



TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd.
 Chapel Hill, NC 27514-5705

phone (919) 968-2728
 email planning@townofchapelhill.org
www.townofchapelhill.org

Project Fact Sheet

Project Information	Project Name	Lightbridge Project	Application Number [Staff to Complete]	CZD-25-5
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Lot & Zoning Information	Parcel Number(s)	9880350595
	Property Address(es)	1165 Weaver Dairy Road
	Existing Zoning District(s)	OI-3-CZD
	Proposed Zoning District(s)	MU-V-CZD

Uses (LUMO Sec. 3.7 and 3.10)	Evaluation [Staff to Complete]					
	Existing Use(s)	Vacant land, formerly a daycare center			See Staff Report	
	Proposed Use(s)	Phase 1: Child daycare center and/or other non-residential use. Phase 2: Residential Townhomes. Surface and carport parking.				
	Number of Dwelling Units	Existing	0	Proposed to be Removed		0
		Proposed New, Minimum	4	Proposed New, Maximum		12
		Market-rate units	Min 4	Affordable units		0
For sale units		0	Rental units	100%		

Land Area					Evaluation [Staff to Complete]
Net Land Area (NLA) (sq. ft.)	78,557 sf	Net Land Area (acres)	1.803 ac		See Staff Report

	Gross Land Area (GLA) (sq. ft.)	86,413 sf	Gross Land Area (acres)	1.984 ac	
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Setbacks & Building Height (LUMO Sec. 3.8)					Evaluation [Staff to Complete]
	Proposed street setback (ft.)	20'	Required street setback (ft.)	0	See Staff Report
	Proposed interior setback (ft.)	19'	Required interior setback (ft.)	0	
	Proposed solar setback (ft.)	20'	Required solar setback (ft.)	20'	
	Proposed building height, setback (ft.)	20'	Allowed building height, setback (ft.)	70'	
	Proposed building height, core (ft.)	20'	Allowed building height, core (ft.)	114'	

Land Disturbance					Evaluation [Staff to Complete]
	Total proposed land disturbance (sq. ft.)	72,000 sf on site	Total proposed land disturbance (acres)	1.65 ac	See Staff Report

Impervious Surface Area (ISA) (LUMO Sec. 3.8)					Evaluation [Staff to Complete]
	Existing ISA (sq. ft.)	13,914 SF	Removed ISA (sq. ft.)	13,914 SF	See Staff Report
	New ISA (sq. ft.)	43,519 SF	Total ISA (sq. ft.)	43,519 SF	
	Proposed ISA ratio (% of GLA)	55.3%	Allowed ISA ratio (% of GLA)	70%	

Floor Area (LUMO Sec. 3.6, 3.8, 3.10)					Evaluation [Staff to Complete]
	Existing floor area (sq. ft.)	0	Removed floor area (sq. ft.)	0	See Staff Report
	New proposed floor area (sq. ft.)	19,720	Total proposed floor area (sq. ft.)	19,720	
	Maximum allowed floor area* (sq. ft.)	103,695 sf			
	*Calculated according to the floor area ratio for the proposed zoning district, plus transfer from resource conservation district and/or bonus for affordable units.				

Resource Conservation District (RCD) (LUMO 3.6)	Evaluation [Staff to Complete]					
	Total land area in RCD (sq. ft.)	0		Sewered	<input checked="" type="checkbox"/>	
				Unsewered	<input type="checkbox"/>	
		Streamside Zone		Managed use zone		Upland Zone
	Land area (sq. ft.)	0		0		0
	Proposed use(s) [Table 3.6.3-2]	n/a		n/a		n/a
		Proposed	Allowed	Proposed	Allowed	Proposed
	ISA (sq. ft.)					
	ISA ratio (%)					
	Disturbed area (sq. ft.)					
	Disturbed area ratio (%)		20%		40%	40%
	Floor area (sq. ft.)					
	Floor area ratio (%)		1%		1.9%	
See Staff Report						

<i>Steep Slopes (LUMO Sec. 5.3)</i>	Total steep slopes area (sq. ft.)	6,107 sf	Proposed disturbed area (sq. ft.)	5,315	Evaluation [Staff to Complete]
	Proposed disturbed area (%)	87%	Maximum allowed disturbance (%)	25%	See Staff Report

<i>Recreation Space (LUMO 5.5)</i>	Proposed recreation space (sq. ft.)	0	Required recreation space (sq. ft.)	609 sf	Evaluation [Staff to Complete]
	Proposed payment (\$)	7,380	Payment-in-lieu calculation	609 sf x \$12/sf	See Staff Report

Landscape Buffers (LUMO Sec. 5.6 and Design Manual)	Evaluation [Staff to Complete]					
		Type		Width		See Staff Report
	Direction (North, South, East, West)	Proposed	Required	Proposed	Required	
	North	C	C	Modified 20'	20'	
	North-West	B	B	Modified 10'	10'	
	South-West	C	C	20'	20'	
	South	C	C	Modified 10'	20'	
	South-East	C	C	Modified 8'	20'	
	North-East	B	B	Modified 8'	10'	

Evaluation [Staff to Complete]				
Tree Canopy Coverage (LUMO Sec. 5.7)	Proposed tree canopy coverage (% of NLA)	40% with modification of credit	Required tree canopy coverage (% of NLA)	40%
See Staff Report				

Evaluation [Staff to Complete]					
Off-Street Vehicular Parking (LUMO Sec. 5.9)	Existing vehicular parking spaces	0	Removed vehicular parking spaces	0	See Staff Report
	New vehicular parking spaces	37	Total proposed vehicular parking spaces	37	
	Minimum required vehicular parking spaces	30	Maximum allowed vehicular parking spaces	38	
	Calculation for minimum requirement	23 daycare staff x 1 space + 5 2-bdrm x 1.4 = 23+7 = 30			
	Calculation for maximum allowance	23 daycare staff x 1.25 space + 5 2-bdrm x 1.75 = 29+9 = 38			

Evaluation [Staff to Complete]				
Loading Spaces (LUMO Sec. 5.9)	Existing loading spaces	0	Removed loading spaces	0
	New loading spaces	0	Total loading proposed spaces	0
	Minimum required loading spaces	n/a	Calculation for minimum requirement	
See Staff Report				

Evaluation [Staff to Complete]					
Off-Street Bicycle Parking (LUMO Sec. 5.9)	Existing bicycle spaces	0	Removed bicycle spaces	0	See Staff Report
	New bicycle spaces	4 outdoor covered + 4 garage spaces	Total proposed bicycle spaces	8	
	Minimum required bicycle spaces	31			
	Calculation for minimum requirement	1 bike parking per 10 students = 18 spaces, plus .25 parking per residential unit = 4 spaces			

Print Name Wendi Ramsden

Date January 22, 2026

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CONDITIONAL ZONING OF LIGHTBRIDGE PROJECT

1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

PREPARED FOR:
COMPROP LLC
727 EASTOWNE DRIVE
SUITE 300D
CHAPEL HILL, NC 27514

PIN# 9880-35-0595

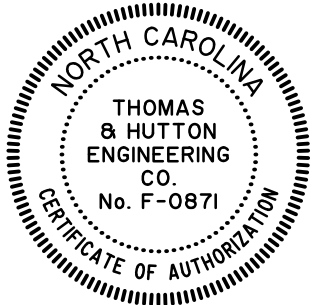
MAY 1, 2025

J-31857.0000

PREPARED BY:

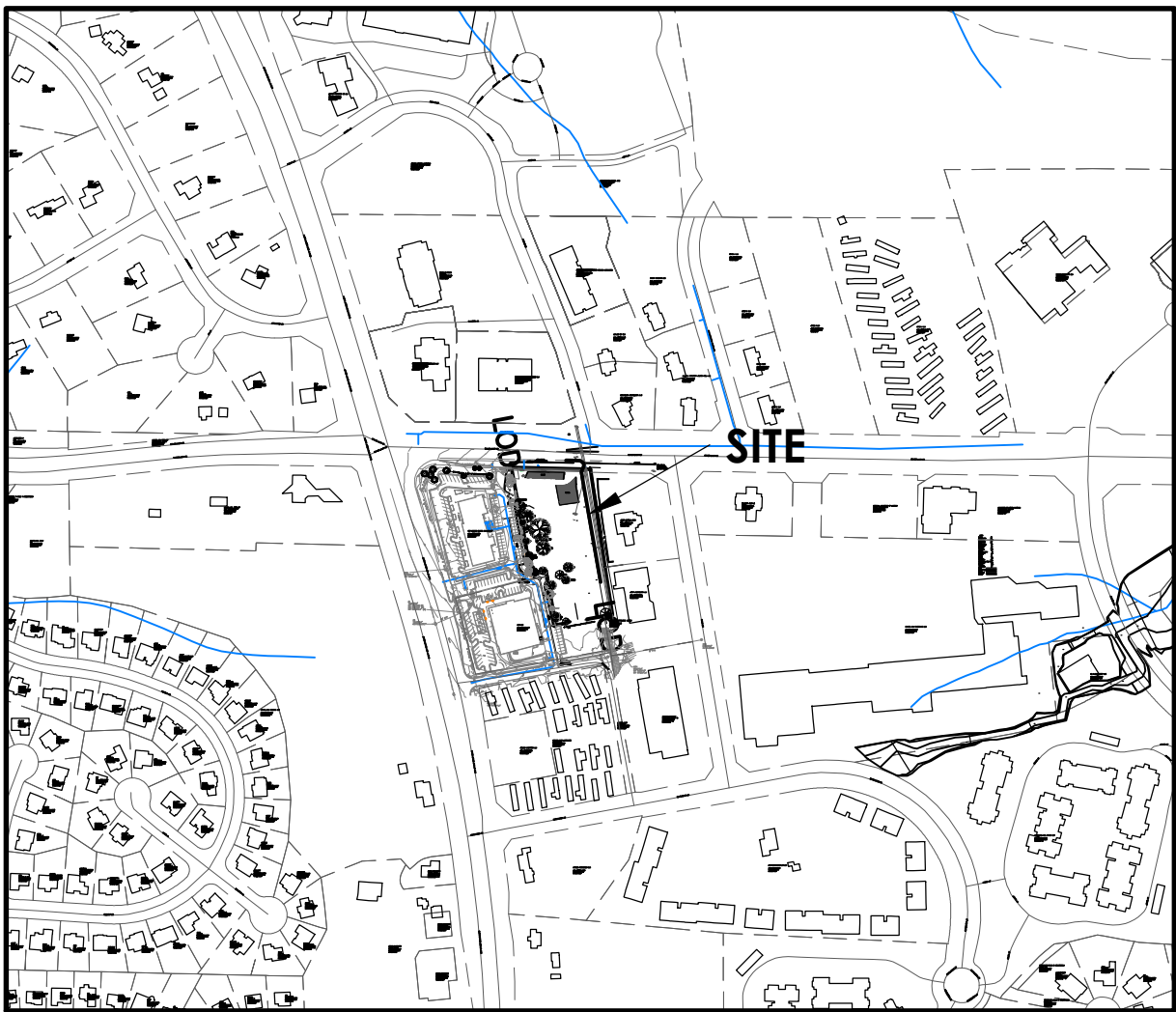


Project Manager's
Seal



OCSW CONSTRUCTION WASTE REQUIREMENTS:

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE IF ANY ASBESTOS CONTAINING MATERIALS ('ACM') AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.



VICINITY MAP
SCALE: 1" = 500'

J-31857.0000
5/01/25
LIGHTBRIDGE PROJECT

SHEET LIST TABLE

SHEET TITLE	SHEET NUMBER
COVER SHEET	C0.0
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FIRE SAFETY PLAN	C1.3
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REVISION HISTORY

REV. NO.	REVISION	BY	DATE
3	RESPONSE TO TOWN REVIEW	WR	12-16-2025
2	RESPONSE TO TOWN REVIEW	WR	10-20-2025
1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025

SUBMITTAL HISTORY

SUBMITTED TO	DATE



Know what's below.
Call before you dig.



