERment, Inc. - Rental Acquisition (15% CHDO minimum) | \$ 105,000 |
| • Community Empowerment Fund - Homeownership Program | \$ 90,000 |
| • Administration | <u>\$ 44,350</u> |

Total HOME Funds for Project Activities

\$556,591

BE IT FURTHER RESOLVED that the Council approves the use of \$39,615 for the Town of Chapel Hill's portion of the overall HOME local match.

BE IT FURTHER RESOLVED that the Council authorizes this plan to be incorporated into the Annual Update to the 2020-2024 Consolidated Plan, for submission to the U.S. Department of Housing and Urban Development.

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council authorizes this plan to be incorporated into the Annual Update to the 2020-2024 Consolidated Plan, for submission to the U.S. Department of Housing and Urban Development.



Orange County, NC HOME Consortium FY 2022-2023 Annual Action Plan Summary

Annual Goals and Objectives

	Goal Name	Start Year	End Year	Category	Needs Addressed	Funding	Goal Outcome Indicator
1	Home Buyer Assistance	2020	2024	Affordable Housing	Housing for Low- and Moderate-Income Households	\$257,241	Direct Financial Assistance to Homebuyers: 27 Households Assisted
2	Rental Acquisition	2020	2024	Affordable Housing Homeless	Affordable housing acquisition	\$105,000	Rental units Acquired: 1 Housing Units
3	Housing Rehabilitation/ Preservation	2020	2024	Affordable Housing	Housing for Low- and Moderate-Income Households	\$150,000	Homeownership units rehabilitated: 2 Housing Units

Projects

#	Project Name	Description
1	Habitat for Humanity – Homebuyer Assistance	\$167,241 will be allocated to Orange County Habitat for Humanity to provide deferred payment zero interest mortgages to an estimated seven (7) households earning between thirty percent (30%) and eighty percent (80%) of the area median income.
2	Community Empowerment Fund – Homebuyer Assistance	\$90,000 will be allocated to Community Empowerment Fund to provide first-time homebuyer education and assistance for 20 households earning less than eighty percent (80%) of the area median income, including a 2-to-1 savings match of up to \$4,000 to be used for down payment and closing cost assistance.
3	EmPOWERment – Rental Acquisition	\$105,000 will be allocated to EmPOWERment, Inc. for acquisition of a townhome in Carrboro. Unit will be leased to a household earning less than sixty percent (60%) of the area median income.
4	Rebuilding Together of the Triangle – Homeowner Preservation	\$150,000 will be allocated to Rebuilding Together of the Triangle for replacement of two (2) manufactured homes for Orange County property owners who are currently living in hazardous conditions due to deteriorating manufactured housing units as identified through the partnership with Orange County Home Preservation Coalition.

Affordable Housing

One Year Goals for the Number of Households to be Supported	
Homeless	1
Non-Homeless	29
Total	30

One Year Goals for the Number of Households Supported Through	
Rental Assistance	0
The Production of New Units	0
Rehab of Existing Units	2
Acquisition of Existing Units	28
Total	30



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 11., File #: [22-0507], Version: 1

Meeting Date: 6/8/2022

Receive Upcoming Public Hearing Items and Petition Status List.

Staff:

Sabrina Oliver, Director and Town Clerk
Amy Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council accept the reports as presented.

Background:

Two pages on our website have been created to track:

- public hearings scheduled for upcoming Council meetings; and
- petitions received, including their status and who you can call for information.

The goal is to provide, in easily available spaces, information that allows people to know when Council will be seeking their comments on a particular topic of development and to know the status of a petition submitted at Council meetings.

In addition to being on the website, these pages will be included in each agenda for Council information,

Fiscal Impact/Resources: Staff time was allocated to create the semi-automated web pages, and additional staff time will be needed for maintenance.



Attachments:

- Scheduled Public Hearings <<https://www.townofchapelhill.org/government/mayor-and-council/council-minutes-and-videos/scheduled-public-hearings>>
- Status of Petitions to Council <<https://www.townofchapelhill.org/government/mayor-and-council/how-to-submit-a-petition/petition-status>>

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

SCHEDULED PUBLIC HEARINGS

This webpage lists public hearings that are scheduled for a *specific Council meeting date*, although periodically, some may be continued to a future date. Public hearings may relate to the Land Use Management Ordinance (LUMO), Residential or Commercial Development, Budget, Transportation, or Housing issues. Meeting materials are posted at [Council Meeting Agendas](#), [Minutes](#) and [Videos](#).

Interested in a development project not yet scheduled for Council review? See the [Development Activity Report](#) for the project's current status.

June 8

- Close the Legislative Hearing and Consider a Conditional Zoning Application for 107 Johnson Street ([Project #21-072](#)).
- Open a Public Hearing and Consider a Request to Close a Portion of an Unmaintained and Unimproved Public Right of Way of Stinson Street

June 15, 2022

- Close the Legislative Hearing and Consider the Link Apartments, 101 E Rosemary Street: Conditional Zoning Application ([PROJECT #21-030](#))
- Close a Legislative Hearing and Consider: Gimghoul Castle, 742 Gimghoul Road Conditional Zoning Application ([Project 21-044](#))
- Close an Evidentiary Hearing and Consider [Fifth Third Bank - 1800 Fordham Blvd](#) Special Use Permit Modification Application
- Close an Evidentiary Hearing and Consider Harris Teeter Expansion and Fuel Center, 1800 Martin Luther King Jr Blvd Special Use Permit Modification Application ([Project 21-007](#))
- Concept Plan Review: Huse Street Residential. ([Project #22-012](#))

STATUS OF PETITIONS TO COUNCIL

Petitions submitted during the Town Council meetings are added to the list below, typically within five business days of the meeting date.

To contact the department responsible, click on the department name. Meeting materials are posted on the [Council Meetings calendar](#).

Public Initiated	Council Initiated	LUMO	Closed	
Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
05/18/2022	Josh Romero	Recommendation for CPAC Charge_Name Change	Police Chris Blue , Police Chief Phone: 919-968-2766	Staff will coordinate with the Council Committee on Boards and Commissions to respond to this request.
05/18/2022	Virginia Gray	Request for Community Park on Legion Site	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff is preparing information to respond to this request.
05/18/2022	Maria Palmer	Request No Drive through at UPlace	Planning & Development Services	Staff is preparing information to respond to this request.
05/18/2022	Sandy Douglass	Request To Use ARPA Money Towards Pickleball.	Parks & Recreation Phillip Fleischmann , Parks and Recreation Director Phone: 919-968-2785	Staff is preparing information to respond to this request.
05/18/2022	Charles Berlin	Request To Pause Development in NE Chapel Hill.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Staff is preparing information to respond to this request.
05/04/2022	Cherec Morrison	Request to Add a Crosswalk at Holy Trinity Anglican Church.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100 Planning & Development Services	Staff is preparing information to respond to this request.
05/04/2022	Paul Urban	Request to Remove Three Stop Signs on Standish Drive located at Bluefield, Saint Thomas Drive and Elderberry.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Staff is preparing information to respond to this request.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
04/27/2022	Moriah Ridge, LLC	Request to Amend Consent Judgement to Permit the City of Durham to Annex a Property off of Mt. Moriah Road.	Business Management Amy Oland , Business Management Director Phone: 919-969-5017	Durham and Chapel Hill staff will coordinate on a response to this request.
04/27/2022	Neal Bench	Request to Resurface Playing Fields at Cedar Falls Park.	Parks & Recreation Phillip Fleischmann , Parks and Recreation Director Phone: 919-968-2785	Staff is preparing information to respond to this request.
04/27/2022	Charles Fiore	Request for Pedestrian Amenities During Construction on Caswell Road.	Planning & Development Services	Staff is preparing information to respond to this request.
04/06/2022	Robert Beasley	Petition to Extend the N Route to Carr Mill Mall	Transit Brian Litchfield , Transit Director Phone: 919-969-4908	Staff will follow up through the Transit Partners Committee and share their recommendation following the 05/24/22 meeting.
03/09/2022	Steve Moore	Request for Protection of Old Chapel Hill Cemetery.	Parks & Recreation Phillip Fleischmann , Parks and Recreation Director Phone: 919-968-2785	Parks and Rec will retain responsibility for cemetery and will consult with Historic District Commission on issues that may affect historic character of cemetery. Staff is reviewing ordinance language as requested.
03/09/2022	Wayne Pein	Request to Reconstruct Estes Drive with Alternate Bicycle Facilities.	Planning & Development Services	Staff is preparing information to respond to this request.
02/23/2022	Wayne Pein	Request to Overhaul the Door Zone Bike Lane on Country Club Road and Correctly Place Shared Lane Markings.	Planning & Development Services Bike Ped Team	Staff is preparing information to respond to this request.
02/09/2022	Tab Combs	Tab Combs Request Anti-dooring Ordinance.	Planning & Development Services	At their 05/04/22 meeting, the Council enacted an ordinance to prohibit the improper opening or leaving open of a vehicle door, effective upon enactment.
02/09/2022	Jeffrey Charles	Jeffrey Charles Request Homestead Development.	Planning & Development Services	The Council reviewed a concept plan for this location at their 02/09/22 meeting. The Council has not yet reviewed a formal application for this site.
01/12/2022	Joel Hornstein	Request for Underground Electric Lines on East Franklin Street.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Staff is preparing information to respond to this request.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
01/12/2022	Burwell Ware	Request to Regulate Fast-food Drive-Throughs.	Planning & Development Services	Council currently regulates these through development approval process; request is being forwarded to LUMO project as public input for further consideration.
01/12/2022	Environmental Stewardship Advisory Board	Request to Adopt New Electrification Policies for Chapel Hill.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff will share information related to this request at an upcoming Council meeting..
11/17/2021	Will Raymond	Request Regarding Ethical Rules Guiding Council, Staff and Advisory Board Conduct.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Mayor Pam Hemminger , Mayor Phone: 919-968-2714	The Council referred the petition to the Mayor and Manager for follow-up.
11/17/2021	Pristine Onvoha	Request to Prioritize Bolin Creek Restoration.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100 Stormwater	Staff is preparing information to respond to this request.
10/13/2021	Savannah Bowers	Request Regarding Operational Transparency for Town Government	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Council Committee on Boards and Commissions	Staff is preparing information to respond to this request.
10/13/2021	Tara Kachgal	Request Regarding 110 Jay Street.	Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	The Council referred the petition to the Mayor and Manager for follow-up.
09/22/2021	Barry Nakell	Request to Rename Dixie Lane	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	The Council Naming Committee will review this request and make a recommendation to the Council for consideration.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
09/22/2021	Kate Sayre	Request To Build A Splash Pad in Chapel Hill	Parks & Recreation Phillip Fleischmann , Parks and Recreation Director Phone: 919-968-2785	The Council discussed this at their 10/20/2021 work session. Staff will continue to evaluate locations, specifications, and costs for further Council consideration.
09/22/2021	Joan Rehm and Karin Nelson	Request Regarding Downtown Exhaust Noise.	Police Chris Blue , Police Chief Phone: 919-968-2766	Staff is preparing information to respond to this request.
09/01/2021	Tamra Finn	Request to Amend Town Code to Permit Golf Cart Use on Neighborhood Streets.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff has researched regulations in other NC communities and will develop recommendations for a local ordinance for Council to consider.
09/01/2021	Joe Patterson	Request for Modifications to the Town of Chapel Hill Noise Control Code.	Police Chris Blue , Police Chief Phone: 919-968-2766	Staff is preparing information to respond to this request.
06/23/2021	Robert Beasley	Request Regarding Affordable Housing at Trinity Court.	Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	In 2022, the Town will apply for Low Income Housing Tax Credit. The Council opened a legislative hearing for a conditional zoning application on 03/23/22 and approved the application on 04/27/22.
06/16/2021	Robert Beasley	Request Regarding Proposed Jay Street Apartments and Affordable Housing Development on Public Land Planning Process.	Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	Staff continues to work with legal experts to adhere to all relevant statutes. The Council opened a legislative hearing for a conditional zoning application on 03/23/22 and approved the application on 04/27/22.
06/09/2021	Robert Beasley	Request Regarding Jay Street Land Tract Development Project Funding.	Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	110 Jay Street was one of five parcels purchased in 2005 with open space bond funding. Town Attorneys and outside counsel have advised there is no legal conflict with repurposing the site for affordable housing after this purchase.
06/09/2021	Deborah Fulghieri	Request that Town Staff Bring Forward Historical and Environmental Information for the Town-Owned Property at Mt. Carmel Church Road and Bennett Road.	Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	The Town used open space bond funds to pay closing costs for the land donation. There is no legal conflict with considering alternate uses of a site the Town acquired in this way. Council prioritized the parcel for affordable housing in September 2019.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
05/26/2021	Mary Cummings	Request to Ban Gas-Powered Leaf Blowers	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff is preparing information to respond to this request.
05/19/2021	Chapel Hill Public Library Advisory Board	Request for a Working Group on Equitable Library Funding.	Mayor Pam Hemminger , Mayor Phone: 919-968-2714 Library Susan Brown , Library Director Phone: 919-969-2034 Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Orange County established a Library Services Task Force with staff and elected officials from both agencies participating. The task force first met in January 2022.
05/19/2021	Phil Post	Request to Refer the April 21 Petition Related to 160D to the Planning Commission.	Planning & Development Services Planning Commission	Staff is reviewing this request.
02/24/2021	Parks, Greenways, and Recreation Commission	Request Regarding Facilities Repair.	Business Management Amy Oland , Business Management Director Phone: 919-969-5017	The Council's adopted budget for FY22 included restored pay-go capital funding. The Town made repairs at Ephesus Park in early 2022. The project to replace Cedar Falls tennis courts is underway with construction expected to finish by the end of 2022.
11/04/2020	Residents in the area of Mason Farm Rd., Whitehead Circle, and Purefoy Rd	Request Improvements to Neighborhood Infrastructure to Promote Safe Walking and Biking and Improved Connectivity to Adjacent Neighborhoods and Campus.	Planning & Development Services Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Staff is preparing information to respond to this request.
06/10/2020	Community Design Commission	Request to Create a Downtown Design District.	Planning & Development Services	The Town's partnership with UNC on the Downtown Together initiative will help inform the future of downtown development and the role that design standards may have in achieving Downtown Together objectives.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
05/20/2020	Parks, Greenways, and Recreation Commission	Request to Designate all 36.2 Acres of the American Legion Property for Use as a Community Park.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	This request will be incorporated into the public engagement process for the future use of the site.
05/20/2020	Elaine McVey	Request to Amend the Land Use Management Ordinance Related to Deer Fencing.	Planning & Development Services	Staff will work to bring forward a LUMO Text Amendment for Council consideration at a future date.
02/19/2020	Steve Moore	Request Regarding Cemetery Needs.	Parks & Recreation Phillip Fleischmann , Parks and Recreation Director Phone: 919-968-2785 Communications & Public Affairs Sabrina Oliver , Communications & Public Affairs Director Phone: 919-968-2757	Staff is in contact with the petitioner and is working to respond to the items raised in the petition. The driveways in Old Chapel Hill Cemetery were resurfaced in July 2021.
01/08/2020	Renuka Soll	Request for an Improved Petition Process.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Additional effort is being made to track and update petition status on this website so that the public has access. Petitioners can contact the Mgr.'s office or responding department if they have questions after reviewing updates.
10/02/2019	Daniel Dunn	Request Regarding Government Transparency.	Technology Solutions Scott Clark , CIO Phone: 919-968-2735 Communications & Public Affairs Sabrina Oliver , Communications & Public Affairs Director Phone: 919-968-2757	This information is readily available via a public records request in order to assure accuracy and maintain the security of personally identifiable information.
09/11/2019	East Franklin Neighborhood Steering Committee & Neighbors	Request Regarding Neighborhood Preservation.	Police Chris Blue , Police Chief Phone: 919-968-2766 Planning & Development Services	While this request did not fall within the scope of the Short Term Rental Task Force, staff will continue to work with residents, the University, and other community members on concerns related to student rental housing.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
06/26/2019	Community Design Commission	Request for Modifications to the Concept Plan Review Process.	Planning & Development Services	The Council most recently discussed this at their 09/16/2020 work session. Staff is piloting new ways to present Concept Plans to boards, using Town projects as subjects.
06/26/2019	Julie McClintock	Request Regarding the Blue Hill Form Based Code.	Planning & Development Services	The Council and staff continue to evaluate and update the Blue Hill Form Based Code.
04/24/2019	Board of Adjustment	Request Regarding Neighborhood Conservation District Ordinances.	Planning & Development Services	The Town is currently in the process of updating its Land Use Management Ordinance. This idea is under consideration as a part of this process.
04/17/2019	Amy Ryan for Planning Commission	Commission Regarding Site Plan Review Process.	Planning & Development Services	Staff will coordinate with the Council Committee on Boards and Commissions to consider this request.
02/13/2019	Citizens	Request Regarding Coal Use and Coal Ash.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Remediation work is almost complete along the Bolin Creek Trail near the Police Department. UNC is expected to release their Climate Action Plan in 2021, which is expected to address UNC coal use in the future.
09/19/2018	Julie McClintock of CHALT	Regarding Land Use Intensification.	Planning & Development Services Public Works Lance Norris , Public Works Director Phone: 919-969-5100	On 6/12/2019, Council received a presentation on the Town's Stormwater program. On 12/9/2020 Council adopted the use of FEMA Flood Resiliency Maps. In 2/2021, Council received more info on Stormwater programs LUMO update will consider other ideas.
06/27/2018	Susanne Kjemtrup / Brian Hageman	Transportation and Connectivity Advisory Board Request for an Electric Vehicle Provision in the Land Use Management Ordinance.	Planning & Development Services	The Town is currently in the process of updating its Land Use Management Ordinance. These ideas are under consideration as a part of this process.
06/13/2018	Mayor pro tem Jessica Anderson	Request to Amend Bus Advertising Policy.	Transit Brian Litchfield , Transit Director Phone: 919-969-4908	At their 01/22/19 meeting, the Chapel Hill Transit Public Transit Committee considered the draft nonpublic forum transit advertising policy in order to provide feedback to the Chapel Hill Town Council on the option of amending the policy.
06/13/2018	Mayor Pam Hemminger	Regarding Reviewing Policies, Procedures, and Practices for Development.	Planning & Development Services	A Town web page with TIA exemption requests is available. Staff continues to look for ways to apply the LUMO clearly and consistently for all stakeholders in the development process.
06/13/2018	Ondrea Austin	CHALT's Request to Revise the Tree Ordinance.	Planning & Development Services	The Town is currently in the process of updating its Land Use Management Ordinance. This idea is under consideration as a part of this process.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
03/14/2018	Council Members Anderson, Gu, and Schaevitz	Request Regarding Addressing Blue Hill District Community Interests.	Planning & Development Services	Council enacted ordinance amendments pertaining to stormwater management, affordable housing, and non-residential development, as well as building size, massing, and permeability. Council considered amendments for townhomes and deferred action.
11/07/2016	Mayor Hemminger	Regarding Parking and Transit Needs in Downtown Area.	Planning & Development Services Police Chris Blue , Police Chief Phone: 919-968-2766 Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Recent actions include replacing parking pay stations, implementing Downtown Ambassadors program, and including additional parking with required Wallace Parking Deck repairs. Next steps include parking payments-in-lieu and public/private partnerships.

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STATUS OF PETITIONS TO COUNCIL

Petitions submitted during the Town Council meetings are added to the list below, typically within five business days of the meeting date.

To contact the department responsible, click on the department name. Meeting materials are posted on the [Council Meetings calendar](#).

Public Initiated	Council Initiated	LUMO	Closed	
Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
05/18/2022	Council Members Stegman, Huynh, Berry, Miller-Foushee, and Parker	Request American Legion Property Update	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff is preparing information to respond to this request.
10/27/2021	Mayor Hemminger and the Chapel Hill Downtown Partnership	Request that the Town Explore Taking Over the Downtown Portion of Franklin Street.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Public Works Lance Norris , Public Works Director Phone: 919-969-5100	The Council discussed this at their 01/05/22 work session.
09/22/2021	Council Members	Regarding Long Range Planning for Future Growth	Planning & Development Services	A RFP for a community visioning process was issued in March 2022 in order to engage a consultant for this work.
09/22/2021	Council Members Stegman, Huynh, Buansi, and Parker	Regarding Affordable and Missing Housing	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	Staff prepared a draft Work Plan to address the the petition's interests and is piloting an expedited application review for projects proposing 100% affordable units. Council will receive an update on expedited review at an upcoming meeting.
06/28/2021	Council Member Ryan on Behalf of Mayor Hemminger, Council Member Stegman, and Council Member Gu	Request Regarding Stormwater Storage Basin Projects.	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	The Town has paused proposed stormwater projects pending a broader community discussion. The Town hosted a community information meeting about the flood storage projects identified in the Lower Booker Creek Subwatershed Study on 09/13/2021.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
06/09/2021	Council Members Parker, Ryan, Huynh, Stegman, and Gu	Request Regarding Comprehensive Review of Stormwater Regulations.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Public Works Lance Norris , Public Works Director Phone: 919-969-5100	The Council discussed this at their 10/20/21 work session. Staff will explore options for partnering with the LUMO rewrite consultant to perform this review.
05/19/2021	Council Members Stegman and Parker	Request Regarding Tax Equity Fund.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff is preparing information to respond to this request.
05/05/2021	Mayor pro tem Parker, Council Member Buansi, and Council Member Stegman	Request Regarding Chapel Hill Increasing its Minority and Women Business Enterprise/Disadvantaged Business Enterprise (MWBE/DBE) Contracting Targets.	Business Management Amy Oland , Business Management Director Phone: 919-969-5017 Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Based on Council direction, staff will build increased targets into the upcoming work on the East Rosemary Parking Deck project. Staff will continue working to respond to the broader request.
03/24/2021	Council Member Anderson	Request Regarding Manufactured Home Parks	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Housing & Community Sarah Vinas , Interim Director Phone: 919-969-5079	The Council will consider endorsing the County-Wide Coordinated Manufactured Homes Action Plan at their 04/27/22 meeting.
03/24/2021	Mayor Hemminger	Request Regarding Self Storage	Planning & Development Services	Staff is preparing information to respond to this request.

Last modified on 6/3/2022 3:15:04 AM



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 12., File #: [22-0508], Version: 1

Meeting Date: 6/8/2022

Pedestrian and Bicycle Wayfinding Plan Development and Progress Report.

See Staff Summary on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By accepting the report, the Council acknowledges receipt of the Pedestrian and Bicycle Wayfinding Plan Development and Progress report.



INFORMATIONAL ITEM: PEDESTRIAN AND BICYCLE WAYFINDING PLAN DEVELOPMENT AND PROGRESS

STAFF SUMMARY TOWN OF CHAPEL HILL PLANNING
 Colleen Willger, Director
 Bergen Watterson, Transportation Planning Manager
 Josh Mayo, Transportation Planner I

MEETING DATE

June 8, 2022

PURPOSE

That Council receive the information below regarding the ongoing Pedestrian and Bicycle Wayfinding Plan.

SUMMARY

The Town has contracted with Toole Design Group to create a Pedestrian and Bicycle Wayfinding Plan for Chapel Hill. This plan will set the guidelines for wayfinding signage, indicate key locations, and design signage that helps guide people to destinations throughout Chapel Hill while adding to the Town's visual appeal. The Pedestrian and Bicycle Wayfinding Plan is funded by the [Chapel Hill Climate Action and Response Plan](#) (Transportation & Land Use section – Increase bicycling, walking, and transit use; p.42).

OVERVIEW

Background

The development of a Pedestrian and Bicycle Wayfinding Plan was identified as an action item in the 2017 Mobility and Connectivity Plan in part because of the public input and in part because it is a proven strategy for encouraging more bicycling and walking. The lack of consistent wayfinding signage in Town has also been noted by consultants on the Transit Oriented Development (TOD)/Land Use Management Ordinance (LUMO) project as an opportunity to improve the visibility of the future Bus Rapid Transit (BRT) stations. Consistent and clear wayfinding throughout the community can encourage more walking, biking, and transit trips, which is a goal of the Mobility and Connectivity Plan and the Climate Action and Response Plan.

Engagement

Staff and the consultant are currently conducting a mixture of in-person and online engagement to get feedback from the public. The online survey has been taken by 215 people as of June 2nd, and the results show the respondents' preferences for different styles and locations of signs, destinations, and goals for the wayfinding strategy in general (see attached Survey Results). Targeted engagement is planned for groups like the Transportation and Connectivity Advisory Board, the Community Design Commission, and the Chapel Hill Downtown Partnership. There will be a public meeting on June 14 at the library to get deeper engagement around sign styles, general locations, and key destinations.

Design Approach

Toole Design Group will design signage that is visually attractive and clear while considering regulations that may apply, like the Manual on Uniform Traffic Control Devices (MUTCD). The feedback from public engagement will help determine where people are most likely to need guidance to reach their destination and what type of information they need. The approach focuses on four different types of users:

- **Unfamiliar and hurried:** People who are unfamiliar with Chapel Hill, and who have a

destination but may get lost on the way (ex: new UNC students)


- **Familiar and hurried:** People who know Chapel Hill and who are trying to get from point A to point B in the quickest way possible (ex: commuters)
- **Unfamiliar explorer:** People who are unfamiliar with Chapel Hill, but who want to explore without a set destination and find something interesting (ex: tourists)
- **Familiar explorer:** People who know Chapel Hill, but want to take a detour or explore without a strict destination (ex: residents walking/biking for leisure)


NEXT STEPS

This phase of engagement for the Wayfinding Plan will wrap up by the end of June. Toole Design Group will synthesize the feedback and work with staff to create a draft plan over the summer. The draft plan is set to be completed by late summer, and a near-final draft of the Pedestrian and Bicycle Wayfinding Plan will be presented to the Transportation and Connectivity Advisory Board during their August 23 meeting. Any feedback received at that point will be incorporated into the final plan.

ATTACHMENTS

1. Presentation from Toole Design Group to the Transportation and Connectivity Advisory Board
2. Wayfinding survey questions
3. To-date survey results

↑ East Bank Trail 
Southbound

↑ Anacostia Park 2.2 mi 
Historic Anacostia 3.7 mi

East Bank Trail 
Northbound

Kenilworth 
Aquatic Gardens 1.7 mi

Bladensburg 
Waterfront Pk MD 4.0 mi

NO MOTOR VEHICLES

CHAPEL HILL

PEDESTRIAN AND BICYCLE WAYFINDING STRATEGY



Today's Discussion

- Introductions
- Wayfinding Approach
- Goals and Objectives
- Project Schedule
- Next Steps

Introductions



Toole Design Group



Jared Draper, AICP

Project Manager
Toole Design

- Public and private planning background focused on people-oriented infrastructure



Lakesha Dunbar

Senior Planner
Toole Design

- Over 20 years of municipal experience with the City of Winston-Salem, NC and Oklahoma City, OK

Wayfinding Approach



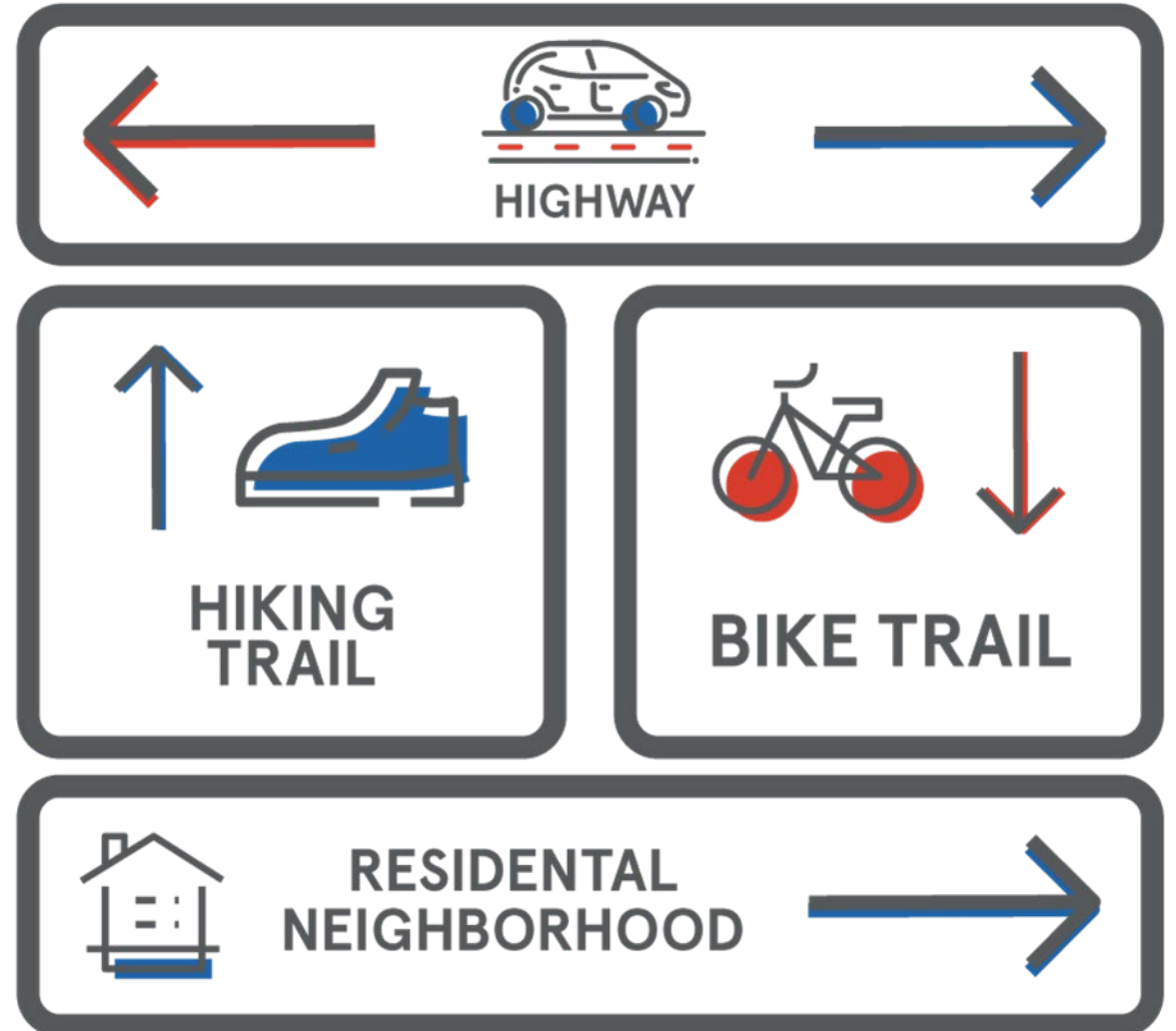
Design with Empathy

- Who's it for?
 - Different people
 - Different goals
 - Different journeys



Psychology of Design 10 Principles

1. Don't make me think
2. Make it frictionless



Psychology of Design 10 Principles

3. Strike a balance of information
4. Progressively disclose information



Connectivity



Directness



Cohesion



Safety



Comfort



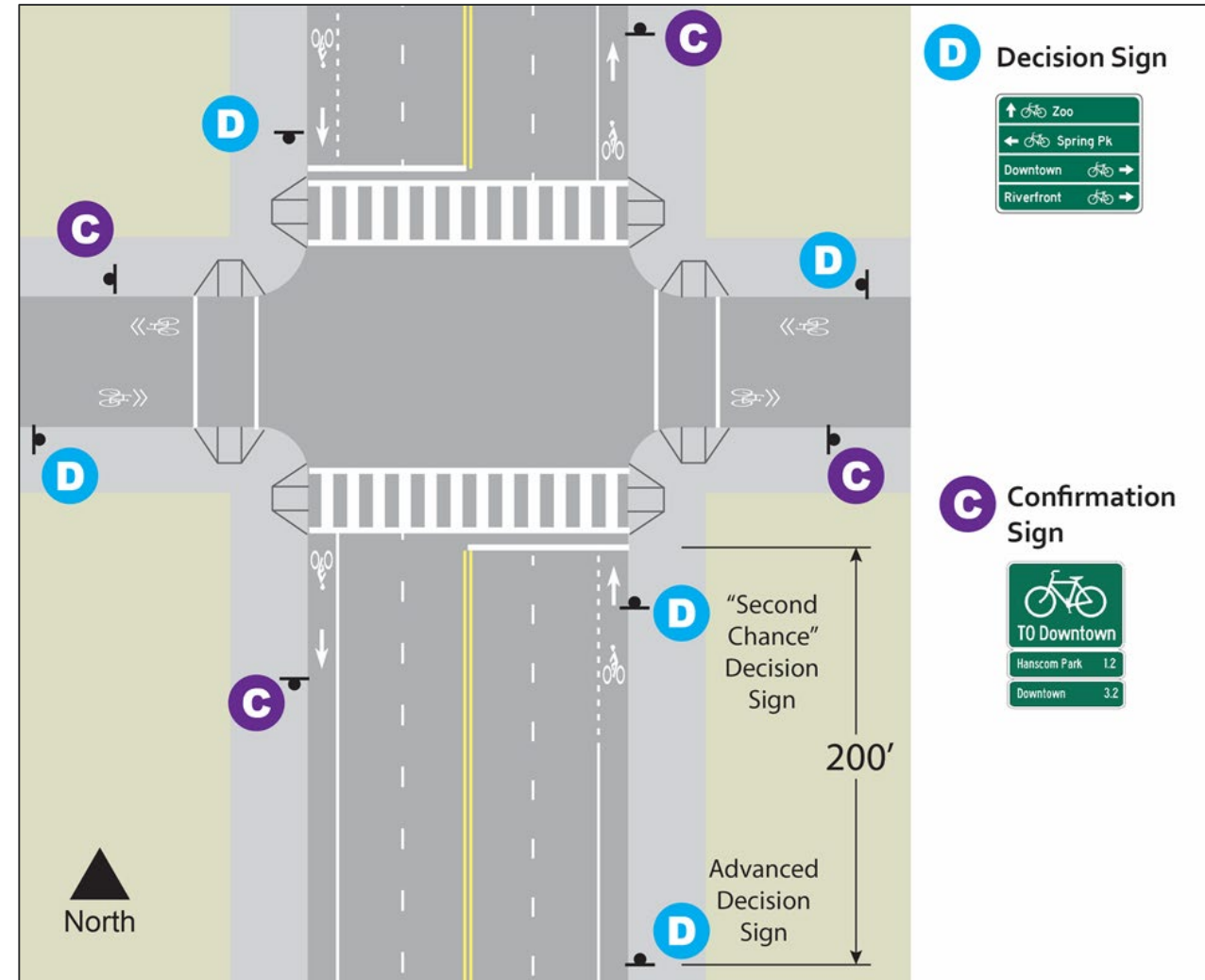
Unbroken Flow



Attractiveness

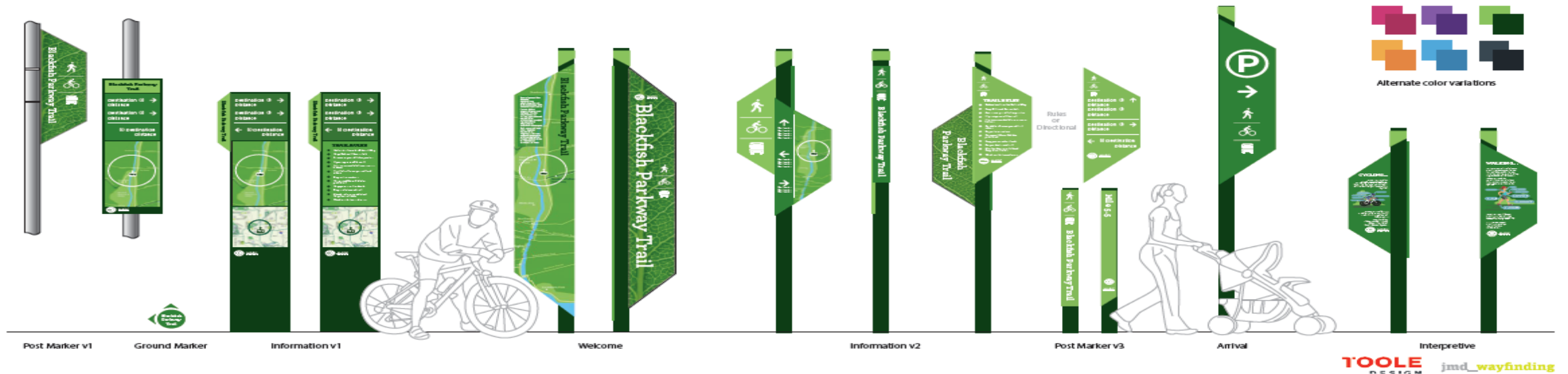
Psychology of Design 10 Principles

5. Make information predictable
6. Create a rhythm



Psychology of Design 10 Principles

7. Convey the right information at the right time
8. Design for mindsets

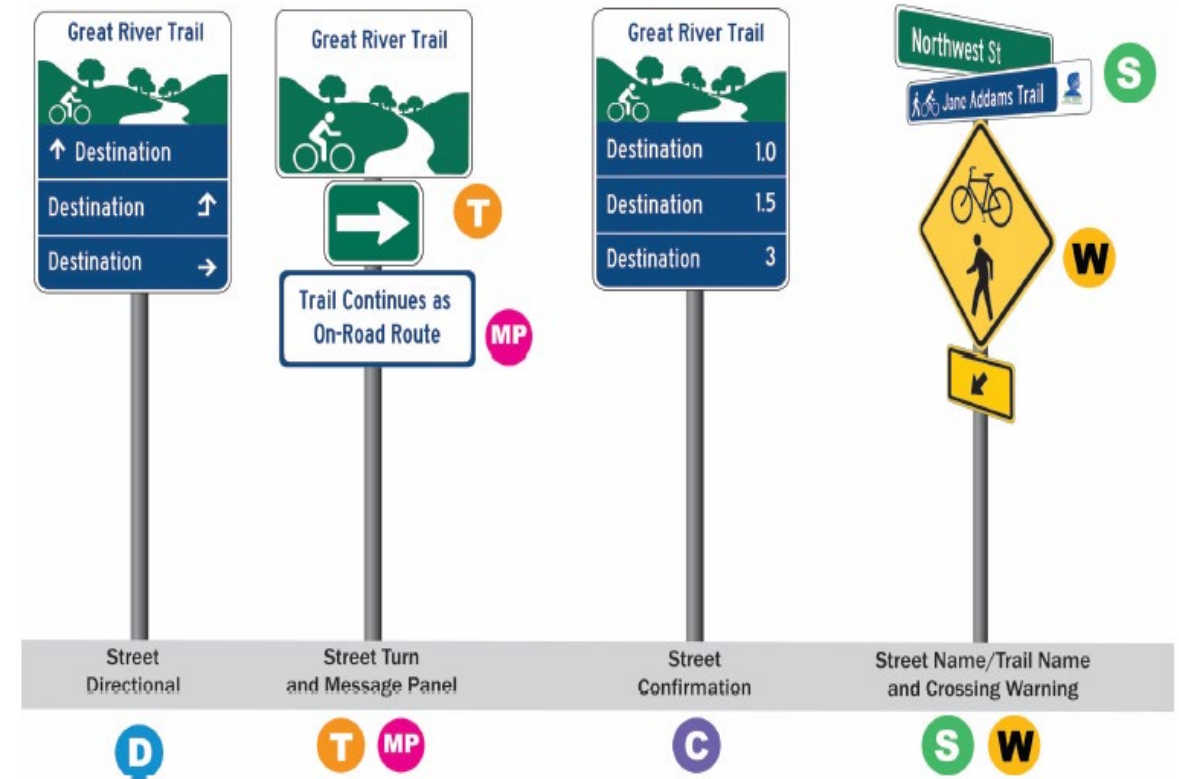


The Toole Design Team created signage for the Kansas City Regional Wayfinding Study and Guidebook project.

Psychology of Design 10 Principles

9. Create a mental map

10. Landmark-based navigation

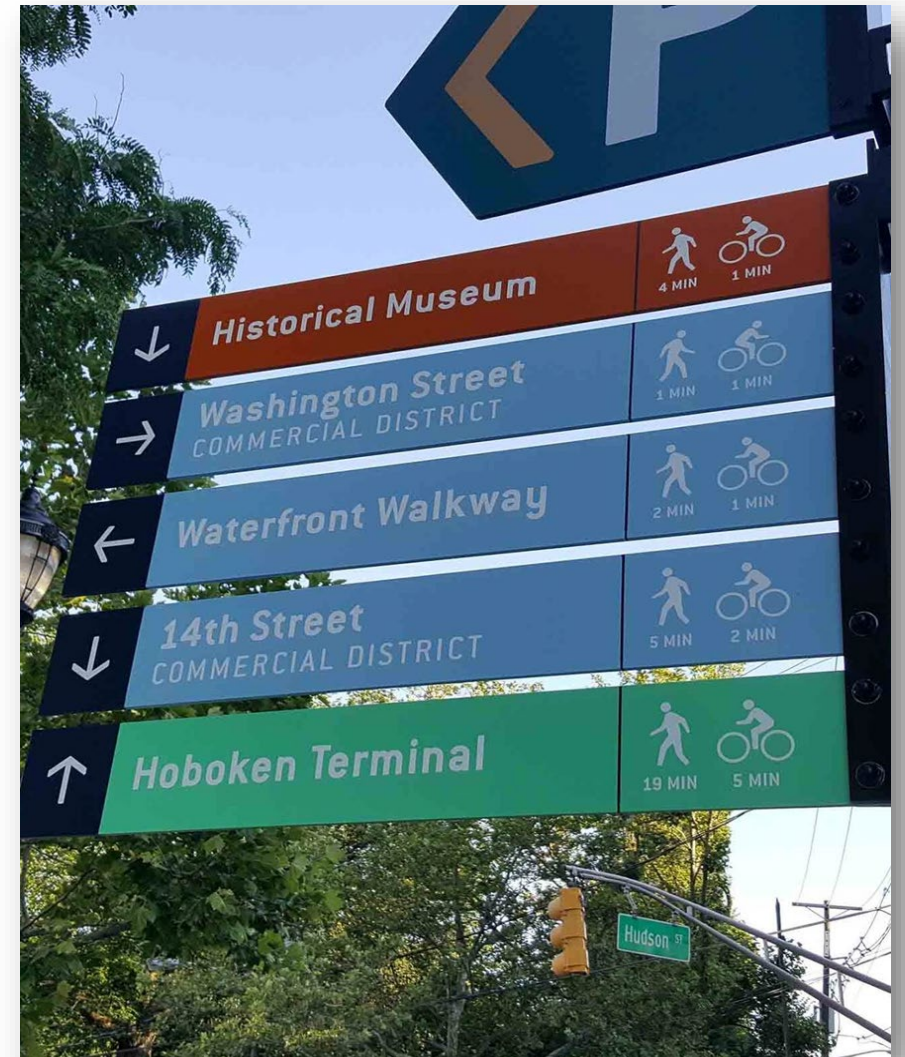


Goals and Objectives



Wayfinding Goals and Objectives

- Attractive and clear guides to get people to popular destinations
- Placed at key locations to show them where else they can go
- User friendly for both visitors and residents
- Focus on key routes from the Mobility and Connectivity Plan



Interactive Polling

Go to www.menti.com and use code 2940 1878



Project Schedule



Project Schedule

- **March – August:**
 - Project Team Meetings
- **April – June:**
 - Community, Pop-Up, and Public Meetings
- **April – June:**
 - System Design, Concept & Implementation Development
- **July – August:**
 - Wayfinding System Reporting



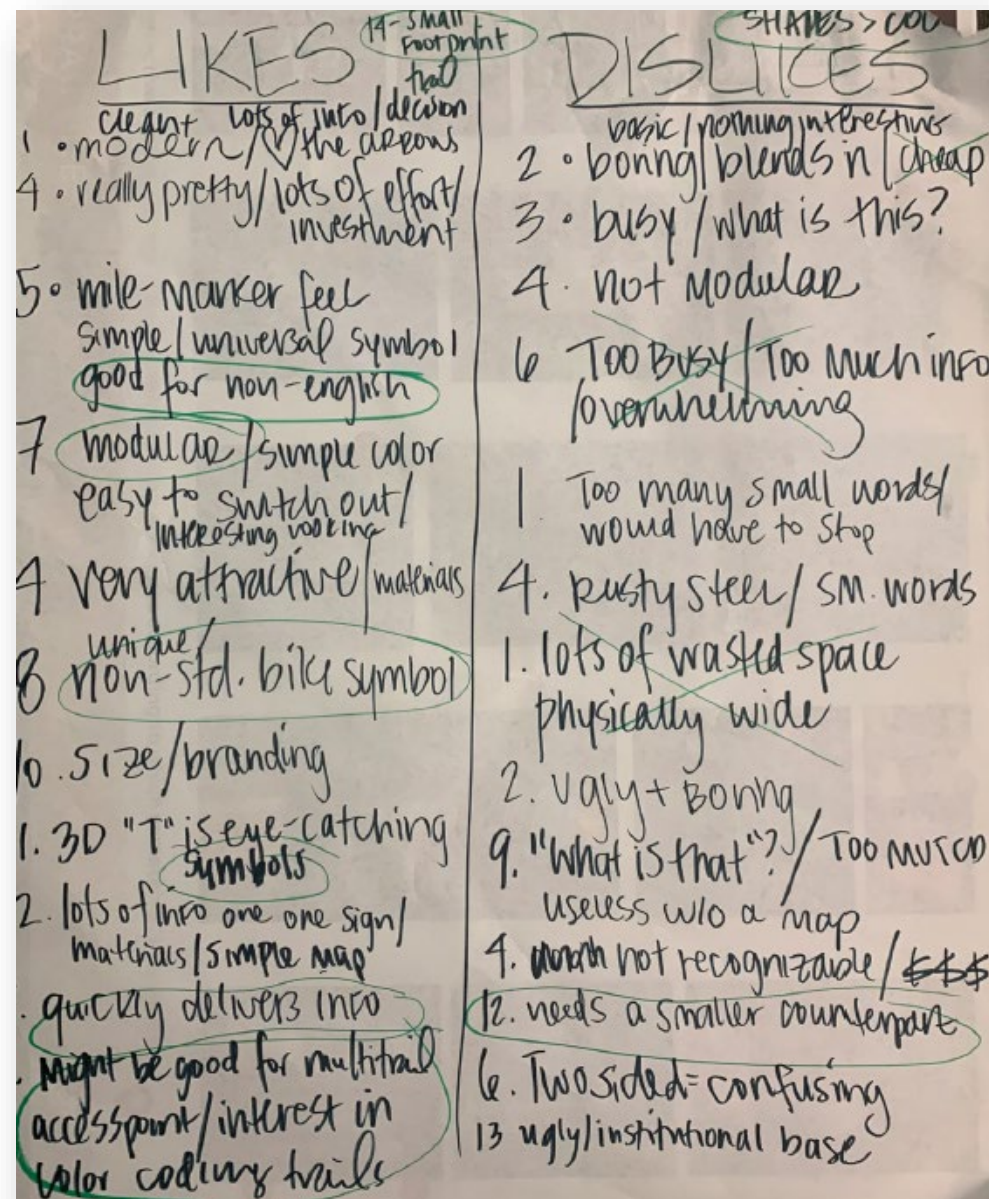
Key Milestones

■ April – May:

- Transportation and Connectivity Advisory Board Meeting
- Arts Commission Meeting
- Pop-up Events
 - Bike Rodeo
 - Engaging College Students

■ May – June:

- Outdoor Public Meeting



Interactive Polling

Go to www.menti.com and use code 2940 1878

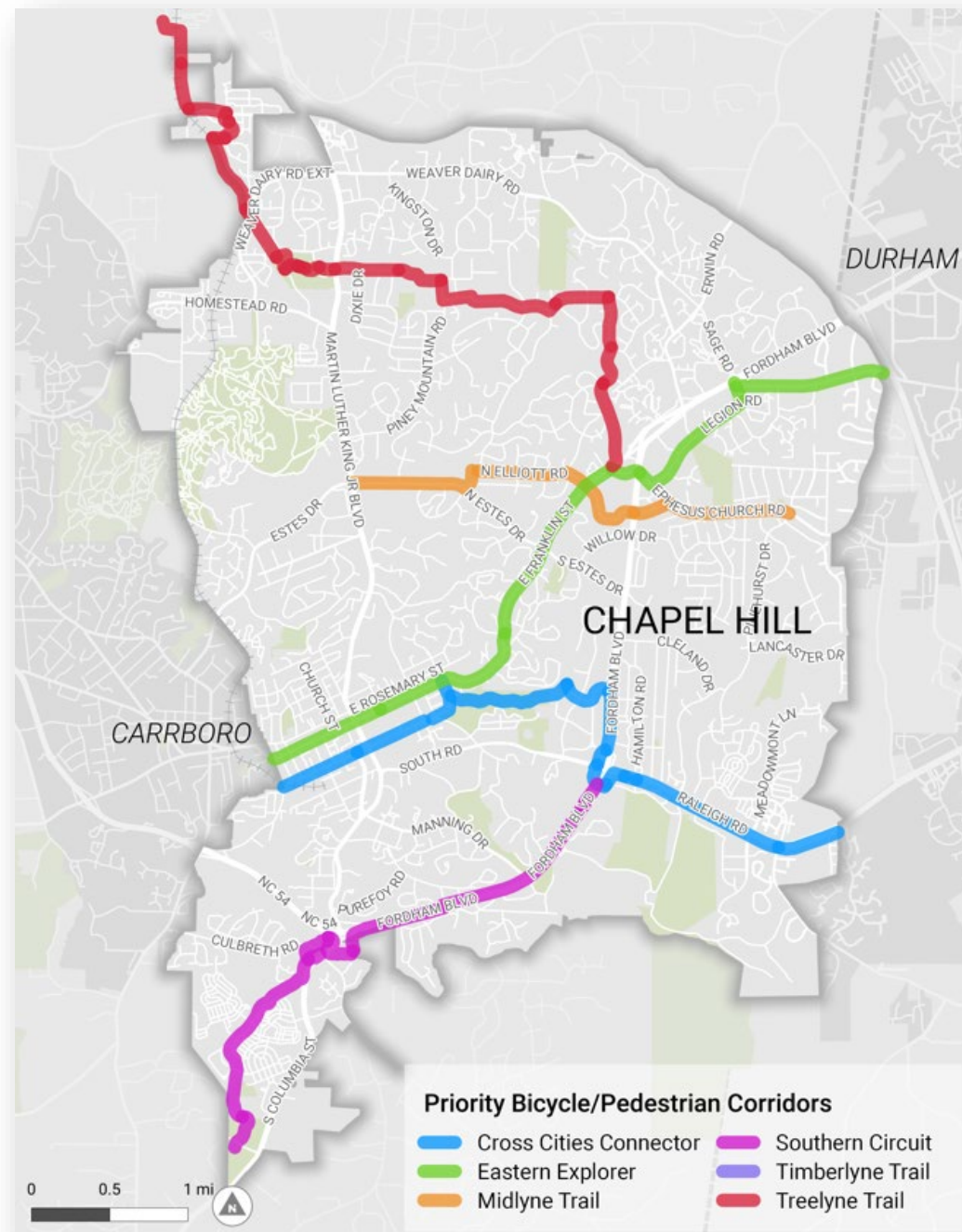


Next Steps




Next Steps


- Conduct engagement meetings
- Encourage Participation
- Prepare existing conditions/base mapping



How you can help



LINK TO WEBSITE:



TOWN OF CHAPEL HILL

SHARE YOUR INPUT ON THE TOWN'S PEDESTRIAN AND BICYCLE WAYFINDING PLAN

TO LEARN MORE ON HOW TO GET INVOLVED, SCAN THE QR CODE.

Survey Link: <https://survey.alchemer.com/s3/6821809/Chapel-Hill-Wayfinding-Survey>

Thank You



Demographic Questions

13) What races or ethnicities do you identify with? Select all that apply.

- African American or Black White or Caucasian Asian or Pacific Islander
 Native American or Alaskan Native Latinx or Hispanic Prefer not to say Other

14) What is your age? Under 18 18 – 24 25 – 49 35-49 50 – 64 65 or older Prefer not to say

15) What is your gender identity? Female Male Gender nonconforming or nonbinary
 Prefer not to say Other

16) Are you a Town of Chapel Hill resident? Yes No

17) What neighborhood or street do you reside on?

18) Please provide any additional comments below.

19) Please provide your email below if you want to receive updates on the project going forward .

Please return completed surveys to:

Josh Mayo
 405 Martin Luther King Jr. Blvd
 Chapel Hill, NC 27514
 jmayo@townofchapelhill.org

Or visit:



Thank you for taking our survey!

Your response is very important.

Town of Chapel Hill Wayfinding Strategy Survey



Welcome!

Have you wondered how to get from one place to another while walking or bicycling around Town? Do you think that connections between sidewalks, trails, and bike facilities could be more obvious? Through this project, the Town of Chapel Hill is working to make navigating better for you. By taking this quick survey, you are helping decide on the format and placement of future walking and biking signs for the Town of Chapel Hill.

You can learn more about the project at: <https://www.townofchapelhill.org/government/departments-services/planning/transportation-planning/wayfinding>

Wayfinding Priorities and Destinations

1) Where do you believe wayfinding signage can have the greatest impact? (Select up to 3)

- At the intersections of two or more trails Where a street crosses a street Along street segments
 Where a trail crosses a street Along trail segments At key destinations

2) What are the most important destinations to show on wayfinding signs? Rank the options below, with 1 = most important)

- | | | |
|--|-------------------------------------|--|
| <input type="checkbox"/> Libraries | <input type="checkbox"/> Parks | <input type="checkbox"/> Neighborhoods |
| <input type="checkbox"/> Schools | <input type="checkbox"/> Museums | <input type="checkbox"/> Shopping Center |
| <input type="checkbox"/> Greenway Trails | <input type="checkbox"/> UNC Campus | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> Other | | |

3) If Other was chosen for the above question, what type of destination do you want?

4) What kind of information would be useful to see on a wayfinding map, similar to the one pictured here?



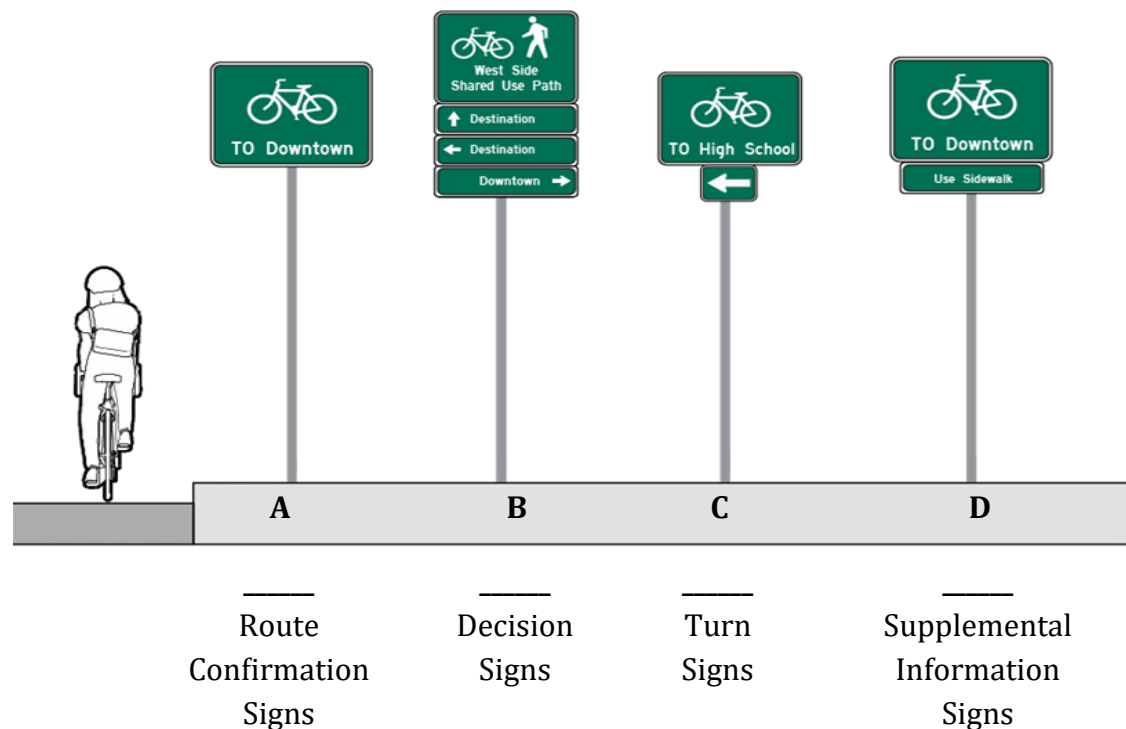
Wayfinding Signage Types and Styles

5) What tools do you usually use to find your way around the region? (Check all that apply):

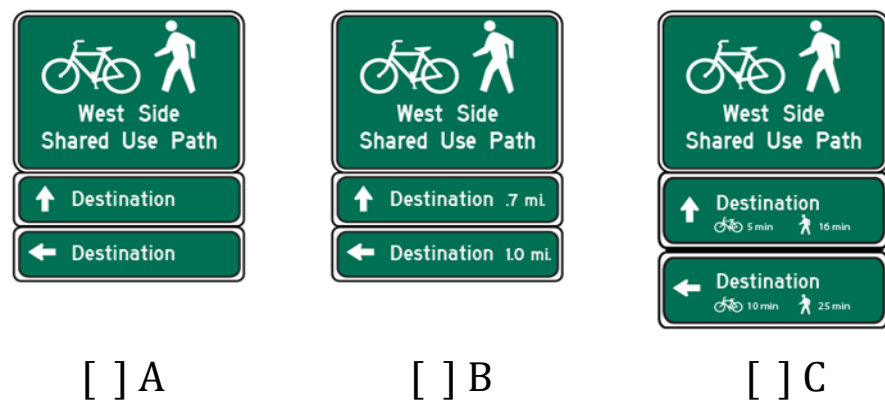
- Online mapping application (Google Maps, etc.)
 Printed maps
 Ask someone for directions
 I wander until I find something interesting
 Signs and kiosks
 Other

6) If Other was chosen for the above question, what other tool(s) do you use?

7) There are four key types of wayfinding signage shown below. (Rank them with 1 = most important)



8) Which of the below types of decision signs do you prefer? (Check only one below)



9) Which of the trail map styles below do you prefer? Please explain below.

[] A



[] B



10) Why do you prefer the above selected map style?

11) At which locations would you prefer to see trail maps? (Check all that apply)

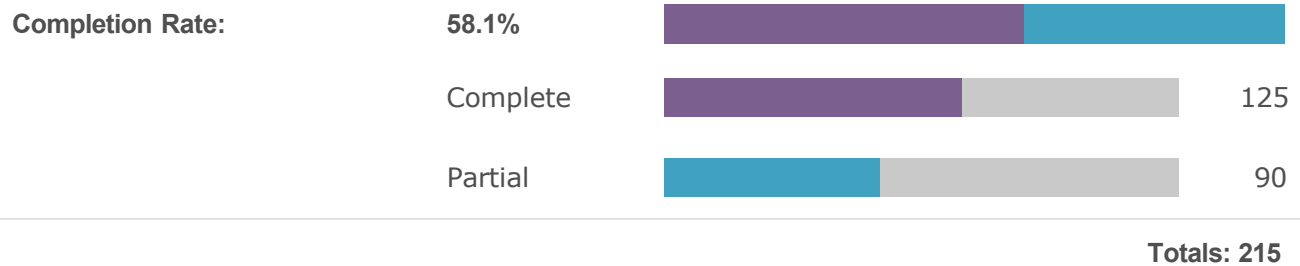
- At trail entrances (trailhead/parking lot)
 At the intersections of two or more trails
 Along the trail
 Where a trail crosses a street

12) How important are the following	Least Important	Less Important	Neutral	Important	Very Important
A functional wayfinding system					
A design that reflects the unique character of the Town of Chapel Hill					
A design that reflects the unique character of your neighborhood trail or route					
Attractiveness of signs					
Signs that can be fabricated at low-cost					
Make it easier for users to walk, bike, and use transit in the region					







Report for Town of Chapel Hill

Wayfinding Strategy Survey

Response Counts



Where do you believe wayfinding signage can have the greatest impact? (Select up to 3)







Value		Percent	Responses
At the intersections of two or more trails		78.5%	113
Where a trail crosses a street		75.0%	108
Where a street crosses a street		34.7%	50
Along trail segments		22.2%	32
Along street segments		10.4%	15
At key destinations		37.5%	54

What are the most important destinations to show on wayfinding signs? (Drag them over in order of your preference)





Item	Overall Rank	Rank Distribution	Score	No. of Rankings
Parks	1		995	140
Central locations (Such as Downtown and UNC campus)	2		980	136
Greenway Trails	3		881	128
Libraries	4		693	124
Schools	5		636	120
Shopping Center	6		599	120
Neighborhoods	7		551	116
Museums	8		497	116
Other	9		99	36


Lowest Rank Highest Rank

What tools do you usually use to find your way around the region?
(Check all that apply):




Value		Percent	Responses
Online mapping application (i.e., Google Maps, etc.) directions on my phone		95.4%	125
Printed maps		20.6%	27
Signs and kiosks		58.0%	76
Ask someone for directions		15.3%	20
I wander until I find something interesting		28.2%	37
Other		6.9%	9

There are four key types of wayfinding signage shown above. Rank them from most to least important (1=most)



Item	Overall Rank	Rank Distribution	Score	No. of Rankings
Decision Signs	1		471	131
Turn Signs	2		363	131
Route Confirmation Signs	3		262	131
Supplemental Information Signs	4		214	131


 Lowest Rank Highest Rank





Which of the above types of decision signs do you prefer?

Value	Percent	Responses
A 	0.8%	1
B 	56.5%	74
C 	42.7%	56
		Totals: 131

Which of the above trail map style do you prefer? Please explain below.








Value	Percent	Responses
A 	49.6%	65
B 	50.4%	66
		Totals: 131

At which locations would you prefer to see trail maps? (Check all that apply)





Value	Percent	Responses
At trail entrances (trailhead/parking lot) 	96.9%	127
Along the trail 	35.1%	46
At the intersections of two or more trails 	87.8%	115
Where a trail crosses a street 	59.5%	78

	Least Important	Less Important	Neutral	Important	Very Important	Responses
A functional wayfinding system Count Row %	1 0.8%	2 1.5%	7 5.3%	55 42.0%	66 50.4%	131
A design that reflects the unique character of the Town of Chapel Hill Count Row %	16 12.2%	32 24.4%	35 26.7%	37 28.2%	11 8.4%	131
A design that reflects the unique character of your neighborhood trail or route Count Row %	19 14.5%	35 26.7%	46 35.1%	26 19.8%	5 3.8%	131
Attractiveness of signs Count Row %	4 3.1%	12 9.2%	36 27.5%	64 48.9%	15 11.5%	131
Signs that can be fabricated at low-cost Count Row %	5 3.8%	15 11.5%	56 42.7%	43 32.8%	12 9.2%	131
Make it easier for users to walk, bike, and use transit in the region Count Row %	1 0.8%	0 0.0%	3 2.3%	15 11.5%	112 85.5%	131
Totals Total Responses						131

What races or ethnicities do you identify with? Select all that apply.


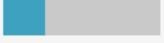
Value		Percent	Responses
African American or Black		5.6%	7
Asian or Pacific Islander		7.1%	9
Latinx or Hispanic		3.2%	4
Native American or Alaskan Native		1.6%	2
White or Caucasian		77.8%	98
Other		1.6%	2
Prefer not to say		6.3%	8

What is your gender identity?

Value		Percent	Responses
Female		66.7%	84
Male		23.8%	30
Gender nonconforming or nonbinary		5.6%	7
Prefer not to say		4.0%	5






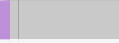

Totals: 126

Are you a Town of Chapel Hill resident?

Value		Percent	Responses
Yes		73.0%	89
No		27.0%	33

Totals: 122

What is your age?

Value		Percent	Responses
Under 18		0.8%	1
18 – 24		15.9%	20
25 – 49		27.0%	34
35-49		31.7%	40
50 – 64		14.3%	18
65 or older		7.9%	10
Prefer not to say		2.4%	3

Totals: 126



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 13., File #: [22-0509], Version: 1

Meeting Date: 6/8/2022

Consider the Final Budget and Related Items for FY 2022-23.

Staff:

Maurice Jones, Town Manager
Amy Oland, Director

Department:

Manager's Office
Business Management



Recommendation(s):

That the Council enact the FY 2022-23 budget ordinance to establish the budget for FY 2022-23 and authorize the related items.

Discussion:

The proposed Budget Ordinance constitutes the annual budget for 2022-23. The ordinance reflects the Manager's Recommended Budget as amended based on discussions with the Town Council.

Strategic Priorities:

Vision, innovation, collaboration, and dedicated employees serve as the foundation of the Town's efforts to build a community where people thrive. Our workforce is committed to meeting the expectations of the community and supporting the strategic goals of the Council. The FY 2022-23 Manager's Recommended Budget is reflective of, and responsive to, Council's 2020-22 strategic goals. A description of the Strategic Goals is provided below.

Goal Area	What Success Looks Like
Connected Community	To create a highly connected community where bicycling, walking, and transit are convenient, everyday choices for our neighborhoods, businesses, and public spaces.
Economic & Financial Stewardship	To steward public assets and support a vibrant economy where there is opportunity for jobs and entrepreneurship that positions Chapel Hill for the future.
Safe Community	To preserve and protect life and property through the fair and effective delivery of Town services.
Affordable Housing	To increase the availability of and access to housing for households and individuals with a range of incomes, from those who are homeless to those in middle-income households.
Vibrant & Inclusive Community	To enrich the lives of those who live, work, and visit Chapel Hill by building community and creating a place for everyone.

Environmental Stewardship	To strategically manage the Town's infrastructure and natural environment by promoting resiliency and sustainability.
Collaborative & Innovative Organization	To create an organization that works collaboratively from a mutual learning mindset, leads innovation, and produces effective outcomes for the betterment of the organization and community.

Budget Highlights:

A municipal budget is an expression of a community's values. It is our hope that we have emerged on the far side of this global pandemic, and we recognize that our world will be returning to a "new normal", that will require us to remain flexible during this time of transition. This year's budget restores funding needed to continue to deliver high-quality, core services to our residents, businesses, and visitors. Our goal now is to rebound and move our strategic interests as a community forward. These investments in safety, diversity, climate, and quality of life are important steps in the right direction. Recovery will include immediate action with one-time funding as well as a return to our longer-term vision and 5-year plan for the ongoing budget.

In the FY 2022-23 budget:

- There are no recommended reductions or changes to core service levels provided by our operating departments.
- Employee compensation changes included in the recommended budget are designed to keep the Town competitive in attracting and retaining the excellent employees who provide the excellent service recognized in the biennial survey.
 - A tiered 4-5% of market rate pay increase (4% increase for employees who have been with the Town for less than five years and 5% for staff with five or more years of experience with the Town) for all full-time and part-time employees employed with the Town as of June 30, 2022 to be effective with the July 15, 2022 payroll. Market rate is defined as the midpoint

- of each pay grade.
- A 2% increase in the cost of providing employees health insurance.
- The FY 2022-23 budget includes a property tax rate of 52.2 cents per \$100 of valuation. This represents a 0.8-cent increase dedicated for Transit from the existing tax rate of 51.4 cents.
- The FY 2022-23 budget adds the following priorities:
 - Adds \$379,496 for four new positions - Grants Administrator, Diversity, Equity, and Inclusion (DEI) Officer, Planning Technician, and an Economic Development Administrative Coordinator.
 - Allocates \$158,005 to address the next phase of the classification & compensation study and to address compression.
 - Adds \$40,000 to increase the stipend for Council members.
 - Adds \$80,000 to the Climate Action Plan funding.
 - Adds \$27,325 to Human Services program funding.
 - Adds \$100,000 to implement downtown improvements.
 - Adds \$75,000 to bicycle & pedestrian safety improvement projects.
 - Adds \$50,000 to the Vision Zero program.
 - Adds \$40,000 to cultural arts.
 - Adds \$50,000 for parks maintenance projects.
 - Adds \$160,000 for cost-of-service increases.
 - Adds \$98,000 for cybersecurity and other technology security programs.
 - Allocates \$258,000 towards an interlocal agreement with the Interfaith Council to support its homeless shelter operations.
 - Allocates \$126,000 towards the Street Outreach Harm Reduction and Deflection (SOHRAD) under the Partnership to End Homelessness funding request.

BUDGET SUMMARY ALL FUNDS

The following table compares the FY 2021-22 Adopted Budget with the FY 2022-23 Proposed Budget for all Town funds.

BUDGET SUMMARY - ALL FUNDS

Fund	FY22 Adopted	FY23 Proposed	Incr./Decr. \$	Incr./Decr. %
General Fund	\$ 71,020,000	\$ 76,689,000	\$ 5,669,000	7.98%
Transit Fund	26,300,046	31,454,363	5,154,317	19.60%
Stormwater Fund	3,009,500	3,010,000	500	0.02%
Parking Fund	3,335,988	6,130,626	2,794,638	83.77%
Housing Fund	2,176,756	2,416,924	240,168	11.03%
Debt Service Fund	9,664,932	9,570,927	(94,005)	-0.97%
Capital Project Fund	697,241	741,241	44,000	6.31%
Other Funds	3,893,220	4,664,569	771,349	19.81%
Total	\$ 120,097,683	\$ 134,677,650	\$ 14,579,967	12.14%
<i>Note: includes intrafund transfers</i>				

THE FINAL BUDGET ORDINANCE

- The General Fund tax rate, Transit Fund tax rate, and Debt Management Fund tax rate represent a 0.8 cent increase going to the Transit Fund.
- The tax rates included in the Budget Ordinance are:

▪ General Fund	37.2
▪ Debt Management Fund	8.8
▪ Transit Fund	<u>6.2</u>
Total	<u>52.2 cents</u>
- The Budget Ordinance also:
 - Sets the Downtown Service District tax at 6.4 cents per \$100 assessed value (revenue neutral rate)
 - Establishes the Town's Fee Schedule for FY 2022-23.
 - Uses about \$2.7 million in existing fund balance to balance the budget.
 - A tiered 4-5% of market (midpoint) rate pay increase (4% increase for employees who have been with the Town for less than five years and 5% for staff with five or more years of experience with the Town) for all full-time and part-time employees employed with the Town as of June 30, 2022.

FEE SCHEDULE

- The Manager's Recommended Budget for FY 2022-23 proposes the following changes to the existing fee schedule.
 - 5% increase to all planning fees
 - 5% increase to all engineering permit & plan review fees
 - Fire construction permit fees
 - Miscellaneous parks and recreation rental fees
 - Library room rental fees

FUND BALANCE

The Recommended Budget appropriates \$2,663,390 from the Town's fund balance to balance the General Fund budget. Based on our preliminary estimates it looks like we will finish the current fiscal year by adding to fund balance. This is the result of much higher than anticipated sales tax revenues and conservative budgeting practices. The Town still has many vacant positions that are the result of the hiring freeze maintained in FY 2021 and the competitive nature of the job force market. Maintaining an adequate level of fund balance is critical to meet the cash flow requirements of this municipal corporation and to provide an emergency fund to safeguard the Town against the costs of recovering from unforeseen economic, emergencies, and natural disasters.

We recommend that each fall following the issuance of the Annual Comprehensive Financial Report (ACFR), we return to Council to consider appropriating fund balance above the 22% target for capital or other one-time expenditures. In this manner, depending on the level of fund balance, Council will have a method for funding priority capital projects.

DEBT ISSUANCE AND THE CIP BUDGET

The Debt Management Fund is the Town's primary source of repayment for capital borrowing. The fund was established in FY 2010 to isolate debt service payments from the General Fund so that capital investment decisions could be made independent of the operating budget. In other words, by assigning a dedicated tax to the debt fund, increases in capital investment would be dependent on the adequacy of Debt Fund revenues instead of competing with the cost of providing core services.

- **Pay-Go CIP** - For FY 2022-23, the recommended Pay-Go CIP is up \$741,241 from FY 2022, due to the continued restoration of budget cuts related to COVID-19. The Pay-Go CIP is funded from the annual operating budget and includes small-scale projects that can be completed within the fiscal year. The projects listed below are our highest priority small-scale projects.

CIP Project	2022-23 Recommended Budget
Municipal Facilities	\$ 299,000
Housing Rental Facilities	36,241
Infrastructure	186,000
Parks Facilities	220,000
Total	\$ 741,241

- **General Obligation (GO) Bond Referendum** - The successful 2015 bond referendum authorized \$40.3 million in GO Bonds, including \$34.4 million of General Fund Projects and \$5.9 million of Stormwater projects. To date \$21.5 million of the authorized bonds have been issued, as shown in the following table:

Bond Order	Authority	Issued	Balance
Streets & Sidewalks	\$ 16,200,000	\$ 8,500,000	\$ 7,700,000
Trails & Greenways	5,000,000	5,000,000	0
Recreation facilities	8,000,000	5,300,000	2,700,000
Solid waste Facility	5,200,000	0	5,200,000
Stormwater Improvements	5,900,000	2,700,000	3,200,000
Total	\$ 40,300,000	\$ 21,500,000	\$ 18,800,000

The authority to issue the remainder of the 2015 Bonds expires in November 2022. The Town has begun the application process with the Local Government Commission to file for a three-year extension.

The successful 2018 bond referendum authorized \$10 million in GO Bonds for affordable housing. The Town issued \$4.755 million in May 2021 for three key projects: Weavers Grove, 2200 Homestead Road and Johnson Street Apartments.

- Plans for future debt issuance include the following major projects:
 - Municipal Services Center \$ 34,000,000
 - Streets & Sidewalks 7,700,000
 - Affordable Housing 5,245,000
 - \$ 46,945,000

PERFORMANCE AGREEMENTS WITH OTHER AGENCIES

The FY 2022-23 budget includes a 3% increase of \$27,325 to the amount allocated for performance agreements for Human Services, \$40,000 for cultural arts, \$126,000 for the Partnership to End Homelessness for the SOHRAD program, and \$203,000 for the Interfaith Council to support its homeless shelter operations (\$258,000 award, but \$55,000 will be carried forward from current year budget). The proposed amounts include the following changes:

	2021-22 Budget	2022-23 Proposed Budget
Performance Agreements with Other Agencies		
Human Services	\$ 546,500	\$ 573,825
Arts	23,500	63,500
Public Health	29,110	29,110
Affordable Housing	454,309	795,758
Economic Development	270,000	270,000
Total Contributions to Agencies	\$ 1,323,419	\$ 1,732,193

MAINTAINING BASIC SERVICES

The Town is a service-based organization that relies on a skilled and flexible workforce to deliver a broad scope of governmental services. Personnel related costs account for 73% of the FY 2022-23 General Fund Recommended Budget. The costs of maintaining a high performing workforce are increasing. For the most part, the market dictates salary levels and we continue to experience turnover, difficulty filling key positions, and retirements of long-serving employees. The Town strives to remain competitive in the

labor market by maintaining its comprehensive benefits package and through annual salary adjustments.

The FY 2022-23 Recommended Budget includes a tiered 4-5% of market rate pay increase (4% increase for employees who have been with the Town for less than five years and 5% for staff with five or more years of experience with the Town) for all classified employees employed with the Town as of June 30, 2022. This adjustment will be based on the market rate (midpoint) within each pay grade so that employees currently making less than market will receive slightly larger percentage increases than those currently making more than the market.

