

PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD, CHAPEL HILL, NC 27514

1ST FINAL PLAN SUBMITTAL: APRIL 18, 2019

APPLICANT / OWNER

KEN GORFKLE
1436 POINSETT DRIVE
CHAPEL HILL, NC 27717
PHONE: 919-942-1467

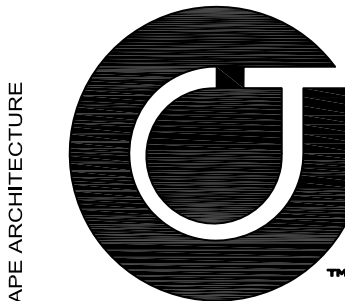
CONSULTANTS:

LANDSCAPE ARCHITECT:
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111 WEST MAIN STREET
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CONTACT: PRESTON ROYSTER

PIN: 9788419609
PID: 8801003

ARCHITECT:
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LIC# C-1209
NC BOARD OF LANDSCAPE
ARCHITECTS LIC# C-104



PROJECT DATA

PARCEL A:
SITE ADDRESS: 111 PUREFOY ROAD
CHAPEL HILL, NC 27514

OWNER:
OWNER ADDRESS: KEN GORFKLE
1436 POINSETT DRIVE
CHAPEL HILL, NC 27717

PIN: 9788419609
PARCEL ID: 8801003
ACREAGE: 56,805.72 SF / 1.30 AC
PLAT BOOK: PB3/PG40 ORANGE CO. REG.

EXISTING LAND USE: DWELLING UNIT, SINGLE FAMILY W/ ACCESSORY APARTMENT
PROPOSED LAND USE: MULTI-FAMILY RESIDENTIAL
EXISTING ZONING: R-4, MEDIUM DENSITY RESIDENTIAL, 10 UNITS / ACRE
COMP. PLAN LAND USE: MEDIUM RESIDENTIAL, 4-8 UNITS PER/AC
OVERLAYS: MASON FARMS/WHITEHEAD CIRCLE NEIGHBORHOOD CONSERVATION DISTRICT PLAN
ADOPTED PLANS: N/A
TOTAL PROJECT AREA: NET LAND AREA BEFORE R.O.W. DEDICATION - 56,805.72 SF / 1.30 AC
NET LAND AREA POST R.O.W. DEDICATION - 53,756.70 SF / 1.23 AC
GROSS LAND AREA - 58,717.70 SF / 1.35 AC
ON-SITE DISTURBED AREA = 36,367 SF / 0.83 AC (PRE ROW DEDICATION)
ROW DISTURBED AREA = 1,731 SF / 0.04 AC (PRE ROW DEDICATION)
OFF-SITE ROW DISTURBED AREA = 167 SF / 0.004 AC (PRE ROW DEDICATION)
ON-SITE DISTURBED AREA = 33,318 SF / 0.76 AC (POST ROW DEDICATION)
ROW DISTURBED AREA = 4,780 SF / 0.11 AC (POST ROW DEDICATION)
OFF-SITE ROW DISTURBED AREA = 167 SF / 0.004 AC (POST ROW DEDICATION)

RIVER BASIN: CAPE FEAR RIVER BASIN
WATERSHED OVERLAY: JORDAN LAKE WATERSHED PROTECTION DISTRICT

DESIGN STANDARDS
MIN LOT SIZE: 1 ACRE GROSS LAND AREA (NEIGHBORHOOD CONSERVATION DISTRICT)
MAXIMUM DENSITY: 10 DWELLING UNITS
MIN. LOT FRONTAGE: 40'
MIN. LOT WIDTH: 50'
MAX. BUILDING HEIGHT
PRIMARY: 30' (LUMO 3.8.2 AND APPENDIX B, DIVISIONS)
SECONDARY: 30' (NEIGHBORHOOD CONSERVATION DISTRICT)

BUILDING SETBACKS
STREET: 50' MIN. (NEIGHBORHOOD CONSERVATION DISTRICT)
INTERIOR: 25' MIN. (NEIGHBORHOOD CONSERVATION DISTRICT)
SOLAR: 9' MIN.

PROPOSED BLDG. AREA: BLDG #1 - 4,512 GSF (3 UNITS/ 12 BEDROOMS)
BLDG #2 - 6,016 GSF (4 UNITS/ 16 BEDROOMS)
TOTAL - 10,528 GSF (7 UNITS/ 28 BEDROOMS)

PROPOSED DENSITY: 7 DU / 1.35 GLA = 5.18 DU PER AC PROPOSED

PARKING
MIN. NUMBER OF SPACES: 2 PER DWELLING UNIT
MAX. NUMBER OF SPACES: 2.50 PER DWELLING UNIT
REQUIRED: 2 X 7 DU = 14 SPACES MIN. / 2.5 X 7 DU = 18 SPACES MAX.
PROVIDED: 18 PARKING SPACES INCLUDING 1 HANDICAP VAN ACCESSIBLE SPACE

MIN. BICYCLE PARKING
REQUIRED: 1 BICYCLE PARKING SPACE PER 4 DWELLING UNITS LUMO 5.9.7
7 DU / 4 DU = 2 BICYCLE PARKING SPACES
2 TOTAL (CLASS I) BICYCLE PARKING SPACES REQUIRED
2 (CLASS I) BICYCLE PARKING SPACES (BIKE HOOKS INTERIOR)
28 (CLASS II) BICYCLE PARKING SPACES (14 BIKE RACKS EXTERIOR)

PROVIDED:

LANDSCAPE BUFFERS
NORTH R4-R4 ZONING (CHURCH) - 20' TYPE "C" ALTERNATE LANDSCAPE BUFFER
WEST PUREFOY RD (COLLECTOR STREET) - 20' TYPE "C" ALTERNATE LANDSCAPE BUFFER
SOUTH R4-R4/R-LD1 ZONING - 10' TYPE "B" ALTERNATE LANDSCAPE BUFFER
EAST R4-R-LD1 ZONING - 10' TYPE "B" ALTERNATE LANDSCAPE BUFFER

TREE PROTECTION
RE:SD-7.0 LANDSCAPE PLAN

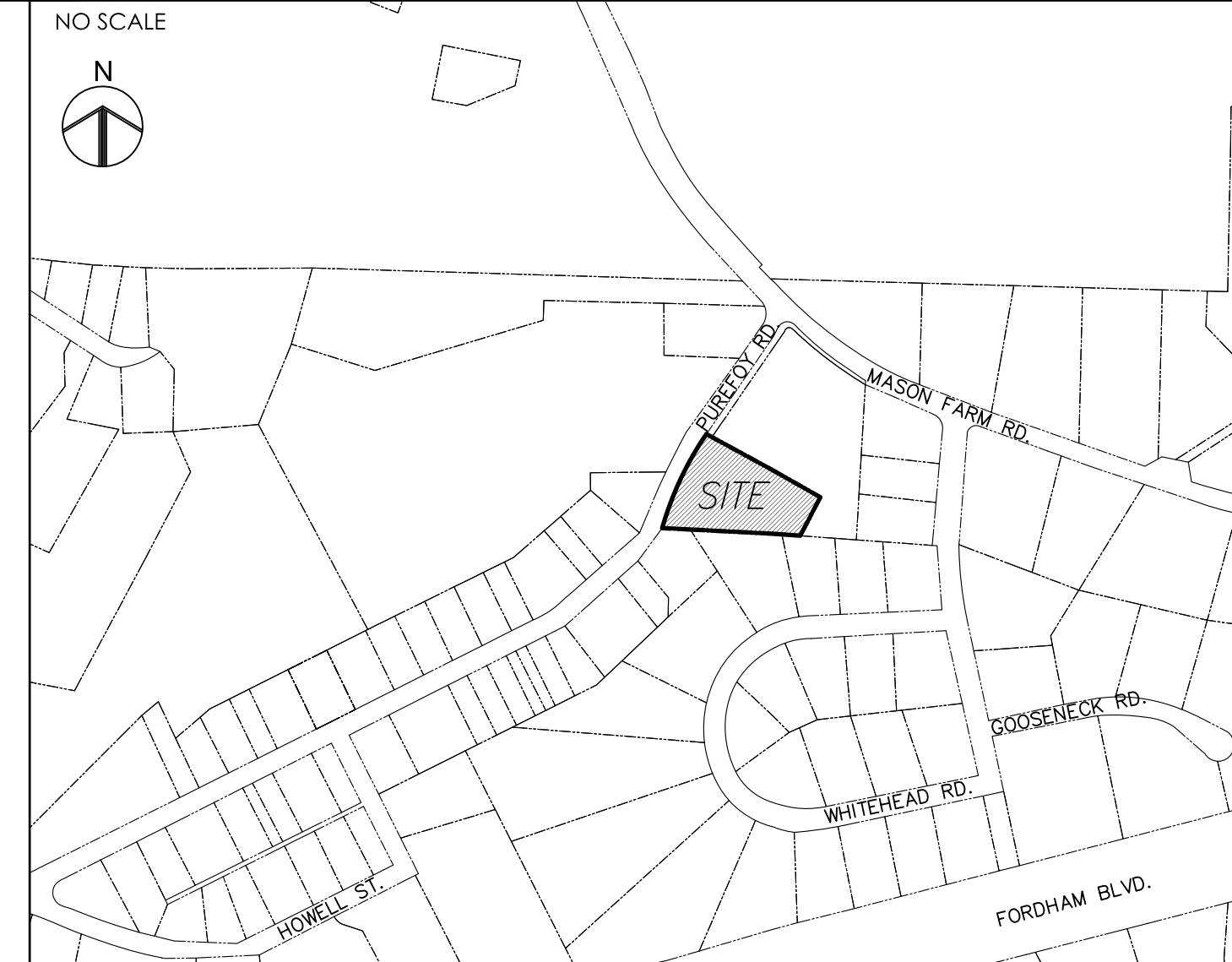
IMPERVIOUS SURFACE
EXISTING: 5,744 SF / 0.13 AC (10.69% OF SITE)
PROPOSED: 20,302 SF / 0.47 AC (37.77% OF SITE)

RECREATION AREA AND RECREATION SPACE
MIN. RECREATION AREA: NONE REQUIRED
MIN. RECREATION SPACE: (R-4 ZONING) 0.039 X 58,717.70 SF (GROSS) = 2,290 SF REQUIRED
PROVIDED: 0 SF, APPLICANT REQUESTING PAYMENT-IN-LIEU

GENERAL CONDITIONS OF APPROVAL

- PRIOR TO A CERTIFICATE OF OCCUPANCY CONSTRUCT A 5 FOOT WIDE CONCRETE SIDEWALK TO TOWN STANDARDS BEHIND THE DITCH ALONG THE LENGTH OF THE PUREFOY ROAD FRONTAGE.
- PRIOR TO A CERTIFICATE OF OCCUPANCY CONSTRUCT THE DRIVE AISLE AND PARKING LOT TO TOWN STANDARDS FOR PAVEMENT DESIGN AND DIMENSIONS.
- RIGHT-OF-WAY DEDICATION PLAT REQUIRED PRIOR TO ISSUANCE OF FINAL PLANS ZONING COMPLIANCE PERMIT.
- SECONDARY HEIGHT, BUILDING SETBACK AND SOLAR SETBACK (25' MINIMUM) ARE ALL GOVERNED BY LUMO APPENDIX B DIVISION 5: MASON FARM/WHITEHEAD CIRCLE NEIGHBORHOOD CONSERVATION DISTRICT.
- RECREATION SPACE PAYMENT IN LIEU OF \$27,897.82 IS REQUIRED PRIOR TO ISSUANCE OF A FINAL PLANS ZONING COMPLIANCE PERMIT.
- 5 FOOT SIDEWALK TO BE INSTALLED ACCORDING TO APPROVED PLANS PRIOR TO ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY.
- ABOVE GROUND UTILITY LINES ARE REQUIRED TO BE BURIED IN ACCORDANCE WITH LUMO 5.12.2. UTILITY PLANS DEMONSTRATING COMPLIANCE WITH THIS REQUIREMENT SHALL BE SUBMITTED PRIOR TO ISSUANCE OF A FINAL PLANS ZONING COMPLIANCE PERMIT.
- OWNER SHALL CONTRACT WITH PRIVATE TRASH COLLECTION COMPANY FOR PICK-UP OF REFUSE AND RECYCLABLES. PICK-UP SHALL OCCUR AT A FREQUENCY THAT ENSURES A SAFE AND SANITARY FACILITY.
- PUBLIC RECYCLING WAIVER:
 - APPLICANT ELECTS TO PROVIDE RECYCLING SERVICES TO RESIDENTS/TENANTS OF THIS PROPERTY IN LIEU OF BUILDING A RECYCLING STATION CONSTRUCTED TO ORANGE COUNTY SPECIFICATIONS. THE SITE WILL NOT RECEIVE PUBLIC RECYCLING COLLECTION NOW OR IN THE FUTURE UNLESS SUCH A RECYCLING STATION IS CONSTRUCTED OR CONTINGENCY FOR SUCH A STATION IS INCLUDED ON THE DEVELOPMENT PLANS.
 - APPLICANT MUST REQUIRE AT LEAST THE SAME LEVEL OF SERVICE (CURRENT OR FUTURE) TO ITS RESIDENTS AS THAT PROVIDED BY ORANGE COUNTY.
 - COUNTY FEES FOR RECYCLING AND WASTE MANAGEMENT ASSOCIATED WITH THIS PROJECT/PROPERTY WILL NOT BE WAIVED.
 - APPLICANT AGREES TO ENTER INTO A SERVICE AGREEMENT WITH A PRIVATE SOLID WASTE/RECYCLING COLLECTION CONTRACTOR THAT IS ACCEPTABLE TO ORANGE COUNTY. FURTHER, THE AGREEMENT SHALL PROVIDE FOR THE COLLECTION AND RECYCLING OF CORRUGATED CARDBOARD IN ADDITION TO THE OTHER CO-MINGLED RECYCLABLES AND AN EXECUTED COPY OF THE AGREEMENT SHALL BE PROVIDED TO AND APPROVED BY ORANGE COUNTY PRIOR TO APPROVAL OF FINAL CONSTRUCTION PLANS FOR THE PROPERTY/PROJECT.
- OWNER COMMITS TO RESERVING TWO PARKING SPACES FOR EACH DWELLING UNIT. THE REMAINING THREE PARKING SPACES IN FRONT WILL BE AVAILABLE FOR VISITORS.

VICINITY MAP



LIST OF SHEETS

- | | |
|--------|--------------------------------------|
| SD-0.0 | COVER SHEET |
| SD-0.1 | AREA MAP |
| SD-1.0 | EXISTING CONDITIONS/DEMOLITION PLAN |
| SD-2.0 | SITE LAYOUT PLAN |
| SD-3.0 | GRADING AND STORMWATER DRAINAGE PLAN |
| SD-3.1 | STORMWATER DETAILS |
| SD-3.2 | RESERVED |
| SD-4.0 | EROSION CONTROL PLAN |
| SD-5.0 | UTILITY PLAN |
| SD-6.0 | SITE LIGHTING PLAN |
| SD-7.0 | LANDSCAPE PLAN |
| SD-8.0 | SITE DETAILS |
| SD-8.1 | EROSION CONTROL DETAILS |
| SD-8.2 | UTILITY DETAILS |

APPROVAL STAMPS

PROJECT NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY HOLLAND LAND SURVEYING, MAY 2016.

RESOURCE ORDINANCE COMPLIANCE

FLOODPLAIN PROTECTION: NO FLOODPLAIN AS PER REVISED PRELIMINARY FEMA MAP NUMBER 3710978800K (REVISION DATE: AUGUST 30, 2013).
STEEP SLOPE PROTECTION: SEE STEEP SLOPES ON SD-1.0 EXISTING CONDITIONS PLAN.
WETLANDS PROTECTION: THERE ARE NO WETLANDS ON THIS SITE.
STREAM BUFFERS: THERE ARE NO STREAM BUFFERS ON THIS SITE.

Project

PUREFOY
ROAD
APARTMENTS

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 4/18/2019

Revisions

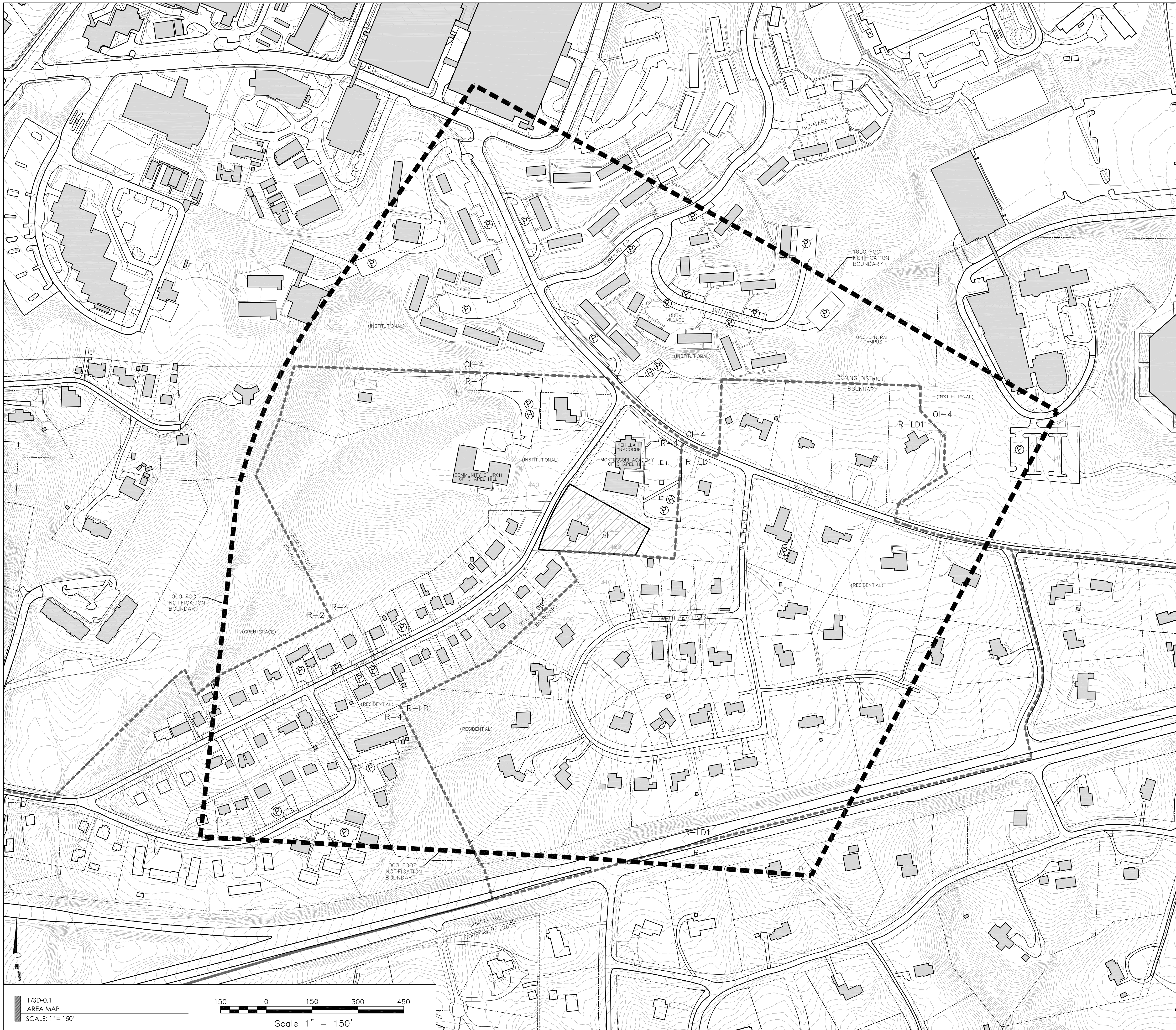
FINAL PLANS
NOT ISSUED
FOR CONSTRUCTION

Sheet Title

COVER
SHEET

Sheet Number

SD-0.0



PIN: 9788419609
PID: 8801003

LEGEND

- NOTIFICATION BOUNDARY
- ZONING DISTRICT BOUNDARY
- - - CHAPEL HILL CORPORATE LIMITS
- PROPERTY LINE
- STREAM
- Ⓜ ADA PARKING
- Ⓟ VEHICULAR PARKING
- Ⓟ BICYCLE PARKING

NOTE:
AREA MAP ASSEMBLED USING LINE WORK FROM
TOWN OF CHAPEL HILL GIS.



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**PUREFOY
ROAD
APARTMENTS**

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
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Job Number 1642

Drawn MTC, ED
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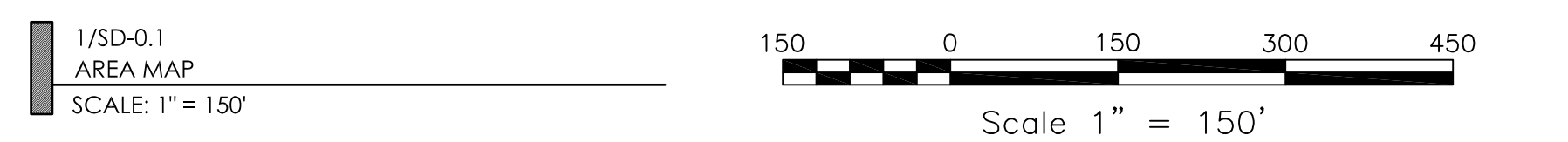
**FINAL PLANS
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Sheet Title

**AREA
MAP**

Sheet Number

SD-0.1



| CURVE | ARC LENGTH | RADIUS | DELTA | ANGLE | CHORD | BEARING | CHORD LENGTH |
|-------|------------|---------|----------|---------------|---------|---------|--------------|
| C1 | 133.53 | 1783.00 | 10709.58 | N 28°39'28" E | 1333.36 | | |

Tree Table :

| | | | | | |
|----|-----|------------------|----|-----|-------------|
| 1 | 10" | Magnolia | 26 | 24" | Pine |
| 2 | 18" | Oak | 27 | 18" | Hickory |
| 3 | 20" | Pine | 28 | 16" | Oak |
| 4 | 22" | Pine | 29 | 20" | Pine |
| 5 | 22" | Pine | 30 | 16" | Pine |
| 6 | 26" | Pine | 31 | 30" | Twin Pine |
| 7 | 36" | Oak | 32 | 18" | Pine |
| 8 | 30" | Oak | 33 | 36" | Twin Oak |
| 9 | 30" | Oak | 34 | 24" | Pine |
| 10 | 38" | Oak | 35 | 24" | Twin Oak |
| 11 | 16" | Cedar | 36 | 24" | Pine |
| 12 | 22" | Cedar | 37 | 30" | Pine |
| 13 | 18" | Hickory | 38 | 18" | Poplar |
| 14 | 18" | Hickory | 39 | 12" | Hickory |
| 15 | 30" | Pine | 40 | 36" | Pine |
| 16 | 18" | Pine | 41 | 18" | Maple |
| 17 | 32" | Hickory | 42 | 12" | Pine |
| 18 | 16" | Maple | 43 | 14" | Pine |
| 19 | 24" | Triple Hackberry | 44 | 10" | Hickory |
| 20 | 36" | Pine | 45 | 10" | Hickory |
| 21 | 36" | Pine | 46 | 14" | Pine |
| 22 | 48" | Bald Cypress | 47 | 12" | Pine |
| 23 | 18" | Pine | 48 | 12" | Pine |
| 24 | 30" | Pine | 49 | 8" | Twin Cherry |
| 25 | 22" | Pine | 50 | 16" | Pine |

ALL EXISTING IMPROVEMENTS WITHIN LIMITS OF DISTURBANCE TO BE REMOVED AS NECESSARY TO CONSTRUCT THOSE PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS



2/SD-1.0
EXISTING CONDITIONS / DEMOLITION NOTES

- NTS
- ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
 - SEE SITE LAYOUT SHEET SD-2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
 - UTILITIES: SEE UTILITY PLAN SD-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
 - CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
 - CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE TOWN OF CHAPEL HILL RIGHT OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
 - CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
 - CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
 - ALL PAVEMENT PATCHING SHALL BE PERFORMED PER TOWN OF CHAPEL HILL SPECIFICATIONS AND STANDARDS.
 - BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
 - BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
 - PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
 - THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
 - TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY ON THE SITE.

3/SD-1.0
LEDGEND

- NTS
- ITEM TO BE DEMOLISHED/REMOVED OR RELOCATED

4/SD-1.0
DESCRIPTION OF EXISTING SITE FEATURES

NTS

TOPOGRAPHY/SLOPES:
THE SITE SLOPES FROM A HIGH POINT IN THE NORTHWEST CORNER TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY. THERE IS APPROXIMATELY 20' OF ELEVATION DROP ACROSS THE SITE. THE SITE HAS SLOPES OF 3% TO OVER 17%. THE MAJORITY OF THE SITE HAS SLOPES LESS THAN 10%.

THERE ARE NO EXISTING STEEP SLOPES IN EXCESS OF 25% ON THIS PROJECT SITE PER LUMO SEC. 5.3.2 STEEP SLOPES.

HYDROLOGIC FEATURES/ DRAINAGE:
THE SITE DRAINS FROM THE NORTHWEST CORNER TOWARDS THE SOUTHEAST CORNER OF THE PROPERTY.

SOIL TYPES:
THE USDA NRCS WEB SOIL SURVEY CLASSIFIES TWO POSSIBLE SOIL TYPES WITHIN THE SITE.
A5B APPLING SANDY LOAM - 2-6 PERCENT SLOPES
A6C APPLING SANDY LOAM - 6-10 PERCENT SLOPES.

SUN/SHADE PATTERNS:
THE SUN WILL PASS AROUND THE SOUTH SIDE OF THE BUILDINGS DURING THE COURSE OF THE DAY. EFFORT WILL BE GIVEN TO RETAIN AS MANY EXISTING TREES AS POSSIBLE SOUTH OF THE BUILDINGS TO PROVIDE SHADE.

WHERE TREES ARE REMOVED FROM THE SOUTHERN LANDSCAPE BUFFER FOR GRADING PURPOSES NEW TREES WILL BE PLANTED. TREES WILL ALSO BE ADDED TO THE NEW PARKING AREAS TO PROVIDE SHADE AND MEET MINIMUM REQUIREMENTS.

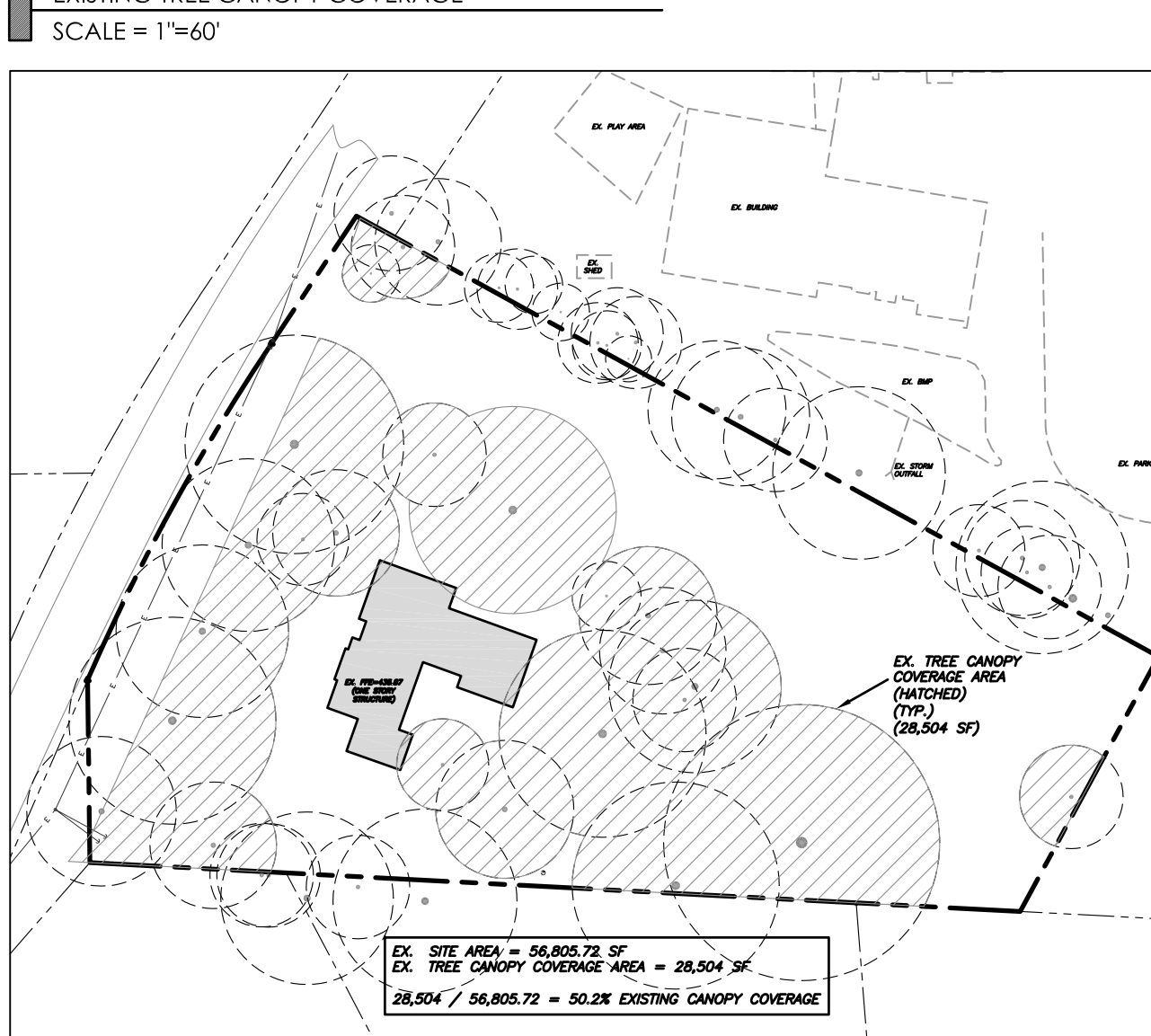
FEMA FLOODPLAIN INFORMATION:
THERE IS NO MAPPED FLOODPLAIN AS PER FEMA MAP NUMBER 3710978800J (EFFECTIVE FEBRUARY 2, 2007)

SPECIAL FEATURES:
THIS PROPERTY HAS FRONTAGE ON PUREFOY ROAD.

VEGETATION:
THE SITE CONTAINS BOTH EXISTING HARDWOOD AND PINE TREES.

TRANSIT FACILITIES:
THE NEAREST BUS STOP IS LOCATED NORTH OF THE SITE ON JACKSON CIRCLE.

5/SD-1.0
EXISTING TREE CANOPY COVERAGE



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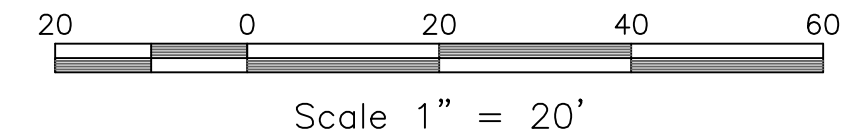
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Sheet Title
EXISTING CONDITIONS / DEMOLITION PLAN

Sheet Number
SD-1.0

1/SD-1.0
EXISTING CONDITIONS / DEMOLITION PLAN
SCALE: 1" = 20'



7/SD-2.0
TRAFFIC CONTROL PLAN NOTES
SCALE: NTS

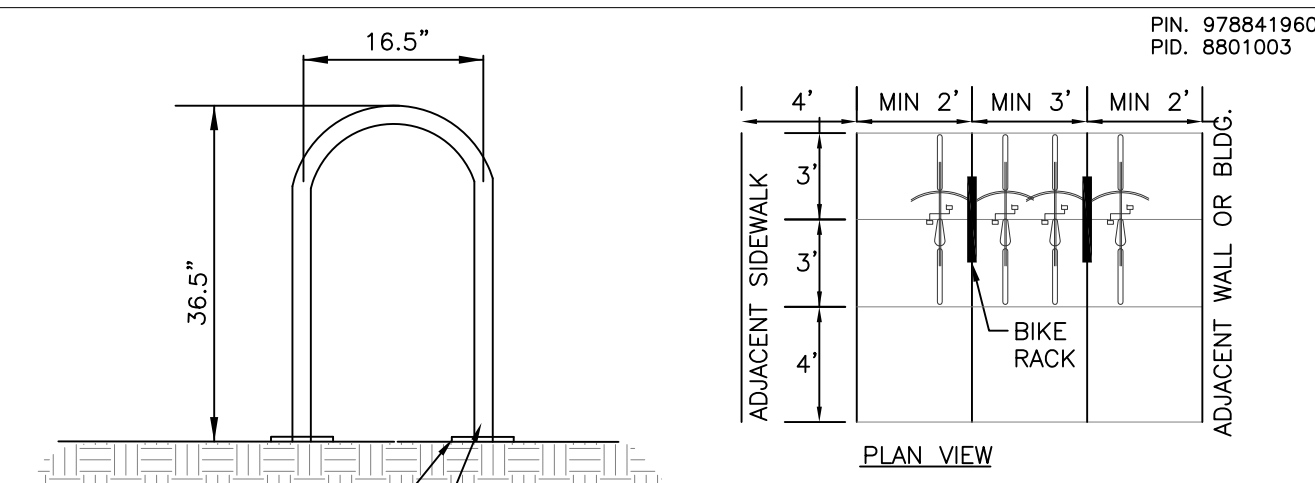
- CONSTRUCTION ASSOCIATED WITH THE PUREFOY ROAD APARTMENT PROJECT WILL OCCUR WITHIN THE PUREFOY ROAD RIGHT-OF-WAY. A TEMPORARY LANE CLOSURE MAY BE NEEDED FOR CONSTRUCTION AT DIFFERENT TIMES.
- AT ALL TIMES DURING THE PROJECT, REQUIRED WORK ZONE SIGNAGE SHALL BE IN PLACE PER CURRENT NCDOT AND TOWN OF CHAPEL HILL STANDARDS.
- DURING TEMPORARY LANE CLOSURES, ADDITIONAL SIGNAGE SHALL BE PLACED PER CURRENT NCDOT AND TOWN OF CHAPEL HILL STANDARDS.
- ALL SIGNAGE SHALL COMPLY WITH THE LATEST MUTCO REQUIREMENTS AND NCDOT AND TOWN OF CHAPEL HILL.
- TEMPORARY LANE CLOSURES REQUIRE A PERMIT FROM THE TOWN OF CHAPEL HILL, AND ARE ALLOWED ONLY DURING DAYLIGHT HOURS. CONTACT THE TOWN ENGINEERING DEPARTMENT AT 919-969-5096 FOR EACH PERMIT AT LEAST 5 DAYS IN ADVANCE. A 72-HOUR NOTICE IS REQUIRED (SAME DEPARTMENT) PRIOR TO ACTUAL CLOSURE.
- CONTRACTOR TO MAINTAIN TWO WAY TRAFFIC AND ENSURE ONE OPEN LANE AT ALL TIMES.

