

# 1507 & 1509 East Franklin Street

## SUP MODIFICATION

September 27, 2018  
rev: December 31, 2020  
2nd rev: November 24, 2021



### Project Data

1507 & 1509 E Franklin Street Shopping Center  
1509 E. Franklin Street, Chapel Hill, NC 27514

### Applicant:

The Design Response  
PO Box 2857  
Raleigh, NC 27602  
984-272-4725  
jsmyre@thedesignresponse.com

### Site Data

Pin Number: 9789-93-9745

Street Address: 1507 & 1509 E. Franklin Street

### Owner / Developer:

1507 E Franklin St LLC c/o Turner  
109 Butterfield Court  
Chapel Hill, NC 27516

Net Acreage: 1.53 AC, 67,160 SF  
Gross Land Area: 1.69 AC, 73,825 SF

Zoning: CC - Community Commercial

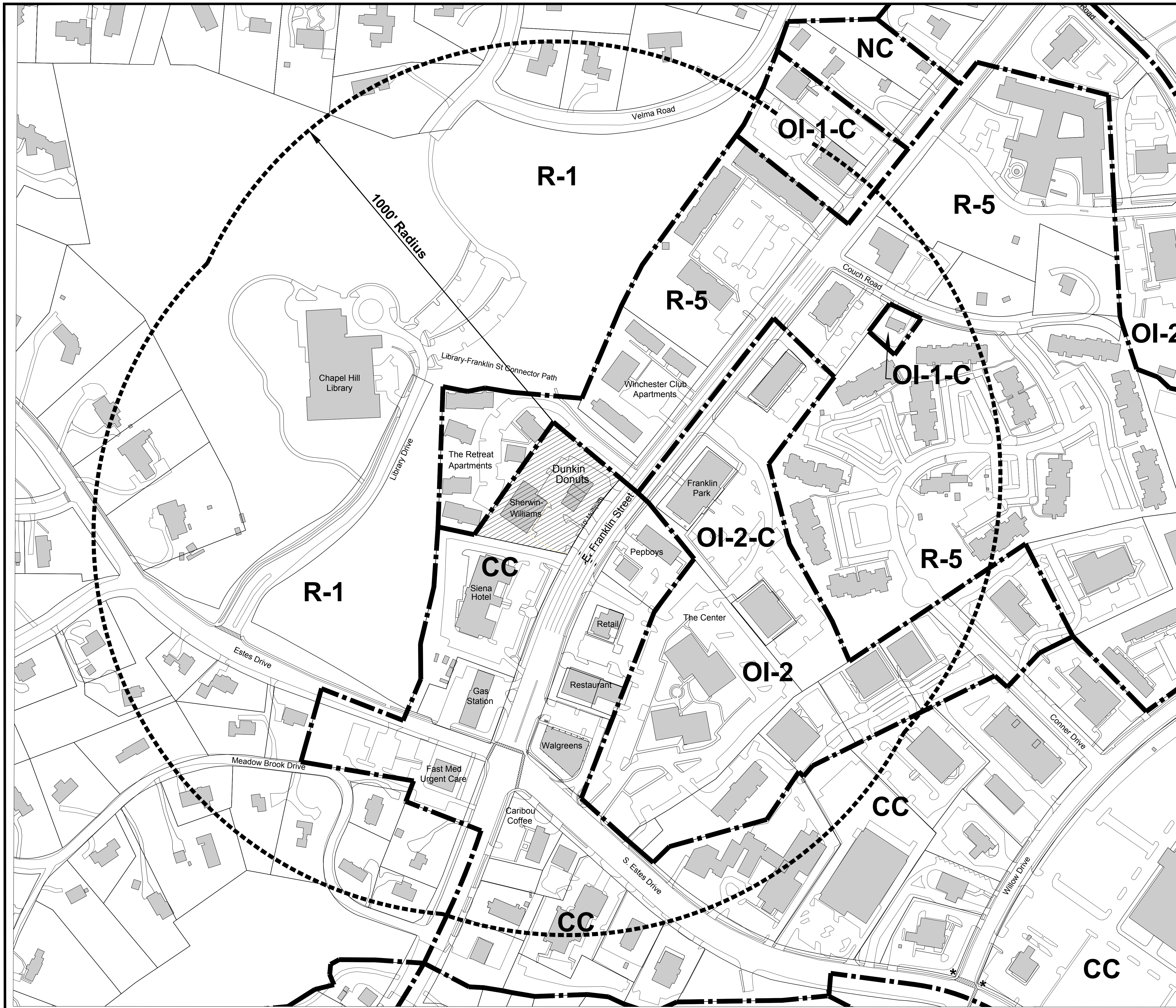
SUP: PD-SC Planned Development-Shopping Center

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L - 2	Parking Lot Shade Requirement
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**Project Data**

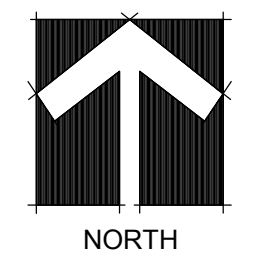
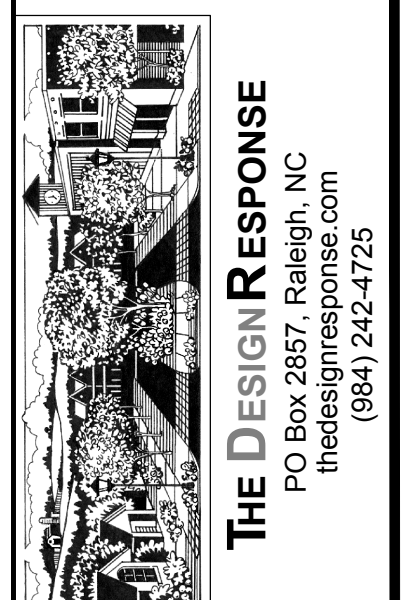
Dunkin Donuts Drive Thru  
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 PO Box 2857  
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**Legend**

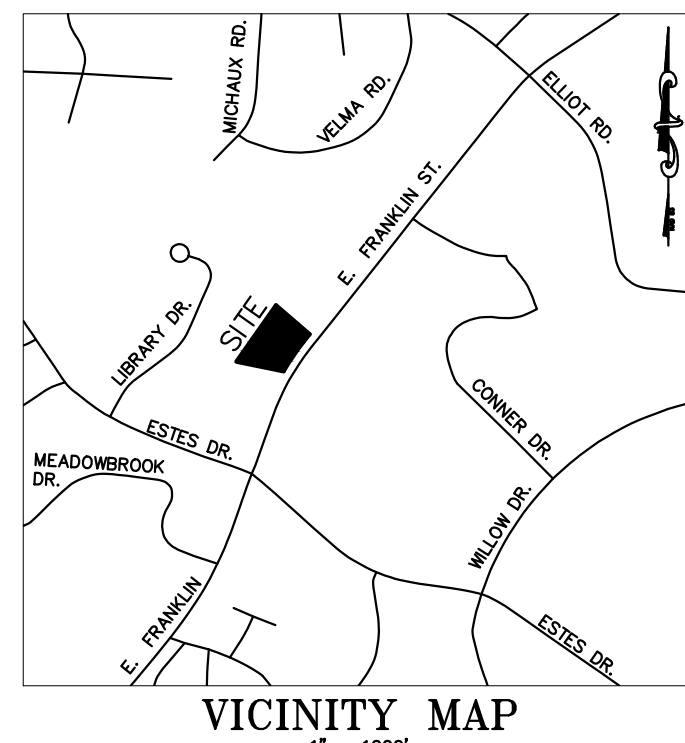
- ZONING BOUNDARY
- ZONING CLASSIFICATION
- SUBJECT PROPERTY
- 1000' RADIUS



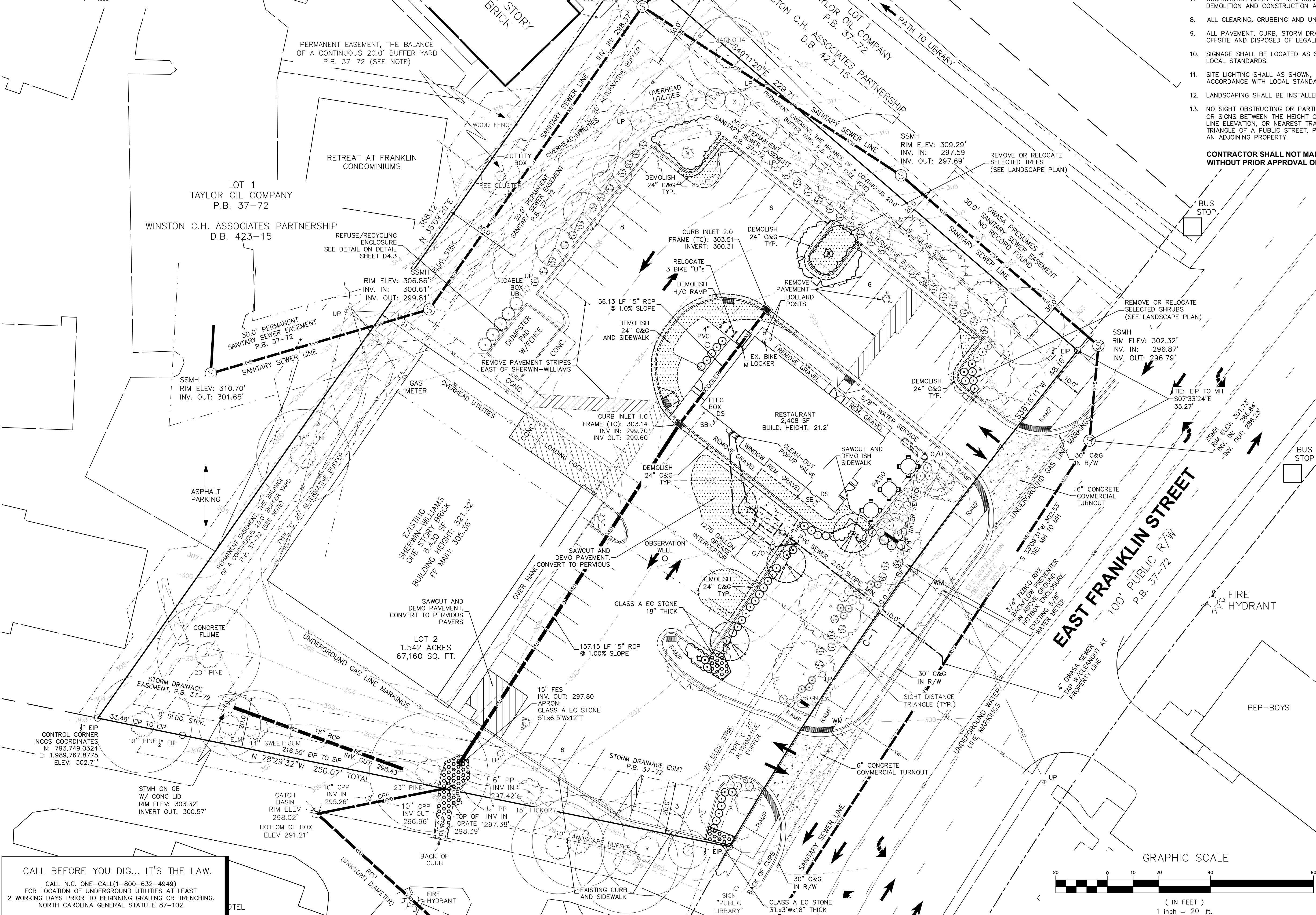
**Taylor Family Property - Restaurant**  
 Chapel Hill, North Carolina  
**Area Map**

