



TOWN OF CHAPEL HILL

Planning Department

405 Martin Luther King Jr. Blvd.
Chapel Hill, NC 27514-5705

phone (919) 968-2728

email planning@townofchapelhill.org

www.townofchapelhill.org

Project Fact Sheet

| Project Information | Project Name | Lightbridge Project | Application Number [Staff to Complete] | CZD-25-5 |
|---------------------|--------------|---------------------|---|----------|
|---------------------|--------------|---------------------|---|----------|

| | | |
|--------------------------|-----------------------------|------------------------|
| Lot & Zoning Information | Parcel Number(s) | 9880350595 |
| | Property Address(es) | 1165 Weaver Dairy Road |
| | Existing Zoning District(s) | OI-3-CZD |
| | Proposed Zoning District(s) | MU-V-CZD |

| Uses (LUMO Sec. 3.7 and 3.10) | Evaluation [Staff to Complete] | | | |
|-------------------------------------|--------------------------------|--|------------------|------------------------|
| | Existing Use(s) | Vacant land, formerly a daycare center | | |
| | Proposed Use(s) | Phase 1: Child daycare center and/or other non-residential use. Phase 2: Residential Townhomes. Surface and carport parking. | | |
| | Number of Dwelling Units | Existing | 0 | Proposed to be Removed |
| | | Proposed New, Minimum | 4 | Proposed New, Maximum |
| | Market-rate units | Min 4 | Affordable units | 12 |
| | For sale units | 0 | Rental units | 100% |

| Land Area | Evaluation [Staff to Complete] | | | |
|-----------|----------------------------------|-----------|-----------------------|------------------|
| | Net Land Area (NLA) (sq. ft.) | 78,557 sf | Net Land Area (acres) | 1.803 ac |
| | | | | See Staff Report |

| | | | | | |
|--|--|-----------|--------------------------------|----------|--|
| | Gross Land Area (GLA) (sq. ft.) | 86,413 sf | Gross Land Area (acres) | 1.984 ac | |
|--|--|-----------|--------------------------------|----------|--|

| Setbacks & Building Height (LUMO Sec. 3.8) | Evaluation [Staff to Complete] | | | | |
|---|--|-----|---|------|------------------|
| | Proposed street setback (ft.) | 20' | Required street setback (ft.) | 0 | See Staff Report |
| | Proposed interior setback (ft.) | 19' | Required interior setback (ft.) | 0 | |
| | Proposed solar setback (ft.) | 20' | Required solar setback (ft.) | 20' | |
| | Proposed building height, setback (ft.) | 20' | Allowed building height, setback (ft.) | 70' | |
| | Proposed building height, core (ft.) | 20' | Allowed building height, core (ft.) | 114' | |

| Land Disturbance | Evaluation [Staff to Complete] | | | | |
|-------------------------|--|-------------------|--|---------|------------------|
| | Total proposed land disturbance (sq. ft.) | 72,000 sf on site | Total proposed land disturbance (acres) | 1.65 ac | See Staff Report |

| Impervious Surface Area (ISA) (LUMO Sec. 3.8) | Evaluation [Staff to Complete] | | | | |
|--|---------------------------------------|-----------|-------------------------------------|-----------|------------------|
| | Existing ISA (sq. ft.) | 13,914 SF | Removed ISA (sq. ft.) | 13,914 SF | See Staff Report |
| | New ISA (sq. ft.) | 43,519 SF | Total ISA (sq. ft.) | 43,519 SF | |
| | Proposed ISA ratio (% of GLA) | 55.3% | Allowed ISA ratio (% of GLA) | 70% | |

| Floor Area (LUMO Sec. 3.6, 3.8, 3.10) | Evaluation [Staff to Complete] | | | | |
|--|--|------------|--|--------|------------------|
| | Existing floor area (sq. ft.) | 0 | Removed floor area (sq. ft.) | 0 | See Staff Report |
| | New proposed floor area (sq. ft.) | 19,720 | Total proposed floor area (sq. ft.) | 19,720 | |
| | Maximum allowed floor area* (sq. ft.) | 103,695 sf | | | |

*Calculated according to the floor area ratio for the proposed zoning district, plus transfer from resource conservation district and/or bonus for affordable units.

| Evaluation [Staff to Complete] | | | | | | |
|------------------------------------|-----------------|---------|---|-------------|----------|---------|
| Total land area in RCD (sq. ft.) | 0 | | Sewered <input checked="" type="checkbox"/> | | | |
| | | | Unsewered <input type="checkbox"/> | | | |
| | Streamside Zone | | Managed use zone | Upland Zone | | |
| Land area (sq. ft.) | 0 | | 0 | 0 | | |
| Proposed use(s) [Table 3.6.3-2] | n/a | | n/a | n/a | | |
| | Proposed | Allowed | Proposed | Allowed | Proposed | Allowed |
| ISA (sq. ft.) | | | | | | |
| ISA ratio (%) | | | | | | |
| Disturbed area (sq. ft.) | | | | | | |
| Disturbed area ratio (%) | | 20% | | 40% | | 40% |
| Floor area (sq. ft.) | | | | | | |
| Floor area ratio (%) | | 1% | | 1.9% | | |
| See Staff Report | | | | | | |

| Evaluation [Staff to Complete] | | | | |
|---|-----------------------------------|----------|-----------------------------------|-------|
| Steep Slopes (LUMO Sec. 5.3) | Total steep slopes area (sq. ft.) | 6,107 sf | Proposed disturbed area (sq. ft.) | 5,315 |
| | Proposed disturbed area (%) | 87% | Maximum allowed disturbance (%) | 25% |

| Evaluation [Staff to Complete] | | | | |
|--|-------------------------------------|-------|-------------------------------------|------------------|
| Recreation Space (LUMO 5.5) | Proposed recreation space (sq. ft.) | 0 | Required recreation space (sq. ft.) | 609 sf |
| | Proposed payment (\$) | 7,380 | Payment-in-lieu calculation | 609 sf x \$12/sf |

| Evaluation [Staff to Complete] | | | | |
|--|------------|----------|----------|--------------|
| Landscape Buffers (LUMO Sec. 5.6 and Design Manual) | Type | Width | | |
| | Proposed | Required | Proposed | Required |
| | North | C | C | Modified 20' |
| | North-West | B | B | Modified 10' |
| | South-West | C | C | 20' |
| | South | C | C | Modified 10' |
| | South-East | C | C | Modified 8' |
| | North-East | B | B | Modified 8' |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

| Evaluation [Staff to Complete] | | | | | |
|---|---|---------------------------------|---|-----|------------------|
| Tree Canopy Coverage (LUMO Sec. 5.7) | Proposed tree canopy coverage (% of NLA) | 40% with modification of credit | Required tree canopy coverage (% of NLA) | 40% | See Staff Report |

| Evaluation [Staff to Complete] | | | | | | |
|---|--|---|---|----|------------------|--|
| Off-Street Vehicular Parking (LUMO Sec. 5.9) | Existing vehicular parking spaces | 0 | Removed vehicular parking spaces | 0 | See Staff Report | |
| | New vehicular parking spaces | 37 | Total proposed vehicular parking spaces | 37 | | |
| | Minimum required vehicular parking spaces | 30 | Maximum allowed vehicular parking spaces | 38 | | |
| | Calculation for minimum requirement | 23 daycare staff x 1 space + 5 2-bdrm x 1.4 = 23+7 = 30 | | | | |
| | Calculation for maximum allowance | 23 daycare staff x 1.25 space + 5 2-bdrm x 1.75 = 29+9 = 38 | | | | |

| Evaluation [Staff to Complete] | | | | | |
|---------------------------------------|--|-----|--|---|------------------|
| Loading Spaces (LUMO Sec. 5.9) | Existing loading spaces | 0 | Removed loading spaces | 0 | See Staff Report |
| | New loading spaces | 0 | Total loading proposed spaces | 0 | |
| | Minimum required loading spaces | n/a | Calculation for minimum requirement | | |

| Evaluation [Staff to Complete] | | | | | | |
|---|--|--|--------------------------------------|---|------------------|--|
| Off-Street Bicycle Parking (LUMO Sec. 5.9) | Existing bicycle spaces | 0 | Removed bicycle spaces | 0 | See Staff Report | |
| | New bicycle spaces | 4 outdoor covered + 4 garage spaces | Total proposed bicycle spaces | 8 | | |
| | Minimum required bicycle spaces | 31 | | | | |
| | Calculation for minimum requirement | 1 bike parking per 10 students = 18 spaces, plus .25 parking per residential unit = 4 spaces | | | | |

Print Name Wendi Ramsden

Date January 22, 2026

CONDITIONAL ZONING OF LIGHTBRIDGE PROJECT

1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

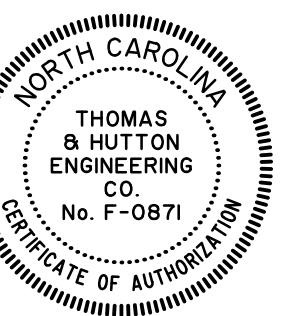
PREPARED FOR:
COMPROP LLC
727 EASTOWNE DRIVE
SUITE 300D
CHAPEL HILL, NC 27514

PIN# 9880-35-0595

MAY 1, 2025

J-31857.0000

Project Manager's
Seal

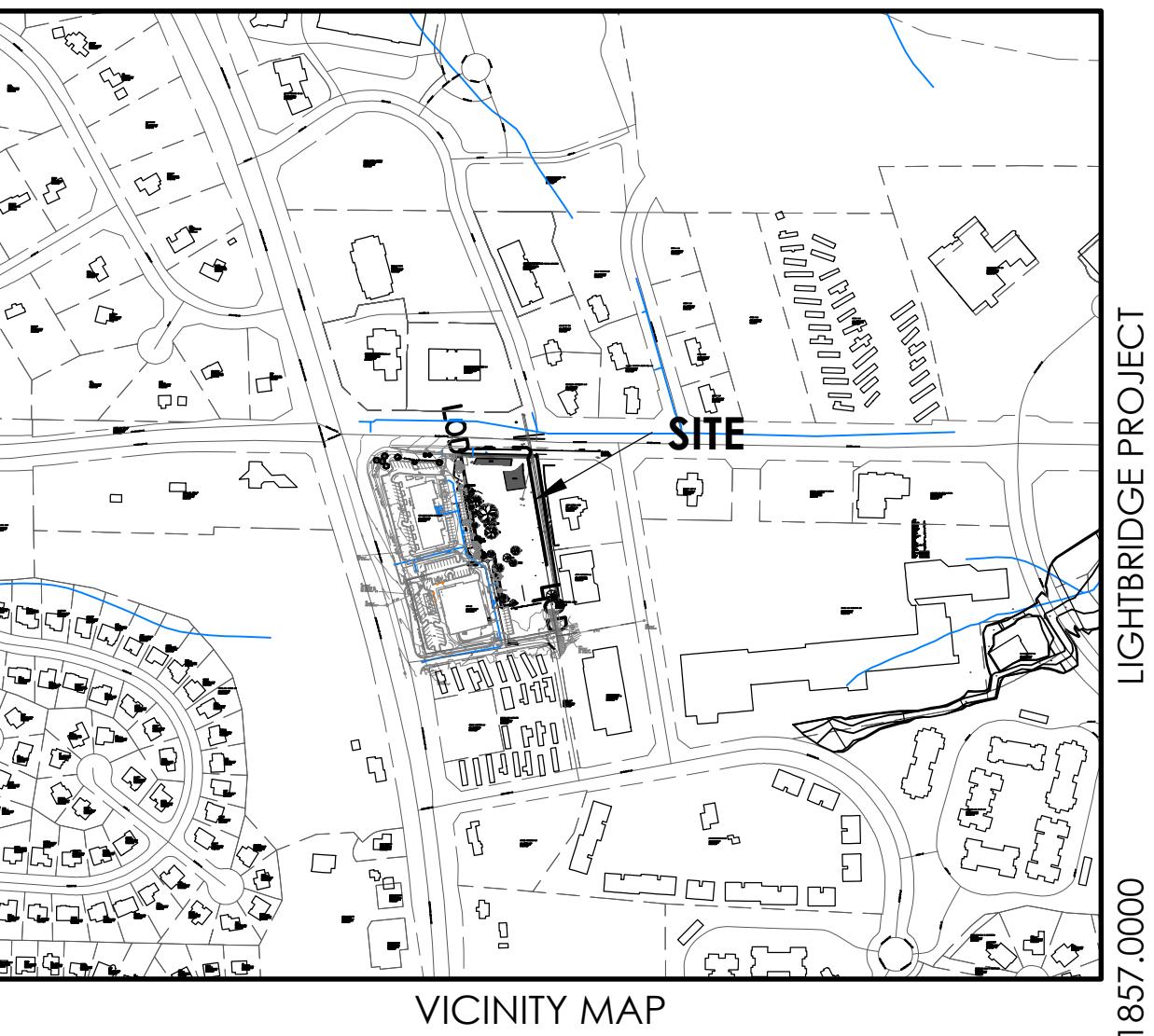


OCSW CONSTRUCTION WASTE REQUIREMENTS:

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S RRMO, CLEAN WOOD WASTE, SCRAP METAL, AND CORRUGATED CARDBOARD PRESENT IN CONSTRUCTION OR DEMOLITION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S RRMO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE WHICH INCLUDES ANY REGULATED RECYCLABLE MATERIALS SHALL BE LICENSED BY ORANGE COUNTY.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE, THE APPLICANT SHALL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH SOLID WASTE STAFF. THIS MAY BE THE SAME PRE-CONSTRUCTION MEETING HELD WITH OTHER DEVELOPMENT/ENFORCEMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS ('ACM') AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.



PREPARED BY:



SHEET LIST TABLE

| SHEET TITLE | SHEET NUMBER |
|---------------------------------------|--------------|
| COVER SHEET | C0.0 |
| GENERAL NOTES AND INDEX | C0.1 |
| AREA MAP | A1.1 |
| EXISTING CONDITIONS & DEMOLITION PLAN | D1.1 |
| SLOPE ANALYSIS & IMPACTS | D1.2 |
| SITE PLAN | C1.1 |
| DISTRICT SPECIFIC PLAN | C1.2 |
| FIRE SAFETY PLAN | C1.3 |
| TRASH MANAGEMENT | C1.4 |
| SITE DETAILS | C1.5 |
| SITE DETAILS | C1.6 |
| UTILITY PLAN | C2.1 |
| PAVING GRADING AND DRAINAGE PLAN | C3.1 |
| STORM DRAINAGE DETAILS | C3.2 |
| PLANTING PLAN | L1.1 |
| LANDSCAPE PROTECTION PLAN | L1.2 |
| PLANTING DETAILS | L1.3 |

REVISION HISTORY

| REV. NO. | REVISION | BY | DATE |
|----------|---------------------------|-----|------------|
| 3 | RESPONSE TO TOWN REVIEW | WR | 12-16-2025 |
| 2 | RESPONSE TO TOWN REVIEW | WR | 10-20-2025 |
| 1 | RESPONSE TO TOCH COMMENTS | JTH | 08-21-2025 |

SUBMITTAL HISTORY

| SUBMITTED TO | DATE |
|--------------|------|
| | |



Know what's below.
Call before you dig.



