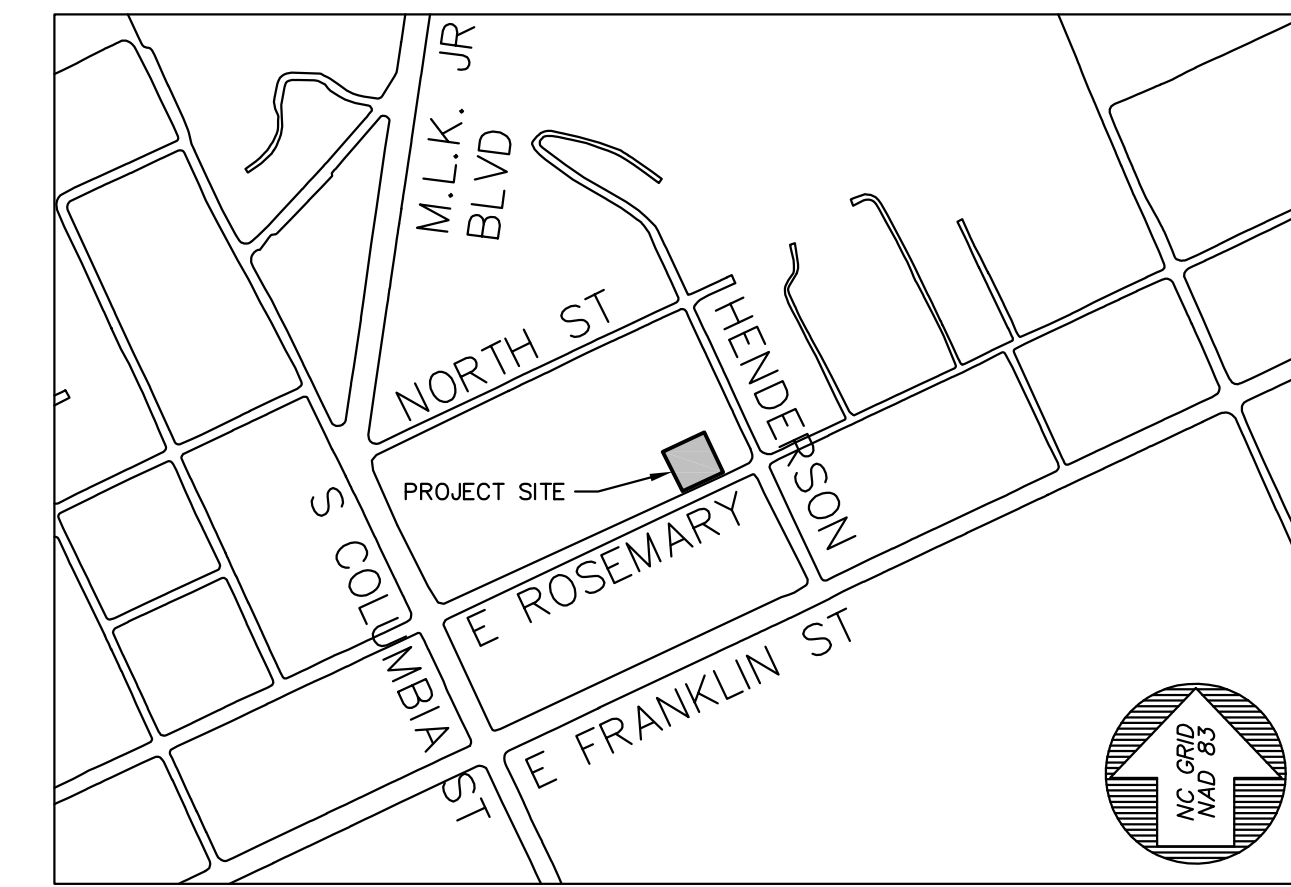


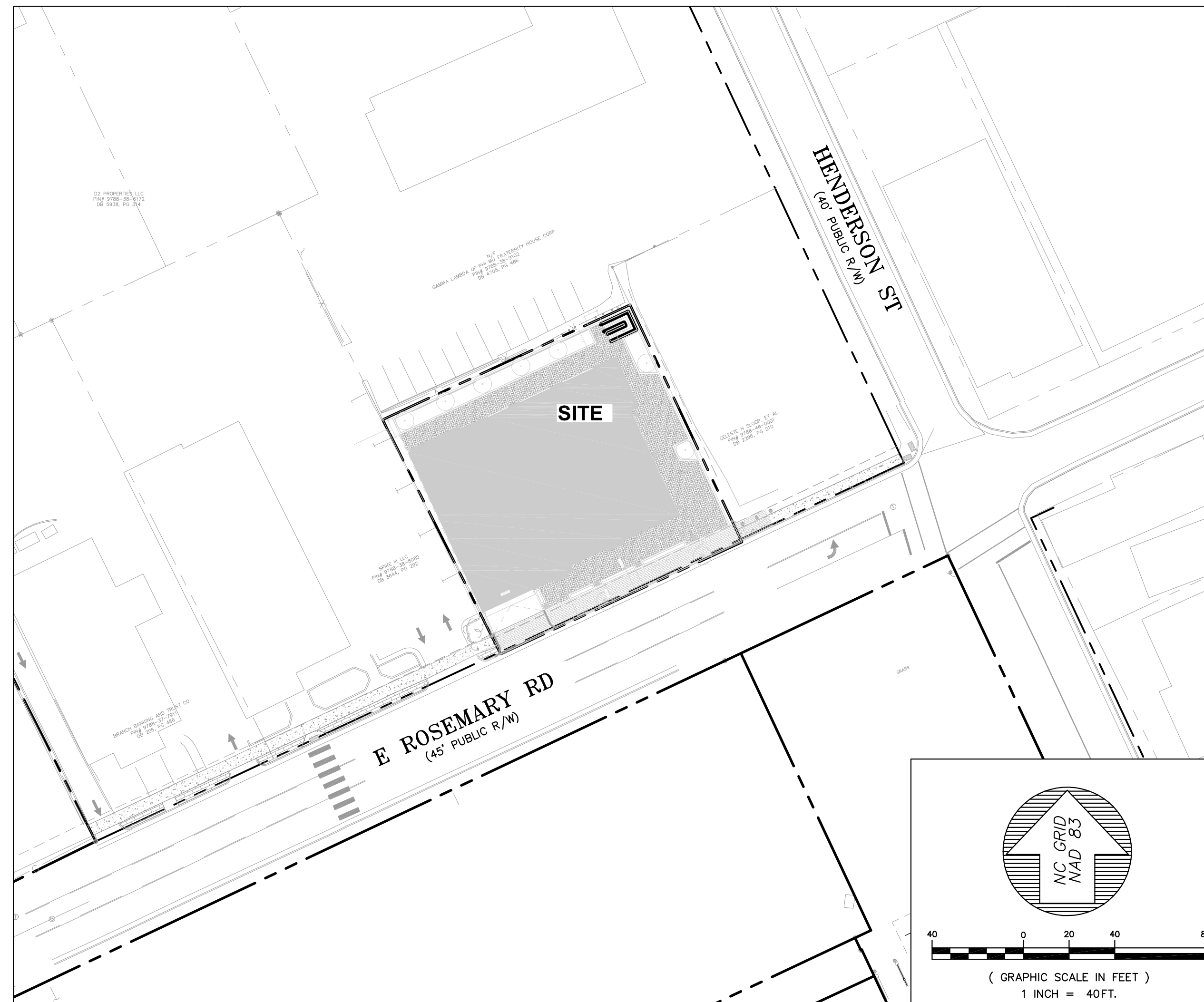
# CONDITIONAL ZONING DRAWINGS

## FOR 157 E. ROSEMARY STREET

CHAPEL HILL, NORTH CAROLINA  
PIN: 9788-37-9926



VICINITY MAP  
SCALE: 1"=500'



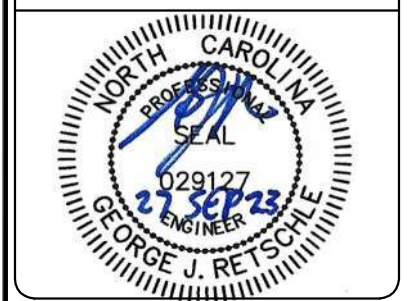
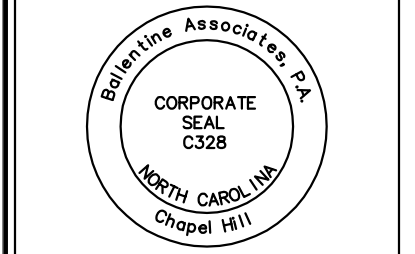
DRAWING INDEX		
SHEET	DRAWING TITLE	LATEST ISSUE DATE
<b>CIVIL SITE DRAWINGS</b>		
G0001	COVER	27 SEP 23
C0001	AREA MAP	27 SEP 23
C0101	EXISTING CONDITIONS PLAN	27 SEP 23
C0201	DEMO & LANDSCAPE PROTECTION PLAN	27 SEP 23
C1001	SITE PLAN	27 SEP 23
C1002	SOLID WASTE MANAGEMENT PLAN	27 SEP 23
C1101	UTILITY PLAN	27 SEP 23
C1201	GRADING AND DRAINAGE PLAN	27 SEP 23
<b>ARCHITECTURAL DRAWINGS</b>		
A1.0	COVER/INTRODUCTION	27 SEP 23
A1.1	COLORED SITE PLAN	27 SEP 23
A1.2	EXISTING CONDITION	27 SEP 23
A1.3	EXISTING CONDITION	27 SEP 23
A1.4	RENDERINGS	27 SEP 23
A1.5	COLORED SITE PLAN	27 SEP 23
A2.0	COLORED FLOOR PLANS	27 SEP 23
A2.1	COLORED FLOOR PLANS	27 SEP 23
A2.2	COLORED FLOOR PLANS	27 SEP 23
A2.3	COLORED FLOOR PLANS	27 SEP 23
A2.4	COLORED FLOOR PLANS	27 SEP 23
A3.0	COLORED ELEVATIONS	27 SEP 23
A3.1	COLORED ELEVATIONS	27 SEP 23
A3.2	COLORED ELEVATIONS	27 SEP 23
A4.0	RENDERINGS	27 SEP 23
A5.0	SUSTAINABILITY SUMMARY	27 SEP 23
A6.0	ROSEMARY ST CROSS SECTION	27 SEP 23
A7.0	EXISTING CONDITION PHOTOS	27 SEP 23
A8.0	NORTH BUFFER	27 SEP 23
A8.1	NORTH BUFFER	27 SEP 23
A8.2	PHI-MU SCREENING EXHIBIT	27 SEP 23
A8.3	LINE OF SIGHT EXHIBIT	27 SEP 23
A8.4	SIGHT LINE DIAGRAM	27 SEP 23
A9.0	SOLAR STUDY	27 SEP 23

