

# MONTESSORI COMMUNITY SCHOOL CAMPUS EXPANSION

## 4512 POPE ROAD, DURHAM, NC 27707

1st SUP SUBMITTAL: FEBRUARY 23, 2017  
2nd SUP SUBMITTAL: JULY 21, 2017



**Coulter  
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NC BOARD OF EXAMINERS FOR  
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LIC # C-1209  
NC BOARD OF LANDSCAPE  
ARCHITECTS LIC # C-104



Project:  
**MONTESSORI  
COMMUNITY  
SCHOOL  
CAMPUS  
EXPANSION**

4512 Pope Rd.  
Durham, NC 27707

Town of Chapel Hill  
Planning Jurisdiction

Durham County,  
North Carolina

PIN:  
0709-03-04-0858

PRELIMINARY - NOT  
FOR CONSTRUCTION

Job Number: 1337

Drawn	WLR, MTC, EDM, TRM
Checked	PBR, AJP
Date	2/23/2017
Revisions	1, 7-21-17

SPECIAL USE PERMIT

Sheet Title:

cover sheet

Sheet Number  
**C000**

### PROJECT DATA

<b>SITE INFORMATION</b>	MONTESSORI COMMUNITY SCHOOL INC. 0709-03-04-0858
OWNER	0709-03-04-0858
PIN	576,262 SF / 13.23 AC
LAND AREA (NET)	576,262 SF x 1.10 = 633,889 SF / 14.55 AC
LAND AREA (GROSS)	574,167 SF / 13.18 AC
LAND AREA (AFTER ROW DEDICATION)	
DISTURBED AREA	200,836 SF / 4.61 AC
SITE AREA IN 100 YEAR FLOOD PLAIN (INCLUDES FLOODWAY)	N/A
EXISTING USE	ELEMENTARY AND MIDDLE SCHOOL
PROPOSED USE	ELEMENTARY AND MIDDLE SCHOOL (NO CHANGE)
SITE/PROJECT ADDRESS	4512 POPE ROAD, DURHAM, NC 27707
RIVER BASIN	CAPE FEAR, LITTLE CREEK WATERSHED
<b>ZONING INFORMATION</b>	
EXISTING ZONING DISTRICT	OI-2 - 410,271 NET SF / 451,298 GROSS SF R-2 - 165,991 NET SF / 182,591 GROSS SF
FAR	OI-2 > .264 R-2 > .093
MAX. BLDG. AREA (BASED ON GROSS LOT SIZE)	(451,298x.264)+(182,591x.093) = 136,124 SF
USE GROUP:	B
<b>BUILDING INFORMATION</b>	
EXISTING BUILDING SF	5,850 SF
MIDDLE SCHOOL BLDG	5,100 SF
MUSIC & ARTS BLDG	2,950 SF
EXISTING GYM BLDG	3,870 SF
ADMIN/CLASSRM BLDG	1,050 SF
CLASSROOM BLDG	4,220 SF
CLASSROOM BLDG	4,820 SF
CLASSROOM BLDG	30 SF
PORTABLE SHEDS (5)	700 SF
BARN (UNOCCUPIED)	28,890 SF
TOTAL EXISTING	
PROPOSED BUILDING SF	3,000 SF
ADMINISTRATION BLDG	15,000 SF
GYM/ASSEMBLY BLDG	4,000 SF
SENIOR CLASS BLDG	1,500 SF
MAINTENANCE BLDG	
REPLACE 330 SF	
SHEDS WITH 380 SF	50 SF
BUILT STORAGE SPACE	23,550 SF
TOTAL PROPOSED	
PROPOSED TOTAL BUILDING AREA	52,440 SF
EXISTING STUDENT COUNT	270
PROPOSED STUDENT COUNT	300
PROPOSED TEACHER COUNT	50
<b>SITE INFORMATION</b>	
VEHICULAR PARKING SPACES REQUIRED:	1 PER TEACHER = 50 SPACES MAXIMUM: 1.25 PER TEACHER = 62 SPACES
EXISTING:	93 SPACES
ADDITIONAL PROPOSED:	40 SPACES
TOTAL VEHICULAR PARKING SPACES:	133 TOTAL SPACES INCLUDING 7 ADA SPACES, 126 REGULAR SPACES
BICYCLE PARKING SPACES	1 PER 10 STUDENTS = 30 SPACES REQUIRED: 4 CLASS I SPACES (10% REQUIRED) (LOCATED IN GYMATORIUM) PROPOSED: 26 CLASS II SPACES (13 EXTERIOR LOOPS)
IMPERVIOUS SURFACE	111,314 SF
EXISTING:	170,694 SF
TOTAL IMPERVIOUS SURFACE:	
TREE CANOPY COVERAGE	RE: C701 TREE COVERAGE PLAN

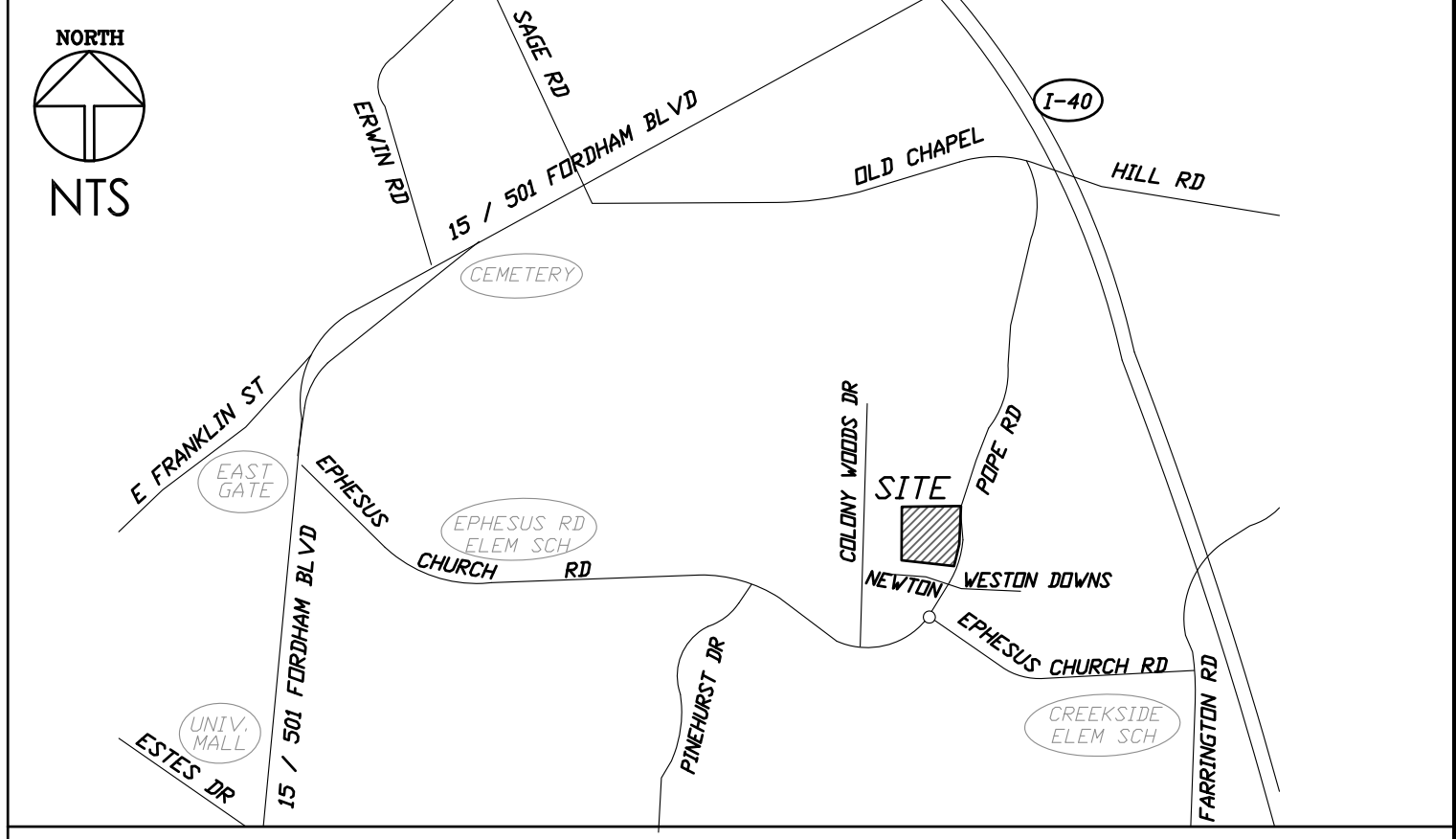
### OVERALL SITE MAP



### TOWN OF CHAPEL HILL NOTES

-ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.

### VICINITY MAP



### PROJECT NOTES

- TOPOGRAPHIC INFORMATION BASED ON SURVEY BY CDK GEOMATICS, PC DATED MARCH 26, 2013.
- SPECIMEN TREE SURVEY AND TOPOGRAPHIC SURVEY OF EX. STORM BASIN TO BE MODIFIED BY C.J.T. DATED DECEMBER 8, 2016.

### RESOURCE CONSERVATION NOTES

**STREAM BUFFERS:**  
THERE ARE NO STREAMS LOCATED ON-SITE PER NORTH CAROLINA DIVISION OF WATER RESOURCES DETERMINATION PERFORMED ON 11/30/2016. AS SUCH NO JORDAN BUFFERS ARE REQUIRED. THERE IS A 50' TOWN OF CHAPEL HILL RCD BUFFER AROUND THE EXISTING STORMPOND SOUTHWEST CORNER OF THE SITE.

**FLOODPLAIN PROTECTION:**  
THE SITE IS NOT AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAPS 3720070900 K (PRELIMINARY ISSUE DATE 3/31/2015) AND 3710979900 L (PRELIMINARY ISSUE DATE 8/30/2013).

**STEEP SLOPE PROTECTION:**  
STEEP SLOPE AREAS ARE LABELED ON SHEET C100.

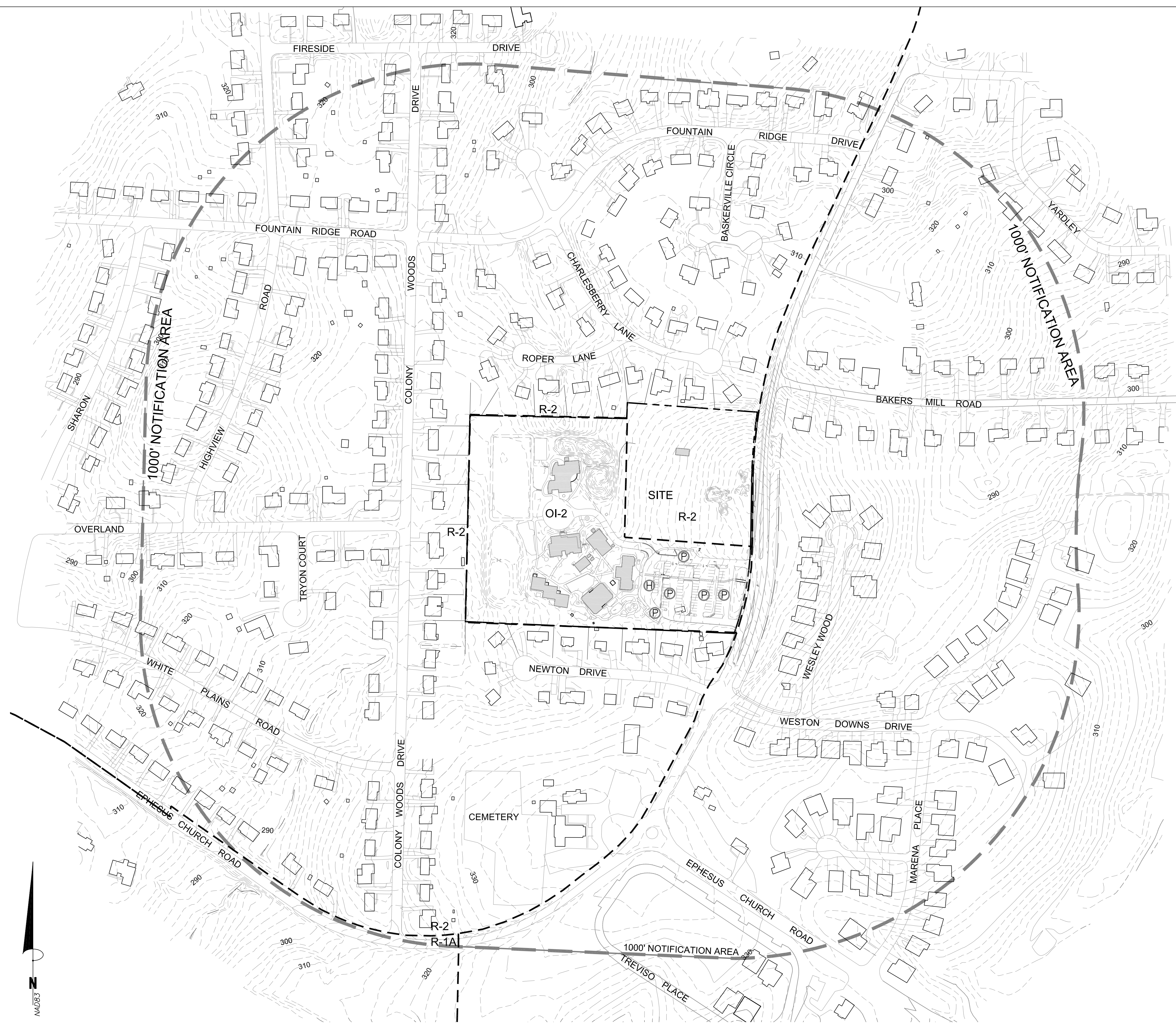
**TREE SURVEY:**  
TREE SURVEY SHOWING ALL REQUIRED RARE AND SPECIMEN TREES IS SHOWN ON SHEET C100.

**WETLANDS:**  
THERE ARE WETLANDS LOCATED ONSITE AT THE FRINGE OF THE EX. STORM PONDS. SEE SHEET C100.

**TREE PROTECTION:**  
REFER TO SHEETS C700 AND C701.

### PROJECT TEAM:

<b>ARCHITECT</b> GGA ARCHITECTS, PA 308 WEST ROSEMARY STREET, SUITE 302 CHAPEL HILL, NC 27516 919-929-7595 JOSH@JOSHGURLITZ.COM	<b>CIVIL ENGINEER</b> COULTER JEWELL THAMES PA 111 WEST MAIN STREET DURHAM, NC, 27701 919.682.0368 PROYSTER@CJTPA.COM	<b>LANDSCAPE ARCHITECT</b> COULTER JEWELL THAMES PA 111 WEST MAIN STREET DURHAM, NC, 27701 919.682.0368 ANDREW.PORTER@CJTPA.COM
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- LEGEND**
- NOTIFICATION BOUNDARY
  - - - ZONING DISTRICT BOUNDARY
  - PROPERTY LINE
  - - - STREAM
  - ⊕ ADA PARKING
  - Ⓟ VEHICULAR PARKING

**NOTE:**  
 AREA MAP ASSEMBLED USING LINE WORK FROM  
 SITE SURVEY BY KEVIN PIVER, CDK  
 GEOMATICS, PC. SURROUNDING INFORMATION  
 FROM DURHAM COUNTY GIS AND AERIAL  
 PHOTOGRAPHY.

1/ C001  
 AREA MAP  
 SCALE: 1"=150'

Scale 1" = 150'

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Sheet Title:

area map

Sheet Number  
**C001**



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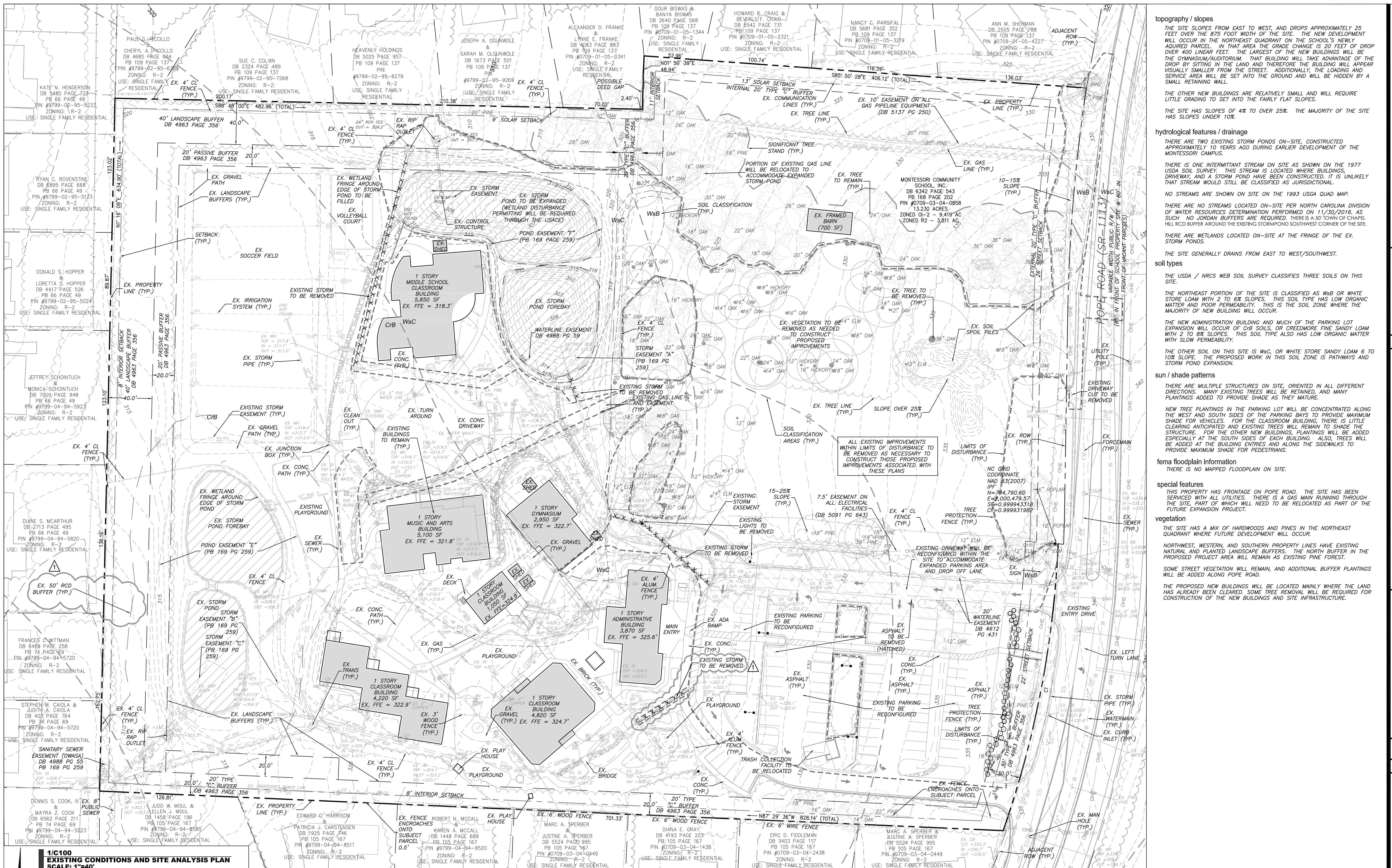
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Sheet Title:

ex. conditions  
and site  
analysis plan

Sheet Number

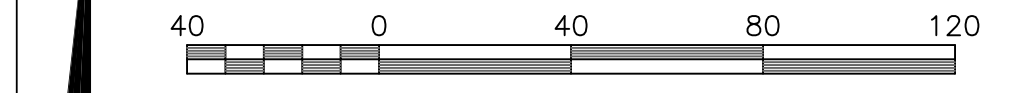
**C100**



**existing conditions and demolition plan notes**

1. ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER AND THAT TREE PROTECTION FENCING CONTINUOUSLY SURROUNDS LIMITS OF DISTURBANCE AND IS APPROVED PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
2. SEE "SITE-COUNT PLAN" SHEET 0208 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS - PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
3. UTILITIES: SEE UTILITY PLAN CS00. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "TWO-CUTS" TO LOCATE SOME UTILITIES.
4. CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
5. CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
6. CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
7. CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
8. ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO CHESA.
9. ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
10. ALL PAVEMENT PATCHING SHALL BE PERFORMED PER CITY SPECIFICATIONS AND STANDARDS.

**1/C100  
EXISTING CONDITIONS AND SITE ANALYSIS PLAN  
SCALE: 1"=40'**



- LEGEND:** Scale 1" = 40'
- EASEMENT
  - WSc SOIL CLASSIFICATION
  - EXISTING SLOPES:
    - no hatch 0-2.4% OF THE SITE HAS <10% SLOPE
    - 10-15% = 10,235 SF (1.8% OF THE SITE)
    - 15-25% = 13,190 SF (2.3% OF THE SITE)
    - >25% = 20,210 SF (3.5% OF THE SITE)

**topography / slopes**  
THE SITE SLOPES FROM EAST TO WEST, AND DROPS APPROXIMATELY 25 FEET OVER THE 875 FOOT WIDTH OF THE SITE. THE NEW DEVELOPMENT WILL OCCUR IN THE NORTHEAST QUADRANT ON THE SCHOOL'S NEWLY ACQUIRED PARCEL. IN THAT AREA THE GRADE CHANGE IS 20 FEET OF DROP OVER 400 LINEAR FEET. THE LARGEST OF THE NEW BUILDINGS WILL BE THE GYMNASIUM/AUDITORIUM. THAT BUILDING WILL TAKE ADVANTAGE OF THE DROP BY SITTING IN THE LAND AND THEREFORE THE BUILDING WILL APPEAR VISUALLY SMALLER FROM THE STREET. ADDITIONALLY, THE LOADING AND SERVICE AREA WILL BE SET INTO THE GROUND AND WILL BE HIDDEN BY A SMALL RETAINING WALL.

THE OTHER NEW BUILDINGS ARE RELATIVELY SMALL AND WILL REQUIRE LITTLE GRADING TO SET INTO THE FAIRLY FLAT SLOPES.

THE SITE HAS SLOPES OF 4% TO OVER 25%. THE MAJORITY OF THE SITE HAS SLOPES UNDER 10%.

**hydrological features / drainage**  
THERE ARE TWO EXISTING STORM PONDS ON-SITE, CONSTRUCTED APPROXIMATELY 10 YEARS AGO DURING EARLIER DEVELOPMENT OF THE MONTESSORI CAMPUS.

THERE IS ONE INTERMITTENT STREAM ON SITE AS SHOWN ON THE 1977 USDA SOIL SURVEY. THIS STREAM IS LOCATED WHERE BUILDINGS, DRIVEWAY, AND A STORM POND HAVE BEEN CONSTRUCTED. IT IS UNLIKELY THAT STREAM WOULD STILL BE CLASSIFIED AS JURISDICTIONAL.

NO STREAMS ARE SHOWN ON SITE ON THE 1993 USGA QUAD MAP.

THERE ARE NO STREAMS LOCATED ON-SITE PER NORTH CAROLINA DIVISION OF WATER RESOURCES DETERMINATION PERFORMED ON 11/30/2016. AS SUCH NO JORDAN BUFFERS ARE REQUIRED. THERE IS A 50' TOWN OF CHAPEL HILL RCD BUFFER AROUND THE EXISTING STORMPOND SOUTHWEST CORNER OF THE SITE.

THERE ARE WETLANDS LOCATED ON-SITE AT THE FRINGE OF THE EX. STORM PONDS.

THE SITE GENERALLY DRAINS FROM EAST TO WEST/SOUTHWEST.

**soil types**  
THE USDA / NRCS WEB SOIL SURVEY CLASSIFIES THREE SOILS ON THIS SITE.

THE NORTHEAST PORTION OF THE SITE IS CLASSIFIED AS WsB OR WHITE STORE LOAM WITH 2 TO 8% SLOPES. THIS SOIL TYPE HAS LOW ORGANIC MATTER AND POOR PERMEABILITY. THIS IS THE SOIL ZONE WHERE THE MAJORITY OF NEW BUILDING WILL OCCUR.

THE NEW ADMINISTRATION BUILDING AND MUCH OF THE PARKING LOT EXPANSION WILL OCCUR ON CbS SOILS, OR CREEDMORE FINE SANDY LOAM WITH 2 TO 8% SLOPES. THIS SOIL TYPE ALSO HAS LOW ORGANIC MATTER WITH SLOW PERMEABILITY.

THE OTHER SOIL ON THIS SITE IS WsC, OR WHITE STORE SANDY LOAM 6 TO 10% SLOPE. THE PROPOSED WORK IN THIS SOIL ZONE IS PATHWAYS AND STORM POND EXPANSION.

**sun / shade patterns**  
THERE ARE MULTIPLE STRUCTURES ON SITE, ORIENTED IN ALL DIFFERENT DIRECTIONS. MANY EXISTING TREES WILL BE RETAINED, AND MANY PLANTINGS ADDED TO PROVIDE SHADE AS THEY MATURE.

NEW TREE PLANTINGS IN THE PARKING LOT WILL BE CONCENTRATED ALONG THE WEST AND SOUTH SIDES OF THE PARKING BAYS TO PROVIDE MAXIMUM SHADE FOR VEHICLES. FOR THE CLASSROOM BUILDING, THERE IS LITTLE CLEARING ANTICIPATED AND EXISTING TREES WILL REMAIN TO SHADE THE STRUCTURE. FOR THE OTHER NEW BUILDINGS, PLANTINGS WILL BE ADDED ESPECIALLY AT THE SOUTH SIDES OF EACH BUILDING. ALSO, TREES WILL BE ADDED AT THE BUILDING ENTRIES AND ALONG THE SIDEWALKS TO PROVIDE MAXIMUM SHADE FOR PEDESTRANS.

