



TOWN OF CHAPEL HILL
 Planning & Sustainability

Planning: 919-969-5066 planning@townofchapelhill.org

Ephesus/Fordham Certificate of Appropriateness Application

A Certificate of Appropriateness must be approved prior to the issuance of a Form District Permit, Zoning Compliance Permit or any other permit granted for the purposes of constructing or altering buildings or structures. No exterior portions of any building or other structures, or any above-ground utility structure, may be erected, altered, restored, or moved within the Ephesus-Fordham Form District as defined in LUMO 3.11.2., until a Certificate of Appropriateness has been issued per LUMO 3.11.4.7.D.1 A Certificate of Appropriateness is not required for ordinary maintenance, repair, or any change certified by the Building Inspector or similar official as required for public safety per LUMO 3.11.4.7.D.2.

A Certificate of Appropriateness must be issued within 60 calendar days of acceptance of a complete application, either, issue, issue with conditions, deny the Certificate of Appropriateness, or applicant must request a time extension per LUMO 3.11.4.2.D.4. For additional information, please contact the Planning Department at (919) 969-5066 or at planning@townofchapelhill.org. Information on the form based code, including the adopted code itself, can be found at www.townofchapelhill.org/ephesusfordham

OFFICE USE:	Project Number:		
Submission Date		Meeting Date:	
Accepted Date:		Decision Deadline:	

Section A: Project Information

Project Name:	Tarheel Lodging Redevelopment		
Property Owner:	Atma Hotel Group	Parcel Identifier Number (PIN)(s):	O.C. PIN #'s 9799460556, 9799368876, 9799461879
Project Address:	1742 & 1740 Fordham Blvd		
Project Description:	Phase-I: Demolition of Hong Kong restaurant and development of TRU Hotel by Hilton (97 +/- Rooms) Phase-II: Demolition of Quality Inn and the development of a second commercial building (30,000 +/- sf) or hotel (100+/- rooms) and multi-family residential 260+/-du with structured parking		

Section B: Contact Information

Name:	Scott Murray				
Address:	1450 Environ Way				
City:	Chapel Hill	State:	NC	Zip Code:	27517
Phone Number:	252-213-9501	E-Mail:	smurray@stmlandplan.com		

The undersigned applicant hereby certifies that, to the best of his knowledge and belief, all information supplied with this application is true and accurate and hereby authorizes on-site review by staff.

Applicant Signature: Scott T. Murray Date: 1-19-2018

Property Owner Signature: [Signature] Date: 1-19-18

Ephesus-Fordham Certificate of Appropriateness Application

C. Procedures for Review

1. When considering a Certificate of Appropriateness, the Community Design Commission shall consider and make a determination by majority vote as to the completeness of application materials.
2. An application determined to be complete will be considered at the same meeting. During the same meeting the Community Design Commission may approve, approve with conditions, deny, or table the application.
3. An application determined to be incomplete by staff will not be heard at that same meeting. The applicant shall be notified in writing as to the deficiencies and shall be permitted to amend the application to provide a complete application.

D. Submittal Requirements

A complete application includes the items listed below. Their absence will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org. For detailed information, please refer to the Description of Detailed Information handout.

<input checked="" type="checkbox"/>	Application fee (refer to fee schedule)	Amount Paid \$	<input type="text" value="400.00"/>
<input checked="" type="checkbox"/>	Digital Files - provide digital files of all plans and documents		
<input checked="" type="checkbox"/>	Mailing list of owners of property within 100 feet perimeter of subject property (see GIS notification tool)		
<input checked="" type="checkbox"/>	Mailing fee for above mailing list	Amount Paid \$	<input type="text" value="5.60"/>
<input checked="" type="checkbox"/>	Written Narrative describing the proposal — See below		
<input checked="" type="checkbox"/>	Plan Set — see below		
<input checked="" type="checkbox"/>	Reduced Site Plan Set (reduced to 8.5"x11")		

1. Written Narrative

This section of the application allows the Commission to see the current state of the property, to visualize the proposed changes, and to assess the impact in the context of the Code. Describe all proposed changes to the property, list all materials to be used, and address the criteria (listed below) that the Commission uses to determine appropriateness. Presenting your proposal with these criteria in mind will provide a clear basis for the Commission's deliberations.

- a) The exterior construction materials, including textures and patterns;
- b) The architectural detailing such as lintels, cornices, brick bond, and foundation materials;
- c) The proportion, shape, location, pattern, and size of any elements of fenestration (windows, doors);
- d) The accessory fixtures and other features (including masonry walls, fences, light fixtures, steps and pavement)
- e) Elevations and dimensions
- f) Interior floor plan

Provide photographs of existing property and elevation drawings of the proposed changes. Depict changes in as much detail as possible, paying special attention to those features which the Commission uses to determine appropriateness. The visual description must include dimensions.

Ephesus-Fordham Certificate of Appropriateness Application

2. Plan Sets (10 copies to be submitted no larger than 24"x36")

Plans should be legible and clearly drawn. All plan sets sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property Boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Revision dates and professional seals and signatures, as applicable

2.A Cover Sheet

- a) Include Project Name, Project fact information, PIN, Design team

2.B Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated public amenity space and recreation space,
- c) Zoning district boundaries
- d) Property lines, project names of site and surrounding properties, significant buildings
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, street names

2.C Detailed Site Plan

- a) Existing and proposed building locations
- b) Roads, topography, features, existing vegetation, vistas (on & off-site)
- c) Location, arrangement & dimension of vehicular parking, number of spaces, typical pavement sections & surface type
- d) Lighting fixtures
- e) Landscaping pertaining to building elements, and construction trailer location

2.D Detailed Exterior Building Elevations

- a) Detailed Building Elevations
 - A detailed list including all materials, textures, and colors for each building. If all buildings are the same, a combined list of materials, texture, and colors is acceptable. All windows, doors, light fixtures, and other appurtenant features must indicate type, style, and color.
 - A straight-on, one-dimensional view of each street-facing building façade.
 - Color renderings, sketches, or perspective drawings.
 - Do not include signage
- b) Cross-Sections: Provide simple, typical cross-section(s) indicating how the buildings are placed on the site in relationship to topography, public access, existing vegetation, or other significant site features.
- c) Above ground utility structures. Show how these units will be screened from the view of any relevant public rights-of-way.

Tarheel Lodging Redevelopment

Developer's Written Narrative

January 23, 2018

Revised: February 18, 2018

The proposed redevelopment of the Tarheel Lodging site encompasses three adjoining parcels involving multiple land uses and multiple phases. The three parcels include the existing Hong Kong Restaurant, the Quality Inn and a vacant parcel between Jiffy Lube and the Quality Inn. Contractual obligations require that the existing Quality Inn remain in operation during the construction of the TRU Hotel and other Phase-I improvements. Following the opening of the TRU Hotel, the Developer intends to begin construction of Phase-II which includes the redevelopment of the existing Quality Inn site and the development of the structured parking and the second Block-1 pad site.

The site is characterized by an extraordinarily awkward parcel configuration and severe topographic challenges. Specifically the opportunity to create smaller block sizes and a meaningful street pattern is constrained by severe slopes along the Europa Center boundary, existing driveway alignment alongside Jiffy Lube and future Hillstone St. connection points that are acceptable to the Town and NCDOT.

These attributes offer many opportunities to further the goals and objectives of the Blue Hill District while at the same time imposing severe limitations on acceptable layout and design. The site plan proposed is the product of extended analysis of multiple options by the Developer, Town Staff, NCDOT and Town of Chapel Hill Fire Department. The alignment of the new streets dictates the forms presented which in turn precipitates the need for requests of several minor Design Alternatives.

The Design Alternatives presented are described below and in each case a statement of mitigating factors is included. Each Design Alternative proposed seeks to balance the highest level goals of walkability, streetscape activity and form with site constraints and generally minor conflicts with the Form Based Code requirements.