2510 Meridian Parkway • Suite 100
Durham, NC 27713
p.919.682.0368
www.thomasandhutton.com

DRAINAGE LEGEND

| | EXISTING | PROPOSED |
|---|-----------|-----------|
| PIPE | — - - - - | — - - - - |
| DITCH | | → - - - - |
| CURB INLET (CI) CATCH BASIN (CB) | | |
| CURB INLET - RIGHT (CI) OR CATCH BASIN - RIGHT (CB) | | |
| CURB INLET - LEFT (CI) OR CATCH BASIN - LEFT (CB) | | |
| CURB INLET - BOTH (CI) OR CATCH BASIN - BOTH (CB) | | |
| CONTROL STRUCTURE (CS) | | |
| DITCH INLET (DI) | | |
| GRATE INLET (GI) | | |
| HOODED INLET (HI) | | |
| JUNCTION BOX (JB) | | |
| MANHOLE (SDMH) | | |
| ROLL CURB INLET (RC) | | |
| ROOF INLET (RI) | | |
| VALLEY INLET (VI) | | |
| YARD INLET (YI) | | |
| BEVELED END SECTION (BES) | | |
| END SECTION (ES) | | |
| FLARED END SECTION (FES) | | |
| 11 1/2° BEND - HORIZONTAL | / | / |
| 22 1/2° BEND - HORIZONTAL | / | / |
| 45° BEND - HORIZONTAL | / | / |
| 90° BEND - HORIZONTAL | / | / |
| CLEANOUT | | |
| PLUG | | |
| TEE | - | - |
| WYE | | |

OTHER UTILITIES LEGEND

| | EXISTING |
|-------------------------|----------|
| NATURAL GAS | UGG |
| TELEPHONE | OHT |
| UNDERGROUND TELEPHONE | UTL |
| ELECTRICITY | OHP |
| UNDERGROUND ELECTRICITY | UGP |

ABBREVIATIONS

| | | | | | | | |
|-----|-------------------------|-----|-----------------------------|------|--------------------------|-----|------------------|
| DBL | DOUBLE | FM | FORCE MAIN (SANITARY SEWER) | OC | ON CENTER | SS | SANITARY SEWER |
| BOT | BOTTOM | FP | FINISH PAD | PC | POINT OF CURVE | TC | TOP OF CURB |
| CB | CATCH BASIN | FPW | FIRE PROTECTION | PH | POST HYDRANT | TH | THROAT ELEVATION |
| CI | CURB INLET | FR | FRAME | PT | POINT OF TANGENT | TG | TOP OF GUTTER |
| CO | CLEAN OUT | GI | GRATE INLET | PVC | POLYVINYL CHLORIDE | TP | TOP OF PAVEMENT |
| CPP | CORRUGATED PLASTIC PIPE | GV | GATE VALVE | RCP | REINFORCED CONCRETE PIPE | TW | TOP OF WALK |
| DBL | DOUBLE | HDP | HIGH DENSITY POLYETHYLENE | RC | ROLL CURB INLET | TYP | TYPICAL |
| DI | DITCH INLET | HI | HOODED INLET | RCP | REINFORCED CONCRETE PIPE | VI | VALLEY INLET |
| DIP | DUCTILE IRON PIPE | INV | INVERT ELEVATION | RI | ROOF INLET | W | WATER |
| EL | ELEVATION | JB | JUNCTION BOX | RJP | RESTRAINED JOINT PIPE | W/ | WITH |
| ES | END SECTION | LF | LINEAR FEET | R/W | RIGHT-OF-WAY | WV | WATER VALVE |
| FES | FLARED END SECTION | MAX | MAXIMUM | SD | STORM DRAINAGE | YI | YARD INLET |
| FG | FINISH GRADE | MIN | MINIMUM | SDMH | STORM DRAINAGE MANHOLE | | |
| FH | FIRE HYDRANT | MH | MANHOLE | SF | SQUARE FEET | | |

SEWER LEGEND

| | EXISTING | PROPOSED |
|-------------------------------|-----------|-----------|
| GRAVITY PIPE | — SS — | |
| SINGLE SERVICE LATERAL | | |
| DOUBLE SERVICE LATERAL | | |
| DROP MANHOLE (DMH) | | |
| MANHOLE (MH) | | |
| CLEANOUT (CO) | | |
| FORCemain | — 10'FM — | — 10'FM — |
| AIR RELEASE VALVE (ARV) | | |
| CHECK VALVE (CV) | | |
| PLUG VALVE AND BOX (PV) | | |
| FLUSH HYDRANT | | |
| PUMP CONNECTION (PC) | | |
| REDUCER | | |
| TRACER WIRE ACCESS BOX (TWAB) | | |
| CROSS | - | - |
| TEE | - | - |
| 45° BEND - HORIZONTAL | / | / |
| 22 1/2° BEND - HORIZONTAL | / | / |
| 11 1/2° BEND - HORIZONTAL | / | / |
| 45° BEND - HORIZONTAL | / | / |
| 90° BEND - HORIZONTAL | / | / |
| CLEANOUT | | |
| PLUG | | |
| TEE | - | - |
| WYE | | |

WATER LEGEND

| | EXISTING | PROPOSED |
|--------------------------------------|------------|------------|
| FIRE PROTECTION | — 10'FPW — | — 10'FPW — |
| WATER MAIN | — 10'W — | — 10'W — |
| SINGLE SERVICE LATERAL | | |
| DOUBLE SERVICE LATERAL | | |
| DROP MANHOLE (DMH) | | |
| MANHOLE (MH) | | |
| CLEANOUT (CO) | | |
| POST INDICATOR VALVE (PIV) | | |
| TAPPING SLEEVE AND VALVE (TSV) | | |
| REDUCED PRESSURE ZONE BACKFLOW (RPZ) | | |
| CROSS | - | - |
| TEE | - | - |
| 45° BEND - HORIZONTAL | / | / |
| 22 1/2° BEND - HORIZONTAL | / | / |
| 11 1/2° BEND - HORIZONTAL | / | / |
| 45° BEND - HORIZONTAL | / | / |
| 90° BEND - HORIZONTAL | / | / |
| TAPPING SLEEVE (TS) | | |
| 90° BEND HORIZONTAL | | |
| 45° BEND HORIZONTAL | | |
| 22 1/2° BEND HORIZONTAL | | |
| 11 1/2° BEND HORIZONTAL | | |
| BEND VERTICAL | | |
| PLUG \ CAP | | |

WATER LEGEND

| | EXISTING | PROPOSED |
|---------------------------------------|----------|----------|
| WATER METER (WM) | | |
| TRACER WIRE ACCESS BOX (TWAB) | | |
| FIRE HYDRANT W/TEE, VALVE & BOX (FHA) | | |
| BUTTERFLY VALVE (BV) | | |
| DOUBLE CHECK DETECTOR ASSEMBLY (DCDA) | | |
| GATE VALVE AND BOX (GV) | | |
| POST HYDRANT (PH) | | |
| REDUCER | | |
| CROSS | - | - |
| TEE | - | - |
| 45° BEND - HORIZONTAL | / | / |
| 22 1/2° BEND - HORIZONTAL | / | / |
| 11 1/2° BEND - HORIZONTAL | / | / |
| 45° BEND - HORIZONTAL | / | / |
| 90° BEND - HORIZONTAL | / | / |
| TAPPING SLEEVE (TS) | | |
| 90° BEND HORIZONTAL | | |
| 45° BEND HORIZONTAL | | |
| 22 1/2° BEND HORIZONTAL | | |
| 11 1/2° BEND HORIZONTAL | | |
| BEND VERTICAL | | |
| CAP | | |

GENERAL INFORMATION

COUNTY: ORANGE COUNTY
TOWN: CHAPEL HILL
ZONING: OI-3-CZD (OFFICE AND INSTITUTIONAL 3 CZD)

OWNERS: COMPROP LLC
MAILING ADDRESS: 727 EASTOWNE DR STE 300D
CHAPEL HILL, NC 27514
919.682.0368

ENGINEER: THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27719
919.682.0368

SURVEYOR: THOMAS & HUTTON
2510 MERIDIAN PARKWAY, SUITE 100
DURHAM, NC 27719
919.682.0368

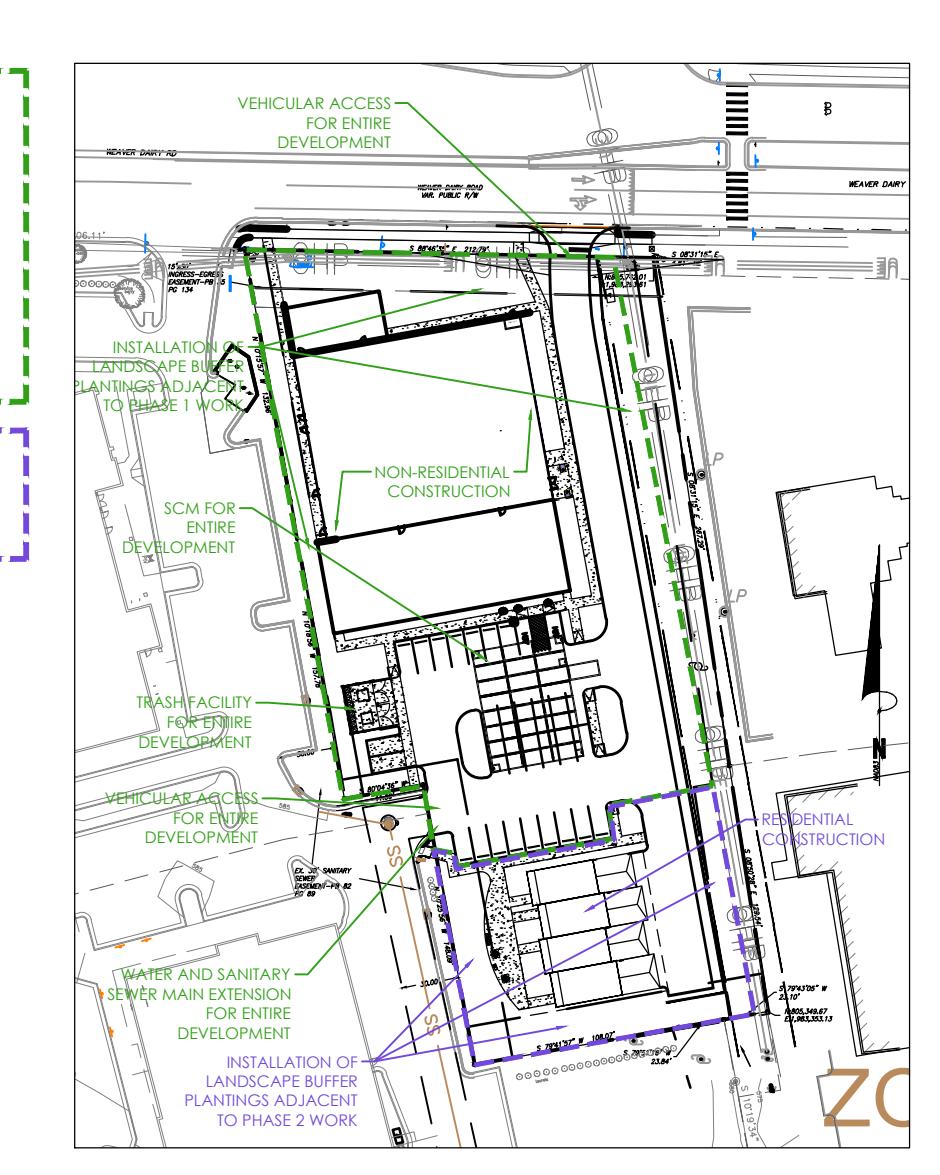
SITE DATA

PIN: 9880-35-0595
OWNER: COMPROP LLC
WATERSHED: JORDAN LAKE
RIVER BASIN: CAPE FEAR
FLOOD PLAIN DATA: 11/17/2017
TOTAL PARCEL AREA: 78,557 SF / 1.803 AC NET
FRONTAGE: 213 LF - WEAVER DAIRY RD
EXISTING ZONING: OI-3-CZD
PROPOSED ZONING: MU-V-CZD
EXISTING LAND USE: VACANT LOT
PROPOSED LAND USE: ALLOWED USES INCLUDE: CHILD DAY CARE and TOWNSHOME RESIDENTIAL ADULT DAYCARE FACILITY, BANK, WALKUP AUTOMATED TELLER MACHINES, BARBER/BEAUTY SHOP, GENERAL BUSINESS (CONVENIENCE, GENERAL, WHOLESALE), OFFICE, CHILDCARE FACILITY, CLINIC, CLUB, ALL RESIDENTIAL USES AND MAY INCLUDE HOME OCCUPATION, ESSENTIAL SERVICES, FINE ART EDUCATION FACILITY, FUNERAL HOME, GROUP CARE FACILITY, HOTEL OR MOTEL, INDEPENDENT SENIOR LIVING FACILITY, PERSONAL SERVICES, PLACE OF ASSEMBLY, PLACE OF WORSHIP, PUBLIC/CULTURAL FACILITY, PUBLISHING, PRINTING, COMMERCIAL OR NON-PROFIT RECREATION FACILITY, ELEMENTARY OR SECONDARY OR VOCATIONAL SCHOOL, DEDICATED SHORT TERM RENTAL, VETERINARY HOSPITAL OR CLINIC
TOTAL LIMITS OF DISTURBANCE: 69,235 SF / 1.59 AC ON SITE + 1,164 SF OFFSITE
TREE CONSERVATION: NO TREE PRESERVATION PROPOSED
PROPOSED LAND DISTURBANCE: 69,235 SF / 1.59 AC ON SITE + 1,164 SF OFFSITE
EXISTING IMPERVIOUS ON-SITE: 13,914 SF / 0.32 AC / 17.7% GLA
PROPOSED IMPERVIOUS ON-SITE: 43,519 SF / 1.00 AC / 55.3% GLA
NOTE THAT NO OFF-SITE IMPROVEMENTS ARE PROPOSED IN EITHER PHASE.

PROPOSED PHASING

PHASE 1:
- CONSTRUCTION OF BOTH VEHICULAR ACCESS DRIVES SERVING ALL PHASES
- SERVICING OF SITE FOR WATER AND SANITARY SEWER SERVING ALL PHASES
- PROVISION OF FIRE PROTECTION (FIRE HYDRANT ON SITE) SERVING ALL PHASES
- INSTALLATION OF STORMWATER MITIGATION SERVING ALL PHASES
- INSTALLATION OF TRASH COLLECTION FACILITY FOR ALL PHASES
- CONSTRUCTION OF NON-RESIDENTIAL USES ON SITE
- CONSTRUCTION OF LANDSCAPE BUFFER PLANTINGS ADJACENT TO PHASE 1 DEVELOPMENT

PHASE 2:
- CONSTRUCTION OF RESIDENTIAL USE AND ASSOCIATED OUTDOOR RESIDENTIAL USE AREA
- INSTALLATION OF LANDSCAPE BUFFER PLANTINGS ADJACENT TO PHASE 2 CONSTRUCTION



C0.1

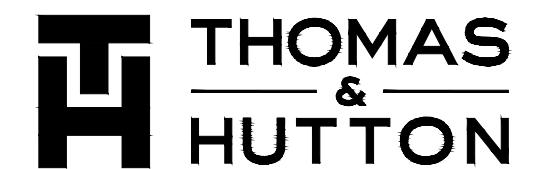
LIGHTBRIDGE PROJECT

PROJECT LOCATION: 1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514
CLIENT/OWNER: COMPROP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514

DATUM: HORIZ: NAD83 VERT: NAVD88<br



| | | |
|---------------------------|-----|------------|
| | | |
| | | |
| | | |
| | | |
| | | |
| RESPONSE TO TOWN REVIEW | WR | 12-16-2025 |
| | | |
| RESPONSE TO TOCH COMMENTS | JTH | 08-21-2025 |
| REVISIONS | BY | DATE |



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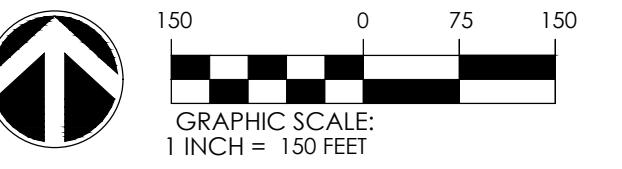
AREA MAP

IGHTBRIDGE PROJECT

PROJECT LOCATION:
5 WEAVER DAIRY ROAD
APEL HILL, NC 27514

ENT/OWNER:
IMPROP LLC
EASTOWNE DRIVE

CAPEL HILL, NC 27514



: HORIZ: NAD83 VERT: NAVD88

11. HORIZ. RADIOS VERT. RADIOS

31857.0000
5/01/25

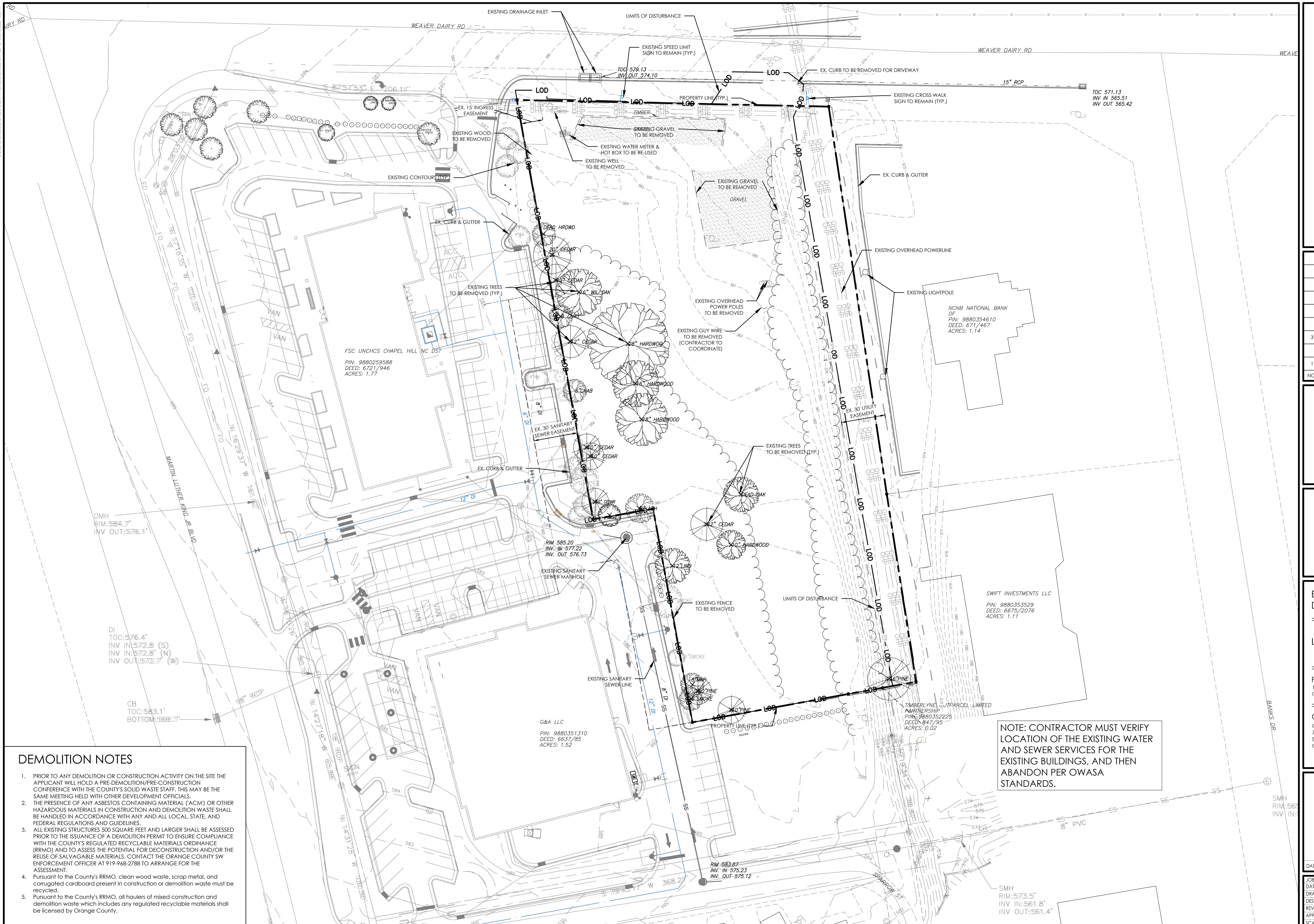
JTH A1 1

ED: **A** .