**fema floodplain information**  
THERE IS NO MAPPED FLOODPLAIN ON SITE.

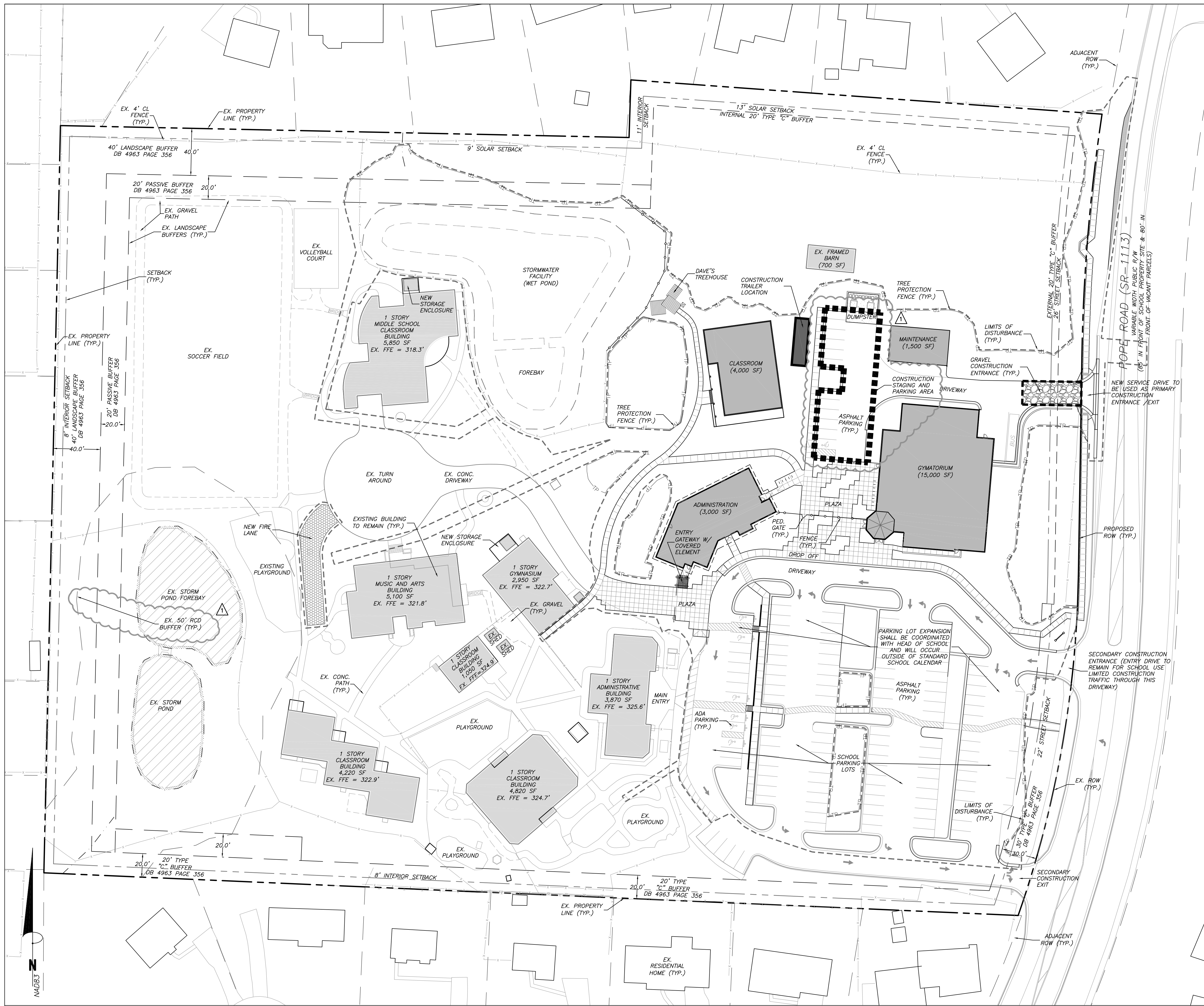
**special features**  
THIS PROPERTY HAS FRONTAGE ON POPE ROAD. THE SITE HAS BEEN SERVICED WITH ALL UTILITIES. THERE IS A GAS MAIN RUNNING THROUGH THE SITE, PART OF WHICH WILL NEED TO BE RELOCATED AS PART OF THE FUTURE EXPANSION PROJECT.

**vegetation**  
THE SITE HAS A MIX OF HARDWOODS AND PINES IN THE NORTHEAST QUADRANT WHERE FUTURE DEVELOPMENT WILL OCCUR.

NORTHWEST, WESTERN, AND SOUTHERN PROPERTY LINES HAVE EXISTING NATURAL AND PLANTED LANDSCAPE BUFFERS. THE NORTH BUFFER IN THE PROPOSED PROJECT AREA WILL REMAIN AS EXISTING PINE FOREST.

SOME STREET VEGETATION WILL REMAIN, AND ADDITIONAL BUFFER PLANTINGS WILL BE ADDED ALONG POPE ROAD.

THE PROPOSED NEW BUILDINGS WILL BE LOCATED MAINLY WHERE THE LAND HAS ALREADY BEEN CLEARED. SOME TREE REMOVAL WILL BE REQUIRED FOR CONSTRUCTION OF THE NEW BUILDINGS AND SITE INFRASTRUCTURE.



**construction management notes**

**FIRE AND EMERGENCY ACCESS NOTE:**

- EMERGENCY ACCESS FOR APPARATUS SHALL BE PROVIDED BY THE CONTRACTOR AT ALL TIMES. ANY CONSTRUCTION FENCING WILL INCLUDE A 20' CLEAR OPENING FOR EMERGENCY VEHICLES.
- FIRE WATCH: DURING CONSTRUCTION AND DEMOLITION WHERE HOT WORK, MATERIALS SUBJECT TO SPONTANEOUS COMBUSTION, OR OTHER HAZARDOUS CONSTRUCTION OR DEMOLITION IS OCCURRING, THE OWNER OR THEIR DESIGNEE SHALL BE RESPONSIBLE FOR MAINTAINING A FIRE WATCH. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION AND SHALL MAINTAIN CONSTANT PATROLS. NC FPC 2012 SECTION 1404 (FIRE).
- CONSTRUCTION/DEMOLITION: ALL CONSTRUCTION AND DEMOLITION CONDUCTED SHALL BE IN COMPLIANCE OF THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC. (FIRE).
- FIRE HYDRANTS MUST BE FULLY OPERATIONAL AND PHYSICALLY APPROVED BY OWASA BEFORE COMBUSTIBLE MATERIALS CAN BE BROUGHT ONTO THE SITE.

**GENERAL CONSTRUCTION NOTES:**

- AN ENGINEERING CONSTRUCTION PERMIT IS REQUIRED PRIOR TO THE START OF ANY WORK IN THE PUBLIC RIGHT-OF-WAY. CONTACT LARRY TUCKER (TOWN ENGINEERING AND DESIGN SERVICES DIVISION, 919-969-5084) TO APPLY FOR THE PERMIT.
- POPE ROAD IS A NCDOT ROAD MAINTAINED THROUGH NCDOT DIVISION 5 IN DURHAM.
- ALL PUBLIC SITE ELEMENTS MUST COMPLY WITH NCBC 2012 CH 11 AND ICC A 117.1 CONTACT TOWN FOR INSPECTION OF FORMS PRIOR TO PLACING CONCRETE FOR CURB CUTS AND ACCESSIBLE ROUTES. IN ACCORDANCE WITH THESE REGULATIONS, ANY SIDEWALK EXCEEDING 5% SLOPE WILL BE CONSIDERED A RAMP.

**SIDEWALK CONSTRUCTION NOTE:**

- CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE IS LIMITED TO 1.8%. CALL TOWN OF CHAPEL HILL INSPECTIONS FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.

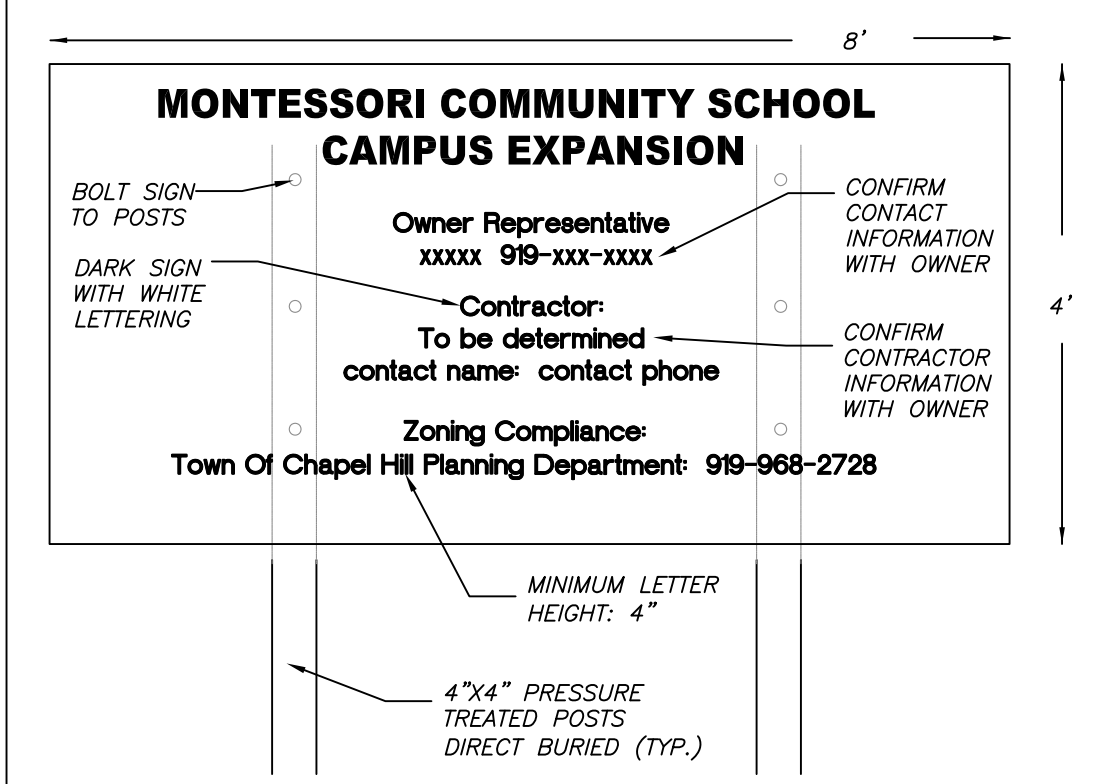
**CONSTRUCTION PARKING NOTE:**

- CONSTRUCTION PARKING IS ALLOWED IN CONSTRUCTION STAGING AREAS AND IN THE CONSTRUCTION AREAS ON THE PROJECT SITE. DURING THE PROJECT, CONSTRUCTION PARKING ON-SITE MUST NOT DISRUPT THE OWNER'S USE OF THE SITE. CONSTRUCTION PARKING IS NOT ALLOWED ON LOCAL RESIDENTIAL STREETS, ON POPE ROAD, OR IN THE MAIN SCHOOL PARKING LOT.

**GRASS PAVER CONSTRUCTION NOTE:**

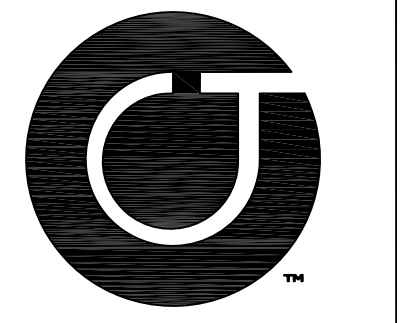
- THE GRASS PAVERS SHOULD BE INSTALLED AT THE END OF CONSTRUCTION TO REDUCE DAMAGE OF THE FINISHED PRODUCT INSTALLATION BY CONSTRUCTION EQUIPMENT.

**2/C110 CONSTRUCTION SIGN**



**NOTES:**

1. SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
2. SIGN IS TO BE A MAXIMUM OF 4' X 8'
3. SIGN IS TO BE REMOVED AT PROJECT COMPLETION.



**Coulter Jewell Thames**  
ARCHITECTURE

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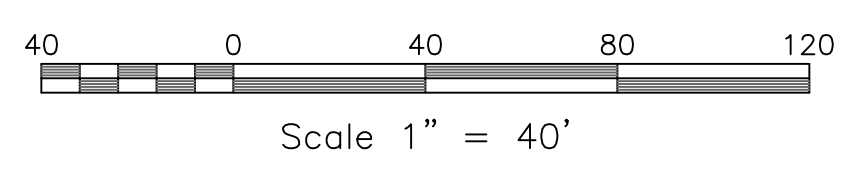
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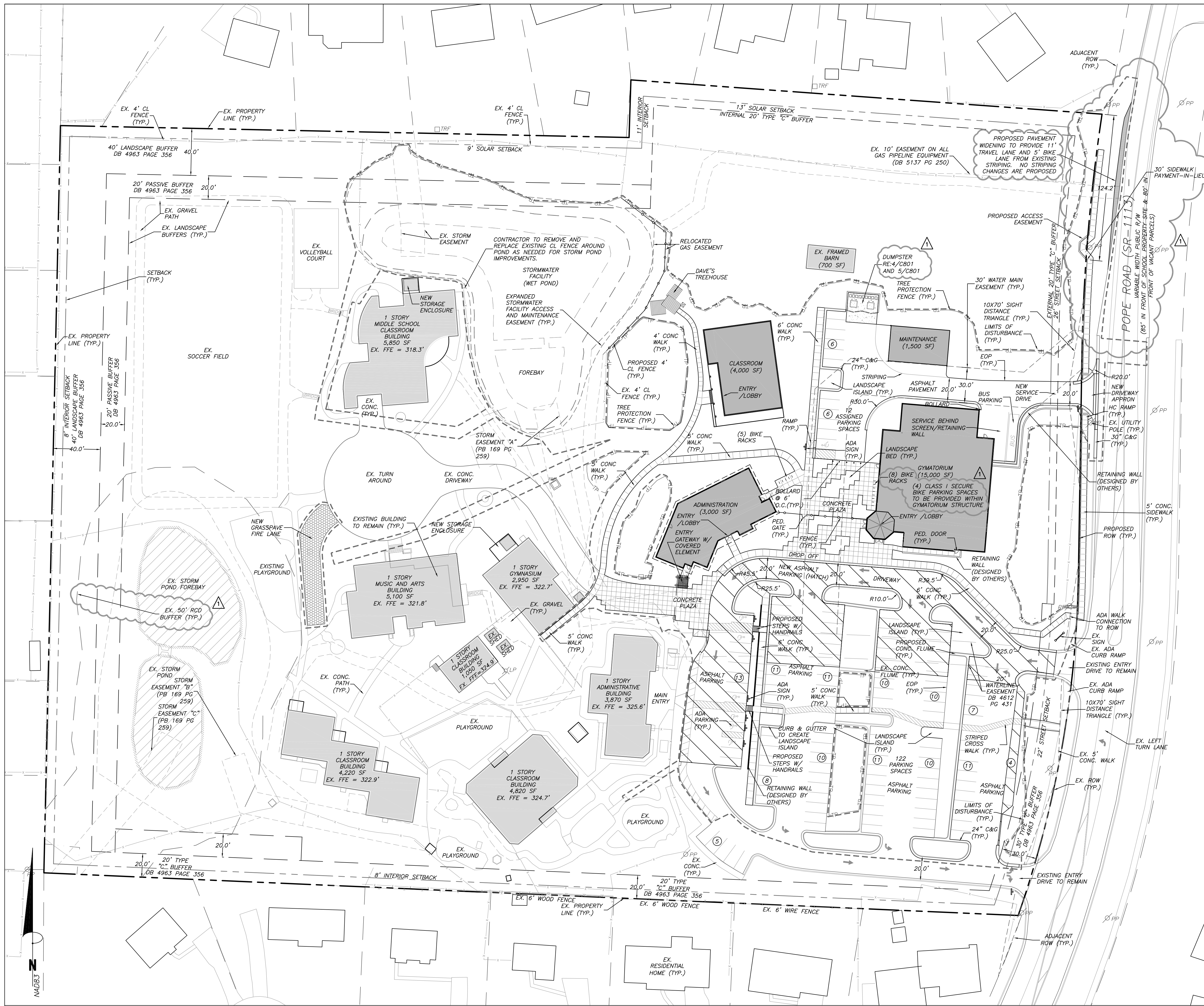
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Sheet Title:

**construction management plan**  
Sheet Number

**C101**





- site plan notes**
1. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
  2. DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
  3. LAYOUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
  4. REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
  5. ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8B MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
  6. REFERENCE EXISTING CONDITION / DEMOLITION PLAN SHEETS C100 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.

**parking summary**

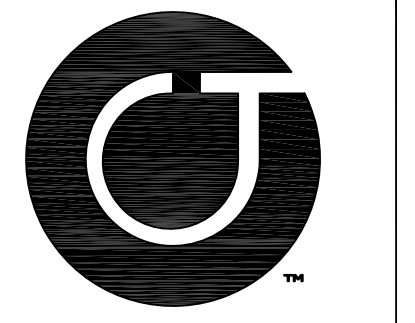
EXISTING PARKING:	93 SPACES
ADDITIONAL PARKING PROPOSED:	40 SPACES
TOTAL PROPOSED PARKING:	133 SPACES

**building summary**

EXISTING SQUARE FOOTAGE:	28,890 SF
PROPOSED ADDITIONAL BUILDING AREA:	23,550 SF
TOTAL BUILDING AREA POST CONSTRUCTION:	52,440 SF

**ada route notes apply to all sheets**

- FOR ALL SIDEWALKS THE FOLLOWING APPLIES:
1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
  2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
  3. MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
  4. ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
  5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.



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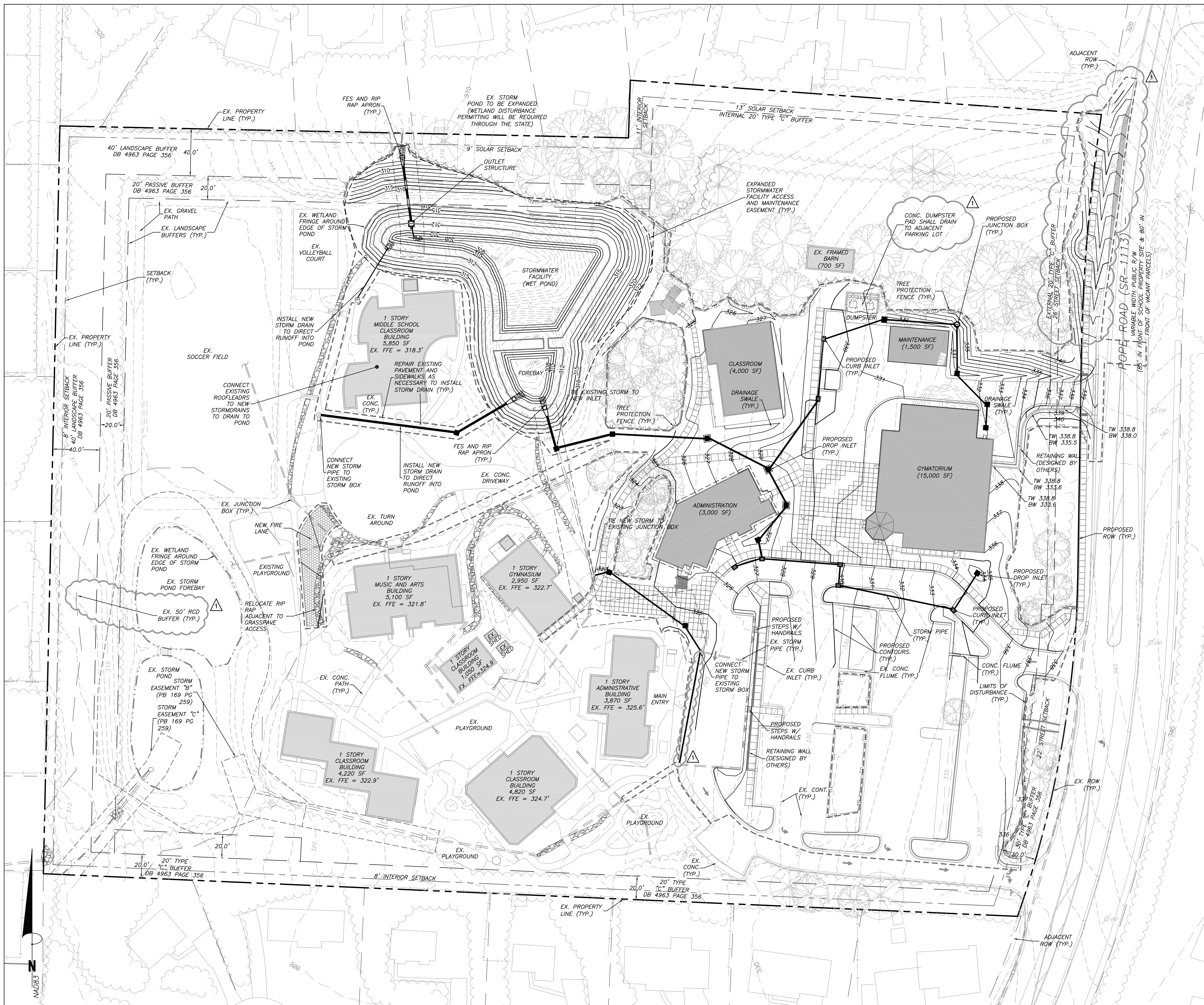
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SPECIAL USE PERMIT

Sheet Title:

site layout plan

Sheet Number  
**C200**



**grading and storm drainage notes**

- GRADING NOTES:**
1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
  2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
  3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
  4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
  5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
  6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO BE QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
  7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
  8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
  9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
  10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.

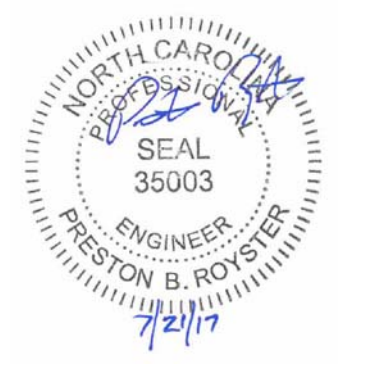
- STORM DRAINAGE NOTES:**
1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
  2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
  3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
  4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
  5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
  6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
  7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
  8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
  9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
  10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
  11. DISCHARGES FROM DUMPSTERS ARE CONSIDERED AN ILLICIT DISCHARGE AND CANNOT BE DISCHARGED INTO THE STORMWATER COLLECTION SYSTEM.



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-109  
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



**Project:**  
**MONTESSORI COMMUNITY SCHOOL CAMPUS EXPANSION**

4512 Pope Rd.  
Durham, NC 27707  
Town of Chapel Hill Planning Jurisdiction  
Durham County, North Carolina

PIN: 0709-03-04-0858

PRELIMINARY- NOT FOR CONSTRUCTION

Job Number: 1337

Drawn	WLR, MTC, EDM, TRM
Checked	PBR, AJP
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Revisions	1, 7, 21-17

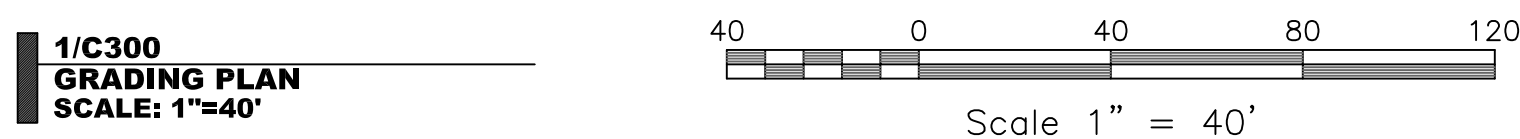
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Sheet Title:

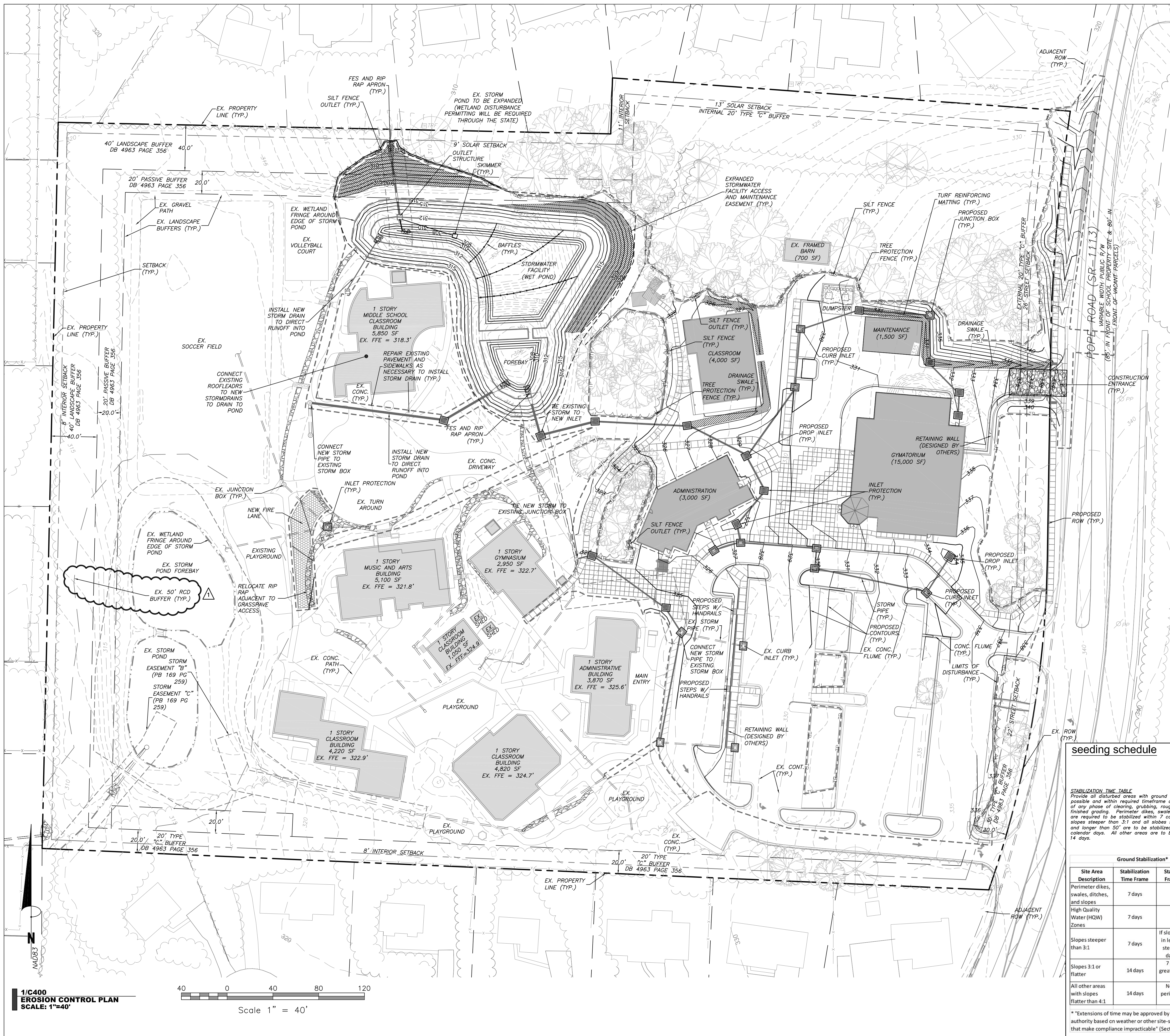
**grading and storm drainage plan**

Sheet Number

**C300**



1/C300  
GRADING PLAN  
SCALE: 1"=40'



**CONSTRUCTION SEQUENCE**

- Pre Construction
1. Verify that all approvals and permits necessary to begin and complete the project are in hand. Approval and permits must be obtained prior to disturbance so that work will not be interrupted or delayed due to the lack of approved plans.
  2. Schedule and hold a preconstruction conference before starting demolition, clearing or grading with the owner, contractor responsible for grading and erosion control plan, and the Orange County Erosion Control Inspector.
  3. Install a rural type mailbox on the site to hold a copy of the approved erosion control plan and to provide a place for the inspector(s) to leave inspection reports, compliance notices, etc. Place the mailbox in a convenient location, such as at the entrance to the site or next to the construction trailer. Erosion control personnel will leave correspondence in the box and raise the red flag if personnel responsible for erosion control cannot be located on the site. Site personnel should check the box daily.
- Construction
4. Install gravel construction entrance.
  5. Install silt fence. Install inlet protection around existing inlets. Install swales and sediment basin. Clear and demo areas shown inside of the limits of disturbance as necessary to begin construction. Limit disturbance to areas necessary for construction activities at that time. Stabilize disturbed areas as soon as possible.
  6. Demo existing utilities as shown and construct new storm drainage. Install inlet protection around new inlets immediately after construction. Seal all junction boxes from stormwater intake from surface. Seal any inlets to stormwater structures not protected by inlet protection.
  7. Minimize the amount of area disturbed at any one time.
  8. If it is determined during the course of construction that significant sediment is leaving the site despite proper implementation and maintenance of the approved erosion control plan, the person responsible for the land disturbing activity is obligated to take additional protective action.
  9. Inspect and maintain the erosion control devices so they continue to function properly. Refer to the instructions in the erosion control plan for specific instructions for each device. The person responsible for erosion control is also responsible for taking the initiative in inspecting and maintaining these devices. Do not wait for erosion control personnel to point out the need for repairs and maintenance. Keep mud and debris off the public street at all times. If mud or debris is tracked from the site, use a shovel and broom to remove it immediately. IF MUD AND DEBRIS ARE NOT KEPT OFF THE STREET, ENFORCEMENT ACTION (REVOKING THE GRADING PERMIT AND/OR A STOP WORK ORDER) MAY BE TAKEN!
  10. Permanently stabilize all disturbed areas. Refer to seeding schedule for types of stabilization to be used.
  11. When construction is completed, remove all temporary erosion control devices after the drainage area above has been sufficiently stabilized to restrain erosion. Remove and properly dispose of accumulated sediment and the debris from the devices, and stabilize the location.
- Arrange a final inspection with the erosion control inspector to confirm that all requirements of the approved erosion control plan have been completed.