8/SD-2.0
FRONT YARD PARKING CALCULATIONS
SCALE: NTS

FRONT YARD PARKING CALCULATIONS
PER LUMO SEC. 5.9.9.C. PARKING AND DRIVE AREAS SHALL BE LIMITED TO 40 PERCENT OF THE FRONT YARD AREA OF ANY ZONING LOT.
AND PER APPENDIX B. - NEIGHBORHOOD CONSERVATION DISTRICTS, DIVISION 5. - MASON FARM / WHITEHEAD CIRCLE NCD. SEC. 5.3 MAXIMUM PERCENT OF FRONT YARD USED FOR PARKING SHALL BE 25%.
TOTAL FRONT YARD AREA MEASURED BETWEEN THE STREET AND A LINE DRAWN PARALLEL TO THE STREET FROM THE POINT OF THE STRUCTURE THAT IS CLOSEST TO THE STREET = 15,551 SF
TOTAL DRIVEWAY AND PARKING AREA WITHIN FRONT YARD = 2,276 SF
2,276 SF / 15,551 SF = 14.64% PARKING AND DRIVEWAY WITHIN FRONT YARD

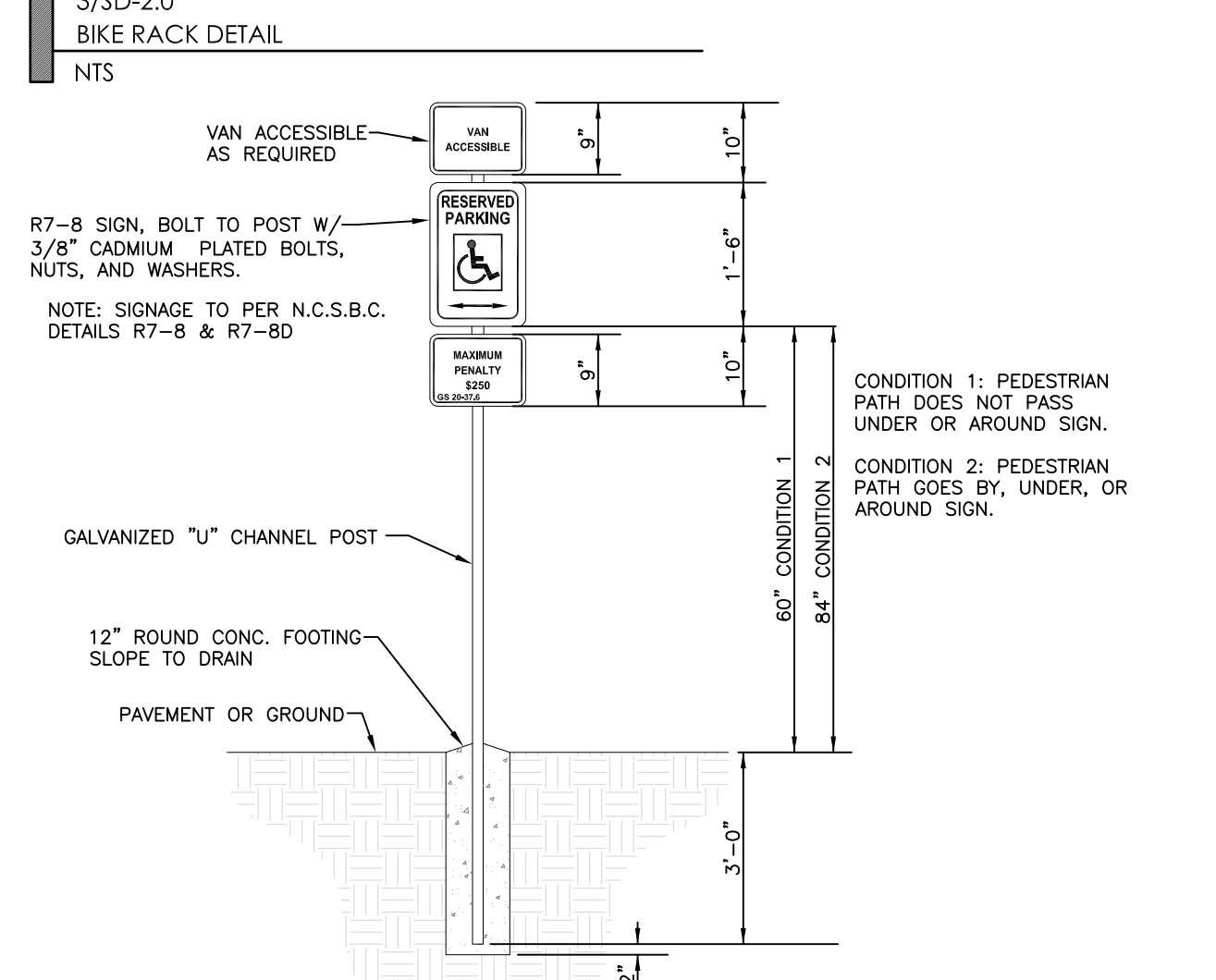
2/SD-2.0
SITE LAYOUT PLAN NOTES
SCALE: NTS

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAYOUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-80 MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMP SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE DEMOLITION PLAN SHEET SD-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- APPROVED BUILDING ADDRESS NUMBERS, PLACED IN ACCEPTABLE POSITION TO THE FIRE CODE OFFICIAL, SHALL BE REQUIRED ON ALL NEW BUILDINGS. NC FPC 2012, 505.1 (FIRE) ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES HIGH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. REFLECTIVE NUMBERS ARE PREFERRED. WHEN THE DISTANCE FROM THE STREET OR FIRE DEPARTMENT ACCESS LANE TO THE FRONT OR ADDRESS SIDE OF THE BUILDING EXCEEDS 25 FEET, LARGER NUMBERS ARE REQUIRED. 26 FEET TO 50 FEET SHALL HAVE 8 INCH NUMBERS, 51-75 FEET SHALL HAVE 12 INCH NUMBERS AND OVER 75 FEET SHALL HAVE 18 INCH NUMBERS. WHERE ACCESS IS BY PRIVATE MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- CONTRACTOR SHALL INSTALL CONTINUOUS FENCING AT THE LIMITS OF DISTURBANCE PRIOR TO ANY DEMOLITION OR SITE WORK.
- DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.
- ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC.
- WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX, MOUNTED ON THE ADDRESS SIDE OF THE BUILDING, NEAR THE MAIN ENTRANCE, SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY AND/OR FIRE PROTECTION NEEDS. NC FPC 2012, 506 (FIRE).
- PRIOR TO BEGINNING WORK IN THE PUBLIC RIGHT-OF-WAY THE APPLICANT MUST CONTACT THE ENGINEERING DIVISION TO APPLY FOR AN ENGINEERING CONSTRUCTION PERMIT AND TO SCHEDULE A PRECONSTRUCTION CONFERENCE.



3/SD-2.0
BIKE RACK DETAIL
NTS

NOTES:
1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. BIKE RACK SPACING SHALL MEET REQUIREMENTS OF THE TOWN OF CHAPEL HILL DESIGN MANUAL SECTION 4.11
3. DO NOT SCALE DRAWINGS.



GENERAL NOTES:
1. REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
2. NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
3. ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
4. STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)

4/SD-2.0
ADA SIGNAGE
NTS

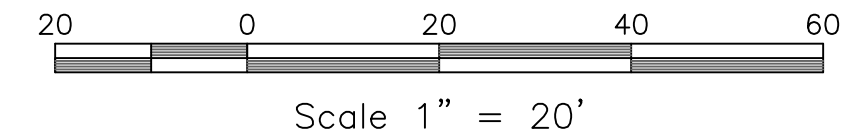
- COMPLIANCE WITH THE TOWN NOISE ORDINANCE IS REQUIRED DURING CONSTRUCTION OF THIS PROJECT.
- AN ENGINEERING CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY. CONTACT LARRY TUCKER (TOWN ENGINEERING AND DESIGN SERVICES DIVISION, (919)-969-5084) TO APPLY FOR THE PERMIT.
- THERE WILL BE NO CONSTRUCTION TRAILER ON SITE.
- CONSTRUCTION PERSONNEL AND CONSTRUCTION EQUIPMENT PARKING WILL BE WITHIN THE PROPERTY LIMITS. PERSONNEL PARKING SHALL BE FIRST LOCATED WEST OF PROPOSED BLDG. #2 WITHIN EXISTING GRAVEL DRIVEWAY. AS CONSTRUCTION PROGRESSES PERSONNEL PARKING SHALL SHIFT TO REAR PARKING AREA WHILE THE FRONT PARKING AREA, DRIVEWAY CONNECTION AND NEW SIDEWALK ARE BEING CONSTRUCTED. ADDITIONAL ON-SITE PARKING ARRANGEMENTS SHALL BE COORDINATED WITH THE TOWN IF DETERMINED TO BE NEEDED DURING CONSTRUCTION.
- STAGING FOR CONSTRUCTION MATERIALS SHALL BE FIRST LOCATED WEST OF PROPOSED BLDG. #2 WITHIN THE EXISTING GRAVEL DRIVEWAY AREA. AS CONSTRUCTION PROGRESSES STAGING FOR CONSTRUCTION MATERIALS SHALL SHIFT TO REAR PARKING AREA WHILE THE FRONT PARKING AREA, DRIVEWAY CONNECTION AND NEW SIDEWALK ARE BEING CONSTRUCTED.
- EMERGENCY VEHICLE ACCESS WILL BE FROM ADJACENT ROW (PUREFOY ROAD). CONTRACTOR SHALL ENSURE ACCEPTABLE EMERGENCY VEHICLE ACCESS AT ALL TIMES DURING CONSTRUCTION.
- DELIVERY TRUCKS SHALL DELIVER FROM ADJACENT ROW (PUREFOY ROAD).
- CONTRACTOR TO PROVIDE CONSTRUCTION SIGNAGE AS NECESSARY ALONG PUREFOY ROAD PER LATEST NCDOT STANDARDS.
- FOR TEMPORARY LANE CLOSURES REFERENCE NOTES 5&6, 7/SD-2.0 TRAFFIC CONTROL PLAN NOTES.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC FIRE PREVENTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SHALL DESIGNATE ONE PERSON TO BE THE FIRE PREVENTION PROGRAM SUPERINTENDENT WHO SHALL BE RESPONSIBLE FOR ENFORCING CHAPTER 14 OF THE NCFPC AND THE ON-SITE FIRE PREVENTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- FIRE WATCH; DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL PROVIDE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404.

5/SD-2.0
CONSTRUCTION MANAGEMENT PLAN NOTES

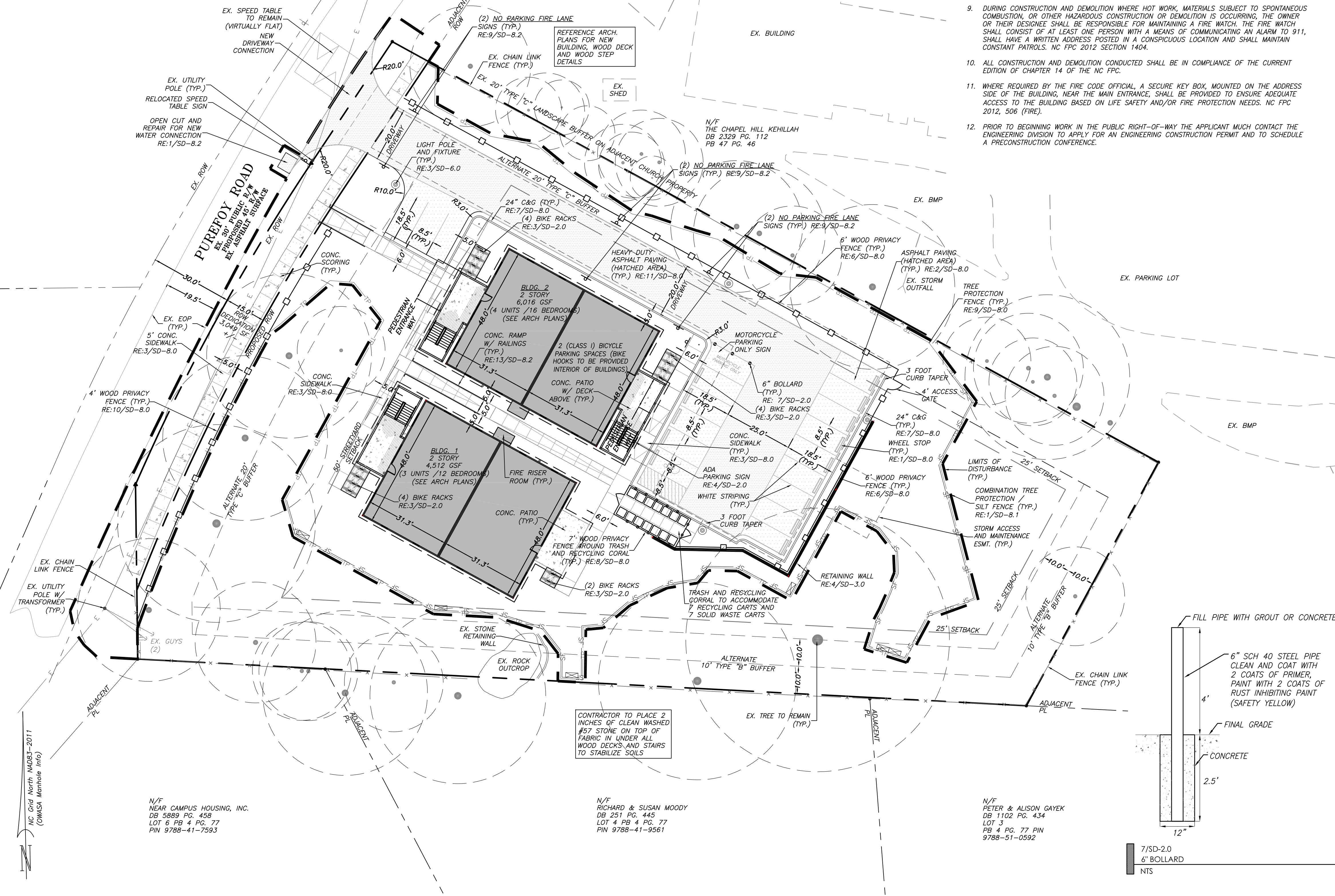
- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION / PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT / ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

6/SD-2.0
CONSTRUCTION WASTE NOTES

1/SD-2.0
SITE LAYOUT PLAN
SCALE: 1" = 20'



Scale 1" = 20'



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS
LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

4.18.2019

Project
PUREFOY ROAD APARTMENTS
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

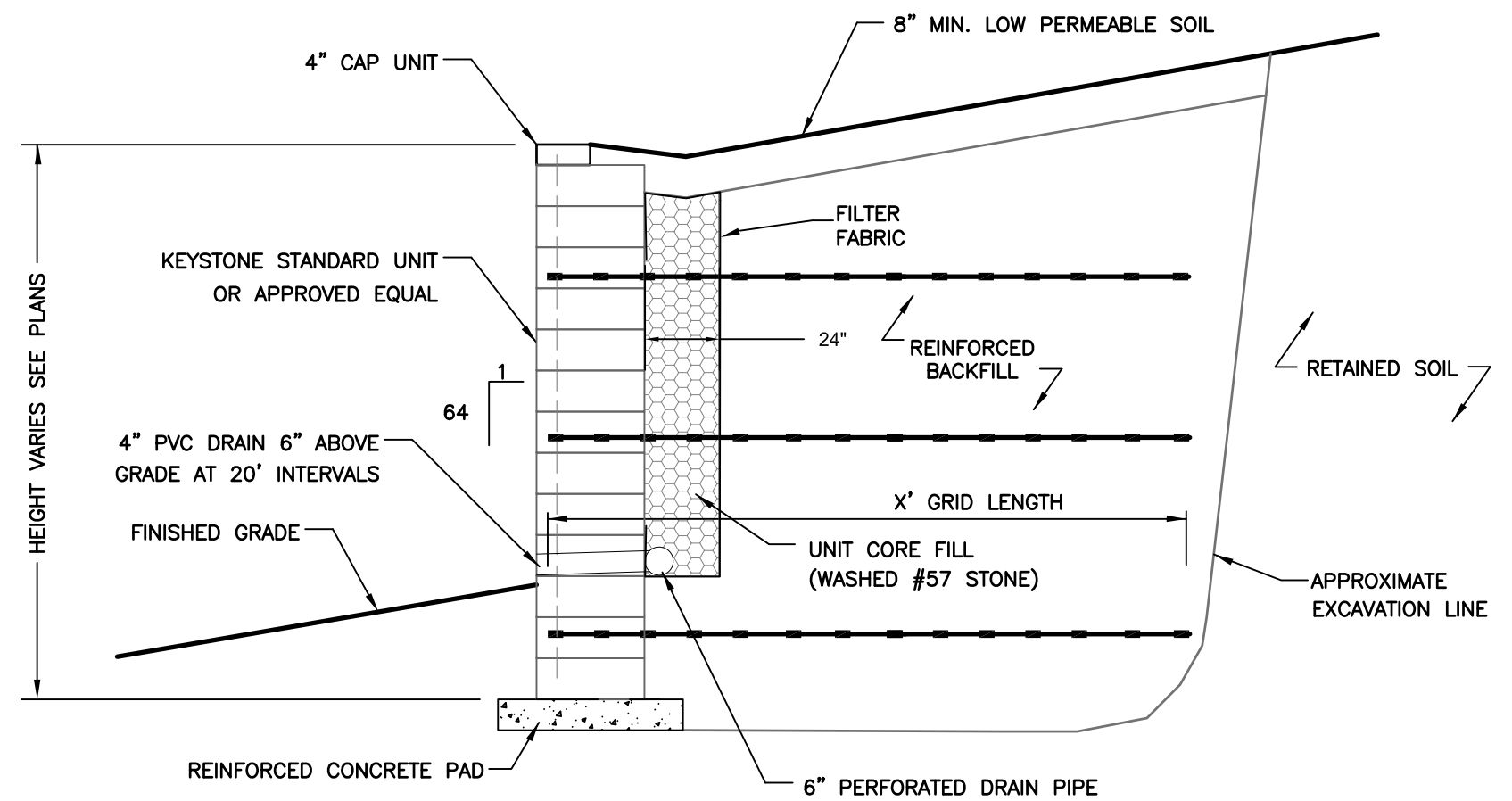
Job Number 1642

Drawn MTC, ED
Checked PBR, APJ
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Revisions

FINAL PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title
SITE LAYOUT PLAN

Sheet Number
SD-2.0



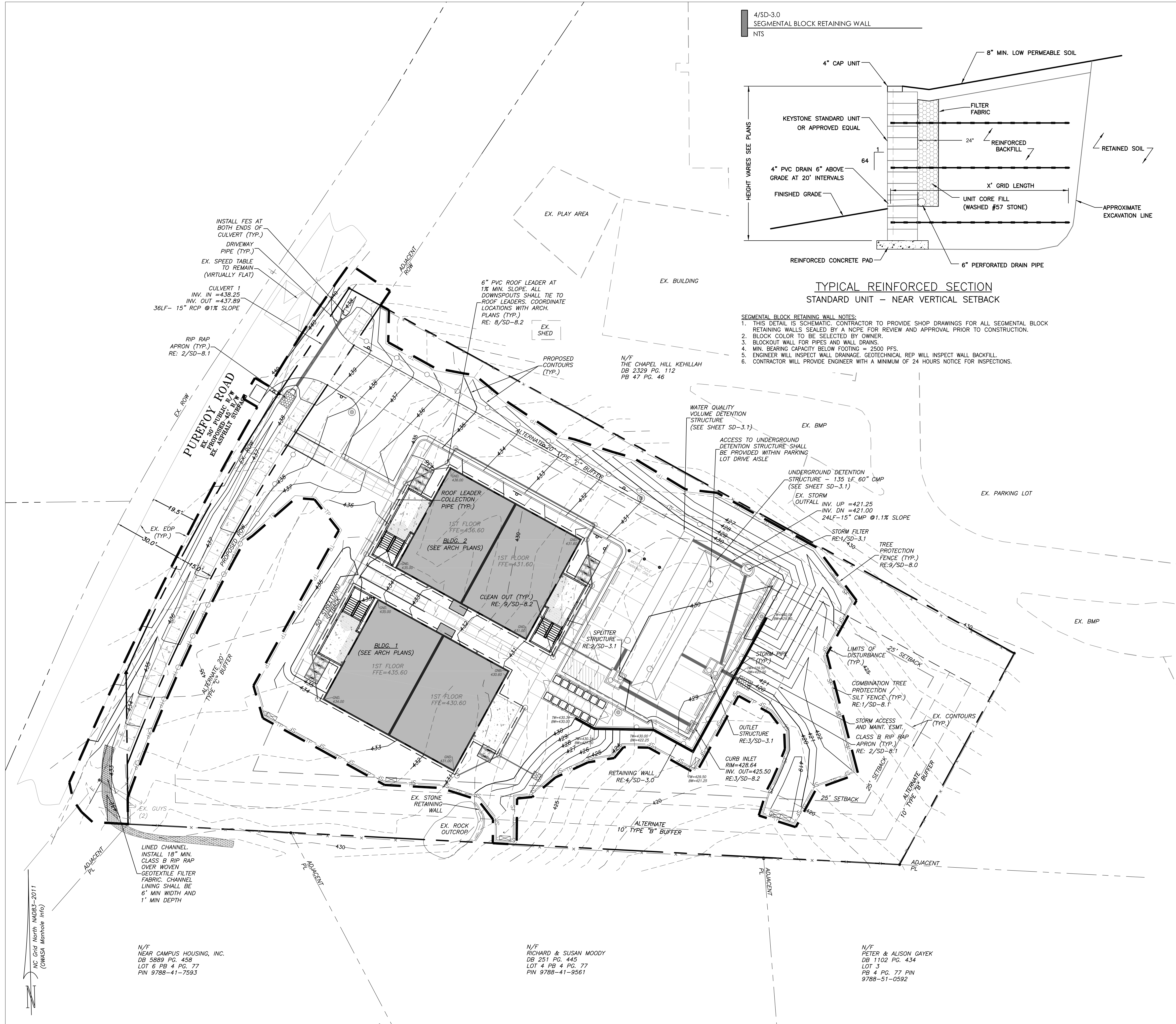
TYPICAL REINFORCED SECTION
STANDARD UNIT - NEAR VERTICAL SETBACK

- SEGMENTAL BLOCK RETAINING WALL NOTES:
1. THIS DETAIL IS SCHEMATIC. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL SEGMENTAL BLOCK RETAINING WALLS SEALED BY A NCFE FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 2. BLOCK COLOR TO BE SELECTED BY OWNER.
 3. BLOCKOUT WALL FOR PIPES AND WALL DRAINS.
 4. MIN. BEARING CAPACITY BELOW FOOTING = 2500 PFS.
 5. ENGINEER WILL INSPECT WALL DRAINAGE. GEOTECHNICAL REP WILL INSPECT WALL BACKFILL.
 6. CONTRACTOR WILL PROVIDE ENGINEER WITH A MINIMUM OF 24 HOURS NOTICE FOR INSPECTIONS.

- GRADING NOTES:
1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
 3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
 4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
 6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (HV) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
 7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
 8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
 9. CONSTRUCTION DETAILS FOR PROPOSED RETAINING WALL DESIGN SHALL BE PROVIDED WITH FINAL PLANS APPLICATION.
 10. IN-SITU SOIL TEST RESULTS FOR THE PROPOSED UNDERGROUND DETENTION, WATER AND STORM FILTER UNIT LOCATIONS SHALL BE SUBMITTED WITH FINAL PLANS APPLICATION.

- STORM DRAINAGE NOTES:
1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
 2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
 3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
 4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
 5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
 6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
 7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAND MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
 8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
 9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
 10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
 11. ALL ROOF DRAINS FOR PROPOSED NEW BUILDING 2, THE NORTHWESTERN HALF FOR PROPOSED NEW BUILDING 1, AND ADDITIONAL NON-ROOF IMPERVIOUS AREA DISCHARGE INTO THE STORMWATER TREATMENT FACILITY.
 12. THE CURB INLET HOOD AND COVER SHALL BE PRE-CAST CURB INLET HOODS AND COVERS STATING "DUMP NO WASTE DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARDS DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHT-OF-WAY.
 13. CONTRACTOR SHALL CONTACT TOWN OF CHAPEL HILL STORMWATER MANAGEMENT DIVISION TO SCHEDULE PRECONSTRUCTION MEETING PRIOR TO LAND DISTURBANCE ON THE SITE.
 14. HVAC CONDENSATE AND FLOOR DRAINS UNDER A ROOF SHALL NOT BE DISCHARGED INTO STORM SEWER PIPE.
 15. ALL ROOF DRAIN PLUMBING INTENDED TO DISCHARGE TO STORM SEWER PIPE NOT SHOWN ON APPROVED PLAN SHEET ARE NOT APPROVED. ANY DISCHARGE TO STORM SEWER PIPE NOT APPROVED WILL NEED A REVIEW AND APPROVAL FROM THE STORMWATER MANAGEMENT DIVISION.

- 3/SD-3.0
ADA ROUTE NOTES
- ADA route notes applies to all sheets
- FOR ALL SIDEWALKS THE FOLLOWING APPLIES:
- ADA LANDING, SLOPES TO BE A MAXIMUM 1.8% SLOPE ANY DIRECTION.
- ADA WALK, LONGITUDINAL SLOPES TO BE A MAXIMUM 4.8%, CROSS SLOPES TO BE A MAXIMUM 1.8%.
- ADA RAMP, LONGITUDINAL SLOPES TO BE A MAXIMUM 8%, CROSS SLOPES TO BE A MAXIMUM 1.8%.
- MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
- ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
- ALL ADA ACCESSIBLE DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
- ALL DECKS AND WOODEN RAMPS SHALL COMPLY WITH ALL SLOPE REQUIREMENTS LISTED ABOVE. SEE ARCHITECTURAL PLANS FOR DETAILS.
- THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTION FORMS MEET ADA CODE PRIOR TO POURING CONCRETE. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.



INSTALL FES AT BOTH ENDS OF CULVERT (TYP.)
DRIVEWAY PIPE (TYP.)
EX. SPEED TABLE TO REMAIN (VIRTUALLY FLAT)
CULVERT 1
INV. IN = 438.25
INV. OUT = 437.89
36LF - 15" RCP @ 1% SLOPE

6" PVC ROOF LEADER AT 1% MIN. SLOPE. ALL DOWNSPOUTS SHALL TIE TO ROOF LEADERS. COORDINATE LOCATIONS WITH ARCH. PLANS (TYP.)
RE: 8/SD-8.2

WATER QUALITY VOLUME DETENTION STRUCTURE (SEE SHEET SD-3.1)

ACCESS TO UNDERGROUND DETENTION STRUCTURE SHALL BE PROVIDED WITHIN PARKING LOT DRIVE AISLE

UNDERGROUND DETENTION STRUCTURE - 135 LF 60" CMP (SEE SHEET SD-3.1)

EX. STORM OUTFALL INV. UP = 421.25
INV. DN = 421.00
24LF - 15" CMP @ 0.1% SLOPE

STORM FILTER RE: 4/SD-3.1

TREE PROTECTION FENCE (TYP.) RE: 9/SD-8.0

LIMITS OF DISTURBANCE (TYP.)

COMBINATION TREE PROTECTION SILT FENCE (TYP.) RE: 1/SD-8.1

STORM ACCESS AND MAINT. ESMT. CLASS 'B' RIP RAP APRON (TYP.) RE: 2/SD-8.1

OUTLET STRUCTURE RE: 3/SD-3.1

CURB INLET RIM = 428.64
INV. OUT = 425.50
RE: 3/SD-8.2

RETAINING WALL RE: 4/SD-3.0

ALTERNATE 10' TYPE 'B' BUFFER

ADJACENT PL

ADJACENT PL

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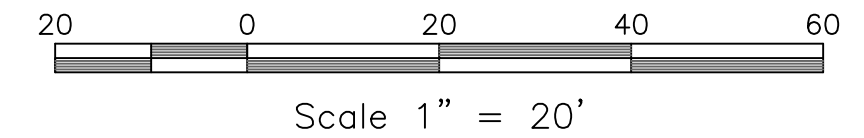
N/F NEAR CAMPUS HOUSING, INC.
DB 9889 PG. 458
LOT 6 RB 4 PG. 77
PIN 9788-41-7593

N/F RICHARD & SUSAN MOODY
DB 251 PG. 445
LOT 4 RB 4 PG. 77
PIN 9788-41-9561

N/F PETER & ALISON GAYEK
DB 1102 PG. 434
LOT 3
PG 4 PG. 77 PIN
9788-51-0592

REFERENCE SD-3.1 FOR ADDITIONAL PIPE LENGTHS, MATERIALS, INVERTS, AND SLOPES.

REFERENCE SD-0.0 COVER SHEET FOR ON-SITE AND OFF-SITE LAND DISTURBANCE CALCULATIONS.