2510 Meridian Parkway • Suite 100
Durham, NC 27713
p.919.682.0368
www.thomasandhutton.com

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DRAINAGE LEGEND		
	EXISTING	PROPOSED
PIPE	- - - - -	- - - - -
DITCH		→ - - - -
CURB INLET (CI) CATCH BASIN (CB)		
CURB INLET - RIGHT (CI) OR CATCH BASIN - RIGHT (CB)	 OR 	 OR
CURB INLET - LEFT (CI) OR CATCH BASIN - LEFT (CB)	 OR 	 OR
CURB INLET - BOTH (CI) OR CATCH BASIN - BOTH (CB)	 OR 	 OR
CONTROL STRUCTURE (CS)		
DITCH INLET (DI)		
GRATE INLET (GI)		
HOODED INLET (HI)	 OR 	 OR
JUNCTION BOX (JB)		
MANHOLE (SDMH)		
ROLL CURB INLET (RC)		
ROOF INLET (RI)		
VALLEY INLET (VI)		
YARD INLET (YI)		
BEVELED END SECTION (BES)		
END SECTION (ES)		
FLARED END SECTION (FES)		
11 1/2° BEND - HORIZONTAL		
22 1/2° BEND - HORIZONTAL		
45° BEND - HORIZONTAL		
90° BEND - HORIZONTAL		
CLEANOUT		
PLUG		
TEE		
WYE		

OTHER UTILITIES LEGEND	
	EXISTING
NATURAL GAS	— UGG —
TELEPHONE	— OHT —
UNDERGROUND TELEPHONE	— UTL —
ELECTRICITY	— OHP —
UNDERGROUND ELECTRICITY	— UGP —

ABBREVIATIONS							
DBL	DOUBLE		FM	FORCE MAIN (SANITARY SEWER)		OC	ON CENTER
BOT	BOTTOM		FP	FINISH PAD		PC	POINT OF CURVE
CB	CATCH BASIN		FPW	FIRE PROTECTION		PH	POST HYDRANT
CI	CURB INLET		FR	FRAME		PT	POINT OF TANGENT
CO	CLEAN OUT		GI	GRATE INLET		PVC	POLYVINYL CHLORIDE
CPP	CORRUGATED PLASTIC PIPE		GV	GATE VALVE		RCP	REINFORCED CONCRETE PIPE
DBL	DOUBLE		HDPE	HIGH DENSITY POLYETHYLENE		RC	ROLL CURB INLET
DI	DITCH INLET		HI	HOODED INLET		RCP	REINFORCED CONCRETE PIPE
DIP	DUCTILE IRON PIPE		INV	INVERT ELEVATION		RI	ROOF INLET
EL	ELEVATION		JB	JUNCTION BOX		RJP	RESTRAINED JOINT PIPE
ES	END SECTION		LF	LINEAR FEET		R/W	RIGHT-OF-WAY
FES	FLARED END SECTION		MAX	MAXIMUM		SD	STORM DRAINAGE
FG	FINISH GRADE		MIN	MINIMUM		SDMH	STORM DRAINAGE MANHOLE
FH	FIRE HYDRANT		MH	MANHOLE		SF	SQUARE FEET

SEWER LEGEND		
	EXISTING	PROPOSED
GRAVITY PIPE	— SS —	— — —
SINGLE SERVICE LATERAL	— — —	— — —
DOUBLE SERVICE LATERAL		
DROP MANHOLE (DMH)		
MANHOLE (MH)		
CLEANOUT (CO)		
FORCEMAIN	- - - 10" FM - - -	- - - 10" FM - - -
AIR RELEASE VALVE (ARV)		
CHECK VALVE (CV)		
PLUG VALVE AND BOX (PV)		
FLUSH HYDRANT		
PUMP CONNECTION (PC)		
REDUCER		
TRACER WIRE ACCESS BOX (TWAB)		
CROSS		
TEE		
TAPPING SLEEVE (TS)		
90° BEND HORIZONTAL		
45° BEND HORIZONTAL		
22 1/2° BEND HORIZONTAL		
11 1/2° BEND HORIZONTAL		
BEND VERTICAL		
PLUG \ CAP		

WATER LEGEND		
	EXISTING	PROPOSED
FIRE PROTECTION	— 10" FPW —	— 10" FPW —
WATER MAIN	— 10" W —	— 10" W —
SINGLE SERVICE LATERAL	- - - - -	- - - - -
DOUBLE SERVICE LATERAL		
BUTTERFLY VALVE (BV)		
DOUBLE CHECK DETECTOR ASSEMBLY (DCDA)		
GATE VALVE AND BOX (GV)		
POST INDICATOR VALVE (PIV)		
TAPPING SLEEVE AND VALVE (TSV)		
REDUCED PRESSURE ZONE BACKFLOW (RPZ)		

WATER LEGEND		
	EXISTING	PROPOSED
WATER METER (WM)		
TRACER WIRE ACCESS BOX (TWAB)		
FIRE HYDRANT W/TEE, VALVE & BOX (FHA)		
POST HYDRANT (PH)		
REDUCER		
CROSS		
TEE		
90° BEND - HORIZONTAL		
45° BEND - HORIZONTAL		
22 1/2° BEND - HORIZONTAL		
11 1/2° BEND - HORIZONTAL		
BEND - VERTICAL		
CAP		

GENERAL INFORMATION

COUNTY ORANGE COUNTY
TOWN CHAPEL HILL
ZONING OI-3-CZD (OFFICE AND INSTITUTIONAL 3 CZD)

OWNERS:
COMPROP LLC
MAILING ADDRESS: 727 EASTOWNE DR STE 300D
CHAPEL HILL, NC 27514

ENGINEER:
THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27719
919.682.0368

SURVEYOR:
THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27719
919.682.0368

SITE DATA

PIN: 9880-35-0595
OWNER: COMPROP LLC

WATERSHED: JORDAN LAKE

RIVER BASIN: CAPE FEAR

FLOOD PLAIN DATA: MAP NO. 3710988000K (EFFECTIVE DATE 11/17/2017)

TOTAL PARCEL AREA: 78,557 SF / 1.803 AC NET
GROSS LAND AREA:

FRONTAGE: 213 LF - WEAVER DAIRY RD

EXISTING ZONING: OI-3-CZD
PROPOSED ZONING: MU-V-CZD
EXISTING LAND USE: VACANT LOT

PROPOSED LAND USE: CHILD DAY CARE and TOWNHOME RESIDENTIAL
ALLOWED USES INCLUDE: ADULT DAYCARE FACILITY, BANK, WALKUP AUTOMATED TELLER MACHINES, BARBER/BEAUTY SHOP, GENERAL BUSINESS (CONVENIENCE, GENERAL, WHOLESALE), OFFICE, CHILDCARE FACILITY, CLINIC, CLUB, ALL RESIDENTIAL USES AND MAY INCLUDE HOME OCCUPATION, ESSENTIAL SERVICES, FINE ART EDUCATION FACILITY, FUNERAL HOME, GROUP CARE FACILITY, HOTEL OR MOTEL, INDEPENDENT SENIOR LIVING FACILITY, PERSONAL SERVICES, PLACE OF ASSEMBLY, PLACE OF WORSHIP, PUBLIC CULTURAL FACILITY, PUBLISHING, PRINTING, COMMERCIAL OR NON-PROFIT RECREATION FACILITY, ELEMENTARY OR SECONDARY OR VOCATIONAL SCHOOL, DEDICATED SHORT TERM RENTAL, VETERINARY HOSPITAL OR CLINIC

TOTAL LIMITS OF DISTURBANCE: 69,235 SF / 1.59 AC ON SITE + 1,164 SF OFFSITE

TREE CONSERVATION NO TREE PRESEAVATION PROPOSED

PROPOSED LAND DISTURBANCE: 69,235 SF / 1.59 AC ON SITE + 1,164 SF OFFSITE

EXISTING IMPERVIOUS ON-SITE: 13,914 SF / 0.32 AC/17.7% GLA

PROPOSED IMPERVIOUS ON-SITE: 43,519 SF/1.00 AC/55.3% GLA

PROPOSED PHASING

PHASE 1
- CONSTRUCTION OF BOTH VEHICULAR ACCESS DRIVES SERVING ALL PHASES
- SERVICING OF SITE FOR WATER AND SANITARY SEWER SERVING ALL PHASES
- PROVISION OF FIRE PROTECTION (FIRE HYDRANT ON SITE) SERVING ALL PHASES
- INSTALLATION OF STORMWATER MITIGATION SERVING ALL PHASES
- INSTALLATION OF TRASH COLLECTION FACILITY FOR ALL PHASES
- CONSTRUCTION OF ALL SURFACE PARKING
- CONSTRUCTION OF NON-RESIDENTIAL USES ON SITE
- INSTALLATION OF LANDSCAPE BUFFER PLANTINGS ADJACENT TO PHASE 1 DEVELOPMENT

PHASE 2
- CONSTRUCTION OF RESIDENTIAL USE AND ASSOCIATED OUTDOOR RESIDENTIAL USE AREA
- INSTALLATION OF LANDSCAPE BUFFER PLANTINGS ADJACENT TO PHASE 2 CONSTRUCTION

NOTE THAT NO OFF-SITE IMPROVEMENTS ARE PROPOSED IN EITHER PHASE.

EXISTING BUILDINGS ON SITE: 0 SF

PROPOSED BUILDING SQUARE FOOTAGE: 19,760 SF
DAYCARE BUILDING: 11,760
TOWNHOMES: 8,000 SF

RESIDENTIAL UNITS 2-BED 4 UNITS

TOTAL UNIT COUNT 4-12 UNITS

PARKING

11,760 SF DAYCARE - 1.00-1.25 SPACES/STAFF MEMBER (26 staff)
= 26-32
4 X 2-BED X 1.4-1.75 SPACES/UNIT 6-7

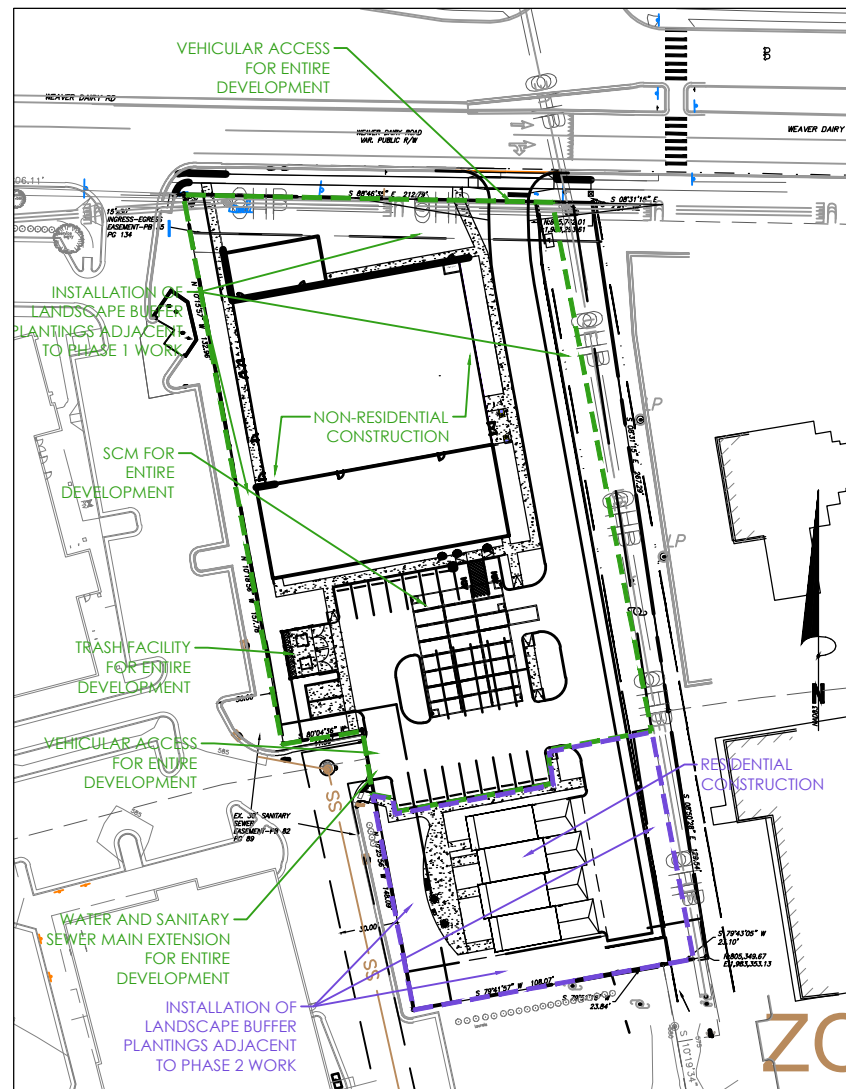
MINIMUM REQUIRED: 32
MAXIMUM ALLOWED: 39

PARKING PROPOSED: 30 STANDARD SPACES + 2 ADA SPACES + 4 CARPORT SPACES

TOTAL PARKING PROPOSED: 36 SPACES

BICYCLE PARKING

REQUIRED: 4 RESIDENTIAL UNITS X .25/UNIT = 1
1 PER 10 STUDENTS = 19
4 SPACES (2 LOOPS) IN FRONT OF DAYCARE
4 INTERIOR / 1 PER CARPORT
TOTAL: 8 BIKE PARKING SPACES



GENERAL NOTES AND INDEX

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514


DATUM: HORIZ.: NAD83 VERT.: NAVD88

JOB NO: 31857.0000
DATE: 5/01/25
DRAWN: JTH
DESIGNED:
REVIEWED:
APPROVED:
SCALE: 1" = 60'