**erosion control notes**

- EROSION CONTROL NOTES:**
1. EROSION CONTROL BOND: IF ONE (1) ACRE OR MORE IS UNCOVERED BY LAND-DISTURBING ACTIVITIES FOR THIS PROJECT, THEN A PERFORMANCE GUARANTEE IN ACCORDANCE WITH SECTION 5-97.1 BONDS OF THE TOWN CODE OF ORDINANCES SHALL BE REQUIRED PRIOR TO AUTHORIZATION TO BEGIN LAND-DISTURBING ACTIVITIES. THIS FINANCIAL GUARANTEE IS INTENDED TO COVER THE COSTS OF RESTORATION OF FAILED OR FAILING SOIL EROSION AND SEDIMENTATION CONTROLS, AND/OR TO REMEDY DAMAGES RESULTING FROM LAND-DISTURBING ACTIVITIES, SHOULD THE RESPONSIBLE PARTY OR PARTIES FAIL TO PROVIDE PROMPT AND EFFECTIVE REMEDIES ACCEPTABLE TO THE TOWN.
  2. THE APPLICANT SHALL PROVIDE A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PERMIT FROM ORANGE COUNTY EROSION CONTROL DIVISION PRIOR TO RECEIVING A ZONING COMPLIANCE PERMIT. DURING THE CONSTRUCTION PHASE, ADDITIONAL EROSION AND SEDIMENT CONTROLS MAY BE REQUIRED IF THE PROPOSED MEASURES DO NOT CONTAIN THE SEDIMENT, SEDIMENT LEAVING THE PROPERTY IS A VIOLATION OF THE TOWN'S EROSION AND SEDIMENT CONTROL ORDINANCE.
  3. THE CONTRACTOR SHALL TAKE THE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE DEPOSIT OF WET OR DRY SILT ON ADJACENT PAVED ROADWAYS.
  4. EROSION CONTROL INSPECTIONS: IN ADDITION TO THE REQUIREMENT DURING CONSTRUCTION FOR INSPECTION AFTER EVERY RAINFALL, THE APPLICANT SHALL INSPECT THE EROSION AND SEDIMENT CONTROL DEVICES WEEKLY, MAKE ANY NECESSARY REPAIRS OR ADJUSTMENTS TO THE DEVICES, AND MAINTAIN INSPECTION LOGS DOCUMENTING THE DAILY INSPECTIONS AND ANY NECESSARY REPAIRS.

**seeding schedule**

**STABILIZATION TIME TABLE**  
Provide all disturbed areas with ground cover as soon as possible and within required timeframe after completion of any phase of clearing, grubbing, rough grading, or finished grading. Perimeter dikes, swales, and ditches are required to be stabilized within 7 calendar days. All slopes steeper than 3:1 and all slopes steeper than 4:1 and longer than 50' are to be stabilized within 14 calendar days. All other areas are to be stabilized within 14 days.

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HWQ) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HWQ Zones)

**Ground Stabilization\***

Site Area Description	Stabilization Time Frame	Stabilization Time Frame Exceptions
Perimeter dikes, swales, ditches, and slopes	7 days	None
High Quality Water (HWQ) Zones	7 days	None
Slopes steeper than 3:1	7 days	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
Slopes 3:1 or flatter	14 days	greater than 50 feet in length
All other areas with slopes flatter than 4:1	14 days	None (except for perimeters and HWQ Zones)

\*Extensions of time may be approved by the permitting authority based on weather or other site-specific conditions that make compliance impracticable (Section 11.B(2)(b))

**FALL/WINTER/SPRING TEMPORARY COVER** AUGUST 15 - MAY 1

Lime	2 ton/acre or per soil test
10-10-10 Fertilizer	25 lbs/1000 sf
Oat Seed	2 lbs/1000 sf
Rye Grain Seed	1 lbs/1000 sf
Straw Mulch *	2 ton/acre

**SUMMER TEMPORARY COVER** MAY 1 - AUGUST 15

Lime	2 ton/acre or per soil test
10-10-10 Fertilizer	15 lbs/1000 sf
Bromegrass Seed	1 lbs/1000 sf
Straw Mulch *	2 ton/acre

**SPRING/FALL PERMANENT COVER** MARCH 1 - APRIL 30

Lime	2 ton/acre or per soil test
10-10-10 Fertilizer	25 lbs/1000 sf
Improved Turf Type Fine Fescue Seed	8 lbs/1000 sf
Straw Mulch *	2 ton/acre

**SUMMER PERMANENT COVER** APRIL 1 - AUGUST 15

GRASS	PLANTING DATE	SEEDS <sup>2</sup>	SPRINGS <sup>3</sup>	STOLONS
BERMUDAGRASS	APRIL-JULY	1-2	.75	3-5
BERMUDAGRASS(HYBRID)	APRIL-JULY	-	.75	3-5
CENTIPEDGRASS	MARCH-JULY	25-50	.75	-
ST.AUGUSTINEGRASS	APRIL-JULY	-	1.0	-
TALL FESCUE	SEPT-OCT.15	6	-	-
ZOYSIAGRASS	MAY-JULY	50-1.0	25	3-5

1. OPTIMUM DATE OF PLANTING. SEEDING BEYOND THESE DATES INCREASES THE CHANCE OF FAILURE.  
2. POUNDS PER 1000 SQ.FT.  
3. BUSHELS PER 1000 SQ.FT.

Seeded Preparation: Remove rocks, stumps, roots, etc. Apply lime and fertilizer then rip the soil 4 to 8 inches to mix the nutrients into the soil and to loosen and roughen it to receive seed.  
Seed Temporary cover to stabilize temporary sedimentation control measures and other erosion control devices. Contractor shall install temporary cover suitable for that season and reseed with permanent grass at earliest possible date.  
\* 2 ton/acre straw mulch is approximately 90-95 bales/acre. Anchor straw mulch by applying an asphalt binder emulsion at a rate of 10 gallons per 1000 SF, or install jute, paper or twine netting or excelsior mats staked to ground according to the manufacturer's instructions.

**\*EXPOSED\* AREAS INCLUDE, BUT ARE NOT LIMITED TO:**

- AREAS CLEARED FOR ROADWAY CONSTRUCTION.
- AREAS CLEARED ON RESIDENTIAL BUILDING LOTS.
- DRAINAGE EASEMENTS AND OPEN DRAINAGE CHANNELS.
- SEDIMENT AND EROSION CONTROL MEASURES (SEDIMENT TRAPS, DIVERSION DITCHES, ETC.) AND THE AREAS ADJACENT TO SUCH MEASURES.

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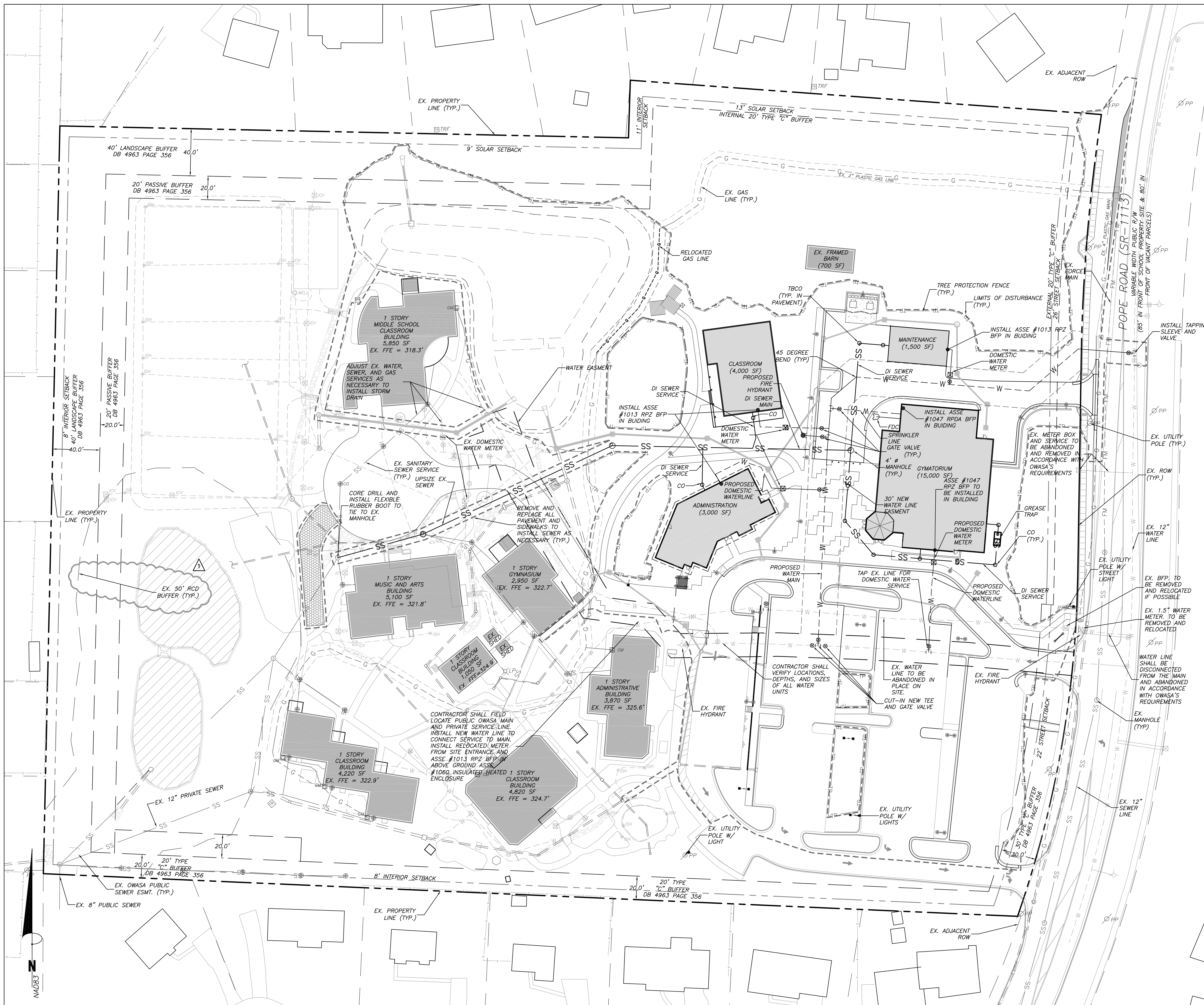
Job Number: 1337

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Checked	PBR, AJP
Date	9-23-2017
Revisions	1, 7, 21-17

SPECIAL USE PERMIT

Sheet Title:  
**erosion control plan**

Sheet Number  
**C400**



**utility plan notes**

- GENERAL NOTES:
- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTRACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
  - ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
  - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH OWASA STANDARDS AND SPECIFICATIONS.
  - ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
  - BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN: TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE. ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
  - ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
  - POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
  - RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING, (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
  - KEY BOXES: WHERE REQUIRED BY THE FIRE CODE OFFICIAL, A SECURE KEY BOX, MOUNTED ON THE ADDRESS SIDE OF THE BUILDING, NEAR THE MAIN ENTRANCE, AND AT THE SPRINKLER RISER ROOM SHALL BE PROVIDED TO ENSURE ADEQUATE ACCESS TO THE BUILDING BASED ON LIFE SAFETY AND/OR FIRE PROTECTION NEEDS. NC FPC 2012, 506 (Fire).
  - A SINGLE ELECTRICAL SERVICE SHALL BE PROVIDED TO SERVE THE STRUCTURE WITH THE EXCEPTION OF THE FIRE PUMP. ARTICLE 230.2 (A) 2014 EDITION OF NORTH CAROLINA ELECTRIC CODE.
  - A ZONE FOR FIRE DEPARTMENT LADDERS AND FIREFIGHTING OPERATIONS MUST BE PROVIDED. THIS WILL REQUIRE ALL LINES TO BE BURIED AROUND THE STRUCTURE. ARTICLE 225.19 (E) 2014 EDITION OF NORTH CAROLINA ELECTRIC CODE.
- SANITARY SEWER:
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
  - MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
  - MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
  - MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- WATER:
- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
  - LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
  - WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
  - WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
  - MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
  - ALL FDC(S) SHALL BE EQUIPPED WITH 2 1/2" SIAMESE CONNECTIONS AND HYDRANT(S) SHOULD BE STANDARD 2 1/2" AND 4 1/2" (NST) NATIONAL STANDARD THREAD.
  - FIRE DEPARTMENT CONNECTIONS, INSTALLATION: A WORKING SPACE OF NOT LESS THAN 36" IN WIDTH AND DEPTH AND A WORKING SPACE OF 78" IN HEIGHT SHALL BE PROVIDED ON ALL SIDES WITH THE EXCEPTION OF WALL MOUNTED FDC'S UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL. THE FDC'S WHERE REQUIRED MUST BE PHYSICALLY PROTECTED BY AN APPROVED BARRIER FROM IMPACTS. NC FPC 2012, 912.1, 912.2 912.2.1, 912.3.2, 312 (FIRE).
  - FIRE DEPARTMENT CONNECTIONS, LOCATIONS: ANY REQUIRED FDC'S FOR ANY BUILDINGS SHALL MEET THE DESIGN AND INSTALLATION REQUIREMENTS FOR THE CURRENT, APPROVED EDITION OF NFPA 13, 130, OR 14 OF THE NC FPC 2012 AND TOWN ORDINANCES, 7-38 FOR LOCATION. FDC'S SHALL BE INSTALLED ON THE STREET / ADDRESS SIDE OF THE BUILDING AND WITHIN 100' OF A HYDRANT OR UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL AND SHALL NOT BE OBSTRUCTED OR HINDERED BY PARKING OR LANDSCAPING. FDC'S SHALL BE EQUIPPED WITH NST.



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Revisions	1, 7, 21-17

SPECIAL USE PERMIT

Sheet Title:

utility plan

Sheet Number  
**C500**

1/C500  
**UTILITY PLAN**  
SCALE: 1"=40'

Scale 1" = 40'





- 2/C600 LIGHTING PLAN NOTES
- MEASURES SHALL BE PROVIDED TO PREVENT LIGHT SPILLOVER ONTO ADJACENT PROPERTIES AND GLARE TOWARD MOTOR VEHICLE OPERATORS. EXTERIOR LIGHTS SHALL BE SHIELDED SO THEY DO NOT CAST DIRECT LIGHT BEYOND THE PROPERTY LINE.
  - PER LUMO SEC. 5.11.4. OFFSITE ILLUMINATION. INCREASES IN ILLUMINATION ON OFF-SITE PROPERTY SHALL NOT RESULT IN LIGHTING LEVELS IN EXCESS OF 0.3 FOOT-CANDELS, MEASURED AT GROUND LEVEL. WHERE EXISTING AMBIENT OFF-SITE LIGHTING LEVELS ARE IN EXCESS OF 0.3 FOOT-CANDELS, NO INCREASE IN MEASURABLE OFF-SITE LIGHTING LEVELS WILL BE ALLOWED AS A RESULT OF OUTDOOR LIGHTING IN THE DEVELOPMENT.
  - CONTRACTOR TO PROVIDE 2" SCH 40 PVC GRAY ELECTRICAL CONDUIT UNDER PAVEMENT, UNDER HEAVILY LANDSCAPED AREAS AND AS NECESSARY TO PROVIDE ACCESS TO ALL LIGHT FIXTURES AND CONNECT BACK TO ELECTRICAL TIE IN LOCATIONS.
  - CONTRACTOR TO COORDINATE LIGHT POLE AND CONDUIT LOCATIONS PRIOR TO PAVING.
  - ALL ELECTRICAL CONDUIT, LIGHT POLES AND FIXTURES SHALL BE FURNISHED BY THE CONTRACTOR.
  - ALL CONDUIT ENDS ARE TO BE CAPPED TO PREVENT ENTRY OF DEBRIS.
  - ALL CONDUITS MORE THAN 30' IN LENGTH SHALL HAVE A POLY STRING INSTALLED.
  - ALL JOINTS ARE TO BE SOLVENT WELDED.

**Sanibel LED**

LED (Light Emitting Diode) 75 watts, 150 watts

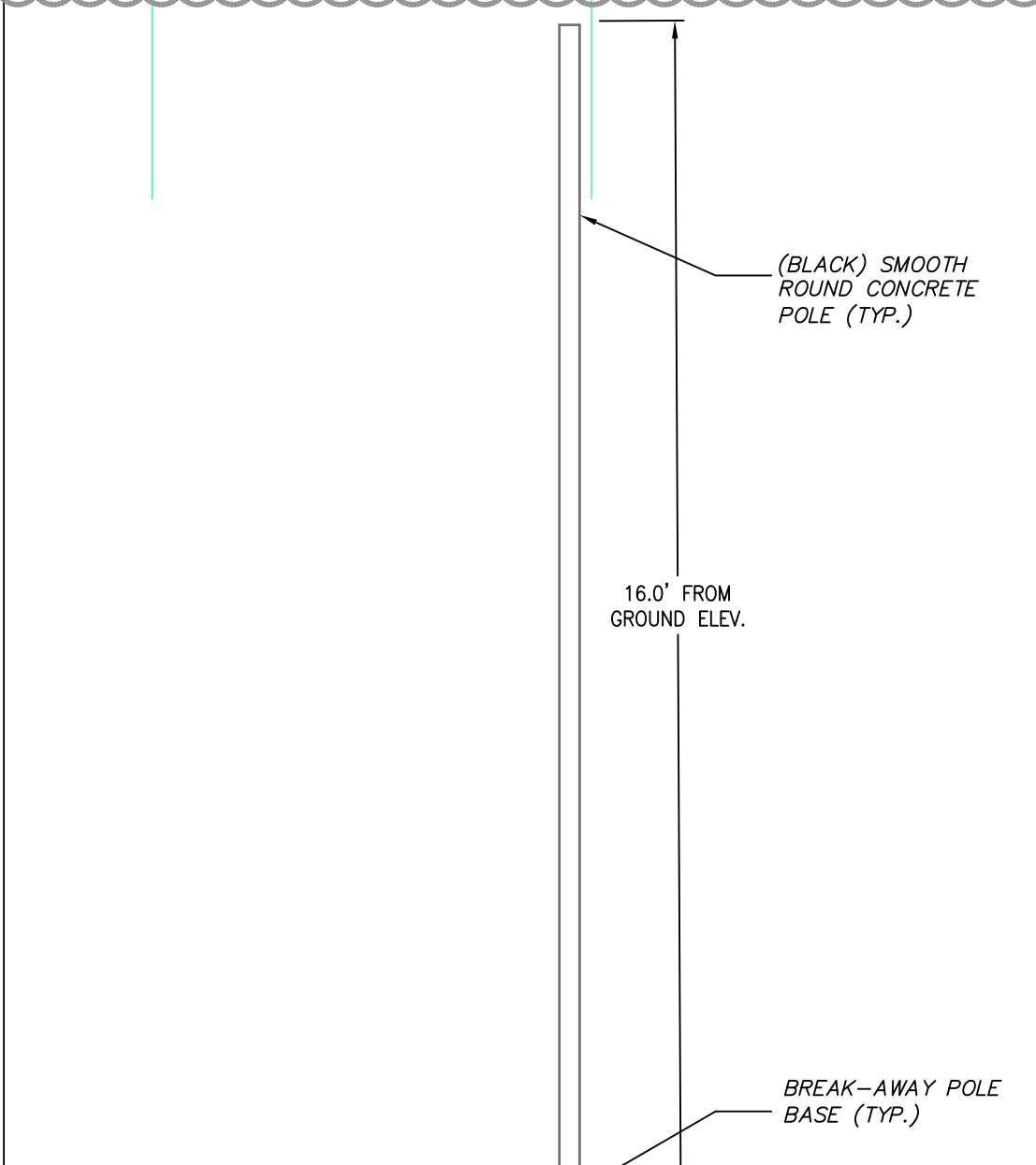
Mounting height 12 [TYP] FT

Color Black

Pole Smooth round concrete

The beauty of the stylish Sanibel LED is its remarkable versatility. Its sleek simplicity, with a gently curved bracket that helps cast light downward, is at home virtually anywhere - from more formal traditional neighborhoods to bohemian communities and other casual locales.

- LIGHT FIXTURE NOTES:
- SANIBEL LED LIGHT FIXTURE SHALL BE MOUNTED ON A 16" TALL POLE.
  - CONTRACTOR SHALL USE DUKE ENERGY POLE "SMOOTH ROUND CONCRETE".
  - LIGHT POLE AND FIXTURE SHALL BE BLACK.
  - CONTRACTOR SHALL COORDINATE LIGHT INSTALLATION W/ DUKE ENERGY.



- LIGHT POLE NOTES:
- LIGHT POLE SHALL BE DUKE ENERGY "SMOOTH ROUND CONCRETE" POLE.
  - LIGHT POLE SHALL HAVE DUKE ENERGY BLACK FINISH.
  - CONTRACTOR SHALL COORDINATED LIGHT POLE INSTALLATION WITH DUKE ENERGY.

3/C600 LIGHT POLE & FIXTURE DETAIL NTS

1/C600 LIGHTING PLAN SCALE: 1"=40'

Scale 1" = 40'

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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1209  
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project:  
**MONTESSORI COMMUNITY SCHOOL CAMPUS EXPANSION**

4512 Pope Rd.  
Durham, NC 27707

Town of Chapel Hill  
Planning Jurisdiction

Durham County,  
North Carolina

PIN:  
0709-03-04-0858

PRELIMINARY- NOT FOR CONSTRUCTION

Job Number: 1337

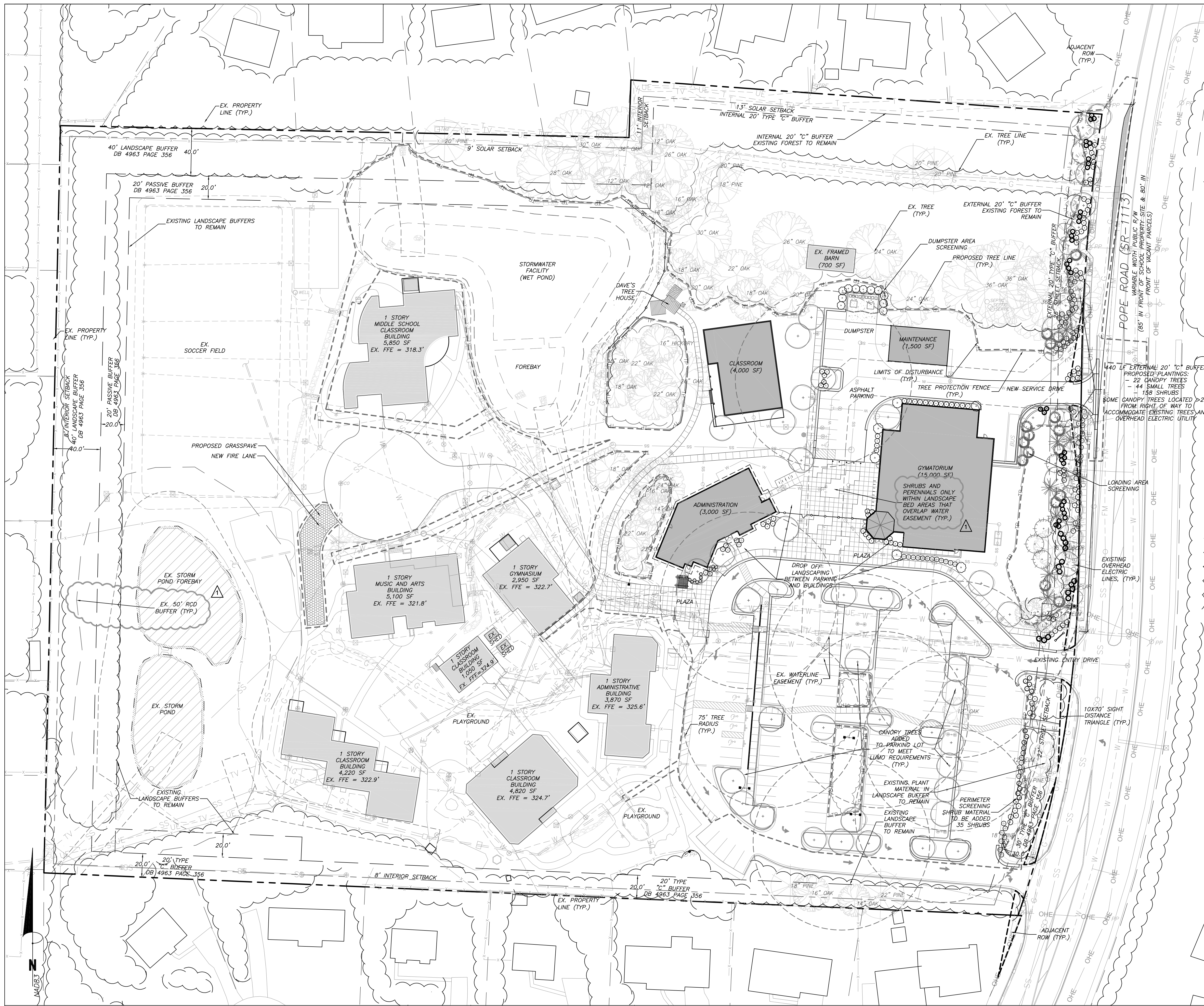
Drawn	WLR, MTC, EDM, TRM
Checked	PBR, AJP
Date	2-23-2017
Revisions	1, 7-21-17

SPECIAL USE PERMIT

Sheet Title:

lighting plan

Sheet Number  
**C600**



landscape plan notes

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADIES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING.
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND GRASS, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.