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project
PUREFOY ROAD APARTMENTS
111 PUREFOY ROAD
CHAPEL HILL, NC, 27514
ORANGE COUNTY NC

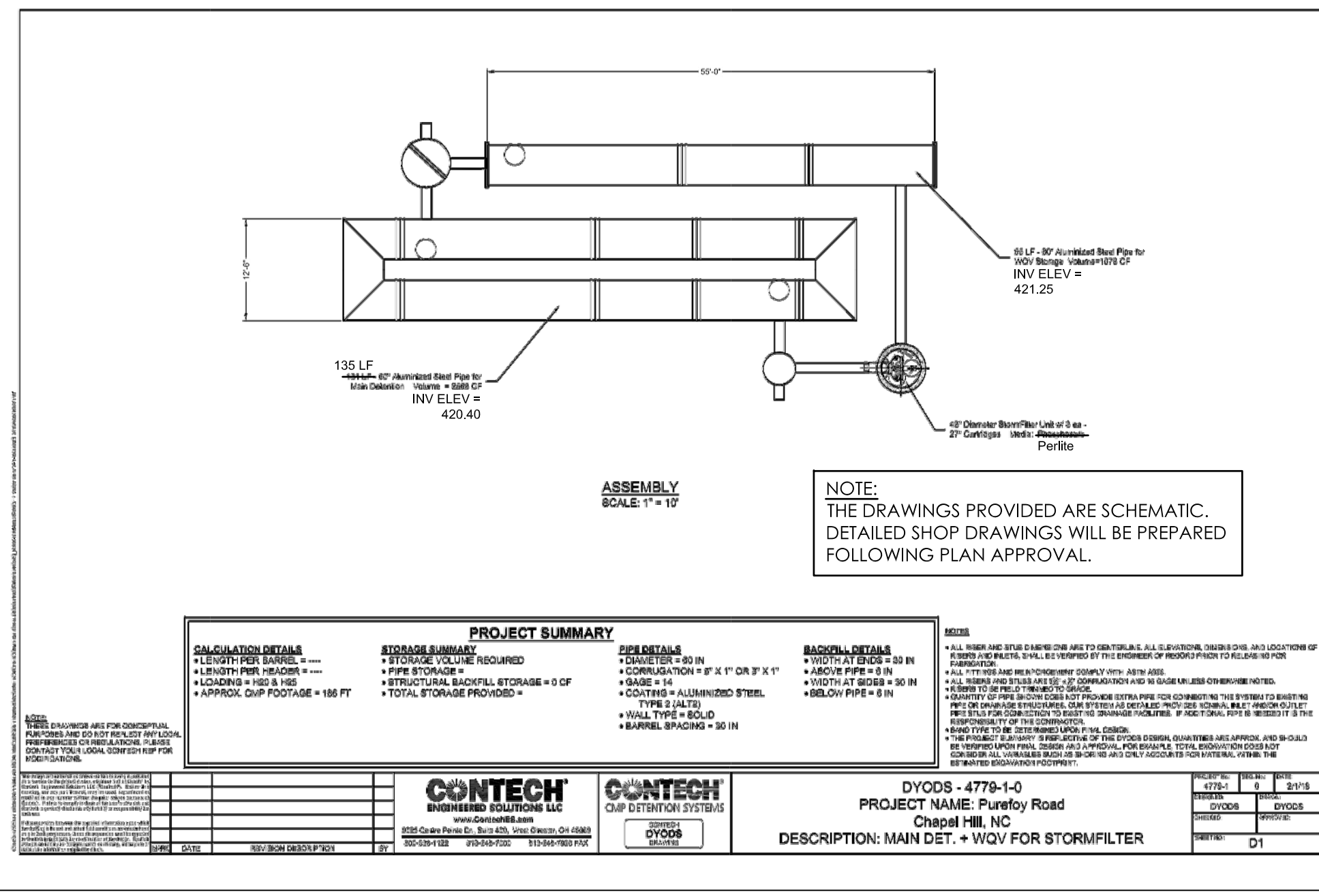
PIN: 9788419609
PID: 8801003

Job Number 1642
Drawn MTC, ED
Checked PBR, AJP
Date 4/18/2019
Revisions

FINAL PLANS
NOT ISSUED
FOR CONSTRUCTION

Sheet Title
GRADING AND STORMWATER DRAINAGE PLAN

Sheet Number
SD-3.0

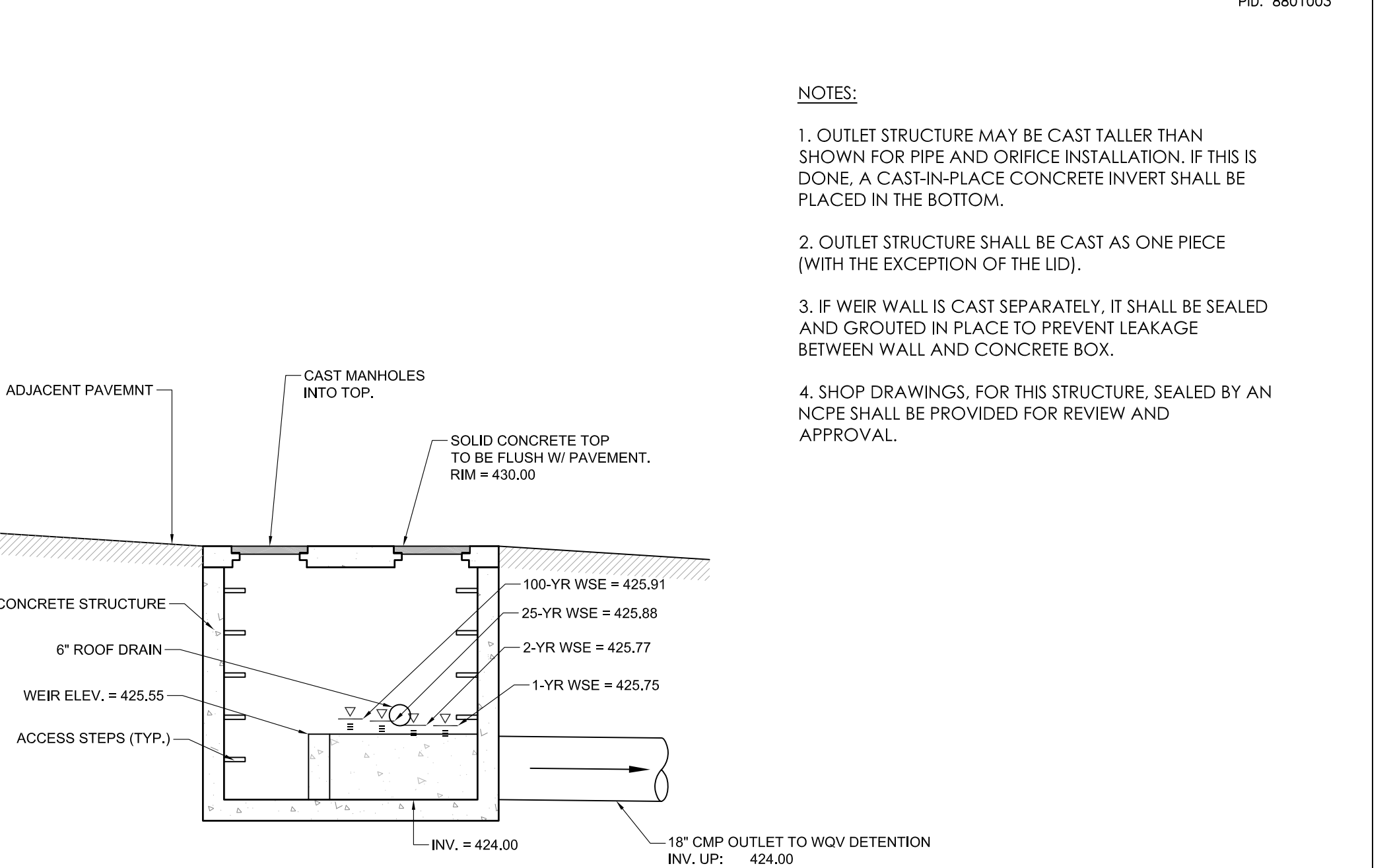
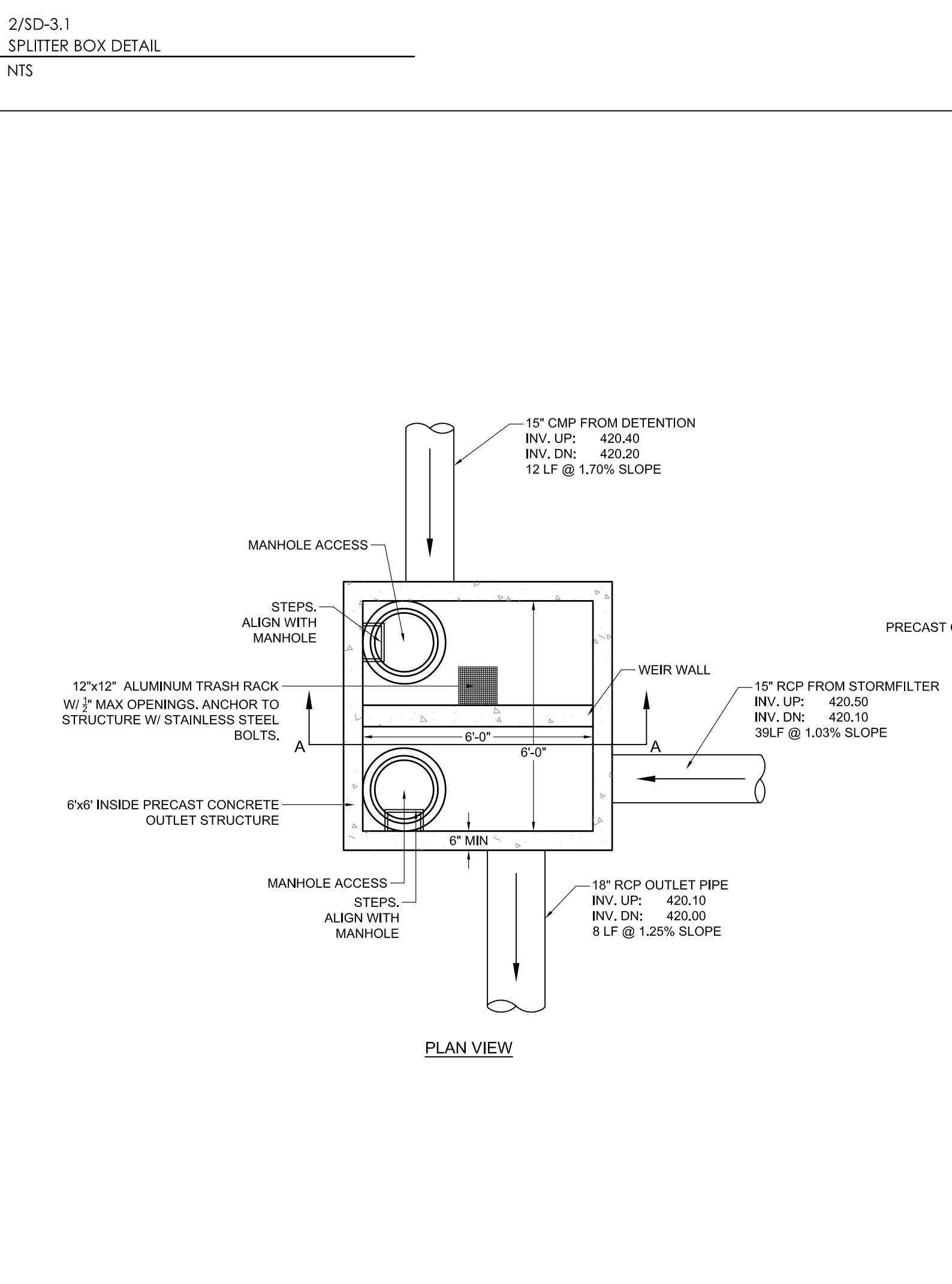
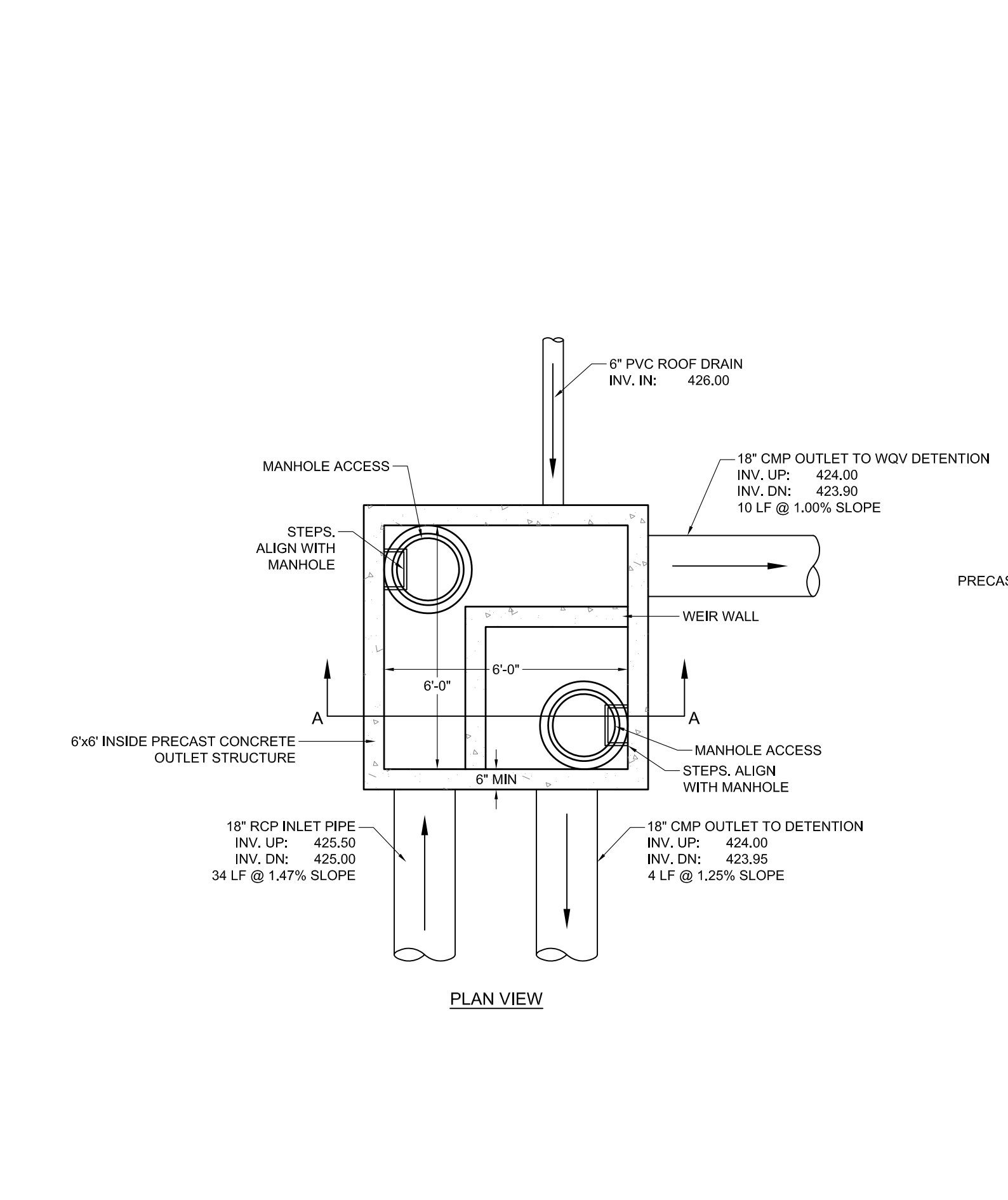
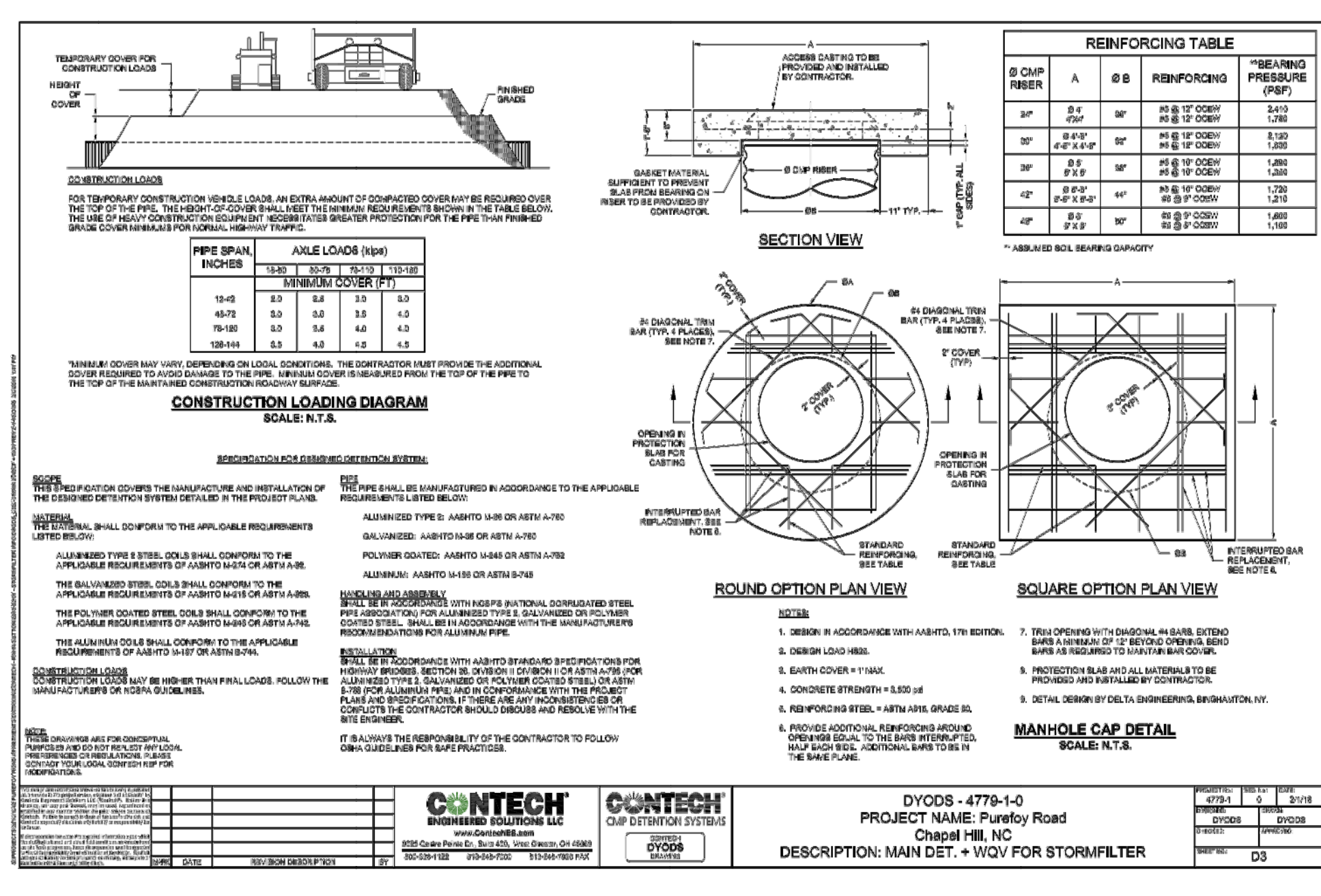
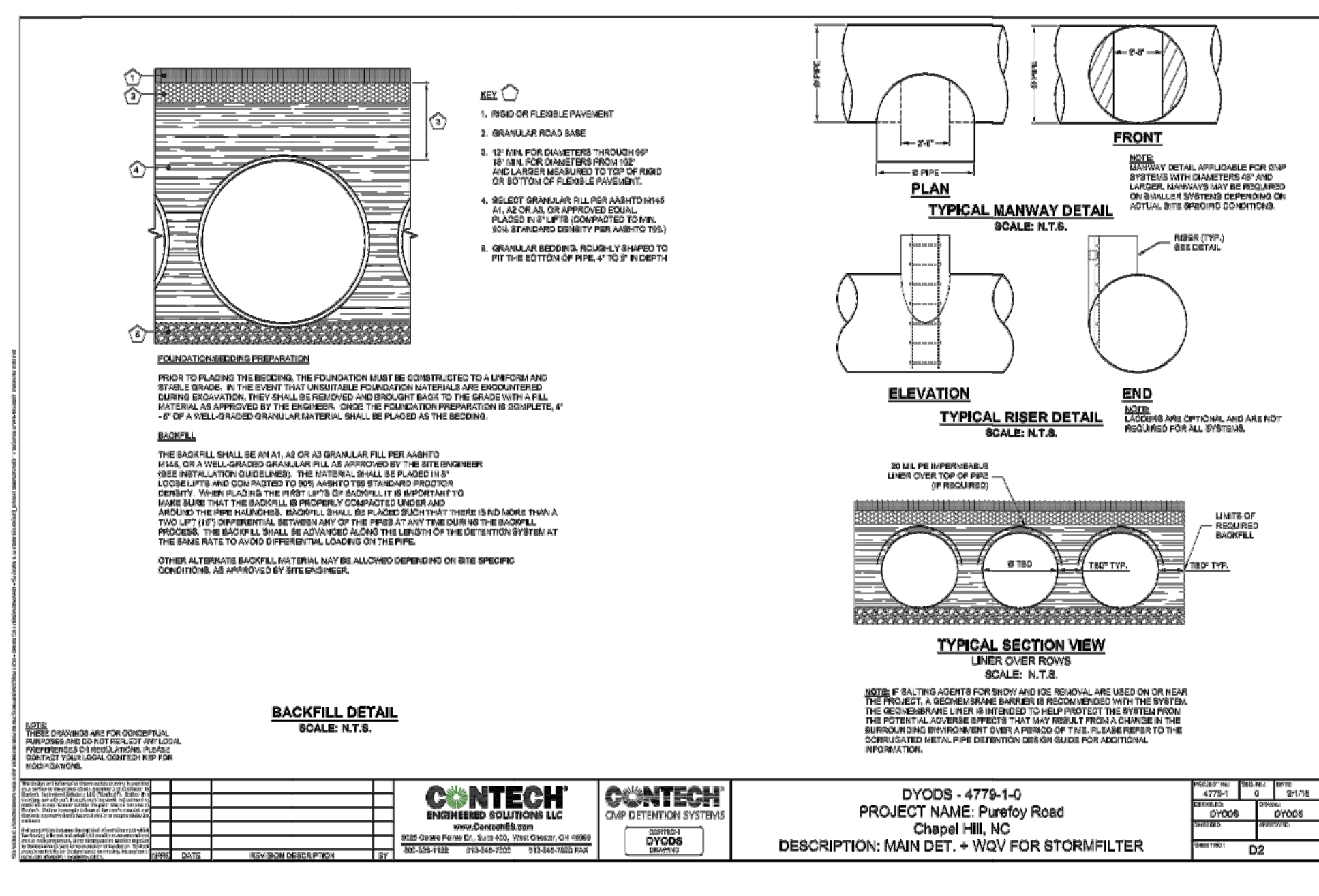


PROJECT SUMMARY

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| CALCULATION DETAILS | STORAGE SUMMARY | DETAILS | REINFORCING |
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CONTECH ENGINEERING SOLUTIONS LLC
CONTECH CUP DETENTION SYSTEMS

DYODS - 4778-1-0
 PROJECT NAME: Purefoy Road
 Chapel Hill, NC
 DESCRIPTION: MAIN DET. + WQV FOR STORMFILTER

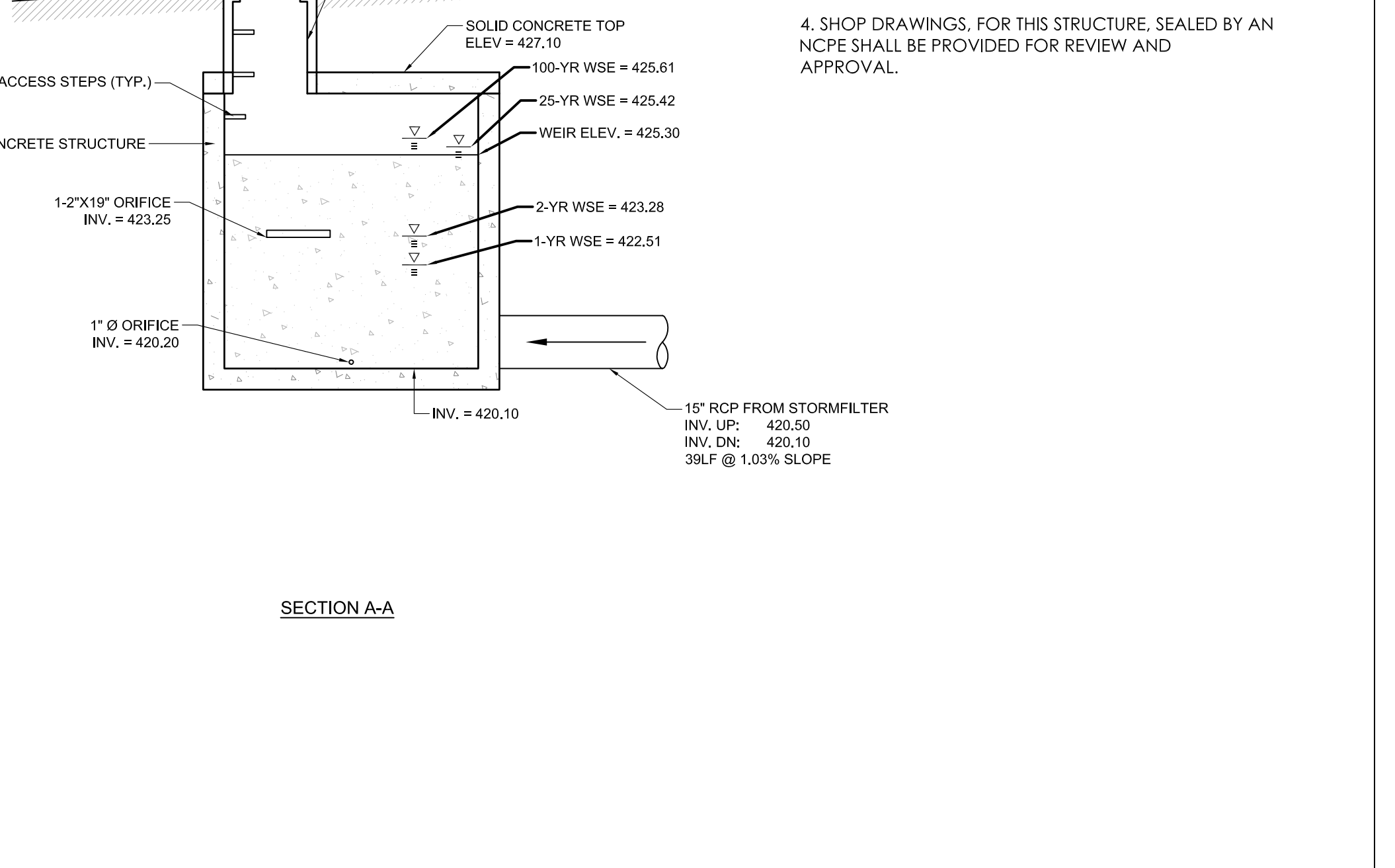
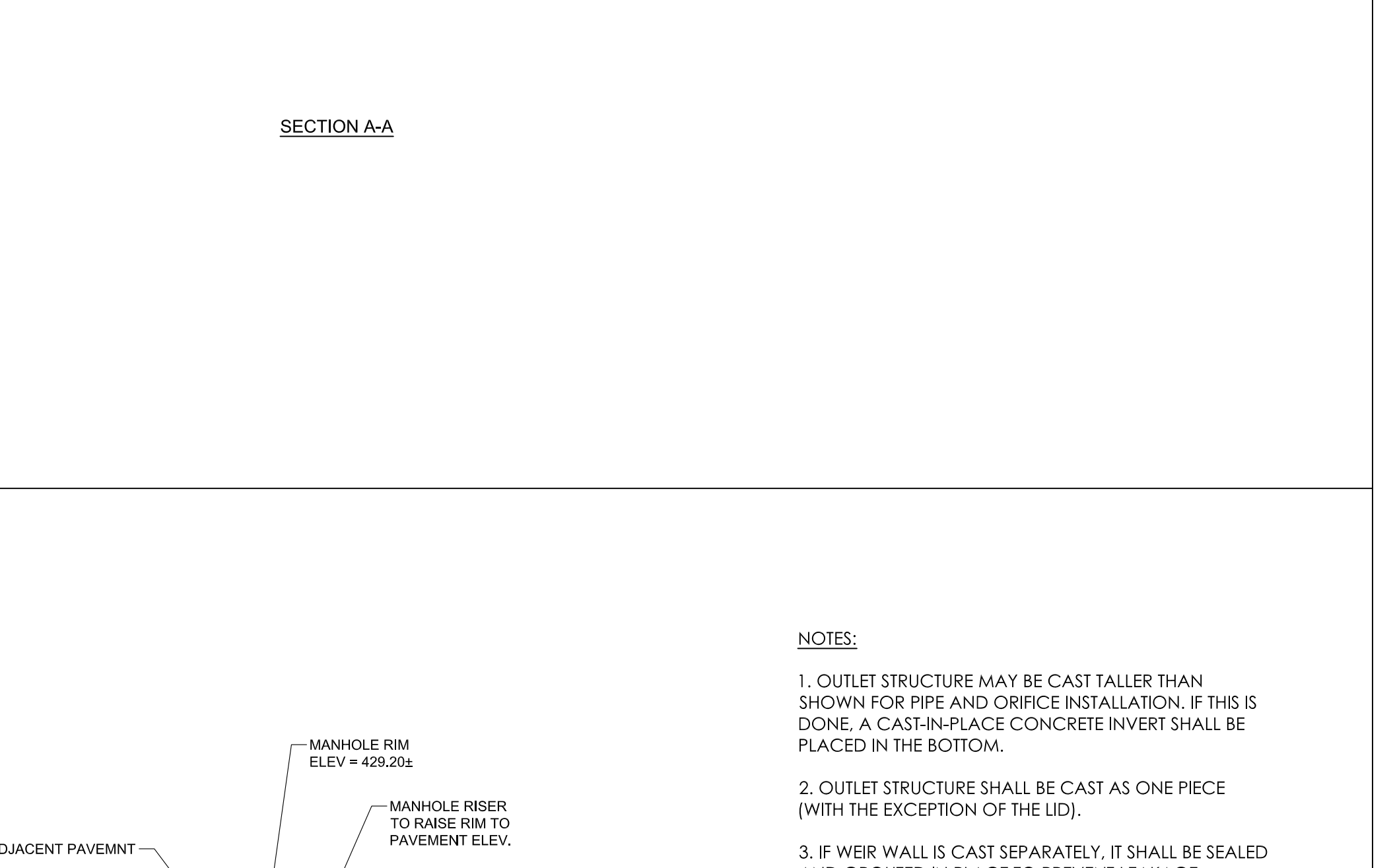


PROJECT SUMMARY

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CONTECH ENGINEERING SOLUTIONS LLC
CONTECH CUP DETENTION SYSTEMS

DYODS - 4778-1-0
 PROJECT NAME: Purefoy Road
 Chapel Hill, NC
 DESCRIPTION: MAIN DET. + WQV FOR STORMFILTER



1/SD-3.1
 STORMFILTER AND UNDERGROUND DETENTION SYSTEM
 NTS

NOTE:
 UNDERGROUND DETENTION DETAILS ARE SCHEMATIC.
 DETAILED SHOP DRAWINGS WILL BE PREPARED
 FOLLOWING PLAN APPROVAL.

3/SD-3.1
 OUTLET STRUCTURE
 NTS

PN: 9788419609
 PID: 8801003

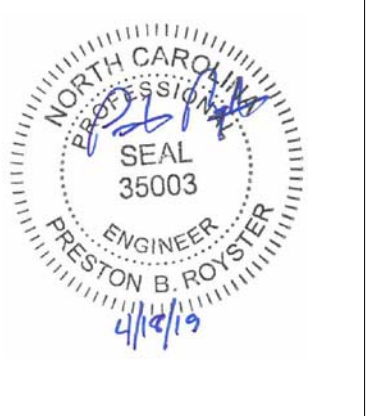
- NOTES:**
1. OUTLET STRUCTURE MAY BE CAST TALLER THAN SHOWN FOR PIPE AND ORIFICE INSTALLATION. IF THIS IS DONE, A CAST-IN-PLACE CONCRETE INVERT SHALL BE PLACED IN THE BOTTOM.
 2. OUTLET STRUCTURE SHALL BE CAST AS ONE PIECE (WITH THE EXCEPTION OF THE LID).
 3. IF WEIR WALL IS CAST SEPARATELY, IT SHALL BE SEALED AND GROUTED IN PLACE TO PREVENT LEAKAGE BETWEEN WALL AND CONCRETE BOX.
 4. SHOP DRAWINGS, FOR THIS STRUCTURE, SEALED BY AN NCPE SHALL BE PROVIDED FOR REVIEW AND APPROVAL.