FARE FREE TRANSIT SYSTEM

Chapel Hill Transit operates as a pre-paid system, resulting in no fares being collected on the bus. The FY 2022-23 Transit operating budget reflects a 15.3% increase mainly due to the 0.8 cent tax increase and corresponding Partner (UNC & Town of Carrboro) increases, and anticipated increases in both federal and state annual operating assistance.

The changing and unreliable nature of federal funding for bus replacement has significantly changed the financial picture for the Town's Transit operations. In the past, 80% of the cost of replacement buses has been funded through Federal grants. As those grants dried up, the Town and its funding partners were forced to finance the purchase of 14 buses through debt in FY 2017 in order to keep the fleet from falling into a state of decline that would ultimately jeopardize service delivery. While debt spreads the cost over a 10-year period, the Town and its funding partners are now paying 100% of the cost of these new buses. A portion of the tax increase is intended to fund another round of borrowing to allow the Town to purchase another 10-12 buses in FY 2023.

BUDGET ORDINANCE

The components of the Budget Adoption Ordinance for FY 2022-23 are as follows:

- 1. Appropriations** - Authorization of funds to be expended in the FY 2022-23 Budget by function and fund.
- 2. Revenues** - Estimated revenues expected to be available during the FY 2022-23 Budget Year.
- 3. Tax Levy** - Tax rates for the General, Debt, and Transit Funds expressed per \$100 of valuation of taxable property as listed by the County Tax Assessor for January 2022.
- 4. Special District Tax Levy** - Tax rate for the Downtown Service District expressed per \$100 of valuation of taxable property as listed by the County Tax Assessor for January 2022.
- 5. Authorities for Transfers and Adjustments** - Defines the authority to move funds among and between functions, projects and funds.
- 6. Classification and Pay Plan** - Establishes salary grades, position classifications, and certain general provisions concerning payment of Town Employees for the FY 2022-23 Fiscal Year. The Manager is authorized to make changes to the Plan during the fiscal year within the adopted budget.
- 7. Recommended User Fees** - Establishes all fees, fines and charges that may be imposed during the FY 2022-23 Fiscal Year.
- 8. Stormwater Fee** - Establishes the stormwater fee for FY 2022-23.
- 9. Reappropriation of Outstanding Purchase Orders** - Appropriates encumbered balances from prior fiscal year so that financial obligations created in FY 2021-22 can be paid in FY 2022-23.
- 10. Performance Agreements** - Authorizes allocation of funds to agencies participating in the Outside Agency application process for performance agreement funding, in the aggregate amount approved by Council.

- 11. Recycling Collection Services** - Authorizes Orange County to provide recycling collection services within those areas of the Town situated in Durham County and to impose and administer a basic services fee for recycling services and a solid waste convenience center fee for residents within those areas of the Town situated in Durham County.
- 12. Micro-Purchase Threshold** - Authorizes the Town to increase our micro-purchase thresholds related to the expenditure of federal funds.

**Attachments:**

- Budget Ordinance
- Classification & Pay Plan Effective July 1, 2022
- Fee Schedule Effective July 1, 2022
- Resolution Approving 2022-23 Funding for Performance Agreements with Human Services Agencies as Recommended by the Human Services Advisory Board
- Draft Staff Presentation

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Maurice Jones, Town Manager

- a. Introduction and revised recommendations
- b. Comments from the public
- c. Comments from the Mayor and Town Council
- d. Motion to enact the FY2022-23 budget ordinance
- e. Motion to recuse one or more members who serve on governing boards of non-profit organizations being considered for human services funding
- f. Motion to adopt the resolution approving the human services funding.

RECOMMENDATION: That the Council enact the FY 2022-23 budget ordinance to establish the budget for 2022-23 and authorize the related items.

**AN ORDINANCE CONCERNING THE ESTABLISHMENT OF THE TOWN BUDGET
FOR THE FISCAL YEAR BEGINNING JULY 1, 2022 (2022-06-08/O-9)**

BE IT ORDAINED by the Council of the Town of Chapel Hill:

Section 1. APPROPRIATIONS

That the following appropriations are hereby made:

<u>GENERAL FUND</u>	<u>Function Total</u>
General Government	\$ 20,086,773
Environment & Development	19,054,575
Public Safety	25,640,864
Leisure	11,906,788
GENERAL FUND TOTAL	\$ 76,689,000
 <u>OTHER FUNDS</u>	
Transit Fund	\$ 31,454,363
Transit Capital Reserve Fund	0
Debt Service Fund	9,570,927
Vehicle Replacement Fund	355,000
Vehicle Maintenance Fund	1,646,640
Computer Replacement Fund	173,975
Public Housing Fund	2,416,924
Affordable Housing Reserve Fund	688,395
On-Street Parking Fund	0
Off-Street Parking Facilities Fund	6,130,626
Library Gift Fund	181,759
Capital Improvements Fund	741,241
Downtown Service District Fund	574,897
Climate Action Fund	550,000
Stormwater Management Fund	3,010,000
Grants Fund	493,903
TOTAL ALL FUNDS	\$ 134,677,650

Section 2. REVENUES

It is estimated that the following revenues will be available during the fiscal year beginning July 1, 2022 and ending June 30, 2023 to meet the foregoing appropriations. It is determined that where estimated revenues are higher than the previous year, the increases were warranted.

GENERAL FUND

Property Taxes	\$ 35,828,500
Sales Taxes	20,246,281
Occupancy Tax	1,250,000
Other Taxes & Licenses	87,000
State-Shared Revenues	7,864,098
Grants	687,997
Charges for Services	4,815,824
Licenses/Permits/Fines	2,825,910
Interest on Investments	10,000
Other Revenues	365,000
Transfers/Other Sources	45,000
Fund Balance Appropriated	2,663,390
General Fund Total	\$ 76,689,000

OTHER FUNDS

Transit Fund	\$ 31,454,363
Transit Capital Reserve Fund	0
Debt Service Fund	9,570,927
Vehicle Replacement Fund	355,000
Vehicle Maintenance Fund	1,646,640
Computer Replacement Fund	173,975
Public Housing Fund	2,416,924
Affordable Housing Reserve Fund	688,395
On-Street Parking Fund	0
Off-Street Parking Facilities Fund	6,130,626
Library Gift Fund	181,759
Capital Improvements Fund	741,241
Downtown Service District Fund	574,897
Climate Action Fund	550,000
Stormwater Management Fund	3,010,000
Grants Fund	493,903
TOTAL ALL FUNDS	\$ 134,677,650

Section 3. LEVY OF TAXES

There is hereby levied the following tax on each one hundred dollars (\$100) valuation of taxable property, located within the Town of Chapel Hill, as listed for taxes as of January 1, 2022 for the purpose of raising revenue from property tax as set forth in the foregoing estimates of revenues, and in order to finance the foregoing appropriations.

General Fund (for the payment of expenses of the Town of Chapel Hill)	\$0.372/\$100
Debt Service Fund (for the payment of expenses of the Town of Chapel Hill)	\$0.088/\$100
Transit Fund (for the payment of expenses related to transportation approved by referendum)	\$0.062/\$100
TOTAL	\$0.522/\$100

Section 4. SPECIAL DISTRICT TAX LEVY

There is hereby levied the following tax on each one hundred dollars (\$100) valuation of taxable property located in the Downtown Revitalization Municipal Service District established by the Town Council's resolution of June 12, 1989:

Downtown Service District Fund	\$0.064/\$100
--------------------------------	---------------

Section 5. AUTHORITIES

The following authorities shall apply to transfers and adjustments within the budget:

- a. The Town Manager may transfer funds between departments within a fund.
- b. The Town Manager may transfer between functions of the operating budget of the same fund and between projects of the Capital Improvement Plan (CIP) with a quarterly report to Town Council.
- c. The Town Manager may approve intradepartmental transfer requests and transfers between line items within capital project budgets.
- d. Transfers between funds may only be authorized by the Town Council.

Section 6. CLASSIFICATION AND PAY PLAN

There is hereby established, for Fiscal Year 2023, a Position and Classification Pay Plan and Longevity Plan for Town Employees as contained in Attachment 1. The Town Manager may make changes to the pay and classification plan within the established number of positions and the approved budget.

Section 7. FEES SCHEDULE

There is hereby established, for Fiscal Year 2023, various fees as contained in Attachment 2.

Section 8. STORMWATER FEE

There is hereby established, for Fiscal Year 2023, a stormwater fee of \$34.97.

Section 9. REAPPROPRIATION OF FUNDS ENCUMBERED IN FY 2021-22

Operating funds encumbered on the financial records as of June 30, 2022 are hereby reappropriated to this budget.

Section 10. PERFORMANCE AGREEMENTS

The Town Manager is hereby authorized to allocate funds to agencies participating in the Outside Agency Funding Application process for performance agreement funding, in the aggregate amount authorized by Council. The performance agreement funding allocation will be consistent with the recommendations from the Human Services Advisory Board.

Section 11. RECYCLING COLLECTION SERVICES

Pursuant to NCGS 160A-314.1 and 160A-317 the Town of Chapel Hill authorizes Orange County to provide recycling collection services within those areas of the Town situated in Orange County and Durham County and to impose and administer a basic services fee for recycling services and a solid waste convenience center fee for residents within those areas of the Town situated in Orange County and Durham County.

Section 12. MICRO-PURCHASE THRESHOLD

In accordance with 2 C.F.R. § 200.320(a)(1)(iv)(A) and the applicable provisions of North Carolina law, the Town of Chapel Hill hereby self-certifies the following micro-purchase thresholds:

- A. \$30,000, for the purchase of “apparatus, supplies, materials, or equipment”; and
- B. \$30,000, for the purchase of “construction or repair work”; and
- C. \$50,000, for the purchase of services not subject to competitive bidding under North Carolina law; and
- D. \$50,000, for the purchase of services subject to the qualifications-based selection process in the Mini-Brooks Act; provided that such threshold shall apply to a contract only if the Unit has exercised an exemption to the Mini-Brooks Act, in writing, for a particular project pursuant to G.S. 143-64.32. If the exemption is not authorized, the micro-purchase threshold shall be \$10,000.

This the 8th day of June, 2022.

Approved By:



Town of Chapel Hill, NC

Effective Date: July 1, 2022

Maurice Jones, Town Manager

Senior Management Structure

<u>Grade</u>	<u>Minimum</u>	<u>Midpoint</u>	<u>Maximum</u>	<u>Job Class Code</u>	<u>Title</u>
I	\$77,157	\$100,844	\$124,252	1013	OPERATIONS MANAGER-HOUSING
II	\$81,393	\$105,929	\$130,464	0625	ASSISTANT FIRE CHIEF
				0617	FIRE MARSHAL
				0813	PLANNING OPERATIONS MANAGER
				0719	POLICE LEGAL ADVISOR
				1112	SR PARK PLNG & OPS MANAGER
III	\$89,735	\$116,786	\$143,837	1011	ASSISTANT DIR-HOUSING
				0424	ASSISTANT DIR-HRD
				1213	ASSISTANT DIR-LIBRARY
				1111	ASSISTANT DIR-P&R-REC OPS
				0811	ASSISTANT DIR-PLANNING
				1320	ASSISTANT DIR-PUBLIC WORKS
				0549	ASSISTANT DIR-TRANSIT ADMIN
				0315	ASST DIR BUS MANAGEMENT
				1012	ASST DIR-AFF HOUS & COMM CONN
				0920	ASST DIR-BUILDG & DEV SCS
				0128	COMMUNITY SUSTAINABILTY MGR
				0132	DEI OFFICER
				0614	EMERGENCY MGMT COORDINATOR
				0615	FIRE CHIEF-DEPUTY
				0863	MANAGER OF ENGINEERING INFRASTR
				0121	OMBUDS-SR.
IV	\$109,074	\$141,955	\$174,835	0512	DEPUTY DIR-TRANSPORTATION
				0718	LEGAL ADVISOR-SR
				0711	POLICE CHIEF-ASSISTANT
V	\$126,267	\$164,331	\$202,394	0134	ASSISTANT TOWN ATTORNEY
				1008	DIR-AFF HOUS & COMM CONN
				0909	DIR-BUILDING & DEV SERVICES
				0310	DIR-BUSINESS MANAGEMENT
				0210	DIR-COMMUNICATIONS-PUBLIC
				0116	DIR-ECONOMIC DEVELOPMENT
				1010	DIR-HOUSING
				0410	DIR-HUMAN RESOURCE DEVELOPMENT
				1110	DIR-PARKS AND REC
				0810	DIR-PLANNING
				1310	DIR-PUBLIC WORKS
				0510	DIR-TRANSPORTATION
				1209	EXEC DIR-COMM ARTS & CULTURE
				0848	DIR-TECHNOLOGY SOLUTIONS
				0610	FIRE CHIEF
				0709	POLICE CHIEF
VI	\$132,581	\$172,547	\$212,514		
VII	\$146,170	\$190,233	\$234,296	0114	TOWN MANAGER-DEPUTY

Exempt Structure

<u>Grade</u>	<u>Minimum</u>	<u>Midpoint</u>	<u>Maximum</u>	<u>Job Class Code</u>	<u>Title</u>
108	\$42,829	\$56,741	\$70,654		
109	\$44,969	\$59,578	\$74,186		
110	\$47,218	\$62,557	\$77,896	2111 0941 0926 1025	ADMINISTRATIVE COORDINATOR CODE ENFORCEMENT OFFICER- SR ENGINEERING INSPECTOR-SR HOUSING OFFICER II
111	\$49,579	\$65,685	\$81,791	0226 1035 2112 2177 1133	ASSISTANT TOWN CLERK COMMUNITY CONNECTIONS COORD POLICE ANALYST RECORDS RETENTION MANAGER SPECIALIZED RECREATION COORD SUSTAINABILITY OUTREACH COORDINATOR
112	\$52,058	\$68,969	\$85,880	0329 1021 0534 0755 2176 1709 1020 0939 0835 1132	ACCOUNTANT - HOUSING COMM. DEVEL. PROGRAM MANAGER COMMUNITY OUTREACH MANAGER CRISIS COUNSELOR GRAPHIC ARTIST HOUSING MAINTENANCE SUPERVISOR HUMAN SERVICES COORDINATOR PERMIT CENTER SUPERVISOR PLANNER I SPECIALIZED REC COORD-CERT
113	\$54,661	\$72,418	\$90,174	2110 1268 0225 1275 0936 0751 1265 1251 1232 1274 1140 1336 1455 0834 1349 1117 1130 1273 1451 1450 0880 1272 0533 0872	ADMINISTRATIVE ANALYST CHILD & FAMILY OUTREACH COORD COMMUNICATIONS SPECIALIST COMMUNITY HISTORY COORD DEI PROJECT MANAGER INSPECTION SUPERVISOR LEAD CRISIS COUNSELOR LIBRARY ACCOUNTS COORDINATOR LIBRARY MARKETING & COMM COORD LIBRARY SYSTEMS COORDINATOR MARKETING & COMM COORD MARKTNG & RES DEVELOP ADMIN OCC HEALTH & SAFETY OFFICER PARK MAINTENANCE SUPV PLANNER II PROJECT MANAGER PUBLIC ART COORDINATOR RECREATION SUPERVISOR SPECIAL EVENTS COORDINATOR STORMWATER MAINT SUPERVISOR STREETS SUPERVISOR SURVEY PROJECT COORDINATOR TRAIN & DEVELOP COORD - LIB TRAINING COORDINATOR WEB ADMINISTRATOR
114	\$60,264	\$79,841	\$99,418	0338 1023 0871 2227 0865 1410 0859 0438 0875	ACCOUNTS PAYABLE COORDINATOR AFFORDABLE HSG DEVEL OFFICER BUSINESS ANALYST DEPUTY TOWN CLERK ENGINEER I FACILITIES SUPERVISOR GIS ANALYST HR CONSULTANT NETWORK ADMINISTRATOR

				0326	PAYROLL COORDINATOR
				0363	REVENUE COORDINATOR
				0830	SENIOR PLANNER
				1445	SOLID WASTE OPS SVCS COORD
				0929	SR. COMMERCIAL PLANS REVIEWER
				0893	STORMWATER ANALYST
				0135	SUSTAINABILITY PROGRAM ANALYST
				0852	SYSTEMS ADMINISTRATOR
				0895	SYSTEMS SPECIALIST
115	\$63,277	\$83,832	\$104,388	0532	TRANSIT DEVELOPMENT MGR I
				0516	ADMINISTRATIVE SVCS MANAGER
				1332	ASSISTANT MAINTENANCE MANAGER
				0318	BUDGET & MANAGEMENT ANALYST
				0319	BUDGET MANAGER
				0943	CODE COMPLIANCE OFFICER
				0345	DATA & ANALYTICS ANALYST
				0136	ECONOMIC DEVELOPMENT MANAGER
				0866	ENGINEER II
					GRANTS ADMINISTRATOR
				2109	MANAGEMENT ANALYST
				0133	PARKING OPS ADMIN
				1351	PROJECT MANAGER-SR
				1134	RECREATION SUPERVISOR-SR
				0864	SENIOR GIS ANALYST
				0437	SENIOR-HRD CONSULTANT
116	\$66,441	\$88,024	\$109,608	1613	TRAFFIC SIGNAL SYSTEM ENGINEER
				0333	ACCOUNTING SUPV-TR & GRANTS
				0316	ACCT SUPV-PAYROLL & PAYABLES
				1270	ACQUISITIONS & COLL. MANAGER
				0553	ASST OPERATIONS MANAGER-DEMAND
				1147	BUSINESS OPERATIONS MANAGER
				0750	CRISIS UNIT SUPERVISOR
				0525	DEPUTY OPERATIONS MANAGER
				0527	GRANTS COMPLIANCE MANAGER
				0129	LEGAL SERVICES ADMINISTRATOR
				1271	LIBRARY EXPERIENCE MANAGER
				0825	PRINCIPAL PLANNER
				0360	PURCHASING & CONTRACTS MANAGER
				0539	TRANSIT DEVELOPMENT MGR II
				0130	URBAN DESIGNER
117	\$69,763	\$92,425	\$115,088	1269	YOUTH & FAMILY EXP. MANAGER
				1027	AFFORDABLE HOUSING MANAGER
				0762	COMMUNITY SERVICES PLANNER
				0867	ENGINEER III
				0870	ENGINEERING COORDINATOR-SR
118	\$73,251	\$97,047	\$120,842	0847	GIS MANAGER
				1401	FACILITIES MANAGER
				1425	FLEET MANAGER
				0422	RISK MANAGER
119	\$76,914	\$101,899	\$126,884		
				0323	ACCOUNTING MANAGER
				0362	ACCOUNTING PROJECTS MANAGER
				0911	BUILDING OPERATIONS MANAGER
				0869	BUSINESS ANALYST-SR
				0566	BUSINESS SERVICES MANAGER
				1352	CAPITAL IMPROV PROJECT MANAGER
				0224	COMMUNICATIONS MANAGER
				0321	FINANCIAL SYSTEMS MANAGER
				0879	IT OPERATIONS MANAGER
				1329	MAINTENANCE MANAGER
				0521	MANAGER-TRANSIT OPERATIONS
				1350	PARK MAINTENANCE SUPT
				0815	PLANNING MANAGER
				1120	RECREATION MANAGER

120	\$80,759	\$106,994	\$133,229
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0868	SENIOR ENGINEER
1440	SOLID WASTE SERVICES MANAGER
1326	STREETS & CONS SVCS SUPT
1607	TRAFFIC ENGINEERING MANAGER
0538	TRANSIT PLANNING MANAGER
0119	ASSISTANT TO THE MANAGER
0877	CHIEF INFORM SECURITY OFF

Non-Exempt Structure

<u>Grade</u>	<u>Minimum</u>	<u>Midpoint</u>	<u>Maximum</u>	<u>Job Class Code</u>	<u>Title</u>
206	\$31,959	\$42,341	\$52,723	1906	CONSTRUCTION WORKER I
				1705	HOUS MAINT MECH HELPER
				2174	OFFICE ASSISTANT
				1837	PARTS CLERK
				1845	SERVICE ATTENDANT
207	\$33,558	\$44,459	\$55,360	2219	COMMUNITY SAFETY SPECIALIST
				1826	MECHANIC HELPER
				0575	PARKING ENFORCEMENT OFFICER
				2215	RECORDS TECHNICIAN
				2015	SOLID WASTE COLLECTOR
208	\$35,235	\$46,681	\$58,127	1840	BUS SERVICE TECHNICIAN
				1907	CONSTRUCTION WORKER II
				2020	PARK MAINTENANCE SPECIALIST
				1645	SIGN & MARKING TECH I
				2010	SOLID WASTE EQUIP OP I
209	\$36,997	\$49,015	\$61,034	2157	ADMINISTRATIVE ASSISTANT
				1416	BLDG MAINT MECH I
				0765	DEVELOPMENT TECH I
				1825	FLEET TECHNICIAN I
				1827	MECHANIC I-BUS
				2212	PERMIT TECH I
				2211	PERMIT TECHNICIAN
				0845	PLANNING TECHNICIAN
				1145	RECREATION ASSISTANT
				1146	RECREATION ASSISTANT-PT
210	\$38,847	\$51,466	\$64,085	1612	TRAFFIC SIGNAL TECH I
				1031	ASSISTANT HOUSING OFFICER
				0944	DEVELOPMENT TECH II
				1261	LIBRARY EXPERIENCE ASSISTANT
				1262	LIBRARY EXPERIENCE ASST.-PT
				2022	PARK MAINTENANCE SPLST-CERT
				2213	PERMIT TECH II
				0816	PERMITTING SYSTEMS TECH
				1036	RESIDENT SERVICES COORDINATOR
				1640	SIGN & MARKING TECH II
				1915	SOLID WASTE EQUIP OP II
				1935	STREET SWEEPER EQUIP OP
				0541	TRANSIT OPERATOR-DEM RES PT
				0540	TRANSIT OPERATOR-DEM RESP
				0545	TRANSIT OPERATOR-FIXED ROUTE
0546	TRANSIT OP-FIXED ROUTE- PT				
211	\$40,789	\$54,039	\$67,289	1417	BLDG MAINT MECH II
				1908	CONSTRUCTION WORKER III
				0945	DEVELOPMENT TECH - SENIOR
				1137	FESTIVAL & EVENTS TECHNICIAN
				1820	FLEET TECHNICIAN II
				1030	HOUSING OFFICER I
				0555	HR TECHNICIAN TRANSIT
				0433	HRD TECHNICIAN
				2210	PERMIT TECHNICIAN-SENIOR
				1639	SIGN & MARKING TECH III
				1910	SOLID WASTE EQUIP OP III
				1934	STREET SWEEPER EQUIP OP
				1610	TRAFFIC SIGNAL TECH II
212	\$42,828	\$56,741	\$70,654	1143	AQUATICS SPECIALIST

				0339	ACCOUNTING TECH II
				0367	ADMINISTRATIVE SPECIALIST
				0571	ASSISTANT PARKING SVCS SUPV
				0942	CODE ENFORCEMENT OFFICER
				1909	CONSTRUCTION WORKER IV
				1929	LEAD CONSTRUCTION WORKER
				1263	LIBRARY EXPERIENCE SPECIALIST
				1264	LIBRARY EXPERIENCE SPLST-PT
				1821	MECHANIC II-BUS
				0764	PEER SUPPORT SPECIALIST
				1125	RECREATION SPECIALIST
				1127	RECREATION SPECIALIST I-PT
				0365	REVENUE COLLECTOR
				1926	SR HEAVY EQUIPMENT OPERATOR
213	\$44,969	\$59,578	\$74,186	0543	TRANSIT OPERATOR - SENIOR
				1135	ASSISTANT RECREATION SUPV
				1418	BLDG MAINT MECH III
				1922	CONSTRUCTION CREW SUPERVISOR
				1928	DRAINAGE CREW SUPERVISOR
				0925	ENGINEERING INSPECTOR
				0884	ENGINEERING TECHNICIAN
				0761	FORENSIC & EVIDENCE SPECIALIST
				1701	HOUSING MAINTENANCE MECHANIC
				0434	HRD SPECIALIST
				1638	LEAD SIGN & MARKING TECH
				1819	MECHANIC III-BUS
				2021	PARK MAINTENANCE CREW LEADER
				0344	PAYROLL SPECIALIST
				1818	SENIOR FLEET TECHNICIAN
				1449	SOLID WASTE SVCS CREW SUPV
				0891	STORMWATER SPECIALIST
				1465	STREET INSPECTOR
				1490	STREETS CREW SUPERVISOR
				1609	TRAFFIC SIGNAL TECH III
214	\$47,218	\$62,557	\$77,896	0518	TRANS DEM. MGMT COM MGR
				1630	ASSISTANT ARBORIST
				0886	COMMUNITY EDUCATION COORD
				0890	GIS TECHNICIAN-SR
				1611	LEAD TRAFFIC SIGNAL TECH
				1259	LIBRARY EXPERIENCE TECHNICIAN
215	\$49,579	\$65,685	\$81,791	0885	SENIOR ENGINEERING TECHNICIAN
				1414	FACILITIES SYSTEMS TECHNICIAN
				2217	FLEET SYSTEMS TECHNICIAN
				0855	INFORMATION TECH ANALYST
				0935	INSPECTOR I
				0570	PARKING SERVICES SUPERVISOR
				1835	PARTS SUPERVISOR
				0361	PURCHASING SPECIALIST
				0440	RISK CLAIMS ADMINISTRATOR
				1702	SR HOUSING MAINTENANCE MECH
				0530	SUPERVISOR-TRANSIT
				1608	TRAFFIC SIGNAL SYSTEMS ANALYST
216	\$52,058	\$68,969	\$85,880	0552	TRAIN & SAFETY SPEC- TRANSIT
				1431	FLEET SUPERVISOR
				0857	INFORMATION TECH ANALYST-SR
				0946	INSPECTOR II
				0554	LEAD TRANSIT SUPERVISOR
217	\$54,661	\$72,418	\$90,174	1430	MECHANIC SUPERVISOR - BUS
				0930	INSPECTOR - SENIOR
				1625	MUNICIPAL ARBORIST

Fire Structure

<u>Grade</u>	<u>Minimum</u>	<u>Midpoint</u>	<u>Maximum</u>	<u>Job Class Code</u>	<u>Title</u>
F2	\$43,678	\$56,844	\$70,010		
				0650	FIREFIGHTER LEVEL I
F3	\$45,862	\$59,687	\$73,512		
				0645	FIREFIGHTER-MASTER
F4	\$48,154	\$62,670	\$77,187		
				0635	FIRE EQUIPMENT OPERATOR
F5	\$53,090	\$69,094	\$85,099		
				0636	FIRE INSPECTOR I
				0633	FIRE LIEUTENANT
F6	\$55,745	\$72,549	\$89,354		
				0637	FIRE INSPECTOR II
F7	\$59,960	\$78,035	\$96,109		
				0624	EM MGMT DEPUTY COORDINATOR
				0630	FIRE CAPTAIN
				0656	FIRE LOGISTICS OFFICER
				0632	FIRE MARSHAL - ASSISTANT
				0655	FIRE TECHNOLOGY OFFICER
F8	\$66,106	\$86,033	\$105,961		
				0631	FIRE MARSHAL- DEPUTY
F9	\$72,882	\$94,852	\$116,821		
				0620	BATTALION CHIEF

Police Structure

<u>Grade</u>	<u>Minimum</u>	<u>Midpoint</u>	<u>Maximum</u>	<u>Job Class Code</u>	<u>Title</u>
P1	\$50,000	\$50,000	\$50,000		
				0746	POLICE OFFICER RECRUIT
P2	\$50,000	\$51,462	\$52,923		
				0745	POLICE OFFICER I
P3	\$55,000	\$58,500	\$62,000		
				0740	POLICE OFFICER II
P4	\$65,000	\$70,000	\$75,000		
				0735	POLICE OFFICER III
P5	\$69,230	\$79,615	\$90,000		
				0730	POLICE OFFICER IV
P6	\$76,153	\$85,672	\$95,191		
				0725	POLICE SERGEANT
P7	\$83,768	\$94,239	\$104,710		
				0720	POLICE LIEUTENANT
P8	\$92,145	\$103,663	\$115,181		
				0715	POLICE CAPTAIN

FY23 BUILDING AND DEVELOPMENT SERVICES FEE SCHEDULE PERMITS, INSPECTIONS & OTHER SERVICES

NOTICE TO ALL APPLICANTS

PERMIT FEE NOTES

- * The following schedule of permit fees is applicable to the Chapel Hill zoning jurisdiction.
- * Building permit fees are based on the cost of construction unless otherwise indicated and are collected after permit approval for issuance and PRIOR to any work beginning.
- * For all building permits, the General Contractor of record is responsible for paying all permit fees.
- * All fees shall be paid in order to receive a Certificate of Occupancy and final power.
- * Permit fees are broken down into 2 categories: Residential and Commercial. Residential means 1 & 2 Family projects like single family homes, duplexes, townhomes. Commercial means all other projects not considered Residential.
- * Cost of new construction projects will be evaluated against the most current ICC Valuation Table
- * Fees for all Town projects are waived.

Building Valuation Data Table

(For the current Building Valuation Data table, see www.iccsafe.org)

For Use in Determining Minimum Total Valuation for Building Permit Fee Calculations

- * The BVD table provides the “average” construction costs per square foot, which can be used in determining permit fees for a jurisdiction. Permit fee schedules are addressed in Section 109.2 of the most current International Building Code (IBC) whereas Section 109.3 addresses building permit valuations. The permit fees can be established by using the BVD table and a Permit Fee Multiplier, which is based on the total construction value within the jurisdiction for the past year. The Square Foot Construction Cost table presents factors that reflect relative value of one construction classification/occupancy group to another so that more expensive construction is assessed greater permit fees than less expensive construction.
- * The BVD is not intended to apply to alterations or repairs to existing buildings. Because the scope of alterations or repairs to an existing building varies so greatly, the Square Foot Construction Costs Table does not reflect accurate values for that purpose. However, the Square Foot Construction Costs Table can be used to determine the cost of an addition that is basically a stand-alone building which happens to be attached to an existing building. In the case of such additions, the only alterations to the existing building would involve the attachment of the addition to the existing building and the openings between the addition and the existing building.
- * *Determination of Total Valuation.* For purposes of determining fees, total valuation shall be either the actual contract price or an applicable amount based on the total square footage of the structure to be built, multiplied by the square foot cost data prescribed on the attached Building Valuation Data Table which is a part of this fee schedule, whichever is greater.

Publicly Assisted Housing Units

*The Town agrees to waive certain development-related fees related only for the affordable units for projects that provide permanently affordable homeownership opportunities or provide rental housing that remains affordable for at least 20 years. Affordable is defined as being sold or rented to households earning less than 120% of the Area Median Income as determined and approved by the Town. In this case, otherwise applicable Town application fees, building permit fees, plan review fees, inspection fees, and such other development fees and costs which would otherwise be due shall be waived for the affordable dwelling units identified in the application. To qualify for the waiver for rental development, applicants and Town staff must agree on how affordability will be maintained for a 20-year period and an agreement may be required.

*If application fees are paid for a proposed development that subsequently converts existing approved market rate units to affordable dwelling units in the development plan, a pro rata refund of any such fees that have already been paid shall be provided to the applicant upon approval of the development to reflect the conversion to affordable units. The refunded amount will be determined by the percentage of the affordable units within the development. In addition, any existing development that receives approval to construct new affordable units may have the fees waived for the new affordable units. This refund or waiver does not apply to any market rate units, or to any fees associated with water, wastewater, or stormwater.

*Fees are also waived for service projects by non-profits, for a non-profit organization.

*Fees related to Additional Services are not development or permit fees and are not covered by this blanket fee waiver.

Re-inspection Fees

* All additional inspections made necessary due to failure to comply with applicable code requirements, when projects are not ready for inspection, when recurring deficiencies exist and/or when requested inspections are not cancelled on time, shall be hereby designated as "re-inspections" and carry a re-inspection fee. Every permit for residential projects will carry a re-inspection fee of \$60. Every permit for commercial projects will be assessed a fee of \$100 for each additional inspection resulting from a failure. Note- Any disputes must be received within 3 business days of the rejection for waiver consideration. Reinspection fees are not considered permit fees and are not eligible for blanket waivers.

Refunds

* Subpermits are not eligible for refunds

* Active building permits issued for one and two family dwellings may receive refunds of the permit cost (minus the non-refundable administrative review fee) after permit issuance provided no inspections have occurred and all original paperwork is returned to the Building Division.

* The minimum charge for processing one and two family permit refunds is \$75.00

* Active building permits for all projects other than one and two family dwellings may receive refunds of the permit cost (minus the non-refundable administrative review fee and any plan review fees) after permit issuance provided no inspections have occurred and all original paperwork is returned to the Building Division.

* The minimum charge for processing other than one and two family permit refunds is \$100.00

* No refunds will be issued beyond six months from the date of permit issuance for any permit or if inspections have been completed.

* Fees for Additional Services are required to be paid upfront & before services are rendered and are non-refundable after.

* Only B&DS management authorizes fee waivers.

Development Services Fees- Fire and Zoning/Planning

* Please refer to the Planning Dept Fee schedule for all fees related to zoning and planning not listed here

SFRES Tier 1	\$25
SFRES Tier 2	\$125
SFRES Tier 3	\$250

* Please refer to the Fire Department Fee Schedule for all fees related to Fire and Life Safety systems

Penalty Fees

* After the Fact Work (without permits)- When any work on a property, building, or service system commences before FIRST obtaining the required permit(s), a Stop Work Order will be issued and all associated permit fees for the work will be DOUBLED, due prior to permit issuance.

* Violation Penalty- Penalty fees assessed for violations of local ordinances and state codes are per the applicable section of code or ordinance.

Orange County Recyclable Materials Fee

As of July 1, 2008, an 8% Orange County recyclable materials fee shall be charged on all permits issued in Orange County. The 8% will be based on total permit fees.

ADMINISTRATION REVIEW FEE

This is an upfront non-refundable, non-transferrable fee, due at the time of submission for each building permit application received. This fee is based upon the project's construction cost. It is applicable for all building permits, and is applied towards final permit fees balance.

CONSTRUCTION COST	FEE
Up to \$20,000	\$50
\$20,001 - \$50,000	\$100
\$50,001 - \$500,000	\$500
In excess of \$500,001	\$2,500

COMMERCIAL PLAN REVIEW FEES (For Projects other than One and Two Family)

PROJECT SIZE	FEE
Up to 4,000 square feet	\$100
4,000 - 15,000 square feet	\$185
15,001 - 40,000 square feet	\$590
In excess of 40,001 square feet	\$1,420
Resubmission Review Fee , charged at 1 hour minimum (On initial permit review, permit fees cover the first re-review).	Additional \$100 per hour

BUILDING FEES

CONSTRUCTION COST	FEE
Up to \$5,000	\$55
\$5,001 - \$20,000	\$100
\$20,001 - \$50,000	\$10 per \$1,000
\$50,001 - \$500,000	Base fee of \$2,500 plus \$3.50/\$1,000 over \$500,001
In excess of \$500,001	Base fee of \$2,500 plus \$3.50/\$1,000 over \$500,001

MISCELLANEOUS BUILDING FEES

TYPE OF WORK	FEE	
Signs	\$50 per sign plus trade fees	
Mobile Homes	\$250 including trade fees	
Construction Trailers	\$150 including trade fees	
Insulation (per dwelling unit OR proposed # of inspections)	\$60 (per dwelling unit OR proposed # of inspections)	
Permit Reactivation (See current policy & guidance from NCDOT for details)	Residential	\$75
	Commercial	\$100

ELECTRICAL FEES

TYPE OF WORK	Residential	Commercial
Single panel (regardless of size)- This fee will cover the addition, alteration, or changes to any new or existing single panels and its components	\$115	\$200
Read in/ Read Out (per inspection)	\$100	\$110

MECHANICAL FEES

TYPE OF WORK	Residential	Commercial
All interconnected appliances, equipment or connections (each); ductwork, etc (minimum charge)	\$35	See commercial fee below
Heat Pump/ Gas Pack/ Gas piping	\$70	\$135
Geothermal (each system)	\$70	\$135
Hood System (per system)	\$100	\$100
Commercial appliances (each- boilers, chillers, exhaust fans, heat towers, VAV boxes, condensers, ductwork, etc)	N/A	\$100

PLUMBING

TYPE OF WORK	Residential	Commercial
Per Fixture (in excess of five fixtures)	\$10	\$15
Minimum Charge*	\$50	\$75
Sewer/Water Connection/ Irrigation System	\$50	\$55
Grease Trap/ Oil Interceptor	N/A	\$65
Piping (whole house/structure piping)	\$100	\$150

*For multiple dwelling units, this fee is charged per dwelling unit

ADDITIONAL SERVICES- Fees are collected Prior to project progression and are non-refundable and non-transferable after service is delivered

TYPE OF WORK / SERVICE	Residential	Commercial
Change of Contractor/ Info (applies each time a contractor or information is changed after permit application submission)	\$110	\$110
Business Occupancy (applies to new or relocation of any occupancy type related to a commercial business except child/ daycare)	N/A	\$180
Temporary Certificate of Occupancy (applies to each TCO issued per permit with a 30 day maximum time period)- Issuance is at the discretion of Dept leadership. Projects not eligible for TCO when there are outstanding life safety, trade inspections or other issues. Handled on case-by-case basis.	\$80	\$100
Occupancy Reposting (new or existing without active building permit)	N/A	\$80
Day Care Facilities Inspection (applies to any child-care facility)	\$285	\$285
Food Truck/Trailer Vendor- Code Administration Fee	N/A	\$200/year

Demolition Permit (per structure only, each requiring a separate permit.) Interior demolition fees will be based on Cost of Construction.	\$150	\$150
Antenna/ Tower/ Utility/ Cellular/ Solar (includes fees for all work related to Building, Electrical and Plan Review)	\$350	\$350
Stocking Permit	\$100	\$100
Sidewalk Dining (New)	N/A	\$100
Sidewalk Dining Annual review and permit renewal/update to existing approval	N/A	\$50
Homeowner's Recovery Fund (State mandated fee for all 1-2 family residential permits with an associated licensed General Contractor)	\$10	\$10
Temporary Electrical Power (per unit)	\$100	\$100
ABC Inspection	N/A	\$80
ORIAS (After-hour/ Weekend Service Request (upfront payment for minimum of two hours per request)	\$85 per hour	\$85 per hour
Permit Conference Series with Staff - Large Projects Only	N/A	\$6,000
Records research request, charged at 1 hour minimum	\$60/hr + copy fees for hard copies	
Copy fees	As set by Council	
Walkthrough Inspection***	\$60 per inspection/ trade	

***This inspection applies to permitted work only and can only be done when initiated or approved by Town Supervisory or Management Staff. Fee applies to each trade inspection.

FEE SCHEDULE**COMMUNICATIONS & PUBLIC AFFAIRS OFFICE (CaPA)***Town Council Agenda Packet Fee:*

The Town of Chapel Hill produces Town Council agenda packets for interested persons. Most materials are available on the Town's Web site, at www.townofchapelhill.org. Paper copies of packets are available at a cost of \$.18 per page.

One agenda packet will be provided free of charge to area media (print and radio) and governmental jurisdictions upon request in electronic format.

Council meeting agendas are provided free of charge. Agenda packets are also available for review at the Reference Desk of the Public Library and at the Town Hall.

Town Code of Ordinances:

The Town Code of Ordinances contains the Town Charter and all ordinances that govern the Town. The Code is updated bi-annually through supplements produced by the CaPA Department. The Code of Ordinances is available for purchase from Municipal Code Cooperation (www.municode.com). A link is also available on the Town's Web site, at www.townofchapelhill.org under Code of Ordinances "Purchase Codes".

Copying Fees:

Personal copies may be made in the CaPA Office at a cost of \$.18 per page (black & white) and \$.24 per page (color). Additional charges may be assessed pursuant to N.C. Public Records Law.

Charge for Data Materials:

Town Council meetings are video taped and may be obtained on DVD for \$3.00 per DVD.

Electronic records may be recorded onto a CD for \$3.00 or onto a Flash drive for \$4.25.

Security Guard:

When a non-profit organization or outside group reserves a meeting room in Town Hall and no other Town sponsored meeting is being held on the same evening, a fee of \$35.00 per hour for a security guard will be required.

Domestic Partnerships - The Council authorizes through resolution (95-4-24/R-11C) [as found in the 04-24-1991 minutes, Item #9] registration or dissolution of domestic partners. The fee for each registration is \$50.

Records Researcher Request:

“When a records research request exceeds one hour of an employee’s time, a rate of \$25/hour, plus copy fees for hard copies, will be applied.”

Charges for Merchandise:

Town flag 2 x 3” - \$40

Town flag 5 x 8” - \$125

Town Embroidered Tote Bag - \$25

Silkscreened tote bag - \$8

Drawstring tote bag - \$8

Book: Chapel Hill 200 Years - \$7.50 paperback

Book: Chapel Hill 200 Years - \$15 hardback

Book: A Backward Glance - \$5.25

Caps - \$15 each

Pencils – 10 cents

Temporary tattoos – 25 cents

American legacy booklet - \$2

Lapel pins - \$2

Coffee Mug - \$15

2022-23 Fire Department Fee Schedule				
Fire Permits				
OPERATIONAL PERMITS				
		Description	2022-23 Permit Fee	Term
Aerosol Products		Manufacture, store or handle an aggregate quantity of Level 2 or 3 in excess of 500 lbs.	\$50	365 days
Amusement Building		Operation of a Special Amusement Building	\$50	30 Days
Aviation Facilities		To use a Group H or S occupancy for aircraft servicing or repairs and aircraft fuel-servicing vehicles	\$50	365 days
Carnivals and Fairs		Mandatory Permit to conduct a Carnival or Fair	\$50	Single Event
Cellulose Nitrate Film		To store, handle or use cellulose nitrate film in a Group A	\$50	365 days
Combustible Dust-Producing Operations		Operate a grain elevator, flour starch mill, feed mill, or a plant pulverizing aluminum, coal, cocoa, magnesium, spices or sugar, or other operations producing combustible dusts as defined in Chapter 2.	\$50	365 days
Combustible Fibers		To store or handle combustible fibers in quantities of more than 100 cu ft	\$50	365 days
Compressed Gases		To use or handling at normal temperature and pressure (NTP) of compressed gases in excess of the amounts listed in Table 105.6.9.	\$50	365 days
Covered Mall Buildings				
	1)	Placement of retail fixtures and displays, concession equipment, displays of highly combustible goods and similar items in the mall (common areas).	\$50	30 days
	2)	Display of liquid- or gas-fired equipment in the mall.	\$50	30 days
	3)	Use of open-flame or flame-producing equipment in the mall.	\$50	7 days
Cryogenic Fluids		To produce, store, transport on site, use, handle or dispense cryogenic fluids in excess of the amounts listed in Table 105.6.11.	\$50	365 days
Cutting and Welding		To conduct cutting and welding operations within the district	\$50	365 days
Dry Cleaning Plants		Engage in the business of dry cleaning (when flammable/hazardous solvents are used), or to change to a more hazardous cleaning solvent used in existing dry cleaning equipment.	\$50	365 days
Exhibits and Trade Shows		Operate exhibits and trade shows.	\$50	30 days
Explosives		Operational permit is required for the manufacture, storage, handling, sale or use of any quantity of explosives, explosive materials, fireworks or pyrotechnic special effects within the scope of Chapter 56. *(Additional requirements including but not limited to insurance coverage and on-scene fire department personnel fees shall also apply)		
	1)	Blasting and/or storage of explosives	\$50	30 days
	2)	Display of Fireworks/Pyrotechnics	\$50	Single Event
Flammable/Combustible Liquids				
	1)	To use or operate a pipeline	\$50	365 days
	2)	To store, handle, or use Class I liquids in excess of 5 gallons (inside) and more than 10 gallons (outside) of a building	\$50	365 days

	3)	To store, handle, or use Class II or Class IIIA liquids in excess of 25 gallons (inside) and more than 60 gallons (outside) of a building	\$50	365 days
	4)	To store, handle, or use Class IIIB liquids in tanks or portable tanks for fueling	\$50	365 days
	5)	To remove Class I or II liquids from an underground storage tank used for fueling motor vehicles by any means other than the approved stationary on-site pumps	\$50	365 days
	6)	To operate tank vehicles, equipment, tanks, plants, terminals, wells, fuel-dispensing stations, refineries, distilleries and similar facilities where flammable and combustible liquids are produced, processed, transported, stored, dispensed or used	\$50	365 days
	7)	To temporarily place out-of-service (more than 90 days) an underground, protected above-ground or above-ground flammable or combustible liquid tank.	\$50	30 days (after 90 days)
	8)	To change the type of contents stored in a flammable or combustible liquid tank to a material which poses a greater hazard than that for which the tank was designed and constructed	\$50	30 days
	9)	To manufacture, process, blend or refine flammable or combustible liquids	\$50	365 days
	10)	To engage in the dispensing of liquid fuels into the fuel tanks of motor vehicles at commercial, industrial, governmental, or manufacturing establishments (Gas Station).	\$50	365 days
	11)	To utilize a site for the dispensing of liquid fuels from tank vehicles into the fuel tanks of motor vehicles, marine craft, and other special equipment at commercial, industrial, governmental or manufacturing establishments.	\$50	365 days
Floor Finishing		To finish or surface a floor exceeding 350 sq. ft. using Class I or Class II liquids.	\$50	per site
Fruit and Crop Ripening		To operate a fruit or crop ripening facility or conduct a fruit-ripening process using ethylene gas	\$50	365 days
Fumigation and Insecticidal Fogging		To operate a business of fumigation or thermal insecticidal fogging and to maintain a room, vault, or chamber in which a toxic or flammable fumigant is used.	\$50	365 days
Hazardous Materials		To store, transport on site, dispense, use or handle hazardous materials in excess of the amounts listed in Table 105.6.21	\$50	365 days
HPM Facilities		To store, handle or use hazardous producing materials	\$50	365 days
High-Piled Storage		To use a building or portion thereof as a high-piled storage area exceeding 500 sq. ft.	\$50	365 days

Hot Work Operations	To conduct Hot Work Operations including cutting, welding, grinding, application of roof coverings with the use of open flame, or other operations determined by the Fire Marshal	\$50	60 days
Industrial Ovens	To operation of industrial ovens regulated by Chapter 30.	\$50	365 days
Lumber Yards and Woodworking Plants	To store or process lumber exceeding 100,000 board feet	\$50	365 days
Liquid- or Gas-fueled Vehicles in Assembly Buildings	To display, operate or demonstrate liquid- or gas-fueled vehicles or equipment in assembly buildings	\$50	30 days
Magnesium	To melt, cast, heat treat or grind more than 10 pounds of magnesium	\$50	365 days
Miscellaneous Combustible Storage	To store in any building or upon any premises in excess of 2,500 cubic feet gross volume	\$50	365 days
Open Burning	Kindling or maintaining of an open fire on any public street, alley, road, or other public or private ground approved under NC Fire Code and Town Code (Chapter 7 Fire Prevention & Protection/Article IA Regulations of Open Burning/Sections 7.7 - 7.10).	\$50 <u>(No charge for verified religious functions)</u>	1 day
Open Flames and Candles	To use open flames or candles in connection with assembly areas, dining areas of restaurants, or drinking establishments.	\$50	365 days
Organic Coatings	For any organic-coating manufacturing operation producing more than 1 gallon of an organic coating in one day.	\$50	365 days
Places of Assembly	Operate a place of assembly.	\$50	365 days
Private Fire Hydrants	Removal from service, use operation of private fire hydrant (per hydrant)	\$50	365 days
Pyroxylin Plastics	To store or handle more than 25 pounds of cellulose nitrate plastics	\$50	365 days
Refrigeration Equipment	To operate a mechanical refrigeration unit or system	\$50	365 days
Repair Garages	To operate a repair garage and automotive, marine and fleet motor fuel-dispensing facility.	\$50	365 days
Rooftop Heliports	To operate a rooftop heliport	\$50	365 days
Spraying or Dipping Operations	To conduct a spraying or dipping operation utilizing flammable or combustible liquids, or the application of combustible powders regulated by Chapter 24.	\$50	365 days
Storage of Scrap Tires and Tire Byproducts	To establish, conduct or maintain storage of scrap tires and tire byproducts that exceed 2500 cubic feet of total volume of scrap tires and for indoor storage of tires and tire byproducts.	\$50	365 days
Temporary Membrane Structures, Tents and Canopies	To operate an air-supported temporary membrane structure, or a temporary stage canopy having an area in excess of 400 square feet (37 in ²), or a tent having an area in excess of 800 square feet (74 m ²).	\$50 per tent	<u>90 days</u>
Tire-Rebuilding Plants	To operate and maintain a tire-rebuilding plant	\$50	365 days
Waste Handling	To operate wrecking yards, junk yards and waste material-handling facilities	\$50	365 days

Wood Products		To store chips, hogged material, lumber or plywood in excess of 200 cubic feet	\$50	365 days
CONSTRUCTION PERMITS		Description	2022-23 Permit Fee	Term
Note: All permit fees include plan review				
Note: Plans that are not code-compliant after second review, will incur an additional \$100.00/per review fee				
Beginning work, or maintaining an operation requiring any permits adopted by the Town of Chapel Hill without obtaining the proper permit(s), shall double the permit fee.				
A stop Work Order shall be issued until payment is received and permit issued.				
		Description	2022-23 Permit Fee	
Automatic & Manual Fire Extinguishing Systems		Installation, modification, or removal from service of a sprinkler, standpipe system or other Kitchen Suppression or Alternate Automatic Extinguishing System).		
		Sprinkler Systems		
	Tier 1	0 - 999 Square Feet	\$75	
	Tier 2	1,000 - 2,499 Square Feet	\$100	
	Tier 3	2,500 - 9,999 Square Feet	\$125	
	Tier 4	10,000 - 49,999 Square Feet	\$225	
	Tier 5	50,000 or more Square Feet	\$325	
		Standpipe Systems	\$300	
		Automatic Extinguishing Systems	\$50	
Battery Systems		Installation of stationary storage battery systems having a liquid capacity of more than 50 gallons.	\$200	
Compressed Gas Systems		Where the compressed gases in use or storage exceed the amounts listed in Table 105.6.9, a construction permit is required to install, repair damage to, abandon, remove, place temporarily out of service, or close or substantially modify a compressed gas system.	\$200	
Cryogenic Fluids		Installation of or alteration to outdoor stationary cryogenic fluid storage systems where the system capacity exceeds the amounts listed in Table 105.6.11. Maintenance performed in accordance with this code is not considered to be an alteration and does not require a construction permit.	\$200	
Fire Alarm and Detection Systems		Installation of or modification to emergency responder radio coverage systems and related equipment. Maintenance performed in accordance with this code is not considered to be a modification and does not require a construction permit.		
	Tier 1	0 - 999 Square Feet	\$75	
	Tier 2	1,000 - 2,499 Square Feet	\$100	
	Tier 3	2,500 - 9,999 Square Feet	\$125	
	Tier 4	10,000 - 49,999 Square Feet	\$225	
	Tier 5	50,000 or more Square Feet	\$325	
		ERRC Design Criteria Request	No Fee	
		ERRC Building Analysis Review	\$75/Building	
		ERRC Plan Review	\$100/Building	

Fire and Life Safety Plan Review		Review proposed new and existing architectural/building plans to confirm fire and life safety compliance within the built environment.	\$125	
Fire Pumps and Related Equipment		Installation of, or modification to fire pumps and related fuel tanks, jockey pumps, controllers, and generators. (Required in addition to other Automatic & Manual Fire Extinguishing System Construction Permits).	\$100	
Flammable and Combustible Liquid Facilities	1)	Install, repair or modify a pipeline for the transportation of flammable or combustible liquids.	\$150	
	2)	Install, construct or alter tank vehicles, equipment, tanks, plants, terminals, wells, fuel-dispensing stations, refineries, distilleries and similar facilities where flammable and combustible liquids are produced, transported, stored, dispensed, or used.	\$150	
	3)	Install, alter, remove, abandon, or otherwise dispose of a flammable or combustible liquid tank.	\$150	
Hazardous Materials Facilities		Install, repair damage to, abandon, remove, place temporarily out of service, or close or substantially modify a storage facility or other area regulated by Chapter 50 where the hazardous materials in use or storage exceed the amounts listed in Table 105.6.21.	\$300	
Industrial Ovens		Installation of industrial ovens as described in Chapter 30	\$300	
Private Fire Hydrants		To install, use or operate fire hydrants or valves intended for fire suppression purposes which are installed on water systems and accessible to a fire apparatus access road that is open to or generally used by the public.	\$50	
Site/Land Development		1 - 50,000 sq. ft.	\$75	
		>50,000 sq. ft.	\$150	

Fire Inspection Fees			
NC Required Inspections			
NC mandate that every structure be inspected for fire code violations on a			
Note: Identified violation(s) of the NC Fire Code, or condition(s) deemed			
Note: Issuance of three (3) consecutive re-inspection fees without compliance, the			
	Description	2022-23 Permit Fee	
Tier 1 inspection	0-999 sq. ft.	\$50	
Tier 2 inspection	1,000-2,499 sq. ft.	\$75	
Tier 3 inspection	2,500-9,999 sq.ft.	\$100	
Tier 4 inspection	10,000-49,999 sq.ft.	\$200	
Tier 5 inspection	50,000 sq. ft. and above	\$300	
	Any inspection scheduled after 5:00 p.m. Mon-Fri, weekends, or Town holiday will incur an additional inspection fee	\$75.00/hour	
Other Fees and Charges			
	Description	2022-23 Fee	
Fire Incident Report	Copy of Fire Incident Report	\$3/copy	
	Copy provided at no charge to Owner/Occupant		

Local Fire Training Fee		Annual fee assessed to Durham Community College for use of the training facilities for student fire training.	\$2,132	
<u>ACCIDENTAL ALARM ORDINANCE****</u>		<u>All fees pursuant to the Town Code for Accidental Alarm Management (Chapter 15, Article II).</u>		
Fire Penalties				
		Authorization to issue and receive settlement of Civil Penalties for any violation of NC Fire Code or Town Code as authorized by Town Ordinance. Specific penalty amounts are specified in Town Code.	See Town Code	
Construction Fire Inspection		Assess \$0.05/ square foot of buildings under construction to assist with cost of associated fire inspection visits required.	\$0	\$0.05/sq. foot

**PUBLIC LIBRARY
FEE SCHEDULE**

Library Card Fees Out of County	\$65.00 per year
Special Services Fees Copies/Prints	\$0.15 B/W, .50 color
Lost/ Damaged Items Books, Media, Equipment	Item price
Lost/Damaged Parts & Pieces Cases, Bags, Maps, Notes Book Kit Bags	\$5 \$15
Room Rentals Room rental fee, large rooms Room rental fee, small rooms Waste Management Fee Staff Support Fee	\$150 / hour \$75 / hour \$100 \$25 / hour
Merchandise Promotional products (bookmarks, reusable totes, coozies, etc) Children's Accessories (bibs, towels, etc) Tote Bag Beverage Container (travel mugs, water bottles, etc) Onesies Short-sleeve Tees Long-sleeve Tees Crew neck sweatshirts Hooded Sweatshirts	\$1 \$3 \$8 \$10 \$10 \$10 \$20 \$25 \$35

*Out of County fee waived for CHCCS, current Town of Chapel Hill Employees, and TOCH retirees with 5 or more years of service

Community Arts and Culture Division

Festival Vendor Application Fee	\$25
Festival Booth Space Fee	\$50 / \$100, based on event
Special Event Permit Fee	\$50
Merchandise Adult tees Long-sleeve adult tees Beverage Container (travel mugs, water bottles, etc)	\$10 \$20 \$10

PARKING SERVICES

FY23 FEE SCHEDULE: MONTHLY PARKING RENTAL RATES, METERED PARKING RATES AND MERCHANT DISCOUNT RATES

The Parking Services Department operates as an Enterprise Fund and will have flexibility to re-evaluate and adjust rates as indicated to assure the health of the parking fund and build a reserve for future parking-related projects with the approval of the Town Manager. This authority was granted to the Town Manager per resolution 2020-03-04 R-2.

Special Event Rate

For Special Events, a flat rate charge may be collected, amount not to exceed \$20.00.

Residential Parking Permits

Each residence, in a Town's Residential Parking Permit Zone, is eligible for up to five residential permits for a fee of \$25.00 per sticker per year (\$15.00 per sticker if purchased in January or later in the permit year) per permit for a residential parking permit. Guest permits are available at no cost to permanent residents. No fee if: Age 65 or older. Resident must provide proof of age.

7-Day Temporary Residential Parking Permits

Each address in a Town's Residential Parking Permit Zone is eligible for: Up to 5 temporary 7-day visitor parking permits for use for guests valid for residential parking areas only for a fee of \$10.00 per permit.

3-Day Temporary Visitor Parking Permits

Each address in a Town's Residential Parking Permit Zone would be eligible for: Up to 10 temporary 3-day visitor parking permits in a year for use by guests valid for residential parking areas only for a fee of \$2.00 per permit.

Annual In-Home Care Permits

Residents or family members who live in any of the Town's Residential Parking Permit Zones who have caregivers providing in-home care services may be eligible for In-Home Care Permits for a fee of \$10.00

Residential Business Parking Permit

Each address in a Town's Residential Parking Permit Zone are eligible for up to five parking permits for business use, such as Contractors, Realtors, or Non-Resident Landlords, for \$25.00 per month or \$150.00 per year and valid in the residential permit areas only.

Service Vehicle Parking Permit

This permit is for qualifying service vehicles (plumber, electrician, utility, etc.) for \$25.00 per month or \$150.00 per year and allows parking in the 2-hour metered areas.

Reserving a Parking Metered Space

Metered parking spaces may be reserved for contractors performing renovation or service work in the downtown area, when available. The fee is \$25.00 per meter per day.

Administrative Fee for Dumpster Storage

The fee for a dumpster permit shall be \$10.00, per day for on-street and off-street lots. In the event the dumpster is placed in a metered parking space, the fee shall include the additional cost of a daily reserved meter fee for each parking space used.

Mixed Use Parking Permits

Employers are eligible to purchase mixed use parking permits for use by employees in areas adjacent to mixed use developments for a fee of \$150.00 each per year.

Pay Station Codes

\$5 per pay station, per month for specialty codes

FY23 Parks and Recreation Fees

PASS AND VISIT FEES			
	YOUNG CHILDREN	YOUTH	ADULTS
	under 8 years	9-17 years (applies to age 18 with school ID)	18 years and older
	Fees	Fees	Fees
Basketball or Pickleball			
Annual Pass	No fee	No fee	\$60 R, \$96 NR
20 Visit Pass	N/A	N/A	\$30 R, \$48 NR
Single Admission	No fee	No fee	\$2 R, \$3 NR
Volleyball			
		16-17 years (applies to age 18 with school ID)	18 years and older
Annual Pass		No fee	\$90 R, \$120 NR
20 Visit Pass		N/A	\$45 R, \$60 NR
Single Admission		No fee	\$3 R, \$4 NR
Swimming			
	under 8 years	9-18 years	19 and older
Annual Pass	\$ 93 R, \$140 NR	\$ 140 R, \$234 NR	\$234 R, \$421 NR
Annual Pass - Family* (up to 4 people)			\$491 R, \$842 NR
Annual Pass - Family, (each additional person**)			\$70 R, \$105 NR
6-Month Pass	\$52 R, \$78 NR	\$78 R, \$130 NR	\$130 R, \$234 NR
6-Month Pass - Family (up to 4 people)			\$273 R, \$468 NR
6-Month Pass - Family (each additional person)			\$39 R, \$59 NR
20 Visit Pass	\$24 R, \$30 NR	\$36 R, \$60 NR	\$60 R, \$108 NR
10 visit pass, limited special offers times only	\$14 R, \$21 NR	\$21 R, \$35 NR	\$35 R, \$63 NR
10 Visit AquaFitness Pass			\$60 R, \$97 NR
20 Visit AquaFitness Pass			\$104 R, \$169 NR
Single Admission	\$2 R, \$3 NR	\$3 R, \$5 NR	\$5 R, \$9 NR
Single Aquafitness Visit			\$8 R, \$13 NR
*Family Package: may include grandparents, parents (single, married, registered as domestic partners and legal guardians), and their minor children who reside in the same household, up to 4 people.			
** Additional Family Member: families who qualify for a Family Pass Package may add additional family member minor children who live in the same household, as Additional Family Member for an additional fee.			

Climbing Wall	6-18 Years	19 and older
Annual Pass	N/A	\$145 R, \$240 NR
20 Visit Pass	\$36 R, \$54 NR	\$72 R, \$90 NR
Single Admission	\$ 3 R, \$4 NR	\$5 R, \$8 NR
Climbing Shoe Rental		\$3
Belay Certification Renewal		\$10 R, \$16 NR
Belay Instruction and Certification		\$30 R, \$45 NR
Replacement pass/fob	\$6	\$6
R = Resident, NR = Non-resident		
◇ Annual Passes are good for 1 year from the date of purchase		
◇ Six-month Passes are valid for 6 months from date of purchase		
◇ Visit passes - unused visits expire 1 year from date of purchase		
HOURLY RENTAL FEES		
	Resident Fee	Non-resident Fee
Security Deposit (per rental)	\$100 flat fee	\$100 flat fee
Additional Staff Fee, as necessary	\$18	\$18
Must extend 30 minutes past pool use time for aquatics staff, including desk attendents.		
Basketball Court - outdoor	\$20	\$32
Bocce Ball Court	\$10	\$16
Climbing Wall (plus hourly staff fee, see above)	\$60	\$96
Community Clay Studio	\$30	\$48
One bisque firing for special program	\$22	\$36
One glaze firing for special program	\$30	\$48
Fields - Baseball/Softball	\$45	\$72
Fields - Multipurpose		
Natural Turf - Youth Field	\$30	\$48
Natural Turf - Adult Field	\$45	\$72
Artificial Turf - Youth Field	\$70	\$112
Artificial Turf - Adult Field	\$90	\$144
Field Lights (per field, per hour)	\$20	\$20
Field Prep Fee (per field, per prep)	\$30	\$30
Gene Strowd Rose Garden	\$100 deposit	\$100 deposit
Gene Strowd Rose Garden Chair Rental	1-25 chairs - \$25	26-20 chairs - \$50
Gymnasiums	\$60	\$96
Hargraves Auditorium or Teen Center	\$40	\$64

Hockey Rink - Outdoor	\$30	\$48
140 West or James Wallace Parking Deck Plaza (special application required)	\$45	\$72
Kitchen	\$30	\$48
Meeting Rooms		
Individuals, for-profit, non-profit closed meetings	\$30	\$48
Non-profit - open meetings	no charge	no charge
*Additional staff fee for rentals outside normal operating hours still applies.		
Park Open Space - Program Use	\$20	\$32
Park Open Space - Event Use (per day) (additional charges may apply if other areas of the park are affected by the event)	\$200	\$360
Party Package for pool, gym or clay studio	\$218 R, \$384 NR	\$218 R, \$384 NR
Pickleball Court - outdoor	\$10	\$16
Pickleball Court Light Fee (per court, per hour)	\$5	\$5
Picnic Shelters (per 4-hour block)		
All shelters (except SCP large shelter)	\$35	\$35
Southern Community Park Large shelter	\$35	\$35
Use of a pig cooker at SCP large shelter	\$100 deposit	\$100 deposit
Meadowmont Park	no charge	no charge
Sand Volleyball Court (per court)	\$5	\$8
Tennis Courts (per court)	\$10	\$16
Tennis Court Lights (per court, per hour)	\$5	\$5
Teen Center	\$40	\$64
HOURLY RENTAL FEES - continued		
Pool Rental	Off-Peak Hours	Peak Hours
A.D. Clark Pool - Entire Pool	\$78 R, \$123 NR	\$90 R, \$144 NR
Community Center Pool - Per Lane/Block	\$12 R, \$20 NR	\$24 R, \$38 NR
Community Center Pool - Entire Pool	\$90 R, \$144 NR	\$120 R, \$192 NR
Homestead LAP Pool - Per Lane/Block	\$12 R, \$20 NR	\$24 R, \$38 NR
Homestead LAP Pool - Entire Pool	\$132 R, \$211 NR	\$180 R, \$288 NR
Homestead Program Pool - Per Lane/Block	\$12 R, \$20 NR	\$24 R, \$38 NR
Homestead Program Pool - Entire Pool	\$120 R, \$192 NR	\$132 R, \$211 NR

MISCELLANEOUS FEES	
Batting Cage Fee (per token = 25 pitches)	\$2 R, \$3 NR
Cancellation Fee (program and rental)	\$10
Returned check fee	\$25
Clay for use in Community Clay Studio	
25-lb bag of recycled clay	cost of new clay market rate + 50%
25-lb bag of new clay	cost of new clay market rate +100%
MUNICIPAL CEMETERY FEES	
Plot Staking	\$25
Monument Staking	\$15
Regular Plot for Residents	\$750
Regular Plot for Non-Residents	\$1,500
Cremation Plot for Residents	\$350
Cremation Plot for Non-Residents	\$700
Columbarium, per compartment	\$1,100
Interment Fee* for Residents/Non-residents	\$450
* Interment fee is required only if burial vault or grave liner is not used in accordance with Chapter 6 of the Town Code of Ordinances.	
PLANNING AND DEVELOPMENT	
Recreation Area Multiplier	\$1.55
Payment in Lieu of Recreation Space (per square foot)	\$12
Payment in Lieu of Outdoor Amenity Space, per square foot (Ephesus/Fordham Area)*	\$12
* The mandatory 50% payment in lieu for Recreation Space within the Ephesus/Fordham Form Based Code District may be waived for the portion of any new permanent residential development in which documentation is provided that guarantees that 100% of the dwelling units will be occupied by low-moderate income households (80% of area median income as defined by the Department of Housing and Urban Development) for a minimum of twenty years.	

FY 23 PLANNING FEES

The Manager may negotiate and charge a fee or reimbursement for plan review, amendment or other types of applications not listed in this schedules adopted by the Town Council based on a determination that such fees and reimbursements are reasonably calculated to reflect the cost of Town services associated with said review.	
Zoning Compliance Permit (ZCP)	
Staff Review/Administrative Approval (modified fee)	\$530 + \$15/100 SF
Final Plans for Zoning Compliance Permit Issuance	
--Special Use Permit	\$4,290 + \$15/100 SF
--Major Subdivision	\$4,290 + \$30/100 SF
--Minor Subdivision	\$530 + \$15/100 SF
--Site Plan Review	\$1,265 + \$15/100 SF
--Conditional Zoning District	\$4,290 + \$15/100 SF
Resubmittal Fee After 3rd Round of Review	\$1,385
Revised Final Plans/Revised Phasing Plan	\$1,385
RCD Encroachment	\$530
RCD Exemption approval	\$65
Single-Family/Two-Family Staff Review/ Administrative Approval	\$265
Single-Family/Two-Family "Express" Staff Review/ Administrative Approval	\$130
Combined Single-Family/Two-Family ZCP and RCD Encroachment	\$530
Short-Term Rental Zoning Compliance Permit (STR ZCP)	\$150
Special Events Permit [for-profit events]	\$130
Indoor Pop-Up Event Permit	\$145
Home Occupation	\$130
Tree Canopy Mitigation Fee	\$550 per tree
Food Truck ZCP - Property Owner	\$130
Food truck ZCP - Vendor	\$130
Exceptions to Front Yard Parking Requirements	\$130
Wireless Communications Facility:	
	\$105 per facility for the first 5 facilities in a single application plus \$50 per each additional facility up to a total of 25 in a consolidated application
Small Wireless Facility in Town Right-of-Way or outside Town Right-of-Way on property other than Single-Family Residential property, Staff Review	
Small Wireless Facility in Town Right-of-Way or outside Town Right-of-Way on property other than Single-Family Residential property, Consultant Review	\$525 per application
Co-Location or Modification, Streamlined Review (eligible facility), Consultant Review	\$1,050
Co-Location, Modifications, and Upgrades (non-eligible facility), Site Review and Report, Consultant Review	\$4,200
All Others, Consultant Review	\$6,825
Form District Permit	\$12,845 + \$50/100 SF
Form District Permit Modification	\$1,325
Special Appearance District Certificate of Appropriateness and Modifications	\$440
Subdivisions & Plats	
Preliminary Plat	\$8,585 + \$315/lot
Re-approval (Preliminary Plat)	\$1,325
Minor Subdivision	\$990 + \$65/lot
Re-approval (Minor subdivision)	\$265
Final Plat	\$660 + \$60/lot
Recombination Plat or Exempt Plat	\$265
Historic District Commission	
Combined Certificate of Appropriateness and Zoning Compliance Permit Application	\$570
Building Elevations, Lighting Plan, or Alternative Buffer	\$435
Concept Plan Review	\$400
Community Design Commission (CDC)	
Building Elevations, Lighting Plan, or Alternative Buffer	\$435
Concept Plan Review	\$400

Sign Plan Review	
Individual Sign or Individual Sign Compliant with Approved Unified Sign Plan (single business on one zoning lot)	\$200
Unified Sign Plan (multiple businesses on one zoning lot)	\$330
Site Plan Review	
Site Plan Review and modification* Extension, Renewal, Minor Change	\$3,300 + \$30/100 SF \$990
Project Name Change	\$120
Northside and Pine Knolls Neighborhood Conservation Districts (Single Family and Two-Family applications only):	
Combined Single-family Site Plan Review and ZCP Application	\$265
Site Plan for parking exemption/exception	\$130
Special Use Permits	
Special Use Permit or Modification* Single Family Development unrestricted by Floor Area	\$8,585 + \$30/100 SF* \$8,585 + \$315/unit
Extension, Renewal, Minor Change, Abandonment, or Revocation	\$1,325
Extraction of Earth Products, Landfill, Cemetery, Park/Ride Terminal	\$8,585 + \$315/unit
Radio/TV Transmitting/Receiving Facility	\$8,585
All Master Land Use Plans*	
Abandonment, Revocation	\$8,585 + \$30/100 SF* \$1,325
Zoning Map and Text Amendments (Including Joint Planning Areas & Neighborhood Conservation District Overlays)	
Conditional Zoning	\$1,325 + \$65/acre*** \$9,015 + \$30/100 SF*
Minor Change to Conditional Zoning	\$1,390
Research (involving one or more of the following: Zoning Opinion Letter, Paper archives, micro fiche, Zoning Project case history or code compliance history)	\$65/hr
Plan Amendments	
Proposed revision to adopted Transportation Plan or Transportation Facility Design	\$1,325
Development Plan (OI-4)	
Site Development Permit	\$6,945 + \$130/acre \$5,290
Development Agreement	
Development Agreement Minor Change	To be negotiated \$1,390
Site Development Permit - Carolina North	\$5,290
Development Agreement <i>Compliance</i> Permit - All Others	\$12,840 + \$50/100 SF
Consultant Support and Analysis	Actual cost of service
Board of Adjustment	
Variance or Appeals	\$660
Application Revision, Requiring Additional Review, After Staff Memorandum is Written**	50% of original application fee
Development Notification Postcards	
Postcards for Development Notifications per postcard	\$1

Notes:

All review fees are doubled if the activity or site change requested has already occurred or been started unless the Manager or their designee find that there are mitigating circumstances. Revisions requested more than 30 days after a permit is issued require a new permit application and fee.

Fees are waived for Town of Chapel Hill development applications.

The Town agrees to waive certain development-related fees related only for the affordable units for projects that provide permanently affordable home-ownership opportunities or provide rental housing that remains affordable for at least 20 years. Affordable is defined as being sold or rented to households earning less than 120% of the Area Median Income as determined and approved by the Town. In this case, otherwise applicable Town application fees, building permit fees, plan review fees, inspection fees, and such other development fees and costs which would otherwise be due shall be waived for the affordable dwelling units identified in the application. To qualify for the waiver for rental development, applicants and Town staff must agree on how affordability will be maintained for a 20-year period and an agreement may be required.

If application fees are paid for a proposed development that subsequently converts existing approved market rate units to affordable dwelling units in the development plan, a pro rata refund of any such fees that have already been paid shall be provided to the applicant upon approval of the development to reflect the conversion to affordable units. The refunded amount will be determined by the percentage of the affordable units within the development. In addition, any existing development that receives approval to construct new affordable units may have the fees waived for the new affordable units. This refund or waiver does not apply to any market rate units, or to any fees associated with water, wastewater, or stormwater.

Fees are also waived for service projects by non-profits, for a non-profit organization.

The maximum application fee for any Zoning Map Amendment, Subdivision, or Zoning Compliance Permit application shall be \$82,000.00.

In the case of a Master Plan and a Special Use Permit submitted concurrently, the application fee shall be waived for the application with the smaller fee.

Potential refunds of fees for projects that are withdrawn prior to completing the development review process shall be issued consistent with the Planning Department's adopted internal refund policy.

* based on square footage of floor area

** Changes to an active application, post-completion of an advisory board or council memorandum that results in additional staff review and revisions to staff memorandum.

*** Neighborhood Conservation Districts fees are waived for areas in which it is documented that 51% of the property owners are low to moderate income as defined by HUD.

Ordinances and Reports	
Printing Land Use Management Ordinance, Comprehensive Plan, Data Book, Design Guidelines, Historic District Guidelines Handbook, Bicycle Plan, or Pedestrian Plan (per page).	\$0.10 - B&W / \$0.15 - Color
Maps and other documents	
Copying and Printing per page / smaller format (less than 11 x 17)	\$0.10 - B&W / \$0.15 - Color
Copying and Printing per page / larger format (larger than 11 x 17)	\$1/page - B&W / \$2/page - Color
Miscellaneous Scanning, Printing, and Copying / smaller format (less than 11 x 17)	\$0.10 - B&W / \$0.15 - Color
Professional Training Registration (per session)	\$10

<u>GIS Division</u>	
GIS Street or Zoning Map	\$ 25/EA
Aerial Photos	\$ 30/EA
Specialty Maps and GIS Data Services	\$ 70/HR*
* One Hour Minimum	

POLICE DEPARTMENT

FY23 FEE SCHEDULE

	Fee
Police Incident Reports	0-10 pages = \$0; >10 pages = \$.10 per page
Fingerprints	\$15 for 3 cards
Local Criminal History Checks	\$15 per person
Mailing/Fax Fees	\$1 per document
Noise Permits	\$50 each
Solicitation Permits Application Fee	\$10 per person
Solicitation Permits	\$10 each
Permit Renewals	\$5 each
Precious Metal Business Permits	\$180 each
Precious Metal/Taxi Driver Fingerprints	\$38 each
Taxi Driver Permits	\$10 each/2-yr renewal
Taxi Inspection Fees	\$10 per vehicle
Taxi Driver Application Fee	\$10 per driver
Taxi Franchise Application	\$10 per franchise
Taxi Franchise Renewal	\$5 per franchise
Tow Fee	\$135 for a basic tow Additional \$50 winch fee
Towed Vehicle Storage (0 - 24 hours)	\$5 for the first 24 hours, \$10 for each additional 24 hours
Towed Vehicle Storage (24+ hours)	\$10 per day
Returned Check Charge	\$25 per check
Unregistered False Alarm	\$100
False Alarm Activation 1-3	No Charge
False Alarm Activation 4-5	\$100 per activation
False Alarm Activation 6-7	\$200 per activation
False Alarm Activation 8-9	\$300 per activation
False Alarm Activation 10 or more	\$500 per activation
Available to Court Officials Only	
NC Driving History Checks	\$15 per subject
NC Criminal History Checks	\$15 per subject
Vehicle request for secondary employment	\$25 per hour

FY23 FEE SCHEDULE**STREETS DIVISION**

The following policy and fee structure is consistent with ITRE's recommendations.