2/C700 PLANT SELECTION

LANDSCAPE BUFFER PLANTINGS WILL INCLUDE A SELECTION FROM:

- CANOPY TREES:**
- ACER COLUMNARE - Columnar Maple
  - ACER RUBRUM 'AUTUMN BLAZE' - Autumn Blaze Red Maple
  - ACER SACCHARUM 'LEGACY' - Legacy Sugar Maple
  - BETULA NIGRA - River Birch
  - CRYPTOMERIA JAPONICA - Japanese Cedar
  - LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' - Fruitless Sweet Gum
  - PINUS TAEDA - Loblolly Pine
  - PLATANUS OCCIDENTALIS - Sycamore
  - QUERCUS NUTTALLI - Nuttall Oak
- INSTALLATION SIZE WILL BE 2 1/2" CALIBER MIN.
- UNDERSTORY TREES:**
- AMELANCHEIR SPP AUTUMN BRILLIANCE - Autumn Brilliance Serviceberry
  - CARPINUS CAROLINIANA - Hornbeam
  - CORNUS FLORIDA 'WHITE CLOUD' - White Flowering Dogwood
  - CORNUS KOUSA - Kousa Dogwood
  - CHIONANTHUS VIRGINICUS - Fringetree
  - HALESIA CAROLINIANA - Carolina Silverbell
  - ILEX CORNUTA 'BURFORDI' - Burford Holly
  - LAGERSTROEMIA FAUREI - Crape Myrtle
  - MAGNOLIA GRANDIFOLIA 'LITTLE GEM' - Southern Magnolia
  - MYRTA CERIFERA - Southern Wax Myrtle
  - VITEX AGNUS-CASTUS - Chaste Tree
- INSTALLATION SIZE WILL BE 6' HEIGHT MIN.
- SHRUBS/GROUND COVER:**
- ABELIA X GRANDIFLORA - Glossy Abelia
  - AZALEA - Azalea, variety
  - CAMELLIA JAPONICA - Japanese Camellia
  - CALLICARPA AMERICANA - American Beautyberry
  - CEPHALOTAXUS HARRINGTONIA - Plum Yew
  - CHASMANTHIUM LATIFOLIUM - River Gate
  - EUONYMUS JAPONICUS 'MONESS' - Silver Princess Euonymus
  - GARDENIA JASMINOIDES 'KLEIM'S HARDY' - Kleim's Hardy Gardenia
  - ILEX CRENATA 'CARISSA' - Carissa Holly
  - ILEX GLABRA - Inkberry
  - ILEX VERTICILLATA - Deciduous Holly
  - ILLICIUM PARVIFLORUM - Anise
  - LOROPETALUM CHINENSIS - Loropetalum varieties
  - MUHLENBERGIA CAPILLARIS - Pink Muhly Grass
  - MYRTA CERIFERA - Southern Waxmyrtle
  - PANICUM - Switchgrass
  - ROSA - Drift Rose varieties
- INSTALLATION SIZE WILL VARY:  
 LARGE SHRUBS 18"-30"  
 SMALL/SPREADING SHRUBS 12"-15"

- PARKING LOT PLANTINGS WILL INCLUDE A SELECTION FROM:
- CANOPY TREES:**
- ACER RUBRUM 'ARMSTRONG' - Armstrong Red Maple
  - ACER RUBRUM 'OCTOBER GLORY' - October Glory Red Maple
  - ULMUS PARVIFOLIA - Chinese Elm
  - ZELKOVA SERRATA 'VILLAGE GREEN' - Village Green Zelkova
- INSTALLATION SIZE WILL BE 2 1/2" CALIBER MIN.
- UNDERSTORY TREES:**
- CERCIS RENIFORMIS 'OKLAHOMA' - Texas White Redbud
  - LAGERSTROEMIA INDICA - Crape Myrtles
- INSTALLATION SIZE WILL BE 6' HT MIN.
- SHRUBS/GROUND COVER:**
- CEPHALOTAXUS HARRINGTONIA - Plum Yew
  - ILEX - Small hollies
  - JUNIPERUS SARGENTII - Low growing Juniper
  - LOROPETALUM CHINENSIS - Loropetalum varieties
  - MUHLENBERGIA CAPILLARIS - Pink Muhly Grass
  - PANICUM VIRGATUM 'SHENANDOAH' - Shenandoah Switchgrass
- INSTALLATION SIZE WILL VARY:  
 LARGE SHRUBS 18"-30"  
 SMALL/SPREADING SHRUBS 12"-15"



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1285  
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project:  
**MONTESSORI COMMUNITY SCHOOL CAMPUS EXPANSION**

4512 Pope Rd.  
 Durham, NC 27707  
 Town of Chapel Hill Planning Jurisdiction  
 Durham County, North Carolina

PIN: 0709-03-04-0858

PRELIMINARY - NOT FOR CONSTRUCTION

Job Number: 1337

Drawn	WLR, MTC, EDM, TRM
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Revisions	1.7-21-17

SPECIAL USE PERMIT

Sheet Title:

landscape plan

Sheet Number  
**C700**



LOT SIZE: 574,167 SF / 13.18 AC

Less Storm Easement of 74,353 SF  
 Less Water Easements of 27,529 SF  
 Less Gas Easement of 10,780 SF  
 Less Sewer Easement of 376 SF  
 Less Active Recreation of 41,594 SF

NET SITE SIZE = 419,535 SF

REQUIRED TREE COVERAGES = 40% OF NET SITE AREA = 167,814 SF

EXISTING TREE COVERAGE TO REMAIN: 142,493 SF

PROPOSED TREES TO BE INSTALLED:  
 Street Buffer: 9 2.5" cal trees x 500 sf = 4,500 sf  
 Parking Lot: 14 2.5" cal trees x 500 sf = 7,000 sf  
 Site Trees: 24 2.5" cal trees x 500 sf = 12,000 sf  
 Total Credit for Tree Installation: 23,500 sf

PROVIDED TREE COVERAGE:  
 Existing Trees To Remain: 142,493 SF  
 Tree Replacement: 23,500 SF

TOTAL TREE COVERAGE PROVIDED: 165,993 SF

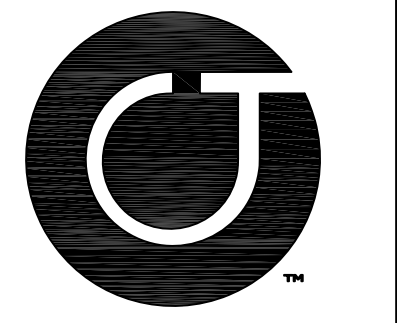
**2/C700 TREE SAVE CALCULATIONS**

LANDSCAPE BUFFER PLANTINGS WILL INCLUDE A SELECTION FROM:

**CANOPY TREES:**  
 INSTALLATION SIZE WILL BE 2.5" CAL. MIN.

**EVERGREEN TREE:**  
 INSTALLATION SIZE BE 8' HEIGHT, 2.5" CAL. MIN.

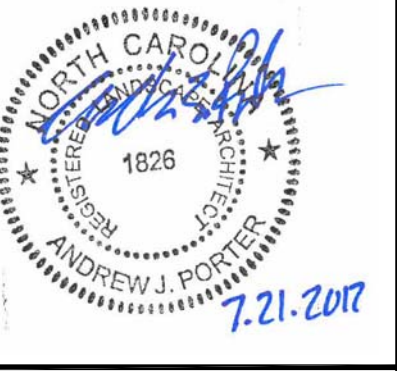
**3/C700 PROPOSED PLANT LEGEND**



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Project:  
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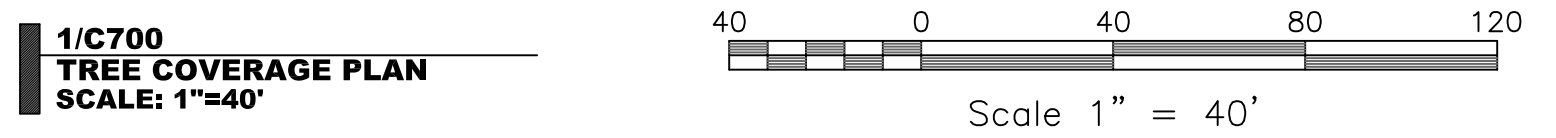
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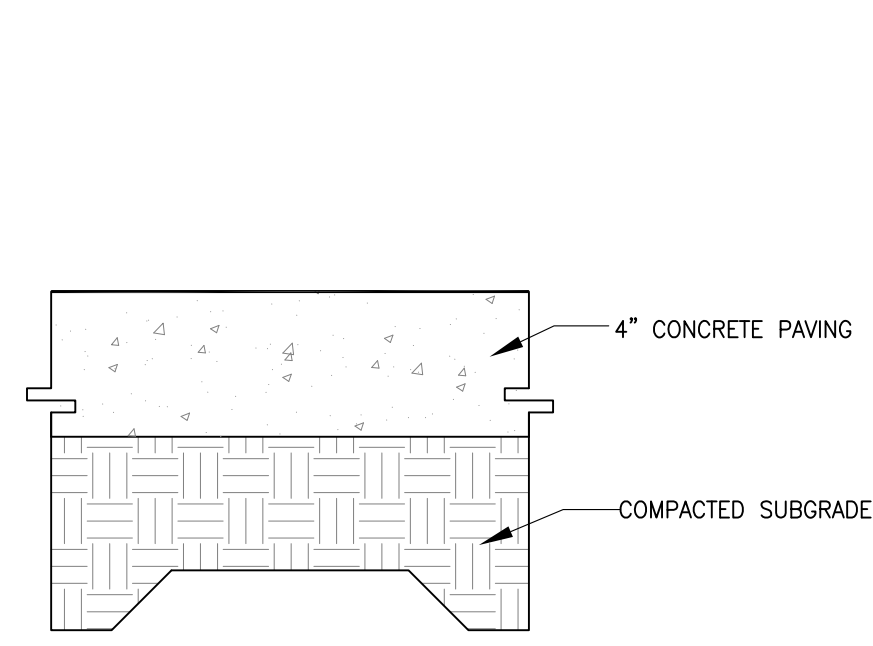
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tree coverage plan

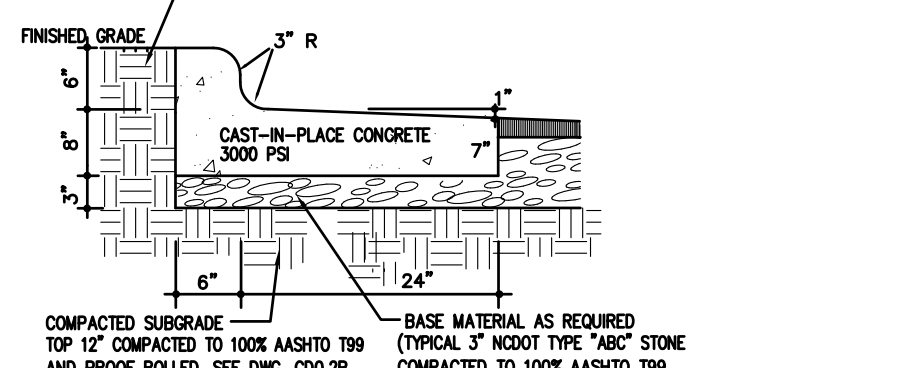
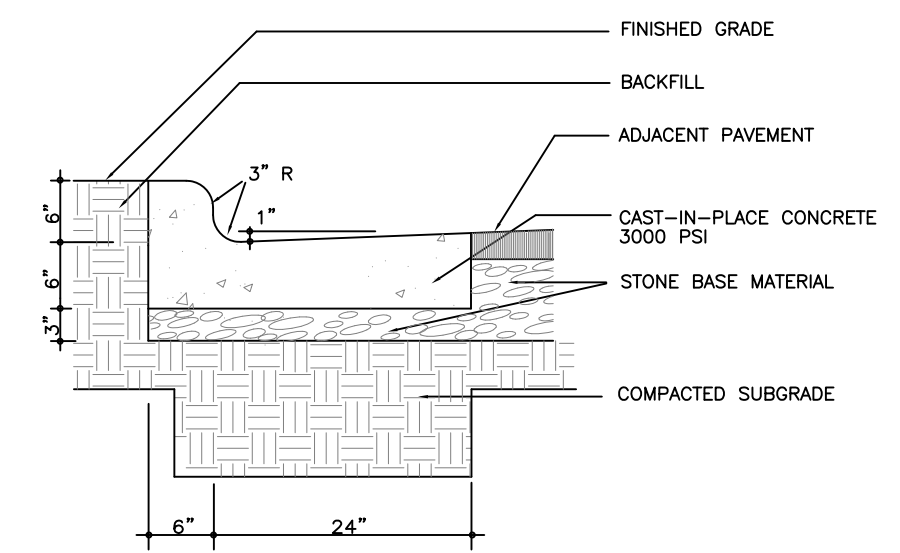
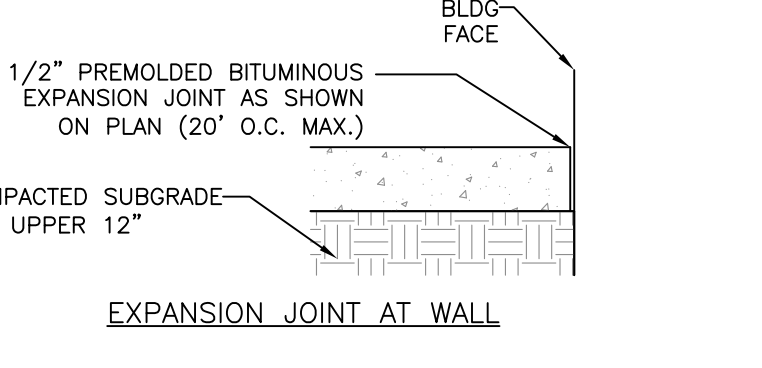
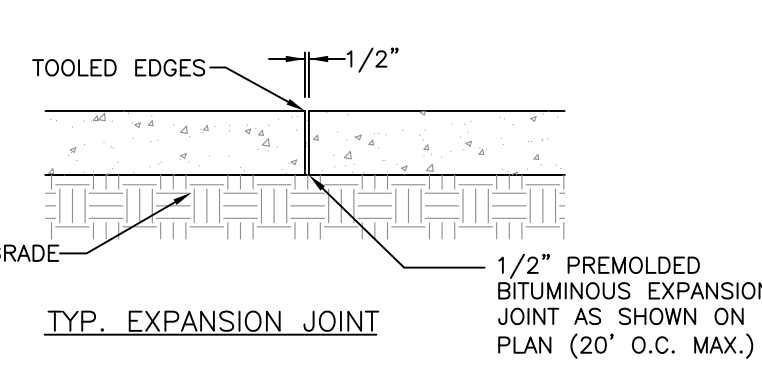
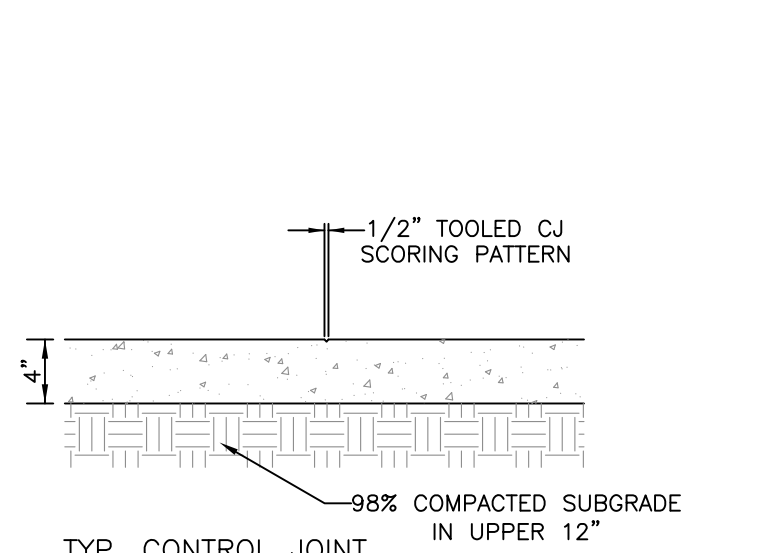
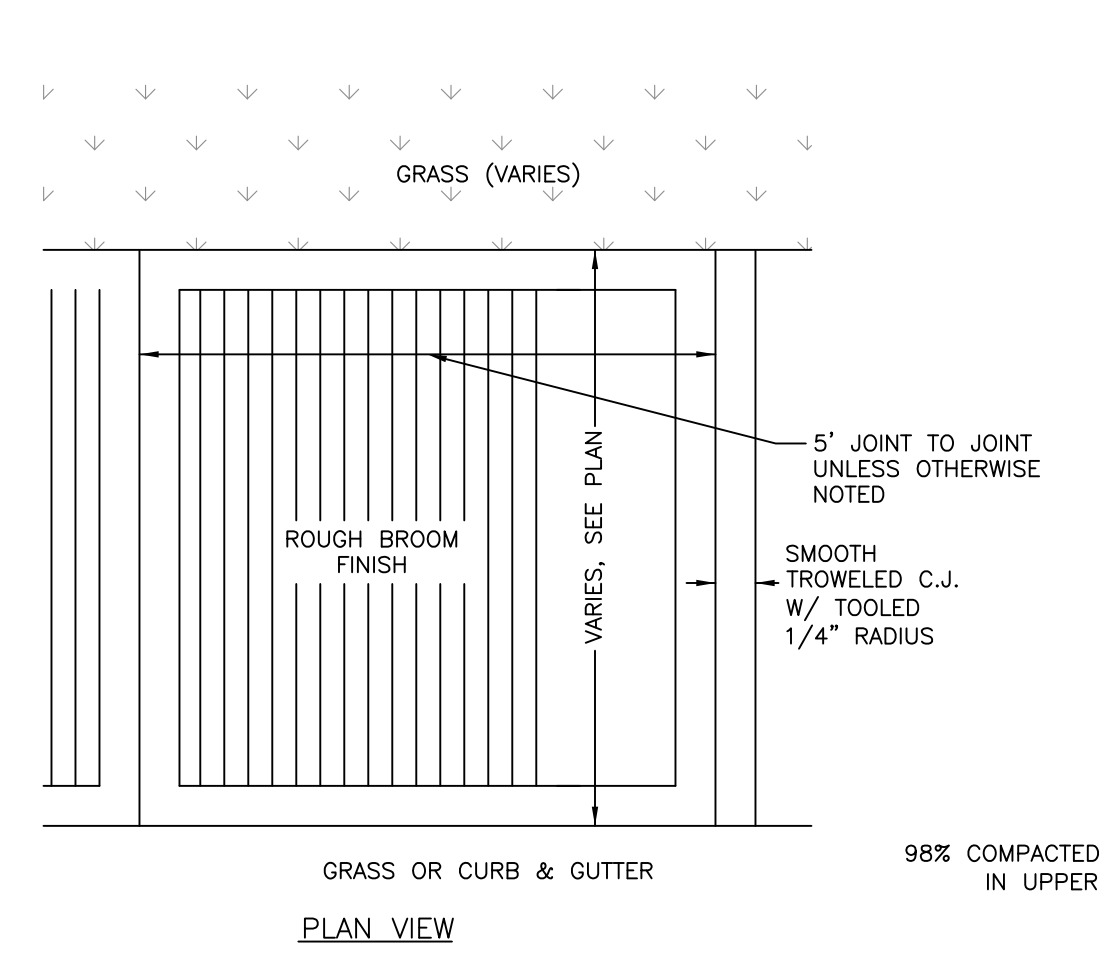
Sheet Number  
**C701**



**1/C700 TREE COVERAGE PLAN**  
 SCALE: 1"=40'



- NOTES:  
 1. ALL CONCRETE 4000 PSI.  
 2. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS  
 3. BROOM FINISH  
 4. SIDEWALK CROSS SLOPES ARE TO BE A MAXIMUM 1.8%



SPILL CURB AS REQ.  
 24" CURB & GUTTER INSIDE SITE.  
 30" CURB & GUTTER IN POPE ROAD ROW.



FINAL PAVEMENT SECTION TO BE PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT



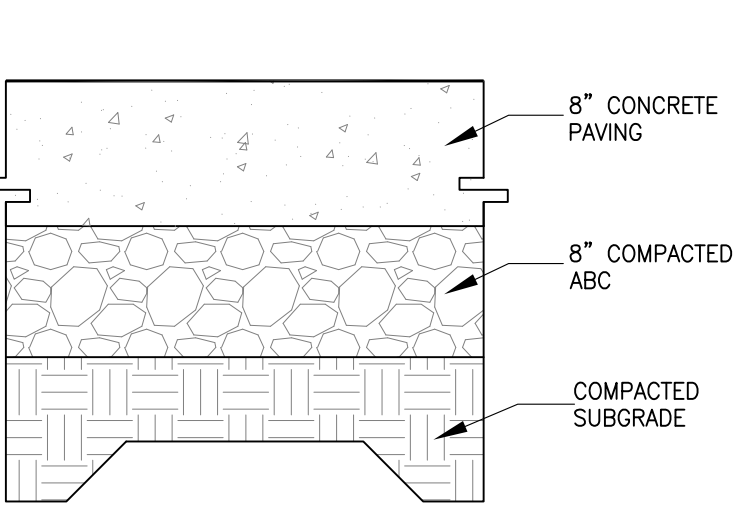
FINAL PAVEMENT SECTION TO BE PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

**1/C800**  
**CONCRETE SIDEWALK**  
 NO SCALE

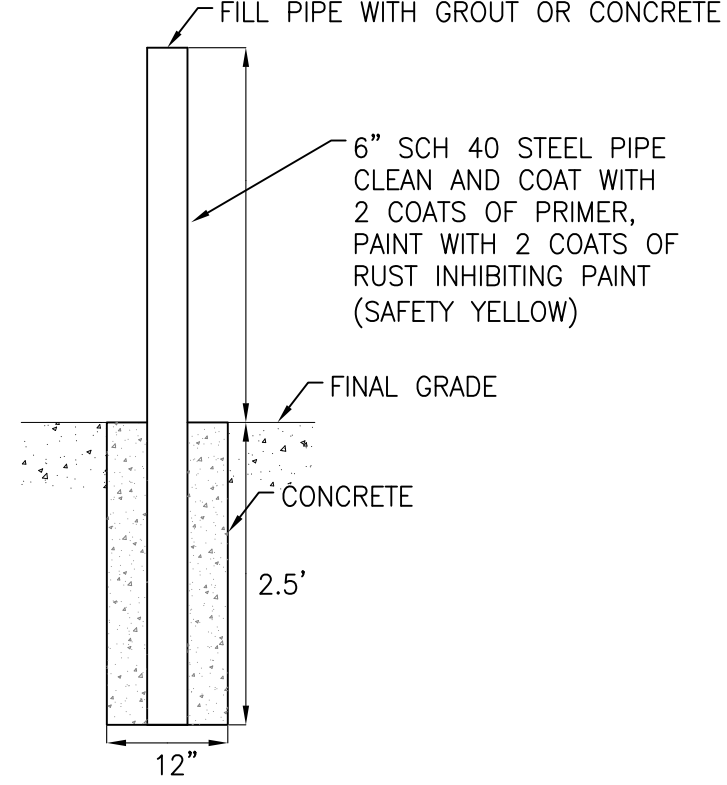
**2/C800**  
**CURB AND GUTTER**  
 NO SCALE

**3/C800**  
**LIGHT DUTY ASPHALT PAVING**  
 NO SCALE

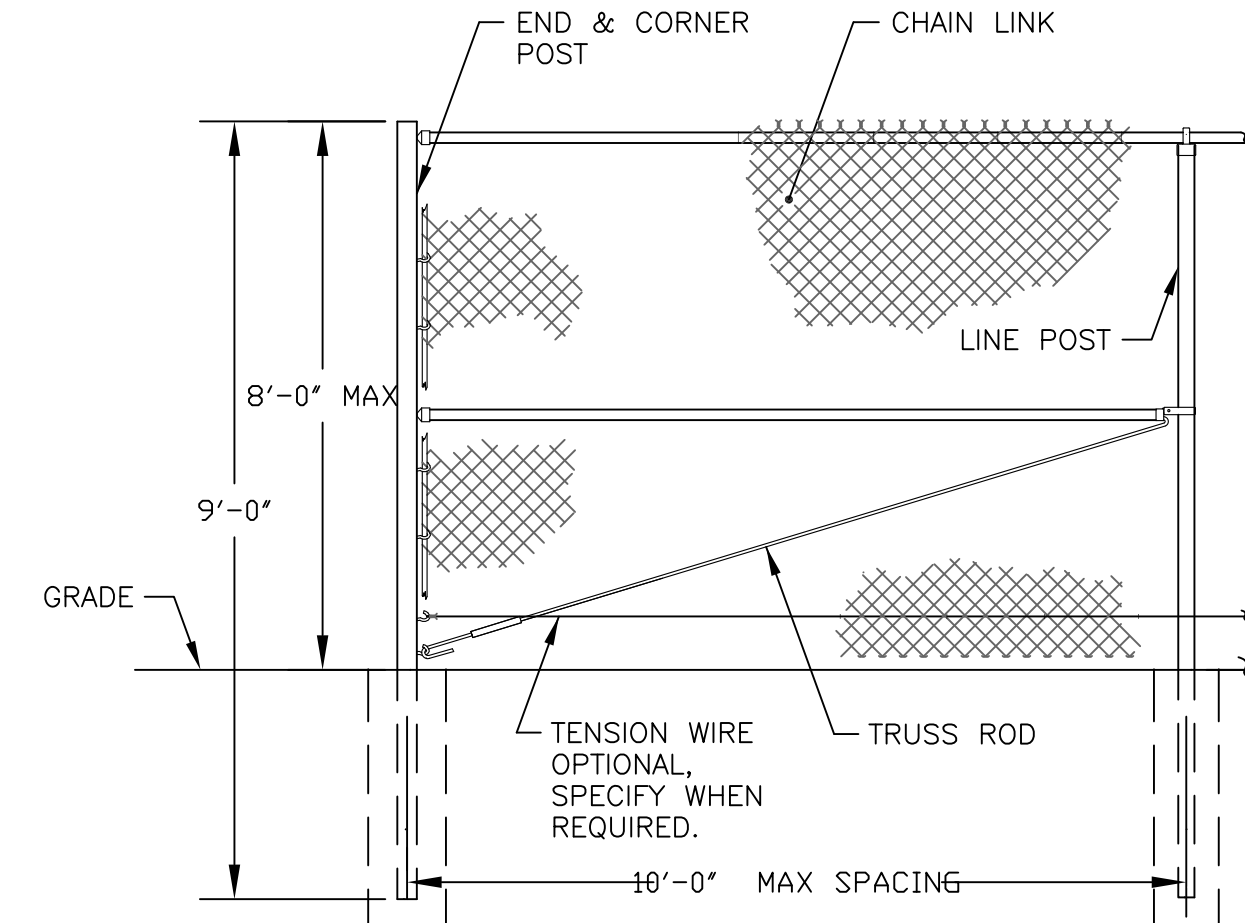
**4/C800**  
**HEAVY DUTY ASPHALT PAVING**  
 NO SCALE