ARCHITECTURE:  
**TISE-KLESTER ARCHITECTS**  
TKa

PROJECT OWNER / DEVELOPER:  
**TJ CAPITAL II LLC**  
4006 Abbey Park Way  
Raleigh, NC 27612  
(919) 740-2487

CIVIL ENGINEERING:  
**Ballentine Associates, PA**  
221 Providence Road  
Chapel Hill, NC 27514  
919.929.0481  
ballentineassociates.com

**Ballentine Associates, PA**  
221 Providence Road  
Chapel Hill, NC 27514  
919.929.0481  
ballentineassociates.com



DATE	REVISIONS	NUM
26 MAY 23	PER ROUND 1 CZ COMMENTS	1
25 JUL 23	PER ROUND 2 CZ COMMENTS	2
29 AUG 23	MINOR SITE DATA TABLE REVS	3
27 SEP 23	ALTERNATIVE BUFFER/FINAL ADJUSTMENTS	4

OWNER INFORMATION  
TJ Capital II LLC  
4006 Abbey Park Way  
SUITE 350  
Raleigh, NC 27612  
OWNER'S REPRESENTATIVE:  
Bill Jackson  
PH: (919) 740-2487  
FAX: (XXX) XXX-XXXX  
EMAIL: johnson@tjllc.com

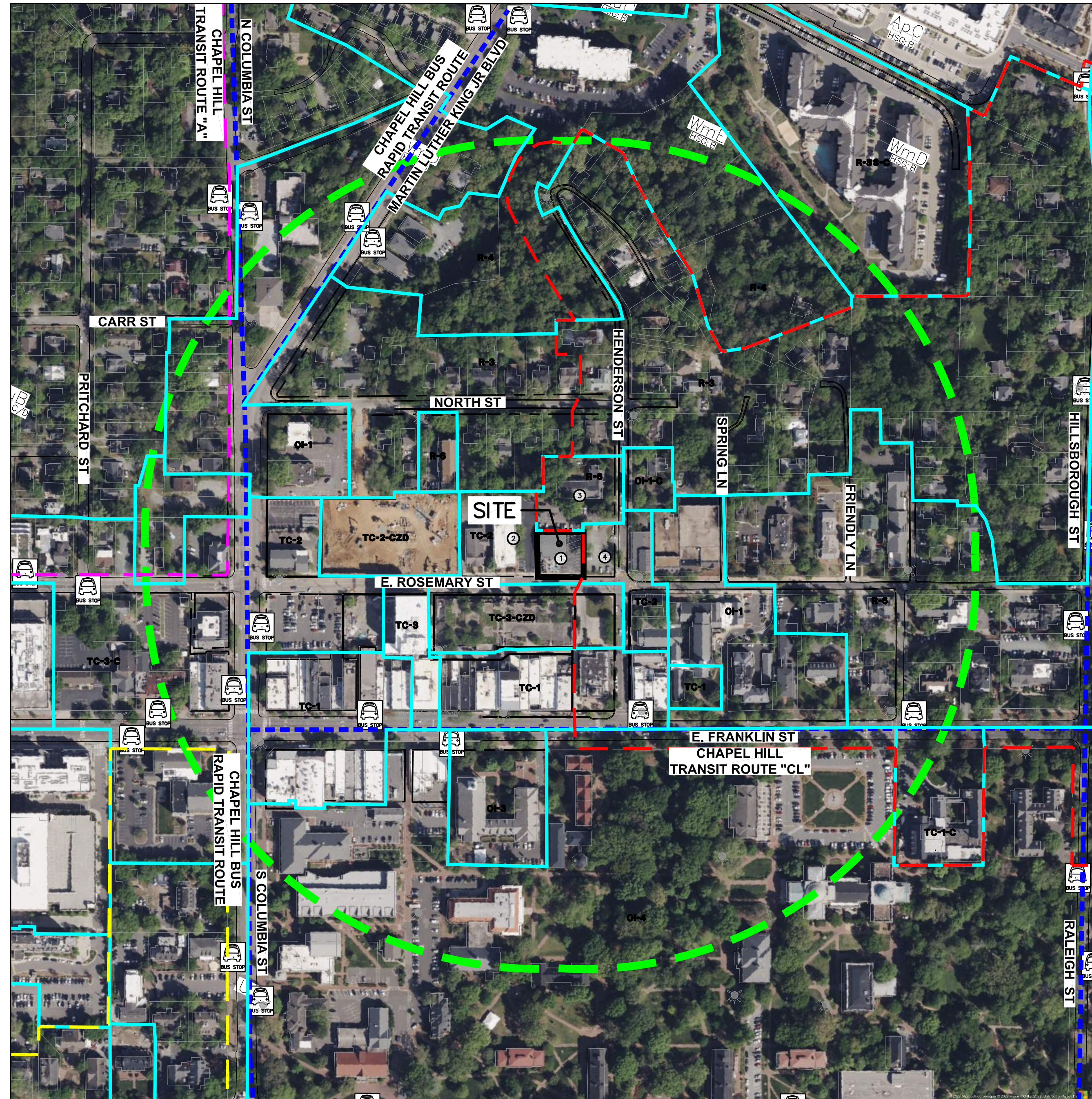
DATE	ISSUED
31 MAR 23	CZ SUBMITTAL #1
26 MAY 23	CZ SUBMITTAL #2
25 JUL 23	CZ SUBMITTAL #3
29 AUG 23	CZ SUBMITTAL #4
27 SEP 23	FINAL CZ SUBMITTAL

**157 E. ROSEMARY STREET**  
CHAPEL HILL, NORTH CAROLINA  
**CONDITIONAL ZONING DRAWINGS**

JOB NUMBER: 122002.00  
DATE: 30 MAR 23  
SCALE: AS NOTED  
DRAWN BY: MP  
REVIEWED BY: G.J.R.

SHEET  
**G0001**

REVIEW DRAWING  
NOT FOR CONSTRUCTION



**SITE PARCEL DATA**

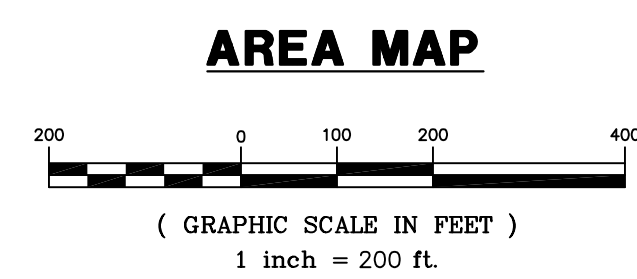
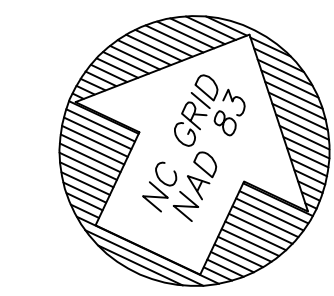
LABEL #	OWNER	PIN #	ZONING	DB./PG.	PARCEL ACREAGE	CURRENT LAND USE
1	PALIOURAS ENTERPRISES LLC	9788-37-9926	TC-2	2570/520	0.32	PARKING LOT

**ADJOINER PARCEL DATA**

LABEL #	OWNER(S)	PIN #	ZONING	CURRENT LAND USE
2	SPIKE III LLC	9788-38-8082	TC-2	OFFICE
3	GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP	9788-38-9102	R-6	COLLEGE
4	SLOOP CELESTE H SLOOP CHARLES C III	9788-48-0001	TC-2	PARKING LOT

**DRAWING LEGEND**

SYMBOL	DESCRIPTION
	1000' NOTIFICATION LINE
	ZONING BOUNDARY
	FRANKLIN-ROSEMARY HISTORIC DISTRICT
	CAMERON-MCCAULEY HISTORIC DISTRICT
	NORTHSIDE NEIGHBORHOOD CONSERVATION DISTRICT
	CHAPEL HILL TRANSIT ROUTE
	ZONING CLASSIFICATION
	EXISTING FIRE HYDRANT
	EXISTING BUS STOP
	PROJECT SITE



**REVIEW DRAWING NOT FOR CONSTRUCTION**

**OWNER INFORMATION**  
 TU Capital II LLC  
 4006 Abbey Park Way  
 SUITE 350  
 Raleigh, NC 27612  
**OWNERS REPRESENTATIVE:**  
 Bill Jackson  
 PH. (919) 740-2487  
 FAX (XXX) XXX-XXXX  
 EMAIL [bill@tucapital.com](mailto:bill@tucapital.com)

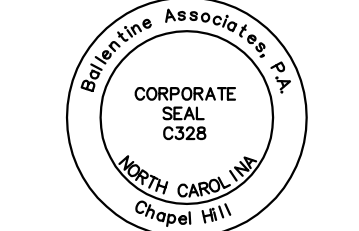
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CZ SUBMITTAL #1	31 MAR 23	PER ROUND 1 CZ COMMENTS	1
CZ SUBMITTAL #2	26 MAY 23	PER ROUND 2 CZ COMMENTS	2
CZ SUBMITTAL #3	25 JUL 23	MINOR SITE DATA TABLE REVS	3
CZ SUBMITTAL #4	29 AUG 23	ALTERNATIVE BUFFER/FINAL ADJUSTMENTS	4
FINAL CZ SUBMITTAL	27 SEP 23		

**157 E. ROSEMARY STREET**  
 CHAPEL HILL, NORTH CAROLINA  
**CONDITIONAL ZONING DRAWINGS**

JOB NUMBER: 122002.00  
 DATE: 30 MAR 23  
 SCALE: AS NOTED  
 DRAWN BY: MP  
 REVIEWED BY: G.J.R.