1. Each utility and private contractor is responsible for street repairs to be made either by the respective utility or its choice from a list of approved sub-contractors.
2. The Town retains the responsibility for inspections of repairs to cuts.

*Fee Assessments:**

- a) \$120 per square yard for each of the first ten square yards
- b) \$50 per square yard for each subsequent square yard
- c) \$30 per square yard for work on gravel roads and/or borings/jackings (open trench/pit area) and/or other work outside the roadway, but within the right-of-way

*These fees are doubled if the street has been resurfaced within the previous two years, or increased one and one half times if the street has been resurfaced within two plus to five years. In addition, on major projects for which the road is severely impacted, especially streets recently resurfaced, the Town may require restoration to include street milling and a complete overlay. Fees may be waived when milling and/or a complete overlay are required.

Penalties:

- a) \$150 for failure to obtain a permit prior to starting the project (not applicable for emergency street cuts).
- b) \$150 for failure to repair initial street cut within thirty calendar days.
- c) \$150 for failure to undertake warranty repair within fourteen calendar days.

The Town requires a 5-year warranty on all cuts and restoration work performed by the utility company or private contractor.

Additional sub-base and pavement restoration work required (beyond the area of trench repair) as a result of a major failure (i.e., water line main break) will be billed at the stated square yard rates above, or \$625 (whichever is the lesser of the two amounts).

This policy referenced above has been phased in since FY 2000-2001.

SOLID WASTE SERVICES DIVISION

Basic Service (Front Load): There is one exception to the below fees. Multifamily developments are eligible for one 8-yard dumpster collection per 25 units per week at no charge.

Delinquent accounts are subject to cancellation of service.

Annual Costs

Container Size	1x/week	2x/week	3x/week	4x/week	5x/week	Extra Lift
2 yard	\$690.00	\$1,380.00	\$2,070.00	\$2,760.00	\$3,450.00	\$50 Flat Rate
4 yard	\$800.00	\$1,600.00	\$2,400.00	\$3,200.00	\$4,000.00	
6 yard	\$920.00	\$1,860.00	\$2,780.00	\$3,600.00	\$4,500.00	
8 yard	\$1,095.00	\$2,035.00	\$3,050.00	\$4,060.00	\$5,070.00	

Commercial Roll-Card Service: Entities that do not qualify for front loading commercial collection service due to space restrictions and safety concerns may qualify for service via roll carts. The basic fee provides up to three carts per entity for collection once per week. Additional carts can be provided and serviced for a fee.

Delinquent accounts are subject to cancellation of service.

Annual Costs

Container	Fee
Up to 3 Roll Carts, 1x/week	\$275
Each Additional Container	\$60

Collection of White Goods, Bulky Items and Electronics: This fee is for collection of large household items and electronic equipment (e.g., refrigerators, stoves, chairs, tables, sofas, televisions, computers, cell phones, printers, etc.). Residents shall contact the Public Works Department to request pickup and make payment prior to collection. The service fee is a minimum of \$15 for up to three items, and \$5 for each additional item.

***If deemed appropriate by the Public Works Director or their designee due to special circumstances (not routine household garbage collection service), this fee may apply to the special collection of extra bags of trash (ie, cleaning out, moving, etc.). Each bag of trash will be considered a separate item. The minimum fee for collection is \$15 for up to three bags, and \$5 for each additional bag.*

Up to Three Items*	\$15
Each Additional Item	\$5
*\$15 Minimum for Each Collection	

Compactor Service (annualized cost): Each business in the downtown compactor district is subject to compactor service fees. The fees are based on volume of generation. Examples of high volume generators may include: restaurants and bars with onsite dining, movie theaters, and drug stores. Examples of medium volume generators may include: ice cream and coffee shops. Examples of low volume generators may include: small clothing stores, small retail stores, or small business offices.

Delinquent accounts are subject to cancellation of service.

Annual Costs

High Volume	\$1,500
Medium Volume	\$750
Low Volume	\$280

Roll-Off Container Rental (Yard Waste Only)

Weekday (per day)	\$35
Weekend	\$60

Curbside Collection of Large Yard Waste Piles: A per truckload fee is charged for the collection of loose piles of yard waste that exceed three (3) cubic yards in size (e.g., greater than a small pickup truckload). Residents must contact the Town to pay and make arrangements for the collection of yard waste piles in excess of three (3) cubic yards. Town staff will make the final determination of the size of the pile and the required number of truckloads to remove it.

Collection of Large Yard Waste Piles

Per Truckload	\$125
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Yard Waste Container

Each Container	\$50
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Single-family residences are eligible for one Town provided household waste roll cart at no charge. A fee is charged for each additional roll cart.

Extra Household Waste Container

Each Container	\$60
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Traffic Engineering Permits	Permit Fee
Work Zone Traffic Control Permits	
1) Lane/Sidewalk Closure Permits	
Permit Issuance Fee	\$150
Inspection Fee*	\$50
2) Street Closure Permits	
Permit Issuance Fee	\$200
Inspection Fee*	\$50
Traffic Impact Analysis Exemption Permit	
1) Residential with less than 10 lots	\$100
2) Residential with more than 10 lots	\$200
3) Commercial and other	\$350

*Fee charged each day inspections are conducted (regardless of number of inspections per day). Typically, inspections occur 2-3 days per week for large scale projects (may be more or less depending on need as determined by staff).

ENGINEERING AND DESIGN SERVICES DIVISION

The following fees would apply to full or partial street construction and/or improvements and/or utility service improvements.

Public Roadway & Fire Lanes	\$ 2.10/LF/Travel Lane
Sidewalks/Trails/Paths	\$ 0.55/LF
Water Lines within the Public Right-of-Way	\$ 1.05/LF
Private Fire Line	\$ 1.05/LF
Sanitary Sewer Lines within the Public Right-of-Way	\$ 1.05/LF
Storm Sewer Lines (12" or greater)	\$ 1.05/LF
Storm Sewer Structures	\$ 52.50/EA
Stormwater Control Facilities	\$ 525/EA
Urban Streetscape (including sidewalk, ductbank and amenities)	\$ 1.85/LF
Driveway Inspection (including removal of existing curb/gutter, excavation, forming and concrete placement for new driveway entrance and apron.	\$ 105/EA
Driveway Re-Inspection	\$ 52.50/EA

Note: Fees charged to UNC, UNC Hospitals, OWASA, and Chapel Hill-Carrboro City Schools are related to work performed within the right-of-way and/or to be maintained by the Town.

Engineering Construction Permit Application Review	\$450
Engineering Plan Review Fee for Single Family Subdivision	
Base Fee	\$ 525 Lump Sum
Plus Per Property Lot Fee	\$ 105/EA
Engineering Plan Review Fee for Multi-Family, Institutional, Office or Commercial	
Base Fee	\$ 525 Lump Sum
Plus Disturbed Acreage Fee (no rounding).....	\$ 370/Acre*
* One Acre Minimum	
Engineering Asbuilt Review Fee for Single Family Subdivision	
Base Fee	\$100
Plus Per SCM Fee	\$250
Engineering Asbuilt Review Fee for Multi-Family, Institutional, Office or Commercial	
Base Fee	\$150
Plus Per SCM Fee (no rounding).....	\$250
Commercial Right-Of-Way Closure Request Fee	\$1,000
Residential Right-Of-Way Closure Request Fee	\$450

CHAPEL HILL TRANSIT

GENERAL POLICY AND FY23 FEE SCHEDULE

The following criteria are intended to guide the Manager in recommending fee structures, and also to inform the public of those factors considered in that process.

The Transit services operated by the Town of Chapel Hill are being provided through the cooperation of the Town of Chapel Hill, the Town of Carrboro, the University of North Carolina, the State of North Carolina and the United States Government. Therefore, the establishment of user fees will be consistent with both State and Federal regulations, and locally they will be developed in consultation with the Town of Carrboro and the University of North Carolina.

Fees should be established in accordance with the Town's Fiscal Year Cycle.

The Manager and the Transit Director will annually review the User Fees Policy and structure and recommend changes to the Town Council as part of the annual budget process.

FARE SCHEDULE

Fixed Route Service	Fare Free
Special Service Certified E-Z Rider Customers	Fare Free
Tar Heel Express Park and Ride Lot Fares	\$3.00 One Way, \$5.00 Round Trip

PARK AND RIDE

Parking fee at Town-operated Park and Ride lots. Overnight parking is not permitted.	
Daily	\$2
Monthly Pass	\$21
Annual Pass	\$250

TRANSIT ADVERTISING FEE SCHEDULE AND POLICY

Transit services in Chapel Hill are provided through a partnership of Chapel Hill, Carrboro and the University of North Carolina. Chapel Hill Transit offers transit advertising as a source of revenue to help offset system operating costs. Advertising is sold on the exterior and interior of all fixed route buses. The following are advertising rates established for Chapel Hill Transit. All transit advertising is subject to the polices and standards for advertising, adopted by the Chapel Hill Town Council on December 3, 2012. For additional details on these policies and standards, please visit: http://chapelhill.granicus.com/MetaViewer.php?view_id=7&clip_id=1689&meta_id=75863

TRANSIT ADVERTISING RATES

Bus Wraps	Monthly Rate	Min Contract
Full Wrap	\$1,500	12 months

Exterior Bus Signage: Kings (144"x30")

Number of Displays	12 Months Each Sign	6 Months Each Sign	1-3 Months Each Sign
1-10	\$180	\$200	\$220
11-20	\$175	\$195	\$215
21 & up	\$170	\$190	\$210

Queens (108"x30")

Number of Displays	12 Months Each Sign	6 Months Each Sign	1-3 Months Each Sign
1-10	\$162	\$180	\$198
11-20	\$157	\$175	\$193
21 & up	\$152	\$170	\$188

Taillight

Number of Displays	12 Months Each Sign	6 Months Each Sign	1-3 Months Each Sign
1-10	\$163	\$170	\$187
11-20	\$158	\$165	\$182
21 & up	\$152	\$160	\$177

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$3,500	\$850	\$750	\$650

King Kong

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$1,500	\$700	\$600	\$500

Super King

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$400	\$400	\$350	\$300

Super Queen

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$300	\$400	\$350	\$300

Tail Wrap

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$600	\$550	\$450	\$350

Super Tail

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$250	\$350	\$300	\$250

Headliner Add On

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$300	\$150	\$150	\$150

Interior Bus Signage**Half Fleet (50 Buses) 11X28**

Production Cost Per Sign	1-6 Months Each Sign	7+ Months Each Sign
\$15	\$400	\$350

Half Fleet (50 Buses) 11X56

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign
\$20	\$800	\$700

Full Fleet (95 Buses) 11X28

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign
\$15	\$570	\$475

Full Fleet (95 Buses) 11X56

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign
\$20	\$1,140	\$950

Ceiling Wraps 24X48

Production Cost Per Sign	1 Month Each Sign	6 Months Each Sign	13 Months Each Sign
\$75	NA	\$75	\$50

BUS CARD ADVERTISING RATES

Up to \$10 per card.

Rates for bus cards are \$2.15/card per month for non profits / governments.

*Non-Profit Organization Advertising: ***

Rates above, less a 50% discount.

*Public Service Announcements: ****

Public Service Announcements will be placed for a maximum of 90 days for a \$30 service fee, as space is available.

Ad Replacement Fee:

Any advertiser who has paid for an ongoing ad may replace the ad copy for a service fee of \$30. New ads should be delivered to Chapel Hill Transit.

Rates for bus cards are \$2.15/card per month for non profits / governments.

**Non-Profit Organizations are those that are legally recognized as 501 c 3 Non-Profit Corporations and whose advertisements are placed to encourage the use of that organization's goods and services. Social service agencies are not considered to be Non-Profit Organizations if they charge for their services. This includes religious groups and partisan political organizations.

***Public Service Announcements (PSAs) are those placed to promote services that will benefit the general public. Notices for public meetings, voter registration and charity drives are typical Public Service Announcements. Public agencies and charitable organizations are examples of groups eligible to place PSAs.

The advertising contractor for the Town of Chapel Hill is authorized to make adjustments (up to 50% of prices listed above) to the listed advertising price schedule in an effort to make pricing competitive and maximize revenue to the Town.

A RESOLUTION APPROVING 2022-23 FUNDING FOR PERFORMANCE AGREEMENTS WITH HUMAN SERVICE AGENCIES AS RECOMMENDED BY THE HUMAN SERVICES ADVISORY BOARD (2022-06-08/R-8)

WHEREAS, in 1981 the Council established the Human Services Program to enter into performance agreements with agencies that provide services that address the community's human service needs; and

WHEREAS, the charge of the Human Services Advisory Board is to: assess human services needs to Chapel Hill residents, identify service gaps and ways to fill them, and advise the Town Council on funding needs at the beginning of every budget cycle.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby approves the following allocations for performance agreements with human service agencies in 2022-23 to address the community's human service needs identified by the Human Services Advisory Board:

Agency	Funding Amount
Chapel Hill Carrboro Public School Foundation	\$17,000
Charles House Association	\$4,000
Child Care Services Association	\$12,500
Club Nova Community, Inc.	\$25,600
Compass Center for Women and Families	\$28,600
Dispute Settlement Center of Orange County	\$12,600
E3 Camp	\$1,000
El Centro Hispano	\$33,300
El Futuro, Inc.	\$13,600
EmPOWERment Inc.	\$40,000
Family Reading Partners	\$4,000
Farmer Foodshare	\$6,500
Freedom House Recovery Center	\$20,100
Hope Renovations	\$19,000
IFC for Social Services	\$29,000
KidSCOpe	\$15,000
Meals on Wheels Orange County	\$38,000
OE Enterprises, Inc.	\$4,500

Orange County Dept. on Aging	\$14,500
Orange County Literacy	\$14,600
Orange County Living Wage	\$3,000
Orange County Partnership for Young Children	\$5,000
Oxford House	\$9,000
Pee Wee Homes	\$6,000
Piedmont Health Services	\$9,000
Planned Parenthood South Atlantic	\$3,600
PORCH	\$18,600
Refugee Community Partnership	\$17,000
RENA-Rogers Eubanks Neighborhood Assoc.	\$10,000
Senior Care of Orange	\$2,800
TABLE	\$17,000
The ARC of the Triangle	\$12,800
The Community Empowerment Fund	\$21,800
The Exchange Club	\$16,400
The Institute of Art Therapy	\$8,400
The Marion Cheek Jackson Center	\$9,500
Transplanting Traditions	\$7,000
Triangle Bike Works	\$2,000
Voices Together	\$3,200
Volunteers for Youth, Inc.	\$11,000
Total	\$546,500

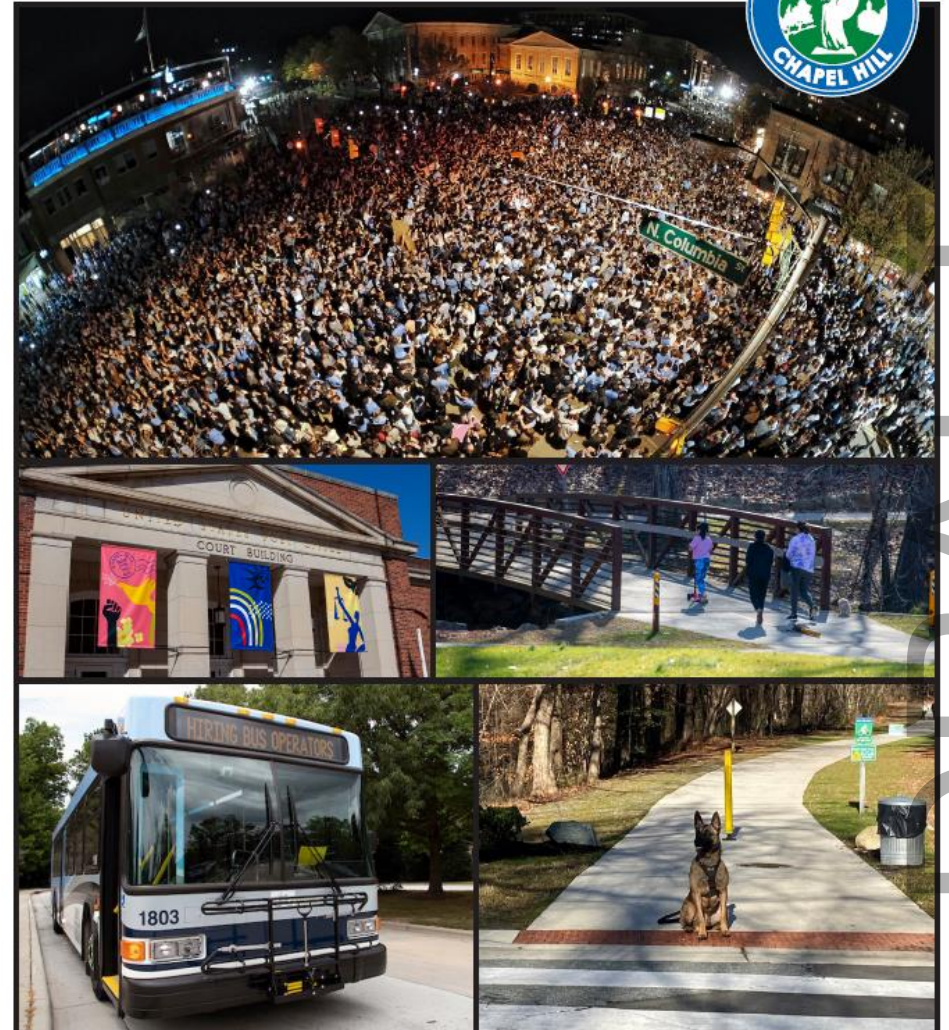
This 8th day of June, 2022.

TOWN OF CHAPEL HILL

2022-23 BUDGET ADOPTION

JUNE 8, 2022

Town of Chapel Hill
North Carolina



Manager's Recommended Budget
FY 2022-23

DRAFT

FY 2022-23 Budget Adoption

Recommendation

Enact Ordinance establishing the Town budget for the fiscal year beginning July 1, 2022.

Adopt Resolution approving funding for Human Services agencies as recommended by the Human Services Advisory Board for FY 2022-23.

DRAFT

FY 2022-23 Budget Takeaways

Budget Takeaways:

- Continued Recovery and Restoration from COVID-19 pandemic
- Support Council's strategic goals and priorities
- Property tax rate of 52.2 cents (0.8 cent increase for Transit)
- Small number of fee schedule changes to keep up with cost of providing services
- Tiered 4-5% of market pay adjustment for employees
- No significant changes to core operational services
- Focus on climate action, affordable housing & homelessness initiatives, social equity and infrastructure

DRAFT

Changes from Recommended Budget

• Added Funding for Interfaith Council	258,000
• Added Funding for Partnership to End Homelessness – SOHRAD	126,000
• Reduced Additional Funding for Vehicle Replacement	(95,600)
• Added Funding for Cultural Arts	20,000
• Reduced Additional Funding for Cost of Services Increases	(40,000)
• Reduced New Funding for Phase 2 pay study implementation	(41,995)
• Added Economic Development Admin Coordinator position	81,995
• Removed Compensation Analyst position	(58,039)
• New Planning Grants in Grants Fund	493,903
• Additional Funding from Friends of the Library	25,000
• 0.3 penny change (51.9 to 52.2) in Transit Fund tax rate	1,194,708

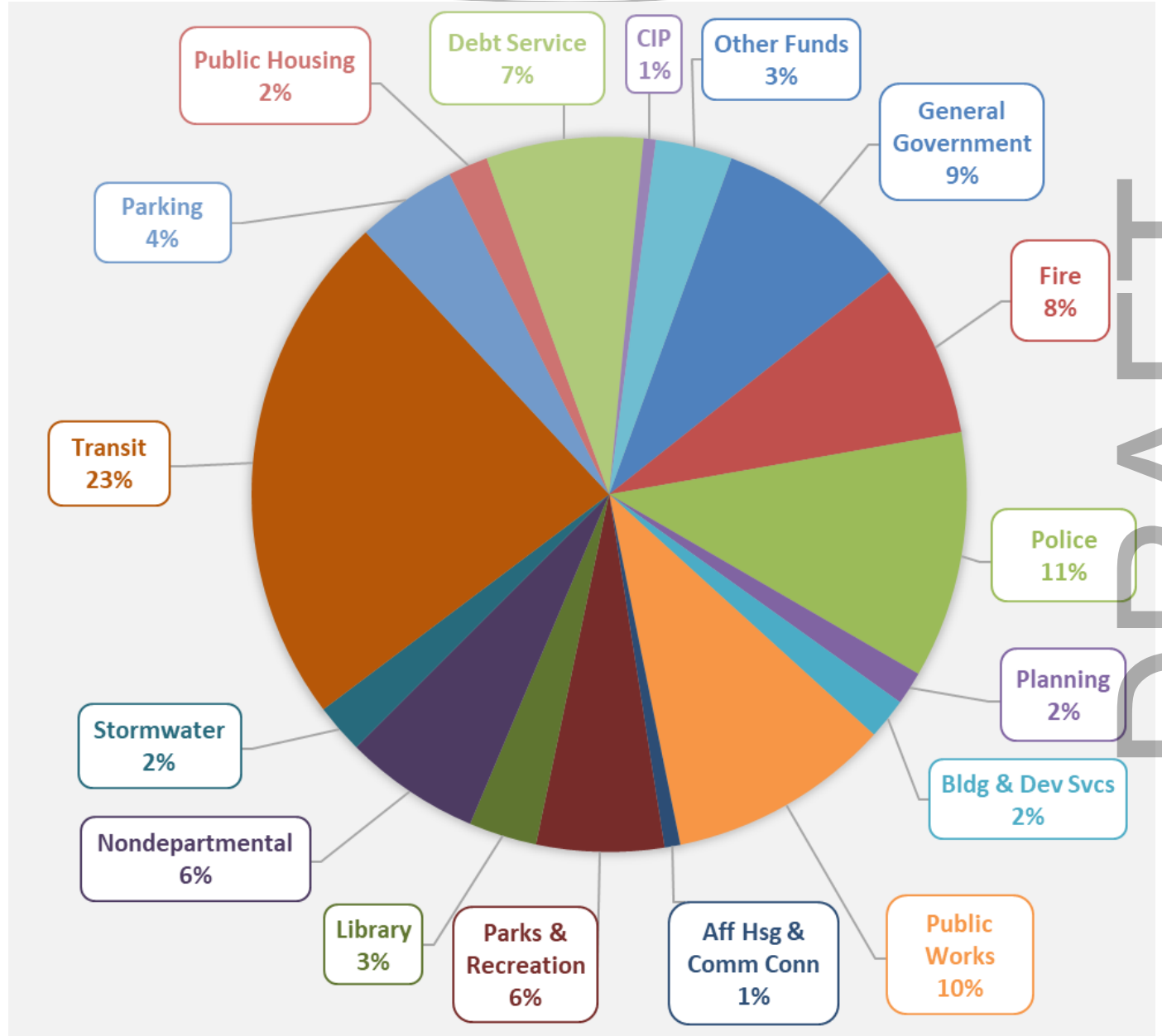
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Final Budget Totals

Fund	FY 2023 Appropriations	Less Transfers	FY 2023 Net Appropriations
General Fund	\$ 76,689,000	\$ 2,542,622	\$ 74,146,378
Transit Fund	31,454,363	-	31,454,363
Stormwater Fund	3,010,000	-	3,010,000
Parking Fund	6,130,626	-	6,130,626
Housing Fund	2,416,924	-	2,416,924
Debt Service Fund	9,570,927	2,710,026	6,860,901
Capital Projects Fund	741,241	-	741,241
Other Funds	4,664,569	45,000	4,619,569
Total	\$ 134,677,650	\$ 5,297,648	\$ 129,380,002

DRAFT

Total FY 2023 Budget Allocation



DRAFT

FY 2023 Funding Initiatives

• Climate Action Plan	80,000
• Downtown Improvements	100,000
• Bike/Ped Safety & Vision Zero	125,000
• Human Services Program	27,325
• Afford Housing Performance Agrmts	329,000
• Cultural Arts	40,000
• New Positions	379,496
• Class & Comp Compression Reserve	158,005
• Cost of Service increases	160,000
• Parks Maintenance	50,000
• Cybersecurity	98,000

DRAFT

5-Year Budget Strategy & Next Steps

Strategy to ramp up the Town's investments in:

- Environmental Resiliency
- Infrastructure
- Maintenance
- Vehicles
- Human Capital
- Affordable Housing & Human Services
- Social Equity
- Transportation

Return to Council in the fall to continue with an in-depth discussion of the 5-year budget strategy and with a goal of developing a funding strategy to address the Town's outstanding needs.

DRAFT

FY 2022-23 Budget Adoption

Recommendation

Enact Ordinance establishing the Town budget for the fiscal year beginning July 1, 2022.

Adopt Resolution approving funding for Human Services agencies as recommended by the Human Services Advisory Board for FY 2022-23.

DRAFT



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 14., File #: [22-0510], Version: 1

Meeting Date: 6/8/2022

Consider Approving Town Use of ARPA Funds and Provide Feedback on Community Partner Application Process.

Staff:

Maurice Jones, Town Manager
Sarah Poulton, Senior Project Manager
Amy Oland, Director

Department:

Town Manager
Town Manager's Office
Business Management

Overview: Staff will review the funding allocation plan that you saw on May 11 and gave general consent to move forward using American Rescue Plan Act (ARPA) funding; revisit the various Town department project categories noting which projects received broad support on May 11; and share what is next both with Town department projects and with the community partner application for the summer.



Recommendation(s):

That the Council share feedback on the community partner application process and enact a grant project ordinance so Town departments can begin using \$3.15M of ARPA funding.

Decision Points:

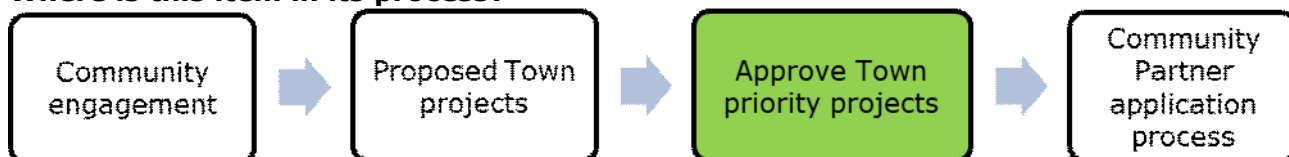
- Approval of \$3.15M of ARPA funding for four Town department projects:
 - Cedar Falls Artificial Turf (\$1,150,000)
 - E. Morgan Creek Trail Design (\$400,000)
 - Homestead Aquatic Center HVAC (\$1,200,000)
 - Library Audio-Visual System Replacement (\$300,000)
- Provide input on community partner application process

Key Issues:

- Review Town department projects, reflecting what staff heard from Council at their May 11 Work Session
- Identify high priority Town projects totaling \$3,150,000
- Approval of next \$3,150,000 of ARPA funding for Town projects through grant project ordinance
- Community partner application process including potential training to be provided by DEI Office, community review committee, equity and inclusion, and project scoring matrix.

Fiscal Impact/Resources: Allocation of \$3,150,000 towards Town department projects

Where is this item in its process?



Item #: 14., **File #:** [22-0510], **Version:** 1

Meeting Date: 6/8/2022



Attachments:

- Grant Project Ordinance
- Draft Staff Presentation

AN ORDINANCE TO AMEND THE AMERICAN RESCUE PLAN ACT FUND (2022-06-08/O-10)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, that the American Rescue Plan Fund Ordinance provide funding for projects related to recovery from the COVID-19 pandemic funded from the U.S. Treasury is hereby amended to read as follows:

"SECTION I

The projects as authorized by the Town Council include various recovery and economic projects funded from the American Rescue Plan Act, for a variety of projects related to recovery from the COVID-19 pandemic.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these projects within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town to complete the project are hereby amended as follows:

	Current Budget	Revised Budget
American Rescue Plan Act	\$ 5,334,248	\$ 5,334,248
	<u> </u>	<u> </u>
Total Revenues	\$ 5,334,248	\$ 5,334,248

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

	Current Budget	Revised Budget
American Rescue Plan Act Reserve	\$ 4,684,248	\$ 1,534,248
ReVive	650,000	650,000
Cedar Falls Artificial Turf	-	1,150,000
East Morgan Creek Phase 3 Design	-	500,000
Homestead Aquatics Center HVAC	-	1,200,000
Library Meeting Room AV System	-	300,000
	<u> </u>	<u> </u>
Total Expenditures	\$ 5,334,248	\$ 5,334,248

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the council informed of any unusual occurrences.

SECTION VI

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies

Item #: 14., **File #:** [22-0510], **Version:** 1

Meeting Date: 6/8/2022

shall be filed within five days of adoption with the Manager, Business Management Director, and Town Clerk.”

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Maurice Jones, Town Manager
Amy Oland, Business Management Director
Sarah Poulton, Senior Project Manager

RECOMMENDATION: That the Council share feedback on the community partner application process and enact a grant project ordinance so Town departments can begin using \$3.15M funding.

AMERICAN RESCUE PLAN

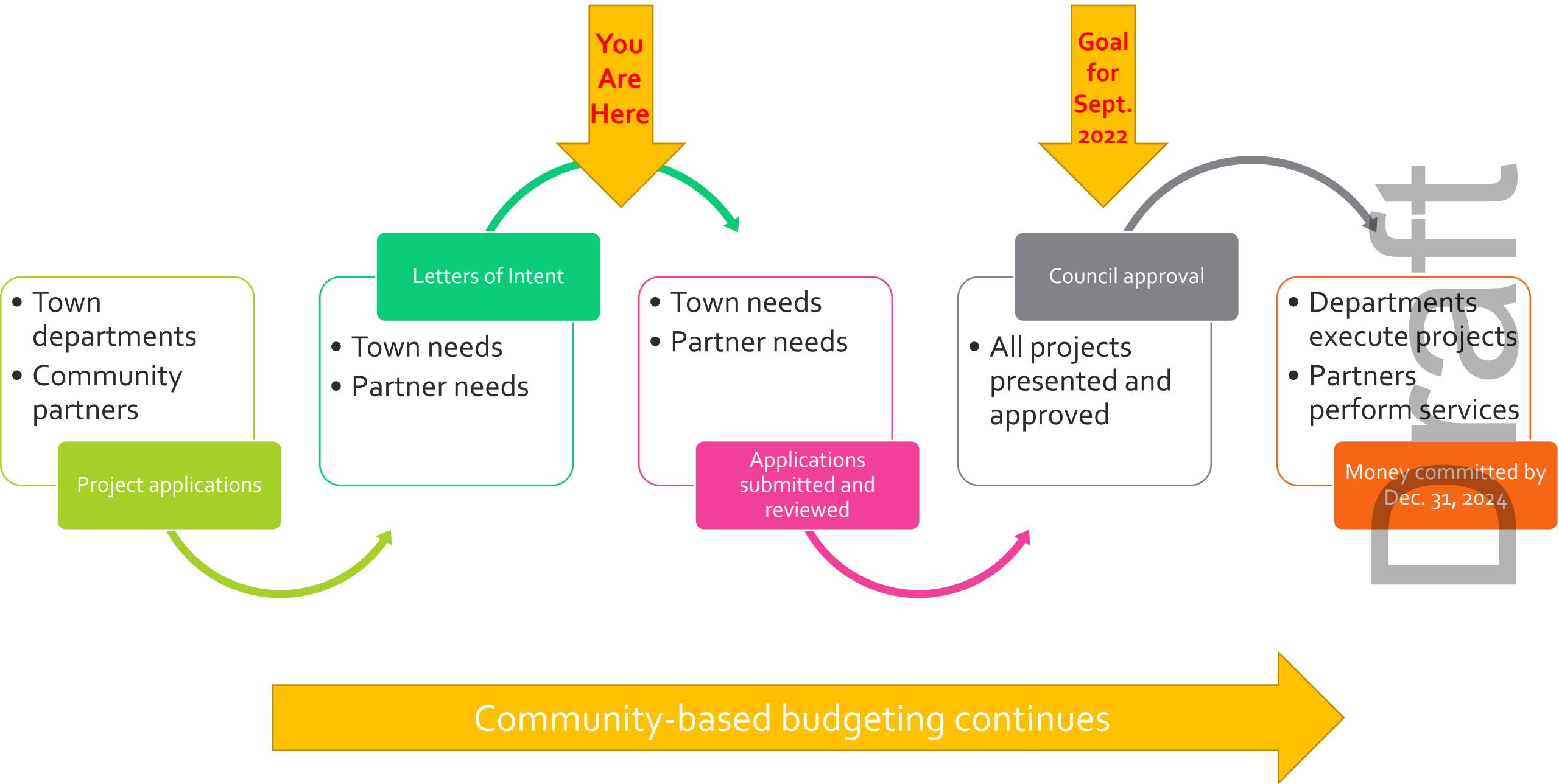
Council Business Meeting – June 8, 2022

Draft

Agenda

- Review funding allocation plan and Town projects
- Next steps for departments and community partners
- Questions to consider:
 - Did we capture your Town project priorities correctly?
 - What input do you have on the Community Partner application process?

Draft



May 11 Proposed Funding Breakdown

▪ Community partner funding	\$1,000,000
▪ Affordable housing and homelessness initiatives	\$2,500,000
▪ Parks and recreation facilities	\$2,500,000
▪ Bike, ped and greenway infrastructure	\$1,000,000
▪ Town facilities	\$1,000,000
▪ Downtown revitalization	\$1,000,000
▪ Digital access	\$500,000
▪ Community based projects	\$500,000
▪ ReVive program	\$650,000


\$10.7M

Draft

Projects Council Support Moving Forward Now

Draft

 Cedar Falls Artificial Turf	\$ 1,150,000
 E Morgan Creek Trail Design	\$ 500,000
 Homestead Aquatics HVAC	\$ 1,200,000
 Library AV System	\$ 300,000

 Indicates projects with broad support from Council at the May 11 & June 1 Work Sessions

**\$3.15
million**

Parks & Recreation


★ Cedar Falls artificial turf	\$1,150,000
▪ Adaptive playground	\$ 725,000
▪ +Pickleball	\$ 400,000
▪ +Teen Center	\$ 150,000
▪ Skate park	\$ 75,000
▪ Splash pad	\$1,000,000

\$2.5M

**\$2.5
million**

Draft


Bike, Ped & Greenways

- W. Franklin St. resurfacing support \$ 650,000
- Raleigh Road multi-use path \$2,340,000
- Ephesus Church Rd. sidewalk \$ 631,500
-  Morgan Creek Trail – Phase 3 East design \$ 500,000

**\$1.0
million**

Draft

Town Facilities Needs

- Maintenance needs identified in 5-year Budget \$11.4M
-  Priority project: Homestead Aquatic Center HVAC units \$1.2M

**\$1.2
million**

Draft

Downtown Revitalization

- Streetscape improvements
- Adopt a Block Phase 2 projects
- Downtown Partnership Clean Team
- Feasibility study for Rosemary Commons
- +Downtown-wide Strategic Plan

**\$1.0
million**

Draft

Digital Access

- ✦ Library public meeting room AV System \$300,000
- Digital inclusion and literacy programs
- Broadband infrastructure at public housing neighborhoods

\$300K

Draft

Community Project Ideas for Town Departments

- Develop a process to receive project ideas from the community
 - Designed over the summer
 - Brought back to Council in the fall
- Town projects and responsibilities only to test participatory budgeting process

\$500K

Draft

Project criteria

Training opportunity

Application review

Equity plan

Scoring rubric

Community Partner Projects

draft

Proposed Project Criteria

- •Over \$50K and under \$1M
- •Definitely ARPA-eligible
- •Unlike Human Services funding
- •Big, bold, new programs, not business as usual
- •Not just staffing or normal operations

Draft

Guidance and Training for Community Partners



Completing the application



ARPA categories and eligibility



ARPA reporting requirements



Measuring performance and success indicators

Draft

Community Partner Application Review



Town Staff will review for:

ARPA eligibility

Is the project **specific to pandemic relief**

Does the project meet Town **equity goals**



Community Team will review:

General merit

Benefitting QCTs and/or those most affected

Collaboration and connection to the target community

How impact of funding will be measured



Community Team members:

Peoples Academy graduate volunteers

General call for community volunteers

Draft

Meeting Equity Goals

DEI Officer has developed a matrix that helps compare the relative equity rating of multiple projects, programs or services. Categories include...

Effectiveness

Efficiency

Administrative feasibility

Strategic feasibility

Social acceptability

Liberty

Equity

Pts.	Town staff review			Community team review				
	ARPA Eligible	Specific to Pandemic Relief	Meets Equity Goals	Benefits a QCT	Benefits Affected Communities	Cross-Organization Collaboration	Connection to Target Community	Success Measurability
0	Not eligible	Not specific to pandemic relief	X score or lower on equity score card	Not specific to a QCT	Does not benefit Black, Latino, youth of color	No collaboration	Organization is not connected to the target community	Unclear how impact can be measured
2	Potentially eligible	Somewhat specific to pandemic relief	X-Y score on equity score card	QCT part of project	Somewhat benefits Black, Latino, youth of color	Some collaboration	Organization is somewhat connected	Somewhat clear how impact can be measured
4	Eligible	Pandemic relief-specific	Y score or higher on equity score card	QCT-specific	Specifically benefits Black, Latino and youth of color	Extensive collaboration	Organization is very connected	Very clear how impact can be measured

COMMUNITY PARTNER PROJECT SCORING

Action Needed

- Approve Grant Project Ordinance so Town departments can begin using \$3.15M funding
- Share feedback on community partner application process

Draft

What's Next

- **Community Partner** application process:
 - Affordable unit construction projects proceed with AH Bond and Development Reserve fund application process
 - All other partners proceed with APRA application process
- **Departments** move forward with priority projects:
 - Parks & Recreation Artificial Turf project
 - Morgan Creek Trail design
 - Homestead Aquatics HVAC
 - Library Meeting Room AV system

Draft



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 15., File #: [22-0511], Version: 2

Meeting Date: 6/8/2022

Close the Legislative Hearing and Consider an Application for Conditional Zoning -PEACH Apartments, 107 Johnson Street.

See the Staff Summary on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Jacob Hunt, Planner I

- a. Without objection, the revised report and any other materials submitted at the hearing for consideration by the Council will be entered into the record
- b. Introduction and revised recommendation
- c. Presentation by the applicant
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adjourn the Legislative Hearing
- g. Motion to adopt the Resolution of Consistency with the Comprehensive Plan
- h. Motion to enact an Ordinance to rezone the property.


RECOMMENDATION: That the Council receive the Town Manager's recommendation, close the legislative hearing, consider adopting Resolution A, Resolution of Consistency and Reasonableness, and enacting Ordinance A, approving the Conditional Zoning application.



CONSIDER AN APPLICATION FOR CONDITIONAL ZONING – 107 JOHNSON STREET

SUMMARY REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT
 Colleen Willger, Director
 Judy Johnson, Assistant Director
 Jacob Hunt, Planner I

PROPERTY ADDRESS 107 Johnson Street	MEETING DATE June 8, 2022	APPLICANT Empowerment, Inc. and the Town of Chapel Hill
TOWN MANAGER’S RECOMMENDATION <p>That the Council close the legislative hearing, receive the Town Manager’s recommendation, and consider adopting Resolution A, the Resolution of Consistency and Reasonableness, and enacting Ordinance A, approving the Conditional Zoning application.</p>		
UPDATES SINCE THE MAY 4, 2022 LEGISLATIVE HEARING <ul style="list-style-type: none"> No changes following the legislative hearing. 		
ZONING Existing: Residential-3 (R-3) Proposed: Residential-Special Standards-Conditional Zoning District (R-SS-CZD)	DECISION POINTS The applicant is requesting the following modifications to regulations: <ul style="list-style-type: none"> That a shelter be allowed to encroach 7 feet and 2 inches into the 10-foot street setback. 	
PROCESS Conditional Zoning is a legislative process that allows Town Council to review the rezoning application for consistency with the Land Use Plan in the Comprehensive Plan and establish standards that address any impacts on surrounding properties.	PROJECT LOCATION  <p>Map prepared by Chapel Hill GIS</p>	
PROJECT OVERVIEW The site is located in the Pine Knolls Neighborhood Conservation District (NCD), and the applicant proposes to construct a multifamily affordable housing development with up to ten dwelling units, restricted to households earning up to 30 percent of the Area Median Income (AMI). The project will include a community garden, a playground, a walking path, and associated parking and stormwater facilities.	ATTACHMENTS <ol style="list-style-type: none"> Technical Report and Project Fact Sheet Staff Draft Presentation Resolution A (Resolution of Consistency and Reasonableness) Ordinance A (Approving the Application) Resolution B (Denying the Application) Applicant Materials 	



TECHNICAL REPORT

UPDATES SINCE THE MAY 4, 2022 LEGISLATIVE HEARING

At the May 4, 2022 Legislative Hearing, Council discussed the application and presented no changes. No changes have been made to Resolution A or Ordinance A.

PROJECT OVERVIEW

The application proposes applying a Residential-Special Standards-Conditional Zoning District (R-SS-CZD) district to the site in order to accommodate an affordable housing community. The site is currently vacant. More details about the proposed development can be found in the applicant's narrative and statement of justification.

Information about the site and proposed zoning districts can be found below, as well as a list of proposed Modifications to Regulations, other important considerations that staff has identified, and an analysis of the project's consistency with the Comprehensive Plan and relevant Findings of Fact.

SITE CONTEXT

Staff has identified the following physical and regulatory characteristics of the land which are relevant to consideration of a Zoning Atlas Amendment:

- The site consists of a 0.70-acre site that is currently vacant. The former Pine Knolls Community Center was removed from the site in 2021.
- The subject site fronts on Johnson Street, a local street.
- The property is located in the Pine Knolls Neighborhood Conservation District (CD-2).
- The properties to the north, west, and east are zoned Residential-3 (R-3) and consist of single-family dwellings.
- Property to the south is zoned Office/Institutional-1 (OI-1) and contains the Chapel Hill-Carrboro City Schools Administrative Offices known as the Lincoln Center.
- There is no Resource Conservation District or floodplain on the site, which contains approximately 3,300 sq. ft. of slopes with over 10 percent grade.

PROPOSED ZONING

The applicant has submitted a Conditional Zoning application, which allows review of the development proposal in conjunction with the rezoning, and which allows site-specific standards to be formulated and applied as conditions through a legislative process. The Conditional Zoning application provides an opportunity to establish conditions that modify use, intensity, and development standards in order to address impacts reasonably expected to be generated by development. Conditions can also address conformance of the

development with town regulations and adopted plans. A –CZD suffix would be added to the zoning district designation to incorporate the approved conditions. The applicant has proposed a Residential-Special Standards-Conditional Zoning District (R-SS-CZD) district for the site.

The Residential – Special Standards Conditional Zoning District (R-SS-CZD) is appropriate for “residential development and the recreational, open space, and other urban amenities associated with such development”, provided that any rezoning to this district shall demonstrate either:

- Provision of 100 percent affordable housing
- Achievement of a combination of special standards that meet community interests¹

The proposed uses meet the intent statement of Residential – Special Standards Conditional Zoning District (R-SS-CZD). The Statement of Justification states that 100 percent of the housing proposed will serve households earning 30 percent AMI.

The applicant has proposed modifications to the street setback dimensional requirements, as summarized in the Modifications to Regulations section below.

PROPOSED MODIFICATIONS TO REGULATIONS

- 1) Section 3.8.2: Dimensional Regulations:** The street setback for the Residential-Special Standards-Conditional Zoning District (R-SS-CZD) is ten feet. The applicant has requested a modification to allow a shelter to encroach seven feet and two inches into the setback.

Staff Comment: The applicant has stated that the proposed modification request is to provide a shelter for residents to wait for ride-sharing and other public transit modalities.

Council Findings and Public Purpose: The Council has the ability to modify the regulations according to Section 4.4.5 of the Land Use Management Ordinance. Staff believes that the Council could modify the regulations if it makes a finding in this particular case that public purposes are satisfied to an equivalent or greater degree. If the Council chooses to deny a request for modifications to regulations, the developer’s alternative is to revise the proposal to comply with the regulations.

CONSISTENCY WITH THE COMPREHENSIVE PLAN AND OTHER DOCUMENTS

The following Technical Report provides a staff analysis of the Zoning Atlas Amendment based on long-range planning considerations. An amendment to the Zoning Atlas changes the permitted types and intensities of land uses allowed for a site.

Aspects of the application evaluated in this report include:

- **Consistency with the Comprehensive Plan**, based on the applicant’s proposed zoning district and overall proposed use program.
- **Reasonableness** of the change in zoning, based on the same considerations.
- **Findings of Fact** that could be used to justify a zoning amendment in accordance with Section 4.4 of the Land Use Management Ordinance (LUMO).

¹ LUMO Section 3.4.5

The Town Council must make findings on each of these three items as part of a Zoning Atlas Amendment action.

GENERAL INFO	
PROPERTY ADDRESS 107 & 107 A/B Johnson Street	APPLICANT EMPOWERment Inc. and Town of Chapel Hill
CURRENT ZONING DISTRICT R-3 with Pine Knolls NCD Overlay	PROPOSED ZONING DISTRICT R-SS-CZD (maintain Overlay)

CONSISTENCY WITH THE COMPREHENSIVE PLAN

2050 FUTURE LAND USE MAP (FLUM) ELEMENTS		
FOCUS AREA & SUB-AREA None – outside Focus Areas	APPROPRIATE USES Medium Residential – generally 4-8 units per acre	OTHER
OTHER APPLICABLE ADOPTED SMALL AREA PLANS None		

North Carolina General Statute 160D-605 requires the Town Council to consider a statement of Plan consistency when reviewing any Zoning Atlas Amendment. Staff provides the following evaluation of this application's consistency with the 2050 Future Land Use Map and other adopted components of the Chapel Hill 2020 Comprehensive Plan:

	Description of Plan Element	Staff Evaluation
Future Land Use Category	The Future Land Use Map (FLUM) designates the site for Medium Residential, generally 4-8 units per acre. This category encompasses a fairly wide spectrum of housing types including small-scale multifamily housing. Development patterns should be compact and well-connected. The standard of 4-8 units per acre is characterized as a gross density that does not have to be strictly applied to every parcel. The site is outside of the Focus Areas. The land use guidance provided has been carried forward from the 2020 Land Use Plan.	The proposed rezoning is consistent with the character envisioned by the FLUM because the proposed zoning district allows residential uses. Zoning conditions can limit the scale of development such that the Medium Residential neighborhood maintains a general density consistent with the FLUM.
Building Height	The FLUM does not provide height guidance outside of the Focus Areas.	

Mobility And Connectivity	The Mobility and Connectivity Plan does not propose any bicycle or pedestrian facilities that would impact this site.	Lack of connectivity to pedestrian and bicycle networks suggests that a change in zoning district would be reasonable only with zoning conditions to limit the scale of development.
Climate Action and Response	The Climate Action and Response Plan identifies Sustainable Development as a top strategy to reduce our community carbon footprint and build resiliency. The Transportation and Land Use chapter calls for creating walkable, bikeable, transit-served neighborhoods through strategies such as supportive zoning and integrated land use – transportation planning.	The site offers an opportunity for infill development in an existing neighborhood, with transit service nearby.
Chapel Hill 2020 Goals	<p>Opportunities for this application to support goals of Chapel Hill 2020 include:</p> <ul style="list-style-type: none"> • Contributing to a range of housing options for current and future residents. This aligns with the theme of <i>A Place for Everyone</i>. • Locating housing within walkable/bikeable distance of the UNC campus and downtown, and near a public transit route. This offers multimodal access to employment, services, and shopping, and aligns with the theme of <i>Getting Around</i>. • Expanding available housing types within an existing neighborhood, evolving Chapel Hill’s character and allowing that neighborhood to meet a range of resident needs. This aligns with the theme of <i>Good Places New Spaces</i>. 	

REASONABLENESS OF THE ZONING ATLAS AMENDMENT

Reasonableness is determined by comparing the scale of permissible development under the proposed zoning district to that of existing zoning, and by considering characteristics of the site and its surroundings. North Carolina General Statute 160D-605 requires the Town Council to consider a statement of reasonableness when reviewing any Zoning Atlas Amendment.

The analysis below considers the applicant’s proposed zoning district and overall proposed use program. Specific characteristics of the development proposal, compliance with regulations, and appropriate conditions to address potential impacts of the development are evaluated elsewhere.

SUMMARY OF ANALYSIS FOR REASONABLENESS

Supporting Factors

- The previous use of the site as a community center (a nonresidential use) suggests that a multifamily use, while somewhat more intense than the surrounding housing types, is reasonable.
- Some available transit service nearby suggests that small-scale multifamily development is reasonable.

- Proposed zoning is consistent with the Land Use Category shown on the Future Land Use Map, provided that zoning conditions are applied to ensure a consistent density.
- Provision of affordable housing in this location aligns with several themes of Chapel Hill 2020.
- Zoning conditions are an inherent part of the proposed zoning district (it is only available as a CZD). Conditions provide an opportunity to limit intensity and to establish standards that address any impacts on surrounding properties.

Other Considerations

- The proposed change in zoning district would allow roughly 7 times the amount of permissible development. The proposed development program would allow a residential density roughly double that of existing zoning.
- The site's location along a neighborhood street, along with the absence of sidewalks and bicycle facilities, suggests that a change in zoning district would be reasonable only with zoning conditions to address the intensity and potential traffic impacts of the development.

APPLICANT PROPOSAL

Project Description	Low-scale multifamily development with 10 units of affordable rentals in a cluster of buildings. The site is currently vacant and is located in an established neighborhood away from major roads	
Proposed Zoning Atlas Amendment (ZAA)	From Residential-3 (R-3) to Residential-Special Standards Conditional Zoning (R-SS-CZD)	Notes: The submittal of a Conditional Zoning application allows review of the development proposal in conjunction with the rezoning, and allows site-specific standards to be formulated and applied as conditions through a legislative process. A -CZD suffix would be applied to acknowledge approval of conditions.
Applicant Reasoning for ZAA	To accommodate the proposed number of units, with a residential district that offers flexibility on dimensional criteria.	

Comparing Existing Permissible Development to Proposed

	LUMO Standard for R-3 and NCD	Staff Evaluation
District Intent	<p><u>Section 3.4.5:</u> The Residential-Special Standards district (R-SS-CZD) is available only through a conditional zoning application. Proposed development must either promote a 100% affordable on-site component, or meet a series of other objectives related to community goals.</p> <p><u>Appendix B, Division 4:</u> The Pine Knolls Neighborhood Conservation District (NCD) is intended to help preserve the character of a particular, older residential neighborhood.</p>	<p>The application states that all of the proposed multifamily will be affordable rentals for families earning 30% Area Median Income. This meets the primary objective of the proposed zoning district. Zoning conditions would be useful to ensure that performance expectations for affordable housing are achieved.</p>

<p>Permitted Uses</p>	<p><u>Table 3.7-1</u>: Permitted uses in R-SS-CZD include the full range of single-family and multifamily dwelling types. Other uses, including public facilities, are generally not allowed.</p> <p><u>Sec. 4.3</u>: The NCD prohibits certain uses and establishes an affordability standard for duplexes and triplexes. This overlay does not appear to create an issue with allowing multifamily dwellings through the base zoning district.</p>	<p>The associated Conditional Zoning application proposes Multifamily Dwelling Units with more than 7 units per lot, which is permitted in R-SS-CZD.</p> <p>The existing R-3 zoning limits uses to single-family and duplex dwellings, in addition to certain public facilities.</p>
<p>Dimensional Standards</p>	<p><u>Table 3.8-1</u>: Standards for R-SS-CZD are broadly permissive for development. The main factor limiting development intensity is Maximum Height.</p> <ul style="list-style-type: none"> • No maximum Residential Density • Maximum Building Height of 39 ft at the setback line and 60 ft at the site core • Minimum Street Setback of 10 ft • Maximum Floor Area Ratio of 1.10 <p><u>Sec. 4.3</u>: The NCD establishes special Height Limits and Floor Area Ratios that are applicable only to single-family and duplex dwellings, uses which are not proposed in this application.</p>	<p>The associated Conditional Zoning application proposes:</p> <ul style="list-style-type: none"> • 10 dwelling units, resulting in a Residential Density of 13.5 units/acre • Maximum Building Height of 30 ft at both the setback line and the site core • Minimum Street Setback of 28 ft • 7,697 sq ft, resulting in a Floor Area Ratio of 0.24 <p>The existing R-3 zoning has the following standards:</p> <ul style="list-style-type: none"> • Maximum Residential Density Of 7.0 units/acre • Maximum Building Height of 29 ft at the setback line and 60 ft at the site core • Minimum Street Setback of 24 ft • Maximum Floor Area Ratio of 0.162 <p>Based on the comparison of Floor Area Ratio alone, R-SS-CZD allows close to 7 times the amount of development potential that currently exists for the site. Zoning conditions would be useful to ensure appropriate development intensity.</p>
<p>Design and Development Standards</p>		
<p>Other standards (including landscape buffers, parking spaces, stormwater treatment, etc) are established in LUMO Article 5 and are applicable to both the R-SS-CZD and R-3 districts. A change in zoning district would not change how Article 5 standards apply. Additional special design standards established for the NCD in Appendix B, Division 4 are generally applicable to single-family and duplex dwellings only.</p> <p>The Conditional Zoning application provides an opportunity to establish conditions that modify development standards in order to address impacts reasonably expected to be generated by development.</p>		

Consideration of the Site and its Surroundings

	Description	Staff Evaluation
Existing Use and Surroundings	Two vacant lots, one wooded, the other formerly the site of a small community center. Site is within an established neighborhood containing mostly single-family and duplex dwellings.	The previous nonresidential use of the site (community center) suggests a multifamily use, somewhat more intense than the surrounding housing types, is reasonable.
Adjacent Zoning Districts and Land Uses	<u>North, East and West</u> : R-3, single-family and duplex dwellings <u>South</u> : OI-1-CZD, school district offices with approval for program expansion	R-SS-CZD is a flexible zoning district that typically relies on zoning conditions (e.g. height, setbacks) to ensure compatibility with adjacent zoning districts. It is therefore reasonable to apply in most contexts. The surrounding area has been developed with residential and institutional uses. Zoning conditions would be useful to ensure that the scale of the proposed multifamily dwellings is compatible with the surrounding built environment.
Transit Service	1 existing local bus route runs nearby along S Merritt Mill Road. The site is within 0.2 miles of a bus stop.	Some available transit service suggests that small-scale multifamily development is reasonable.
Roads and Vehicular Access	Frontage on Johnson Street, a local neighborhood street.	The location along a neighborhood street suggests that a change in zoning district would be reasonable only with zoning conditions to limit trip generation (e.g. maximum bedrooms).
Pedestrian & Bike Facilities (existing)	Johnson Street and other surrounding streets do not have any sidewalks or bicycle facilities.	The absence of sidewalks and bicycle facilities suggests that a change in zoning district would be reasonable only with zoning conditions to limit the scale of development.
Streams/ Wetlands/ Floodplain	No floodplain impacts the site. No stream features or wetlands have been identified at this time.	The submitted application does not include sufficient information for staff to determine compliance with Section 5.4 of the Land Use Management Ordinance Design and Development Standards, Stormwater management.
Topography	The site slopes down from northeast to southwest, with mostly gentle slopes. A few areas have been identified with steeper slopes, including along the western site boundary.	Compliance with Section 5.4 Stormwater management will be required prior to any approval of a Final Plan Zoning Compliance Permit.

	More intense development (relative to existing zoning) could reasonably occur without substantial impact to sensitive environmental features.
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LAND USE MANAGEMENT ORDINANCE FINDINGS OF FACT

Staff provides the following evaluation of the application under the three Findings of Fact identified in LUMO Section 4.4. LUMO states that the Zoning Atlas shall not be amended unless at least one of the Findings are made.

FINDING #1: The proposed zoning amendment is necessary to correct a manifest error.	
Arguments	To date, no arguments in support or in opposition have been submitted or identified by staff.
Staff Evaluation	There appears to be no manifest error in the Town's Zoning Atlas.

FINDING #2: The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.	
Arguments	Staff notes that affordable housing able to serve various populations has been a growing need throughout the jurisdiction. To date, no arguments in opposition have been submitted or identified by staff.
Staff Evaluation	The Council could make the finding that the proposed zoning amendment is necessary because of changing conditions in Chapel Hill.

FINDING #3: The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.	
Arguments	Staff notes that the Conditional Zoning application could contribute to the purposes of the Comprehensive Plan through the following: <ul style="list-style-type: none"> • Facilitating development that implements the Land Use Category designated on the Future Land Use Map • Supporting goals of Chapel Hill 2020 including <i>A Place for Everyone</i>, <i>Getting Around</i>, and <i>Good Places New Spaces</i>. To date, no arguments in opposition have been submitted or identified by staff.
Staff Evaluation	The Council could make the finding that the proposed zoning amendment is necessary to achieve the purposes of the Comprehensive Plan.

Further information may be presented for the Council's consideration as part of the public hearing process. All information submitted at the public hearing will be included in the record of the hearing.




















PROJECT FACT SHEET



Project Details

Site Description	
Project Name	PEACH Apartments
Address	107 Johnson Street
Property Size (NLA)	29,258 SF (0.67 acres)
Existing	Vacant
Orange County Parcel Identifier Numbers	9788-03-2946, 9788-03-0899, and 9788-03-0940
Existing Zoning	Residential-3 (R-3) and Pine Knolls Neighborhood Conservation District (CD-2)
Proposed Zoning	Residential-Special Standards-Conditional Zoning District (R-SS-CZD)


Site Development Standards

Topic	Comment	Status
Development Intensity		
Use/Density (Sec. 3.7)	Existing Use: vacant Proposed Use: affordable multifamily dwellings (10 units total)	
Dimensional Standards (Sec. 3.8)	Primary height: 39 ft. Core height: 60 ft. Setbacks: 10 ft. street setback	M
Floor area (Sec. 3.8)	Maximum: 35,380 sq. ft. Proposed: 7,697 sq. ft.	
Landscape		
Buffers (Sec. 5.6.2)	N/A in Residential-Special Standards district	
Tree Canopy (Sec. 5.7)	Meet or exceed LUMO 5.7 standards	
Landscape Standards (Sec. 5.9.6)	Meet or exceed LUMO 5.9 standards	
Environment		
Resource Conservation District (Sec. 3.6)	N/A	
Erosion Control (Sec. 5.3.1)	As required	

Steep Slopes (Sec. 5.3.2)	N/A	
Stormwater Management (Sec. 5.4)	Meet or exceed LUMO 5.4 standards	FP
Land Disturbance	23,399 sq. ft.	
Impervious Surface	11,508 sq. ft. (36%)	
Solid Waste & Recycling	Public trash and recycling pickup proposed	
Jordan Riparian Buffer (Sec. 5.18)	N/A	
Access & Circulation		
Road Improvements (Sec. 5.8)	N/A	
Vehicular Access (Sec. 5.8)	Access proposed off of Johnson Street	
Bicycle Improvements (Sec. 5.8)	N/A	
Pedestrian Improvements (Sec. 5.8)	Sidewalk required	M
Traffic Impact Analysis (Sec. 5.9)	TIA exemption approved	
Vehicular Parking (Sec. 5.9)	<i>Required:</i> 12 minimum spaces to 15 maximum spaces <i>Proposed:</i> 13 parking spaces	
Transit (Sec. 5.8)	N/A	
Bicycle Parking (Sec. 5.9)	<i>Required:</i> 3 spaces <i>Proposed:</i> 4 spaces	
Electric Vehicle Parking	N/A	
Parking Lot Standards (Sec. 5.9)	Built to Town Standards	
Technical		
Fire	Built to Town Standards	
Schools Adequate Public Facilities (Sec. 5.16)	N/A	
Inclusionary Zoning Ordinance (Sec. 3.10)	N/A	

Recreation Area (Sec. 5.5)	Waiver from active recreation space requirement requested.	M
Lighting Plan (Sec. 5.11)	Built to Town Standards; not to exceed 0.3 footcandles at property line	
Homeowners Association (Sec. 4.6)	N/A	

Project Summary Legend

Symbol	Meaning
	Meets Requirements
M	Seeking Modification
FP	Required at Final Plan
NA	Not Applicable



Town Council

CONDITIONAL ZONING— P.E.A.C.H. APARTMENTS



for
the
record



RECOMMENDATION

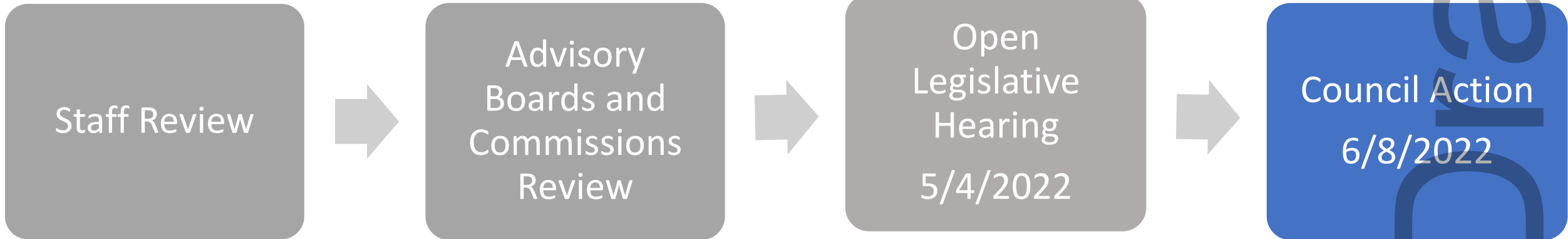
- Close the Legislative Hearing
- Adopt the Resolution of Consistency
- Enact Ordinance A, approving application



Draft



PROCESS





PROJECT SUMMARY

- 0.70 acre site
- Conditional Zoning
- Currently R-3
- Proposing R-SS-CZD
- Currently vacant
- Construct 10 affordable housing units



Draft



PROPOSED MODIFICATIONS

Requesting modification to regulations for:

LUMO 3.8.2: Dimensional Requirements

- Street setback: **10** feet
- Modification: allow a covered shelter to encroach **7 feet 2 inches** into the street setback

Draft

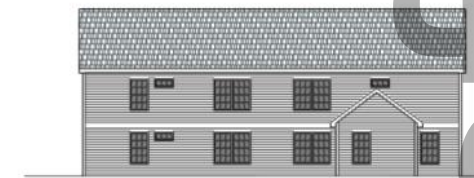


RECOMMENDATION

- Close the Legislative Hearing
- Adopt the Resolution of Consistency
- Enact Ordinance A, approving the application



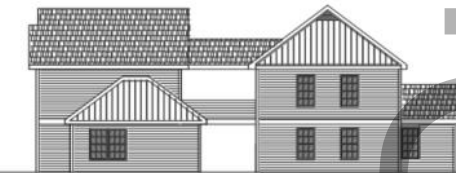
EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

Draft

RESOLUTION A
Resolution of Consistency and Reasonableness

A RESOLUTION REGARDING THE APPLICATION FOR CONDITIONAL ZONING AT THE PROPERTY LOCATED AT 107 JOHNSON STREET FROM RESIDENTIAL-3 (R-3) TO RESIDENTIAL-SPECIAL STANDARDS-CONDITIONAL ZONING DISTRICT (R-SS-CZD) IS REASONABLE AND CONSISTENCY WITH THE COMPREHENSIVE PLAN (2022-06-08/R-9)

WHEREAS, Empowerment, Inc. has filed an application for Conditional Zoning to rezone a 0.70-acre parcel located at 107 Johnson Street and identified as Orange County Parcel Identifier Numbers 9788-03-2946, 9788-03-0899, and 9788-03-0940 to Residential-Special Standards-Conditional Zoning (R-SS-CZD) to allow a 10-dwelling unit affordable multifamily community; and

WHEREAS, the Town staff have completed a review of the application for compliance with the Land Use Management Ordinance, Town Code, and for Consistency with the Comprehensive Plan; and

WHEREAS, the Planning Commission reviewed the application on April 19, 2022 and recommended that the Council enact the Conditional Zoning for the property; and

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning and finds that the amendment if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Contributing to a range of housing options for current and future residents. (*Goal: A Place for Everyone 1.3*)
- A well-conceived and planned, carefully thought-out, integrated, and balanced transportation system that recognizes the importance of automobiles, but encourages and facilitates the growth and use of other means of transportation such as bicycle, pedestrian, and public transportation options (*Goal: Getting Around 3.1*)
- A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation (*Goal: Getting Around 3.2*)
- A vibrant, diverse, pedestrian-friendly, and accessible downtown with opportunities for growing office, retail, residential, and cultural development and activity (*Goal: Good Places, New Spaces 4.2*)

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby finds the proposed Conditional Zoning to be reasonable and consistent with the Town Comprehensive Plan.

This the 8th day of June, 2022.

ORDINANCE A

(Approving the Conditional Zoning Application)

AN ORDINANCE AMENDING THE CHAPEL HILL ZONING ATLAS TO REZONE THE PROPERTY LOCATED AT 107 JOHNSON STREET FROM RESIDENTIAL-3 (R-3) TO RESIDENTIAL-SPECIAL STANDARDS-CONDITIONAL ZONING DISTRICT (R-SS-CZD) AND CONSISTENCY WITH THE COMPREHENSIVE PLAN (PROJECT #21-072) (2022-06-08/O-11)

WHEREAS, the Council of the Town of Chapel Hill has considered the application for Conditional Zoning proposed by Empowerment, Inc., to rezone 107 Johnson Street and identified as Orange County Parcel Identifier Numbers 9788-03-2946, 9788-03-0899, and 9788-03-0940 to Residential-Special Standards-Conditional Zoning District (R-SS-CZD) to allow an affordable multi-family dwelling unit community and finds that the amendment if enacted, is reasonable and in the public's interest and is warranted to achieve the purposes of the Comprehensive Plan, as explained by, but not limited to, the following goals of the Comprehensive Plan:

- Contributing to a range of housing options for current and future residents. (*Goal: A Place for Everyone 1.3*)
- A well-conceived and planned, carefully thought-out, integrated, and balanced transportation system that recognizes the importance of automobiles, but encourages and facilitates the growth and use of other means of transportation such as bicycle, pedestrian, and public transportation options (*Goal: Getting Around 3.1*)
- A connected community that links neighborhoods, businesses, and schools through the provision of greenways, sidewalks, bike facilities, and public transportation (*Goal: Getting Around 3.2*)
- A vibrant, diverse, pedestrian-friendly, and accessible downtown with opportunities for growing office, retail, residential, and cultural development and activity (*Goal: Good Places, New Spaces 4.2*)

WHEREAS, the application, if rezoned to Residential-Special Standards-Conditional Zoning District (R-SS-CZD) according to the district-specific plan last revised dated February 26, 2022 would address the impacts reasonably expected to be generated by the development or use of the site and the conditions listed below would:

- 1) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- 2) Conform with the Comprehensive Plan
- 3) Be compatible with adjoining uses
- 4) Mitigate impacts on surrounding properties and the Town as a whole
- 5) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- 6) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

MODIFICATIONS TO REGULATIONS

WHEREAS, the Council of the Town of Chapel Hill finds, in this particular case, that the proposed development with the following requested modifications to regulations satisfies public purposes to an equivalent or greater degree:

- 1. Section 3.8.2: Dimensional Regulations:** The setback requirement is waived to the extent that development may encroach seven feet and two inches into the ten-foot street setback to construct a transit shelter.

This finding is based on a determination that the public purposes are satisfied to an equivalent or greater degree as the structure will provide a safe place for residents to wait for transportation.

CONDITIONAL ZONING DISTRICT

BE IT ORDAINED by the Council of the Town of Chapel Hill finds, in this particular case, the proposed rezoning with the following uses, subject to the conditions below, satisfies the purposes of Residential–Special Standards–Conditional Zoning District (R-SS-CZD).

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the Chapel Hill Zoning Atlas be amended as follows:

SECTION I

The following Orange County parcels identified by Parcel Identifier Numbers (PIN) 9788-03-2946, 9788-03-0899, and 9788-03-0940, described below, shall be rezoned to Residential–Special Standards–Conditional Zoning District (R-SS-CZD):

PARCEL ONE: Being all of those certain lots or parcels of land situated, lying and being on the south side of Johnson Street, a short distance south of the Town of Carrboro, N.C., and more particularly described as BEGINNING at a stake in the south property line of Johnson Street, the northwest corner of Lot No. 50; running thence along the south property line of Johnson Street North 84° 35'; West 50 feet to a stake, Northeast corner of Lot No. 62; running thence with the line of Lot No. 62 South 8° 35' West 150 feet to a stake in Simon Powell's line, running thence with the said Powell's line South 83° 27' East 50 feet to a stake, southwest corner of Lot No. 59; running thence with the line of the said lot North 8° 35' East 150 feet to the BEGINNING and being Lots 60 and 61, Cole Heights Extension as surveyed and plotted by F.M. Carlisle, Civil Engineer, on November 10, 1945.

PARCEL TWO: Being all of those certain lots or parcels of land situated, lying and being on the south side of Johnson Street, a short distance south of the Town of Carrboro, N.C., and more particularly described as BEGINNING at a stake in the south property line of Johnson Street, the northwest corner of Lot No. 61; running thence along the south property line of Johnson Street North 84° 35'; West 50 feet to a stake, northeast corner of Lot No. 64; running thence with the line of lot No. 64 South 8° 35' West 150 feet to a stake in Simon Powell's line; running thence with the said Powell's line South 83° 27' East 50 feet to a stake, southwest corner of Lot No. 61; running thence with the line of the said lot North 8° 35' East 150 feet to the BEGINNING and being Lots 62 and 63, Cole Heights Extension as surveyed and plotted by F.M. Carlisle, Civil Engineer, on November 10, 1945.

SECTION II

BE IT FURTHER ORDAINED by the Council of the Town of Chapel Hill that the following conditions are hereby incorporated by reference:

1. Expiration of Conditional Zoning Atlas Amendment: An application for Zoning Compliance Permit must be filed by June 8, 2024 (2 years from the date of this approval) or the land shall revert to its previous zoning designation. [LUMO 4.4.5(f)]
2. Consent to Conditions: This approval is not effective until the petitioner provides written consent to the approval. Written consent must be provided within ten (10) days of enactment by the Town Council.
3. Land Use Intensity: This Conditional Zoning Atlas Amendment authorizes the following:

Land Use Intensity Multi-Family Development	
Gross Land Area	32,164 sf
Floor Area	7,697 sf
Maximum Dwelling Units	10
Minimum Affordable Units	100%
Maximum Parking Spaces	13
Minimum Bicycle Parking Spaces	4
Total Impervious Surface	11,508 sf
Maximum Land Disturbance	23,399 sf
Minimum Recreation Area	1,608 sf

4. Affordable Housing Plan/Performance Agreement: Prior to the issuance of a Zoning Compliance Permit, the developer shall provide the following:
 1. 100% of all units (up to 10 units proposed)
 2. The affordable multifamily units to be placed within an organization ensuring their continued affordability for at least ninety-nine years.

TOWN OF CHAPEL HILL – CONDITIONAL ZONING STANDARD CONDITIONS

The following standard conditions are supplemental to site-specific conditions as set by Town Council-approved ordinance. Unless modified by the site-specific conditions noted above, these standards apply to all development permitted by Conditional Zoning.

Access

5. Accessibility Requirements: Prior to issuance of a Certificate of Occupancy, the developer shall provide the minimum required handicapped infrastructure according to the Americans with Disabilities Act and associated codes and standards.

Transportation

6. Bicycle Parking: Prior to issuance of a Zoning Compliance Permit, the developer shall provide dimensioned details that comply with the Town parking standards for required and/or proposed bicycle parking spaces. Bicycle parking spaces should be placed near building entrances. The spaces must comply with the Spring 2010 Association of Pedestrian and Bicycle Professionals Guidelines and the Class I and Class II bicycle parking standards required by the Town Design Manual. [LUMO 5.9.7]

7. Parking Lot: Any newly proposed parking lots, including additions to existing parking lots, shall be constructed to Town standards for dimensions and pavement design. [LUMO 5.9.5]
8. Parking Lot Landscape and Screening: The parking lot landscape design shall adhere to the standards of the Chapel Hill Land Use Management Ordinance. [LUMO 5.9.6]
9. Lighting: Prior to issuance of a Zoning Compliance Permit, the developer shall design street lighting along the site frontage. Design and construction details must be approved by the Town Manager and the North Carolina Department of Transportation (NCDOT). Lighting shall be installed prior to issuance of a Zoning Final Inspection.
10. Driveway Permit: The developer must obtain an approved driveway permit and/or encroachment agreement(s) prior to beginning any proposed work within the NCDOT right-of-way. As a condition of the permit, the permittee shall be responsible for the design and construction of stipulated improvements in accordance with NCDOT requirements. An approved permit will be issued upon receipt of approved roadway and signal construction plans, inspection fees, and any necessary performance and indemnity bonds.
11. Pavement Markings: Any pavement markings proposed within the public street rights-of-way shall be long life thermoplastic. Pavement markers shall be installed if they previously existed on the roadways.
12. Off-Site Construction Easements: Prior to any development associated land disturbance on abutting properties, the developer shall provide documentation of approval from the affected property owner(s). [LUMO 5.8.1]
13. Sight Distance Triangles: Prior to issuance of a Certificate of Occupancy, the developer shall provide the Town of Chapel Hill with standard sight distance triangles at the proposed driveway locations. [Town Design Manual]
14. Low Vision Design Features: Any proposed pedestrian facilities should incorporate low vision design features as feasible.
15. Repairs in Public Right-of-Way: Prior to issuance of a Certificate of Occupancy, the developer shall repair all damage for work in the public right-of-way related to the construction of this project, which may include pavement milling and overlay. The design of such repairs must be reviewed and approved by the Town Manager and NCDOT prior to issuance of a Zoning Final Inspection. [Town Code 17-40]
16. Street Closure Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a street closure plan, subject to Town Manager and NCDOT approval, for any work requiring street, sidewalk, or lane closure(s). [Town Code 21-7.1]
17. Work Zone Traffic Control Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a Work Zone Traffic Control Plan and a Construction Management Plan for approval by the Town Manager and NCDOT. The Work Zone Traffic Control Plan shall comply with the U.S. Department of Transportation Manual on Uniform Traffic Control Devices. The Construction Management Plan shall provide staging,

construction worker parking, construction vehicle routes, and hours of construction. [Town Code 17-47]

Landscaping and Building Elevations

18. Invasive Exotic Vegetation: Prior to issuance of a Zoning Compliance Permit, the developer shall identify on the planting plan any known invasive exotic species of vegetation, as defined by the Southeast Exotic Pest Plant Council (SE-EPPC), and provide notes indicating removal of these species from the landscape buffer areas prior to planting. [Town Design Manual]
19. Buffers: Landscape buffers not required as part of Residential-Special Standards Zoning District.
20. Alternate Buffer: Prior to issuance of a Zoning Compliance Permit, review shall be required from the Community Design Commission for any proposed alternate buffer. [LUMO 5.6.8]
21. Landscape Protection: Prior to issuance of a Zoning Compliance Permit, a detailed Landscape Protection Plan shall be approved. The plan shall include a complete and currently updated tree survey showing critical root zones of all rare and specimen trees and labeled according to size and species. The plan shall also indicate which trees will be removed and which will remain. The plan shall also include standard notes, fencing details, and location of fencing. [LUMO 5.7.3]
22. Tree Protection Fencing: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detail of a tree protection fence and a note on the Final Plans indicating that tree protection fencing will be installed prior to land-disturbing activity on the site. The plans shall include continuous tree protection fencing around construction limits and indicated construction parking and materials staging/storage areas, and Town standard landscaping protection notes, subject to Town Manager approval. [LUMO 5.7.3]
23. Landscape Planting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall provide a detailed Landscape Planting Plan with a detailed planting list, subject to Town Manager approval. [LUMO 4.5.3]
24. Tree Canopy: A minimum of tree canopy coverage shall be provided through a combination of retained and replanted trees, unless a modification to regulations is approved. Calculations demonstrating compliance with Chapel Hill Land Use Management Ordinance Section 5.7.2 shall be included. [LUMO 5.7.2]
25. Retaining Wall Construction: If applicable, the final design and location of all retaining walls shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
26. Demolition Plan: Prior to beginning any proposed demolition activity, the developer must obtain demolition permits from both the Planning and Inspections departments. While the demolition component may be submitted to Planning in tandem with the Zoning Compliance Permit for new construction, a separate stand-alone demolition permit shall be issued prior to an Inspection's Demolition permit. Further, prior to the issuance of a demolition permit for all existing structures 500 square feet or larger, Orange County

Solid Waste staff shall conduct a deconstruction assessment pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO).