- NOTES:**
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Project
PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD
 CHAPEL HILL, NC, 27514

ORANGE COUNTY NC

PN: 9788419609
 PID: 8801003

Job Number 1642

Drawn MTC, ED
 Checked PBR, AJP
 Date 4/18/2019
 Revisions

FINAL PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title
STORMWATER DETAILS

Sheet Number
SD-3.1



2/SD-4.0
EROSION CONTROL PLAN NOTES

- EROSION CONTROL NOTES:**
1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO FINAL AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
 2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENTATION LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
 3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
 4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

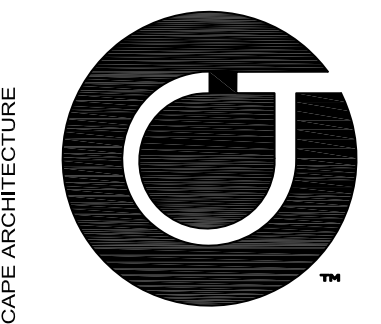
3/SD-4.0
CONSTRUCTION SEQUENCE

- ENFORCEMENT NOTE 1:** FAILURE TO FOLLOW THIS CONSTRUCTION SEQUENCE MAY RESULT IN LOCAL ENFORCEMENT ACTIONS, INCLUDING BUT NOT LIMITED TO CIVIL PENALTIES, INJUNCTIVE RELIEF, CRIMINAL PENALTIES, AND PERMIT REVOCATION. ADDITIONALLY, OFF-SITE SEDIMENTATION MAY RESULT IN RESTORATION REQUIREMENTS.
- ENFORCEMENT NOTE 2:** IF THE ORANGE COUNTY S&E STAFF DETERMINES THAT EXCESSIVE SEDIMENT IS LEAVING THE SITE, A REVISED SEDIMENTATION AND EROSION CONTROL PLAN MAY BE REQUIRED, WITH ASSOCIATED REQUIREMENTS FOR ADDITIONAL S&E MEASURES.
- NOTE:** IF AN OFFSITE SOIL SPOIL OR BORROW SITE IS UTILIZED, THEN THE DISTURBED AREA FOR THE SPOIL/BORROW SITE MUST BE INCLUDED IN THE LAND-DISTURBANCE PLAN AND PERMIT UNLESS THE SPOIL/BORROW SITE ALREADY HAS A LAND-DISTURBANCE PERMIT.
- CONSTRUCTION SEQUENCE**
1. THE OWNER SHALL POST A CONSTRUCTION SIGN AT THE DEVELOPMENT SITE THAT LISTS THE PROPERTY OWNER'S REPRESENTATIVE AND PHONE NUMBER, THE CONTRACTOR'S REPRESENTATIVE AND PHONE NUMBER, AND A TELEPHONE NUMBER FOR REGULATORY INFORMATION AT THE TIME OF ISSUANCE OF A BUILDING PERMIT. PRIOR TO THE COMMENCEMENT OF ANY LAND DISTURBING ACTIVITIES, THE CONSTRUCTION SIGN MAY HAVE A MAXIMUM OF 32 SF OF DISPLAY AREA AND MAXIMUM HEIGHT OF 8 FEET (5.14.3(h) OF LUMC) THE SIGN SHALL BE NON-ILLUMINATED, AND SHALL CONSIST OF LIGHT LETTERS ON A DARK BACKGROUND.
 2. INSTALL COMBINATION TREE PROTECTION/SILT FENCING IN ACCORDANCE WITH THE APPROVED SITE PLAN.
 3. CALL ORANGE COUNTY S&E OFFICE FOR INSPECTION OF TREE FENCE INSTALLATION (919)245-2586.
 4. OBTAIN ALL PERMITS AND APPROVALS NECESSARY TO BEGIN AND COMPLETE THE PROJECT. OBTAIN ALL PERMITS PRIOR TO BEGINNING ANY DISTURBANCE OF THE SITE SO WORK WILL NOT BE INTERRUPTED.
 5. SCHEDULE AND HOLD A PRE-CONSTRUCTION CONFERENCE PRIOR TO BEGINNING ANY LAND-DISTURBING ACTIVITIES. THIS CONFERENCE SHOULD BE ATTENDED BY A REPRESENTATIVE OF THE FINANCIALLY RESPONSIBLE PARTY AND/OR THE GENERAL CONTRACTOR, GRADING SUB-CONTRACTOR, EROSION CONTROL SUB-CONTRACTOR AND THE ORANGE COUNTY S&E OFFICE.
 6. OBTAIN LAND DISTURBING PERMIT AND PLACARD, AND POST THE PLACARD ON SITE.
 7. OBTAIN AN APPROVED (STAMPED) S&E CONTROL PLAN AND KEEP IT ON SITE, EITHER IN THE INSPECTION BOX, CONSTRUCTION OFFICE OR WITH THE CONTRACTOR.
 8. ONLY CLEAR THE AREA NECESSARY TO INSTALL GRAVEL CONSTRUCTION ENTRANCE, SILT FENCES, AND OTHER INITIAL EROSION CONTROL MEASURES.
 9. NOTIFY THE ORANGE COUNTY S&E SITE INSPECTOR AFTER MEASURES HAVE BEEN INSTALLED AND PROJECT HAS STARTED.
 10. BEGIN CLEARING, GRUBBING, AND GRADING OF SITE IN ACCORDANCE WITH APPROVED S&E CONTROL PLAN.
 11. PROVIDE ALL DISTURBED AREAS WITH GROUND COVER AFTER COMPLETION OF ANY PHASE OF CLEARING, GRUBBING OR GRADING. THE SEEDING, SEEDBED PREPARATION, MULCH AND/OR ROLLED EROSION CONTROL PRODUCT INSTALLATION MUST BE IN ACCORDANCE WITH THE SEEDING SCHEDULE PROVIDED IN THIS S&E PLAN.
 12. INSPECT AND MAINTAIN THE SEDIMENT CONTROL DEVICES SO THEY CONTINUE TO FUNCTION PROPERLY. THE PERSON RESPONSIBLE FOR EROSION CONTROL WILL OVERSEE THE INSPECTING AND MAINTENANCE OF THESE DEVICES. MEASURES SHOULD BE INSPECTED WEEKLY AND AFTER A RAINFALL OF MORE THAN 0.5 INCHES. EROSION CONTROL DEVICES SHALL BE REPLACED WHEN DAMAGED OR DO NOT APPEAR TO BE WORKING PROPERLY.
 13. IF IT IS DETERMINED DURING THE COURSE OF CONSTRUCTION THAT SIGNIFICANT SEDIMENT IS LEAVING THE PROJECT SITE DESPITE PROPER IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL PLAN, THE PERSON RESPONSIBLE FOR THE LAND DISTURBING ACTIVITY IS OBLIGATED TO TAKE ADDITIONAL PROTECTIVE ACTION.
 14. KEEP MUD AND DEBRIS OFF THE PUBLIC STREET AT ALL TIMES. IF MUD OR DEBRIS IS TRACKED FROM THE SITE, USE A SHOVEL AND BROOM TO REMOVE IT IMMEDIATELY. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN.
 15. SEEDING AND RESTABILIZATION OF DISTURBED AREAS MUST BE ACCOMPLISHED PER THE PLANS AND SPECIFICATIONS WITHIN THE TIMEFRAMES GIVEN IN THE STABILIZATION TIME TABLE PROVIDED IN THE SEEDING SCHEDULE (6/CD-8.1). CONTRACTOR IS RESPONSIBLE FOR TEMPORARY SEEDING THAT IS REQUIRED DURING THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
 16. AT THE CONCLUSION OF BUILDING OR IF LAND-DISTURBING ACTIVITY IS STOPPED, TEMPORARY OR PERMANENT VEGETATION COVER SHALL BE INSTALLED.
 17. WHEN CONSTRUCTION IS COMPLETE AND STABILIZED, CONTACT EROSION CONTROL PERSONNEL FOR AN INSPECTION.
 18. WHEN CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN PERMANENTLY RESTABILIZED AND APPROVAL HAS BEEN GRANTED BY EROSION CONTROL PERSONNEL, REMOVE ALL TEMPORARY SEDIMENT CONTROL DEVICES. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SEDIMENT AND DEBRIS FROM THE DEVICES AND RESTABILIZE AREAS DISTURBED BY THEIR REMOVAL.

4/SD-4.0
AREA OF DISTURBANCE NOTES

ON-SITE DISTURBED AREA = 36,367 SF / 0.83 AC (PRE ROW DEDICATION)
 ROW DISTURBED AREA = 1,731 SF / 0.04 AC (PRE ROW DEDICATION)
 OFF-SITE ROW DISTURBED AREA = 167 SF / 0.004 AC (PRE ROW DEDICATION)
 ON-SITE DISTURBED AREA = 33,318 SF / 0.76 AC (POST ROW DEDICATION)
 ROW DISTURBED AREA = 4,780 SF / 0.11 AC (POST ROW DEDICATION)
 OFF-SITE ROW DISTURBED AREA = 167 SF / 0.004 AC (POST ROW DEDICATION)

PIN: 9788419609
PID: 8801003



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ARCHITECTS LIC # C-104



Project
**PUREFOY
ROAD
APARTMENTS**
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

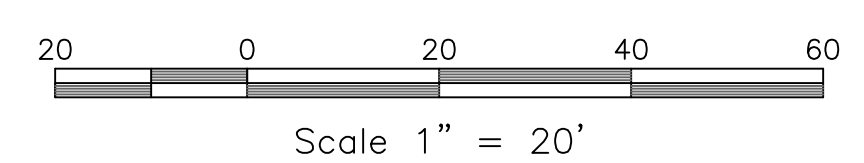
Job Number 1642
Drawn MTC, ED
Checked PBR, AJP
Date 4/18/2019
Revisions

**FINAL PLANS
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title
**EROSION
CONTROL
PLAN**

Sheet Number
SD-4.0

1/SD-4.0
EROSION CONTROL PLAN
SCALE: 1" = 20'



NC Grid North MDB3-2011
(OMSA, Maricopa Info)

N/F
NEAR CAMPUS HOUSING, INC.
DB 5889 PG. 458
LOT 6 RB 4 PG. 77
PIN 9788-41-7593

N/F
RICHARD & SUSAN MOODY
DB 251 PG. 445
LOT 4 RB 4 PG. 77
PIN 9788-41-9561

N/F
PETER & ALISON GAYEK
DB 1102 PG. 434
LOT 3
PB 4 PG. 77 PIN
9788-51-0592

GENERAL NOTES:

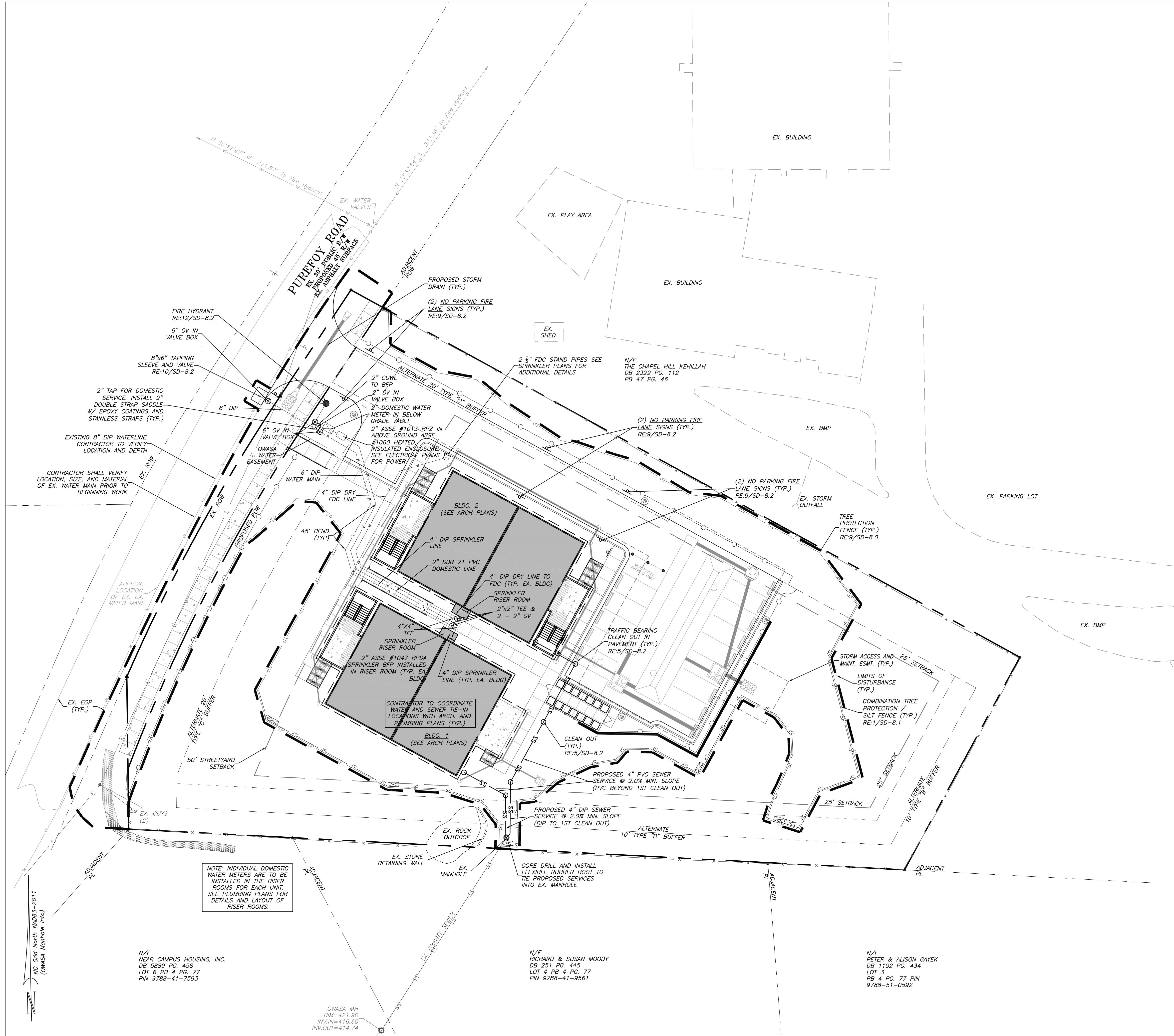
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY THE TOWN OF CHAPEL HILL AND/OR OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, CABLE AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- A SINGLE ELECTRICAL SERVICE SHALL BE PROVIDED TO SERVE EACH STRUCTURE. ARTICLE 230.2 (A) 2014 EDITION OF NORTH CAROLINA ELECTRIC CODE.

SANITARY SEWER:

- BACKFLOW PREVENTERS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:

- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
- ALL HYDRANT(S) TO BE PROVIDED WITH APPROPRIATE TOWN OF CHAPEL HILL FIRE DEPARTMENT CONNECTIONS.
- CONTRACTOR SHALL SUPPLY ALL FITTINGS NECESSARY TO CONNECT WATER FEATURES TO EXISTING AND PROPOSED LINES IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS.
- ALL FDC'S SHALL MEET THE DESIGN REQUIREMENTS FOR THE CURRENT, APPROVED EDITION OF NFPA 13, 130, 13R, 0214 OF THE NFPA 2012 AND TOWN ORDINANCES; 7-38 FOR LOCATION.
- AN AUTOMATIC SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA STANDARD #13 SHALL BE INSTALLED IN EACH BUILDING. ACTIVATION OF THE SPRINKLER SYSTEM SHALL ACTIVATE BOTH A LOCAL BUILDING ALARM AND A SUPERVISORY ALARM AT A 24-HOUR CERTIFIED AND LICENSED ALARM MONITORING SERVICE.



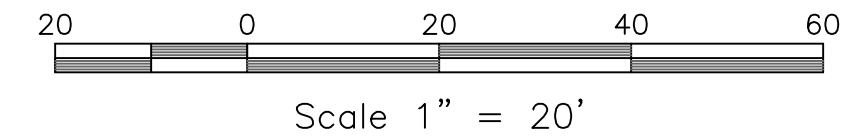
NOTE: INDIVIDUAL DOMESTIC WATER METERS ARE TO BE INSTALLED IN THE RISER ROOMS FOR EACH UNIT. SEE PLUMBING PLANS FOR DETAILS AND LAYOUT OF RISER ROOMS.

N/F NEAR CAMPUS HOUSING, INC.
DB 5889 PG. 458
LOT 6 PB 4 PG. 77
PIN 9788-41-7953

N/F RICHARD & SUSAN MOODY
DB 251 PG. 445
LOT 4 PB 4 PG. 77
PIN 9788-41-9561

N/F PETER & ALISON GAYEK
DB 1102 PG. 434
LOT 3
PB 4 PG. 77 PIN
9788-51-0592

OWASA MH
RIM=421.90
INV.IN=416.60
INV.OUT=414.74



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ARCHITECTS LIC# G-104



Project
**PUREFOY
ROAD
APARTMENTS**
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 4/18/2019
Revisions

FINAL PLANS
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FOR CONSTRUCTION

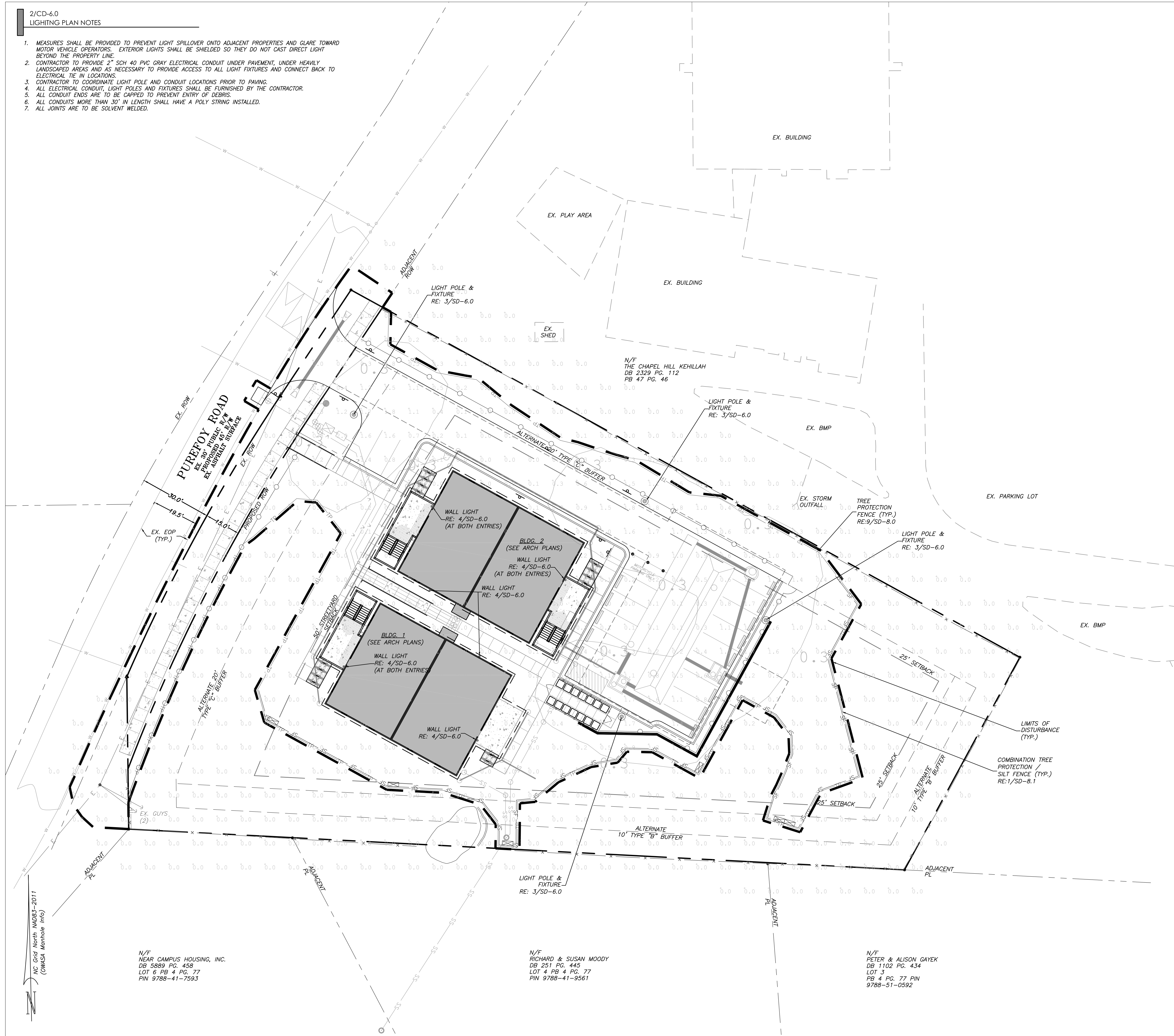
Sheet Title

UTILITY
PLAN

Sheet Number

SD-5.0

1. MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
2. CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
3. CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
4. ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
5. ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
6. ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
7. ALL JOINTS ARE TO BE SOLVENT WELDED.



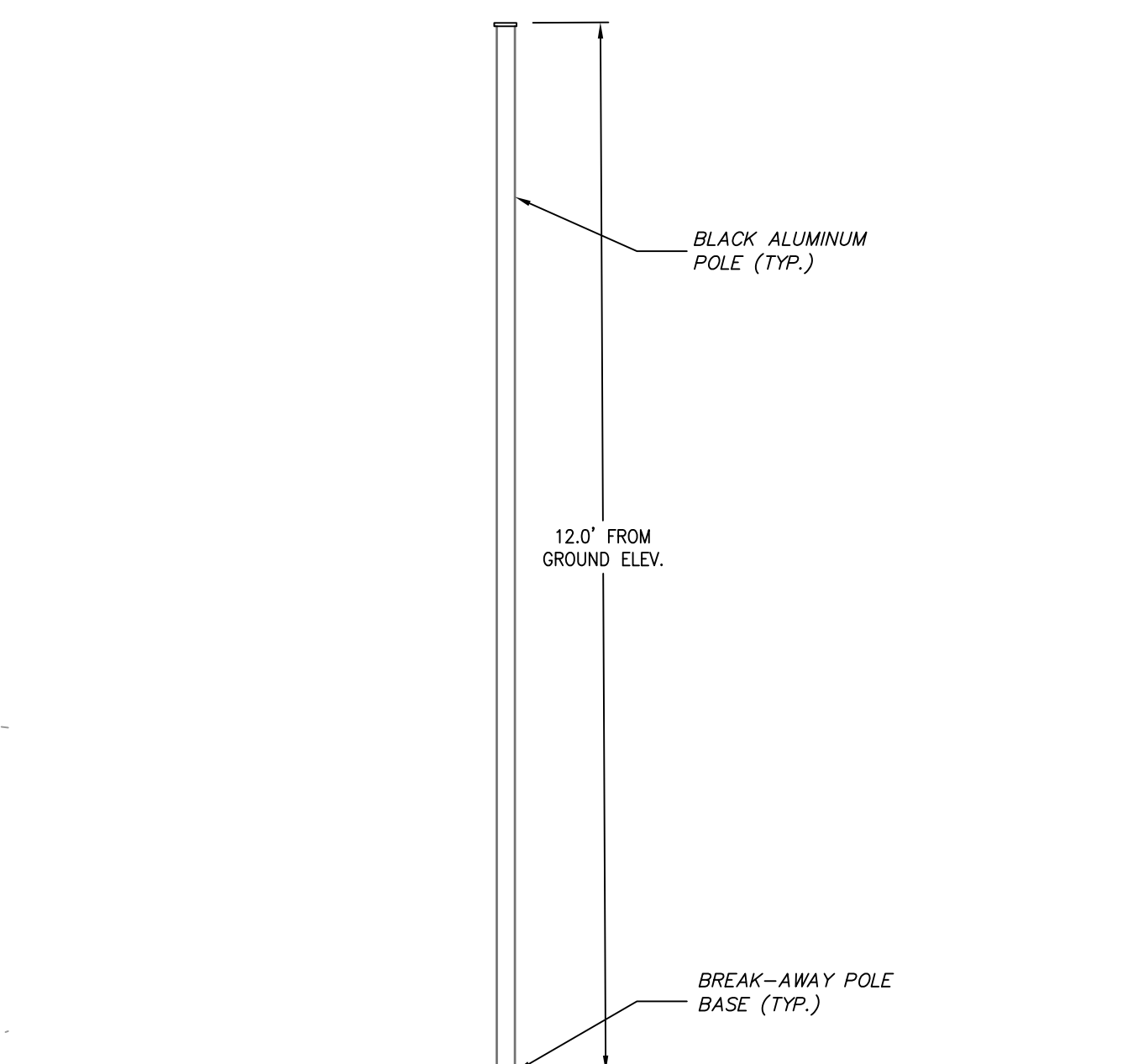
Outdoor Lighting
Enterprise LED

Illuminate streetscapes and pedestrian areas with the Enterprise LED. This sleek, energy-efficient fixture will add modern appeal to any neighborhood or park.

| | | | | | |
|----------------------------|----|--|----|---|---|
| 70 | 4K | AS | G3 | B | S |
| LED (Light Emitting Diode) | | 50 watts | | | |
| Mounting heights | | 12', 13', 16' | | | |
| Color | | Black | | | |
| Poles | | Smooth round concrete Fiberglass Decorative aluminum | | | |

LIGHT FIXTURE NOTES:

1. ENTERPRISE LED LIGHT FIXTURE SHALL BE MOUNTED ON A 12' TALL POLL.
2. CONTRACTOR SHALL USE DUKE ENERGY POLE "SMOOTH ROUND CONCRETE".
3. LIGHT POLE AND FIXTURE SHALL BE BLACK.
4. CONTRACTOR SHALL COORDINATE LIGHT INSTALLATION W/ DUKE ENERGY.



LIGHT POLE NOTES:

1. LIGHT POLE SHALL BE DUKE ENERGY "SMOOTH ROUND CONCRETE" POLE.
2. LIGHT POLE SHALL HAVE DUKE ENERGY BLACK FINISH.
3. CONTRACTOR SHALL COORDINATED LIGHT POLE INSTALLATION WITH DUKE ENERGY.

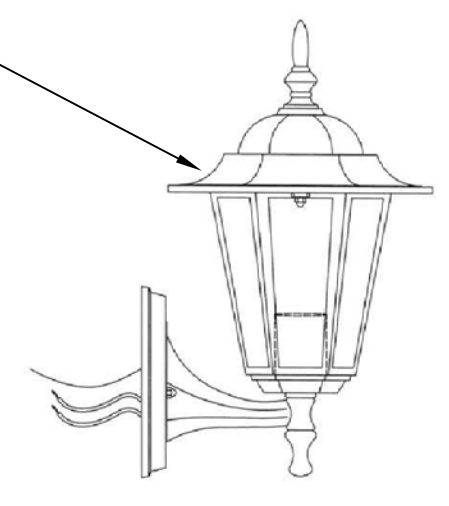
**3/SD-6.0
LIGHT POLE & FIXTURE DETAIL
NTS**

PORTFOLIO OUTDOOR WALL LANTERN
MODEL# FS13025-B
OR OWNER APPROVED ALTERNATE

BLACK DIE-CAST ALUMINUM
FIXTURE

60 WATT MEDIUM BASE
INCANDESCENT

HARD WIRED PER MANUFACTURER
RECOMMENDATIONS AND ALL
APPLICABLE BUILDING CODES.



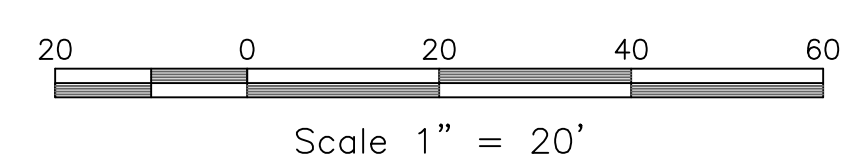
**4/SD-6.0
WALL MOUNTED LIGHT
NTS**

NC Grid North MDOB3-2011
(OMSA, Maritime Info)

N/F
NEAR CAMPUS HOUSING, INC.
DB 5889 PG. 458
LOT 6 PB 4 PG. 77
PIN 9788-41-7593

N/F
RICHARD & SUSAN MOODY
DB 251 PG. 445
LOT 4 PB 4 PG. 77
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N/F
PETER & ALISON GAYEK
DB 1102 PG. 434
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PB 4 PG. 77 PIN
9788-51-0592



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ARCHITECTS LIC # C-104



Project
**PUREFOY
ROAD
APARTMENTS**

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
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Job Number 1642

Drawn MTC, ED
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Date 4/18/2019
Revisions

**FINAL PLANS
NOT ISSUED
FOR CONSTRUCTION**

Sheet Title
**SITE
LIGHTING
PLAN**

Sheet Number
SD-6.0

Tree Table :

| | | | | | |
|----|-----|------------------|----|-----|-------------|
| 1 | 10" | Magnolia | 26 | 24" | Pine |
| 2 | 18" | Oak | 27 | 18" | Hickory |
| 3 | 20" | Pine | 28 | 16" | Oak |
| 4 | 22" | Pine | 29 | 20" | Pine |
| 5 | 22" | Pine | 30 | 16" | Pine |
| 6 | 26" | Pine | 31 | 30" | Twin Pine |
| 7 | 36" | Oak | 32 | 18" | Pine |
| 8 | 30" | Oak | 33 | 36" | Twin Pine |
| 9 | 30" | Oak | 34 | 24" | Pine |
| 10 | 38" | Oak | 35 | 24" | Twin Oak |
| 11 | 16" | Cedar | 36 | 24" | Pine |
| 12 | 22" | Cedar | 37 | 30" | Pine |
| 13 | 18" | Hickory | 38 | 18" | Paplar |
| 14 | 18" | Hickory | 39 | 12" | Hickory |
| 15 | 30" | Pine | 40 | 36" | Pine |
| 16 | 18" | Pine | 41 | 18" | Maple |
| 17 | 32" | Hickory | 42 | 12" | Pine |
| 18 | 16" | Maple | 43 | 14" | Pine |
| 19 | 24" | Triple Hackberry | 44 | 10" | Pine |
| 20 | 36" | Pine | 45 | 10" | Hickory |
| 21 | 36" | Pine | 46 | 14" | Pine |
| 22 | 48" | Bald Cypress | 47 | 12" | Pine |
| 23 | 18" | Pine | 48 | 12" | Pine |
| 24 | 30" | Pine | 49 | 8" | Twin Cherry |
| 25 | 22" | Pine | 50 | 16" | Pine |

1/SD-7.0
PLANT SCHEDULE

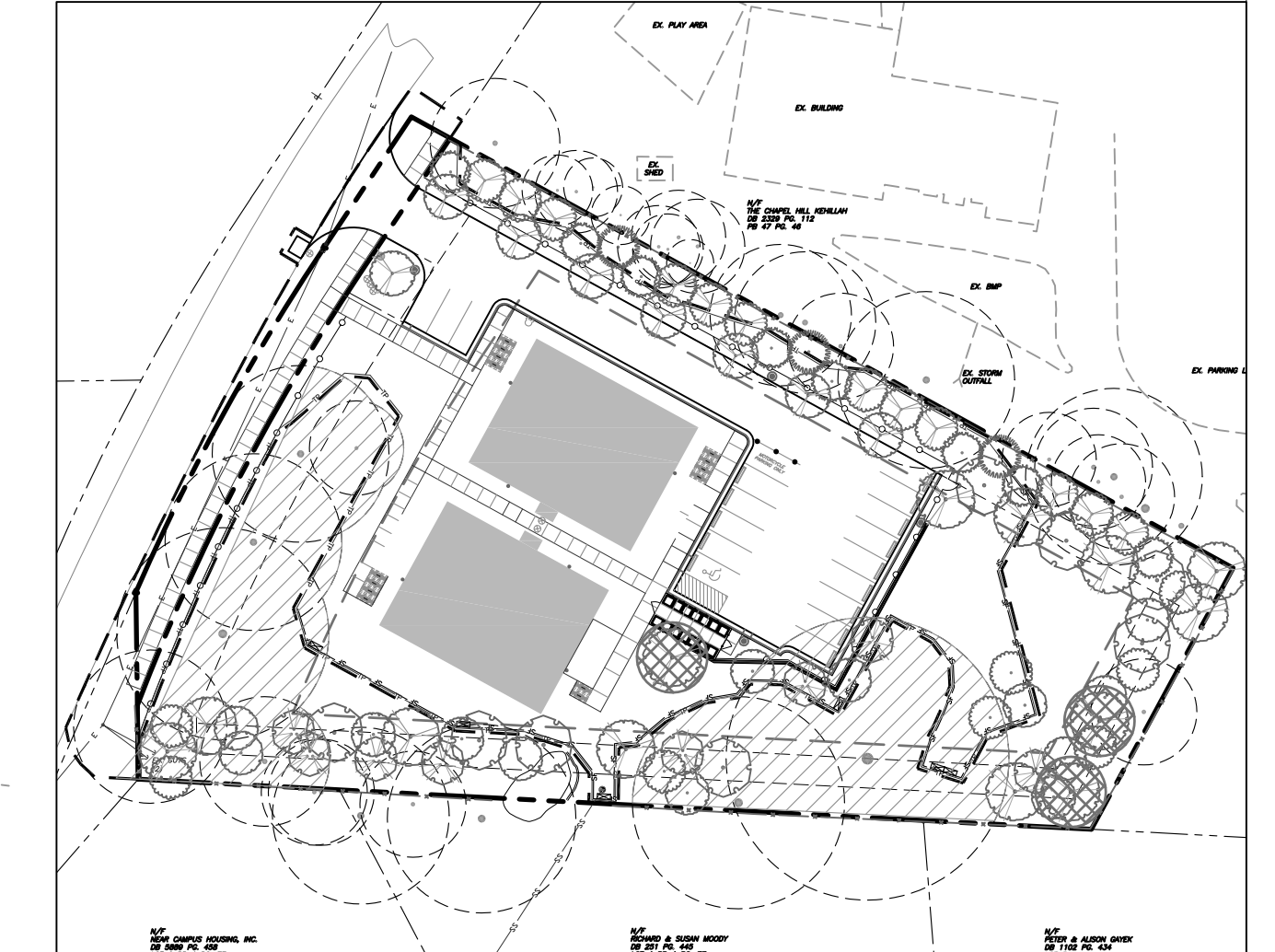
| KEY | QTY. | BOTANICAL NAME | COMMON NAME | Cal* | Ht* | ROOT | REMARKS |
|---|------|--|------------------------|------|--------|-------|------------------------------|
| DECIDUOUS / EVERGREEN CANOPY TREES | | | | | | | |
| JV | 3 | Juniper virginiana | Eastern Red Cedar | - | 10-12' | B&B | Full, Match, Straight leader |
| QP | 14 | Quercus phellos | Willow Oak | 2.5" | 12-14' | B&B | Full, Match, Straight leader |
| QS | 8 | Quercus shumardii | Shumard Oak | 2.5" | 12-14' | B&B | Full, Match, Straight leader |
| DECIDUOUS UNDERSTORY TREES | | | | | | | |
| CC | 13 | Cercis canadensis 'Forest Pansy' | Forest Pansy Red Bud | 1.5" | 8-10' | B&B | Full, Match, Straight leader |
| CF | 8 | Cornus florida | Flowering Dogwood | 1.5" | 8-10' | B&B | Full, Match, Straight leader |
| IV | 8 | Ilex vomitoria | Yaupon Holly | 1.5" | 6-8' | B&B | Full, Match, Straight leader |
| LA | 8 | Lagerstroemia indica x 'fauriei' 'Natchez' | Natchez Crape Myrtle | 1.5" | 6-8' | B&B | Single Straight Leader |
| MS | 8 | Magnolia stellata | Star Magnolia | - | 6-8' | B&B | Full, Match, Multi leader |
| PC | 12 | Prunus caroliniana | Cherry Laurel | 1.5" | 6-8' | B&B | Full, Match, Straight leader |
| DECIDUOUS / EVERGREEN SHRUBS | | | | | | | |
| AE | 52 | Abelia 'Edward Goucher' | Edward Goucher Abella | - | 18" | 3 GAL | Full, Match |
| FI | 18 | Forsythia x intermedia | Goldenbell | - | 18" | 3 GAL | Full, Match |
| IG | 21 | Ilex glabra | Inkberry Holly | - | 18" | 3 GAL | Full, Match |
| LC | 41 | Loropetalum chinensis var. rubrum Ilex glabra 'Crimson Fire' | Loropetalum | - | 18" | 3 GAL | Full, Match |
| GJ | 8 | Gardenia jasminoides 'Kleim's Hardy' | Kleim's Hardy Gardenia | - | 18" | 3 GAL | Full, Match |
| LC | 19 | Pieris japonica | Japanese Pieris | - | 18" | 3 GAL | Full, Match |
| RD | 27 | Rhododendron 'Delaware Valley White' | White Azalea | - | 18" | 3 GAL | Full, Match |

*CA. AND HT. REFERS TO SIZE OF PLANT MATERIAL AT TIME OF INSTALLATION.
ALL PLANT MATERIAL SPECIFIED MUST MEET OR EXCEED THE PLANT CAL. AND HT. AT TIME OF INSTALLATION.