DATE:	REVISION:
9-27-2018	
1"-120"	
EJK, JLS	
075-001	





VICINITY MAP  
1" = 1000'



GENERAL NOTES

- EXISTING BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM SURVEY AND AS-BUILT DATA SUPPLIED BY FREEHOLD LAND SURVEYS AND SUPPLEMENTED WITH APPROVED DESIGN DRAWINGS.
- WORK WITHIN PUBLIC RIGHT-OF-WAYS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REQUIREMENTS, NOTIFICATIONS, STANDARDS AND POLICIES.
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PROJECT DATA

DUNKIN DONUTS DRIVE THRU  
1509 E. FRANKLIN STREET,  
CHAPEL HILL, NC 27514

APPLICANT:  
THE DESIGN RESPONSE, INC.  
P.O. BOX 2857  
RALEIGH, NC 27602  
919-469-2080  
JSMYRE@THEDESIGNRESPONSE.COM

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OWNER / DEVELOPER:  
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GROSS LAND AREA: 1.69 AC, 73,825 SF  
ZONING: CC - COMMUNITY COMMERCIAL  
SUD: PD-SC PLANNED DEVELOPMENT-SHOPPING CENTER

PARKING DATA

VEHICLE: 37 SPACES (9 COMPACT)  
BICYCLE: 8 UNSECURED, 3 SECURE  
DRIVE THRU WAIT SPACE: 10 CARS (10'X20' WAIT SPACE)

ALL UTILITIES REMAIN IN PLACE

IMPERVIOUS AREA

EXISTING IMPERVIOUS SURFACE (TAKEN FROM 2017 AS-BUILTS):

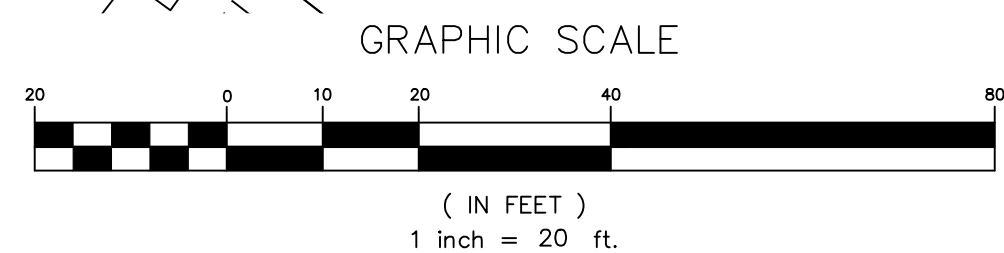
- BUILDING (1507 E. FRANKLIN, INCLUDING OVERHANG): 9,006 SF
- CONCRETE APRON (AT 1507): 4,060 SF
- CONCRETE PAD (AT 1507, IN FRONT OF CONC. APRON): 24 SF
- CONCRETE PAD (AT SIDE OF 1507 BUILDING): 109 SF
- DUMPSTER PAD: 380 SF
- CONCRETE AT FRONT AND SIDE OF DUMPSTER PAD: 300 SF
- BUILDING (1509 E. FRANKLIN, INCLUDING PORCH): 2,258 SF
- WALK-IN COOLER: 170 SF
- CONCRETE AROUND GREASE TRAPS & CLEAN-OUTS: 361 SF
- SIDEWALK AROUND 1509 BUILDING: 2,058 SF
- GRAVEL AROUND 1509 BUILDING: 1,048 SF
- SIDEWALK IN FRONT OF 1507: 542 SF
- ASPHALT PAVED DRIVEWAYS & PARKING (INC. CURBS): 39,126 SF
- TOTAL EXISTING IMPERVIOUS AREA: 59,126 SF

PROPOSED IMPERVIOUS SURFACE:

- DEMOLISH 1,192 SF OF EXISTING IMPERVIOUS SURFACE
- INSTALL 1,053 SF OF NEW IMPERVIOUS SURFACE
- NET CHANGE OF -139 SF
- TOTAL PROPOSED IMPERVIOUS SURFACE = 38,987 SF

DEMOLITION NOTES:

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE DEMOLISHED PRIOR TO CONSTRUCTION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.
- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
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- REMOVE UNDERLYING BASE MATERIALS AS NEEDED:
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  - PLANT 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED DISTURBED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.
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FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST  
2 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.  
NORTH CAROLINA GENERAL STATUTE 87-102

EarthCentric Engineering, Inc.  
Licence # C-2638



204 W. Clay Street  
Mebane, NC 27302  
Phone: (919) 563-9041  
Fax: (919) 304-9234  
E-Mail: Phil.Koehn@EarthCentric.com



1509 EAST FRANKLIN  
- RESTAURANT  
CHAPEL HILL, NORTH CAROLINA  
EXISTING CONDITIONS  
& DEMOLITION PLAN

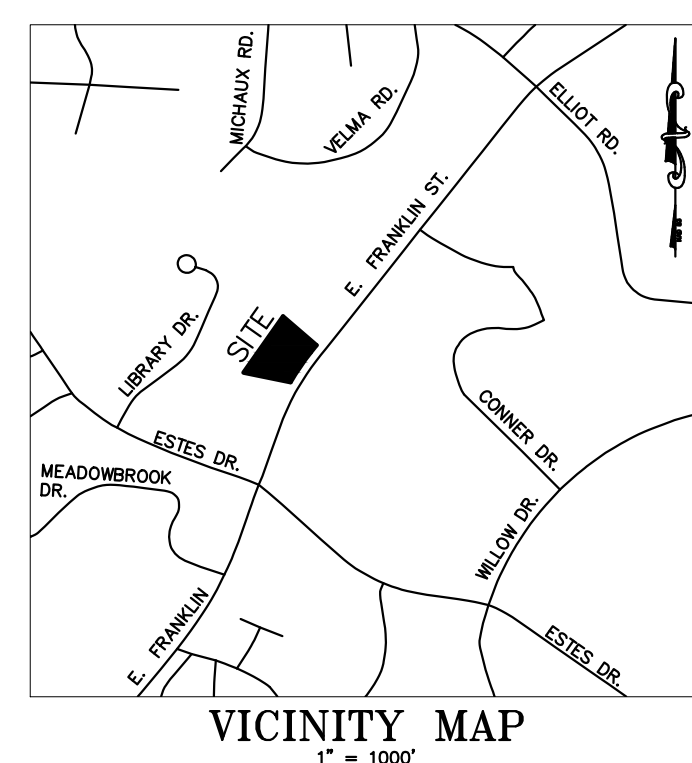
REV.	DATE	DESCRIPTION	BY
1	12/23/2020	PER TOCH COMMENTS	SCS
2	11/23/2021	PER TOCH COMMENTS	SCS

DATE: SEPTEMBER 26, 2018  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: N/A  
PROJECT MANAGER: CPK  
DRAWN BY: SCS  
PROJECT NO: 17-055  
DRAWING NAME: 17-055 WORKING

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SHEET NO.  
C2.0  
SITE PLAN





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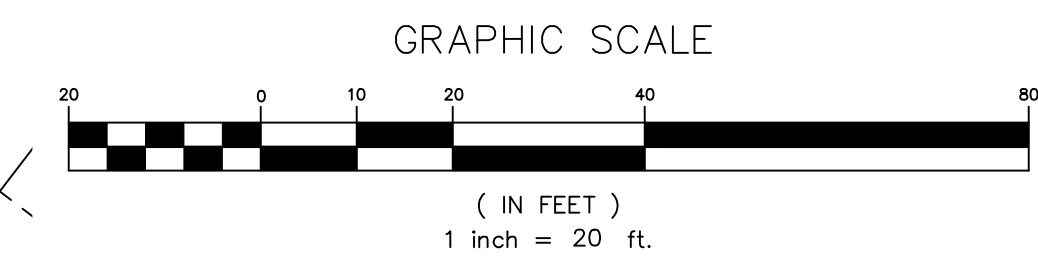
IMPERVIOUS AREA

Table with 2 columns: Description and Area (SF). Rows include existing impervious surface (9,006 SF), concrete apron (460 SF), concrete pad (24 SF), dumpster pad (380 SF), concrete at front and side of dumpster pad (300 SF), building (2,258 SF), walk-in cooler (170 SF), concrete around grease traps & clean-outs (361 SF), sidewalk around building (2,058 SF), gravel around building (1,048 SF), sidewalk in front of building (342 SF), asphalt paved driveway & parking (22,610 SF), total existing impervious area (39,126 SF).