Design Alternatives Proposed

Design Alternative-1: Sect. 3.11.2.4 Block Parameters - Maximum Block Length 450'

A request to approve a 550' Block Length along Street-1 (south)

Reasons for Request: The configuration of the project area coupled with severe topography (16'-23'+ vertical differential) along the Europa Center boundary, limits opportunities for structured parking placement which influences suitable Block Sizes. The Europa Center parking deck is located adjacent to this common boundary limiting through connections in the event of redevelopment of the Europa Center site.

Mitigating Factors: The proposed location of the south parking deck makes maximum use of the grade differential and existing retaining wall to conceal required parking and service areas. Its proposed location is adjacent to the Europa Center parking deck which avoids conflicts between living and service areas. The proposed block size and alignment for a future street optimizes future connection opportunities along the northern façade of the Europa Center offices and occurs in a location where

slopes are minimal. A maximum block perimeter of 1,865' could be provided by a future connection to the existing drive from the proposed connection point and extending along the western façade of the Europa Center offices.

Design Alternative-2: Sect. 3.11.2.4 Lot Parameters-D Maximum Pass-Through Spacing 330'

A request to approve a 530' Building Pass-Thru spacing along Street-1 (south)

Reasons for Request: The configuration of the project area coupled with severe topography (16'-23'+ vertical differential) along the Europa Center boundary, limits opportunities for garage placement further limiting suitable Pass-Thru opportunities.

Mitigating Factors: The proposed Pass-Thru to the adjoining property is strategically located where opportunities for future street and pedestrian connections are maximized. Slopes in this location are minimal allowing for efficient ADA access and connection to attractive and inviting pedestrian spaces along the northern façade of the Europa Center offices and pond feature.

Design Alternative: Sect. 3.11.2.7.F.4 - Outdoor Amenity Space (d)

A request to approve up to 61% Amenity Space as a percentage of the Build-to-Zone Frontage requirement along Street-1 (north side)

Reasons for Request: The parcel configuration and size limits structured parking opportunities in order to maximize Build-to-Zone Frontage requirements along the proposed new streets. While a suitable location exists for structured parking within Block-1, the proposed parking deck cannot accommodate an internally ramped deck. Ramping must occur in the location shown which limits the ability to extend architecture in that area. In combination with Amenity Space-2, which was determined to be a highly desirable location during the Urban Design Session with Staff, the percentage of allowed amenity space (50% as a maximum percentage of the proposed frontage) is exceeded.

Mitigating Factors: The total amenity space and building frontage proposed (69%) exceeds the minimum requirement of 60%. Structured parking is strategically located to serve the uses within Block-1. A highly visible and prominent Amenity Space-2 is provided at the new street intersection as recommended during the Urban Design Session. The juxtaposition of the parking ramp with its masonry façade will serve as a high-quality architectural backdrop to Amenity Space-3. Amenity Space-3 is a large, important outdoor space strategically located to serve the pedestrian pass-thru to future Advance Auto redevelopment as well as the future multi-family residents.

Design Alternative-4: Sect. 3.11.2.4 Build-to-Zone Type-A2 Street

A request to approve 53% Build-to-Zone Frontage along Street-2 (north side)

Reasons for Request: The proposed Street-2 connection to the adjacent Europa Center parcel aligns with an acute property corner due to unique parcel configuration. This alignment was chosen to best provide for fire access to the parking deck and to minimize impacts to steep slopes which increase as one moves south of this location. Any expansion of proposed building envelope at Hillstone St. would

encroach into proposed walkway and restrict fire access. The calculated Build-to-Zone Frontage without the 27.5' abnormal R.O.W. extension would be 64.4%, exceeding the minimum 60% requirement.

Mitigating Factors: The proposed Street-2 alignment was dictated by the required offset to the Hillstone driveway connections and required NCDOT Legion Rd. protected stem length. This alignment provides minimum street slope for a future connection to the Europa Center drive aisle maximizing opportunities for the connection. Abnormal street frontage length is created by R.O.W. extension (27.5') to the acute property line.

Design Alternative-5: Sect. 3.11.2.5 Frontages - Parking Location

A request to allow reduced setback (15') to parking deck from proposed R.O.W. (north side)

Reasons for Request: The configuration of the overall project parcels, adjacent street design, driveway connections/offsets and protected stem requirements limit the alignment of new streets to those shown. This constraint further dictates where structured parking can be located and accessed while maximizing building façade frontage along streets. Limitations in parking deck sizing and design also contribute to the final site layout. While a curve could be induced into the Street-2 alignment to avoid this setback conflict the resulting alignment would impact steeper slopes and increase the CL slope of the future connection.

Mitigating Factors: The proposed parking deck is located in a way that positions it adjacent to similar Europa Center parking facilities that provide no setback to the drive. Screening of the lower parking level make use of the grade differential that exists between the two sites. Additional evergreen landscape screening is proposed to help screen the parking structure. This alignment of Street-2, the accommodation of essential fire access, additional screening and the nature of the adjoining property uses (parking) combine to mitigate a reduced parking deck setback in this location.

Design Alternative-6: Sect. 3.11.2.4 Build-to-Zone Type-A2 Street

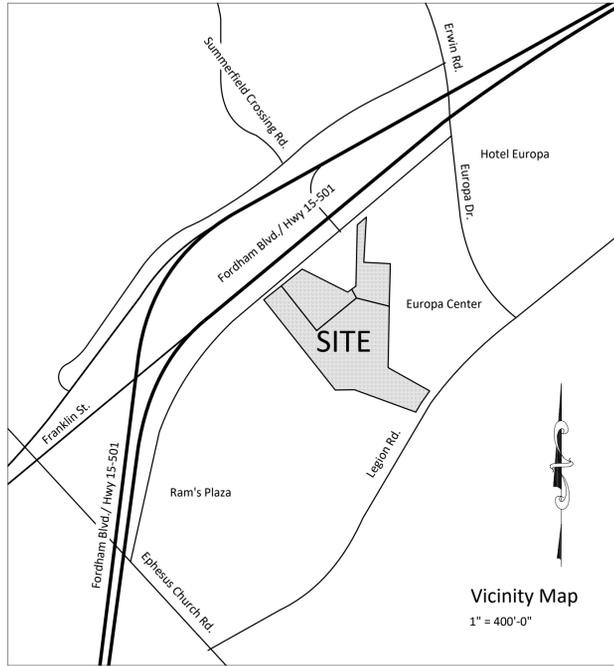
Build-to-Frontage

A request to approve a 55% Build-to-Zone Frontage along Street-2 (south side)

Reasons for Request: In order to accommodate functional "T" turnaround for fire access to garage and access to subgrade parking building façade frontage along this street is constrained. The proposed Street-2 connection to the adjacent Europa Center parcel is dictated by the configuration of the overall project parcels, adjacent street design, driveway connections/offsets and protected stem requirements.

Mitigating Factors: The current configuration provides necessary fire access to the proposed structured parking and access to garage parking concealed below the proposed building facing Legion Rd. This accommodation coupled with the nature of the adjoining property uses to the east (parking deck) combine to mitigate the impact of a reduced building frontage along Street-2 in exchange for maximum building frontage along the adjacent Hillstone St.