**SHEET C0001**

**Ballentine Associates, PA**  
 28 Piney Branch  
 Chapel Hill, NC 27514  
 919.966.0000  
 ballentineassociates.com



DATE	REVISIONS	NUM
26 MAY 23	PER ROUND 1 CZ COMMENTS	1
25 JUL 23	PER ROUND 2 CZ COMMENTS	2
29 AUG 23	MINOR SITE DATA TABLE REVS	3
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 4006 Abbey Park Way  
 SUITE 350  
 Raleigh, NC 27612  
**OWNERS REPRESENTATIVE:**  
 Bill Jackson  
 PH. (919) 740-2487  
 FAX (XXX) XXX-XXXX  
 EMAIL [bill@tucapital.com](mailto:bill@tucapital.com)

ISSUED	DATE	REVISIONS	NUM
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CZ SUBMITTAL #4	29 AUG 23	ALTERNATIVE BUFFER/FINAL ADJUSTMENTS	4
FINAL CZ SUBMITTAL	27 SEP 23		



N/F  
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP  
 PIN# 9788-38-9102  
 DB 4705, PG 486

SPIKE III LLC  
 PIN# 9788-38-8082  
 DB 3644, PG 292

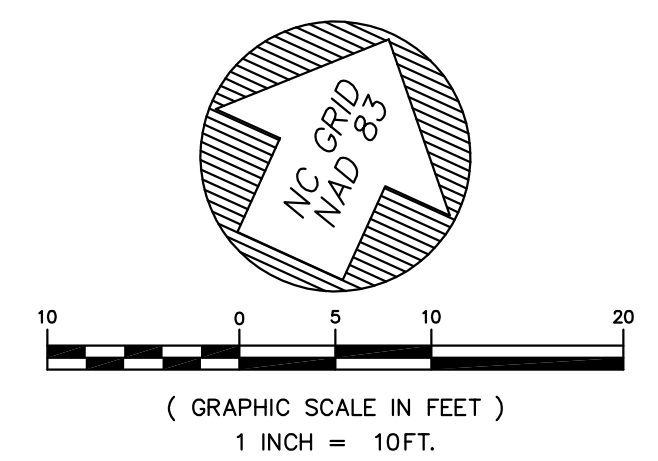
PALIOURAS ENTERPRISES LLC  
 PIN# 9788-37-9926  
 DB 2570, PG 520  
 (LOT AREA: 13,549 SF)

N/F  
 CELESTE H. SLOOP, ET AL  
 PIN# 9788-48-0001  
 DB 2296, PG 210

TREE TABLE		
TAG	D.B.H.	SPECIES
T1	26"	UNKNOWN
T2	16"	OAK
T3	12"	OAK

**DRAWING LEGEND**

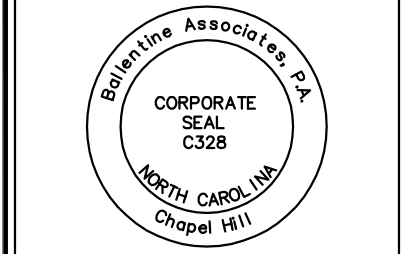
SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
-x-	-x-	FENCE LINE
SD	SD	STORM DRAIN LINE
SS	SS	SANITARY SEWER LINE
UE	UE	UNDERGROUND LANE
OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	GAS LINE
FO	FO	FIBER OPTIC LANE
CATV	CATV	CABLE TV LINE
TC	TC	TELECOMMUNICATION LINE
W	W	WATER LINE
---	---	TREE LINE
---	---	SOIL BOUNDARY
AuC	AuC	APPLING-URBAN LAND COMPLEX
Ur	Ur	URBAN LAND
470	470	MAJOR CONTOUR
468	468	MINOR CONTOUR
---	---	IRON PIPE
---	---	IRON PIPE SET
---	---	CALCULATED POINT
---	---	SIGN
---	---	BOLLARD
---	---	WATER VALVE
---	---	WATER METER
---	---	WATER METER
---	---	SANITARY SEWER MANHOLE
---	---	JUNCTION BOX
---	---	HVAC UNIT
---	---	POWER POLE
---	---	TELEPHONE VAULT
---	---	TELEPHONE MANHOLE
---	---	FIBER OPTIC MARKER
---	---	CABLE BOX
---	---	DECIDUOUS TREE



**EXISTING CONDITIONS PLAN**

**REVIEW DRAWING  
 NOT FOR CONSTRUCTION**

**Ballentine Associates, PA**  
 25 Pine Bluff Road  
 Chapel Hill, NC 27514  
 919.986.0600  
 ballentineassociates.com



DATE	REVISIONS
26 MAY 23	PER ROUND 1 CZ COMMENTS
25 JUL 23	PER ROUND 2 CZ COMMENTS
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**OWNER INFORMATION**  
 Tu Capital II LLC  
 4006 Abbey Park Way  
 SUITE 350  
 Raleigh, NC 27612

**OWNERS REPRESENTATIVE:**  
 Bill Jackson  
 PH: (919) 740-2487  
 FAX: (XXX) XXX-XXXX  
 EMAIL: bill@tu-capital.com

**JOB NUMBER:** 122002.00

**DATE:** 30 MAR 23

**SCALE:** AS NOTED

**DRAWN BY:** MP

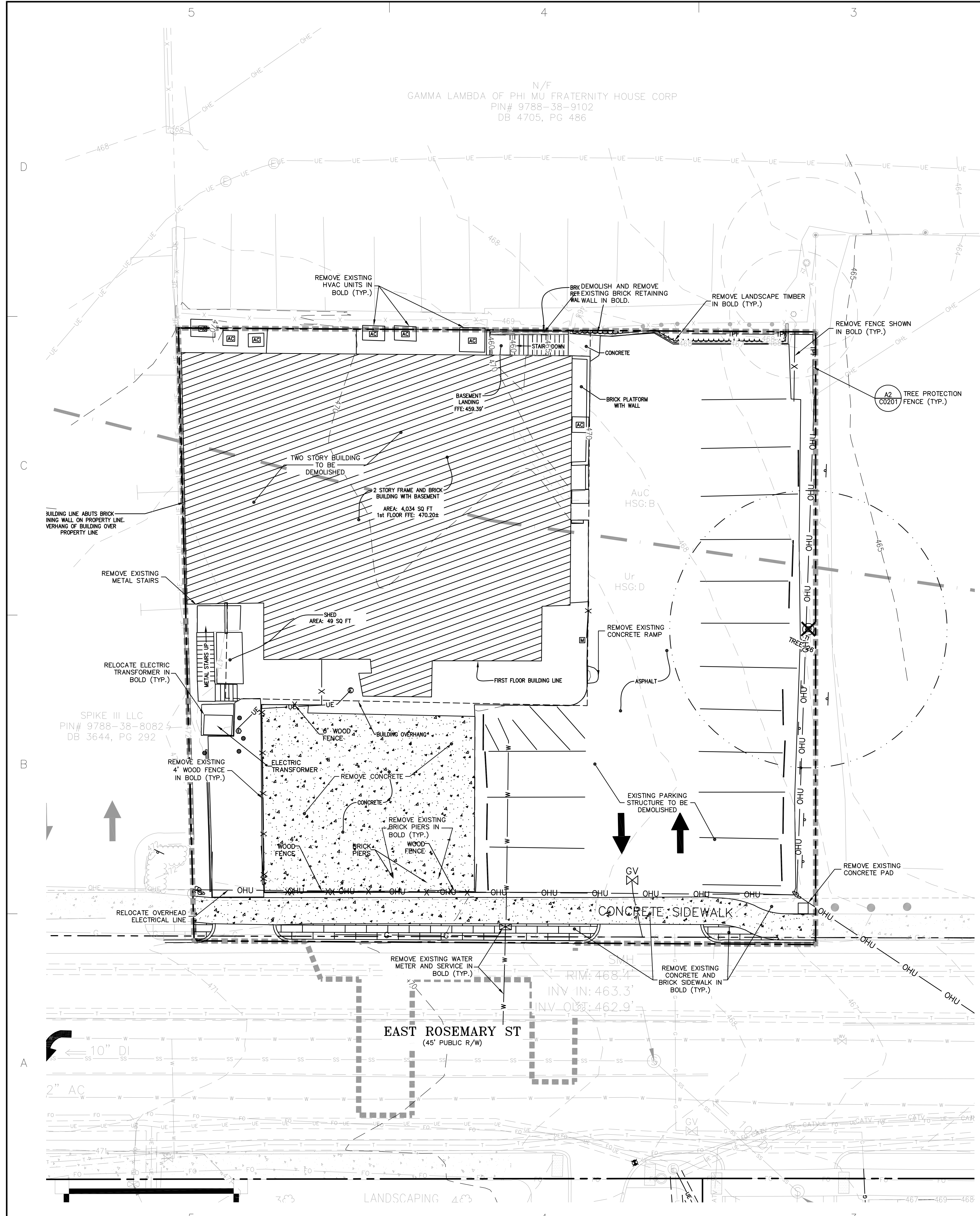
**REVIEWED BY:** G.J.R.

