

Amy Harvey

From: Jeanette Coffin
Sent: Wednesday, November 18, 2020 4:20 PM
To: Kimberly Sanchez
Cc: Judy Johnson; Colleen Willger; Allen Buansi; Amy Ryan; Hongbin Gu; Jeanne Brown; Jess Anderson; Karen Stegman; Michael Parker; Pam Hemminger; Shakera Vaughan; Tai Huynh; Amy Harvey; Ann Anderson; Carolyn Worsley; Flo Miller; Laura Selmer; Mary Jane Nirdlinger; Maurice Jones; Rae Buckley; Ran Northam; Ross Tompkins; Sabrina Oliver
Subject: RE: CHT conversations with Bridgepoint

Thank you for your correspondence with the Town of Chapel Hill. The Mayor and Town Council are interested in what you have to say. By way of this email, I am forwarding your message to the Mayor and each of the Council Members, as well as to the appropriate staff person who may be able to assist in providing additional information or otherwise addressing your concerns.

Again, thank you for your message.

Sincerely,

Jeanette Coffin



Jeanette Coffin
Office Assistant
[Town of Chapel Hill Manager's Office](#)
[405 Martin Luther King Jr. Blvd.](#)
[Chapel Hill, NC 27514](#)
(o) 919-968-2743 | (f) 919-969-2063

From: Kimberly Sanchez [mailto:ksanchez@communityhometruster.org]
Sent: Wednesday, November 18, 2020 1:04 PM
To: Town Council <mayorandcouncil@townofchapelhill.org>
Cc: erichchupp@bellsouth.net
Subject: CHT conversations with Bridgepoint

External email: Don't click links or attachments from unknown senders. To check or report forward to reportspam@townofchapelhill.org

Good afternoon Mayor Hemminger and Council Members

In advance of the council meeting tonight, November 18, 2020, Community Home Trust wanted to provide you with an update regarding our communications with the developers for Bridgepoint. We have had meetings to review the development plans and discuss the needs for affordable housing in Chapel Hill. We are pleased that the proposed Bridgepoint townhomes will be the same size as the market rate homes, including two car garages, and

that deliberate effort was made by Bridgepoint to disburse the affordable homes among the market rate homes in the neighborhood. Although the proposal does not meet the Inclusionary Housing Ordinance's 15%, which would require 6-7 units, but instead proposes 5 townhomes at 65% and 80%, these units would still be an excellent addition to CHT's inventory. These would be the largest townhomes in our inventory and we have need for units this size, for larger families.

Please do not hesitate to contact me with additional questions you may have regarding this issue.



KIMBERLY SANCHEZ, JD

Executive Director

919.967.1545 x307

ksanchez@communityhometrust.org

PO Box 2315

Chapel Hill, NC 27515

communityhometrust.org



Amy Harvey

From: Jeanette Coffin
Sent: Thursday, November 19, 2020 10:12 AM
To: lynn wells
Cc: Judy Johnson; Colleen Willger; Dwight Bassett; Allen Buansi; Amy Ryan; Hongbin Gu; Jeanne Brown; Jess Anderson; Karen Stegman; Michael Parker; Pam Hemminger; Shakera Vaughan; Tai Huynh; Amy Harvey; Ann Anderson; Carolyn Worsley; Flo Miller; Laura Selmer; Mary Jane Nirdlinger; Maurice Jones; Rae Buckley; Ran Northam; Ross Tompkins; Sabrina Oliver
Subject: RE: Bridgepoint Project input

Thank you for your correspondence with the Town of Chapel Hill. The Mayor and Town Council are interested in what you have to say. By way of this email, I am forwarding your message to the Mayor and each of the Council Members, as well as to the appropriate staff person who may be able to assist in providing additional information or otherwise addressing your concerns.

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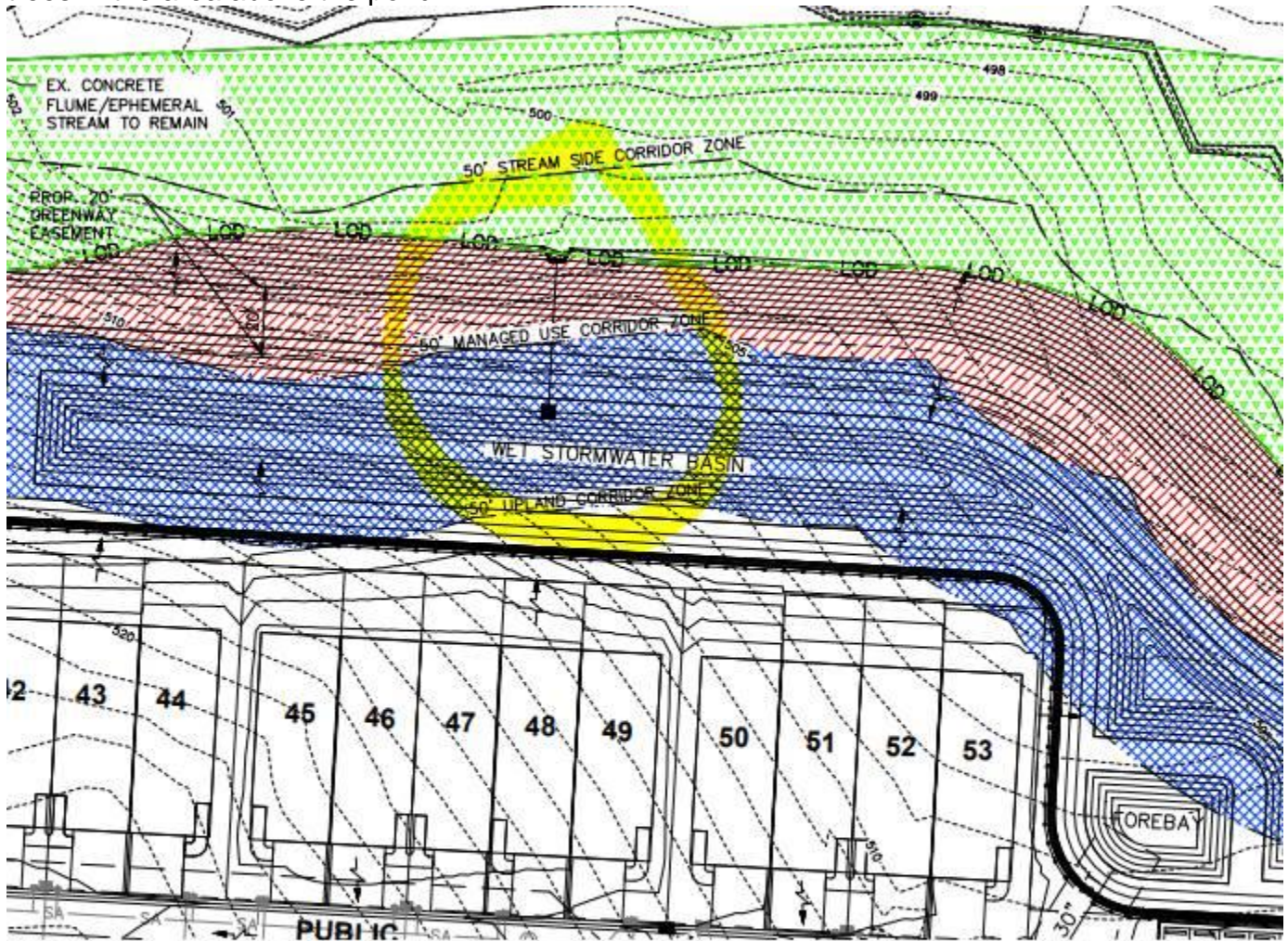
From: lynn wells [mailto:wllslynn@yahoo.com]
Sent: Thursday, November 19, 2020 9:01 AM
To: Town Council <mayorandcouncil@townofchapelhill.org>
Subject: Bridgepoint Project input

External email: Don't click links or attachments from unknown senders. To check or report forward to reportspam@townofchapelhill.org

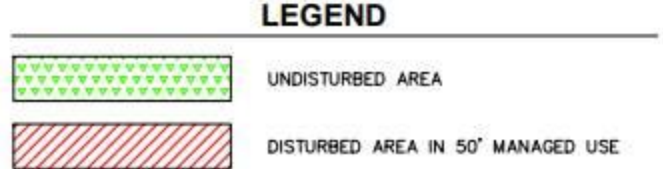
n my previous email it seems my inset diagram did not show up - at least from what I can see. So I am attaching the inset diagram to this email so you can see what I am referencing in this paragraph. Sorry you are getting two emails but I want to be clear in my point

To be clearer, there seems to be three zones at the north end of the development – pond, middle zone where greenway is proposed and area near creek. (the inset diagram) **I have attached the plans that are on the Bridgepoint website. PLEASE look carefully at page 8 of the attached plans. . (Ms Grahn in her email to me said they are also addressed on page 6 landscape and trees and page 7 planting plan of the plans submitted 10/16/2020.)** That middle zone- the disturbed area shown in red- has **ALL** the trees being cut. If trees are valued enough to be planted in

the development, then trees should be valued enough that they do not have to be totally chopped down in the nondevelopment areas. Huge old trees are being cut in the development area. Save old trees in the area above the pond.