End



Tarheel Lodging Redevelopment

1742 FORDHAM BLVD. | CHAPEL HILL, NORTH CAROLINA

Certificate of Appropriateness Technical Plan Set

January 23, 2018
Revised: February 18, 2018

PIN # 9799368876, 9799460556, 9799461879

Developer:

ATMA HOTEL GROUP

6110 Falcon Bridge Rd. | Chapel Hill, NC 27517

Applicant:

Scott Murray Land Planning, Inc.
1450 Environ Way
Chapel Hill, NC 27517
Contact: Scott Murray
252-213-9501
smurray@stmlandplan.com

Developer:

ATMA Hotel Group
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Chapel Hill, NC 27517
Contact: Neil Kapadia
(704) 806-7615
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Engineering:

Pennoni
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Chapel Hill, NC 27514
Contact: Justin Brown
(919) 230-9211
jbrown@pennoni.com

Architects:

The RBA Group
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Charlotte, NC 28203
Contact: CHRISTOPHER BYERS, AIA
(980) 256-7640
cbyers@therbagroup.com

Sheet Index

- C-0 Cover Sheet
- C-1 Area Map & Site Photographs
- C-2 Existing Conditions Map
- C-2.1 Site Constraints & Opportunities
- C-3.0 Overall Site Plan Phases I & II
- C-3.1 Site Plan Block-1 Phase I
- C-3.2 Site Plan Block-1 Phase II
- C-3.3 Site Plan Blocks-2 & 3 Phase II
- C-3.4 Overall Site Plan - Design Alternatives

Site Data

PIN	9799460556, 9799368876, 9799461879
Address	1740 & 1742 Fordham Blvd.
Existing Zoning	WX-5 & WX-7
Overlay Zoning	Ephesus Fordham/Blue Hill District Jordan Lake Watershed Protection District
Site Area	
Net Site Area	6.34 ac (276,170 sf)
10% Open Space	0.63 ac (27,617 sf)
Total GLA	6.97 ac (303,787 sf)
Area in RCD Stream Buffers	0 ac (0 sf)

Summary of Design Alternatives (DA)

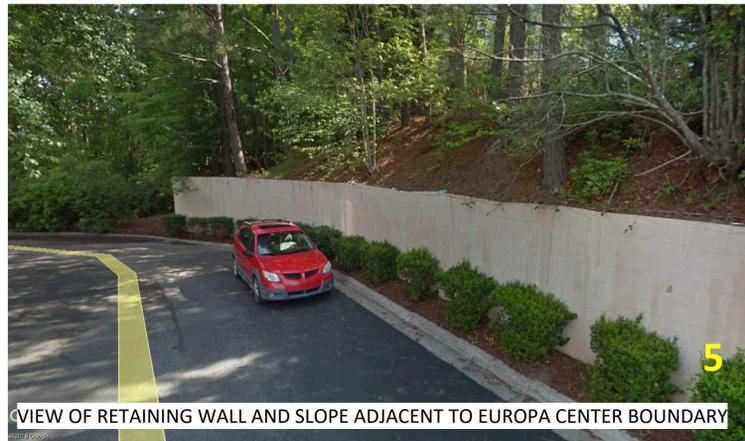
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- DA-2:** A request to approve a 530' Building Pass-Thru spacing along Street-1 (south).
- DA-3:** A request to approve up to 61% Amenity Space as a percentage of the Build-to-Zone Frontage requirement along Street-1 (north side).
- DA-4:** A request to approve 53% Build-to-Zone Frontage along Street-2 (north side).
- DA-5:** A request to allow reduced setback (15') to parking deck from proposed R.O.W. (north side).
- DA-6:** A request to approve a 55% Build-to-Zone Frontage along Street-2 (south side)

Note: Design Alternative dimensions noted are based on historic survey data and are therefore approximate. Adjustments to dimensions may be necessary to reconcile with final survey data.



VIEW WESTERLY TOWARDS JIFFY LUBE DRIVE CONNECTION

1



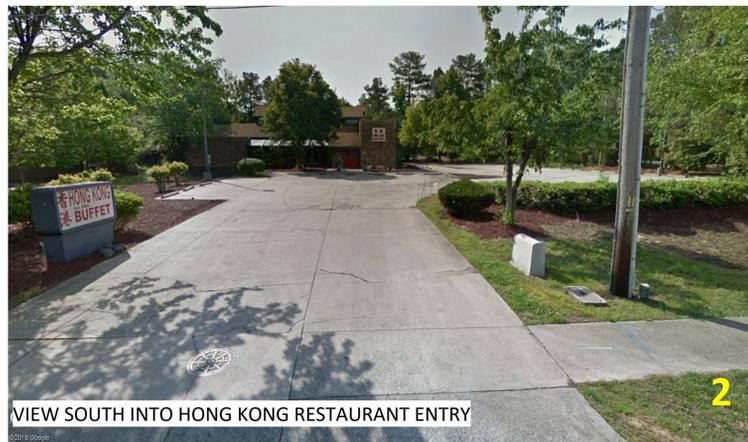
VIEW OF RETAINING WALL AND SLOPE ADJACENT TO EUROPA CENTER BOUNDARY

5



VIEW EASTERLY ALONG NEW STREET-1 CL - QUALITY INN PORTICO TO THE RIGHT

6



VIEW SOUTH INTO HONG KONG RESTAURANT ENTRY

2



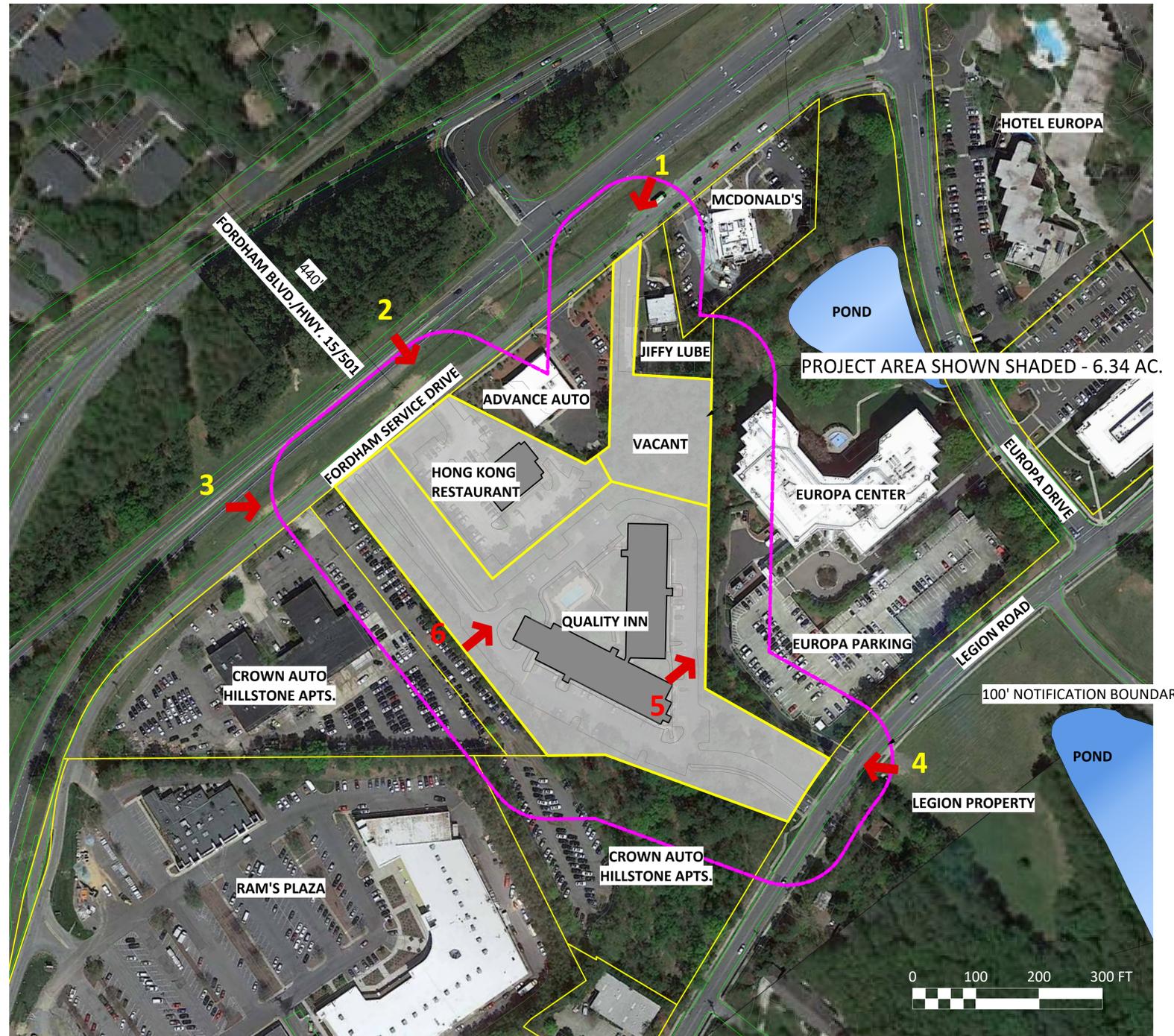
VIEW EASTERLY TOWARDS QUALITY INN ENTRANCE ACROSS HILLSTONE STREET FUTURE CONNECTION

3



VIEW FROM LEGION RD INTO EUROPA CENTER PARING DRIVE - QUALITY INN TO LEFT

4



PROJECT AREA SHOWN SHADED - 6.34 AC.