**SHEET**

**C0101**

**157 E. ROSEMARY STREET**  
 CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**



**OCSW CONSTRUCTION WASTE REQUIREMENTS**

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ("ACM") AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

**DEMOLITION CONSTRUCTION SEQUENCE:**

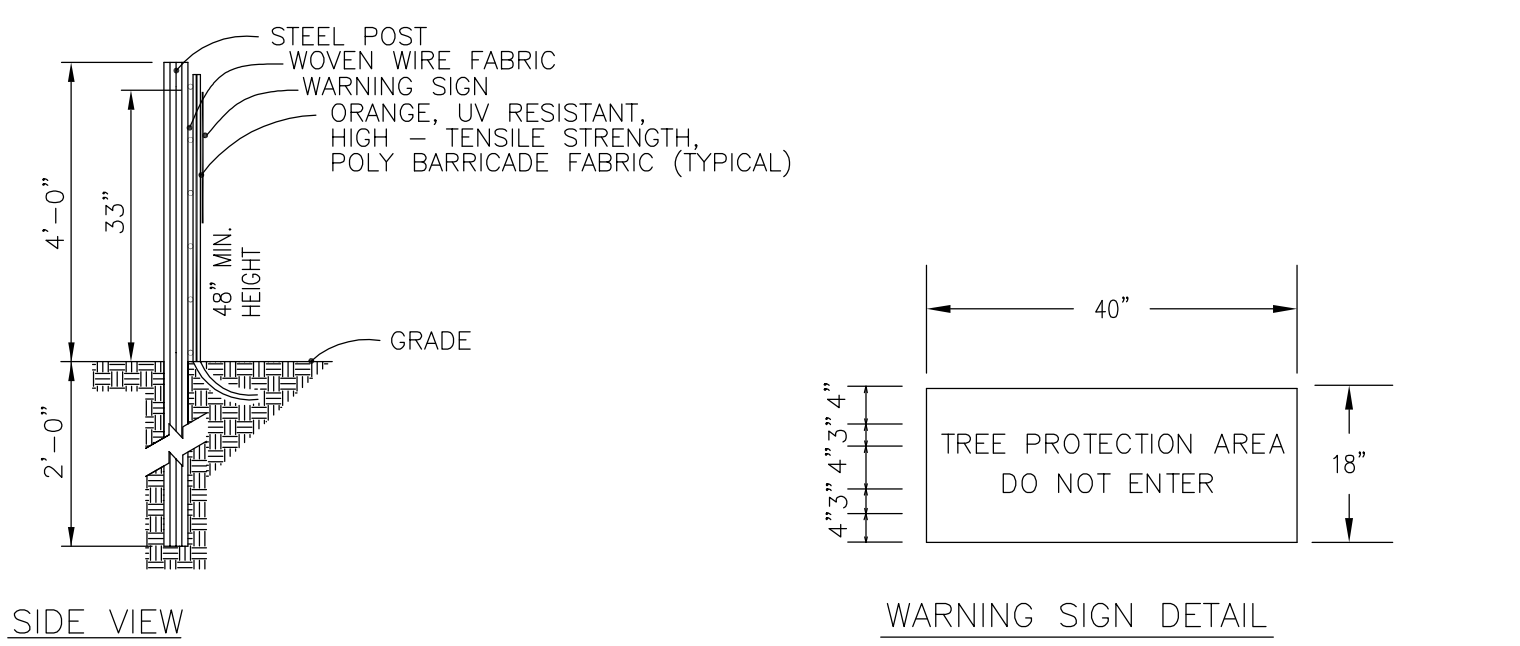
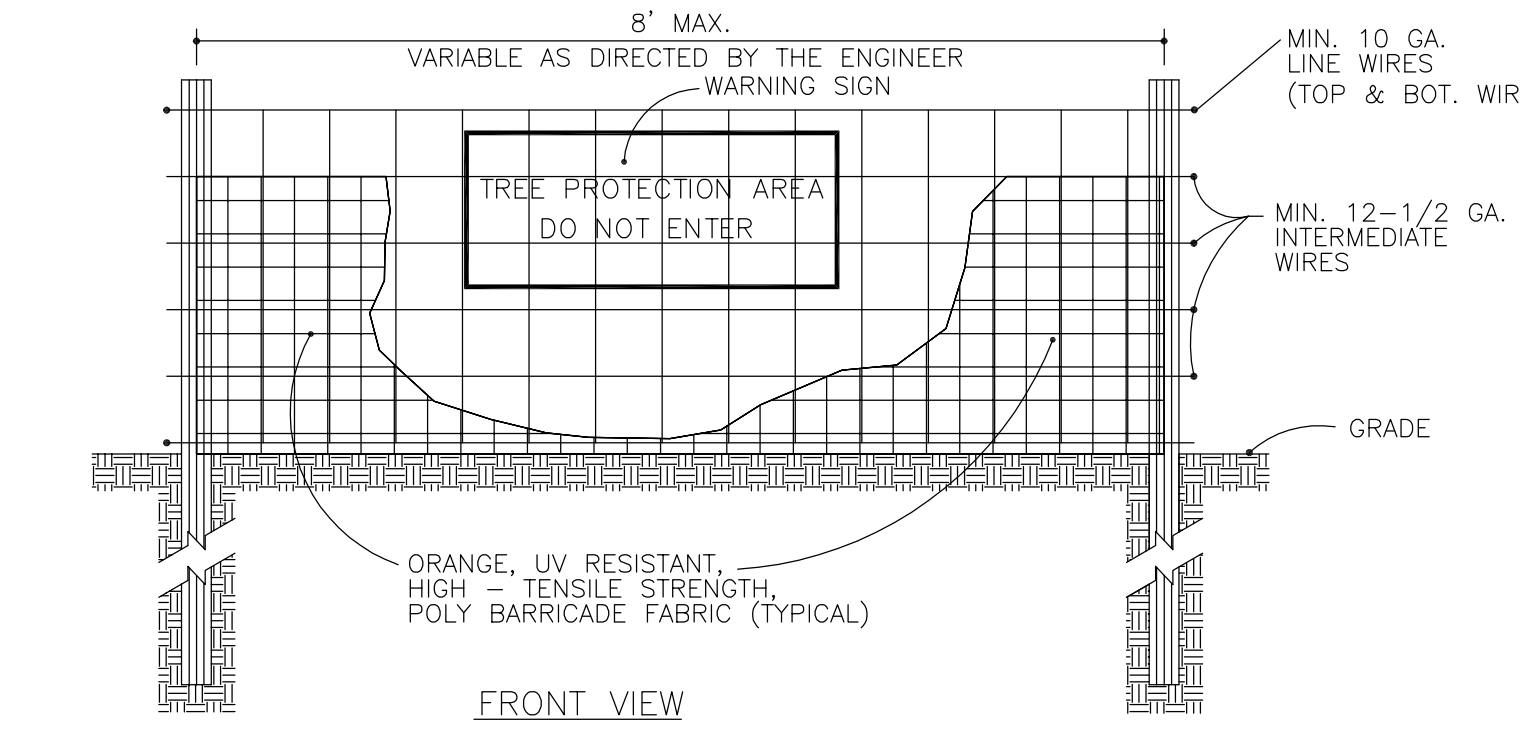
- OBTAIN ZONING COMPLIANCE, DEMOLITION AND GRADING PERMITS.
- OBTAIN DEMOLITION PERMIT FROM TOWN OF CHAPEL HILL BUILDING INSPECTIONS.
- HOLD PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE AS NOTED IN GENERAL DEMOLITION NOTES.
- INSTALL STANDARD TREE PROTECTION FENCE.
- CALL TOWN OF CHAPEL HILL URBAN FORESTER AT (919) 969-5114 FOR AN INSPECTION OF TREE PROTECTION FENCE.
- IF TREE PROTECTION FENCING IS APPROVED, INSTALL REMAINING EROSION CONTROL MEASURES PER CONSTRUCTION SEQUENCE ON SHEET 1301.
- UPON APPROVAL FROM NCEQ DIVISION OF LAND QUALITY RALEIGH REGIONAL OFFICE & THE TOWN OF CHAPEL HILL, PROCEED WITH DEMOLITION AS SHOWN ON THIS SHEET.

**DEMOLITION NOTES**

- PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE NORTH CAROLINA 811 (1-800-632-4949) LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED, AND IF SO, CONTRACTOR SHALL PROVIDE ASBESTOS REMEDIATION IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
- ANY EXISTING WATER AND SEWER SERVICES AND CLEANOUTS TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH OWASA REQUIREMENTS.
- ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVICING THE STRUCTURE TO BE DEMOLISHED SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S STANDARDS & SPECIFICATIONS.
- PRIOR TO ANY LAND DISTURBANCE, DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH:
  - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
  - TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-5114
  - TOWN OF CHAPEL HILL STORMWATER DIVISION: (919) 969-7246
  - ORANGE COUNTY SOLID WASTE STAFF: (919) 968-2788
  - NCEQ DIVISION OF LAND QUALITY RALEIGH REGIONAL OFFICE: (919) 791-4200
- IN ALL AREAS WHERE IMPERVIOUS COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PERVIOUS COVER, THE FOLLOWING STEPS SHALL BE TAKEN:
  - REMOVE ALL ASPHALT CONCRETE, BEDDING MATERIALS, GRAVEL, DEBRIS, BUILDING MATERIALS, ETC.
  - RIP AND AERATE TO A DEPTH OF 18 INCHES BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED. IN THAT CASE, LIMIT RIPPING TO A DEPTH OF 6".
  - PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NC FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- DURING CONSTRUCTION, FIREFIGHTING VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREET SIGNS SHALL BE INSTALLED AT EACH STREET INTERSECTION WHEN CONSTRUCTION ALLOWS THE PASSAGE OF VEHICLES. SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.
- CONSTRUCTION OPERATIONS SHOULD BE LIMITED TO 7:00 AM TO 7:00 PM ON WEEKDAYS AND 8:00 AM TO 7:00 PM ON WEEKENDS.
- THE CONTRACTOR SHOULD CONTACT JERRY NEVILLE WITH THE TOWN'S TRAFFIC ENGINEERING DIVISION AT 919-969-5096 PRIOR TO ANY ROAD OR SIDEWALK CLOSURE TO OBTAIN THE NECESSARY PERMIT APPROVAL.

**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
SD	---	---	STORM DRAIN LINE
W	---	---	WATER LINE
SS	---	---	SANITARY SEWER LINE
UE	---	---	UNDERGROUND ELECTRIC LINE
OHE	---	---	OVERHEAD ELECTRIC LINE
G	---	---	GAS LINE
FO	---	---	FIBER OPTIC LINE
TC	---	---	TELECOMMUNICATION LINE
470	---	---	TREE LINE
468	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	SOIL BOUNDARY
AuC	---	---	APPLYING-URBAN LAND COMPLEX
Ur	---	---	URBAN LAND
---	---	---	EXISTING IRON PIPE
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	WATER METER
---	---	---	WATER VALVE
---	---	---	SANITARY SEWER MANHOLE
---	---	---	POWER POLE
---	---	---	ELECTRIC BOX
---	---	---	HVAC UNIT
---	---	---	GAS VALVE
---	---	---	TELEPHONE VAULT
---	---	---	FIBER OPTIC MARKER
---	---	---	DECIDUOUS TREE
---	---	---	CONCRETE SIDEWALK
---	---	---	LIMITS OF DISTURBANCE



- NOTES:**
- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
  - LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
  - SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
  - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
  - FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
  - ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  - MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
  - ADDITIONAL SIGNS MAY BE REQUIRED BY TOWN OF ARDEN INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.
  - PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.