VED:

1" = 150'

A1.1



DEMOLITION NOTES

1. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
2. THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ('ACM') OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
3. ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSESSED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED RECYCLABLE MATERIALS ORDINANCE (RRMO) AND TO ASSESS THE POTENTIAL FOR DECONSTRUCTION AND/OR THE REUSE OF SALVAGABLE MATERIALS. CONTACT THE ORANGE COUNTY SW ENFORCEMENT OFFICER AT 919-968-2788 TO ARRANGE FOR THE ASSESSMENT.
4. Pursuant to the County's RRMO, clean wood waste, scrap metal, and corrugated cardboard present in construction or demolition waste must be recycled.
5. Pursuant to the County's RRMO, all haulers of mixed construction and demolition waste which includes any regulated recyclable materials shall be licensed by Orange County.

NOTE: CONTRACTOR MUST VERIFY LOCATION OF THE EXISTING WATER AND SEWER SERVICES FOR THE EXISTING BUILDINGS, AND THEN ABANDON PER OWASA STANDARDS.



: HORIZ.: NAD83 VERT.: NAVD88

: 31857.0000

: 5/01/25

: JTH

ED:

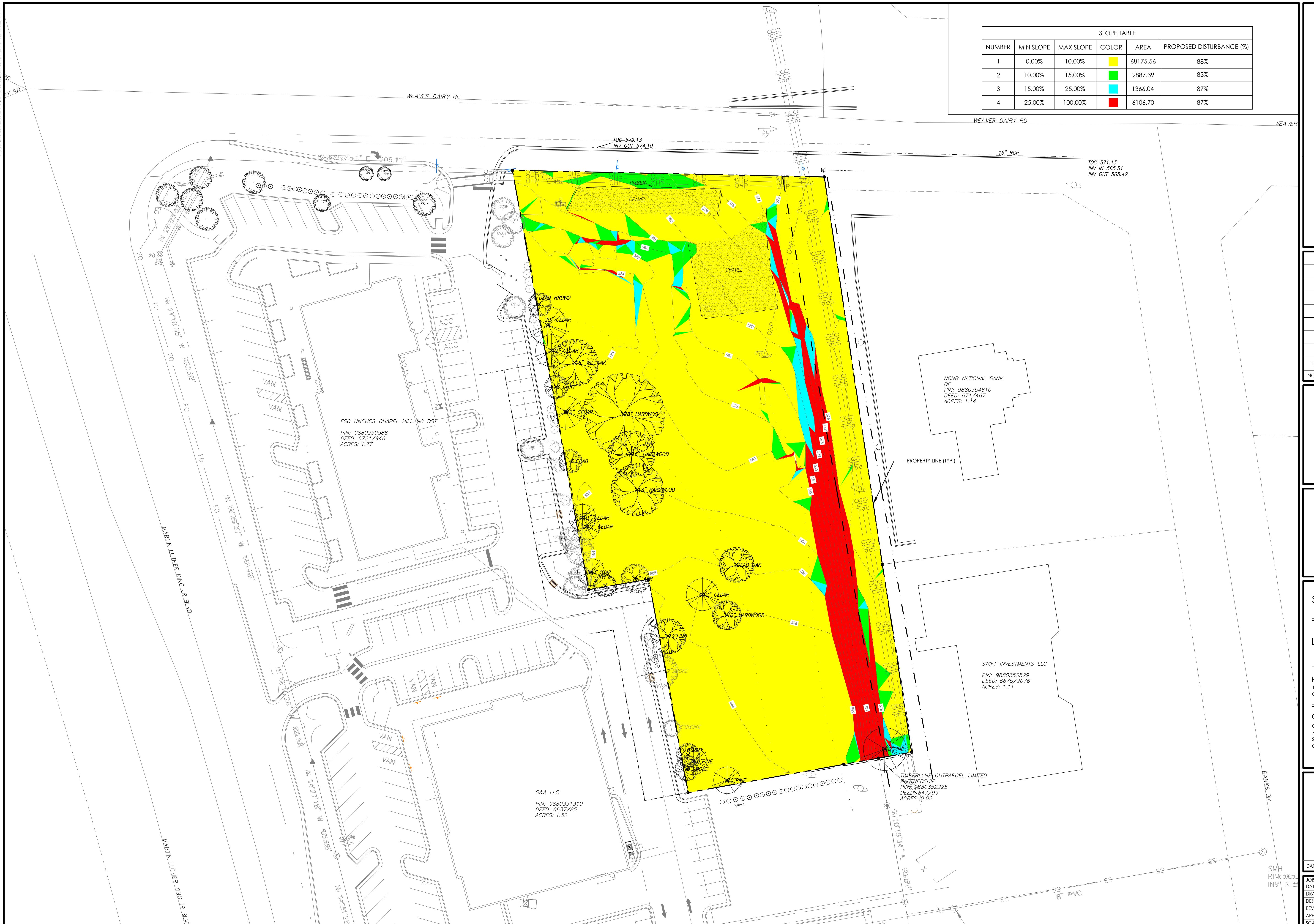
ED:

/VED:

1" = 30'

D1.1

D1.1



| SLOPE TABLE | | | | | |
|-------------|-----------|-----------|---|----------|--------------------------|
| NUMBER | MIN SLOPE | MAX SLOPE | COLOR | AREA | PROPOSED DISTURBANCE (%) |
| 1 | 0.00% | 10.00% |  | 68175.56 | 88% |
| 2 | 10.00% | 15.00% |  | 2887.39 | 83% |
| 3 | 15.00% | 25.00% |  | 1366.04 | 87% |
| 4 | 25.00% | 100.00% |  | 6106.70 | 87% |

WEAVER DAIR

WEAVER

| | | |
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| RESPONSE TO TOCH COMMENTS | JTH | 08-21- |
| REVISIONS | BY | DA |

**THOMAS
&
HUTTON**

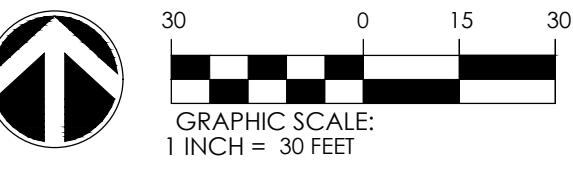
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PE ANALYSIS & IMPACTS

HTBRIDGE PROJECT

ENT/OWNER:
ROB LLC

ROP LLC
STOWNE DRIVE
00D
L HILL, NC 27514



HORIZ : NAD83 VERT : NAVD88

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5/01/25
1714

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$$1'' = 30'$$

D1.2

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAYOUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECTS REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-B OR R7-BA RESERVED PARKING SIGN AND R7-BD MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION SHEETS FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL (ACM) OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- KEY BOXES FOR FIRE RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
- MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
- PRIOR TO PERFORMING WORK IN THE NCDOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
 - APPROVED NCDOT DRIVEWAY PERMITS FOR PROPOSED ACCESSES TO WEAVER DAIRY ROAD.
 - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED/STIPULATED SIDEWALK AND APPURTENANCES.
 - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH OWASA FOR PROPOSED WATER CONNECTIONS.
- PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCDOT, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.

SITE NOTES

2

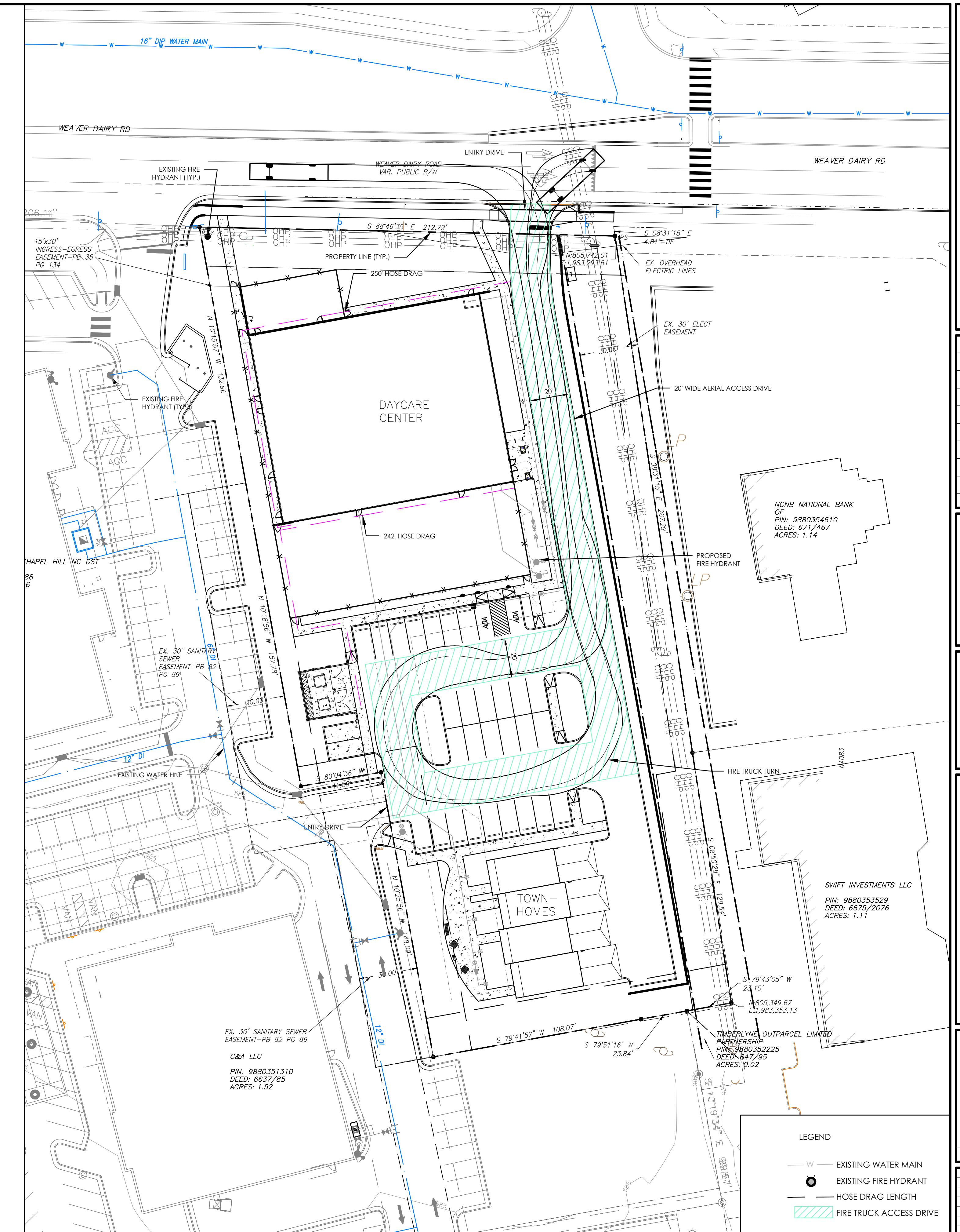
RECREATION SPACE CALCS

3

REQUIRED ACTIVE RECREATION SPACE:

| | |
|-------------------------------------|-------------------|
| GROSS SITE LAND AREA | 86,743 SF |
| PORTION OF SITE THAT IS RESIDENTIAL | 18% |
| REQUIRED ACTIVE RECREATION RATIO | .039 |
| RECREATION SPACE REQUIRED | 86743 X .039 X 18 |
| | 609 SF |

PROPOSED ACTIVE RECREATION FACILITIES: 0
PAYMENT IN LIEU REQUIRED FOR 609 SF



| | | |
|---------------------------|-----|------------|
| RESPONSE TO TOCH COMMENTS | JTH | 08-21-2022 |
| REVISIONS | BY | DATE |

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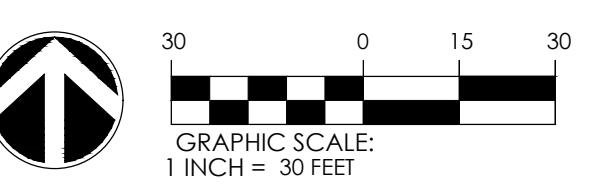
www.informasandwich.com

RE SAFETY PLAN

IGHTBRIDGE PROJECT

PROJECT LOCATION:
5 WEAVER DAIRY ROAD
APEL HILL, NC 27514

ENT/OWNER:
MPROP LLC
EASTOWNE DRIVE
e 300D
APEL HILL, NC 27514



HORIZON-NADP00 VERT-NADP00

HORIZ.: NAVD88 VERT.: NAVD88

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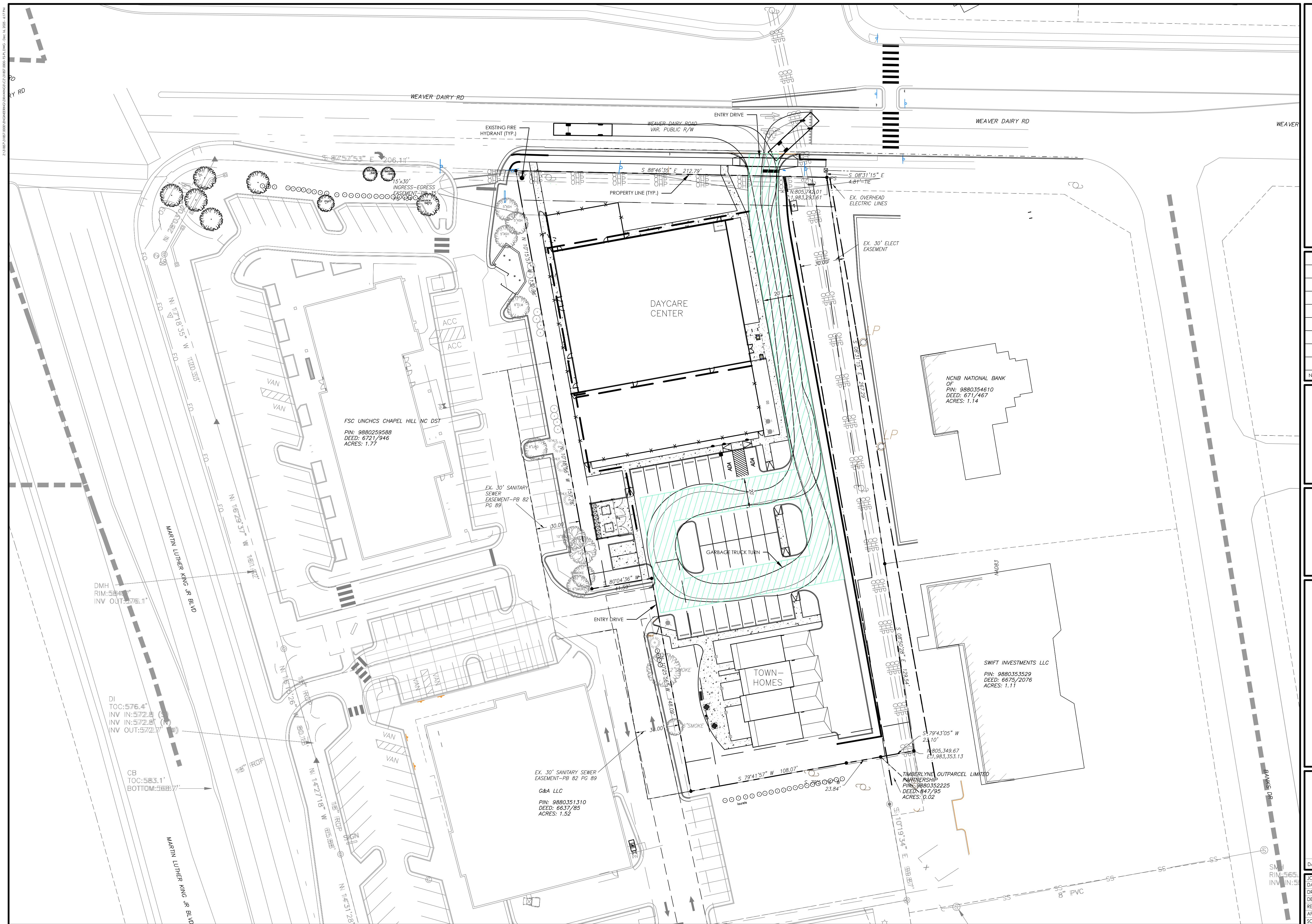
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ED: **C** 1.3

1" = 30'

Page 10 of 10

C1.3



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| RESPONSE TO TOCH COMMENTS | JTH | 08-21-2022 |
| REVISIONS | BY | DATE |

**THOMAS
&
HUTTON**

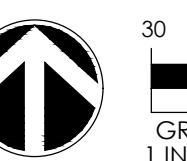
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SH MANAGEMENT

HTBRIDGE PROJECT

111 HILL, NC 27314

NT/OWNER:
ROP LLC
TOWNE DRIVE
0D
L HILL, NC 27514



A graphic scale for a technical drawing. It features a vertical line with tick marks at 0, 15, and 30. Above the line, the numbers 30, 0, 15, and 30 are written. Below the line, a horizontal bar is divided into six equal segments. The first five segments are white, and the last one is black. Below this bar, the text "GRAPHIC SCALE: 1 INCH = 30 FEET" is printed.