100' NOTIFICATION BOUNDARY



SCOTT MURRAY
LAND PLANNING, INC.
Landscape Architecture | Environmental Design | Project Management

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www.stmlandplan.com
smurray@stmlandplan.com

Project:

**Tarheel Lodging
Redevelopment**
Chapel Hill, North Carolina

Developer:

Atma Hotel Group

Sheet Title:

**Area Map
and Site
Photographs**

No.	Date:	Issue Notes:

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CONSTRUCTION**

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Scale:	C-1 of
as shown	
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Drawing No.:	na

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Project:
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Chapel Hill, North Carolina

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Sheet Title:
**Site
Constraints
and
Opportunities**

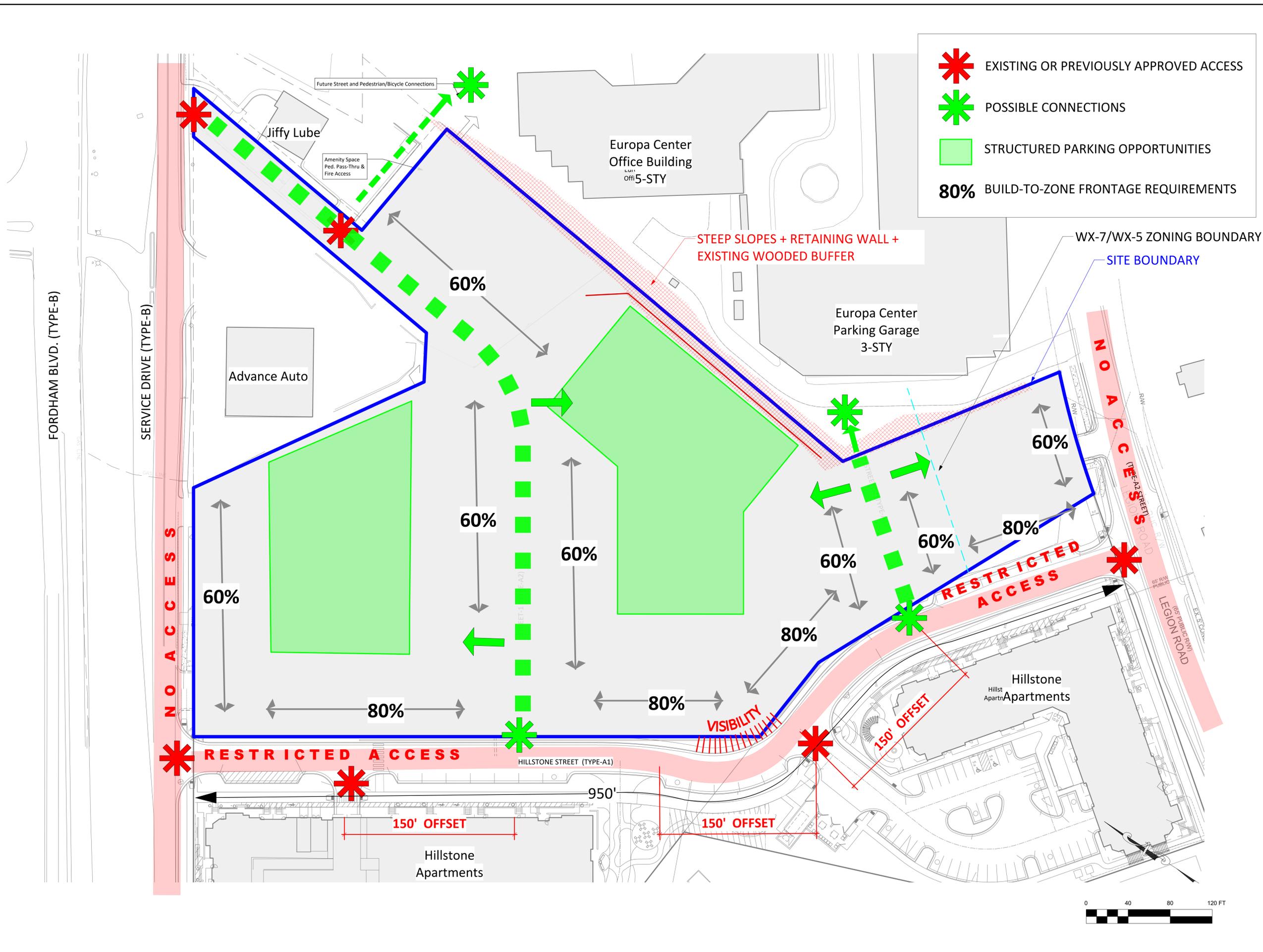
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Date: Feb. 18, 2018	
Drawn By: STM	
Drawing No.: na	

-  EXISTING OR PREVIOUSLY APPROVED ACCESS
-  POSSIBLE CONNECTIONS
-  STRUCTURED PARKING OPPORTUNITIES
- 80%** BUILD-TO-ZONE FRONTAGE REQUIREMENTS



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Project:
**Tarheel Lodging
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Chapel Hill, North Carolina

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Sheet Title:
**Overall Site
Plan
Phases I & II**
Street Level

No. Date: Issue Notes:
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Build-To Frontages Required/Provided							[Bold Print % = Highest Priority Streets]				
Street ID	Frontage Type	Build-To % Required	Street Frontage (LF)	Building Facade	Amenity Space Frontage	Total Bldg & Amenity Space Frontage	% of Bldg. & Amenity Space Provided	Variance Provided vs Required	% of Amenity Space to Required Frontage (Max. 50%)	Design Alternate Proposed	Reference Notes
Fordham Blvd./Service Dr	B	60%	220.0 LF	203.0 LF	0.0 LF	203.0 LF	92.3%	32.3%	0.0%		
Hillstone Street	A1	80%	789.5 LF	504.5 LF	162.2 LF	666.7 LF	84.4%	4.4%	24.3%		
Block 1	A1	80%	277.5 LF	135.0 LF	96.0 LF	231.0 LF	83.2%	3.2%	41.6%		
Block 2	A1	80%	350.0 LF	207.5 LF	66.2 LF	273.7 LF	78.2%	-1.8%	24.2%		
Block 3	A1	80%	162.0 LF	162.0 LF	0.0 LF	162.0 LF	100.0%	20.0%	0.0%		
Legion Rd	A2	60%	136.7 LF	82.0 LF	0.0 LF	82.0 LF	60.0%	0.0%	0.0%		
New Street-1 (north)	A2	60%	382.0 LF	91.2 LF	174.7 LF	265.9 LF	69.6%	9.6%	62.2%	DA-3	Note-1
New Street-1 (south)	A2	60%	550.0 LF	441.5 LF	84.5 LF	526.0 LF	95.6%	35.6%	16.1%		Note-2
New Street-2 (north)	A2	60%	163.5 LF	64.5 LF	23.1 LF	87.6 LF	53.6%	-6.4%	26.4%	DA-4	
New Street-2 (south)	A2	60%	126.4 LF	70.0 LF	0.0 LF	70.0 LF	55.4%	-4.6%	0.0%	DA-6	

Design Alternate Summary:

DA-1: A request to approve a 550' Block Length along Street-1 (south).
DA-2: A request to approve a 530' Building Pass-Thru spacing along Street-1 (south).
DA-3: A request to approve up to 61% Amenity Space as a percentage of the Required Build-to-Zone Frontage requirement along Street-1 (north side).
DA-4: A request to approve 53% Build-to-Zone Frontage along Street-2 (north side).
DA-5: A request to allow reduced setback (15') to parking deck from proposed R.O.W. (north side).
DA-6: A request to approve a 55% Build-to-Zone Frontage along Street-2 (south side).

Notes:

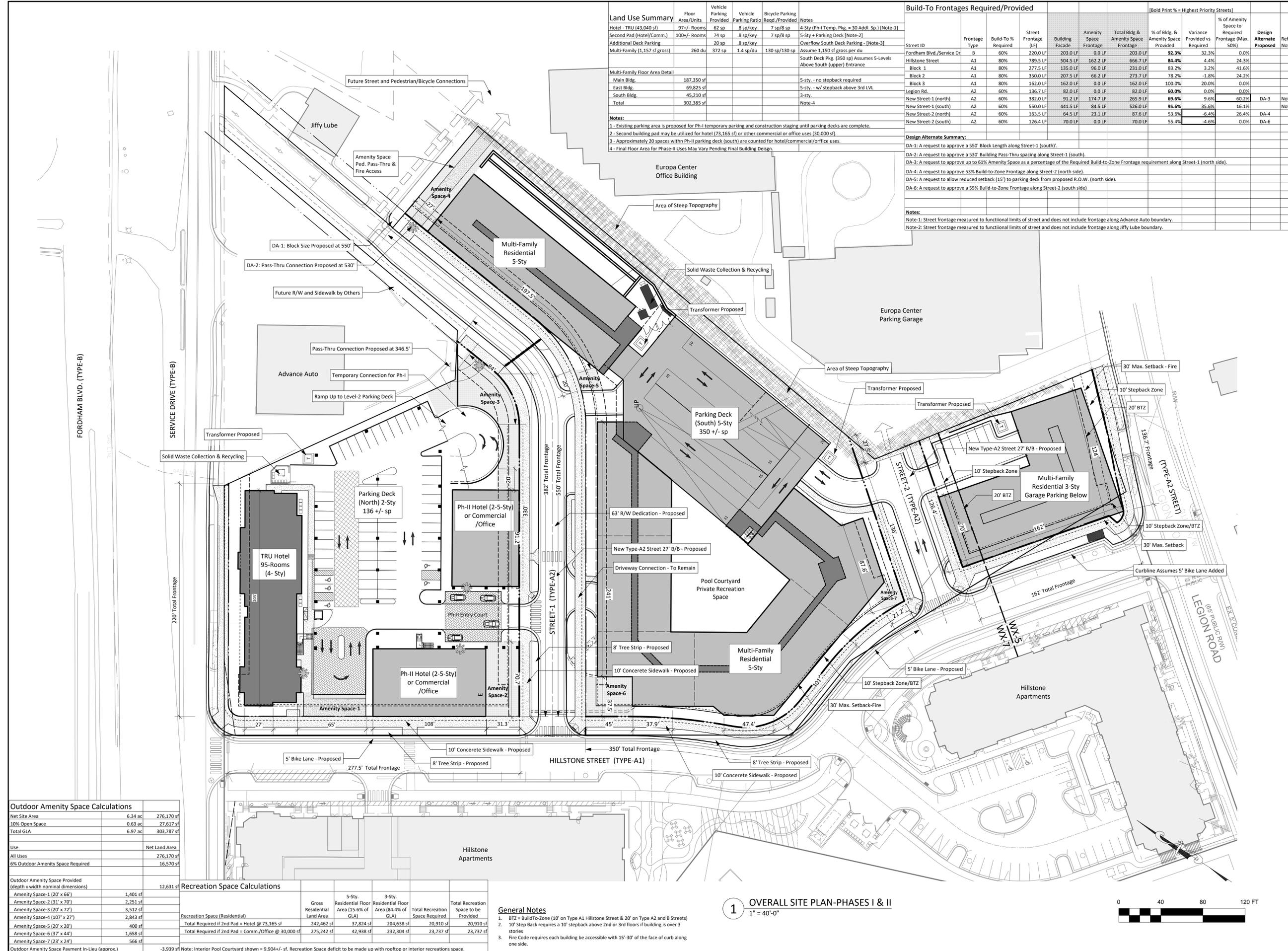
Note-1: Street frontage measured to functional limits of street and does not include frontage along Advance Auto boundary.
Note-2: Street frontage measured to functional limits of street and does not include frontage along Jiffy Lube boundary.

Land Use Summary	Floor Area/Units	Vehicle Parking Provided	Vehicle Parking Ratio	Bicycle Parking Req./Provided	Notes
Hotel - TRU (43,040 sf)	97 +/- Rooms	62 sp	8 sp/Key	7 sp/8 sp	4-Sty (Ph-I Temp. Pkg. = 30 Addl. Sp.) [Note-1]
Second Pad (Hotel/Comm.)	100 +/- Rooms	74 sp	8 sp/Key	7 sp/8 sp	5-Sty + Parking Deck [Note-2]
Additional Deck Parking		20 sp	8 sp/Key		Overflow South Deck Parking - [Note-3]
Multi-Family (1,157 sf gross)	260 du	372 sp	1.4 sp/du	130 sp/130 sp	Assume 1,150 sf gross per du

Multi-Family Floor Area Detail	Floor Area	Notes
Main Bldg.	187,350 sf	5-sty - no stepback required
East Bldg.	69,825 sf	5-sty - w/ stepback above 3rd LVL
South Bldg.	45,210 sf	3-sty
Total	302,385 sf	Note-4

Notes:

- Existing parking area is proposed for Ph-I temporary parking and construction staging until parking decks are complete.
- Second building pad may be utilized for hotel (73,165 sf) or other commercial or office uses (30,000 sf).
- Approximately 20 spaces within Ph-II parking deck (south) are counted for hotel/commercial/office uses.
- Final Floor Area for Phase-II Uses May Vary Pending Final Building Design.



Outdoor Amenity Space Calculations		
Net Site Area	6.34 ac	276,170 sf
10% Open Space	0.63 ac	27,617 sf
Total GLA	6.97 ac	303,787 sf
Use	Net Land Area	
All Uses	276,170 sf	
6% Outdoor Amenity Space Required	16,570 sf	
Outdoor Amenity Space Provided (depth x width nominal dimensions)	12,631 sf	
Amenity Space-1 (20' x 66')	1,401 sf	
Amenity Space-2 (31' x 70')	2,251 sf	
Amenity Space-3 (20' x 72')	3,512 sf	
Amenity Space-4 (107' x 27')	2,843 sf	
Amenity Space-5 (20' x 20')	400 sf	
Amenity Space-6 (37' x 44')	1,658 sf	
Amenity Space-7 (23' x 24')	566 sf	
Outdoor Amenity Space Payment In-Lieu (approx.)	-3,939 sf	

Recreation Space Calculations					
	Gross Residential Land Area	5-Sty Residential Floor Area (15.6% of GLA)	3-Sty Residential Floor Area (84.4% of GLA)	Total Recreation Space Required	Total Recreation Space to be Provided
Recreation Space (Residential)					
Total Required if 2nd Pad = Hotel @ 73,165 sf	242,462 sf	37,824 sf	204,638 sf	20,910 sf	20,910 sf
Total Required if 2nd Pad = Comm./Office @ 30,000 sf	275,242 sf	42,938 sf	232,304 sf	23,737 sf	23,737 sf

- General Notes**
- BTZ = Build-To-Zone (10' on Type A1 Hillstone Street & 20' on Type A2 and B Streets)
 - 10' Step Back requires a 10' setback above 2nd or 3rd floors if building is over 3 stories
 - Fire Code requires each building be accessible with 15'-30' of the face of curb along one side.

1 OVERALL SITE PLAN-PHASES I & II
1" = 40'-0"



Project:
**Tarheel Lodging
Redevelopment**
Chapel Hill, North Carolina

Developer:
Atma Hotel Group

Sheet Title:
**Site Plan
Block-1**
**Phase I
Street Level**

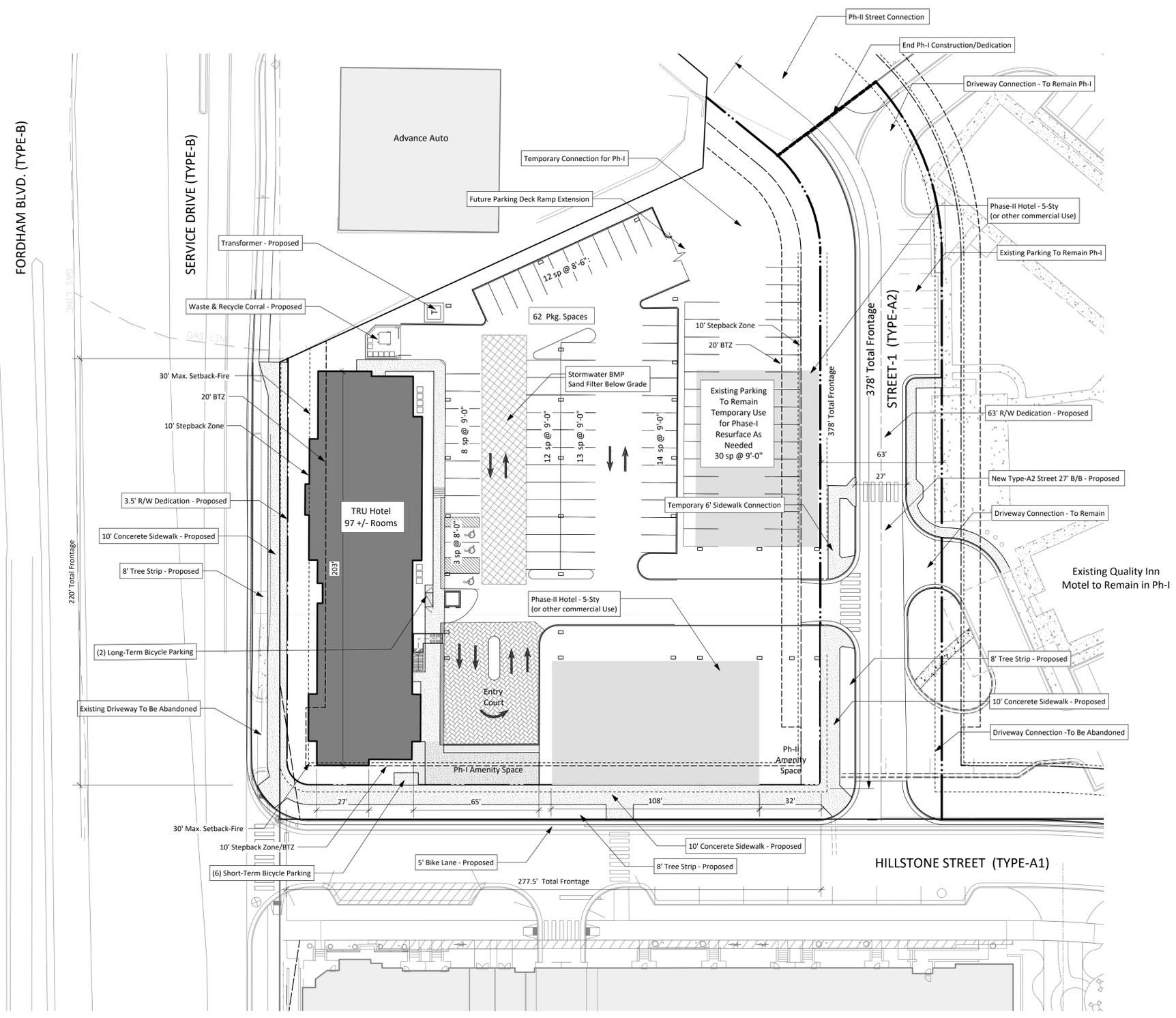
No. Date: Issue Notes:

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CONSTRUCTION**

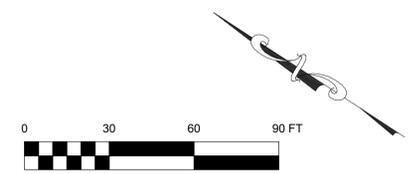
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Drawn By:
STM
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C-3.1
of



1 SITE PLAN- BLOCK-1 PHASE-I
1" = 30'-0"



Scott Murray Land Planning, Inc.
1450 Environ Way Chapel Hill, NC 27517
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Project:

**Tarheel Lodging
Redevelopment**
Chapel Hill, North Carolina

Developer:

Atma Hotel Group

Sheet Title::

**Site Plan
Block-1**

**Phase II
2nd Level**

No. Date: Issue Notes:

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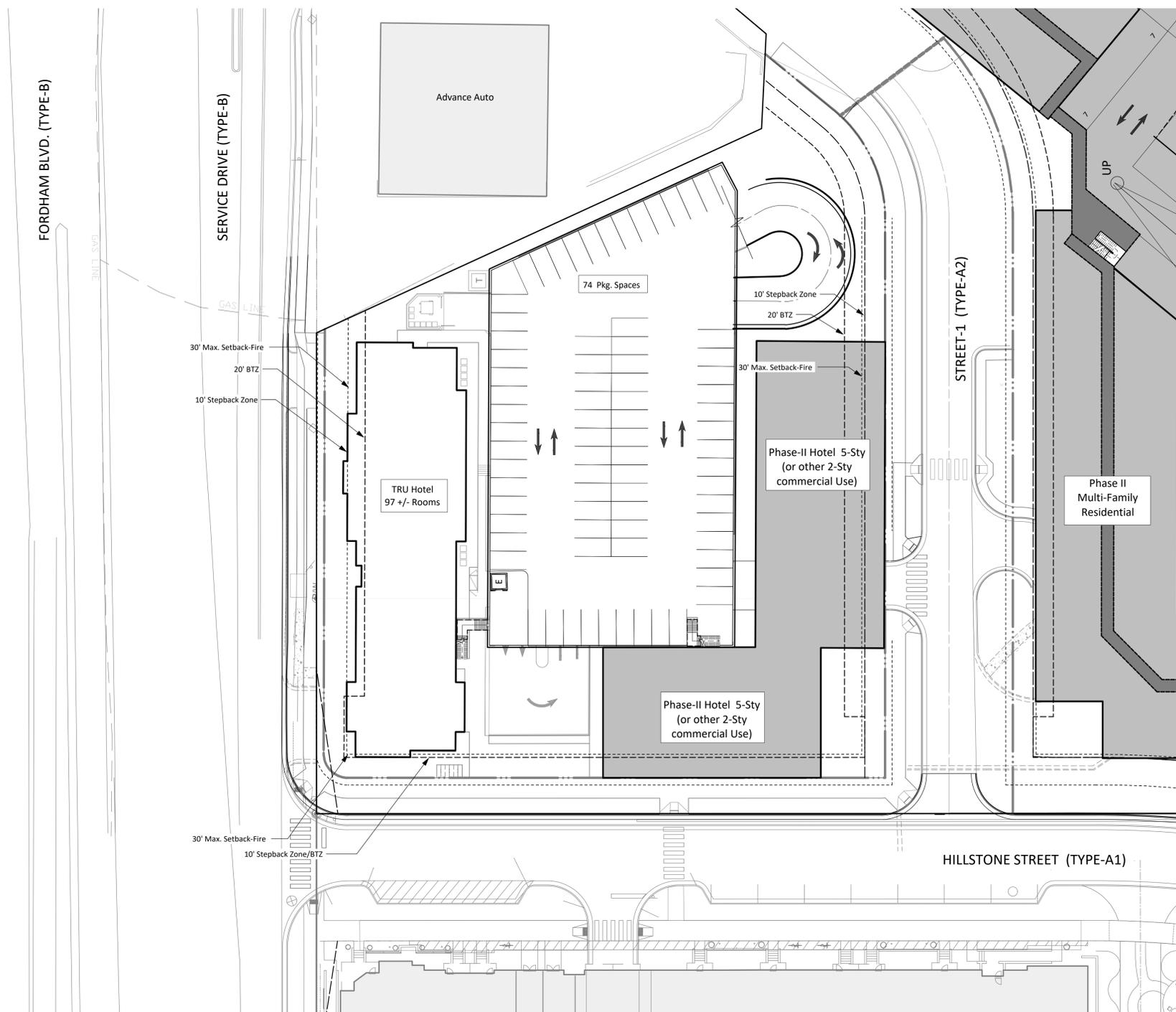
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1 SITE PLAN - BLOCK-1 - PHASE II
1" = 30'-0"



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Project:
Tarheel Lodging Redevelopment
Chapel Hill, North Carolina

Developer:
Atma Hotel Group

Sheet Title:
Site Plan
Blocks 2 & 3
Phase-II
Street Level

No. Date: Issue Notes:
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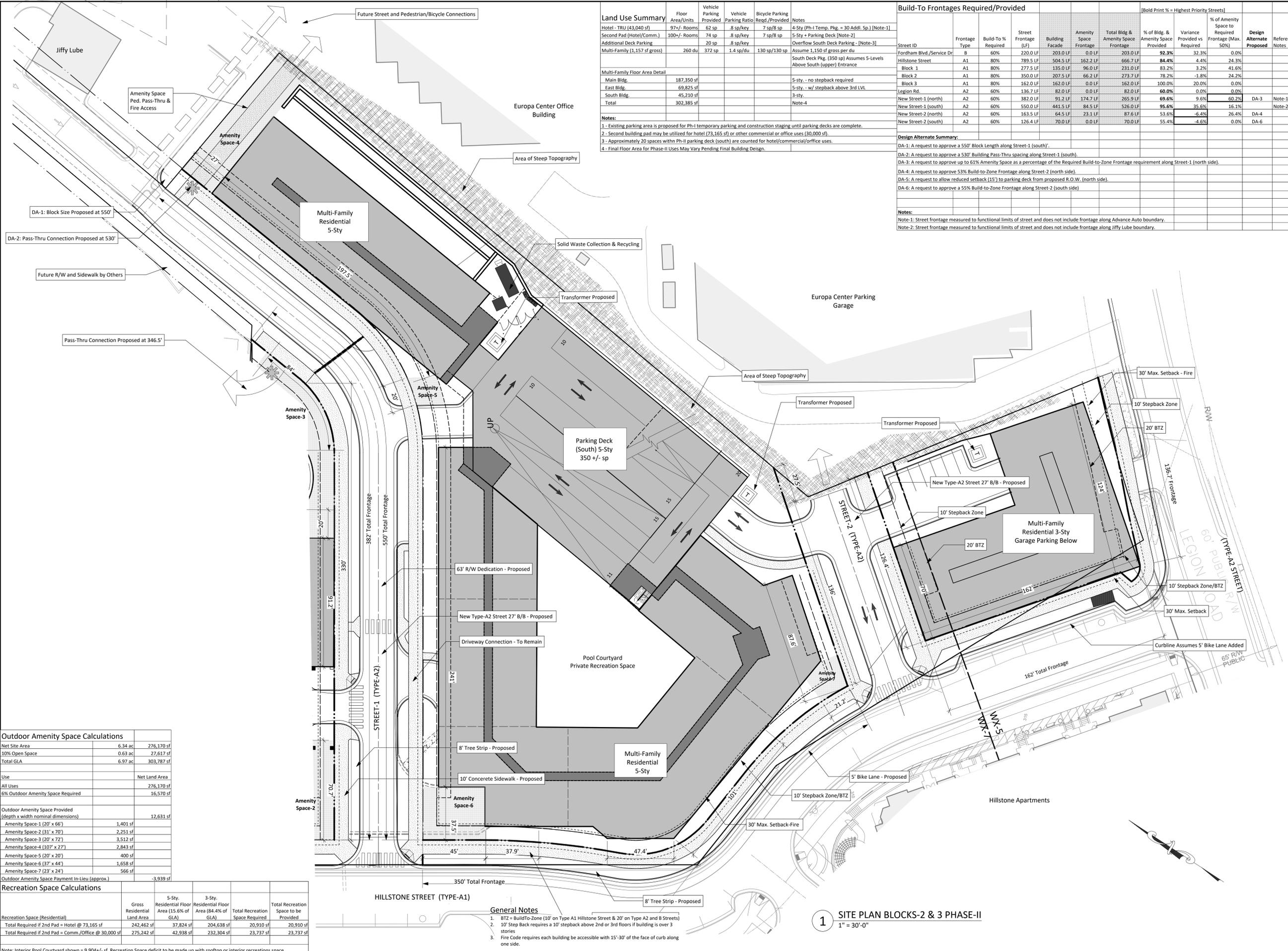
Build-To Frontages Required/Provided											
Street ID	Frontage Type	Build-To % Required	Street Frontage (LF)	Building Facade	Amenity Space Frontage	Total Bldg & Amenity Space Frontage	[Bold Print % = Highest Priority Streets]			Design Alternate Proposed	Reference Notes
							% of Bldg. & Amenity Space Provided	Variance Provided vs Required	% of Amenity Space to Required Frontage (Max. 50%)		
Fordham Blvd./Service Dr	B	60%	220.0 LF	203.0 LF	0.0 LF	203.0 LF	92.3%	32.3%	0.0%		
Hillstone Street	A1	80%	789.5 LF	504.5 LF	162.2 LF	666.7 LF	84.4%	4.4%	24.3%		
Block 1	A1	80%	277.5 LF	135.0 LF	96.0 LF	231.0 LF	83.2%	3.2%	41.6%		
Block 2	A1	80%	350.0 LF	207.5 LF	66.2 LF	273.7 LF	78.2%	-1.8%	24.2%		
Block 3	A1	80%	162.0 LF	162.0 LF	0.0 LF	162.0 LF	100.0%	20.0%	0.0%		
Legion Rd	A2	60%	136.7 LF	82.0 LF	0.0 LF	82.0 LF	60.0%	0.0%	0.0%		
New Street-1 (north)	A2	60%	382.0 LF	91.2 LF	174.7 LF	265.9 LF	69.6%	9.6%	60.2%	DA-3	Note-1
New Street-1 (south)	A2	60%	550.0 LF	441.5 LF	84.5 LF	526.0 LF	95.6%	35.6%	16.1%	DA-4	Note-2
New Street-2 (north)	A2	60%	163.5 LF	64.5 LF	23.1 LF	87.6 LF	53.6%	-6.4%	26.4%	DA-4	
New Street-2 (south)	A2	60%	126.4 LF	70.0 LF	0.0 LF	70.0 LF	55.4%	-4.6%	0.0%	DA-6	

Design Alternate Summary:
DA-1: A request to approve a 550' Block Length along Street-1 (south).
DA-2: A request to approve a 530' Building Pass-Thru spacing along Street-1 (south).
DA-3: A request to approve up to 61% Amenity Space as a percentage of the Required Build-to-Zone Frontage requirement along Street-1 (north side).
DA-4: A request to approve 53% Build-to-Zone Frontage along Street-2 (north side).
DA-5: A request to allow reduced setback (15') to parking deck from proposed R.O.W. (north side).
DA-6: A request to approve a 55% Build-to-Zone Frontage along Street-2 (south side).

Notes:
Note-1: Street frontage measured to functional limits of street and does not include frontage along Advance Auto boundary.
Note-2: Street frontage measured to functional limits of street and does not include frontage along Jiffy Lube boundary.