**A2 CO201** TEMPORARY TREE PROTECTION FENCE  
SCALE: N.T.S.

**Ballentine Associates, PA**  
250 Poplarville Road  
Chapel Hill, NC 27614  
ballentineassociates.com

Professional Engineer Seal for Ballentine Associates, PA, License No. 27614.

DATE	REVISIONS	NUM
26 MAY 23	PER ROUND 1 CZ COMMENTS	1
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**OWNER INFORMATION**  
TU Capital II LLC  
4006 Abbey Park Way  
SUITE 350  
Raleigh, NC 27612  
**OWNERS REPRESENTATIVE:**  
Bill Jackson  
PH: (919) 740-2487  
FAX: (919) XXXX-XXXX  
E: bjackson@tucapital.com

**157 E. ROSEMARY STREET**  
CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**

JOB NUMBER: 122002.00  
DATE: 30 MAR 23  
SCALE: AS NOTED  
DRAWN BY: MP  
REVIEWED BY: G.J.R.

**SHEET C0201**

**DEMOLITION & LANDSCAPE PROTECTION PLAN**  
REVIEW DRAWING  
NOT FOR CONSTRUCTION

N/F  
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP  
 PIN# 9788-38-9102  
 DB 4705, PG 486

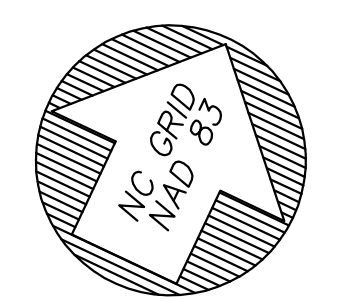
SPIKE III LLC  
 PIN# 9788-38-8082  
 DB 3644, PG 292

CELESTE H SLOOP, ET AL  
 PIN# 9788-48-0001  
 DB 2296, PG 210

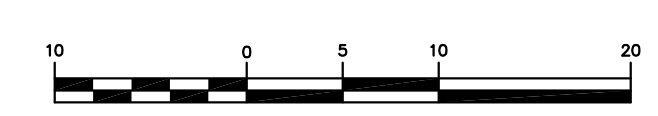
SITE DATA			
DEVELOPER:	TJ CAPITAL II LLC		
APPLICANT:	PALOURAS ENTERPRISES LLC		
PROPERTY OWNER:	PALOURAS ENTERPRISES LLC		
PROPERTY ADDRESS:	157 EAST ROSEMARY STREET, CHAPEL HILL, NC		
PIN NUMBERS:	9788379926		
DEED REFERENCES:	DB 2570, PG 520		
EXISTING ZONING:	TC-2		
PROPOSED ZONING:	R-CP-CZD		
EXISTING USE:	COMMERCIAL		
PROPOSED USE:	RESIDENTIAL, RETAIL		
NET LAND AREA:	13,549 SF (0.31 AC)		
CREDITED STREET AREA:	1,355 SF (0.03 AC)		
GROSS LAND AREA:	14,904 SF (0.34 AC)		
<b>FLOOR AREA SUMMARY:</b>			
FAR per R-CP-CZD	1.10		
MAX. FLOOR AREA (per R-CP-CZD) (1.10 X 14,904)	16,394 + 47,600 (AH BONUS) = 63,994		
PROPOSED FLOOR AREA/FAR	89,250 SF / 6.00		
<b>VEHICLE PARKING SUMMARY:</b>			
	REGULAR	ACCESSIBLE	TOTAL
MINIMUM REQUIRED			59
MAXIMUM ALLOWED			93
PROPOSED	22(INCL. ACCESS.)	1 (VAN)	22
<b>BICYCLE PARKING SUMMARY:</b>			
	LONG TERM (90%)	SHORT TERM (10%)	TOTAL
MINIMUM REQUIRED (1 PER 4 DWELLING UNITS) + 4 RETAIL	24	4	28
PROPOSED	56	4	60
REQUIRED ACCESSIBLE PARKING	1 (INCL. 1 VAN ACCESSIBLE)		
PROPOSED ACCESSIBLE PARKING	1 (INCL. 1 VAN ACCESSIBLE)		
<b>IMPERVIOUS SUMMARY:</b>			
EXISTING	12,978 SF (0.30 AC)		
POST DEVELOPED TOTAL	13,011 SF (0.30 AC)		
NET IMPERVIOUS INCREASE	33 SF (0.001 AC)		
<b>RECREATION SPACE SUMMARY:</b>			
REQUIRED (0.218 X GLA)	3,249 SF		
PROPOSED	= 100% OF REQUIREMENT VIA. PAYMENT IN LIEU;		

**DRAWING LEGEND**

SYMBOL/ABBREVIATION		DESCRIPTION
---	EXISTING	PROPERTY LINE
---	PROPOSED	RIGHT-OF-WAY LINE
---	PROPOSED	ADJOINER PROPERTY LINE
---	PROPOSED	EASEMENT LINE
---	PROPOSED	TREE LINE
---	PROPOSED	OVERHEAD ELECTRIC LINE
---	PROPOSED	EXISTING IRON PIPE
---	PROPOSED	IRON PIPE SET
---	PROPOSED	CALCULATED POINT
---	PROPOSED	DECIDUOUS TREE
---	PROPOSED	BRICK SIDEWALK
---	PROPOSED	CONCRETE SIDEWALK
---	PROPOSED	PERMEABLE PAVERS



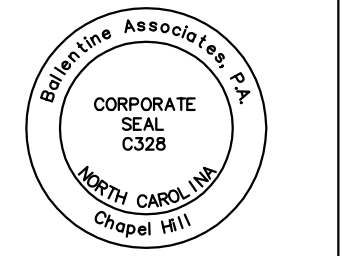
**SITE PLAN**



( GRAPHIC SCALE IN FEET )  
 1 inch = 10 ft.

**REVIEW DRAWING  
 NOT FOR CONSTRUCTION**

**Ballentine Associates, PA**  
 221 Providence Road  
 Chapel Hill, NC 27514  
 919.979.0481  
 ballentineassociates.com



DATE	REVISIONS
26 MAY 23	PER ROUND 1 CZ COMMENTS
25 JUL 23	PER ROUND 2 CZ COMMENTS
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**OWNER INFORMATION**  
 TJ Capital II LLC  
 4006 Abbey Park Way  
 SUITE 350  
 Raleigh, NC 27612  
**OWNERS REPRESENTATIVE:**  
 Bill Jackson  
 PH: (919) 740-2487  
 FAX: (XXX) XXX-XXXX  
 EMAIL: bjackson@tjcap.com

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29 AUG 23	CZ SUBMITTAL #4
27 SEP 23	FINAL CZ SUBMITTAL

**157 E. ROSEMARY STREET**  
 CHAPEL HILL, NORTH CAROLINA  
**CONDITIONAL ZONING DRAWINGS**

JOB NUMBER: 122002.00  
 DATE: 30 MAR 23  
 SCALE: AS NOTED  
 DRAWN BY: MP  
 REVIEWED BY: G.J.R.

**SHEET  
 C1001**

N/F  
 GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP  
 PIN# 9788-38-9102  
 DB 4705, PG 486

SPIKE III LLC  
 PIN# 9788-38-8082  
 DB 3644, PG 292

CELESTE H SLOOP, ET AL  
 PIN# 9788-48-0001  
 DB 2296, PG 210

ROLL TRASH/RECYCLING CARTS  
 PATH BETWEEN COMPACTOR/TRASH  
 ROOM AND STREET PICKUP AREA

E ROSEMARY ST  
 45' PUBLIC R/W  
 (PB 71, PG 124)

**PUBLIC RECYCLING WAIVER**

1. APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.
2. APPLICANT MUST REQUIRE AT THE LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.
3. COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.
4. APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF CORRUGATED CARDBOARD IN ADDITION TO THE OTHER CO-MINGLED RECYCLABLES AND AN EXECUTED COPY OF THE AGREEMENT SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.

**CONSTRUCTION WASTE NOTES**

1. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS.
2. PURSUANT TO THE COUNTY'S RMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
3. PURSUANT TO THE COUNTY'S RMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE (WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS) SHALL BE LICENSED BY ORANGE COUNTY.
4. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
5. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

**SOLID WASTE MANAGEMENT PLAN**

**PROJECT NARRATIVE**

THE FOLLOWING IS A NARRATIVE OF HOW SOLID WASTE, MIXED RECYCLABLES, AND CORRUGATED CARDBOARD WILL BE HANDLED FOR THE 157 E ROSEMARY ST. DEVELOPMENT ON E. ROSEMARY ST IN CHAPEL HILL. IT IS THE INTENT OF THE PROJECT DEVELOPER/APPLICANT TO UTILIZE THE SERVICES OF A PRIVATE COMPANY FOR THE COLLECTION OF THE STORED SOLID WASTE, MIXED RECYCLABLES, AND CORRUGATED CARDBOARD PURSUANT TO THIS OUTLINE. IN DOING SO, THE PROJECT DEVELOPER/APPLICANT UNDERSTANDS AND AGREES THAT THEY ARE WAIVING THEIR RIGHTS TO HAVE ORANGE COUNTY COMMUNITY RECYCLING COLLECT MIXED RECYCLABLES AND THAT THE PROJECT WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION AT ANY TIME NOW OR IN THE FUTURE UNLESS A RECYCLING CENTER IS CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS OR CONTINGENCY FOR SUCH A CENTER IS INCLUDED ON THE DEVELOPMENT PLANS. FURTHER, THE PROJECT DEVELOPER/APPLICANT UNDERSTANDS THAT THE FEES FOR PUBLIC RECYCLING AND WASTE MANAGEMENT WILL NOT BE WAIVED. IN ADDITION, PRIOR TO PLAN APPROVAL, THE PROJECT DEVELOPER/APPLICANT SHALL PROVIDE A COPY OF A LETTER FROM THE INTENDED PRIVATE GARBAGE, MIXED RECYCLABLE AND CORRUGATED CARDBOARD COLLECTOR ACKNOWLEDGING THAT THEY HAVE REVIEWED THE PROJECT PLANS AND AGREE TO THE PRESCRIBED METHODS FOR STORAGE AND COLLECTION OF THESE MATERIALS AS STATED HEREIN.