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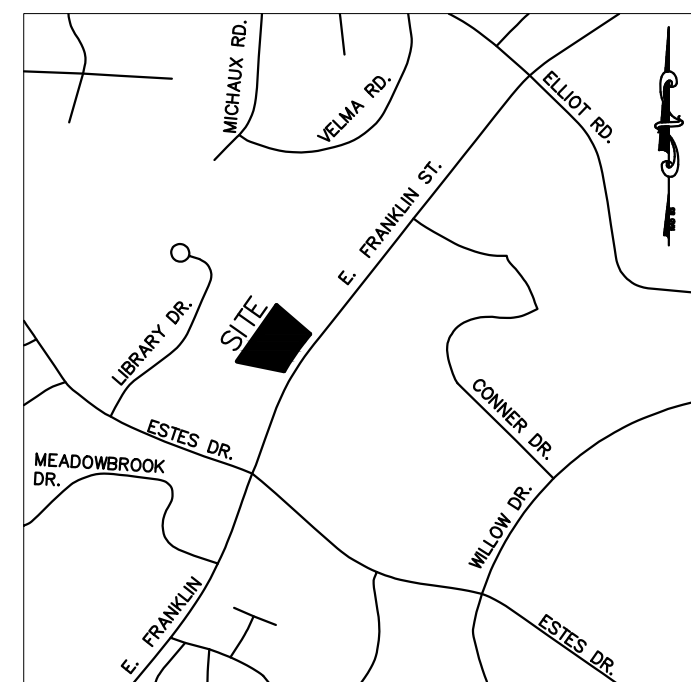
1509 EAST FRANKLIN RESTAURANT - SITE PLAN
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Table with 4 columns: REV., DATE, DESCRIPTION, COMMENTS. Rows show revision 1 on 12/23/2020 and revision 2 on 11/23/2021.

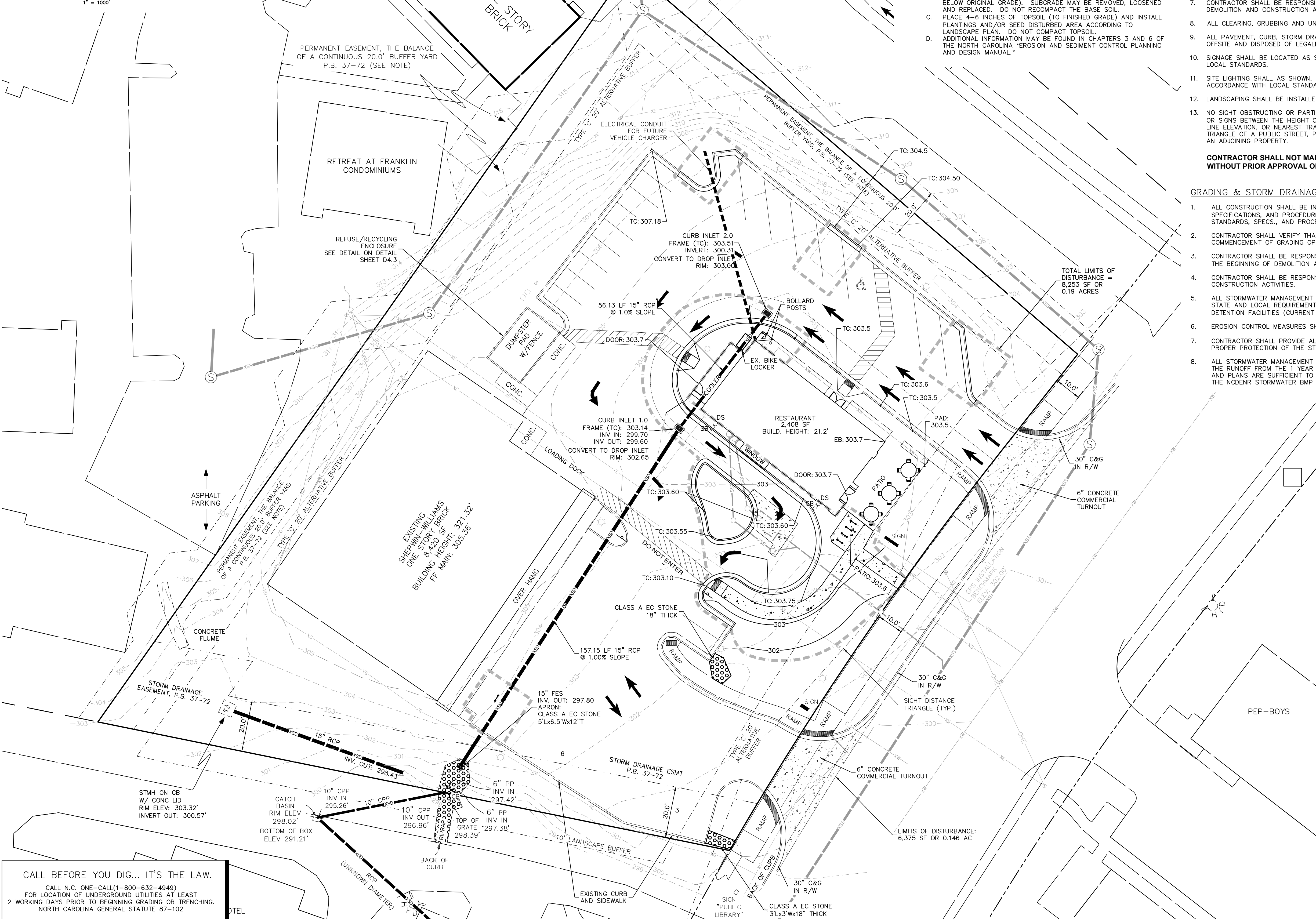
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SHEET NO. C3.0
SITE PLAN





VICINITY MAP  
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**GRADING & STORM DRAINAGE NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL CONSTRUCTION STANDARDS, SPECIFICATIONS, AND PROCEDURES AND THE NCDENR'S SEDIMENTATION AND EROSION CONTROL STANDARDS, SPECS., AND PROCEDURES.
- CONTRACTOR SHALL VERIFY THAT ALL APPLICABLE STATE AND LOCAL PERMITS REQUIRED FOR THE COMMENCEMENT OF GRADING OPERATIONS HAVE BEEN OBTAINED PRIOR TO START OF GRADING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF DEMOLITION AND/OR CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES TO REMAIN DURING ALL CONSTRUCTION ACTIVITIES.
- ALL STORMWATER MANAGEMENT FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO MEET ALL STATE AND LOCAL REQUIREMENTS, INCLUDING THE STATE STANDARDS FOR WATER QUALITY AND DETENTION FACILITIES (CURRENT EDITION).
- EROSION CONTROL MEASURES SHALL BE PROVIDED AS NEEDED TO PROTECT ADJACENT PROPERTIES.
- CONTRACTOR SHALL PROVIDE ALL STAKING, FLAGGING AND/OR FENCING NECESSARY TO PROVIDE PROPER PROTECTION OF THE STREAM BUFFER.
- ALL STORMWATER MANAGEMENT FACILITIES AND PRACTICES ARE DESIGNED TO CONTROL AND TREAT THE RUNOFF FROM THE 1 YEAR - 1 HOUR STORM OVER THE TOTAL DRAINAGE AREA, AND THE DESIGN AND PLANS ARE SUFFICIENT TO COMPLY WITH THE APPLICABLE STANDARDS AND POLICIES FOUND IN THE NCDENR STORMWATER BMP DESIGN MANUAL, AND THE LOCAL STORMWATER ORDINANCE.