ORIZ: NAD83 VERT: NAVD88

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5/01/25

JTH

11. *What is the name of the author?*

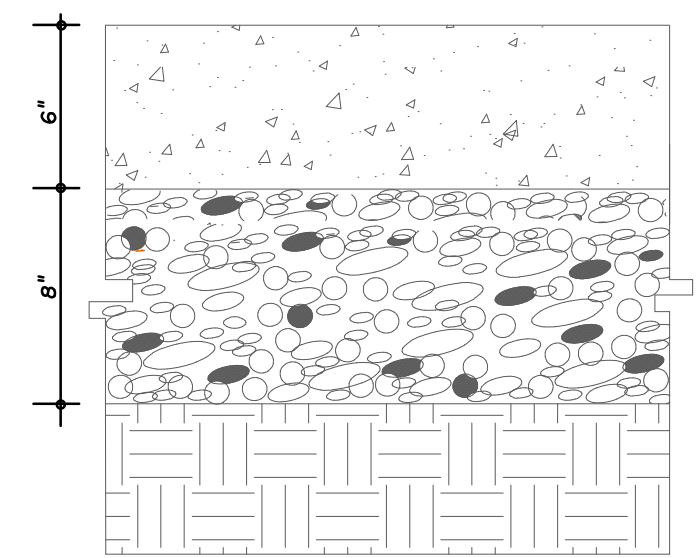
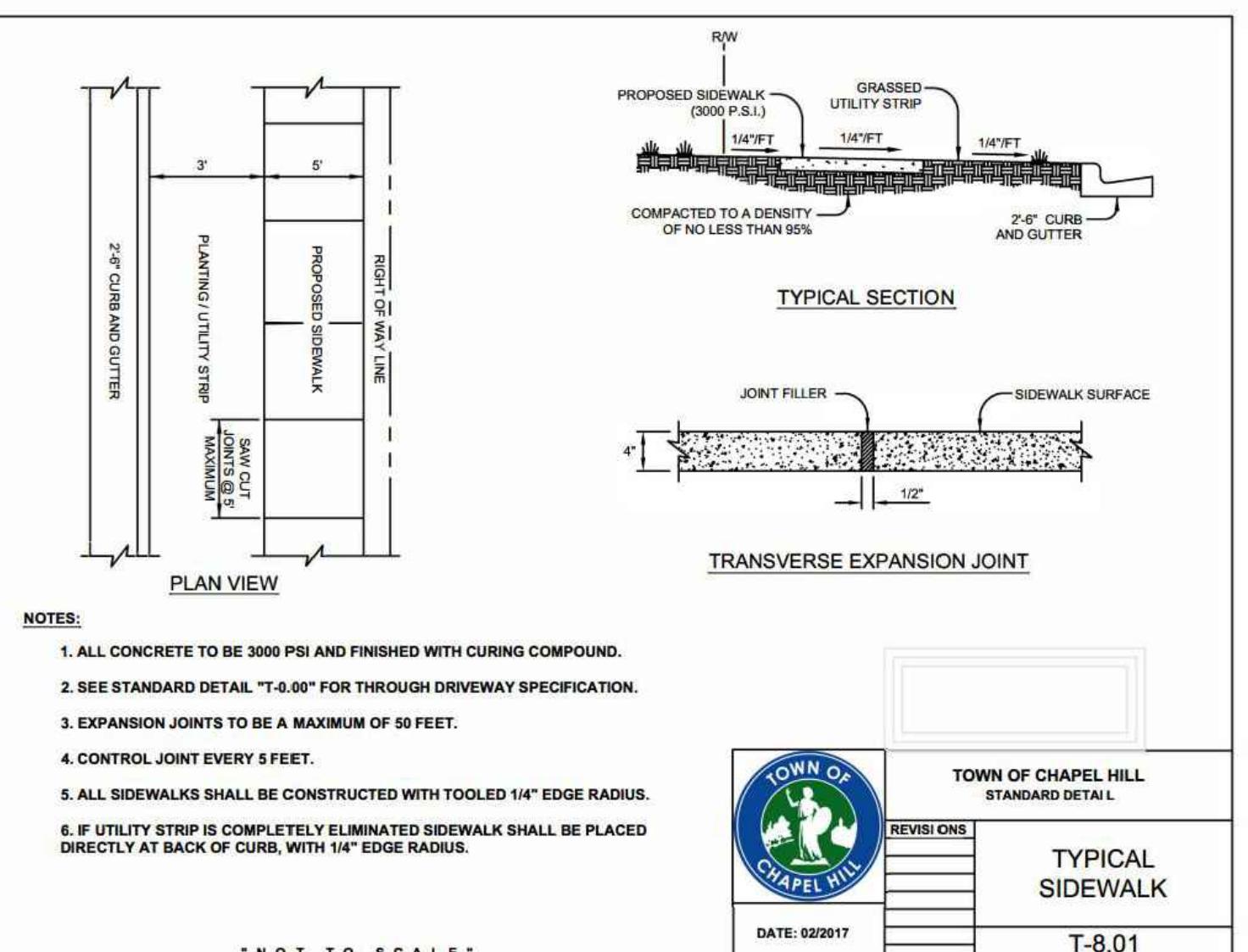
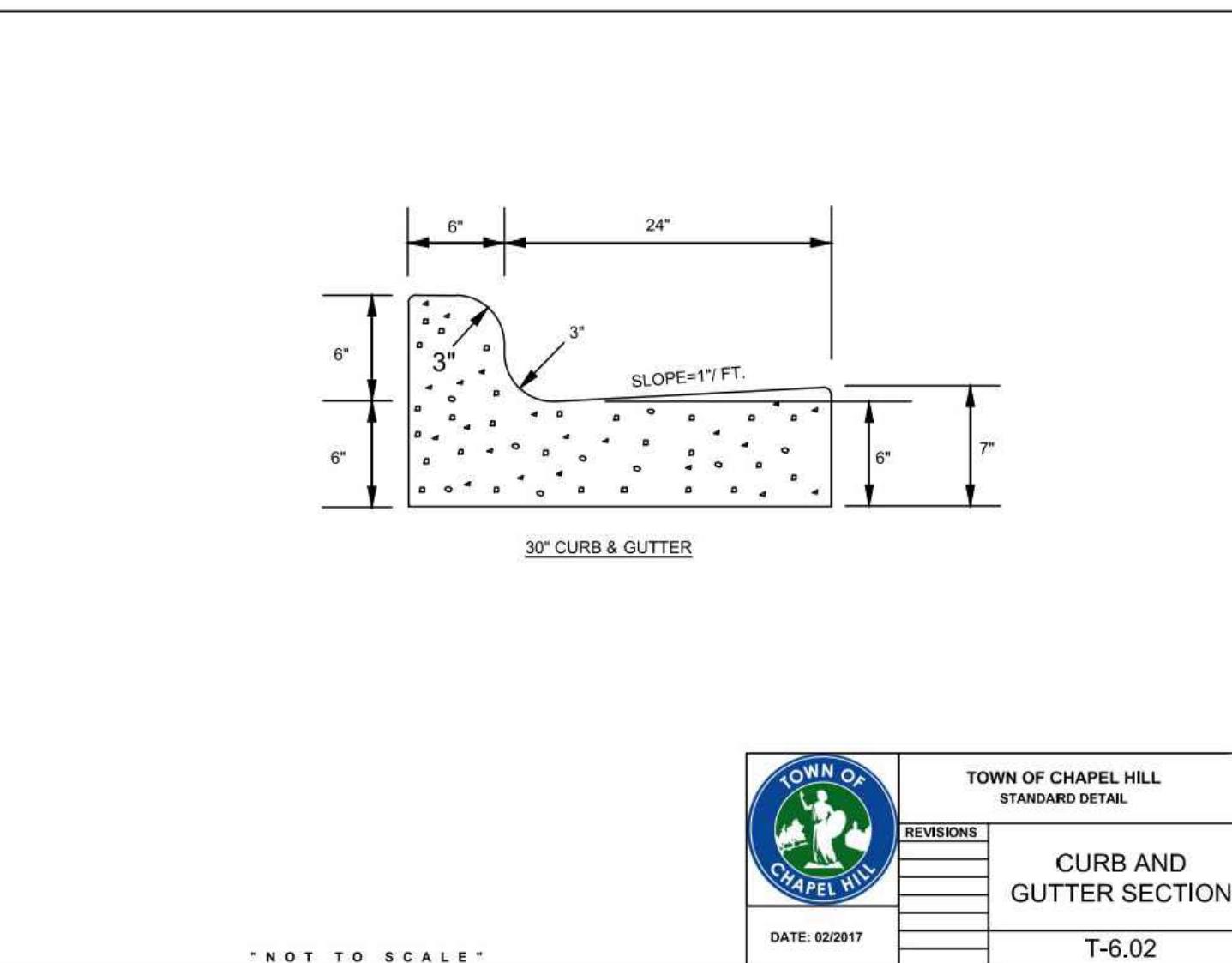
1" = 30'

1 - 50

51857.0000
5/01/25
JTH
1" = 30'