	RCD Areas (sf)		
	50-ft Stream Side	50-ft Managed Use	50-ft Upland
	34,206	35,782	33,033
er Dairy Rd Ext.	6,088	7,635	3,000
	0	8,119	4,790



[thumbnail.jpg](#)

Amy Harvey

From: Jeanette Coffin
Sent: Thursday, November 19, 2020 10:13 AM
To: wllslynn@yahoo.com
Cc: Judy Johnson; Colleen Willger; Dwight Bassett; Allen Buansi; Amy Ryan; Hongbin Gu; Jeanne Brown; Jess Anderson; Karen Stegman; Michael Parker; Pam Hemminger; Shakera Vaughan; Tai Huynh; Amy Harvey; Ann Anderson; Carolyn Worsley; Flo Miller; Laura Selmer; Mary Jane Nirdlinger; Maurice Jones; Rae Buckley; Ran Northam; Ross Tompkins; Sabrina Oliver
Subject: FW: Bridgepoint Input
Attachments: bridgepoint trees.pdf

Thank you for your correspondence with the Town of Chapel Hill. The Mayor and Town Council are interested in what you have to say. By way of this email, I am forwarding your message to the Mayor and each of the Council Members, as well as to the appropriate staff person who may be able to assist in providing additional information or otherwise addressing your concerns.

Again, thank you for your message.

Sincerely,

Jeanette Coffin



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Office Assistant
[Town of Chapel Hill Manager's Office](#)
[405 Martin Luther King Jr. Blvd.](#)
[Chapel Hill, NC 27514](#)
(o) 919-968-2743 | (f) 919-969-2063

From: lynn wells [mailto:wllslynn@yahoo.com]
Sent: Thursday, November 19, 2020 8:20 AM
To: Anya Grahn <agrahn@townofchapelhill.org>; Town Council <mayorandcouncil@townofchapelhill.org>; Susan Nassar <susannassar@energistics.com>
Subject: Bridgepoint Input

External email: Don't click links or attachments from unknown senders. To check or report forward to reportspam@townofchapelhill.org

November 19, 2020

To Planning and Development and the Mayor:

I appreciate the chance to have some input on the Bridgepoint project Thank you for reading this email.

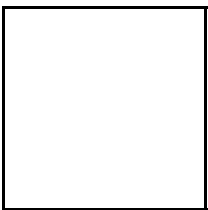
I received a postcard about a public information session for project 20-081. After seeing that I decided on Wednesday to look in on the Bridgepoint project on Homestead Road. I was surprised to find that the meeting for that project was Wednesday. I ended up talking to Ms Grahn, a project manager, about Bridgepoint. The first person I talked to at 919-968-2743 said there had been information session on November 4th. I have received no information in the mail about any meetings about this project for over two years. I live in Vineyard Square on Sonoma Way and would definitely give input. Why am I not getting notices? This project keeps changing and I feel you are pushing it forward without public input. I was glad to be able to express some concerns at last night's virtual meeting but want to make my points clearer with this email.

Although the actual townhouse areas have improved I some concerns about the area marked disturbed area in 50' managed area and the water retention plan.

First behind your marked 44-46 homes that area is too close to the stream. There needs to be more undisturbed area.

Second I am not in favor of the future walking path unless it is a dirt path through the area where you do not cut down many trees, such as you find in UNC's North Forest. Too many old trees are going to be cut for this project as is. You need to leave as much forest as possible if you are going to have a TRUE greenway walking path. Looking at the plan of existing trees to be removed, the amount of trees to be removed north of the pond (on the Sonoma Way side), is absurd. It is nearly all the trees on the project side of the stream. **WHY??** My question at the town meeting about why the trees needed to be cut in that area was never answered. At the least, trees and bushes form a needed buffer zone. If you are having a greenway path, how is it "green" if you cut down all the trees, especially the trees to the north of the path.

To be clearer, there seems to be three zones at the north end of the development – pond, middle zone where greenway is proposed and area near creek. (the inset diagram) **I have attached the plans that are on the Bridgepoint website. PLEASE look carefully at page 8 of the attached plans. . (Ms Grahn in her email to me said they are also addressed on page 6 landscape and trees and page 7 planting plan of the plans submitted 10/16/2020.)** That middle zone- the disturbed area shown in red- has ALL the trees being cut. If trees are valued enough to be planted in the development, then trees should be valued enough that they do not have to be totally chopped down in the nondevelopment areas. Huge old trees are being cut in the development area. Save old trees in the area above the pond.



Third, shown on the diagram are two forebays and a long pond running along the backside of the development. Where does the water from the pond go and how much ? Nothing is shown on the diagram and that question was brushed over at the meeting other than a quick piped into the stream. So a pipe will be built from the pond leading to the stream? Are the forebays meant to hold water to get rid of the gas, oil, pesticides, and fertilizers that will come from the development? How will they be treated before being dumped into the pond? Who will monitor how clean the water is before being piped to the stream? Where is the buffer zone of vegetation around the pond? Will the property

retaining wall be built before the townhouses are built so that no dirt , mud, etc. will flow into the pond and /or stream area? I assume the pond will be built first to at least hold some of the runoff as the townhouses are built.

Since I moved to Chapel Hill five years ago I have become increasingly dismayed about what is “planned” along Homestead Road. Numerous projects have gone up and several more near Weaver Dairy Extended and Homestead road are planned. The majority retain little natural area. Multiuse housing is not the only thing that a development team should be looking at. Green natural areas – more than 20’ wide – need to be part of the planning . Large tracts of old trees should be retained. They are valued not just for aesthetics, but as ecological regions of the area and habitats for wildlife and buffer areas for stream and ponds. Chapel Hill should be more than just buildings and landscaped areas around those buildings.

Yours,

Linda J

Wells
107 Sonoma
Way
Chapel Hill 27615
7475

ahoo.com

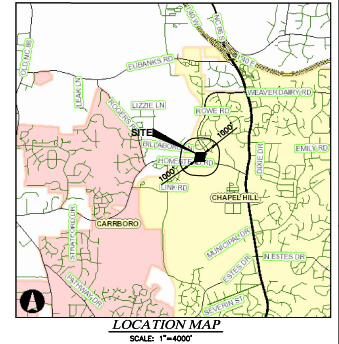
C
919-240-

willslynn@y

SPECIAL USE PERMIT MODIFICATION PLANS

BRIDGEPOINT

PINS: 9870914489 & 9870919528
CHAPEL HILL, NC
2020

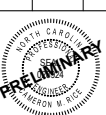


PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
31 Kilmayne Drive, Suite 100
Cary, North Carolina 27513
Tel: 919.336.9277

KB HOME CAROLINAS
4608 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.768.7960

PLAN PREPARED FOR:
KB HOME CAROLINAS
4608 SOUTH MIAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.768.7960

PROJECT TITLE:
SPECIAL USE PERMIT MODIFICATION PLANS
BRIDGEPOINT
KB HOME CAROLINAS
COVER SHEET



Issue Dates:
07/02/2020 - Initial Submission to Town
01/02/2020

Date: 01/02/2020
Scale: AS NOTED

Drawn By: JRR
Checked By: CMR

Project Number:
18-0001-978

Drawn Number:
1 / 10

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section A: Project Information

Use Type: (check/all that apply)
 Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all that apply)
 Historic District Neighborhood Conservation District Airport Hazard Zone

Section E: Land Area

Net Land Area (NLA): Area within zoning lot boundaries	NLA=	363,814	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	CSA=	51,724	sq. ft.
	CD=	0	sq. ft.
TOTAL NLA + CSA and/or CD= Gross Land Area (not to exceed NLA + 10%)	GLA=	399,975	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all that apply)
 Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Area of Land Disturbance (Includes removal of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	Total (sq. ft.)
Area of Land Disturbance within RCD	357,192
Area of Land Disturbance within Jordan Buffer	59,568
Area of Land Disturbance within RCD	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	21,153	21,153	160,539	160,539
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA) if located in Watershed Protection District, % of impervious surface on 7/2/1993	0.053	0.053	0.401	0.401
	0	0	0	0

Page 2 of 10

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section E: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	(9) 8,510	(9) 8,510	(53) 99,088	(53) 99,088
Number of Floors	1 - 1.5	1 - 1.5	2	2
Recreational Space	0	0	25,597	25,597