**PROJECT DATA**

DUNKIN DONUTS DRIVE THRU  
1509 E. FRANKLIN STREET,  
CHAPEL HILL, NC 27514

APPLICANT:  
THE DESIGN RESPONSE, INC.  
P.O. BOX 2857  
RALEIGH, NC 27602  
919-469-2080  
JSMYRE@THEDESIGNRESPONSE.COM

**SITE DATA**

PIN NUMBER: 9789-93-9745  
STREET ADDRESS: 1507 & 1509 E. FRANKLIN STREET

OWNER / DEVELOPER:  
1507 E FRANKLIN ST, LLC  
C/O TURNER  
109 BUTTERFIELD COURT  
CHAPEL HILL, NC 27516

NET ACREAGE: 1.53 AC, 67,160 SF  
GROSS LAND AREA: 1.69 AC, 73,825 SF  
ZONING: CC - COMMUNITY COMMERCIAL  
SUP: PD-SC PLANNED DEVELOPMENT-SHOPPING CENTER

**PARKING DATA**

VEHICLE: 37 SPACES (9 COMPACT)  
BICYCLE: 8 UNSECURED, 3 SECURE  
DRIVE THRU WAIT STACK: 10 CARS (10'x20' WAIT SPACE)

**ALL UTILITIES REMAIN IN PLACE**

**IMPERVIOUS AREA**

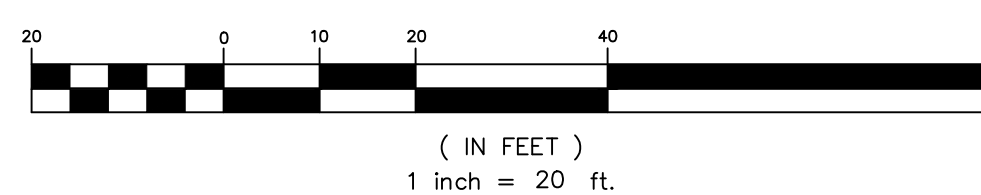
EXISTING IMPERVIOUS SURFACE (TAKEN FROM 2017 AS-BUILTS):

- BUILDING (1507 E. FRANKLIN, INCLUDING OVERHANG): 9,006 SF
- CONCRETE APRON (AT 1507): 460 SF
- CONCRETE PAD (AT 1507, IN FRONT OF CONC. APRON): 24 SF
- CONCRETE PAD (AT SIDE OF 1507 BUILDING): 109 SF
- DUMPSTER PAD: 380 SF
- CONCRETE AT FRONT AND SIDE OF DUMPSTER PAD: 300 SF
- BUILDING (1509 E. FRANKLIN, INCLUDING PORCH): 2,258 SF
- WALK-IN COOLER: 170 SF
- CONCRETE AROUND GREASE TRAPS & CLEAN-OUTS: 361 SF
- SIDEWALK AROUND 1509 BUILDING: 2,058 SF
- GRAVEL AROUND 1509 BUILDING: 1,048 SF
- SIDEWALK IN FRONT OF 1507: 342 SF
- ASPHALT PAVED DRIVEWAYS & PARKING (INC. CURBS): 22,610 SF
- TOTAL EXISTING IMPERVIOUS AREA: 39,126 SF

PROPOSED IMPERVIOUS SURFACE:

- DEMOLISH 1,192 SF OF EXISTING IMPERVIOUS
- INSTALL 1,053 SF OF NEW IMPERVIOUS SURFACE
- NET CHANGE OF -139 SF
- TOTAL PROPOSED IMPERVIOUS SURFACE = 38,987 SF

**GRAPHIC SCALE**



**CALL BEFORE YOU DIG... IT'S THE LAW.**  
CALL N.C. ONE-CALL(1-800-632-4949)  
FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST  
2 WORKING DAYS PRIOR TO BEGINNING GRADING OR TRENCHING.  
NORTH CAROLINA GENERAL STATUTE 87-102

**EarthCentric Engineering, Inc.**  
Licence # C-2638

204 W. Clay Street  
Mebane, NC 27302  
Phone: (919) 563-9041  
Fax: (919) 304-9324  
E-Mail: Phil.Koeh@EarthCentric.com



**1509 EAST FRANKLIN  
- RESTAURANT  
CHAPEL HILL, NORTH CAROLINA  
GRADING, STORM DRAINAGE, UTILITY  
AND EROSION CONTROL, PLAN**

REV.	DATE	DESCRIPTION	BY	SCS
1	12/23/2020	PER TOCH COMMENTS	SCS	
2	11/23/2021	PER TOCH COMMENTS	SCS	

DATE: SEPTEMBER 26, 2018  
HORIZONTAL SCALE: 1" = 20'  
VERTICAL SCALE: N/A  
PROJECT MANAGER: GPK  
DRAWN BY: GPK  
PROJECT NO.: 17-055  
DRAWING NO.: 17-055 WORKING  
DRAWING NAME: 17-055 WORKING

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**SHEET NO.**  
**C4.0**  
SITE PLAN



**ENGINEERING DEPARTMENT**

**STANDARD DETAILS**

**A. STANDARD AUTOMOBILES (WIDTHS VARY ON 45° PARKING, SEE SITE PLAN)**

A	B	C	D	D'	E	F	F'	G
45°	8.5'	18.0'	13.0'	20.0'	12.0'	49.0'	56.0'	2.0'
90°	8.5'	18.5'	25.0'	25.0'	8.5'	62.0'	62.0'	3.0'

**B. COMPACT AUTOMOBILES**

A	B	C	D	D'	E	F	F'	G
90°	8.0'	15.5'	20.0'	20.0'	8.0'	51.0'	51.0'	2.0'

**LEGEND:**  
 A) PARKING ANGLE  
 B) STALL WIDTH  
 C) STALL DEPTH  
 D) AISLE WIDTH BETWEEN STALL LINES (ONE-WAY TRAFFIC)  
 D') STALL WIDTH PARALLEL TO AISLE  
 E) MODULE WIDTH (ONE-WAY TRAFFIC) WITH PARKING ON BOTH SIDES.  
 F) VEHICLE OVERHANG  
 F') TWO-WAY TRAFFIC  
 G) TWO-WAY TRAFFIC