2/SD-7.0
LANDSCAPE PLAN NOTES

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH TREE RINGS TO BE 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS. PINE STRAW MULCH TO EXTENTS OF ALL LANDSCAPE BUFFERS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

3/SD-7.0
PROPOSED TREE CANOPY COVERAGE
SCALE: 1" = 60'



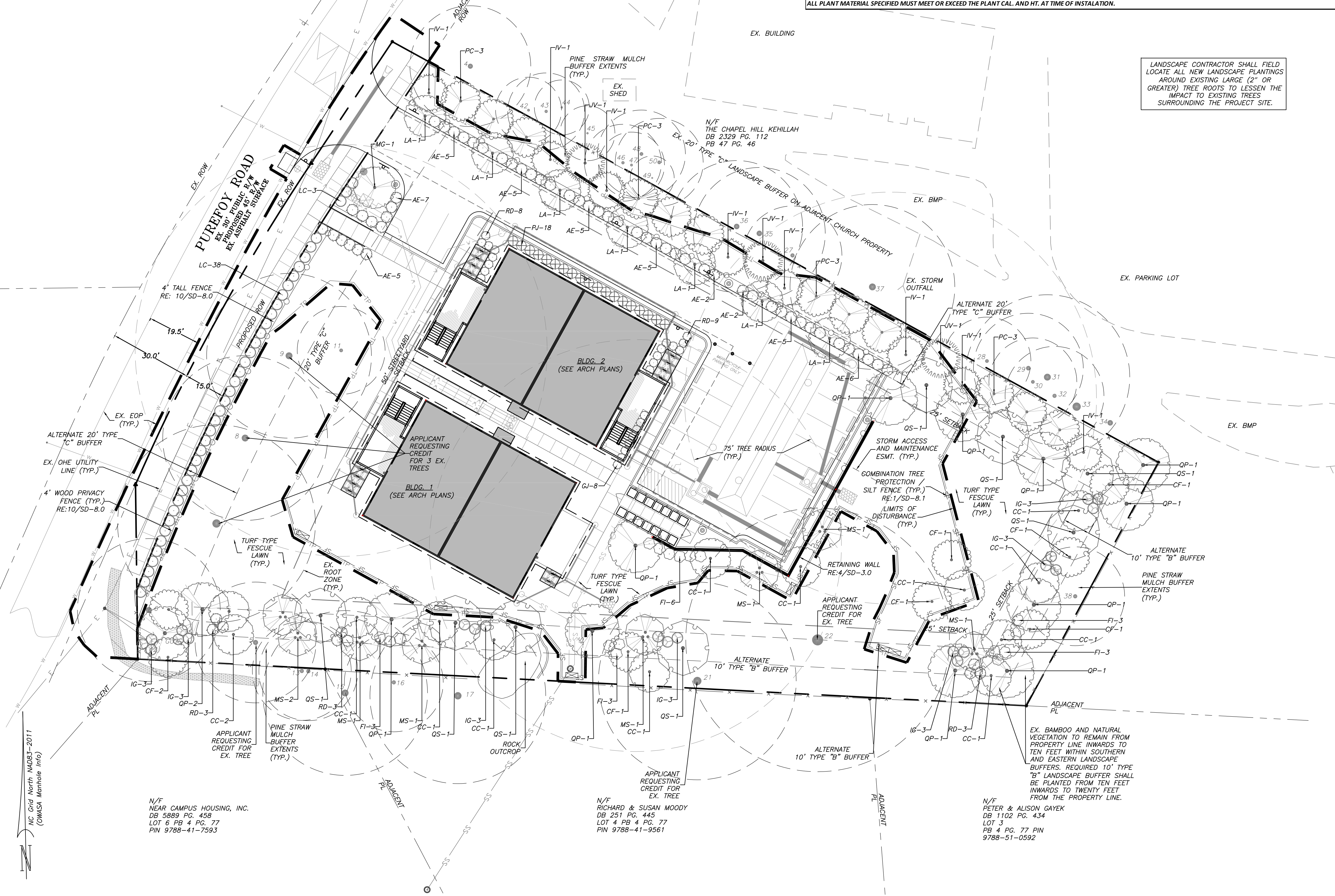
USE CLASSIFICATION - MULTI-FAMILY
NET LOT AREA = 53,756.70 SF
CREDITS
STORMWATER EASEMENT: - 7,323 SF
TOTAL CREDITS: - 7,323 SF
ADJUSTED NET LOT AREA = 46,433.70 SF
MINIMUM TREE CANOPY COVERAGE (MULTI-FAMILY USE) = 30%
46,433.70 SF x 0.3 = 13,930.11 SF REQUIRED
EXISTING TREE CANOPY PROTECTED = 12,431 SF
AREA TO BE REPLANTED IN TREES = 1,499.11 SF
1 - 2.5" CALIBER CANOPY TREE / 500 SF
1,499.11 / 500 = 3 REPLACEMENT CANOPY TREES REQUIRED
3 REPLACEMENT CANOPY TREES REQUIRED

4/SD-7.0
PARKING AREA PLANTING REQUIREMENTS

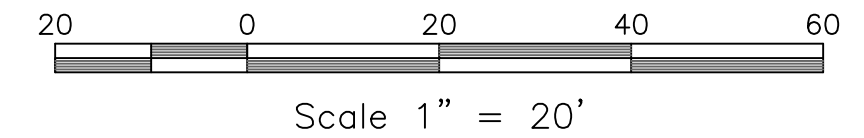
LESS THAN 20 PARKING SPACES ARE PROPOSED THUS INTERIOR ISLANDS ARE NOT REQUIRED.
NO PARKING SPACE SHALL BE FURTHER THAN SEVENTY-FIVE FEET FROM THE TRUNK OF A CANOPY TREE.
3 CANOPY TREES PROVIDED FOR PARKING LOT COVERAGE.

5/SD-7.0
LANDSCAPE BUFFER CALCULATIONS

PUREFOY RD. = 20' TYPE "C" (EXTERIOR) LANDSCAPE BUFFER REQUIREMENTS = 250 LF:
(5 LARGE TREES PER 100 LF) 217 X 0.05 = 11 LARGE TREES REQUIRED
(10 SMALL TREES PER 100 LF) 217 X 0.1 = 22 SMALL TREES REQUIRED
(36 SHRUBS PER 100 LF) 217 X 0.36 = 78 SHRUBS REQUIRED
*ALTERNATE 20' TYPE "C" (EXTERIOR) LANDSCAPE BUFFER PLANTINGS**
4 EXISTING TREES
10 LARGE TREES PROVIDED
6 SMALL TREES PROVIDED
59 SHRUBS PROVIDED
160 LF WOOD SCREEN FENCE
SOUTHERN = 10' TYPE "B" (INTERIOR) ALTERNATE LANDSCAPE BUFFER REQUIREMENTS = 324 LF:
(4 LARGE TREES PER 100 LF) 324 X 0.04 = 13 LARGE TREES REQUIRED (10 PROVIDED, 3 EXISTING)
(7 SMALL TREES PER 100 LF) 324 X 0.07 = 23 SMALL TREES REQUIRED (23 PROVIDED)
(12 SHRUBS PER 100 LF) 324 X 0.12 = 39 SHRUBS REQUIRED (39 PROVIDED)
EASTERN = 10' TYPE "B" (INTERIOR) ALTERNATE LANDSCAPE BUFFER = 101 LF:
(4 LARGE TREES PER 100 LF) 101 X 0.04 = 4 LARGE TREES REQUIRED (4 PROVIDED)
(7 SMALL TREES PER 100 LF) 101 X 0.07 = 7 SMALL TREES REQUIRED (7 PROVIDED)
(12 SHRUBS PER 100 LF) 101 X 0.12 = 12 SHRUBS REQUIRED (12 PROVIDED)
NORTHERN = 20' TYPE "C" (INTERIOR) LANDSCAPE BUFFER = 318 LF:
(5 LARGE TREES PER 100 LF) 318 X 0.05 = 16 LARGE TREES REQUIRED
(10 SMALL TREES PER 100 LF) 318 X 0.10 = 32 SMALL TREES REQUIRED
(36 SHRUBS PER 100 LF) 318 X 0.36 = 114 SHRUBS REQUIRED
*ALTERNATE 20' TYPE "C" (INTERIOR) LANDSCAPE BUFFER PLANTINGS**
10 LARGE TREES PROVIDED
28 SMALL TREES PROVIDED
40 SHRUBS PROVIDED
331 LF WOOD SCREEN FENCE



1/SD-7.0
LANDSCAPE PLAN
SCALE: 1" = 20'



PIN: 9788419609
PID: 8801003



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NC BOARD OF LANDSCAPE
ARCHITECTS LIC # C-104



Project
**PUREFOY
ROAD
APARTMENTS**
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

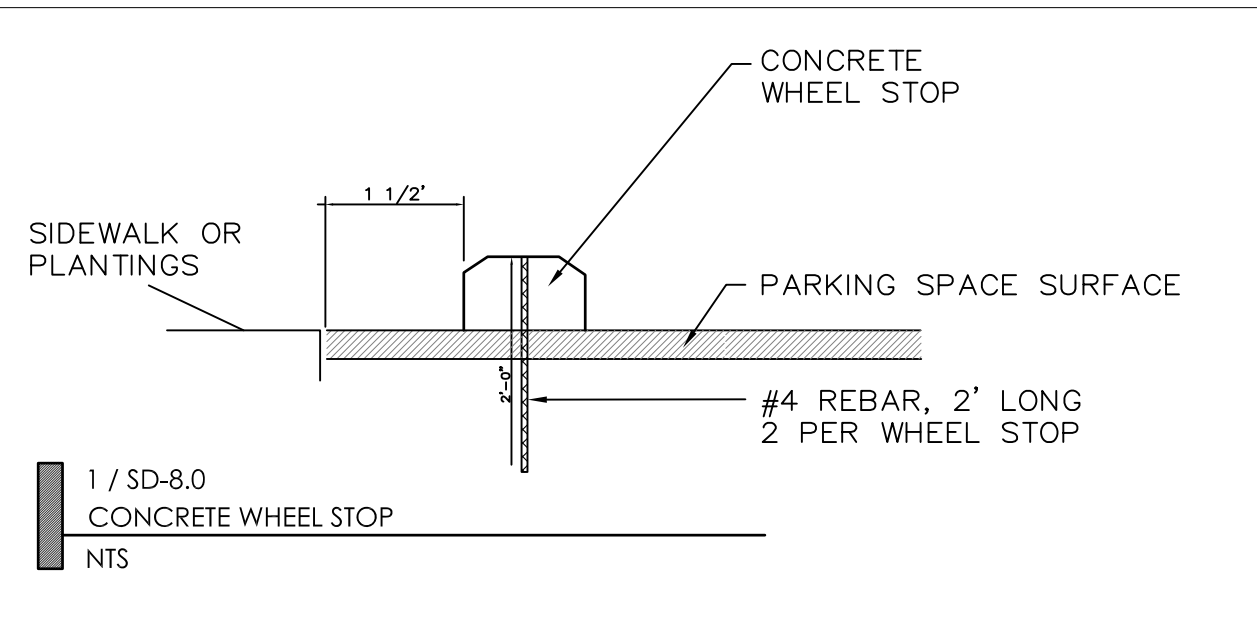
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Checked PBR, AJP
Date 4/18/2019
Revisions

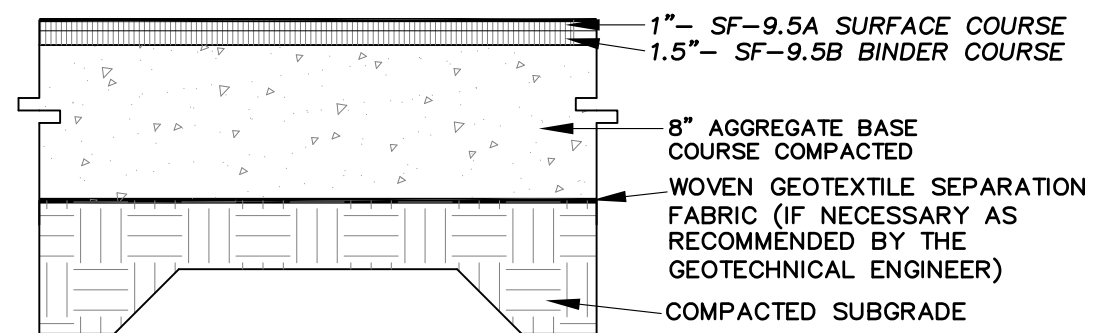
FINAL PLANS
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Sheet Title
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PLAN**

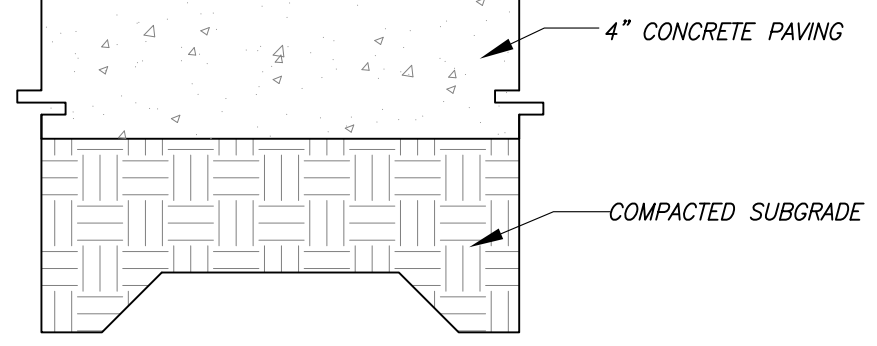
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SD-7.0



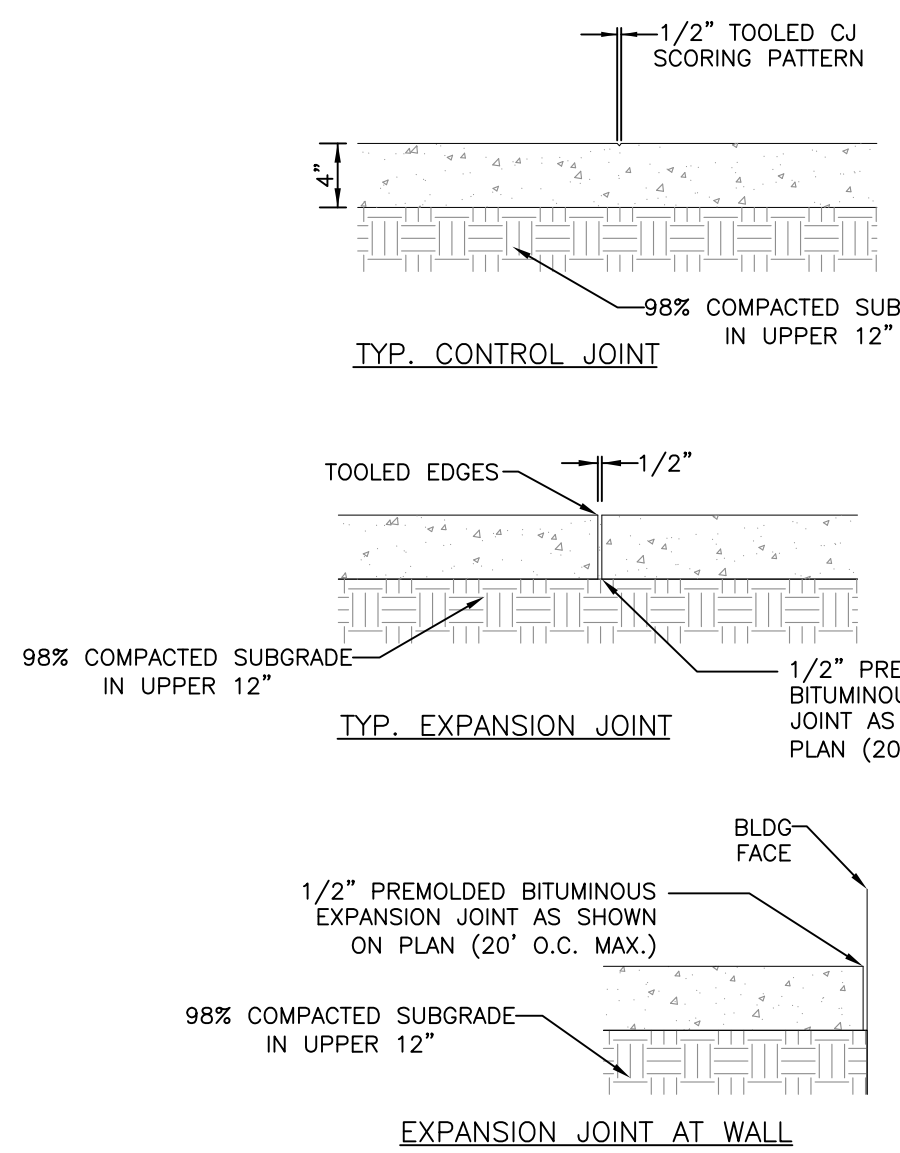
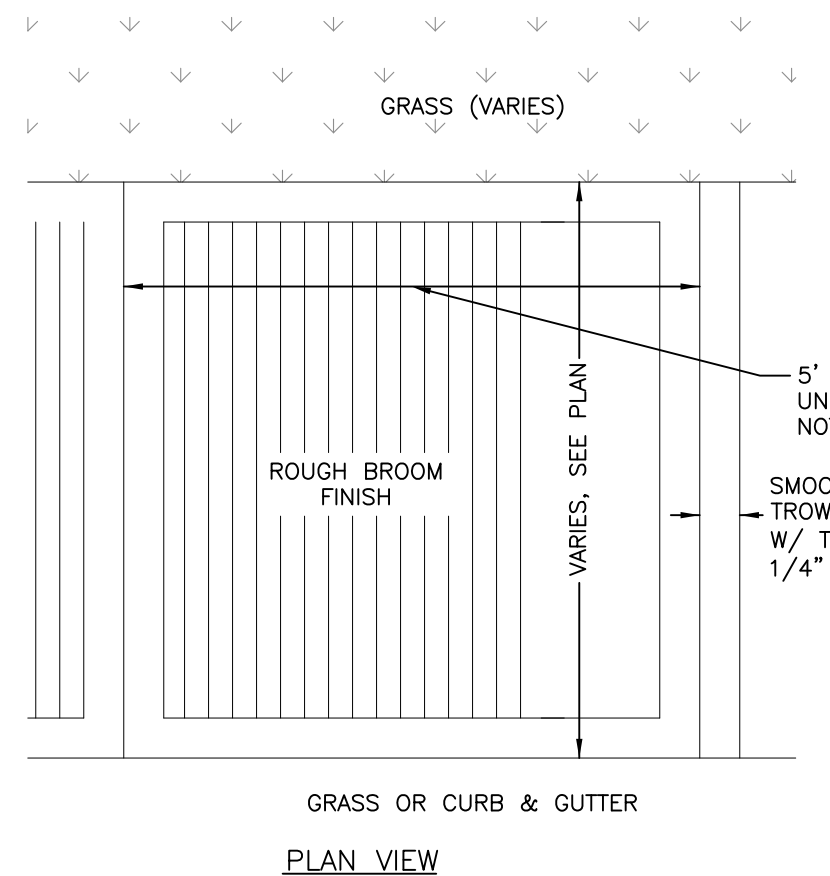
1 / SD-8.0
CONCRETE WHEEL STOP
NTS



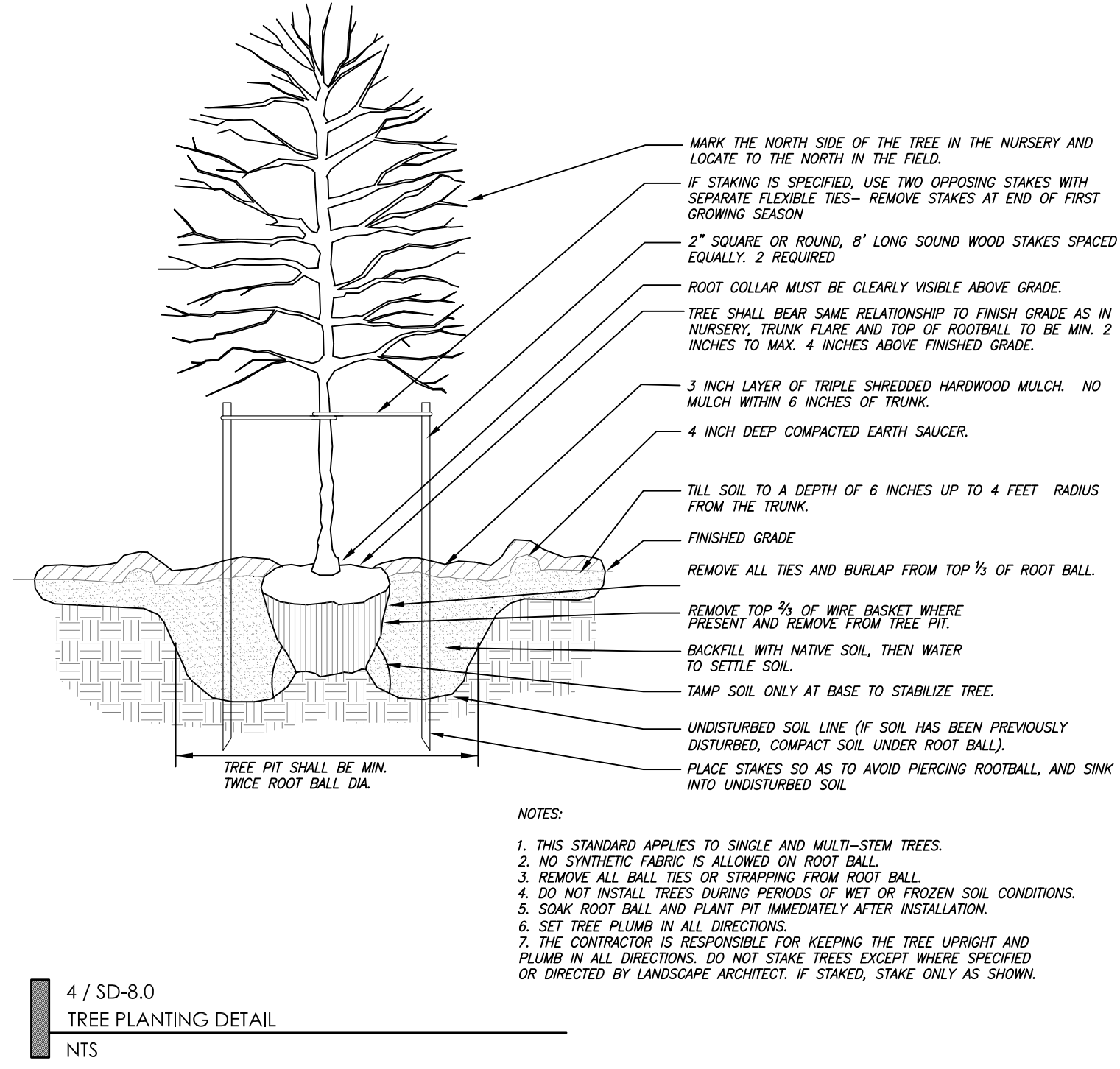
2 / SD-8.0
ASPHALT PAVING
NTS



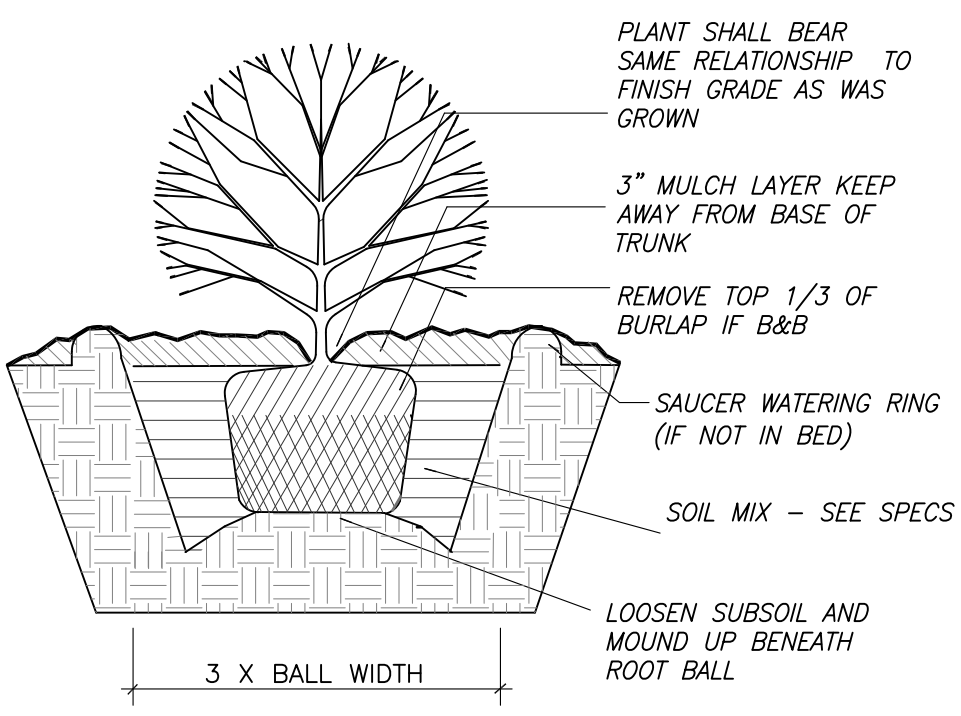
3 / SD-8.0
CONCRETE SIDEWALK/PAD/PATIO
NTS



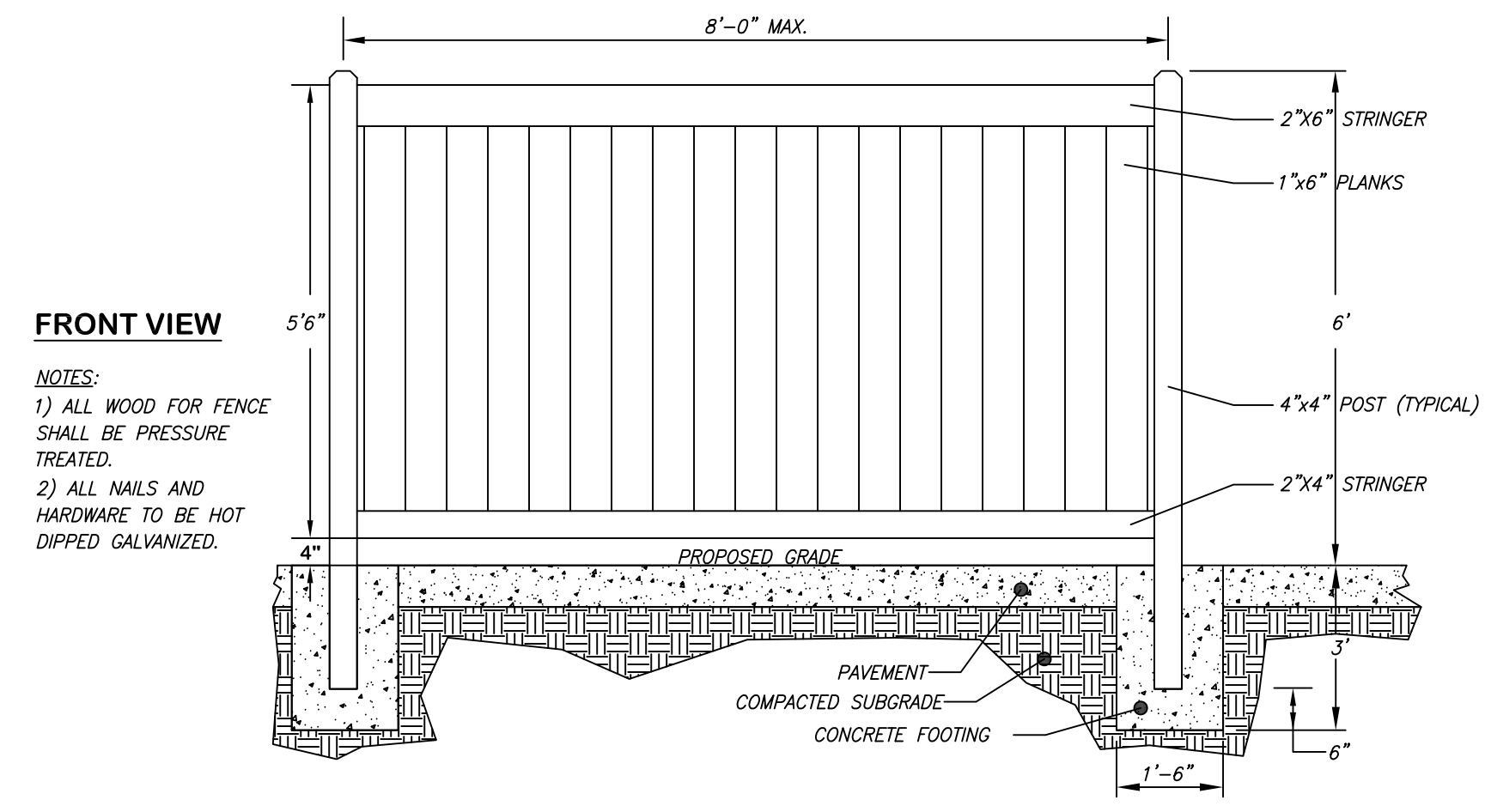
EXPANSION JOINT AT WALL



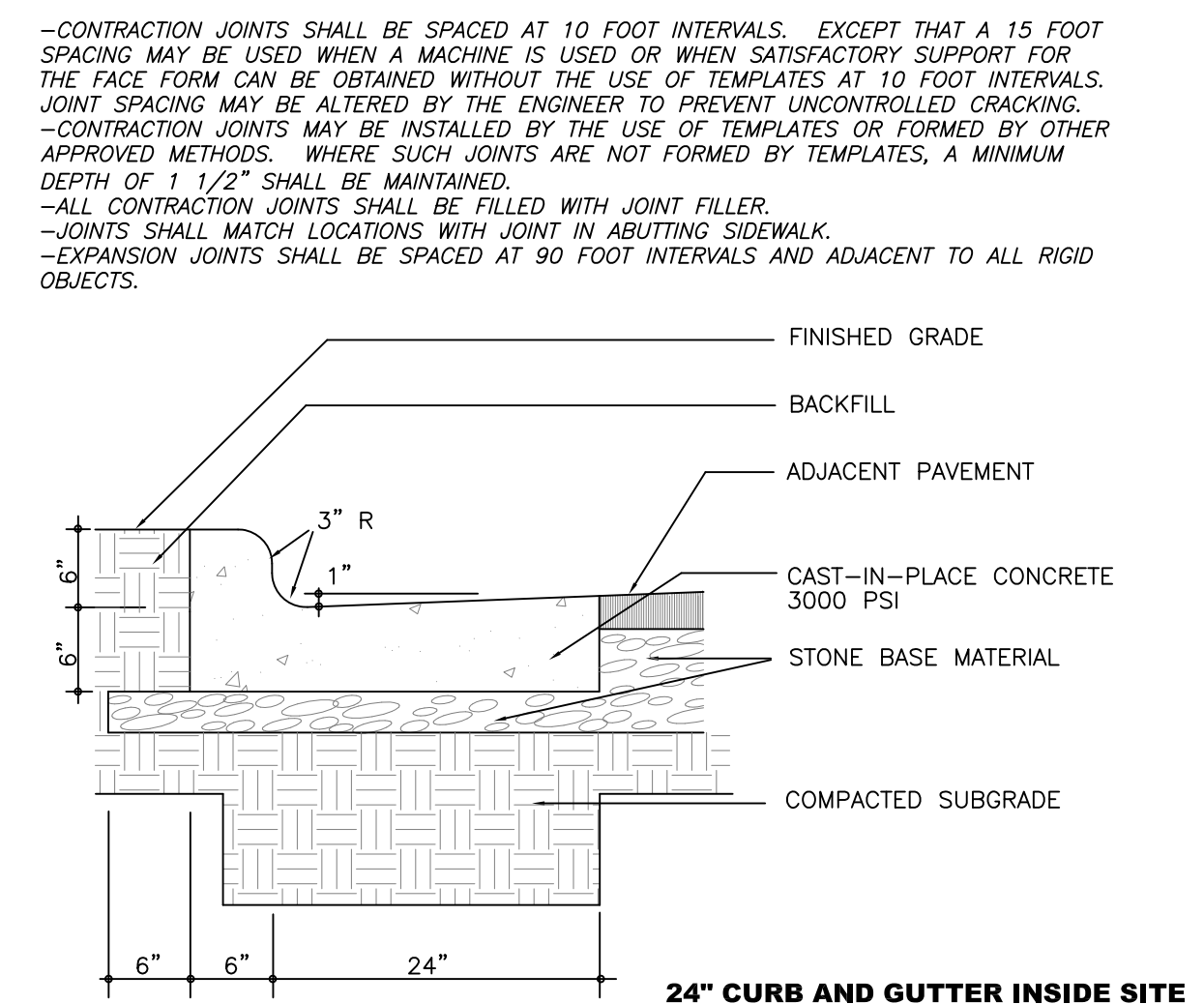
4 / SD-8.0
TREE PLANTING DETAIL
NTS



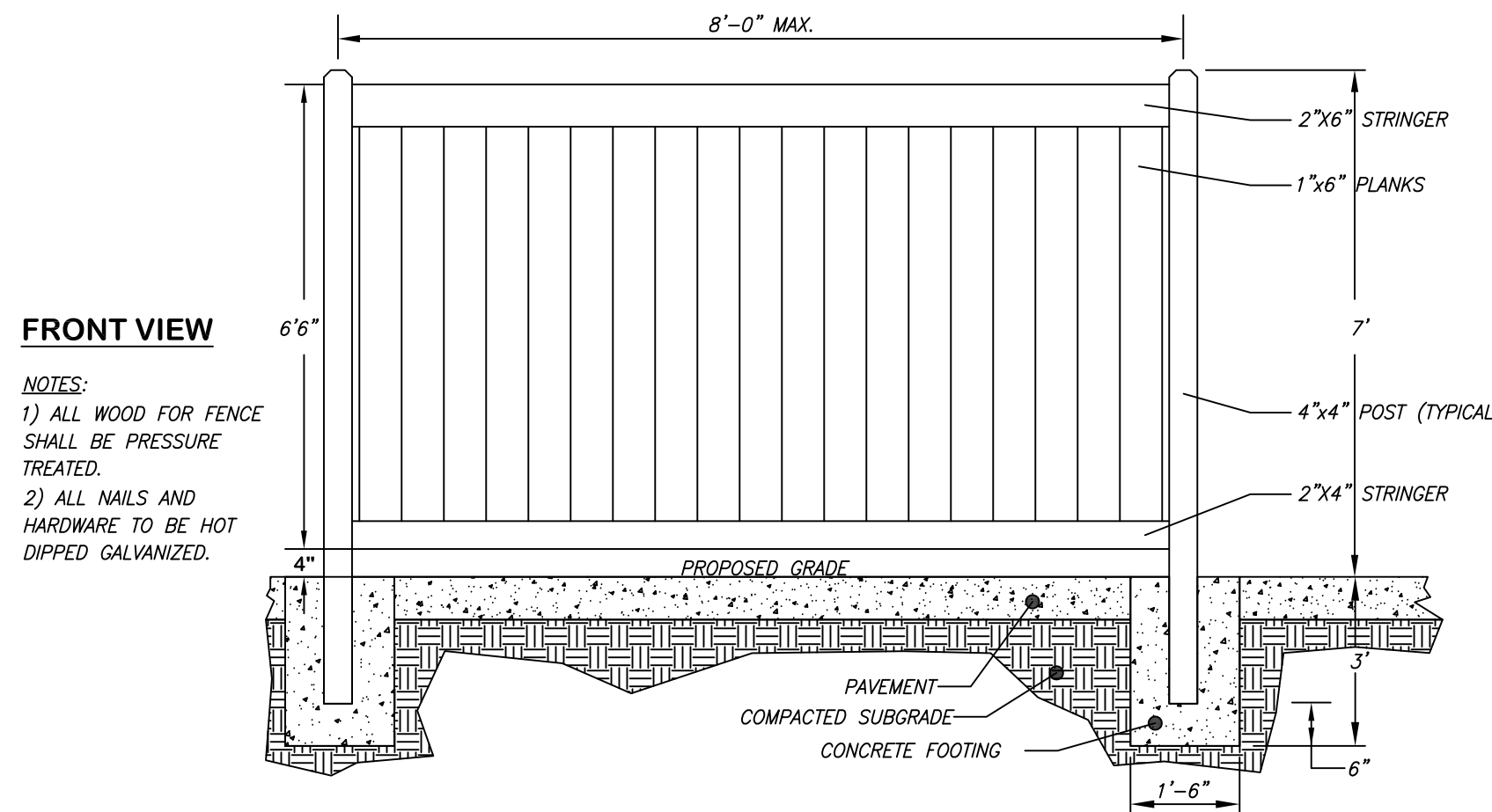
5 / SD-8.0
SHRUB PLANTING DETAIL
NTS



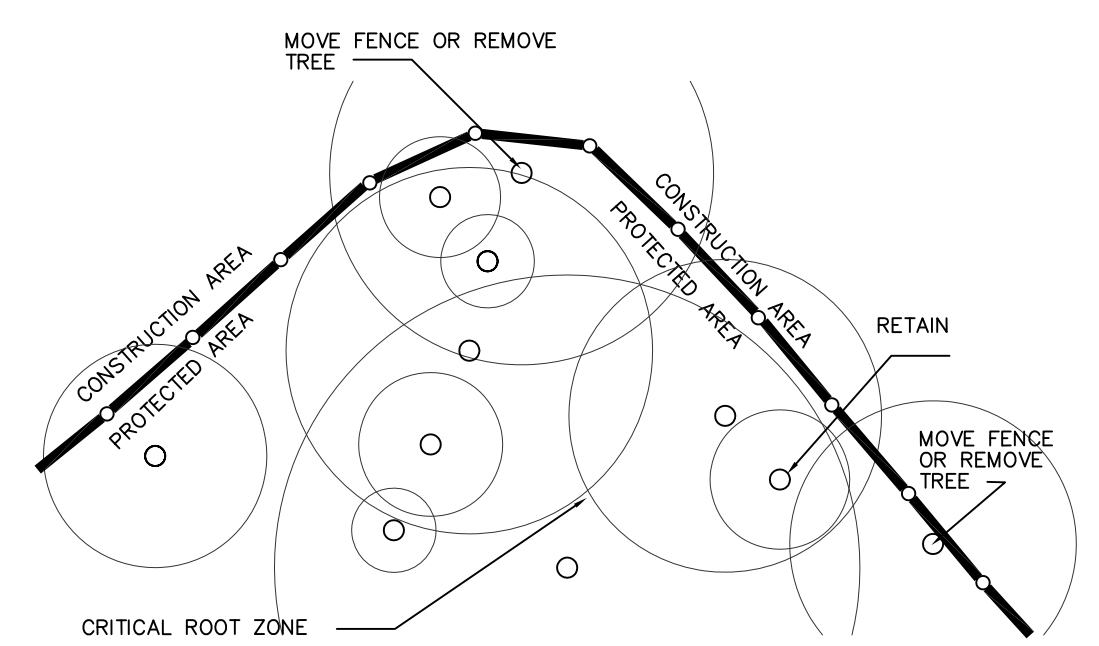
6 / SD-8.0
6\"/> TALL WOODEN PRIVACY FENCE
NTS



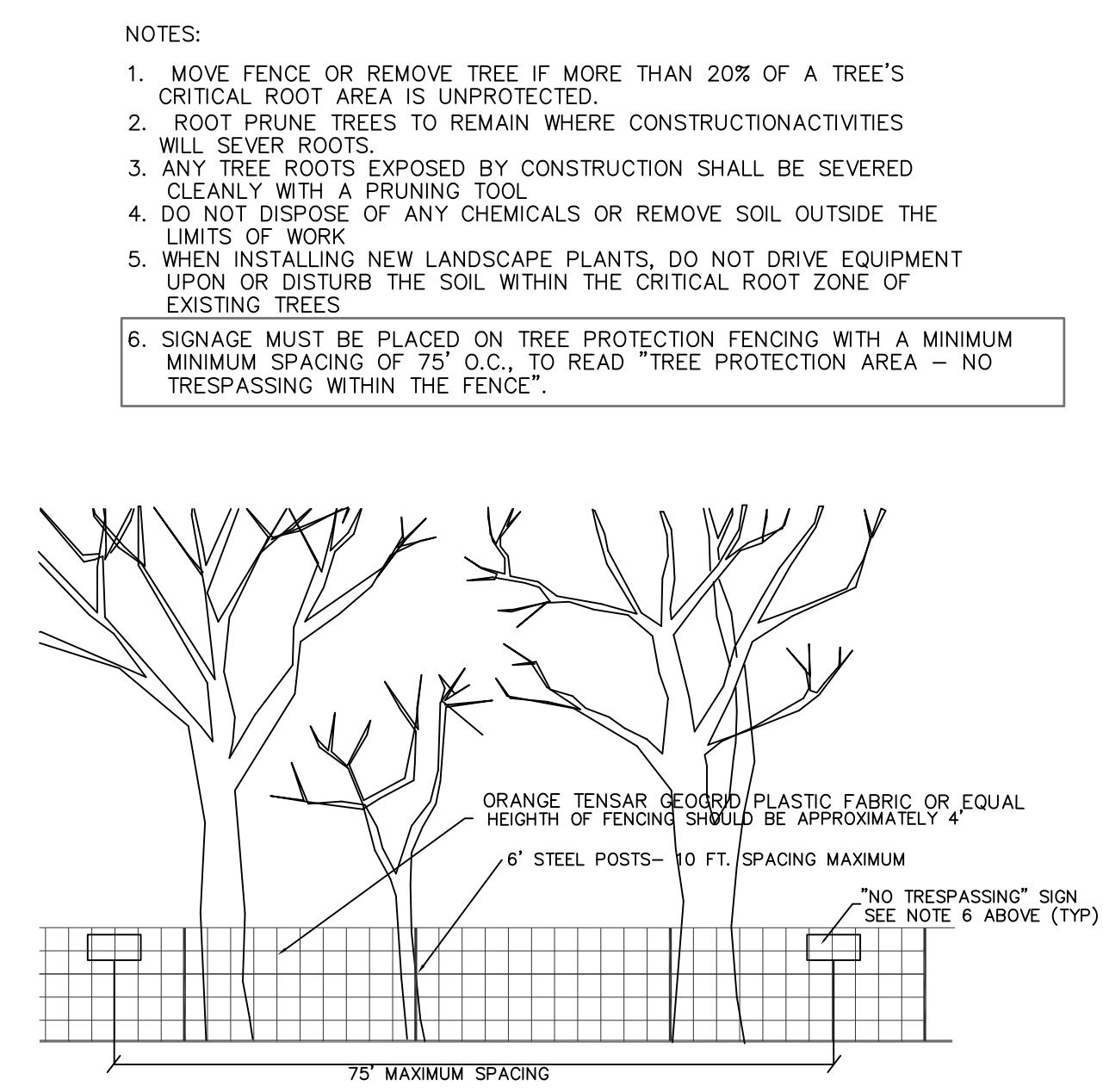
7 / SD-8.0
24\"/> CONCRETE CURB AND GUTTER
NTS



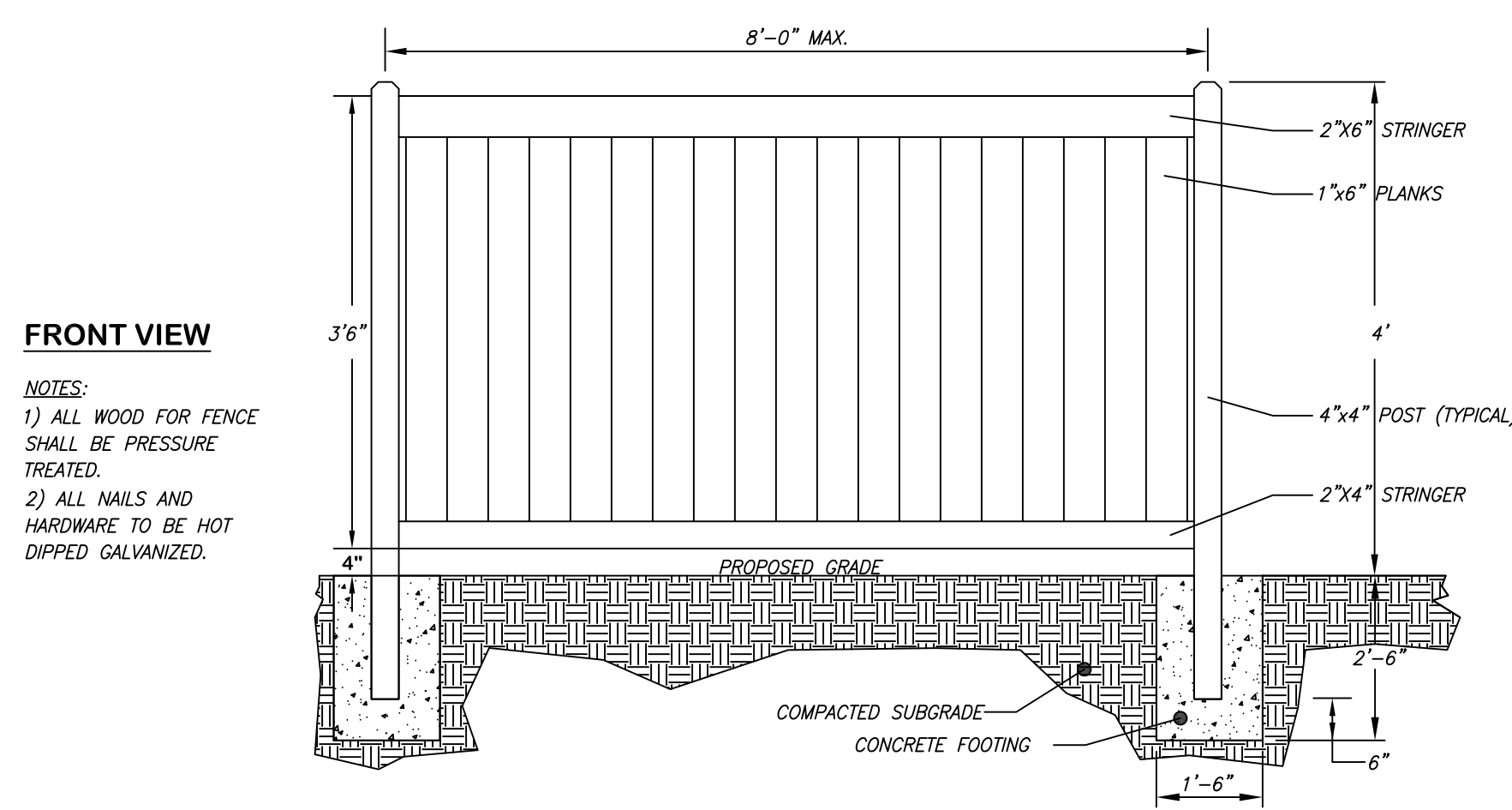
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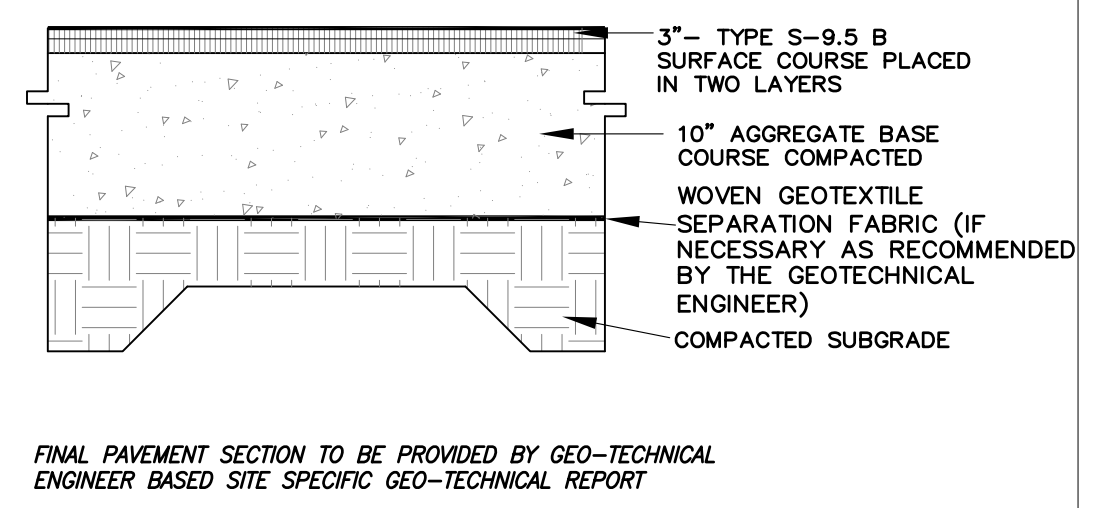
9 / SD-8.0
TREE PROTECTION FENCE
NTS



10 / SD-8.0
4\"/> TALL WOODEN PRIVACY FENCE
NTS



11 / SD-8.0
HEAVY DUTY ASPHALT PAVING
NTS



FINAL PAVEMENT SECTION TO BE PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

ENGINEERING - LAND SURVEYING - LANDSCAPE ARCHITECTURE

Coulter Jewell Thames

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NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104

4.18.2019

Project

PUREFOY ROAD APARTMENTS

111 PUREFOY ROAD
CHAPEL HILL NC, 27514
ORANGE COUNTY NC

PIN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, AJP
Date 4/18/2019
Revisions

FINAL PLANS NOT ISSUED FOR CONSTRUCTION

Sheet Title

SITE DETAILS

Sheet Number

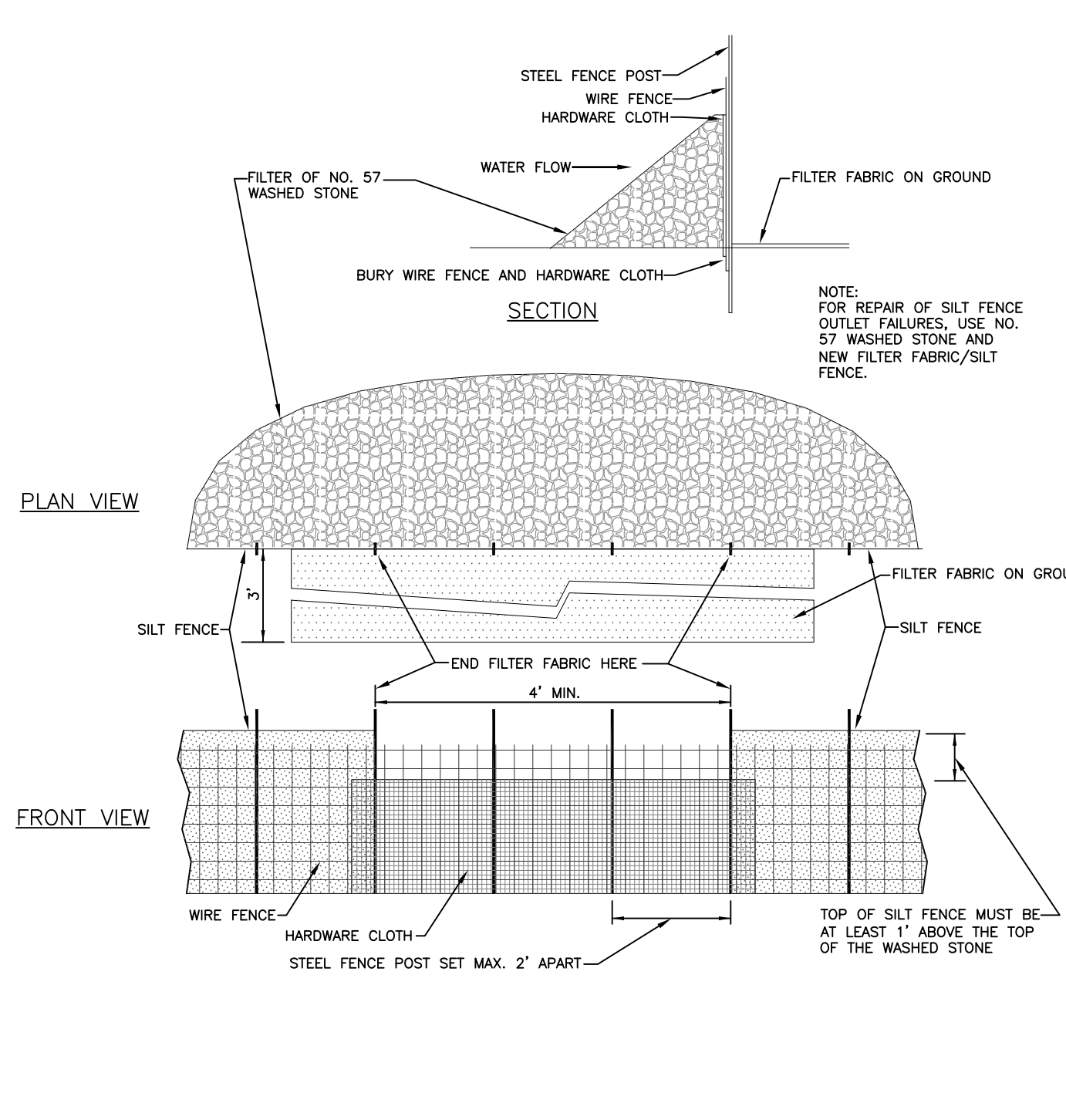
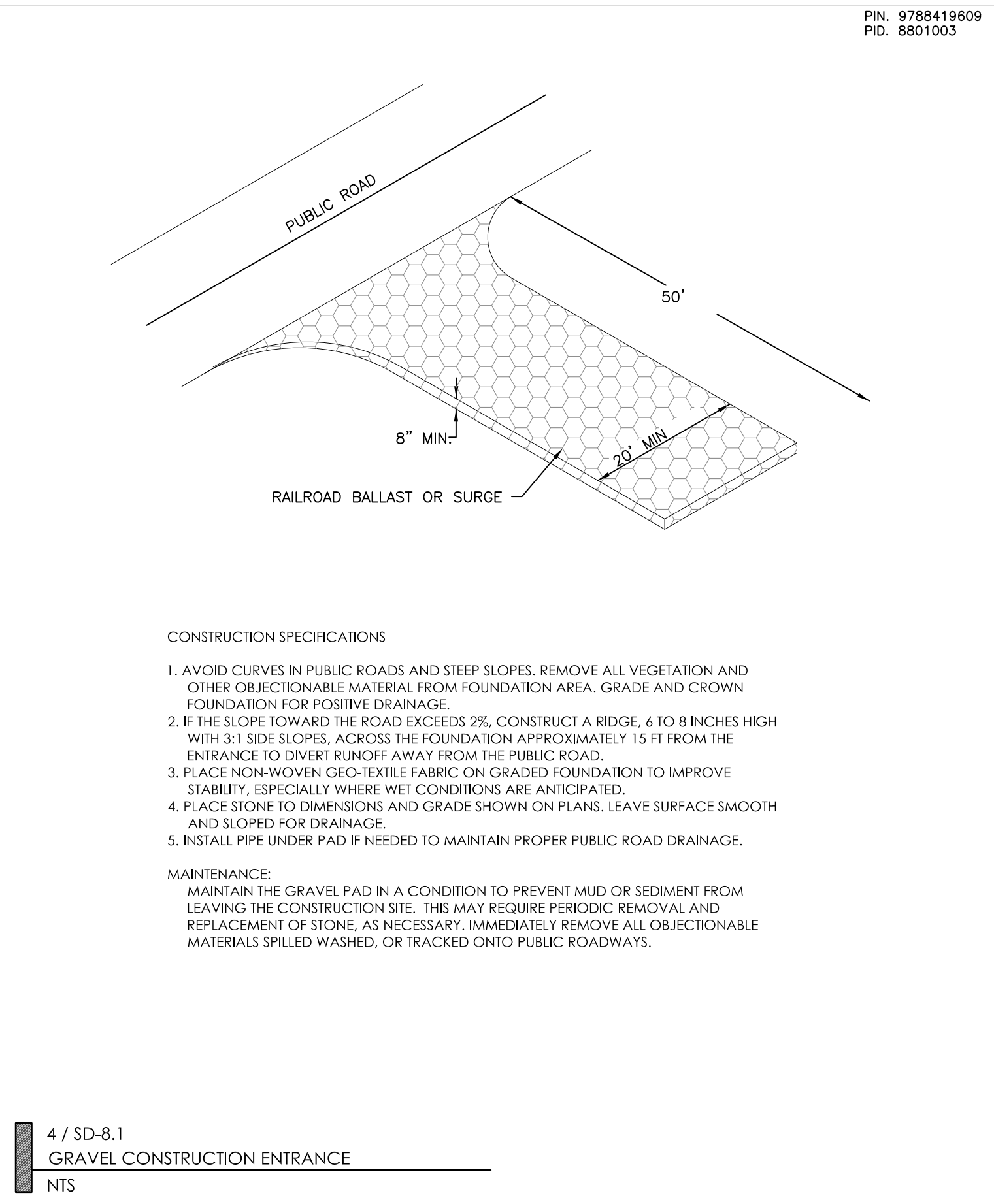
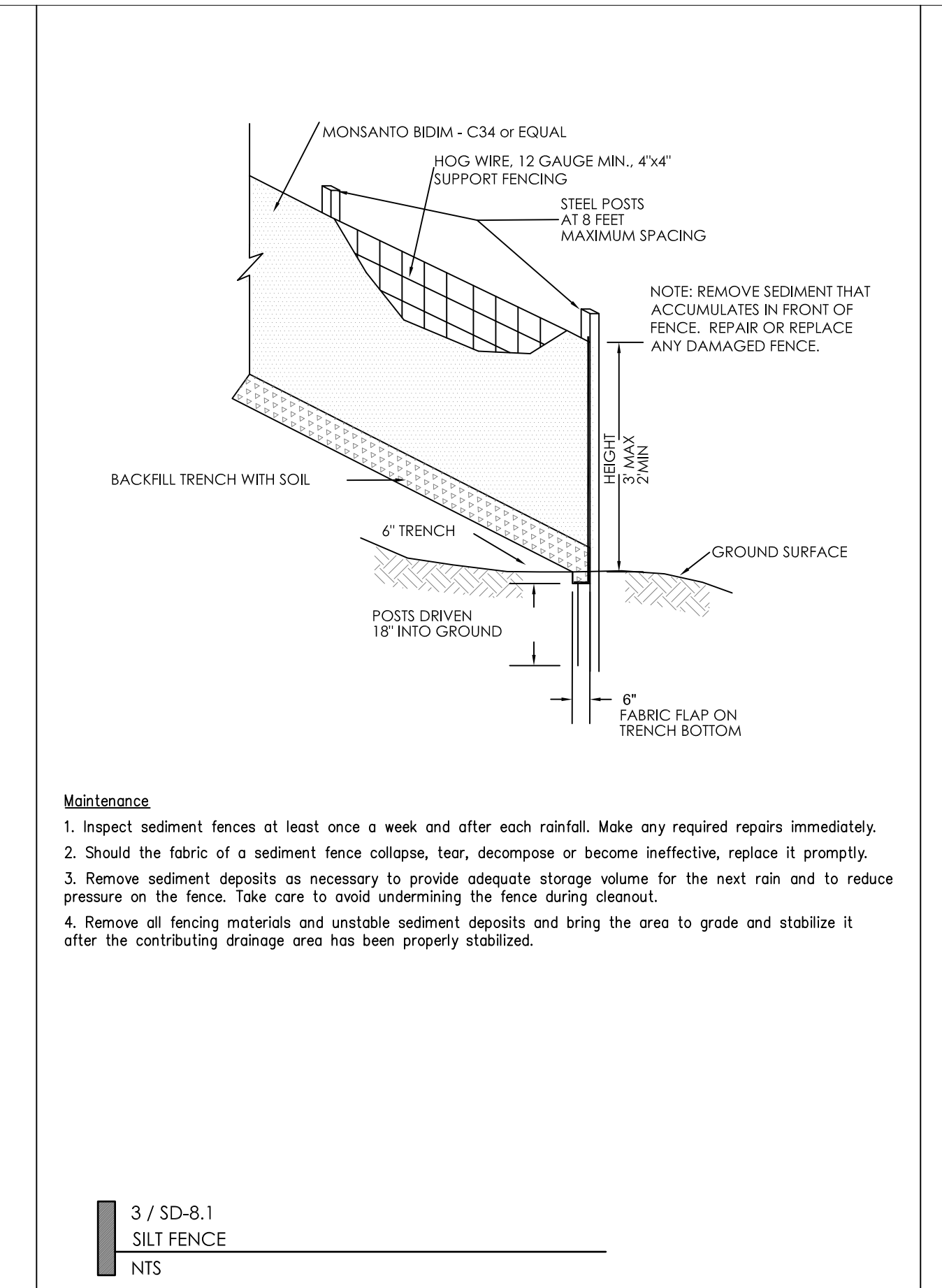
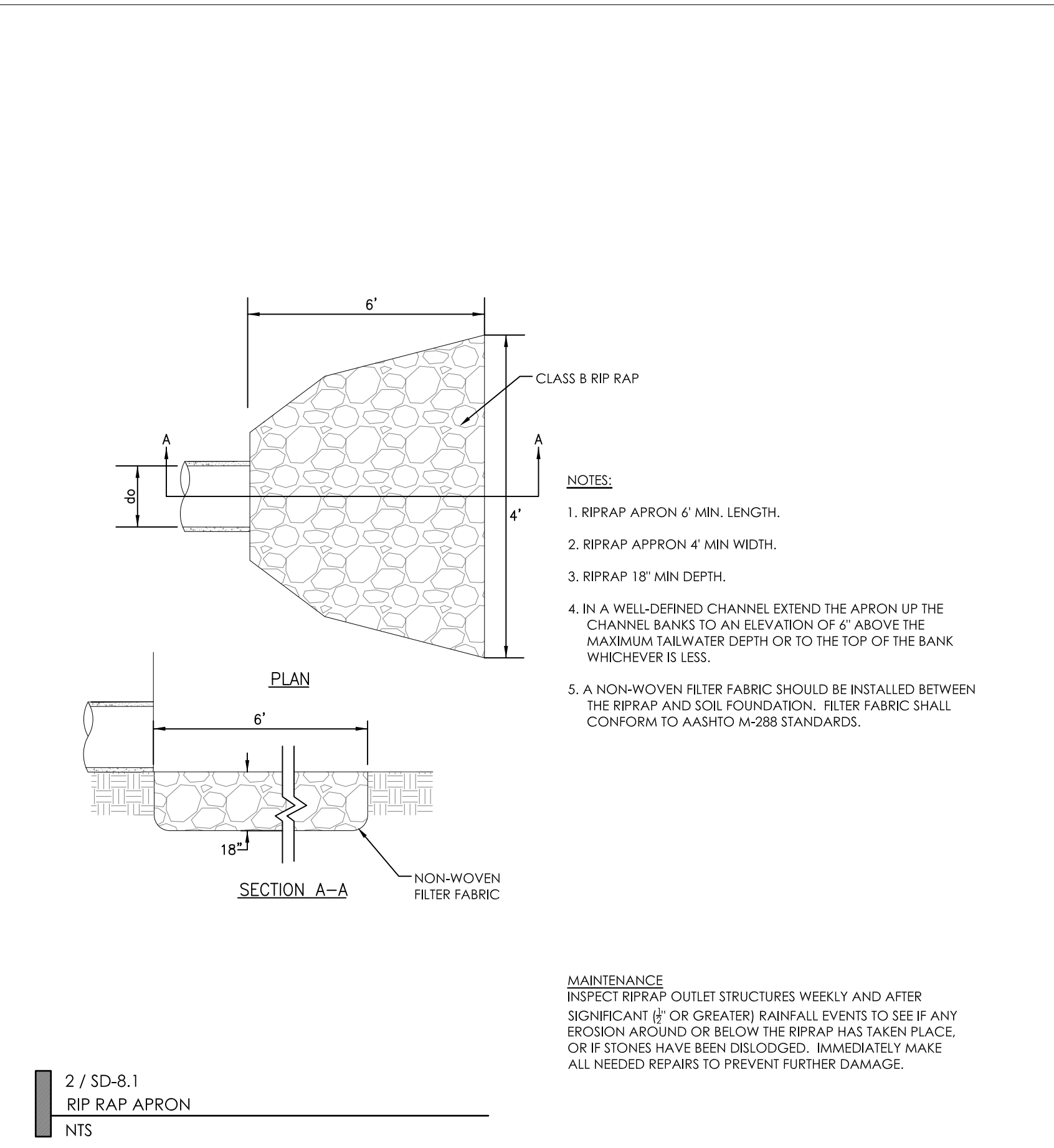
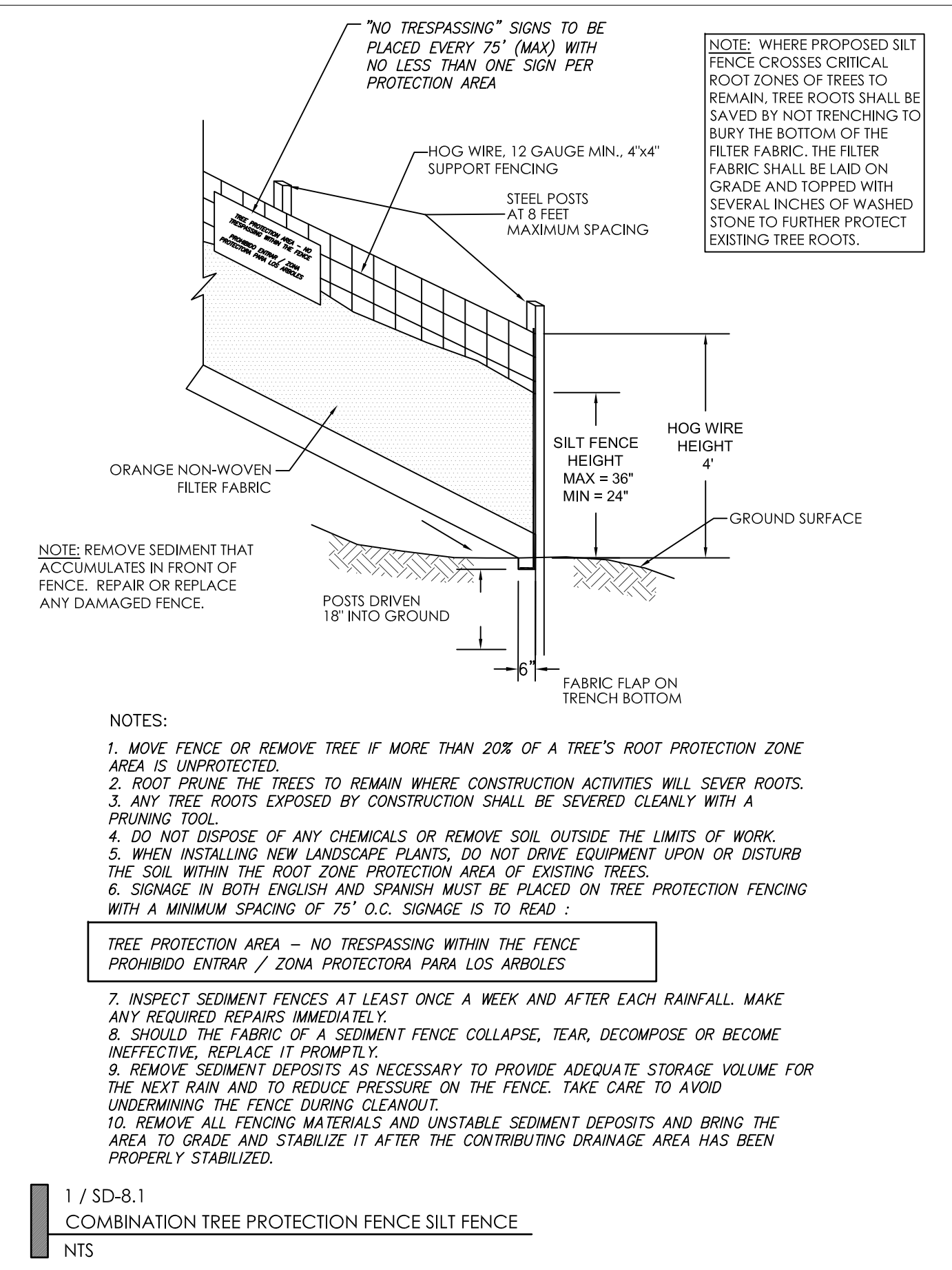
SD-8.0



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ARCHITECTS LIC # C-104



**6 / SD-8.1
SEEDING SCHEDULE
NTS**

| FALL/WINTER/SPRING TEMPORARY COVER | AUGUST 15 - MAY 1 | | | |
|-------------------------------------|---------------------|--------------------|----------------------|----------|
| Lime | 100 lbs/1000 sf | | | |
| 10-10-10 Fertilizer | 25 lbs/1000 sf | | | |
| Oat Seed | 2 lbs/1000 sf | | | |
| Rye Grain Seed | 1 lbs/1000 sf | | | |
| Straw Mulch * | 100 lbs/1000 sf | | | |
| SUMMER TEMPORARY COVER | MAY 1 - AUGUST 15 | | | |
| Lime | 100 lbs/1000 sf | | | |
| 10-10-10 Fertilizer | 15 lbs/1000 sf | | | |
| Browntop Millet Seed | 1 lbs/1000 sf | | | |
| Straw Mulch * | 100 lbs/1000 sf | | | |
| SPRINGS/FALL PERMANENT COVER | MARCH 1 - APRIL 30 | | | |
| Lime | 100 lbs/1000 sf | | | |
| 10-10-10 Fertilizer | 25 lbs/1000 sf | | | |
| Improved Turf Type Fine Fescue Seed | 8 lbs/1000 sf | | | |
| Straw Mulch * | 100 lbs/1000 sf | | | |
| SUMMER PERMANENT COVER | APRIL 1 - AUGUST 15 | | | |
| GRASS | PLANTING DATE | SEEDS ² | SPRINGS ³ | STOLONLS |
| BERMUDAGRASS | APRIL-JULY | 1-2 | .75 | 3-5 |
| BERMUDAGRASS(HYBRID) | APRIL-JULY | 1 | .75 | 3-5 |
| CENTIPEDGRASS | MARCH-JULY | .25-.50 | .75 | - |
| ST.AUGUSTINEGRASS | APRIL-JULY | - | 1.0 | - |
| TALL FESCUE | SEPT.-OCT.15 | 6 | - | - |
| ZOYSIAGRASS | MAY-JULY | .50-1.0 | .25 | 3-5 |

MAINTENANCE:
INSPECT SILT FENCE OUTLETS AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS AS NEEDED.
REMOVE SEDIMENT AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR SUBSEQUENT RAINS.
WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN ADEQUATELY STABILIZED, REMOVE ALL MATERIALS AND ANY UNSTABLE SOIL, AND EITHER SALVAGE OR DISPOSE OF IT PROPERLY.
BRING THE DISTURBED AREA TO PROPER GRADE, THEN SMOOTH AND COMPACT IT. STABILIZE AREAS AROUND THE OUTLET.

SEEDING PREPARATION: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 6 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.
Seed Temporary cover to stabilize temporary sedimentation control measures and other accomplished. If planting season is not suitable for installation of permanent cover, Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.
Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF, or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

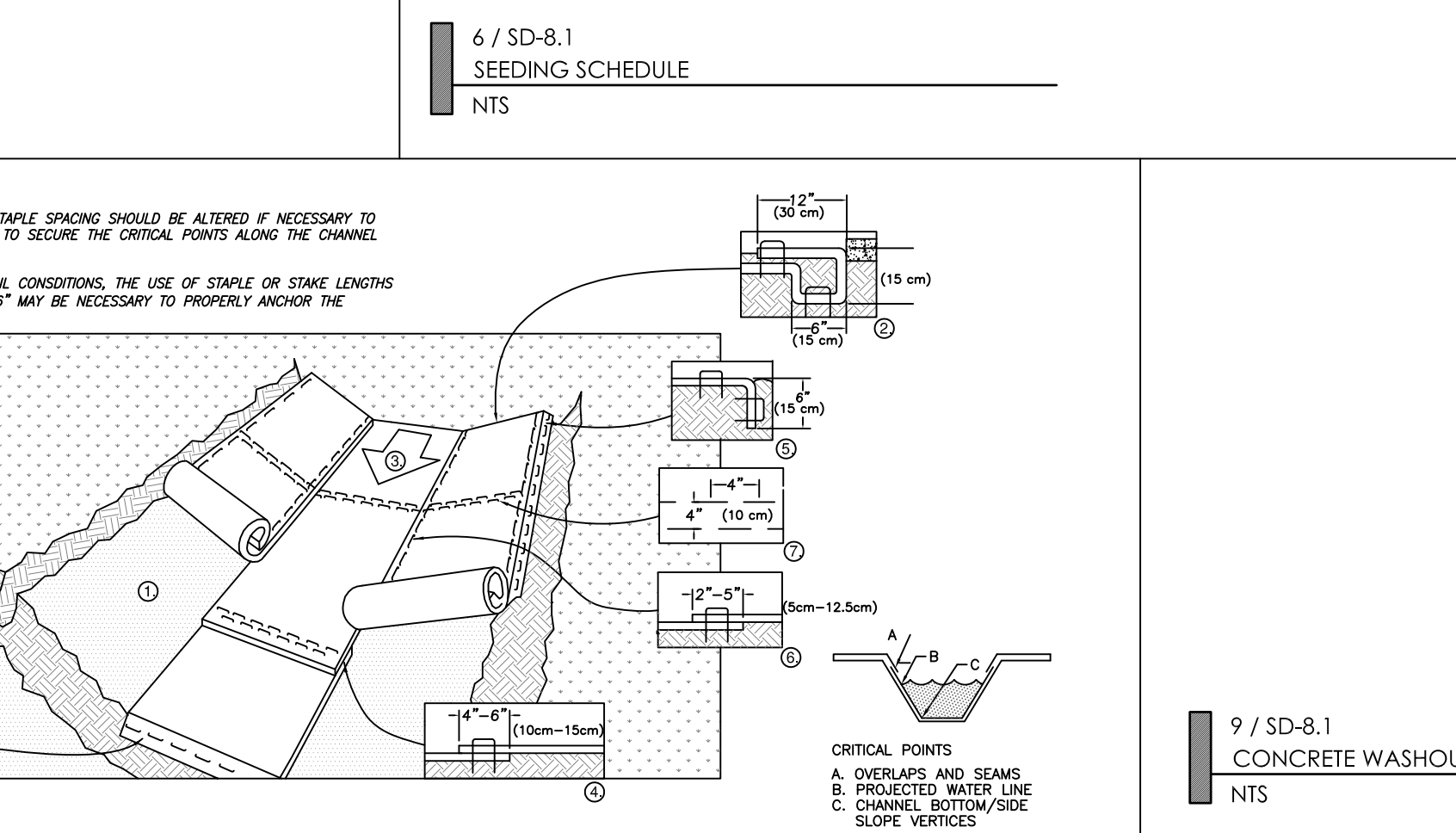
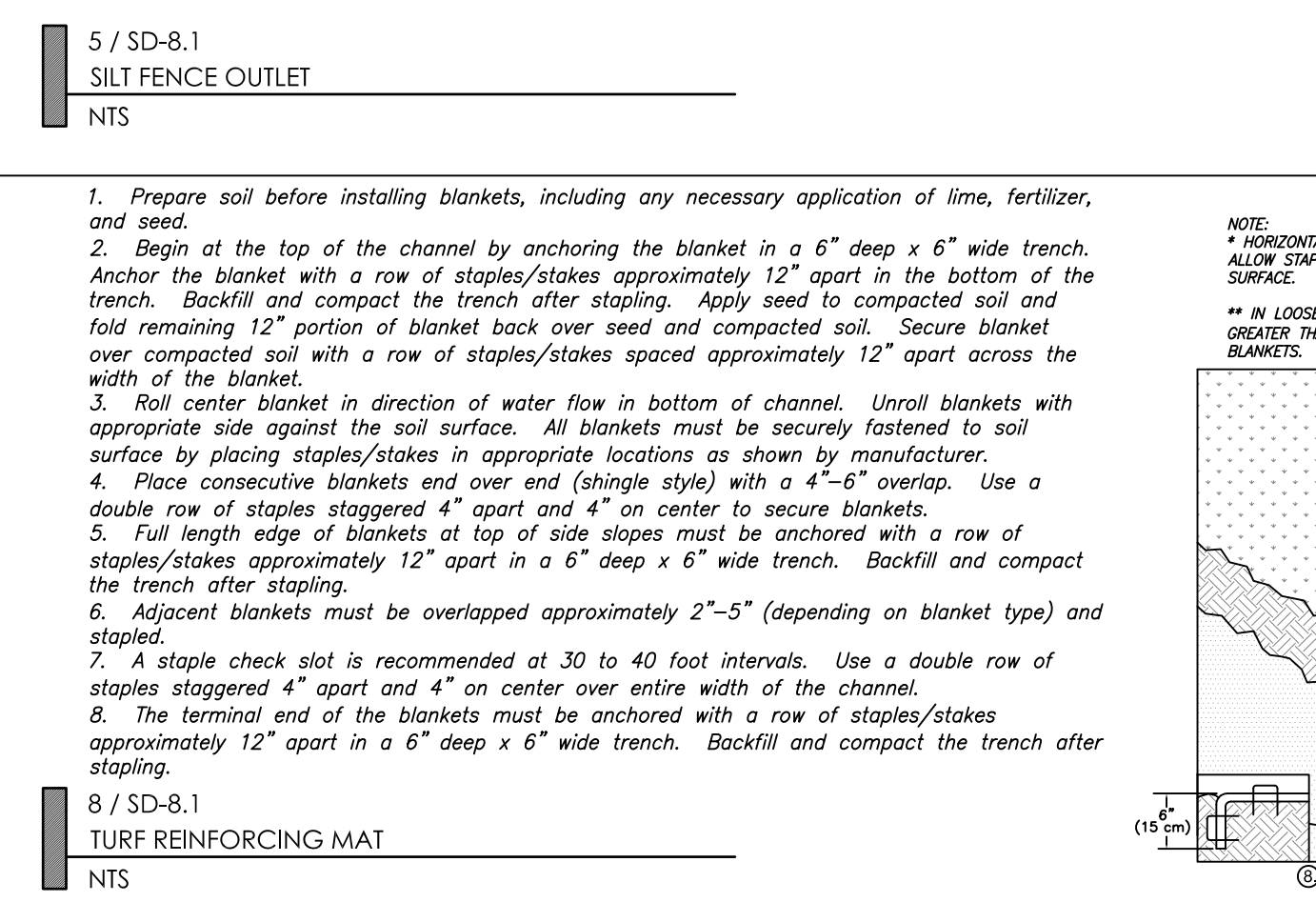
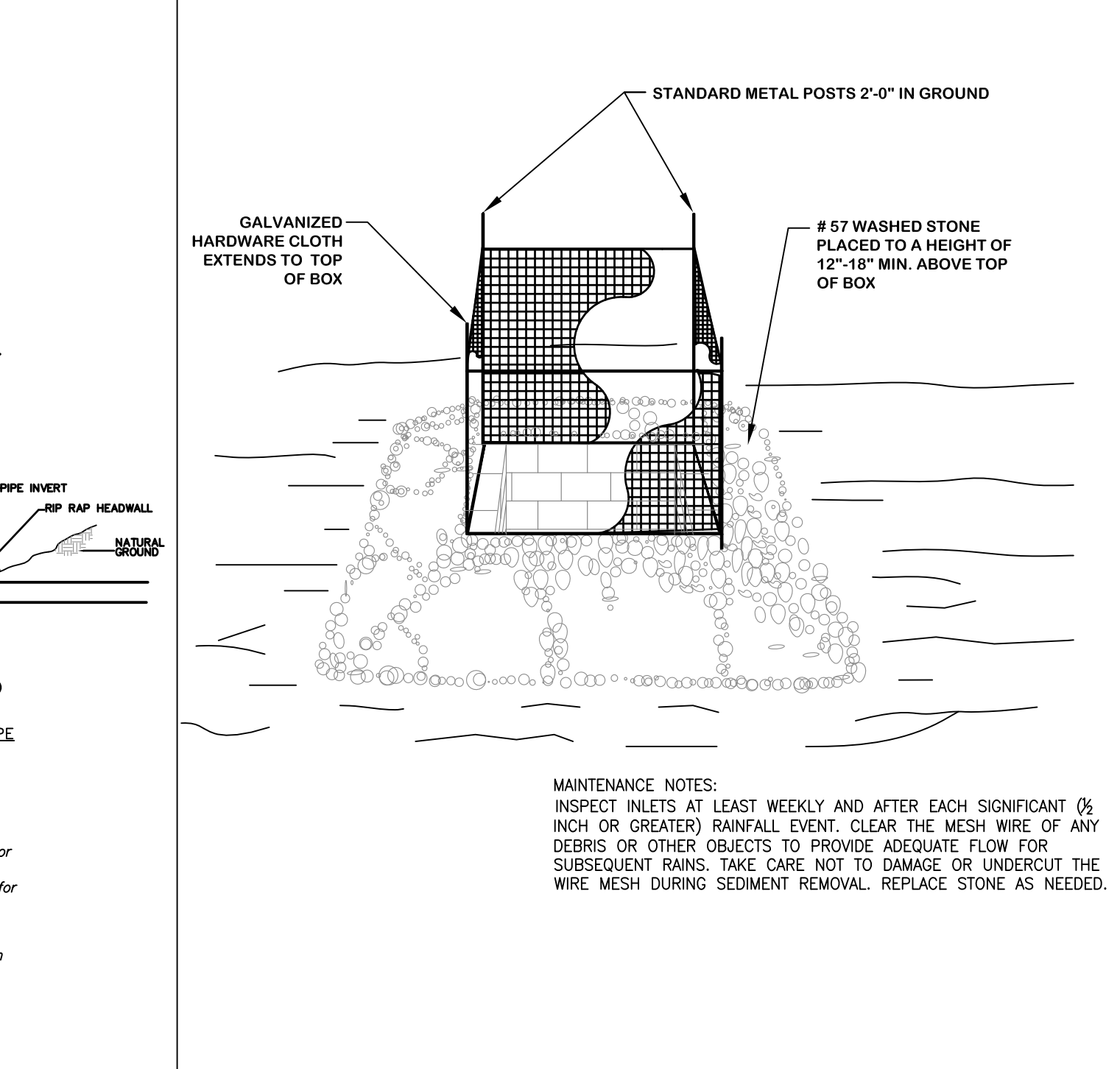
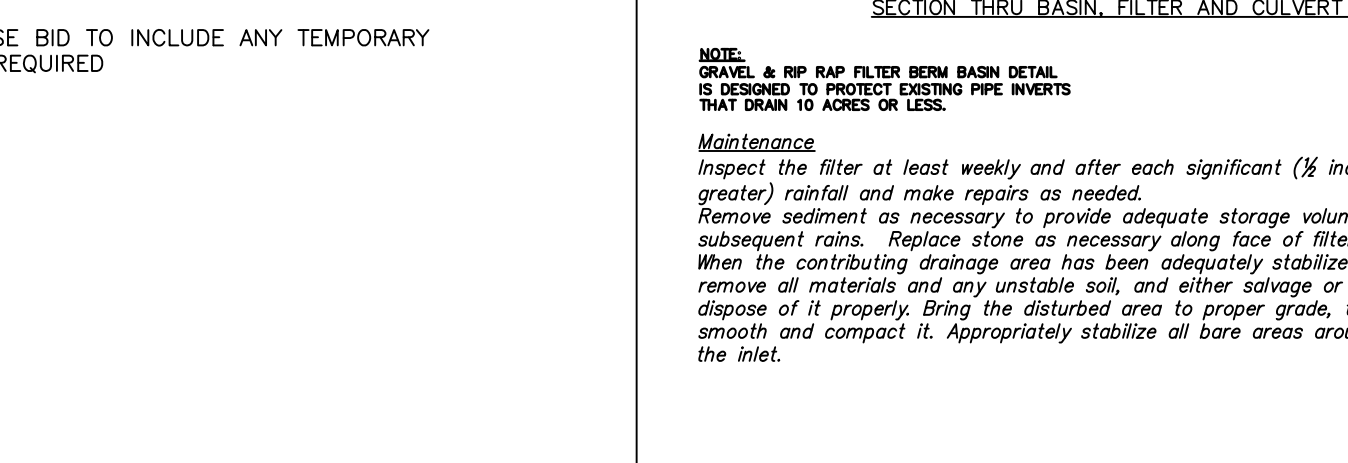
STABILIZATION TIME TABLE
1. All permanent dikes, swales, ditches, perimeter slopes, and all slopes steeper than 3:1 shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but within 7 calendar days from last land-disturbing activity.
2. All other disturbed areas shall be provided with temporary or permanent stabilization with groundcover as soon as practicable but in any event within 14 calendar days from last land-disturbing activity.

***EXPOSED AREAS INCLUDE, BUT ARE NOT LIMITED TO:**
• AREAS CLEARED FOR ROADWAY CONSTRUCTION.
• AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
• DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
• SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

Ground Stabilization*

| Site Area Description | Stabilization Time Frame | Stabilization Time Frame Exceptions |
|--|--------------------------|---|
| Perimeter dikes, swales, ditches, and slopes | 7 days | None |
| High Quality Water (HQW) Zones | 7 days | None |
| Slopes steeper than 3:1 | 7 days | If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed |
| Slopes 3:1 or flatter | 14 days | 7 days for slopes greater than 50 feet in length |
| All other areas with slopes flatter than 4:1 | 14 days | None (except for perimeters and HQW Zones) |

* "Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions (that make compliance impracticable)" (Section 11.B.2)(b)



Project
**PUREFOY
ROAD
APARTMENTS**
111 PUREFOY ROAD
CHAPEL HILL NC, 27514
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PN: 9788419609
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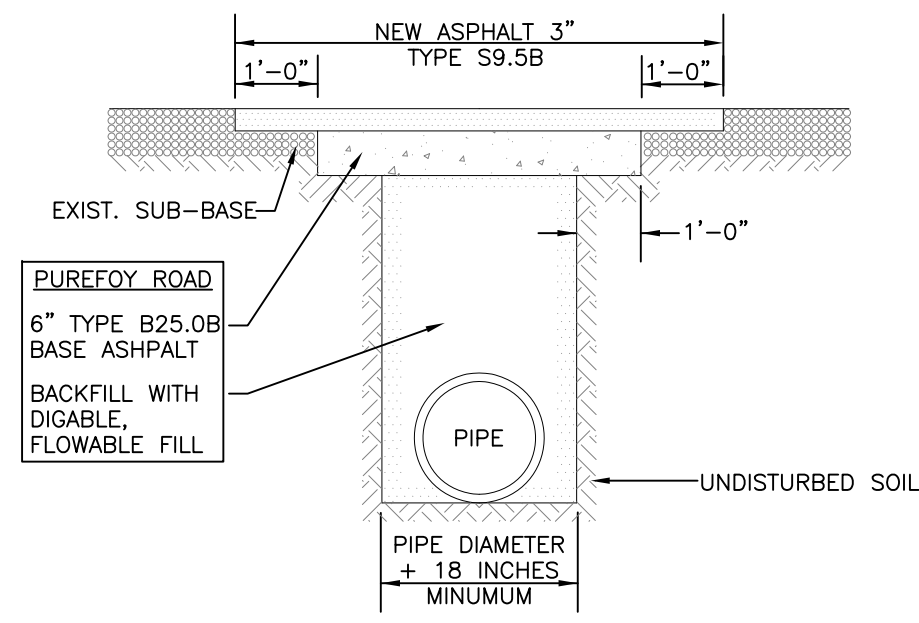
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NOT ISSUED
FOR CONSTRUCTION**

Sheet Title

**EROSION
CONTROL
DETAILS**

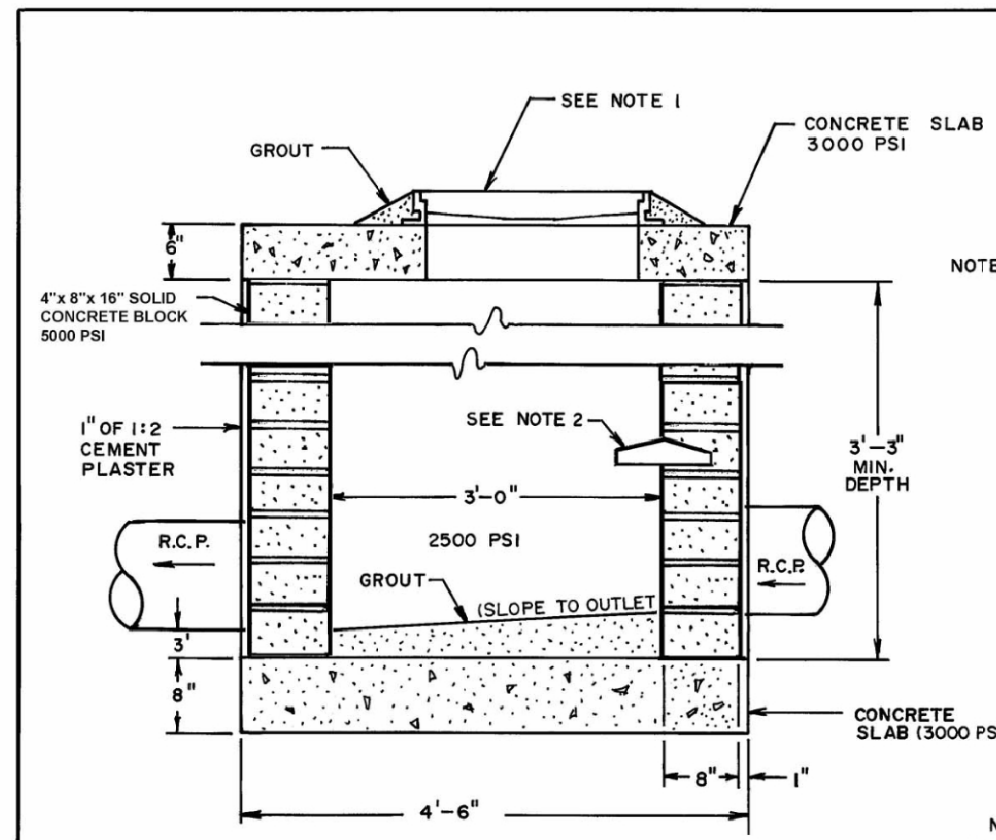
Sheet Number

SD-8.1



- NOTES:
1. SAW CUT EDGES MUST BE STRAIGHT AND CLEAN.
 2. PATCHES MUST BE REGULAR, SQUARE, OR RECTANGULAR (4 STRAIGHT EDGES).
 3. FINAL SURFACE COURSE MUST BE FLUSH WITH THE EDGE OF EXISTING PAVEMENT, VERTICALLY AND HORIZONTALLY, WITH NO SPILLOVER OF ASPHALT OR TACK COAT.
 4. CARE MUST BE TAKEN NOT TO DAMAGE INTEGRITY OR APPEARANCE OF SURROUNDING PAVEMENT. IF DAMAGED, THE ENTIRE SURFACE PATCH MUST BE EXPANDED TO COVER DAMAGES.
 5. ALL STRIPING IMPACTED BY REPAIRS MUST BE REPLACED.
 6. PROPER TRAFFIC CONTROL AND PLATING OF THE ROAD DURING CURE TIME FOR FLOWABLE FILL MUST BE CONDUCTED APPROPRIATELY.
 7. THE MAXIMUM TIME TO COMPLETE FULL REPAIR SHALL NOT EXCEED 10 WORKING DAYS.

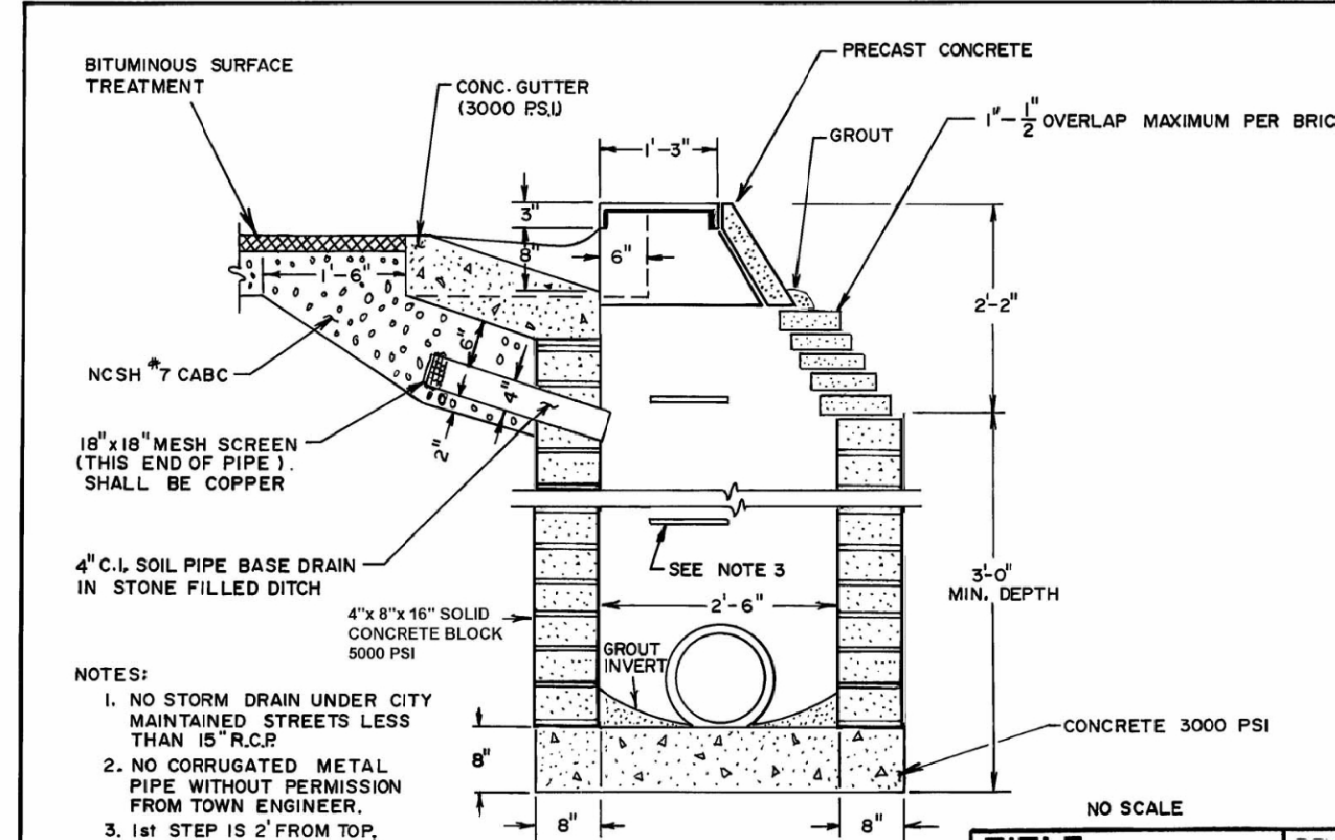
1 / SD-8.2
OPEN CUT AND REPAIR
NTS



- NOTES:
1. USE EAST JORDAN IRON WORKS MANHOLE RING & SOLID COVER IN SIDEWALKS & YARD AREAS. USE MANHOLE RING & SOLID COVER IN STREETS.
 2. MANHOLE STEPS @ 15" O.C., 1st STEP IS 2' FROM TOP.

NO SCALE
TITLE JUNCTION BOX DETAIL
REVISIONS NO DATE BY
DET. NO. SD-3

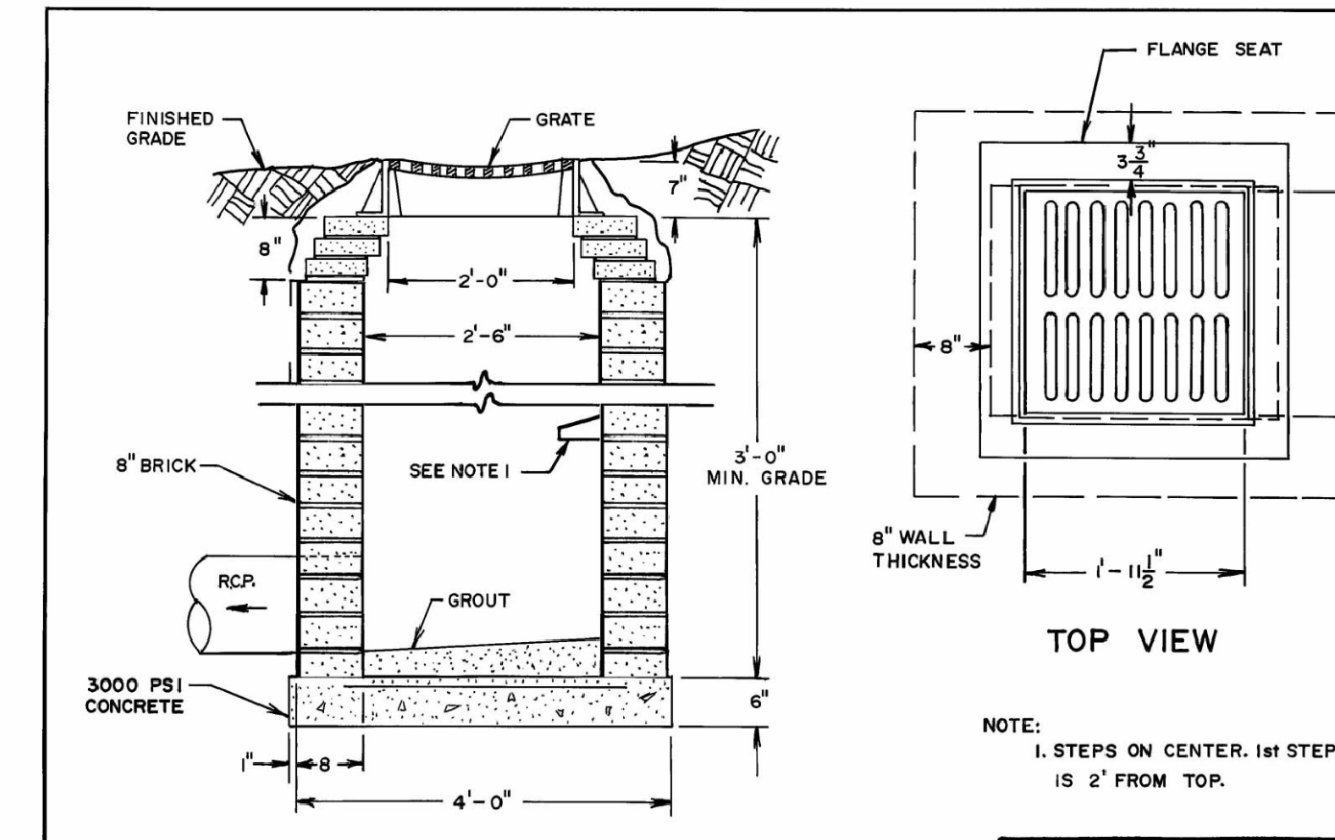
2 / SD-8.2
JUNCTION BOX DETAIL
NTS



- NOTES:
1. NO STORM DRAIN UNDER CITY MAINTAINED STREETS LESS THAN 15' R.C.P.
 2. NO CORRUGATED METAL PIPE WITHOUT PERMISSION FROM TOWN ENGINEER.
 3. 1st STEP IS 2' FROM TOP.