27. Lighting Plan Approval: Prior to issuance of a Zoning Compliance Permit, the Community Design Commission shall review a lighting plan and shall take additional care during review to ensure that the proposed lighting plan will minimize upward light pollution and off-site spillage of light. [LUMO 8.5.5]
28. Community Design Commission Review: The Community Design Commission shall review the building elevations, including the location and screening of all HVAC/Air Handling Units for the site, prior to issuance of a Zoning Compliance Permit. [LUMO 8.5.5] Within the Town's historic districts, the Historic District Commission will act in place of the Community Design Commission. [LUMO 8.4.6]

Environment

29. Stormwater Management Plan: Development projects must comply with *Section 5.4 Stormwater Management* of the Chapel Hill Land Use Management Ordinance. [LUMO 5.4]
30. Phasing Plan: If phasing of the project is proposed, then the applicant shall provide a Phasing Plan as part of the Zoning Compliance Permit. The Phasing Plan also shall detail which public improvements and stormwater management structures will be completed in each phase prior to requesting a Certificate of Occupancy. Construction for any phase shall not begin until all public improvements in previous phases have been completed, and a note to this effect shall be provided on the final plans. [LUMO 4.5.3]
31. Erosion Control Bond: If one acre or more is to be uncovered by land-disturbing activities for the project, then a performance guarantee in accordance with *Section 5-97.1 Bonds* of the Town Code of Ordinances shall be required prior to final authorization to begin land-disturbing activities. [Town Code 5-98]
32. Sediment Control: The developer shall take appropriate measures to prevent and remove the deposit of wet or dry sediments on adjacent roadways. [Town Code 5-86]
33. Erosion Control Inspections: In addition to the requirement during construction for inspection after every rainfall, the developer shall inspect the erosion and sediment control devices daily, make any necessary repairs or adjustments to the devices, and maintain inspection logs documenting the daily inspections and any necessary repairs. [Orange County Erosion Control]
34. Erosion Control: The developer shall provide a copy of the approved erosion and sediment control permit from Orange County Erosion Control Division prior to receiving a Zoning Compliance Permit. During the construction phase, additional erosion and sediment controls may be required if the proposed measures do not contain the sediment. Sediment leaving the property is a violation of the Town's Erosion and Sediment Control Ordinance. [Town Code 5-98]
35. Stormwater Control Measure: The proposed stormwater control measures for the site shall be designed to meet the current North Carolina Division of Environmental Quality Design Manual and Town of Chapel Hill Public Works Engineering Design Manual. [LUMO 5.4.3]

36. Storm Drain Inlets: The developer shall provide pre-cast inlet hoods and covers stating, "Dump No Waste! Drains to Jordan Lake", in accordance with the specifications of the Town Standard Detail SD-4A, SD-5A, SD-5C include all applicable details*, for all new inlets for private, Town and State rights-of-way. [Town of Chapel Hill Design Manual]
37. On-Site/Adjacent Stormwater Features: The final plans shall locate and identify existing site conditions, including all on-site and adjacent stormwater drainage features, prior to issuance of a Zoning Compliance Permit. The final plans must provide proper inlet protection for the stormwater drainage inlets on or adjacent to the site to ensure the stormwater drainage system will not be obstructed with construction debris. [Town of Chapel Hill Design Manual]
38. Repair/Replacement of Damaged Stormwater Infrastructure: Existing stormwater infrastructure that is damaged as a result of the project demolition or construction must be repaired or replaced, as specified by the Stormwater Management Engineer, prior to requesting a Certificate of Occupancy. [Town of Chapel Hill Design Manual]
39. Performance Guarantee: A performance and maintenance guarantee in an amount satisfiable to the Town Manager shall be provided to meet the requirement of Section 4.9.3 of the Land Use Management Ordinance prior to the approval of Constructional plans. The performance guarantees and maintenance guarantees shall be satisfactory as to their form and manner of execution, and as to the sufficiency of their amount in securing the satisfactory construction, installation, or maintenance of the required stormwater control measure. The performance surety shall be an amount equal to one hundred and twenty-five percent (125%) of the total cost of uncompleted stormwater control measure(s) and conveyances prior to final plat recordation. The total cost of the storm water control measure(s) and conveyance(s) shall include the value of all materials, piping and other structures, seeding and soil stabilization, design and engineering, grading, excavation, fill, and other work. The applicant shall submit unit cost information pertaining to all storm water control measure(s) and/or bids from the grading contractor hired to perform the work and any change orders related thereto as a method to determine the basis for cost of the work. The final cost determination shall be made by the Stormwater Management Division, taking into consideration any additional costs as deemed necessary for completion of the stormwater control measure(s) and conveyance(s).

Upon completion of the storm water control measures(s) and other improvements and acceptance by the Town after final site inspection, the one hundred and twenty-five percent (125%) of the performance surety shall be released to the developer and a maintenance bond in an amount of twenty-five (25) percent of the construction cost estimate shall submitted by the developer prior to the issuance of certificate of occupancy. No sooner than one year after the recording date of the deed(s), easements and maintenance agreement, the owner may request release of the remainder of the maintenance bond. Upon request by the owner, the Stormwater Management Division shall inspect the storm water control structure(s) to determine that the storm water measure(s) are performing as required by this Ordinance. The Stormwater Management Division, upon determining that the storm water control(s) are performing as required by this Ordinance, and after any repairs to the storm water control structure(s) are made by the owner, shall release the remaining maintenance bond. [LUMO 4.9.3]

Recreation

40. Recreation Space (Multi-Family): A minimum of 25 percent of the required Recreation Space for the project shall be provided in the form of a payment in lieu. The payment in lieu shall be paid prior to the issuance of a Zoning Compliance Permit.
41. Recreation Area (Subdivision): A minimum of 25 percent of the required Recreation Area for the project shall be provided in the form of a payment in lieu. The payment in lieu shall be paid prior to the issuance of a Zoning Compliance Permit.

Water, Sewer, and Other Utilities

42. Utility/Lighting Plan Approval: The final utility/lighting plan shall be approved by Orange Water and Sewer Authority (OWASA), Duke Energy Company, other applicable local utility service providers, and the Town Manager before issuance of a Zoning Compliance Permit. The developer shall be responsible for assuring that these utilities can continue to serve the development. In addition, detailed construction drawings shall be submitted to OWASA for review/approval prior to issuance of a Zoning Compliance Permit. [LUMO 4.5.3]
43. Lighting Plan: Prior to issuance of a Zoning Compliance Permit, the developer shall submit site plans, sealed by a Professional Engineer, for Town Manager approval, as well as other required documents to satisfy the lighting requirements of Section 5.11 of the Land Use Management Ordinance including: submission of a lighting plan; providing for adequate lighting on public sidewalks, including driveway crossings; and demonstrating compliance with Town standards. [LUMO 5.11]
44. Water/Sewer Line Construction: All public water and sewer plans shall be approved by and constructed according to OWASA standards. Where sewer lines are located beneath drive aisles and parking areas, construction methods approved by OWASA shall be employed to ensure that sewer lines will not be damaged by heavy service vehicles. [LUMO 5.12.1]
45. OWASA Approval: Prior to issuance of a Zoning Compliance Permit, any easement plats and documentation as required by OWASA and the Town Manager shall be recorded. [LUMO 5.12]
46. Irrigation: If permanent irrigation is proposed to support landscaping, an irrigation plan shall be submitted which includes the use of smart technologies to conserve water and energy.

Homeowner Association

47. Homeowners' Association: That a Homeowners' Association shall be created that has the capacity to place a lien on the property of a member who does not pay the annual charges for maintenance of all common areas, however designated. The Homeowners' Association documents shall be approved by the Town Manager prior to recordation at the Orange County Register of Deeds Office and shall be cross-referenced on the final plat. The Homeowners' Association documents shall comply with Section 4.6.7 of the Land Use Management Ordinance. That the Homeowners' Association covenants shall not exclude home occupation businesses as regulated by the Town of Chapel Hill.

48. Homeowners' Association Responsibilities: The Homeowners' Association shall be responsible for the maintenance, repair, and operation of required bufferyard(s), open space, recreation areas, paths, community garden, and shared stormwater management facilities.
49. Dedication and Maintenance of Common Area to Homeowners' Association: That the applicant provide for Town Manager review and approval, a deed conveying to the Homeowners' Association all common areas, however designated, including the community garden; recreation space; open space and common areas; the bufferyards; and stormwater management facilities. That the Homeowners' Association shall be responsible for the maintenance of the proposed internal subdivision roads until the NCDOT or the Town assumes ownership of the internal streets. These documents shall be reviewed and approved by the Town Manager prior to recordation at the Orange County Register of Deeds Office and cross-referenced on the final plat.
50. Solar Collection Devices: That the Homeowners' Association, or similar entity, shall not include covenants or other conditions of sale that restrict or prohibit the use, installation, or maintenance of solar collection devices, including clotheslines.

Fire Safety

51. Fire Sprinklers: The developer shall install sprinklers under the North Carolina Fire Protection Code (NC FPC) prior to issuance of a Certificate of Occupancy. Prior to issuance of a Zoning Compliance Permit, the plans shall show all proposed fire department connections to such systems. [TOWN CODE 7-56]
52. Gates and Barricades: Where required or authorized by the fire code official and permanent or temporary (construction), any gates across fire apparatus access roads shall be a minimum width of 20 feet, be of swinging or sliding type, have an emergency means of operation, shall be openable by either forcible entry or keyed, capable of being operated by one person, and shall be installed and maintained according to UL 325 and ASTM F 2200. [NC FPC 2018, 503.5, 503.6, D103.5]
53. Grade and Approach: Fire apparatus access roads shall not exceed 10 percent in grade unless approved by the fire chief, and all approach and departure angles shall be within the limits established based on the Fire Department's apparatus. [NC FPC -2018, 503.2.7, 503.2.8 and D103.2]
54. Fire Protection and Utility Plan: A fire flow report for hydrants within 500 feet of each building shall be provided and demonstrate the calculated gallons per minute with a residual pressure of 20 pounds per square inch. The calculations should be sealed by a professional engineer licensed in the State of North Carolina and accompanied by a water supply flow test conducted within one year of the submittal. Refer to the Town Design Manual for required gallons per minute.
55. Fire Department Connections and Standpipes: When the building being constructed requires standpipes, a temporary standpipe connection will be constructed with ready Fire Department Access when the building is not more than 40 feet in height. Such standpipes shall provide usable connections adjacent to the stairs and shall continue with building progression always being not more than one floor below the highest floor of the building. [NC FPC 912 & NC FPC 2018 3313]

56. Fire Command Center: Where required in the North Carolina Fire Protection Code and in all high rise buildings, a fire command center must be constructed in accordance with Section 508, NC FPC 2018.
57. Aerials: Where a building exceeds 30 feet in height OR 3 stories above the lowest level of Fire Department Access, overhead power and utility lines shall not be allowed within the aerial apparatus access roadway and the roadway shall have an unobstructed width of 26 feet exclusive of the shoulders. At least one of the apparatus access roadways shall be located within a minimum of 15 feet and maximum of 30 feet from one complete side of the building. [NC FPC 2018 D105.1, D105.2, D105.3, D105.4]
58. Fire Apparatus Access Road: Any fire apparatus access roads (any public/private street, parking lot access, fire lanes and access roadways) used for fire department access shall be all-weather and designed to carry the imposed load of fire apparatus weighing at least 80,000 lbs. Fire apparatus access roads shall have a minimum width of 20 feet exclusive of shoulders with an overhead clearance of at least 13 feet 6 inches for structures not exceeding 30 feet in height and shall provide access to within 150 feet of all exterior portions of the building. Structures exceeding 30 feet in height shall be provided with an aerial apparatus access road 26 feet in width in the immediate vicinity of the building or portion thereof and shall provide at least one of the required access roads to be located not less than 15 feet and not more than 30 feet from the structure parallel to one entire side of the structure. [NC FPC 2018 502.1, 503.1.1, 503.2.1, D102.1 SECOND ACCESS DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]
59. Dead End Access Roads: Dead end fire apparatus access roads exceeding 150 feet shall have a designated turn around. The turnaround shall meet one of the design standards of NC FPC 2018, Appendix D table D 103.4.
60. Building Height: Buildings exceeding 30 feet or three stories in height must have at least two means of fire apparatus access separated by at least one half the diagonal distance of the building. [NC FPC 2018, D104.1, D104.3 DEPENDENT UPON NORTH CAROLINA DEPARTMENT OF TRANSPORTATION APPROVAL]
61. Fire Access: Prior to issuance of a Certificate of Occupancy, fire access shall be reviewed and approved by the Town of Chapel Hill.
62. Fire Apparatus Access Road Authority: The fire code official shall have the authority to increase the minimum access widths where they are deemed inadequate for fire and rescue operations. [NC FPC 2018 503.2.2]
63. Hydrants Active: The developer shall provide active fire hydrant coverage, acceptable to the Fire Department, for any areas where combustible construction materials will be stored or installed, prior to having such materials delivered to the site. All required fire hydrants must be installed, active, and accessible for the Fire Department use prior to the arrival of combustible materials on site. Fire protection systems shall be installed according to Town Ordinance, the NC Fire Protection Code, and National Fire Protection Association Standard #13. [NC Fire Protection Code 2018 Section 501.1 & 3312]
64. Fire Hydrant and FDC Locations: The Final Plans shall indicate the locations of existing and proposed fire hydrants and Fire Department Connections (FDC). Fire Department Connections shall be located on the street side of the building within 100 feet of a

hydrant. Hydrant spacing shall comply with the Town Design Manual. Design shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC 2018 Section 501.5.1.1]

65. Firefighting Access During Construction: Vehicle access for firefighting shall be provided to all construction or demolition sites including vehicle access to within 100 feet of temporary or permanent fire department connections and hydrants. Vehicle access shall be provided by either temporary or permanent roads capable of supporting vehicle loading under all weather conditions. [NC FPC 2018, Section 3310.1]
66. Premise Identification: Approved building address numbers, placed in a position acceptable to the fire code official, shall be required on all new buildings. [NC FPC 2018, 505.1]
67. Key Boxes: Where required by the fire code official, a secure key box, mounted on the address side of the building, near the main entrance, shall be provided to ensure adequate access to the building based on life safety and/or fire protection needs. [NC FPC 2018, 506]
68. Automatic Fire Sprinkler System Required: An automatic fire sprinkler system meeting the requirements of NFPA Standard #13 and Town Code 7-56 is required to be installed in non-residential construction.
69. Fire Department Connections, Locations: Any required FDCs for any buildings shall meet the design and installation requirements for the current, approved edition of NFPA 13, 13D, 13R, or 14 of the NC FPC 2018 and Town Code 7-38 for location. FDCs shall be installed within 100 feet of a hydrant or unless otherwise approved by the fire code official and shall not be obstructed or hindered by parking or landscaping. FDCs shall be equipped with National Standard Thread (NST) and be a 2.5" siamese.
70. Fire Department Connections, Installation: A working space of not less than 36 inches in width and depth and a working space of 78 inches in height shall be provided on all sides with the exception of wall mounted FDCs unless otherwise approved by the fire code official. The FDCs where required must be physically protected from impacts by an approved barrier. [NC FPC 2018, 912.1, 912.2 912.2.1, 312]
71. Fire Apparatus Access for Chapel Hill Fire Department: All fire department access determinations shall be based upon Chapel Hill Fire Department apparatus specifications (data specifications provided by Office of the Fire Marshal/Life Safety Division) and field verification. All proposed fire department access designs shall be reviewed and shall also pass field inspection.
72. Fire Flow Report: The Final Plan application shall include a fire flow report sealed by an Engineer registered in the State of North Carolina. An OWASA flow test must be provided with the report. Fire flow shall meet the 20 psi or exceed the requirements set forth in the Town Design Manual. The Fire Flow Report shall be reviewed and approved by the Town Manager prior to issuance of a Zoning Compliance Permit. [Town Design Manual]
73. Fire Lane: Prior to issuance of a Certificate of Occupancy, any fire lane shall be marked and signed in accordance with Town standards, with the associated plans approved by

the Town Manager prior to issuance of a Zoning Compliance Permit. [NC FPC, Sections 2018 503.3, D103.6, D103.6.1, D103.2]

74. Emergency Responder Radio Coverage in New Buildings: All new buildings shall have approved radio coverage for emergency responders within the building based upon the existing coverage levels of the public safety communication systems of the jurisdiction at the exterior of the building. This section shall not require improvement of the existing public safety communication systems. [NC FPC 2018 Section 510.1]

Solid Waste Management and Recycling

75. Solid Waste Management Plan: Prior to issuance of a Zoning Compliance Permit, a detailed Solid Waste Management Plan, including a recycling plan and a plan for managing and minimizing construction debris, shall be approved by the Town Manager and Orange County Solid Waste (OCSW). The plan shall include dimensioned, scaled details of any proposed refuse/recycling collection areas, associated screening, and protective bollards, if applicable. Each bulk waste container shall be labeled as to type of material to be collected. If a refuse compactor is proposed or if the collection enclosure is not accessible by Town vehicles, the developer shall provide documentation of an agreement for solid waste collection by a private provider prior to issuance of a Zoning Compliance Permit. [Orange County Solid Waste]
76. Construction Waste: Clean wood waste, scrap metal and corrugated cardboard (Regulated Recyclable Materials), all present in construction waste, must be recycled. All haulers of construction waste containing Regulated Recyclable Materials must be properly licensed with Orange County Solid Waste. The developer shall provide the name of the permitted waste disposal facility to which any land clearing or demolition waste will be delivered. [Orange County Solid Waste]
77. Deconstruction Assessment: For any existing structure 500 square feet or larger a deconstruction assessment shall be conducted by OCSW staff prior to the issuance of a demolition permit pursuant to the County's Regulated Recyclable Materials Ordinance (RRMO). Prior to any demolition or construction activity on the site, the developer shall hold a pre-demolition/pre-construction conference with Solid Waste staff. This may be held at the same pre-construction meeting held with other development/enforcement officials.

State and Federal Approvals

78. State or Federal Approvals: Any required State or federal permits or encroachment agreements (e.g., 401 water quality certification, 404 permit) shall be approved and copies of the approved permits and agreements be submitted to the Town of Chapel Hill prior to the issuance of a Zoning Compliance Permit. [NC State; Federal Permits]
79. North Carolina Department of Transportation Approvals: Prior to issuance of a Zoning Compliance Permit, plans for any improvements to State-maintained roads or in associated rights-of-way shall be approved by NCDOT. [NC Department of Transportation]

Miscellaneous

80. Construction Management Plan: A Construction Management Plan shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit. The construction management plan shall: 1) indicate how construction vehicle traffic will be managed, 2) identify parking areas for on-site construction workers including plans to prohibit parking in residential neighborhoods, 3) indicate construction staging and material storage areas, 4) identify construction trailers and other associated temporary construction management structures, and 5) indicate how the project construction will comply with the Town's Noise Ordinance. [Town Design Manual Chapter 10]
81. Traffic and Pedestrian Control Plan: The developer shall provide a Work Zone Traffic Control Plan for movement of motorized and non-motorized vehicles on any public street that will be disrupted during construction. The plan must include a pedestrian management plan indicating how pedestrian movements will be safely maintained. The plan must be reviewed and approved by the Town Manager prior to the issuance of a Zoning Compliance Permit. At least 5 working days prior to any proposed lane or street closure the developer must apply to the Town Manager for a lane or street closure permit. [Town Code 17-42]
82. Construction Sign Required: The developer shall post a construction sign at the development site that lists the property owner's representative and telephone number, the contractor's representative and telephone number, and a telephone number for regulatory information at the time of issuance of a Building Permit, prior to the commencement of any land disturbing activities. The construction sign may have a maximum of 32 square feet of display area and maximum height of 8 feet. The sign shall be non-illuminated, and shall consist of light letters on a dark background. Prior to the issuance of a Zoning Compliance Permit, a detail of the sign shall be reviewed and approved by the Town Manager. [LUMO 5.14.4]
83. Schools Adequate Public Facilities Ordinance: If applicable, the developer shall provide the necessary Certificates of Adequacy of Public Schools or an exemption prior to issuance of a Zoning Compliance Permit. [LUMO 5.16]
84. Open Burning: The open burning of trees, limbs, stumps, and construction debris associated with site development is prohibited. [Town Code 7-7]
85. Detailed Plans: Prior to the issuance of a Zoning Compliance Permit, final detailed site plans, grading plans, utility/lighting plans, stormwater management plans (with hydrologic calculations), landscape plans, and landscape maintenance plans shall be approved by the Town Manager. Such plans shall conform to plans approved by this application and demonstrate compliance with all applicable regulations and the design standards of the Chapel Hill Land Use Management Ordinance and the Design Manual. [LUMO 4.5.3]
86. Certificates of Occupancy: No Certificates of Occupancy shall be issued until all required public improvements are complete. A note to this effect shall be placed on the final plats.

If the Town Manager approves a phasing plan, no Certificates of Occupancy shall be issued for a phase until all required public improvements for that phase are complete, and no Building Permits for any phase shall be issued until all public improvements

required in previous phases are completed to a point adjacent to the new phase. A note to this effect shall be placed on the final plats.

87. Traffic Signs: The developer shall be responsible for placement and maintenance of temporary regulatory signs before issuance of any Certificates of Occupancy.
88. New Street Names and Numbers: The name of the development and its streets and house/building numbers shall be approved by the Town Manager prior to issuance of a Zoning Compliance Permit.
89. As-Built Plans: Prior to the issuance of a Certificate of Occupancy, the developer shall provide certified as-built plans for building footprints, parking lots, street improvements, storm drainage systems and stormwater management structures, and all other impervious surfaces, and a tally of the constructed impervious area. The as-built plans should be in DXF binary format using State plane coordinates and NAVD 88. [Town Design Manual Chapter 10]
90. Vested Right: This Conditional Zoning or Conditional Zoning modification constitutes a site specific development plan (and is defined as such in the Chapel Hill Land Use Management Ordinance) establishing a vested right as provided by N.C.G.S. Section 160A-385.1 and the Chapel Hill Land Use Management Ordinance. During the period of vesting this permit may be subject to subsequent changes to Town regulations to the extent such regulations have been enacted under authority other than the Town's zoning authority.
91. Continued Validity: Continued validity and effectiveness of this approval shall be expressly conditioned on the continued compliance with the plans and conditions listed above.
92. Non-Severability: If any of the above conditions is held to be invalid, approval in its entirety shall be void.
93. Not-Comprehensive: The listing of these standard stipulations, and the specific stipulations applicable to this Permit, is not intended to be comprehensive and does not exclude other state and local laws and regulations which may be applicable to this Permit and development project.

BE IT FURTHER ORDAINED that the Council hereby approves the application for Conditional Zoning at 107 Johnson Street.

This the 8th day of June, 2022.

RESOLUTION B

(Denying the Conditional Zoning Application)

A RESOLUTION DENYING AN AMENDMENT OF THE CHAPEL HILL ZONING ATLAS TO REZONE THE PROPERTY LOCATED AT 107 JOHNSON STREET FROM RESIDENTIAL-3 (R-3) TO RESIDENTIAL-SPECIAL STANDARDS-CONDITIONAL ZONING DISTRICT (R-SS-CZD) IS NOT REASONABLE AND NOT CONSISTENCY WITH THE COMPREHENSIVE PLAN (PROJECT #21-072) (2022-06-08/R-10)

BE IT RESOLVED by the Council of the Town of Chapel Hill that it finds that a Conditional Zoning application, proposed by Empowerment, Inc., to rezone 107 Johnson Street and identified as Orange County Parcel Identifier Numbers 9788-03-2946, 9788-03-0899, and 9788-03-0940, if rezoned to Residential-Special Standards-Conditional Zoning District (R-SS-CZD) according to the rezoning plan dated February 26, 2022, and the conditions listed below would not:

- a) Conform with the applicable provisions of the Land Use Management Ordinance and Town Code
- b) Conform with the Comprehensive Plan
- c) Be compatible with adjoining uses
- d) Mitigate impacts on surrounding properties and the Town as a whole
- e) Be harmonious with existing and proposed built systems including utility infrastructure, transportation facilities, police and fire coverage, and other public services and facilities
- f) Be harmonious with natural systems such as hydrology, topography, and other environmental constraints

BE IT FURTHER RESOLVED that the Council hereby denies the application for an amendment of the Chapel Hill Zoning Atlas to rezone the property located at 107 Johnson Street to Residential-Special Standards-Conditional Zoning District (R-SS-CZD).

This the 8th day of June, 2022.

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd.
 (919) 968-2728 fax (919) 969-2014
 www.townofchapelhill.org

Parcel Identifier Number (PIN): 9788-03-2946 /0899/0940

Date: Jan 14, 2022

Section A: Project Information

Project Name: Peach Apartments

Property Address: 107 & 107 A/B Johnson Sreet

Zip Code: 27514

Use Groups (A, B, and/or C): A

Existing Zoning District: R-3

Project Description: Construct ten (10) affordable dwelling units

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Empowerment, INc

Address: 109 N. Graham St

City: Chapel Hill

State: NC

Zip Code: 27514

Phone: 919-967-8779

Email: delores.bailey@gmail.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: *Delores Bailey*

Date: 6/2/22

Owner/Contract Purchaser Information:

Owner

Contract Purchaser

Name: Empowerment, Inc

Address: 109 N Graham Street

City: Chapel Hill

State: NC

Zip Code: 27514

Phone: 919-967-8779

Email: delores.bailey@gmail.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: *Delores Bailey*

Date: 6/2/22

Click [here](#) for application submittal instructions.

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
405 Martin Luther King Jr. Blvd.
(919) 968-2728 fax (919) 969-2014
www.townofchapelhill.org

Parcel Identifier Number (PIN): 9788-03-2946/0899/0940

Date: Jan 14, 2022

Section A: Project Information

Project Name: PEACH Apartments

Property Address: 107 & 107 A/B Johnson Street Zip Code: 27514

Use Groups (A, B, and/or C): A Existing Zoning District: R-3

Project Description: Construct ten (10) affordable dwelling units

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Empowerment, Inc.

Address: 109 N Graham St

City: Chapel Hill State: NC Zip Code: 27514

Phone: 919-967-8779 Email: delores.bailey@gmail.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature: _____ Date: _____

Owner/Contract Purchaser Information:

Owner Contract Purchaser

Name: Town of Chapel Hill

Address: 405 Martin Luther King Jr. Blvd

City: Chapel Hill State: NC Zip Code: 27514

Phone: _____ Email: _____

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 6/2/22

Click [here](#) for application submittal instructions.



CONDITIONAL ZONING

TOWN OF CHAPEL HILL
Planning Department

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section A: Project Information

Use Type: (check/list all that apply)

Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all that apply)

Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	29,258	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	2,926	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=	0	sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	32,164	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	23,399
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	5,141	5,141	11,508	11,508
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	15.98	15.98	35.8	35.8
If located in Watershed Protection District, % of impervious surface on 7/1/1993	15.98	15.98	35.8	35.8



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	1,608	1,608	7,697	7,697
Number of Floors	one	one	two	two
Recreational Space	3,980	3,980	2,002	2,002

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)	1,608	1,608	7,697	7,697
Total Square Footage of All Units	0	0	7,697	7,697
Total Square Footage of Affordable Units	0	0	7,697	7,697
Total Residential Density	None	None	13.5	13.5
Number of Dwelling Units	None	None	10	10
Number of Affordable Dwelling Units	None	None	10	10
Number of Single Bedroom Units	None	None	6	6
Number of Two Bedroom Units	None	None	3	3
Number of Three Bedroom Units	None	None	1	1

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional	1,608	None			
Medical					
Office					
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	10	27.7	36
	Interior (neighboring property lines)	0	7.6	26.2
	Solar (northern property line)	0	27.7	36
Height (maximum)	Primary	None	None	None
	Secondary	60	19	32.05
Streets	Frontages	None	194	194
	Widths	None	193	193



PROJECT FACT SHEET

TOWN OF CHAPEL HILL

Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Johnson Street	40	27	Two	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	11	13	11
Handicap Spaces	1	1	2
Total Spaces	12	15	13
Loading Spaces	NA	NA	NA
Bicycle Spaces	2.5	2.5	4
Surface Type	Asphalt		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North	15	15	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
East	0	5	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
South	0	20	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
West	0	23	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



Section I: Land Use Intensity

Existing Zoning District:
 Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
R-SS-CZD	1.1	.05	7,719	16,082		35,380	1,608
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS**
TOWN OF CHAPEL HILL
Planning Department

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 968-2728 or at planning@townofchapelhill.org.

Stormwater Impact Statement (1 copy to be submitted)

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	<input type="text" value="0.00"/>
x	Pre-application meeting –with appropriate staff		
x	Digital Files – provide digital files of all plans and documents		
x	Recorded Plat or Deed of Property		
x	Project Fact Sheet		
Exemp	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
NA	Description of Public Art Proposal , if applicable		
x	Statement of Justification		
x	Response to Community Design Commission and Town Council Concept Plan comments , if applicable		
x	Affordable Housing Proposal , if applicable		
x	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
x	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
x	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	<input type="text" value="0.00"/>
x	Written Narrative describing the proposal, including proposed land uses and proposed conditions		
x	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		

NA	Jurisdictional Wetland Determination – if applicable
NA	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)
NA	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)
X	Reduced Site Plan Set (reduced to 8.5" x 11")

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team
- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable

Area Map

- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits

- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features

- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time

- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

February 24, 2022

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

P.E.A.C.H. PROJECT

Request for a Modification to Regulations

To: Planning Staff
Town of Chapel Hill
Via: email to planning@townofchapelhill.org

It is important to this project that the occupants of PEACH be able to conveniently wait for ride-sharing and other public transit-friendly modalities. In a project in which all, or most, of the occupants are at 30% or less of AMI it is likely that automobile ownership will be low. Ride sharing, taxis (especially for the elderly) and EZ rider are all important components of a transit system that can effectively serve this population.

For these system components to work most effectively it is important to have a shelter that is close to the curb where people can wait in inclement weather. This shelter must be placed within the front yard setback to be close to the curb so that people can wait and enter the taxis, and EZ rider vehicles easily and without a lot of wait time for the transit vehicles.

Town regulations discourage structures within the front yard setback. The applicant strongly believes that an exception should be made here in order to advance the transit friendly attributes of this project. For this reason we are requesting a Modification to Regulations that will allow a shelter within the front yard setback for this CUZ.

Conditional Use Application

For:

P.E.A.C.H. AFFORDABLE RENTALS
A project of EMPOWERment, Inc.
107 Johnson Street
Chapel Hill, NC

Applicant:



EMPOWERment, Inc.
109 North Graham Street
Suite 200
Chapel Hill, NC 27516

Civil Engineer:

Philip Post Engineering
P.O.Box 4912
Chapel Hill, NC 27515

Architect:

JGA Josh Gurlitz Architecture
308 West Rosemary Street
Chapel Hill, NC 27516

Developer's Program

Project Description

About the developer:

EMPOWERment, Inc. EMPOWERment, Inc. has been providing a variety of affordable housing options for 25 years in the Chapel Hill community. These options have included rental opportunities in existing housing stock and affordable homes for purchase in new construction. P.E.A.C.H. will be the initial new rental project for EMPOWERment, Inc. and will be the first of future projects intended to help address the need for affordable rental housing in Chapel Hill.

About P.E.A.C.H.(Pine Knolls EMPOWERment Affordable Community Housing):

EMPOWERment Inc. owns three lots located at Johnson Street, Chapel Hill. These lots are indicated on the accompanying site plans. The lots are currently vacant. One lot previously was the site of a small community center that has been demolished and playground. EMPOWERment, Inc. plans to develop a cluster of buildings that will be used to provide affordable rentals in this neighborhood Affordable Rentals in this neighborhood to families earning 30% Area Medium Income (AMI).

The rectangular shaped property is approximately 30,000 square feet of net land area. There is one existing concrete loop driveway off Johnson Street. The existing drive will be partially removed, and a new vehicular access to the site will be through the west paved driveway connection to Johnson Street. The developer plans to construct a parking lot and a refuse and recycling enclosure at the edge of the proposed parking lot. Pedestrian circulation through the site will be by a series of walkways connecting the buildings, the parking and Johnson Street. A public transit covered waiting area will be created at the street.

An area for a stormwater facility has been designated in the southwest corner of the property. Water and sanitary sewer connections will be made to existing services from Orange Water & Sewer Authority facilities located within the Johnson Street right-of-way.

P.E.A.C.H. is located within the Pine Knolls Neighborhood Conservation District and is intended to enhance and engage the district by creating a new, safe and accessible affordable rental housing alternative within the district.

P.E.A.C.H. will create a change in use from vacant, little used, property to affordable rental housing. This change in use will trigger a number of requirements in the LUMO, including a required R-SS-CUZ rezoning and the need for stormwater treatment, among others.

Landscape buffers in compliance with the LUMO and Town Design Manual will border the project site.

EMPOWERment, Inc., is requesting R-SS-CUZ zoning so that it can provide 10 rental units with a total of 7,700 square feet of floor area. This exceeds the number of living units and the floor area ratio under the existing dimensional criteria for the current R-3 zoning on this site; hence the need for rezoning to the R-SS-CUZ designation.

Statement of Compliance with the Comprehensive Plan

Site and Building Design:

P.E.A.C.H. will incorporate sustainable construction attributes that will provide the owner and the tenants less expensive operating costs and less environmental impact from construction and operation. Among the sustainable construction features are high efficiency thermal detailing for walls; product selection for longevity; low maintenance windows, doors, roofing materials; use of products produced and sourced as close to this project location as possible; low flow plumbing fixtures; high SEER HVAC systems; LED lighting throughout. This project will meet or exceed the North Carolina Model Energy Code.

P.E.A.C.H. will incorporate Universal Design with the intent of developing a better quality of life for the many people who will be living in these residences. The Universal Design features will be incorporated in addition to the NC State Building Code and ADA requirements for accessible design. The 8 principles of Universal Design will be considered and evaluated during the design process. An iterative process between the design team and the non-profit project developer will be followed as the design develops with the 8 principles as a guide for decision making.

P.E.A.C.H. has been designed to be functional, easy to construct and easy to maintain. An example is the rain garden used for storm water control. This method is now a best practice because it includes natural filtering of storm water, decreasing dependence on sand filters that need cleaning and maintenance. In addition, the rain garden will be a complimentary component of the overall landscape design.

P.E.A.C.H. will be low impact project by including strategies that minimize building footprint (using 2 stories), minimize new impervious surface through double loading the required parking lot and incorporating a best practice methodology for treating storm water (see above). The landscaping will be natural, non-invasive, plant types that will acclimate better and faster when planted and will need less maintenance to keep them healthy and alive. Recreation features include a children's playground, a community gathering gazebo, an edible food garden, a natural walking trail through an existing wooded area, easy access to a nearby basketball court and a covered shelter for public transit.

Community Design

By including the variety of studio, 1 bedroom, 2 bedroom and 3 bedroom living units, this project will contribute to the mix of housing in this community. This contribution will be enhanced due to the inclusion of Universal Design and code compliant fully accessible units being planned. Residents may not have to leave their community when they age or need a more supportive living environment if they can relocate to these living units. This is an important element for maintaining a sense of community

over time. This project is compatible with and will enhance the existing community within which it is situated. The design of the building includes horizontal siding, gable end pitched roof structures, walkways and other features that will help tie it to neighboring buildings. The quality and long-lasting nature of the construction will ensure that the building and site remain in excellent condition for many years, providing stability and dependability with the surrounding community. Providing a new residential building with useable outdoor areas will increase the security of the surrounding community and will also provide an example for future revitalization efforts. Because this project will be owned and managed by EmPOWERment, it will help assure the availability of affordable rental housing in this community.

- The P.E.A.C.H. Apartments Project is accessible to schools, healthcare, and grocery shopping. All are less than three miles away from Chapel Hill or Carrboro.
- Public transportation is accessible with the closest bus route being less than one half of a mile away.
- The P.E.A.C.H. Apartments Project is in the Pine Knolls community; an area of Orange County traditionally underserved by affordable housing development. The project's intent is to preserve and bring more affordable housing to the Pine Knolls neighborhood.

Community Sponsorship and Support

Since EMPOWERment first began formulating the P.E.A.C.H. Apartments Project, we have sought out community organizations and individuals at each step of the process, because we are committed to maintaining the legacy of the neighborhood. The Board of Directors for the Pine Knolls Community Center joined EMPOWERment to plan a project for the aging building that would be of value to the community. Because of the lack of affordable rental housing in Chapel Hill, all agreed that the building and the adjacent land could be used to bring new, state of the art, affordable rental units to the Pine Knolls neighborhood. The project would also include a playground and a community garden that would serve as a gathering space for neighbors. We have continued to work with Board Members Dr. Ted Parrish, his family, Damita Hicks and Vence Harris that understand and appreciate the history of the community and the people that need to be served.

In December of 2019 EMPOWERment held a holiday event for the community. At that time, we conducted a survey of the community to assess their support for building P.E.A.C.H. Apartments. EMPOWERment outlined how the project will be dedicated to helping members of the community that need affordable housing as well as a project that will maintain the history of the Pine Knolls neighborhood. The results were overwhelmingly positive for adding more affordable rentals, as well as allow low-income families to live in the town where they work. Providing additional low-income rentals for the Chapel Hill workforce are two of the components of the Orange County 2020-2025 Consolidated Plan.

We are pleased to include planners and architects that have designed units in Chapel Hill. They have an appreciation for the neighborhood and the people and are committed to helping construct a building that will help us maintain the integrity of the Pine Knolls community. Many of the existing homes surrounding the property are older. We are extremely excited to bring this multi-unit, affordable rental housing inventory to the area.

Affordability, Marketing, and Supportive Services

The P.E.A.C.H. Apartments project is in a Conservation District. It is designated to remain affordable permanently, 99 years. We will be ensuring housing affordability by capturing the cash flow from the project and subsidizing units further so that we can serve low-income families. The funds contributed by our funding partners will be fully leveraged to help EMPOWERment recapture subsidies and maintain long-term affordability. The following documents will ensure long-term affordability of this rental housing.

- Deed Restrictions
- Performance Agreements
- Development Agreements
- Project is in a Conservation District

The process that EMPOWERment uses to ensure an adequate pool of income – eligible renters is marketing through our website, NCHousingSearch.com, recommendations from other partners such as Community Empowerment fund, Department of Social Services, local churches and EMPOWERment's In-house Waitlist of eligible individuals.

Alignment with Goals and Adopted Affordable Housing Policy

The 2020-2025 Consolidated Plan for Orange County is the guiding document for Affordable Housing that includes Chapel Hill, Carrboro, and Hillsborough. Because EMPOWERment's P.E.A.C.H. Apartments project is new rental construction it can encompass many of the defining goals of the plan, which include:

- New rental construction that is ADA compliant.
- The project is located near a bus route and is easily accessible to retail, schools, healthcare, and local employers.
- Subsidies have been included in the project to allow very low-income families (at or below the 30% AMI) to qualify for designated units. This allows for individuals that work in Chapel Hill to have an opportunity to live near their job.
- EmPOWERment welcomes tenants that are voucher holders.
- EmPOWERment gives priority to applicants that are homeless, veterans, and disabled.
- EmPOWERment has been providing affordable housing in Chapel Hill and Orange County since 1996, and we have been and continue to be committed to providing affordable, safe and compliant rental units to the underserved populations of Chapel Hill and Orange County.



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

September 4, 2021

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

RESPONSE TO
CONCEPT PLAN COMMENTS C.D.C.- April 14, 2021
P.E.A.C.H. PROJECT
APPLICATION FOR
R-SS-CUZ

COMMENTS

Building Design

- 1) **Building should have more of a front toward Johnson Street**
- 2) **Perhaps locate front doors to ground units at Johnson St.**
- 3) **Consider porches and other house front elements facing Johnson St.**

Site Design

- 1) **Sidewalks on Johnson Street.**
- 2) **Decrease driveway curb-cut width**
- 3) **Parking at rear?**

Landscape design

- 1) **Screen parking area, but not too tall.**

RESPONSE

Building Design

- 1) **We have re-oriented the building so that it faces Johnson Street.**
- 2) **With this re-orientation we have included doors and front porches which face Johnson St.**
- 3) **We have included porches and roof and building forms that face Johnson Street that traditionally indicate the front of a building.**

Site Design

- 1) **We will request funding for sidewalks from Town of Chapel Hill Sidewalk Fund for sidewalks on Johnson Street.**
- 2) **The driveway curb cut has been decreased, but it is now less than standard Chapel Hill engineering recommendations.**
- 3) **We have kept the parking closer to Johnson Street for several reasons. Parking in this location minimizes driveway length and impervious surface area. It is safer to keep parking in view of the street. We want to develop amenity areas which include a playground and a place for adults to gather while watching the playground. It is safer for the children to keep the playground at a distance from the street.**

Landscape Design

- 1) **We have included parking lot screening that will mature into a short screen.**



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

February 24, 2022

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

P.E.A.C.H. PROJECT

SUSTAINABILITY AND ENERGY MANAGEMENT

To: Planning Staff
Town of Chapel Hill
Via: email to planning@townofchapelhill.org

INTRODUCTION

The Town of Chapel Hill has incorporated this as their sustainability goal:

A sustainable community is “future friendly” – it’s a place that works to enhance today’s opportunities for tomorrow’s generation. Being sustainable is about making decisions and taking action, both big and small, that will leave our community better and more resilient than we found it. A sustainable community also finds a healthy and lasting balance between social, economic and environmental interests. It’s a place that values its history, monitors its progress, and innovates to solve problems. The pursuit of a sustainable community is the work of everyone who lives, works and plays within it. Our future begins today.

Our future DOES begin today and PEACH is pleased to be able to help find the balance between social, economic and environmental interests. PEACH will be providing rental housing opportunities to our community members who make 30% or less of the AMI (Average median Income for this SMA). This means that smart and considered decisions need to be made at all points of the design and construction process. PEACH is committed to balancing social and environmental considerations in the development of this project.

Energy Management Plan

This project does not require an Energy Management Plan and achieving the creation of rental units that reach a market at 30% AMI assures meeting sustainability goals of Chapel Hill. We are conscious of- and interested in- energy management as another important component of sustainability and we propose this EMP to further promote a sustainable future for our town.



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

February 24, 2022

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

PEACH EMP Goals

- A. Support the Town goal of reduction of carbon emissions.
- B. Utilize sustainable energy in the construction and operation of PEACH apartments.
- C. Utilize sustainable strategies in the construction and operation of PEACH apartment.

PEACH EMP Objectives

- A. This Energy Management Plan is intended to result in a minimum energy efficiency that meets or exceeds 20% over the current ASHRAE minimums.
- B. This Energy Management Plan will give consideration to using alternate technologies that represent sustainable energy technology.
- C. This Energy Management Plan will include elements that help ensure a high level of indoor air quality, adequate access to natural lighting and other indoor environmental quality attributes.
- D. A green building certification standard is not being used for this building.

PEACH EMP General Elements

The component parts of this energy plan will be specific and selected for this building and this type of use. All parts of the plan will give consideration to the following general elements. Please see the PEACH EMP specifics below for elements and strategies chosen. This is a list of design considerations we will evaluate to meet the 20% requirement; the final systems selection and calculations will be provided on the building permit drawings'.

1. High performance motors; Day lighting; Enhanced insulation; weatherstripping, and other building shell features; Indoor Environmental Quality; Air filtering; Daylighting strategies; Light balanced indoor lighting; Use of Low Emitting materials; The design team has included enhanced insulation, day lighting where practicable and weather stripping for the building envelope. We are using high efficiency mechanical equipment which is fuel efficient (see the SEER rating for HVAC and the water heating methodology described below). Low emitting materials are specified for finish and surfacing materials.



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

February 24, 2022

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

PEACH EMP Specifics

Empowerment will provide engineering calculations, product specifications and narrative to support the specifics listed in this plan. The engineering calculations, product specifications and narrative will be signed by an engineer licensed to practice in North Carolina.

A. The EMP plan will include the following features:

- 1) Renewable Energy: The project will explore installation of a solar thermal or solar photovoltaic by the project. This will be contingent upon 100% donor support for this project feature. Signed and sealed engineering drawings and specification for the installation will be submitted with our building permit application if either solar option is possible.
- 2) Building overall energy efficiency is to be 20% more than ASHRAE 90.1-2010, the basis for NC Energy Code Performance. Calculations to be provided with building permit application by the Mechanical Engineer.
- 3) Empowerment will provide calculations for Service Water Heater performance and Compliance to Code with performance better than required Energy Factor. Must be over 20 gallon and have recovery system. Calculations provided with building permit application. For water heating we may be using point-of-use water heating devices. We are NOT using water tanks which must be kept hot. The use of point-of-use heating devices is significantly more energy efficient than tanked water heaters.
- 4) Provide and construct Building envelope with increased R values for thermal components that exceed NC Building Code by 20% for this particular type of building. Products and R values will be provided with building permit application. To achieve this we will be employing a water shield type of wall that includes an outboard airspace that adds insulation value.
- 5) Provide HVAC equipment with an SEER of at a minimum of 12 and a 100% fresh air economizer cycle. SEER of 11 is typical Code requirement. Product data to be provided with building permit application. This entire residential facility is provided with operable sash so that fresh air economizers are not being used. We will use mechanical equipment with a SEER of 12 or greater,
- 6) Provide energy summary for end use of each major electrical item such as lighting, Space heating, Space cooling, pumps, heat rejection exhaust and ventilation fans, Service Water Heater, Calculations provided with building permit application.
- 7) Electronic programmable thermostats will be used exclusively throughout.
- 8) All exterior lighting will have photo cell sensors for operation.
- 9) Exterior lighting will have minimum Lumens to meet Building Code requirements for area covered.



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

February 24, 2022

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

- 10) Daylighting will be maximized within this project. All rooms with the exception of bathrooms and closets will have windows for light and view. Many windows will be double windows (see elevations).
- 11) All equipment used in this project will be Chlorofluorocarbon free.
- 12) Education will be provided to occupants and managers of building operating systems and of building sustainable attributes.
- 13) Prior to occupancy occupants will have orientation period scheduled to learn about their new building. These orientations will include sustainable building information including materials attributes and operational elements.
- 14) A recycling program will be implemented during building construction to provide for construction waste to be recycled. The project is constructed with public monies and has not yet been bid. We will negotiate this with the successful bidder.
- 15) PEACH will utilize materials with recycled content when possible including structural steel and miscellaneous. Steel will be approximately 90% recycled scrap. Brick, when used, will have recycled content.
- 16) Paints, adhesives and finish materials will be VOC free-low emitting materials. All paints, adhesives and finish materials will be specified to be VOC free, low emitting materials.
- 17) Empowerment will provide for recycling, onsite storage containers..
- 18) Kitchen appliances, when available, will be Energy Star compliant.
- 19) The fixtures specified for this project will require 1.2 gals/flush. This is a savings of .4 gals/flush which is 25% less than the code maximum

For the site development the PEACH EMP will include the following:

- 20) Plant materials for landscaping shall be indigenous plants suitable for local climates and will be xerophytic or requiring minimal water/irrigation rates. We are using plants that are native or adapted to the local climate / soil conditions and that are drought tolerant when established, known to be deer resistant and low maintenance. We are working with the NC Botanical Garden for plant selection in our stormwater management facility.



ARCHITECT: JGA Architects
308 West Rosemary Street
Chapel Hill, NC

February 24, 2022

ENGINEER: Phil Post
Providence Rd.
Chapel Hill, NC

P.E.A.C.H. PROJECT

TENANT ENGAGEMENT TRASH AND RECYCLING

To: Planning Staff
Town of Chapel Hill
Via: email to planning@townofchapelhill.org

INTRODUCTION

EmPOWERment is committed to engaging tenants in the ongoing operation of the PEACH project. We strongly believe that an engaged tenant population will result in an enhanced sense of community. To support this objective we have designed several parts of the ongoing operations with which our tenants will be involved.

- 1) Under guidance from the NC Botanical Garden team, we intend to use the rainwater garden to educate our community about how storm water is treated and controlled. Along with this education will be tutored instruction about how to maintain a rainwater garden. We will be exploring how tenants, under guidance from EmPOWERment staff and the Bot. Garden team, can maintain the plantings in the raingarden and elsewhere on this site.
- 2) Tenants will be asked to take responsibility for rolling trash and recycling carts to the street for pick-up. This will be done with the frequency that trash and recycling pick-up is provided for this site.
- 3) Tenants will be asked to take responsibility for keeping the entire site clean and trash-free. His will include areas around the rolling carts, the transit shelter, the parking area, the playground and the outdoor kiosk shelter.
- 4) The tenants will be using a garden area to grow vegetables and flowering plants. The management of this garden area will be by and for the tenants of PEACH.

Please note that EmPOWERment and EmPOWERment staff will be taking ultimate responsibility for making certain that the above tasks are carried out.

February 24, 2022

Mr. Philip N. Post, PE
Philip Post Engineering
PO Box 4912
Chapel Hill, NC 27515

Re: Report of SWM Evaluation Services
Proposed Peach Apartments
107 Johnson Street
Chapel Hill, Orange County, NC
Modulus Project: M1269

Dear Mr. Post:

In accordance with your request Modulus, PLLC has conducted a site evaluation of a specific area of the referenced site for the purpose of reviewing the soil characteristics for storm water management (SWM). The location of the site is indicated as Figure 1. A site plan with the test location is shown on Figure 2.

AREA SOILS AND GROUNDWATER

According to the Orange County Soil Survey, the soils in the entire area of interest include Urban Land, with residual soil in the Tarrus silt loam series (TaD). These soils are reported to be well drained with a seasonal high-water table reported to be relatively low at a depth greater than 80 inches. This series lies in Hydrologic Soil Group (HSG) B. An excerpt from the Orange County Soil Survey for this series is attached.

The closest natural surface water is an unnamed creek located approximately 100 feet west of the explored area. The creek is at an approximate elevation of 342 feet, which is approximately 84 feet lower than the surface (426 feet) in the explored area.

FIELD SERVICES

Our services included the determination of soil types and seasonal high-water table (SHWT) at the test location. One (1) test location was proposed at the site as indicated on Figure 2. Our observations were as follows:

- Test Location T-1- This location was performed to a depth of approximately 10 feet below ground surface. Soils consisted of an upper layer of sandy topsoil approximately 2 inches thick. Below the topsoil was a layer of 57 stone fill, mixed with silt that extended to an approximate depth of 36" below grade. Below the fill was the residual soil which consisted of a tan sandy silt that extended to a depth of approximately 48 inches. Below the sandy silt was a stratum of orange-tan clayey silt, which extended to approximately 80 inches. A tan silty sand was encountered at a depth of 80 inches and extended to the terminal depth if the boring at 10'. All of the soils encountered appeared dry and free of mottling and/or deep redoximorphic features related to wetness.

SHWT Evaluation Services- 107 Johnson Street, Chapel Hill, NC
 Modulus Project No. M1269
 February 24, 2022
 Page 2 of 2

TESTING SUMMARY

The following table summarizes the results of testing.

Test Location	Surface Elevation	Bottom Elevation	Soil description at bottom depth	SHWT Depth	SHWT Elev.
T-1	98.0'	88.0'	Tan silty SAND (SM)	> 10.0'	< 88.0'

Elevations shown are based on the Grading & Drainage & Utility Plan (Sheet C6) prepared by Philip Post Engineering revised 1/14/2022.

CLOSING

Modulus appreciates the opportunity to provide these services. If you have questions, or if we can be of additional service, please contact us at (919) 800-9093.

Modulus, PLLC



Aric V. Geda, P.E.
 Principal Engineer



Attachments: Figure 1- Site Location Map
 Figure 2- Site Plan with Test Location
 Soil Survey Description

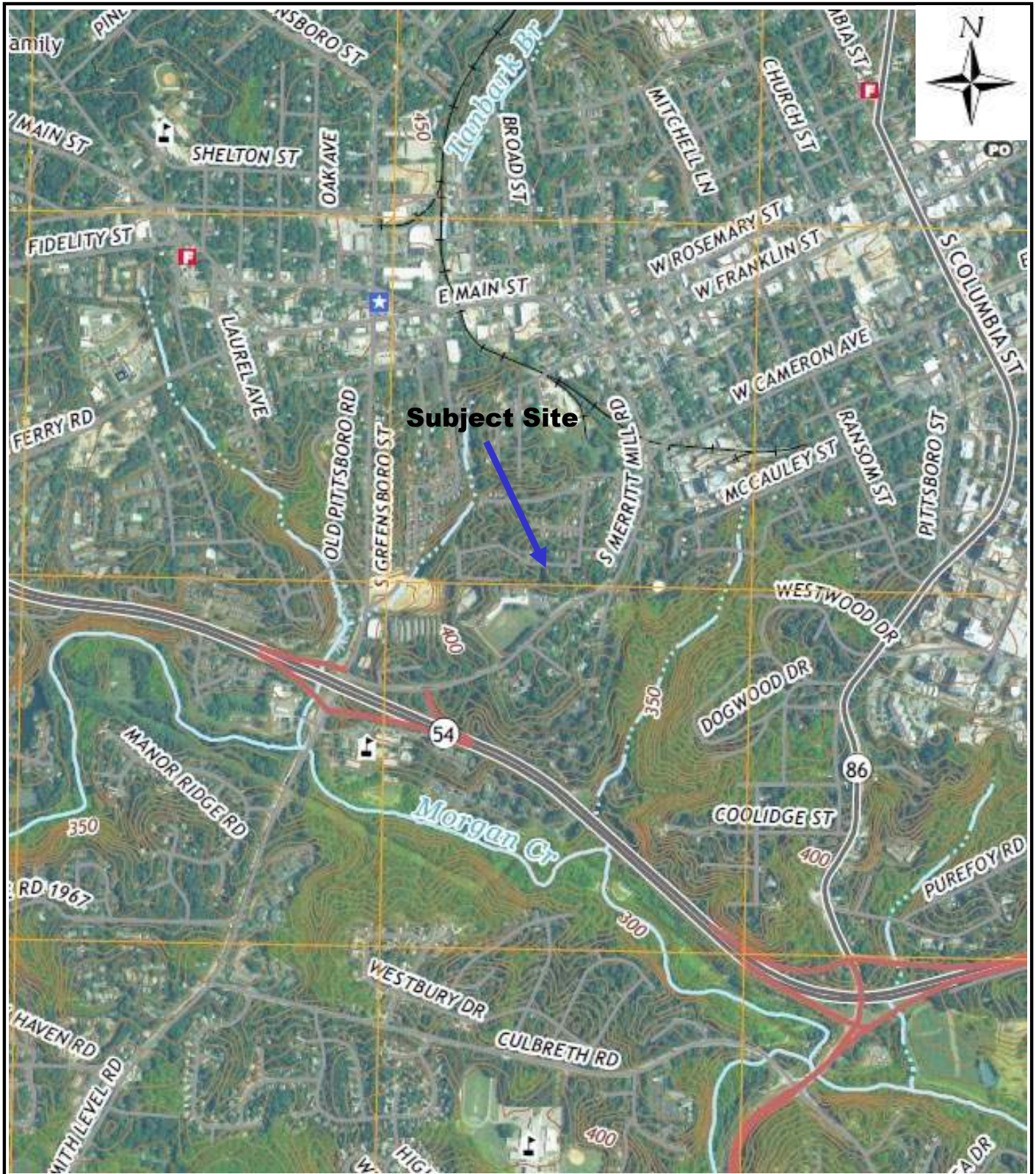


FIGURE 1- SITE LOCATION MAP

<p>SHWT Evaluation 107 Johnson Street Chapel Hill, Orange County, NC</p>	<p>Modulus, PLLC. Engineering · Due Diligence · Design PO Box 935 Oak Ridge, North Carolina 27310 (919) 800-9093</p>	<p>Project No: M1269 February 2022 Boundaries are approximate. Not to scale</p>
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FIGURE 2- SITE PLAN WITH TEST LOCATION

SHWT Evaluation
 107 Johnson Street
 Chapel Hill, Orange County, NC

Modulus, PLLC.
 Engineering · Due Diligence · Design
 PO Box 935
 Oak Ridge, North Carolina 27310
 (919) 800-9093

Project No: M1269
 February 2022

Boundaries are approximate.
 Not to scale

Orange County, North Carolina

TaD—Tarrus silt loam, 8 to 15 percent slopes

Map Unit Setting

National map unit symbol: 2n868

Elevation: 200 to 650 feet

Mean annual precipitation: 37 to 60 inches

Mean annual air temperature: 59 to 66 degrees F

Frost-free period: 200 to 240 days

Farmland classification: Farmland of statewide importance

Map Unit Composition

Tarrus and similar soils: 75 percent

Minor components: 20 percent

Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Tarrus

Setting

Landform: Hillslopes on ridges

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Parent material: Residuum weathered from metavolcanics and/or argillite

Typical profile

Ap - 0 to 8 inches: silt loam

Bt - 8 to 50 inches: clay loam

Cr - 50 to 80 inches: weathered bedrock

Properties and qualities

Slope: 8 to 15 percent

Depth to restrictive feature: 40 to 60 inches to paralithic bedrock

Drainage class: Well drained

Runoff class: Medium

Capacity of the most limiting layer to transmit water (Ksat): Very low to high (0.00 to 1.98 in/hr)

Depth to water table: More than 80 inches

Frequency of flooding: None

Frequency of ponding: None

Available water supply, 0 to 60 inches: Moderate (about 7.7 inches)

Interpretive groups

Land capability classification (irrigated): None specified

Land capability classification (nonirrigated): 3e

Hydrologic Soil Group: B

Hydric soil rating: No

Minor Components

Badin

Percent of map unit: 15 percent

Landform: Hillslopes on ridges

Landform position (two-dimensional): Shoulder, backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Hydric soil rating: No

Goldston

Percent of map unit: 5 percent

Landform: Hillslopes on ridges

Landform position (two-dimensional): Backslope

Landform position (three-dimensional): Side slope

Down-slope shape: Linear

Across-slope shape: Convex

Hydric soil rating: No

Data Source Information

Soil Survey Area: Orange County, North Carolina

Survey Area Data: Version 22, Jan 21, 2022

CONDITIONAL USE ZONING FOR PEACH APARTMENTS

107 & 107 A/B JOHNSON STREET
CHAPEL HILL, NORTH CAROLINA

PIN: 9788-03-2946, 9788-03-0899 & 9788-03-0940

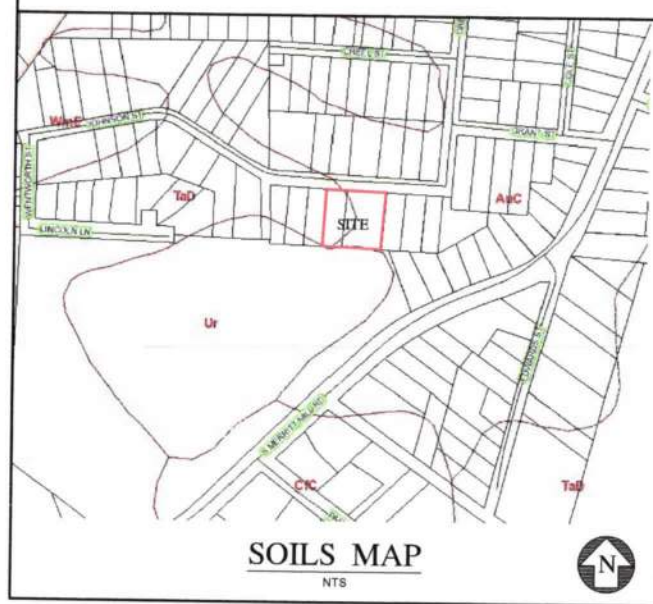
DATE: JULY 21, 2021

REVISION #1: JANUARY 14, 2022

REVISION #2: FEBRUARY 26, 2022

REQUIRED CONDITIONS

1. NCFPC SECTION 510. EMERGENCY RESPONDER RADIO COVERAGE IN NEW BUILDINGS. ALL NEW BUILDINGS SHALL HAVE APPROVED RADIO COVERAGE FOR EMERGENCY RESPONDERS WITHIN THE BUILDING BASED UPON THE EXISTING COVERAGE LEVELS OF THE PUBLIC SAFETY COMMUNICATION SYSTEMS OF THE JURISDICTION AT THE EXTERIOR OF THE BUILDING. THIS SECTION SHALL NOT REQUIRE IMPROVEMENT OF THE EXISTING PUBLIC SAFETY COMMUNICATION SYSTEMS.
2. PRIVATE FIRE SERVICE MAINS (FIRE SPRINKLER LATERALS): PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, 2018 NCFPC SECTION 507.
3. CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF THE NC FIRE CODE. 2018 NCFPC CHAPTER 33.
4. FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS. 2018 NCFPC SECTION 3304.5.
5. FIRE PROTECTION AND UTILITY PLAN: SHALL INCLUDE THE FIRE FLOW REPORT: FOR A HYDRANT WITHIN 500' OF EACH BUILDING, PROVIDE THE CALCULATED GALLONS PER MINUTE OF WITH A RESIDUAL PRESSURE OF 20 POUNDS PER SQUARE INCH. THE CALCULATIONS SHOULD BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF NC AND ACCOMPANIED BY A WATER SUPPLY FLOW TEST CONDUCTED WITHIN ONE YEAR OF THE SUBMITTAL. REFERENCE TOWN DESIGN MANUAL FOR REQUIRED GALLONS PER MINUTE.
6. WATER SUPPLY FOR FIRE PROTECTION: WHEN REQUIRED, AN APPROVED WATER SUPPLY FOR FIRE PROTECTION, EITHER TEMPORARY OR PERMANENT, SHALL BE MADE AVAILABLE AS SOON AS COMBUSTIBLE MATERIAL ARRIVES ON THE SITE. 2018 NCFPC 3312.
7. ADDRESS IDENTIFICATION: 505.1 ADDRESS IDENTIFICATION. NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONT THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPOILED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 6 INCHES (153 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 3/4 INCH (20 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. 2018 NCFPC 505.1.
8. FIRE LANES: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, APPROVED SIGNS OR OTHER APPROVED NOTICES OR MARKINGS THAT INCLUDE THE WORDS NO PARKING-FIRE LANE SHALL BE PROVIDED FOR FIRE APPARATUS ACCESS ROADS TO IDENTIFY SUCH ROADS OR PROHIBIT THE OBSTRUCTION THEREOF. THE MEANS BY WHICH FIRE LANES ARE DESIGNATED SHALL BE MAINTAINED IN A CLEAN AND LEGIBLE CONDITION AT ALL TIMES AND BE REPLACED OR REPAIRED WHEN NECESSARY TO PROVIDE ADEQUATE VISIBILITY. 2018 NCFPC SECTION 503.3 AND APPENDIX D D 103.A, D 103.A.1, D 103.B.2.
9. GATES AND BARRICADES: 03.5 REQUIRED GATES OR BARRICADES. THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE THE INSTALLATION AND MAINTENANCE OF GATES OR OTHER APPROVED BARRICADES ACROSS FIRE APPARATUS ACCESS ROADS, TRAILS, OR OTHER ACCESSWAYS; NOT INCLUDING PUBLIC STREETS, ALLEYS, OR HIGHWAYS. ELECTRIC GATE OPERATORS, WHERE PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325. GATES INTENDED FOR AUTOMATIC OPERATION SHALL BE DESIGNED, CONSTRUCTED, AND INSTALLED TO COMPLY WITH THE REQUIREMENTS OF ASTM F2206. 2018 NCFPC SECTION 503 AND APPENDIX D103.
10. FIRE DEPARTMENT ACCESS/CONSTRUCTION: DURING CONSTRUCTION, VEHICLE ACCESS FOR FIRE FIGHTING SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT, AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS. 2018 NCFPC SECTION 505.2.
11. FIRE DEPARTMENT ACCESS/CONSTRUCTION: FENCING AROUND PROJECTS SHALL INCLUDE ACCESS GATES WITH A 20 FOOT SWING OR SLIDE MOTION. ANY AREAS WHICH WILL BE INACCESSIBLE FOR FIRE FIGHTING OR RESCUE OPERATIONS SHALL BE NOTED. EMERGENCY ACCESS DESIGNATION FOR APPARATUS SHALL BE PROVIDED. 2018 NCFPC SECTION 503, APPENDIX D.



Sheet List Table	
Sheet Number	Sheet Title
C-1	COVER SHEET
C-2	AREA MAP
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C-4	DEMOLITION PLAN
C-5	SITE PLAN
C-6	GRADING & DRAINAGE & UTILITY PLAN
C-7	EROSION CONTROL - CONSTRUCTION MANAGEMENT PLAN
D-1	SITE DETAILS
D-2	SITE DETAILS
D-3	SITE DETAILS
LI-1	LIGHTING PLAN
L-1	LANDSCAPE PLAN

NOTES:

1. ALL NEW UTILITIES SHALL BE LOCATED UNDERGROUND THROUGHOUT THE SITE AS ALLOWED BY LOCAL CODES, UNLESS OTHERWISE SHOWN ON PLANS.
2. ALL PUBLIC UTILITIES AND CONNECTIONS TO PUBLIC UTILITIES SHALL CONFORM TO THE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY PERMITS NECESSARY FOR CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF THE LOCATION AND/OR RELOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY, AGENCY OR COMPANY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS AND DISTURBANCES WITH EXISTING USERS. THE TOWN OF CHAPEL HILL AND APPROPRIATE UTILITY COMPANIES SO THAT ANY SERVICE INTERRUPTIONS ARE MINIMAL.
6. UTILITY CONNECTIONS FOR BUILDING PLUMBING LINES SHALL BE COORDINATED BY CONTRACTOR. LOCATIONS, BOTH HORIZONTAL AND VERTICAL, SHALL BE VERIFIED PRIOR TO BEGINNING THEIR CONSTRUCTION.
7. SEWER CLEANOUTS IN PAVED AREAS SHALL BE TRAFFIC BEARING.



Know what's below.
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CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-832-4848) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



DEVELOPMENT INFORMATION

NET LAND AREA = 29,258 SF (0.87 AC)
 GROSS LAND AREA = 32,164 SF (0.74 AC)
 EXISTING ZONING = R-3
 PROPOSED ZONING = R-SS-CZD
 PROPOSED AFFORDABLE DWELLING UNITS: 10 UNITS
 (2) EFFICIENCIES, (4) ONE BEDROOM, (3) TWO BEDROOM, (1) THREE BEDROOM
 PROPOSED FLOOR AREA = 7,897 SF
 LUMO PARKING: 12 TO 15 SPACES
 PROPOSED PARKING: 9 REGULAR
 2 ACCESSIBLE
 2 OVERFLOW
 13 TOTAL SPACES
 BICYCLE PARKING: 4 SPACES
 PROPOSED AMENITIES: PLAYGROUND; GAZEBO, COMMUNITY GARDEN
 PROPOSED STORMWATER CONTROL MEASURE: BIORETENTION SCM
 PROPOSED DISTURBED AREA = 23,399 SF (0.537 AC)
 EXISTING IMPERVIOUS AREA = 5,141 SF (0.118 AC)
 PROPOSED IMPERVIOUS AREA =
 ROOFS = 5,891 SF (MAIN)
 ROOFS = 113 SF (GAZEBO)
 ROOFS = 60 SF (SHELTER)
 WALKSWALLS = 1,380 SF
 DRIVES = 4,064 SF
 TOTAL = 11,508 SF (0.26 AC)
 NET NEW IMPERVIOUS SURFACE = 6,367 SF (0.146 AC)

CIVIL ENGINEER
 PHILIP POST ENGINEERING, INC.
 PHILIP N. POST, PE, PLS
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 CHAPEL HILL, N.C. 27515
 TEL. (919) 818-7862
 philip.n.post@gmail.com

ARCHITECT
 JOSH GURLITZ
 JGA ARCHITECTS
 308 W. ROSEMARY ST, SUITE 302
 CHAPEL HILL, NC 27516
 TEL. (919) 537-5875
 josh@joshgurlitz.com

OWNER
 DELORES BAILEY
 EMPOWERMENT, INC.
 109 N. GRAHAM ST, SUITE 200
 CHAPEL HILL, NC 27514
 TEL. (919) 967-8779
 delores.bailey@gmail.com

NO.	REVISIONS	DATE	BY
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6			
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3			
2	FORM COMMENTS	2/28/2022	DMC
1	ISSUE ITEMS	1/14/2022	DMC

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CONDITIONAL USE ZONING
PEACH APARTMENTS
 107 & 107 A/B JOHNSON STREET - PIN: 9788-03-2946, 9788-03-0899 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA
COVER SHEET

PROJECT NO.
PEACH
 DRAWING NAME
 PEACH_CS.dwg
 SHEET NO.
C-1

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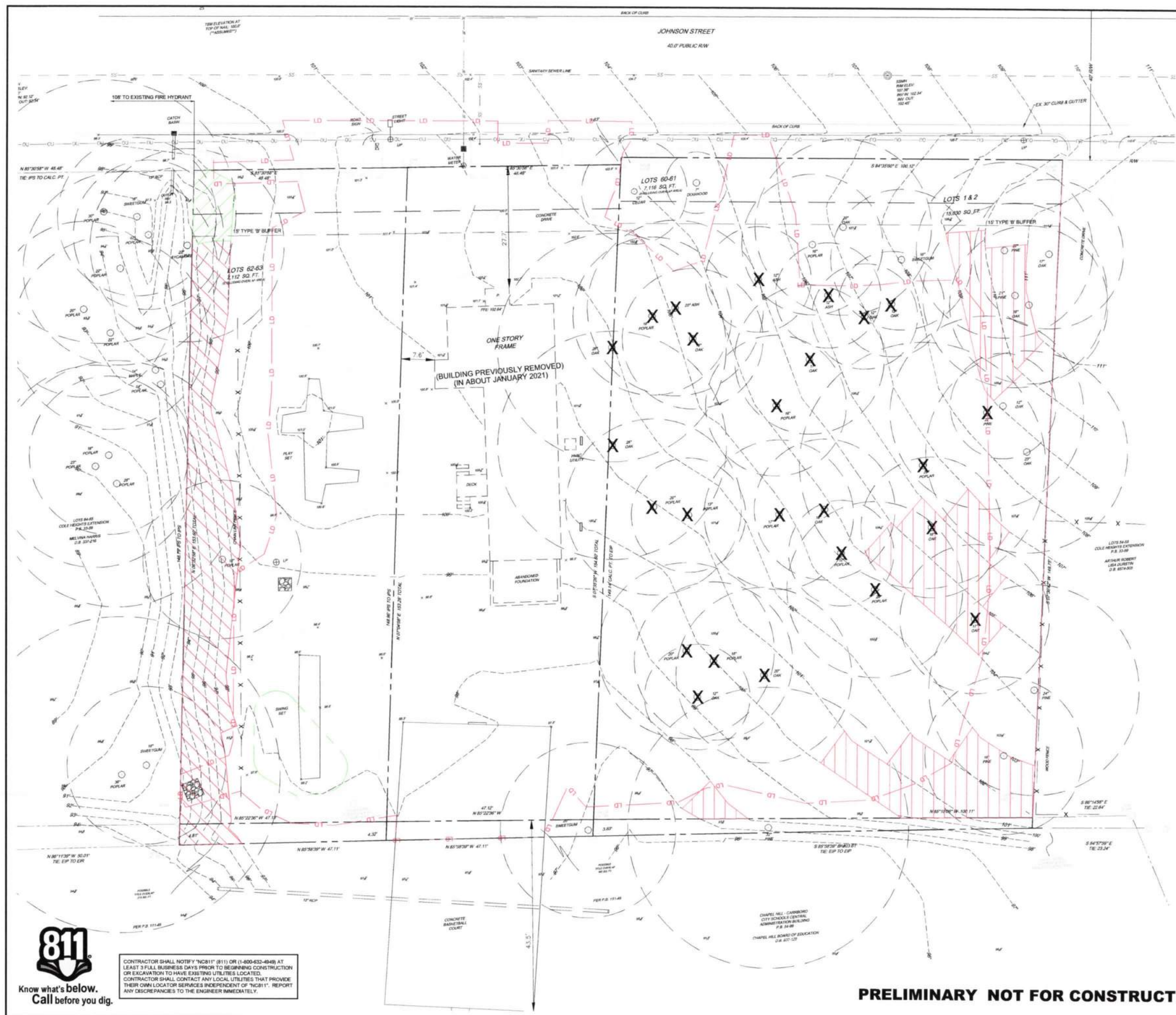


- BUS STOP
- FIRE HYDRANT



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PROJECT NO. PEACH		PROJECT ENGINEER PNP		DATE 2/26/2022	
DRAWING NAME AREA MAP.dwg		CHECKED BY PNP		DATE 1/14/2022	
SHEET NO. C-2		DRAWN BY DC		REVISIONS	
CONDITIONAL USE ZONING PEACH APARTMENTS 107 & 107-AB JOHNSON STREET - PH: 9788-03-2946, 9788-03-0899 & 9788-03-0940 CHAPEL HILL - NORTH CAROLINA		PHILIP N. Post, PE, PLS (919) 818-7862 philip.n.post@gmail.com PO Box 4912 Chapel Hill, NC 27515		DATE BY	
AREA MAP		PHILIP POST ENGINEERING FIRM: C 347		1 2 3 4 5 6 7	
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SLOPES LEGEND

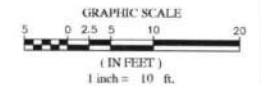
	10% TO 15% SLOPES AREA = 1853 SF DISTURBED = 870 SF
	15% TO 25% SLOPES AREA = 138 SF DISTURBED = 0 SF
	OVER 25% SLOPES AREA = 1318 SF DISTURBED = 87 SF

REMAINDER OF SITE IS LESS THAN 10%

NOTE:
ALL INFORMATION ON THIS MAP WAS FIELD SURVEYED, USING ASSUMED ELEVATION AT TBM AS SHOWN HEREON.
To convert to MSL datum, add 330 to all grades.