C0.1



3	RESPONSE TO TOWN REVIEW	WR	12-16-2025		
1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025		
NO.	REVISIONS	BY	DATE		



**THOMAS
&
HUTTON**

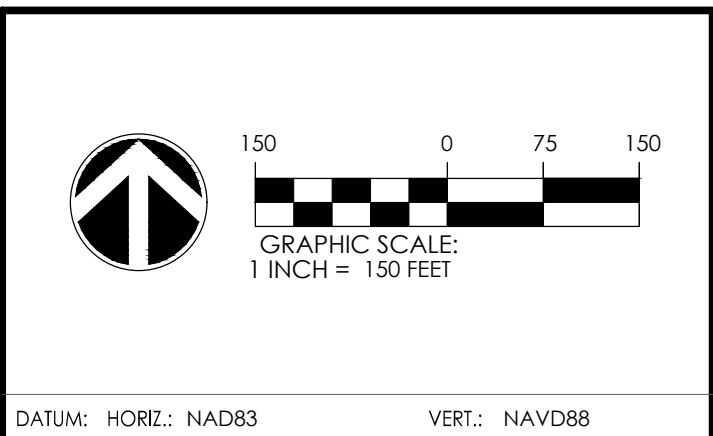
2510 Meridian Parkway • Suite 100
Durham, NC 27713 • 919.682.0368
www.thomasandhutton.com

AREA MAP

LIGHTBRIDGE PROJECT

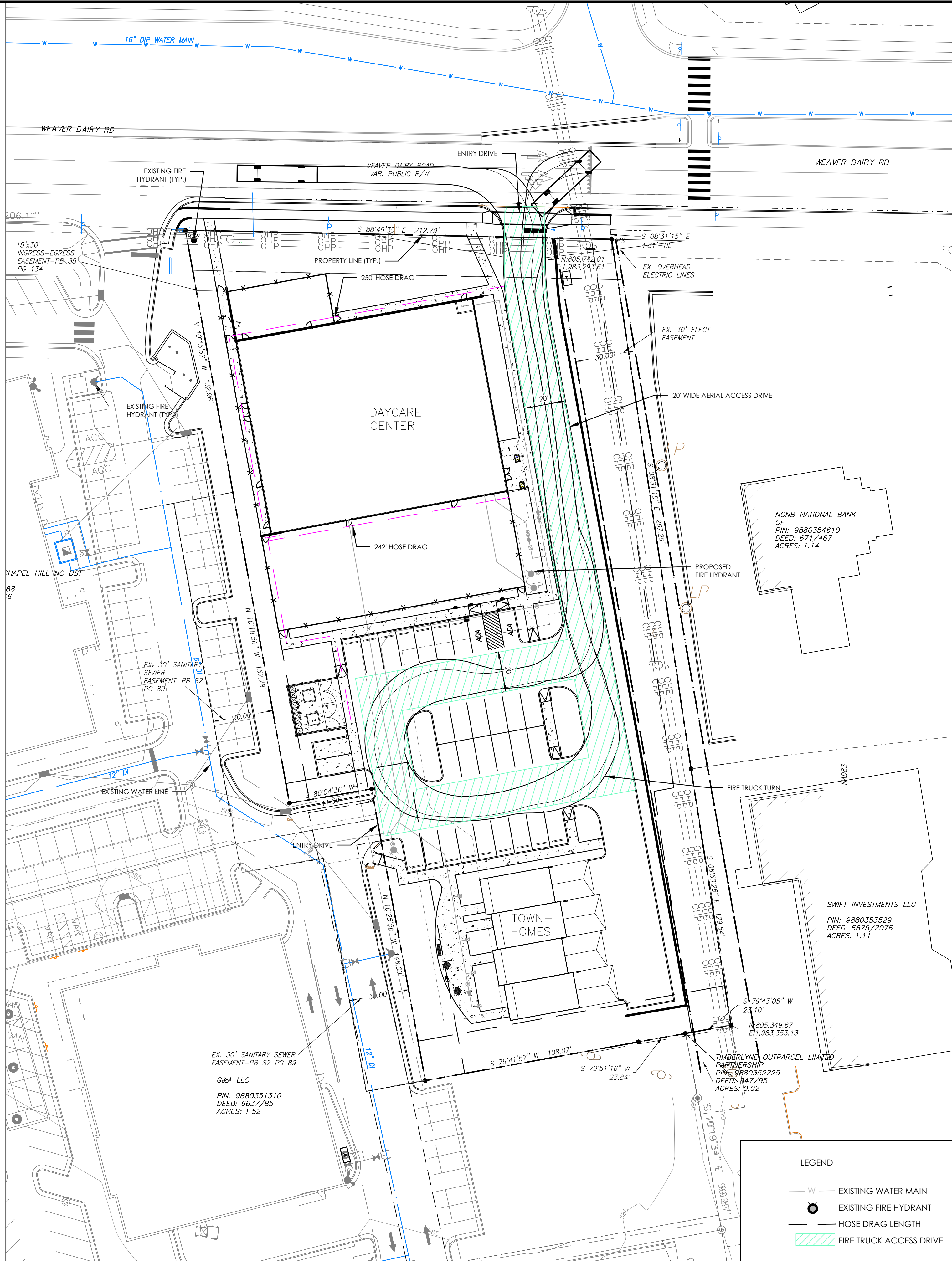
PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROP LLC
727 EASTTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514



JOB NO:	31857.0000
DATE:	5/01/25
DRAWN:	JTH
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	1" = 150'

A1.1



1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025
NO.	REVISIONS	BY	DATE

The image shows a business card for Thomas & Hutton. The top half of the card is a large, empty rectangular area with a thin black border. The bottom half of the card has a black background. On the left side of the bottom half is the Thomas & Hutton logo, which consists of a stylized 'TH' in white. To the right of the logo, the company name 'THOMAS & HUTTON' is written in a white, serif, all-caps font. Below the company name, the contact information is printed in a smaller, white, sans-serif font: '2510 Meridian Parkway • Suite 100', 'Durham, NC 27713 • 919.682.0368', and the website 'www.thomasandhutton.com'.

FIRE SAFETY PLAN

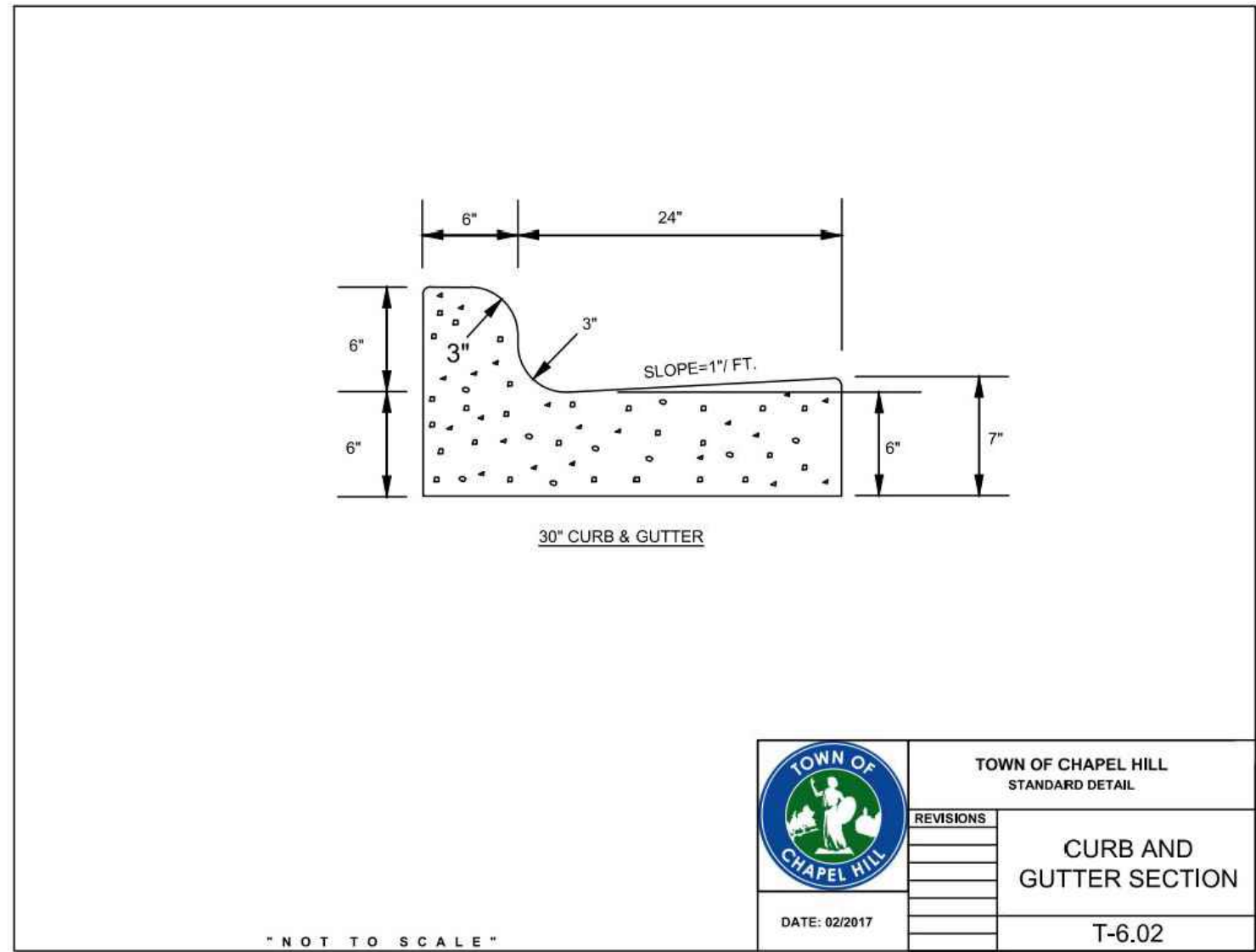
LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

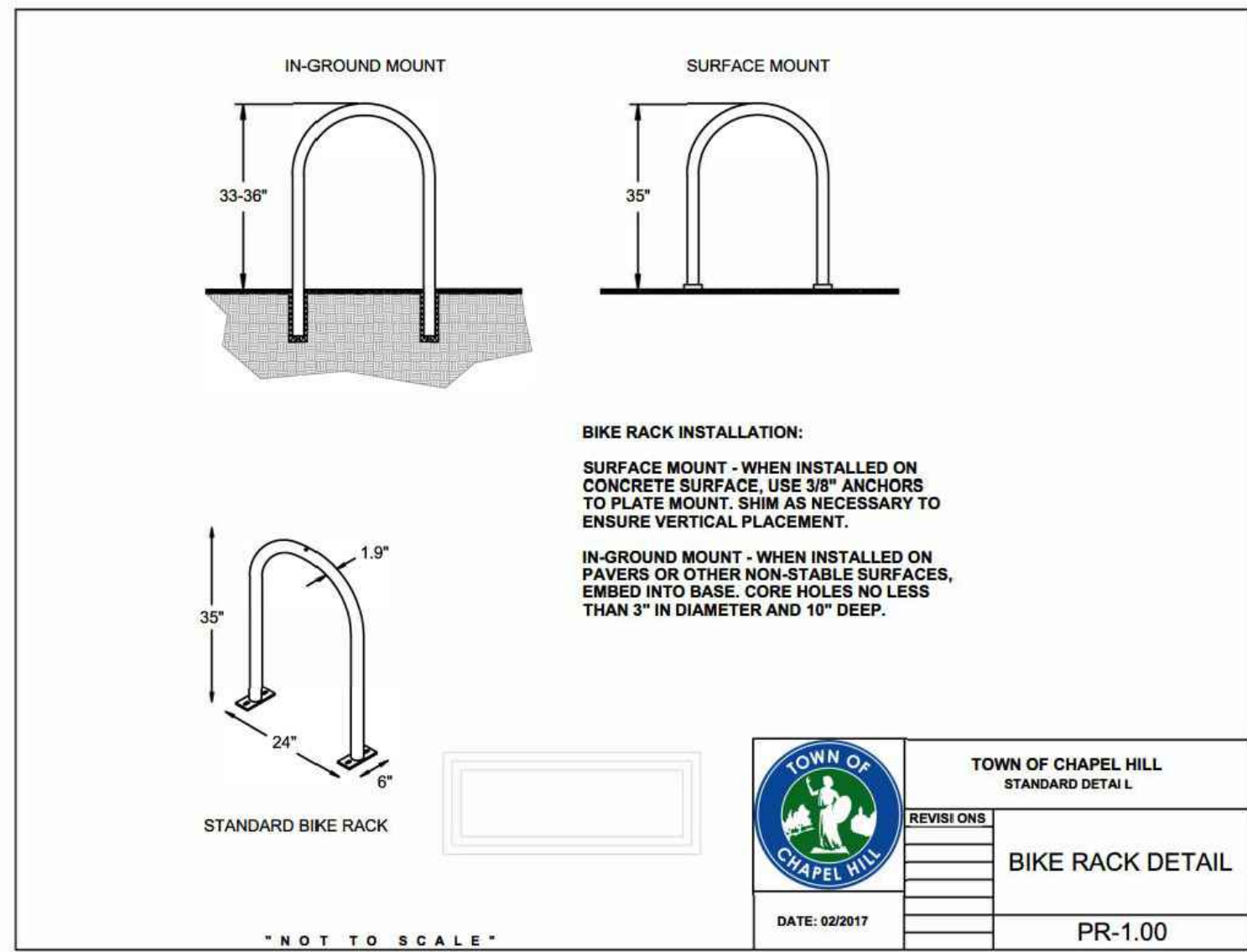
CLIENT/OWNER:
COMPROP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514