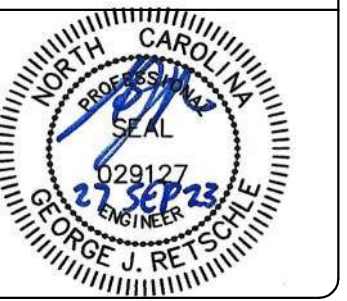
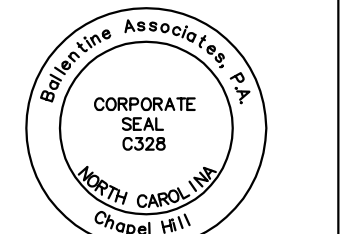
**REFUSE SUMMARY**

- A. TRASH CHUTES AND GARBAGE RECEPTACLES WILL BE LOCATED THROUGHOUT THE BUILDING AND WILL BE MONITORED AND COLLECTED AS NEEDED BY MANAGEMENT PERSONNEL. RESIDENTS WILL BE RESPONSIBLE FOR DEPOSITING THEIR TRASH INTO THE RECEPTACLES AND CHUTES AS APPLICABLE. CORRUGATED CARDBOARD AND MIXED RECYCLABLES SHALL NOT BE PLACED IN THE GARBAGE RECEPTACLES. GARBAGE AND RECYCLING RECEPTACLES WILL BE MARKED WITH APPROPRIATE SYMBOLS.
- B. MANAGEMENT PERSONNEL WILL BE RESPONSIBLE FOR COLLECTING AND TRANSPORTING GARBAGE FROM RECEPTACLES TO THE TRASH ROOM ON THE MAIN LEVEL OF THE BUILDING. TRASH CHUTES POSITIONED THROUGHOUT THE BUILDING WILL SEND DEPOSITED GARBAGE TO THE TRASH ROOM WHERE IT WILL BE COMPACTED BY A SMALL COMPACTOR WHICH UTILIZES 2 CY ROLLING CARTS. MANAGEMENT PERSONNEL SHALL BE RESPONSIBLE FOR MANAGING THE ROOM AS NEEDED.
- C. ON TRASH COLLECTION DAY, MANAGEMENT PERSONNEL WILL MOVE COMPACTOR CARTS FROM TRASH ROOM TO THE SIDEWALK ALONG THE INDICATED PATH WHERE THEY CAN BE COLLECTED.
- D. INITIALLY WE ANTICIPATE TRASH PICK-UP TO OCCUR AT LEAST ONCE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR TRASH VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.
- E. GARBAGE COLLECTION AND HAUL OFF WILL BE PERFORMED BY A PRIVATE VENDOR, HIRED BY MANAGEMENT.

**COMINGLED RECYCLING SUMMARY**

- A. THE TRASH ROOM SHALL BE UTILIZED TO ACCOMMODATE 90 GALLON ROLL CARTS. THE ROLL CARTS WILL BE USED TO STORE ALL COMINGLED RECYCLING, INCLUDING CORRUGATED CARDBOARD. RESIDENTS WILL BE RESPONSIBLE FOR DEPOSITING THEIR RECYCLABLES INTO THE 90 GALLON ROLL CARTS.
- B. TRASH SHALL NOT BE PLACED IN THE RECYCLING ROLL CARTS AND SIGNS STATING THIS WILL BE PLACED ON THE CARTS.
- C. ON RECYCLING COLLECTION DAY MANAGEMENT PERSONNEL WILL MOVE ROLL CARTS FROM THE TRASH ROOM TO THE SIDEWALK ALONG THE INDICATED PATH WHERE THEY CAN BE COLLECTED.
- D. INITIALLY WE ANTICIPATE COMINGLED RECYCLING PICK-UP TO OCCUR AT LEAST TWICE PER WEEK. MANAGEMENT PERSONNEL WILL MONITOR COMINGLED RECYCLING VOLUMES AND ADJUST PICK-UP SCHEDULE(S) AS NEEDED.
- E. RECYCLING COLLECTION AND HAUL OFF WILL BE PERFORMED BY A PRIVATE VENDOR, HIRED BY MANAGEMENT.

**Ballentine Associates, PA**  
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 Chapel Hill, NC 27514  
 ballentineassociates.com



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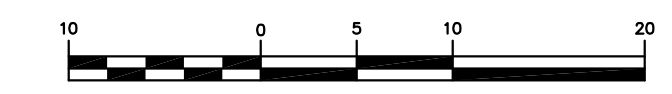
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**157 E. ROSEMARY STREET**  
 CHAPEL HILL, NORTH CAROLINA  
**CONDITIONAL ZONING DRAWINGS**

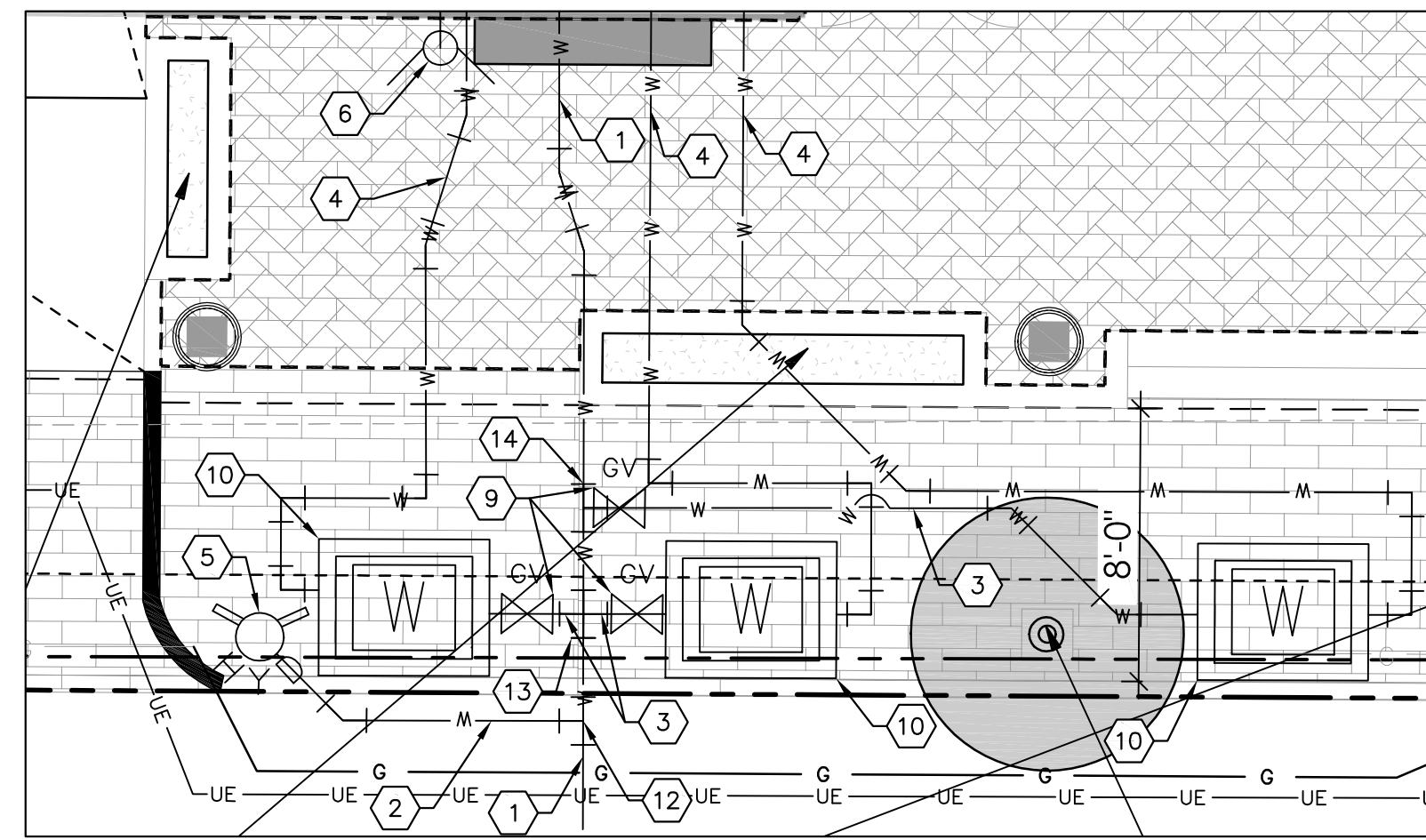
JOB NUMBER: 122002.00  
 DATE: 30 MAR 23  
 SCALE: AS NOTED  
 DRAWN BY: MP  
 REVIEWED BY: G.J.R.