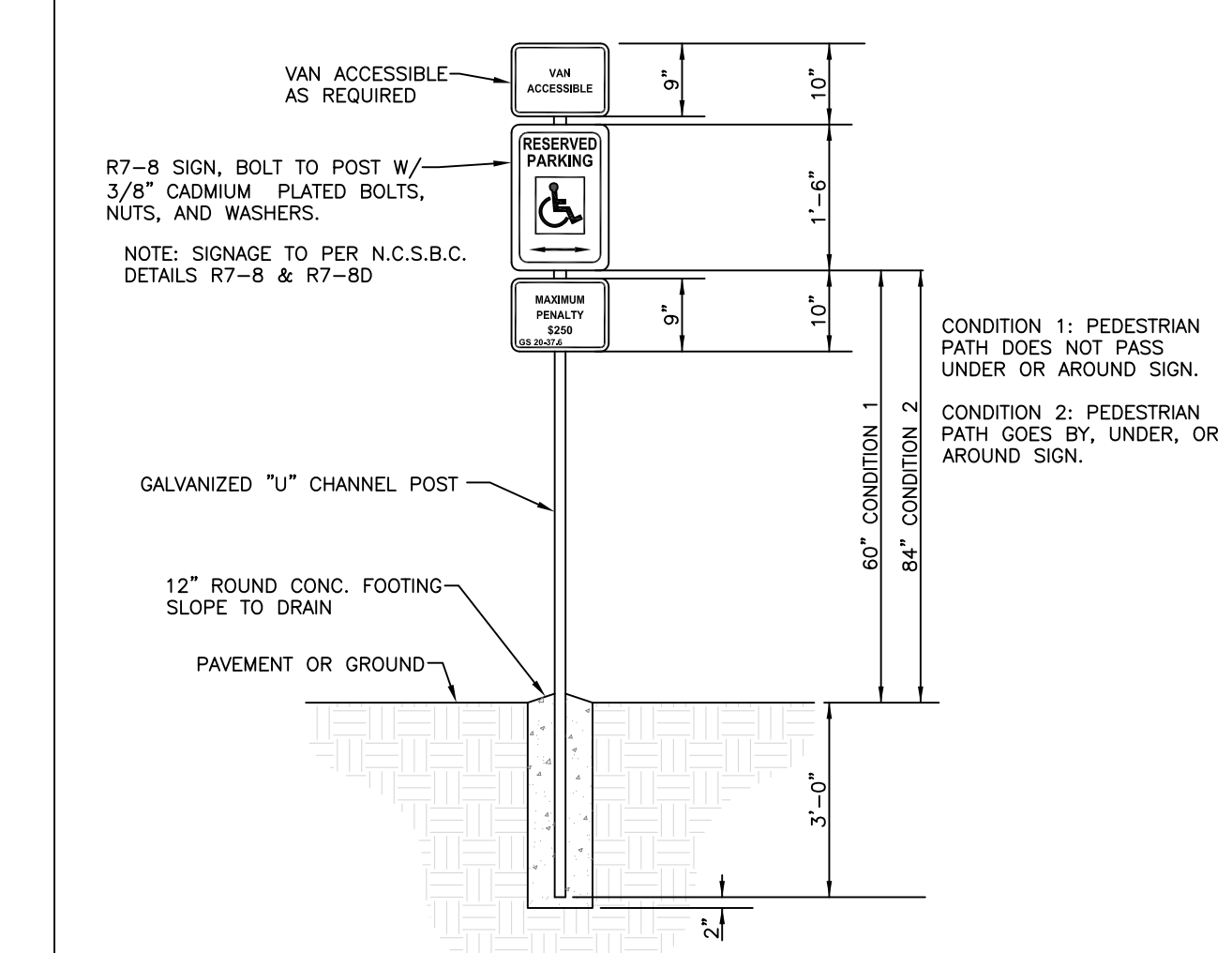
- NOTES:  
 1. ALL CONCRETE 4000 PSI.  
 2. ALL CONCRETE EDGES SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS  
 3. BROOM FINISH



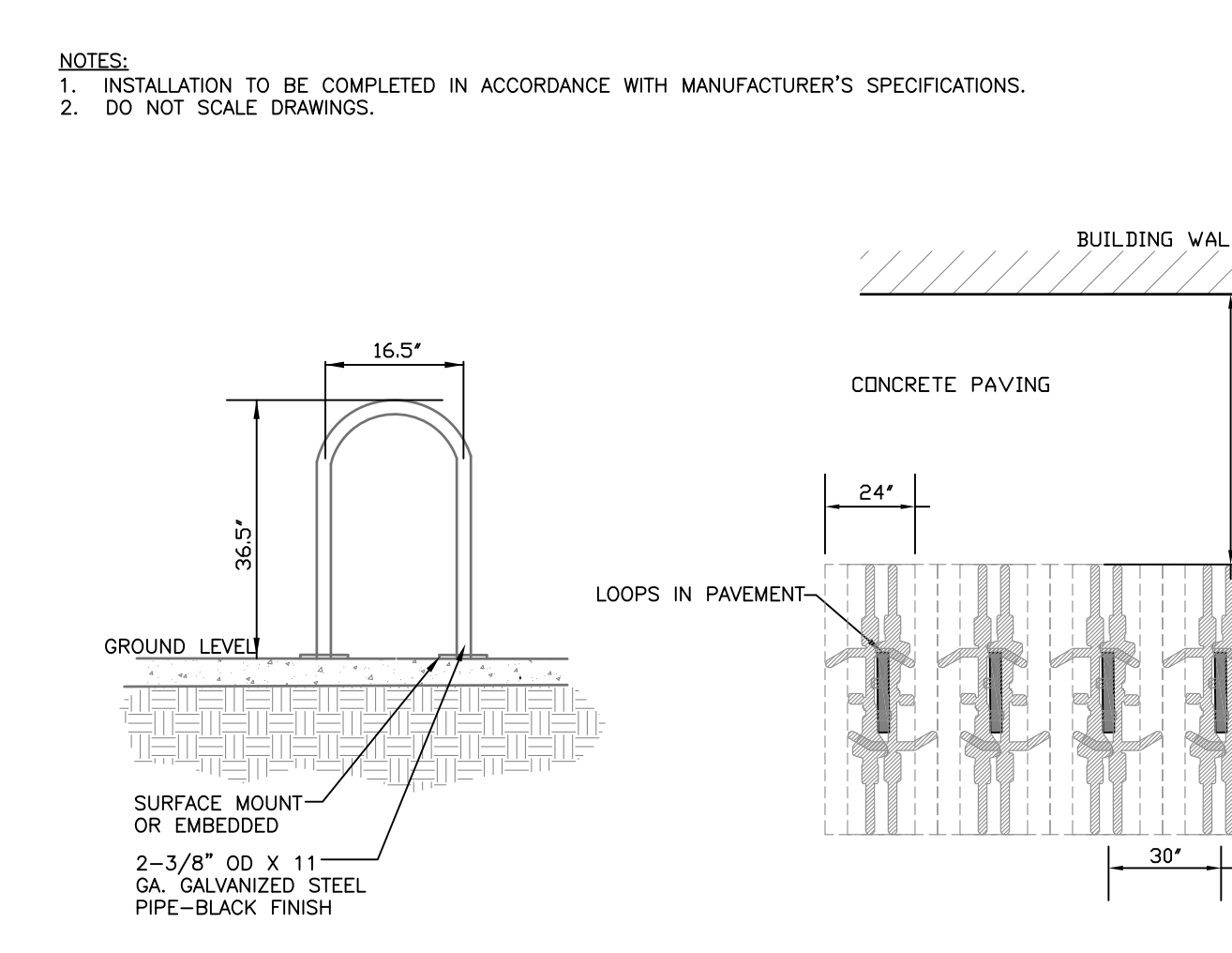
**5/C800**  
**6" BOLLARD**  
 NO SCALE



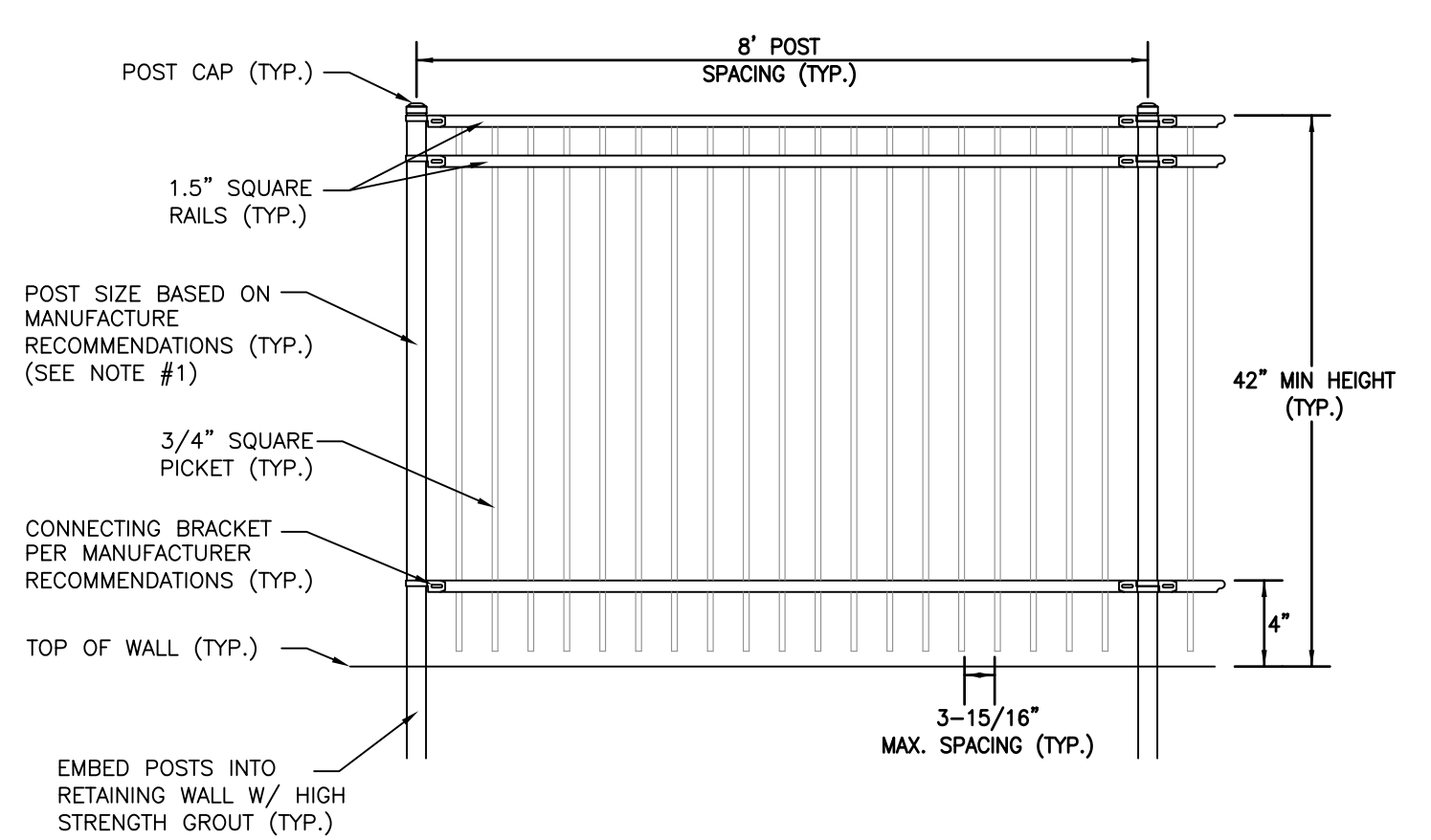
**6/C800**  
**CHAIN LINK FENCE**  
 NO SCALE



**7/C800**  
**ADA SIGNAGE**  
 NO SCALE

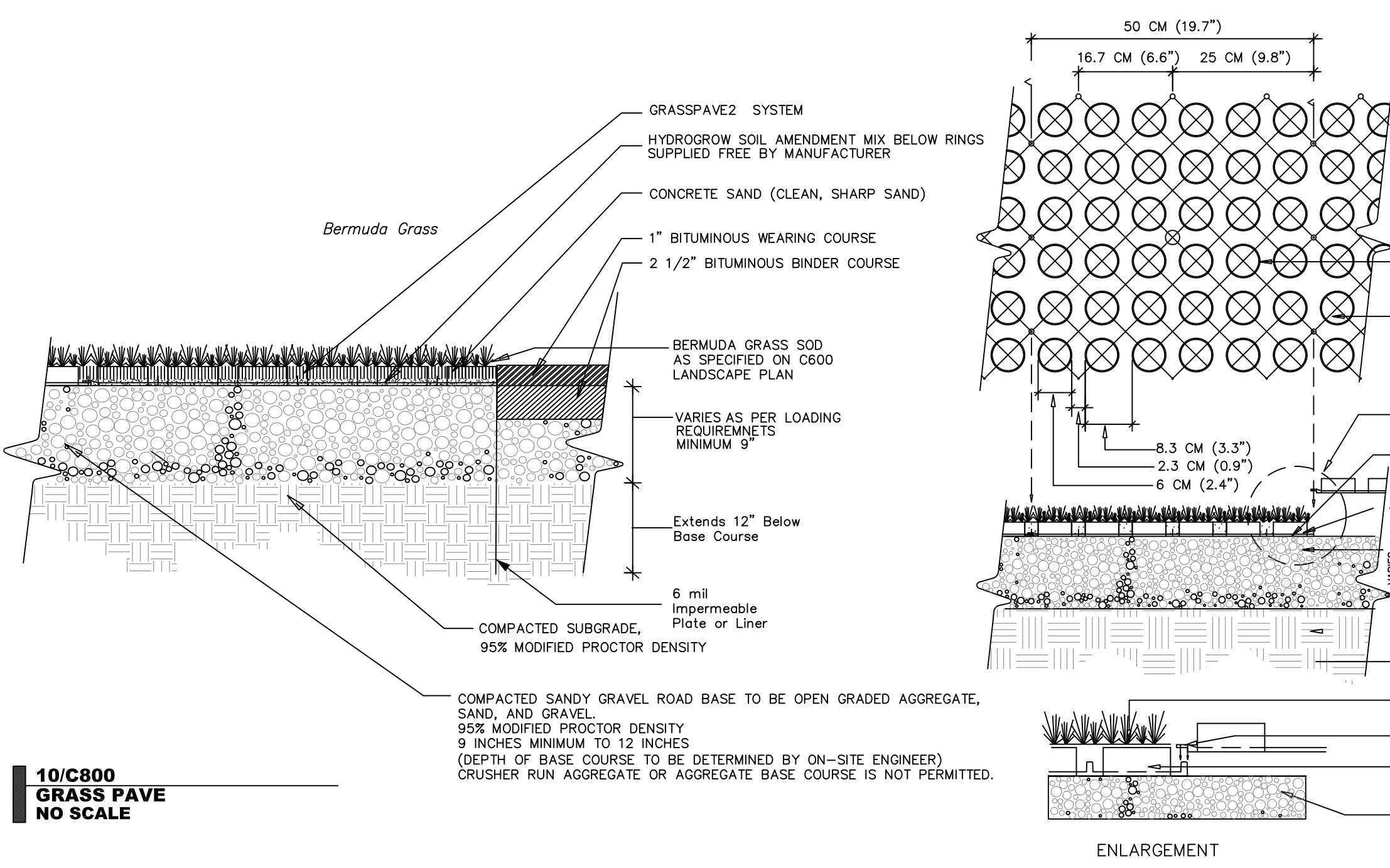


**8/C800**  
**BICYCLE RACK**  
 NO SCALE

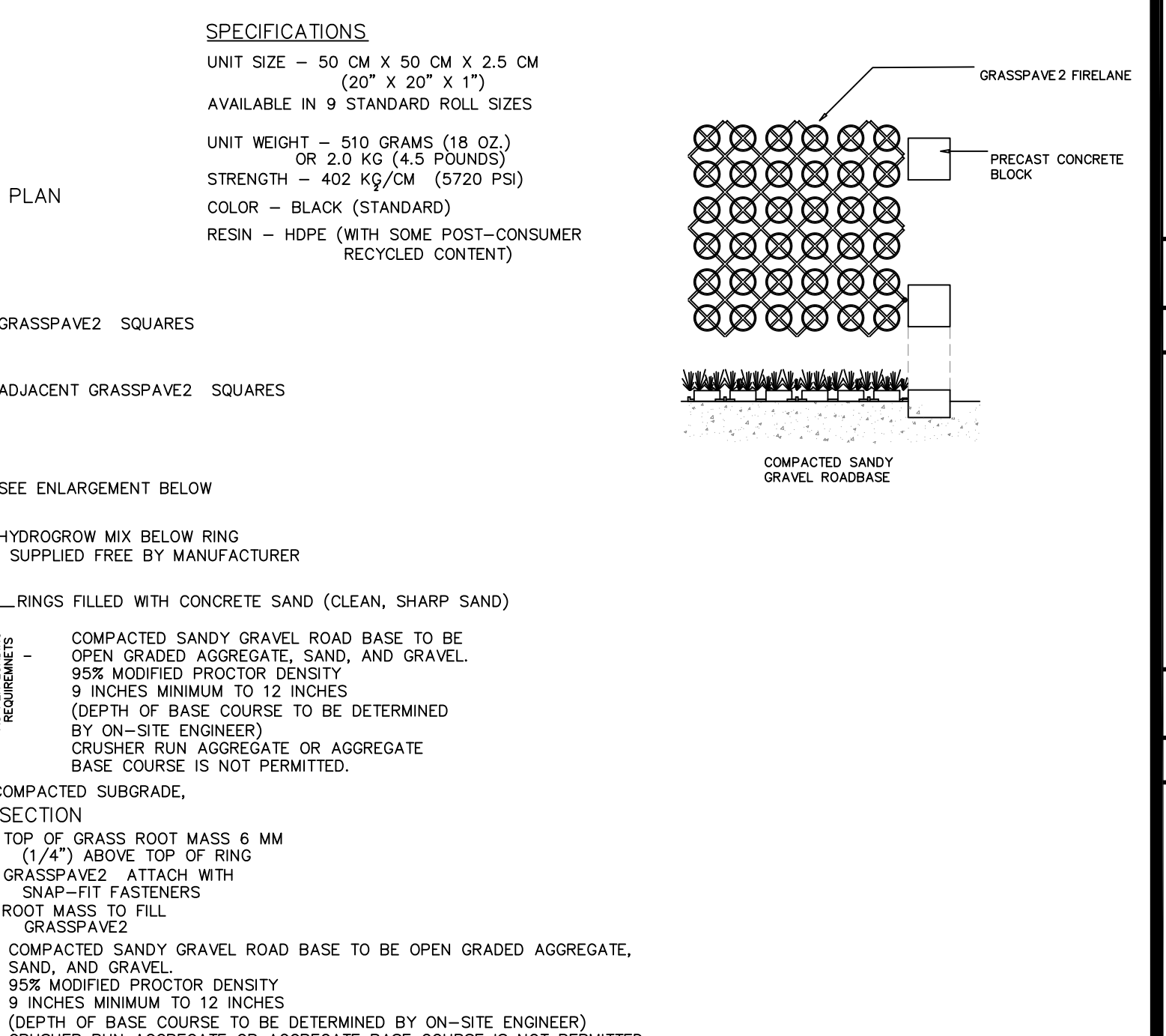


- NOTES:  
 1. POST SIZE DEPENDS ON FENCE HEIGHT AND WIND LOADS SEE MANUFACTURE RECOMMENDATIONS.  
 2. ALL FENCE MATERIALS SHALL BE POWDER COATED BLACK.  
 3. CONTRACTOR SHALL SUBMIT FENCE CUT SHEETS FOR APPROVAL PRIOR TO ORDERING MATERIALS AND CONSTRUCTION.

**9/C800**  
**ALUMINUM PICKET FENCE**  
 NO SCALE



**10/C800**  
**GRASS PAVE**  
 NO SCALE



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1289  
 NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project:  
**MONTESSORI COMMUNITY SCHOOL CAMPUS EXPANSION**

4512 Pope Rd.  
 Durham, NC 27707  
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PIN:  
 0709-03-04-0858

PRELIMINARY - NOT FOR CONSTRUCTION

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Sheet Title:

site details

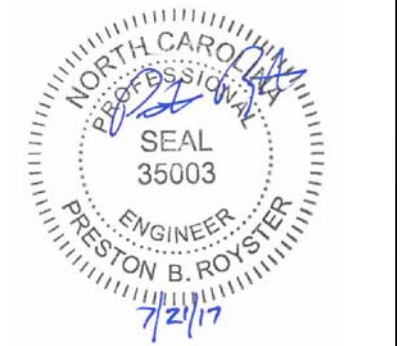
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NC BOARD OF EXAMINERS FOR  
ENGINEERS AND SURVEYORS  
LIC # C-1289  
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ARCHITECTS LIC # C-104



**Project:**  
**MONTESSORI  
COMMUNITY  
SCHOOL  
CAMPUS  
EXPANSION**

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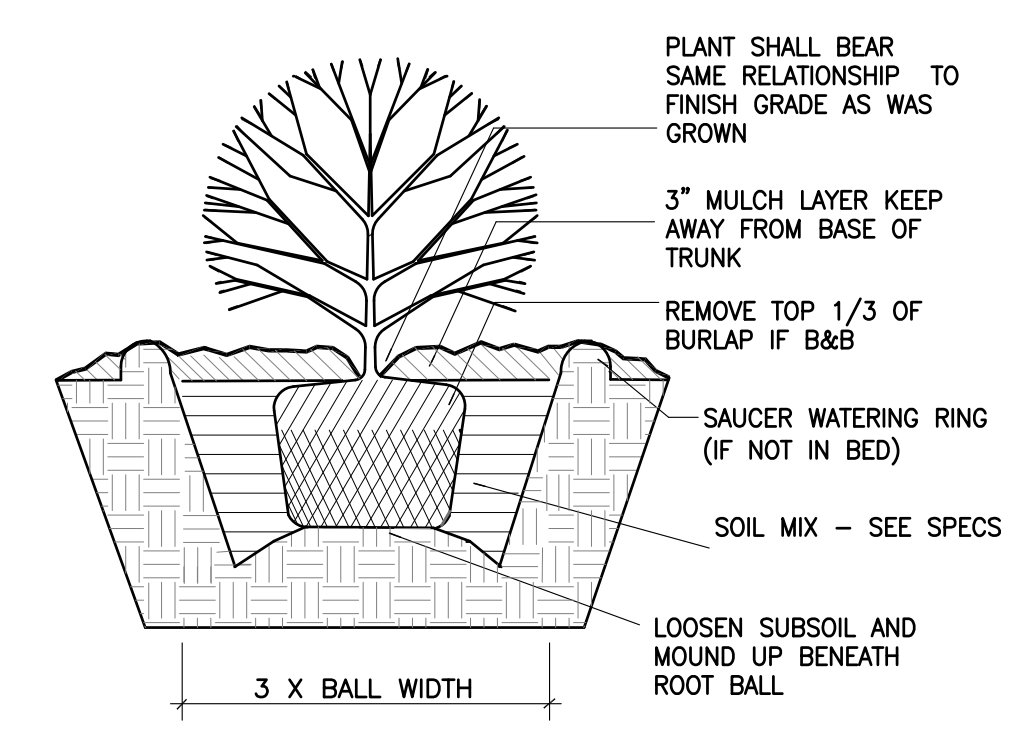
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Revisions: 1.7-21-17

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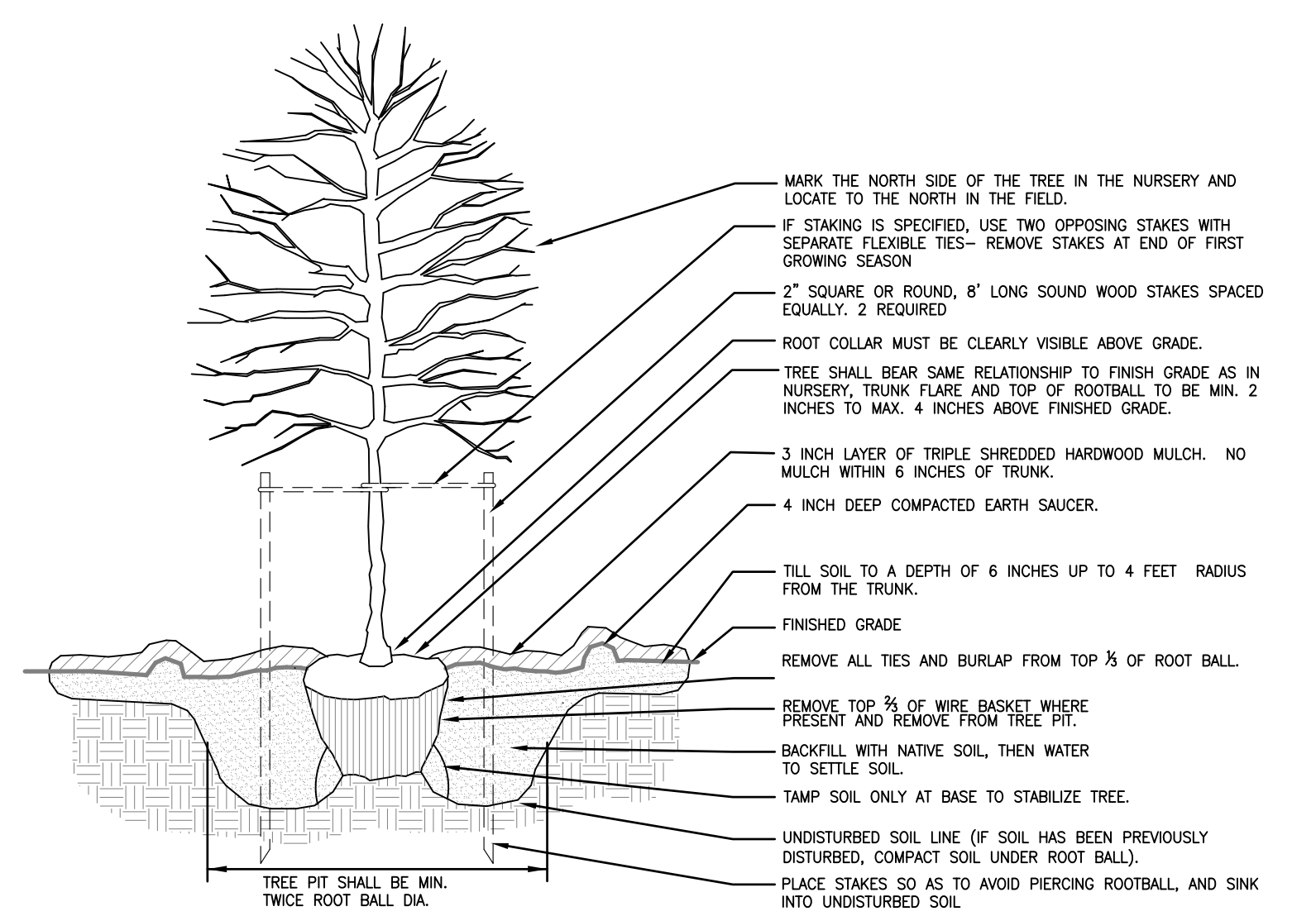
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site details