LEGEND

	TELEPHONE PEDESTAL
	CONTROLLER CABINET
	CURB INLET
	DROP INLET
	LIGHT POLE
	WATER METER
	WATER VALVE
	TRAFFIC SIGNAL BOX
	EXISTING SEWER MANHOLE
	CLEAN OUT
	FIRE HYDRANT
	POWER/LIGHT POLE
	GUY WIRE
	EXISTING MONUMENT FOUND
	IRON ROD OR PIPE
	CONCRETE MONUMENT SET
	CONCRETE MONUMENT
	EXISTING PIPE/CULVERT
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING TELEPHONE
	EXISTING GAS LINE
	EXISTING OVERHEAD UTILITY
	EXISTING UNDERGROUND UTILITY
	EXISTING WOODS LINE
	LIMITS OF DISTURBANCE LINE



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CONTRACTOR SHALL NOTIFY "811" (811) OR (1-800-433-6849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

NO.	REVISIONS	DATE	BY
7			
6			
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4			
3			
2		2/26/2022	DWC
1		1/14/2022	DWC

PROJECT ENGINEER PNP	CHECKED BY PNP	DRAWN BY DC	FIRST ISSUE DATE 03-21-2021
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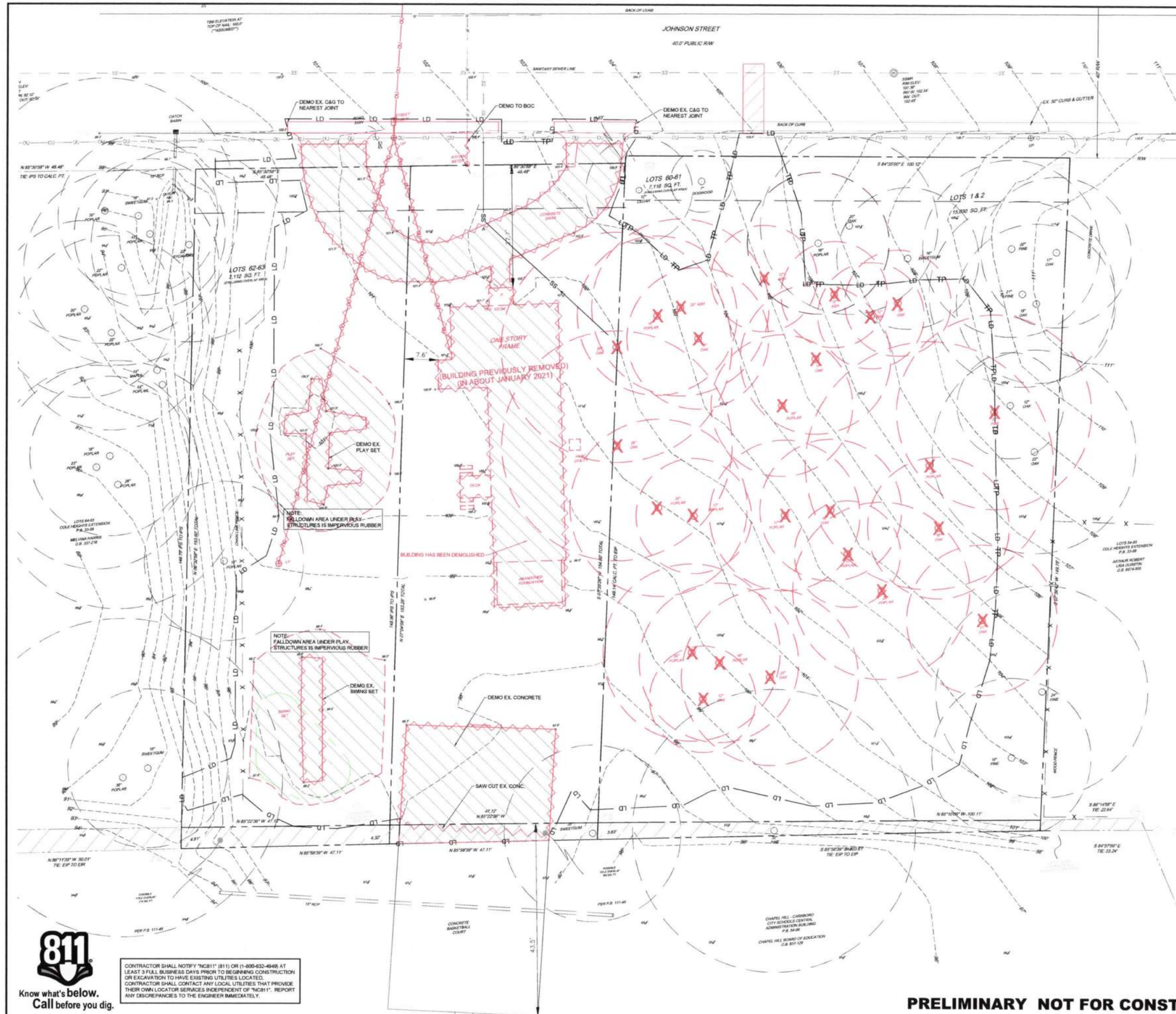
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CONDITIONAL USE ZONING
PEACH APARTMENTS
107 & 107-AB JOHNSON STREET - P/N: 9788-03-2946, 9788-03-2899 & 9788-03-0640
CHAPEL HILL, NORTH CAROLINA

EXISTING CONDITIONS - SLOPE ANALYSIS PLAN

PROJECT NO.
PEACH
DRAWING NAME
PEACH_XC.dwg
SHEET NO.
C-3

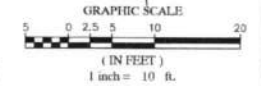


- LEGEND**
- TELEPHONE PEDESTAL
 - CONTROLLER CABINET
 - CURB INLET
 - DROP INLET
 - LIGHT POLE
 - WATER METER
 - WATER VALVE
 - TRAFFIC SIGNAL BOX
 - EXISTING SEWER MANHOLE
 - CLEAN OUT
 - FIRE HYDRANT
 - POWER/LIGHT POLE
 - GUY WIRE
 - EXISTING MONUMENT FOUND
 - IRON ROD OR PIPE
 - CONCRETE MONUMENT SET
 - CONCRETE MONUMENT
 - EXISTING PIPE/CULVERT
 - EXISTING WATER LINE
 - EXISTING SANITARY SEWER LINE
 - EXISTING TELEPHONE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD UTILITY
 - EXISTING UNDERGROUND UTILITY
 - EXISTING WOOD LINE
 - LIMITS OF DISTURBANCE LINE
- EXISTING IMPERVIOUS AREAS DEMOLISHED = 5,141 SF
- NOTE: FALLDOWN AREA UNDER PLAY STRUCTURES IS IMPERVIOUS RUBBER



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NO.	REVISIONS	DATE	BY
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2	TOM COMMENTS	2/26/2023	DWG
1	ISSUE	1/14/2022	DWG

PROJECT ENGINEER
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DC

FIRST ISSUE DATE
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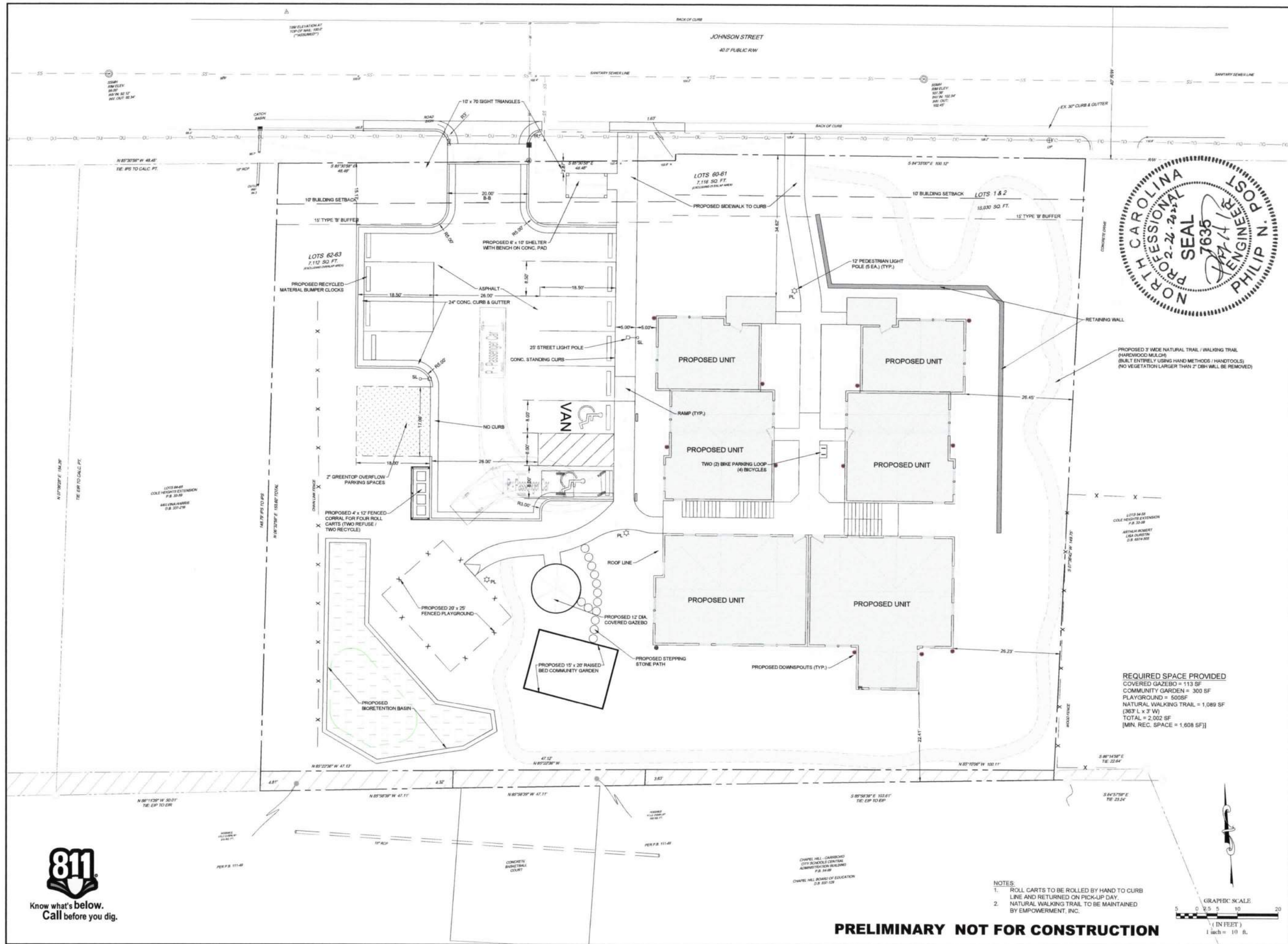
CONDITIONAL USE ZONING
PEACH APARTMENTS
107 & 107-1/2 JOHNSON STREET - PHIP 9788-03-2946, 9788-03-0540
CHAPEL HILL, NORTH CAROLINA

DEMOLITION PLAN

PROJECT NO:
PEACH

DRAWING NAME:
PEACH_DEM.dwg

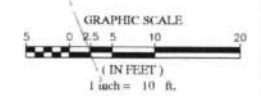
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C-4



PROPOSED 3' WIDE NATURAL TRAIL / WALKING TRAIL (HARDWOOD MULCH) (BUILT ENTIRELY USING HAND METHODS / HANDTOOLS) (NO VEGETATION LARGER THAN 2" DBH WILL BE REMOVED)

REQUIRED SPACE PROVIDED
 COVERED GAZEBO = 113 SF
 COMMUNITY GARDEN = 300 SF
 PLAYGROUND = 500SF
 NATURAL WALKING TRAIL = 1,089 SF
 (363' L x 3' W)
 TOTAL = 2,002 SF
 [MIN. REC. SPACE = 1,608 SF]

- NOTES:
- ROLL CARTS TO BE ROLLED BY HAND TO CURB LINE AND RETURNED ON PICK-UP DAY.
 - NATURAL WALKING TRAIL TO BE MAINTAINED BY EMPOWERMENT, INC.



NO.	REVISIONS	DATE	BY
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2	TOWN COMMENTS	2/26/2023	DNC
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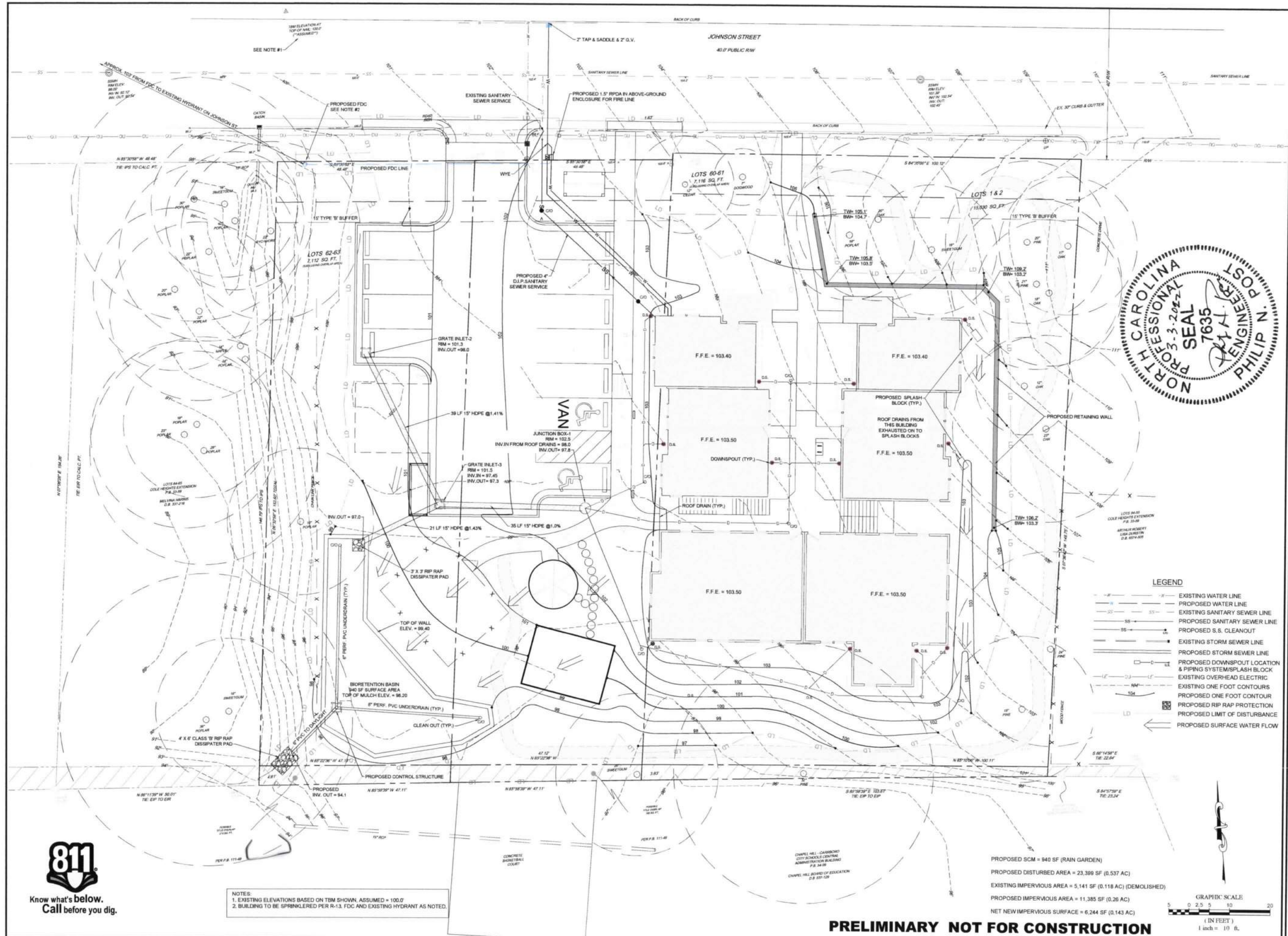
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CONDITIONAL USE ZONING
PEACH APARTMENTS
 107 & 107A-B JOHNSON STREET - P/N: 0786-03-2946, 0786-03-0686 & 0786-03-0640
 CHAPEL HILL, NORTH CAROLINA

PROJECT NO.
PEACH
 DRAWING NAME
 SITE PLAN.dwg
 SHEET NO.
C-5



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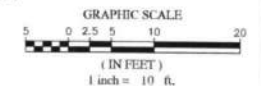


LEGEND

- - - - - EXISTING WATER LINE
- - - - - PROPOSED WATER LINE
- - - - - EXISTING SANITARY SEWER LINE
- - - - - PROPOSED SANITARY SEWER LINE
- - - - - PROPOSED S.S. CLEANOUT
- - - - - EXISTING STORM SEWER LINE
- - - - - PROPOSED STORM SEWER LINE
- - - - - PROPOSED DOWNSPOUT LOCATION & PIPING SYSTEM/SPLASH BLOCK
- - - - - EXISTING OVERHEAD ELECTRIC
- - - - - EXISTING ONE FOOT CONTOURS
- - - - - PROPOSED ONE FOOT CONTOUR
- - - - - PROPOSED RIP RAP PROTECTION
- - - - - PROPOSED LIMIT OF DISTURBANCE
- - - - - PROPOSED SURFACE WATER FLOW

NOTES:
 1. EXISTING ELEVATIONS BASED ON TBM SHOWN, ASSUMED = 100.0'
 2. BUILDING TO BE SPRINKLERED PER R-13, FDC AND EXISTING HYDRANT AS NOTED.

PROPOSED SCM = 940 SF (RAIN GARDEN)
 PROPOSED DISTURBED AREA = 23,399 SF (0.537 AC)
 EXISTING IMPERVIOUS AREA = 5,141 SF (0.118 AC) (DEMOLISHED)
 PROPOSED IMPERVIOUS AREA = 11,385 SF (0.26 AC)
 NET NEW IMPERVIOUS SURFACE = 6,244 SF (0.143 AC)



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NO.	DATE	BY
7		
6		
5		
4		
3	3/27/2022	DMC
2	2/28/2022	DMC
1	1/14/2022	DMC

PROJECT ENGINEER	PHILIP N. POST
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DRAWN BY	DC
FIRST ISSUE DATE	02/10/2021

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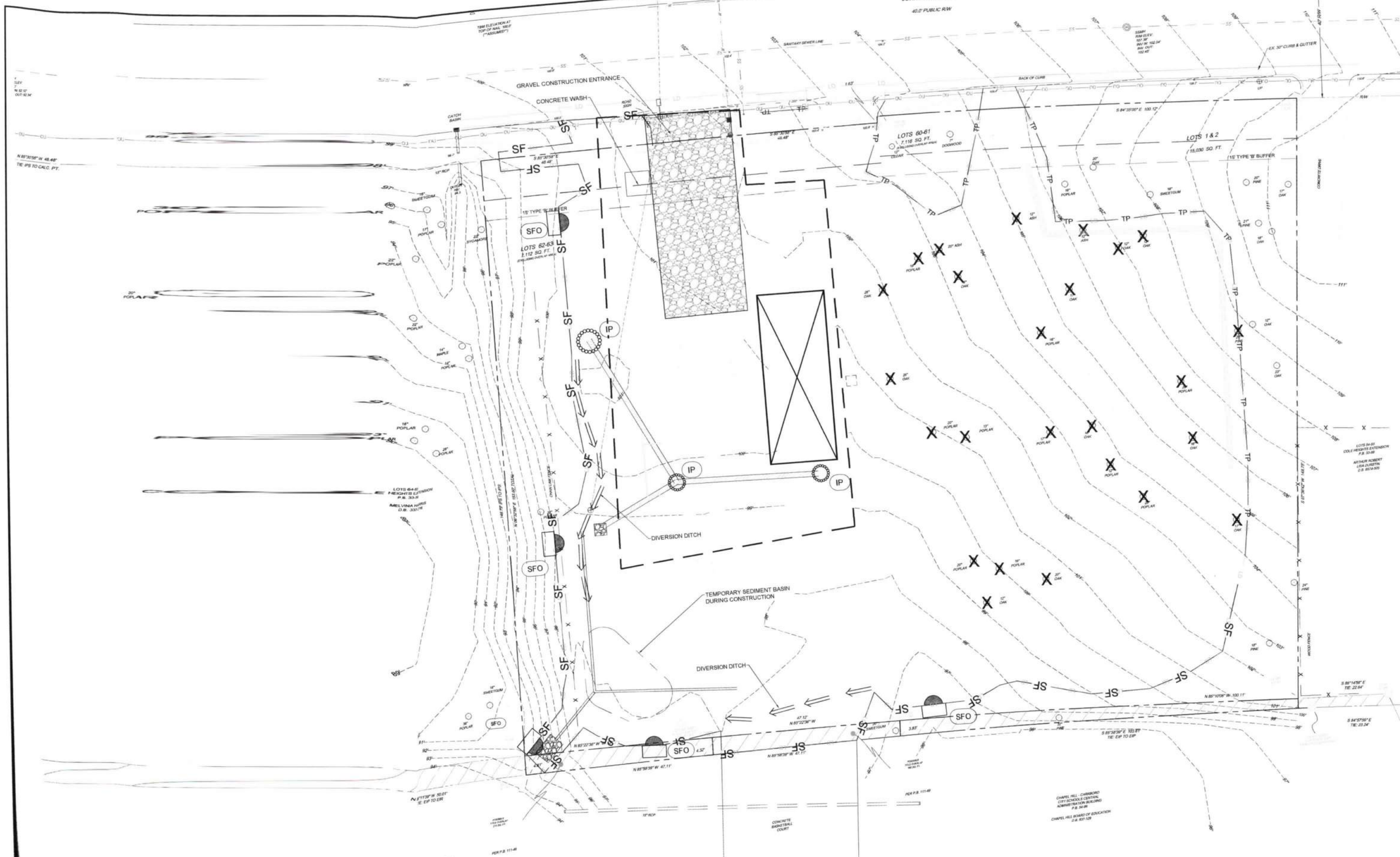
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 FIRM: C-247

CONDITIONAL USE ZONING
PEACH APARTMENTS
 107 & 107.5 AB JOHNSON STREET - P/N: 9788-03-2946, 9788-03-0699 & 9788-03-0940
 CHAPEL HILL, NORTH CAROLINA

GRADING & DRAINAGE & UTILITY PLAN

PROJECT NO.
PEACH
 DRAWING NAME:
 PEACH_G.dwg
 SHEET NO.
C-6

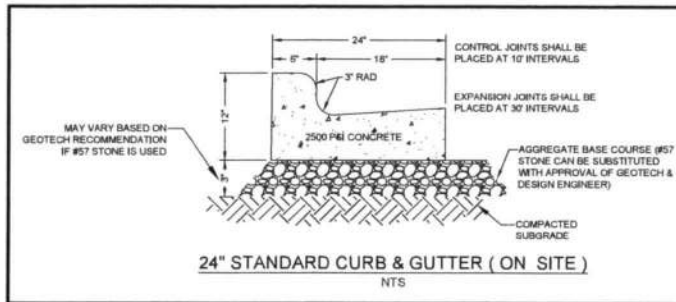




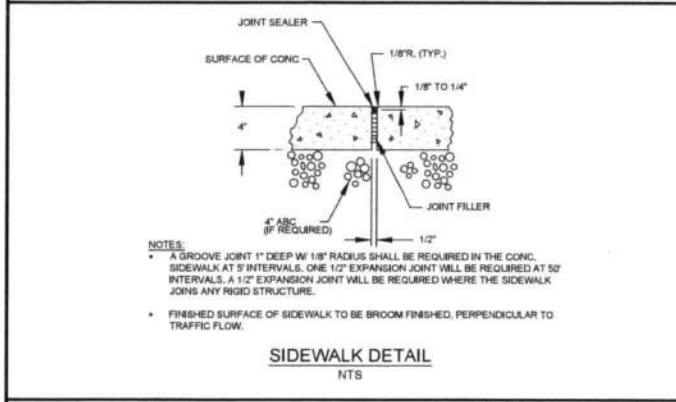
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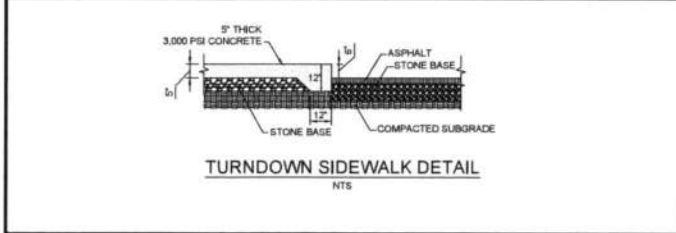
PRELIMINARY NOT FOR CONS



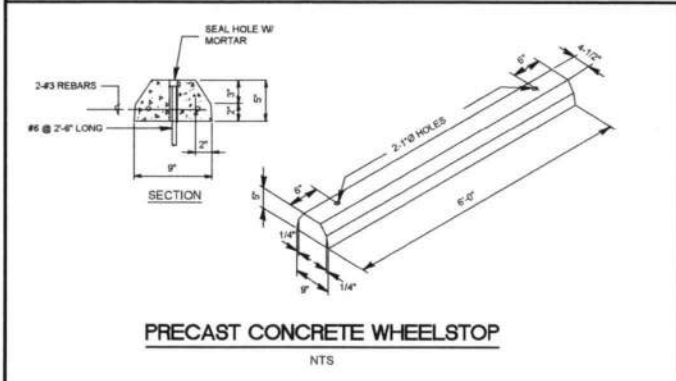
24" STANDARD CURB & GUTTER (ON SITE)
NTS



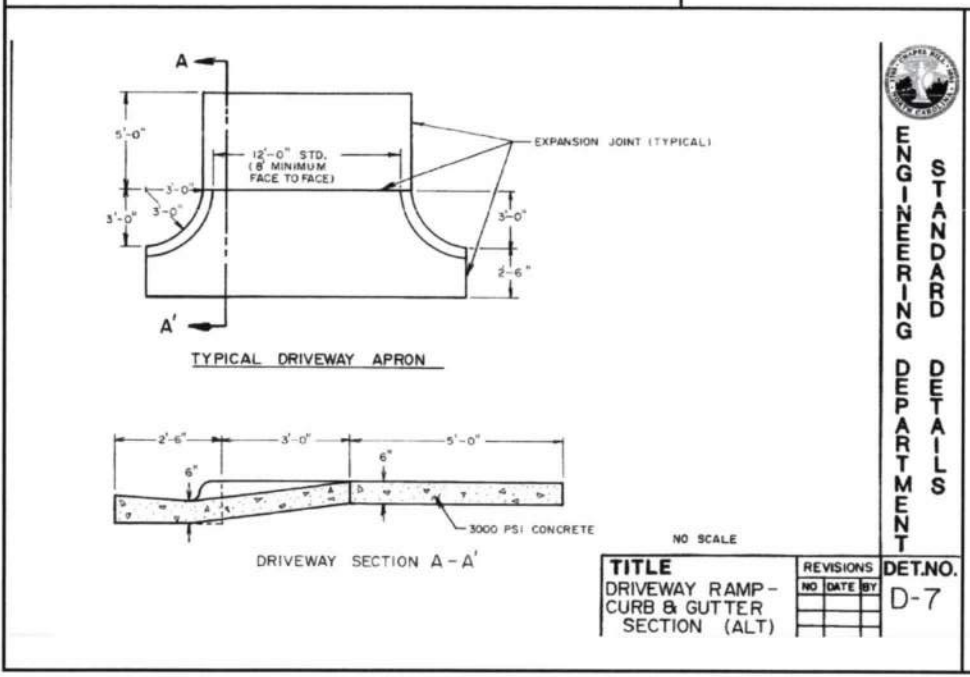
SIDEWALK DETAIL
NTS



TURNDOWN SIDEWALK DETAIL
NTS



PRECAST CONCRETE WHEELSTOP
NTS



TYPICAL DRIVEWAY APRON

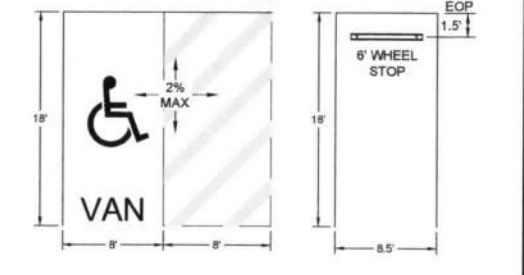
DRIVEWAY SECTION A-A'

TITLE	REVISIONS	DET.NO.
DRIVEWAY RAMP - CURB & GUTTER SECTION (ALT)	NO DATE BY	D-7



R7-8E

ACCESSIBLE PARKING SIGN

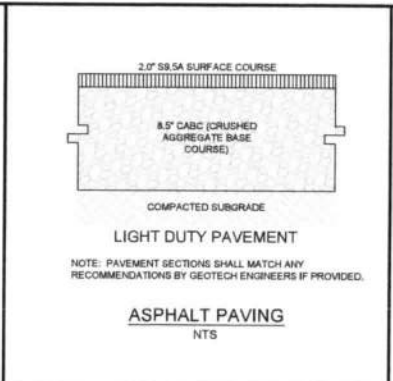


HANDICAP VAN ACCESSIBLE REGULAR SPACE (WHEEL STOP ONLY WHERE INDICATED)

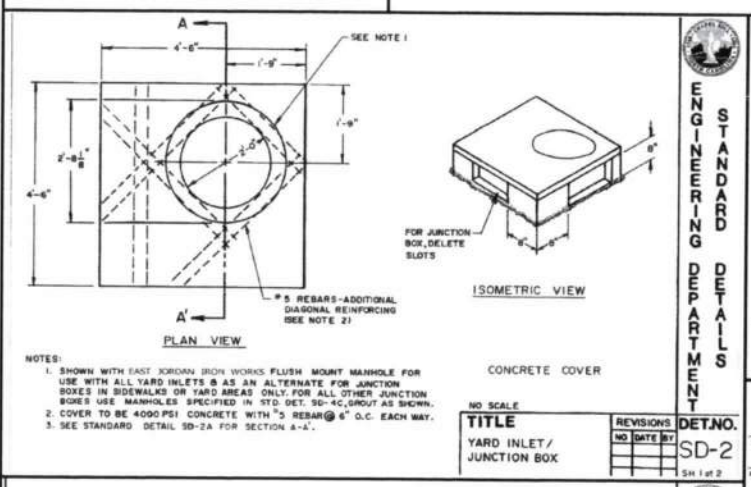
PARKING SPACES - TYPICAL



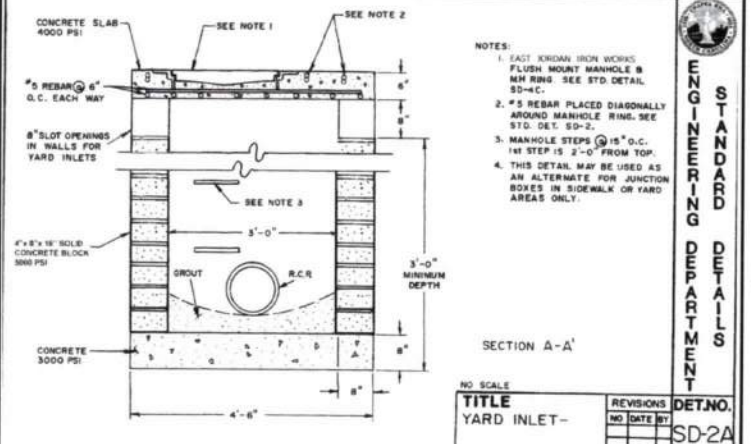
ACCESSIBLE PARKING SYMBOL
NTS



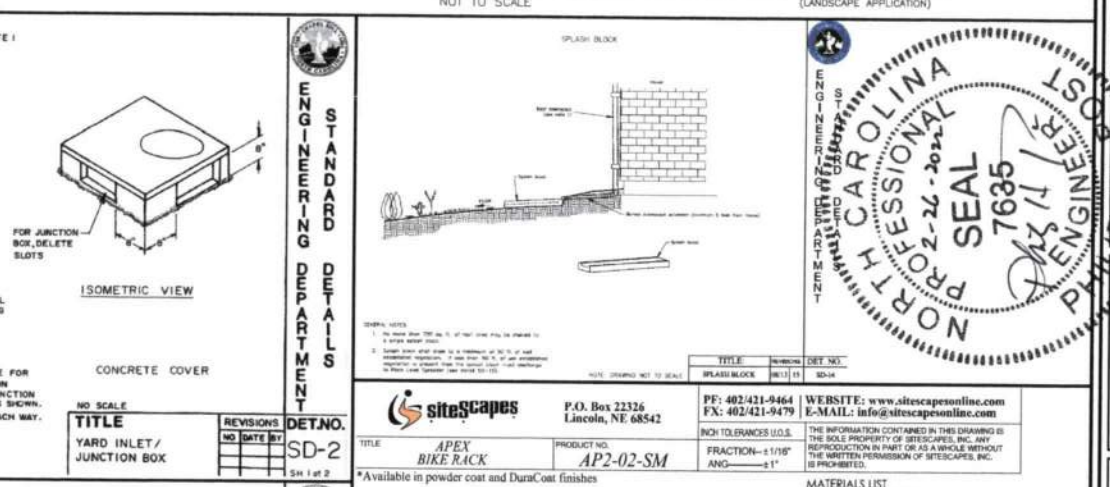
ASPHALT PAVING
NTS



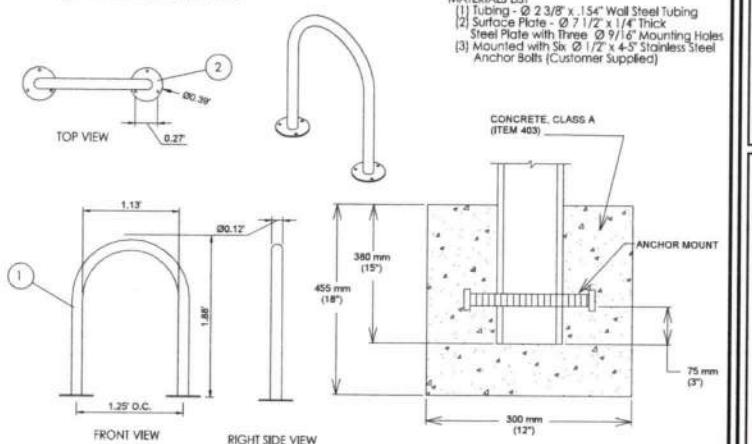
TITLE	REVISIONS	DET.NO.
YARD INLET / JUNCTION BOX	NO DATE BY	SD-2



TITLE	REVISIONS	DET.NO.
YARD INLET	NO DATE BY	SD-2A



NDS SQUARE GRATE WITH NDS SQUARE AREA DRAIN
NOT TO SCALE (LANDSCAPE APPLICATION)

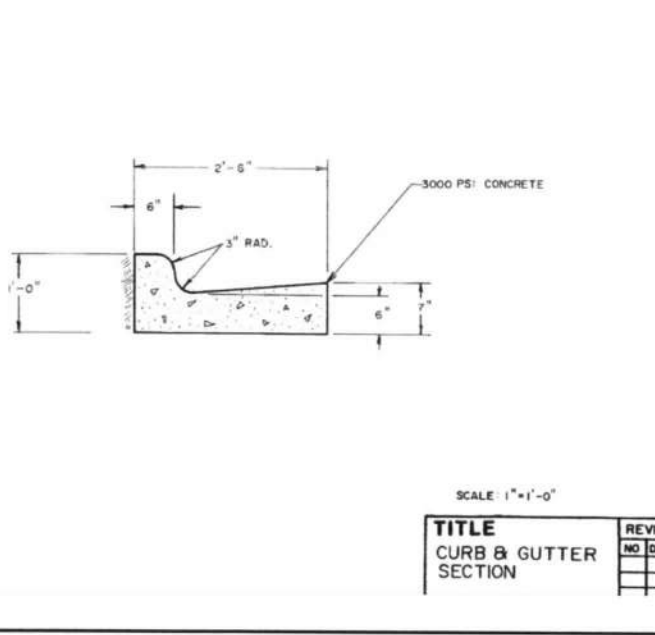


TITLE	REVISIONS	DET.NO.
BIKE RACK	NO DATE BY	SD-2

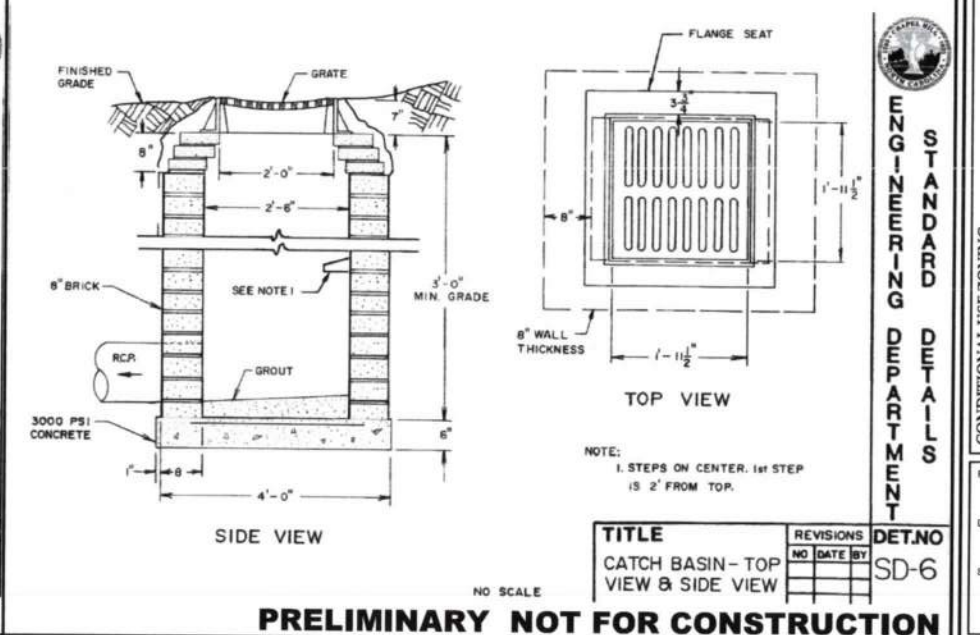
STANDARD ENGINEERING DEPARTMENT

STANDARD ENGINEERING DEPARTMENT

STANDARD ENGINEERING DEPARTMENT



TITLE	REVISIONS	DET.NO.
CURB & GUTTER SECTION	NO DATE BY	ST-2



TITLE	REVISIONS	DET.NO.
CATCH BASIN - TOP VIEW & SIDE VIEW	NO DATE BY	SD-6

PRELIMINARY NOT FOR CONSTRUCTION

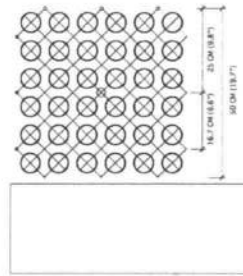
PHILIP POST ENGINEERING, INC. PROJECT ENGINEER: PHILIP POST, PE, PLS. CHECKED BY: PHILIP POST, PE, PLS. DRAWN BY: PHILIP POST, PE, PLS. PROJECT NO: PEACH APARTMENTS. SHEET NO: D-1. DATE: 1/14/2022. REVISIONS: 1. 2/29/2022 DMC. 2. 1/14/2022 DMC. 3. TOWN COMMENTS. 4. MOD. ITEMS. 5. REVISIONS.



100% Grass Covered Porous Pavement

Grasspave2 Flexible Plastic Porous Pavement

Grasspave2 protects and enhances the environment in three ways: First, made from 100% recycled plastic, Grasspave2 keeps common consumer and industrial products from going into landfills. Second, grass paving directly improves the environment by recharging water tables on site (reducing flooding hazards downstream), reducing sources of oils and solvents from asphalt, absorbing carbon dioxide, and creating oxygen. Third, it enhances the beauty and quality of the built environment - replacing hot asphalt paved areas with cool, sparking green lawn-like Product Description



- Maximum porosity
- Low to zero runoff
- Free air/water movement
- Permits more trees
- Cooler site
- Greater oxygen
- Removes air pollutants
- Can preserve existing trees
- Helps to meet "Green Coverage Codes"
- Fast, low cost installation
- Competes in cost with asphalt paving
- No gutter and rain system needed
- No added land required for detention facilities
- Lower life cycle costs

Applications

- Church/employee parking
- Overflow and event parking
- Golf cart paths
- Residential driveways
- Firelanes

Specifications

Unit Size - 20" x 20" x 1" (50 x 50 x 2.5cm)
 Unit Weight - 16oz (510 grams)
 Strength - 15,940 psi (109,906 kPa)
 Connector Pull Apart Strength (Tensile) - 458 lbf/in
 Color - Black
 Resin - 100% recycled HDPE with 3% carbon black
 Shipped in Rolls (431 sq ft standard, other roll sizes available)
 92% Void Space (89 plastic by volume)

Invisible Structures, Inc.
 303-233-8383
 www.invisiblestructures.com
 US Patent #5,250,340



Grasspave2 has this walled independent plastic rings connected by an interlocking geogrid structure, which, because it is installed below the surface, is invisible in the completed project. While the rings are rigid, the grid itself is flexible, which makes it easy to install on uneven grades, and reduces usual cut and fill requirements.

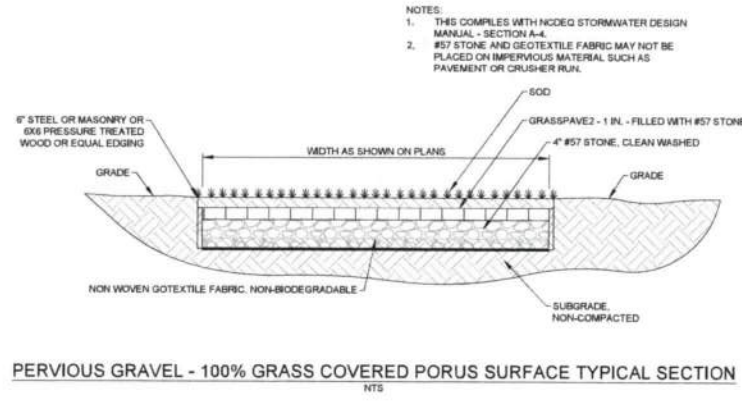
The rings transfer loads from the surface to the grid structure and engineered base course material below, thus preventing compaction of the upper root zone of the grass. A single ring supports small loads, such as shoes; several rings support tires and large loads.

The rings also act to contain the root zone medium (sand) and prevent lateral migration away from tires, feet, or other loads. This protects the grass root system, enabling roots to grow deep into the porous base course. The result is healthy, green turf at the surface.

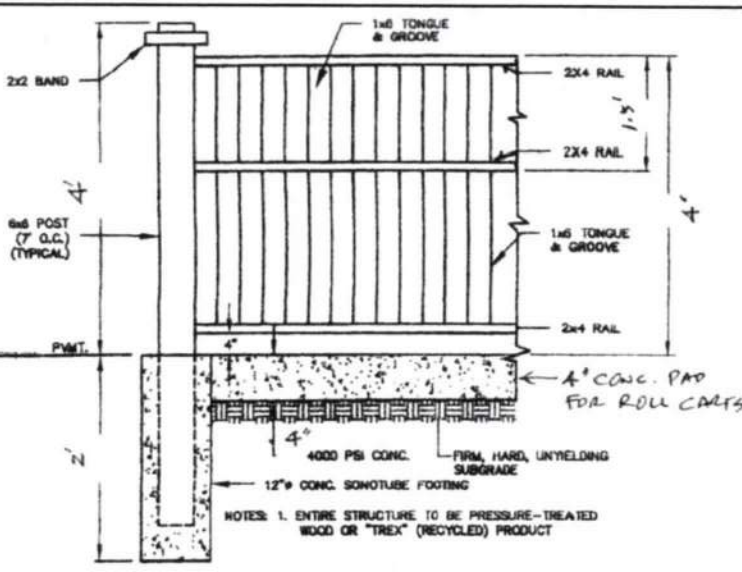
One person can easily install the Grasspave2 rolls at a rate of 70sq ft (750 sq ft) per hour, plus time for base course preparation and grass installation (seeding, sod or sprigging). Step-by-step instructions are included in our Installation Instructions, which accompany each order.

Features and Benefits

- Allows 100% grass coverage instead of asphalt
- Made from 100% post consumer plastic
- High strength to weight load-bearing capacity
- Supports vehicular and pedestrian traffic



PERVIOUS GRAVEL - 100% GRASS COVERED PORUS SURFACE TYPICAL SECTION



4' WOOD ROLL CART SCREEN



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2			
1			

PROJECT ENGINEER
 CHECKED BY
 DRAWN BY
 FIRST ISSUE DATE

Philip Post Engineering, Inc.
 107 & 107-1/2 AB JOHNSON STREET - FIRM: 9786-03-2946, 9786-03-0866 & 9786-03-0940
 CHAPEL HILL, NORTH CAROLINA

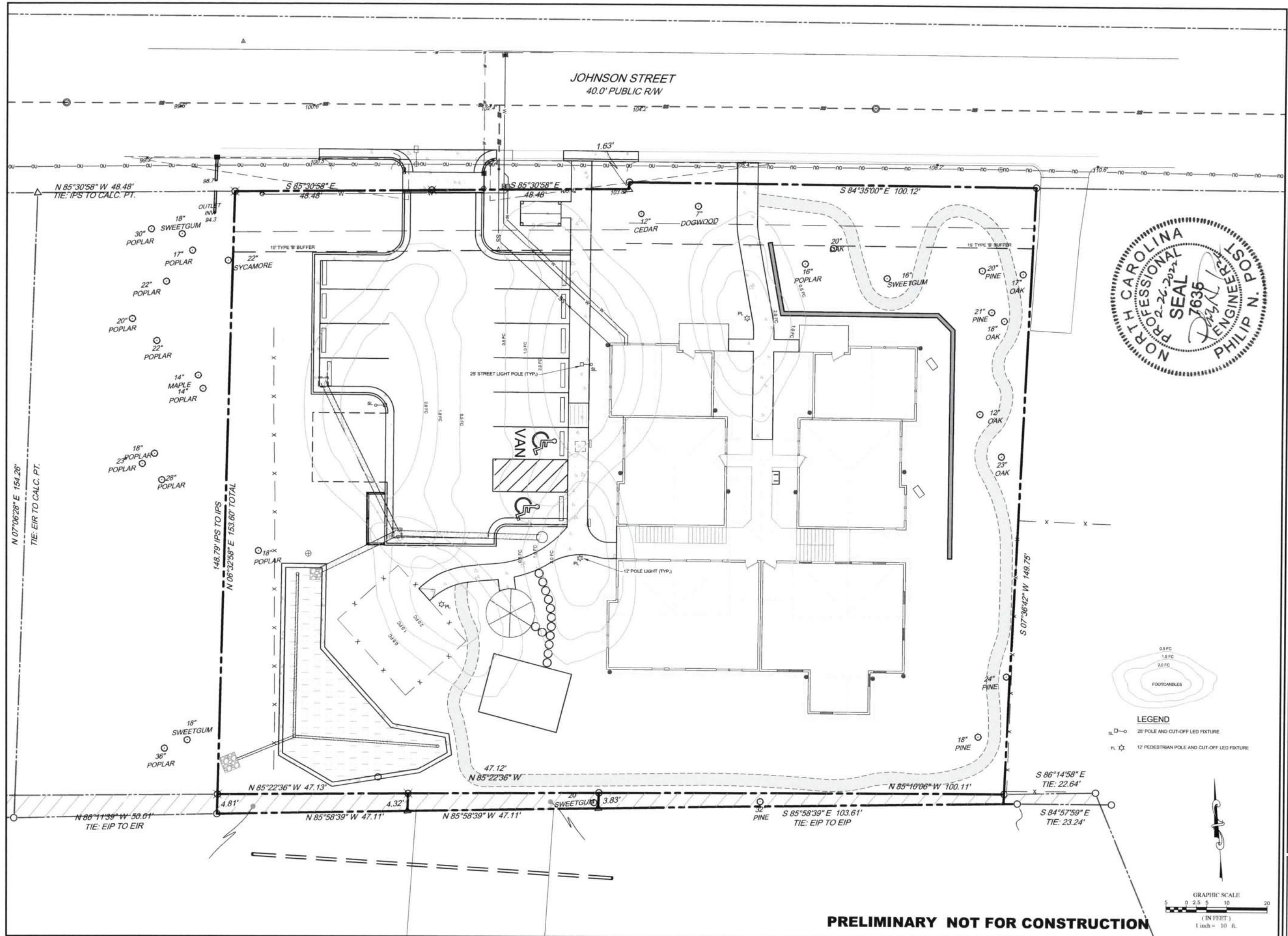
Philip N. Post, PE, PLS
 (919) 818-7862
 philip.n.post@gmail.com
 PO Box 4912
 Chapel Hill, NC 27515

PHILIP POST ENGINEERING
 FIRM: C 347

CONDITIONAL USE ZONING
PEACH APARTMENTS
 107 & 107-1/2 AB JOHNSON STREET - FIRM: 9786-03-2946, 9786-03-0866 & 9786-03-0940
 CHAPEL HILL, NORTH CAROLINA

PROJECT NO.
PEACH
 DRAWING NAME
 PEACH_D.dwg
 SHEET NO.
D-3

**PRELIMINARY
 NOT FOR CONSTRUCTION**



NO.	REVISIONS	DATE	BY
7			
6			
5			
4			
3			
2	TOWN COMMENTS	2/26/2022	DMC
1	MISC. ITEMS	1/14/2022	DMC

PROJECT ENGINEER
 PHILIP N. POST
 CHECKED BY
 PHILIP N. POST
 DRAWN BY
 DC
 FIRST ISSUE DATE
 07-21-2021

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 philip.n.post@gmail.com
 PO Box 4912
 Chapel Hill, NC 27515

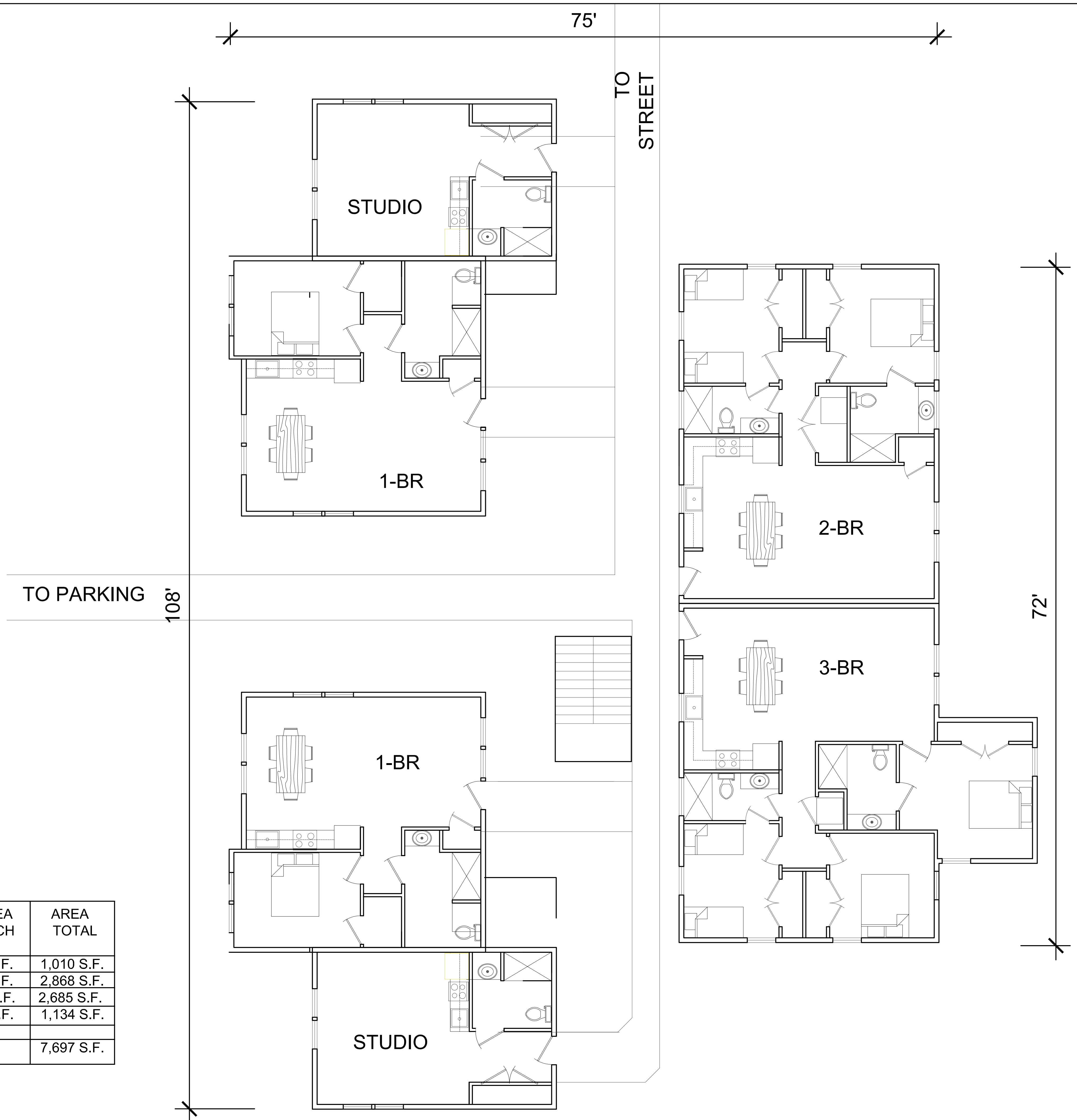
PHILIP
 POST
 ENGINEERING
 FIRM: C 347

CONDITIONAL USE ZONING
PEACH APARTMENTS
 107 & 107-A-B JOHNSON STREET - PIN 9788-03-2946, 9788-03-8699 & 9788-03-0640
 CHAPEL HILL, NORTH CAROLINA

LIGHTING PLAN

PROJECT NO.
PEACH
 DRAWING NAME:
 LI-1 LIGHTING PLAN.dwg
 SHEET NO.
LI-1

PRELIMINARY NOT FOR CONSTRUCTION



BUILDING METRICS

UNIT TYPE	No	LUMO REQ'D AREA 3.10.2	AREA EACH	AREA TOTAL
EFFICIENCY	2	500	505 S.F.	1,010 S.F.
1 BEDROOM	4	700	717 S.F.	2,868 S.F.
2 BEDROOM	3	850	895 S.F.	2,685 S.F.
3 BEDROOM	1	1,100 S.F.	1,134 S.F.	1,134 S.F.
TOTAL				7,697 S.F.

JOSH GURLITZ ARCHITECTS
 HA NGO DESIGN PRINCIPAL
 308 WEST ROSEMARY STREET, SUITE 302
 CHAPEL HILL, NC 27516
 919.929.7595 F.919.967.9636

PHIL POST ENGINEERING

**EMPOWERMENT
 MIDWAY CENTER
 CHAPEL HILL, NC
 JOHNSON ST.
 HOUSING**

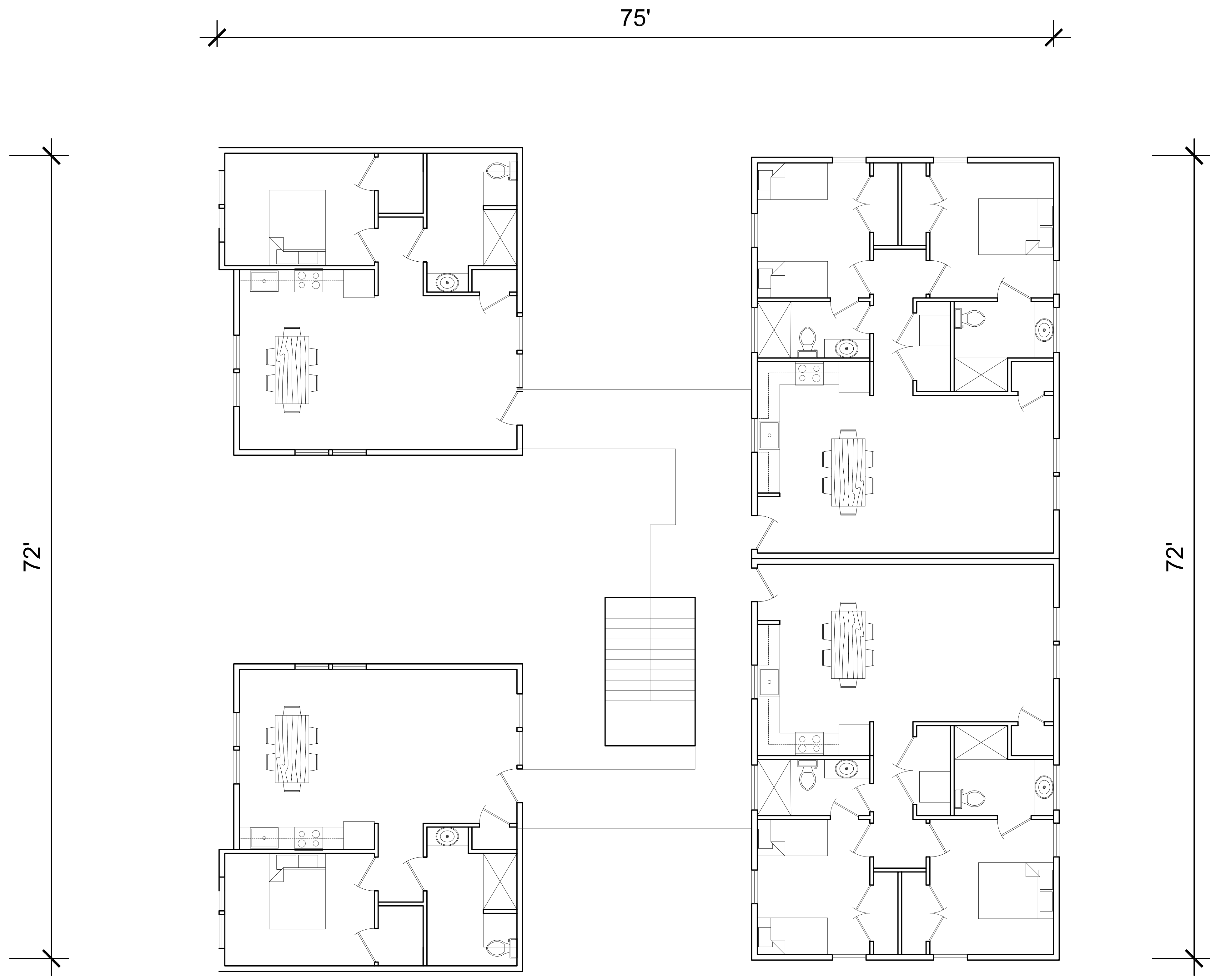
ISSUE / REVISION	DATE	NO.

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**BUILDING
 PLAN
 GROUND FLOOR**

January 12, 2021
 Project Number:
 Scale: 3/16" = 1'-0"
 Date:
 Sheet Number:

A-1.2



SECOND FLOOR BUILDING PLAN

JOSH GURLITZ ARCHITECTS
 HA NGO DESIGN PRINCIPAL
 308 WEST ROSEMARY STREET, SUITE 302
 CHAPEL HILL, NC 27516
 919.929.7595 F.919.967.9636

PHIL POST ENGINEERING

EMPOWERMENT MIDWAY CENTER CHAPEL HILL, NC JOHNSON ST. HOUSING

ISSUE / REVISION	DATE	NO.

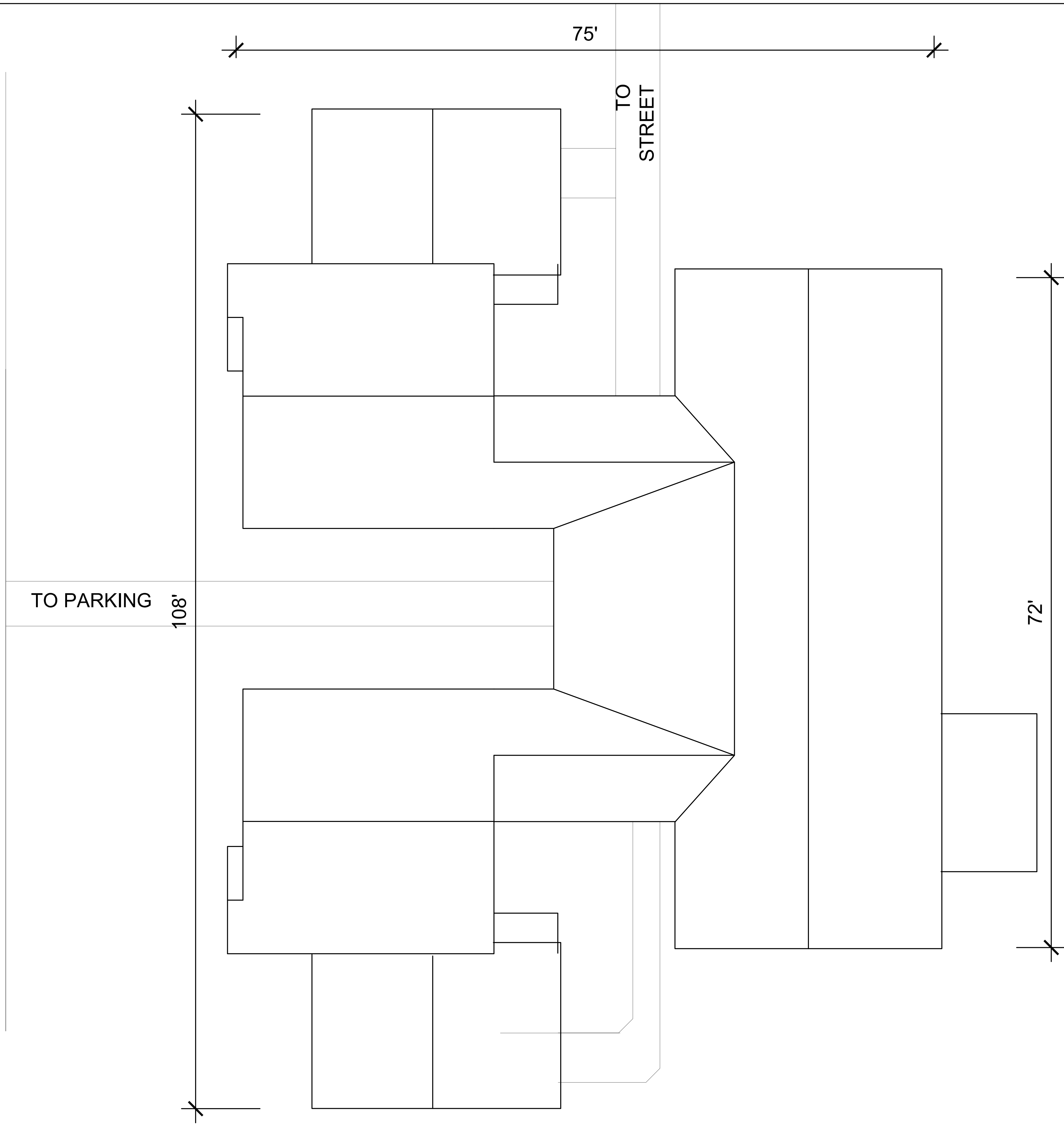
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BUILDING PLAN SECOND FLOOR

January 12, 2021

Project Number: _____
 Scale: $\frac{3}{16}'' = 1'-0''$
 Date: _____
 Sheet Number: _____

A-2.2



JOSH GURLITZ ARCHITECTS
 HA NGO DESIGN PRINCIPAL
 308 WEST ROSEMARY STREET, SUITE 302
 CHAPEL HILL, NC 27516
 919.929.7595 F.919.967.9636

PHIL POST ENGINEERING

EMPOWERMENT
MIDWAY CENTER
CHAPEL HILL, NC
JOHNSON ST.
HOUSING

ISSUE / REVISION	DATE	NO.

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ROOF PLAN

January 12, 2021

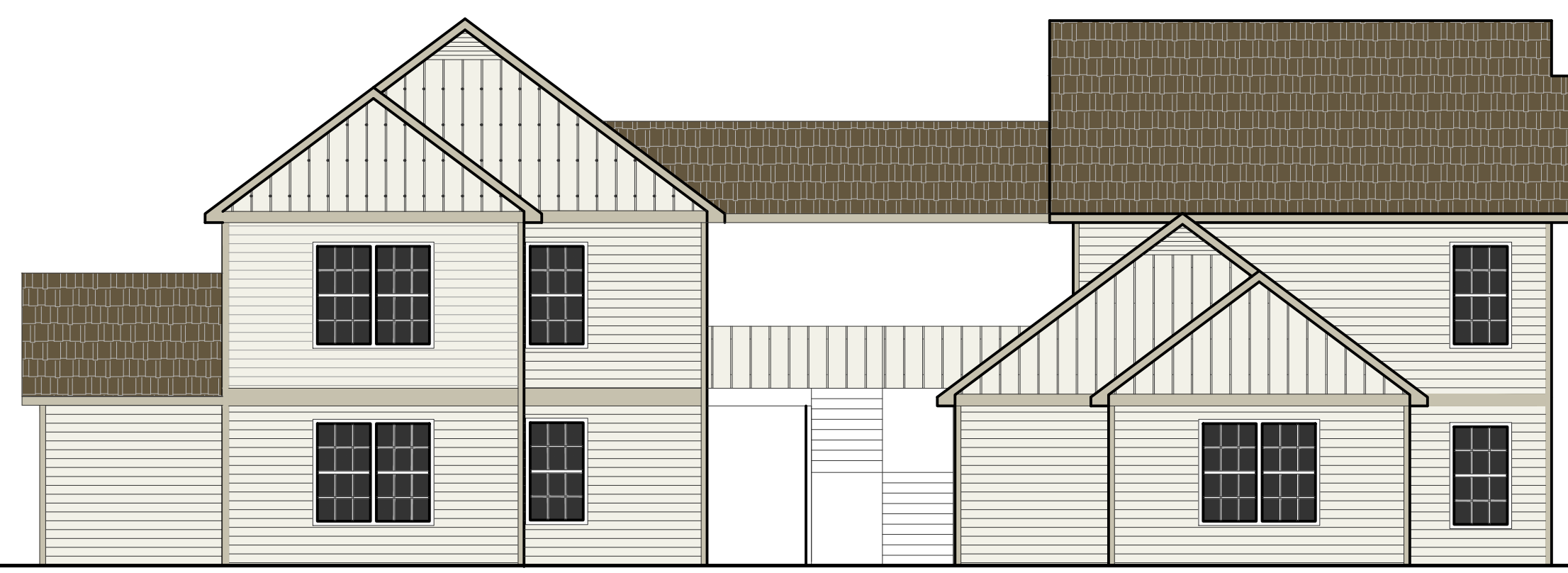
Project Number:
 Scale: $\frac{3}{16}'' = 1'-0''$
 Date:
 Sheet Number:

A-2.2

**EMPOWERMENT
MIDWAY CENTER
CHAPEL HILL, NC
JOHNSON ST.
HOUSING**



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

ISSUE/REVISION	DATE	NO.

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**BUILDING
ELEVATIONS**

Project Number:
Scale: AS NOTED $\frac{3}{16}'' = 1'-0''$
Date:
Sheet Number:

A-3.1

**PHILIP
POST
ENGINEERING**

ENGINEERS
PLANNERS
SURVEYORS

104 St. Andrews Place
Chapel Hill, NC 27517

PO Box 4912
Chapel Hill, NC 27515-4912

FIRM: C-347

TO:	Kumar Neppalli, PE
FROM:	Philip Post, PE
DATE:	March 23, 2021
RE:	Request for Exemption from Traffic Study Peach Apartments – Rezoning and CUZ 107 Johnson Street



Empowerment, Inc on behalf of their proposed 100% affordable, 10-unit apartment housing project on Johnson Street, respectfully requests that the Town exempt this application from a traffic impact analysis.

The site, until the building was recently demolished, contains a 1056 sf community building and a playground/ basketball court with off street parking for four cars.

Empowerment, Inc has acquired interest in Pin Numbers: 9788-03-2946/0899 and 0940, about 0.74 acres (GLA) at 107 Johnson St. Empowerment, Inc intends to submit a Rezoning and Conditional Use Zoning application in June of 2021. Empowerment, Inc hopes to gain approval for ten, 100% affordable apartments (two efficiencies, four one bedroom, three two bedroom, one three bedroom) (total of 7,697 sf)with eleven paved off street parking spaces and two off street overflow spaces.

CCC firmly believes this request for exemption meets the five (5) criteria of the Town:

1) Daily Trip Generation less than 500:

I estimate from ITE Trip Generation the existing 495 use for Saturday is 8 trips and for Sunday is 15 trips. I estimate from ITE Trip Generation the proposed 253 use for Saturday is 25 trips and for Sunday is 27 trips. Therefore, the trip increase due to the change in use is 17 trips for Saturday and 12 trips for Sunday, which are both far, far less than 500.

2) No More than 250 vehicles Per Day access onto a Collector Road:

Johnson Street is a Local road, therefore not applicable.

3) Total Traffic Not Exceed 150 on a Gravel Road:

Johnson St is paved, therefore not applicable.

4) Applicant submits a written request for TIA Waiver:

This document is the request for a waiver.

5) The Town Manager Concurs with the request:

Empowerment, Inc respectfully asks the Town Manager to approve this waiver.

Since this request fully complies with the five (5) requirements in the Town guidelines, we sincerely ask that the requested waiver be granted.

Attachments: Concept Site Plan (9 Sheets)



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 16., File #: [22-0512], Version: 1

Meeting Date: 6/8/2022

Open a Public Hearing to Consider a Request to Close an Unimproved and Unpaved Portion of Stinson Street Public Right-of-Way.

Staff:

Lance Norris, Director
Chris Roberts, Manager of Engineering and Infrastructure

Department:

Public Works

Overview: At the north-east corner of Stinson Street, there is a driveway in-between two parcels owned by Lawler Development Group, LLC. That driveway is within a public right-of-way (ROW) that the owner is requesting to be closed. The subject right-of-way is approximately 70 feet long by 26 feet wide.

North Carolina General Statute Sec. 160A-299 sets the process for closing public rights-of-way, requiring the Council to adopt a resolution declaring its intent to close the public right-of-way and to call a public hearing. The resolution was published once a week for four successive weeks before the hearing. A notice of the closing and public hearing was posted in a least two places along the right-of-way.



Recommendation(s):

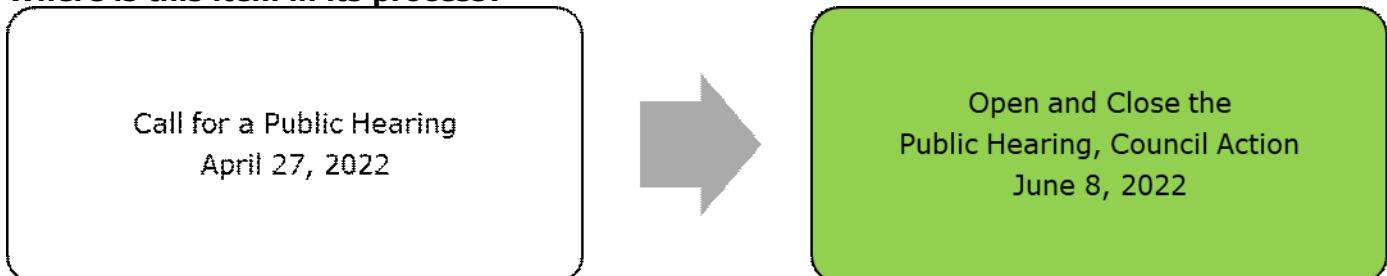
That the Council open and close a Public Hearing to consider closing an unimproved and unpaved portion of Stinson Street public right-of-way and adopt a resolution to permanently close this public ROW.

Fiscal Impact/Resources: Impacts to future investments are unknown.

Key Issues:

- This closure request is for the unimproved and unpaved portion of Stinson Street per the attached map.
- Requested by property owner who owns the only two fronting properties of this public ROW.
- Closing the subject public right-of-way will not deny access to adjacent properties.
- There have been no objections to-date received in response to this request.
- Neither the Town nor OWASA have a need for this right-of-way.

Where is this item in its process?



Attachments:

- Resolution

Item #: 16., File #: [22-0512], Version: 1

Meeting Date: 6/8/2022

- Draft Staff Presentation
- Closure Request Email from Brittney Jones, Attorney, Bagwell Holt Smith, PA
- Map of Requested Closure
- NC Statute 160A-299

RESOLUTION

A RESOLUTION TO APPROVE A REQUEST TO CLOSE A PORTION OF AN UNIMPROVED AND UNPAVED PUBLIC RIGHT-OF-WAY OF STINSON STREET (2022-06-08/R-11)

WHEREAS, the Town of Chapel Hill has received a request, from Bagwell Holt Smith P.A., (representing Lawler Development Group, LLC) to close a portion of the unmaintained and unimproved Stinson Street public right-of-way; and

WHEREAS, the requested public right-of-way is at the north-east corner of Stinson Street and is approximately 70 feet long by 26 feet wide; and

WHEREAS, Lawler Development Group, LLC owns the only 2 fronting properties surrounding the subject public right-of-way.

WHEREAS, the Council finds, upon review of the facts and of information received at the Public Hearing on June 8, 2022 that closing an unimproved and unpaved portion of the Stinson Street public right-of-way would not be contrary to the public interest and that no individual owning property in the vicinity of the proposed closures would be deprived of reasonable means of ingress and egress to his or her property by the closing of said right-of-way.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby approves the closure of an unimproved and unpaved portion of the Stinson Street public right-of-way as described in the Formal Closure Request letter from Bagwell Holt Smith P.A., dated March 30, 2022 and Stinson Street - Requested ROW Closure Map.

This the 8th day of June 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Chris Roberts, Manager of Engineering and Infrastructure

- a. Introduction and preliminary recommendation
- b. Comments from the public
- c. Comments and questions from the Mayor and Town Council
- d. Motion to close the Public Hearing
- e. Motion to adopt a resolution approving the ROW closure.

RECOMMENDATION: That the Council open and close a Public Hearing to consider closing an unimproved and unpaved portion of Stinson Street public right-of-way and adopt a resolution to permanently close this public ROW.



Public Hearing for the Partial Public Right-Of-Way Closure – Stinson Street

Date: June 8, 2022



Draft

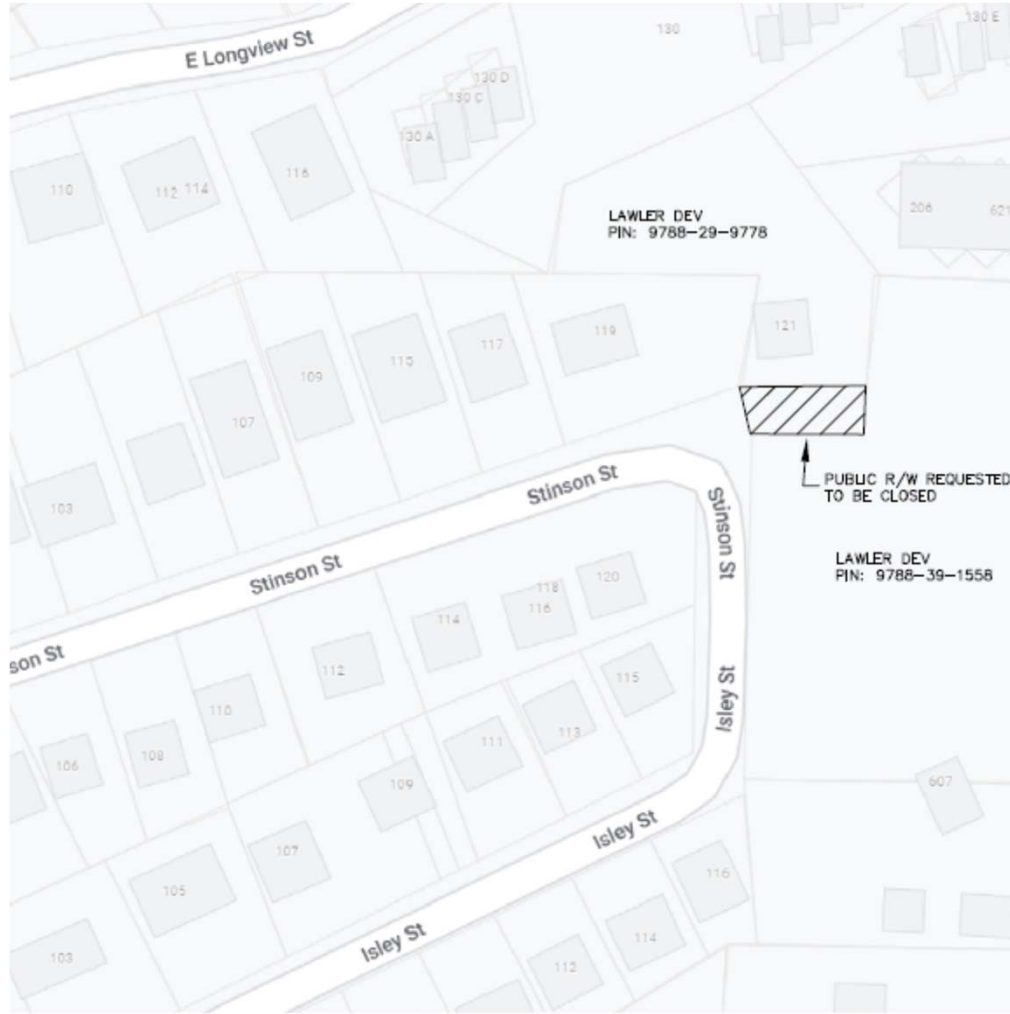
Staff Recommendation

- That the Council open and close a Public Hearing to consider closing a portion of the public right-of-way of Stinson Street.
- Adopt Resolution R-* to close the requested right-of-way area.