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors - heated and unheated)	3,433	3,433	1,869	99,088
Total Square Footage of All Units	3,433	3,433	99,088	99,088
Total Square Footage of Affordable Units	0	0	See Developer Narrative	See Developer Narrative
Total Residential Density	4 units/ac	4 units/ac	5.77 units/ac	5.77 units/ac
Number of Dwelling Units	2	2	53	53
Number of Affordable Dwelling Units	0	0	See Developer Narrative	See Developer Narrative
Number of Single Bedroom Units	0	0	0	0
Number of Two Bedroom Units	1	1	0	0
Number of Three Bedroom Units	1	1	53	53

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Industrial					
Medical					
Office			# of Rooms		
Hotel					
Industrial					
Place of Worship			# of Seats		
Other					

Dimensional Requirements

Street	Required by Ordinance	Existing	Proposed
Setbacks (minimum)	20'	0'	10'
Interior (neighboring property lines)	6'	0'	6'
Solar (northern property line)	6'	N/A	6'
Height (maximum)	30'	N/A	30'
Primary	60'	N/A	60'
Secondary	40'	63' & 58'1"	63' & 58'1"
Frontages	50'	60' & 90'	60' & 90'
Streets			
Widths			

Page 3 of 10

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Cutler
Homestead Road (SR 1777)	Variable	27'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
Weaver Dairy Road (SR 1733)	88'	28'	2	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes

U/I Proposed Points of Access (E: Number, Street Name): Homestead Road & Weaver Dairy Road

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Street Names	Dimensions	Surface	Headcapped Ramps
Greystone Landing - (SR #10)	Variable	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street A - (SR #10)	20' 8" 30' RW	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street B - (SR #10)	20' 8" 30' RW	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
Street C - (SR #10)	20' 8" 30' RW	Asphalt	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section C: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces	1.5 per unit	2.25 per unit	2.17 per unit
Handicap Spaces	N/A	N/A	1
Total Spaces	81	119	115
Loading Spaces	N/A	N/A	N/A
Bicycle Spaces	1 per 2 units	N/A	0
Surface Type	Asphalt	N/A	N/A

Section F: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
Homestead Road	20'	20'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Weaver Dairy Road	15'	15'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Western Property Line	15'	15'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No
Northern Property Line	10'	10'	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input type="checkbox"/> Yes <input type="checkbox"/> No

Page 4 of 10

PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning Department

Section I: Land Use Intensity

Existing Zoning District: R-5-C
Proposed Zoning Change (if any):

Zoning - Area - Ratio	Impervious Surface Thresholds	Minimum and Maximum Limitations
Zoning District	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)
R-5-C	0.303	0.02
		Low Density Residential (0.24)
		High Density Residential (0.50)
		Non-Residential (0.70)
		Maximum Floor Area (MFA) + FAR x GIA
		Minimum Recreation Space (MSR) + RSR x GIA
		121,192 sf
		19,500 sf

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input type="checkbox"/> Above Ground		
Solid Waste	<input checked="" type="checkbox"/> Town	<input type="checkbox"/> Private		

Page 5 of 10

SHEET INDEX

- 1 COVER SHEET
- 2 AREA MAP
- 3 EXISTING CONDITIONS PLAN
- 4 SLOPE ANALYSIS PLAN
- 5 SITE PLAN
- 6 GRADING AND DRAINAGE PLAN
- 7 UTILITY PLAN
- 8 LANDSCAPE PROTECTION AND TREE SURVEY PLAN
- 9 BUILDING ELEVATION EXHIBIT
- 10 GROUP UNIT ELEVATION EXHIBIT

C:\18-0001-978\NC\Production Drawings\DEVELOPMENT PLAN\0001-978-SUPD.dwg COVER SHEET Dec 30, 2019 9:11:10am dking

DEVELOPER
KB HOME CAROLINAS
4505 S. MIAMI BLVD., SUITE 100
DURHAM, NC 27703
PHONE: 919.768.7979

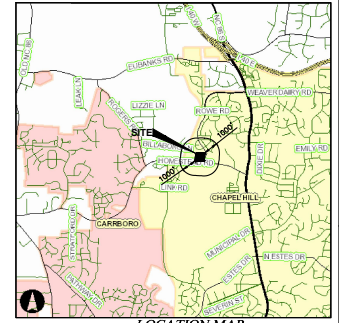
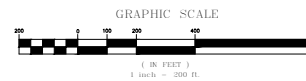
OWNER
CAPKOV VENTURES, INC.
202 E. WINMORE AVE.
CHAPEL HILL, NC 27516-8430
PHONE: 919.942.8005

ENGINEER/SURVEYOR
ADVANCED CIVIL DESIGN, INC.
51 KILMAYNE DRIVE, SUITE 105
CARY, NC 27511
PHONE (919) 451-6290
FAX (919) 336-5127

C:\18-0001-978\NC\Production Drawings\DEVELOPMENT PLAN\001-978-SUP02.dwg AREA MAP Dec 30, 2019 9:11:30am ahhg



AREA MAP
SCALE 1" = 200'



SITE DATA TABLE

PROJECT NAME:	BRIDGEPOINT
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511
PARCEL ID NUMBERS:	9870914489, 9870919528
LAND AREA CALCULATIONS	
NET LAND AREA:	8.348 ACRES
CREDITED STREET AREA:	0.51 ACRES (1/2 HOMESTEAD R/W)
CREDITED STREET AREA:	0.68 ACRES (1/2 WEAVER DAIRY RD R/W)
TOTAL GROSS LAND AREA (GLA):	9.182 ACRES (USED FOR DENSITY CALCULATION)
CURRENT ZONING:	R-5-C
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	YES
OVERLAY DISTRICTS:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	MULTIFAMILY WITH SPECIAL USE PERMIT
ALLOWABLE DENSITY R-5:	15 UNITS/AC GROSS LAND AREA = 0.182 AC # UNITS ALLOWED = 137
PROPOSED SINGLE FAMILY UNITS:	53
PROPOSED AFFORDABLE UNITS:	5
PROPOSED TOTAL # OF UNITS:	53
PROPOSED MINIMUM LOT SIZE:	2,400 SF
RECREATION SPACE REQUIRED:	0.46 AC. (5%)
RECREATION SPACE PROVIDED:	0.59 AC
PROPOSED INTERIOR LOT SETBACKS:	
FRONT:	0'
SIDE:	0'
SIDE CORNER:	0'
REAR:	0'
REQUIRED PERIMETER SETBACKS	
INTERIOR:	6'
STREET:	10'
SOLAR:	8'
PROPOSED BUILDING SEPARATION:	12'
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM FLOOR AREA RATIO:	0.303
PROPOSED FLOOR AREA RATIO:	0.248
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.401

LEGEND

	CHAPEL HILL CORPORATE LIMITS
	ZONING BOUNDARY
	1000' NOTIFICATION LINE
	PROPERTY'S WITHIN NOTIFICATION AREA
	PROPOSED SITE
	OPEN SPACE

PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
CIVIL DESIGN
U.S.A.

PLAN PREPARED FOR:
KB HOME CAROLINAS
4608 SOUTH MIAMI BLVD, SUITE 100A
DURHAM, NC 27703
PHONE: 919.668.7960

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
AREA MAP



Issue Date:	01/02/2020
Date:	01/02/2020
Scale:	1" = 200'
Drawn By:	JRR
Checked By:	CMR
Project Number:	18-0001-978
Drawing Number:	2 / 10

LINE TABLE		
LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°00'35"E

CURVE TABLE					
NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.51'	524.12'	01°0'28"28"	95.38'	S02°01'38"E
C2	47.13'	30.00'	09°00'35"	42.43'	S48°10'42"W



SITE DESCRIPTION & ANALYSIS

THE PROPOSED SITE IS HEAVILY WOODED WITH A SITE AREA OF 8.15 ACRES. THE SOUTHERN PORTION OF THE SITE INCLUDES THREE EXISTING HOUSES WITH ASSOCIATED DRIVEWAYS, DRIVES AND IS BOUNDED BY APPROXIMATELY 636 FEET OF FRONTAGE ALONG HOMESTEAD ROAD TO THE SOUTH.

THE WESTERN PORTION OF THE SITE IS BOUNDED TO THE WEST BY A DEVELOPMENT OWNED BY THE TOWN OF CHAPEL HILL TO BE PLANNED AS A MEDIUM-INCOME RESIDENTIAL COMMUNITY.

THE NORTHERN PORTION OF THE SITE HAS AN EXISTING STREAM CUTTING THROUGH THE NORTH EASTERN CORNER. THERE IS AN EXISTING HOUSE AND ASSOCIATED DRIVE ON THE NORTHWEST PORTION OF THE SITE THAT PROVIDES ACCESS TO HOMESTEAD ROAD.

THE EASTERN PORTION OF THE SITE HAS APPROXIMATELY 535 FEET OF FRONTAGE ALONG WILLIAMS DAIRY ROAD.

THE SITE PRIMARILY DRAINS FROM THE SOUTH TO THE NORTH TO AN INTERMITTENT STREAM.

CONSTRUCTION WASTE STANDARD NOTES

ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER IN SIZE SHALL BE ASSESSED PRIOR TO DEMOLITION TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RMO) AND TO ASSESS THE POTENTIAL FOR DE-CONSTRUCTION AND/OR THE RE-USE OF SALVAGEABLE MATERIALS.

BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.

BY ORANGE COUNTY ORDINANCE, ALL HALLERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE THAT INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.

PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.

THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (ACM) AND/OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

LEGEND

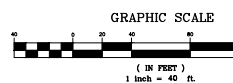
Concrete Post	Electric Manhole	Gas Meter	Fire Hydrant
Tocked Hub / Trap Pt	Electric Transformer	Underground Line Marker	Water Valve
Post Sign / Lamp Sign	Corner Manhole	Sprinkler Valve Box	Mailbox
Billboard / OH Sign	Tal Pedestal	Misc. Manhole	Monitoring Well
Deciduous Tree	Pole Elec	Iron Pipe Found	Iron Pin Set
Pine Tree	Pole Elec Tel	Iron Roof Found	PK Nail Set
Shrub	Pole Tel Light	PK Nail Found	RR Spike Set
Sanitary Manhole	Pole Tel	RR Spike Found	Iron pins set are 3/4" diameter iron pins, 30" long and capped Advanced 7661.
Cleanout Access	Pole Tel Light	Fence Post Found	RR Spike Set
Storm Manhole	Pole Signal	Stone Found	RR Spike Set
Catch Basin	Pole Light	Conc. Monument Found	RR Spike Set
Curb Inlet W / Grate	Traffic Box	Monument Box Found	RR Spike Set
Gas Valve	Guy Pole	Underground Gas	RR Spike Set
Overhead Telephone	Overhead Electric	Underground Electric	RR Spike Set
Overhead Electric	Ex. Property Boundary	Ex. Sanitary	RR Spike Set
	Ex. Waterline	Ex. Soil Type Boundary	RR Spike Set
	Ex. Edge of Pavement	Ex. Edge of Pavement	RR Spike Set

EXISTING IMPERVIOUS SURFACES

BUILDINGS = 8,510 SF
 DRIVEWAYS = 2,943 SF
 SIDEWALK/PATIO = 3,700 SF
 TOTAL = 21,153 SF

FLOOD NOTE

By graphic plotting only this property is located in Zone X (Areas determined to be outside of the 0.2% annual chance floodplain) by the Federal Emergency Management Agency on Flood Insurance Rate Map, Community Panel No. 3710987000K, with an effective date of 11/17/2017, in Orange County, North Carolina. No field surveying was performed to determine this zone.



GENERAL NOTES

- Areas calculated by coordinate geometry.
- All distances are horizontal ground distances.
- Base of Bearing NC GRID 1983 Horizontal Datum & Vertical Datum NAD-83.
- Boundary information shown hereon was prepared by John R. McDams Company.
- Dimensions on this plot are expressed in feet and decimal parts thereof unless otherwise noted. Monuments were found at points where indicated.

REFERENCES:

D.B. 6433, Pg. 183
 D.B. 5941, Pg. 562
 D.B. 6056, Pg. 560
 D.B. 6050, Pg. 046
 P.B. 0081, Pg. 119
 P.B. 0116, Pg. 87

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**

31 Wilkova Drive, Suite 100
 Cary, North Carolina 27513
 Phone: 919.336.9327

KB HOME CAROLINAS
 4508 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.688.7960

SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
EXISTING CONDITIONS PLAN

HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT

DATE: 01/02/2020
 SCALE: 1" = 40'

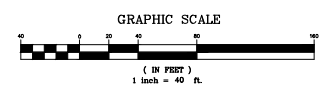
PROJECT NUMBER: **18-0001-978**
 DRAWING NUMBER: **3 / 10**

G:\18-0001-978\18-0001-978-SUP4.dwg SLOPE ANALYSIS PLAN Dec 30, 2019 - 9:11:50am dking



SLOPE HATCH LEGEND

	SLOPES 0% TO 9.9% DISTURBED SLOPE AREA = 176,640 SF TOTAL SLOPE AREA = 228,158 SF PERCENTAGE OF DISTURBED SLOPE AREA = 77.42%
	SLOPES 10% TO 14.9% DISTURBED SLOPE AREA = 68,724 SF TOTAL SLOPE AREA = 73,908 SF PERCENTAGE OF DISTURBED SLOPE AREA = 92.99%
	SLOPES 15% TO 24.9% DISTURBED SLOPE AREA = 41,914 SF TOTAL SLOPE AREA = 43,777 SF PERCENTAGE OF DISTURBED SLOPE AREA = 95.74%
	SLOPES 25% OR GREATER DISTURBED SLOPE AREA = 9,739 SF TOTAL SLOPE AREA = 17,768 SF PERCENTAGE OF DISTURBED SLOPE AREA = 54.80%



PLAN PREPARED BY:

PLAN PREPARED FOR:

DATE: 01/02/2020

SCALE: 1" = 40'

DRAWN BY: JRR

CHECKED BY: CMR

PROJECT NUMBER: 18-0001-978

DRAWING NUMBER: 4 / 10

PRELIMINARY

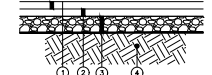
01/02/2020

ADVANCED CIVIL DESIGN

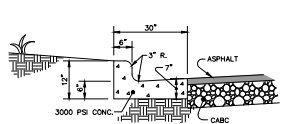
31 Wilshire Drive, Suite 100
Durham, North Carolina 27701
Phone: 919.336.9277
Fax: 919.336.9277

KB HOME CAROLINAS

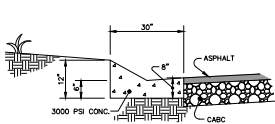
4505 SOUTH MAAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.687.7960



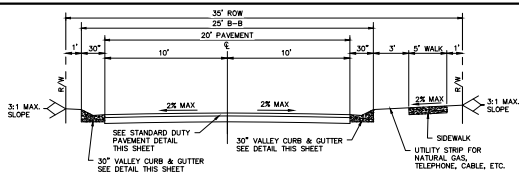
STANDARD DUTY PAVEMENT SECTION
NOT TO SCALE



30" STANDARD CURB & GUTTER SECTION
NOT TO SCALE



30" VALLEY CURB & GUTTER SECTION
NOT TO SCALE



SECTION A-A STANDARD LOCAL STREET SECTION
NOT TO SCALE

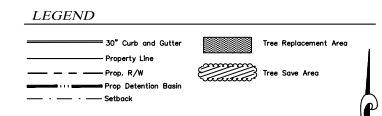
SITE DATA TABLE

PROJECT NAME:	BRIDGEPOINT
APPLICANT:	ADVANCED CIVIL DESIGN, INC. 51 KILMAYNE DRIVE, SUITE 105 CARY, NC 27511
PARCEL ID NUMBERS:	9870914489, 9870919528
LAND AREA CALCULATIONS:	8,348 ACRES
CREATED STREET AREA:	0.51 ACRES (1/2 HOMESTEAD R/W)
CREATED STREET AREA:	0.68 ACRES (1/2 WEAVER DAIRY RD R/W)
TOTAL GROSS LAND AREA (GLA):	9,182 ACRES (USED FOR DENSITY CALCULATION)
CURRENT ZONING:	R-5-C
OUTSIDE CORPORATE LIMITS:	NO
OUTSIDE WATERSHED PROTECTION DISTRICT:	YES
OUTSIDE FLOODPLAIN:	NO
OVERLAY DISTRICTS:	NONE
EXISTING LAND USE:	SINGLE FAMILY
PROPOSED LAND USE:	MULTIFAMILY WITH SPECIAL USE PERMIT
ALLOWABLE DENSITY R-5:	15 UNITS/AC GROSS LAND AREA = 9,182 AC # UNITS ALLOWED = 137
PROPOSED AFFORDABLE UNITS:	5 (LABELED "ADU" ON THIS SHEET)
PROPOSED TOTAL # OF UNITS:	53
PROPOSED MINIMUM LOT SIZE:	2,400 SF
RECREATION SPACE REQUIRED:	GROSS LAND AREA + RECREATION SPACE RATIO (0.182 AC) x (0.050) = 0.46 AC
RECREATION SPACE PROVIDED:	0.59 AC
PROPOSED INTERIOR LOT SETBACKS:	FRONT: 0' SIDE: 0' SIDE CORNER: 0' REAR: 0'
REQUIRED PERIMETER SETBACKS:	INTERIOR: 6' STREET: 10' SOLAR: 8'
PROPOSED BUILDING SEPARATION:	12'
MAXIMUM BUILDING HEIGHT (PRIMARY):	39'
MAXIMUM BUILDING HEIGHT (SECONDARY):	60'
MAXIMUM FLOOR AREA RATIO:	0.303
PROPOSED FLOOR AREA RATIO:	0.248
MAXIMUM IMPERVIOUS SURFACE RATIO:	0.50
PROPOSED IMPERVIOUS SURFACE RATIO:	0.401

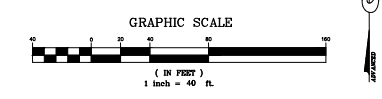
TREE CANOPY COVERAGE CALCULATIONS

NET CANOPY COVERAGE REQUIRED:	30%
NET LAND AREA:	8,348 AC
AREAS NOT COUNTING TOWARD TREE CANOPY CALCULATIONS:	
RECREATION AREAS:	0.601 AC
EASEMENTS:	1.528 AC
RIGHT OF WAY:	1.251 AC
TOTAL LAND AREA NOT COUNTED:	3,380 AC
APPLICABLE LAND AREA:	4,968 AC
TREE CANOPY REQUIRED:	4,968 AC x 30% = 1,490 AC
EXISTING TREE CANOPY TO REMAIN:	0.863 AC
ADDITIONAL TREE CANOPY REQUIRED:	0.643 AC
TREE REPLACEMENT AREA:	0.561 AC
PROPOSED STREET TREES (1 PER 500 SF):	30 TREES = 0.344 AC
ADDITIONAL TREE CANOPY PROVIDED:	0.905 AC
TOTAL TREE CANOPY PROVIDED:	1.768 AC
REQUIRED # OF 2.5" CALIPER TREES:	49 TREES
PROPOSED STREET TREES:	30 TREES
PROPOSED STREET TREES:	49 TREES
TOTAL TREES:	79 TREES

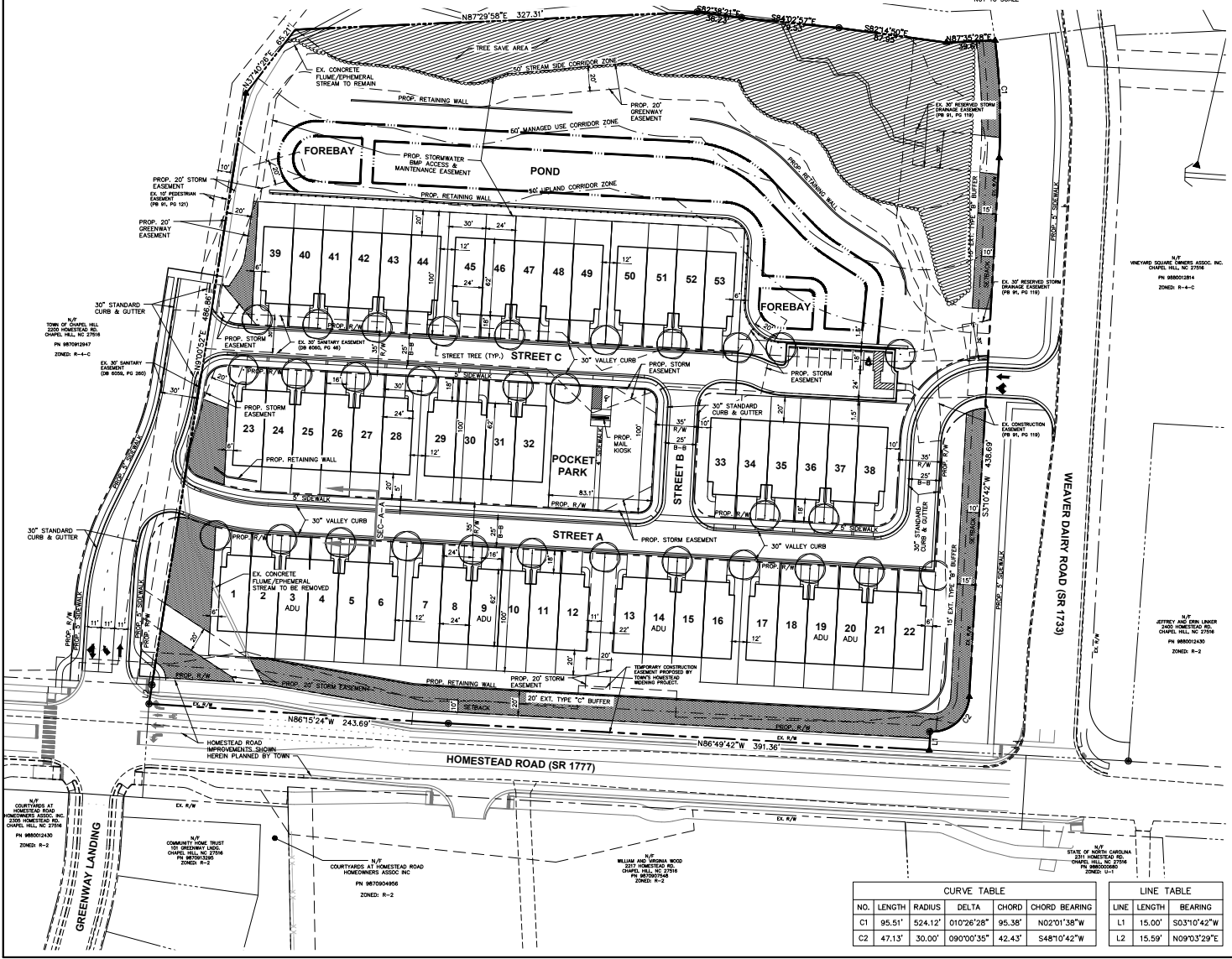
GENERAL NOTES
A DESCRIPTION AND ANALYSIS OF ADJACENT LAND USES, ROADS, TOPOGRAPHY, SOILS, DRAINAGE PATTERNS, ENVIRONMENTAL CONSTRAINTS, FEATURES, EXISTING VEGETATION, AND VISTAS CAN BE FOUND ON SHEET 3 - EXISTING CONDITIONS PLAN.
ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
THE REQUIRED RECREATION SPACE HAS BEEN MET AND EXCEEDED. SEE SITE DATA TABLE ON THIS SHEET.
ALL TRASH FOR TOWN HOMES WILL BE COLLECTED BY ROLL-OUT CURBSIDE PICK UP. OVERFLOW PARKING SHOWN ARE 90 DEGREE BAYS AND SPACE MARKINGS PER TOWN OF CHAPEL HILL CODE FOR PARKING LOTS.



REQUIREMENTS
INTERNAL SETBACKS: _____ FT



CURVE TABLE					LINE TABLE			
NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	LINE	LENGTH	BEARING
C1	95.51'	524.12'	010°26'28"	95.38'	N02°01'38"W	L1	15.00'	S031°0'42"W
C2	47.13'	30.00'	090°00'35"	42.43'	S48°1'04"W	L2	15.59'	N09°03'29"E



G:\18-0001-0786\DWG\Production_Drawing\DEVELOPMENT PLAN\001-978-SUPP.DWG PROPOSED SITE PLAN Dec 30, 2019 - 9:15:06am dwg

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**
 51 Kilmayne Drive, Suite 105
 Cary, North Carolina 27511
 Tel: 919.336.9277

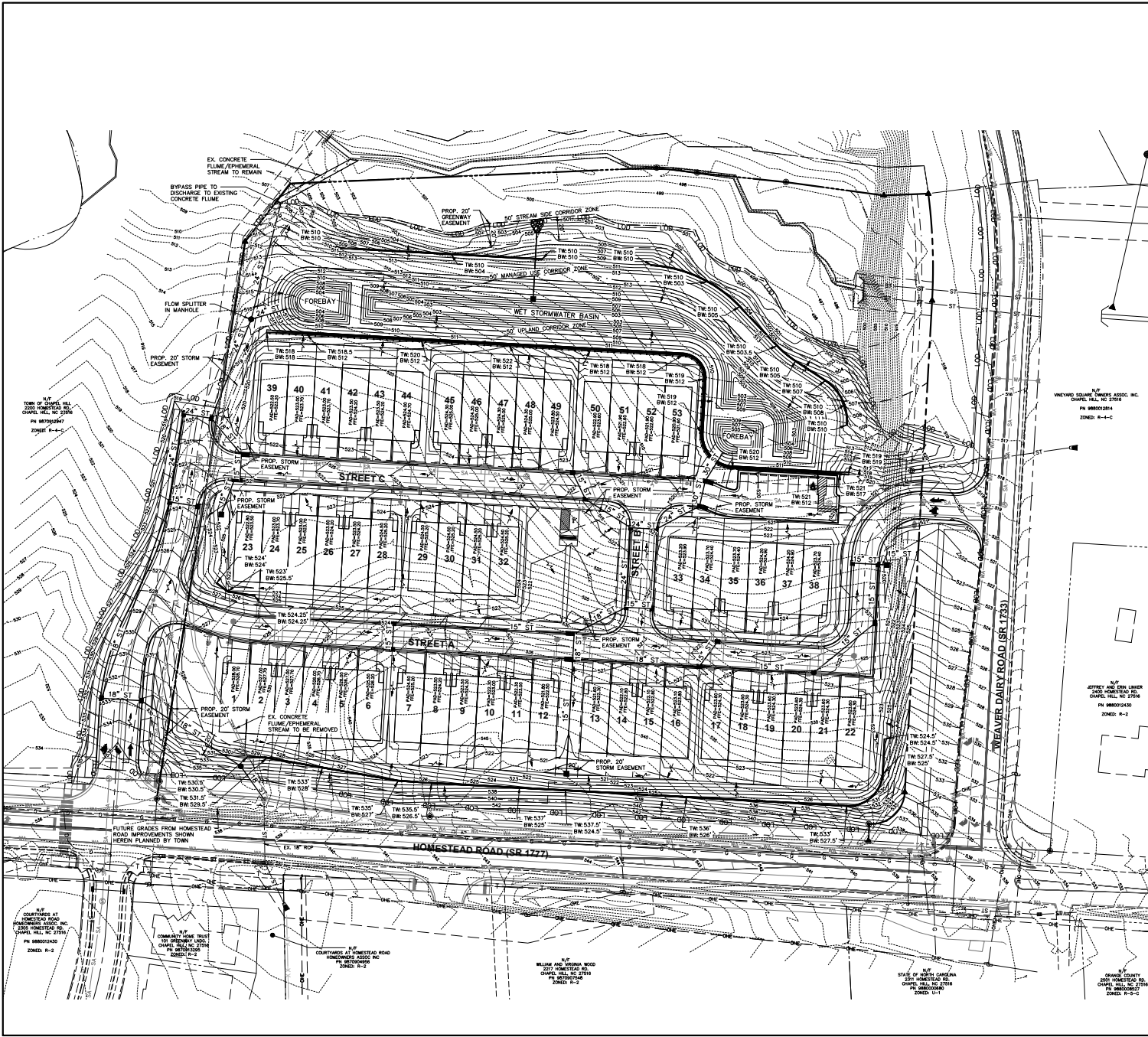
PLAN PREPARED FOR: **KB HOME CAROLINAS**
 4506 SOUTH MIAMI BLVD., SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.665.7960

SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
SITE PLAN

PROJECT NAME: **BRIDGEPOINT**
 ADDRESS: **HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY**

DATE: 01/02/2020
 SCALE: 1" = 40'
 DRAWN BY: JRR
 CHECKED BY: CMR
 PROJECT NUMBER: **18-0001-978**
 DRAWING NUMBER: **5 / 10**

G:\18-0001-978\18-0001-978-SUPD.Dwg GRADING AND DRAINAGE PLAN Dec 30, 2019 - 9:12:16am dking



GENERAL NOTES:

TO MINIMIZE DAMAGE TO EXISTING TREES NEAR THE EXTERIOR EDGE OF THE SITE ADJACENT TO TREE CONSERVATION AREAS, THE CONTRACTOR SHALL CUT MINIMUM 2' TRENCHES ALONG THE LIMITS OF DISTURBANCE, SO AS TO CUT RATHER THAN TEAR ROOTS.

THE TREE PROTECTION FENCE SHALL BE MAINTAINED ON THE SITE UNTIL ALL SITE WORK IS COMPLETED AND THE FINAL SITE INSPECTION PRIOR TO THE CERTIFICATE OF OCCUPANCY (CO) IS SCHEDULED. THE FENCING SHALL BE REMOVED PRIOR TO FINAL SITE INSPECTION FOR THE CO.

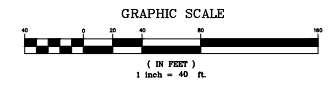
PERMANENT GROUND COVER WILL BE ESTABLISHED IN 7 TO 14 WORKING DAYS PER NOTES REQUIREMENTS. REFER TO APPROVED SEDIMENT AND EROSION CONTROL PLANS.

CUT/FILL SLOPES SHALL BE STABILIZED WITHIN 14 DAYS OF ANY PHASE OF GRADING. A PRE-CONSTRUCTION CONFERENCE WILL BE REQUIRED PRIOR TO THE GRADING PERMIT BEING ISSUED.

STREETS ADJACENT TO THIS PROJECT TO BE KEPT CLEAN AT ALL TIMES OR A WASH STATION WILL BE REQUIRED.

THE DEVELOPER SHALL PROVIDE AN EROSION CONTROL BOND PRIOR TO OBTAINING A ZONING COMPLIANCE PERMIT.

- LEGEND**
- #---#---# EXISTING CONTOUR - 1'
 - #---#---# EXISTING CONTOUR - 5'
 - ST--- EXISTING STORM SEWER
 - SA--- EXISTING SANITARY SEWER
 - WA--- EXISTING WATER LINE
 - 916--- PROPOSED CONTOUR - 1'
 - 915--- PROPOSED CONTOUR - 5'
 - #---#---# PROPOSED STORM SEWER
 - #---#---# PROPOSED SANITARY
 - #---#---# PROPOSED WATER LINE
 - LOD--- LIMITS OF DISTURBANCE
 - #---#---# DRAINAGE BOUNDARY TO POND
 - #---#---# SURFACE FLOW ARROW
 - #---#---# W/O WALK OUT BASEMENT



PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**
 51 Wilkerson Drive, Suite 100
 Cary, North Carolina 27513
 Tel: 919.336.9277

PLAN PREPARED FOR: **KB HOME CAROLINAS**
 4608 SOUTH MIAMI BLVD, SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.683.7960

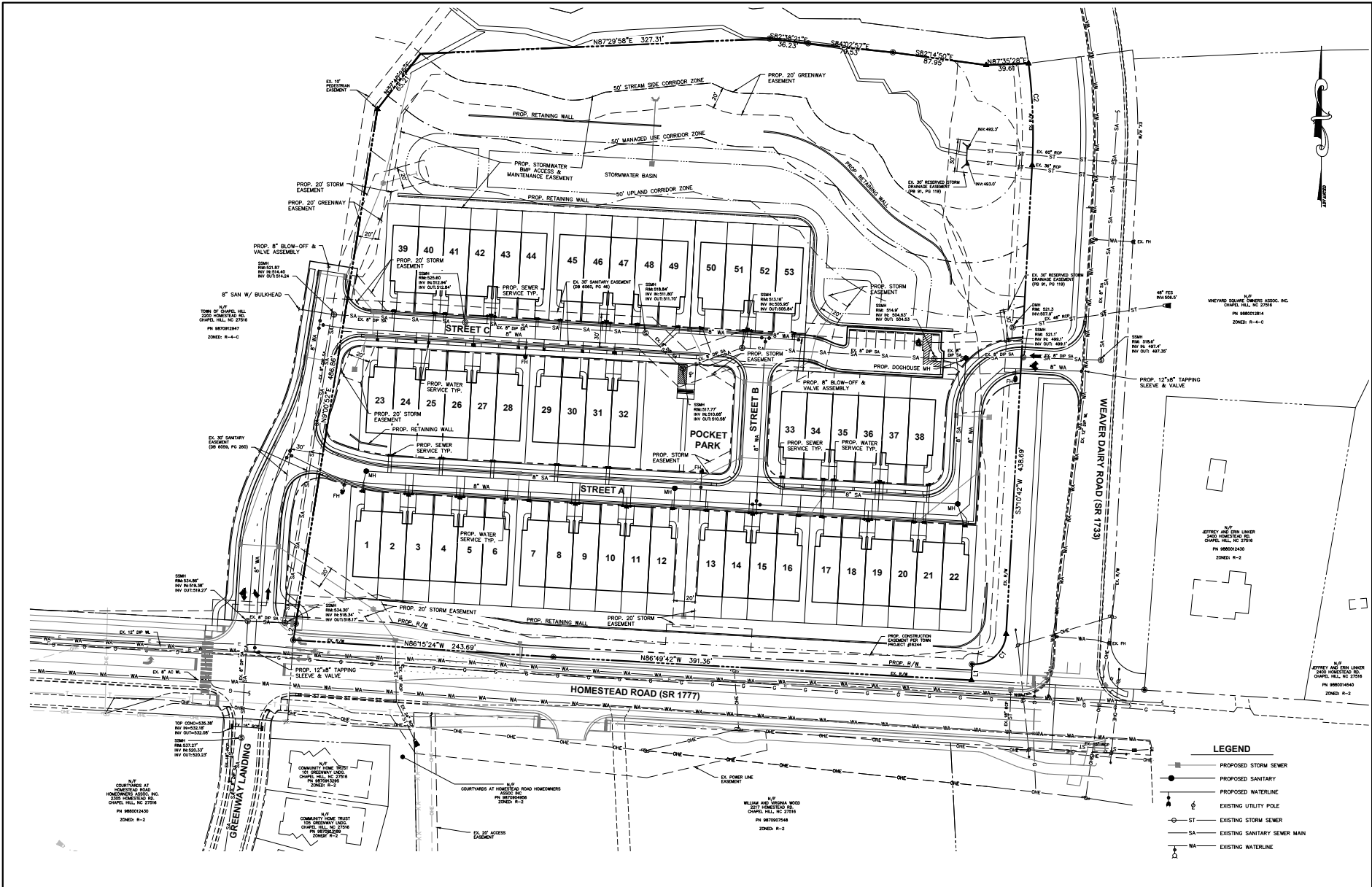
PROJECT: **SPECIAL USE PERMIT MODIFICATION PLANS**
KB HOME CAROLINAS
GRADING AND DRAINAGE PLAN