Sheet Number  
**C801**

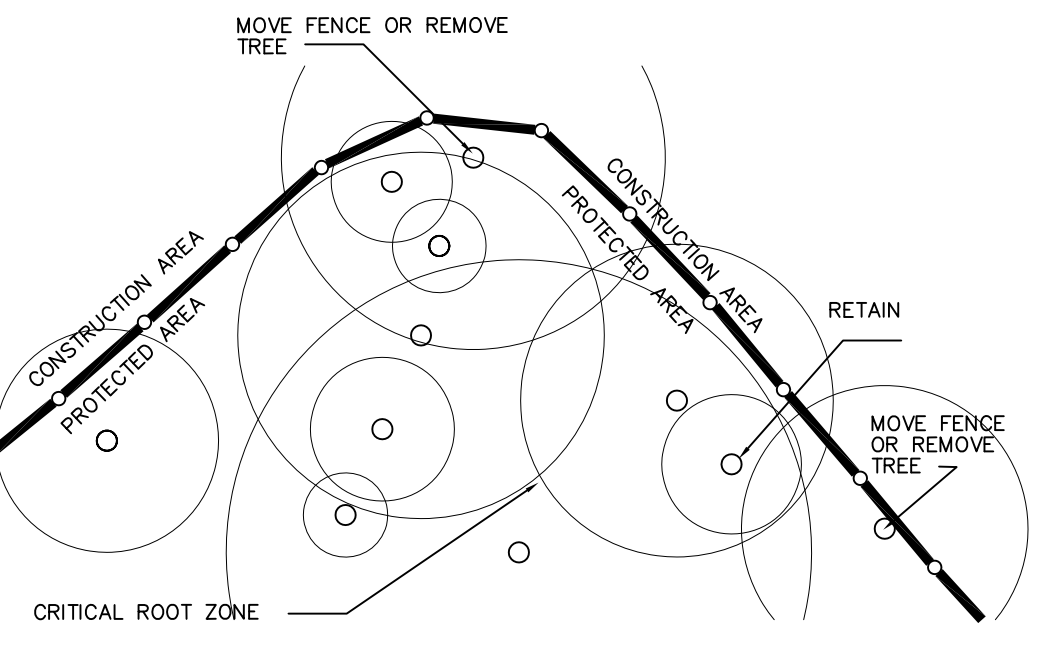


**2/C801  
SHRUB DETAIL  
NO SCALE**

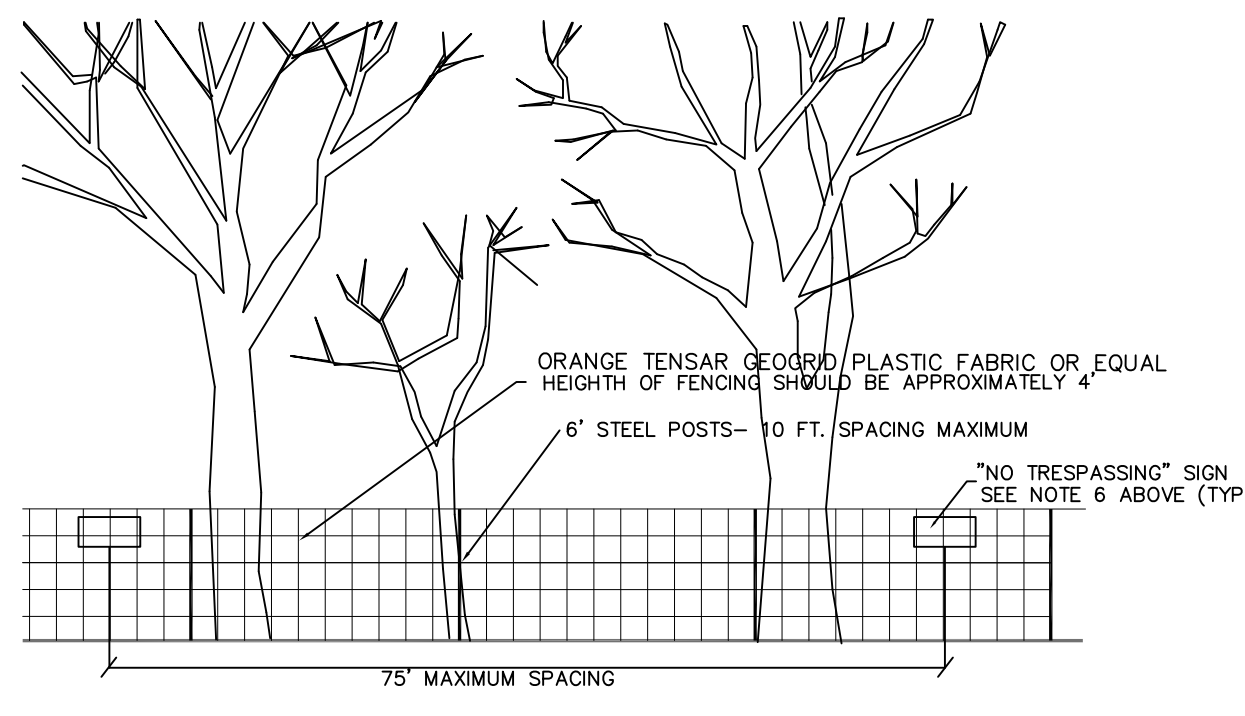


**3/C801  
TREE PLANTING DETAIL  
NO SCALE**

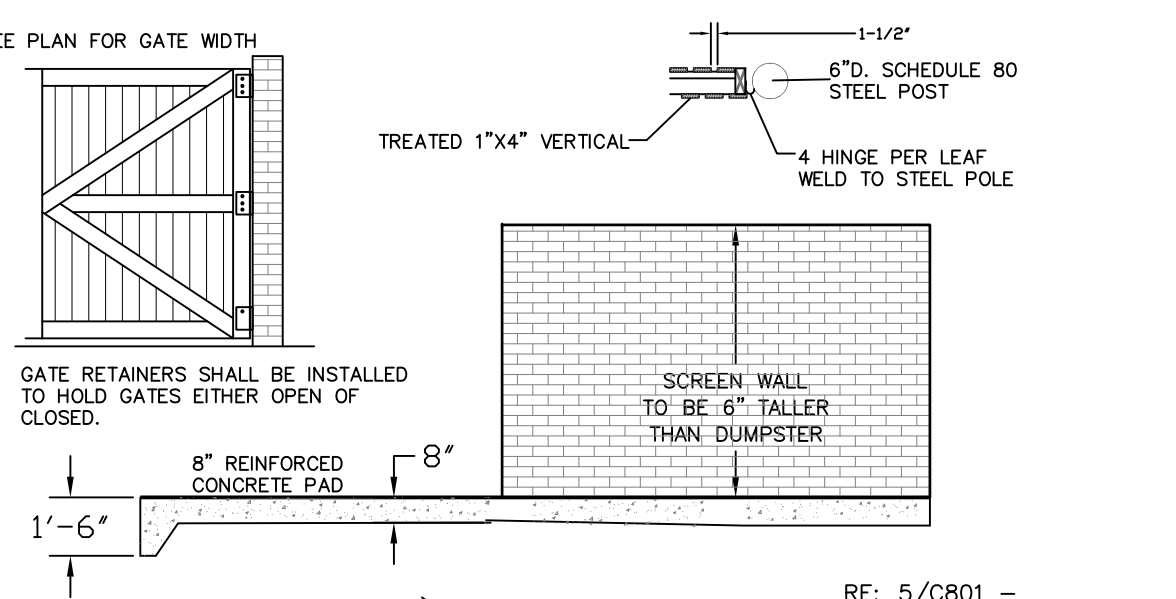
- NOTES:
1. MOVE FENCE OR REMOVE TREE IF MORE THAN 20% OF A TREE'S CRITICAL ROOT AREA IS UNPROTECTED.
  2. ROOT PRUNE TREES TO REMAIN WHERE CONSTRUCTION ACTIVITIES WILL SEVER ROOTS.
  3. ANY TREE ROOTS EXPOSED BY CONSTRUCTION SHALL BE SEVERED CLEANLY WITH A PRUNING TOOL.
  4. DO NOT DISPOSE OF ANY CHEMICALS OR REMOVE SOIL OUTSIDE THE LIMITS OF WORK.
  5. WHEN INSTALLING NEW LANDSCAPE PLANTS, DO NOT DRIVE EQUIPMENT UPON OR DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE OF EXISTING TREES.
  6. SIGNAGE MUST BE PLACED ON TREE PROTECTION FENCING WITH A MINIMUM MINIMUM SPACING OF 75' O.C., TO READ "TREE PROTECTION AREA - NO TRESPASSING WITHIN THE FENCE".



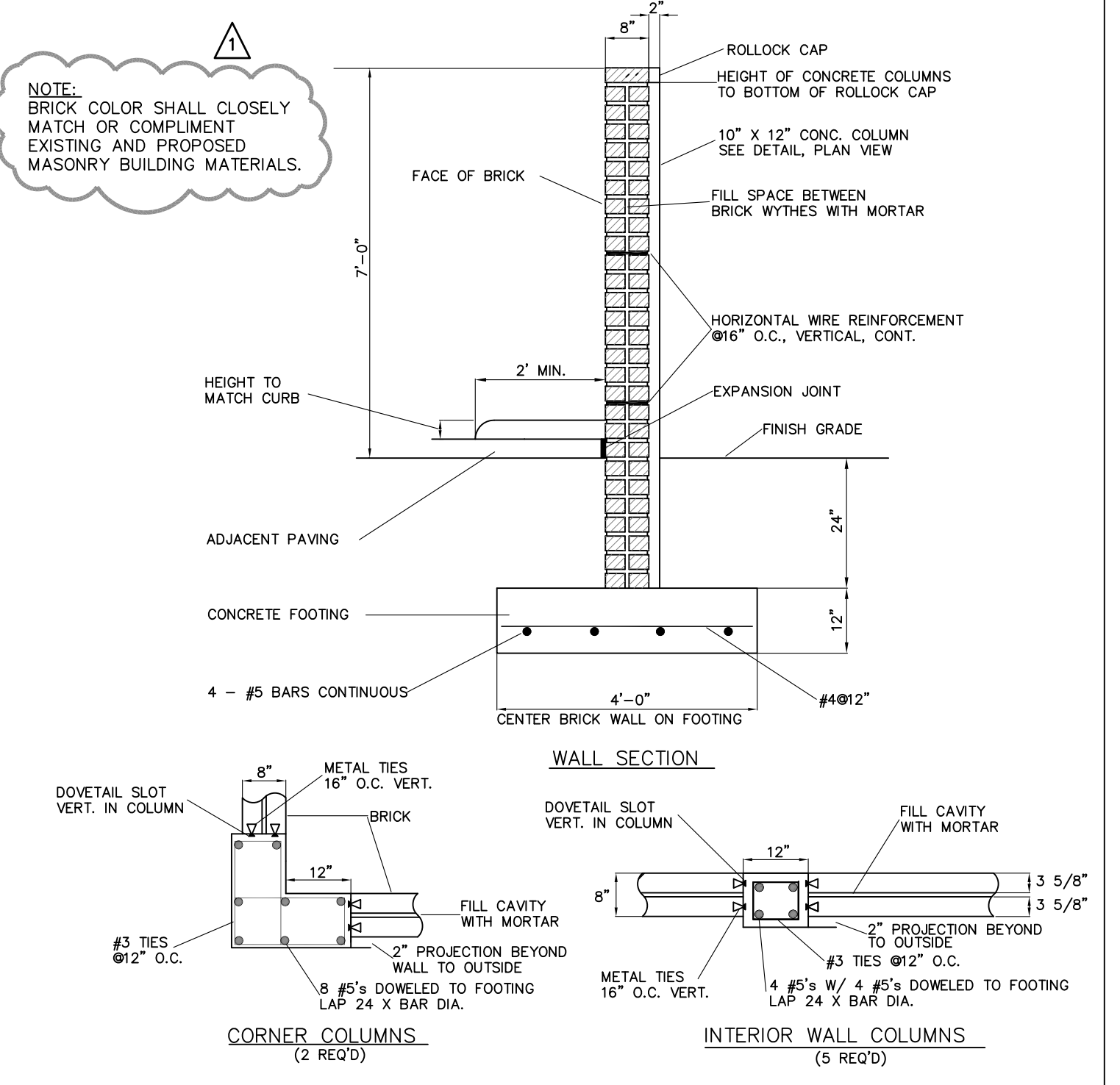
**1/C801  
TREE PROTECTION FENCING  
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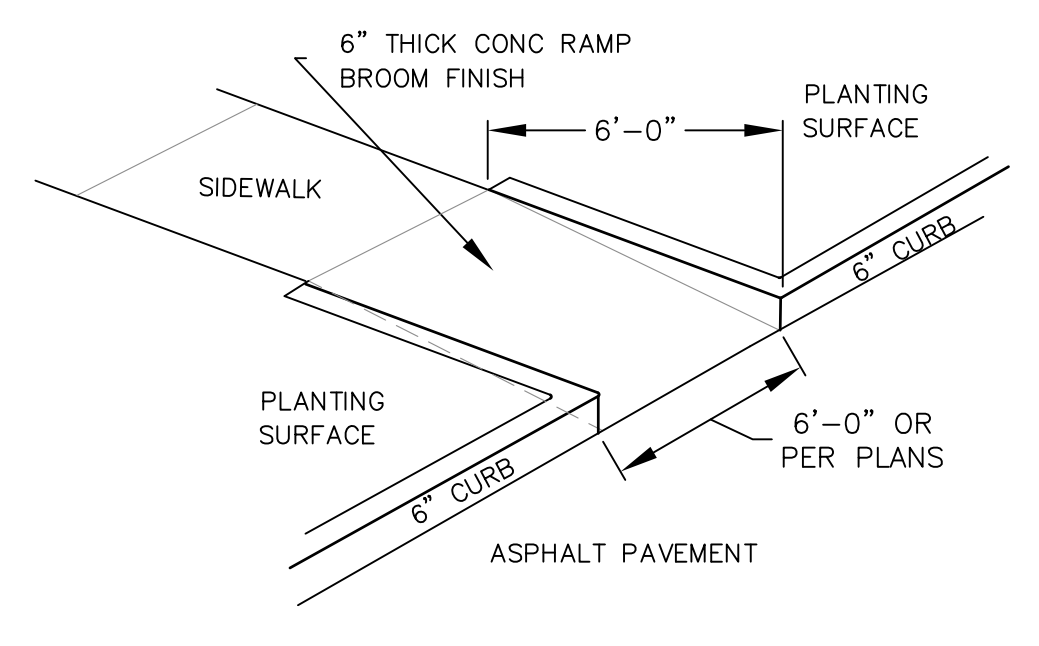
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TREE PROTECTION FENCING  
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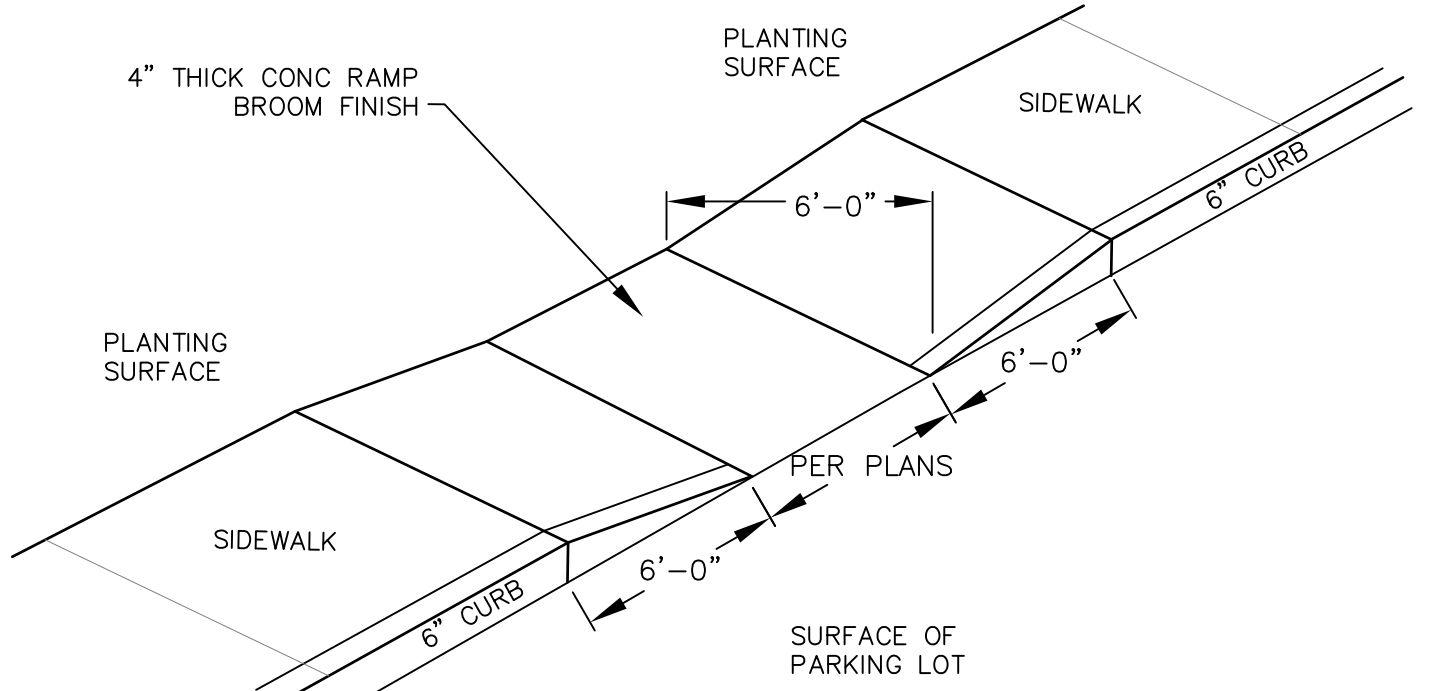
**4/C801  
DOUBLE DUMPSTER  
NO SCALE**



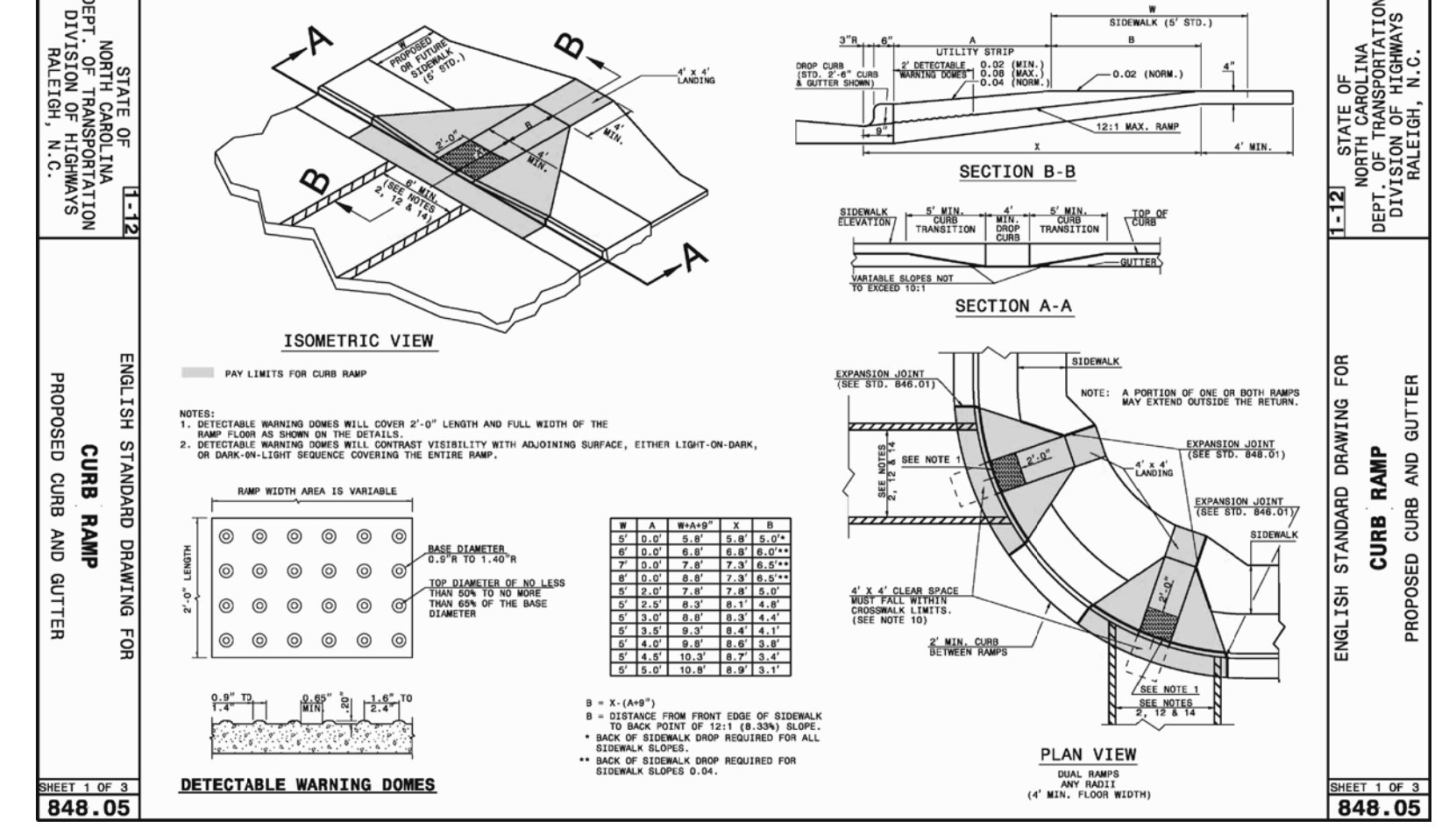
**5/C801  
MASONRY DUMPSTER SCREEN WALL  
NO SCALE**