NO SCALE
TITLE CURB INLET-SIDE VIEW
REVISIONS NO DATE BY
DET. NO. SD-5

3 / SD-8.2
CURB INLET DETAIL
NTS

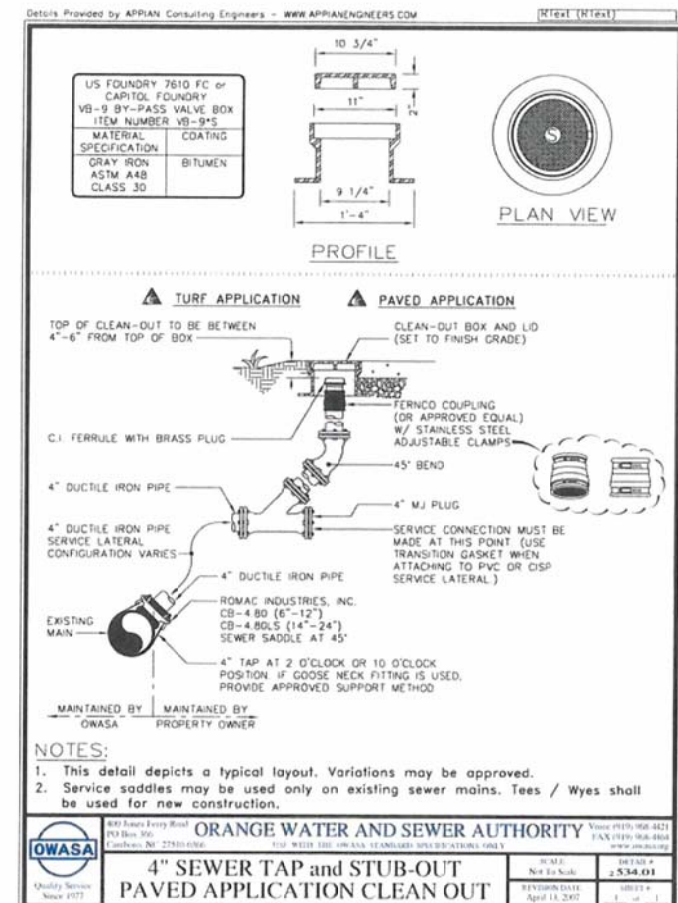


- NOTE:
1. STEPS ON CENTER. 1st STEP IS 2' FROM TOP.

NO SCALE
TITLE CATCH BASIN-TOP VIEW & SIDE VIEW
REVISIONS NO DATE BY
DET. NO. SD-6

4 / SD-8.2
CATCH BASIN DETAIL
NTS

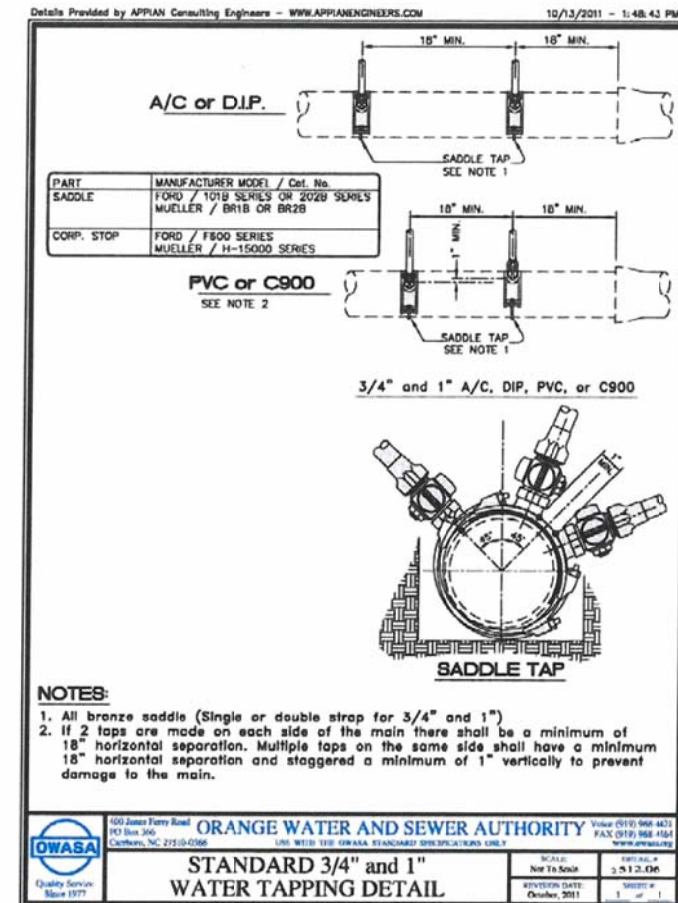
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5 / SD-8.2
CLEAN OUT
NTS

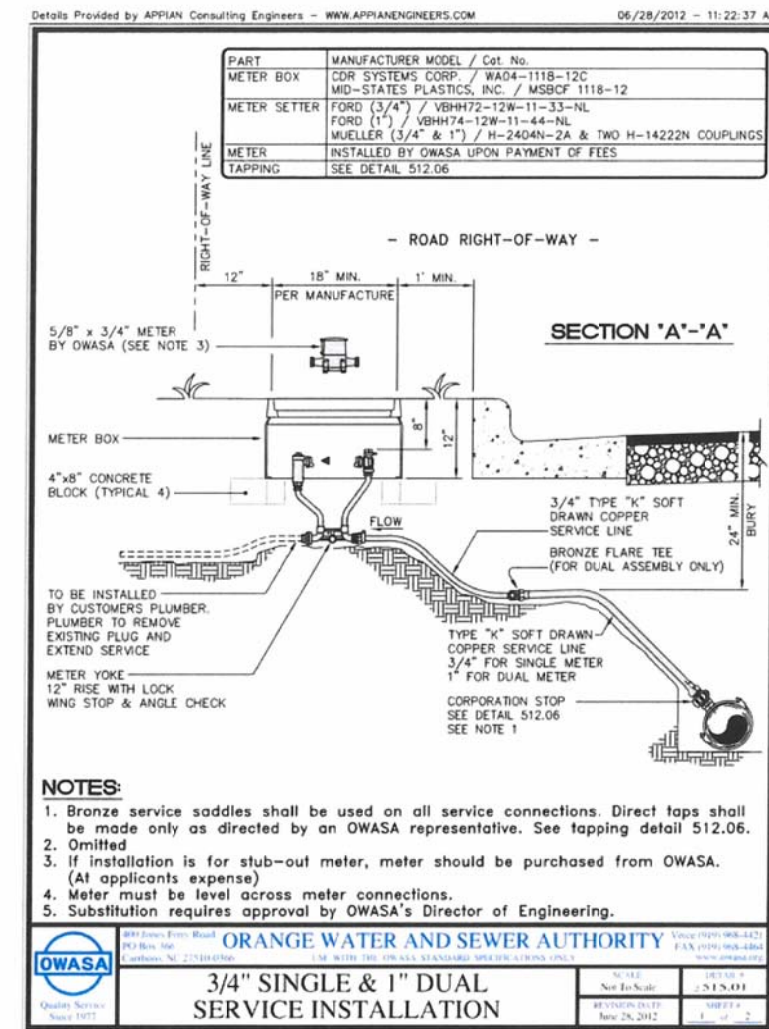
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6 / SD-8.2
WATER TAPPING DETAIL
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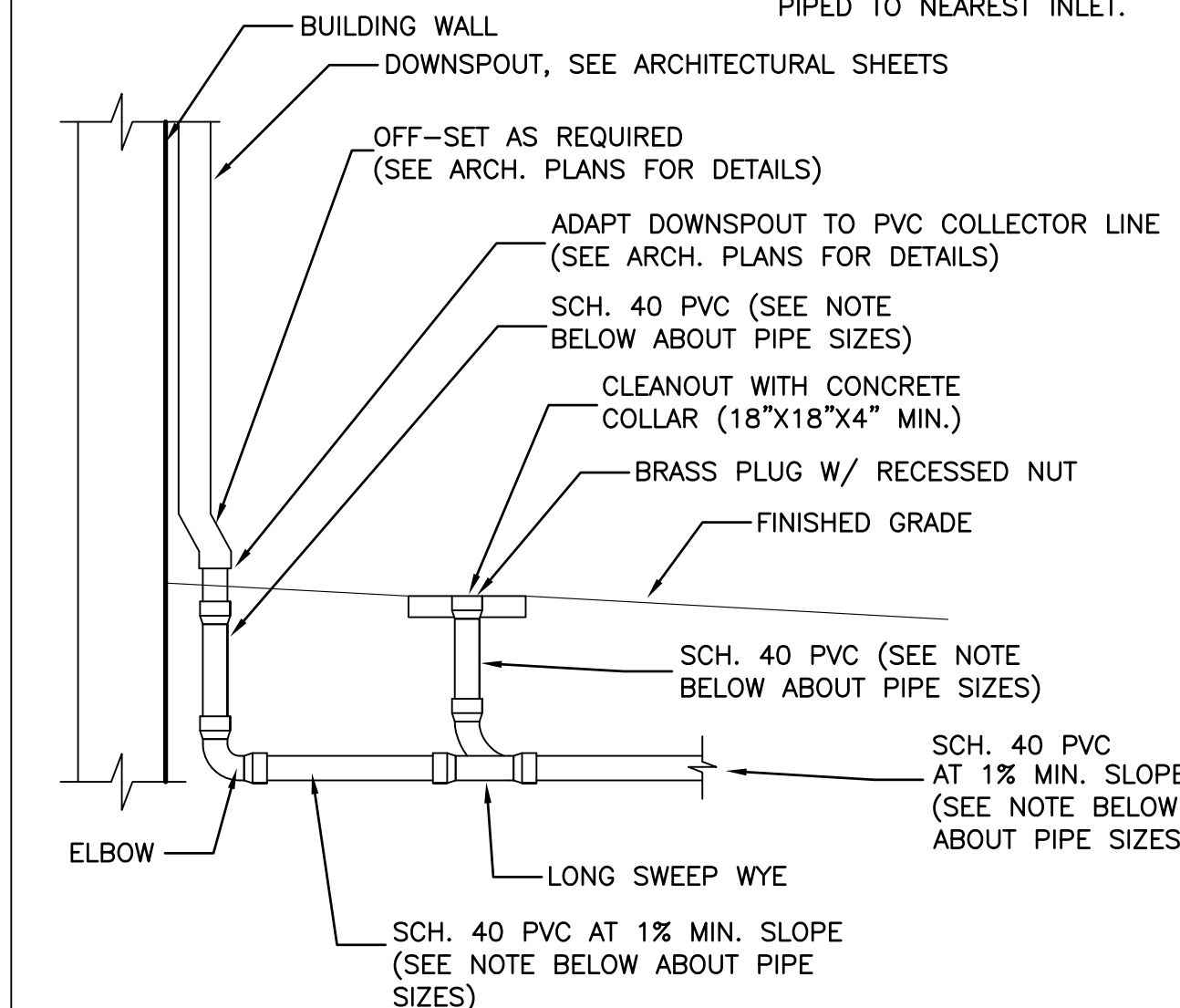
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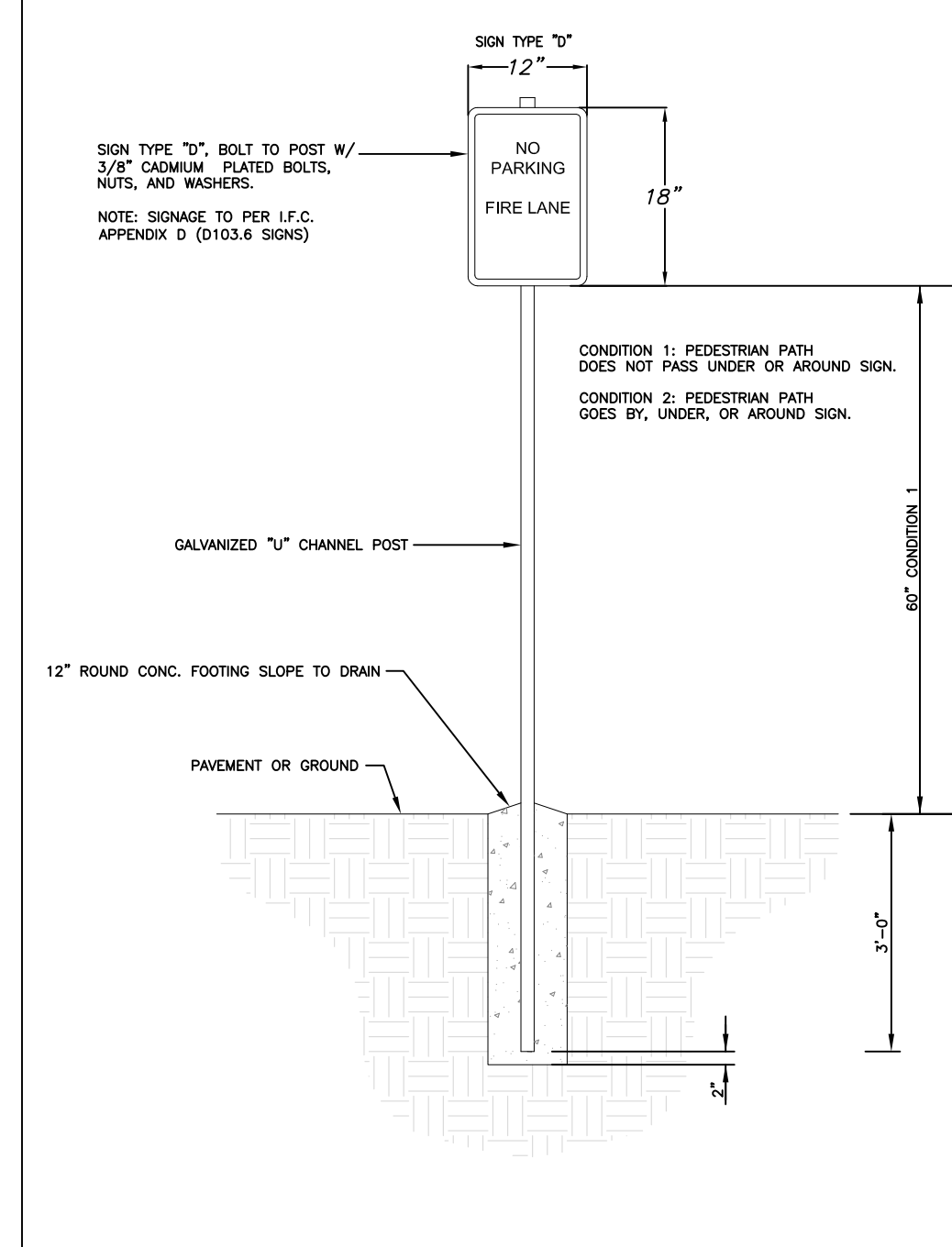
7 / SD-8.2
SERVICE INSTALLATION DETAIL
NTS

- NOTE:
- ALL ROOF LEADER CONNECTIONS SHALL BE MADE WITH 6" SCH. 40 PVC PIPE.
- CONNECTING HEADER PIPE SIZES AND MATERIALS AS NOTED ON SD-3.0 GRADING AND DRAINAGE PLAN.



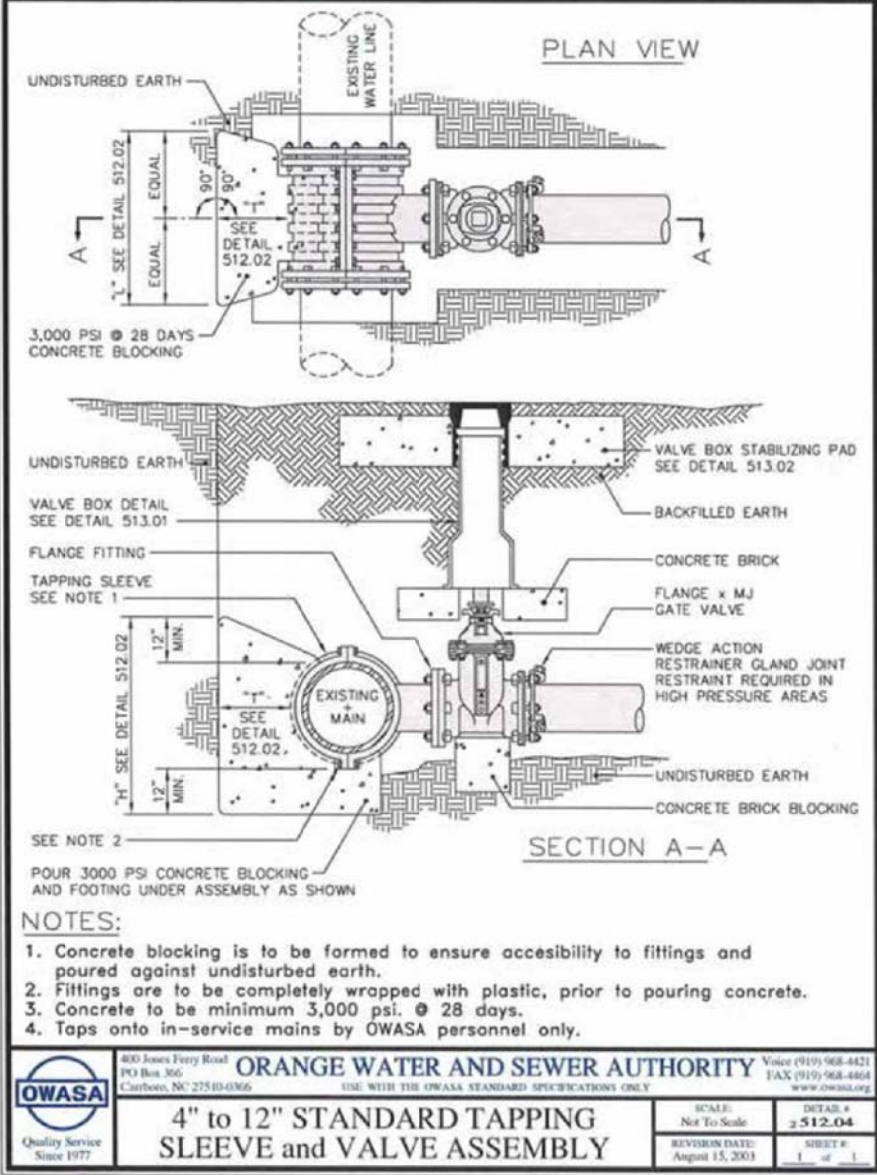
- NOTES:
1. A CLEAN OUT IS REQUIRED AT ALL DOWNSPOUT CONNECTIONS AND JUNCTIONS IN LINES.
 2. ALL JOINTS SHALL BE SOLVENT WELDED
 3. ALL ROOF LEADERS AND DOWNSPOUTS ARE TO BE PIPED TO NEAREST INLET.

8 / SD-8.2
ROOF LEADER CONNECTION W/ CLEANOUT
NTS



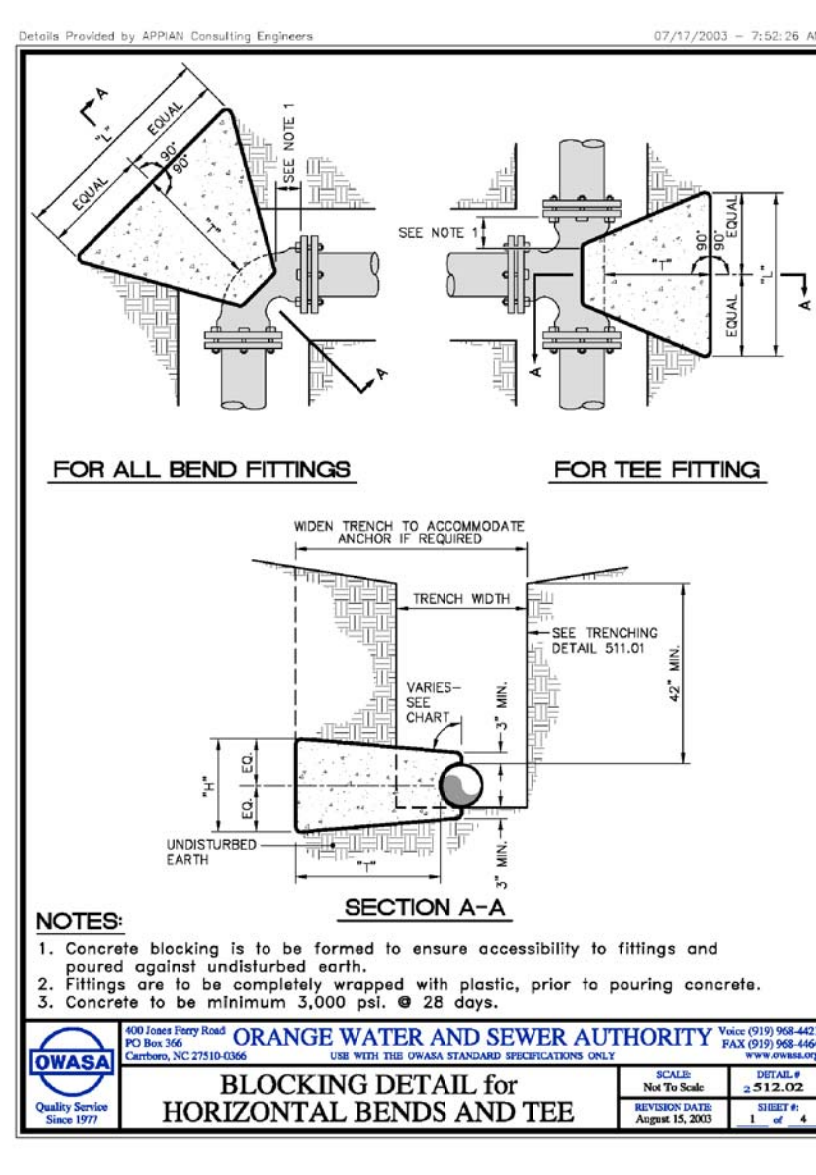
9 / SD-8.2
FIRE LANE SIGN
NTS

Return to Table of Details



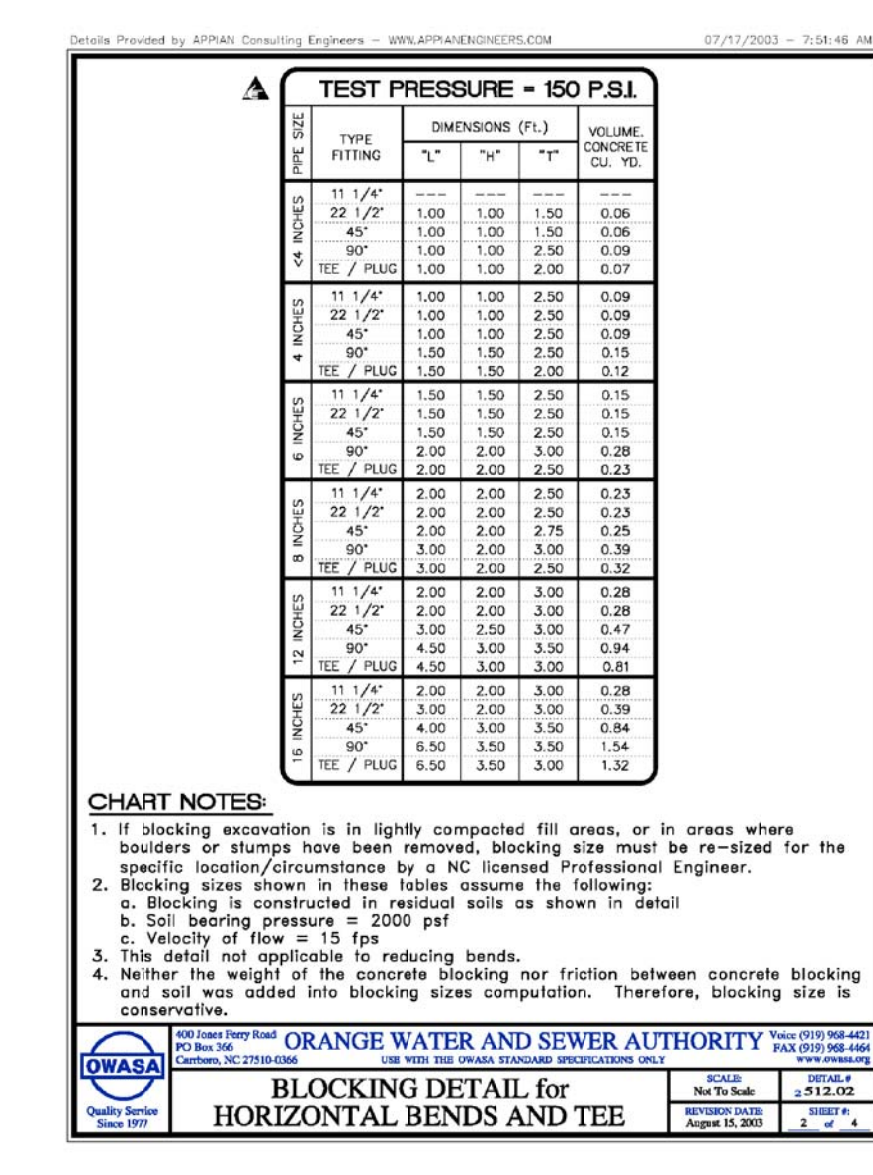
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10 / SD-8.2
STANDARD TAPPING SLEEVE AND VALVE ASSEMBLY
NTS



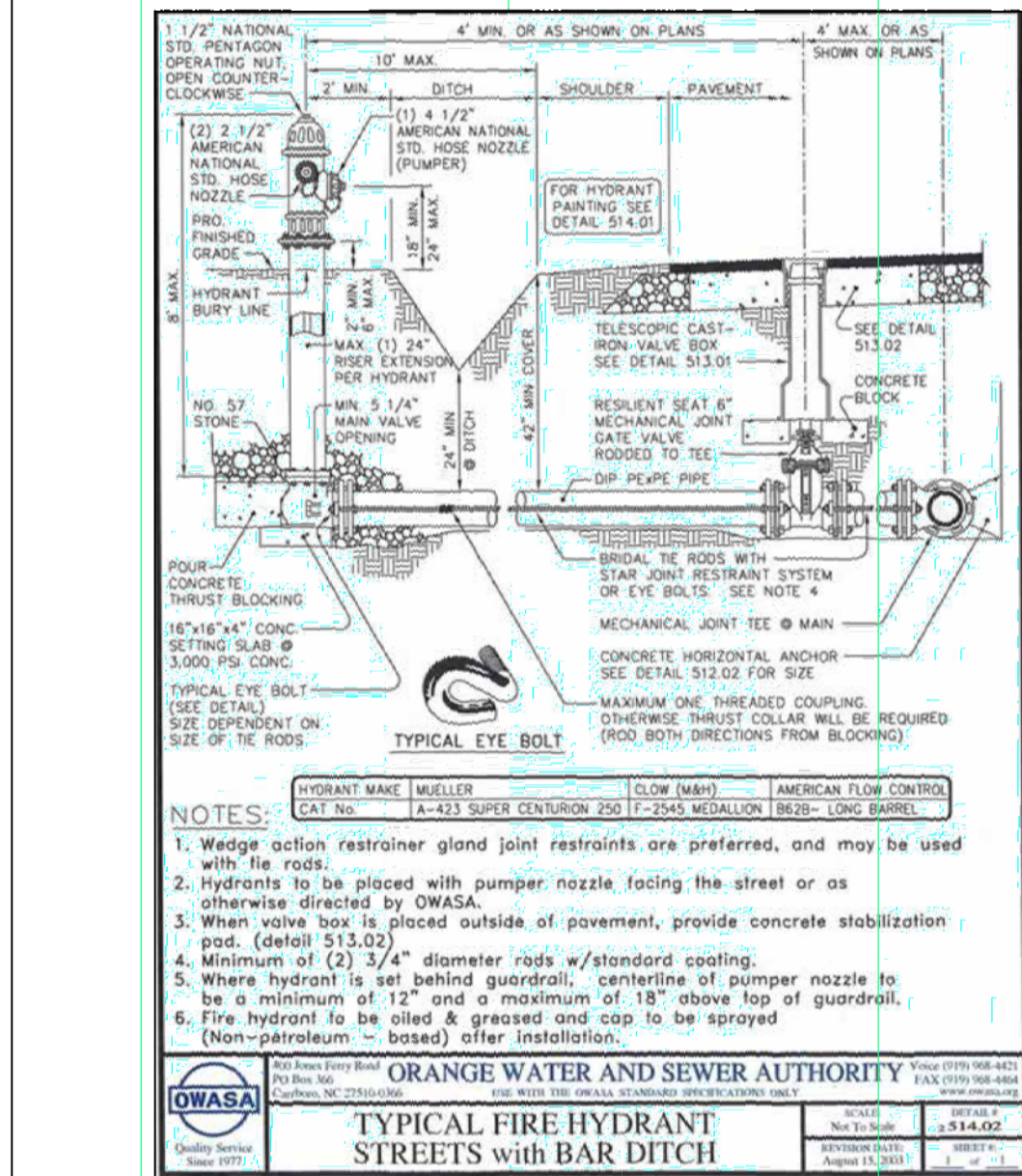
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11 / SD-8.2
BLOCKING DETAIL
NTS



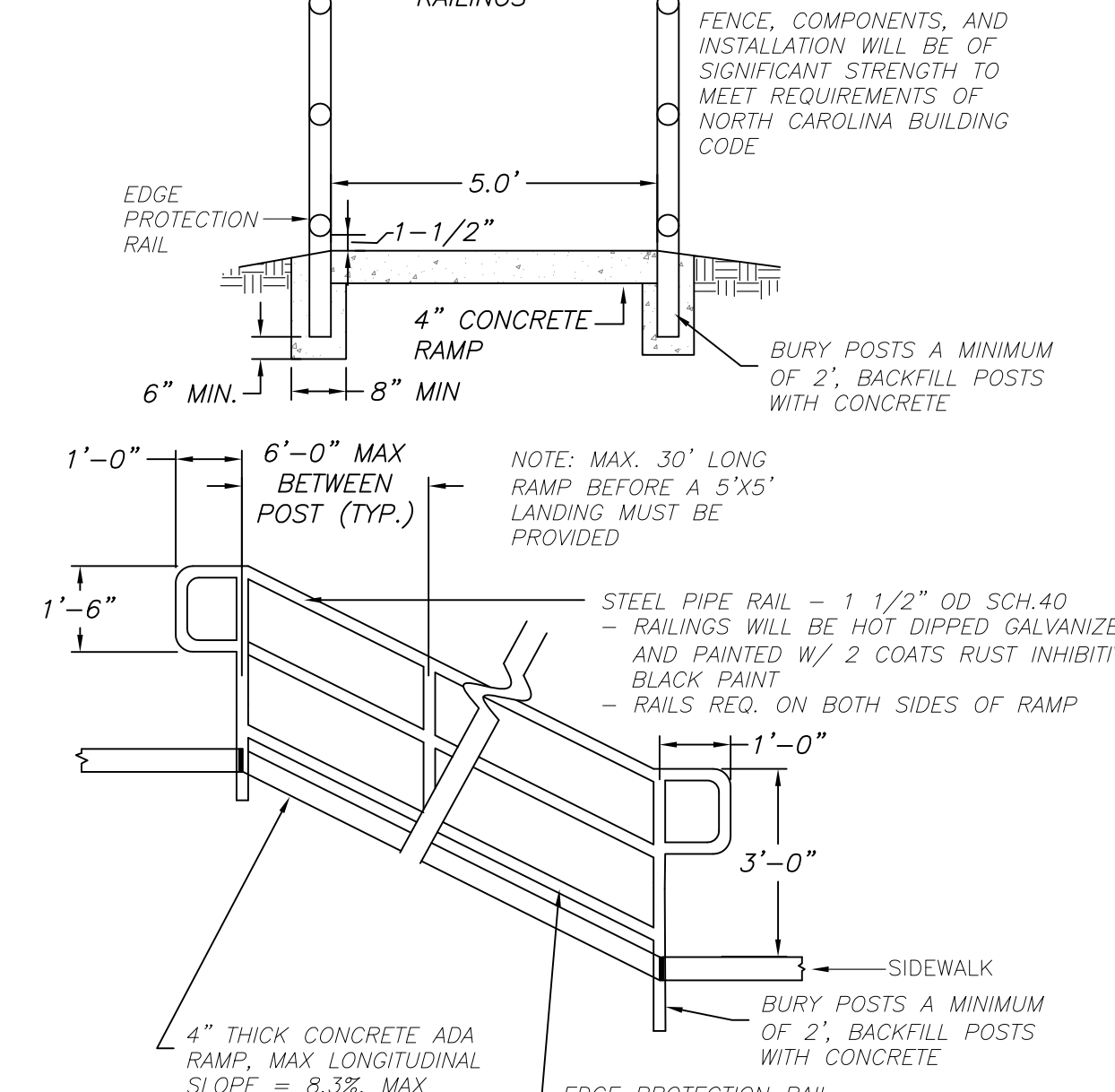
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12 / SD-8.2
BLOCKING DETAIL
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13 / SD-8.2
HYDRANT DETAIL
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14 / SD-8.2
ADA RAMP W/ HANDRAIL
NTS



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Project
**PUREFOY
ROAD
APARTMENTS**
111 PUREFOY ROAD
CHAPEL HILL, NC, 27514
ORANGE COUNTY NC

PN: 9788419609
PID: 8801003

Job Number 1642

Drawn MTC, ED
Checked PBR, APJ
Date 4/18/2019
Revisions

FINAL PLANS
NOT ISSUED
FOR CONSTRUCTION

Sheet Title

**UTILITY
DETAILS**

Sheet Number

SD-8.2