PROJECT LOCATION: **BRIDGEPOINT**
 HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY

DATE: 01/02/2020
 SCALE: 1"=40'
 DRAWN BY: JRR
 CHECKED BY: CMR
 PROJECT NUMBER: 18-0001-978
 DRAWING NUMBER: 6/10

SHEET DATES: 01/02/2020 - Initial Submission to Town
 01/02/2020

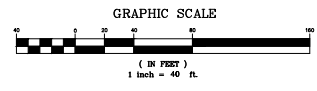
NORTH CAROLINA
PRELIMINARY
 1/2/2020



LINE TABLE		
LINE	LENGTH	BEARING
L1	15.00'	S03°10'42"W
L2	15.59'	N09°03'29"E

CURVE TABLE				
NO.	LENGTH	RADIUS	DELTA	CHORD BEARING
C1	47.13'	30.00'	090°00'36"	42.43' S48°10'42"W
C2	95.51'	524.12'	010°26'28"	95.38' S02°01'38"E

MINIMUM REQUIRED FIRE FLOW	
SINGLE FAMILY (< 3,600 SF)	1,000 GAL/MIN



- LEGEND**
- PROPOSED STORM SEWER
 - PROPOSED SANITARY
 - PROPOSED WATERLINE
 - PROPOSED UTILITY POLE
 - EXISTING UTILITY POLE
 - ST — EXISTING STORM SEWER
 - SA — EXISTING SANITARY SEWER MAIN
 - WA — EXISTING WATERLINE

PLAN PREPARED BY:

ADVANCED CIVIL DESIGN
 51 Highway Drive, Suite 100
 Cary, North Carolina 27513
 PHONE: 919.336.9377

PLAN PREPARED FOR:
KB HOME CAROLINAS
 4500 SOUTH MIAMI BLVD, SUITE 100A
 DURHAM, NC 27703
 PHONE: 919.685.7960

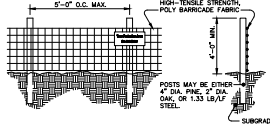
HOMESTEAD ROAD, CHAPEL HILL, NC - GRANGE COUNTY
BRIDGEPOINT
SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
UTILITY PLAN

DATE: 01/02/2020
 SCALE: 1" = 40'
 DRAWN BY: JRR
 CHECKED BY: CMR
 PROJECT NUMBER: 18-0001-978
 DRAWING NUMBER: 7/10

DATE: 01/02/2020
 TIME: 10:00 AM
 PROJECT: 18-0001-978
 DRAWING: 7/10



WARNING SIGN DETAIL



NOTES:

- WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAIL.
- SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS.
- PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
- FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
- ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
- MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
- ADDITIONAL SIGNS MAY BE REQUIRED BY THE TOWN OF CHAPEL HILL INSPECTIONS DEPARTMENT BASED ON ACTUAL FIELD CONDITIONS.

MAINTENANCE:

- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
- SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
- REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANUP.
- REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

TREE PROTECTION FENCE
NOT TO SCALE

TREE LEGEND

- ⊙BE BEECH
 - ⊙BR BIRCH
 - ⊙CD CEDAR
 - ⊙DG DOGWOOD
 - ⊙EL ELM
 - ⊙SG SWEET GUM
 - ⊙HI HICKORY
 - ⊙MA MAPLE
 - ⊙RO RED OAK
 - ⊙OA OAK
 - ⊙PI PINE
 - ⊙PO POPLAR
 - ⊙SY SYCAMORE
 - ⊙HO HOLLY
 - ⊙DP DOUBLE POPLAR
- ⊙X EXISTING TREE TO BE REMOVED
- ⊙O EXISTING TREE TO REMAIN
- LOD — LIMITS OF DISTURBANCE
- TPF — TREE PROTECTION FENCE
- ⊙H DOUBLE AND TRIPLE TRUNKS
- ⊙DP DOUBLE POPLAR

TREE CANOPY REPRESENTED
1" PER 1" CALIPER OF TREE

TOWN OF CHAPEL HILL
ZONING DEPARTMENT
PL 8870392847
ZONES: R-1-C

TREE PROTECTION NOTES

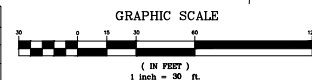
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER, EMILY CAMERON PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES WILL NOT BE DRIVEN ON OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPING.
- A LANDSCAPE PROTECTION SUBDIVISION HAS BEEN REGISTERED WITH THE TOWN OF CHAPEL HILL. THIS WILL BE PRESENT ON SITE AT ALL TIMES WHILE ANY CONSTRUCTION ACTIVITIES ARE TAKING PLACE. CLEARING, GRUBBING, EXCAVATION, GRADING, TRENCHING, MOVING OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING, AND THE DELIVERY TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.
- MIKE MULLIS, R/LA, WITH MULLIS DESIGN GROUP VISITED THE SITE TO EVALUATE EXISTING TREES.
- TREES LOCATED OUTSIDE OF THE CLEARING LIMITS AND ON LOTS ARE SHOWN AS BEING REMOVED. HOWEVER, THESE TREES WILL REMAIN DURING THE INITIAL DEVELOPER. WHEN THE BUILDER SUBMITS FOR PERMITS, THE BUILDER WILL DETERMINE WHICH TREES ON THE LOTS MUST BE REMOVED DURING HOME CONSTRUCTION. TREES LOCATED ON LOT LINES OR AT NEAR BY LOTS WILL BE SAVED TO THE GREATEST EXTENTS POSSIBLE.

CONSTRUCTION WASTE:

- BY ORANGE COUNTY ORDINANCE, CLEAN WOOD WASTE, SCRAP METAL AND CORRUGATED CARDBOARD, ALL PRESENT IN CONSTRUCTION WASTE, MUST BE RECYCLED.
- BY ORANGE COUNTY ORDINANCE, ALL HAULERS OF CONSTRUCTION WASTE MUST BE PROPERLY LICENSED.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.

LINE	LENGTH	BEARING
L1	9.50'	S03°10'42"W
L2	9.54'	N09°03'29"E

NO.	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	95.51'	524.12'	01°02'28"	95.38'	S02°01'38"E
C2	47.13'	30.00'	09°00'35"	42.43'	S48°10'42"W



PLAN PREPARED BY:
ADVANCED CIVIL DESIGN
11 Highway Drive, Suite 100
Cary, North Carolina 27511
Tel: 919.336.9377

PLAN PREPARED FOR:
KB HOME CAROLINAS
4608 SOUTH MAAMI BLVD., SUITE 100A
DURHAM, NC 27703
PHONE: 919.685.7960

BRIDGEPOINT
SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
LANDSCAPE PROTECTION & TREE SURVEY PLAN

PRELIMINARY
NORTH CAROLINA
REVISION RECORD
DATE: 01/02/2020

Issue Dates:
01/02/2020 - Initial Submission to Town

Date: 01/02/2020
Scale: 1" = 30'

Drawn By: JBR
Checked By: CMP

Project Number:
18-0001-978

Drawing Number:
8 / 10

ATTIC VENTILATION

1225 SQ. FT. OF ATTIC / 300 + 422 SQ. FT. OF INLET AND OUTLET.

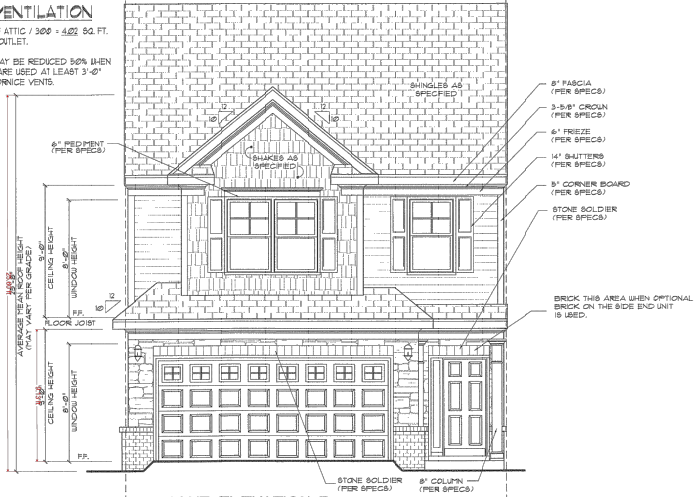
VENTILATION MAY BE REDUCED 50% WHEN VENTILATORS ARE USED AT LEAST 3'-0" ABOVE THE CORNICE VENTS.