Draft

Right-of-Way Closure Process

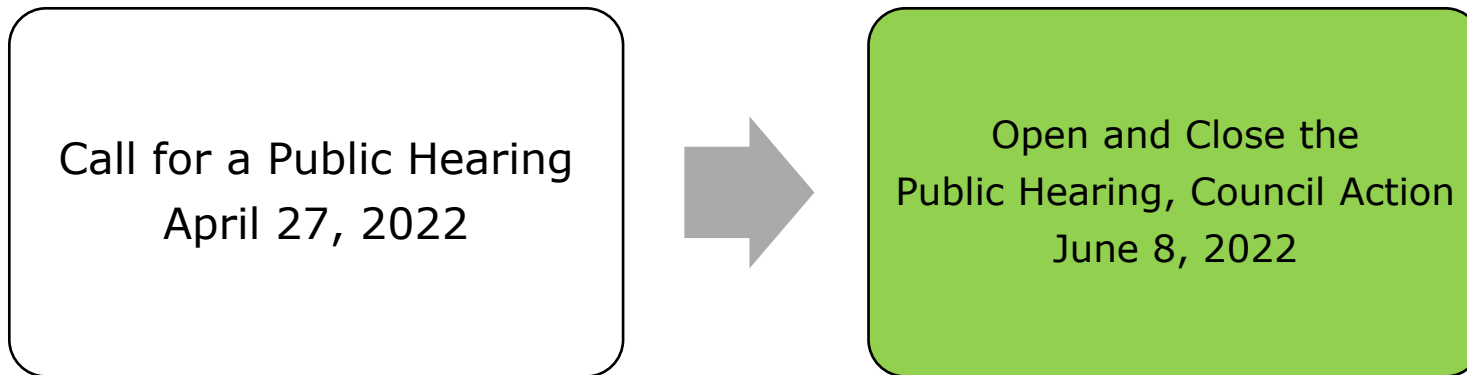
- Recorded Plat
- General Statute 160A-299
 - Council Adopt a Resolution Declaring Its Intent to Close the Right-of-way
 - Call a Public Hearing
 - Publish a Notice of Resolution Once a Week for Four Successive Weeks Prior to the Hearing
 - Notice of the Closing and Public Hearing Posted in Two Places
 - If Approved, a Certified Copy of the Order filed with the Register of Deeds (by applicant or fronting property owners)
 - Recorded New Plat (by applicant or fronting property owners)



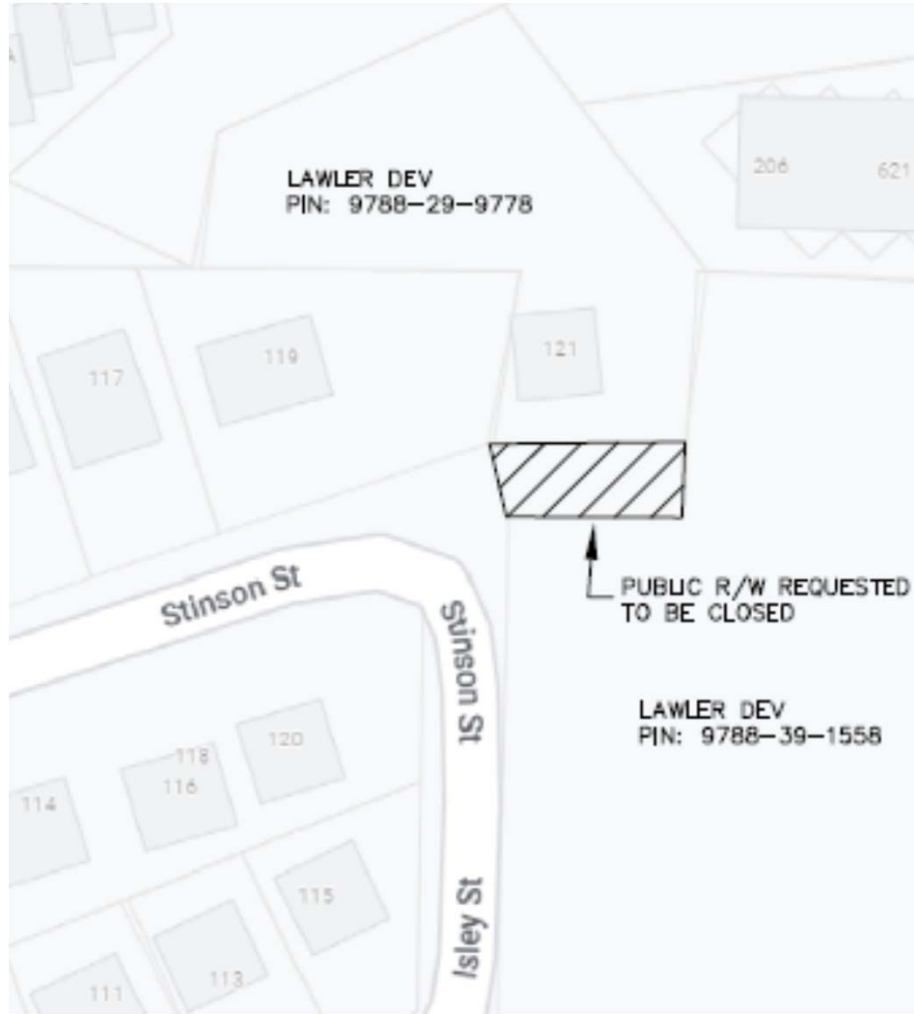
Overall Map

Draft

Where is this in the process?



Draft



Draft

Key Issues

- This closure request is for the unimproved and unpaved portion of Stinson Street per the attached map.
- Requested by property owner who owns the only two fronting properties of this public ROW.
- Closing the subject public right-of-way will not deny access to adjacent properties.
- There have been no objections to-date received for this request.
- Neither the Town nor OWASA have a need for this right-of-way.

Draft

Staff Recommendation

- That the Council open and close a Public Hearing to consider closing a portion of the public right-of-way of Stinson Street.
- Adopt Resolution R-* to close the requested right-of-way area.

Draft

BAGWELL HOLT SMITH P.A.
ATTORNEYS AT LAW
111 CLOISTER COURT, SUITE 200
CHAPEL HILL, NORTH CAROLINA 27514
TELEPHONE: (919) 401-0062
FACSIMILE: (919) 403-0063
www.bhspa.com

March 30, 2022

Mr. Chris Roberts, PE
Manager of Engineering & Infrastructure
Town of Chapel Hill Public Works Department
6850 Millhouse Road
Chapel Hill, NC 27514-5705
croberts@townofchapelhill.org

RE: Stinson Street – Formal Road Closure Request via NCGS § 160A-299

Chris:

Daniel Lawler and his mother, Leslie Lawler, of Lawler Development Group LLC have contacted our firm to conduct a title search on 2 tracts they own located on Stinson Street (Orange County PIN #'s 9788-29-9778 and 9788-39-1558). During the scope of the title search, it was discovered that a small portion of the existing right-of-way of Stinson Street that is adjacent to these two parcels needs to be formally abandoned by the Town of Chapel Hill. I am contacting you to formally initiate the permanent road closure process with the Town Council per NCGS § 160A-299.

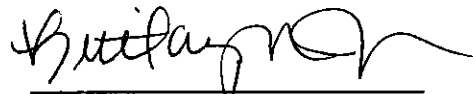
To support this request, I have attached a map showing the portion of Stinson Street to be permanently closed.

My understanding is that the permanent road closure process begins with your office requesting a slot on the agenda at a Town Council meeting, which will lead to a public hearing on the matter. The Lawler's are hopeful this matter can be discussed at the next available Town Council meeting and be scheduled for public hearing shortly thereafter.

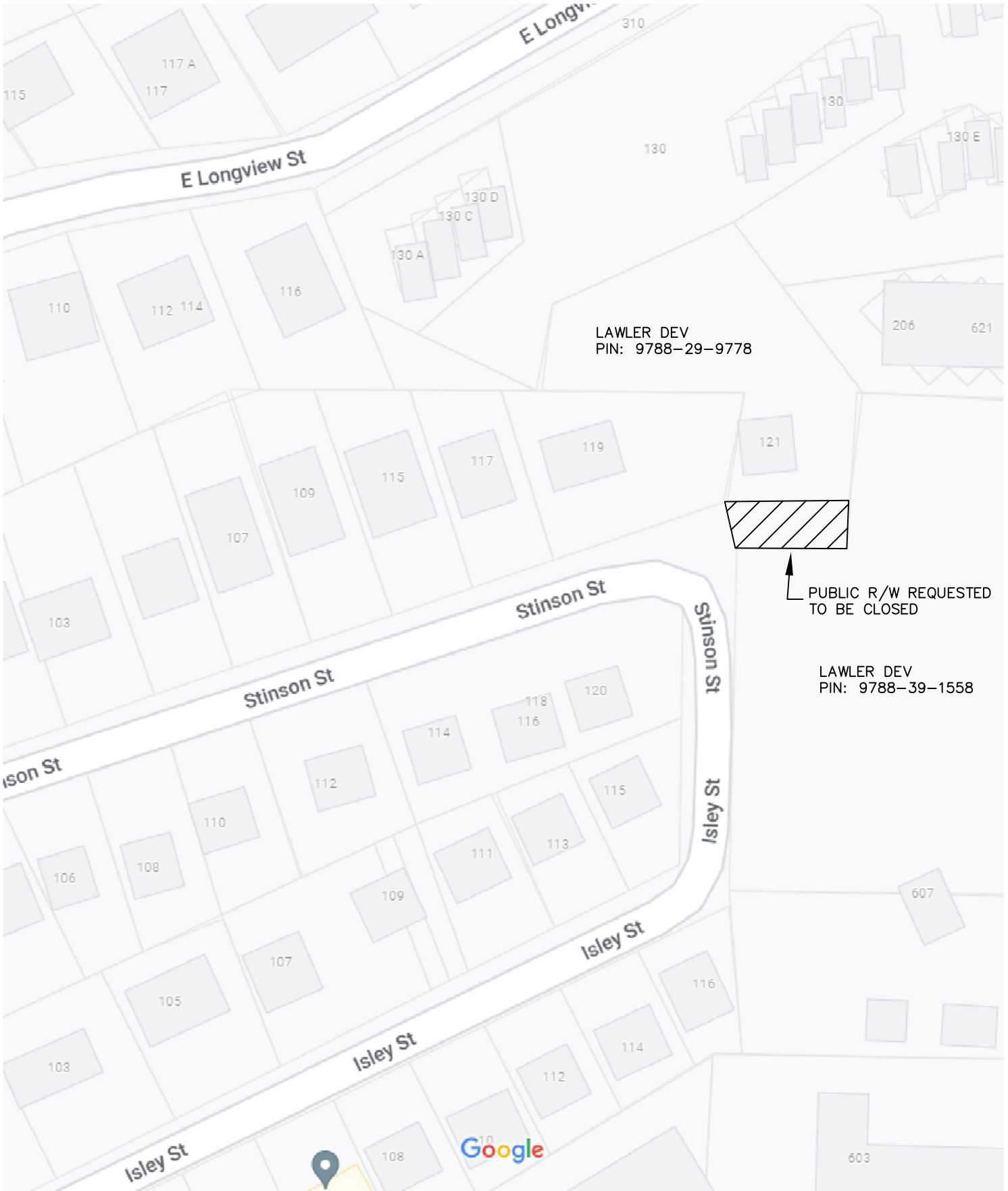
Thanks for your assistance and please let me know if you need anything further.

Sincerely,

BAGWELL HOLT SMITH P.A.



Brittany N. Jones, Attorney



LAWLER DEV
PIN: 9788-29-9778

PUBLIC R/W REQUESTED
TO BE CLOSED

LAWLER DEV
PIN: 9788-39-1558

§ 160A-299. Procedure for permanently closing streets and alleys.

(a) When a city proposes to permanently close any street or public alley, the council shall first adopt a resolution declaring its intent to close the street or alley and calling a public hearing on the question. The resolution shall be published once a week for four successive weeks prior to the hearing, a copy thereof shall be sent by registered or certified mail to all owners of property adjoining the street or alley as shown on the county tax records, and a notice of the closing and public hearing shall be prominently posted in at least two places along the street or alley. If the street or alley is under the authority and control of the Department of Transportation, a copy of the resolution shall be mailed to the Department of Transportation. At the hearing, any person may be heard on the question of whether or not the closing would be detrimental to the public interest, or the property rights of any individual. If it appears to the satisfaction of the council after the hearing that closing the street or alley is not contrary to the public interest, and that no individual owning property in the vicinity of the street or alley or in the subdivision in which it is located would thereby be deprived of reasonable means of ingress and egress to his property, the council may adopt an order closing the street or alley. A certified copy of the order (or judgment of the court) shall be filed in the office of the register of deeds of the county in which the street, or any portion thereof, is located.

(b) Any person aggrieved by the closing of any street or alley including the Department of Transportation if the street or alley is under its authority and control, may appeal the council's order to the General Court of Justice within 30 days after its adoption. In appeals of streets closed under this section, all facts and issues shall be heard and decided by a judge sitting without a jury. In addition to determining whether procedural requirements were complied with, the court shall determine whether, on the record as presented to the city council, the council's decision to close the street was in accordance with the statutory standards of subsection (a) of this section and any other applicable requirements of local law or ordinance.

No cause of action or defense founded upon the invalidity of any proceedings taken in closing any street or alley may be asserted, nor shall the validity of the order be open to question in any court upon any ground whatever, except in an action or proceeding begun within 30 days after the order is adopted. The failure to send notice by registered or certified mail shall not invalidate any ordinance adopted prior to January 1, 1989.

(c) Upon the closing of a street or alley in accordance with this section, subject to the provisions of subsection (f) of this section, all right, title, and interest in the right-of-way shall be conclusively presumed to be vested in those persons owning lots or parcels of land adjacent to the street or alley, and the title of such adjoining landowners, for the width of the abutting land owned by them, shall extend to the centerline of the street or alley.

The provisions of this subsection regarding division of right-of-way in street or alley closings may be altered as to a particular street or alley closing by the assent of all property owners taking title to a closed street or alley by the filing of a plat which shows the street or alley closing and the portion of the closed street or alley to be taken by each such owner. The plat shall be signed by each property owner who, under this section, has an ownership right in the closed street or alley.

(d) This section shall apply to any street or public alley within a city or its extraterritorial jurisdiction that has been irrevocably dedicated to the public, without regard to whether it has actually been opened. This section also applies to unopened streets or public alleys that are shown on plats but that have not been accepted or maintained by the city, provided that this section shall not abrogate the rights of a dedicator, or those claiming under a dedicator, pursuant to G.S. 136-96.

(e) No street or alley under the control of the Department of Transportation may be closed unless the Department of Transportation consents thereto.

(f) A city may reserve a right, title, and interest in any improvements or easements within a street closed pursuant to this section. An easement under this subsection shall include utility, drainage, pedestrian, landscaping, conservation, or other easements considered by the city to be in the public interest. The reservation of an easement under this subsection shall be stated in the order of closing. The reservation also extends to utility improvements or easements owned by private utilities which at the time of the street closing have a utility agreement or franchise with the city.

(g) The city may retain utility easements, both public and private, in cases of streets withdrawn under G.S. 136-96. To retain such easements, the city council shall, after public hearing, approve a "declaration of retention of utility easements" specifically describing such easements. Notice by certified or registered mail shall be provided to the party withdrawing the street from dedication under G.S. 136-96 at least five days prior to the hearing. The declaration must be passed prior to filing of any plat or map or declaration of withdrawal with the register of deeds. Any property owner filing such plats, maps, or declarations shall include the city declaration with the declaration of withdrawal and shall show the utilities retained on any map or plat showing the withdrawal. (1971, c. 698, s. 1; 1973, c. 426, s. 47; c. 507, s. 5; 1977, c. 464, s. 34, 1981, c. 401; c. 402, ss. 1, 2; 1989, c. 254; 1993, c. 149, s. 1; 2015-103, s. 1.)



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 17., **File #:** [22-0513], **Version:** 1

Meeting Date: 6/8/2022

Consider Library Internet Use Policy and Internet Filtering.

Staff:

Susan Brown, Executive Director
Meeghan Rosen, Assistant Director

Department:

Chapel Hill Public Library

Overview: We are asking Council to authorize the Town Manager to revise the library's Internet Use Policy to install an internet filtering device to restrict the display of pornographic images on the library's computers. This change would allow the Town access to federal funding for technology to conduct core library business and meet strategic Digital Inclusion objectives.



Recommendation(s):

That the Council authorize the Town Manager to revise the library's Internet Use Policy and install an internet filtering device that restricts access to pornographic images on library-owned computers.



Attachments:

- Resolution
- Draft Staff Presentation
- Current Library Internet Use Policy
- Draft revised Library Internet Use Policy
- Children's Internet Protection Act

A RESOLUTION AUTHORIZING THE REVISION OF THE LIBRARY'S INTERNET USE POLICY AND THE INSTALLATION OF AN INTERNET PROTECTION DEVICE ON LIBRARY-OWNED COMPUTERS (2022-06-08/R-12)

WHEREAS, the Town values intellectual freedom and the free expression of ideas; and

WHEREAS, the Town also values digital inclusion, seeking to foster digital equity, provide access to technology, and build digital literacy skills so that all people may fully participate in our society, democracy, and economy; and

WHEREAS, the federal government provides eRate discounts, Library Services and Technology Act (LSTA) awards, Emergency Connectivity Funds, and other funding for libraries to purchase technology and advance digital inclusion; and

WHEREAS, these federal funds are restricted to libraries that comply with the Children's Internet Protection Act of 1999 (CIPA); and

WHEREAS, CIPA requires libraries to operate an internet protection measure that filters or blocks the display of pornographic images; and

WHEREAS, Chapel Hill Public Library does not operate an internet filter to block the display of pornographic images on library-owned computers and is therefore not compliant with the Children's Internet Protection Act; and

WHEREAS, being non-compliant with CIPA makes the library ineligible to apply for federal eRate discounts and other federal funds for technology; and

WHEREAS, a modern internet filter could be configured and administered by library staff to stop pornographic images from displaying while minimizing impacts on all other search results; and

WHEREAS, by installing an internet filter and updating the library Internet Use Policy, the Town would become eligible for federal funding for technology to conduct core library business and meet strategic objectives around Digital Inclusion.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Town Manager to revise the library's Internet Use Policy and install an internet filtering device that restricts access to pornographic images on library-owned computers.

This the 8th day of June, 2022.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Susan Brown, Chapel Hill Public Library Director

RECOMMENDATION: That the Council authorize the Town Manager to revise the library's Internet Use Policy and install an internet filtering device that restricts access to pornographic images on library-owned computers.

Chapel Hill Public Library Internet Use Policy and Internet Filtering

Susan Brown, Chapel Hill Public Library Director
Meeghan Rosen, Assistant Director

June 8, 2022

DRAFT
Draft

Children's Internet Protection Act of 1999

Three Requirements

- Internet Safety Policy
- Technology Protection Measure
- Public Notice/Meeting

DRAFT
Draft



DRAFT

Intellectual Freedom
Pornographic Images
Funding for Technology

CIPA Working Group 2022

- Define Internet Filtering Requirements
- Compare filtering products
- Conduct side-by-side testing

DRAFT

Draft

Filtering Software Requirements

- Default to minimum filtering
- Clearly configurable
- Simple to quickly override
- Easy to administer
- Useful reports

DRAFT
Draft

Conducted 10 identical searches for information related to health, wellbeing, and sexual identity

- Nudism videos
- "How do I know if I'm trans?"
- "I think I might be bi"
- "What do normal boobs look like?"

DRAFT
Draft

Policy Details

- Filter on library-owned, public computers only
- No filter on users' devices
- No filter on WiFi
- No filter on staff computers

DRAFT
Draft

Policy Details

- Filter blocks Obscenity as defined by Miller v. California (1973)
- Filter blocks Child pornography as defined by 18 U.S.C. 2256
- Filter blocks “inappropriate matter” as defined locally

DRAFT

Policy Details

- Staff will immediately remove the filter upon request by an adult
- Public computers will have signage stating that a filter is in place

DRAFT

Draft

RECOMMENDATION

That the Council authorize the Town Manager to revise the library's Internet Use Policy and install an internet filtering device that restricts access to pornographic images on library-owned computers.

DRAFT

Discussion



DRAFT
Draft

CHAPEL HILL PUBLIC LIBRARY INTERNET USE POLICY
May 2022

Chapel Hill Public Library provides free and open access to the Internet and does not use any filtering software. We also provide free WiFi on an open, unsecured network.

The library is not responsible for any content accessed via our computers or WiFi. Do not use library computers or WiFi for any illegal activity. Computer and WiFi users must abide by our expectations of behavior.

DRAFT CHAPEL HILL PUBLIC LIBRARY INTERNET USE POLICY
DRAFTED JUNE 2022

Chapel Hill Public Library uses internet filtering software on library-owned computers. This software blocks users from seeing pictures of obscenity and child pornography, as defined by Miller v. California (1973) and 18 U.S.C. 2256.

Library staff can override filtered content for adults upon request.

Filtering software is not foolproof. The library is not responsible for any content accessed via our computers. Children 9 years old and younger must remain with a parent or caretaker while using library computers.

In addition to internet access via library-owned computers, we provide free and open WiFi over an unsecured network.

Please be careful when sharing or accessing your personal information when using the library's computers or WiFi. By using library computers and WiFi, you agree to hold the Town harmless in the event that any information is lost or stolen.

You may not use library computers or WiFi for any illegal activity.

Computer and WiFi users must abide by our expectations of behavior.

TITLE XVII--CHILDREN'S INTERNET PROTECTION

SEC. 1701. SHORT TITLE.

This title may be cited as the ``Children's Internet Protection Act''.

SEC. 1702. DISCLAIMERS.

(a) **DISCLAIMER REGARDING CONTENT.**--Nothing in this title or the amendments made by this title shall be construed to prohibit a local educational agency, elementary or secondary school, or library from blocking access on the Internet on computers owned or operated by that agency, school, or library to any content other than content covered by this title or the amendments made by this title.

(b) **DISCLAIMER REGARDING PRIVACY.**--Nothing in this title or the amendments made by this title shall be construed to require the tracking of Internet use by any identifiable minor or adult user.

SEC. 1703. STUDY OF TECHNOLOGY PROTECTION MEASURES.

(a) **IN GENERAL.**--Not later than 18 months after the date of the enactment of this Act, the National Telecommunications and Information Administration shall initiate a notice and comment proceeding for purposes of--

(1) evaluating whether or not currently available technology protection measures, including commercial Internet blocking and filtering software, adequately addresses the needs of educational institutions;

(2) making recommendations on how to foster the development of measures that meet such needs; and

(3) evaluating the development and effectiveness of local Internet safety policies that are currently in operation after community input.

(b) **DEFINITIONS.**--In this section:

(1) **TECHNOLOGY PROTECTION MEASURE.**--The term ``technology protection measure'' means a specific technology that blocks or filters Internet access to visual depictions that are--

(A) obscene, as that term is defined in section 1460 of title 18, United States Code;

(B) child pornography, as that term is defined in section 2256 of title 18, United States Code; or

(C) harmful to minors.

(2) **HARMFUL TO MINORS.**--The term ``harmful to minors" means any picture, image, graphic image file, or other visual depiction that--

(A) taken as a whole and with respect to minors, appeals to a prurient interest in nudity, sex, or excretion;

(B) depicts, describes, or represents, in a patently offensive way with respect to what is suitable for minors, an actual or simulated sexual act or sexual contact, actual or simulated normal or perverted sexual acts, or a lewd exhibition of the genitals; and

(C) taken as a whole, lacks serious literary, artistic, political, or scientific value as to minors.

(3) **SEXUAL ACT; SEXUAL CONTACT.**--The terms ``sexual act" and ``sexual contact" have the meanings given such terms in section 2246 of title 18, United States Code.

Subtitle A--Federal Funding for Educational Institution Computers

SEC. 1711. LIMITATION ON AVAILABILITY OF CERTAIN FUNDS FOR SCHOOLS.

Title III of the Elementary and Secondary Education Act of 1965 (20 U.S.C. 6801 et seq.) is amended by adding at the end the following:

``PART F--LIMITATION ON AVAILABILITY OF CERTAIN FUNDS FOR SCHOOLS

``SEC. 3601. LIMITATION ON AVAILABILITY OF CERTAIN FUNDS FOR SCHOOLS.

``(a) INTERNET SAFETY.--

``(1) IN GENERAL.--No funds made available under this title to a local educational agency for an elementary or secondary school that does not receive services at discount rates under section 254(h)(5) of the Communications Act of 1934, as added by section 1721 of Children's Internet Protection Act, may be used to purchase computers used to access the Internet, or to pay for direct costs associated with accessing the Internet, for such school unless the school, school board, local educational agency, or other authority with responsibility for administration of such school both--

“(A)(i) has in place a policy of Internet safety for minors that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene;

“(II) child pornography; or

“(III) harmful to minors; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers by minors; and

“(B)(i) has in place a policy of Internet safety that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene; or

“(II) child pornography; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers.

“(2) **TIMING AND APPLICABILITY OF IMPLEMENTATION.--**

“(A) **IN GENERAL.--**The local educational agency with responsibility for a school covered by paragraph (1) shall certify the compliance of such school with the requirements of paragraph (1) as part of the application process for the next program funding year under this Act following the effective date of this section, and for each subsequent program funding year thereafter.

“(B) **PROCESS.--**

“(i) **SCHOOLS WITH INTERNET SAFETY POLICIES AND TECHNOLOGY PROTECTION MEASURES IN PLACE.--**A local educational agency with responsibility for a school covered by paragraph (1) that has in place an Internet safety policy meeting the requirements of paragraph (1) shall certify its compliance with paragraph (1) during each annual program application cycle under this Act.

“(ii) **SCHOOLS WITHOUT INTERNET SAFETY POLICIES AND TECHNOLOGY PROTECTION MEASURES IN PLACE.--**A local educational agency with responsibility for a school covered by paragraph (1) that does not have in place an Internet safety policy meeting the requirements of paragraph (1)--

((I) for the first program year after the effective date of this section in which the local educational agency is applying for funds for such school under this Act, shall certify that it is undertaking such actions, including any necessary procurement procedures, to put in place an Internet safety policy that meets such requirements; and

((II) for the second program year after the effective date of this section in which the local educational agency is applying for funds for such school under this Act, shall certify that such school is in compliance with such requirements.

Any school covered by paragraph (1) for which the local educational agency concerned is unable to certify compliance with such requirements in such second program year shall be ineligible for all funding under this title for such second program year and all subsequent program years until such time as such school comes into compliance with such requirements.

((iii) **WAIVERS.**--Any school subject to a certification under clause (ii)(II) for which the local educational agency concerned cannot make the certification otherwise required by that clause may seek a waiver of that clause if State or local procurement rules or regulations or competitive bidding requirements prevent the making of the certification otherwise required by that clause. The local educational agency concerned shall notify the Secretary of the applicability of that clause to the school. Such notice shall certify that the school will be brought into compliance with the requirements in paragraph (1) before the start of the third program year after the effective date of this section in which the school is applying for funds under this title.

((3) **DISABLING DURING CERTAIN USE.**--An administrator, supervisor, or person authorized by the responsible authority under paragraph (1) may disable the technology protection measure concerned to enable access for bona fide research or other lawful purposes.

((4) **NONCOMPLIANCE.**--

((A) **USE OF GENERAL EDUCATION PROVISIONS ACT REMEDIES.**--Whenever the Secretary has reason to believe that any recipient of funds under this title is failing to comply substantially with the requirements of this subsection, the Secretary may--

((i) withhold further payments to the recipient under this title,

((ii) issue a complaint to compel compliance of the recipient through a cease and desist order, or

((iii) enter into a compliance agreement with a recipient to bring it into compliance with such requirements,

in same manner as the Secretary is authorized to take such actions under sections 455, 456, and 457, respectively, of the General Education Provisions Act (20 U.S.C. 1234d).

“(B) **RECOVERY OF FUNDS PROHIBITED.**--The actions authorized by subparagraph (A) are the exclusive remedies available with respect to the failure of a school to comply substantially with a provision of this subsection, and the Secretary shall not seek a recovery of funds from the recipient for such failure.

“(C) **RECOMMENCEMENT OF PAYMENTS.**--Whenever the Secretary determines (whether by certification or other appropriate evidence) that a recipient of funds who is subject to the withholding of payments under subparagraph (A)(i) has cured the failure providing the basis for the withholding of payments, the Secretary shall cease the withholding of payments to the recipient under that subparagraph.

“(5) **DEFINITIONS.**--In this section:

“(A) **COMPUTER.**--The term ‘computer’ includes any hardware, software, or other technology attached or connected to, installed in, or otherwise used in connection with a computer.

“(B) **ACCESS TO INTERNET.**--A computer shall be considered to have access to the Internet if such computer is equipped with a modem or is connected to a computer network which has access to the Internet.

“(C) **ACQUISITION OR OPERATION.**--A elementary or secondary school shall be considered to have received funds under this title for the acquisition or operation of any computer if such funds are used in any manner, directly or indirectly--

“(i) to purchase, lease, or otherwise acquire or obtain the use of such computer; or

“(ii) to obtain services, supplies, software, or other actions or materials to support, or in connection with, the operation of such computer.

“(D) **MINOR.**--The term ‘minor’ means an individual who has not attained the age of 17.

“(E) **CHILD PORNOGRAPHY.**--The term ‘child pornography’ has the meaning given such term in section 2256 of title 18, United States Code.

“(F) **HARMFUL TO MINORS.**--The term ‘harmful to minors’ means any picture, image, graphic image file, or other visual depiction that--

“(i) taken as a whole and with respect to minors, appeals to a prurient interest in nudity, sex, or excretion;

“(ii) depicts, describes, or represents, in a patently offensive way with respect to what is suitable for minors, an actual or simulated sexual act or sexual contact, actual or simulated normal or perverted sexual acts, or a lewd exhibition of the genitals; and

“(iii) taken as a whole, lacks serious literary, artistic, political, or scientific value as to minors.

“(G) **OBSCENE**.--The term ‘obscene’ has the meaning given such term in section 1460 of title 18, United States Code.

“(H) **SEXUAL ACT; SEXUAL CONTACT**.--The terms ‘sexual act’ and ‘sexual contact’ have the meanings given such terms in section 2246 of title 18, United States Code.

“(b) **EFFECTIVE DATE**.--This section shall take effect 120 days after the date of the enactment of the Children's Internet Protection Act.

“(c) **SEPARABILITY**.--If any provision of this section is held invalid, the remainder of this section shall not be affected thereby.”.

SEC. 1712. LIMITATION ON AVAILABILITY OF CERTAIN FUNDS FOR LIBRARIES.

(a) **AMENDMENT**.--Section 224 of the Museum and Library Services Act (20 U.S.C. 9134(b)) is amended--

(1) in subsection (b)--

(A) by redesignating paragraph (6) as paragraph (7); and

(B) by inserting after paragraph (5) the following new paragraph:

“(6) provide assurances that the State will comply with subsection (f); and”; and

(2) by adding at the end the following new subsection:

“(f) **INTERNET SAFETY**.--

“(1) **IN GENERAL**.--No funds made available under this Act for a library described in section 213(2)(A) or (B) that does not receive services at discount rates under section 254(h)(6) of the Communications Act of 1934, as added by section 1721 of this Children's Internet Protection Act, may be used to purchase computers used to access the Internet, or to pay for direct costs associated with accessing the Internet, for such library unless--

“(A) such library--

“(i) has in place a policy of Internet safety for minors that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene;

“(II) child pornography; or

“(III) harmful to minors; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers by minors; and

“(B) such library--

“(i) has in place a policy of Internet safety that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene; or

“(II) child pornography; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers.

“(2) **ACCESS TO OTHER MATERIALS.**--Nothing in this subsection shall be construed to prohibit a library from limiting Internet access to or otherwise protecting against materials other than those referred to in subclauses (I), (II), and (III) of paragraph (1)(A)(i).

“(3) **DISABLING DURING CERTAIN USE.**--An administrator, supervisor, or other authority may disable a technology protection measure under paragraph (1) to enable access for bona fide research or other lawful purposes.

“(4) **TIMING AND APPLICABILITY OF IMPLEMENTATION.**--

“(A) **IN GENERAL.**--A library covered by paragraph (1) shall certify the compliance of such library with the requirements of paragraph (1) as part of the application process for the next program funding year under this Act following the effective date of this subsection, and for each subsequent program funding year thereafter.

“(B) **PROCESS.**--

“(i) LIBRARIES WITH INTERNET SAFETY POLICIES AND TECHNOLOGY PROTECTION MEASURES IN PLACE.--A library covered by paragraph (1) that has in place an Internet safety policy meeting the requirements of paragraph (1) shall certify its compliance with paragraph (1) during each annual program application cycle under this Act.

“(ii) LIBRARIES WITHOUT INTERNET SAFETY POLICIES AND TECHNOLOGY PROTECTION MEASURES IN PLACE.--A library covered by paragraph (1) that does not have in place an Internet safety policy meeting the requirements of paragraph (1)--

“(I) for the first program year after the effective date of this subsection in which the library applies for funds under this Act, shall certify that it is undertaking such actions, including any necessary procurement procedures, to put in place an Internet safety policy that meets such requirements; and

“(II) for the second program year after the effective date of this subsection in which the library applies for funds under this Act, shall certify that such library is in compliance with such requirements.

Any library covered by paragraph (1) that is unable to certify compliance with such requirements in such second program year shall be ineligible for all funding under this Act for such second program year and all subsequent program years until such time as such library comes into compliance with such requirements.

“(iii) WAIVERS.--Any library subject to a certification under clause (ii)(II) that cannot make the certification otherwise required by that clause may seek a waiver of that clause if State or local procurement rules or regulations or competitive bidding requirements prevent the making of the certification otherwise required by that clause. The library shall notify the Director of the Institute of Museum and Library Services of the applicability of that clause to the library. Such notice shall certify that the library will comply with the requirements in paragraph (1) before the start of the third program year after the effective date of this subsection for which the library is applying for funds under this Act.

“(5) NONCOMPLIANCE.--

“(A) USE OF GENERAL EDUCATION PROVISIONS ACT REMEDIES.--Whenever the Director of the Institute of Museum and Library Services has reason to believe that any recipient of funds this Act is failing to comply substantially with the requirements of this subsection, the Director may--

“(i) withhold further payments to the recipient under this Act,

“(ii) issue a complaint to compel compliance of the recipient through a cease and desist order, or

“(iii) enter into a compliance agreement with a recipient to bring it into compliance with such requirements.

“(B) **RECOVERY OF FUNDS PROHIBITED.**--The actions authorized by subparagraph (A) are the exclusive remedies available with respect to the failure of a library to comply substantially with a provision of this subsection, and the Director shall not seek a recovery of funds from the recipient for such failure.

“(C) **RECOMMENCEMENT OF PAYMENTS.**--Whenever the Director determines (whether by certification or other appropriate evidence) that a recipient of funds who is subject to the withholding of payments under subparagraph (A)(i) has cured the failure providing the basis for the withholding of payments, the Director shall cease the withholding of payments to the recipient under that subparagraph.

“(6) **SEPARABILITY.**--If any provision of this subsection is held invalid, the remainder of this subsection shall not be affected thereby.

“(7) **DEFINITIONS.**--In this section:

“(A) **CHILD PORNOGRAPHY.**--The term ‘child pornography’ has the meaning given such term in section 2256 of title 18, United States Code.

“(B) **HARMFUL TO MINORS.**--The term ‘harmful to minors’ means any picture, image, graphic image file, or other visual depiction that--

“(i) taken as a whole and with respect to minors, appeals to a prurient interest in nudity, sex, or excretion;

“(ii) depicts, describes, or represents, in a patently offensive way with respect to what is suitable for minors, an actual or simulated sexual act or sexual contact, actual or simulated normal or perverted sexual acts, or a lewd exhibition of the genitals; and

“(iii) taken as a whole, lacks serious literary, artistic, political, or scientific value as to minors.

“(C) **MINOR.**--The term ‘minor’ means an individual who has not attained the age of 17.

“(D) **OBSCENE.**--The term ‘obscene’ has the meaning given such term in section 1460 of title 18, United States Code.

“(E) **SEXUAL ACT; SEXUAL CONTACT.**--The terms ‘sexual act’ and ‘sexual contact’ have the meanings given such terms in section 2246 of title 18, United States Code.”.

(b) **EFFECTIVE DATE.**--The amendment made by this section shall take effect 120 days after the date of the enactment of this Act.

Subtitle B--Universal Service Discounts

SEC. 1721. REQUIREMENT FOR SCHOOLS AND LIBRARIES TO ENFORCE INTERNET SAFETY POLICIES WITH TECHNOLOGY PROTECTION MEASURES FOR COMPUTERS WITH INTERNET ACCESS AS CONDITION OF UNIVERSAL SERVICE DISCOUNTS.

(a) **SCHOOLS.**--Section 254(h) of the Communications Act of 1934 (47 U.S.C. 254(h)) is amended--

(1) by redesignating paragraph (5) as paragraph (7); and

(2) by inserting after paragraph (4) the following new paragraph (5):

“(5) **REQUIREMENTS FOR CERTAIN SCHOOLS WITH COMPUTERS HAVING INTERNET ACCESS.**--

“(A) **INTERNET SAFETY.**--

“(i) **IN GENERAL.**--Except as provided in clause (ii), an elementary or secondary school having computers with Internet access may not receive services at discount rates under paragraph (1)(B) unless the school, school board, local educational agency, or other authority with responsibility for administration of the school--

“(I) submits to the Commission the certifications described in subparagraphs (B) and (C);

“(II) submits to the Commission a certification that an Internet safety policy has been adopted and implemented for the school under subsection (1); and

“(III) ensures the use of such computers in accordance with the certifications.

“(ii) **APPLICABILITY.**--The prohibition in clause (i) shall not apply with respect to a school that receives services at discount rates under paragraph (1)(B) only for purposes other than the provision of Internet access, Internet service, or internal connections.

“(iii) **PUBLIC NOTICE; HEARING.**--An elementary or secondary school described in clause (i), or the school board, local educational agency, or other authority with responsibility for administration of the school, shall provide reasonable public notice and

hold at least 1 public hearing or meeting to address the proposed Internet safety policy. In the case of an elementary or secondary school other than an elementary or secondary school as defined in section 14101 of the Elementary and Secondary Education Act of 1965 (20 U.S.C. 8801), the notice and hearing required by this clause may be limited to those members of the public with a relationship to the school.

“(B) CERTIFICATION WITH RESPECT TO MINORS.--A certification under this subparagraph is a certification that the school, school board, local educational agency, or other authority with responsibility for administration of the school--

“(i) is enforcing a policy of Internet safety for minors that includes monitoring the online activities of minors and the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene;

“(II) child pornography; or

“(III) harmful to minors; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers by minors.

“(C) CERTIFICATION WITH RESPECT TO ADULTS.--A certification under this paragraph is a certification that the school, school board, local educational agency, or other authority with responsibility for administration of the school--

“(i) is enforcing a policy of Internet safety that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene; or

“(II) child pornography; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers.

“(D) DISABLING DURING ADULT USE.--An administrator, supervisor, or other person authorized by the certifying authority under subparagraph (A)(i) may disable the technology protection measure concerned, during use by an adult, to enable access for bona fide research or other lawful purpose.

“(E) TIMING OF IMPLEMENTATION.--

“(i) **IN GENERAL.**--Subject to clause (ii) in the case of any school covered by this paragraph as of the effective date of this paragraph under section 1721(h) of the Children's Internet Protection Act, the certification under subparagraphs (B) and (C) shall be made--

“(I) with respect to the first program funding year under this subsection following such effective date, not later than 120 days after the beginning of such program funding year; and

“(II) with respect to any subsequent program funding year, as part of the application process for such program funding year.

“(ii) **PROCESS.**--

“(I) **SCHOOLS WITH INTERNET SAFETY POLICY AND TECHNOLOGY PROTECTION MEASURES IN PLACE.**--A school covered by clause (i) that has in place an Internet safety policy and technology protection measures meeting the requirements necessary for certification under subparagraphs (B) and (C) shall certify its compliance with subparagraphs (B) and (C) during each annual program application cycle under this subsection, except that with respect to the first program funding year after the effective date of this paragraph under section 1721(h) of the Children's Internet Protection Act, the certifications shall be made not later than 120 days after the beginning of such first program funding year.

“(II) **SCHOOLS WITHOUT INTERNET SAFETY POLICY AND TECHNOLOGY PROTECTION MEASURES IN PLACE.**--A school covered by clause (i) that does not have in place an Internet safety policy and technology protection measures meeting the requirements necessary for certification under subparagraphs (B) and (C)--

“(aa) for the first program year after the effective date of this subsection in which it is applying for funds under this subsection, shall certify that it is undertaking such actions, including any necessary procurement procedures, to put in place an Internet safety policy and technology protection measures meeting the requirements necessary for certification under subparagraphs (B) and (C); and

“(bb) for the second program year after the effective date of this subsection in which it is applying for funds under this subsection, shall certify that it is in compliance with subparagraphs (B) and (C).

Any school that is unable to certify compliance with such requirements in such second program year shall be ineligible for services at discount rates or funding in lieu of services at such rates under this subsection for such second year and all subsequent program years under this subsection, until such time as such school comes into compliance with this paragraph.

“(III) **WAIVERS.**--Any school subject to subclause (II) that cannot come into compliance with subparagraphs (B) and (C) in such second year program may seek a waiver of subclause (II)(bb) if State or local procurement rules or regulations or competitive bidding requirements prevent the making of the certification otherwise required by such subclause. A school, school board, local educational agency, or other authority with responsibility for administration of the school shall notify the Commission of the applicability of such subclause to the school. Such notice shall certify that the school in question will be brought into compliance before the start of the third program year after the effective date of this subsection in which the school is applying for funds under this subsection.

“(F) **NONCOMPLIANCE.**--

“(i) **FAILURE TO SUBMIT CERTIFICATION.**--Any school that knowingly fails to comply with the application guidelines regarding the annual submission of certification required by this paragraph shall not be eligible for services at discount rates or funding in lieu of services at such rates under this subsection.

“(ii) **FAILURE TO COMPLY WITH CERTIFICATION.**--Any school that knowingly fails to ensure the use of its computers in accordance with a certification under subparagraphs (B) and (C) shall reimburse any funds and discounts received under this subsection for the period covered by such certification.

“(iii) **REMEDY OF NONCOMPLIANCE.**--

“(I) **FAILURE TO SUBMIT.**--A school that has failed to submit a certification under clause (i) may remedy the failure by submitting the certification to which the failure relates. Upon submittal of such certification, the school shall be eligible for services at discount rates under this subsection.

“(II) **FAILURE TO COMPLY.**--A school that has failed to comply with a certification as described in clause (ii) may remedy the failure by ensuring the use of its computers in accordance with such certification. Upon submittal to the Commission of a certification or other appropriate evidence of such remedy, the school shall be eligible for services at discount rates under this subsection.”.

(b) **LIBRARIES.**--Such section 254(h) is further amended by inserting after paragraph (5), as amended by subsection (a) of this section, the following new paragraph:

“(6) **REQUIREMENTS FOR CERTAIN LIBRARIES WITH COMPUTERS HAVING INTERNET ACCESS.**--

“(A) **INTERNET SAFETY.**--

“(i) **IN GENERAL.**--Except as provided in clause (ii), a library having one or more computers with Internet access may not receive services at discount rates under paragraph (1)(B) unless the library--

“(I) submits to the Commission the certifications described in subparagraphs (B) and (C); and

“(II) submits to the Commission a certification that an Internet safety policy has been adopted and implemented for the library under subsection (I); and

“(III) ensures the use of such computers in accordance with the certifications.

“(ii) **APPLICABILITY.**--The prohibition in clause (i) shall not apply with respect to a library that receives services at discount rates under paragraph (1)(B) only for purposes other than the provision of Internet access, Internet service, or internal connections.

“(iii) **PUBLIC NOTICE; HEARING.**--A library described in clause (i) shall provide reasonable public notice and hold at least 1 public hearing or meeting to address the proposed Internet safety policy.

“(B) **CERTIFICATION WITH RESPECT TO MINORS.**--A certification under this subparagraph is a certification that the library--

“(i) is enforcing a policy of Internet safety that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene;

“(II) child pornography; or

“(III) harmful to minors; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers by minors.

“(C) **CERTIFICATION WITH RESPECT TO ADULTS.**--A certification under this paragraph is a certification that the library--

“(i) is enforcing a policy of Internet safety that includes the operation of a technology protection measure with respect to any of its computers with Internet access that protects against access through such computers to visual depictions that are--

“(I) obscene; or

“(II) child pornography; and

“(ii) is enforcing the operation of such technology protection measure during any use of such computers.

“(D) **DISABLING DURING ADULT USE.**--An administrator, supervisor, or other person authorized by the certifying authority under subparagraph (A)(i) may disable the technology protection measure concerned, during use by an adult, to enable access for bona fide research or other lawful purpose.

“(E) **TIMING OF IMPLEMENTATION.**--

“(i) **IN GENERAL.**--Subject to clause (ii) in the case of any library covered by this paragraph as of the effective date of this paragraph under section 1721(h) of the Children's Internet Protection Act, the certification under subparagraphs (B) and (C) shall be made--

“(I) with respect to the first program funding year under this subsection following such effective date, not later than 120 days after the beginning of such program funding year; and

“(II) with respect to any subsequent program funding year, as part of the application process for such program funding year.

“(ii) **PROCESS.**--

“(I) **LIBRARIES WITH INTERNET SAFETY POLICY AND TECHNOLOGY PROTECTION MEASURES IN PLACE.**--A library covered by clause (i) that has in place an Internet safety policy and technology protection measures meeting the requirements necessary for certification under subparagraphs (B) and (C) shall certify its compliance with subparagraphs (B) and (C) during each annual program application cycle under this subsection, except that with respect to the first program funding year after the effective date of this paragraph under section 1721(h) of the Children's Internet Protection Act, the certifications shall be made not later than 120 days after the beginning of such first program funding year.

“(II) **LIBRARIES WITHOUT INTERNET SAFETY POLICY AND TECHNOLOGY PROTECTION MEASURES IN PLACE.**--A library covered by clause (i) that does not have in place an Internet safety policy and technology protection measures meeting the requirements necessary for certification under subparagraphs (B) and (C)--

“(aa) for the first program year after the effective date of this subsection in which it is applying for funds under this subsection, shall certify that it is undertaking such actions, including any necessary procurement procedures, to put in place an Internet safety policy and technology protection measures meeting the requirements necessary for certification under subparagraphs (B) and (C); and

“(bb) for the second program year after the effective date of this subsection in which it is applying for funds under this subsection, shall certify that it is in compliance with subparagraphs (B) and (C).

Any library that is unable to certify compliance with such requirements in such second program year shall be ineligible for services at discount rates or funding in lieu of services at such rates under this subsection for such second year and all subsequent program years under this subsection, until such time as such library comes into compliance with this paragraph.

“(III) **WAIVERS.**--Any library subject to subclause (II) that cannot come into compliance with subparagraphs (B) and (C) in such second year may seek a waiver of subclause (II)(bb) if State or local procurement rules or regulations or competitive bidding requirements prevent the making of the certification otherwise required by such subclause. A library, library board, or other authority with responsibility for administration of the library shall notify the Commission of the applicability of such subclause to the library. Such notice shall certify that the library in question will be brought into compliance before the start of the third program year after the effective date of this subsection in which the library is applying for funds under this subsection.

“(F) **NONCOMPLIANCE.**--

“(i) **FAILURE TO SUBMIT CERTIFICATION.**--Any library that knowingly fails to comply with the application guidelines regarding the annual submission of certification required by this paragraph shall not be eligible for services at discount rates or funding in lieu of services at such rates under this subsection.

“(ii) **FAILURE TO COMPLY WITH CERTIFICATION.**--Any library that knowingly fails to ensure the use of its computers in accordance with a certification under subparagraphs (B) and (C) shall reimburse all funds and discounts received under this subsection for the period covered by such certification.

“(iii) **REMEDY OF NONCOMPLIANCE.**--

“(I) **FAILURE TO SUBMIT.**--A library that has failed to submit a certification under clause (i) may remedy the failure by submitting the certification to which the failure relates. Upon submittal of such certification, the library shall be eligible for services at discount rates under this subsection.

“(II) **FAILURE TO COMPLY.**--A library that has failed to comply with a certification as described in clause (ii) may remedy the failure by ensuring the use of its computers in accordance with such certification. Upon submittal to the Commission of a certification or other appropriate evidence of such remedy, the library shall be eligible for services at discount rates under this subsection.”.

(c) **DEFINITIONS.**--Paragraph (7) of such section, as redesignated by subsection (a)(1) of this section, is amended by adding at the end the following:

“(D) **MINOR.**--The term ‘minor’ means any individual who has not attained the age of 17 years.

“(E) **OBSCENE.**--The term ‘obscene’ has the meaning given such term in section 1460 of title 18, United States Code.

“(F) **CHILD PORNOGRAPHY.**--The term ‘child pornography’ has the meaning given such term in section 2256 of title 18, United States Code.

“(G) **HARMFUL TO MINORS.**--The term ‘harmful to minors’ means any picture, image, graphic image file, or other visual depiction that--

“(i) taken as a whole and with respect to minors, appeals to a prurient interest in nudity, sex, or excretion;

“(ii) depicts, describes, or represents, in a patently offensive way with respect to what is suitable for minors, an actual or simulated sexual act or sexual contact, actual or simulated normal or perverted sexual acts, or a lewd exhibition of the genitals; and

“(iii) taken as a whole, lacks serious literary, artistic, political, or scientific value as to minors.

“(H) **SEXUAL ACT; SEXUAL CONTACT.**--The terms ‘sexual act’ and ‘sexual contact’ have the meanings given such terms in section 2246 of title 18, United States Code.

“(I) **TECHNOLOGY PROTECTION MEASURE.**--The term ‘technology protection measure’ means a specific technology that blocks or filters Internet access to the material covered by a certification under paragraph (5) or (6) to which such certification relates.”.

(d) **CONFORMING AMENDMENT.**--Paragraph (4) of such section is amended by striking “paragraph (5)(A)” and inserting “paragraph (7)(A)”.

(e) **SEPARABILITY.**--If any provision of paragraph (5) or (6) of section 254(h) of the Communications Act of 1934, as amended by this section, or the application thereof to any person or circumstance is held invalid, the remainder of such paragraph and the application of such paragraph to other persons or circumstances shall not be affected thereby.

(f) **REGULATIONS.**--

(1) **REQUIREMENT.**--The Federal Communications Commission shall prescribe regulations for purposes of administering the provisions of paragraphs (5) and (6) of section 254(h) of the Communications Act of 1934, as amended by this section.

(2) **DEADLINE.**--Notwithstanding any other provision of law, the Commission shall prescribe regulations under paragraph (1) so as to ensure that such regulations take effect 120 days after the date of the enactment of this Act.

(g) AVAILABILITY OF CERTAIN FUNDS FOR ACQUISITION OF TECHNOLOGY PROTECTION MEASURES.

(1) **IN GENERAL.**--Notwithstanding any other provision of law, funds available under section 3134 or part A of title VI of the Elementary and Secondary Education Act of 1965, or under section 231 of the Library Services and Technology Act, may be used for the purchase or acquisition of technology protection measures that are necessary to meet the requirements of this title and the amendments made by this title. No other sources of funds for the purchase or acquisition of such measures are authorized by this title, or the amendments made by this title.

(2) **TECHNOLOGY PROTECTION MEASURE DEFINED.**--In this section, the term ``technology protection measure" has the meaning given that term in section 1703.

(h) **EFFECTIVE DATE.**--The amendments made by this section shall take effect 120 days after the date of the enactment of this Act.

Subtitle C--Neighborhood Children's Internet Protection

SEC. 1731. SHORT TITLE.

This subtitle may be cited as the ``Neighborhood Children's Internet Protection Act".

SEC. 1732. INTERNET SAFETY POLICY REQUIRED.

Section 254 of the Communications Act of 1934 (47 U.S.C. 254) is amended by adding at the end the following:

``(l) INTERNET SAFETY POLICY REQUIREMENT FOR SCHOOLS AND LIBRARIES.--

``(1) IN GENERAL.--In carrying out its responsibilities under subsection (h), each school or library to which subsection (h) applies shall--

``(A) adopt and implement an Internet safety policy that addresses--

``(i) access by minors to inappropriate matter on the Internet and World Wide Web;

“(ii) the safety and security of minors when using electronic mail, chat rooms, and other forms of direct electronic communications;

“(iii) unauthorized access, including so-called ‘hacking’, and other unlawful activities by minors online;

“(iv) unauthorized disclosure, use, and dissemination of personal identification information regarding minors; and

“(v) measures designed to restrict minors’ access to materials harmful to minors; and

“(B) provide reasonable public notice and hold at least one public hearing or meeting to address the proposed Internet safety policy.

“(2) **LOCAL DETERMINATION OF CONTENT.**--A determination regarding what matter is inappropriate for minors shall be made by the school board, local educational agency, library, or other authority responsible for making the determination. No agency or instrumentality of the United States Government may--

“(A) establish criteria for making such determination;

“(B) review the determination made by the certifying school, school board, local educational agency, library, or other authority; or

“(C) consider the criteria employed by the certifying school, school board, local educational agency, library, or other authority in the administration of subsection (h)(1)(B).

“(3) **AVAILABILITY FOR REVIEW.**--Each Internet safety policy adopted under this subsection shall be made available to the Commission, upon request of the Commission, by the school, school board, local educational agency, library, or other authority responsible for adopting such Internet safety policy for purposes of the review of such Internet safety policy by the Commission.

“(4) **EFFECTIVE DATE.**--This subsection shall apply with respect to schools and libraries on or after the date that is 120 days after the date of the enactment of the Children’s Internet Protection Act.”.

SEC. 1733. IMPLEMENTING REGULATIONS.

Not later than 120 days after the date of enactment of this Act, the Federal Communications Commission shall prescribe regulations for purposes of section 254(1) of the Communications Act of 1934, as added by section 1732 of this Act.

Subtitle D--Expedited Review

SEC. 1741. EXPEDITED REVIEW.

(a) **THREE-JUDGE DISTRICT COURT HEARING.**--Notwithstanding any other provision of law, any civil action challenging the constitutionality, on its face, of this title or any amendment made by this title, or any provision thereof, shall be heard by a district court of 3 judges convened pursuant to the provisions of section 2284 of title 28, United States Code.

(b) **APPELLATE REVIEW.**--Notwithstanding any other provision of law, an interlocutory or final judgment, decree, or order of the court of 3 judges in an action under subsection (a) holding this title or an amendment made by this title, or any provision thereof, unconstitutional shall be reviewable as a matter of right by direct appeal to the Supreme Court. Any such appeal shall be filed not more than 20 days after entry of such judgment, decree, or order.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 18., File #: [22-0514], Version: 1

Meeting Date: 6/8/2022

Update the Standing Advisory Board Membership Policy to Allow Boards to Act to Approve or Deny Matters under Remote Participation Parameters on an Ongoing Basis.

Staff:

Colleen Willger, Director
Judy Johnson, Assistant Director
Corey Liles, Planning Manager

Department:

Planning

Overview: During the pandemic, the [Standing Advisory Board Remote Participation Policy](https://www.townofchapelhill.org/government/mayor-and-council/boards-commissions/board-membership-policy) <<https://www.townofchapelhill.org/government/mayor-and-council/boards-commissions/board-membership-policy>> has allowed meetings of the Boards and Commissions to be fully virtual, with no members attending in-person. Town Council instituted this approach in [spring 2020](https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4538871&GUID=64B8CA34-E001-4F39-AAB6-21A8CB617DC8) <<https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4538871&GUID=64B8CA34-E001-4F39-AAB6-21A8CB617DC8>> and resolved to reconsider the approach once the Governor's State of Emergency ended. Tonight's item would make remote participation and voting an ongoing option for non-quasi-judicial matters before Advisory Boards.



Recommendation(s):

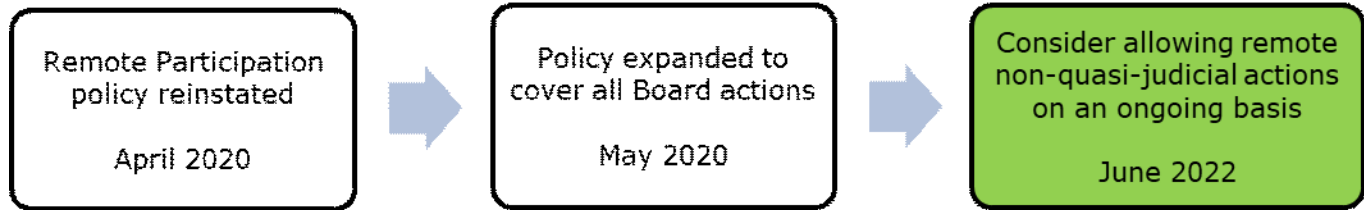
That the Council adopt a resolution to update the Standing Advisory Board Membership Policy.

Proposed Remote Participation Parameters

Feature of Current Policy	Proposed
No limit on how many meetings an individual member can attend remotely	Continue, state clearly in policy
Remote attendees count towards meeting quorum	Continue, allow at all times (not just during States of Emergency)
Remote attendees may vote on recommendations to Council, formal administrative reviews, and similar actions	Continue, allow at all times (not just during States of Emergency)
Remote attendees of the Board of Adjustment and Historic District Commission may vote on quasi-judicial matters	Allow only during a Governor's State of Emergency, in accordance with State law

Note: The Governor's State of Emergency is currently still in place. There have been discussions around ending it, but no timeline indicated.

Where is this item in its process?

**Attachments:**

- Draft Staff Presentation
- Resolution
- Advisory Board Recommendations

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Corey Liles, Planning Manager

RECOMMENDATION: That the Council adopt a resolution to update the Standing Advisory Board Membership Policy.



Standing Advisory Board Membership Policy

REMOTE PARTICIPATION PROPOSED UPDATES

**TOWN COUNCIL
June 8, 2022**



RECOMMENDATION

- Adopt a resolution to update the Standing Advisory Board Membership Policy (*R-#*)

Draft



PROCESS

Remote Participation Policy Reinstated
April 2020



Policy Expanded
May 2020



Consider Update for Ongoing Options
June 2022

Draft



BENEFITS OF REMOTE PARTICIPATION

- Meeting productivity improved
- Meeting attendance improved
- Public participation increased
- Member morale improved
- Staff facilitation easier

Draft



POLICY COMPARISON

Opportunities for Remote Participants	March 2017 Pilot	April & May 2020 Pandemic Response	June 2022 Proposal
Count Towards Quorum	X	✓	✓
Vote on Formal Administrative Actions	X	✓ (May) - only during State of Emergency	✓
Quasi-Judicial Hearings and Decisions	X	✓ (May) - only during State of Emergency	Only during a State of Emergency
Other Discussion, Comments, Recommendations, and Votes	✓	✓	✓
Individual Limit – # of remote meetings	No more than 1/3 of meetings	None specified	None – confirms no limitation
Meeting Limit – # of remote participants	None specified	None specified	None – confirms meeting may be fully remote, in-person, or hybrid
Program Timeline	Through June 30, 2018	Through expiration of Stay-at-Home restrictions, then reconsider March 2017 policy	Ongoing unless otherwise amended



ADVISORY BOARD RECOMMENDATIONS

Recommending in Favor of Proposal

- Community Design Commission
- Environmental Stewardship Advisory Board
- Housing Advisory Board
- Human Services Advisory Board
- Planning Commission (*favorable comments*)
- Stormwater Management Utility Advisory Board
- Transportation & Connectivity Advisory Board

Draft



RECOMMENDATION

- Adopt a resolution to update the Standing Advisory Board Membership Policy (*R-#*)

No limit on number of remote meetings or participants

Remote participants count towards quorum

May vote on administrative actions

Quasi-judicial hearings and decisions held in-person

RESOLUTION A

(Approving a Standing Advisory Board Membership Policy Update)

A RESOLUTION MODIFYING REMOTE PARTICIPATION PARAMETERS OF THE STANDING ADVISORY BOARD MEMBERSHIP POLICY TO ALLOW BOARDS TO ACT TO APPROVE OR DENY MATTERS BEFORE THEM AS GENERAL PRACTICE AND IN ACCORDANCE WITH THE PROVISIONS OF G.S. 166A-19.24 (2022-06-08/R-13)

WHEREAS, on April 1, 2020, the Town Council adopted Resolution (2020-04-01/R-1) reinstating a program for remote participation by members of Town Advisory Boards in Advisory Board meetings; and

WHEREAS, on May 20, 2020, the Town Council adopted Resolution (2020-05-20/R-4) allowing the Board of Adjustment and Historic District Commission to conduct quasi-judicial evidentiary hearings where required for matters before these Boards and allowing other Boards to approve or deny matters before them during the State-declared State of Emergency and pursuant to G.S. 166A-19.24; and

WHEREAS, the Town Advisory Boards have generally held fully remote meetings since that time, with positive outcomes for public participation, meeting productivity, and Board member morale; and

WHEREAS, members of multiple Town Advisory Boards have made a recommendation to the Town Council to continue allowing remote participation and action on matters before the Boards in a remote format following the conclusion of the State of Emergency.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council amends the Standing Advisory Board Membership Policy as follows:

SECTION 1- Parameters of Remote Participation is hereby amended to read as follows:

On March 6, 2017, the Town Council passed a resolution establishing a pilot program for remote participation by members of Town advisory boards in advisory board meetings. Resolutions (2020-04-01/R-1), ~~and (2020-05-20/R-4)~~, and (2022-06-08/R-#) amended this policy as follows.

Only Boards and Commissions shall be included, not the Council.

Some or all of the Members of said Boards and Commissions may **attend meetings remotely and** fully participate in **all discussions and votes on business of the body.** ~~and vote at meetings in which they participate remotely, and would **Said members shall** be counted toward a quorum.~~

Remote participation in voting on non-quasi-judicial applications by Boards and Commissions shall include ~~these~~ **the following** situations in which the Boards and Commissions are reviewing plans:

- **Cases where the body makes** ~~and making~~ recommendations to the Town Council ~~and, during State-declared States of Emergency,~~
- **Cases** where the body has the **administrative** authority to approve or deny. ~~Where the action being considered is approval or denial of,~~ for example, a minor subdivision by the Planning Commission or a certificate of appropriateness by the Community Design Commission for **the** Blue Hill

~~district, a board member attending remotely could participate in the conversation but would not vote on any decision except during such a State of Emergency and pursuant to the provisions of G.S. 166A-19.24.~~

For members of the Board of Adjustment and Historic District Commission, remote participation shall not include voting on quasi-judicial applications, nor shall quasi-judicial hearings be held without a quorum of members present in person, ~~may not conduct hearings or make decisions on quasi-judicial applications~~ except during a State-declared State of Emergency and pursuant to the provisions of G.S. 166A-19.24.

This policy does not limit the number of scheduled meetings that a Board or Commission member may participate in remotely, nor does it limit the number of Board or Commission members who may participate remotely in a given meeting.

These meetings shall provide an opportunity for the public to participate and comment during the meetings by remote methods, including email, telephone and other methods, to the extent practical.

BE IT FURTHER RESOLVED that these policies shall supersede any provisions of the Council Procedures Manual inconsistent herewith.

BE IT FURTHER RESOLVED that these policies shall remain in effect unless otherwise amended by the Council.

This the 8th day of June, 2022.

COMMUNITY DESIGN COMMISSION

The charge of the Community Design Commission is to assist the Council in guiding the Town's vision on aesthetics, character, and function to focus community growth through advice, advocacy and implementation of the Council's policies and review of proposed development in key areas of the community.

RECOMMENDATION FOR VIRTUAL ADVISORY BOARD MEETINGS

April 26, 2022

Recommendation: **Approval** **Approval with Conditions** **Denial**

Motion: Susan Lyons moved and Megan Patnaik seconded a motion to recommend that Council the policy update to continue allowing remote meetings.

Vote: 6-0

Yeas:	Susana Dancy Ted Hoskins Scott Levitan Susan Lyons Megan Patnaik John Weis	Nays: None
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ENVIRONMENTAL STEWARDSHIP ADVISORY BOARD

The charge of the environmental stewardship advisory board will be to assist the Chapel Hill Town Council in strengthening environmentally responsible practices that protect, promote and nurture our community and the natural world through advice and program support.

RECOMMENDATION FOR CHANGES TO ADVISORY BOARD REMOTE PARTICIPATION POLICY (VIRTUAL MEETINGS)

May 10, 2022

Recommendation to Council: Approval Approval with Conditions/Considerations
Denial Motion was Defeated

Motion: Julie McClintock moved and Tom Henkel seconded a motion to recommend to Council that the staff's recommendations be approved, with a focus on maintaining the predictability of meeting dates/times in accordance with the necessary virtual meeting software licenses.

Vote: 7-0

Aye: Chair Maripat Metcalf, Bruce Sinclair, E. Thomas Henkel, Julie McClintock, Marirosa Molina, Noel Myers, Noah Upchurch

Nay:

Note about Motion:

- The ESAB was very supportive of the staff recommendation and expressed a specific interest in creating a virtual environment where meeting dates do not have to be adjusted based on the availability of virtual meeting software licenses.

Prepared by: John Richardson, Community Sustainability Manager, Staff Liaison to ESAB

HOUSING ADVISORY BOARD

The charge of the environmental stewardship advisory board will be to assist the Chapel Hill Town Council in strengthening environmentally responsible practices that protect, promote and nurture our community and the natural world through advice and program support.

RECOMMENDATION FOR CHANGES TO ADVISORY BOARD REMOTE PARTICIPATION POLICY (VIRTUAL MEETINGS)

May 9, 2022

Recommendation to Council: **Approval**
 Approval with Conditions/Considerations
 Denial
 Motion was Defeated

Motion: A motion was made by Anne Hoole, seconded by Chair Sue Hunter, that the Council approve the Advisory Board Remote Participation Policy Update to allow advisory boards to continue to have the option to meet virtually.

Vote: 6-0

Aye: Chair Sue Hunter, Vice-Chair Dustin Mills, Robert Dowling, Anne Hoole, Rex Mercer, Brandon Morande

Nay:

Note about Motion:

Prepared by: Emily Holt, Affordable Housing Development Officer, Staff Liaison to HAB

HUMAN SERVICES ADVISORY BOARD

The charge of the Human Services Advisory Board was through ordinance to alert the Council to changes in human service needs in Chapel Hill, to assure that Chapel Hill citizens receive services to which they are entitled, coordinate delivery of human services with other agencies, advise the Council of human service funding needs, and other responsibilities as may be established by the Council.

**RECOMMENDATION
FOR VIRTUAL MEETING OPTIONS
May 3, 2022**

Recommendation: Approval Approval with Conditions Denial

Motion: Josh Ravitch moved, and Mary Andrews seconded a motion to recommend that the Human Services Advisory Board be allowed to continue to have the option to meet virtually, going forward.

Vote: 5-0

Yeas: Mary Andrews, Carolyn Fanelli, Josh Ravitch, Kit Stanley
and Mychal Weinert

Nays: none

Prepared by: Jackie Thompson, Human Services Coordinator

PLANNING COMMISSION

The charge of the Planning Commission is to assist the Council in achieving the Town's Comprehensive Plan for orderly growth and development by analyzing, evaluating, and recommending responsible town policies, ordinances, and planning standards that manage land use and involving the community in long-range planning.

RECOMMENDATION FOR VIRTUAL MEETING OPTIONS

May 17, 2022

Recommendation: **Approval** **Approval with Conditions** **Denial**

The Planning Commission did not take a formal vote on their recommendation but offered the following comments:

- Meetings are more accessible to all
- Consider hybrid opportunities
- Visibility of presentation materials is of concern
- Virtual meetings assist with meeting quorums
- Consider in-person retreats once or twice a year

Prepared by: Michael Everhart, Chair
 Judy Johnson

TRANSPORTATION AND CONNECTIVITY ADVISORY BOARD

To assist the Chapel Hill Town Council in creating an inclusive connected community by recommending, advocating and planning for comprehensive, safe, effective and sustainable multi-modal transportation and connectivity

RECOMMENDATION Virtual Meeting Options May 24, 2022

Recommendation: Approval Approval with Conditions Denial

Motion: The Transportation and Connectivity Advisory Board (TCAB) recommended that Town Council approve the proposed motion to extend virtual meeting options for members beyond the COVID-19 state of emergency.

Vote: 7-0

Ayes: Heather Brutz, Nikki Abija, Maggie Breeden, Katie Huge, Susanne Kjemtrup-Lovelace, Denise Matthews, Alvaro Villagran

Nays:

Prepared by:
Josh Mayo, Transportation Planner I



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 19., File #: [22-0515], Version: 1

Meeting Date: 6/8/2022

Consider Staff Response to Environmental Stewardship Advisory Board Petition Regarding Electrification.

Staff:

Maurice Jones, Town Manager
Mary Jane Nirdlinger, Deputy Town Manager
John Richardson, Community Sustainability Manager

Department:

Town Manager's Office

Overview: On January 12, 2022, the Environmental Stewardship Advisory Board (ESAB) submitted the attached petition to Council. The petition asks the Council to adopt policies that would transition our community to all-electric buildings, thereby reducing greenhouse gas emissions and helping to reach the Town's climate goals. That same evening, the Council referred the petition to the Mayor and Manager, who then referred it to staff for review. This memo provides an initial response to the petition.

☆ Recommendation(s):

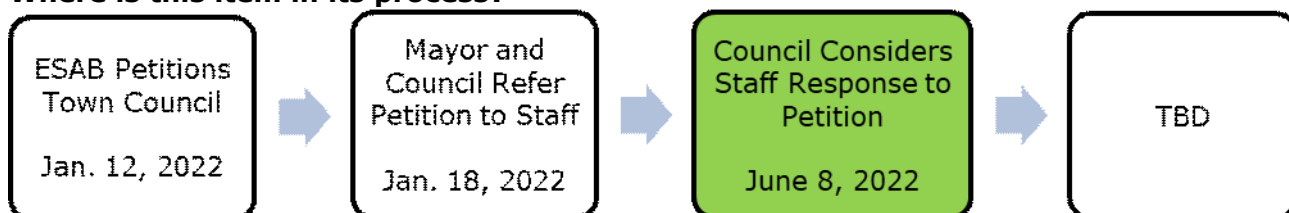
That the Council review the attached staff report, consider the options presented, and provide staff with additional direction, as appropriate.

Key Issues:

- The timing of a clean replacement for natural gas ("green hydrogen") is uncertain.
- Absent utility or Town financial incentives, converting existing buildings to all-electric equipment will come at a cost to property owners. The cheapest most effective way to create an all-electric building is to design it that way from the start.
- The Town's [Climate Action and Response Plan](https://online.flippingbook.com/view/857144275/56/) has targets that call for 40% of new buildings to be all-electric by 2025 and 100% by 2030. The plan also calls for converting 7,500 existing buildings to be all-electric by 2030 and 15,000 by 2050.

Fiscal Impact/Resources: Should the Town Council wish to go forward with this, there would be a variety of financial impacts to consider. See the attached staff report for more details.

Where is this item in its process?



Attachments:

- Draft Staff Presentation
- Staff Report

Item #: 19., File #: [22-0515], Version: 1

Meeting Date: 6/8/2022

- Petition

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: John Richardson, Community Sustainability Manager

RECOMMENDATION: That the Council review the attached staff report, consider the options presented, and provide staff with additional direction, as appropriate.

Staff Response to Environmental Stewardship Advisory Board Electrification Petition

June 8, 2022

Petition

- Petition received and referred to staff in January
- Petition asks Council to adopt specific policies aimed at helping Chapel Hill transition to all-electric buildings
- As the electricity grid gets cleaner, so do our buildings (and vehicles)

Petition to the Chapel Hill Town Council on Increasing the Electrification of Chapel Hill
Environmental Stewardship Advisory Board
Offered by Tom Henkel
December 14, 2021

Whereas: The scientific consensus is that climate change is upon us caused primarily by the burning of fossil fuels; and

Whereas: The Town has a Climate Action and Response Plan to curb greenhouse gas emissions within Chapel Hill; and

Whereas: The carbon intensity of the electric grid has decreased to a point that the replacement of natural gas and other fossil fuel heating with various electric heating technologies will reduce GHG emissions; and

Whereas: Research into the association between residential gas stoves and childhood asthma found children in homes with gas stoves have a 42% increased risk of experiencing asthma symptoms (current asthma), a 24% increased risk of ever being diagnosed with asthma by a doctor (lifetime asthma) and an overall 32% increased risk of both current and lifetime asthma; and

Whereas: The Electric Power Research Institute (EPRI) found in an updated 2018 report comparing the cost of building an all-electric single-family home to a gas-fired home in seven cities around the US that all-electric homes saved money and reduced carbon pollution in every case, and the savings in running gas lines can be as much as \$24,000 per home; and

Whereas: the California Energy Commission on August 11, 2021, adopted energy efficiency standards for new construction and renovations, the country's first statewide building code that incentivizes all-electric construction; and

Whereas: Other states, notably Colorado, are embracing electrification, and many more are likely to take notice and pursue similar standards; and

Whereas: President Biden signed an executive order on August 5, 2021, that sets a target that half of all vehicles sold in the US be electric by 2030; and

Whereas: 60 California cities including Berkeley, Ojai, San Francisco, and San Jose have, or are considering, banning natural gas in future buildings based on health and safety reasons; and

Whereas: Chapel Hill currently requires that all new Town-owned construction and renovations shall meet the AIA-2030 energy performance standards and that all new private construction is incentivized to have energy performance 20% less than the current ASHRAE standard; and

Staff Recommendation

That the Council...