Land Use Summary	Floor Area/Units	Vehicle Parking Provided	Vehicle Parking Ratio	Bicycle Parking Req./Provided	Notes
Hotel - TRU (43,040 sf)	97 +/- Rooms	62 sp	8 sp/Key	7 sp/8 sp	4-Sty (Ph-I Temp. Pkg. = 30 Addl. Sp.) [Note-1]
Second Pad (Hotel/Comm.)	100 +/- Rooms	74 sp	8 sp/Key	7 sp/8 sp	5-Sty + Parking Deck [Note-2]
Additional Deck Parking		20 sp	8 sp/Key		Overflow South Deck Parking - [Note-3]
Multi-Family (1,157 sf gross)	260 du	372 sp	1.4 sp/du	130 sp/130 sp	Assume 1,150 sf gross per du South Deck Pkg. (350 sp) Assumes 5-Llevels Above South (upper) Entrance
Multi-Family Floor Area Detail					
Main Bldg.	187,350 sf				5-sty - no setback required
East Bldg.	69,825 sf				5-sty - w/ setback above 3rd LVL
South Bldg.	45,210 sf				3-sty
Total	302,385 sf				Note-4

Notes:
1 - Existing parking area is proposed for Ph-I temporary parking and construction staging until parking decks are complete.
2 - Second building pad may be utilized for hotel (73,165 sf) or other commercial or office uses (30,000 sf).
3 - Approximately 20 spaces within Ph-II parking deck (south) are counted for hotel/commercial/office uses.
4 - Final Floor Area for Phase-II Uses May Vary Pending Final Building Design.



Outdoor Amenity Space Calculations		
Net Site Area	6.34 ac	276,170 sf
10% Open Space	0.63 ac	27,617 sf
Total GLA	6.97 ac	303,787 sf
Use	Net Land Area	
All Uses	276,170 sf	
6% Outdoor Amenity Space Required	16,570 sf	
Outdoor Amenity Space Provided (depth x width nominal dimensions)	12,631 sf	
Amenity Space-1 (20' x 66')	1,401 sf	
Amenity Space-2 (31' x 70')	2,251 sf	
Amenity Space-3 (20' x 72')	3,512 sf	
Amenity Space-4 (107' x 27')	2,843 sf	
Amenity Space-5 (20' x 20')	400 sf	
Amenity Space-6 (37' x 44')	1,658 sf	
Amenity Space-7 (23' x 24')	566 sf	
Outdoor Amenity Space Payment In-Lieu (approx.)	-3,939 sf	

Recreation Space Calculations					
Recreation Space (Residential)	Gross Residential Land Area	5-Sty. Residential Floor Area (15.6% of GLA)	3-Sty. Residential Floor Area (84.4% of GLA)	Total Recreation Space Required	Total Recreation Space to be Provided
Total Required if 2nd Pad = Hotel @ 73,165 sf	242,462 sf	37,824 sf	204,638 sf	20,910 sf	20,910 sf
Total Required if 2nd Pad = Comm./Office @ 30,000 sf	275,242 sf	42,938 sf	232,304 sf	23,737 sf	23,737 sf

Note: Interior Pool Courtyard shown = 9,904 +/- sf. Recreation Space deficit to be made up with rooftop or interior recreations space.

- General Notes**
- BTZ = Build-To-Zone (10' on Type A1 Hillstone Street & 20' on Type A2 and B Streets)
 - 10' Step Back requires a 10' setback above 2nd or 3rd floors if building is over 3 stories
 - Fire Code requires each building be accessible with 15'-30' of the face of curb along one side.

1 SITE PLAN BLOCKS-2 & 3 PHASE-II
1" = 30'-0"

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Project:
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Redevelopment**
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Developer:
Atma Hotel Group

Sheet Title:
Overall Site Plan

**Phases I & II
Design Alternates
Exhibit**

No. Date: Issue Notes:

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Build-To Frontages Required/Provided							[Bold Print % = Highest Priority Streets]			Design Alternate Proposed	Reference Notes
Street ID	Frontage Type	Build-To % Required	Street Frontage (LF)	Building Facade	Amenity Space Frontage	Total Bldg & Amenity Space Frontage	% of Bldg. & Amenity Space Provided	Variance Provided vs Required	% of Amenity Space to Required Frontage (Max. 50%)		
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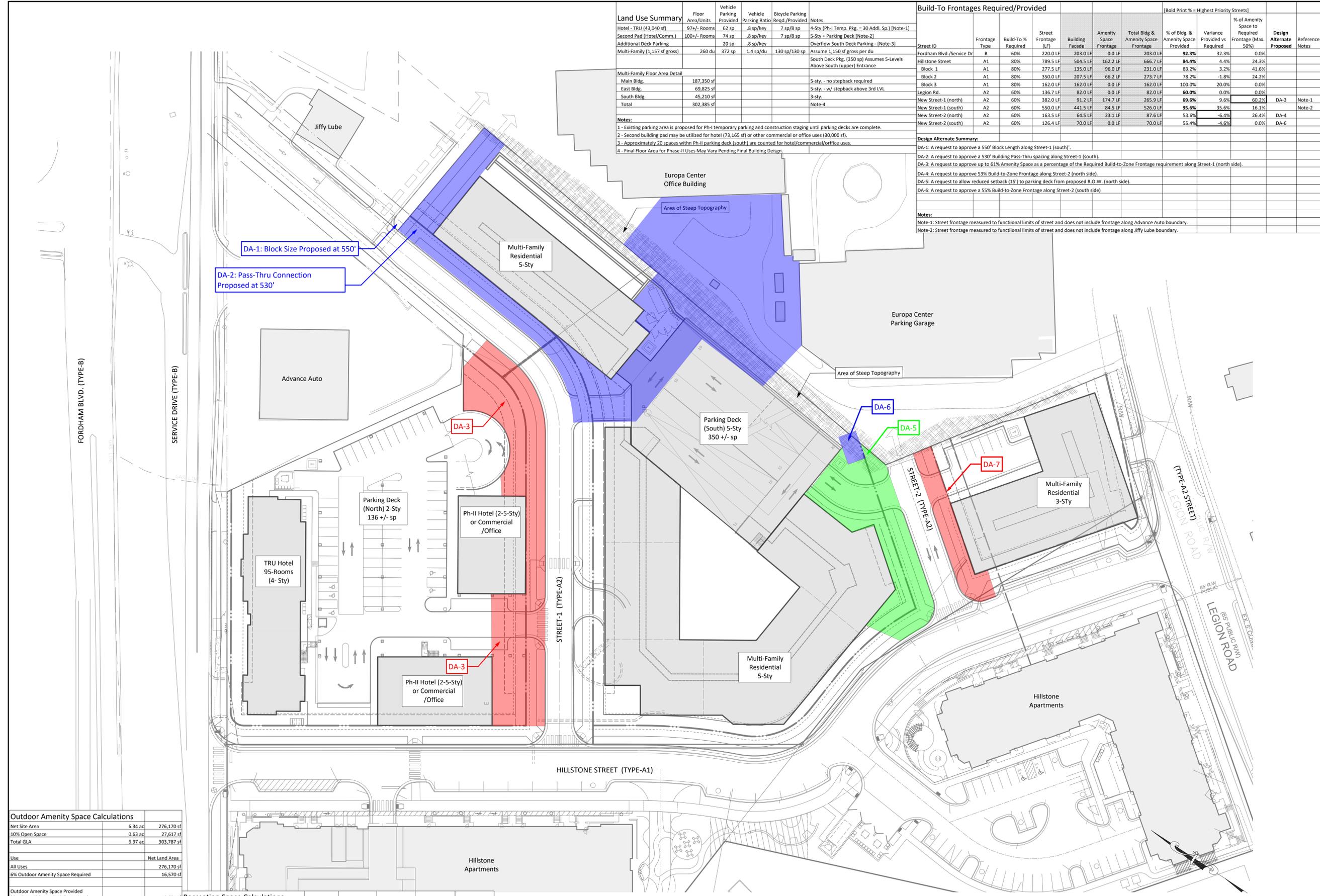
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1 SITE PLAN DESIGN ALTERNATIVES PH I & II
1" = 40'-0"



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