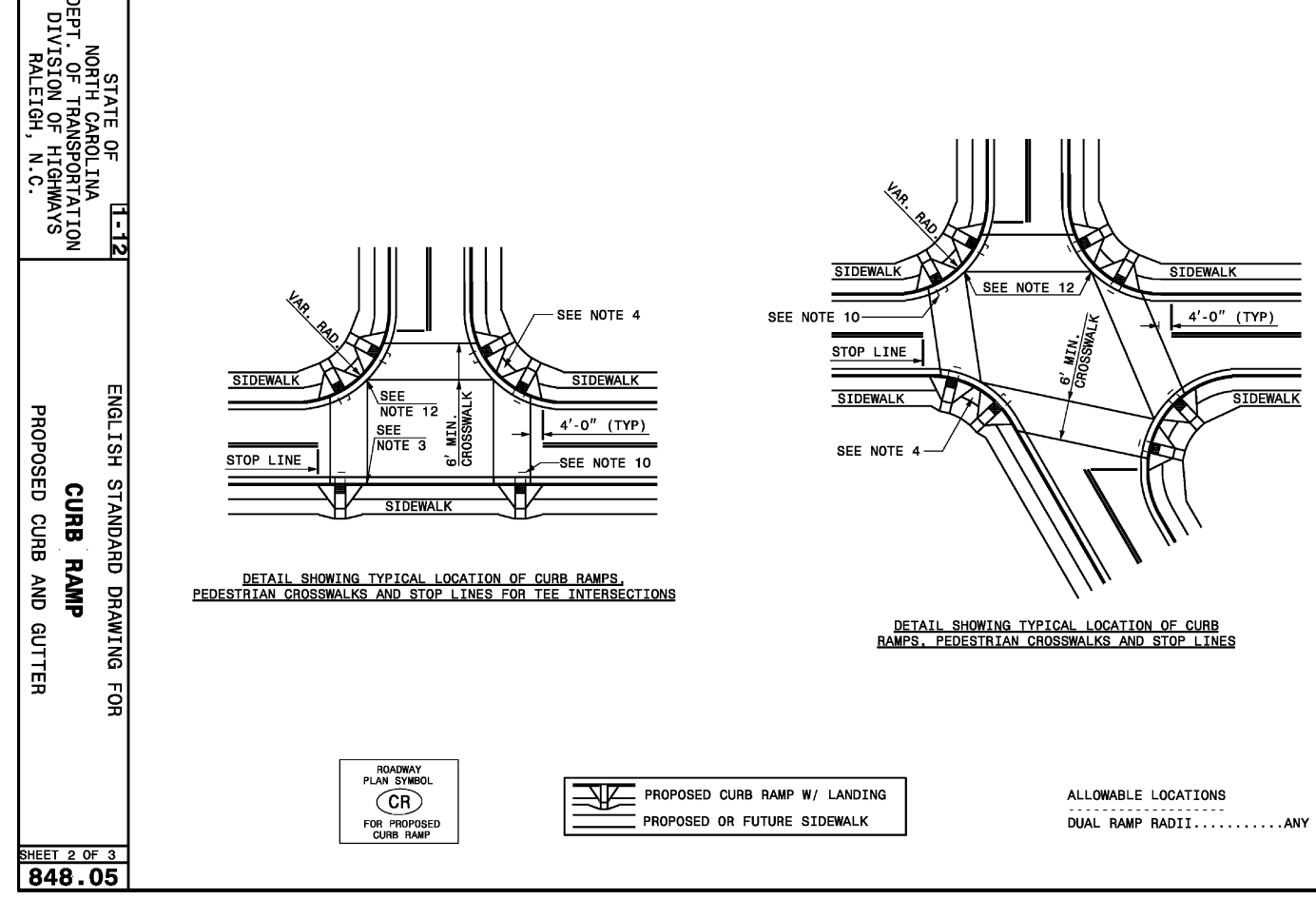
**CURB RETURN ADA RAMP**



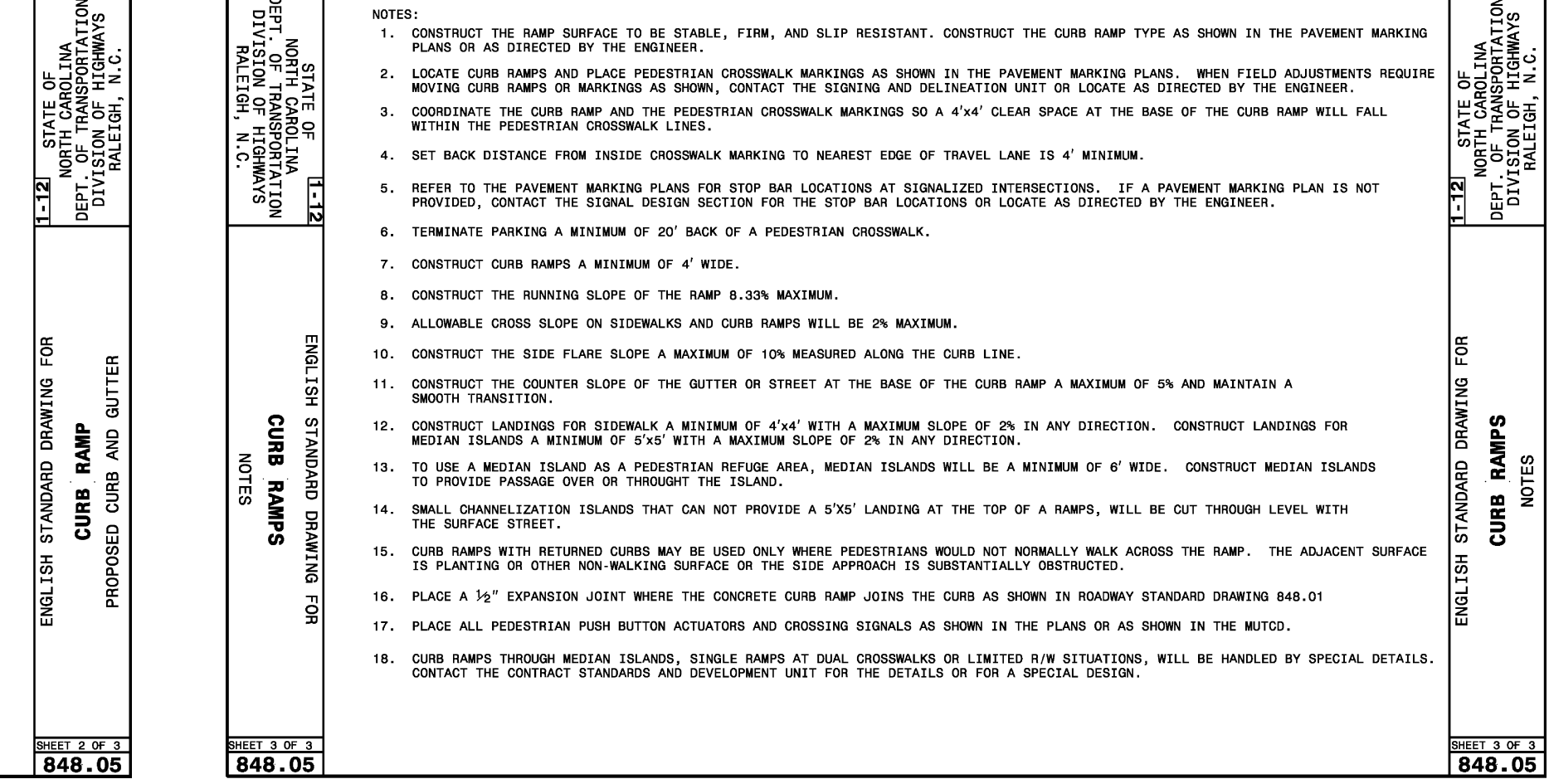
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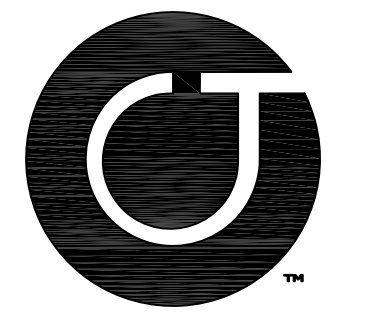
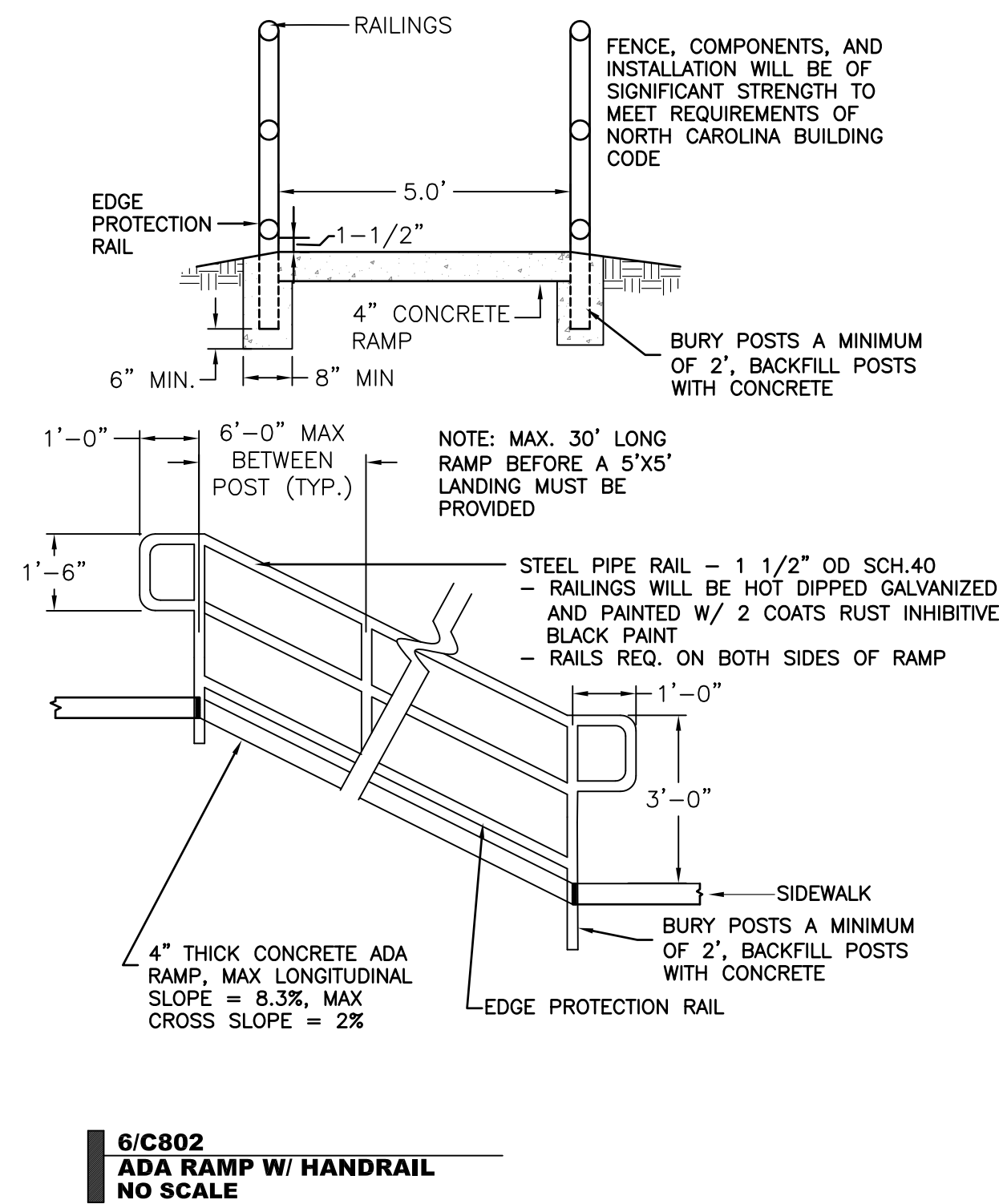
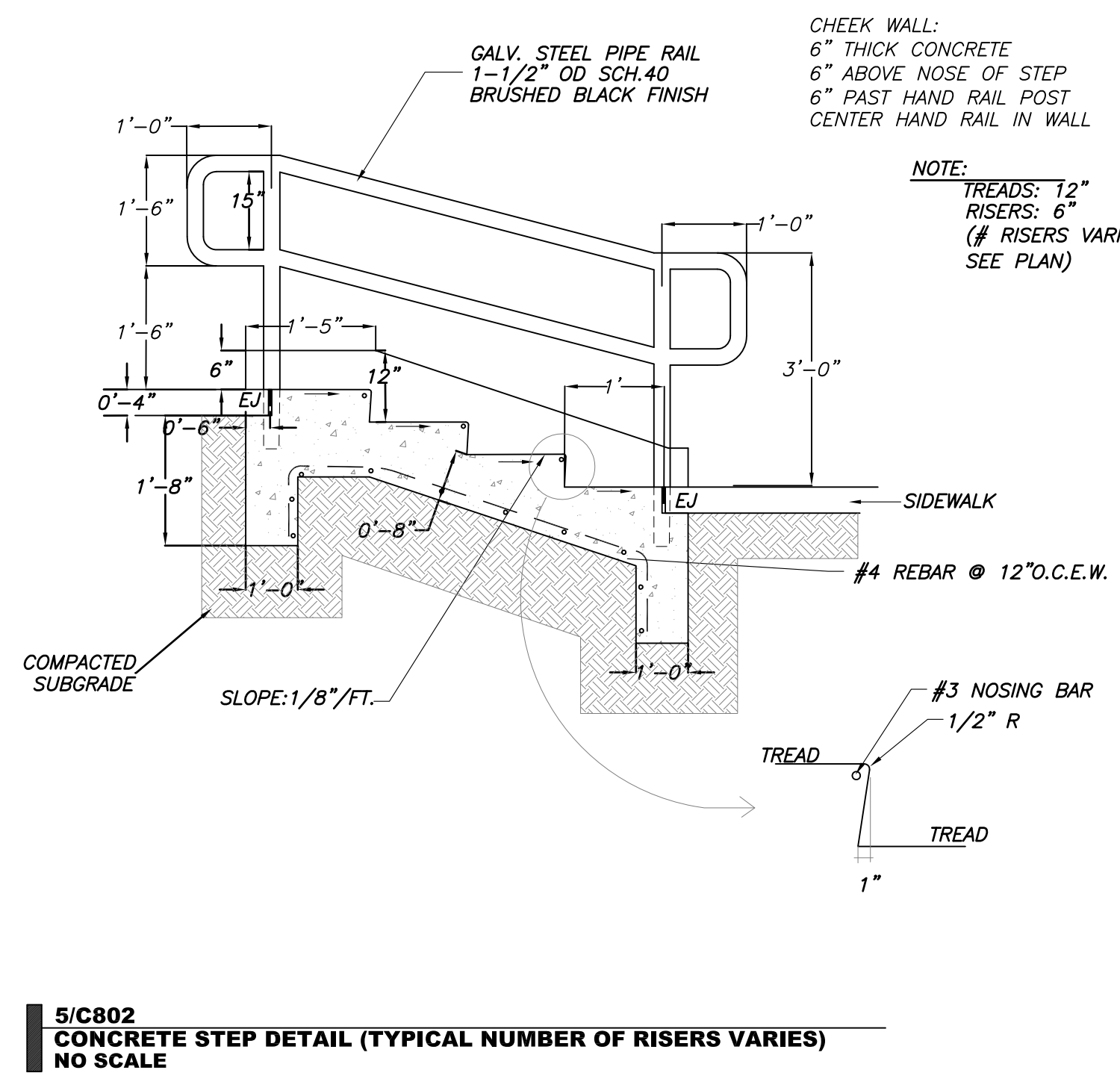
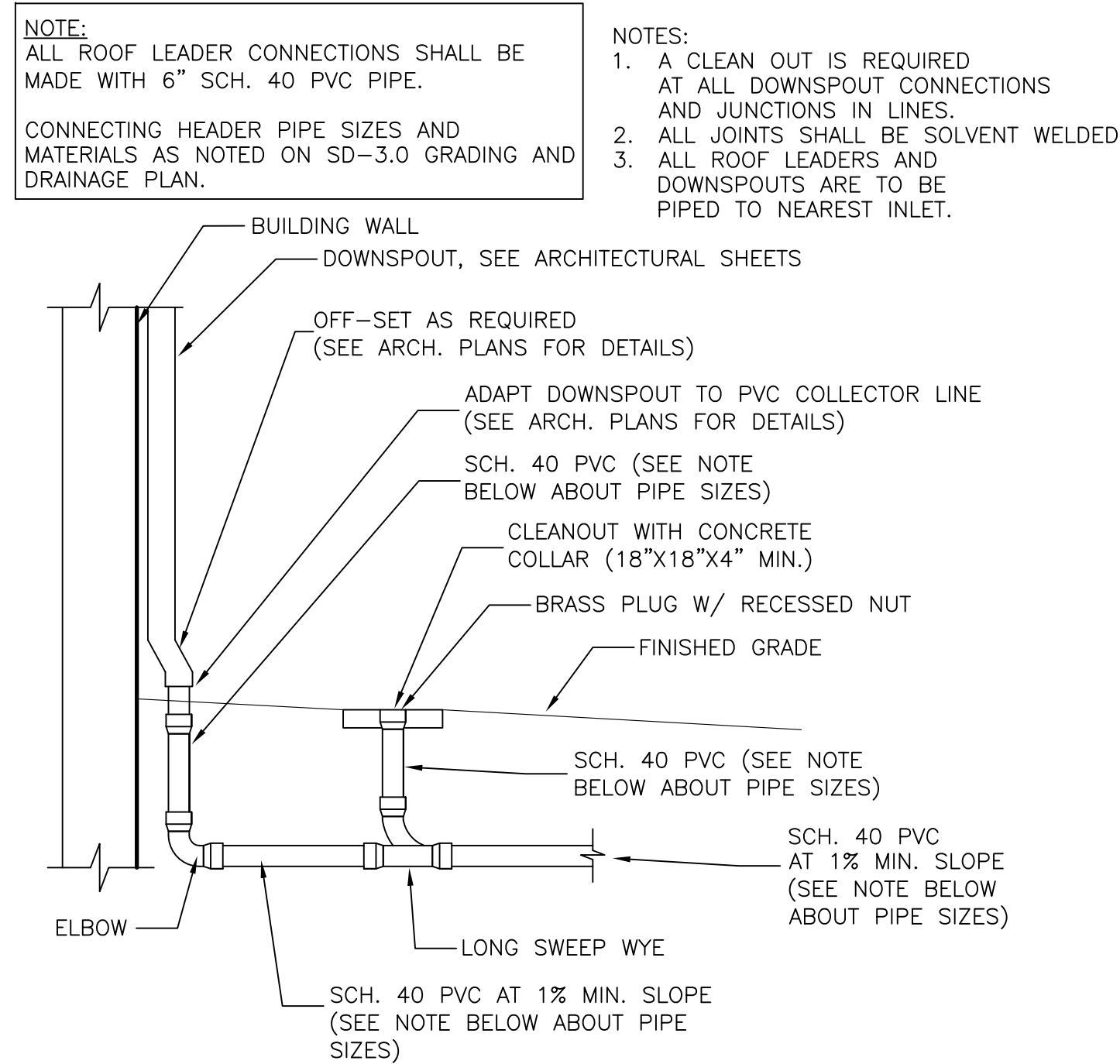
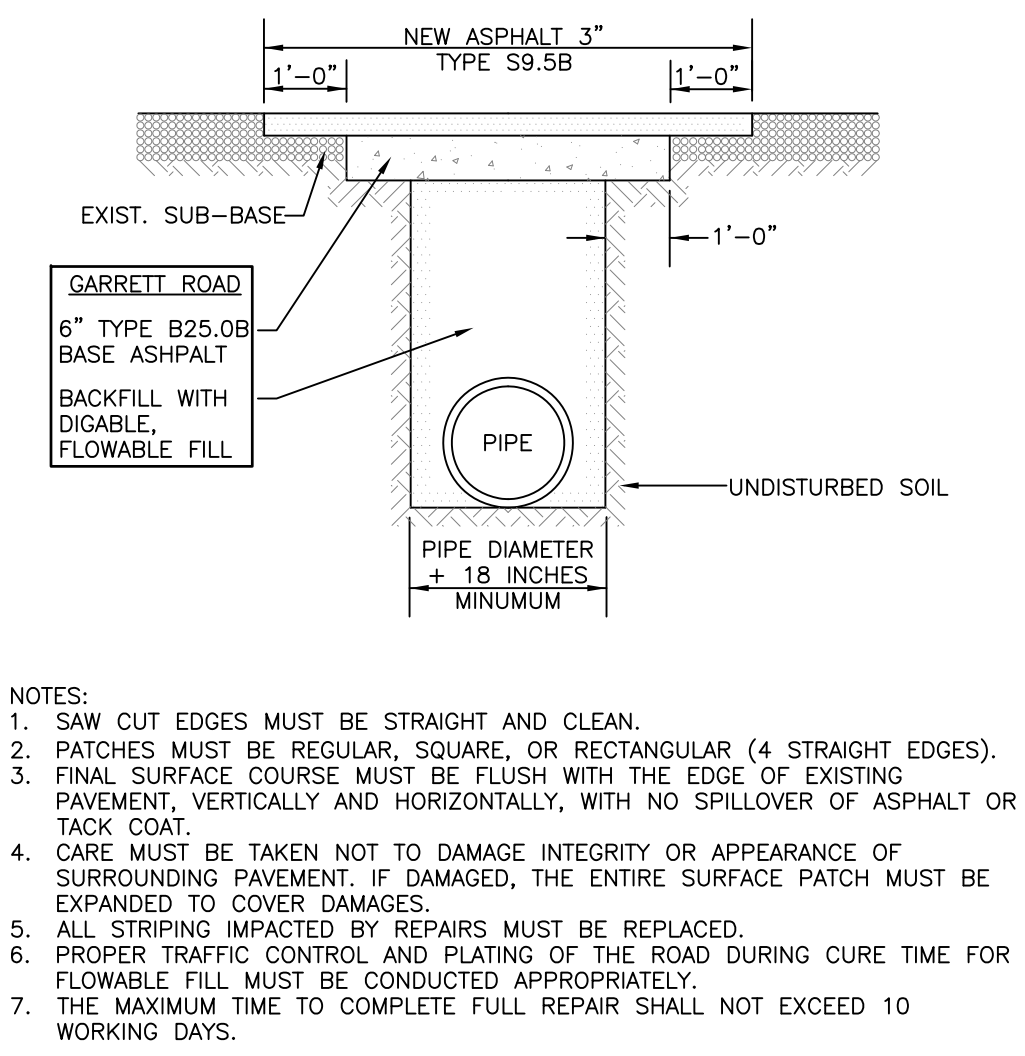
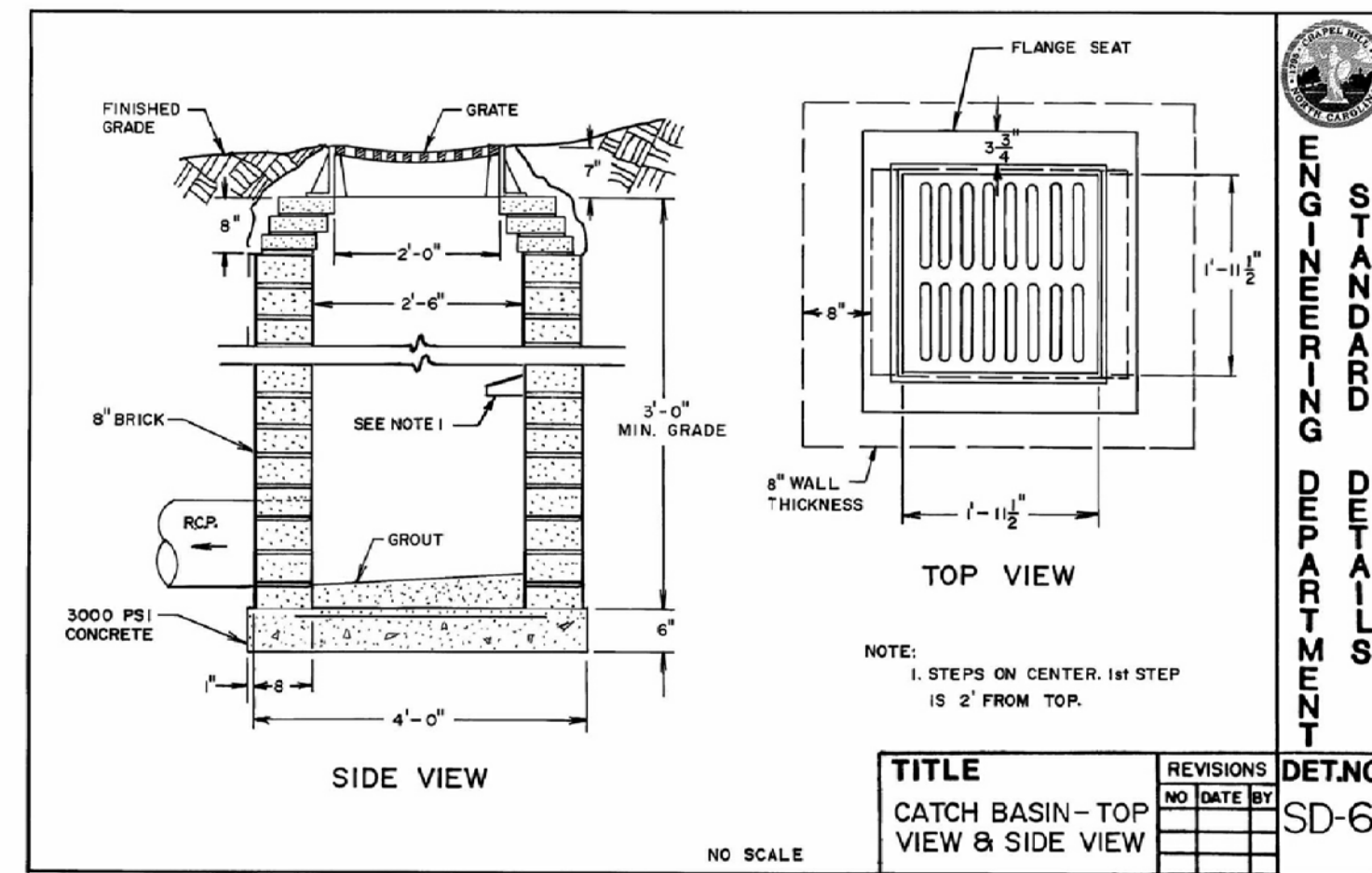
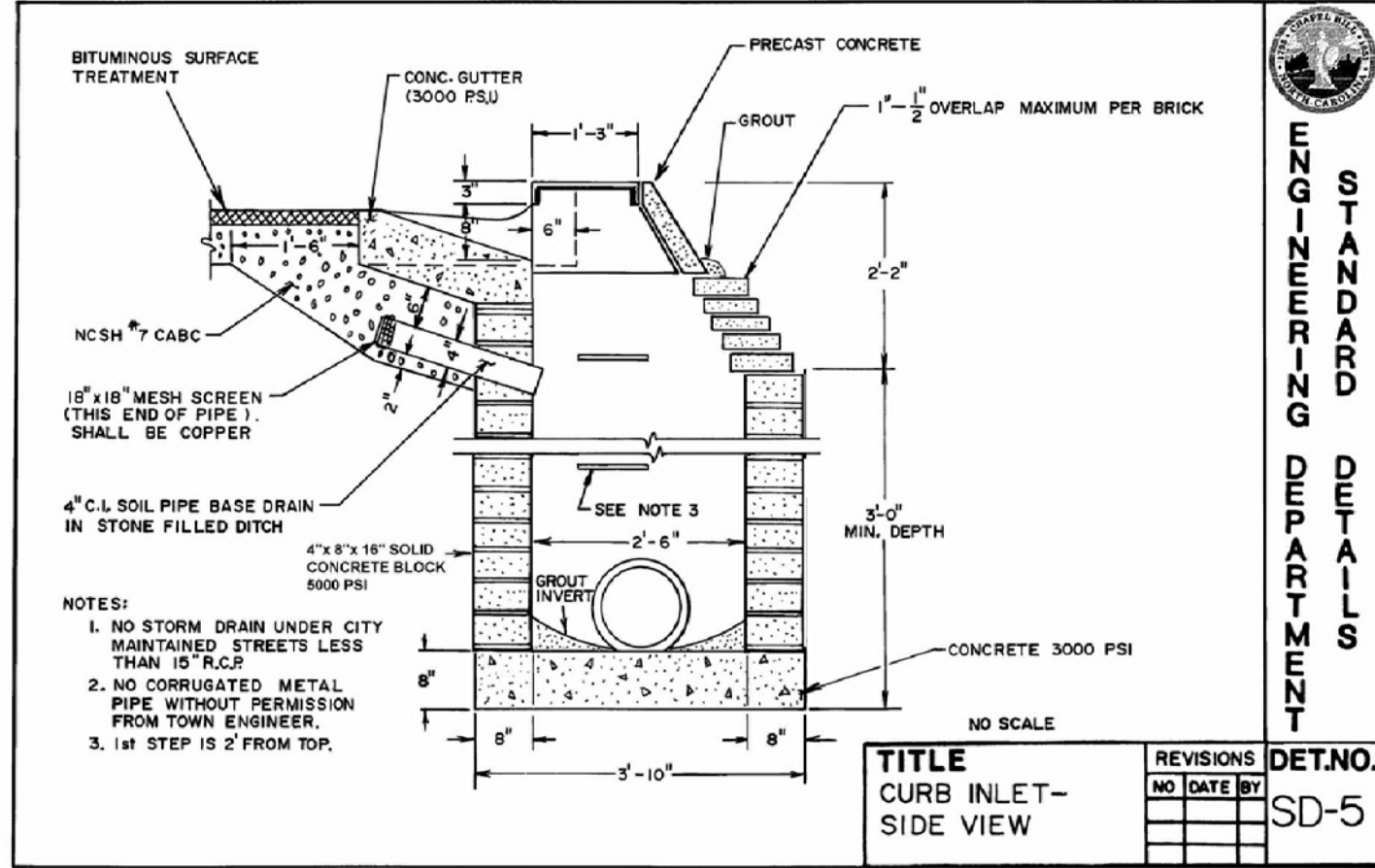
**6/C801  
ADA RAMPS  
NO SCALE**



**ENGLISH STANDARD DRAWING FOR  
CURB RAMP  
NO SCALE**



**ENGLISH STANDARD DRAWING FOR  
CURB RAMPS  
NO SCALE**



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NC BOARD OF EXAMINERS FOR ENGINEERS AND SURVEYORS LIC # C-1289  
NC BOARD OF LANDSCAPE ARCHITECTS LIC # C-104



Project:  
**MONTESSORI COMMUNITY SCHOOL CAMPUS EXPANSION**

4512 Pope Rd.  
Durham, NC 27707  
Town of Chapel Hill Planning Jurisdiction  
Durham County, North Carolina

PIN:  
0709-03-04-0858

PRELIMINARY- NOT FOR CONSTRUCTION

Job Number: 1337

Drawn	WLR, MTC, EDM, TRM
Checked	PBR, AJP
Date	2-23-2017
Revisions	1. 7-21-17

SPECIAL USE PERMIT

Sheet Title:

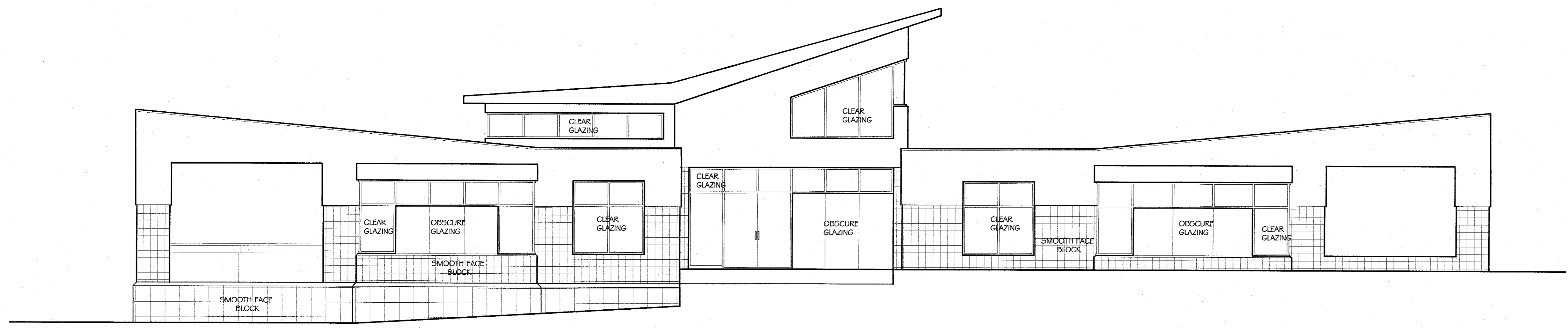
site details

Sheet Number  
**C802**

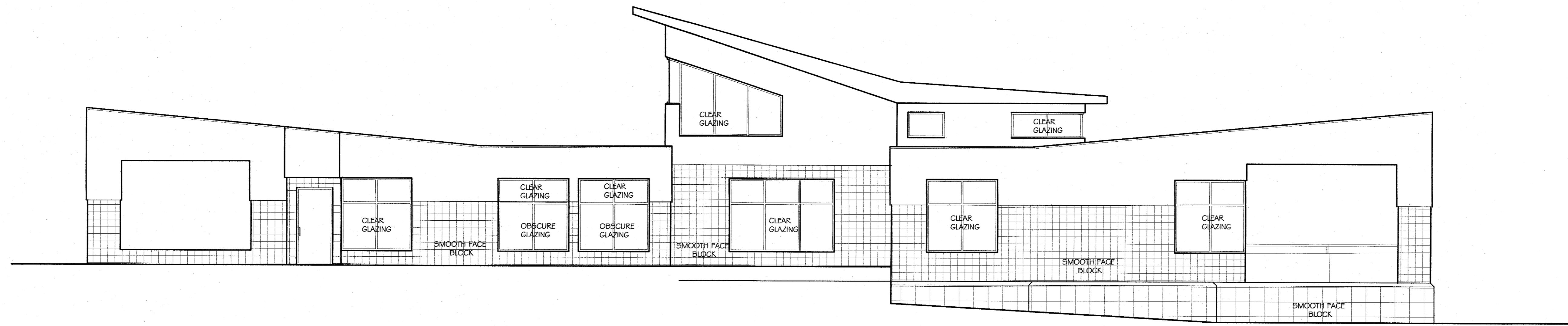
**GGA ARCHITECTS**  
 308 WEST ROSEMARY STREET, SUITE 302  
 CHAPEL HILL, NC 27516  
 919.929.7595 F.919.987.9636

**COULTER JEWELL THAMES**  
 111 WEST MAIN STREET  
 DURHAM, NC 27701  
 P 919.682.0368 F.919.688.5646

**MONTESSORI  
 COMMUNITY SCHOOL  
 4512 POPE ROAD  
 DURHAM, N.C. 27707**



EAST ELEVATION 3/16" = 1'-0"



WEST ELEVATION 3/16" = 1'-0"

ISSUE/REVISION	DATE	NO.