- Consider the options presented in the staff report
- Provide staff with additional direction, as appropriate

Draft



SUSTAINABILITY

Climate Action Plan



Mitigation ▼ emissions



U
r
o

Resiliency ▼ recovery time

Climate Action Goals

50%

Emissions reduction by
2030

80%

Clean, renewable
energy by 2030

Net-zero

Emissions reduction by
2050

100%

Clean, renewable
energy by 2050

Draft

Electrification Goals and Targets

40%

New buildings all-electric by 2025

7,500

Existing buildings converted to all-electric by 2030

100%

New buildings all-electric by 2030

15,000

Existing buildings converted to all-electric by 2050

Draft

Recommendation Details

- 3 tentative policy options for further evaluation
- Specific questions designed to help staff and Council evaluate the proposed policy
- Additional information about:
 - benefits of electrification
 - Town's legal authority to regulate energy sources
 - green hydrogen as a replacement for natural gas
 - challenges and emerging solutions for electrification

Draft

Staff Recommendation

That the Council...

- Consider the options presented in the staff report
- Provide staff with additional direction, as appropriate

Draft

Draft



STAFF REPORT

This report was produced by staff from the Town Manager's Office, with contributions from the Town Attorney's Office

June 3, 2022

This staff report includes the following elements:

- Options to Explore
- Chapel Hill Context
- Additional Details

Options to Explore

In response to the petition and based on the information provided within this staff report, we have developed the italicized list of tentative options below for the Council to consider. If it is of interest, we can explore these further and provide additional information about the remaining questions posed for each, including any areas of research the Council may have. For this section, "heating purposes" matches the petition and refers to the use of energy for cooking, space heating, water heating, and other process heating.

Tentative Options and Questions Staff Can Explore:

1. *Require that all Town-owned new construction or significant building renovations (those where the combustion heating equipment is being replaced) use electricity and/or another clean, renewable energy source for heating purposes.*

Questions:

- Can we estimate as a percentage what the approximate greenhouse gas emissions reduction benefit would be for a new or typical municipal building?
- Can we estimate as a percentage what the total cost of ownership for all-electric heating equipment would be compared to combustion heating equipment in a new or renovated Town building?
- What impacts, if any, would this policy have on Town operations within new or existing Town buildings? For example, would this require an adjustment to our temperature set points and programming?

2. *As part of an update to the Council's Green Building Policy Framework, encourage and/or incentivize new construction or major renovations (those where the combustion heating equipment is being replaced) to use electricity and/or another clean, renewable source for heating purposes.*

Questions:

- What is the latest on how our electric utilities are preparing for the increase in electricity demand from heating and vehicles over time, and what changes can

ratepayers anticipate?

- For a typical household and based on ratepayer projections under the draft Duke Energy Carbon Plan, how do the annual utility costs of combustion heating compare to electric heating?
- Are there instances where an upgrade to electric space heating should be done in conjunction with other measures like weatherization and/or rooftop solar?
- What reason, if any, would a developer or builder have for not installing all-electric heating equipment?
- As part of the Council's Green Building Policy Framework update, is an incentive needed for all-electric heating in new construction and, if so, what would work best?

Note: Through the development review process, we are now seeing mostly all-electric or electric-ready building designs for new construction. This supports our Climate Action and Response Plan goals listed in the cover memo.

3. *Require that to the greatest extent possible and practical, the Town shall establish new leases for buildings that use electricity and/or another clean, renewable energy source for heating purposes.*

Question:

- What are some leasing scenarios where it could be challenging for the Town to meet such a requirement and why?

Chapel Hill Context

Based on our most recent community-wide greenhouse gas emissions inventory, nearly 70% of Chapel Hill's emissions come from the energy we use in our buildings. Approximately 10% of this energy comes from natural gas, meaning that efforts to switch space heating, water heating, and cooking fuels from natural gas (or other fossil fuels) to electricity can play an important role in reducing the Town's overall emissions that contribute to climate change. We've identified building electrification as a key action category within the [Town's Climate Action and Response Plan](#).¹

Building electrification can come in a variety of forms. For new construction, this is about designing buildings that are only powered by electricity from the grid and/or on-site renewable energy like solar. For existing buildings that use natural gas or other fossil fuels for heating and cooking, this is known as "fuel switching" or converting HVAC equipment, stoves, and water heating appliances to all-electric options. Other fossil fuels used for heating commonly include wood, oil, kerosene, and propane.

¹ <https://online.flippingbook.com/view/857144275/>

Additional Details

What are some of the benefits of electrification?

We benefit from having buildings and vehicles that are exclusively powered by electricity because as the grid gets cleaner, so will the things that use electricity. Even over the last 15-20 years, utility companies have lowered the emissions from the grid by increasing the amount of energy that comes from non-fossil fuel sources like nuclear and renewables (solar, wind, hydro). Two of the main utilities in our region, Duke Energy and Dominion Energy, have both set goals of being carbon neutral by no later than 2050. As a result, the more all-electric buildings and vehicles we have in Chapel Hill, the easier it should be to meet our community-wide climate goals over time.

Additionally, while burning natural gas is cleaner than many traditional fossil fuels, its use can have both climate and public health impacts. According to the Environmental Protection Agency (EPA), 1 ton of methane has warming impacts to the earth that are 27-30 times more than 1 ton of carbon dioxide.² So, while utility companies are working to improve their ability to detect and manage the methane leaks associated with natural gas production and distribution, these events can and do have significant impacts on climate change. Researchers at Stanford University report that the methane emissions impacts from gas stoves (specifically unburned methane) are substantially more than what is reported by the EPA when comparing it to the combined methane emissions impacts of all residential appliances. In addition to climate impacts, the researchers also report that cooking with gas can expose people to harmful emissions which can “trigger asthma, coughing, wheezing and difficulty breathing.”³

What is the Town’s legal authority to regulate natural gas?

A municipality’s authority to regulate or restrict options for energy sources on non-Town-owned property, including natural gas, is uncertain at best. Without clear legislative authority to regulate the use of natural gas, local government action is vulnerable to challenge from stakeholders and could lead to further explicit restrictions of local government authority at the state-wide level.

*What’s “green hydrogen” and how is it connected to natural gas?*⁴

Some industry experts see green hydrogen as a clean, renewable energy source that could eventually replace natural gas and other fossil fuels to compete within the residential, commercial, industrial, and transportation sectors. As part of the 2021 bipartisan infrastructure legislation, the federal government is investing more than \$8 Billion into new “hydrogen hubs” that will be sited regionally throughout the country. Unlike gray hydrogen (derived from natural gas) or blue hydrogen (gray + carbon storage), green hydrogen is created by using electricity – ideally renewables – to split a water molecule using a process called electrolysis. The byproduct of burning green hydrogen is water and some predict that this form of hydrogen will be more cost competitive than blue hydrogen by 2030.⁵

While green hydrogen appears to be a promising, climate-friendly alternative, it is unclear when and to what degree it will become an established market in the United States. Currently, utilities here and

² [https://www.epa.gov/ghgemissions/understanding-global-warming-potentials#:~:text=Methane%20\(CH4\)%20is%20estimated,uses%20a%20different%20value.](https://www.epa.gov/ghgemissions/understanding-global-warming-potentials#:~:text=Methane%20(CH4)%20is%20estimated,uses%20a%20different%20value.)

³ <https://earth.stanford.edu/news/climate-and-health-impacts-natural-gas-stoves#gs.0xg8ll>

⁴ Unless otherwise referenced, the information provided in this section comes from industry experts who presented at the UNC Clean Tech Summit and the North Carolina State Energy Conference in April of 2022.

⁵ https://rmi.org/clean-hydrogen-hub-offers-major-opportunity/?utm_medium=email&utm_source=spark&utm_content=spark&utm_campaign=2022_05_19&utm_term=button

abroad are testing blends of up to 20% green hydrogen within natural gas infrastructure. While these studies show promise, there are also key physical differences between green hydrogen and natural gas that raise important questions about: (1) whether existing natural gas infrastructure can be used; and (2) if it's better to focus on applications like power plants and large transportation vehicles and ships, where battery technology is currently limited. There are also some important questions about where the water would be sourced to generate green hydrogen, and some industry experts have talked about ocean water as an important area of study. In summary, while green hydrogen is likely to be a key strategy for lowering global emissions, it is not yet clear if or when it will be a viable substitute for heating purposes within residential and commercial buildings.

What are some of the challenges and emerging solutions with electrification?

In the United States, about half of all homes use natural gas for space and water heating and this represents about 15% of all natural gas consumption in this country.⁶ One climate action strategy for reducing emissions in homes and multifamily buildings is to convert a natural gas furnace (or another combustion appliance) to an all-electric air source heat pump. There have been questions about the ability of all-electric heat pumps to keep indoor spaces warm enough when the temperature drops below 30-40 degrees Fahrenheit. Advances in heat pump technology within the last decade have made this equipment a more efficient⁷ and effective heating (and cooling) option in colder climates, to the point where northern states like Minnesota and Maine now offer [rebate incentive programs](#)⁸ and Brooklyn-based companies like [BlocPower](#)⁹ have emerged in response to the climate crisis. An analysis by the Rocky Mountain Institute estimates that making the switch from combustion heating to an all-electric heat pump will reduce carbon emissions in North Carolina and all but two of the other 48 continental United States.¹⁰ This is because electricity from the grid is now generally clean enough to where fuel switching can have both an immediate and long-term impact on emissions reduction.

While new heat pump technology has helped to address some of the concerns about all-electric space heating, it's also important to note that for some this kind of heating doesn't respond to their personal preferences as well as combustion heating. Electrification of combustion appliances also includes equipment like water heaters and stoves, where there are a range of product options, prices, and personal preferences. Regardless of the appliance type, there are a [variety of factors](#)¹¹ that contribute to whether or not an all-electric option would be cost-competitive or otherwise work well for a particular home or building.

⁶ <https://www.eia.gov/energyexplained/natural-gas/use-of-natural-gas.php#:~:text=About%20half%20of%20the%20homes,residential%20sector's%20total%20energy%20consumption.>

⁷ <https://www.energy.gov/energysaver/air-source-heat-pumps>

⁸ <https://www.energymaine.com/about-heat-pumps/>

⁹ <https://www.blocpower.io/>

¹⁰ <https://rmi.org/its-time-to-incentivize-residential-heat-pumps/>

¹¹ <https://remdb.nrel.gov/measures.php?gId=2&ctId=312&scId=4914&acId=4928>

Petition to the Chapel Hill Town Council on Increasing the Electrification of Chapel Hill
Environmental Stewardship Advisory Board
Offered by Tom Henkel
December 14, 2021

Whereas: The scientific consensus is that climate change is upon us caused primarily by the burning of fossil fuels; and

Whereas: The Town has a Climate Action and Response Plan to curb greenhouse gas emissions within Chapel Hill; and

Whereas: The carbon intensity of the electric grid has decreased to a point that the replacement of natural gas and other fossil fuel heating with various electric heating technologies will reduce GHG emissions; and

Whereas: Research into the association between residential gas stoves and childhood asthma found children in homes with gas stoves have a 42% increased risk of experiencing asthma symptoms (current asthma), a 24% increased risk of ever being diagnosed with asthma by a doctor (lifetime asthma) and an overall 32% increased risk of both current and lifetime asthma¹; and

Whereas: The Electric Power Research Institute (EPRI) found in an updated 2018 report comparing the cost of building an all-electric single-family home to a gas-fired home in seven cities around the US that all-electric homes saved money and reduced carbon pollution in every case, and the savings in running gas lines can be as much as \$24,000 per home²; and

Whereas: the California Energy Commission on August 11, 2021, adopted energy efficiency standards for new construction and renovations, the country's first statewide building code that incentivizes all-electric construction³; and

Whereas: Other states, notably Colorado, are embracing electrification, and many more are likely to take notice and pursue similar standards; and

Whereas: President Biden signed an executive order on August 5, 2021, that sets a target that half of all vehicles sold in the US be electric by 2030⁴; and

Whereas: 60 California cities including Berkeley, Ojai, San Francisco, and San Jose have, or are considering, banning natural gas in future buildings based on health and safety reasons⁵; and

Whereas: Chapel Hill currently requires that all new Town-owned construction and renovations shall meet the AIA-2030 energy performance standards and that all new private construction is incentivized to have energy performance 20% less than the current ASHRAE standard; and

Whereas: The use of energy for heating includes cooking, space heating, heating of water, and other process heating.

Therefore, the Environmental Stewardship Advisory Board hereby petitions the Chapel Hill Town Council to adopt the following policies:

1. All Town-owned new construction and building renovations shall not use any natural gas nor other fossil fuels for heating purposes (as defined above) effective March 1, 2022.
2. All new private construction and building renovations which are regulated by the Town of Chapel Hill shall not use any natural gas nor other fossil fuels for heating purposes (as defined above) effective January 1, 2023.
3. The Town shall not rent buildings that use natural gas nor other fossil fuel for heating purposes

Notes

1. <https://doi.org/10.1093/ije/dyt150>
2. <https://bit.ly/37lWaKO>
3. <https://bit.ly/3fTj5Nt>
4. <https://nyti.ms/3ABXZ2E>
5. <https://localenergycodes.com>



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 20., **File #:** [22-0516], **Version:** 1

Meeting Date: 6/8/2022

Appointments to the Community Design Commission.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Community Design Commission for four seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Council Committee: Community Design Commission Interviews
(Council Members Anderson, Ryan and Stegman)

SUBJECT: Recommendation for the vacancy(s)

DATE: June 1, 2022

RECOMMENDATION: The Council Committee: Community Design Commission Interviews met on Thursday, May 5, 2022 at 11 AM and Wednesday, June 1, 2022 at 9 AM and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Susan Lyons, Reappointment, Chapel Hill Resident
- John Weis, Reappointment, Chapel Hill Resident

SPECIAL REQUEST(s): To keep the remaining two seats open for more depth of design experience and diversity of the board.

BACKGROUND: Both Susan Lyons and John Weis are excellent board members that have contributed a lot to the board. The Committee appreciates their willing to continue serving on the Community Design Commission

Note: Communications and Public Affairs notes that the Community Design Commission reviewed the following applications: Robin Bayer, Ming Feng, Susan Lyons, Elizabeth Muldoon, Nikolaus Reasor, John Weis, and Laurie White. One additional application was received on June 2, 2022 for the Community Design Commission. James Faron.

MEMORANDUM

TO: Mayor and Town Council
FROM: John Weis, CDC Chair
SUBJECT: Recommendation for the vacancy(s)
DATE: May 24, 2022

RECOMMENDATION: The Community Design Commission met on Tuesday, May 24, 2022 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Susan Lyons, Reappointment, Chapel Hill Resident
- John Weis, Reappointment, Chapel Hill Resident
- Nikolaus Reasor, Appointment, Chapel Hill Resident

SPECIAL REQUEST(s): NA

BACKGROUND: NA

Note: Communications and Public Affairs notes that the Community Design Commission reviewed the following applications: Robin Bayer, Ming Feng, Susan Lyons, Elizabeth Muldoon, Nikolaus Reasor, and John Weis. Two additional application were received between May 24, 2022 and June 2, 2022 for the Community Design Commission: James Faron and Laurie White

BALLOT

COMMUNITY DESIGN COMMISSION

JUNE 8, 2022

Total Membership: 7 (Seven (7) members must live within the municipal limits of the Town of Chapel Hill and have demonstrated special training or experience in a design field such as architecture, landscape design, horticulture, city planning or a closely related field).

Preference given to applicants who also have demonstrated special training or experience in a design field such as architecture, landscape design, horticulture, city planning or a closely related field.

Current Membership: 6 (3 Female, 3 Male; 6 Caucasian; [2] 35-54, [4] over 55)

Current Vacancies: 1 (Chapel Hill ETJ)

Upcoming Vacancies: 3 (Chapel Hill Resident0

Number of Applicants: 8

**Community Design Commission
Please vote for up to three (3) Chapel Hill Resident.**

_____ Robin Bayer

_____ Nikolaus Reasor

_____ James Faron

_____ John Weis (Incumbent)

_____ Ming Feng

_____ Laurie White

_____ Susan Lyons (Incumbent)

_____ Elizabeth Muldoon

_____ Other, please specify_____

There are no Chapel Hill ETJ applications.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

robin.bayer@gmail.com

Email Address

Robin

First Name

J

Middle Initial

Bayer

Last Name

108 Shadowood Drive

Street Address

Apt L

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (913) 645-6666

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a new resident to Chapel Hill, and am a business owner (software development company). I feel it is important to get involved early when moving to a new community where I would like to consider residing for a considerable period of time. Chapel Hill is a beautiful city, with wonderful diversity and pride in higher education. I would like to be a part of ensuring it stays that way as it inevitably grows along with the rest of the region.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am from the Midwest and served for several years on the City Council of a small town in Kansas (Baldwin City, KS). I was active in several other local boards as well, including a brief interim stint as Library Board president. I have essentially 30 years of technical, software, and data analysis skills that have proven useful in these past Board roles when it came to research and development of data models to make determination about often mundane issues.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

As previously mentioned, a considerable amount of data processing and data analysis experience. No formal training in any of the specific skills listed here though.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

35-54

General Manager

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.” Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

jim@faronproperties.com

Email Address

James F.

First Name

F

Middle Initial

Faron

Last Name

308 Lancaster Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (217) 377-4677

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

- Internet
 Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Chapel Hill web-site

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a recent resident to Chapel Hill, I seek to increase my involvement in the community. This is consistent with my previous forty-year residency in the Champaign-Urbana, Illinois region. I have experience in real estate, privately-owned business, health care (Dr. of Optometry), transportation, and education. I consider myself a lifelong learner and am always interested in diverse points of view and problem solving.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I moved from a community similar to Chapel Hill in terms of a recognized university (University of Illinois) and a diverse population base. I have served on a number of Boards, including the Champaign-Urbana Mass Transit District, Champaign-Urbana Symphony, Green Meadows Girl Scout Council and Champaign County Mental Health Board. I practiced for thirty-three years as an Optometrist in a large multi-specialty practice in Urbana, Illinois, served as an administrator/counselor in Greenville, South Carolina public schools, and am currently still a property owner in Illinois. All of these experiences have put me in a position to deal with various people and viewpoints and to work collaboratively in a group setting.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

Although I do not have special training in the areas cited in the question, I present a broad background and range of experiences. As stated earlier, these include Real Estate Ownership and Management, Transportation, Health Care and Educational Guidance and Administration. In these capacities, I worked with municipal governments, schools and both for and non-profit organizations across a diverse population spectrum.

Question applies to Planning Commission

Do you have special interest, experience, or education/training in city planning, design field, environment, housing, transportation or related fields? If yes, please explain.

I feel that I have skills and experiences that lend themselves to membership on the Planning Commission. Until recently, I owned 300 moderately priced rental units in Champaign, Illinois and personally managed all facets of my business. With regard to transportation, I served on the Board of the Champaign-Urbana Mass Transit District, with a 55 million dollar budget, 250 employees, and a monthly ridership of over one million passengers. Within these business and public spheres, I had involvement with city government, schools, not-for-profit organizations, and legal entities. I feel this breadth of expertise would serve me well in the work of the Planning Commission.

[resume James Faron_1 .docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Male**If other, please describe:**

Please select your age from the following list. *

 over 55**Retired**

Occupation

Are you a caregiver for or identify with a disability?

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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I Agree

jim@faronproperties.com

Email Address

James F.

First Name

F

Middle Initial

Faron

Last Name

308 Lancaster Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (217) 377-4677

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

- Internet
 Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Chapel Hill web-site

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a recent resident to Chapel Hill, I seek to increase my involvement in the community. This is consistent with my previous forty-year residency in the Champaign-Urbana, Illinois region. I have experience in real estate, privately-owned business, health care (Dr. of Optometry), transportation, and education. I consider myself a lifelong learner and am always interested in diverse points of view and problem solving.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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I Agree

fengming1107@gmail.com

Email Address

Ming

First Name

Middle Initial

Feng

Last Name

214 Napa Valley Way

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (313) 471-0687

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Orange County (Not Chapel Hill limits ETJ or JPA)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Homeowner or Tenant

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

None Selected

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Stanat's Place (2516 Homestead) Development affects my living community. And I wish to attend the town council virtual meeting to give suggestions.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

N/A

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Asian or Pacific Islander

Gender *

Male

If other, please describe:

Please select your age from the following list. *

25-34

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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I Agree *

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Profile

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Public Records Statement

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I Agree

ldilyons@gmail.com

Email Address

Susan

First Name

Lyons

Middle Initial Last Name

422 W. Barbee Chapel Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Mobile: (919) 932-6416

Primary Phone

Home: (919) 932-6410

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

already serving on CDC

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Perspectives: --interest in urban and street design: how do we increase density in our town and still maintain some of the character that has made Chapel Hill unique? --building well-designed affordable housing that allows people to live and work in the same community --site plans that truly reflect place-making, fewer cars and create gathering spaces that people can truly use. Too often we get developer projects that were designed for somewhere else and now want to be placed here with no thought to how they will work or impact our town. --We need our developments to reflect our vision for the town-- connected and complete streets, slower traffic, fewer cars and walkable and bikeable areas throughout our community. --I want to see downtown revitalized. Having been a resident of downtown/near downtown for many years, I see it as a destination, a gathering place and a thriving community in its own right. Done well, our downtown can still reflect part of the traditional character of Chapel Hill and also reflect gentle urban density. This takes good collaboration and planning as well as developers who truly share our vision for the future. --Well-designed street and site plans that reflect town vision and values and really commit to walkable and bikeable, ADA streets for everyone. --Also, I believe that we do not reach many of the right people when we engage with the community to hear their perspectives on planning and specific projects. This is an art and skill that must be more than check the box. Many of the meetings I have attended, few people show up to. The few meetings that have been well attended like Rogers Road, Amity Station and Porthole Alley have had outside facilitators or community leaders. How can we increase participation at some of the rest of our community engagement?

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

--For part of my career, I facilitated design/build meetings between developers, contractors, public and owners for a variety of public road and building projects--including the current Durham Bulls facility, I-40 into Raleigh, the beltline around Raleigh, Portland bridge project and the NSA building in Maryland. The question we started every project with was--what will make this an A+ project--considering much more than bringing the project in on time and within budget. --I am back at UNC auditing planning courses. I am currently in Complete, Safe and Equitable Streets. I have been in communication with the instructor to audit the Urban Design course in the Fall. In addition, I have been researching design standards and guidelines used in other cities and towns and looking for examples of site and building design that can inform my thinking. --Another part of my career, I traveled and worked across the US, Europe, Asia and Africa. I have had the opportunity to walk and work in urban environments and see what can be done in the way of building design, street design, and landscaping to create people friendly environments. --I have made a point of attending or listening to most council meetings, many planning meetings and the CCES meetings over the last 3 years. I feel that understanding the origins and connections between CDC decisions and other boards is important. In addition, I try to attend many of the public hearings for projects.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

See above. In addition, --I do not have education and training in design--except for that recently acquired as a commission member, self-taught or through auditing courses. I do have a very strong interest as a resident and listener to other residents in our community. --I have been a long-time resident of this town and have interest in its history, the definition and preservation of some of its character and in envisioning its future. Chapel Hill and its neighborhoods are special and unique. I am interested in finding ways to restore, enhance and celebrate some of these special areas. --As many would also say, unique features of this town such as its trees, neighborhoods, wooded areas in neighborhoods, and streams all contribute to some of the character of our town. I want to see the best of these features continued, protected and strengthened. This includes care and thought to landscaping, buffers that truly are large enough to protect neighborhoods, creating gather and outdoor spaces that is something more than an afterthought. For me, much of this has to do with great site design and collaboration with developers who truly want to support our town's vision and goals.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

over 55

Retired

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

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Public Records Statement

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I Agree

muldoon.elizabeth@gmail.com

Email Address

Elizabeth

First Name

K

Middle Initial

Muldoon

Last Name

201 S Elliott Road

Street Address

Apt 307

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (201) 663-5196

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

Chapel Hill Town Resident

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Which Board is your First Choice? *

Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Little or No Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I recently moved to Chapel Hill from Massachusetts. I love the community that has been created here and want to contribute. In MA, I had been a part of the Brookline Community Arts center which provided affordable access to arts education to children, teens, and adults. I took many classes there and it really created a sense of community and gave me the opportunity to cross paths with people I may not have met through my work or social circles. I'm hoping I will be able to contribute to the Chapel Hill community with my newcomer perspective.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I work in the financial services industry at Brown Brothers Harriman- I analyze data to drive insights for clients. I work to creatively present my ideas to senior leaders to drive growth. I have also held project management roles where I lead a team of stakeholders making sure the team meets deadlines and stay on track with our goals. I believe I can use these skills on the board as well. Personally, I am very interested in the arts and have many hobby's including painting, pastel work, pottery wheel throwing, weaving, and design. Although I did not decide to peruse a degree in the arts, I was selected to participate in the talented arts programs and portfolio classes in my high school days.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

I am very interested in the arts and my hobbies include painting, pastel work, pottery wheel throwing, and design. I've taken 7 years total of painting, drawing, and pastel weekly night classes. Most recently, I took weekly pottery classes at the Brookline Arts Center for a couple years. During my education prior to college, I was always in the selected arts programs and Portfolio classes.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

25-34

Data Analyst

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

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Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

nikreasor@yahoo.com

Email Address

Nikolaus

First Name

Reasor

Middle Initial

Last Name

104 Oak Tree Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Home: (919) 909-6130

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Planning Commission

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Town of Chapel Hill Employee

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Little or No Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I bring the experience of not only a recent graduate of UNC Chapel Hill in fields relevant to the board, but also a person who has lived, studied, worked, and lived in Chapel Hill for the past five years as a previous outsider. I also have indigenous background, and bring those unique perspectives to my work and life. My perspective also deepens when considering my connections within the community, as a younger, but also, management professional within the community. I have connections to the university, but also the town of Chapel Hill, which I bring with me to enhance my understanding of how the Town can better itself.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am extremely qualified for the field of planning, with education concerning planning, community interactions, environmental interactions, community design, site planning, historical planning, ect.. This education informs my passion and has developed my skill sets immensely to better assist those within the planning fields, making me a highly qualified individual. I am also of indigenous background, which further motivates me to understand how a community can better itself and better help the individuals within said community, as my eventual goal is to assist in the survival of my people. I also volunteer within the Indigenous Environmental Network, as well as within CURS to deepen my experience and understanding. Currently, I am also in communication with the Sami Arctic Environmental Unit, which hopes to advise and lead the Sami goals to Arctic nations and the UN.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

I have significant experience within the field of city planning, horticulture, and place making fields as these are all topics I have studied extensively within my education. These topics were central in my studies within the Department of City and Regional Planning, as well as my coursework for Global Environmental Interactions, where I studied sustainable growth and design extensively. I also wish to eventually attend UNC for City and Regional Design, where I would obtain a graduate level understanding of the topics and grow to have a career based on such things.

Question applies to Planning Commission

Do you have special interest, experience, or education/training in city planning, design field, environment, housing, transportation or related fields? If yes, please explain.

I have extensive experience within the city planning, design, environment, housing, transportation, and related fields due to the specialization of my education within the Department of City and Regional Planning at UNC. These fields also hold special interest for me as I intend to attend graduate level studies in the near future for city planning. My personal life also involves these fields, as I volunteer for CURS, Indigenous Environmental Network, and am in communication within the Sami Arctic Environmental Unit.

[Nikolaus Reasor CV Town Council .docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Other**Gender ***

 Male**If other, please describe:**

Sami (Indigenous) & Caucasian

Please select your age from the following list. *

 18-24Management and Head of
OperationsOccupation**Are you a caregiver for or identify with a disability?**

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Nikolaus E Reasor
823 Lake Artesia Lane, Fuquay-Varina, NC, 27526
(919-909-6130) -- Nikreasor@yahoo.com

Education

University of North Carolina at Chapel Hill, Chapel Hill, NC

BA in Anthropology, *Graduated with Honors and Distinction* **2020**
Minor in Medieval and Early Modern Studies, Urban Studies and Planning
GPA 3.53

Significant Experience Within:

Global Studies with Focus on Asia & Global Health & Environment; Sustainability Studies
Religious Studies

Relevant Coursework

ISC 392; Sustainability Strategies
Plan 246; Cities of the Past, Present, and Future
Plan 247; Solving Urban Problems
Plan 363; Personal Finance, Wealth Building, and Public Policy
Plan 651; Urban Form and Design of Cities
Enec 360; Agriculture and the Environment
Anth 294; Perspectives on Society and Culture

Korea University International Summer Campus

2019

Coursework in Sustainability, Korean Language

Publications

Honors Thesis

2020

- Reasor, Nikolaus. 2020. *Spit On My Grave: Silent Sam and the Communities It Created*. <https://doi.org/10.17615/cqp4-6108>

Academic Honors and Awards

Hogan Book Award	2017
Korea University ISC Faculty Scholarship	2019
Pearl L. Calvin Scholarship	2016-2020
Wade H. Atkinson Scholarship	2016-2020
Dean's List, University of North Carolina at Chapel Hill	2017-2018
Carolina Covenant Scholar	2016-2020
Carolina First Member	2016-2020
Dean's List at Korea University	2019
Honors Degree, University of North Carolina at Chapel Hill	2020
Graduation with Distinction, University of North Carolina at Chapel Hill	2020

University and Community Related Service

UNC Boxing Club: Competitive Team Captain, Asset Manager, Trainer **2016-2020**

- Taught the fundamentals of boxing five days a week to groups ranging from five to 250 students, with knowledge ranging from baseline to expert.
- Competed for the University of North Carolina against other university's competitive teams across the country while leading contact practices and ensuring rigor and stability of team. Within the NCBA oversight.

- Managed over \$5,000 in assets for the UNC Boxing Club and Team, ranging from facility maintenance to overall inventory stock and use oversight. Ensures the quality and availability of equipment for entire club.
- Committed over twenty hours a week in training, teaching, and outside work.
- Planned and executed workouts for club and ensured proper communication between individuals.
- Worked with marketing and recruitment team for club, seeing consistent increased membership rates continuously during time spent at club, increasing membership commitments from ~75 to ~250 consistent members, with over 500 individuals overall added to Listserv communications.

Professional Experience

Head of Operations; Management at Epilogue Bookstore

2020-Present

- Oversee FOH and BOH operations, including daily tasks, supervision of employees, etc.
- Worked on an executed heightened safety and health protocols during the Covid-19 pandemic to ensure both team and patron safety.
- Access multiple databases for data entry, training, and distribution of books.
- Ensure proper levels of communication between teams and upper management concerning issues of safety, sales, and outreach.
- Fulfilled and organized all online and unique orders for bookshop, contacting publishers and ensuring proper fulfillment of orders.
- Maintain documentation for subscriptions and customer orders.
- Be knowledgeable and execute all daily café running's and properly assign tasks including: organization, planning for goods, standardization of practices, proper good management, ect.

Associate Manager at Tama Café

2018

- Maintained proper values and standards to ensure success of store for summer months while maintain regular duties of barista, POS operator, and BOH
- Partnered with upper management to develop marketing solutions for customer outreach, community integration, advertising, and company image.

Volunteer Activities

Going Viral Symposium

2017

- Worked with a team organized the Gilling's School of public health on the production of the poem *Kyrie* by Ellen Bryant Voigt on both UNC campus and the Natural Sciences Museum in Raleigh for the Going Viral Symposium.
- Assisted in the organization, gathering, and dissemination of information for graduate level projects within the School of Public Health.

Honor Board & Founding Member of Delta Tau Delta Gamma Omega Chapter 2017-2018

- Part of lead committee that directed communication between the chapter honor court and the university administration.
- Ensured that bylaws of the organization are enforced and respected, while holding all 50+ members of the organization accountable for image, reputation, and legacy.
- Assisted in the brainstorming, writing, creation, and approval of constitution for the chapter at UNC.

Nikolaus E Reasor
823 Lake Artesia Lane, Fuquay-Varina, NC, 27526
(919-909-6130) -- Nikreasor@yahoo.com

Skills and Languages

- French (Conversational); Korean (Beginner)
- Experienced within Social Explorer Software and other Data Acquisition Tools, Tableau, AutoCAD, Sketchup, ArcGIS, r, and Python.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

johnweis32@comcast.net

Email Address

John

First Name

F

Middle Initial

Weis

Last Name

215 Mill Race Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 537-8343

Primary Phone

Mobile: (408) 515-5869

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

- Brochure
- Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

I am currently the Chair of the CDC

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have served as Planning Board Chair in Newbury, Massachusetts. I was Assistant Exec. Director of the San Jose CA. Redevelopment Agency and proposed and reviewed projects for economic and design appropriateness. I was a real estate developer in Boston and developed numerous housing and mixed use projects. I have taught City Planning and Urban Design at Boston University. I believe that it is imperative that new projects fit into the urban neighborhoods in which they are to be located and that Contextual Architecture is usually the best approach when considering new buildings. I have been on the CDC for 3 years and have been its Chair for 3 months. although we have accomplished much there is much more work to do. In particular we have asked Council to approve our request to perform design studies of the Downtown, major arterials coming in to Downtown. and review the Blue Hill District and the disappointing design of already built apartments. I also want to improve the Concept Plan review process and get more feedback from staff on our recommendations to Council

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

In addition to my experience above I served on the Planning Board for Newbury Mass.for 8 years and 4 years as its Chair

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

I have a Masters in City Planning and taught at Boston University as an adjunct for 20 years. I have built numerous projects that have received design awards, written the Boston University Master Plan, oversaw design review for projects at the San Jose Redevelopment Agency

Question applies to Planning Commission

Do you have special interest, experience, or education/training in city planning, design field, environment, housing, transportation or related fields? If yes, please explain.

[Weis_resume_2019.doc](#)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Male**If other, please describe:**

Please select your age from the following list. *

 over 55retired

Occupation

Are you a caregiver for or identify with a disability?

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

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I Agree *

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John F. Weis
215 Mill Race Drive
Chapel Hill N.C. 27514
johnweis32@comcast.net

PROFESSIONAL EXPERIENCE:

2011 to 2018 TOWN OF NEWBURY PLANNING BOARD

Member 2011 to 2013
 Chairman 2013 to 2018

2014 to 2018 MERRIMACK VALLEY PLANNING COMMISSION

Commissioner (representing Newbury)

**2008- 2010 ASSISTANT EXECUTIVE DIRECTOR- SAN JOSE
 REDEVELOPMENT AGENCY**

The San Jose Redevelopment Agency was the second largest Agency in California with a 5 year budget of over \$2 billion. The Agency along with all Redevelopment Agencies in California was dissolved by the Legislature in 2010 in order to address the State's \$16 billion budget shortfall. The Agency's Economic Development Program focused on retention and attraction of start up companies through its award winning Business Incubators as well as attraction of more established companies such as Cisco, Adobe and Ebay. San Jose's Biocenter and Environmental Incubator received the NBIA's Incubator Of The Year Awards. Since being created in 2004 Biocenter companies raised over \$800 million from Venture Capital and Angel Investors. Twenty percent of all Agency funds were directed to affordable housing and from 1994 to 2010 twelve thousand affordable units were built.

The Agency invested heavily in Green Technology companies through equipment reimbursement grants to emerging companies to locate R&D and early manufacturing functions. Over 3,000 Green Tech jobs were created.

**2001 - 2007 DEPUTY EXECUTIVE DIRECTOR - SAN JOSE
 REDEVELOPMENT AGENCY**

Direct oversight and responsibility for the Agency's Real Estate, Negotiations, Industrial and Neighborhood Development Divisions. Coordinated the Agency's acquisition and relocation programs for the award winning San Joe City Hall designed by Richard Meier.

Responsible for retention and attraction of businesses and companies to San Jose including the retention of Ebay and IDT and the attraction of Nanosolar a start up emerging technology company. Oversaw the completion of the Biotechnology Incubator.

The Deputy Executive worked with developers for the construction of housing, especially in Downtown San Jose and its Neighborhood Business Districts where 3800 and 4400 housing units respectively were built. One thousand high-rise units were built with Agency assistance through development agreements.

1994 - 2001

**DIRECTOR - NEIGHBORHOOD AND INDUSTRIAL DEVELOPMENT,
SAN JOSE REDEVELOPMENT AGENCY**

Created Implementation Plans and budgets for five Neighborhood Business Districts. Managed investment of \$30 million in development deals, façade grants, loans and streetscapes. Assisted developers for new housing to augment purchasing power within the business districts. Initiated the City's Strong Neighborhood Initiative (SNI) and funded 22 Neighborhood Master Plans for \$2,000,000. Created first time home-buyer and housing rehabilitation programs with Board approved budget. Over \$100,000,000 Agency funds were invested in these SNI areas.

Identified companies most likely to expand in Silicon Valley and implemented direct contact campaign based on City Council approved Plan. Over eleven million square feet of space was created in two redevelopment project areas and tax increment doubled. Developed infrastructure costing \$70 million to encourage new, and support existing, companies. Developed gap financing and loan programs for emerging software and hardware companies. Developed a \$50 million funding strategy for a new assessment district to construct utilities and roads for an additional 200 acres of industrial land.

1982 - 1994

VICE PRESIDENT - KENNEY DEVELOPMENT COMPANY, Boston

As Limited Partner or Project Manager was involved with the development of over \$100 million worth of housing and commercial projects most of which were historic renovations including several projects which received design awards. Served as consultant for over \$100 million worth of ongoing or planned development. Specific examples include:

Burroughs Wharf, Boston, Mass. - \$50 million residential project on Boston's waterfront, including the creation of two piers, underground parking and two separate "finger pier" buildings.

Navy Yard Plaza, Charlestown, Mass. - A 250,000 square foot, mixed use complex developed over a five-year period (1985-1990). Formerly vacant warehouses, all four buildings are listed as National Landmarks and one project, the Paris Building, received the Preservation Award from the Massachusetts Historic Commission for 1991.

Urban Renaissance Properties, Boston Mass. - A Limited Partner in the conversion of four former school buildings into 124 housing units. Dartmouth Square, located in Boston's South End received Builder Magazine Project Award for 1986. All four structures are Landmark Buildings.

Boston University - Plan preparation and public approvals for the development of 1,000 units of housing, a 500,000 square foot athletic complex and a 1,300 space underground parking facility on the former Commonwealth Armory.

1976-1982**CITY OF BOSTON: DIRECTOR - BOSTON NEIGHBORHOOD DEVELOPMENT AGENCY**

This agency oversaw the planning and budgeting for Boston's neighborhoods including economic development and housing loan funds using a variety of funding sources including the Block Grant and Capital Budget. The staff of over 200 employees included planners, designers, managers and administrators who also allocated grants to locally based Community Development Corporations. Annual budget varied between \$40 and \$60 million. (1980 dollars).

1974 - 1976**DIRECTOR OF COMMUNITY PLANNING - BOSTON REDEVELOPMENT AUTHORITY**

Responsible for planning staff working within Boston's neighborhoods. Worked with residents, community groups and existing City agencies in formulating overall Preservation and Development Plans for 18 Neighborhoods.

1972 – 1974**NEIGHBORHOOD PLANNER – BOSTON REDEVELOPMENT AUTHORITY**

Working with neighborhood associations, developed policy and investment strategies to address Institutional red-lining and disinvestment problems in Boston's Dorchester and Roxbury neighborhoods.

1970—1972**EDWARDS AND KELCEY Boston Mass. Planner**

Projects included the Master Plan for the City of Beverly, several Airport Master Plans and Environmental Impact Reports, including the first produced for the State of Maine (for a highway bypass in Harrington, Maine.)

1968—1970**WESTCHESTER COUNTY PLANNING COMMISSION Planner**

TEACHING: (SCHOOLS AND COURSES)

- 2010 to 2016** BOSTON UNIVERSITY
 -Development and the Planning Process
 -Urban Land Use Policy and Planning
- 1999 and 2009** SAN JOSE STATE UNIVERSITY
 -Small Business/Neighborhood Development
 -Urban Community Development
- 1982 - 1994** BOSTON UNIVERSITY -
 - Neighborhood Development
 - Urban Design
- 1992** UNIVERSITY OF RHODE ISLAND
 -Planning Theory

EDUCATION:

- 1965** BOSTON COLLEGE
 School of Management - B. S. Economics
- 1968** UNIVERSITY OF RHODE ISLAND
 Masters of Community Planning (M.C.P.)

PUBLICATIONS AND SPECIAL PROJECTS: (examples)

- BOSTON GLOBE *Silicon Valley a Different Business Climate,*
 Sept., 1996
- APA NEWSLETTER *Structuring Our Economic Recovery,* February 1992
- APA NEWSLETTER *Structuring Our Economic Recovery - Initiatives*
For Local Planners, November, 1991
- BOSTON BUSINESS JOURNAL *Housing Can Lead The Recovery,* December, 1991
- BOSTON UNIVERSITY *Master Plan for the Charles River Campus,* 1987
- CUED *Minority Participation in Entrepreneurial Development* - National
 Council for Urban Economic Development - 1984
- PUBLISHED REPORT *Dividing the Pie: Resource Allocation to Urban Neighborhoods* - U.S.
 Conference of Mayors - 1980
- Boston's Triple Deckers* 1979

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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I Agree

hinzworld@gmail.com

Email Address

Laurie Hinzman

First Name

White

Middle Initial

Last Name

309 Glenwood Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (919) 442-8654

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Design Commission: Eligible

Question applies to Cultural Arts Commission

Select a Seat Category for the Cultural Arts Commission *

Chapel Hill Town Resident

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Which Board is your First Choice? *

Cultural Arts Commission

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Peoples Academy

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I served on a neighborhood committee for the town of South Orange, NJ I have a professional background in Design and Design leadership. Strong interest in Art, Dance, and other Cultural Activities

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Interest in the Chapel Hill community and its future. Management experience.

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

I do not have training in architecture or building. I have a strong interest and passion.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Caucasian/Non-Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

over 55

Artist, Real Estate Broker

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

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I Agree *

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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 21., **File #:** [22-0517], **Version:** 1

Meeting Date: 6/8/2022

Appointments to the Community Policing Advisory Committee.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Community Policing Advisory Committee for up to six (6) seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council
FROM: Asst. Chief Jabe Hunter, Staff Liaison
SUBJECT: Recommendation to fill vacancy(s)
DATE: May 10, 2022

RECOMMENDATION: The Community Policing Advisory Committee met on Tuesday, May 10, 2022 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Devin Ceartas, Appointment, Town Resident

SPECIAL REQUEST(s): No Comment

BACKGROUND: The Community Policing Advisory Committee currently has for 3 vacancies due to a couple resignations and another from a member who moved out of state. The Community Policing Advisory Committee has recommended the appointment of 1 member.

Note: Communications and Public Affairs notes that the Community Policing Advisory Committee reviewed the following applications: Betsy Burke, Devin Ceartas, Maria Chapa, Andrew Gary, Simon Palmore, Tim Pressley, Andrea Stamm, and Megan Winget. One (1) additional application was received between May 10, 2022 and June 2, 2022 for the Community Policing Advisory Committee: Charles Fiore.

BALLOT

COMMUNITY POLICING ADVISORY COMMITTEE

JUNE 8, 2022

Total Membership: 9 (Nine Town Residents)
Current Membership: 6 (2 Female, 3 Male, 1 Prefer not to say; 2 African American, 1 American Indian/Alaskan Native Aleutian, 1 Hispanic, 1 Caucasian/Non-Hispanic, 1 Other; [2] 18-24, [3] 35-54; [1] over 55)
Current Vacancies: 3 (Town Resident)
Upcoming Vacancies: 3 (Town Resident)
Number of Applicants: 9

**Town Resident
Please vote for up to six (6) applicants.**

_____ Betsy Burke	_____ Simon Palmore (Incumbent)
_____ Devin M. Ceartas	_____ Tim Pressley (Incumbent)
_____ Maria Chapa	_____ Andrea Stamm
_____ Charles Fiore	_____ Megan Winget
_____ Andrew Gary	
_____ Other; please list _____	

Profile

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Public Records Statement

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I Agree

betsyburke@gmail.com

Email Address

Betsy

First Name

E

Middle Initial

Burke

Last Name

1821 Rolling Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (703) 798-6125

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Question applies to Justice in Action Committee

Select a Seat Category for the Justice in Action Committee *

Chapel Hill or Carrboro planning jurisdiction

Which Board is your First Choice? *

Justice in Action Committee

How did you find out about this opportunity? (select all that apply)

Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I bring an interest in: equality and justice, examination of racial, social, and economic issues, and strengthening our communities through diversity, transparency, and collaboration. I have recently returned to North Carolina with my Yankee husband having attended UNC-CH and growing up in rural Chatham County. I am very aware and bothered by the disparity challenges here, especially transitioning after 30+ years as an attorney with the U.S. Justice Department and residing in a D.C. suburb (Arlington, Va) with similar challenges. Having worked closely with various US federal and state law enforcement, as well foreign police, I can provide professional understanding of issues and evidentiary standings associated with Community Policing. In addition to my background as a lawyer, I offer decades of involvement in the faith community (United Methodist Church) and K-12 public schools (as a volunteer in the classroom, as well as volunteer sports coach, and mother of two sons). I have much extended family in N.C., beyond Orange County. Since settling in N.C., I have volunteering with OCDP in County-to-County and Election activities aimed at fairness in voting, including monitoring 2020 absentee ballots for NCDP, curing ballots in eastern N.C., nonpartisan voter registration. I am presently a co-chair for the OCDP Coker Hills Precinct. I am also active in several anti-corruption and good governance forums.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

- 35 years as lawyer with the U.S. Justice Department, almost 30 in the Office of International Affairs, Criminal Affairs, on wide-range of work: combatting transnational crime and terrorism, including apprehending fugitives abroad and gathering evidence overseas for U.S. investigations (with requisite U.S. Constitutional safeguards); formulating international law enforcement and justice policy; handling national security, emerging issues, like cyber, in the interagency; - Volunteering with Orange County Democratic Party on campaigning and other issues which the Hatch Act prohibited while I was a DOJ attorney, including working on NCDP voter protection through 2020 monitoring absentee ballots and curing ballots; also worked for the Board of Election on Election Day in order to partake of training and get a good understanding of NC voting laws and process; - Working on anti-corruption and asset recovery project as legal consultant for the Center of Advance Defense Studies (C4ADS), Washington, D.C.; - Active in Coker Hills as Board Member for Lake Forest Association and also as a Coker Hills Co-Chair for the OCDP; active in the University United Methodist Church; I can forward a CV separately if requested, but I am energetic, passionate about justice issues and my community, and a new junkie. I also enjoy people and I have strong writing and organization skills.

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

over 55

Attorney

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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I Agree *

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Profile

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Public Records Statement

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I Agree

devin@nacredata.com

Email Address

Devin M.

First Name

Ceartas

Middle Initial

Last Name

455 Fair Oaks Cir

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 360-8787

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

mentioned during online council mtg

Interests & Experiences**What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?**

I am an abolitionist; I believe in building the structures needed to eliminate policing as it is currently practiced and transition to a community-based needs and security system.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I am a community organizer and have been actively involved in building community safety programs for many years.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Male**If other, please describe:**

Please select your age from the following list. * over 55

Community Organizer and
Software Architect

Occupation

Are you a caregiver for or identify with a disability?

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

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I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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I Agree

mjchapa80@gmail.com

Email Address

Maria Jose

First Name

J

Middle Initial

Chapa

Last Name

213 Schultz Street

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (407) 496-1009

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Justice in Action Committee

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As someone who has interacted with different levels of government as a constituent, activist, and community advocate for years, I would like to be part of the decision making process and contribute to the place I call home, even if its for a short period of time. In Florida, I was a alumni of the Tampa Mayor's Neighborhood University and learned about the different departments and their functions in the city. Although Chapel Hill's city charter is different. I know I am capable to learn quickly and be a great addition to council.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

With over 10 years of unpaid and paid experience in community organizing, electoral, advocacy work, volunteer training, leadership development, coalition building, and team management, I know I am capable of fulfilling the role of city council member. As a community leader in voter education, political advocacy, and a background in labor organizing and grassroots community organizing in a predominantly BIPOC space, I believe my unique combination of personal and professional experience makes me the ideal candidate for this role. In my former role as Florida Director of Civic Engagement and Organizing with Hispanic Federation; a nonprofit national organization, I've led a successful statewide civic engagement program that included a voter registration campaign that garnered 25,000 voter registrations led by a team of 80 canvassers, a staff of two regional field coordinators, and a campaign manager. I worked on 2020 Census efforts and worked with the Orange County Census Count committee to encourage HTC(hard to count) populations in the Azalea Neighborhood to self report. Our team contacted 12,000 homes and there was a reported increase of 39% due to our efforts. During the 2020 election cycle, our team mobilized 1.5 million Latinos to the polls through our GOTV (get out the vote) efforts.

[MJ_Resume_08_16_2021_2_.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

35-54

Community Advocate _____

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

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MARIA JOSE CHAPA

407.496.1009 mjchapa80@gmail.com

www.linkedin.com/in/maria-jose-chapa

EXPERIENCE

Florida Director of Civic Engagement and Organizing Orlando FL, June 2019- August 2021

Hispanic Federation

- Administrative role included recruiting, training staff, payroll, supervising, SOP's
- Supervised Campaign Manager, Regional Organizers, 80+ canvass staff
- Donor relations and grant writing
- \$1.2 Million in grant funding for Civic Engagement Department
- Cultivate and maintain coalition partner relations
- Bridge builder between HF and community members, elected officials, funders
- 501c3 advocacy legislative work and issue campaigns at the local, state and federal levels.
- Over 25,000 voter registrations statewide
- 501c3 GOTV activities that mobilize 1.5 Million Latinx/Hispanic voters in the 2020 election cycle
- Virtual Puerto Rico Day in Tallahassee 2021, secured 25 elected officials, 3,600 total virtual participants
- VAN Partner Administrator Certification June 3,2021
- Proficient in MS Office, MS Teams, Google Suite, Hustle, Zoom, Survey Monkey

Field Coordinator Tampa FL, February 2019- April 2019

Orlando Gudes for District 5 campaign

- NGP VAN Administrator
- Volunteer Outreach, training and field operations
- Closed a 200 vote gap and led a successful field operation, winning the District 5 race by 157 votes

Labor Organizer West Central FL, August 2013 - December 2018

SEIU Florida Public Services Union

- Represented membership and staffed the union for the west coast region comprising of Hillsborough and Pinellas Counties
- Recruited new dues-paying members
- Increased membership and political contributions to political fund 50%
- Built brand recognition in the Tampa Bay Area through public and government relations
- Developed, trained, and managed new leadership within the membership
- Conducted worksite visits at Pinellas County Schools, City of Saint Petersburg, Hillsborough Community College
- Managed and trained volunteer operations during electoral cycles including the mayoral, city council, state, and federal elections.
- Led member meetings, negotiated contracts, advocated during conflict resolution with human resources
- Served as point of contact for Spanish-speaking membership in the west coast region

Lead Community Organizer St. Petersburg, FL, June 2012 - January 2016*The People's Budget Review (PBR) SEIU Florida Public Services Union*

- Promoted from volunteer to paid lead community organizer
- Organized a collaboration between labor organization and community stakeholders including local businesses, the arts, environmental orgs, neighborhood assoc.
- Increased civic participation in the city's budget process
- Coordinated the efforts to educate city residents on the city's budget process
- Led meetings and workshops, lobbied city council, mobilized attendance at council meetings
- Managed canvasses, phone banks and community surveys
- Increased the millage rate saving city jobs and vital services through coalition efforts

Field Organizer Hillsborough/Pinellas County, FL, October 2012-Nov 2012*Florida New Majority- Florida Breakthrough Campaign*

- Muslim Community Liaison for Get Out The Vote (GOTV) efforts working with Council of American Islamic Relations (CAIR), United Voices, and other Muslim organizations
- Recruited and trained volunteers for field canvassing, phone banking, and data entry
- Media and radio promotions for "Souls to the Polls" electoral event

INTERNATIONAL RESIDENCY

- Mexicali, Baja California; Mexico
- Okinawa, Japan,
- Colombo, Sri Lanka
- Dubai, Sharjah, Ajman, Falaj Al Mu'Allah; United Arab Emirates

EDUCATION

- **B.A. International Studies** USF Tampa, FL, August 2012
Certificate of Academic Excellence 1999 & 2000 Student Support Services
- **A.A.** from St. Petersburg Community College in Clearwater, FL, August 2010

COMMUNITY ENGAGEMENT

- **New Leaders Council (NLC)** *January 2019- June 2019*
Fellowship
- **Welcoming City Resolution Saint Petersburg** *December 2016-May 2017*
Lead Community Organizer
- **Howard Blake High School Gun Safety Walk Out** *February 23, 2018*
Event Coordinator and Co-Organizer

ORGANIZATIONS-AFFILIATIONS

Hillsborough Democratic Progressive Caucus
 Hillsborough Democratic Party
 New Leadership Council 2019 class
 Florida Immigration Coalition (FLIC)
 Community Tampa Bay

Organize Florida
 Florida Rights Restoration Coalition(FRRC)
 Alianza for Progress
 Women's March Pinellas/Hillsborough
 Dream Defenders

Sierra Club
State Voices Florida Table
League of Women Voters

Moms Demand Action
IDEAS for US
ACLU Florida

Profile

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Public Records Statement

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I Agree

lcfiore1@gmail.com

Email Address

Charles

First Name

Fiore

Last Name

Middle Initial

534 Caswell Road

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (773) 263-5904

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I assist a charitable organization with hosting an annual free breakfast for First Responders, including police, but also EMS, fire, etc. I have seen how valuable it is when personnel can have casual, focused conversations and share information with one another and with the community. I count some members of law enforcement among my friends, and I have held a lifelong interest in police work. That said, I also closely follow and try to understand--both intellectually and emotionally--the community concerns around policing, and wonder what additional "soft" tools might be used to help communities in crises. For the Community Policing Advisory Committee, I would hope to provide a measured voice who could examine and broker all sides of an issue in good faith.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have recently been working to bring greater safety to our neighborhood in light of the Estes Drive Connectivity Project. I have met with Councilperson Searing and town staff. I have addressed Town Council and received positive feedback on my approach. Wesley McMahon, a member of the Parks, Greenways, and Recreation Committee, encouraged me to apply for a commission, as I am passionate about civic involvement and maintaining a safe, livable Chapel Hill. I am a multi-dimensional, professional communicator. I've lived in the Triangle for more twelve years and in Chapel Hill for six. I am a working father with two young children, so my focus includes families, safe communities and streets, and building relationships with our first responders, including police. While I don't know the family status of current CPAC members, I believe my age, family status, and professional background would add a fresh perspective to the committee.

[LCFiore.CV.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

35-54

Freelance Editor, Writer

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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CHARLES FIORE

534 Caswell Road | Chapel Hill, North Carolina 27514-2704
 Phone 773.263.5904 | Email LCFIORE1@gmail.com | www.linkedin/charlesfiore

EDUCATION
2018**DUKE UNIVERSITY****Durham, North Carolina**

- Certificate of Non-Profit Management

Sep 2003 –
Jun 2006**NORTHWESTERN UNIVERSITY****Chicago, Illinois**

- Master of Arts, Creative Writing—Recipient of Distinguished Thesis Award

Aug 1996 –
May 2000**THE UNIVERSITY OF THE SOUTH****Sewanee, Tennessee**

- Bachelor of Arts, Member of the Order of the Gownsmen (academic honor society)
- Recipient of 1999 Tennessee Williams Scholarship for excellence in writing

PUBLICATIONS**Authored Books**

- Coyote Loop. Adelaide Books (2021).
- The Last Great American Magic. Can of Corn Media (2016).
- Green Gospel: A Novel. Livingston Press (2011).
- The Bill James Gold Mine. ACTA Sports (2010). Ghostwriter.
- The Bill James Handbook. ACTA Sports (2008-2010). Contributor.

Authored Short Fiction

- “In Limbo.” LitBop. (Summer, 2021).
- “In Limbo.” The Ottawa Object. (Summer, 2015).
- “The Trench Garden.” Ploughshares. (Winter, 2014).
Short story selected for Ploughshares’ Solo series and Audible.com audio edition.
- “Skin & Ink.” Tattoos. Main Street Rag (Fall, 2012).
Short story selected to be included in themed anthology edited by Alice Osborn.
- “Clean Water.” New South. Georgia State University (Fall, 2012).
- “The Gravity of Home.” storySouth. University of North Carolina at Greensboro (Fall, 2012).
- “No Wake Zone.” Sudden Flash Youth: 65 Short-Short Stories. Persea Books (Fall, 2011).
Short story selected to be included in anthology with stories by Ron Carlson, Dave Eggers, and more.
- “Bangalore.” Michigan Quarterly Review. The University of Michigan (Summer, 2010).
- “Cumberland Posey.” Wascana Review. The University of Regina (Summer, 2008).
- “The Incredible Tale of Super Big Hand.” MAKE Literary Magazine (Summer, 2006).
- “Spring Came Early.” Folio: A Literary Journal. American University (Winter, 2006).
- “No Wake Zone.” Venus (Fall, 2005).
- “Bluster and Balderdash.” River Oak Review. Elmhurst College (Fall, 2004).
- “Gepetta.” The Mountain Goat. The University of the South (Spring, 2000).
- “Lipstick and Greasepaint.” The Seven Hills Review (Winter, 1996).
- “Higgins Island.” OCTELA Anthology (1992).

Authored Nonfiction

- “Pete Rose Way.” The Love of Baseball. McFarland & Co. (Fall, 2017).
Invited to contribute essay to anthology edited by Christine Arvidson and Diana Nelson Jones.
- “Death: A Father’s Lesson about Being a Warrior.” The Good Men Project. (Fall, 2016).
- “Track 5.” MAKE Literary Magazine. (Fall, 2010).
- “Commuters by Emily Gray Tedrowe.” TriQuarterly Review. (Fall, 2010).
- “Who are the All-Stars of Baseball Literature?” The Hardball Times. (Summer, 2010)

Authored Plays

- The Pit. Staged reading produced by the Winston-Salem Writers, Winston-Salem, NC (2012).
- Duckpins. Produced by The University of the South, Sewanee, TN (2003).

(continued on page 2)

AWARDS AND HONORS (AUTHOR)

- Honorable Mention, 2021 Book of the Year, Chicago Writers Association ([Coyote Loop](#))
- Winner, 2017 Novel of the Year, Underground Book Reviews ([The Last Great American Magic](#))
- Gold Winner, 2017 Readers' Favorite Book Awards: Tall Tales ([The Last Great American Magic](#))
- Silver Winner, 2017 IBPA Benjamin Franklin Awards: Historical Fiction ([The Last Great American Magic](#))
- Finalist, 2017 CIPA EVVY Awards: Historical Fiction ([The Last Great American Magic](#))
- Short-Listed, 2016 Moon City Short Fiction Award ([A Shot of Light into which We Disappear](#) (*unpublished*))
- Long-Listed, 2013 Crook's Corner Book Prize ([Green Gospel](#)).
- First Runner-Up, 2012 Eric Hoffer Book Awards: General Fiction ([Green Gospel](#)).
- Finalist, 2012 First Horizon Award ([Green Gospel](#)).
- First Place, 2012 Ten-Minute Play Contest sponsored by The Winston-Salem Writers ([The Pit](#)).
- Finalist, 2011 Balcones Fiction Prize ([Green Gospel](#)).
- Honorable mention, [The Common Review's](#) Short Story Prize 2010 ("Bangalore").
- Semi-Finalist, 2008 Faulkner-Wisdom Creative Writing Competition ([Green Gospel](#)).
- Finalist (Award in the Novel), 2007 DANA Awards ([Green Gospel](#)).
- Nominated, [Best New American Voices Anthology 2006](#)
- Finalist, [Glimmer Train's](#) Very Short Fiction Award Contest 2005 ("No Wake Zone").
- Winner, Chicago Public Radio's Stories on Stage Short Story Competition 2005 ("Bluster and Balderdash").
- Finalist, 2005 Yahoo! Fantasy Baseball Front Office Promotion Essay.
- Winner, OCTELA Short Story Award, 1992.
- Profiled in [Southern Literary Review](#), [The Practice of Creativity](#), IBPA "The Cream of the Crop," [Continuum Magazine](#) (2005, 2014), BridgeOnline, and on Northwestern and UW-Madison websites

EDITOR
Edited Books

- [Song of the Dove](#) by Kay Murdy (ACTA Publications 2013).
- [Young in the Spirit](#) by Mary K. Doyle (Mary K. Doyle 2013).
- [The Angelic Devotion Handbook](#) by Luis Valverde (ACTA Publications 2012).
- [Great American Catholic Eulogies](#) by Carol DeChant (ACTA Publications 2011).
- [And God Said, "Let's Eat!"](#) by Gary Graf (ACTA Publications 2010).
- [Holding God in My Hand](#) by Paul Wilkes (Liguori Publications 2010).
- [A Planet of Grace](#) by Bernadette McCarver Snyder (ACTA Publications 2009).
- [Grieving with Mary](#) by Mary K. Doyle (ACTA Publications 2009).
- [Walkoffs, Last Licks, and Final Outs](#) by Bill Chuck and Jim Kaplan (ACTA Sports 2008).
- [Seven Principles of Sainthood](#) by Mary K. Doyle (ACTA Publications 2008).
- [Portraits of Grace](#) by James Stephen Behrens (ACTA Publications 2007).
- [A Recipe for Hope](#) by Karen Skalitzky (ACTA Publications 2006).

AWARDS AND HONORS (EDITOR)

- Third Place (Novel), 2014 CPA Book Awards (Editor, [Song of the Dove](#)).
- Honorable Mention (Books by Small Publisher), 2014 CPA Book Awards (Editor, [Young in the Spirit](#)).
- Winner (Production and Design), 2010 CPA Book Awards (Editor, [A Planet of Grace](#)).
- Winner (Production and Design), 2008 CPA Book Awards (Editor, [Portraits of Grace](#)).
- Merit Award (Culture), 2007 MIPA Midwest Book Awards (Editor, [A Recipe for Hope](#)).

PROFESSIONAL EXPERIENCE

- Guest lecturer, Greater Greensboro Writing Group, Greensboro, NC. "The Need for Speed" (2022).
- Faculty, North Carolina Writers' Network Fall Conference, Durham, NC. "The Art of Work" (2021).
- Guest lecturer, The Monteagle Assembly, Monteagle, TN. "War Now, War Forever" (2021).
- Guest lecturer, The Monteagle Assembly, Monteagle, TN. "One Little Span of Earth" (2021).
- Guest lecturer, Durham-Orange Counties NCWN Region, Chapel Hill, NC. "The Art of Work" (2021).
- Panelist, Quail Ridge Books, Raleigh, NC. "Social Media for Writers" (2018).
- Guest lecturer, Durham-Orange Counties NCWN Region, Chapel Hill, NC. "Self-Publishing" (2018).
- Moderator, Illogicon 2018, Cary, NC. "Making Magic Real" (2018).
- Featured Author, Wonderland Book Club, Raleigh, NC. "The Last Great American Magic" (2017).
- Guest lecturer, Creative Nonfiction Group, Durham, NC. "Social Media for Writers" (2017).
- Guest lecturer, NCWN Pre-Conference Tailgate, Raleigh, NC. "Flash Fiction" (2016).
- Guest lecturer, Pittsboro Writers' Morning Out, Pittsboro, NC. "Social Media for Writers" (2016).
- Faculty, North Carolina Writers' Network Fall Conference, Asheville, NC. "Web Tools for Writers" (2015).
- Guest lecturer, North Carolina School of Science & Math, Durham, NC. "Communications Ethics" (2015).

(continued on page 3)

PROFESSIONAL EXPERIENCE (CONTINUED)

- Moderator, BookMarks Festival of Books and Authors. Winston-Salem, NC. "Southern Identity" (2014).
- Featured Author, Wonderland Book Club, Raleigh, NC. "Green Gospel" (2014).
- Guest lecturer, Indian Hill High School. Cincinnati, OH. "Writing Workshop/Career Conversation" (2014).
- Featured Author, BookMarks 2nd Annual Book Club Movable Feast. Winston-Salem, NC (2014).
- Moderator, The Hinge Literary Center Writing Day, Chapel Hill, NC. "Fiction Panel" (2013).
- Featured Author/Presenter, Blue Ridge Book Fest. Flat Rock, NC. "The Musicality of Language" (2013).
- Faculty, North Carolina Writers' Network Spring Conference. Greensboro, NC. "Promotional Strategies for the Cash-Strapped Author" (2012).
- Moderator, Gathering of Emerging Literary Leaders, Greensboro, NC. "New Media" (2012).
- Guest lecturer, Indian Hill High School. Cincinnati, OH. "Flash Fiction for Teens" (2012).
- Faculty, University of Phoenix, Fayetteville, NC. "Essentials of College Writing" (2011).
- Guest lecturer, Northwestern University. Chicago, IL. "Revision" (2005).
- Poetry workshop leader, Chicago, IL. "Independent Study with DePaul University Students" (2003).
- Adjunct faculty, Riverside Children's Theatre. "Improvisation" (2002).

RELATED PROFESSIONAL EXPERIENCE

- | | | |
|----------------------------|---|------------------------------------|
| 2011 – Present | THE NORTH CAROLINA WRITERS' NETWORK | Chapel Hill, North Carolina |
| | The state's oldest and largest literary arts services organization devoted to writers at all stages of development | |
| | <i>Communications Director</i> | |
| | <ul style="list-style-type: none"> - Graphically designed, created, and edited online and print media marketing pieces, including web pages, blogs, social media (Twitter, Facebook, Instagram), publications, posters, fliers, advertisements, videos, etc. - Graphically designed, coordinated/edited/wrote stories for bi-annual 50+-page newsletter <i>Writers' Network News</i> (2,000 print subscribers, 4,200 e-subscribers) - Managed and engaged daily on organizational social media platforms, specifically Twitter, Facebook, and Instagram, as well as SoundCloud and YouTube - Planned, developed, and implemented state-wide and national promotional programs to publicize and promote three annual conferences, six literary award competitions, the North Carolina Literary Hall of Fame, and 30 percent growth of membership base - Assisted in the planning and coordination of fundraising activities; three annual conferences, special events; and annual series of Online Classes; worked with faculty, Board of Trustees, and volunteers as appropriate - Assisted with advertising, sponsorship, and event contracts; ordered supplies and audio/visual equipment; graphically designed/created and ordered event marketing signage - Answered requests for information and interviews and managed media relations concerning NCWN programs from local and national sources - Developed and maintained relationships with state and national media contacts, securing repeated features on NPR affiliates (WFAE, WFDD, WHQR, WUNC) and WCHL, WUAG, UNC-TV and dailies across the state - Maintained editorial calendar; developed and maintained style guide ensuring brand integrity, editorial style, and a single voice for all internal and external communication - Managed, maintained, and developed content for organizational website; created and re-designed web pages; edited website copy for Search Engine Optimization | |
| Jan 2010 – Present | EDITOR / PROOFREADER (Freelance) | Chapel Hill, North Carolina |
| | - Edited, developed, and proofread manuscripts for clients nationwide including sports, religion, and activism | |
| Oct 2005 – Dec 2009 | ACTA PUBLICATIONS | Chicago, Illinois |
| | Publisher of books, e-products, and a/v resources for community organizing, spirituality, and sports markets | |
| | <i>Editor</i> | |
| | <ul style="list-style-type: none"> - Edited 4-6 titles annually. Managed manuscript preparation (artwork, permissions), authors and editorial staff, cover and production design, through publication - Managed production of <u>The Bill James Gold Mine 2009</u>, <u>The Hardball Times Baseball Annual</u> (2006-2010), <u>The Hardball Times Season Preview</u> (2008-2009), and John Dewan's Stat of the Week™ coordinating author, ghostwriters, freelance designers, and off-site printer under tight deadlines - Editorial duties include participation in long-range planning meetings and new product development; Chair, ACTA Sports Acquisitions Committee; participation in cover design meetings to enhance communication between editorial and marketing departments and ensure consistency in ACTA brand - Implemented print-on-demand availability for backlist titles generating \$5K annually in additional sales | |
| | <i>Public Relations Director</i> | |
| | <ul style="list-style-type: none"> - Developed and implemented national marketing, public relations, and web campaigns and drafted book jackets, press releases, tip sheets, and talking points for 20+ titles annually; developed and maintained relationships with broad range of media including Web 2.0 and traditional outlets - Implemented aggressive online marketing plan and increased website traffic 105%; managed and developed websites for both imprints to keep pace with changing market including RSS feeds, Google Preview software, social networking, and electronic products | |

(continued on page 4)

RELATED PROFESSIONAL EXPERIENCE (CONTINUED)

- 2002 – 2005** **CHICAGO BOARD OPTIONS EXCHANGE (CBOE)** **Chicago, Illinois**
 World's first and largest options exchange and only Hybrid™ trading floor
Executive Assistant
- Coordinated 2005 International Options Markets Association Conference under \$120K budget; selected sites and managed complex logistics; managed off-site event planning team; authored literature for internal and external public relations initiatives; assisted with event contracts, booking event locations and arranging food and beverage menus; increased attendance by 55 percent

NON-CREDIT CONTINUING EDUCATION

- "Grant Writing 101," Duke University, Durham, NC (2014).
- Writers Institute, The University of Wisconsin-Madison (2007).
- "A Weekend with Your Novel," The University of Wisconsin-Madison (2006).
- Tin House Summer Writers Workshop with Charles D'Ambrosio, Portland, OR (2005).

PROFESSIONAL ACTIVITIES
Associate Fiction Editor

- MAKE Literary Magazine (2007-2016).
- Another Chicago Magazine (2007).

Board Member

- At Length Magazine (2012-present).

Host/Producer

- The A440 Podcast: www.a440pod.com (2018-present)

OTHER DATA

- Proficient in MS/Mac OS, MS Office Suite, HTML 5/CSS, Adobe, Illustrator, InDesign, Photoshop, Audacity, Movie Maker, PageMaker, Joomla, OpenX, podcasting, social media. Type 100 WPM.
- Proficient in Chicago and AMA manuals of style.
- Running enthusiast and member, Carolina Godiva Track Club.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

andrewah@ad.unc.edu

Email Address

Andrew

First Name

Gary

Middle Initial
Last Name

100 Raleigh Street

Street Address

213 Spencer

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (504) 481-6164

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

None Selected

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

The main perspective I will bring to the council is skepticism. Contrary to popular belief, being a skeptic doesn't mean viewing everything with suspicion. Skepticism is a way of thinking. Skepticism means that you challenge assumptions and authority because that leads to innovation and improvement. Skepticism, as I practice it, centers around five steps. First, ask for evidence. People make claims every day, and many people do not question what they are being told. I ask for evidence. I want to know where people are getting their information and what assumptions they are making. Second, doubt. I always ask myself who stands to gain from me agreeing with this idea. I always ask why you are espousing this idea. When something feels wrong or looks suspicious, I trust myself. Third, play the devil's advocate. Argue for the opposing side so that you can better understand their position as well as see the flaws in your own. This helps me to remember that the opposition is not my enemy; they are somebody with a different viewpoint. Fourth, do extensive research. I will not support a position until I fully understand the issue. I want to ensure that I am supporting the best possible policy. Fifth, be aware of bias. Everyone is biased. So, I must expend time researching to determine everyone's bias. This doesn't mean that a source isn't credible; it means that I read a source understanding that it is trying to advance a certain agenda.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

In the summer of 2020, I was hired by Dr. Peter Scharf, who is a nationally recognized expert in police use of force, to be his assistant for the legal cases in which he was contracted as an expert witness. As a Forensic Case Investigator, my role is to perform a multitude of tasks which include researching legal issues, investigating the facts of a case, conducting research on background materials for cases, compiling data and performing an analysis of that data, and most importantly, serving as an advisor to Dr. Scharf and helping to craft his legal opinions. I have worked with Dr. Scharf on several cases, the most noteworthy of which is the case of Alton Sterling. Alton Sterling was a black man who was shot six times in the back by Officers of the Baton Rouge Police Department. Dr. Scharf and I have worked on this case since the summer of 2020, and it concluded earlier this year with the City of Baton Rouge agreeing to a 5-million-dollar settlement. I have learned to manage extremely hard deadlines that often are set at the last minute and are extremely short. I have spent many long nights working on just this case, and it is far from over. I also have some experience in the field of disaster management. My qualifications for emergency management include the completion of over 100 FEMA Emergency Management Institute courses, all of which are directly applicable to school safety. My experience includes serving on the Safety Committee for my high school, representing the voice of the student body.

[AndrewGary_Resume.docx](#)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

18-24

Student

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

ANDREW GARY

2837 Carondelet St. New Orleans, LA 70115 / C: 504.481.6164 / agary2020stm@gmail.com

EDUCATION

University of North Carolina, Chapel Hill 3.675 GPA Aug 2020 to present

- Executive Branch of Student Government
 - Deputy Director of Town and Local Relations
- Accepted, Service & Leadership Residential Learning Program
- Community Service Scholar
- Participant in the Buckley Public Service Scholars Program

St. Martin's Episcopal High School 4.03 Weighted GPA Aug 2016 - May 2020

- National Honor Society Member and Scholarship Semi-Finalist
- Cum Laude Society Member
- Senior Class Vice President

YOUTH ADVOCACY TEAM, NPC (YAT) July 2019 - Present
Founder and President, Registered Agent (July 2019-President)

Founded Youth Advocacy Team, a 501(c)4 corporation, to provide an avenue for youth to advocate for themselves on issues of importance to students. Established in 2019 with 9 members and currently at 108. As Founder and President, responsible for strategic operations and ensuring YAT's long-term success. YAT members generate ideas and projects under its mission. The staff exists to advocate on behalf of the members and the officers exist to foster strategic vision.

- Worked with legal counsel and accountant to successfully file Articles of Incorporation and establish 501c4 status.
- Working with the Executive Vice President and Executive Director, drafted and implemented the National Expansion Plan detailing staffing structure, the process for admittance of new states, and drafting all internal policies and Bylaws and governing documents.
- Representing the Criminal Justice and Mental Health Committees of YAT, worked with Rep. Ted James to submit a Resolution in the 2020 Louisiana Legislative session that requests the Department of Public Safety to study the use of solitary confinement in Louisiana state penitentiaries. HR 64 was passed 90-0.
- Provide guidance and support for implementation of Committee projects ranging from education, criminal justice, environment, mental health, drug abuse, homelessness and local and state level policy advocacy.
- Partnered with New Orleans Police Department to host a series of "Humanize the Badge" forums between students and police officers moderated by one student, one officer, and a neutral third party.

PEAK INSIGHTS, LLC
 2020 - present (Part-time) **Director of Information Technology**

July

Peak Insights, LLC, owned and directed by nationally recognized criminologist Dr. Peter Scharf, trains governmental employees in implicit and explicit racial bias. The Director of Information Technology role includes:

- Assist with coordination of training sessions
- Provide feedback on training sessions to Dr. Scharf and team
- Prepare and set up AV presentations
- Conduct research for the team

PETER SCHARF CONSULTANCY - EXPERT WITNESS
present (Part-time) **Forensic Case Investigator**

Aug 2020 -

Participated in a nationally visible case involving the fatal shooting of Alton Sterling in Baton Rouge, LA. Duties included:

- Collected information
- Drafted opinions based on information collected
- Created legal review forensic graphics

AMERICAN LEGION BOYS NATION
Chief Clerk of the Senate

July 2019

Selected as one of two Senators from Louisiana Boys State to represent the state at Boys Nation. Appointed to the position of Chief Clerk of the Senate responsible for receiving bills submitted by other Senators and referring the bills to the appropriate committee. Responsible for determining the order in which bills passed by Committee would be debated on the Senate floor. Other achievements and responsibilities included:

- Campaign advisor for a Presidential candidate.
- Filed a Resolution to recognize the Armenian genocide and lobbied it successfully through Committee and the Senate Floor where it passed 78-17.