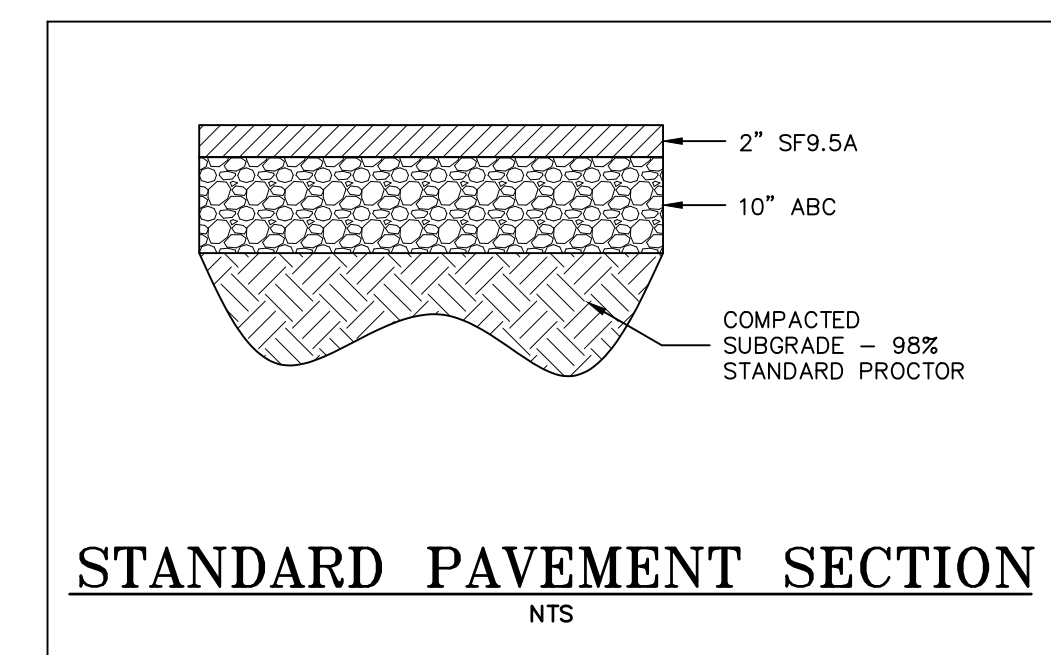
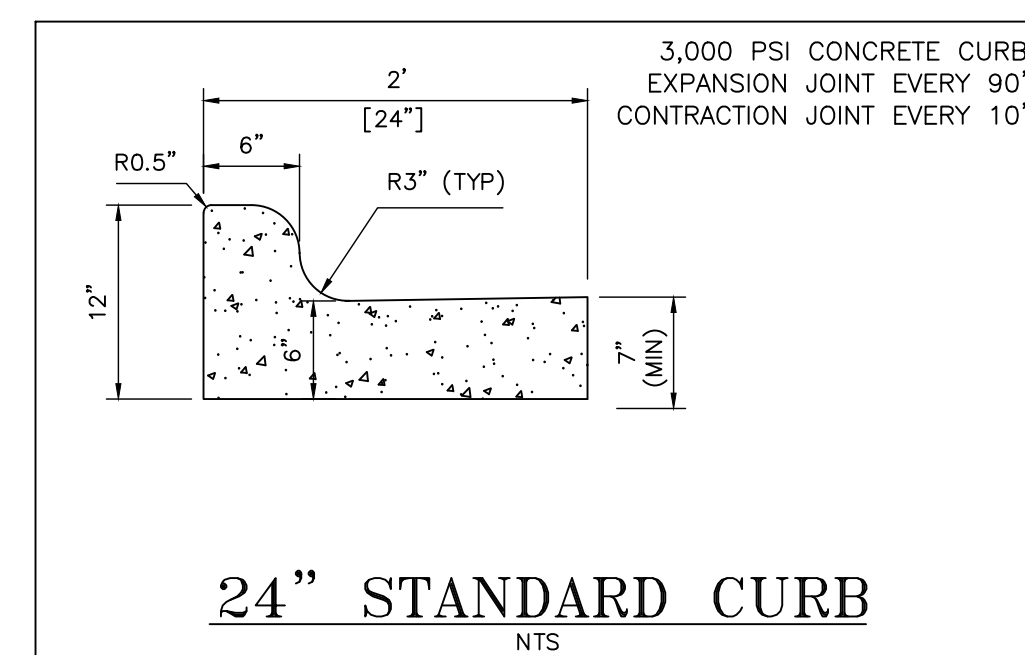
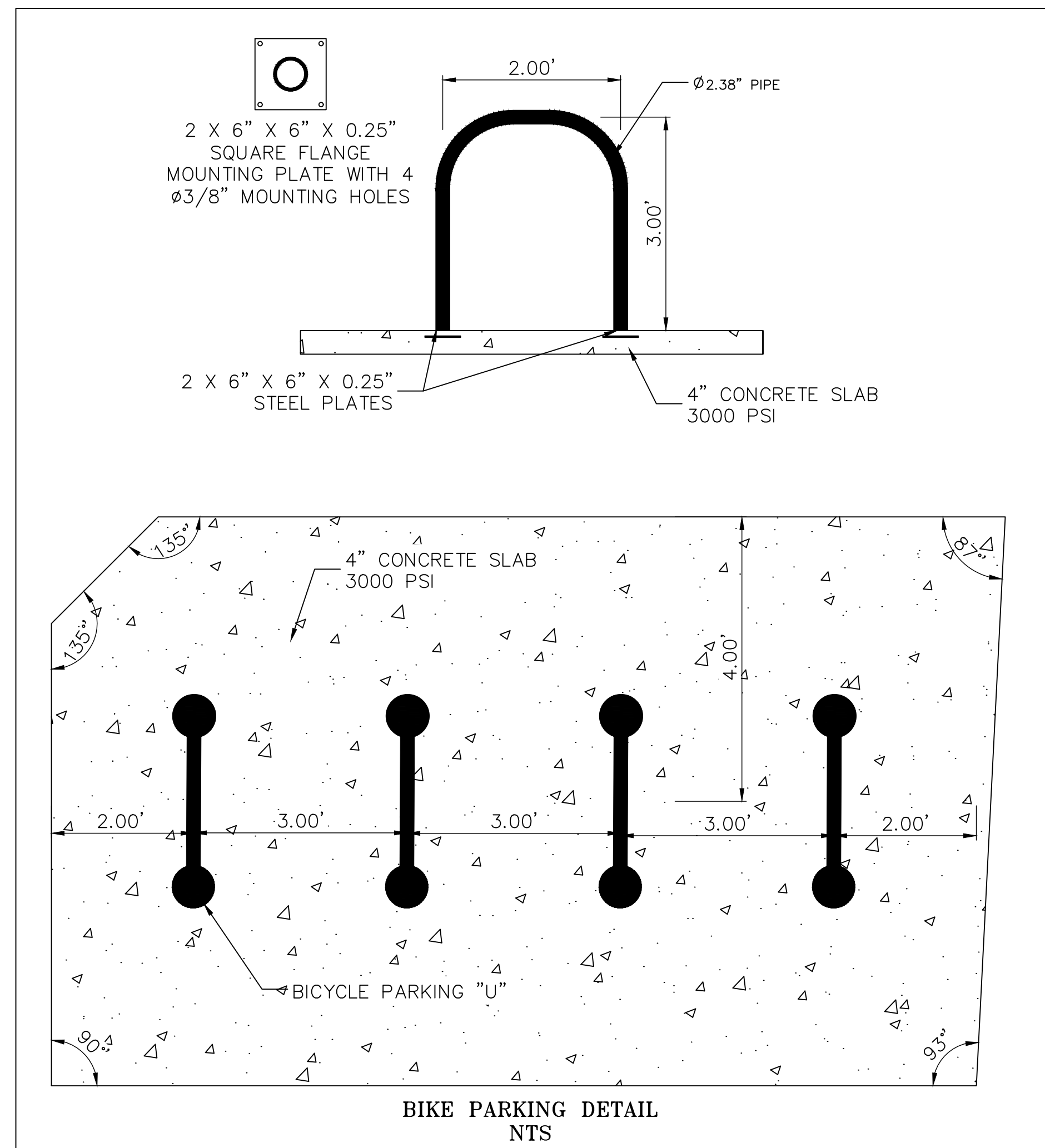
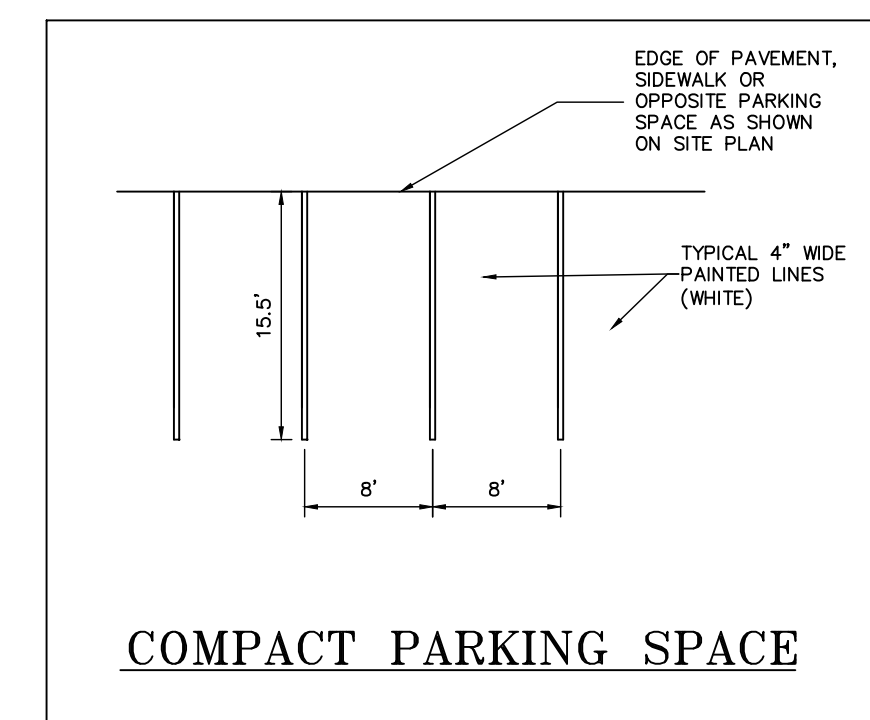
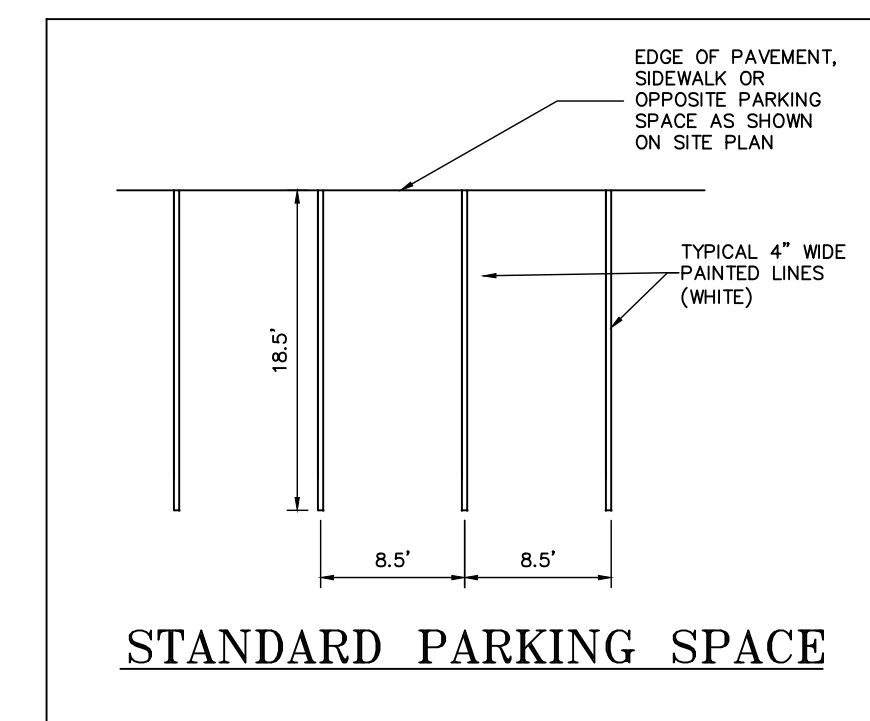
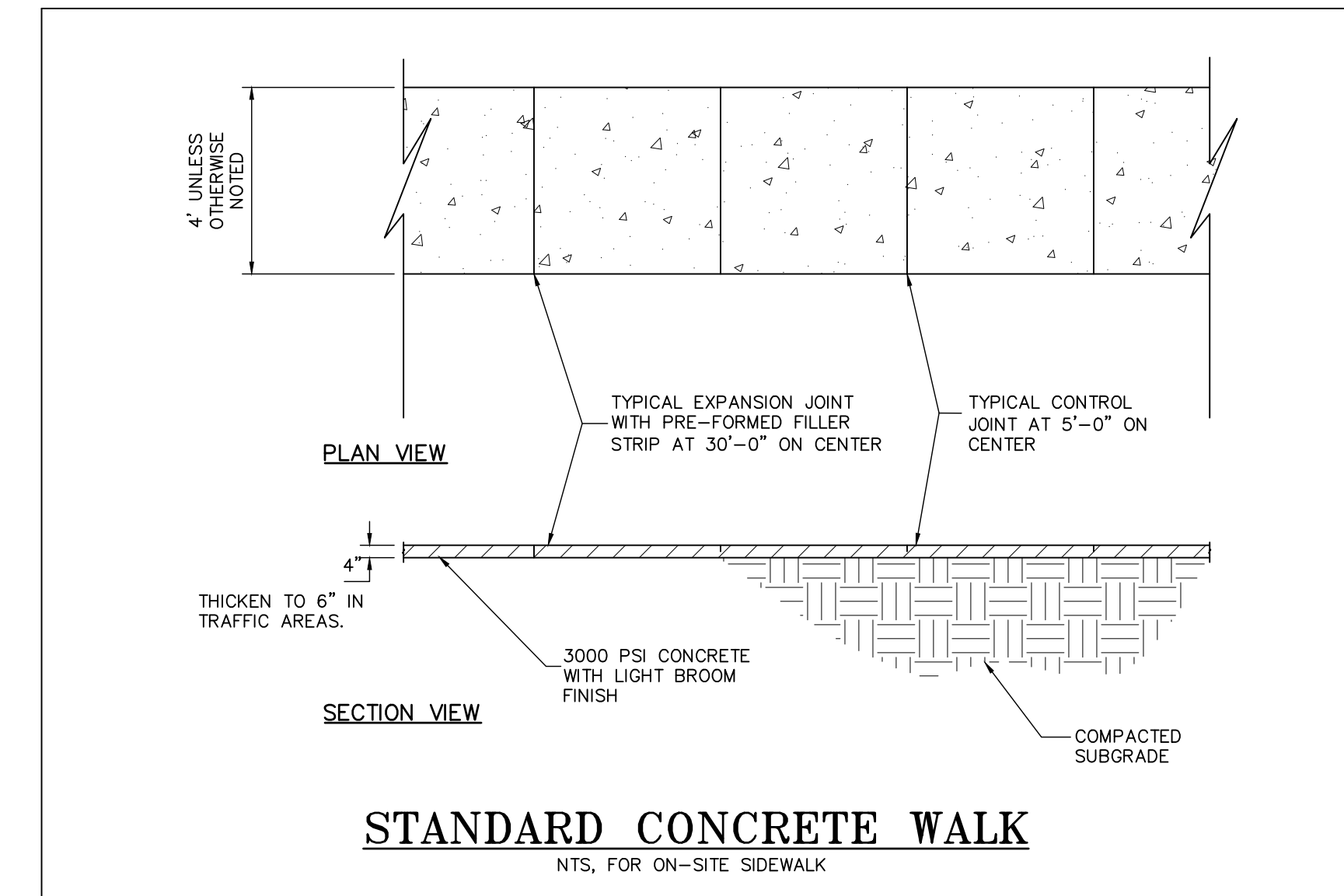
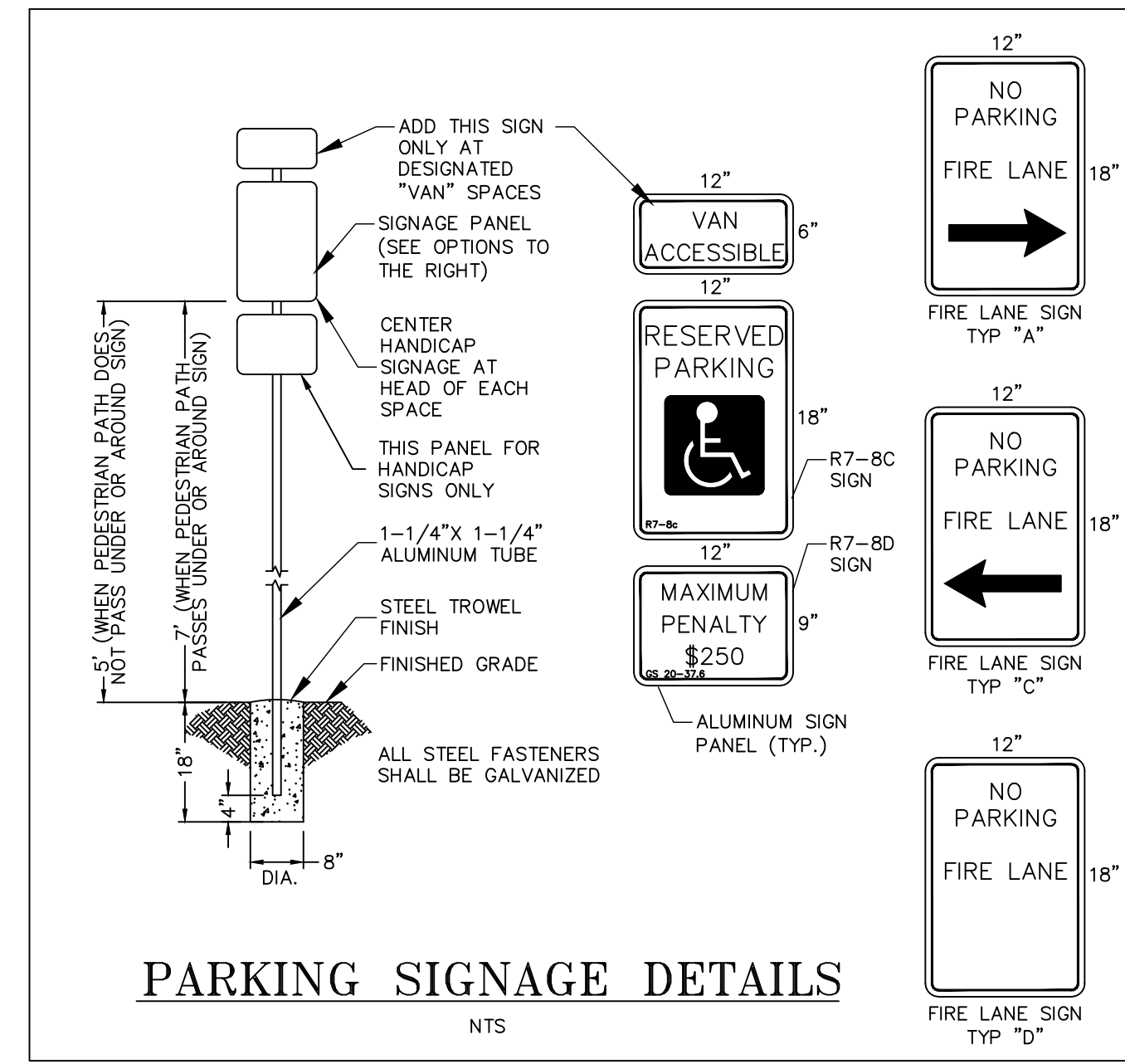
**REVISIONS:**