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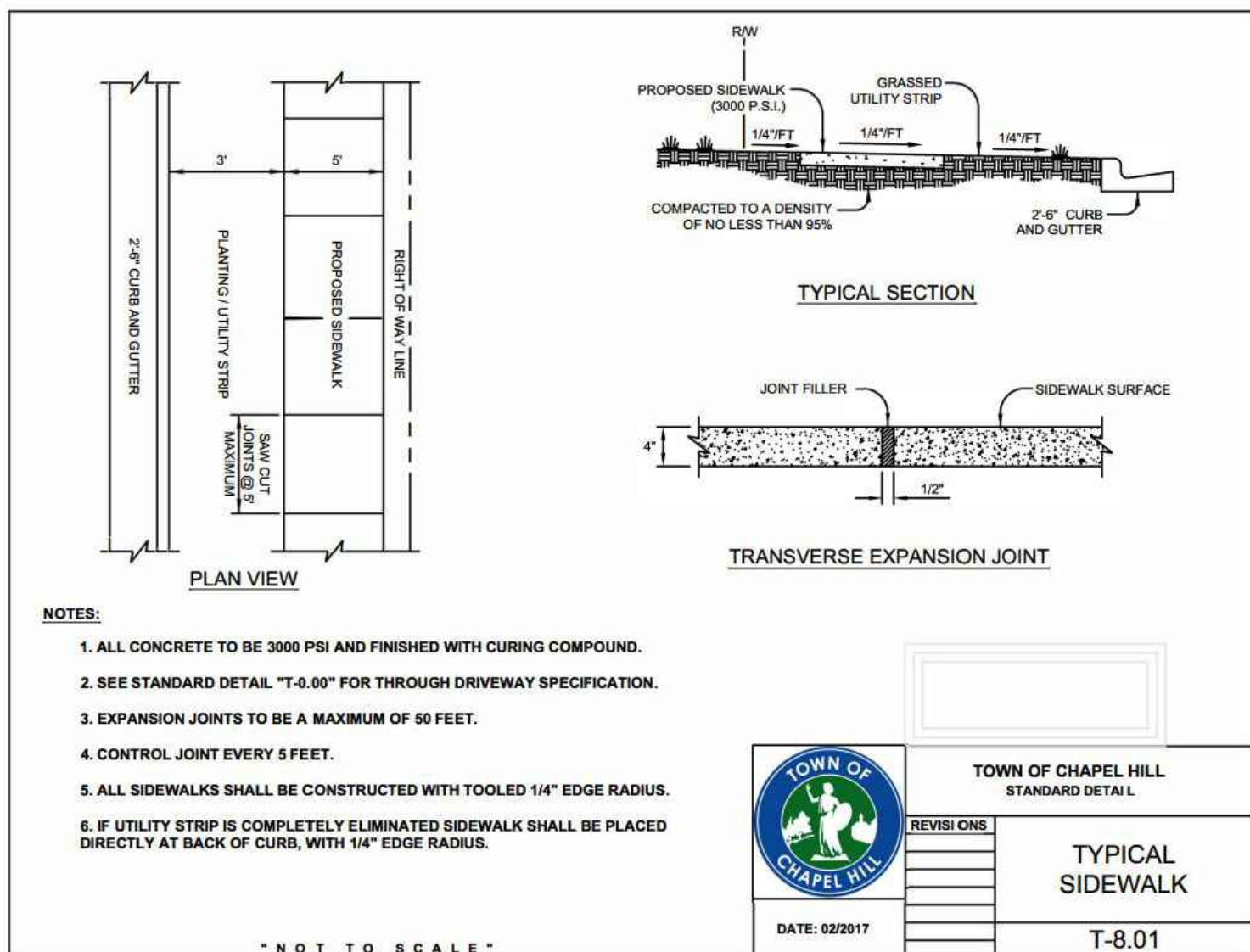
GRAPHIC SCALE:
1 INCH = 30 FEET