**SHEET**  
**C1002**

**SOLID WASTE MANAGEMENT PLAN**



**REVIEW DRAWING**  
**NOT FOR CONSTRUCTION**



**INSET "A":  
WATER SERVICE CONNECTION**  
SCALE: 1" = 5'

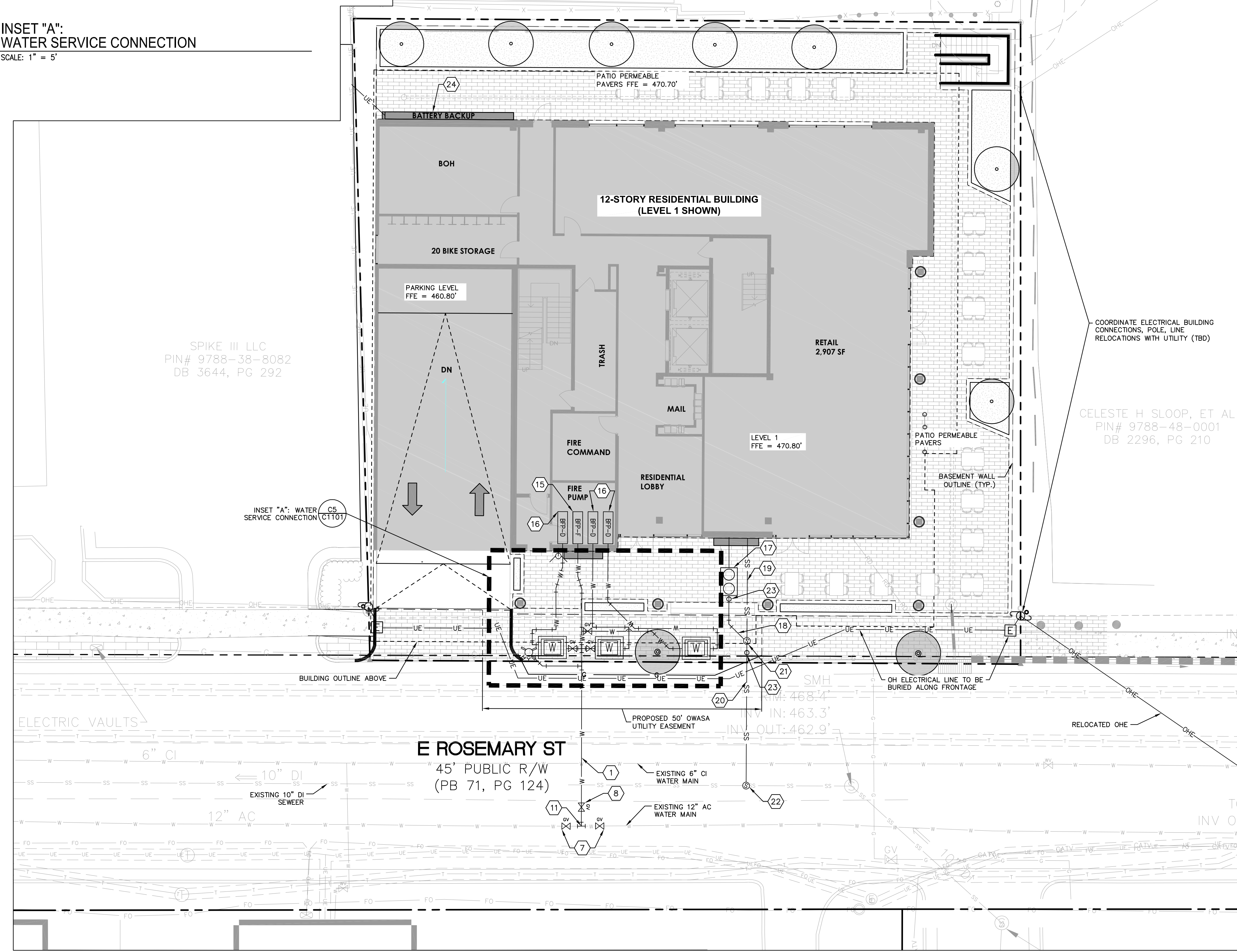
N/F  
GAMMA LAMBDA OF PHI MU FRATERNITY HOUSE CORP  
PIN# 9788-38-9102  
DB 4705, PG 486

- UTILITY PLAN NOTES**
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL & OWASA STANDARDS AND SPECIFICATIONS.
  - THE LOCATION OF THE EXISTING UTILITIES SHOWN SHALL BE CONSIDERED APPROXIMATE. CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION (PRIVATE AND PUBLIC) AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
  - ANY WATER OR SEWER SERVICES TO BE ABANDONED MUST BE ABANDONED AT THE MAIN PER OWASA STANDARDS.

- PLAN KEY NOTES**
- |  |   |
|--|---|
| ① 8" DUCTILE IRON WATER LINE                   | ⑬ 8" x 6" 'TEE' FITTING                                       |
| ② 6" DUCTILE IRON WATER LINE                   | ⑭ 8" x 4" 'TEE' FITTING                                       |
| ③ 4" DUCTILE IRON WATER LINE                   | ⑮ 8" INDOOR FIRE LINE RPDA BACKFLOW PREVENTER                 |
| ④ 2" TYPE "K" COPPER DOMESTIC LINE             | ⑯ 2" INDOOR DOMESTIC RPZ BACKFLOW PREVENTER                   |
| ⑤ FIRE HYDRANT                                 | ⑰ 500-GALLON GREASE & OIL INTERCEPTOR AT PARKING GARAGE LEVEL |
| ⑥ FIRE DEPARTMENT CONNECTION                   | ⑱ 4" DUCTILE IRON SANITARY SEWER SERVICE @ 2% MIN.            |
| ⑦ 12" GATE VALVE & VALVE BOX                   | ⑲ 6" DUCTILE IRON SANITARY SEWER SERVICE @ 2% MIN.            |
| ⑧ 8" GATE VALVE & VALVE BOX                    | ⑳ 8" DUCTILE IRON SANITARY SEWER                              |
| ⑨ 4" GATE VALVE & VALVE BOX                    | ㉑ PRECAST CONCRETE SANITARY SEWER MANHOLE #2                  |
| ⑩ 2" DOMESTIC WATER METER IN UNDERGROUND VAULT | ㉒ DOGHOUSE PRECAST CONCRETE SANITARY SEWER MANHOLE #1         |
| ⑪ 12" x 8" 'TEE' FITTING                       | ㉓ CLEANOUT  |
| ⑫ 8" x 4" 'CROSS' FITTING                      | ㉔ BATTERY BACKUP GENERATION SYSTEM                            |

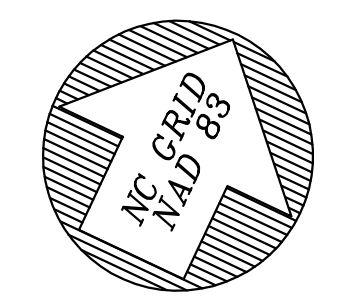
**DRAWING LEGEND**

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
SD	SD	SD	STORM DRAIN LINE
W	W	W	WATER LINE
SS	SS	SS	SANITARY SEWER LINE
UE	UE	UE	UNDERGROUND ELECTRIC LINE
OHE	OHE	OHE	OVERHEAD ELECTRIC LINE
G	G	G	GAS LINE
T	T	T	TELEPHONE LINE
FO	FO	FO	FIBER OPTIC LINE
---	---	---	TREE LINE
●	●	●	EXISTING IRON PIPE SIGN
□	□	□	MAIL BOX
○	○	○	BOLLARD
○	○	○	BORE HOLE
○	○	○	CATCH BASIN
○	○	○	DROP INLET
□	□	□	JUNCTION BOX
○	○	○	WATER METER
○	○	○	WATER VALVE
○	○	○	FIRE HYDRANT
○	○	○	FIRE DEPARTMENT CONNECTION
○	○	○	BACKFLOW PREVENTER
○	○	○	BLOW OFF VALVE
○	○	○	45° - BEND PIPE
○	○	○	90° - BEND PIPE
○	○	○	TEE - BEND PIPE
○	○	○	SANITARY SEWER MANHOLE
○	○	○	SANITARY SEWER CLEANOUT
○	○	○	POWER POLE
○	○	○	LIGHT POLE
○	○	○	ELECTRIC BOX
○	○	○	ELECTRIC TRANSFORMER
○	○	○	HVAC UNIT
○	○	○	TELEPHONE PEDESTAL
○	○	○	TELEPHONE VAULT
○	○	○	TELEPHONE MANHOLE
○	○	○	FIBER OPTIC MARKER

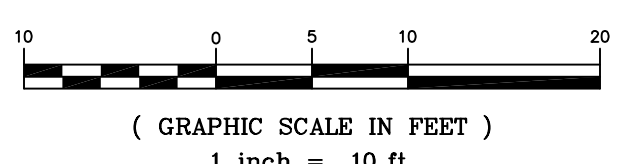


SPIKE III LLC  
PIN# 9788-38-8082  
DB 3644, PG 292

CELESTE H SLOOP, ET AL  
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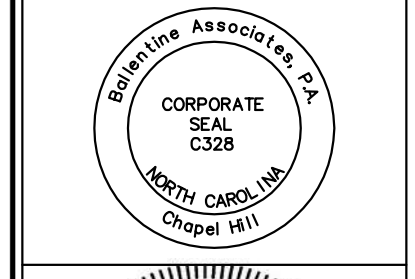