NO.	DATE	BY

**DET. NO. P-1**

**TITLE: LOT LAYOUT SCHEDULE**

**NOTES:**  
 \* ADDITIONAL WIDTH MAY BE REQUIRED WHERE THE AISLE SERVES AS A PRINCIPAL VEHICULAR ACCESS TO ON-SITE USES OR STRUCTURES OR SERVES TWO-WAY TRAFFIC.  
 # PARKING STALLS ABUTTING SIDEWALK AND PLANTING STRIPS SHALL PROVIDE ADDITIONAL CLEARANCE BETWEEN THE STALL AND THE SIDEWALK OR PLANTING STRIP.



**EarthCentric Engineering, Inc.**  
 LICENSE #C-2688  
 204 W. Clay Street  
 Mebane, NC 27302  
 Phone: (919) 563-9041  
 Fax: (919) 304-3284  
 E-Mail: Phil.Koch@EarthCentric.com

**PHIL KOCH - NCPPE #22634**

**1509 EAST FRANKLIN - RESTAURANT**  
 CHAPEL HILL, NORTH CAROLINA  
**SITE & PAVING DETAILS**

REV.	DATE	DESCRIPTION	BY
1	12/23/2020	PER TOCH COMMENTS	SCS
2	11/23/2021	PER TOCH COMMENTS	SCS

DATE: SEPTEMBER 26, 2018  
 HORIZONTAL SCALE: NA  
 VERTICAL SCALE: NA  
 PROJECT MANAGER: CPK  
 DRAWN BY: SCS  
 PROJECT NO.: 17-255  
 DRAWING NAME: 17-255 DETAILS

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SHEET NO.  
**D1.0**  
 SITE PLAN





**Project Data**

1509 E. Franklin Street, Chapel Hill, NC 27514  
 Applicant: The Design Response  
 PO Box 2857  
 Raleigh, NC 27602  
 (984) 272-4725  
 jsmyre@thedesignresponse.com

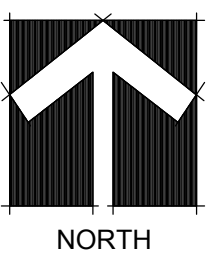
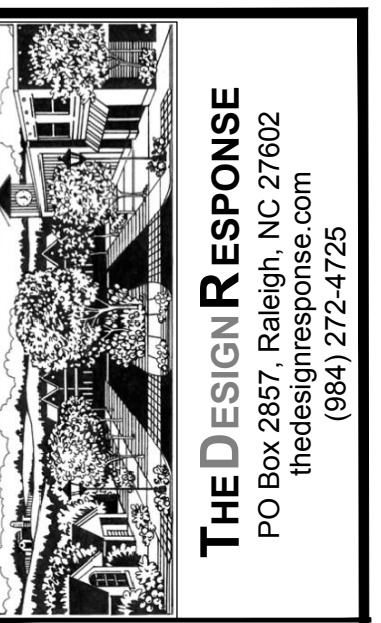
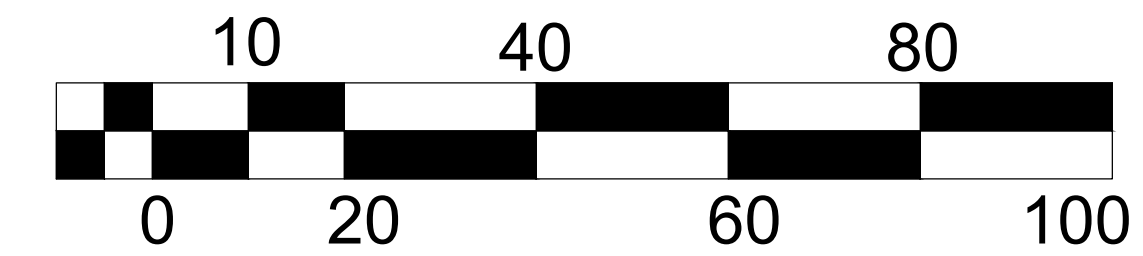
**Site Data**