1 CURB & GUTTER DETAIL
C1.3 NTS

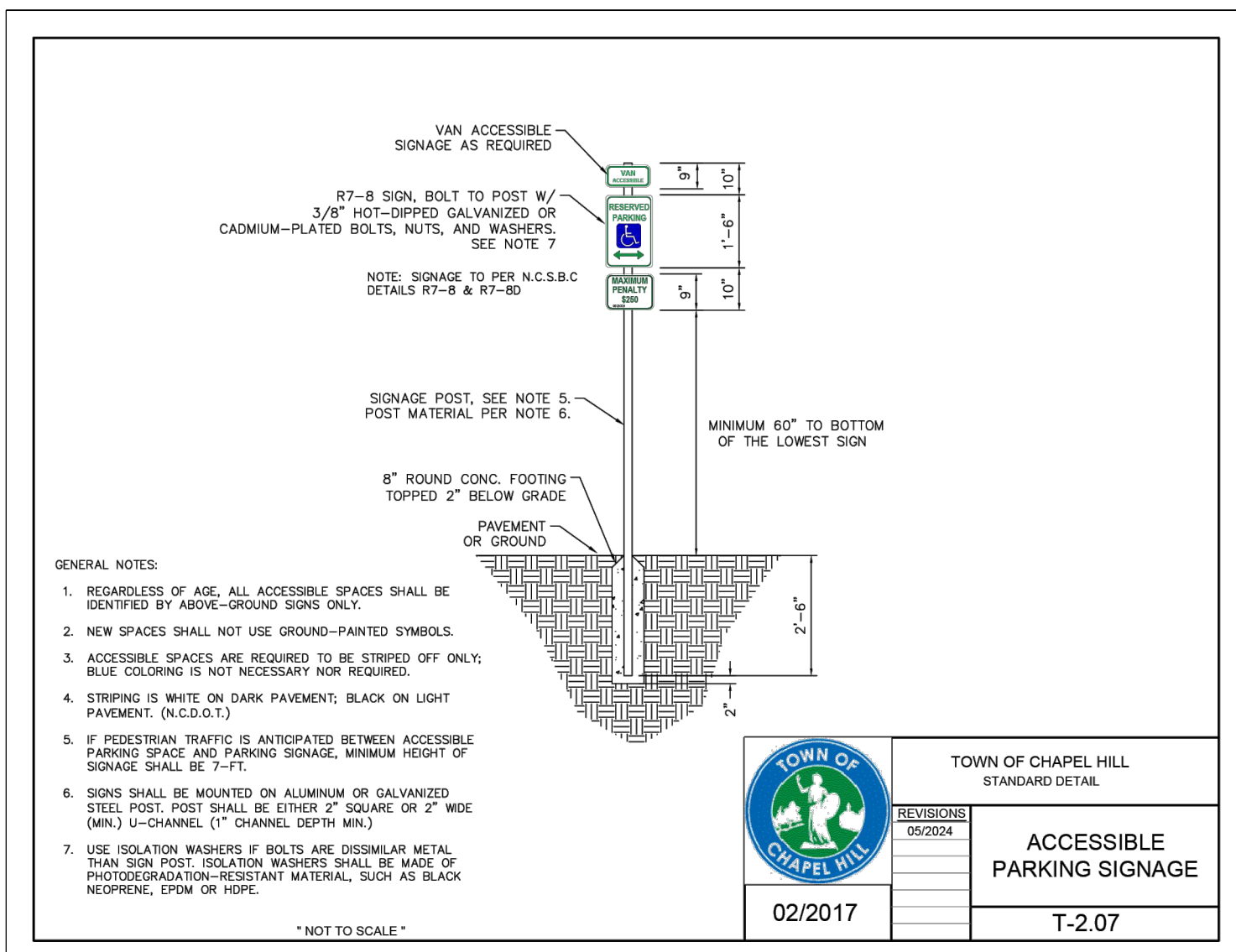


4 OUTDOOR BIKE RACK DETAIL
C1.3 NTS

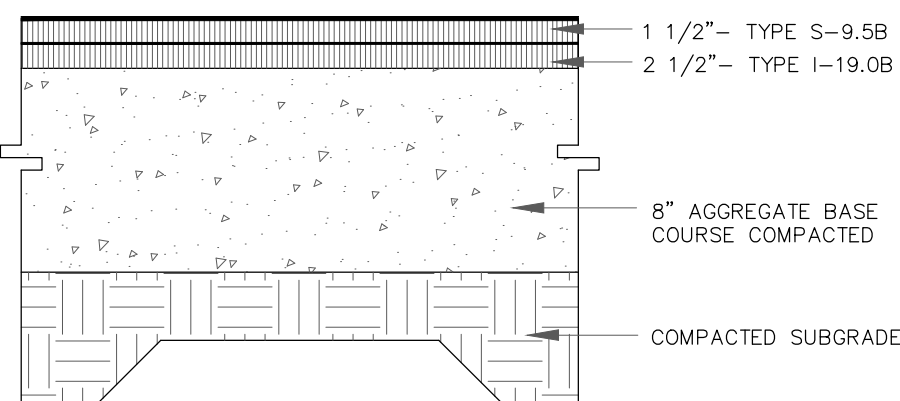


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C1.3

TYPICAL SIDEWALK DETAIL
NTS

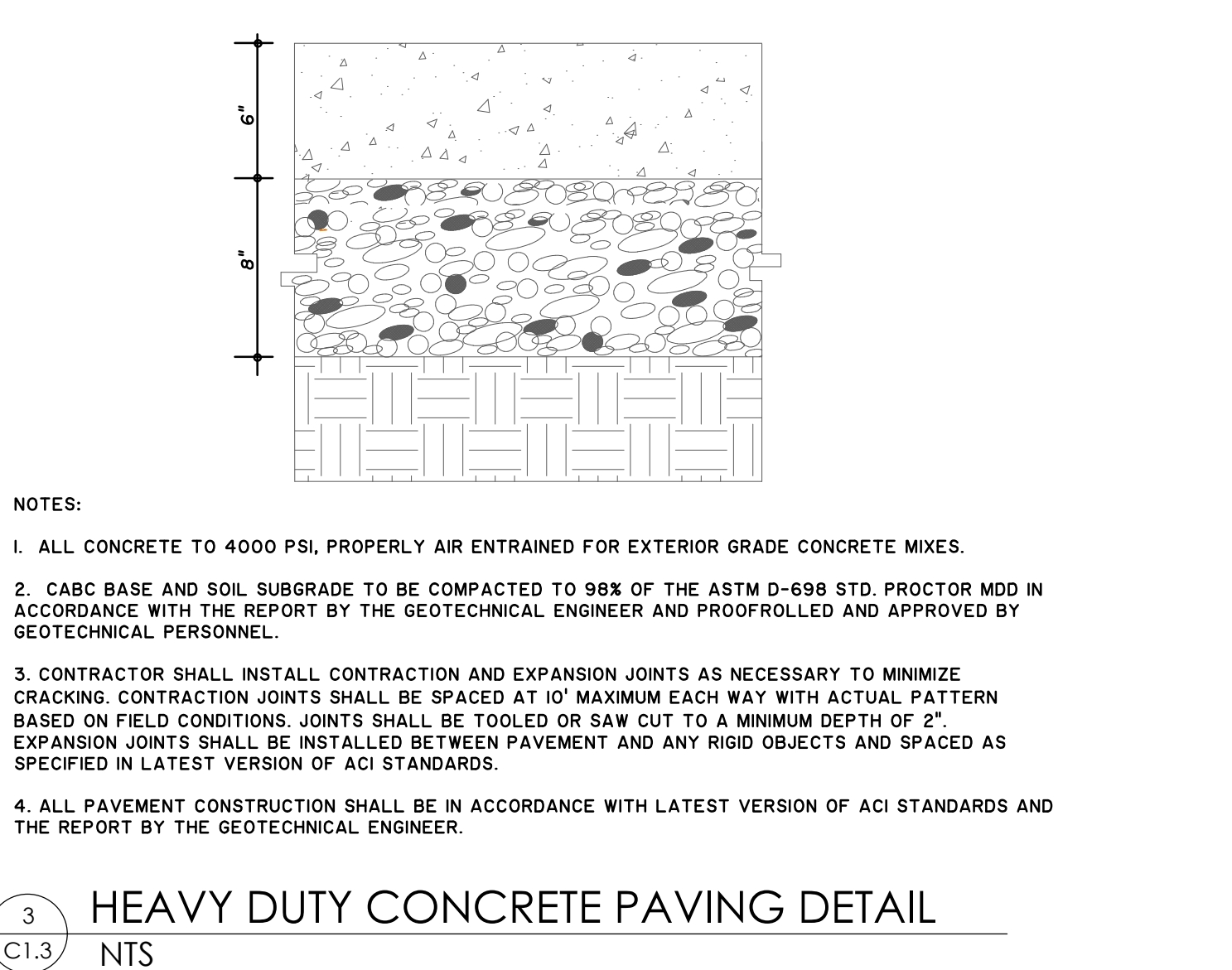


5	ACCESSIBLE PARKING SIGNAGE
C1.3	NTS

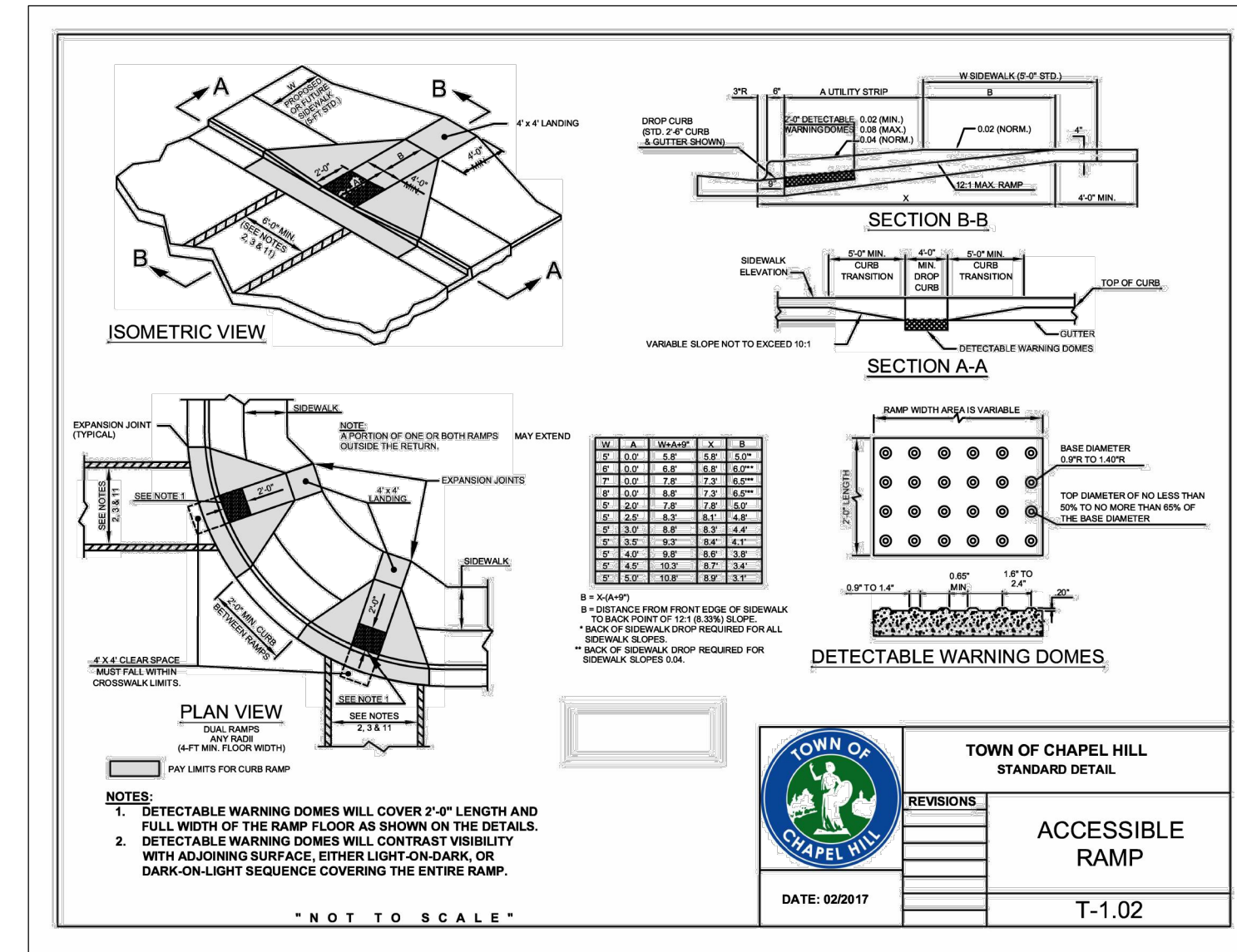


FINAL PAVEMENT SECTION IS PROVIDED BY
GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC
GEO-TECHNICAL REPORT

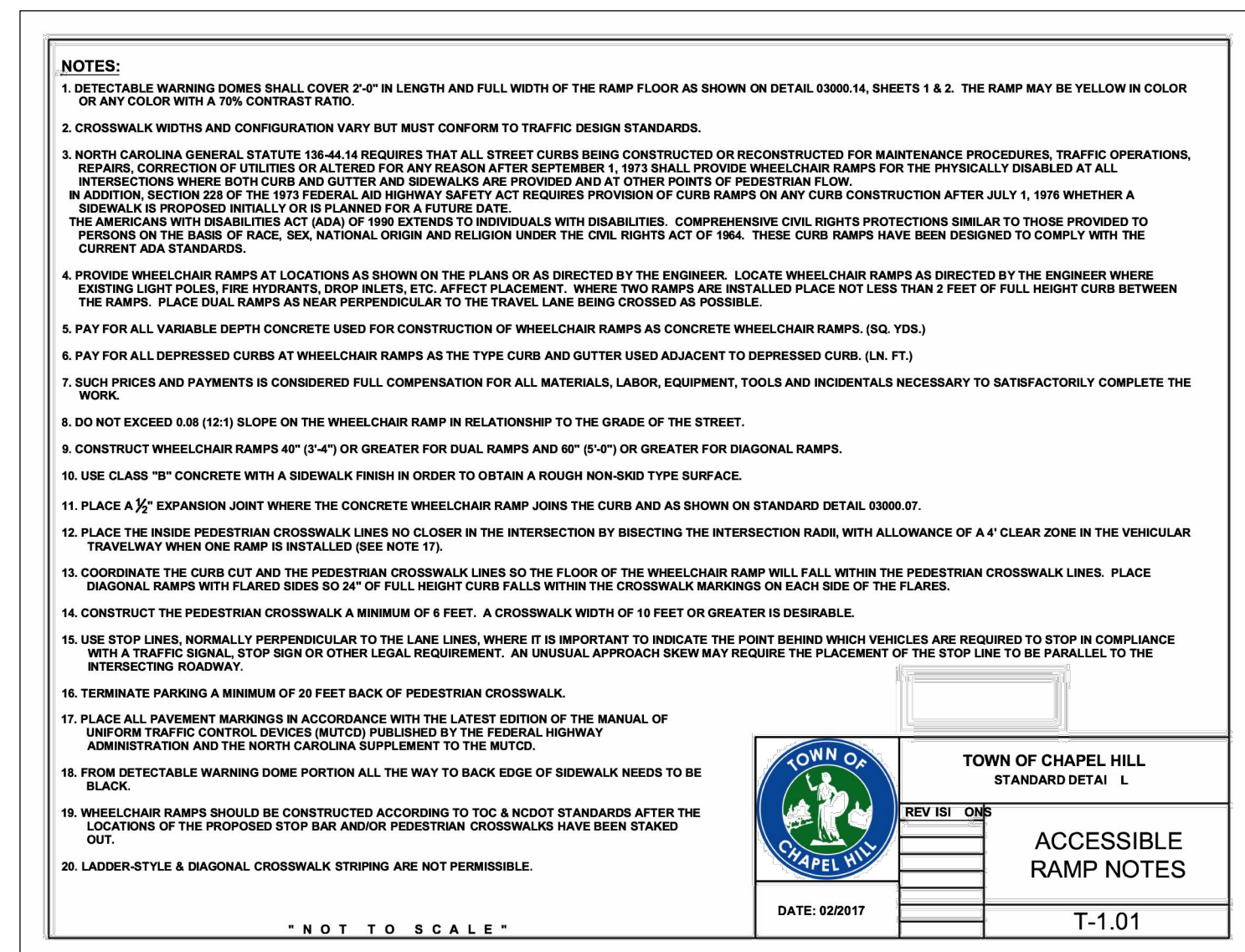
7
C1.3



3 HEAVY DUTY CONCRETE PAVING DETAIL



6 ACCESSIBLE RAMP
C1.3 NTS



8 ACCESSIBLE RAMP
C1.3 NTS

1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025
NO.	REVISIONS	BY	DATE

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**THOMAS
&
HUTTON**

2510 Meridian Parkway • Suite 100
Durham, NC 27713 • 919.682.0368

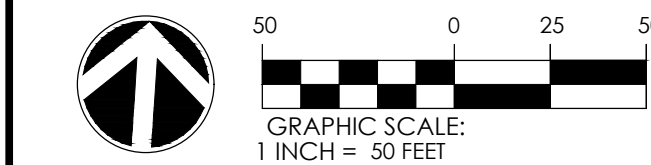
www.thomasandhutton.com

SITE DETAILS

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514



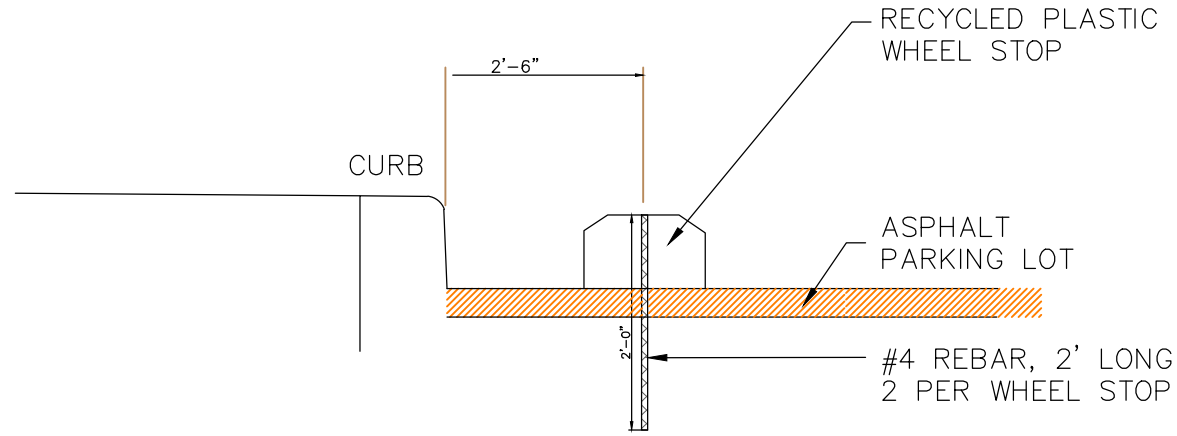
DATUM: HORIZ.: NAD83

VERT.: NAVD88

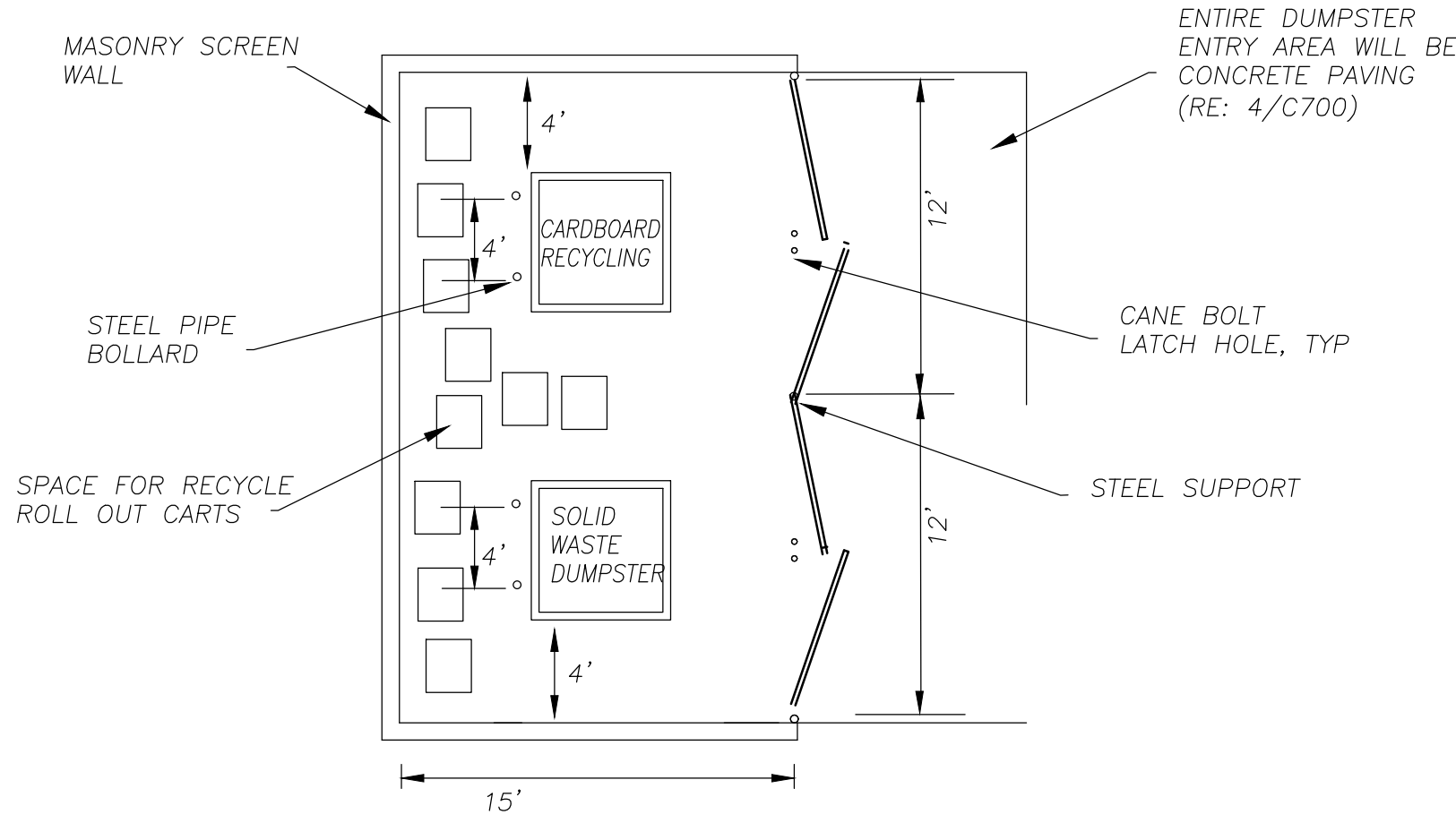
JOB NO:	31857.0000
DATE:	5/01/25
DRAWN:	JTH
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	1" = 50'

C1.5

C:\Users\jth\OneDrive\Documents\Drawings\C1.6\2025\01\08\08-21-2025_411.dwg, 08/21/2025, 4:11 PM



1 WHEEL STOP
C1.4 NTS



2 DUMPSTER ENCLOSURE
C1.4 NTS

1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025
NO.	REVISIONS	BY	DATE



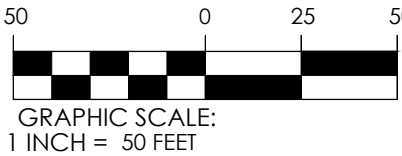
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SITE DETAILS

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514



DATUM: HORIZ.: NAD83 VERT.: NAVD88

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SCALE:	1" = 50'

C1.6

- GENERAL NOTES:
 1. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
 2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
 4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
 5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEER AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
 6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
 7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES. CONTRACTOR AND THE OWNER.
 8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

SANITARY SEWER:

1. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

WATER:


1. WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
2. LAY WATER MAINS AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
3. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
4. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
5. MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
6. ALL FDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ CONNECTIONS.
7. PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24, 2018 NFCC SECTION 501.
8. FDC/STANDPIPES/3/3151 WHERE REQUIRED IN BUILDINGS REQUIRED TO HAVE STANDPIPES BY SECTION 905.31, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED FOR USE DURING CONSTRUCTION. SUCH STANDPIPES SHALL BE INSTALLED PRIOR TO CONSTRUCTION EXCEEDING 40 FEET (12192 MM) IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. SUCH STANDPIPE SHALL BE PROVIDED WITH FIRE DEPARTMENT VEHICLE ACCESS. SUCH STANDPIPES SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO ACCESSIBLE STAIRWAYS. SUCH STANDPIPES SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING. 2018 NFCC SECTION 313
9. POOL: BACKWASH FOR CHLORINATED, DECHLORINATED, OR FRESHWATER POOLS SHALL DISCHARGE TO THE SANITARY SEWER, PER OWASA GUIDANCE. IF POOL IS SALTWATER, BACKWASH SHALL BE REMOVED VIA PRIVATE, LICENSED HAULER, NOT DISCHARGED TO SANITARY SEWER.