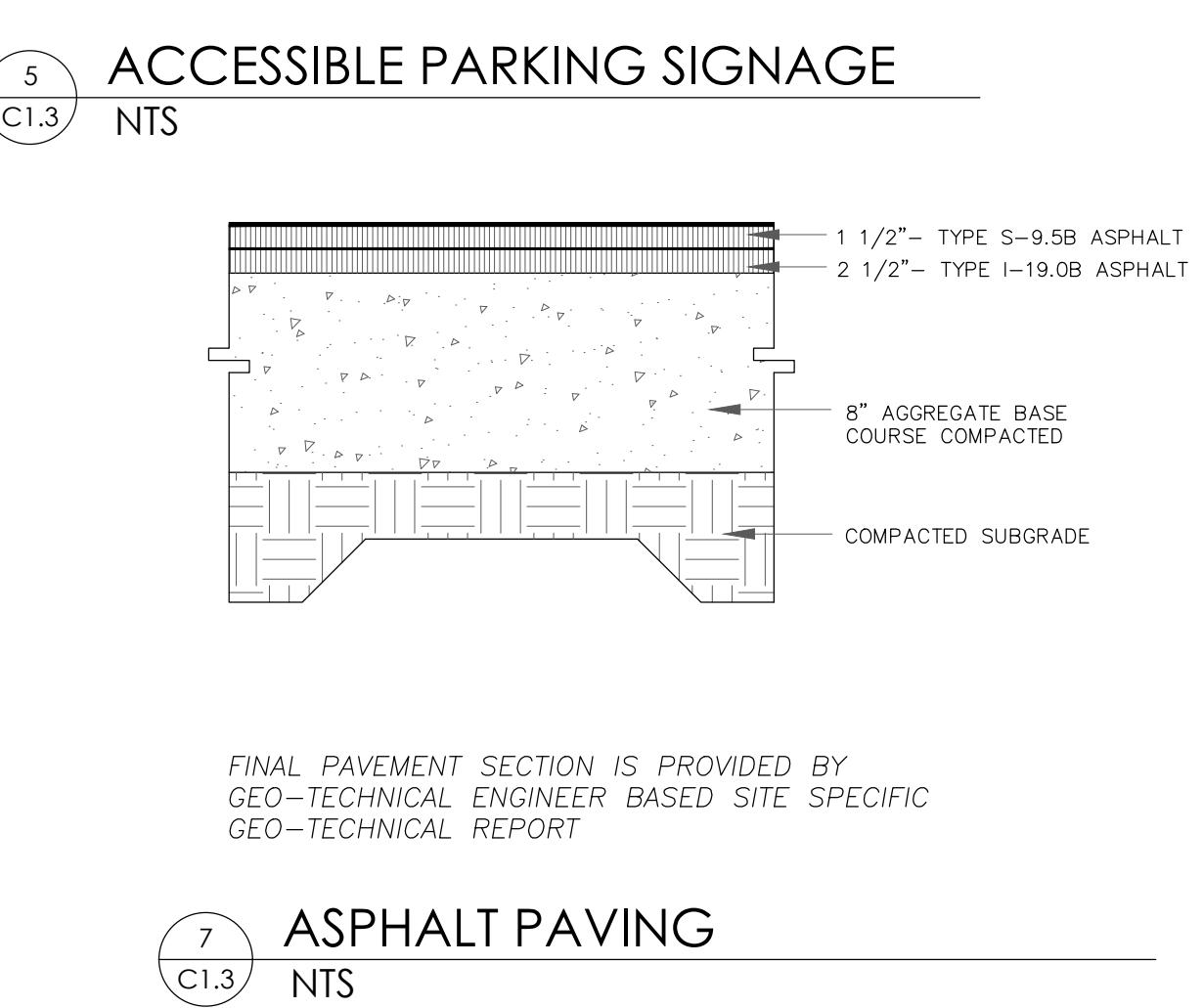
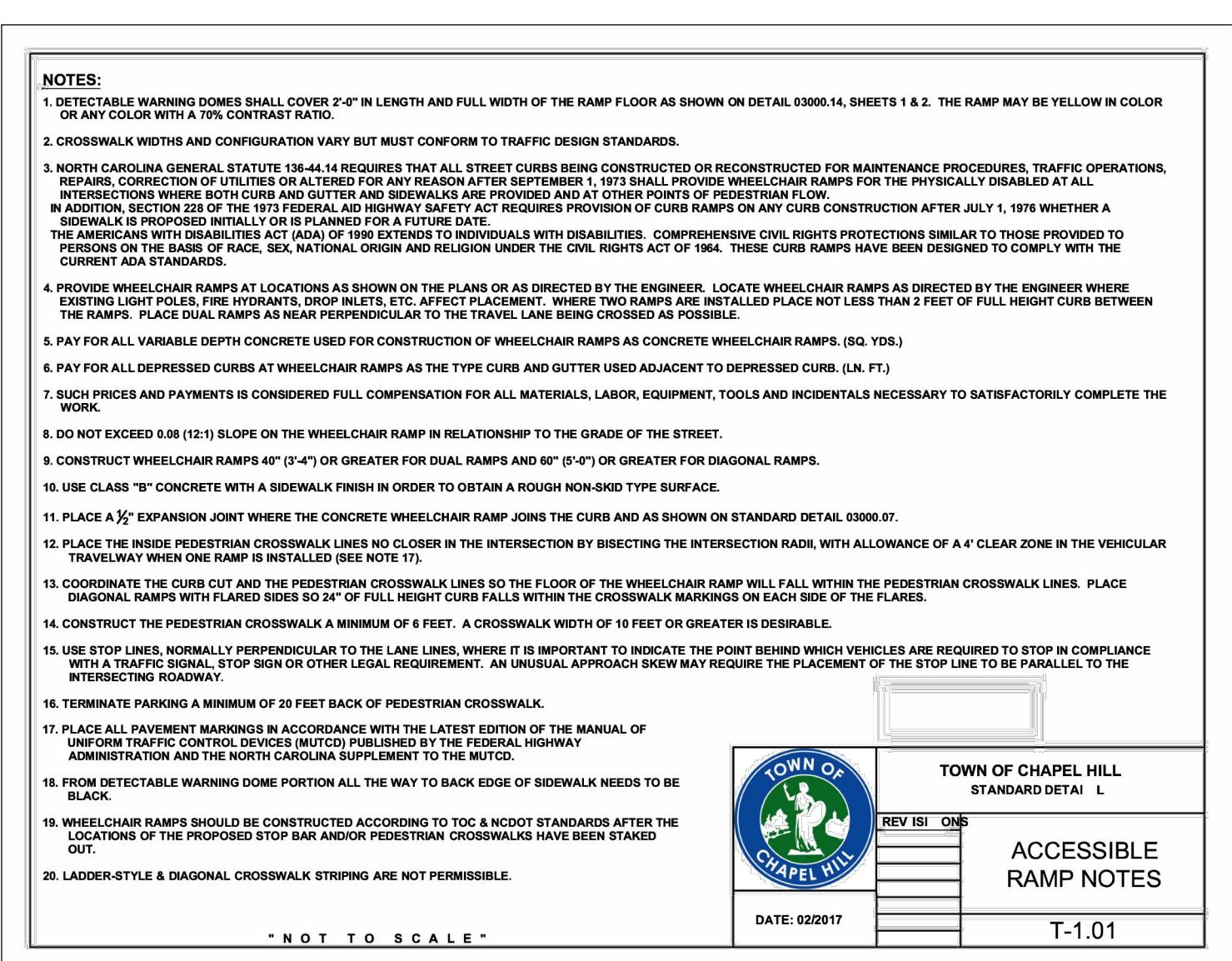
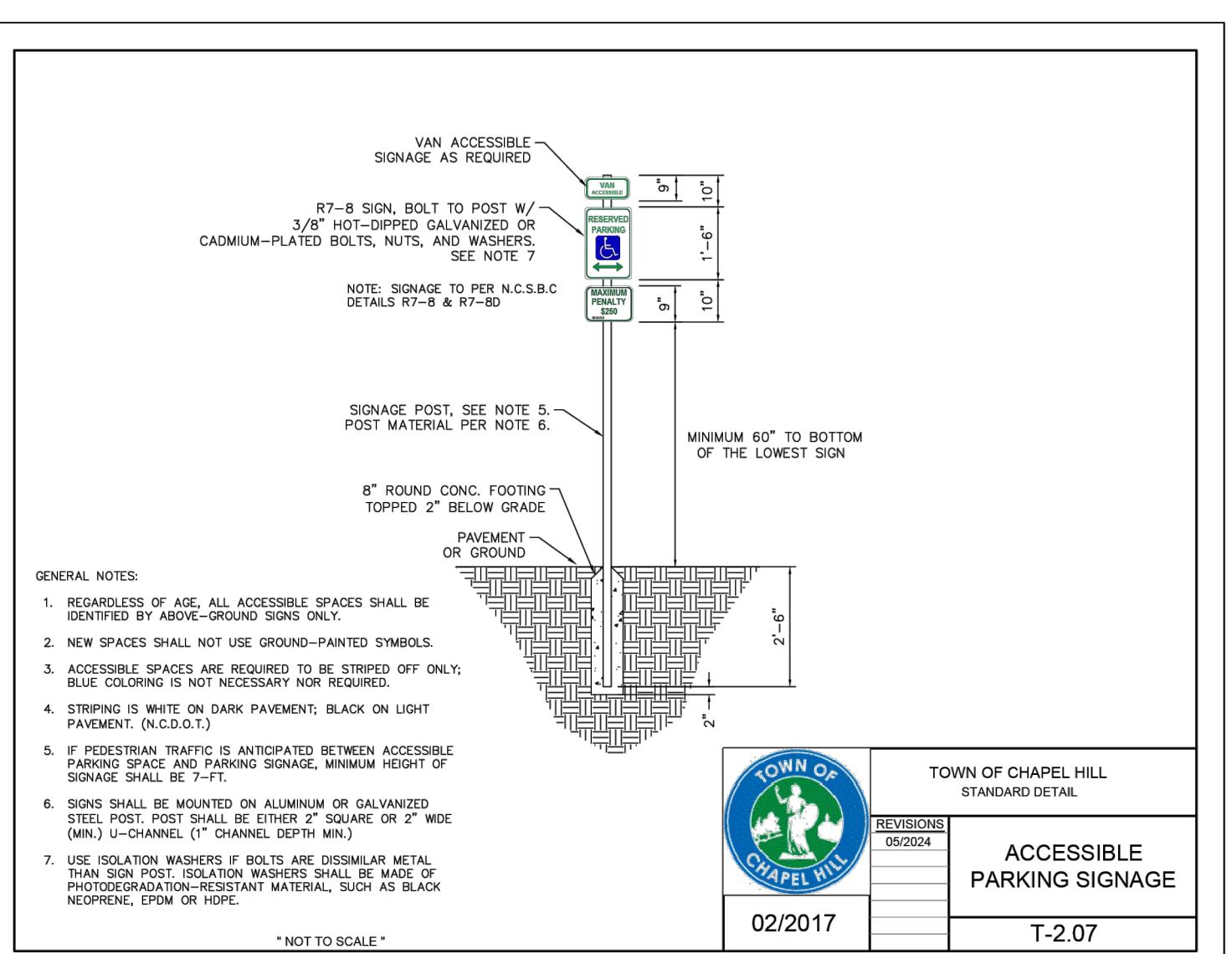
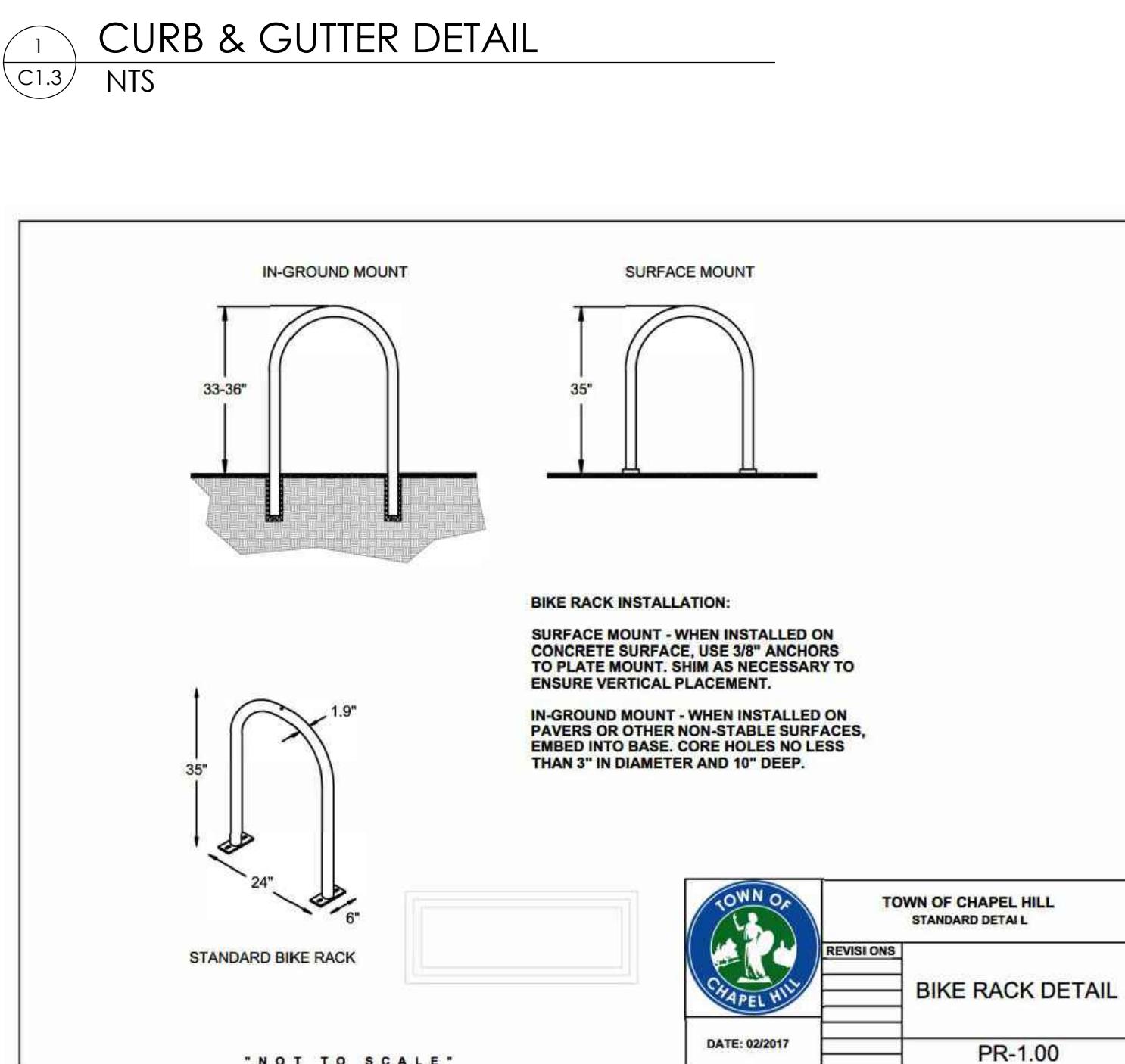
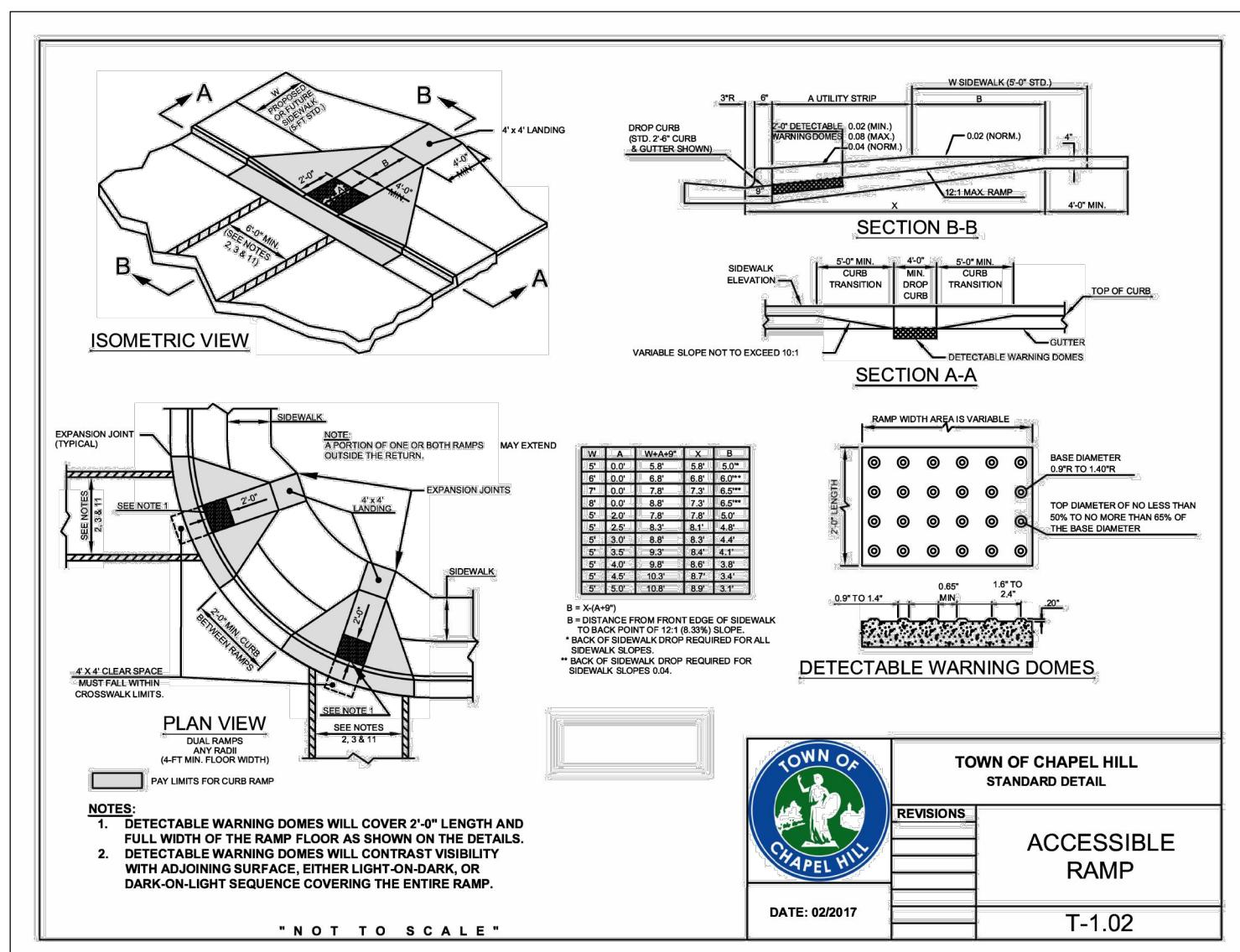
C1.4

C1.4



- I. ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
2. CABC BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MDD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.
3. CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM EACH WAY WITH ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 2". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF ACI STANDARDS.
4. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF ACI STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

HEAVY DUTY CONCRETE PAVING DETAIL

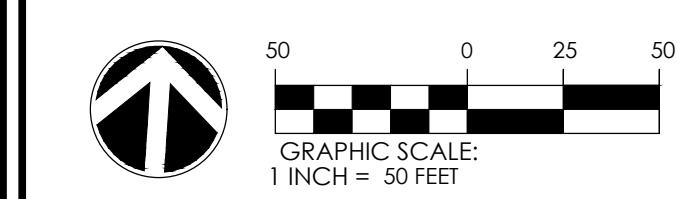


SITE DETAILS

LIGHTBRIDGE PROJECT

CLIENT/OWNER:

COMPROMISE LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514



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| DATUM: HORIZ.: NAD83 | | VERT.: NAVD88 |
| | | |
| JOB NO: | 31857.0000 | |
| DATE: | 5/01/25 | |
| DRAWN: | JTH | |
| DESIGNED: | | |
| REVIEWED: | | |
| APPROVED: | | |
| SCALE: | 1" = 50' | |

C1.5

GENERAL NOTES:

- I. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
2. ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
4. ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
5. BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
6. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
7. POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
8. RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).

SANITARY SEWER:

- I. BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
2. MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
3. MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
4. MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.5% WITH CLEANOUTS EVERY 100 LINEAL FEET.

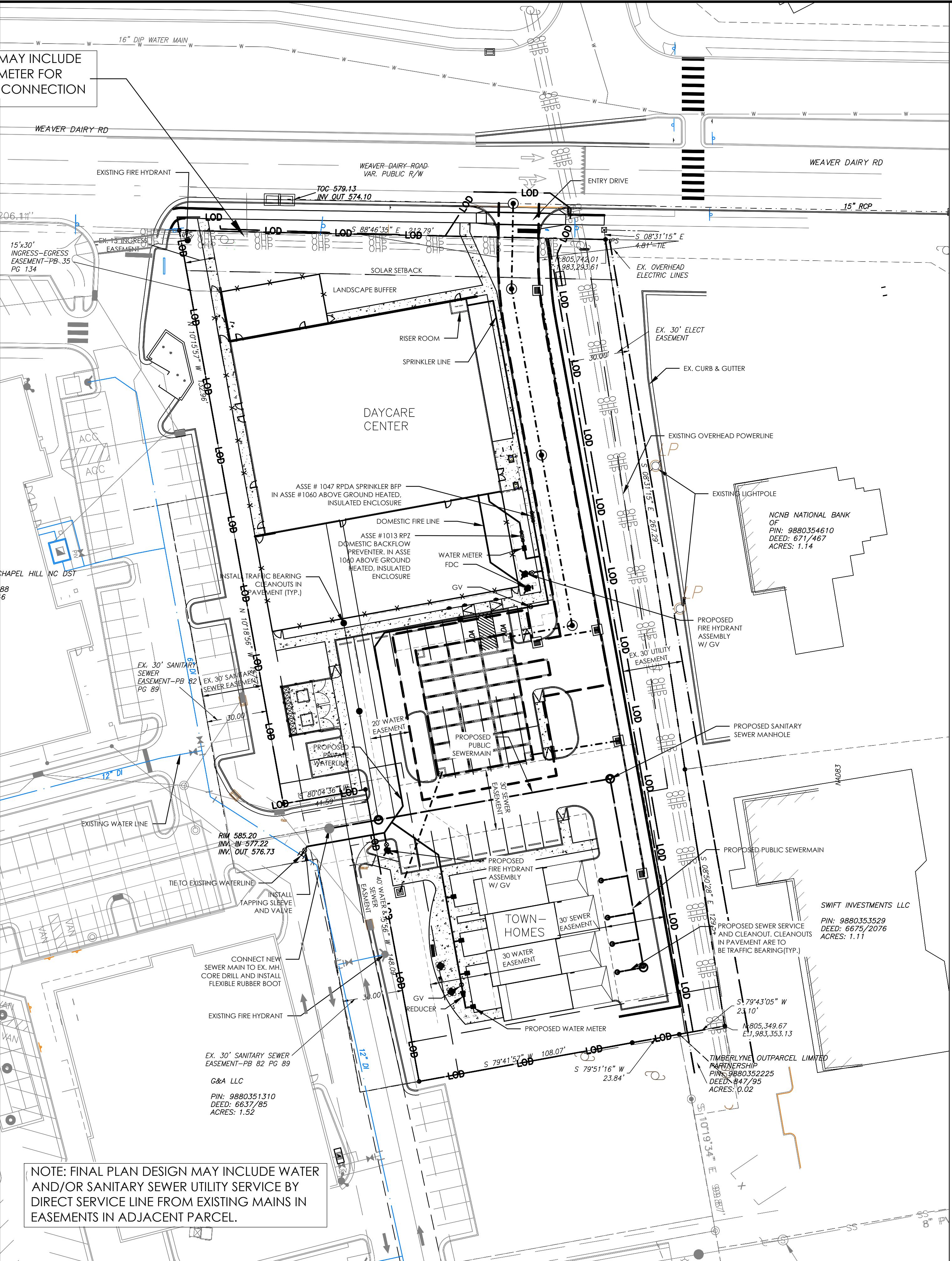
WATER:

- I. WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
2. LAY WATER MAINS AT LEAST 10 FEET LATERALLY FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
3. WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
4. WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
5. MAINTAIN A MINIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.
6. ALL FDC(S) AND HYDRANT(S) TO BE PROVIDED WITH 5 INCH DIAMETER STORZ

7. PRIVATE FIRE SERVICE MAINS AND APPURTEINANCES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 24. 2018 NCFC SECTION 507
8. FDC/STANDPIPES;3313.1 WHERE REQUIRED. IN BUILDINGS REQUIRED TO HAVE STANDPIPES BY SECTION 905.3.1, NOT LESS THAN ONE STANDPIPE SHALL BE PROVIDED FOR USE DURING CONSTRUCTION. SUCH STANDPIPES SHALL BE INSTALLED PRIOR TO CONSTRUCTION EXCEEDING 40 FEET (12192 MM) IN HEIGHT ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT VEHICLE ACCESS. SUCH STANDPIPE SHALL BE PROVIDED WITH FIRE DEPARTMENT VEHICLE ACCESS. SUCH STANDPIPE SHALL BE PROVIDED WITH FIRE DEPARTMENT HOSE CONNECTIONS AT ACCESSIBLE LOCATIONS ADJACENT TO USABLE STAIRWAYS. SUCH STANDPIPES SHALL BE EXTENDED AS CONSTRUCTION PROGRESSES TO WITHIN ONE FLOOR OF THE HIGHEST POINT OF CONSTRUCTION HAVING SECURED DECKING OR FLOORING. 2018 NCFC SECTION 313
9. POOL: BACKWASH FOR CHLORINATED, DECHLORINATED, OR FRESHWATER POOLS SHALL DISCHARGE TO THE SANITARY SEWER, PER OWASA GUIDANCE. IF POOL IS SALTWATER, BACKWASH SHALL BE REMOVED VIA PRIVATE, LICENSED HAULER, NOT DISCHARGED TO SANITARY SEWER.

NOTE: FINAL PLAN DESIGN MAY INCLUDE
REUSE OF EXISTING WATER METER FOR
DOMESTIC WATER SERVICE CONNECTION

NOTE: FINAL PLAN DESIGN MAY INCLUDE WATER AND/OR SANITARY SEWER UTILITY SERVICE BY DIRECT SERVICE LINE FROM EXISTING MAINS IN EASEMENTS IN ADJACENT PARCEL.



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|---------------------------|-----|------------|
| RESPONSE TO TOWN COMMENTS | WR | 10-20-2025 |
| RESPONSE TO TOCH COMMENTS | JTH | 08-21-2025 |
| REVISIONS | BY | DATE |

**THOMAS
&
HUTTON**

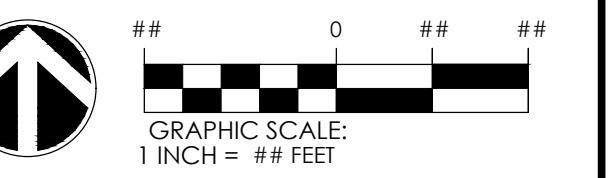
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www.thomasandbutton.com

TY PLAN

HTBRIDGE PROJECT

ENT/OWNFR:

111 TOWNE DRIVE
POD
HILL, NC 27514



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|-------------|------------|-------|--------|--------|
| UTM: | HORIZ.: | NAD83 | VERT.: | NAVD88 |
| NO: | 31857.0000 | | | |
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C2.1

GRADING AND STORM DRAINAGE NOTES

GRADING NOTES:

- I. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.
7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. *STORM STRUCTURES: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN OF CHAPEL HILL STANDARD DETAILS, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.*

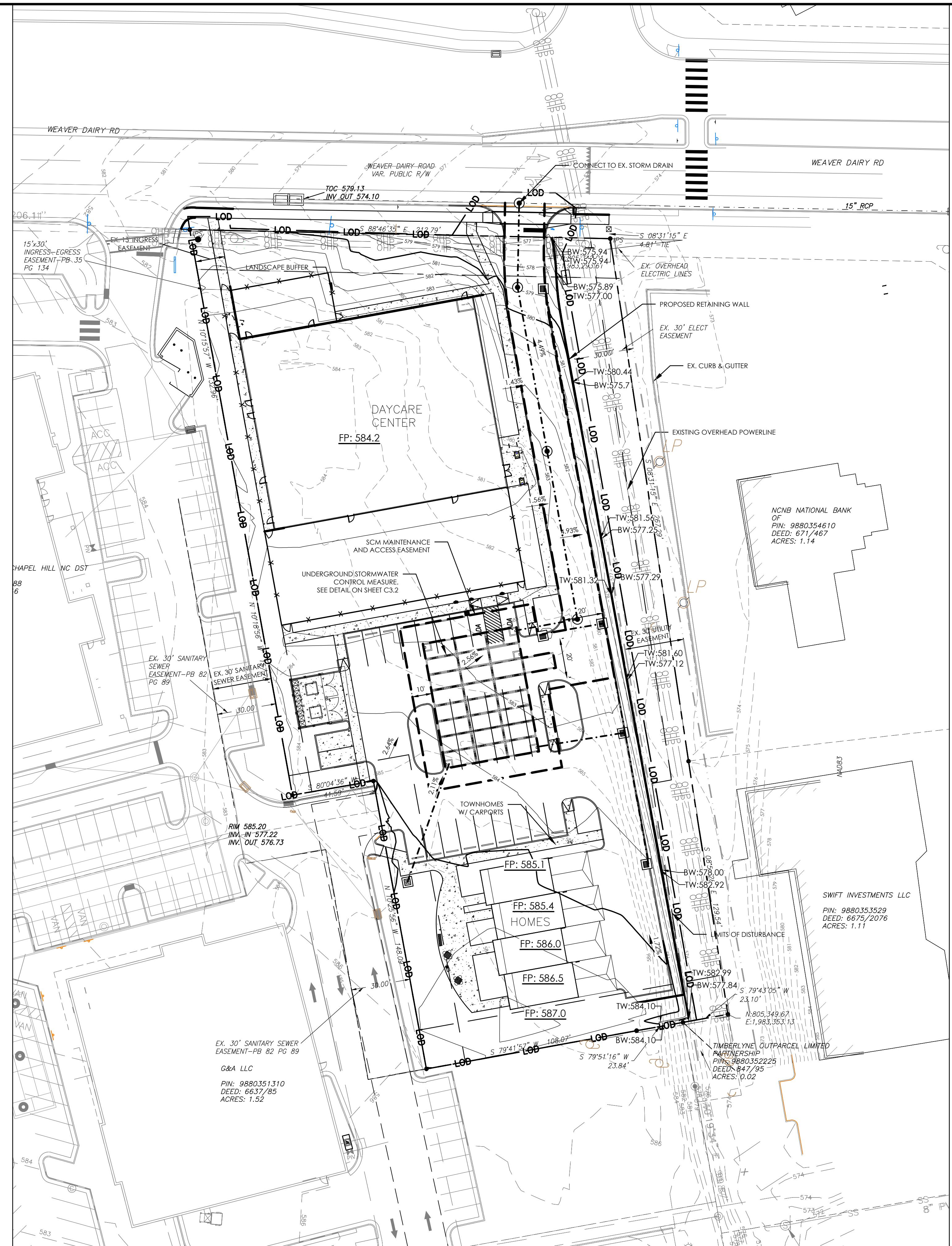
STORM DRAINAGE NOTES:

1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.

FOR ALL SIDEWALKS/CURB RAMPS THE FOLLOWING APPLIES:

1. SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
2. SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
3. MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
4. ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA – PARKING SPACES AND AISLES.
5. ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
6. PARKING – NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1, 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUTCD AND ICC A 117.1.
7. CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
8. SLOPES GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.
9. CURB RAMPS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 8.33% (12:1).
10. CONSTRUCT THE CURB RAMP SIDE FLARE SLOPE AT A MAXIMUM OF 10%, MEASURED ALONG THE CURB LINE.
11. CONSTRUCT THE CURB RAMP LANDINGS FOR A SIDEWALK AT A MINIMUM OF 4'x4' WITH A MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
12. CONSTRUCT CURB RAMP DETECTABLE WARNING DOMES TO COVER 2'-0" LENGTH AND FULL WIDTH OF THE RAMP FLOOR.

SIDEWALK & CURB RAMP NOTES (APPLIES TO ALL SHEETS)



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| RESPONSE TO TOCH COMMENTS | JTH | 08-21-2025 |
| REVISIONS | BY | DATE |

The logo for Thomas & Hutton. It features a large, bold, black 'T' on the left. To the right of the 'T' is the word 'THOMAS' in a large, bold, black sans-serif font. A thin horizontal line extends from the right side of 'THOMAS' to the right. Below 'THOMAS' and under the line is the ampersand symbol '&'. To the right of the ampersand is the word 'HUTTON' in a large, bold, black sans-serif font.

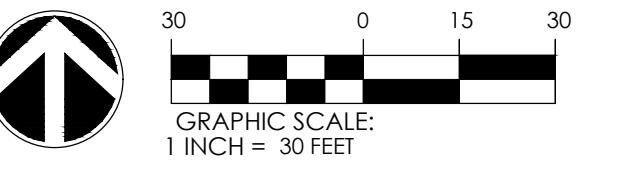
Meridian Parkway • Suite 100
Ham, NC 27713 • 919.682.0368
www.thomasandhutton.com

SAVING GRADING AND DRAINAGE PLAN

IGHTBRIDGE PROJECT

PROJECT LOCATION:
5 WEAVER DAIRY ROAD
APEL HILL, NC 27514

ENT/OWNER:
MPROP LLC
EASTOWNE DRIVE
e 300D
PEL HILL, NC 27514



HORIZ = NAVD88 VERT = NAVD88

C3.1

GENERAL NOTES:

THE STORM CAPTURE™ SYSTEM BY OLDCASTLE PRECAST IS PART OF THE STORMWATER MANAGEMENT SYSTEM FOR THE RESPECTIVE SITE, AS PREPARED BY THE PROJECT DESIGN ENGINEER. IT IS THE RESPONSIBILITY OF THE DESIGN ENGINEER TO DETERMINE DESIGN FLOW RATES, PRE-TREATMENT AND POST-TREATMENT REQUIREMENTS, STORAGE VOLUME, AND ENSURE THE FINAL DESIGN MEETS ALL CONVEYANCE AND STORAGE REQUIREMENTS. SYSTEM DESIGN AND TYPE, SOIL ANALYSIS, LOADING REQUIREMENTS, COVER HEIGHT AND MODULE SIZE DETERMINE THE FOUNDATION TYPE AND REQUIREMENTS AS STATED HEREIN. ANY VARIATIONS FOUND DURING CONSTRUCTION FROM THE SITE AND SYSTEM ANALYSIS MUST BE REPORTED TO THE PROJECT DESIGN ENGINEER. THE PROJECT DESIGN ENGINEER IS RESPONSIBLE FOR OBTAINING A GEOTECHNICAL ENGINEERING REPORT VERIFYING THE BEARING CAPACITY STATED IN DESIGN NOTES.

DESIGN NOTES:

1. DESIGN LOADINGS:
 - AASHTO HS-20-44 W/ IMPACT.
 - DEPTH OF COVER = 6" - 5'-0".
 - ASSUMED WATER TABLE = BELOW BOTTOM.
 - EQUIVALENT FLUID PRESSURE = 45 PCF.
 - LATERAL LIVE LOAD SURCHARGE = 80 PSF.
 - NO LATENT SURCHARGE FROM ADJACENT STRUCTURES.
2. CONCRETE 28 DAY COMPRESSIVE STRENGTH SHALL BE 6,000 PSI.
3. STEEL REINFORCEMENT: REBAR, ASTM A-615, GRADE 60.
4. CEMENT: ASTM C-150 SPECIFICATION.
5. STORM CAPTURE MODULE TYPE = DETENTION.
6. REQUIRED BASE LAYER DEPTH = 2" SAND BEDDING LAYER.
7. REQUIRED NATIVE ALLOWABLE SOIL BEARING PRESSURE = 3,000 PSF.
8. REFERENCE STANDARDS:
 - ASTM C 890
 - ASTM C 891
 - ASTM C 913
9. LESS THAN 6" OR GREATER THAN 5' OF COVER REQUIRES CUSTOM STRUCTURAL DESIGN AND MAY REQUIRE THICKER SUBGRADE.

INSTALLATION NOTES:

THE STORM CAPTURE™ MODULE SYSTEM IS TO BE INSTALLED IN ACCORDANCE WITH ASTM C891, INSTALLATION OF UNDERGROUND PRECAST UTILITY STRUCTURES. PROJECT PLAN AND SPECIFICATIONS MUST BE FOLLOWED ALONG WITH ANY APPLICABLE REGULATIONS.

1. PLAN LINE, GRADE AND ELEVATIONS MUST BE FOLLOWED.
2. WHERE SPECIFIED, AN 8 OZ. NON-WOVEN GEOTEXTILE FABRIC MUST BE USED AS A SEPARATION LAYER AROUND THE STORM CAPTURE SYSTEM.
3. PENETRATIONS IN THE GEOTEXTILE MAY ONLY BE MADE WITH SMOOTH WALL PIPES. MAKE PENETRATIONS FOR ALL OUTLETS BEFORE MAKING PENETRATIONS FOR ANY INLETS.
4. ALL SUBGRADE MATERIALS IF SPECIFIED, MUST BE CLEAN, DURABLE CRUSHED AGGREGATE COMPACTED OR ROLLED TO ACHIEVE 95% STANDARD PROCTOR DENSITY. OLDCASTLE RECOMMENDS SIZE 5,56,OR 57 (PER ASTM C33).
5. DESIGNATED EMBEDDED LIFTERS MUST BE USED. USE PROPER RIGGING TO ASSURE ALL LIFTERS ARE EQUALLY ENGAGED WITH A MINIMUM 60 DEGREE ANGLE ON SLINGS AS NOTED AND IN ACCORDANCE WITH OLDCASTLE LIFTING PROCEDURES.
6. MODULES MUST BE PLACED AS CLOSE TOGETHER AS POSSIBLE, AND GAPS SHALL NOT BE GREATER THAN 3/4". ALL EXTERIOR SYSTEM JOINTS SHALL BE COVERED WITH A MIN. 8" JOINT WRAP ON SIDES AND TOP (CS-212 CONSEAL OR EQUIVALENT). IN A CLAMSHELL DESIGN INSTALL ONE ROW CS-102 CONSEAL (OR EQUIVALENT) BETWEEN PRECAST PIECES.
7. AUTHORIZATION SHOULD BE GIVEN BY THE PROJECT ENGINEER OR DESIGNATED PERSON PRIOR TO PLACEMENT ON BACKFILL FOR THE SYSTEM. CARE SHOULD BE TAKEN DURING PLACEMENT OF BACKFILL NOT TO DISPLACE MODULES OR JOINT WRAP. BACKFILL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY OR AS SPECIFIED, AND SHOULD NOT BE COMPACTED WITHIN 6" OF MODULE.
8. CONSTRUCTION EQUIPMENT EXCEEDING DESIGN LOADING SHALL NOT BE ALLOWED ON STRUCTURE.
9. TERMADUCTS TO BE KNOCKED OUT AT SPECIFIED LOCATIONS IN FIELD BY OTHERS. SEE SITE LAYOUT FOR LOCATIONS.

INLETS AND RISERS:

ALL PIPE INLETS SHALL EXTEND INSIDE MODULE A MINIMUM OF 4". PLACE A NON-SHRINK, NON-METALIC GROUT, MIN. 3,000 PSI IN ANNULAR SPACE TO ELIMINATE ALL VOIDS.

| REVISIONS | | | |
|-----------|------|--------|-------------------------|
| REVISION | DATE | Sheets | DESCRIPTION OF REVISION |
| | | | |
| | | | |
| | | | |
| | | | |

STORMCAPTURE

TABLE OF CONTENTS

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| NOTES & GENERAL ISO | 1 |
| TYPICAL ELEVATION | 2 |
| EXTERIOR DETAILS | 3 |
| INTERIOR DETAILS | 4 |

NOTE: THIS VIEW IS FOR ILLUSTRATION PURPOSES ONLY TO SHOW FEATURES OF THE SYSTEM. ACTUAL LAYOUT VARIES BY PROJECT, SEE SITE PLAN LAYOUT. ALL PERIMETER WALLS ARE SOLID.

BOTTOM MODULE WITH TOP SLAB ISO VIEW

N.T.S.

STORMCAPTURE®

WRAP GEOTEXTILE FABRIC MIN. 1' OVER TOP

HS-20 RATED MANWAY ACCESS (AS REQUIRED) ADD RISER RINGS TO REQUIRED GRADE ELEVATION

STORM CAPTURE MODULES BY OLDCASTLE PRECAST INC.

PAVING/OVERBURDEN SEE DESIGN NOTE 9 (BY CONTRACTOR)

5' MAX COVER
6' MIN COVER

7/8"

6'-0"

4'-0"

3'-6"

DRILLED IN STEPS (TYP.)

1'-6"

1'-0"

1" DIAM. VENT HOLE ONE SIDE ONLY

4" DIAM. TERMADUCT (TYP.)

7"

COMPACTED FILL SEE INSTALLATION NOTE 7 (BY CONTRACTOR)

GEOTEXTILE FABRIC SEE INSTALLATION NOTE 2

CONTRACTOR TO ENSURE ADEQUATE BEARING SURFACE PROVIDED IN ACCORDANCE WITH PROJECT SPECIFICATIONS. A 2" SAND BEDDING LAYER IS REQUIRED. SEE DESIGN NOTE 6

TYPICAL ELEVATION
SCALE: 3/8" = 1'-0"

NOTE:
TERMADUCT INSERTS TO BE KNOCKED OUT AT SPECIFIED LOCATIONS ONLY (BY OTHERS).

- PRELIMINARY -
NOT FOR CONSTRUCTION

Oldcastle®
Stormwater Solutions

7921 SOUTH PARK PLAZA, SUITE 200, LITTLETON, CO 80120
PHONE: 1-888-965-3227 FAX: 303-794-7407

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STORMCAPTURE
TYPICAL ELEVATION

CUSTOMER

| DATE | SALES STS | DRAWN STS | ENGINEER JH | CHECKED | SALES ORDER |
|------------------------------|-----------|-----------|-------------|---------|----------------|
| | | | | | DRAWING NUMBER |
| SC - 6 ft base with top slab | | | | | REVISION SHEET |

REV DATE 2 OF 4

STORMCAPTURE®

STORM CAPTURE PLAN VIEW
SCALE: 1/4" = 1'-0"

VIEW A
SCALE: 1/4" = 1'-0"

VIEW B
SCALE: 1/4" = 1'-0"

BOTTOM MODULE LIFTING DETAIL
N.T.S.

TOP SLAB LIFTING DETAIL
N.T.S.

STORMCAPTURE INTERIOR DETAILS

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Oldcastle®
Stormwater Solutions

7821 SOUTHPARK PLAZA, SUITE 200, LITTLETON, CO 80120
PHONE: 1-888-965-3227 FAX: 303-794-7497

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| CUSTOMER | | | | | |
|------------------------------|-----------|-----------|----------|----------|-------------|
| DATE | SALES STS | DRAWN STS | ENGINEER | CHECKED | SALES ORDER |
| | | | JH | | |
| DRAWING NUMBER | | | | REVISION | SHEET |
| SC - 6 ft base with top slab | | | | REV DATE | 4 OF 4 |

STANDARD MANUFACTURER DETAILS - OLDCASTLE STORMCAPTURE

C3.2

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION. ALL COMPACTED SOIL IS TO BE LOOSENED TO A DEPTH OF 12".
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT Maturity. ANY NEW TREES SHALL BE LIMBED TO 6' ABOVE FINISHED GRADE.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED FROM LANDSCAPE BUFFERS. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.

LANDSCAPING NOTES

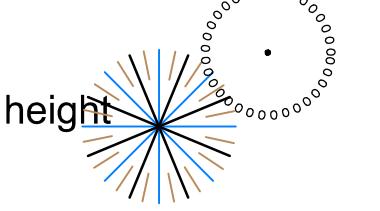
2

L1.1

PLANTINGS WILL BE NATIVE.
REQUIRED LANDSCAPE MATERIALS WILL BE SELECTED FROM THIS LIST.
PLANTINGS WILL MEET MINIMUM INSTALLATION SIZE AS DICTATED IN THE TOWN'S DESIGN MANUAL.

LEGEND

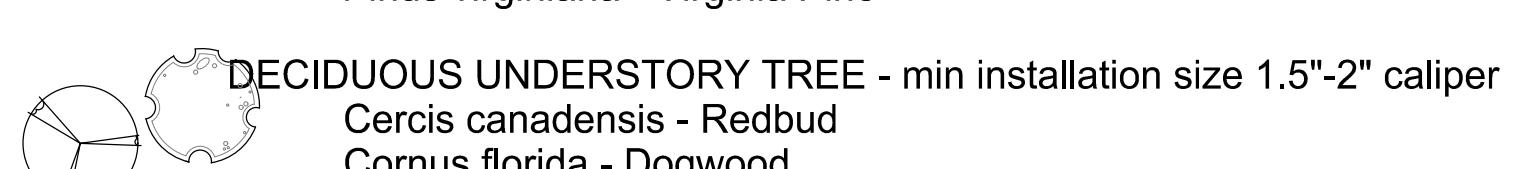
DECIDUOUS CANOPY TREE - min installation size 3"-3.5" caliper
Acer rubrum 'Armstrong' - Columnar Red Maple
Liquidambar styraciflua 'Slender Silhouette'
Nyssa sylvatica - Black Gum
Ulmus americana - American Elm



EVERGREEN CANOPY TREE - min installation size 14'-16' height
Magnolia grandiflora - Southern Magnolia
Pinus virginiana - Virginia Pine



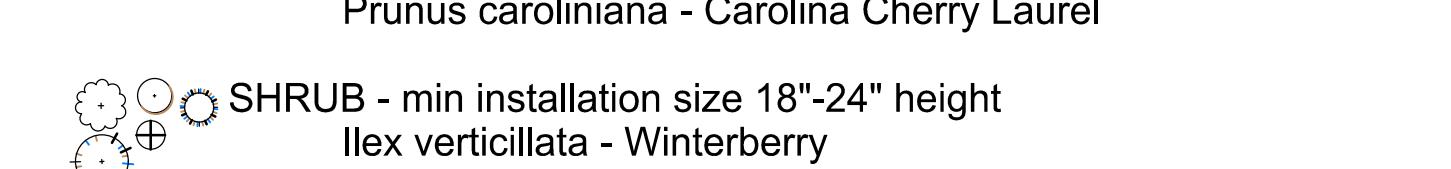
DECIDUOUS UNDERSTORY TREE - min installation size 1.5"-2" caliper
Cercis canadensis - Redbud
Cornus florida - Dogwood
Ostrya virginiana - American Hop Hornbeam
Oxydendrum arboreum - Soutwood



EVERGREEN UNDERSTORY TREE - min installation size 8'-10' height
Ilex opaca - American Holly
Juniperus virginiana - Eastern Redcedar
Magnolia virginiana - Sweetbay Mangolia
Prunus caroliniana - Carolina Cherry Laurel

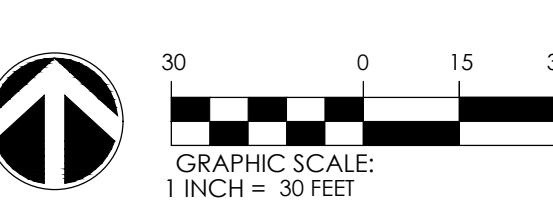
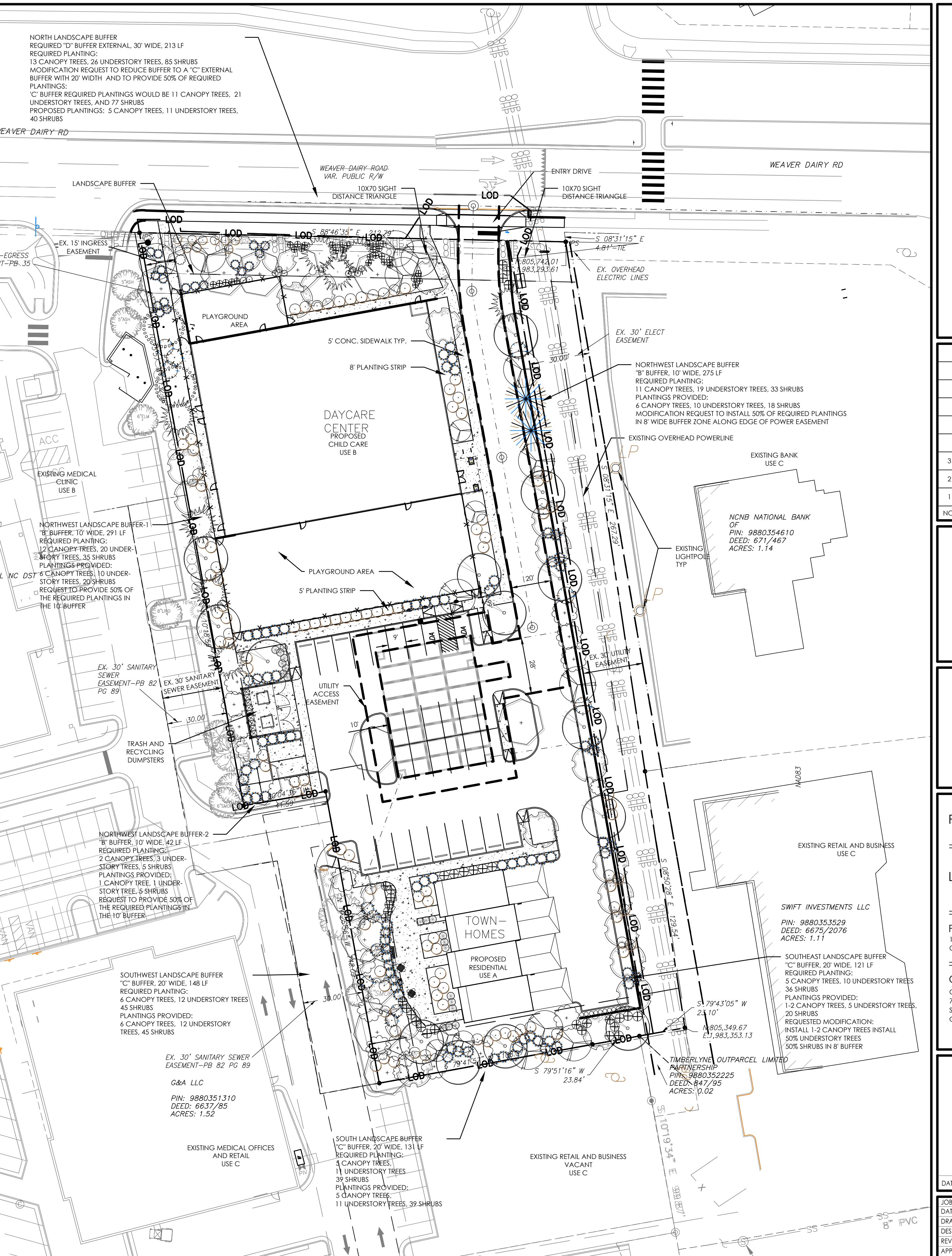


SHRUB - min installation size 18"-24" height
Ilex verticillata - Winterberry
Ilex vomitoria - Yaupon Holly



PLANTING PLAN

Scale: 1" = 30'



DATUM: HORIZ: NAD83 VERT: NAVD88

JOB NO: 31857-0000 DATE: 5/01/25

DRAWN: JTH

DESIGNED:

REVIEWED: RESPONSE TO TOWN COMMENT

APPROVED:

SCALE: 1" = 30'

L1.1

THOMAS & HUTTON
2510 Meridian Parkway • Suite 100
Durham, NC 27713 • 919.682.0368
www.thomasandhutton.com

PLANTING PLAN

LIGHTBRIDGE PROJECT

PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROMP LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514

TREE COVERAGE CALCULATIONS

Surveyed site area: 78,857 SF

Less area in storm
easement: 10,244 SF

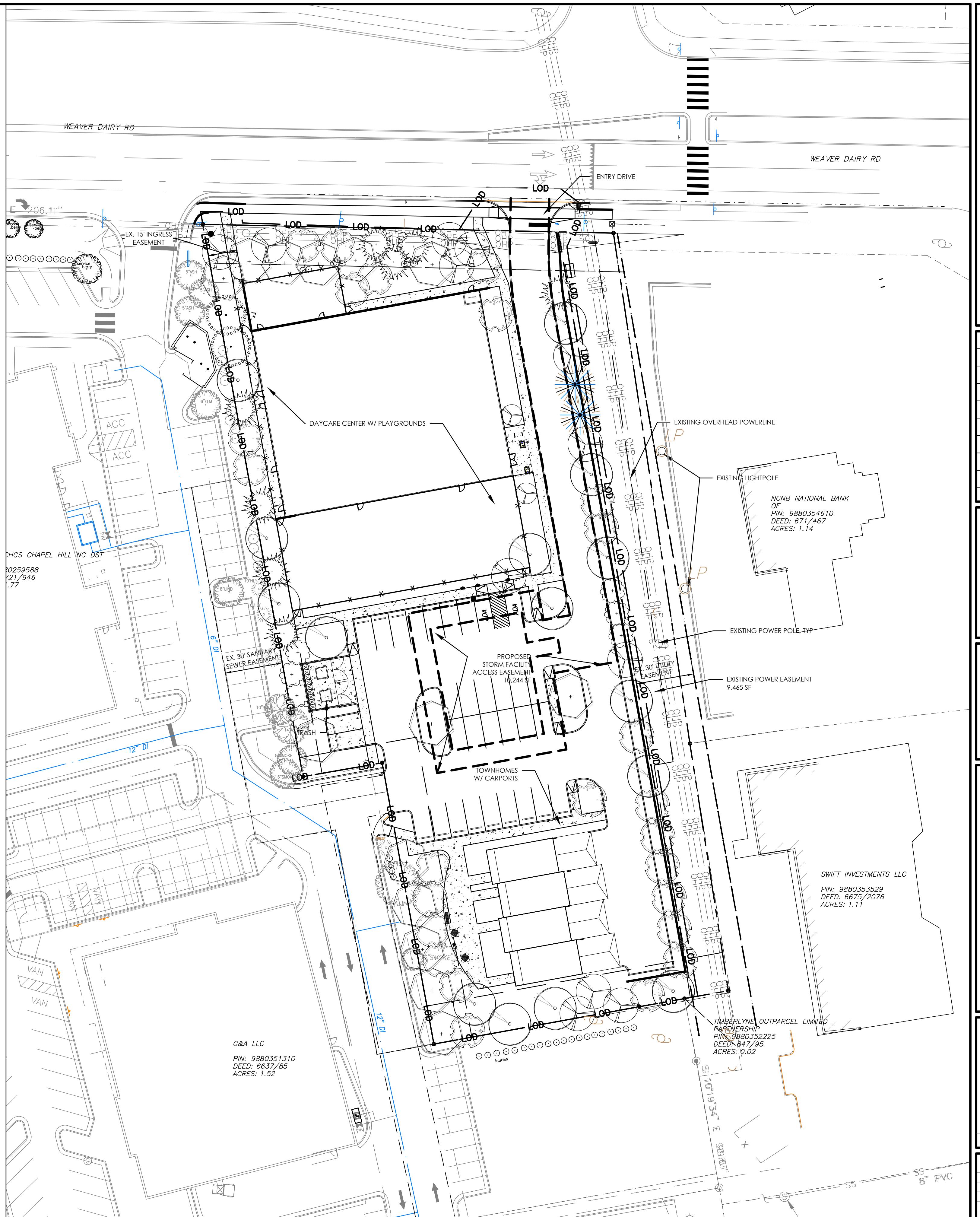
Less electric easement 9,465 SF

Net Land Area: 59,148 SF
REQUIRED TREE COVERAGE: 40% =

**TREE COVERAGE TO BE RETAINED: 0
REQUIRED NEW TREE INSTALLATION: 30 CANOPY TREES
AND 36 UNDERSTORY TREES**

MODIFICATION REQUEST TO CREDIT UNDERSTORY TREES AT 250 SF EACH TOWARD THE REQUIRED TREE COVERAGE

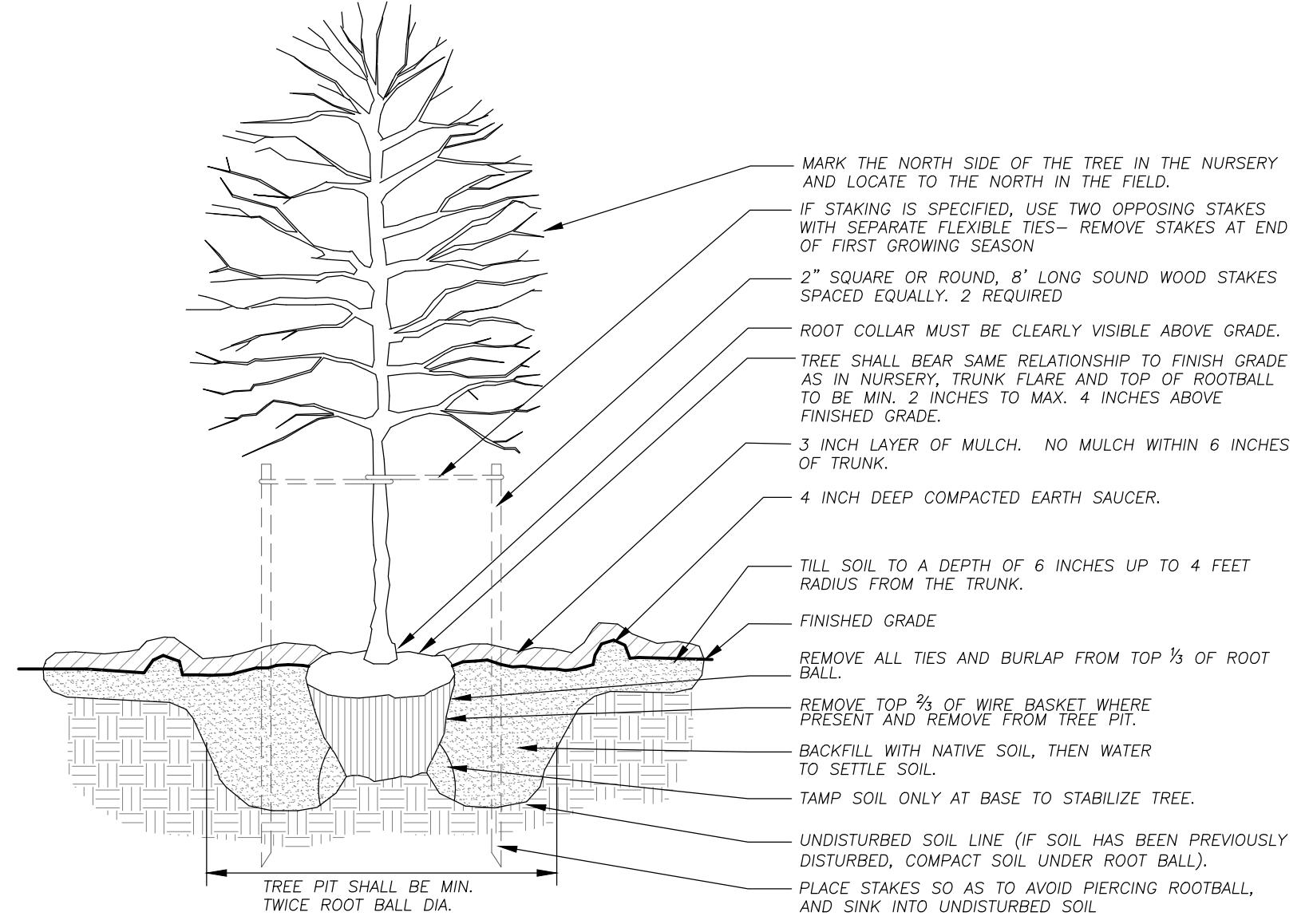
PROPOSED CANOPY TREE PLANTINGS:
CANOPY COVERAGE CREDIT: 30 CANOPY TREES X 500 SF = 15,000 SF
36 UNDERSTORY TREES X 250 SF = 9,000 SF
24,500 SF



LANDSCAPE PROTECTION PLAN

| | | |
|--|--|---------------|
| DATUM: HORIZ.: NAD83 | | VERT.: NAVD88 |
| <p>JOB NO: 31857.0000</p> <p>DATE: 5/01/25</p> <p>DRAWN: JTH</p> <p>DESIGNED:</p> <p>REVIEWED:</p> <p>APPROVED:</p> <p>SCALE: 1" = 30'</p> | | |
| <p>L1.2</p> | | |

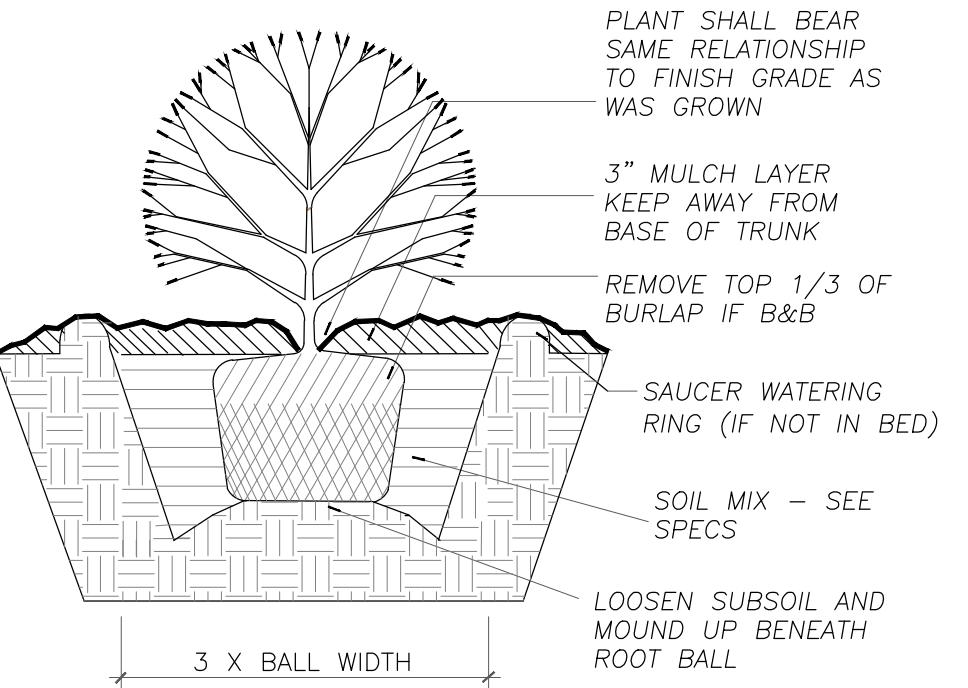
L1.2



NOTES:

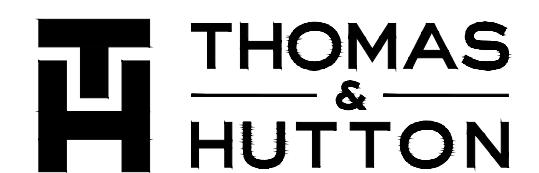
1. THIS STANDARD APPLIES TO SINGLE AND MULTI-STEM TREES.
2. NO SYNTHETIC FABRIC IS ALLOWED ON ROOT BALL.
3. REMOVE ALL BALL TIRES OR STRAPPING FROM ROOT BALL.
4. DO NOT DISTURB THE SOIL DURING PERIODS OF WET OR FROZEN SOIL CONDITIONS.
5. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
6. SET TREE PLUMB IN ALL DIRECTIONS.
7. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE TREE UPRIGHT AND PLUMB IN ALL DIRECTIONS. DO NOT STAKE TREES EXCEPT WHERE SPECIFIED OR DIRECTED BY LANDSCAPE ARCHITECT. IF STAKED, STAKE ONLY AS SHOWN.

1
L1.2 TREE PLANTING DETAIL
NTS



2
L1.2 SHRUB PLANTING DETAIL
NTS

| | | | |
|-----|---------------------------|-----|------------|
| 1 | RESPONSE TO TOCH COMMENTS | JTH | 08-21-2025 |
| NO. | REVISIONS | BY | DATE |



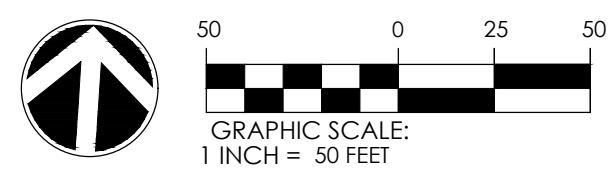
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PLANTING DETAILS

LIGHTBRIDGE PROJECT

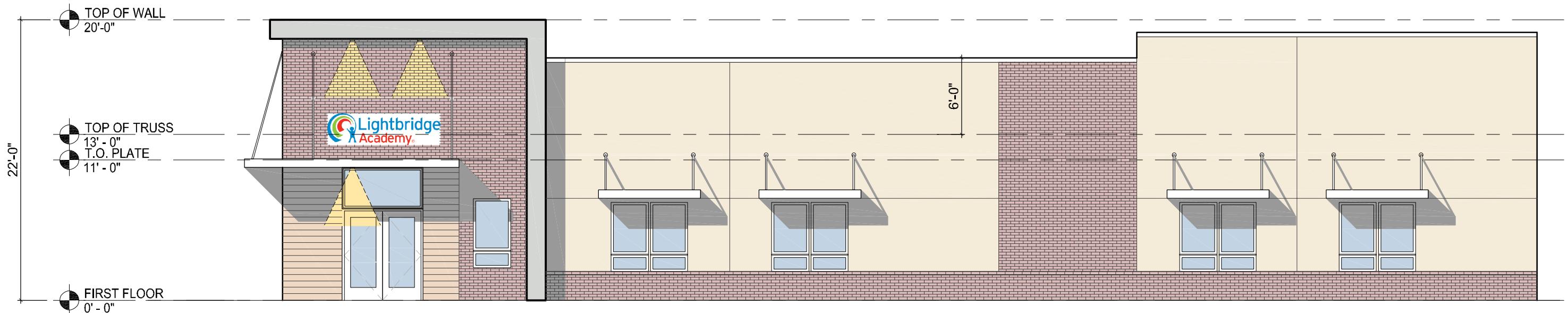
PROJECT LOCATION:
1165 WEAVER DAIRY ROAD
CHAPEL HILL, NC 27514

CLIENT/OWNER:
COMPROM LLC
727 EASTOWNE DRIVE
Suite 300D
CHAPEL HILL, NC 27514



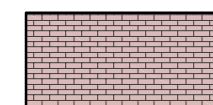
DATUM: HORIZ: NAD83
VERT: NAVD88
JOB NO: 31857-0000
DATE: 5/01/25
DRAWN: JTH
DESIGNED:
REVIEWED:
APPROVED:
SCALE: 1" = 50'

L1.3



BUILDING ELEVATION - EAST

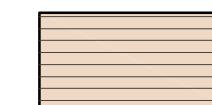
SCALE: 1/8" = 1'-0"



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STUCCO



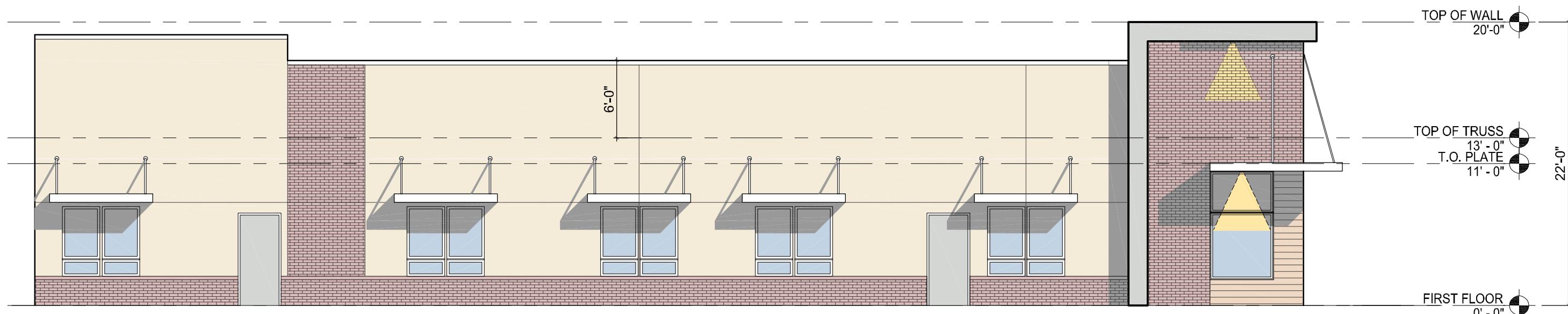
COMPOSITE
SIDING



METAL
PANELS



GLAZING



BUILDING ELEVATION - SOUTH

SCALE: 1/8" = 1'-0"

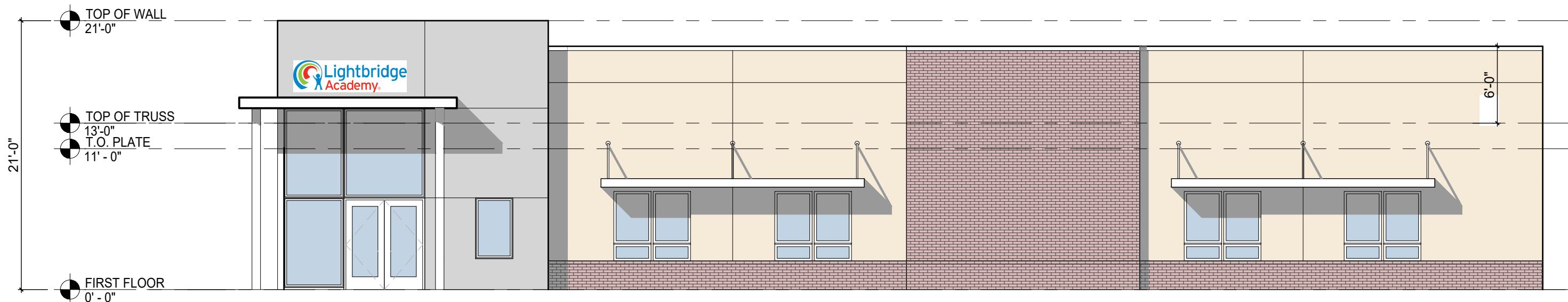
Justin A. Mihalik, AIA
300 Tice Boulevard
Suite 101
Woodcliff Lake, NJ 07677
ph: (973) 291-3730 fax: (973) 291-3740
www.colliersengineering.com
Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C., Inc.



LIGHTBRIDGE ACADEMY - CHAPEL HILL NC - ELEVATION STUDIES

Elevations
1165 Weaver Dairy Rd
Chapel Hill, NC
04/25/2025

JOB NUMBER: 24012647A
IS NOW COLLIER'S ENGINEERING & DESIGN
DRAWN BY: AS
JAM ARCH



BUILDING ELEVATION - EAST
SCALE: 1/8" = 1'-0"



BRICK



STUCCO



METAL
PANELS



GLAZING

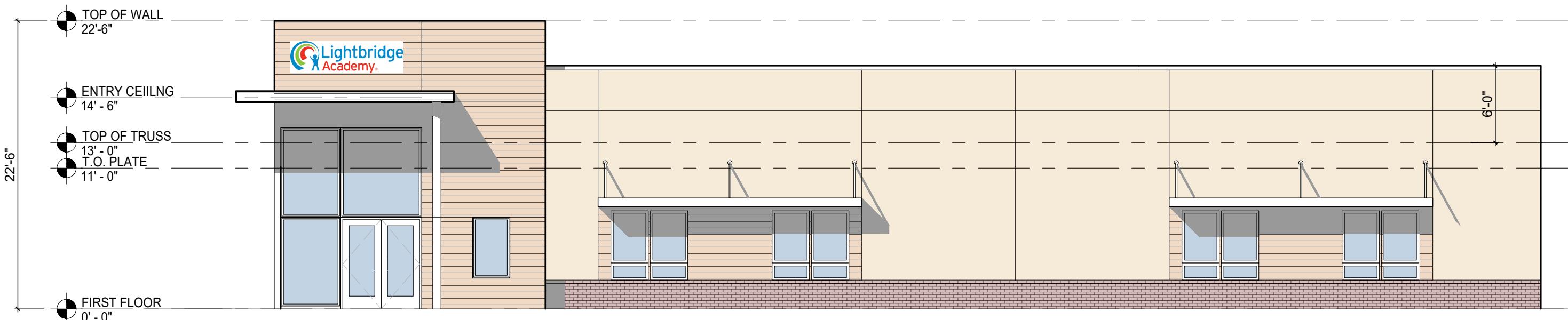
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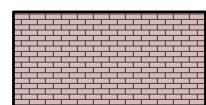
LIGHTBRIDGE ACADEMY - CHAPEL HILL NC - ELEVATION STUDIES

OPTION 2
1165 Weaver Dairy Rd
Chapel Hill, NC
04/11/2025

JOB NUMBER: 24012647A
IS NOW COLLIER'S ENGINEERING & DESIGN
DRAWN BY: AS
JAM ARCH



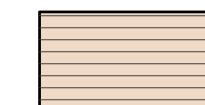
BUILDING ELEVATION - EAST
SCALE: 1/8" = 1'-0"



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COMPOSITE
SIDING



METAL
PANELS



GLAZING

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Woodcliff Lake, NJ 07677
ph: (973) 291-3730 fax: (973) 291-3740
www.colliersengineering.com
Bergmann Associates, Architects, Engineers,
Landscape Architects & Surveyors, D.P.C., Inc.



LIGHTBRIDGE ACADEMY - CHAPEL HILL NC - ELEVATION STUDIES

OPTION 3
1165 Weaver Dairy Rd
Chapel Hill, NC
04/11/2025

JOB NUMBER: 24012647A
IS NOW COLLIER'S ENGINEERING & DESIGN
DRAWN BY: AS
JAM ARCH