Pin Number: 9789-93-9745  
 Street Address: 1507 & 1509 E. Franklin Street  
 Owner / Developer: 1507 E Franklin St LLC c/o Turner  
 109 Butterfield Court  
 Chapel Hill, NC 27516  
 Net Acreage: 1.53 AC, 67,160 SF  
 Gross Land Area: 1.69 AC, 73,825 SF  
 Zoning: CC - Community Commercial  
 SUP: PD-SC Planned Development-Shopping Center

**PLANT LIST:**

Symbol	Botanical Name	Common Name	Size/Remark	Quantity
ICC	Ilex cretana 'Compacta'	Compact Japanese Holly	36" Ht. @ 30" O.C.	27
ZS	Zelkova serrata	Japanese Zelkova	2.5" Cal., B&B	1
AG	Abelia x grandiflora 'Sherwoodii'	Abelia	15" Ht., 3 Gal.	21
GJ	Gardenia jaminoides 'Kleim's Hardy'	Gardenia	24" Ht., 5 Gal.	5
PV	Panicum virgatum 'RR1 Ruby ribbons'	Switchgrass	18" Ht., 3 Gal.	19
LM	Liriope muscarii 'Big Blue'	Liriope	12" Ht., 1 Gal. @ 15" O.C.	49
MULCH	Double-Shredded Hardwood	Hardwood Mulch	3" Deep- all beds	

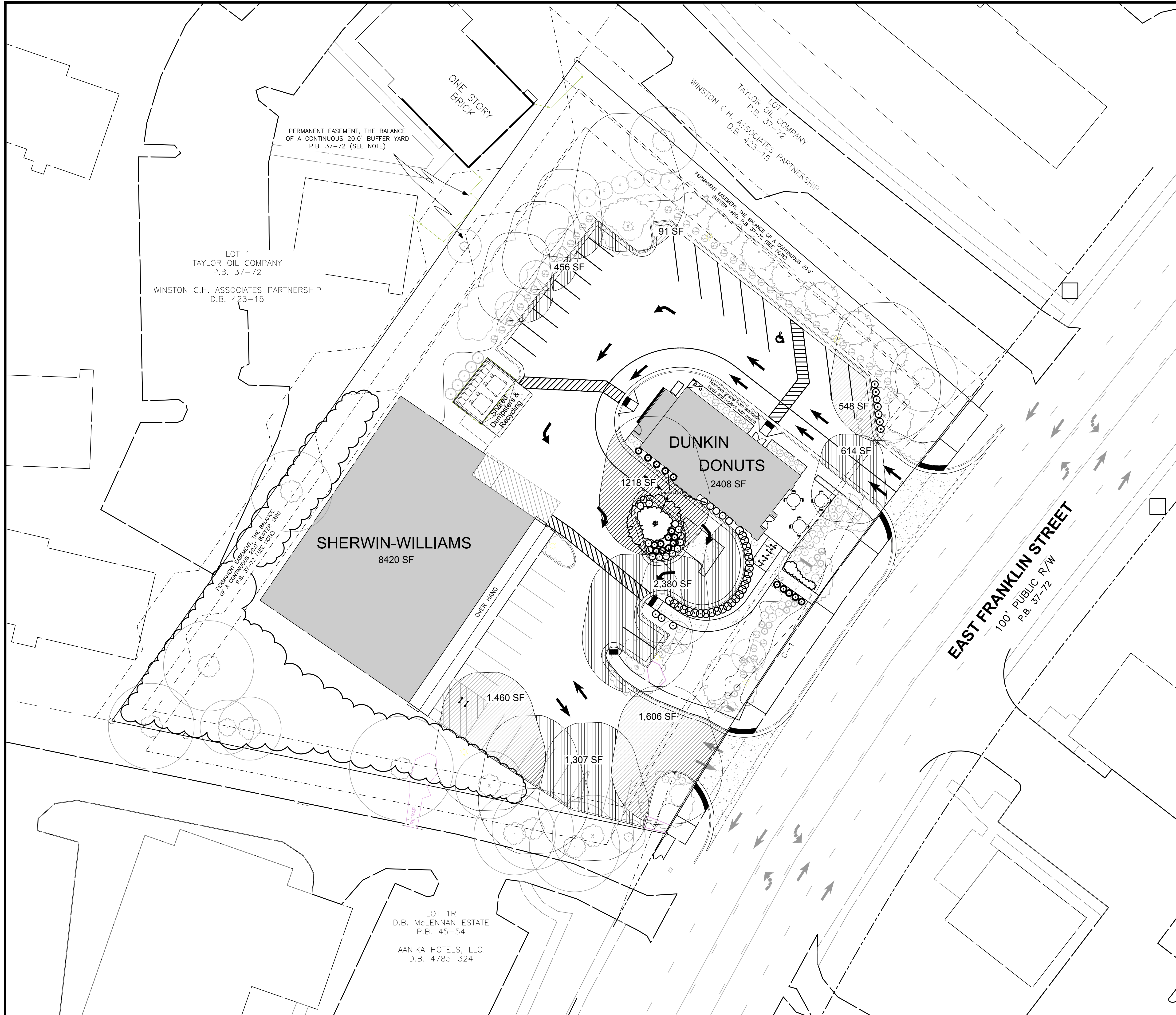
Replace existing gravel/river rock beds with hardwood mulch



**1509 East Franklin - Restaurant**  
 Chapel Hill, North Carolina  
 Landscape Planting Plan

11-2021	Revisions
12-2020	Revisions
DATE:	REVISION:
DATE:	9-27-2018
SCALE:	1"=20'
DRAWN BY:	JLS
JOB NO.:	075-002
SHEET NO.	





**Project Data**

1509 E. Franklin Street, Chapel Hill, NC 27514

Applicant:

The Design Response  
 PO Box 2857  
 Raleigh, NC 27602  
 (984) 272-4725  
 jsmyre@thedesignresponse.com

**Site Data**

Pin Number: 9789-93-9745

Street Address: 1507 & 1509 E. Franklin Street

Owner / Developer:

1507 E Franklin St LLC c/o Turner  
 109 Butterfield Court  
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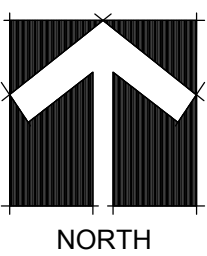
**Shading Data**

Parking Lot Area - 24,507 SF

Required Tree Shade Area - 8,577 SF (35%)

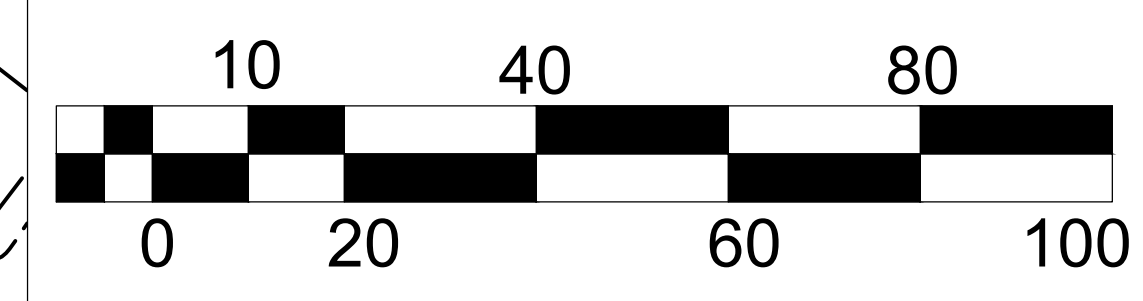
Proposed Tree Shade Area - 9,680 (39%)