[illegible]

NOTE: FINAL PLAN DESIGN MAY INCLUDE WATER AND/OR SANITARY SEWER UTILITY SERVICE BY DIRECT SERVICE LINE FROM EXISTING MAINS IN EASEMENTS IN ADJACENT PARCEL.

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2	RESPONSE TO TOWN COMMENTS	WR	10-20-2025
1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025
NO.	REVISIONS	BY	DATE



THOMAS & HUTTON


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UTILITY PLAN

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COWPROP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514





GRAPHIC SCALE:
1 INCH = ## FEET

DATUM: HORIZ.: NAD83VERT.: NAVD88

JOB NO: 31857.0000

DATE: 5/01/25

DRAWN: JTH

DESIGNED:

REVIEWED:

APPROVED:

SCALE: #####

C2.1

ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.

3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".

5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.

6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.

8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.6% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.

10. STORM STRUCTURES: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF CHAPEL HILL STANDARD DETAILS, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.

2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.

3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.

4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL

5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.

6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.

7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.

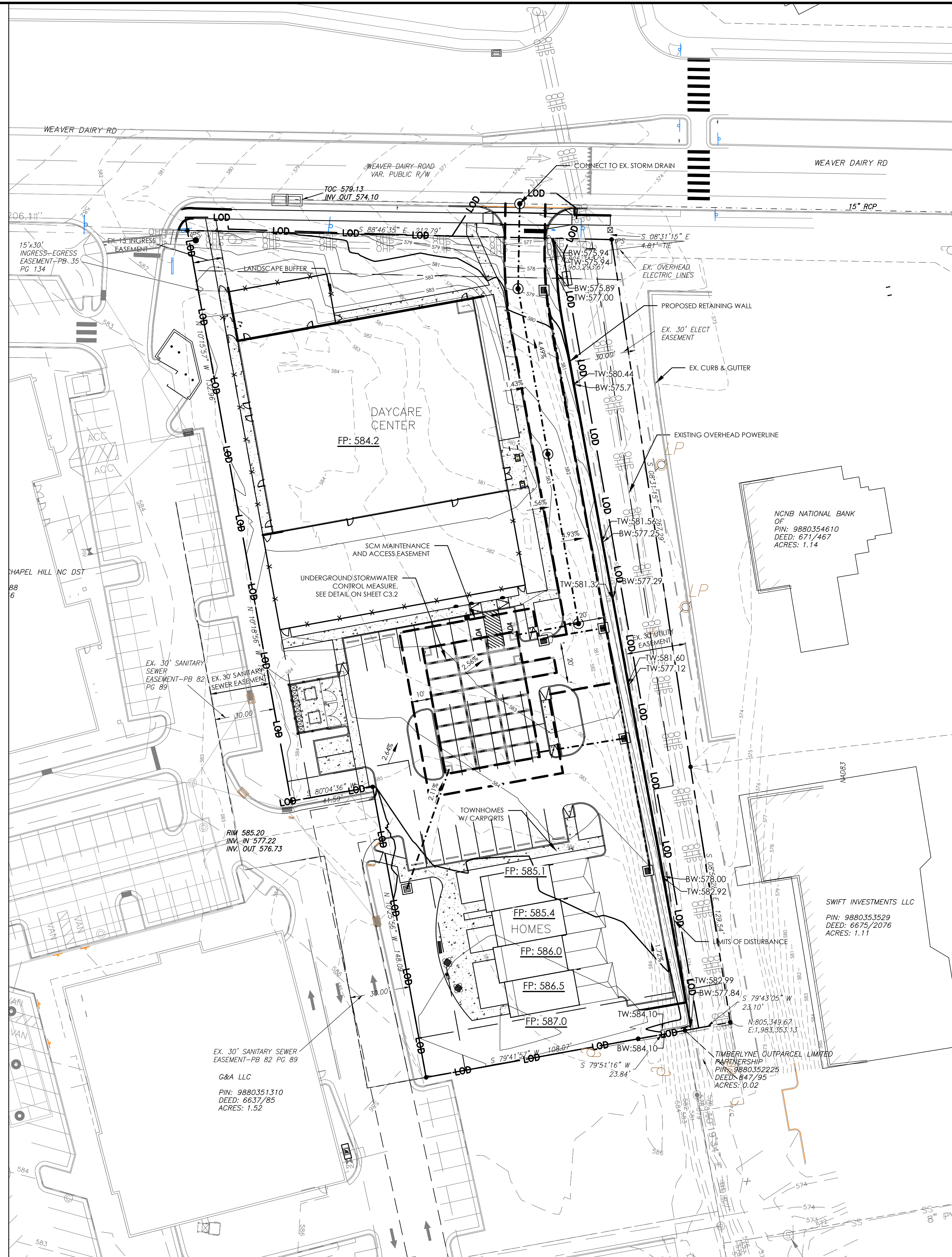
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.

9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.

10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

FOR ALL SIDEWALKS/CURB RAMPS THE FOLLOWING APPLIES:

1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
3. MINIMUM 1" SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
4. ADA PARKING SPACES SHALL BE 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.
5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
6. PARKING - NUMBER OF SPACES TO COMPLY WITH NCCB 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 1% IN ANY DIRECTION, 1 PER NC REQUIREMENTS, MUTCD AND ICC A 117.1.
7. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
8. SLOPES GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.
9. CURB RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (12:1).
10. CONSTRUCT THE CURB RAMP SIDE FLARE SLOPE AT A MAXIMUM OF 10%, MEASURED ALONG THE CURB LINE.
11. CONSTRUCT THE CURB RAMP LANDINGS FOR A SIDEWALK AT A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
12. CONSTRUCT CURB RAMP DETECTABLE WARNING DOMES TO COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR.



1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025
NO.	REVISIONS	BY	DATE



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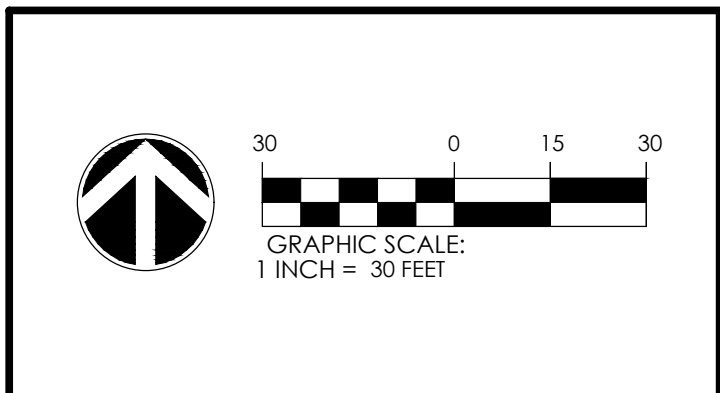
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PAVING GRADING AND
DRAINAGE PLAN

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROP LLC
727 EASTTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514



DATUM: HORIZ.: NAD83 VERT.: NAVD88

JOB NO:	31857.0000
DATE:	5/01/25
DRAWN:	JTH
DESIGNED:	
REVIEWED:	
APPROVED:	
SCALE:	1" = 30'

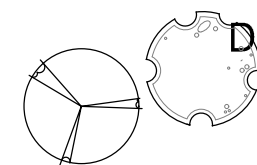
C3.1

C3.1

PLANTINGS WILL BE NATIVE.
REQUIRED LANDSCAPE MATERIALS WILL BE SELECTED FROM THIS LIST.
PLANTINGS WILL MEET MINIMUM INSTALLATION SIZE AS DICTATED IN THE
TOWN'S DESIGN MANUAL.