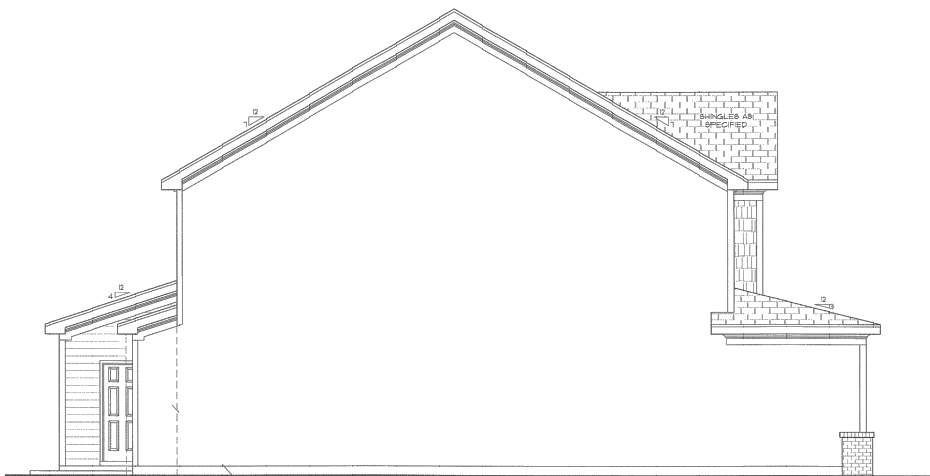
CONTRAD. BY FRONT ELEVATION

STONE	16.6%
BRICK	23%
SIDING/SHAKES	61%
TOTAL SQ. FT. - 512 SQ. FT.	

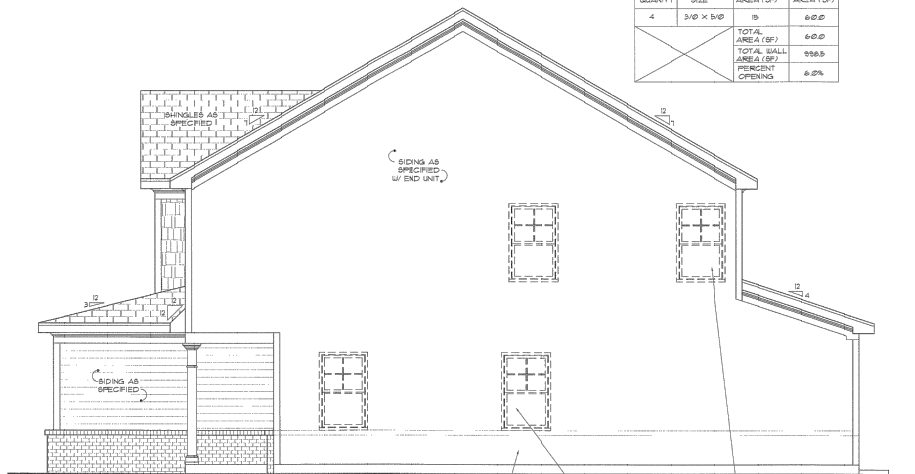
ALL MECHANICAL EQUIPMENT INCLUDING STACKS AND VENTS EXTENDING ABOVE THE ROOF SURFACE MUST BE PAINTED COLOR THAT BLENDS WITH THE ROOF COLOR.



FRONT ELEVATION-D
SCALE: 1/4"=1'



REAR ELEVATION-D
SCALE: 1/4"=1'



RIGHT SIDE ELEVATION-D
SCALE: 1/4"=1'

FIRE RESISTANCE WALL OPENING CALCULATIONS (LEFT WALL)

WINDOW QUANTITY	WINDOW SIZE	WINDOW AREA (SF)	TOTAL AREA (SF)
4	3'-0" X 5'-0"	15	60.0
			TOTAL AREA (SF) 60.0
			TOTAL WALL AREA (SQ. FEET) 956.5
			PERCENT OPENING 6.2%

C:\18-001-978\DWG\Production Drawings\DEVELOPMENT PLAN\001-978-SUPP.dwg BUILDING ELEVATION EXHIBIT Dec 30, 2019 - 9:12:50am shing

PLAN PREPARED BY: **ADVANCED CIVIL DESIGN**
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PLAN PREPARED FOR: **KB HOME CAROLINAS**
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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
BUILDING ELEVATION EXHIBIT

PRELIMINARY
6/1/2020

Issue Date: 07/02/2020 - Initial Submittal to Town

Date: 01/02/2020
Scale: AS NOTED

Drawn By: JRR Checked By: CMR

Project Number: 18-001-978
Drawing Number: 9 / 10

C:\18-0001-978\DWG\Production Drawings\DEVELOPMENT PLAN\001-978-SUP10.dwg GROUP UNIT ELEVATION EXHIBIT Dec 30, 2019 - 9:13:05am dking



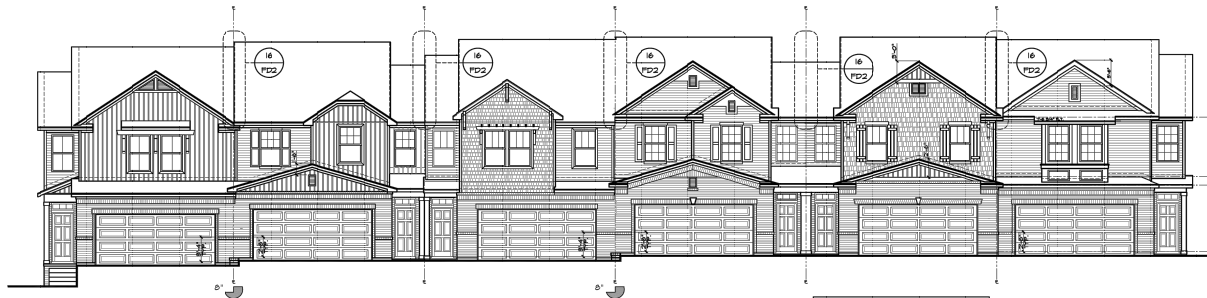
UNIT 16-L (226-1903) LOT B1 UNIT 16-R (226-2282) LOT B2 UNIT 16-L (226-2282) LOT B2 UNIT 24-R (226-2144) LOT B4 UNIT 16-L (226-2282) LOT B2 UNIT 16-R (226-2282) LOT B2

REAR ELEVATION

SCALE 1/8"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

NOTE: REFER TO BASIC UNIT ELEVATIONS FOR INFORMATION NOT SHOWN HERE

MASSRY CALCULATIONS		MASSRY CALCULATIONS		MASSRY CALCULATIONS	
UNIT ELEVATION 16		UNIT ELEVATION 16		UNIT ELEVATION 16	
REVISION	NO CHANGE TOTAL NET FT. SQUARE (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)	REVISION	NO CHANGE TOTAL NET FT. SQUARE (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)	REVISION	NO CHANGE TOTAL NET FT. SQUARE (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)



UNIT 16-R (226-2282) LOT B2 UNIT 16-L (226-2282) LOT B2 UNIT 24-R (226-2144) LOT B4 UNIT 16-L (226-2282) LOT B2 UNIT 16-R (226-2282) LOT B2 UNIT 16-L (226-1903) LOT B1

FRONT ELEVATION

SCALE 1/8"=1'-0" (22"x34") - 1/8"=1'-0" (11"x17")

NOTE: REFER TO BASIC UNIT ELEVATIONS FOR INFORMATION NOT SHOWN HERE

MASSRY CALCULATIONS	
FRONT ELEVATION 16	
REVISION	NO CHANGE TOTAL NET FT. SQUARE (1) (2) (3) (4) (5) (6) (7) (8) (9) (10) (11) (12) (13) (14) (15) (16) (17) (18) (19) (20) (21) (22) (23) (24) (25) (26) (27) (28) (29) (30) (31) (32) (33) (34) (35) (36) (37) (38) (39) (40) (41) (42) (43) (44) (45) (46) (47) (48) (49) (50) (51) (52) (53) (54) (55) (56) (57) (58) (59) (60) (61) (62) (63) (64) (65) (66) (67) (68) (69) (70) (71) (72) (73) (74) (75) (76) (77) (78) (79) (80) (81) (82) (83) (84) (85) (86) (87) (88) (89) (90) (91) (92) (93) (94) (95) (96) (97) (98) (99) (100)

PLAN PREPARED BY:

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HOMESTEAD ROAD, CHAPEL HILL, NC - ORANGE COUNTY
BRIDGEPOINT
 SPECIAL USE PERMIT MODIFICATION PLANS
KB HOME CAROLINAS
 GROUP UNIT ELEVATION EXHIBIT



Issue Dates:
 01/02/2020 - Initial Submittal to Town

Date: 01/02/2020
 Scale: 1/8" = 1'-0"
 Drawn By: JRR Checked By: CMR
 Project Number: 18-0001-978
 Drawing Number: 10 / 10