-  Paved Area on Site
-  Tree Shade Area
-  Existing Tree Canopy

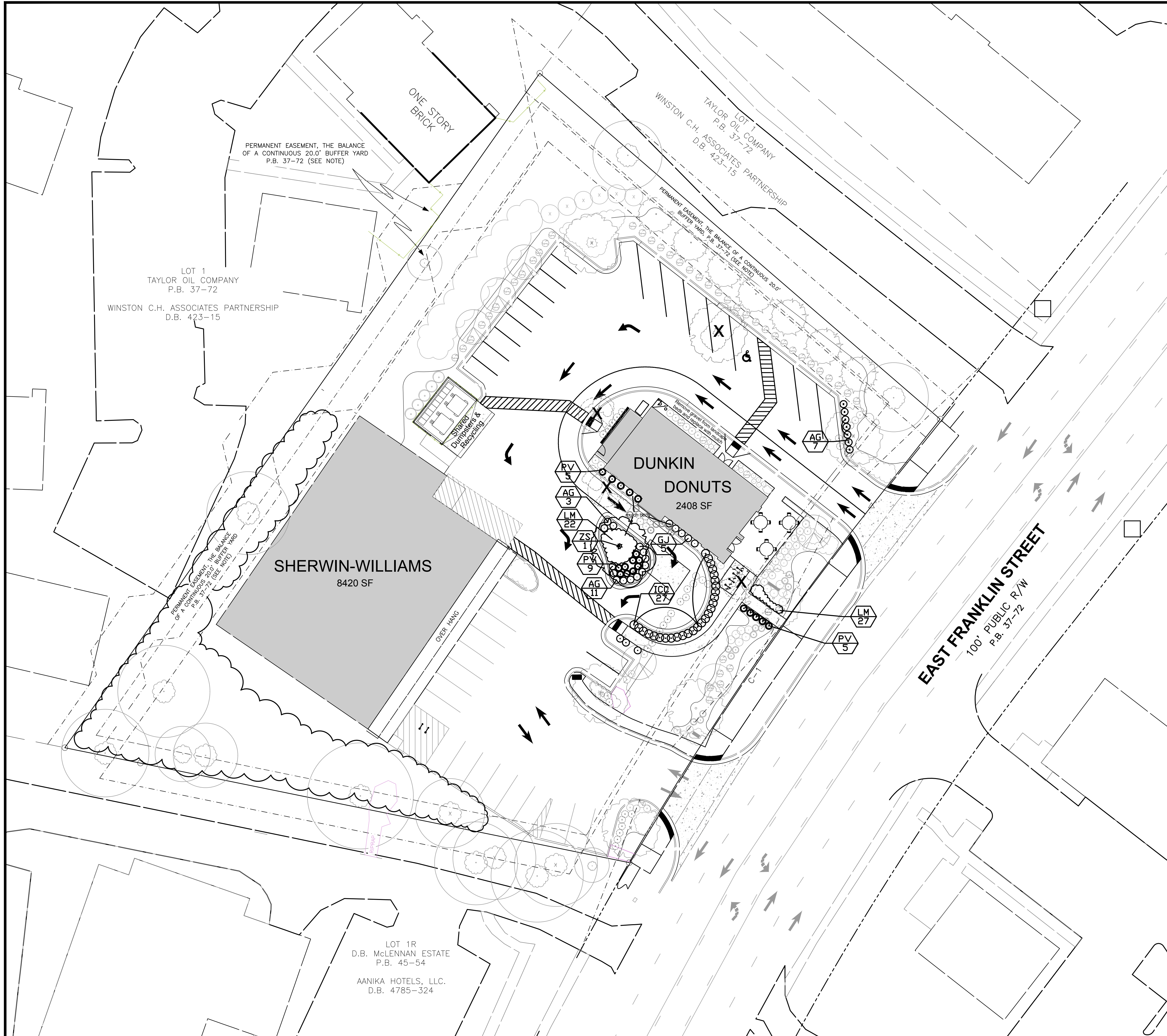


**1509 East Franklin - Restaurant**  
 Chapel Hill, North Carolina  
**Parking Lot Shade Requirement**

DATE:	REVISION:
11-2021	Revisions
12-2020	Revisions
DATE:	REVISION:
DATE:	9-27-2018
SCALE:	1"=20'
DRAWN BY:	JLS
JOB NO.:	075-002
SHEET NO.	







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 Applicant: The Design Response  
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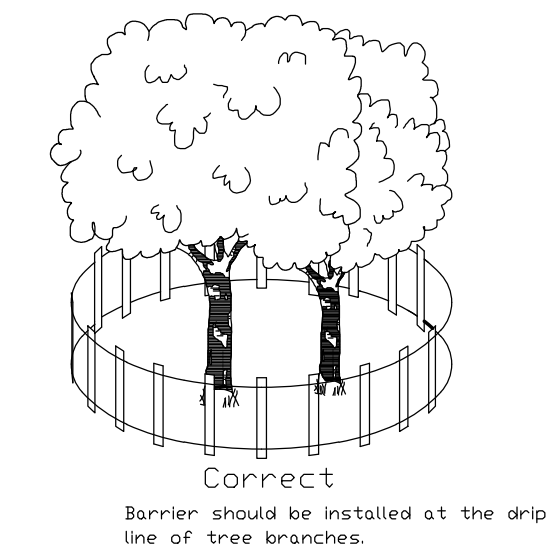
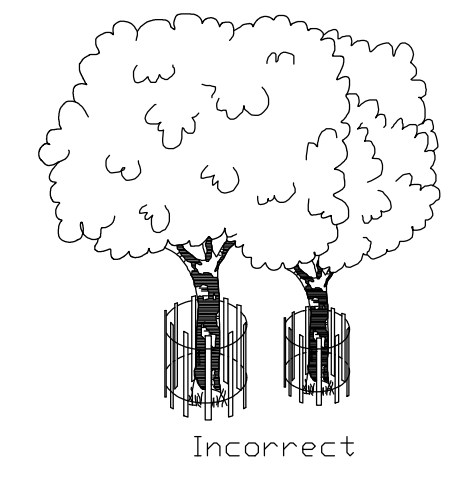
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 Gross Land Area: 1.69 AC, 73,825 SF

Zoning: CC - Community Commercial  
 SUP: PD-SC Planned Development-Shopping Center

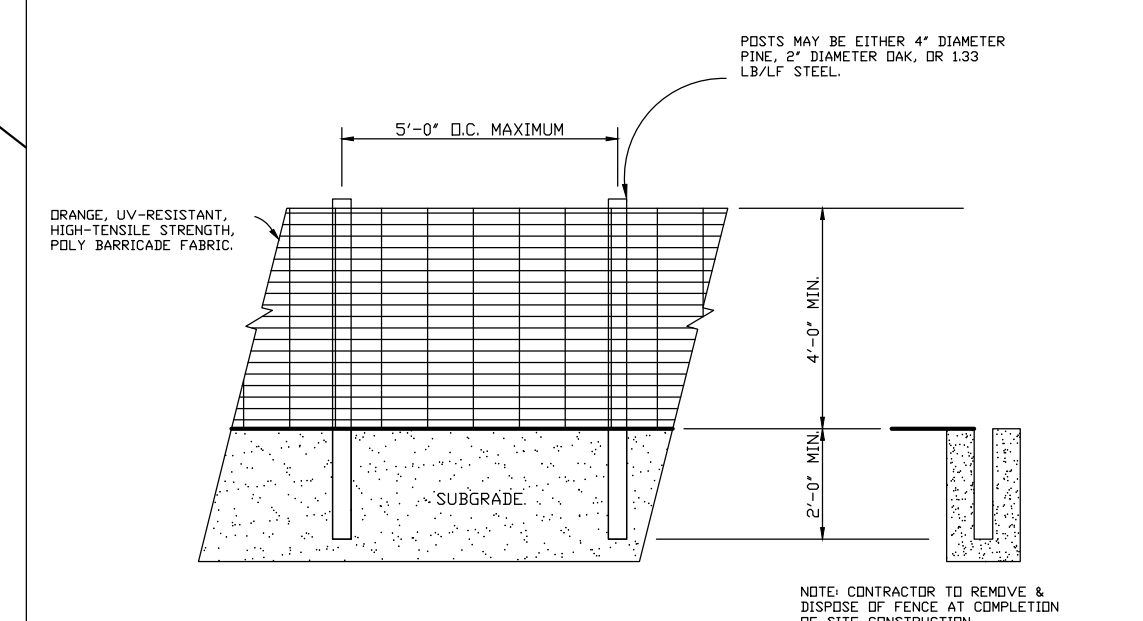
**TREE CANOPY COVERAGE:**

Net Land Area- 67,160 SF  
 Area in Easements- 22,271 SF  
 Area to calculate Tree Canopy- 44,889 SF @ 30% = 13,467 SF  
 Existing Tree Canopy- 14,520 SF  
 Proposed Trees 5,500 SF (11 trees at 500 SF each planted at 2.5" Cal.)

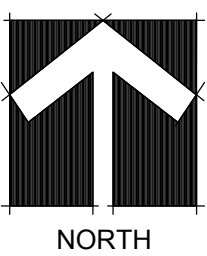
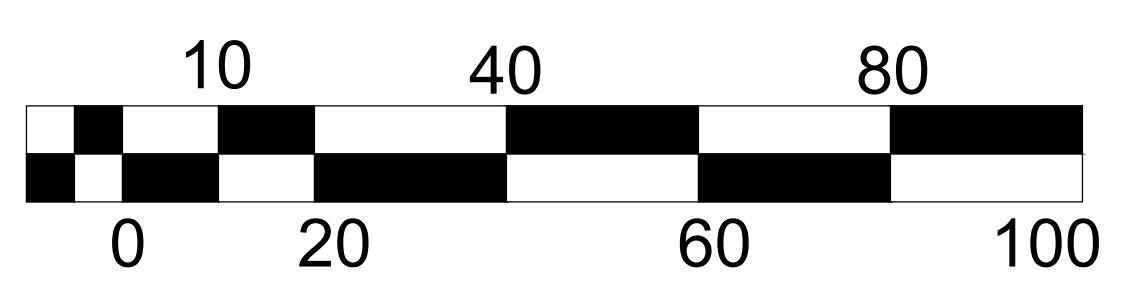
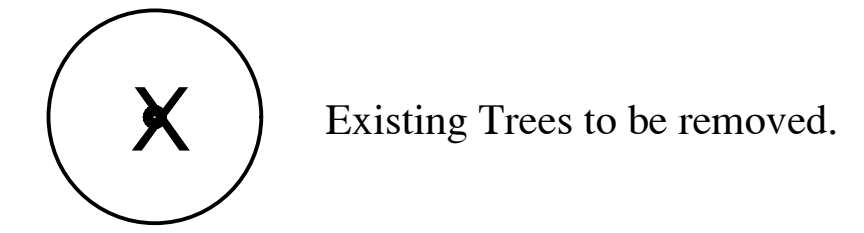
- NOTES:**  
 In spite of precautions, some damage to protected trees may occur. In such cases repair any damage to the crown, trunk or root system immediately.
- Repair roots by cutting off the damaged areas and painting them with tree paint. Spread peat moss or moist topsoil over exposed roots.
  - Repair damage to bark by trimming around the damaged areas taper the cut to provide drainage.
  - Cut off all damaged tree limbs above the tree collar at the trunk or main branch. Use three separate cuts to avoid peeling bark from healthy areas of the tree.



**EXAMPLE OF INDIVIDUAL TREE FENCING**  
 N.T.S.



**TEMPORARY TREE PROTECTION FENCE**  
 N.T.S.



**1509 East Franklin - Restaurant**  
 Chapel Hill, North Carolina  
**Landscape Removal & Protection Plan**

11-2021	Revisions
12-2020	Revisions
DATE:	REVISION:
DATE:	9-27-2018
SCALE:	1"=20'
DRAWN BY:	JLS
JOB NO.:	075-002
SHEET NO.	