DECIDUOUS CANOPY TREE - min installation size 3"-3.5" caliper
 Acer rubrum 'Armstrong' - Columnar Red Maple
 Liquidamber styraciglua 'Slender Silhouette'
 Nyssa sylvatica - Black Gum
 Ulmus americana - American Elm


EVERGREEN CANOPY TREE - min installation size 14'-16' height
Magnolia grandiflora - Southern Magnolia
Pinus virginiana - Virginia Pine

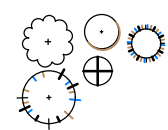


DECIDUOUS UNDERSTORY TREE - min installation size 1.5"-2" caliper

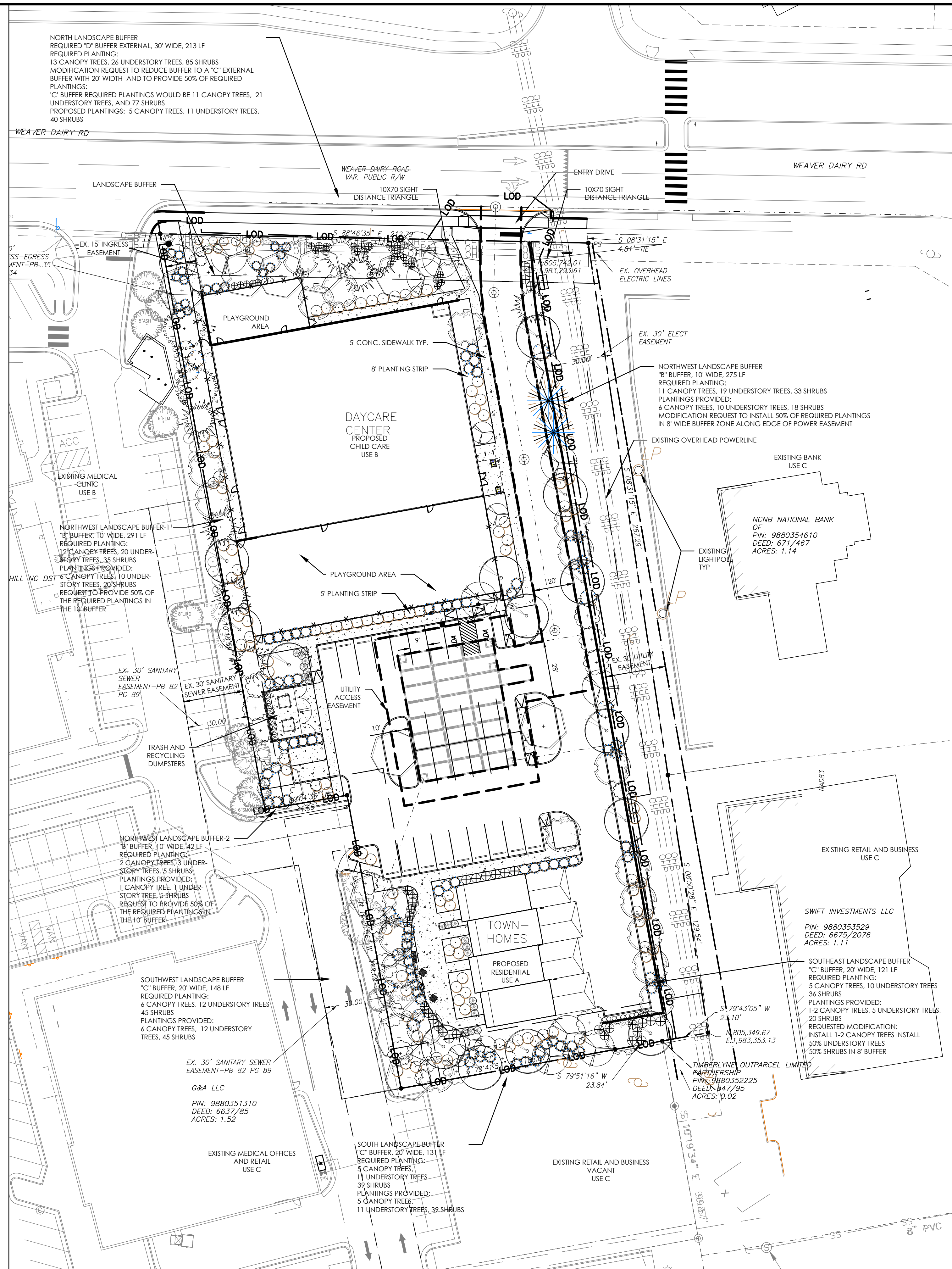
- Cercis canadensis - Redbud
- Cornus florida - Dogwood
- Ostrya virginiana - American Hop Hornbeam
- Oxydendrum arborium - Soutwood

EVERGREEN UNDERSTORY TREE - min installation size 8'-10' height

Ilex opaca - American Holly	
Juniperus virginiana - Eastern Redcedar	
Magnolia virginiana - Sweetbay Mangolia	
Prunus caroliniana - Carolina Cherry Laurel	



SHRUB - min installation size 18"-24" height
 Ilex verticillata - Winterberry
 Ilex vomitoria - Yaupon Holly



PLANTING PLAN
Scale: 1" = 30'



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PLANTING PLAN

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CHAPEL HILL, NC 27514

CLIENT/OWNER:
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727 EASTOWNE DRIVE
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GRAPHIC SCALE:
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APPROVED:		
SCALE:	1" = 30'	

L1.1

TREE COVERAGE CALCULATIONS

Surveyed site area: 78,857 SF

Less area in storm easement: 10,244 SF

Less electric easement 9,465 SF

Net Land Area: 59,148 SF

REQUIRED TREE COVERAGE: 40% = 23,660 SF

TREE COVERAGE TO BE RETAINED: 0

REQUIRED NEW TREE INSTALLATION: 30 CANOPY TREES
AND 36 UNDERSTORY TREES

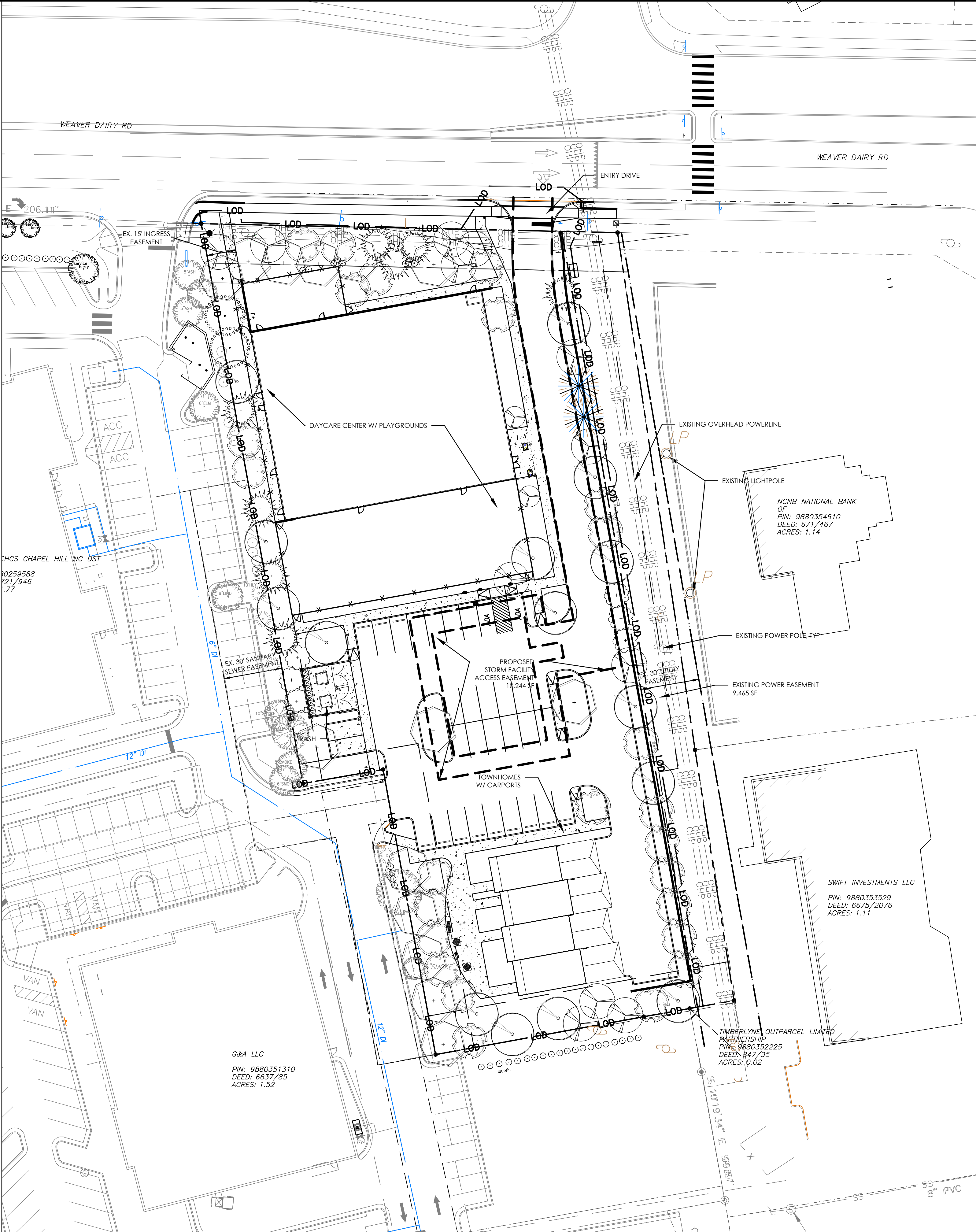
MODIFICATION REQUEST TO CREDIT UNDERSTORY TREES
AT 250 SF EACH TOWARD THE REQUIRED TREE COVERAGE

PROPOSED CANOPY TREE PLANTINGS:

CANOPY COVERAGE CREDIT: 30 CANOPY TREES X 500 SF = 15,000 SF

36 UNDERSTORY TREES X 250 SF = 9,000 SF

24,500 SF



LANDSCAPE PROTECTION PLAN
Scale: 1" = 30'

REVISIONS			
NO.	REVISIONS	BY	DATE
1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025

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LANDSCAPE PROTECTION PLAN

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

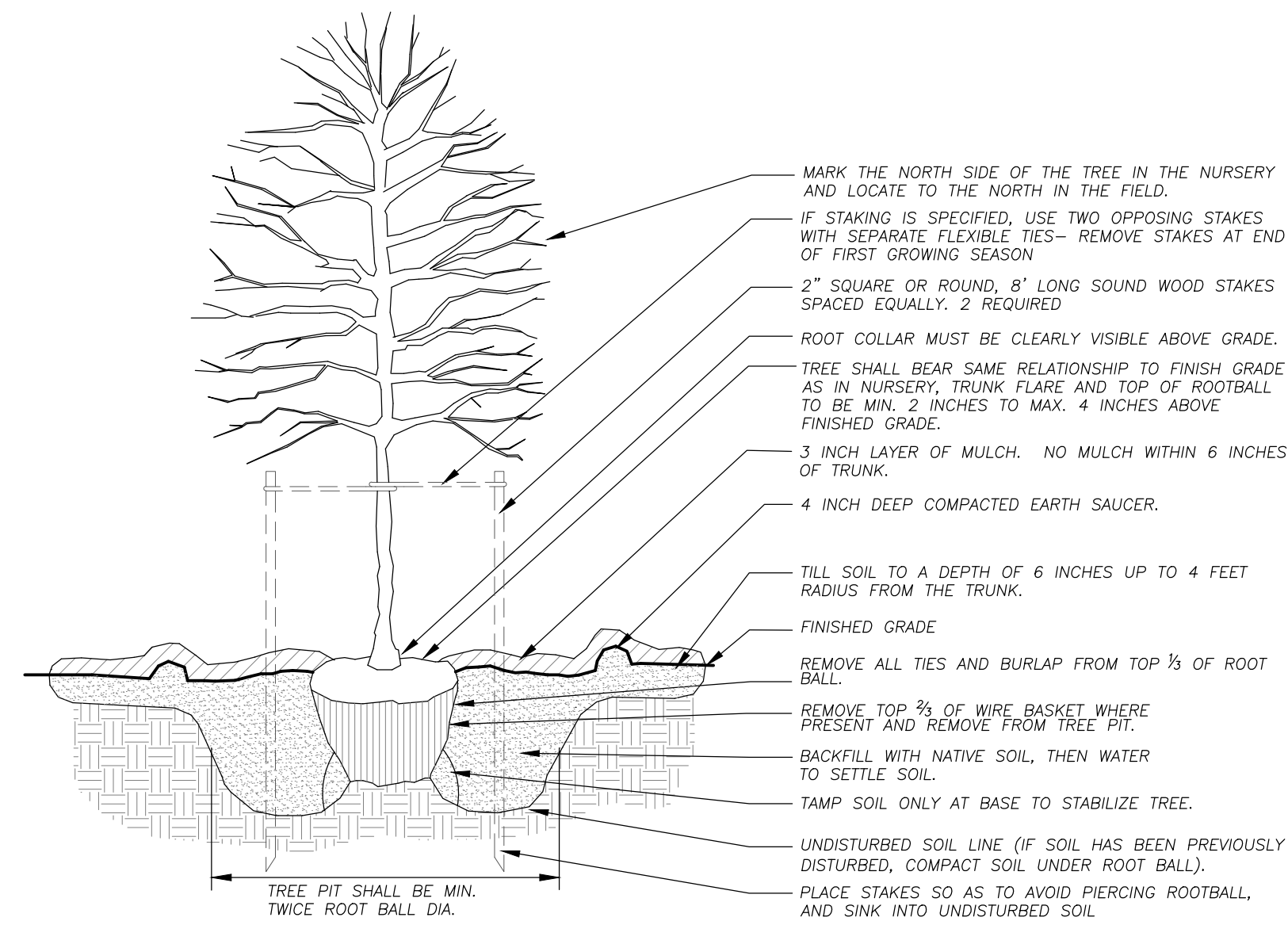
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COMPROP LLC
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CHAPEL HILL, NC 27514