LOUISIANA BOYS STATE
President of the Senate

June 2019

Nominated by the faculty of St. Martin's Episcopal High School to attend Louisiana Boys State 2019. Elected to represent Bogalaya Parish in the Senate. Elected by the members of the Senate to the position of President of the Senate. Responsible for presiding over the Senate including Chairing all sessions, maintaining order and decorum in the Chamber, putting to vote all questions before the Senate, and appointing members to any special committees as required.

- Chaired a Joint Session of the House and Senate
- Nominated by Bogalaya Parish for the office of Lieutenant Governor
- Advised the Governor on Emergency Management policy

LOUISIANA LEGISLATIVE YOUTH ADVISORY COUNCIL (LYAC)
Representative, Congressional District 2 (July 2018-June 2019)
Member-At-Large (July 2019 - July 2020)

Identify issues of concern to youth in Louisiana and work with the Legislative and Executive branches of state government to enact legislation to address those concerns. **Result:** Passage of Senate Bill 43 requiring all high schools in Louisiana to review the school safety plan with at

least two representatives of the student body and seek their input. SB 43 became LA Act 44 signed into law by Governor in June 2019.

- Worked with members of the Louisiana legislature and with the Governor's Office to draft legislation (SB 43) for the 2019 Louisiana Legislative session regarding school safety for students.
- Testified before both the Senate and House Education Committees and sought support for SB 43 with a variety of stakeholders across Louisiana prior to and during the Legislative session.
- Working with LYAC legislative supporters on how best to implement the next step to ensure that LA schools comply with LA 44.

NEW ORLEANS MAYOR'S YOUTH ADVISORY COUNCIL September 2019 - May 2020

Member

Appointed to serve on the Mayor's Youth Advisory Council and advise the Mayor, the Administration and other members of City Leadership about issues and concerns of the city's youth.

- Testified at the New Orleans City Council meeting on New Orleans City budget recommendations for the upcoming 2020 budget year.
- Drafted the Bylaws for the Council.

AMERICAN RED CROSS

August 2017 - Present

President and Founder, St. Martin's Episcopal High School Red Cross Club

August 2017 - May 2020

Youth Coordinator for Louisiana

May 2020 - July 2020

Worked with the New Orleans Chapter of the American Red Cross (ARC) to establish a high school Red Cross club at St. Martin's Episcopal High School. Serve as President of the ARC Club.

- Organize all meetings of the Red Cross Club, recruit members, work with school Administration to approve service projects and activities and organize fund raising activities for the Club.
- Coordinate with the New Orleans American Red Cross for support, training materials and resources.
- Coordinate awareness sessions on campus to educate students throughout the school about what the American Red Cross does and encourage students to become American Red Cross volunteers.
- Serve as interface between High School Red Cross Clubs in Southeast Louisiana and the Southeast American Red Cross to ensure that the needs and requests of the clubs are fulfilled by the organization.

HONORS AND AWARDS

Spirit of St. Martin's Award - Class of 2020

St. Martin's Departmental History Award - 2020

Commendation from the Legislature of Louisiana - May 2019

Commendation from the City of New Orleans - May 2020

Academic All-American, National Speech and Debate Association - October 2019

Professional Development Series Certificate, FEMA Emergency Management Institute - March 2017

Dartmouth Book Award - May 2019

Profile

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Public Records Statement

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I Agree

simonpalmore@gmail.com

Email Address

Simon

First Name

N

Middle Initial

Palmore

Last Name

600 MLK Blvd

Street Address

Apt 523

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (202) 450-9747

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

1-3 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Chapel Hill, I have long noticed, is a starkly different place to different people. As a student at the UNC-Chapel Hill, I have long noticed these differences among my fellow students. My white peers and their families believe the common refrain, "The Southern Part of Heaven," to be an apt description of our town. But to my fellow students of color, especially Black students, the experience here is much different. The frequent presence of neo-Confederates on campus and in town, the disproportionate police response to student protests compared to the muted response to students illegally and irresponsibly rushing Franklin Street, and even the passive but insidious feeling of not belonging in the place that you're meant to love: these are the experiences of a student of color in Chapel Hill. As with all community discussions, student voices are crucial but often overlooked, and as a student of color at UNC, I believe I bring an important perspective to both the Community Policing Advisory Committee and the Justice in Action committee.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

In high school, I was an award-winning leader in diversity, equity, and inclusion, organizing educational forums about racial justice and LGBTQ issues. From May-November 2020, I worked full time on a congressional campaign, which provided me with substantial community outreach experience. In summer 2021, I am working for the Attorney General of Rhode Island in a role that involves collaboration with the police and consideration for due process and other defendant rights. In my ongoing work for the judicial branch of UNC student government, I advocate for equitable treatment of students accused of academic and conduct violations and work to increase the racial diversity of the organization. All of these experiences make me an effective and informed advocate for marginalized people and community interests.

[Resume_Summer_2021_v1.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Other

Gender *

Male

If other, please describe:

Please select your age from the following list. *

18-24

Student _____

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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SIMON N. PALMORE

202-450-9747 | simonpalmore@gmail.com

Skills Summary

Highly-motivated undergraduate with strong work ethic, writing skills, and interest in urban planning, equity, and public service. Current junior at UNC-Chapel Hill; majoring in US History and Hispanic Literature and Cultures; minoring in Creative Writing. Semi-fluent in Spanish.

Education

UNC-Chapel Hill, Class of 2023

Morehead-Cain Scholar and Honors Carolina student; GPA: 4.00

St. Albans School (DC), Class of 2019

Senior Class President, graduated Cum Laude

Experience

Rhode Island Office of the Attorney General

Legal Intern | June 2021 – present

Work in the Narcotics and Violent Crime unit with a focus on large-scale drug trafficking; draft and negotiate settlement agreements with defense attorneys; collaborate with police officers and consider defendant rights; gain experience and education in civil procedure.

UNC Attorney General's Staff

Managing Associate | January 2021 – present

Oversee Honor Court cases as they progress through the Judicial Branch; support and advise Counsels as they prepare for Honor court cases; ensure that accused students' and reporting parties' rights are upheld by the system.

Counsel | September 2019 – January 2021

Argued on behalf of an accused student or the University during Honor Court hearings.

Gina Ortiz Jones for Congress

Voter Mobilization Intern | May 2020 – November 2020

Worked ~40 hours per week under Voter Mobilization Director to manage technology behind campaign's field operations; trained dozens of volunteers to phone bank and text bank; designed and ran campaign's Slack operations.

Awards and Acknowledgements

Morehead Cain Scholarship, 2019-2023

Highly-competitive merit scholarship to UNC-CH includes full tuition, funded study abroad, and four-year Summer Enrichment Program designed to cultivate leadership, personal development, and unique life experiences.

Thomas Hyde Medal, 2019

Voted by St. Albans School's student body as "Best All-Around."

Profile

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I Agree

tpressley@earthlink.net

Email Address

Tim

First Name

Pressley

Last Name

3 TIMBERLYNE RD

Street Address

Suite or Apt

CHAPEL HILL

City

NC

State

27514

Postal Code

Home: (919) 933-2201

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Video

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

46 years of law enforcement experience and have lived here since 1960. Orange County Sheriff's Office 1975-1979 (full time) Chapel Hill Police Department 1979-2003 (full time) Chapel Hill Police Department 2003-2015 (reserve) Orange County Sheriff's Office 2015-present (reserve) NC Department of Justice 2004-2010 (Private Protective Service Division) full time NC Department of Justice 2010-2015 (Criminal Justice Training & Standards) full time .

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Criminal Justice education, Durham Community College and Western Carolina University. Worked for NC DOJ in the Criminal Justice Training and Standards Commission.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Male**If other, please describe:**

Please select your age from the following list. * over 55

Deputy SheriffOccupation**Are you a caregiver for or identify with a disability?**

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

ajstamm@hotmail.com

Email Address

Andrea

First Name

Stamm

Last Name

Middle Initial

114 Balsam Court

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Two values I have both in my professional and personal life are curiosity and trust. I believe in asking questions until the root of the issue is found, that context matters, and the world is not only black and white, but includes numerous shades of gray. My interest in the Community Policing Advisory Committee comes from my desire for Chapel Hill to be a safe, welcoming place for all people, where citizens, government agencies, and law enforcement work together to form more safe, cohesive community that benefits all. We need community involvement in order to hold ourselves as citizens as well as the leaders in our community accountable for action as well as inaction, ensure that all community stakeholders are included, and re-establish trust in all community and government agencies.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

In my professional life working for a non-profit that provides opportunities for children and adults with intellectual disabilities, I have seen first-hand how safe spaces and a shared mission can benefit all stakeholders. Whether it is direct, with the population we serve, or indirect, with volunteers and the community; all benefit when those with intellectual disabilities are given opportunities to highlight their abilities and defy expectations. It is when all of those stakeholders work together, and in tandem, where we find success. Safe spaces and shared missions and visions are not limited to business and non-profits. They can and should be employed for communities. Community policing is not an either-or, or zero-sum proposition. It is an "and" so all stakeholders - law enforcement, social services, schools, business and citizens, work together for a more safe, cohesive Chapel Hill community.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Caucasian/Non-Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

35-54

Non-profit

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

megan.winget@unc.edu

Email Address

Megan

First Name

A

Middle Initial

Winget

Last Name

109 Carolina Avenue

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (512) 919-6100

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Community Policing Advisory Committee: Eligible

Which Board is your First Choice? *

Community Policing Advisory Committee

How did you find out about this opportunity? (select all that apply)

Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am currently on the Chapel Hill Arts Commission and am applying for the Community Policing Advisory Committee because I conducted a research project on Chief Blue's quarterly reports. I've become interested in policing generally and within Chapel Hill specifically.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I was told that you have a data committee within the Community Policing Advisory Committee. I teach at UNC in the School of Information and Library Science, where I talk about data curation. I have specialized knowledge in this area.

[winget_march2018-cv.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Female**If other, please describe:**

Please select your age from the following list. * 35-54

ProfessorOccupation**Are you a caregiver for or identify with a disability?**

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

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I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Megan A. Winget, Ph.D.

4213 Ramsey Ave.

Austin, TX 78756

Phone: (512) 919-6100

Email: megan.winget@gmail.com

Employment History:

- Owner & Principal Consultant, Conviviali Consulting, LLC. (September 2010 – Present)
- Online Instructor, School of Information, San Jose State University (2013 – Present)
- Adjunct Instructor, School of Information and Library Science, UNC – Chapel Hill (2018 – present)
- Assistant Professor, School of Information, The University of Texas at Austin. September 2006 – May 2013

Education:

Doctor of Philosophy, Information and Library Science. Fall, 2006. University of North Carolina at Chapel Hill, School of Information and Library Science. **Focus:** Digital Preservation; Digital Repositories and Collecting Institutions; Representation of Non-Textual Materials, Collaborative Technologies

Dissertation Title: Annotation of Musical Scores: Interaction and Use Behaviors of Performing Musicians

Master of Science, Information Science, 1999. University of North Carolina at Chapel Hill, School of Information and Library Science. **Focus:** Cultural heritage applications in digital sphere. Rare books and bibliography, digital textual libraries, XML and the TEI

Master of Arts, History of Art, 1993. University of Virginia, Charlottesville, VA. McIntire Department of Art. **Focus:** Italian High Renaissance, Contemporary Aesthetic Theory

Bachelor of Arts, History of Art, 1990. University of Georgia, Athens, GA. Lamar Dodd School of Art. **Focus:** Italian renaissance, museum studies

Research History**Books**

Winget, Megan and William Aspray, (eds.). (2011). *Digital Media: Interdisciplinary Perspectives on History, Preservation, and Ontology*. New York: Scarecrow.

Peer Reviewed Journal Articles & Book Chapters

Winget, Megan A. (2013). "A Meditation on Social Reading and Its Implications for Preservation." *Preservation, Digital Technology & Culture*. Volume 42. Issue 1. pp. 1-14.

Winget, Megan A. (2011). "Videogame Preservation and Massively Multiplayer Online Role-Playing Games: A Review of the Literature." *Journal of the American Society for Information Science & Technology: Advances in Information Science*. Volume 62, Issue 10 pp. 1869-1883.

Winget, Megan A. (2011). "Collecting the Artifacts of Participation: Videogame Players, Fan-Boys, and Individual Models of Collection." In *Digital Media: Interdisciplinary Perspectives on History, Preservation, and Ontology*, Megan Winget and William Aspray, Eds., pp. 27-72. New York: Scarecrow.

Efron, Miles and Megan Winget. (2010). "Query Polyrepresentation for Ranking Retrieval Systems Without Relevance Judgments." *Journal of the American Society for Information Science & Technology*. Volume 61, Number 6, pp. 1081-1091.

Winget, Megan. (2009). "Describing Art: an Alternative Approach to Subject Access and Interpretation" *Journal of*

Documentation. Volume 65, Number 6, pp. 958–976.

Winget, Megan A. (2008). "Annotations on Musical Scores by Performing Musicians: Collaborative Models, Interactive Methods, and Music Digital Library Tool Development." *Journal of the American Society for Information Science & Technology*. Volume 59, Issue 12, pp. 1878-1897.

Peer Reviewed Conference Papers / Published Proceedings

Winget, Megan A. & W. Walker Sampson. (2011). "Game Development Documentation and Institutional Collection Development Policy." [Long Paper] *Proceedings of the 2011 ACM / IEEE Joint Conference on Digital Libraries (JCDL)*. Ottawa, Canada (June 14-17, 2011) pp. 29-38.

Winget, Megan. (2009). "Archiving the Videogame Industry: Collecting Primary Materials of New Media Artifacts." [Poster] *Proceedings of the 9th ACM/IEEE-CS Joint Conference on Digital Libraries (JCDL)*. Austin, TX (June 15 – 19, 2009) p. 459.

Winget, Megan A. & Caitlin Murray. (2008). "Collecting and Preserving Videogames and Their Related Materials: A Review of Current Practice, Game-Related Archives and Research Projects." [Long Paper] *Annual Meeting of the American Society for Information Science & Technology (ASIS&T)*. Columbus, OH (October 24 – 29, 2008).

Winget, Megan A. (2007). "A Methodology and Model for Studying Boundary Objects, Annotations, and Collaborative Practices: Musicians and Musical Scores." *Proceedings of the Annual Meeting of the American Society for Information Science & Technology* (Long Paper). Milwaukee, WI (October 18 – 25, 2007).

Peer Reviewed Conference Papers & Panels / Proceedings Not Published or Abstract Only

Krauss, Kari, Rachel Donahue & Megan Winget. (2009). "Game Change: Intellectual Property and the Role of the Amateur in Preserving Virtual Worlds" Paper for Digital Humanities 2009 Conference. June 2009, University of Maryland.

Winget, Megan (2007). "User-Defined Classification on the Online Photo Sharing Site Flickr...Or, How I Learned to Stop Worrying and Love the Million Typing Monkeys." 17th Annual Meeting of the American Society for Information Science & Technology (ASIS&T) Special Interest Group in Classification Research Workshop, "Social Classification: Panacea or Pandora?" Austin, TX (November 4, 2006).

Furner, Jonathan; Smith, Martha; Winget, Megan. (2006). "Collaborative indexing of cultural resources: Some outstanding issues." Extended Abstracts of the 1st Annual Conference on Digital Humanities; Vol. 1, Paris, France (June 22-29, 2006) pp. 187-189.

Winget, Megan. (2005). "Like a Wave Upon the Sand: Representation and Preservation of 'Born Digital' Art." (im)permanence: Cultures in/out of time, conference held at Carnegie Mellon's Center for the Arts in Society: Pittsburg, Pennsylvania. October 13 – 16, 2005.

Winget, Megan. (2005). "Action and interaction in music and new media art: Exploration of musicians' performative and interactive decisions as evidenced by annotated musical scores." Extended Abstracts of the Association of Computing in the Humanities (ACH) 2005 Annual Conference: Victoria, British Columbia. June 15 – 18, 2005.

Winget, Megan. (2005). "Digital Preservation of New Media Art Through the Exploration of Established Symbolic Representation Systems." Presented at the ACM/IEEE Joint Conference on Digital Libraries' 2005 Doctoral Consortium. Denver, Colorado. June 7 – 11, 2005.

Invited Talks

"The Wicked Problem of New Media Preservation." Library of Congress Digital Preservation Symposium, Washington DC. July 23, 2012.

- "The Videogame Archive at the University of Texas at Austin. Authors' Papers; Developers' Documentation." Videogame Preservation Group. Museum of the Moving Image; Queens, New York. September 29, 2011.
- "I Am Large, I Contain Multitudes: The Problem of 'The Creator' in New Media." Social Media & Online Communities Workshop. Boulder, Colorado. August 9 -10, 2011.
- "Preserving New Media: Object, Artifact, Experience, Interaction." Netherlands Media Arts Institute. Amsterdam, The Netherlands. June 28, 2011.
- "Videogame Documentation and Archival Appraisal – We Need A New Model." Re-Imagining the Archive: Remapping and Remixing Traditional Models in the Digital Age. A Three-Day Symposium at UCLA. Los Angeles, CA. November 12 – 14, 2010.
- "Thinking About Videogames." Northeast Document Conservation Center, The Tectonics of Digital Curation: A Symposium on the Shifting Preservation and Access Landscape. Boston, MA. May 24 – 26, 2010.
- "Representing and Collecting Artifacts of Participatory Culture: Videogame Fanboys, Otaku, and the Culture of Creativity." Digital Media Workshop, University of Texas at Austin. Organized by Winget and Bill Aspray (February 14, 2009).

Grants, Fellowships & Awards (*italics denote Federal Grants*)

- 2008 – 2011 IMLS Laura Bush 21st Century Librarians Early Career Award (\$255,000) *"Video Games and the Cultural Record: Studying the Creation Processes and Artifacts of the Video Game Industry for the Purpose of Preservation and Collection"*
- 2009 – 2010 NSF Support Grant (\$12,000) *"Supporting Student Travel to JCDL Doctoral Consortium"*
- 2009 – 2010 Deans Teaching Fellowship (\$9500)
- 2009 University of Texas Special Research Grant (\$750)
- 2008 – 2009 University of Texas at Austin Faculty Travel Grant (\$1200)
- 2007 – 2008 University of Texas at Austin Faculty Travel Grant (\$1200)
- 2007 – 2008 Deans Teaching Fellowship (\$6500)
- 2006 – 2007 University of Texas at Austin Faculty Travel Grant (\$1200)

Teaching Experience

- INF 385R: Survey of Digitization (6 times)
- INF 384C: Organizing and Providing Access to Information (8 times)
- INF 380K: Internet Applications (6 times)
- INF 385T: Digital Curation (3 times @UT) (10 times @SJSU)
- INF 385T: Theoretical Issues in Collecting New Media (2 times)

Advising

- Doctoral Committee Member: Julia Bullard (Fall 2011 – May 2013)
- Master's Paper Advisor: Megan Samuelsen (2011-2012)
- Doctoral Advisor: George Royer (Fall 2010 – May 2013)
- Master's Paper Advisor: Timothy J. Arnold (2010-2011)
- Master's Paper Reader (School of Communication, Radio Television, Film): Stephen Jannise (2010)
- Master's Paper Reader: Tami Wibel (2009)
- Capstone Advisor: 28 capstone projects (Fall 2006 – present)

Professional Experience

- **September 2010 - Present:** Digital Strategy & Big Data Consultant, Conviviali Consulting. Austin, TX.
- **August 2008 – July 2011:** PI, Videogame Preservation Project. IMLS Laura Bush 21st Century Librarians Early Career Award (August 2008 – July 2010).

- **May 2005 – June 2006:** Graduate Research Assistant. Annotation Project, School of Information and Library Science, University of North Carolina at Chapel Hill; PIs: Gary Marchionini, Paul Solomon, Catherine Blake.
- **August 2003 – August 2005:** Project Manager. Managing the Digital University Desktop. NHPRC Funded Grant. School of Information and Library Science, University of North Carolina at Chapel Hill. PIs: Helen Tibbo & Tim Pyatt.
- **August 2003 – June 2004:** Project Manager, Minds of Carolina Pilot Research Project. School of Information and Library Science, UNC – Chapel Hill. PIs: Helen Tibbo & Paul Jones.
- **August 2000 – August 2003:** Academic Technology Specialist, Office of Arts & Sciences Information Services, University of North Carolina at Chapel Hill. Supervisors: Andrew Lang, Rick Peterson

Professional Affiliations

- Association for Computers in the Humanities (ACH)
- Association for Computing Machinery (ACM)
- American Society of Information Science & Technology (ASIS&T)
- American Institute for Conservation (AIC): New Media Conservation Round Table
- Society of American Archivists (SAA)

Service

International:

- Associate Editor: Springer/Verlag *International Journal of Digital Libraries* (2010 – present)
- Reviewer: Social Sciences and Humanities Research Council of Canada (SSHRC) (2009)

National

- Chair: SIG/CR American Society of Information Science & Technology (Special Interest Group in Classification Research) (2010 – 2011)
- Grant Review: IMLS National Leadership Grants (2010, 2011)
- Chair-Elect: SIG/CR American Society of Information Science & Technology (Special Interest Group in Classification Research) (2009 – 2010)
- Program Committee: ACM/IEEE Joint Conference on Digital Libraries (2009 – Present)
- Conference Review: ACM/IEEE Joint Conference on Digital Libraries - Doctoral Consortium (2008 – 2010)
- Co-Chair: Doctoral Consortium ACM/IEEE Joint Conference on Digital Libraries (2008 – 2009)
- Grant Review: National Endowment for the Humanities Research & Development Grants, October (2008)
- Conference Review: ACM/IEEE Joint Conference on Digital Libraries (2007 – present)
- Conference Review: American Society of Information Science & Technology (ASIS&T) Annual Meeting (2007 – present)
- Conference Review: ACM SIG/CHI (2007 – 2008)
- Conference Review: ACM SIG/CHI CSCW (2011)
- Journal Reviewer: Journal of the American Society of Information Science & Technology (2006 - 2011)
- Journal Reviewer: Digital Humanities Quarterly (2006 - 2011)

Local Service - School of Information, University of Texas at Austin

- Committee Member: Executive Education (AY 2011-2012)
- Institutional Review Committee: Departmental Review Liaison (AY 2011-2012 / 2012-2013)
- Committee Member: Information Technology (AY 2010-2011)
- Committee Member: Doctoral Committee (AY 2007-2008 / 2008-2009)
- Committee Member: Research Environment (AY 2008-2009 / 2009 - 2010)
- Committee Member: Strategic Planning Committee (AY 2006-2007)



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 22., **File #:** [22-0518], **Version:** 1

Meeting Date: 6/8/2022

Appointments to the Housing Advisory Board.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Housing Advisory Board for 2 seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council
FROM: Sue Hunter, Chair Housing Advisory Board
SUBJECT: Recommendation for the vacancy(s)
DATE: May 16, 2022

RECOMMENDATION: The Housing Advisory Board met on Monday, May 9, 2022 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Dustin Mills, Reappointment, Profit Developer Seat
- Rex Mercer, Reappointment, Tenant or Homeowner Seat

SPECIAL REQUEST(s): None

BACKGROUND: The Board originally recommended Dustin Mills based on his more than 20 years of affordable housing development experience and deep knowledge of the Low-Income Housing Tax Credit program.

The Board originally recommended Rex Mercer based on his understanding of the housing challenges this community faces through first-hand experience working with community members that have the least amount of resources, through his work with the IFC and at a local women and children's shelter.

Note: Communications and Public Affairs notes that the Housing Advisory Board reviewed the following applications: Ming Feng, Matthew Glasgo, Olivia Hoynes, Rex Mercer, Dustin Mills, and Anthony Williams. No additional applications were received between May 16, 2022 and June 8, 2022 for the Housing Advisory Board.

BALLOT**HOUSING ADVISORY BOARD****JUNE 8, 2022**

Total Membership: 9 (1 Non-Market Rate Housing Resident, 3 Homeowner or Tenant, 1 Affordable Housing Advocate, 1 Non-Profit Housing Provider/Professional, 1 For-Profit Developer, 1 Real Estate Broker, and 1 Housing, Planning or Public Policy Expert)

Current Membership: 9 (4 Female, 5 Male; 1 African American and 8 Caucasian; [1] 18-24, [1] 25-34, [4] 35-54, [3] over 55)

Current Vacancies: 0

Upcoming Vacancies: 3 (1 Homeowner or Tenant, 1 Non-Profit Housing Provider, and 1 For-Profit Developer)

Number of Applicants: 5

Homeowner or Tenant
Please vote for up to one (1) applicant

Ming Feng
 Matthew Glasgo
 Rex Mercer (Incumbent)
 Anthony Williams
 Other; please list _____

For-Profit Developer
Please vote for up to one (1) applicant

Dustin Mills (Incumbent)
 Other; please list _____

There are no Non-Profit Housing Provider/Professional applications

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

fengming1107@gmail.com

Email Address

Ming

First Name

Feng

Last Name

Middle Initial

214 Napa Valley Way

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (313) 471-0687

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Orange County (Not Chapel Hill limits ETJ or JPA)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Housing Advisory Board: Eligible

Question applies to Community Design Commission

Select a Seat Category for the Community Design Commission

Chapel Hill Resident

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Homeowner or Tenant

Which Board is your First Choice? *

Community Design Commission

How did you find out about this opportunity? (select all that apply)

None Selected

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Non-Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Stanat's Place (2516 Homestead) Development affects my living community. And I wish to attend the town council virtual meeting to give suggestions.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

N/A

Question applies to Community Design Commission

Do you have special interest, experience, or education/training in design field, architecture, landscape design, horticulture, city planning, green design, place making or related fields? If yes, please explain.

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Asian or Pacific Islander

Gender *

Male

If other, please describe:

Please select your age from the following list. *

25-34

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member should ask the advisory board or commission to be recused from voting. The advisory board or commission should then vote on the question on whether or not to excuse the member making the request. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

mattglasgo@gmail.com

Email Address

Matthew

First Name

Glasgo

Middle Initial

Last Name

108 Timber Hollow Court

Street Address

#364

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (916) 218-2815

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Housing Advisory Board: Eligible

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Homeowner or Tenant

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Chapel Hill Resident

Which Board is your First Choice? *

Town Council

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am interested in affordable housing for non-homeowners, ADA compliance, improving public spaces, and green transportation alternatives. I am also interested in making the town more livable for town employees and couples looking to start a family.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I work for the Department of Public Works and my partner is an Occupational Therapist getting her PhD in Occupational Science. She is concerned with accessibility for individuals with limited mobility.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

25-34

Administration Assistant-
Communications Specialist

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

Olivia L. Hoynes

ohoynes@live.unc.edu • (252) 341-9558 • [linkedin.com/in/ohoynes](https://www.linkedin.com/in/ohoynes)

Education**University of North Carolina at Chapel Hill**

May 2022

Gillings School of Global Public Health

GPA: 3.786

Bachelor's of Science in Public Health, Health Policy and Management

- Activities: Morehead-Cain Scholar, Direct Exchange Program at the University of Edinburgh, UCC Social Action Committee, Sasha Bruce Drop-In Center volunteer, Amnesty International - Now for Northern Ireland campaign, Hiking Guide and Intern at Emu Trekkers, Swing Dancing Club

Professional Experience**Albright Stonebridge Group**

Washington, D.C.

Global Health Solutions & HLS Intern

(40+ Hrs/week) – Sep. 2019 – Aug. 2020

- Coordinated projects with clients and technical experts and worked closely with the Chief Medical Officer
- Facilitated meetings with firm leadership and helped build Global Health Solutions public health frameworks
- Conducted in-depth research on global health policy, pharmaceutical developments, and Covid-19 responses
- Created weekly policy updates for a major biotechnology client and Covid-19 developments for the firm
- Prepared reports, legal contracts, presentations, and preparatory materials for Secretary Madeleine Albright
- Engaged in strategic planning meetings and supported the formation of new service offerings in medical education reform, mental health services, and health systems transformation

Immigrant Justice Corps

New York, NY

Summer Intern

(40+ Hrs/week) – Jun. 2018 – Aug. 2018

- Supported operations and development teams with donor outreach, nationwide travel for fellow recruitment, budget preparation, and communication with Fellows
- Researched immigration court deportation rates and availability of legal services to inform expansion efforts
- Interviewed more than 10 Fellows, transcribed interviews, and prepared the Fellow Interview Series
- Drafted affidavits, prepared appeals to USCIS decisions, and conducted legal research
- Supported clients in immigration legal services meetings and attended recruitment and Board meetings

Student Health Action Coalition – Get Covered Carolina

Chapel Hill, NC

Co-Director and Certified Application Counselor (CAC)

(6-8 Hrs/week) – Nov. 2017 – Present

- Assist community members in understanding and enrolling in health insurance
- Designed applications, selected CACs, and provided oversight to more than 70 people
- Coordinated enrollment drives and appointments across the Triangle
- Created and expanded partnerships to enhance access to health care
- Co-Founded SHACTivism to advocate for health care access in the state of North Carolina

Community Empowerment Fund

Chapel Hill, NC

Advocacy Intern, Advocate, Pod Leader, and Civic Engagement Coordinator

(32+ Hrs/week) – Aug. 2017 – Present

- Provide trauma-informed care through active listening and service referrals to community members seeking housing, employment, health insurance, and financial independence
- Supervise and mentor 10 advocates and engage in weekly case conferencing meetings to support community members in reaching their goals, resolve conflict, and inspire organizational reform
- Plan affordable housing march, monthly community organizing meetings for people with lived experience, County-wide memorial fund, and event honoring Black women with a scholarship fund for Black girls
- Mobilized health resources during the Covid-19 crisis, established a partnership with UNC Law to form expungement legal aid clinics, and coordinate health insurance enrollment activities

Skills & Interests

Technical Skills: MS Word, MS Excel, MS PowerPoint, EpiInfo, intermediate Hindi-Urdu language

Trainings: Birthing Advocacy Doula Trainings Full Spectrum Doula (in progress), Orange County Rape Crisis Center support group facilitator training, Racial Equity Institute training, trauma informed care training, Partners in Health health activism, professional skills training in client management, business development writing, and presentations

Profile

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Public Records Statement

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I Agree

rexmercer@live.com

Email Address

Rex

First Name

Mercer

Middle Initial

Last Name

406 New Parkside Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Housing Advisory Board: Eligible

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Homeowner or Tenant

Which Board is your First Choice? *

Housing Advisory Board

How did you find out about this opportunity? (select all that apply)

Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

As a resident of Chapel Hill for more than 20 years, I am very familiar with the town and have followed closely the local issues that affect our residents. I am particularly interested in the issue of housing and see the need to have adequate and varied housing options for residents of all income levels as well as appropriate student housing availability. The most critical current need is for more housing options for very low income residents (<30% AMI), including housing providers who will accept subsidies (e.g. Housing Choice Vouchers). All housing should be planned, constructed, and maintained in ways that help create a high quality of life for all residents. This would include attention to things like housing density, traffic impacts, proximity to retail and services, transportation options, walkable/bikeable access routes, diverse neighborhoods, protection of historic neighborhoods, and appropriate architectural designs.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Current and past relevant employment, volunteer experience, and education include: - HOUSING ADVISORY BOARD, Town of Chapel Hill. Current member. - SOAR SOCIAL WORKER, Orange County Department of Social Services. Represented people experiencing or at risk of homelessness to the Social Security Administration as they applied for SSI/SSDI disability income/insurance. The objective was to enable these individuals to secure housing. - HOMESTART PROGRAM MANAGER, Inter-Faith Council for Social Service (IFC). Managed operations and social work/case management support at shelter for women and families experiencing homelessness. Also served as case manager and client services rep in previous roles with IFC. - HABILITATION COUNSELOR, Alberta Professional Services. Supported residents of a Chapel Hill group home for adults with severe and persistent mental illnesses. - ORANGE COUNTY JUSTICE UNITED. Affordable Housing Research Team. - ORANGE COUNTY PARTNERSHIP TO END HOMELESSNESS. HOME Committee, Project Connect, Point-In-Time Count. - HUMAN SERVICES ADVISORY BOARD, Town of Chapel Hill. Vice-Chair. - PERSONNEL APPEALS COMMITTEE (renamed Grievance Hearing Board), Town of Chapel Hill. - CDBG REVIEW BOARD, Town of Chapel Hill. - MASTER OF SOCIAL WORK degree from UNC-Chapel Hill.

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

over 55

Social worker

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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I Agree

dustin@taftmillsgroup.com

Email Address

Dustin

First Name

T

Middle Initial

Mills

Last Name

631 Dickinson Avenue

Street Address

Suite or Apt

Greenville

City

NC

State

27834

Postal Code

Mobile: (252) 916-2691

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Other

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

None Selected

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Housing Advisory Board: Eligible

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

For-Profit Developer

Which Board is your First Choice? *

Housing Advisory Board

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Recommended by Kimberly Sanchez with Community Home Trust

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a 23-year veteran of the multi-family (for-profit) industry with the majority of that experience being in affordable housing, tax credits and historic adaptive reuse. I currently serve as President (and co-founder) of Taft-Mills Group, a Greenville, NC-based developer of affordable housing. Our firm is recognized as one of the Top 50 affordable housing developers in the country.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Professional Experience: • Proven expert in Real Estate Planning, Development, Construction & Management • Overseen development in a multi-state region (NC, SC, VA, GA, TN, MD) • Transaction / Deal Analysis & Due Diligence • Contract Negotiations (Land / Syndication / Capital Sourcing) • Partnership / Investor Identification & Negotiation • Market Analysis & Capture Rate Forecasting • Financial Feasibility & Investment Viability • Planning, Entitlements & Municipal Approvals • Construction & Project Management through Equity Closing & Asset Management Honors & Activities: • Honoree, "40 Under 40" Business Leadership Award, TRIANGLE BUSINESS JOURNAL • Past Vice Chairman, City of Greenville, NC Planning & Zoning Commission • Board Member, Boys and Girls Club of the Coastal Plain • Board Member Pitt-Greenville Convention & Visitors Bureau • North Carolina Licensed Real Estate Broker-In-Charge

[Dustin T. Mills Professional Overview August 2020 v.1.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

35-54

Real Estate Developer

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Dustin T. Mills, MBA, MSc.

PROFESSIONAL PORTFOLIO



Dustin T. Mills, MBA, MSc.

PERSONAL / PROFESSIONAL OVERVIEW

CAREER HIGHLIGHTS

DUSTIN T. MILLS, a 23-year veteran of the multi-family real estate development industry, has served in various senior-level capacities for several regional and national firms. Presently, Dustin serves as President of Taft-Mills Group, a Greenville, NC-based real estate development firm that focuses on affordable housing development throughout North Carolina, Virginia and Maryland.

During his career, Dustin has overseen the development of more than \$400 million dollars in completed projects and possesses a vast knowledge of apartment, retail, and office property types. Dustin has been quoted in **BUILDER MAGAZINE** and **MULTI-HOUSING NEWS** and was featured in **FORBES MAGAZINE** for his creative use of layered financing in saving a historically significant hospital in Lynchburg, VA.

PROFESSIONAL EXPERTISE

- Proven expert in Real Estate Planning, Development, Construction & Management
- Overseen development in a multi-state region (NC, SC, VA, GA, TN, MD)
- Transaction / Deal Analysis & Due Diligence
- Contract Negotiations (Land / Syndication / Capital Sourcing)
- Partnership / Investor Identification & Negotiation
- Market Analysis & Capture Rate Forecasting
- Financial Feasibility & Investment Viability
- Planning, Entitlements & Municipal Approvals
- Construction & Project Management through Equity Closing & Asset Management

HONORS & ACTIVITIES

- Honoree, "40 Under 40" Business Leadership Award, TRIANGLE BUSINESS JOURNAL
- Past Vice Chairman, City of Greenville, NC Planning & Zoning Commission
- Board Member, Boys and Girls Club of the Coastal Plain
- Board Member Pitt-Greenville Convention & Visitors Bureau
- North Carolina Licensed Real Estate Broker-In-Charge

ADVANCED EDUCATION

- Masters of Business Administration, 2011
Kenan Flagler Business School
The University of North Carolina, Chapel Hill, NC
- Masters of Science, Real Estate Development, 2003
School of Architecture, Planning & Preservation
Columbia University, New York, NY
- Post Baccalaureate Graduate Certificate, Urban Land Development, 2002
Virginia Commonwealth University, Richmond, VA
- Bachelor of Science, Communications, 1996
Wingate University, Wingate, NC



Historic / Adaptive Reuse



New Construction Multi-Family



Historic Office Conversion



Urban Residential Conversion

Dustin T. Mills

631 Dickinson Avenue
Greenville, NC 27834

RECENT AFFORDABLE & CONVENTIONAL PROJECT LIST

Project Name	Location	Cost	Units	Type
Sterling Trace	Salisbury, NC	+/- \$8.5mm	80	LIHTC-Family (PIRHL)
Sardis Trace	Charlotte, NC	+/ \$8.16mm	78	LIHTC-Senior (PRIHL)
Calvary Trace	Raleigh, NC	+/- \$10mm	92	LIHTC-Family (PIRHL)
Parkside Commons	Greenville, NC	+/- \$10.6mm	98	LIHTC-Senior Taft-Mills Group
Proximity	Matthews, NC	+/- \$39.8mm	250	Market Rate - Taft
Residences at CP	Greer, SC	+/- \$36mm	298	Market Rate - Taft
Wakefield Commons	Raleigh, NC	+/- \$10.8mm	80	LIHTC-Family Taft-Mills Group
Walnut Trace	Raleigh, NC	+/- \$29mm	180	LIHTC-Family Taft-Mills Group
Quarry Trace	Raleigh, NC	+/- \$11.8mm	96	LIHTC-Family Taft-Mills Group
Farrington Trace	Greenville, NC	+/- \$12.7mm	80	LIHTC-Family Taft-Mills Group
Amberly Trace	Burlington, NC	+/- \$10.04	80	LIHTC-Family Taft-Mills Group
Legacy Trace	Benson, NC	+/- \$8mm	64	LIHTC-Family Taft-Mills Group
TOTAL		\$195mm	1,476	

Profile

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Public Records Statement

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I Agree

adwillisr@gmail.com

Email Address

Anthony

First Name

D

Middle Initial

Williams

Last Name

101 Barton Ln

Street Address

Suite or Apt

CHAPEL HILL

City

NC

State

27516

Postal Code

Mobile: (919) 656-8669

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Housing Advisory Board: Eligible

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Affordable Housing Advocate

Which Board is your First Choice? *

Parks, Greenways & Recreation Commission

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

I looked into it the Housing Board

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Work with Affordable Housing Committee of Durham CAN

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Given the growth in Chapel Hill and the RTP Area and the increase in housing costs, affordable housing for those less fortunate is very important to me.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

African American

Gender *

Male

If other, please describe:

Please select your age from the following list. *

over 55

Retired IBMer _____

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 23., **File #:** [22-0519], **Version:** 1

Meeting Date: 6/8/2022

Appointments to the Parks, Greenways, and Recreation Commission.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Parks, Greenways, and Recreation Commission for three (3) seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council
FROM: Tyler Steelman, Chair
SUBJECT: Recommendation for the vacancy(s)
DATE: May 17, 2022

RECOMMENDATION: The Parks, Greenways, and Recreation Commission met on Tuesday, May 17, 2022 and by a unanimous vote made the following recommendation(s) to the Town Council for consideration:

- Shane Brogan, appointment, Town Resident
- Marcella Twamley, appointment, Town Resident
- Christopher Worrell, appointment, Town Resident

SPECIAL REQUEST(s): No comment

BACKGROUND:

Shane Brogan is a Teaching Lab Manager for UNC's Physics and Astronomy department. In this position, he has supported and created programs that increase science education and outreach focusing on energy sustainability. Shane is intensely interested in the long-term health and vitality of the Town's Parks and Greenways and Chapel Hill's Environmental health. His appointment will be Shane's first time on an advisory board.

Marcella Twamley is a mother of two young girls who frequently use the Town's playgrounds and parks. Her four-year-old daughter is disabled and uses a combination of a wheelchair and walker to move. Marcella is very interested in helping the Town provide more inclusive features in parks and playgrounds for the disabled individual and wants to serve as an advocate for families, caregivers, and the disabled within our community. This appointment will be Marcella's first time on a Town Board or Commission.

Christopher Worrell is a former Police Officer who now works as a policy professional for the federal government. Christopher has spent the last decade in community relations advocating for clean and micro-transportation policy adoption at a national level. He continues to promote micro-transportation, public transit, and pedestrian and bicycle greenways. This appointment will be Christopher's first time serving on a Town of Chapel Hill board.

The Commission was pleased to meet four of the six new applicants to serve on the Commission and was impressed by each of the applicant's interests and perspectives they offer. The Commission appreciates the opportunity to review and recommend applications to serve on the Commission.

Note: Communications and Public Affairs notes that the Parks, Greenways, and Recreation Commission reviewed the following applications: James Bartow, Shane Brogan, Duncan Jones, Bill Pendergraft, Marcella Twamley, and Christopher Worrell. No additional applications were received between May 17, 2022 and June 1, 2022 for the Parks, Greenways, and Recreation Commission.

BALLOT**PARKS, GREENWAYS, AND RECREATION COMMISSION****JUNE 8, 2022**

Total Membership: 9 (8 Town Residents, 1 Orange County Resident appointed by the Board of County Commissioners)

Current Membership: 9 (6 Female, 3 Male; 7 Caucasian, 1 African American, 1 Asian or Pacific Islander; [1] 25-34, [4] 35-54, [4] over 55)

Current Vacancies: 0

Upcoming Vacancies: 3 (3 Town Residents)

Number of Applicants: 6

Town Resident**Please vote for up to three (3) applicants.**

_____ James Bartow

_____ Marcella Twamley

_____ Shane Brogan

_____ Christopher Worrell

_____ Duncan Jones

_____ Other; please list _____

_____ Bill Pendergraft

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

jmsbartow@gmail.com

Email Address

James

First Name

A

Middle Initial

Bartow

Last Name

1002 Willow Dr.

Street Address

Apt. 40

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 360-1374

Primary Phone

Home: (919) 360-1374

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Question applies to Planning Commission

Select a Seat Category for the Planning Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Planning Commission

How did you find out about this opportunity? (select all that apply)

- Advisory Board or Council member
 Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

I am a former board member of another board

Interests & Experiences

Question applies to multiple boards

How do you describe your previous advisory board experience?

Chapel Hill Board Experience

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have been a Chapel Hill resident most of my life. After graduation from UNC law School and bar passage I applied for and have served on the Orange County Adult Care Home Community Advisory Committee, the Chapel Hill Board of Adjustment, including two terms as chair, and have served on the Democratic Party State Executive Committee. I am also an avid runner who has participated in several half-marathons and other races and as such extensively use the towns parks and greenways for training. Additionally, while at UNC law school, I studied state and local government under Judith Wegner. This, in addition to my experiences with town boards and commissions, helped me to realize not just how much of an impact local government has on our day to day lives, but also how much we can have an impact upon our local government here in Chapel Hill.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I currently work as a project coordinator at the Orange County Register of Deeds Office, and have just finished up two three year terms on the Chapel Hill Board of Adjustment.

Question applies to Planning Commission

Do you have special interest, experience, or education/training in city planning, design field, environment, housing, transportation or related fields? If yes, please explain.

Yes, I have been involved with several boards and commissions, including the Board of Adjustment for 6 years. I also serve as treasurer of my homeowners association and have worked with the Orange County Register of Deeds office for 6 years.

[Resume_2019.docx](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

25-34

Attorney/Project Coordinator

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

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I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

James A. Bartow

1002 Willow Dr. #40, Chapel Hill NC 27514

Cell: (919)-360-1374 Email: jmsbartow@gmail.com

Certification

Bar Admission in North Carolina Oct. 28, 2013

Education

University of North Carolina School of Law, Chapel Hill, North Carolina. J.D. May 2013

Activities

Pro Bono work with UNC Center for Civil Rights, UNC Wills Projects, 2011-2013. Prepared numerous wills and advance care directives in Eastern NC during spring and fall break.

Independent study on Medicaid and long term care planning

Guilford College, Greensboro, North Carolina

B.A. in Political Science, Minor in Economics, May 2009

Experience

Project Coordinator Orange County Register of Deeds *June 2016-Present*

Deputy Orange County Register of Deeds II *June 2015-June 2016*

- Establish and manage document retention policies per statutes and NC State Archives schedules. Assist with and manage special projects for long term preservation and access to information (includes work on pilot State Archives and UNCG enslaved peoples project that later received an NHPRC grant). Write legal memos, prepare legal research, and answer law-related questions. Verify Documents, indexing, perform general office duties, and assist patron research in real property and vital records

Attorney, Solo/Collaborative Practice *December 2013-June 2015*

- Wills and Estates, civil rights work, Document Review work and District Court criminal practice

North Carolina Coordinated Committee *July-November 2014*

- Organized over 100 volunteers to implement extensive Kay Hagan for US Senate campaign operations in Northern Orange County, including canvassing, voter registration, phone banking; also recruited volunteers for special events such as VIP visits and press events

18th Prosecutorial District, High Point Office, High Point, North Carolina *Summer Intern June-August*

2012 □ Assisted in prosecuting cases for the state in Criminal District Court; conducted misdemeanor criminal trials for the state with supervision in District Court; prepared briefs for Superior Court trials

Research Assistant for Professor Alfred Brophy, UNC School of Law, Chapel Hill, North Carolina

Summer Research Assistant May-June 2012

- Did extensive research into early 20th century cases and laws regarding sterilization
- Reviewed 19th century historical documents

Legal Aid of North Carolina, Pittsboro Office, Pittsboro, North Carolina

Summer Law Clerk May-August 2011

- Assisted in preparing and filing statutory exemption claims, drafting wills, interviewing clients, and preparing outreach materials for highly successful Richmond County Wills Project
- Represented client in a successful unemployment appeals hearing
- Interviewed clients for 50B protective orders and observed related litigation

Volunteer/Intern September 2009-August 2010

- Assisted with other volunteers, answered phones, helped compile email lists and performed receptionist duties; sorted, stamped and dated mail; assisted in preparing mailings and applications for services; general office work including filing, scanning, submitting invoices, and light typing

Office of Emily Thornberry, Member of Parliament (MP) for Islington South and Finsbury, London,

United Kingdom, Intern *October-December 2008*

- Responsible for constituent contact and office upkeep

Community Work **Town of Chapel Hill Board of Adjustment** *July 2015-2021(Term limited); Chair September 2017-Sept 2019*

□ Hear and adjudicate zoning variance cases as well as appeals on permitting from town staff, the Chapel Hill Historic District Commission and Chapel Hill Planning Commission.

Orange County Adult Care Home Advisory Committee *Appointed February 2014 –February 2017*

□ Visit adult care homes, speak with residents and ensure their rights are being protected

Other Campaign and Democratic Party Work *March 2010-Present*

- Democratic State Executive Committee Member representing Orange County (2015-present)
- Campaign work experience varied depending on campaign: staging location director, hosted and participated in phone banks and canvasses, voter protection research, precinct greeter, data entry, literature distribution, persuasion, campaign event staffing including fundraisers, and voter registration

Profile

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Public Records Statement

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I Agree

brogshan@gmail.com

Email Address

Shane

First Name

B

Middle Initial

Brogan

Last Name

223 White Oak Drive

Street Address

Suite or Apt

Durham

City

NC

State

27707

Postal Code

Mobile: (919) 741-8295

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission: Eligible

Question applies to Environmental Stewardship Advisory Board

Select a Seat Category for the Environmental Stewardship Advisory Board *

Chapel Hill Resident

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Parks, Greenways & Recreation Commission

How did you find out about this opportunity? (select all that apply)

- Advisory Board or Council member
 Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Peoples Academy

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I first moved to Chapel Hill just over 20 years ago as an undergraduate at UNC but after graduating I knew this was a special place to live. For the past 16 years I've worked as the Teaching Lab Manger for the Physics & Astronomy department at UNC, where I've used the position to create or help support programs that increase science education and outreach (often with a focus in energy sustainability). For the past three years I've served on the University Employee Forum, serving on the Communications and Public Relations committee. As a long time resident I've lived both as a renter in my early twenties as well as a home owner with my wife (first a townhome near the U Mall and then a single family home just across the Durham county line). My wife (who I met during undergrad) works for UNC Hospital and our goal is to stay residents through retirement, so I'm greatly interested in the long term health and viability of the parks and greenways of the town as well as the environmental health.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I recently completed the Peoples Academy provided by the town. I'm an amateur woodworker and podcaster (ha, I do not know if the last two really counts as relevant)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

35-54

Teaching Lab Manager, UNC

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

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I Agree

duncanjones@unc.edu

Email Address

Duncan

First Name

Jones

Last Name

Middle Initial

419 Westwood Drive

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Parks, Greenways & Recreation Commission

How did you find out about this opportunity? (select all that apply)

None Selected

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

Passion for recreational fishing, environmental justice, and accessibility.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

GIS skills, research and communication skills, experience as a river tour guide, experience in waterway cleanup, currently enrolled at UNC Planning.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

Duncan Jones

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Male**If other, please describe:**

Please select your age from the following list. * 18-24**Student**

Occupation**Are you a caregiver for or identify with a disability?**

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

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I Agree *

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Profile

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Public Records Statement

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I Agree

billpendergraft@gmail.com

Email Address

Bill

First Name

Middle Initial

Pendergraft

Last Name

808 Woodland Avenue

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Mobile: (843) 252-1116

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

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If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

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Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Parks, Greenways & Recreation Commission

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a 6th generation Chapel Hill native who founded and managed an educational media production business, allowing me to live and recreate in a variety of places worldwide. I returned to Chapel Hill for my retirement as I have two children and five grandchildren here. I believe that part of growing a thriving community is to include diverse opinion, putting wisdom to work.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have founded and managed an environmental education production company and have written and produced hundreds of environmental education projects worldwide, including NC programs for UNC TV, NC State Parks, The NC Museum of Natural Sciences and many citizen advisory groups. Additionally, I have produced content for The Nature Conservancy Worldwide Office, Grand Canyon National Park, The Palau Conservation Society, and others. I co-authored the guide to NC State Parks. I served on the Park Advisory Committee for Jordan Lake State Park. My family is heavily involved in the use of parks and park programs in Chapel Hill and its environs. I am a graduate of Chapel Hill High School, Guilford College, and The American University graduate program.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

over 55

Retired

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

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Public Records Statement

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I Agree

mltrumbower@gmail.com

Email Address

Marcella

First Name

Middle Initial

Twamley

Last Name

600 Eden Lane

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27517

Postal Code

Home: (302) 753-9877

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

1-3 years

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Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Which Board is your First Choice? *

Parks, Greenways & Recreation Commission

How did you find out about this opportunity? (select all that apply)

Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

Wes McMahon

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am a mother of two young girls who use the playgrounds and parks frequently. My four year old daughter is disabled and used a combination of a wheelchair and walker to move. I would like to see more inclusive features in parks and playgrounds for families like mine. I would also like to see more inclusive recreation for all disabled individuals in the community. I would love to serve as an advocate for families, caregivers, and disabled individuals within our community.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

Prior to being a stay at home mom, I worked a number of administrative assistant positions in addition to teaching English part time. I would love to put my communication and organization skills to good use for my community.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Caucasian/Non-Hispanic

Gender *

Female

If other, please describe:

Please select your age from the following list. *

25-34

Stay at home mom

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

Applications will be kept on file from July 1st to June 30th of the same fiscal year. Please reapply each fiscal year if you are still interested in serving on an Advisory Board, Commission, Committee or Task Force and have not yet been appointed.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

chris.worrell.1985@gmail.com

Email Address

Christopher

First Name

C

Middle Initial

Worrell

Last Name

308 Abbot Place

Street Address

Suite or Apt

CHAPEL HILL

City

NC

State

27516

Postal Code

Home: (910) 330-8437

Primary Phone

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Parks, Greenways and Recreation Commission: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Greenways Advocate and Chapel Hill Resident

Which Board is your First Choice? *

Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

Brochure

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

In many communities of all sizes across the country it has been proven that easy access to work/home/play for all economic levels benefits the community. Whether it is allowing more people to access our community through micro-transportation, accessible parking, public transit, or safely paved and divided bike lanes.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

As a policy professional, I have spent over a decade in community relations, most recently advocating for clean and micro-transportation policy adoption and the federal level and believe my network and knowledge can benefit the citizens of Chapel Hill by bringing resources to the community.

[Chris_Worrell_Resume.pdf](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Prefer not to Answer

Gender *

Male

If other, please describe:

Please select your age from the following list. *

35-54

Government Relations

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not discuss, advocate, or vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if a member has a separate, private, or monetary interest, either direct or indirect, in any issue or transaction under consideration. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to State Statute 106A-388(e)(2), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

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I Agree *

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CHRISTOPHER WORRELL

308 Abbot Pl Chapel Hill, NC 27516 | chris.worrell.1985@gmail.com | 910-330-8437

PROFESSIONAL EXPERIENCE**Environmental Defense Fund**, Washington, D.C., Government Relations Manager, February 2020 - Present

- Collaborates in the development and implementation of government relations and communications strategy with program staff.
- Authors press releases, blogs, social media, and op-ed's on behalf of EDF, our coalitions, and congressional allies.
- Represents EDF in engagement and building relationships with Congressional staff and members to support legislative action in sustainable agriculture, clean energy, resilience, and other climate policy areas.
- Cultivates and sustains stakeholder relationships across the federal, state, and business community.
- Monitors legislative proposals and policy trends to share with EDF and ensure teams are prepared to execute engagement opportunities.
- Develops best practices and implementation of federal affairs management software.
- Lead EDF's efforts to include clean energy, transportation, efficiency, and storage tax credit in the 2022 infrastructure and reconciliation packages.

Office of House Financial Services Ranking Member Patrick McHenry (NC-10), Washington, D.C., Legislative Assistant, June 2016 - February 2020

- Collaborated with the Natural Resources Committee, House Leadership, and a coalition of stakeholders on the passage of the Land and Water Conservation Fund Authorization which has an estimated \$442 million in economic activity and sustains more than 3,000 jobs from a \$214 million federal investment.
- Authored the reauthorization for the Blue Ridge National Heritage Area (BRNHA), which was included in S.47 and signed into law on March 12, 2019. The BRNHA contributes \$2.39 billion annually to the economy of the region, supporting more than 30,000 jobs and generates \$176.5 million annually in state and local tax revenue.
- Successfully petitioned USTR, Dept of Energy, and the Dept. of Commerce to grant a Bifacial High-Voltage Solar Panels exclusion from the Section 201 tariffs which have caused 435 MW of lost production and 3,300 lost jobs in North Carolina.
- Lead staffer for the Small Brewers Caucus and provided leadership for the inclusion of the Craft Beverage Modernization and Tax Reform Act, into the Tax Cuts and Jobs Act. This legislation provided approximately \$49 million per year in tax relief to help strengthen our nation's smallest brewers and support their efforts to maintain and generate jobs.
- Worked with the FDA and Hop Growers of America to exclude hops, which has an annual production value of \$583 million, from the Growing, Harvesting, Packing, and Holding of Produce for Human Consumption Rule.
- Helped sway USDA-ARS to increase their commitment to hops genetic/molecular research by using economic impact data to show the correlation between research dollars and economic output.

Office of Rep. Comstock (VA-10), Washington, D.C., Legislative Assistant, Jan. 2015 – June 2016

- Drafted Congresswoman's media presence among digital and print outlets for issues related to federal workers, science & technology, and drug policy.
- Spearheaded heroin task forces, forums, and regional roundtables, leading to the Comprehensive Addiction and Recovery Act (CARA) establishing a comprehensive strategy and \$181 million annually for grants program to expand prevention, education, treatment and recovery.
- Worked with committee staff to write the Research and Development Efficiency Act, which passed the House in the 114th Congress. It harmonizes, streamlines, and eliminates duplicative federal regulations and reporting requirements to minimize the regulatory burden on U.S. institutions of higher education performing federally funded research while maintaining accountability for federal tax dollars.

Comstock for Congress, Sterling, Virginia, Field Director, Jan. 2014 – Dec. 2014**Jacksonville Police Department**, Jacksonville, North Carolina, Police Officer I/II, Feb. 2008 – Feb. 2013**EDUCATION**

University of Mount Olive, Jacksonville, NC; B.A., Criminology, 2015



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 24., **File #:** [22-0520], **Version:** 1

Meeting Date: 6/8/2022

Appointments to the Transportation and Connectivity Advisory Board.

Staff:

Sabrina Oliver, Director/Town Clerk
Amy Harvey, Deputy Town Clerk
Brenton Hodge, Assistant Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council make appointments to the Transportation and Connectivity Advisory Board for three seats.



Attachments:

- Recommendation
- Ballot
- Applications

MEMORANDUM

TO: Mayor and Town Council

FROM: Josh Mayo, Transportation Planner I Transportation and Connectivity Advisory Board

SUBJECT: Recommendation for the vacancy(s)

DATE: May 24th, 2022

RECOMMENDATION: The Transportation and Connectivity Advisory Board met on May 24th, 2022 and by a 7-0 vote made the following recommendation(s) to the Town Council for consideration:

- Stephen Bevington, Appointment, Greenways Advocate
- Heather Brutz, Reappointment, Chapel Hill Resident
- Joseph Johnston, Appointment, Bicycle Advocate

SPECIAL REQUEST(s): No comment.

BACKGROUND: No comment.

Note: Communications and Public Affairs notes that the Transportation and Connectivity Advisory Board reviewed the following applications: Stephen Bevington, Heather Brutz, Matthew Glasgo, Joseph Johnston, Benjamin Kinght and Christopher Worrell. No additional applications were received between May 24, 2022 and June 1, 2022 for the Transportation and Connectivity Advisory Board.

Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

steve.bevington@gmail.com

Email Address

Stephen

First Name

Bevington

Last Name

Middle Initial

632 Kensington Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Home: (919) 638-6250

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

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Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Bicycle Advocate and Chapel Hill Resident

Which Board is your First Choice? *

Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

- Advisory Board or Council member
 Other (provide additional information below)

If you chose "Other" from the advertising opportunity listed above, please specify:

I am an existing Board Member (Storm water)

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I have been on the Stormwater Advisory Board for over two years and greatly enjoyed the opportunity to help protect the health, beauty and environment of Chapel Hill. Transportation is an essential part of each of our lives and I look forward to a chance to enhance our opportunities to safely and happily move around Town.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have held the position of Built Environment Program Director for the NC Division of Public Health. I also have been the Southeaster Field Representative for the East Coast Greenway. My current work involves stream corridors and greenways. I am an active bicyclist and green-streets advocate.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

over 55

Scientist

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

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Public Records Statement

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I Agree

brutzh@gmail.com

Email Address

Heather

First Name

Brutz

Middle Initial

Last Name

148 Ridge Trail

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (240) 281-0234

Primary Phone

Business: (919) 515-0277

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Homeowner or Tenant

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Bicycle Advocate and Chapel Hill Resident

Which Board is your First Choice? *

Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

Email

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I used to work for the Transportation for America campaign within Smart Growth America. I was the Field Director for the campaign and worked to engage stakeholders that were supportive of transportation policies that promoted a transportation system that supported environmentally sound, equitable, economically strong communities. Some of the relevant work that I did there included education around well-designed streets that are safe for all users, including bicyclists and pedestrians (Complete Streets) and the importance of access to public transit. I am passionate about supporting a holistic approach to transportation that makes it possible for all people to have transportation options, including biking, walking, and transit. I conducted focused education on ways that our transportation system could better serve distinct populations, including minority populations in urban areas, senior citizens, people in rural areas, Millennials, and suburban commuters. I built coalitions that included representatives from organizations as diverse as the Nashville Chamber of Commerce, the Urban League, the Navajo Nation Department of Transportation, the AARP, and local and national bicycle and pedestrian advocacy groups. I believe strongly in seeking feedback from all stakeholders to create a holistic approach to a transportation system that benefits everyone. I currently am the Transportation Finance and Operations Manager at the NC Clean Energy Technology Center, where I work with both private and public fleets across the state on ways that they can implement clean transportation technologies. In my current position, I have done research for the U.S. EPA on smart mobility initiatives across the United States. I wish to work to ensure that our transportation system in Chapel Hill is meeting the needs of all residents, including (but not limited to) students, low-income residents, senior citizens, and local businesses. I will actively seek feedback from a diverse range of stakeholders, using my experience in coalition-building around transportation to seek common ground so that decisions are made that best meet everyone's needs. I prefer to continue on to serve on the Transportation and Connectivity Advisory Board over the Housing Advisory Board, given my experience as chair. With regards to my experience on housing, I am co-chair of the Housing Committee for the Chapel Hill-Carrboro NAACP, where I work in solidarity with low-income residents of Chapel Hill to elevate their concerns as housing decisions are made.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I have been transit dependent in Chapel Hill in the past and still use transit a couple times per month. I am an occasional biker. Due to my professional experience on transportation policy related to bicyclist and pedestrian safety I feel qualified to continue on as the bicycle advocate but I also could serve as a Chapel Hill resident.

[Heather Brutz resume.doc](#)

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Female**If other, please describe:**

Please select your age from the following list. *

 35-54

Clean Transportation Senior
Program Manager

Occupation

Are you a caregiver for or identify with a disability?

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

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I Agree *

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HEATHER BRUTZ

brutzh@gmail.com
 (240) 281-0234
 linkedin.com/in/hbrutz

EDUCATION

UNIVERSITY OF NORTH CAROLINA, Kenan-Flagler Business School – Chapel Hill, NC 2015
Master of Business Administration (MBA), Full-Time Program

- Beta Gamma Sigma member—awarded to the top 20% of the graduating class

WILLIAMS COLLEGE – Williamstown, MA 2002
Bachelor of Arts, Political Science and Environmental Studies, graduated *cum laude*

EXPERIENCE

NC CLEAN ENERGY TECHNOLOGY CENTER, NC STATE UNIVERSITY – Raleigh, NC Current
Clean Transportation Program Manager

- Provided technical assistance to businesses and government agency fleets on implementation of clean transportation technologies
- Directed the NC Smart Fleet initiative and increased the number of participating fleets by 55%
- Wrote textbook for national fleet management organization on sustainable fleet management

UNC KENAN-FLAGLER SUSTAINABILITY CAPSTONE – Chennai, India and Eastern NC 2015
Student Consultant

- Investigated options for a water ferry system on the Albemarle Sound and recommended option for further investigation
- Researched market for off-grid solar products in India for a multinational solar company

DUPONT – Wilmington, DE 2014
Market Driven Leadership Development Program Intern, DuPont Photovoltaic Solutions

- Identified potential new markets in U.S. and Europe for a protective film, including an emerging field with the potential to be a \$50M market
- Created idea for potential new product working in conjunction with 4 scientists and engineers and created roadmap for further testing and development steps

TRANSPORTATION FOR AMERICA – Washington, DC 2010-2013
Deputy Field Director (2012-2013)

- Created and implemented outreach strategies for the 8-person field team to build bipartisan support for federal transportation policies that promote local control, economic development, and public health

Regional Organizer (2010-2012)

- Built relationship with and mobilized stakeholders in southern and western states, including Tennessee, Florida, New Mexico, Idaho, South Dakota, and Washington
- Supervised organizers in California, Montana, Minnesota, Oregon

PARTNERSHIP PROJECT – Washington, DC 2009-2010
Nonprofit organization that coordinates the advocacy efforts of national environmental organizations

Clean Energy Works Field Coordinator

- Managed the development of a database to track the coordinated actions of 220 field organizers in 10 environmental organizations to build support for a federal comprehensive clean energy and climate bill
- Organized a DC Lobby Day with over 200 businesses encouraging Congress to pass a climate bill

ADDITIONAL

- Fluent in Spanish

Profile

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Public Records Statement

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I Agree

mattglasgo@gmail.com

Email Address

Matthew

First Name

Glasgo

Middle Initial

Last Name

108 Timber Hollow Court

Street Address

#364

Suite or Apt

Chapel Hill

City

NC

State

27514

Postal Code

Mobile: (916) 218-2815

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

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If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Housing Advisory Board

Select a Seat Category for the Housing Advisory Board *

Homeowner or Tenant

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Chapel Hill Resident

Which Board is your First Choice? *

Town Council

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I am interested in affordable housing for non-homeowners, ADA compliance, improving public spaces, and green transportation alternatives. I am also interested in making the town more livable for town employees and couples looking to start a family.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

I work for the Department of Public Works and my partner is an Occupational Therapist getting her PhD in Occupational Science. She is concerned with accessibility for individuals with limited mobility.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

25-34

Administration Assistant-
Communications Specialist

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Profile

Whenever possible, submit your application prior to the scheduled meeting of the affected advisory board so that they can consider all applications prior to making a recommendation to Council.

Public Records Statement

I acknowledge that all information submitted in this application becomes a public record and will be searchable online. The Town is not able to remove information from the public record once it has been posted.

I Agree

joecyclist@gmail.com

Email Address

Joseph

First Name

M

Middle Initial

Jjohnston

Last Name

750 WEAVER DAIRY RD, APT 2215

Street Address

Suite or Apt

CHAPEL HILL

City

NC

State

27514

Postal Code

Home: (919) 918-3356

Primary Phone

Mobile: (919) 360-9573

Alternate Phone

Residency within the Town limits is required for membership on most Council advisory bodies. Memberships of some committees and task forces may be composed of up to forty percent of non-Town residents.

What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

4-9 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Bicycle Advocate and Chapel Hill Resident

Which Board is your First Choice? *

Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

Advisory Board or Council member

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

I SERVED ON RALEIGH TRANIST AUTHORITY FORM 2001-2006

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

ELECTRICAL ENGINEER, RADIO AMATEUR

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

The Town Council seeks to attract persons from diverse backgrounds and believes that childcare and transportation is a potential barrier for qualified and interested applicants. See the [Childcare and Transportation Assistance pilot](#) for further details. In order to consider this application and provide some balance to the various boards, this personal information is required:

Ethnicity *

 Caucasian/Non-Hispanic**Gender ***

 Male**If other, please describe:**

Please select your age from the following list. * over 55

RETIRED ELECTRICAL
ENGINEER

Occupation

Are you a caregiver for or identify with a disability?

 Yes No**Have you participated in the Peoples Academy?**

 Yes No**Are you a Town of Chapel Hill employee?**

 Yes No

Ethics Statement

ETHICS GUIDELINES FOR TOWN ADVISORY BOARDS AND COMMISSIONS

Members of advisory boards and commissions shall not vote on any matter in which they have a conflict of interest or an interest which reasonably might appear to be in conflict with the concept of fairness in dealing with public business. A conflict of interest or a potential conflict occurs if the outcome of the matter being considered is reasonably likely to have a direct, substantial, and readily identifiable financial impact on the member. In addition, members of the Historic District Commission and Board of Adjustment, when these boards are hearing cases, serve as quasi-judicial bodies. Pursuant to General Statute 160D-109(d), members of these boards “shall not participate in or vote on any quasi-judicial matter in a manner that would violate affected persons’ constitutional rights to an impartial decision maker. Impermissible violations of due process include, but are not limited to, a member having a fixed opinion prior to hearing the matter that is not susceptible to change, undisclosed ex parte communications, a close familial, business, or other associational relationship with an affected person, or a financial interest in the outcome of the matter.”

Any member who violates these Ethics Guidelines may be subject to removal from the board or commission. If the advisory board or commission member believes he/she has a conflict of interest then that member shall recuse himself/herself from voting on the matter. In cases where the individual member or the advisory board or commission establishes a conflict of interest, then the advisory board or commission member shall remove themselves from the voting area. Any advisory board or commission member may seek the counsel of the Town Attorney on questions regarding the interpretation of these ethics guidelines or other conflict of interest matters. The interpretation may include a recommendation on whether or not the advisory board or commission member should excuse himself/herself from voting. The advisory board or commission member may request the Town Attorney respond in writing.

I Agree *

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Profile

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Public Records Statement

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I Agree

ben.brown.knight@gmail.com

Email Address

Benjamin

First Name

B

Middle Initial

Knight

Last Name

508 Ironwoods Dr

Street Address

Suite or Apt

Chapel Hill

City

NC

State

27516

Postal Code

Home: (919) 945-4683

Primary Phone

Alternate Phone

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What district do you live in? *

Chapel Hill Town limits (Purple)

[Please consult the town maps HERE if you are unsure.](#)

If you are a Chapel Hill Resident, How long have you lived here?

Greater than 10 years

The Council encourages you to visit a meeting of the group that you are interested in serving on. Please choose no more than two groups from the list below to which you would like to apply.

Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Chapel Hill Public Library Advisory Board

Select a Seat Category for the Chapel Hill Public Library Advisory Board *

Chapel Hill Resident

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Chapel Hill Resident

Which Board is your First Choice? *

Chapel Hill Library Advisory Board

How did you find out about this opportunity? (select all that apply)

Internet

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

For the library advisory board, I bring my perspective as a high school student, who makes frequent use of the Chapel Hill Public Library in addition to the CHCCS and UNC libraries. I have also volunteered at the Chapel Hill Public Library, so I have a good sense of how its operations impact patrons' experiences. For the transportation advisory board, I bring my perspective as a user of Chapel Hill Transit, biker, and walker.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

In addition to an interest in access to knowledge and public libraries, I bring experience participating in the governance of the Interference Archive in Brooklyn, New York. I have also served on the SIT at Smith Middle School and in leadership positions of large clubs in CHCCS, which have provided me experience in community outreach and engaging with diverse stakeholders.

You may upload a supporting document (e.g., CV or resume). **Please be advised that any information submitted becomes a public record and may be searchable online.**

Demographics

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Ethnicity *

Caucasian/Non-Hispanic

Gender *

Male

If other, please describe:

Please select your age from the following list. *

18-24

High school student _____

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

Ethics Statement

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I Agree *

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Public Records Statement

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I Agree

chris.worrell.1985@gmail.com

Email Address

Christopher

First Name

C

Middle Initial

Worrell

Last Name

308 Abbot Place

Street Address

Suite or Apt

CHAPEL HILL

City

NC

State

27516

Postal Code

Home: (910) 330-8437

Primary Phone

Alternate Phone

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What district do you live in? *

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If you are a Chapel Hill Resident, How long have you lived here?

0-12 months

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Which Boards would you like to apply for?

Transportation and Connectivity Advisory Board: Eligible

Question applies to Parks, Greenways and Recreation Commission

Select a Seat Category for the Parks, Greenways and Recreation Commission *

Chapel Hill Resident

Question applies to Transportation and Connectivity Advisory Board

Select a Seat Category for the Transportation and Connectivity Advisory Board *

Greenways Advocate and Chapel Hill Resident

Which Board is your First Choice? *

Transportation and Connectivity Advisory Board

How did you find out about this opportunity? (select all that apply)

Brochure

If you chose "Other" from the advertising opportunity listed above, please specify:

Interests & Experiences

What perspective(s) do you bring to the board(s), commission(s), committee(s) or task force(s) to which you are applying?

In many communities of all sizes across the country it has been proven that easy access to work/home/play for all economic levels benefits the community. Whether it is allowing more people to access our community through micro-transportation, accessible parking, public transit, or safely paved and divided bike lanes.

Please provide a brief summary of any other relevant qualifications (skills, abilities, interests and/or experience) you bring.

As a policy professional, I have spent over a decade in community relations, most recently advocating for clean and micro-transportation policy adoption and the federal level and believe my network and knowledge can benefit the citizens of Chapel Hill by bringing resources to the community.

[Chris_Worrell_Resume.pdf](#)

You may upload a supporting document (e.g., CV or resume). Please be advised that any information submitted becomes a public record and may be searchable online.

Demographics

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Ethnicity *

Prefer not to Answer

Gender *

Male

If other, please describe:

Please select your age from the following list. *

35-54

Government Relations

Occupation

Are you a caregiver for or identify with a disability?

Yes No

Have you participated in the Peoples Academy?

Yes No

Are you a Town of Chapel Hill employee?

Yes No

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CHRISTOPHER WORRELL

308 Abbot Pl Chapel Hill, NC 27516 | chris.worrell.1985@gmail.com | 910-330-8437

PROFESSIONAL EXPERIENCE**Environmental Defense Fund**, Washington, D.C., Government Relations Manager, February 2020 - Present

- Collaborates in the development and implementation of government relations and communications strategy with program staff.
- Authors press releases, blogs, social media, and op-ed's on behalf of EDF, our coalitions, and congressional allies.
- Represents EDF in engagement and building relationships with Congressional staff and members to support legislative action in sustainable agriculture, clean energy, resilience, and other climate policy areas.
- Cultivates and sustains stakeholder relationships across the federal, state, and business community.
- Monitors legislative proposals and policy trends to share with EDF and ensure teams are prepared to execute engagement opportunities.
- Develops best practices and implementation of federal affairs management software.
- Lead EDF's efforts to include clean energy, transportation, efficiency, and storage tax credit in the 2022 infrastructure and reconciliation packages.

Office of House Financial Services Ranking Member Patrick McHenry (NC-10), Washington, D.C., Legislative Assistant, June 2016 - February 2020

- Collaborated with the Natural Resources Committee, House Leadership, and a coalition of stakeholders on the passage of the Land and Water Conservation Fund Authorization which has an estimated \$442 million in economic activity and sustains more than 3,000 jobs from a \$214 million federal investment.
- Authored the reauthorization for the Blue Ridge National Heritage Area (BRNHA), which was included in S.47 and signed into law on March 12, 2019. The BRNHA contributes \$2.39 billion annually to the economy of the region, supporting more than 30,000 jobs and generates \$176.5 million annually in state and local tax revenue.
- Successfully petitioned USTR, Dept of Energy, and the Dept. of Commerce to grant a Bifacial High-Voltage Solar Panels exclusion from the Section 201 tariffs which have caused 435 MW of lost production and 3,300 lost jobs in North Carolina.
- Lead staffer for the Small Brewers Caucus and provided leadership for the inclusion of the Craft Beverage Modernization and Tax Reform Act, into the Tax Cuts and Jobs Act. This legislation provided approximately \$49 million per year in tax relief to help strengthen our nation's smallest brewers and support their efforts to maintain and generate jobs.
- Worked with the FDA and Hop Growers of America to exclude hops, which has an annual production value of \$583 million, from the Growing, Harvesting, Packing, and Holding of Produce for Human Consumption Rule.
- Helped sway USDA-ARS to increase their commitment to hops genetic/molecular research by using economic impact data to show the correlation between research dollars and economic output.

Office of Rep. Comstock (VA-10), Washington, D.C., Legislative Assistant, Jan. 2015 – June 2016

- Drafted Congresswoman's media presence among digital and print outlets for issues related to federal workers, science & technology, and drug policy.
- Spearheaded heroin task forces, forums, and regional roundtables, leading to the Comprehensive Addiction and Recovery Act (CARA) establishing a comprehensive strategy and \$181 million annually for grants program to expand prevention, education, treatment and recovery.
- Worked with committee staff to write the Research and Development Efficiency Act, which passed the House in the 114th Congress. It harmonizes, streamlines, and eliminates duplicative federal regulations and reporting requirements to minimize the regulatory burden on U.S. institutions of higher education performing federally funded research while maintaining accountability for federal tax dollars.

Comstock for Congress, Sterling, Virginia, Field Director, Jan. 2014 – Dec. 2014**Jacksonville Police Department**, Jacksonville, North Carolina, Police Officer I/II, Feb. 2008 – Feb. 2013**EDUCATION**

University of Mount Olive, Jacksonville, NC; B.A., Criminology, 2015