**UTILITY PLAN**



**REVIEW DRAWING  
NOT FOR CONSTRUCTION**

**Ballentine Associates, PA**  
221 Providence Road  
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TJ Capital II LLC  
4006 Abbey Park Way  
SUITE 350  
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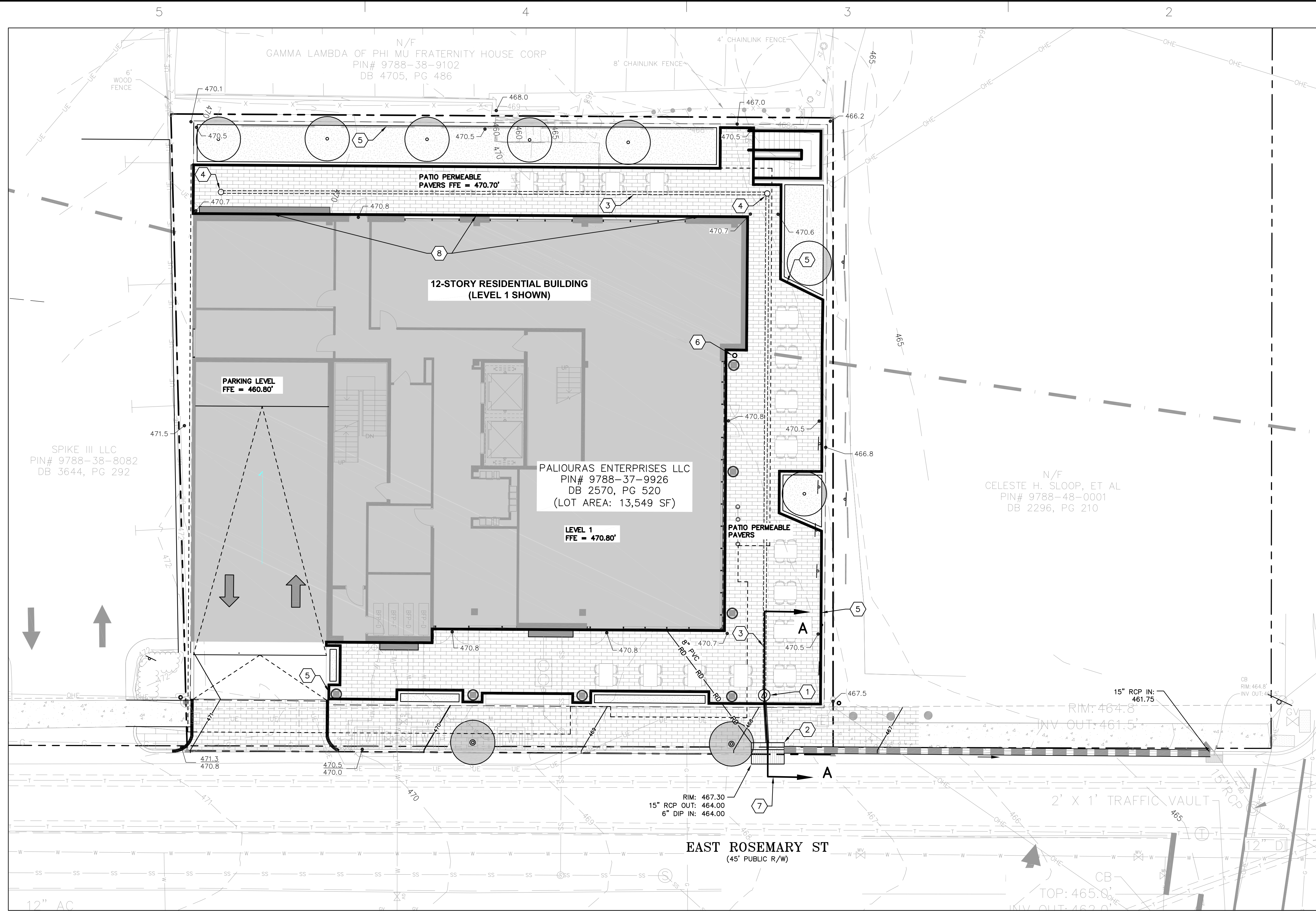
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**157 E. ROSEMARY STREET**  
CHAPEL HILL, NORTH CAROLINA

**CONDITIONAL ZONING DRAWINGS**

JOB NUMBER: 122002.00  
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DRAWN BY: MP  
REVIEWED BY: G.J.R.

**SHEET  
C1101**



**GRADING AND STORM DRAINAGE NOTES**

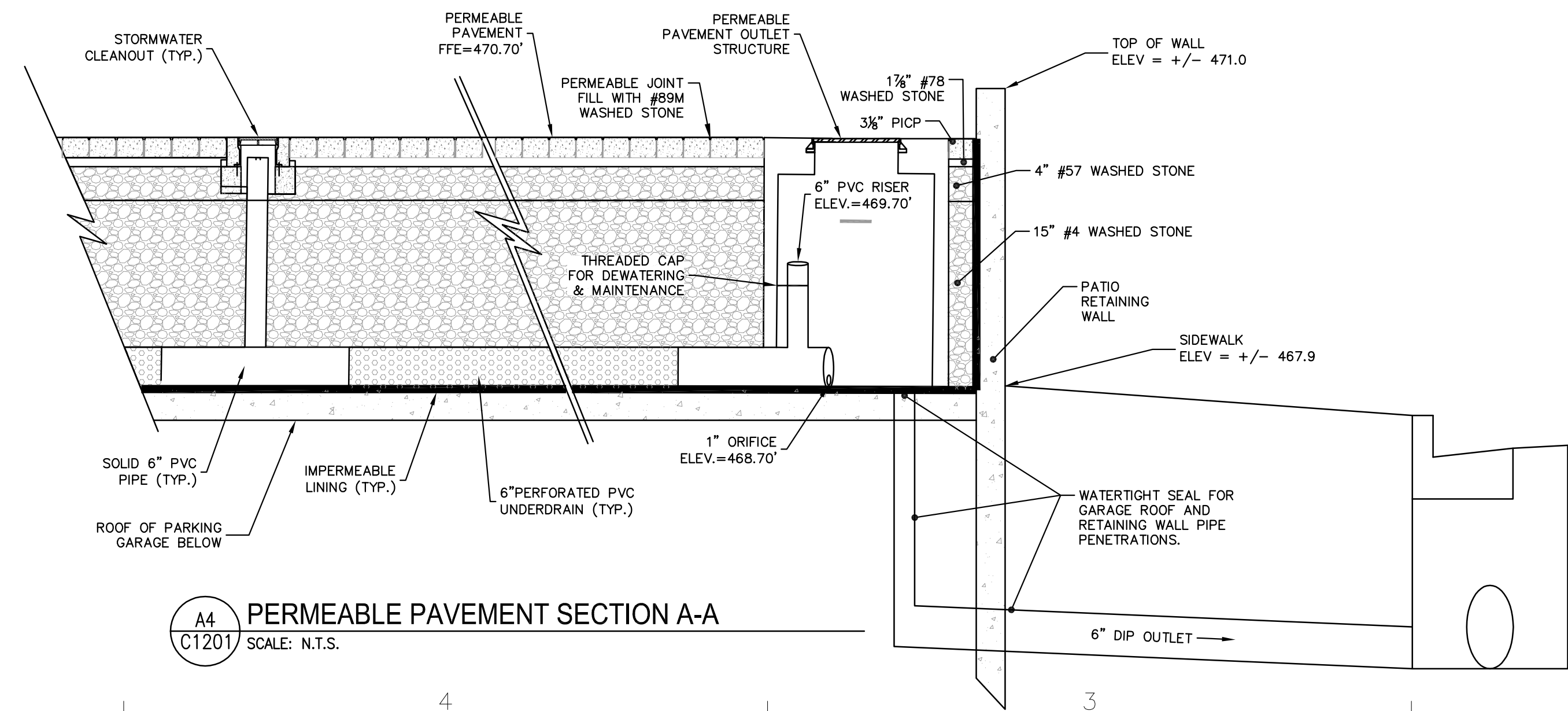
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE NCDOT, NCDOT AND TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949). LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 15 INCHES AND LARGER SHALL BE CLASS III RCP.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SIZE, SLOPE, AND CODE REQUIREMENTS.
- ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
- TOTAL DISTURBED AREA = 0.31 ACRES. SEE IMPERVIOUS BREAKDOWN IN "SITE DATA" TABLE ON SHEET C1001.
- ALL ELEVATIONS ARE REFERENCED TO NAVD 88 DATUM.
- ALL STORM DRAINAGE STRUCTURES SHALL MEET NCDOT STANDARDS AND SPECIFICATIONS, UNLESS NOTED OTHERWISE.
- NO GROUNDWATER DISCHARGE INTO STORM DRAINPIES WITHOUT PERFORMING ANALYTICAL SAMPLING OF THE WATER AND APPROVAL FROM THE TOWN STORMWATER MANAGEMENT DIVISION.
- HYDRAULIC ELEVATOR SUMPS AND FLOOR DRAINS SHALL BE CONNECTED TO SANITARY SEWER.
- A GEOTECHNICAL REPORT, INCLUDING WATER TABLE INFORMATION, WILL BE PROVIDED WITH THE ZONING COMPLIANCE PERMIT SUBMITTAL.

**DRAWING LEGEND**

SYMBOL/ABBREVIATION		DESCRIPTION
EXISTING	PROPOSED	
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY LINE
---	---	ADJOINER PROPERTY LINE
---	---	EASEMENT LINE
-x-x-	-x-x-	FENCE LINE
-SD-SD-	---	STORM DRAIN LINE
---	RD	ROOF DRAIN LINE
---	W	WATER LINE
---	SS	SANITARY SEWER LINE
---	UE	UNDERGROUND ELECTRIC LINE
---	OHE	OVERHEAD ELECTRIC LINE
---	---	TREE LINE
---	---	MAJOR CONTOUR
---	---	MINOR CONTOUR
---	---	LIMITS OF DISTURBANCE
---	---	EXISTING IRON PIPE
---	---	CALCULATED POINT
---	---	CATCH BASIN
---	---	JUNCTION BOX
---	---	WATER METER
---	---	WATER VALVE
---	---	FIRE HYDRANT
---	---	FIRE DEPARTMENT CONNECTION
---	---	BACKFLOW PREVENTER
---	---	SANITARY SEWER MANHOLE
---	---	SANITARY SEWER CLEANOUT
---	---	GREASE PIT
---	---	POWER POLE
---	---	LIGHT POLE

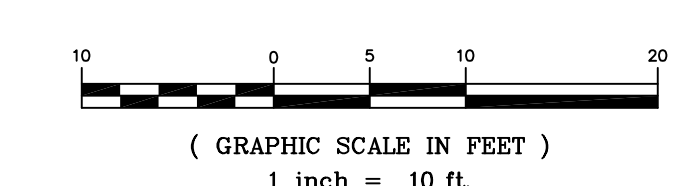
**PLAN KEY NOTES**

- PERMEABLE PAVEMENT OUTLET STRUCTURE
- STANDARD CATCH BASIN (NCDOT) (TYP.)
- 6" PERFORATED PVC UNDERDRAIN (HATCHED AREA - TYP.)
- STORMWATER CLEANOUT (TYP.)
- PERMEABLE PAVEMENT BOUNDARY
- OBSERVATION WELL
- PERMEABLE PAVEMENT SECTION A-A
- ROOF LEADERS DRAINING TO SURFACE OF PERMEABLE PAVEMENT



**A4 PERMEABLE PAVEMENT SECTION A-A**  
SCALE: N.T.S.

**GRADING AND DRAINAGE PLAN**



**REVIEW DRAWING NOT FOR CONSTRUCTION**

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Chapel Hill, NC 27514  
919.929.0481  
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INCORPORATED  
CORPORATE SEAL  
3236  
NORTH CAROLINA  
CHAPEL HILL

REGISTERED PROFESSIONAL ENGINEER  
NO. 29177  
GEOLOGICAL ENGINEERING  
GEOLOGICAL ENGINEERING  
GEOLOGICAL ENGINEERING

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**SHEET C1201**