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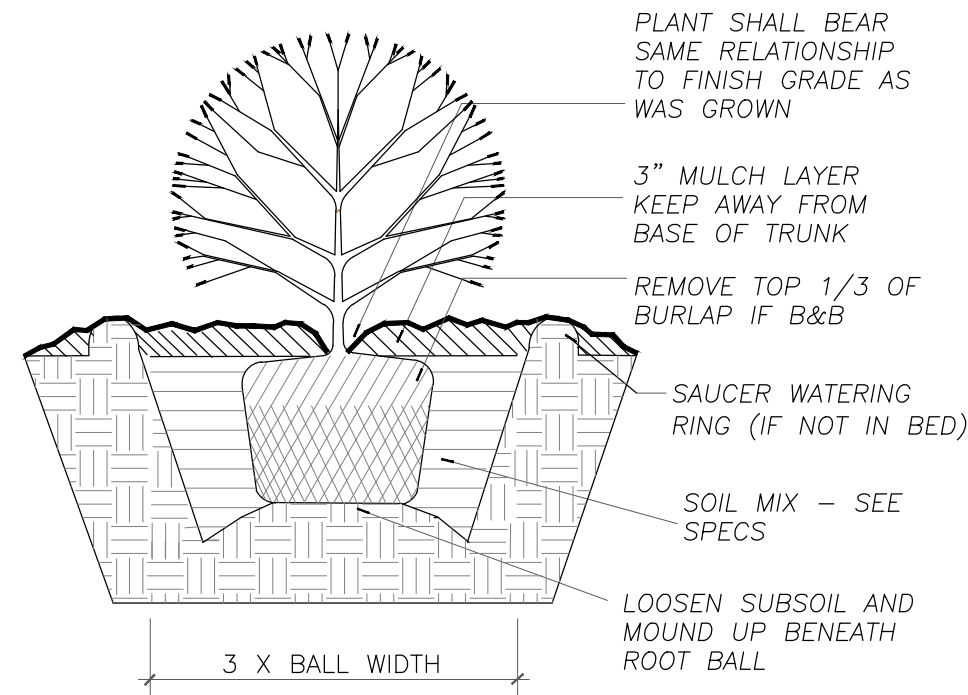
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APPROVED:	
SCALE:	1" = 30'

L1.2



1. THIS STANDARD APPLIES TO SINGLE AND MULTI-STEM TREES.
2. NO SYNTHETIC FABRIC IS ALLOWED ON ROOT BALL.
3. REMOVE ALL BALL TIES OR STRAPPING FROM ROOT BALL.
4. DO NOT INSTALL TREES DURING PERIODS OF WET OR FROZEN SOIL CONDITIONS.
5. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
6. SET TREE PLUMB IN ALL DIRECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB IN ALL DIRECTIONS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR DIRECTED BY LANDSCAPE ARCHITECT. IF STAKED, STAKE ONLY AS SHOWN.

1 TREE PLANTING DETAIL
L1.2 NTS



2 SHRUB PLANTING DETAIL
L1.2 NTS

1	RESPONSE TO TOCH COMMENTS	JTH	08-21-2025
NO.	REVISIONS	BY	DATE



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PLANTING DETAILS

LIGHTBRIDGE PROJECT

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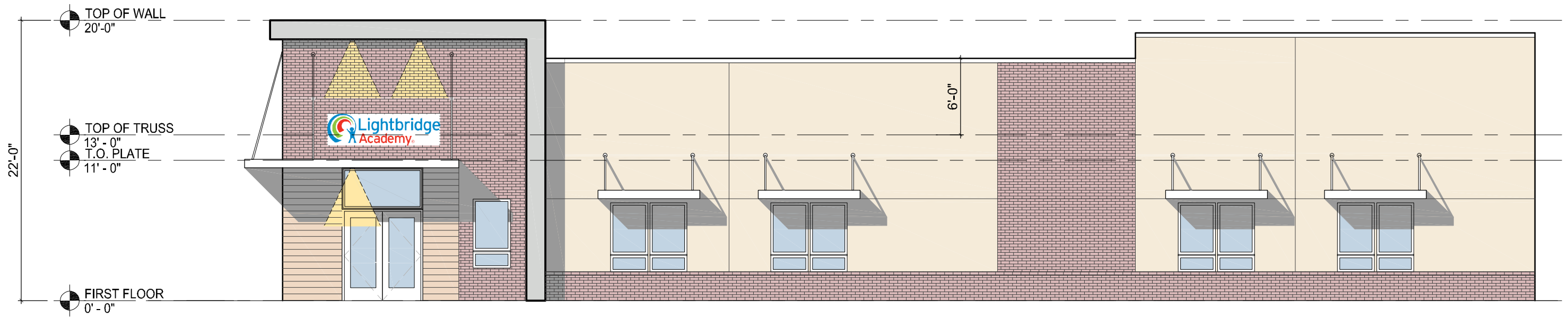
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1 INCH = 50 FEET

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VERT.: NAVD88

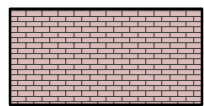
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L1.3



BUILDING ELEVATION - EAST

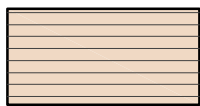
SCALE: 1/8" = 1'-0"



BRICK



STUCCO



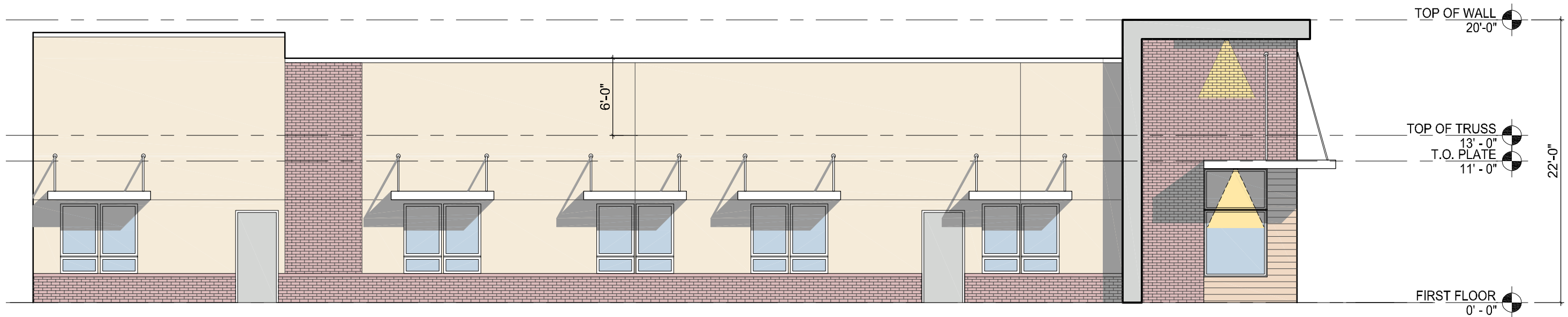
**COMPOSITE
SIDING**



**METAL
PANELS**



GLAZING



BUILDING ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

Justin A. Mihalik, AIA
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
ph: (973) 291-3730 fax: (973) 291-3740
www.colliersengineering.com

Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C., Inc.

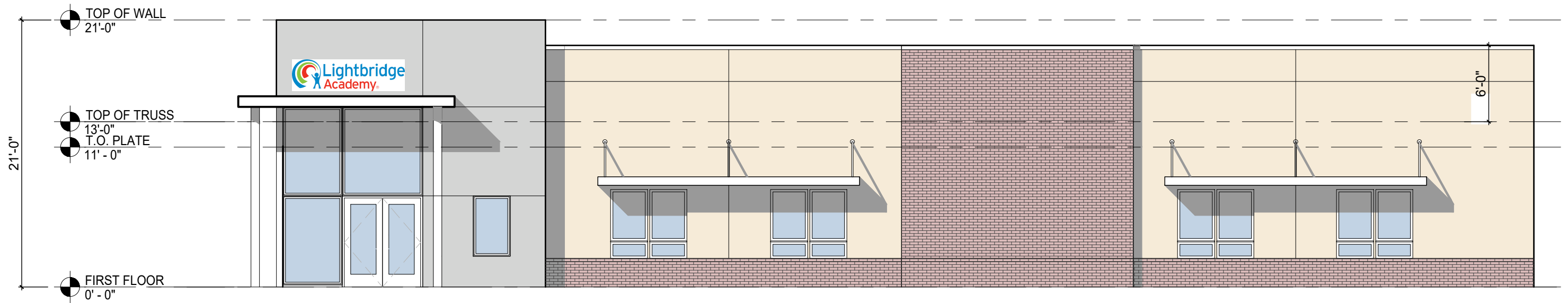


LIGHTBRIDGE ACADEMY - CHAPEL HILL NC - ELEVATION STUDIES

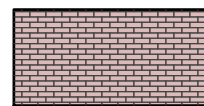
Elevations
1165 Weaver Dairy Rd
Chapel Hill, NC
04/25/2025

JOB NUMBER: 24012647A

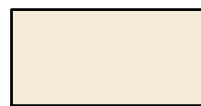




BUILDING ELEVATION - EAST
SCALE: 1/8" = 1'-0"



BRICK



STUCCO



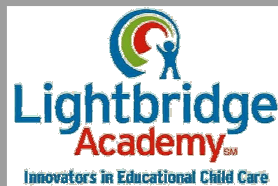
**METAL
PANELS**



GLAZING

Justin A. Mihalik, AIA
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
ph: (973) 291-3730 fax: (973) 291-3740
www.colliersengineering.com

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LIGHTBRIDGE ACADEMY - CHAPEL HILL NC - ELEVATION STUDIES

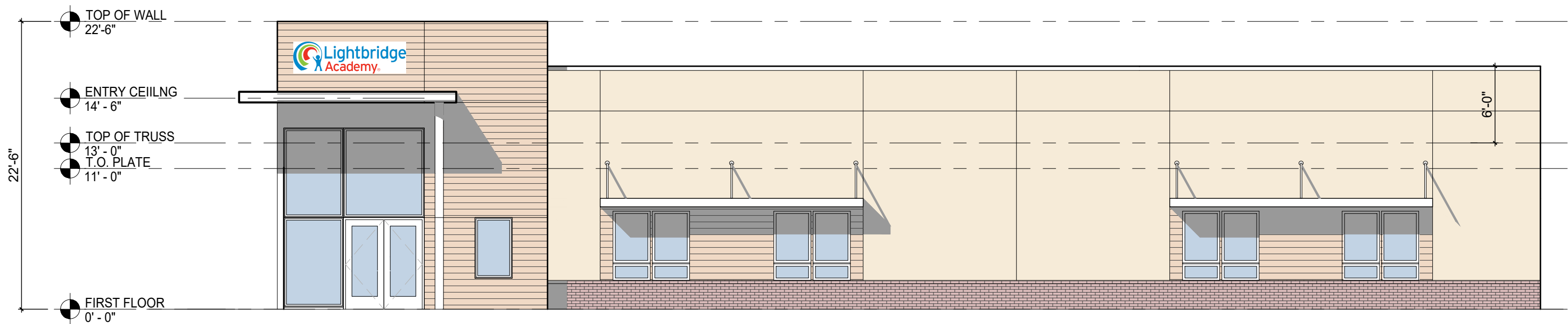
OPTION 2

1165 Weaver Dairy Rd
Chapel Hill, NC

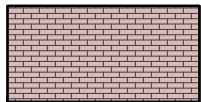
04/11/2025

JOB NUMBER: 24012647A

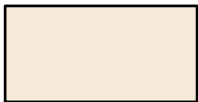




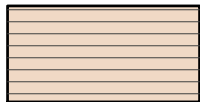
BUILDING ELEVATION - EAST
SCALE: 1/8" = 1'-0"



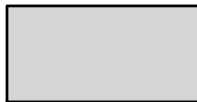
BRICK



STUCCO



**COMPOSITE
SIDING**



**METAL
PANELS**



GLAZING

Justin A. Mihalik, AIA
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
ph: (973) 291-3730 fax: (973) 291-3740
www.colliersengineering.com

Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C., Inc.



LIGHTBRIDGE ACADEMY - CHAPEL HILL NC - ELEVATION STUDIES

OPTION 3
1165 Weaver Dairy Rd
Chapel Hill, NC
04/11/2025

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