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**ADMIN.  
 BUILDING**

Project Number:  
 Scale: AS NOTED  
 Date: 6 FEBRUARY 2014  
 Sheet Number:

**GGA ARCHITECTS**  
 308 WEST ROSEMARY STREET, SUITE 302  
 CHAPEL HILL, NC 27516  
 919.929.7595 F.919.967.9636

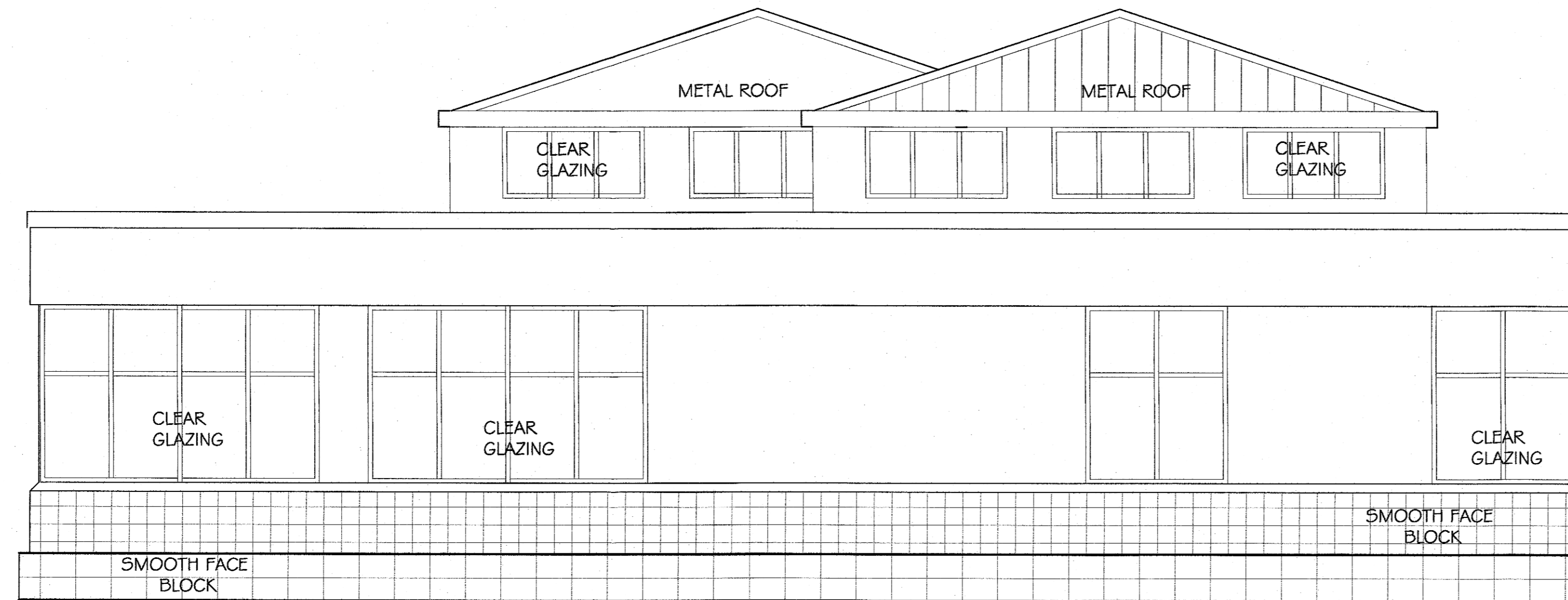
**COULTER JEWELL THAMES**

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 DURHAM, NC 27701  
 P 919.682.0388 F.919.688.5646

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 COMMUNITY SCHOOL  
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SOUTH ELEVATION 1/4" = 1'-0"



EAST ELEVATION 1/4" = 1'-0"

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**CLASSROOM  
 BUILDING**

Project Number:  
 Scale: AS NOTED  
 Date: 6 FEBRUARY 2010 14  
 Sheet Number:

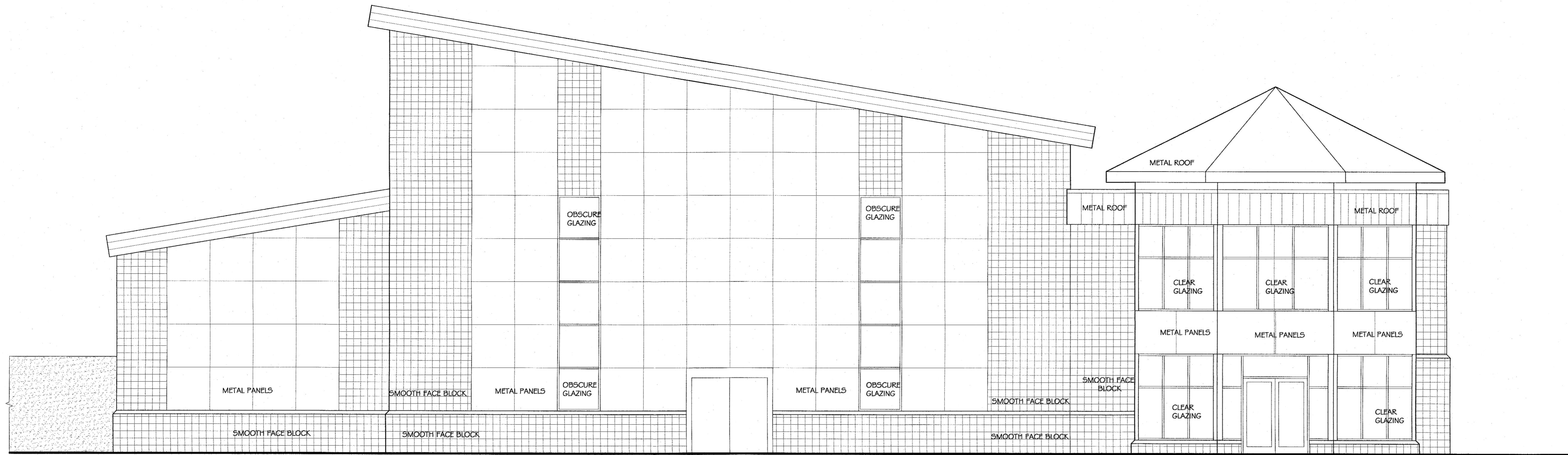


GGA ARCHITECTS  
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 919.929.7595 F.919.967.9636

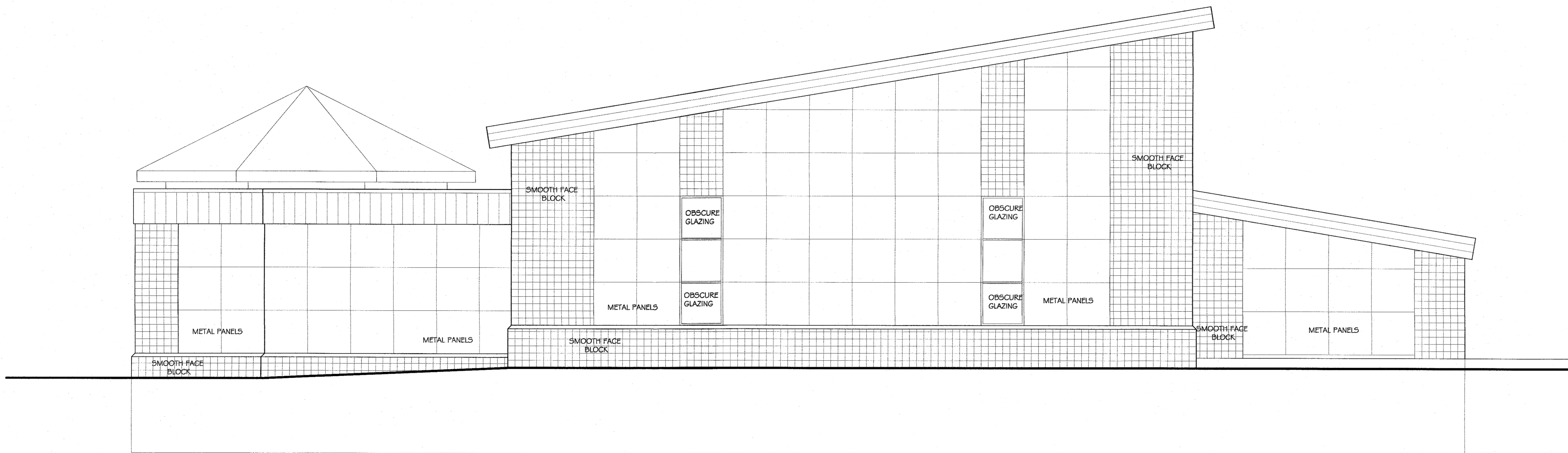
COULTER JEWELL THAMES

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 COMMUNITY SCHOOL  
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WEST ELEVATION 3/16" = 1'-0"



EAST ELEVATION 3/16" = 1'-0"

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## GYM E & W ELEVATIONS

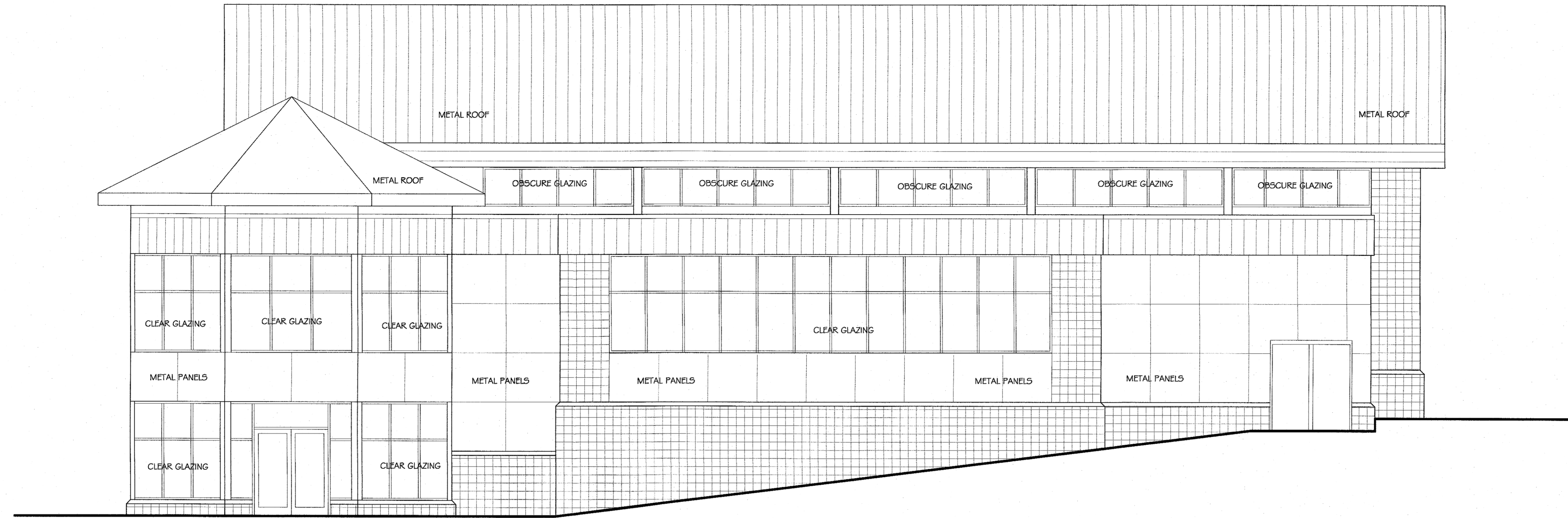
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 Scale: AS NOTED  
 Date: 6/FEBRUARY 2017 4  
 Sheet Number:

**GGA ARCHITECTS**  
 308 WEST ROSEMARY STREET, SUITE 302  
 CHAPEL HILL, NC 27516  
 P 919.929.7595 F.919.967.9636

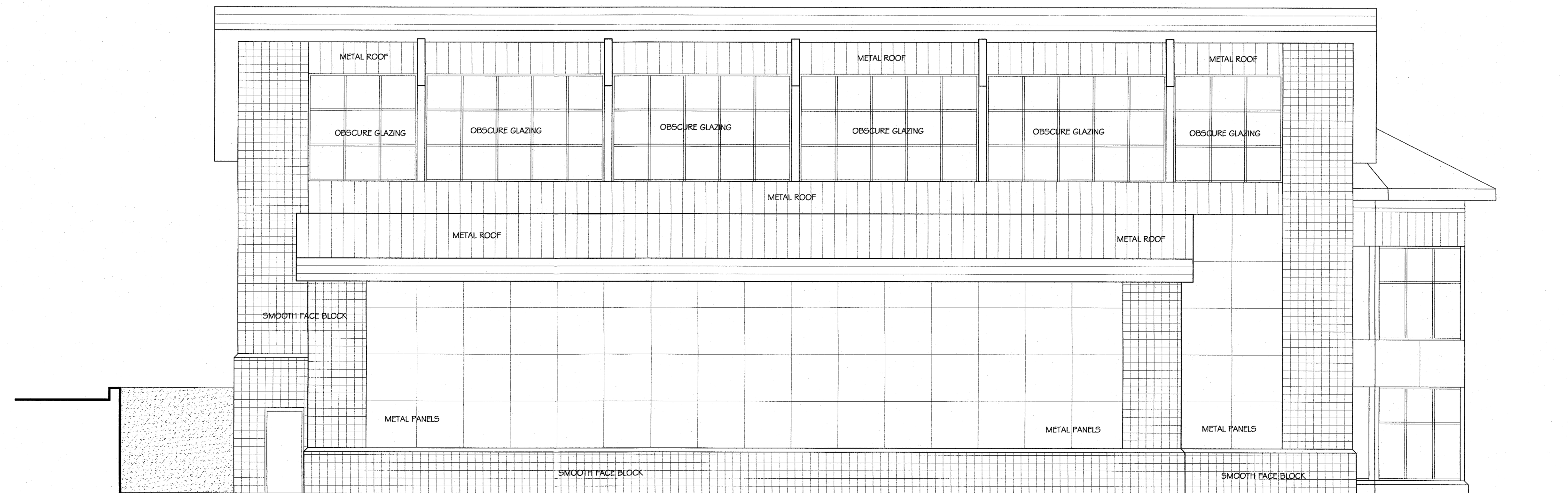
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**MONTESSORI  
 COMMUNITY SCHOOL  
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SOUTH ELEVATION 3/16" = 1'-0"



NORTH ELEVATION 3/16" = 1'-0"

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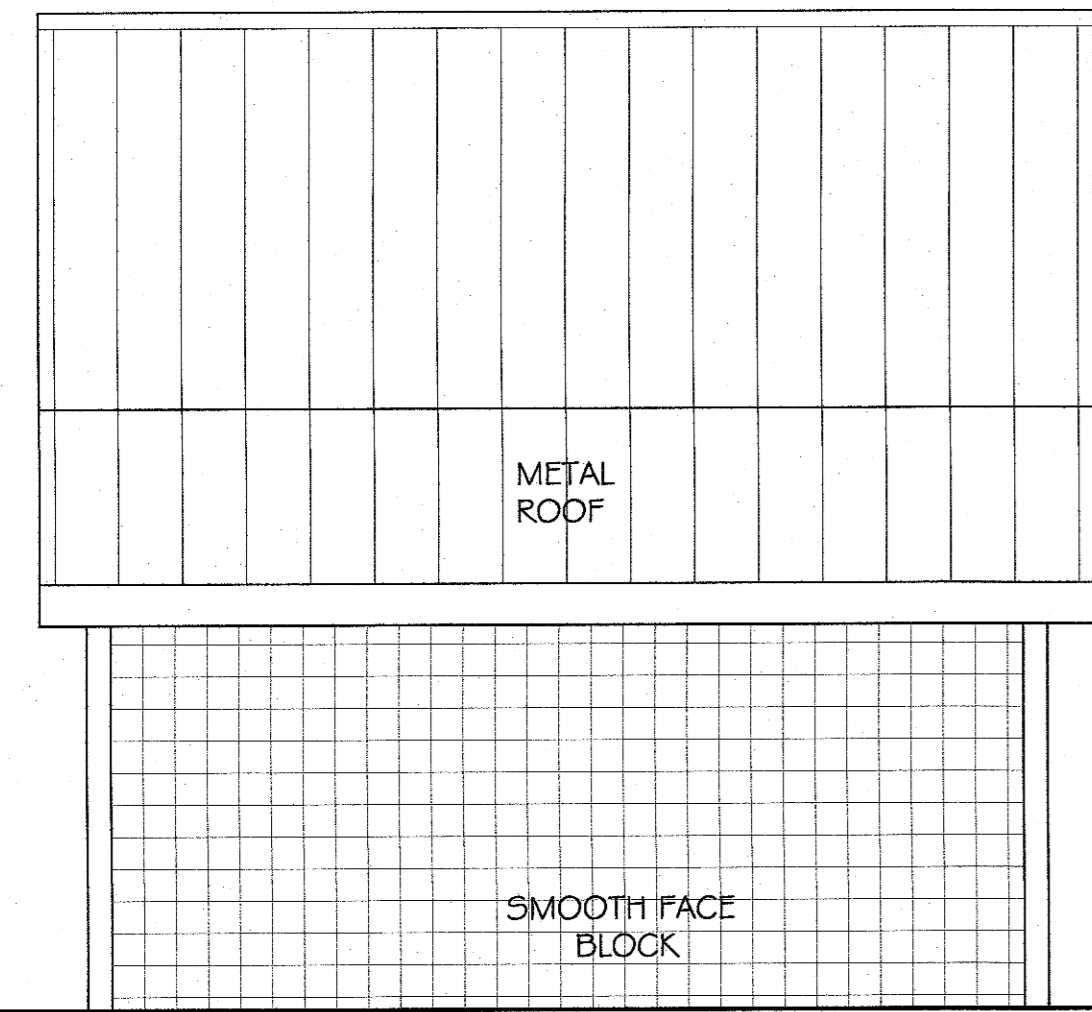
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 ELEVATIONS**

Project Number: \_\_\_\_\_  
 Scale: AS NOTED  
 Date: 6 FEBRUARY 2017  
 Sheet Number: \_\_\_\_\_

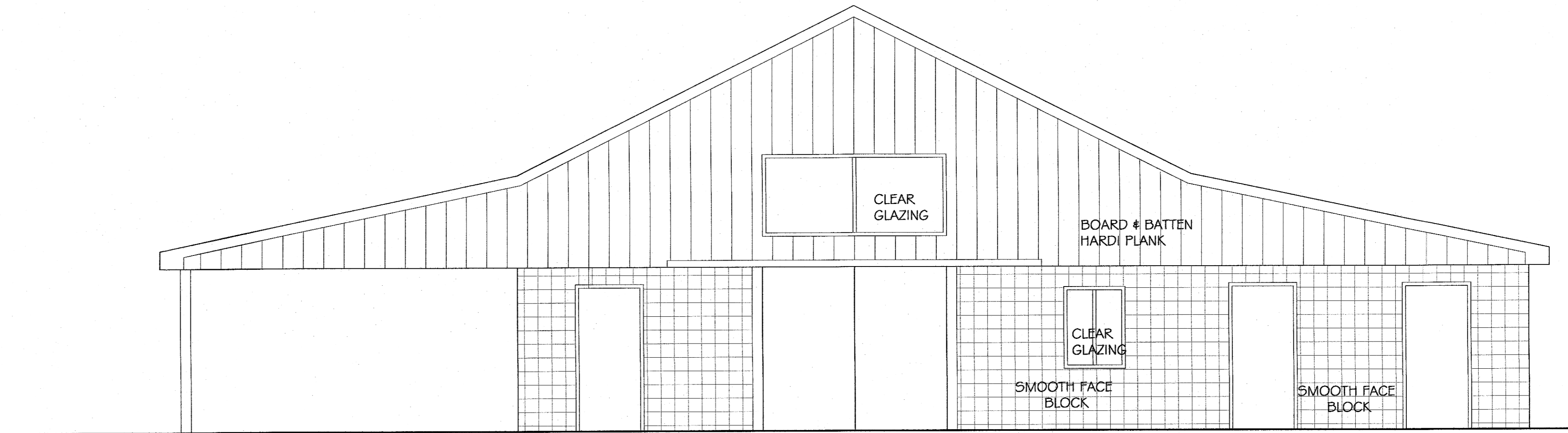
GGA ARCHITECTS  
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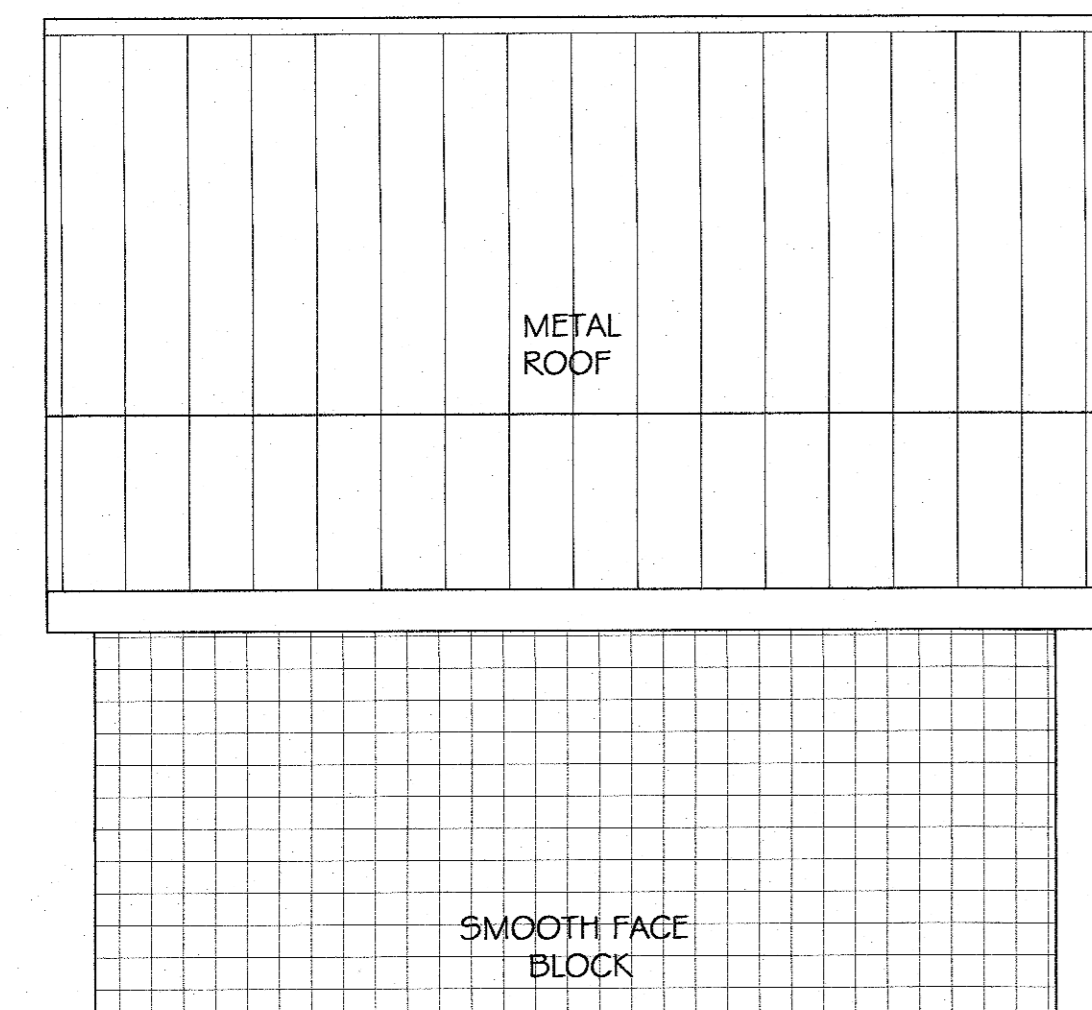
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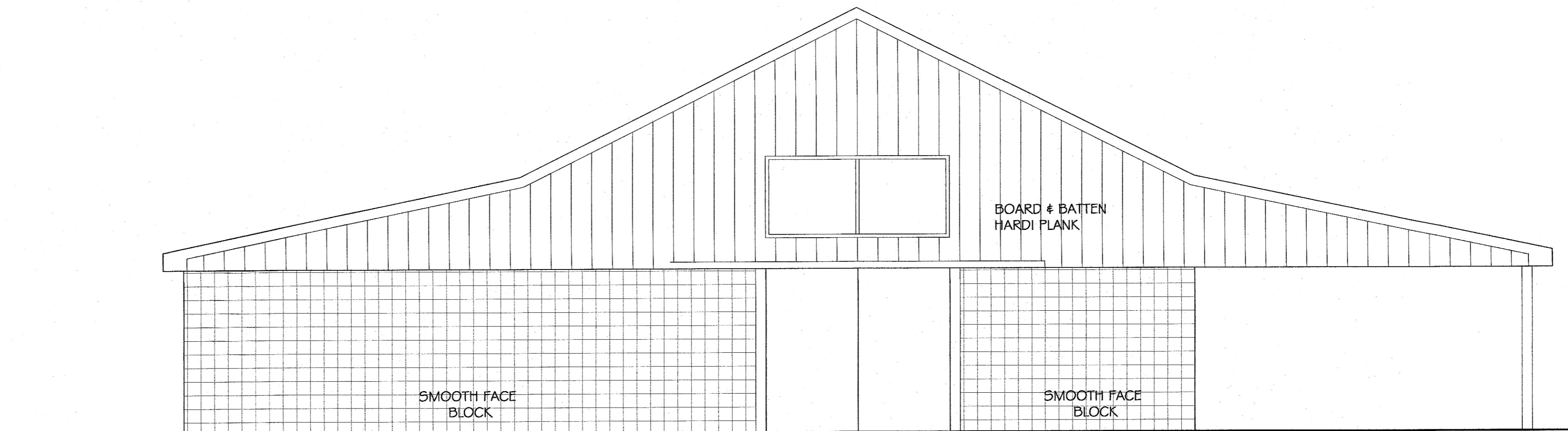
EAST ELEVATION 1/4" = 1'-0"



SOUTH ELEVATION 1/4" = 1'-0"



WEST ELEVATION 1/4" = 1'-0"



NORTH ELEVATION 1/4" = 1'-0"

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**MAINTENANCE  
 BUILDING**

Project Number:  
 Scale: AS NOTED  
 Date: 08 FEBRUARY 2017  
 Sheet Number: