



TOWN OF CHAPEL HILL

Town Council Meeting Agenda

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Mayor Pam Hemminger
Mayor pro tem Michael Parker
Council Member Jessica Anderson
Council Member Allen Buansi

Council Member Hongbin Gu
Council Member Tai Huynh
Council Member Amy Ryan
Council Member Karen Stegman

Wednesday, April 22, 2020 7:00 PM

Virtual Meeting

Virtual Meeting Notification

Town Council members will attend and participate in this meeting remotely, through internet access, and will not physically attend. The Town will not provide a physical location for viewing the meeting.

The public is invited to attend the Zoom webinar directly online or by phone. This provides better video quality than on the streaming service. Register for this webinar:

https://zoom.us/webinar/register/WN_m6D4XCtRRE6fMCIYW3x3iQ After registering, you will receive a confirmation email containing information about joining the webinar in listen-only mode. Phone: 301-715-8592 Meeting ID: 985 3749 6257

Members of the public may also continue to live stream the meeting and view it over the Town's cable television channel access at <https://chapelhill.legistar.com/Calendar.aspx> – and on Chapel Hill Gov-TV (townofchapelhill.org/GovTV).

Virtual Board Meeting Procedures

Order of Proceedings for Agenda Items

1. Staff/Applicant Presentation
2. Clarifying Questions from Board
3. Public Comments
4. Board Discussion

Public Comment

- *Verbal Comments: Members of the public may sign up to speak when they register for the meeting. Please do so at least three-hours in advance,*

*so we can compile the information in time for the meeting. At the appropriate time, the Chair will provide attendees the option to use the raise the hand function or *9 via phone to indicate your desire to speak on the topic. Individuals who have pre-registered, followed by those with a 'raised hand' will then be brought into the public portion of the meeting one at a time.*

- *Written Comments: Public comment may be submitted prior to the meetings, provided to the board members and posted with the meeting materials.*

After the Meeting

- *To view recordings, visit:
<https://chapelhill.legistar.com/Calendar.aspx>*
- *For additional comments, email:
mayorandcouncil@townofchapelhill.org*

OPENING

ANNOUNCEMENTS BY COUNCIL MEMBERS

CONSENT

Items of a routine nature will be placed on the Consent Agenda to be voted on in a block. Any item may be removed from the Consent Agenda by request of the Mayor or any Council Member.

1. Approve all Consent Agenda Items. [\[20-0245\]](#)

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.
2. Approve the Miscellaneous Budget Ordinance Amendment and Project Ordinance Amendments to Adjust Various Fund Budgets for FY 2019-20. [\[20-0246\]](#)

By enacting the budget ordinance amendment, the Council adjusts the General Fund, Grants Fund, Library Gift Fund and Transit Capital Reserve Fund FY 2020 budgets. By enacting the project ordinance amendments, the Council adjusts the Capital Projects Ordinance Fund and the Transit Capital Grants Fund project budgets. By adopting the resolution, the Council accepts funding from the Orange County ABC Board.
3. Name the Elliott Road Flood Storage Project "Booker Creek Basin Park." [\[20-0247\]](#)

By adopting the resolution, the Council names the Elliott Road Flood Storage Park to "Booker Creek Basin Park".

- 4.** Approve the Council Committee’s Interview Rubric for Semi-Autonomous Board Applicants. [\[20-0248\]](#)
- By adopting the resolution, the Council approves the Council Committee’s Interview Rubric for Semi-Autonomous Board Applicants.
- 5.** Extend Advisory Board Member Terms Ending in June 2020 and Defer Spring Appointments to the Fall. [\[20-0249\]](#)
- By adopting the resolution, the Council extends the term limits for advisory board member’s terms ending in June 2020 and defers spring appointments to the fall.
- 6.** Refer the Conditional Zoning Atlas Amendment Application for Property at 7516 Sunrise Road to the Stormwater Management Utility Advisory Board for Review. [\[20-0250\]](#)
- By adopting the resolution, the Council refers the Weaver’s Grove Conditional Zoning Application for review by the Stormwater Management Utility Advisory Board.

INFORMATION

- 7.** Receive Upcoming Public Hearing Items and Petition Status List. [\[20-0251\]](#)
- By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

DISCUSSION

- 8.** Adopt a Revised Meeting Schedule to Hold Special Meetings in a Virtual Environment through May 31, 2020 or Until the Orange County Stay At Home Order is Lifted. [\[20-0252\]](#)
- PRESENTER: Maurice Jones, Town Manager
- RECOMMENDATION: That the Council adopts a revised meeting schedule to hold special meetings in a virtual environment through May 31, 2020 or until the Orange County Stay at Home Order is lifted.

CONCEPT PLAN REVIEW(S)

Concept Plans: Presentations for Concept Plans will be limited to 15 minutes.

Concept Plan review affords Council members the opportunity to provide

individual reactions to the overall concept of the development which is being contemplated for future application. Nothing stated by individual Council members this evening can be construed as an official position or commitment on the part of a Council member with respect to the position they may take when and if a formal application for development is subsequently submitted and comes before the Council for formal consideration.

As a courtesy to others, people speaking on an agenda item are normally limited to three minutes. Persons who are organizing a group presentation and who wish to speak beyond the three minute limit are requested to make prior arrangements through the Mayor's Office by calling 968-2714.

9. Concept Plan Review: 125 E Rosemary St Parking Deck

[\[20-0253\]](#)

PRESENTER: Becky McDonnell, Planner II

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adopt a resolution transmitting Council comments to the applicant.

RECOMMENDATION: That the Council adopt the resolution transmitting comments to the applicant.



TOWN OF CHAPEL HILL

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405 Martin Luther King Jr.
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Chapel Hill, NC 27514

Item Overview

Item #: 1., **File #:** [20-0245], **Version:** 1

Meeting Date: 4/22/2020

Approve all Consent Agenda Items.

Staff:

Sabrina M. Oliver, Director/Town Clerk
Amy T. Harvey, Assistant Town Clerk

Department:

Communications and Public Affairs

Overview: Items of a routine nature to be voted on in a block. Any item may be removed from the Consent Agenda by the request of the Mayor or any Council Member.



Recommendation(s):

That the Council adopt the various resolutions and ordinances.

Fiscal Impact/Resources: Please refer to each agenda item for specific fiscal notes.



Attachments:

- Resolution

**A RESOLUTION ADOPTING VARIOUS RESOLUTIONS AND ENACTING VARIOUS ORDINANCES
(2020-04-22/R-1)**

BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby adopts the following resolutions and ordinances as submitted by the Town Manager in regard to the following:

2. Approve the Miscellaneous Budget Ordinance Amendment and Project Ordinance Amendments to Adjust Various Fund Budgets for FY 2019-20. (R-2)(O-1)(O-2)(O-3)
3. Name the Elliott Road Flood Storage Project "Booker Creek Basin Park." (R-3)
4. Approve the Council Committee's Interview Rubric for Semi-Autonomous Board Applicants. (R-4)
5. Extend Advisory Board Member Terms Ending in June 2020 and Defer Spring Appointments to the Fall. (R-5)
6. Refer the Conditional Zoning Atlas Amendment Application for Property at 7516 Sunrise Road to the Stormwater Management Utility Advisory Board for Review. (R-6)

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council can approve various resolutions and ordinances all at once without voting on each resolution or ordinance separately.



TOWN OF CHAPEL HILL

Town Hall
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Item Overview

Item #: 2., File #: [20-0246], Version: 1

Meeting Date: 4/22/2020

Approve the Miscellaneous Budget Ordinance Amendment and Project Ordinance Amendments to Adjust Various Fund Budgets for FY 2019-20.

Staff:

Amy Oland, Director

Department:

Business Management

Overview: After the Council approves the annual budget, periodic changes require the Town to amend the original budget.



Recommendation(s):

That the Council:

- Enact the attached budget ordinance amendment to adjust the General Fund, Grants Fund, Library Gift Fund and Transit Capital Reserve Fund; and
- Enact the attached project ordinance amendments to adjust the Capital Projects Ordinance Fund and the Transit Capital Grants Fund; and
- Adopt the attached resolution to accept the ABC Grant.

Key Issues:

• **General Fund**

Orange County established a Collaborative Outreach program (Sales Tax Article 46), making funds available for economic development programs that aid in job creation, drive economic growth, support existing businesses, recruit new businesses, and promote other activities such as innovation and entrepreneurial growth, agri-tourism and agriculture in Orange County. Orange County has allocated \$39,059 in funding based on population for each county municipality.

As the Town considers a major redevelopment on East Rosemary Street, this project may present significant parking and construction impacts to local businesses. The Economic Development Office, in collaboration with the Chamber and Downtown Partnership, plans to offer a grant program to businesses to mitigate construction impacts. The Economic Development Office will create an application process and will review applicants in collaboration with the Chamber and Downtown Partnership. Micro grants will then be issued by the Downtown Partnership to businesses with demonstrated need (\$30,000 total funding available). Additionally, in collaboration with community partners, a marketing campaign for Downtown businesses will be created during the construction period. This program will advertise and publicize that businesses will remain open for business, parking alternatives, and wayfinding (\$9,059 total funding available). Enactment of the attached budget ordinance amendment would recognize and appropriate the \$39,059 in Article 46 funds from Orange County.

• **Grants Fund**

The Orange County ABC Board awarded the Town of Chapel Hill \$18,000 to continue supporting the Police Department's alcohol law enforcement efforts. These funds will be used for overtime salaries and special use funds for equipment and supplies for alcohol law enforcement operations. There are no matching requirements for this grant. Adoption of the attached resolution authorizes

acceptance of the ABC Grant, and enactment of the attached budget ordinance amendment establishes the grant budget of \$18,000.

- **Library Gift Fund**

Off-Site Kiosk Grant - The State Library of North Carolina has awarded the Chapel Hill Public Library \$99,600 in Library Sciences & Technology Act (LSTA) grant funding to implement an off-site materials pick-up service. The Friends of the Chapel Hill Public Library have provided a \$10,000 matching award to complete the project. The University Place Locker project will place an automated system with 99 lockers and a book return outside University Place to expand user access and help mitigate demand on-site at the library.

I Was Still Singing Grant - The State Library of North Carolina has awarded the Chapel Hill Public Library a \$5,000 Library Sciences & Technology Act (LSTA) mini-grant to design and launch "I Was Still Singing," a collaborative exhibit in spring 2020 highlighting the contributions of Chapel Hill's African American women elders. The goal of this exhibit is to educate and inspire local people and to honor the women who have contributed so much to the Chapel Hill community through a public history exhibit that is interactive, accessible and engaging for a broad audience.

Census Equity Grant - The American Library Association has awarded the Chapel Hill Public Library a \$2,000 Census Equity mini-grant to work with the Town's Housing & Community Department to increase awareness of the Census, offer residents an easy way to complete the online form, and achieve a higher local response rate. Staff will temporarily transform The Circulator into The Census-inator, visiting hard-to-count Chapel Hill populations, including public housing neighborhoods, mobile home communities, student housing areas, and immigrant communities. Grant funds will be used to design and print communication materials and signage in English and other languages, program supplies, paid translators, and translation services.

Continuing Education Scholarships Grant - The State Library of North Carolina has awarded the Chapel Hill Public Library two Continuing Education Scholarships totaling \$3,700 to send two staff members to the Research Institute for Public Libraries (RIPL) National Event in Chicago, IL July 12-15, 2020. RIPL is an event for public library leaders and others interested in public library data and evaluation. In this immersive, boot camp-style event, participants learn practical, strategic methods of gathering, analyzing, and using data for planning, management, and communicating impact.

Enactment of the attached budget ordinance amendment establishes the four grant budgets.

- **Capital Projects Ordinance Fund**

Parks and Recreation would like to recognize a payment in lieu that was received in 2019 from 111 Purefoy Road (\$27,480) and to reappropriate the remainder of a second payment in lieu that was received in 2008 from the Greenbridge development (\$36,388). The AD Clark pool lines and baby pool at Hargraves Park need repair work in preparation to pass the Orange County Health Department Inspection for the summer. Enactment of the attached project ordinance amendment would recognize the \$27,480 and reallocate the \$36,388 for a total of \$63,868 to be used for the

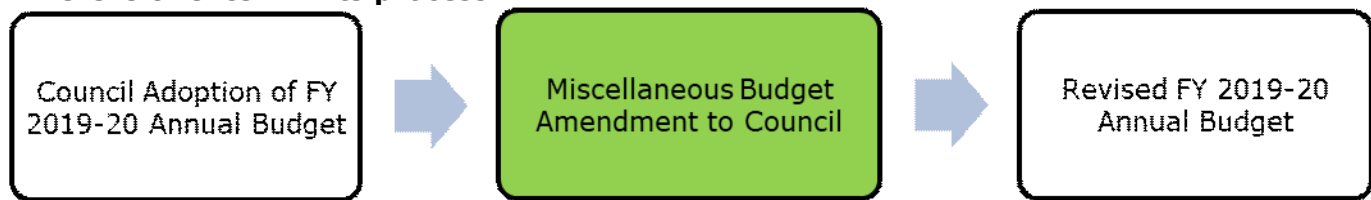
AD Clark pool repairs.

• **Transit Capital Grants Fund**

FY 2018 STP-DA Flex Fund Grant - In August 2018, Chapel Hill Transit was awarded a Federal Transit Administration (FTA) grant for \$917,888. The grant purchased two clean diesel buses. The original projected cost of each bus was \$458,944. The actual cost of each bus was \$458,955. Enactment of the attached project ordinance amendment increases the transfer from the Transit Capital Reserve Fund by \$22 for the local match. The project is complete and will be closed out with the FTA.

FY 2017 CMAQ Bus Grant - In January 2017, the Federal Transit Administration (FTA) awarded the Town \$1,400,000 as the FY 2017 Congestion Mitigation and Air Quality (CMAQ) Bus grant for the purchase of three clean diesel buses. The total for the three buses was \$1,376,832. The project is now complete and is ready to be closed out. Enactment of the attached project ordinance amendment would reduce the grant budget by \$23,168.

Where is this item in its process?



Attachments:

- Resolution - ABC Grant
- Budget Ordinance
- Project Ordinance - Capital Projects Ordinance Fund
- Project Ordinance - Transit Capital Grants Fund

A RESOLUTION AUTHORIZING THE ACCEPTANCE OF THE ORANGE COUNTY ALCOHOLIC BEVERAGE CONTROL BOARD FUNDS (2020-04-22/R-2)

WHEREAS, the Orange County Alcoholic Beverage Control (ABC) Board Funds through the ABC Board has made funds available for Alcohol Law Enforcement for the Town of Chapel Hill; and

WHEREAS, the ABC Board has awarded funds for a total amount of \$18,000; and

WHEREAS, the funds would be used for overtime salaries and special use funds for alcohol operations, equipment and supplies relating to those operations.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council authorizes the Manager to accept the ABC Board Funds and to make all necessary assurances.

This the 22nd day of April, 2020.

AN ORDINANCE TO AMEND "THE ORDINANCE CONCERNING APPROPRIATIONS AND THE RAISING OF REVENUE FOR THE FISCAL YEAR BEGINNING JULY 1, 2019" (2020-04-22/O-1)

BE IT ORDAINED by the Council of the Town of Chapel Hill that the Budget Ordinance entitled "An Ordinance Concerning Appropriations and the Raising of Revenue for the Fiscal Year Beginning July 1, 2018" as duly adopted on June 12, 2019, be and the same is hereby amended as follows:

ARTICLE I

APPROPRIATIONS	Current Budget	Increase	Decrease	Revised Budget
GENERAL FUND				
Mayor/Council	\$ 475,446	\$ -	\$ -	\$ 475,446
Town Manager/CaPA	2,850,025	39,059	-	2,889,084
Human Resource Dev't	1,964,992	-	-	1,964,992
Business Management	2,311,665	-	-	2,311,665
Technology Solutions	2,389,043	-	-	2,389,043
Attorney	386,581	-	-	386,581
Planning & Sustainability	2,097,143	-	-	2,097,143
Building and Development Services	2,164,364	-	-	2,164,364
Housing and Community	846,475	-	-	846,475
Public Works	13,432,718	-	-	13,432,718
Police	13,936,251	-	-	13,936,251
Fire	9,700,559	-	-	9,700,559
Parks and Recreation	7,273,099	-	-	7,273,099
Library	3,886,421	-	-	3,886,421
Non-Departmental	<u>6,316,823</u>	<u>-</u>	<u>-</u>	<u>6,316,823</u>
	\$ 70,031,605	\$ 39,059	\$ -	\$ 70,070,664
GRANTS FUND				
ABC Grant	<u>-</u>	<u>18,000</u>	<u>-</u>	<u>18,000</u>
	\$ -	\$ 18,000	\$ -	\$ 18,000
LIBRARY GIFT FUND				
Other Expenses	\$ 470,555	\$ -	\$ -	\$ 470,555
Off-Site Kiosk Project	-	109,600	-	109,600
I Was Still Singing Exhibit	-	5,000	-	5,000
Census Equity Project	-	2,000	-	2,000
Continuing Education Scholarships	<u>-</u>	<u>3,700</u>	<u>-</u>	<u>3,700</u>
	\$ 470,555	\$ 120,300	\$ -	\$ 590,855

TRANSIT CAPITAL RESERVE FUND

Other Expenses	\$ 10,000	\$ -	\$ -	\$ 10,000
Transfer to Capital Grants	<u>1,186,005</u>	<u>22</u>	<u>-</u>	<u>1,186,027</u>
	\$ 1,196,005	\$ 22	\$ -	\$ 1,196,027

ARTICLE II

REVENUES	Current Budget	Increase	Decrease	Revised Budget
GENERAL FUND				
Other Revenues	\$ 70,031,605	\$ -	\$ -	\$ 70,031,605
Orange County - Article 46 Funds	<u>-</u>	<u>39,059</u>	<u>-</u>	<u>39,059</u>
	\$ 70,031,605	\$ 39,059	\$ -	\$ 70,070,664
GRANTS FUND				
ABC Grant	<u>-</u>	<u>18,000</u>	<u>-</u>	<u>18,000</u>
	\$ -	\$ 18,000	\$ -	\$ 18,000
LIBRARY GIFT FUND				
Other Revenues	\$ 98,322	\$ -	\$ -	\$ 98,322
LSTA Grant Funds	52,233	108,300	-	160,533
American Library Association Grant Funds	-	2,000	-	2,000
Donations - Friends of C.H. Public Library	<u>320,000</u>	<u>10,000</u>	<u>-</u>	<u>330,000</u>
	\$ 470,555	\$ 120,300	\$ -	\$ 590,855
TRANSIT CAPITAL RESERVE FUND				
Other Revenues	\$ 10,000	\$ -	\$ -	\$ 10,000
Appropriated Fund Balance	<u>1,186,005</u>	<u>22</u>	<u>-</u>	<u>1,186,027</u>
	\$ 1,196,005	\$ 22	\$ -	\$ 1,196,027

This the 22nd day of April, 2020.

AN ORDINANCE TO AMEND THE CAPITAL PROJECT ORDINANCE FOR VARIOUS CAPITAL PROJECTS (2020-04-22/O-2)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, that the capital projects ordinance for various capital projects funded from a variety of sources is hereby amended to read as follows:

"SECTION I

The capital projects as authorized by the Town Council include various capital projects funded from grants, the Capital Improvements Program funds, and other miscellaneous sources of revenues for a variety of projects extending beyond one year.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these projects within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town to complete the project are hereby amended as follows:

	Current Budget	Revised Budget
Other Revenues	\$ 39,750,182	\$ 39,750,182
Payment in Lieu - Recreation	<u>117,592</u>	<u>145,072</u>
Total Revenues	\$ 39,867,774	\$ 39,895,254

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

	Current Budget	Revised Budget
Other Projects	\$ 39,867,774	\$ 39,831,386
Hargraves - AD Clark Pool	<u>-</u>	<u>63,868</u>
Total Expenditures	\$ 39,867,774	\$ 39,895,254

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the council informed of any unusual

occurrences.

SECTION VI

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk.”

This the 22nd day of April, 2020.

AN ORDINANCE TO AMEND A TRANSIT CAPITAL PROJECT ORDINANCE (2020-04-22/O-3)

BE IT ORDAINED by the Council of the Town of Chapel Hill that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, that the transit capital projects ordinance for various capital projects funded from a variety of sources is hereby amended to read as follows:

SECTION I

Transit capital projects as authorized by the Town Council are capital projects funded from Federal Transit Administration (FTA) grants and grants from the State of North Carolina.

SECTION II

The Manager of the Town of Chapel Hill is hereby directed to proceed with implementation of these transit capital projects within terms of funds appropriated here.

SECTION III

Revenues anticipated to be available to the Town to complete the project are hereby amended as follows:

	Current Budget	Revised Budget
Federal Transit Administration	\$ 7,510,840	\$ 7,495,977
North Carolina Department of Transportation	547,073	545,215
UNC Renewable Energy Special Projects	390,000	390,000
Active Living By Design Grant	260,000	260,000
GO Triangle	2,290,000	2,290,000
UNC Contributions	4,535	4,535
Program Income	606	606
Transfer from Transit Fund	680,129	680,129
Transfer from Capital Reserve	<u>2,244,343</u>	<u>2,237,918</u>
Total Revenues	\$ 13,927,526	\$ 13,904,380

SECTION IV

Amounts appropriated for capital projects are hereby amended as follows:

Item #: 2., File #: [20-0246], Version: 1

Meeting Date: 4/22/2020

	Current Budget	Revised Budget
Active Living By Design Grant	265,141	265,141
FY11 Section 5307 Radio System Grant	1,505,000	1,505,000
FY17 STP-DA Flex Fund Grant	1,376,832	1,376,832
FY17 CMAQ Bus Grant	1,400,000	1,376,832
FY18 GO Triangle Grant	2,838,894	2,838,894
FY16 Section 5339 Grant	534,037	534,037
FY18 Section 5339 Grant	592,708	592,708
FY18 STP-DA Flex Fund Grant	917,888	917,910
FY18 CMAQ Bus Grant	1,366,271	1,366,271
FY20 Section 5339 Grant	<u>3,130,755</u>	<u>3,130,755</u>
Total Expenditures	\$ 13,927,526	\$ 13,904,380

SECTION V

The Manager is directed to report annually on the financial status of the project in an informational section to be included in the Annual Budget, and shall keep the council informed of any unusual occurrences.

SECTION VI

Funds may be advanced from General funds for the purpose of making payments as due. Reimbursement requests should be made to FTA in an orderly and timely manner.

SECTION VII

Copies of this amended projects ordinance shall be entered into the minutes of the Council and copies shall be filed within five days of adoption with the Manager, Business Management Director and Town Clerk."

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By enacting the budget ordinance amendment, the Council adjusts the General Fund, Grants Fund, Library Gift Fund and Transit Capital Reserve Fund FY 2020 budgets. By enacting the project ordinance amendments, the Council adjusts the Capital Projects Ordinance Fund and the Transit Capital Grants Fund project budgets. By adopting the resolution, the Council accepts funding from the Orange County ABC Board.



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Item Overview

Item #: 3., **File #:** [20-0247], **Version:** 1

Meeting Date: 4/22/2020

Name the Elliott Road Flood Storage Project "Booker Creek Basin Park."

Staff:

Lance Norris, Director
Chris Roberts, Manager of Engineering and Infrastructure

Department:

Public Works

Overview: The Elliott Road Flood Storage Project is the highest priority Town Stormwater Project in the Lower Booker Creek Subwatershed Study. The project is bordered by Ram's Plaza, Fordham Boulevard Apartments, and Eastgate Crossing. It is funded and anticipated to begin this spring.

Considering the recommendation from the Parks, Greenways, and Recreation Commission, the Naming Committee recommends "Booker Creek Basin Park".



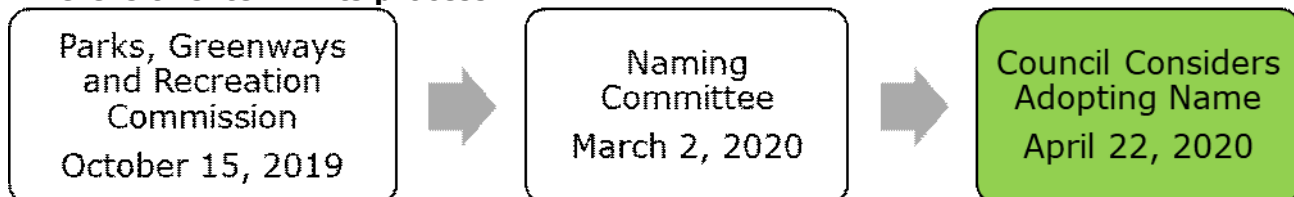
Recommendation(s):

That the Council adopt the resolution to name the Elliott Road Flood Storage Project "Booker Creek Basin Park".

Key Issues:

- On October 15, 2019, staff asked the Parks, Greenways, and Recreation Commission for names to recommend to the Naming Committee.
- On March 2, 2020, the Naming Committee recommended "Booker Creek Basin Park."

Where is this item in its process?



Attachments:

- Resolution
- October 15, 2019 Memorandum "Recommendations to Name the Elliott Road Flood Storage/Trail Project"
- March 2, 2020 Naming Committee Action Minutes

A RESOLUTION TO NAME THE ELLIOTT ROAD FLOOD STORAGE PROJECT "BOOKER CREEK BASIN PARK" (2020-04-22/R-3)

WHEREAS, the Elliott Road Flood Storage Project is the highest priority Town Stormwater Project identified by the Lower Booker Creek Subwatershed Study, and the project is funded and anticipated to begin this spring; and

WHEREAS, the Parks, Greenways, and Recreation Commission recommended names for the Naming Committee's consideration; and

WHEREAS, on March 2, 2020, the Naming Committee recommended the name of "Booker Creek Basin Park".

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council hereby names the Elliott Road Flood Storage Park to "Booker Creek Basin Park".

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council names the Elliott Road Flood Storage Park to "Booker Creek Basin Park".

MEMORANDUM

TO: Council Naming Committee

FROM: Wesley McMahon, Chair
Parks, Greenways, and Recreation Commission

SUBJECT: Recommendations to Name the Elliott Road Flood Storage/Trail Project

DATE: October 15, 2019

On October 15, 2019, the Commission received a presentation related to the upcoming Elliott Road Flood Storage/Trail project. The Commission notes that while the main focus of the project will be to help alleviate flooding along Booker Creek, there is an opportunity to highlight the flood storage area as a greenspace with an overlook along the Booker Creek Trail.

The Commission voted unanimously (5-1) to recommend to the Council the following names for your consideration:

Booker Creek Basin
Booker Creek Greenspace

We opted not to name the site as a “park” because it doesn’t have the amenities that we feel people associate with a park. We also were concerned that using the term “trail” in the name may be confusing as the Booker Creek Trail currently passes by. In the event that the Council prefers some other name, the Commission recommends that the future name have a geographic reference to the site, and one that is not tied to a current commercial interest in the area that may change in the future.



Town of Chapel Hill Naming Committee

March 2, 2020, at 4:30 p.m.
Meeting Room 315, Chapel Hill Town Hall
405 Martin Luther King Jr. Blvd, Chapel Hill, NC

Action Minutes

In Attendance: Michael Parker, Karen Stegman, Pam Hemminger, Susan Brown, Chris Roberts, Andre Miller, Sammy Bauer, Bill Webster, Marcia Purvis, Laura Selmer

1. Opening at 4:35 p.m.

- a. Roll Call
- b. Approval of Agenda

2. Business

- a. **Consider Petition to Name Elliot Road Flood StorageChris Roberts**
Action: The committee reviewed the recommendations from the Parks, Recreation and Greenways Commission dated October 15, 2019. Some committee members shared concerns about the term basin, as it may not be a definition understood by everyone. **Booker Creek Basin Park** was the name preferred by committee members. Goals for the area include public art and lighting on trails. The committee will send a recommendation to full Council for consideration.
- b. **2020 Nominees for Peace & Justice Plaza.....Committee Chair**
Action: Susan Brown indicated there is remaining space for two names with the current design of Peace & Justice Plaza. The Mayor asked Cultural Arts to explore the cost and feasibility to place new plaques on the building. The Committee will reconvene to make a recommendation for 2020 honorees once more information is available on the placement of additional plaques.
- c. **Other Committee Discussion..... Committee Chair**
 - **Recognition of Architectural Firms on Town Facilities**
Action: Susan Brown shared that there is no known policy in place for architectural recognition. There are no known plaques for Town facilities that recognize architects apart from the Library renovation plaque. Staff will continue to look at other Town facilities and best practices of other municipalities.

3. Adjournment at 5:17 p.m.



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Item Overview

Item #: 4., **File #:** [20-0248], **Version:** 1

Meeting Date: 4/22/2020

Approve the Council Committee's Interview Rubric for Semi-Autonomous Board Applicants.

From:

Pam Hemminger, Mayor
Michael Parker, Mayor pro tem
Jessica Anderson, Council Member
Amy Ryan, Council Member

Group:

Council Committee on Boards and Commissions

Overview: On [October 30, 2019 <https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4148999&GUID=A6AD3C8C-009B-4078-8A33-763C2B3B93D6&Options=&Search=>](https://chapelhill.legistar.com/LegislationDetail.aspx?ID=4148999&GUID=A6AD3C8C-009B-4078-8A33-763C2B3B93D6&Options=&Search=>), the Council approved forming two Council Committees to interview applicants for all four semi-autonomous boards (Board of Adjustment, Community Design Commission, Historic District Commission, and Planning Commission) and asked the Council Committee on Boards and Commissions to draft a rubric that reflects the Council's values for the full Council's approval.



Recommendation(s):

That the Council adopt a resolution to approve the Council Committee's Interview Rubric for Semi-Autonomous Board Applicants.

Development of the Rubric

The Council Committee on Boards and Commissions (the Committee) met on February 18, 2020. The Committee included elements in the rubric to help evaluate the diversity of the applicant within the context of the current membership of the board. They also included elements to evaluate the amount of special interest, experience, or education/training an applicant conveyed through their application or interview. The Committee also thought it was important to include some standardized interview questions.

The two new Council Committees will convene in April, and as needed thereafter, to conduct interviews in advance of the May appointments. The appointment items will include the recommendation, rubric, and minutes from the Committee meeting, in addition to the standard content.

Where is this item in its process?



Attachments:

- Resolution
- Council Committee's Interview Rubric for Semi-Autonomous Board (revised March 12, 2020)

A RESOLUTION TO APPROVE THE COUNCIL COMMITTEE'S INTERVIEW RUBRIC FOR SEMI-AUTONOMOUS BOARD APPLICANTS (2020-04-22/R-4)

WHEREAS, on October 30, 2019, the Council approved forming two Council Committees to interview applicants for all four semi-autonomous boards (Board of Adjustment, Community Design Commission, Historic District Commission, and Planning Commission); and

WHEREAS, the Council asked the Council Committee on Boards and Commissions to draft a rubric that reflects the Council's values for each board for the full Council's approval; and

WHEREAS, the Council Committee on Boards and Commissions met on February 18, 2020. The Committee included elements in the rubric to help evaluate the diversity of the applicant within the context of the current membership of the board. They also included elements to evaluate the amount of special interest, experience, or education/training an applicant conveyed through their application or interview. The Committee also thought it was important to include some standardized interview questions.

WHEREAS, the Committee recommends that the Council approve the rubric for use by the two interview committees starting this spring; and

WHEREAS, the item was removed from the March 4, 2020 consent agenda for minor revisions.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council approve the Council Committee's Interview Rubric for Semi-Autonomous Board Applicants as attached in the April 22, 2020 Town Council agenda item.

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council approves the Council Committee's Interview Rubric for Semi-Autonomous Board Applicants.

Interview Guide for Appointments to Planning commission, Community design Commission, Historic Design Commission, and Board of Adjustment

How to Use this Guide

- This guide is not intended to be prescriptive. Rather it is to be used by interviewing Council members as one part of the process for determining who the Council should appoint
- The column on the first page, Current Membership Composition Factors is to be completed by staff prior to the interviews
- Council members should feel free to modify or add to the questions shown on the last page

Council Committee's Interview Rubric for Semi-Autonomous Board Applicants

Non-Board Specific Criteria				Current Membership Composition/Factors	Comments in Support of criteria
Age	Similar to existing Board members	Moderately different than existing Board members	Significantly different than existing Board members	[#] 18-25 [#] 25-34 [#] 35-54 [#] Over 55	
Race/Ethnicity	Similar to existing Board members	Moderately different than existing Board members	Significantly different than existing Board members	[#] African American [#] American Indian/Alaskan Native Aleutian [#] Asian or Pacific Islander [#] Caucasian/Non-Hispanic [#] Hispanic [#] (Other, Unknown, Prefer not to Answer)	
Gender Identification	Similar to existing Board members	Moderately different from existing Board members	Significantly different from existing Board members	[#] Female [#] Male [#] Non-binary or third gender [#] Prefer to self-describe [#] Prefer not to say	
Length of time in Chapel Hill	0-3years	4-9 years	Greater than 10 years	[#]0-12 months [#] 1-3 years [#] 4-9 years [#] Greater than 10 years	
Advisory Board Experience	Little or No Experience	Non-Chapel Hill Board Experience	Chapel Hill Board Experience	NA	
Caregiver for or identifies with a disability	NA	No	Yes	NA	
Other perspective applicant brings to the board (e.g., business, University or CHCCS, public Transit-dependent, commuter, or youth community, lived experience with challenges related to Board focus)	NA	NA	NA	NA	

Council Committee's Interview Rubric for Semi-Autonomous Board Applicants

Community Design Commission Specific Criteria				Current Membership Factors	Comments in Support of criteria
Design Field	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Architecture	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Landscape Design	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Horticulture	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
City Planning	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Green Design	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Place Making	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	

Council Committee's Interview Rubric for Semi-Autonomous Board Applicants

Planning Commission Specific Criteria				Current Membership Factors	Comments in Support of criteria
Seat Match	Not closely matched	Partially matched	Closely matched	<i>[Current Vacant position description]</i>	
City Planning	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Design Field	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Environment	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Housing	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Transportation	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	

Council Committee's Interview Rubric for Semi-Autonomous Board Applicants

Board of Adjustment Specific Criteria				Current Membership Factors	Comments in Support of criteria
City Planning	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	

Historic District Commission Specific Criteria				Current Membership Factors	Comments in Support of criteria
History	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	
Architecture	Little special interest, experience, or education/training	Some special interest, experience, or education/training	Extensive special interest, experience, or education/training	NA	

Interview Questions:

1. Why do you want to serve on this Board/Commission?
2. What do you hope to accomplish through your service on this Board/Commission?
3. What do you see as the key challenges that the Town has to address over the next few years?
4. What characteristics do you think a board member should possess?
5. Why do you feel that the Council should appoint you to this seat?
6. Are you familiar with the meeting schedule for this Board or Commission, and are you available to attend regularly scheduled meetings?

Other Comments:



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 5., **File #:** [20-0249], **Version:** 1

Meeting Date: 4/22/2020

Extend Advisory Board Member Terms Ending in June 2020 and Defer Spring Appointments to the Fall.

Staff:

Sabrina Oliver, Town Clerk/Director
Amy Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs

Overview: On March 13, 2020, the Town of Chapel Hill proclaimed a State of Emergency in response to COVID-19 and later joined Orange County’s Stay at Home Declaration through April 30. This interrupts the multi-month process for appointing members to advisory boards which normally occurs between February and May.

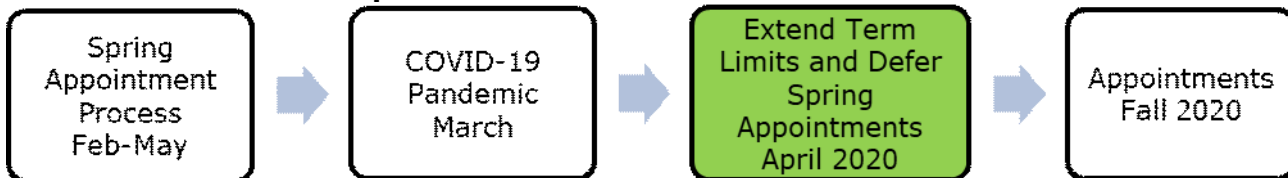
☆ **Recommendation(s):**

That the Council extend the advisory board member terms ending in June 2020 and defer spring appointments to the fall.

Key Issues:

- Extend the terms for existing advisory board members from June 30, 2020 to November 30, 2020 to prevent a one-third board reduction in July
- Move the appointment process to the fall.
- Clarify that when a member is reappointed in the fall, the period between June 30 and November 30 is included as a part of their next full term
- Clarify that mid-term vacancies can continue to be filled as the Council and advisory boards adapt to electronic meetings

Where is this item in its process?



 **Attachments:**

- Resolution

A RESOLUTION TO EXTEND ADVISORY BOARD MEMBER TERMS ENDING IN JUNE 2020 AND DEFER SPRING APPOINTMENTS TO THE FALL (2020-04-22/R-5)

WHEREAS, the Advisory Board Membership Policy describes a multi-month process for making yearly appointments in the spring for terms ending on June 30 of the given year; and

WHEREAS, on March 13, 2020, the Town of Chapel Hill proclaimed a State of Emergency in response to COVID-19; and

WHEREAS, on March 26, 2020, the NC Department of Justice provided an advisory opinion stating that "electronic meetings are allowed under N.C.G.S. §143.318.13, and the requirements of notice, access and minutes can be met through electronic means. Due to the unprecedented circumstances we are all faced with, and the fact that local governing bodies conducting meetings remotely is not expressly prohibited by statute, I conclude that local governments can carry out necessary meetings electronically and remain in compliance with Open Meetings Laws."; and

WHEREAS, the School of Government transmitted the above advisory opinion and added that "the letter doesn't specifically address the impact of electronic participation on statutory quorum/voting requirements, public hearings, public comment periods, or quasi-judicial hearings." Some blog posts on those topics include the following:

- [Meetings and Public Hearings Under the Coronavirus State of Emergency](https://canons.sog.unc.edu/meetings-and-public-hearings-under-the-coronavirus-state-of-emergency/) <<https://canons.sog.unc.edu/meetings-and-public-hearings-under-the-coronavirus-state-of-emergency/>>
- [Can We Really Ban In-Person Attendance at Board Meetings During the Coronavirus Emergency?](https://canons.sog.unc.edu/can-we-really-ban-in-person-attendance-at-board-meetings-during-the-coronavirus-emergency/) <<https://canons.sog.unc.edu/can-we-really-ban-in-person-attendance-at-board-meetings-during-the-coronavirus-emergency/>>
- [Failures to Vote by Board Members Participating Remotely](https://canons.sog.unc.edu/failures-to-vote-by-board-members-participating-remotely/) <<https://canons.sog.unc.edu/failures-to-vote-by-board-members-participating-remotely/>>
- [Remote Participation in Quasi-Judicial Evidentiary Hearings](https://canons.sog.unc.edu/author/lovelady/) <<https://canons.sog.unc.edu/author/lovelady/>>
- (April 9) [Electronic Meetings During the COVID-19 Emergency: Recommended Practices](https://canons.sog.unc.edu/electronic-meetings-during-the-covid-19-emergency-recommended-practices/) <<https://canons.sog.unc.edu/electronic-meetings-during-the-covid-19-emergency-recommended-practices/>>

; and

WHEREAS, in an effort to significantly reduce the spread of the coronavirus, the Town of Chapel Hill, along with the towns of Carrboro and Hillsborough, have joined Orange County's Stay at Home Declaration. Orange County Order adopted by reference to be effective within the Town Limits. The Declaration will be in effect beginning at 6 p.m. Friday, March 27, until 5 p.m. Thursday, April 30; and

WHEREAS, effective March 30, Governor Roy Cooper ordered people in the state of North Carolina to stay at home for thirty days, until April 29, 2020. In April, the Governor issued further orders to tighten the social distancing requirements to address the spread of COVID-19; and

WHEREAS, on April 1, 2020, the Council modified and reinstated a policy to address the remote participation for the Town's advisory boards and commissions. These meetings shall provide an opportunity for public to participate and comment during the meetings by remote methods, including email, telephone, and other methods, to the extent practical; and

WHEREAS, without action by the Council, the boards face a one-third reduction on June 30; and

WHEREAS, the Council finds that it is unlikely that the Council will consider and make appointments to

terms which are expiring this spring.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council extends the term expirations for existing advisory board members from June 30, 2020 to November 30, 2020.

BE IT FURTHER RESOLVED that the Council ask the Town Manager to provide the advisory boards a revised timeline and process in the fall.

BE IT FURTHER RESOLVED that when a member is reappointed in the fall, the period between June 30 and November 30 is included as a part of their next full term.

BE IT FURTHER RESOLVED that mid-term vacancies can continue to be filled as the Council and advisory boards adapt to the logistics to meet electronically.

BE IT FURTHER RESOLVED that applications currently on file will be held through June 30, 2021. Then the Clerk will revert to holding applications for one fiscal year.

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council extends the term limits for advisory board member's terms ending in June 2020 and defers spring appointments to the fall.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 6., **File #:** [20-0250], **Version:** 1

Meeting Date: 4/22/2020

Refer the Conditional Zoning Atlas Amendment Application for Property at 7516 Sunrise Road to the Stormwater Management Utility Advisory Board for Review.

Staff:

Judy Johnson, Interim Director
Jake Lowman, Senior Planner
Becky McDonnell, Planner II

Department:

Planning

Overview: Ballentine Associates filed an application for Conditional Zoning Atlas Amendment on behalf of Habitat for Humanity of Orange County. Town staff completed a review of the application for compliance with the Land Use Management Ordinance, Town Code, and for Consistency with the Comprehensive Plan. The Environmental Stewardship Advisory Board reviewed the application on April 14, 2020 and recommended that the Council refer the application for review by the Stormwater Management Utility Advisory Board.



Recommendation(s):

That the Council adopt the resolution referring the Weaver's Grove Conditional Zoning Application for review by the Stormwater Management Utility Advisory Board.



Attachments:

- Resolution

A RESOLUTION REFERRING THE APPLICATION FOR CONDITIONAL ZONING ATLAS AMENDMENT AT THE PROPERTY LOCATED AT 7516 SUNRISE ROAD FOR REVIEW BY THE STORMWATER MANAGEMENT UTILITY ADVISORY BOARD (2020-04-22/R-6)

WHEREAS, Ballentine Associates has filed an application for Conditional Zoning Atlas Amendment on behalf of Habitat for Humanity of Orange County to rezone a 32-acre parcel located at 7516 Sunrise Road and identified as Orange County Parcel Identifier Numbers 9890-06-5926, 9890-16-0437, 9890-06-6312, 9890-06-3350, 9890-06-0413 to Residential-6-Conditional Zoning (R-6-CZ) and Neighborhood Commercial-Conditional Zoning (NC-CZ) to allow a residential community with supportive retail and amenities; and

WHEREAS, the Town staff have completed a review of the application for compliance with the Land Use Management Ordinance, Town Code, and for Consistency with the Comprehensive Plan; and

WHEREAS, the Environmental Stewardship Advisory Board reviewed the application on April 14, 2020 and recommended that the Council refer the application to the Stormwater Management Utility Advisory Board; and

WHEREAS, the Council desires to consider the additional information from the Stormwater Management Utility Advisory Board as part of the discussion on the Conditional Zoning application.

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council refers this application to the Stormwater Management Utility Advisory Board and requests that the Board review the application and provide its comments and any recommendations to the Council prior to or at the Council's public hearing on the application.

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By adopting the resolution, the Council refers the Weaver's Grove Conditional Zoning Application for review by the Stormwater Management Utility Advisory Board.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 7., File #: [20-0251], Version: 1

Meeting Date: 4/22/2020

Receive Upcoming Public Hearing Items and Petition Status List.

Staff:

Sabrina Oliver, Director and Town Clerk
Amy Harvey, Deputy Town Clerk

Department:

Communications and Public Affairs



Recommendation(s):

That the Council accept the reports as presented.

Background:

Two pages on our website have been created to track:

- public hearings scheduled for upcoming Council meetings; and
- petitions received, including their status and who you can call for information.

The goal is to provide, in easily available spaces, information that allows people to know when Council will be seeking their comments on a particular topic of development and to know the status of a petition submitted at Council meetings.

In addition to being on the website, these pages will be included in each agenda for Council information,

Fiscal Impact/Resources: Staff time was allocated to create the semi-automated web pages, and additional staff time will be needed for maintenance.



Attachments:

- Scheduled Public Hearings <<https://www.townofchapelhill.org/government/mayor-and-council/council-minutes-and-videos/scheduled-public-hearings>>
- Status of Petitions to Council <<https://www.townofchapelhill.org/government/mayor-and-council/how-to-submit-a-petition/petition-status>>

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

By accepting the report, the Council acknowledges receipt of the Scheduled Public Hearings and Status of Petitions to Council lists.

SCHEDULED PUBLIC HEARINGS

This webpage lists public hearings that are scheduled for a *specific Council meeting date*, although periodically, some may be continued to a future date. Public hearings may relate to the Land Use Management Ordinance (LUMO), Residential or Commercial Development, Budget, Transportation, or Housing issues. Meeting materials are posted at [Council Meeting Agendas](#), [Minutes](#) and [Videos](#).

Interested in a development project not yet scheduled for Council review? See the [Development Activity Report](#) for the project's current status.

Continued to the next regular meeting, which is currently May 6

- Open the Public Hearing for the Code of Ordinances Text Amendment to Chapter 11A and Land Use Management Ordinance Text Amendment to Section 5.9 Pertaining to Off-Street Parking and Payment-in-Lieu Policy
- Update and Call a Public Hearing for a Land Use Management Ordinance Text Amendments Regarding Short Term Rental Regulations Related to Sections 3, 4, and 6, and Appendix A of the Land Use Management Ordinances.
- Concept Plan Review: [Aura Chapel Hill](#), 1000 Martin Luther King, Jr. Blvd.
- Open the Public Hearing and Consider a Request to Close a Portion of an Unmaintained and Unimproved Public Right-of-Way on Monroe Street
- Consider a Land Use Management Ordinance Text Amendment for [Blue Hill Massing and Permeability](#)

STATUS OF PETITIONS TO COUNCIL

Petitions submitted during the Town Council meetings are added to the list below, typically within five business days of the meeting date.

To contact the department responsible, click on the department name. Meeting materials are posted at [Council Meetings, Agendas, Minutes and Videos](#).

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
03/04/2020	Wayne Pein	Request Regarding Former Petition and Deer Feeding.	Public Works Lance Norris, Public Works Director Phone: 919-969-5100	Former Petition: requests for removal of traffic calming devices are required to go through the same petition process as installation requests. Deer Feeding: already prohibited by the Town's adoption of Orange County's Unified Animal Control Ordinance.
02/26/2020	Carlisle Willard	Request Regarding Proposed Anti-Corruption Resolution.	Town Manager Ross Tompkins, Assistant to the Town Manager Phone: 919-968-2707	Staff is preparing information to respond to this request.
02/26/2020	Bayberry Drive Residents	Request to Amend the Water and Sewer Management, Planning, and Boundary Agreement to Allow Water and Sewage Services to Their Lots.	Planning & Development Services Judy Johnson, Interim Planning Director Phone: 919-969-5078	Staff is working with the other agencies on a WASMPBA amendment, which would need to be approved by the agencies' boards, including the Town Council.
02/26/2020	Lillian Pierce	Request to Abandon Bicycle/Pedestrian Easement at 205 Huntington Way.	Parks & Recreation Phillip Fleischmann, Director Parks and Recreation Phone: 919-968-2785 Planning & Development Services Judy Johnson, Interim Planning Director Phone: 919-969-5078	Staff has reviewed this request and will follow up with options for taking action.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
02/19/2020	Steve Moore	Request Regarding Cemetery Needs.	Parks & Recreation Phillip Fleischmann , Director Parks and Recreation Phone: 919-968-2785 Communications & Public Affairs Sabrina Oliver , Communications & Public Affairs Director Phone: 919-968-2757	Staff met with the petitioner to discuss the needs he identified. While some concerns have been addressed, others require additional funding or resources that will need to be allocated in the future.
02/19/2020	Mayor Hemminger	Request Regarding Expanding Land Use to Include Experiential Retail.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Council will consider calling a public hearing for a LUMO Text Amendment permitting this use in the Town Center Zoning Districts.
01/08/2020	Jeff Mallett	Request for Ordinance Review.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	The specific situation referenced by the petitioner has been resolved. Council may still consider amending LUMO occupancy limits as part of the larger LUMO rewrite project.
01/08/2020	Parks, Greenways, and Recreation Commission	Request for Park Maintenance Funding.	Parks & Recreation Phillip Fleischmann , Director Parks and Recreation Phone: 919-968-2785	This request will be considered as part of the Fiscal Year 2020-2021 budget development process.
01/08/2020	Carl Schuler	Regarding Advisory Board Attendance Policy.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	At their 03/04/2020 meeting, Council adopted a resolution to amend the Advisory Board Membership Policy's attendance section.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
01/08/2020	Renuka Soll	Request for an Improved Petition Process.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff continues to look for ways to improve this process, including dedicating additional staff resources.
01/08/2020	Beth Waldron	Request Regarding Revising the Deer Management Program.	Parks & Recreation Phillip Fleischmann , Director Parks and Recreation Phone: 919-968-2785 Police Chris Blue , Police Chief Phone: 919-968-2766	Staff is preparing information to respond to this request.
01/08/2020	Northwood Ravin	Request for Limited SUP Review for Carraway Village SUP Modification.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff discussed this request with the Council Committee on Economic Sustainability on 02/07/2020. The Council will consider this request at an upcoming meeting in March.
11/20/2019	John Morris	Request Regarding Local & Regional Transit Planning.	Transit Brian Litchfield , Transit Director Phone: 919-969-4908	Staff is preparing information to respond to this request.
11/13/2019	Sylvia Steere	Regarding Fordham Side Path.	Parks & Recreation Phillip Fleischmann , Director Parks and Recreation Phone: 919-968-2785 Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	At their 03/04/2020 meeting, Council adopted a resolution authorizing the Town Manager to proceed with design of the sidepath project within NCDOT right-of-way from Ridgefield Road to Willow Drive.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
10/30/2019	Chapel Hill Public Library Advisory Board	Request Regarding Library Fines	Library Susan Brown , Library Director Phone: 919-969-2034 Business Management Amy Oland , Business Management Director Phone: 919-969-5017	Council received information from staff at their 02/26/2020 meeting. This request will be considered as part of the Fiscal Year 2020-2021 budget development process.
10/02/2019	Parks, Greenways, and Recreation Commission	Request to Reconsider the Designation of a Cemetery Champion Seat on the Commission.	Communications & Public Affairs Sabrina Oliver , Communications & Public Affairs Director Phone: 919-968-2757	At their 03/04/20 meeting, Council enacted an ordinance amending the Town Code to remove the designation of a cemeteries champion on the Parks, Greenways, and Recreation Commission.
10/02/2019	Daniel Dunn	Request Regarding Government Transparency.	Technology Solutions Scott Clark , CIO Phone: 919-968-2735 Communications & Public Affairs Sabrina Oliver , Communications & Public Affairs Director Phone: 919-968-2757	Town staff continue to work on improving and expanding the open data portal. This is one of many data sets that are candidates for inclusion on the portal. This information remains available to the public via a public records request.
09/11/2019	East Franklin Neighborhood Steering Committee & Neighbors	Request Regarding Neighborhood Preservation.	Police Chris Blue , Police Chief Phone: 919-968-2766 Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff is preparing information to respond to this request.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
06/26/2019	Burwell Ware	Request to Place a Moratorium on the Construction of New Fast-Food Drive-Throughs Until Future Town Councils Decide to Repeal the Moratorium.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff does not recommend making changes at this time since any drive-thru facility already requires approval by the Town Council.
06/26/2019	Julie McClintock	Request Regarding the Blue Hill Form Based Code.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff is preparing information to respond to this request.
06/26/2019	Community Design Commission	Request for Modifications to the Concept Plan Review Process.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	At their 10/04/19 meeting, the Council Committee on Economic Sustainability received a staff update on the response to this request.
05/08/2019	Rebecca Cerese	Regarding Resolution in Support of HR1384.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707 Mayor Pam Hemminger , Mayor Phone: 919-968-2714	Staff is preparing information to respond to this request.
04/24/2019	Cobb Terrace Residents	Petition Regarding Rooming Houses in the R-3 Zoning Districts.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff shared some preliminary information with the Council at the 06/07/19 Council Committee on Economic Sustainability meeting.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
04/24/2019	Board of Adjustment	Request Regarding Neighborhood Conservation District Ordinances.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff is preparing information to respond to this request.
04/17/2019	Amy Ryan for Planning Commission	Commission Regarding Site Plan Review Process.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff is preparing information to respond to this request.
03/20/2019	Cheri Hardman	Request to Explore Local Control over Transit Planning and Funding.	Transit Brian Litchfield , Transit Director Phone: 919-969-4908	The public comment period for the FY20 Work Plan closed 05/30/19. The Town also submitted a funding request for North South BRT project from the Orange County Transit Plan; all of the governing bodies (Orange County, GoTriangle, and DCHC MPO) approved it.
03/06/2019	Environmental Stewardship Advisory Board	Request to Modify the Blue Hill Form Based Code to Include a Requirement for Installing Roof-Mounted Solar Energy Systems	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078 Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	As discussed at the 04/24/19 Council meeting, staff will develop options aimed at achieving the Council's energy efficiency goals for new development.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
02/13/2019	Citizens	Request Regarding Coal Use and Coal Ash.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	The Town plans to fund interim remedial measures based on recommendations from the human health and ecological risk assessment performed at the coal ash site. The Town continues to monitor NC Division of Air Quality's review of the power plant permit.
02/13/2019	David Adams and Julie McClintock	Regarding Evaluation of Town Transportation Needs.	Transit Brian Litchfield , Transit Director Phone: 919-969-4908 Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	The Town's request for an additional \$8 million from the Orange County Transit Plan for the North South Bus Rapid Transit Project was approved by the OC Board of Commissioners, the GoTriangle Board, and the DCHC MPO.
01/16/2019	John Morris	Regarding GoTriangle Meetings and Materials.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078 Transit Brian Litchfield , Transit Director Phone: 919-969-4908	Staff is preparing information to share with GoTriangle.
12/05/2018	Paul Pritchard	Request to Defer Reforestation at Cleland, Rogerson, and Oakwood Intersection.	Parks & Recreation Phillip Fleischmann , Director Parks and Recreation Phone: 919-968-2785	This topic was added to the 01/15/19 agenda of the Parks, Greenways and Recreation Commission, with time allocated for the neighbors to speak. Another public meeting will be scheduled later in the year.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
10/24/2018	Justice in Action Committee	Request Regarding a New Location for the Teen Center of Chapel Hill.	Housing & Community Loryn Clark , Executive Director Phone: 919-969-5076 Community Arts and Culture	A staff workgroup, in coordination with the Mayor's Office, has been gathering data and seeking input from teens, service providers, and other stakeholders. The Council received an update on this initiative at their 01/30/19 business meeting.
10/24/2018	Jeff Charles	Regarding Extended Speaking Time for Individuals with Disabilities.	Mayor Pam Hemminger , Mayor Phone: 919-968-2714 Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	Staff met with the petitioner and will update the "Comment at Council Meetings" web page to clarify the Town's willingness to extend speaking time and how to request this extension.
10/10/2018	Jeff Charles	Regarding Creating Citizen Advisory Board for Seniors.	Town Manager Ross Tompkins , Assistant to the Town Manager Phone: 919-968-2707	The petitioner is representing the Town on Orange County board and will provide updates to the Town as needed.
09/19/2018	Julie McClintock of CHALT	Regarding Land Use Intensification.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078 Public Works Lance Norris , Public Works Director Phone: 919-969-5100	The Town's Resiliency Map is part of the map series for the Future Land Use Map. On 06/12/19, the Council received a presentation on the Town's Stormwater program. Staff is preparing information to respond to the additional requests in this petition.
06/27/2018	Susanne Kjemtrup / Brian Hageman	Transportation and Connectivity Advisory Board Request for an Electric Vehicle Provision in the Land Use Management Ordinance.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Referred to the Future Land Use Map and Land Use Management Ordinance rewrite process, which began in Fall 2017 and is expected to be completed in 2020.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
06/13/2018	Mayor Pam Hemminger	Regarding Reviewing Policies, Procedures, and Practices for Development.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	A Town web page with TIA exemption requests is available. Staff continues to look for ways to apply the LUMO clearly and consistently for all stakeholders in the development process.
06/13/2018	Mayor pro tem Jessica Anderson	Request to Amend Bus Advertising Policy.	Transit Brian Litchfield , Transit Director Phone: 919-969-4908	At their 01/22/19 meeting, the Chapel Hill Transit Public Transit Committee considered the draft nonpublic forum transit advertising policy in order to provide feedback to the Chapel Hill Town Council on the option of amending the policy.
06/13/2018	Ondrea Austin	CHALT's Request to Revise the Tree Ordinance.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Staff is preparing information to respond to this request.
03/14/2018	Council Members Anderson, Gu, and Schaevitz	Request Regarding Addressing Blue Hill District Community Interests.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Council enacted ordinance amendments to improve outcomes for stormwater management and affordable housing, to encourage non-residential development, and to address building size. Council will consider amendments to address building massing on 02/19/2020.
09/06/2017	Tom Henkel from the Environmental Stewardship Advisory Board	Request for Modification to the Ephesus-Fordham Form-Based Code for the Purposes of Energy Efficiency.	Planning & Development Services Judy Johnson , Interim Planning Director Phone: 919-969-5078	Where feasible, modifications will be considered as part of the development process for the Blue Hill Design Guidelines.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
01/23/2017	Transportation and Connectivity Advisory Board	Request to Support Low/No Vision Guidelines to be Included in the Town's Engineering Manual as Stated in the April 11, 2016 Petition to Council	<p>Public Works Lance Norris, Public Works Director Phone: 919-969-5100</p> <p>Planning & Development Services Judy Johnson, Interim Planning Director Phone: 919-969-5078</p>	Request incorporated into process to update Public Works Engineering Design Manual.
11/07/2016	Mayor Hemminger	Regarding Parking and Transit Needs in Downtown Area.	<p>Planning & Development Services Judy Johnson, Interim Planning Director Phone: 919-969-5078</p> <p>Police Chris Blue, Police Chief Phone: 919-968-2766</p> <p>Public Works Lance Norris, Public Works Director Phone: 919-969-5100</p>	Recent actions include replacing parking pay stations, implementing Downtown Ambassadors program, and including additional parking with required Wallace Parking Deck repairs. Next steps include parking payments-in-lieu and public/private partnerships.
05/09/2016	Stormwater Management Utility Advisory Board	Request for Orange County Commissioners to Increase Staffing in Soil and Erosion Control Division and Improve Efficiency of Temporary Soil Erosion and Sediment Controls During Construction.	<p>Public Works Lance Norris, Public Works Director Phone: 919-969-5100</p>	Petition forwarded to Orange County. Consider changes to soil erosion and sediment control as part of Public Works Engineering Design Manual updates.

Meeting Date	Petitioner	Petition Request	Departments Responsible	Petition Status
04/11/2016	Transportation and Connectivity Advisory Board	Request to Incorporate Proposed No-Vision and Low-Vision Pedestrian Facilities Guidelines into Design Manual and Development Code as Required	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Request incorporated into process to update Public Works Engineering Design Manual.
04/11/2016	Transportation and Connectivity Advisory Board	Request for Senior Citizen Pedestrian Mobility and Complete Street Implementation	Public Works Lance Norris , Public Works Director Phone: 919-969-5100	Request incorporated into process to update Public Works Engineering Design Manual.

Last modified on 4/17/2020 3:15:07 AM



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 8., File #: [20-0252], Version: 1

Meeting Date: 4/22/2020

Adopt a Revised Meeting Schedule to Hold Special Meetings in a Virtual Environment through May 31, 2020 or Until the Orange County Stay At Home Order is Lifted.

Staff:

Maurice Jones, Town Manager
Ralph Karpinos, Town Attorney
Sabrina Oliver, Town Clerk/Director

Department:

Town Manager's Office
Town Attorney's Office
Communications and Public Affairs

Overview: The Council values transparency in government and will include robust and inclusive public participation in virtual meetings. The Resolution describes the virtual meeting environment and includes information about public participation in a virtual environment during the COVID-19 pandemic. The Resolution anticipates resuming regular meetings in June 2020, if conditions allow.

☆ **Recommendation(s):**

That the Council adopt a revised meeting schedule to hold special meetings in a virtual environment through May 31, 2020 or until the Orange County Stay at Home Order is lifted.

Key Issue:

On March 26, 2020, the NC Department of Justice provided an advisory opinion stating that "electronic meetings are allowed under N.C.G.S. §143.318.13, and the requirements of notice, access and minutes can be met through electronic means. Due to the unprecedented circumstances we are all faced with, and the fact that local governing bodies conducting meetings remotely is not expressly prohibited by statute, I conclude that local governments can carry out necessary meetings electronically and remain in compliance with Open Meetings Laws."

The School of Government transmitted the above advisory opinion and added that "the letter doesn't specifically address the impact of electronic participation on statutory quorum/voting requirements, public hearings, public comment periods, or quasi-judicial hearings." Some blog posts on those topics include the following:

- [Meetings and Public Hearings Under the Coronavirus State of Emergency](https://canons.sog.unc.edu/meetings-and-public-hearings-under-the-coronavirus-state-of-emergency/)
<<https://canons.sog.unc.edu/meetings-and-public-hearings-under-the-coronavirus-state-of-emergency/>>
- Can We Really Ban In-Person Attendance at Board Meetings During the Coronavirus Emergency?
<<https://canons.sog.unc.edu/can-we-really-ban-in-person-attendance-at-board-meetings-during-the-emergency/>>
- Failures to Vote by Board Members Participating Remotely <<https://canons.sog.unc.edu/failures-to-vote-by-board-members-participating-remotely/>>
- Remote Participation in Quasi-Judicial Evidentiary Hearings
<<https://canons.sog.unc.edu/author/lovelady/>>
- (April 9) [Electronic Meetings During the COVID-19 Emergency: Recommended Practices](https://canons.sog.unc.edu/electronic-meetings-during-the-covid-19-emergency-recommended-practices/)
<<https://canons.sog.unc.edu/electronic-meetings-during-the-covid-19-emergency-recommended-practices/>>

The Council will conduct the remote meetings using the ZOOM platform with the Webinar add-on. This allows the Council to create an environment similar to the Council Chamber. The panelists are the Council members, staff, and presenters that normally would be seen at the dais, staff tables, and public podium. The attendees are the audience participants. At the appointed time, an attendee would be promoted to the panelist discussion, make their comment, and be returned to the attendee mode by the meeting host.

The overall intent of these efforts is to continue to protect the public health, safety, and welfare while continuing to carry out the responsibilities of the Town.

**Attachments:**

- Resolution

A RESOLUTION ADOPTING A REVISED MEETING SCHEDULE TO HOLD SPECIAL MEETINGS IN A VIRTUAL ENVIRONMENT THROUGH MAY 31, 2020 OR UNTIL THE ORANGE COUNTY STAY AT HOME ORDER IS LIFTED. (2020-04-22/R-7)

WHEREAS, the Council values transparency in government and will include robust and inclusive public participation in virtual meetings; and

WHEREAS, on March 13, 2020, the Town of Chapel Hill proclaimed a State of Emergency in response to COVID-19; and

WHEREAS, on March 26, 2020, the NC Department of Justice provided an advisory opinion stating that "electronic meetings are allowed under N.C.G.S. §143.318.13, and the requirements of notice, access and minutes can be met through electronic means. Due to the unprecedented circumstances we are all faced with, and the fact that local governing bodies conducting meetings remotely is not expressly prohibited by statute, I conclude that local governments can carry out necessary meetings electronically and remain in compliance with Open Meetings Laws."; and

WHEREAS, the School of Government transmitted the above advisory opinion and added that "the letter doesn't specifically address the impact of electronic participation on statutory quorum/voting requirements, public hearings, public comment periods, or quasi-judicial hearings." Some blog posts on those topics include the following:

- [Meetings and Public Hearings Under the Coronavirus State of Emergency](https://canons.sog.unc.edu/meetings-and-public-hearings-under-the-coronavirus-state-of-emergency/) <<https://canons.sog.unc.edu/meetings-and-public-hearings-under-the-coronavirus-state-of-emergency/>>
 - [Can We Really Ban In-Person Attendance at Board Meetings During the Coronavirus Emergency?](https://canons.sog.unc.edu/can-we-really-ban-in-person-attendance-at-board-meetings-during-the-coronavirus-emergency/) <<https://canons.sog.unc.edu/can-we-really-ban-in-person-attendance-at-board-meetings-during-the-coronavirus-emergency/>>
 - [Failures to Vote by Board Members Participating Remotely](https://canons.sog.unc.edu/failures-to-vote-by-board-members-participating-remotely/) <<https://canons.sog.unc.edu/failures-to-vote-by-board-members-participating-remotely/>>
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- ; and

WHEREAS, in an effort to significantly reduce the spread of the novel coronavirus, the Town of Chapel Hill, along with the Towns of Carrboro and Hillsborough, have joined Orange County's Stay at Home Declaration. Orange County Order adopted by reference to be effective within the Town Limits. The Declaration is in effect beginning at 6 p.m. Friday, March 27, until 5 p.m. Thursday, April 30.

WHEREAS, effective March 30, Governor Roy Cooper ordered people in the state of North Carolina to stay at home for thirty days, until April 29, 2020. In April, the Governor issued further orders to tighten the social distancing requirements to address the spread of COVID-19; and

WHEREAS, on April 1, 2020, the Council modified and reinstated a policy to address the remote participation for the Town's advisory boards and commissions. These meetings shall provide an opportunity for public to participate and comment during the meetings by remote methods, including email, telephone, and other methods, to the extent practical; and

NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council adopts a revised meeting schedule to hold special meetings in a virtual environment through May 31, 2020 or until the Orange County Stay at Home Order is lifted, whichever occurs first.

April 2020

- 22-W-Special Meeting at 7 PM
- 29-W-Special Meeting at 7 PM

May 2020

- 6-W-Special Meeting at 7 PM
- 13-W-Special Meeting at 6:30 PM
- 20-W-Special Meeting at 7 PM
- 27-W-Special Meeting at 6:30 PM

BE IT FURTHER RESOLVED that the Council will conduct the remote meetings using the ZOOM platform with the Webinar add-on. This allows Council to create an environment similar to the Council Chamber. The panelists are the Board members, staff, and presenters that normally would be seen at the dais, staff tables, and public podium. The attendees are the audience participants. At the appointed time, an attendee would be promoted to the panelist discussion, make their comment and be returned to the attendee mode by the meeting host.

The Town will provide a notification on the Town's web calendar for each event that is similar to the notice below. In addition, this information can also be conveyed through our other modes of communication such as email, and social media.

The BOARD will meet virtually at TIME p.m. DAY, DATE, to conduct a meeting to cover the items on the agenda below. Board members will attend and participate in this meeting remotely, through internet access, and will not physically attend. The Town will not provide a physical location for viewing the meeting.

The public is invited to attend the Zoom webinar directly online or by phone. This provides better video quality than on the streaming service. Register for this webinar: [URL](#). After registering, you will receive a confirmation email containing information about joining the webinar in listen-only mode. Phone: NUMBER, Meeting ID: NUMBER.

Members of the public may also continue to live stream the meeting and view it over the Town's cable television channel access at <https://chapelhill.legistar.com/Calendar.aspx> - and on Chapel Hill Gov-TV (townofchapelhill.org/GovTV <https://townofchapelhill.org/GovTV>).

Virtual Board Meeting Procedures

Order of Proceedings for Agenda Items

1. Staff/Applicant Presentation
2. Clarifying Questions from Board
3. Public Comments
4. Board Discussion

Public Comment

- Verbal Comments: Members of the public may sign up to speak when they register for the meeting. Please do so at least three-hours in advance, so we can compile the information in time for the meeting. At the appropriate time, the Chair will provide attendees the option to use the raise the hand function or *9 via phone to indicate your desire to speak on the topic. Individuals

Item #: 8., File #: [20-0252], Version: 1**Meeting Date: 4/22/2020**

who have pre-registered, followed by those with a 'raised hand' will then be brought into the public portion of the meeting one at a time.

- Written Comments: Public comment may be submitted prior to the meetings, provided to the board members and posted with the meeting materials.

After the Meeting

- To view recordings, visit: <https://chapelhill.legistar.com/Calendar.aspx>
- For additional comments, email: mayorandcouncil@townofchapelhill.org
<mailto:mayorandcouncil@townofchapelhill.org>

Meeting Contact:

- Email: NAME@townofchapelhill.org <mailto:NAME@townofchapelhill.org>
- Phone: 919-969-####

EMBEDDED AGENDA INCLUDED IN THIS LOCATION IN THE WEB CALENDAR ITEM

BE IT FURTHER RESOLVED that the Council anticipates resuming its regular meetings in June, if conditions allow.

June 2020

- 3-W-Budget Work Session (Tentative) at 6:30 PM
- 10-W-Regular Meeting at 7 PM
- 17-W-Work Session at 6:30 PM
- 24-W-Regular Meeting at 7 PM

This the 22nd day of April, 2020.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Maurice Jones, Town Manager

RECOMMENDATION: That the Council adopts a revised meeting schedule to hold special meetings in a virtual environment through May 31, 2020 or until the Orange County Stay at Home Order is lifted.



TOWN OF CHAPEL HILL

Town Hall
405 Martin Luther King Jr.
Boulevard
Chapel Hill, NC 27514

Item Overview

Item #: 9., **File #:** [20-0253], **Version:** 1

Meeting Date: 4/22/2020

Concept Plan Review: 125 E Rosemary St Parking Deck

See the Staff Report on the next page.

The Agenda will reflect the text below and/or the motion text will be used during the meeting.

PRESENTER: Becky McDonnell, Planner II

- a. Review of process
- b. Presentation by the applicant
- c. Comments from the Community Design Commission
- d. Comments from the public
- e. Comments and questions from the Mayor and Town Council
- f. Motion to adopt a resolution transmitting Council comments to the applicant.

RECOMMENDATION: That the Council adopt the resolution transmitting comments to the applicant.



CONCEPT PLAN REVIEW: 125 EAST ROSEMARY STREET PARKING DECK (Project #20-025)

STAFF REPORT

TOWN OF CHAPEL HILL PLANNING DEPARTMENT
 Judy Johnson, Interim Director
 Becky McDonnell, Planner II
 Michael Sudol, Planner II

ADDRESS 125 E. Rosemary Street	DATE April 22, 2020	APPLICANT Ballentine Associates, on behalf of Grubb Management, LLC
--	-------------------------------	---

STAFF’S RECOMMENDATION

That the Council adopt Resolution A, transmitting Concept Plan comments to the applicant.

PROCESS

- Receive the applicant’s presentation
- Receive Community Design Commission input (April 2, 2020 meeting)
- Receive public comments tonight
- Offer suggestions to the applicant

Statements by individual Council members on a Concept Plan are not a commitment on an official position for a formal application.

DECISION POINTS

The applicant is requesting Conditional Zoning, which requires a Concept Plan review by Council due to the site exceeding 40,000 square feet of land area.

PROJECT OVERVIEW

The Concept Plan includes:

- Demolition of the existing 276-space parking deck
- Construction of up to 1,160-space parking deck

Current Size: 276 parking spaces

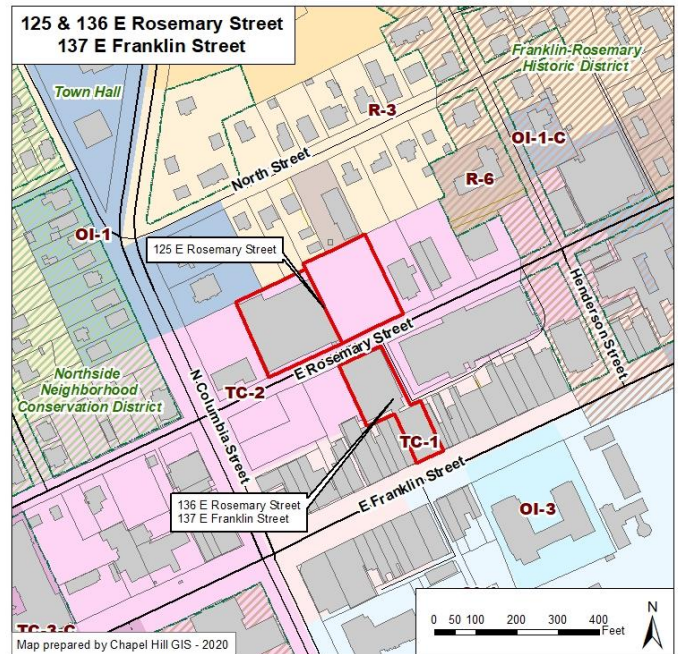
Proposed Size: 1,160 parking spaces

Acres: 1.68 acres

Current zoning: Town Center – 2 (TC-2)

Proposed rezoning: Town Center – 2 – Conditional Zoning (TC-2-CZ)

PROJECT LOCATION



ATTACHMENTS

1. Resolution A
2. Draft Staff Presentation
3. Application
4. Developer’s Statement
5. Plan Set
6. Community Design Commission Comments from April 2, 2020

A RESOLUTION TRANSMITTING COUNCIL COMMENTS ON A CONCEPT PLAN FOR 125 EAST ROSEMARY STREET PARKING DECK (2020-04-22/R-8)

WHEREAS, a Concept Plan has been submitted for review by the Council of the Town of Chapel Hill for 125 East Rosemary Street, PINs 9788-37-4748 and 9788-37-6817; and

WHEREAS, the Council had the opportunity on April 22, 2020 to hear this applicant's presentation, receive a set of comments from the Community Design Commission, hear public comments, and offer suggestions to the applicant; and

WHEREAS, the Council has heard presentations from the applicant and members of the public; and

WHEREAS, statements by individual Council members at the April 22, 2020 meeting are not an official position or commitment on the part of a Council member with respect to the position he or she may take when and if a formal application for development is subsequently submitted to the Council for formal consideration; and

WHEREAS, the Council has discussed the proposal with Council members, offering reactions and suggestions.

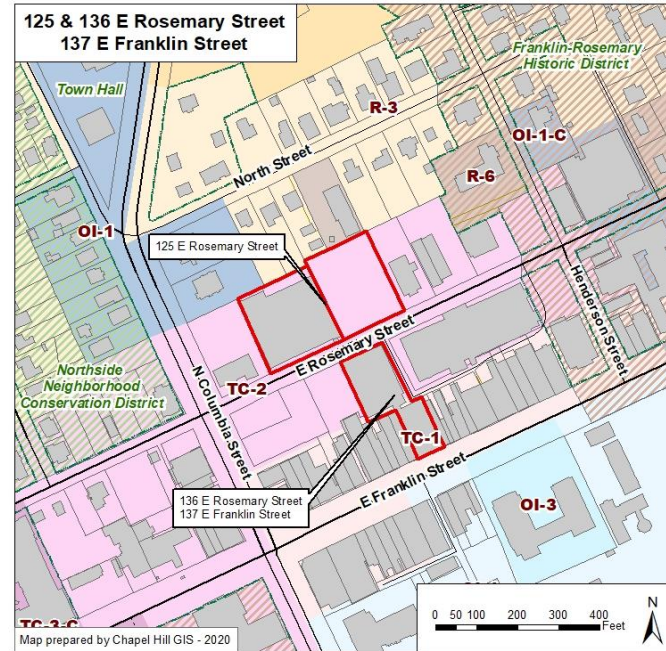
NOW, THEREFORE, BE IT RESOLVED by the Council of the Town of Chapel Hill that the Council transmits comments to the applicant regarding this proposal, as expressed by Council members during discussions on April 22, 2020 and reflected in minutes of that meeting.

This the 22nd day of April, 2020.

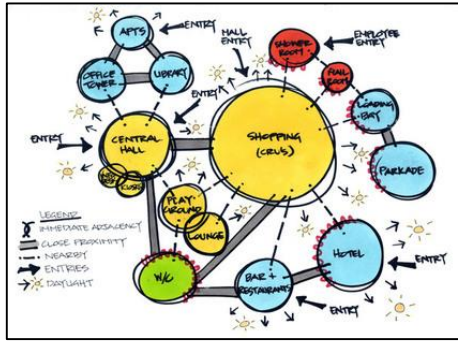


125 E Rosemary St Concept Plan

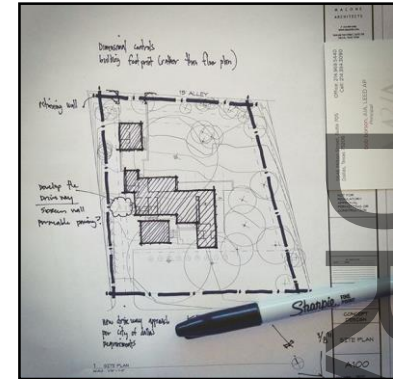
Town Council
April 22, 2020



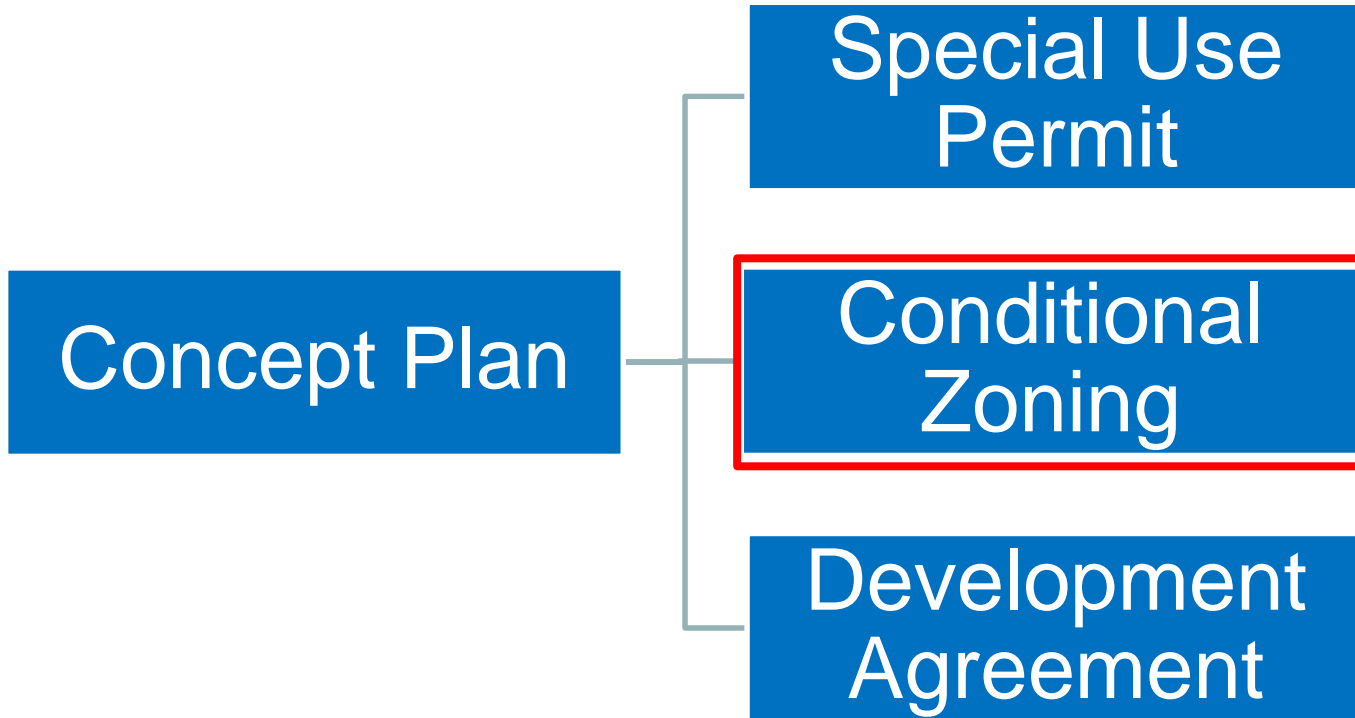
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Concept Plans



- **No Decision; Feedback Only**
 - Applicant presents rough initial sketch
 - Staff does not conduct formal review of concept
 - Instead forwards sketch for preliminary feedback



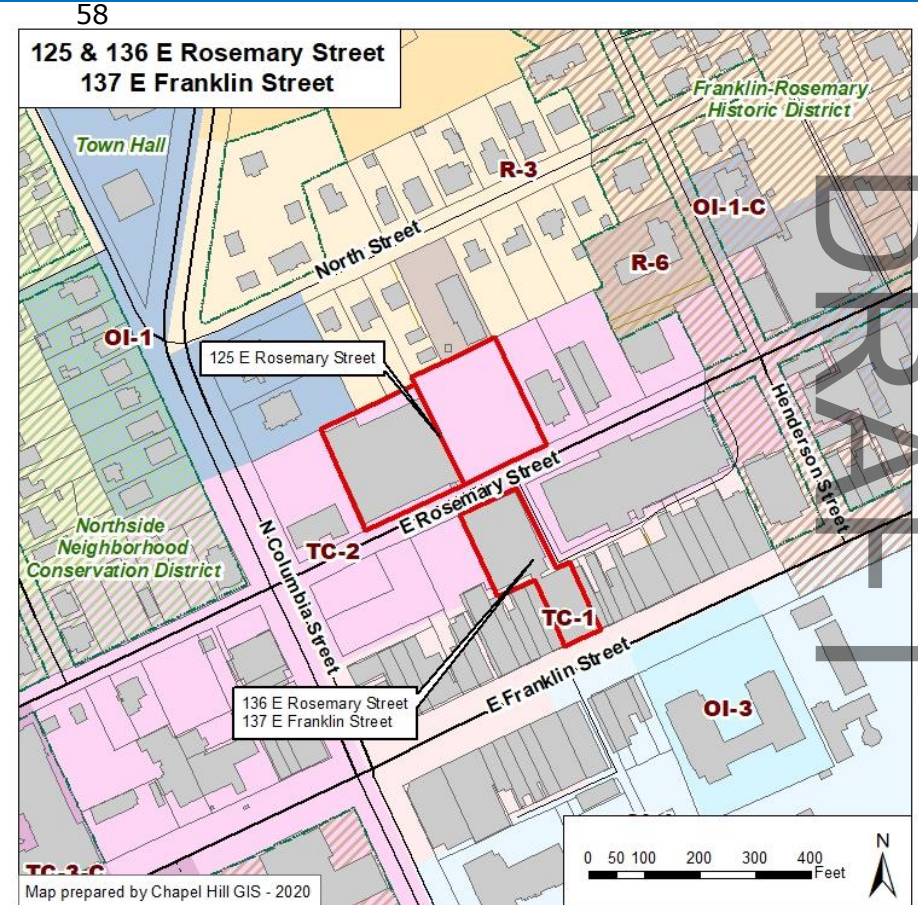
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- Adopt Resolution, transmitting comments to the Applicant regarding the proposed development.

DRAFT

125 E Rosemary St – Project Summary

- Existing 276 space parking deck and gravel lot
- Zoning: Town Center–2-Conditional Zoning
- Proposing up to 1,160 space parking deck across both lots
- Project will be coordinated with the 136 E. Rosemary Innovation Hub

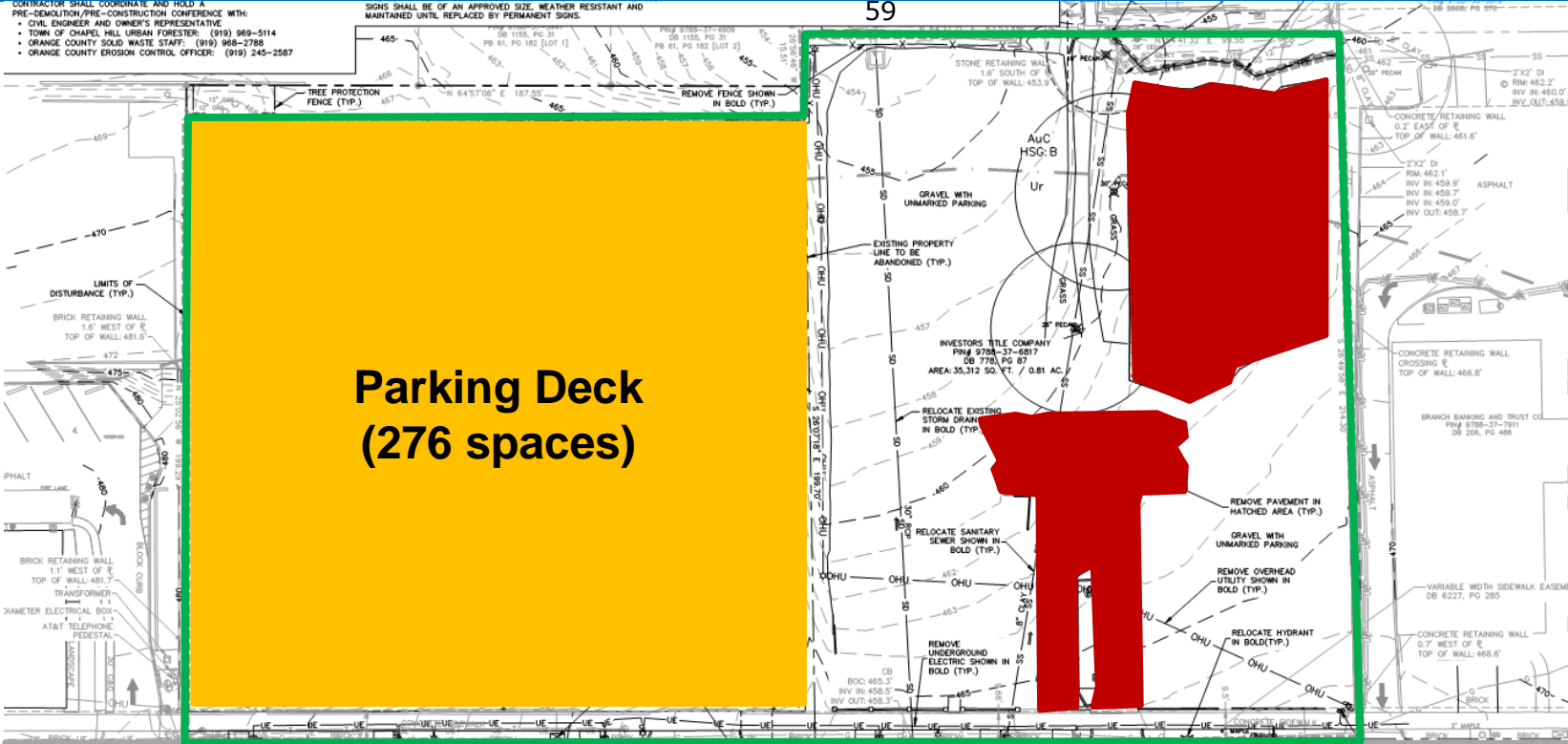


125 E Rosemary St – Existing Conditions

CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH:
• CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
• TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-5114
• ORANGE COUNTY SOLID WASTE STAFF: (919) 968-2788
• ORANGE COUNTY EROSION CONTROL OFFICER: (919) 245-2587

SIGNS SHALL BE OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT SIGNS.

59

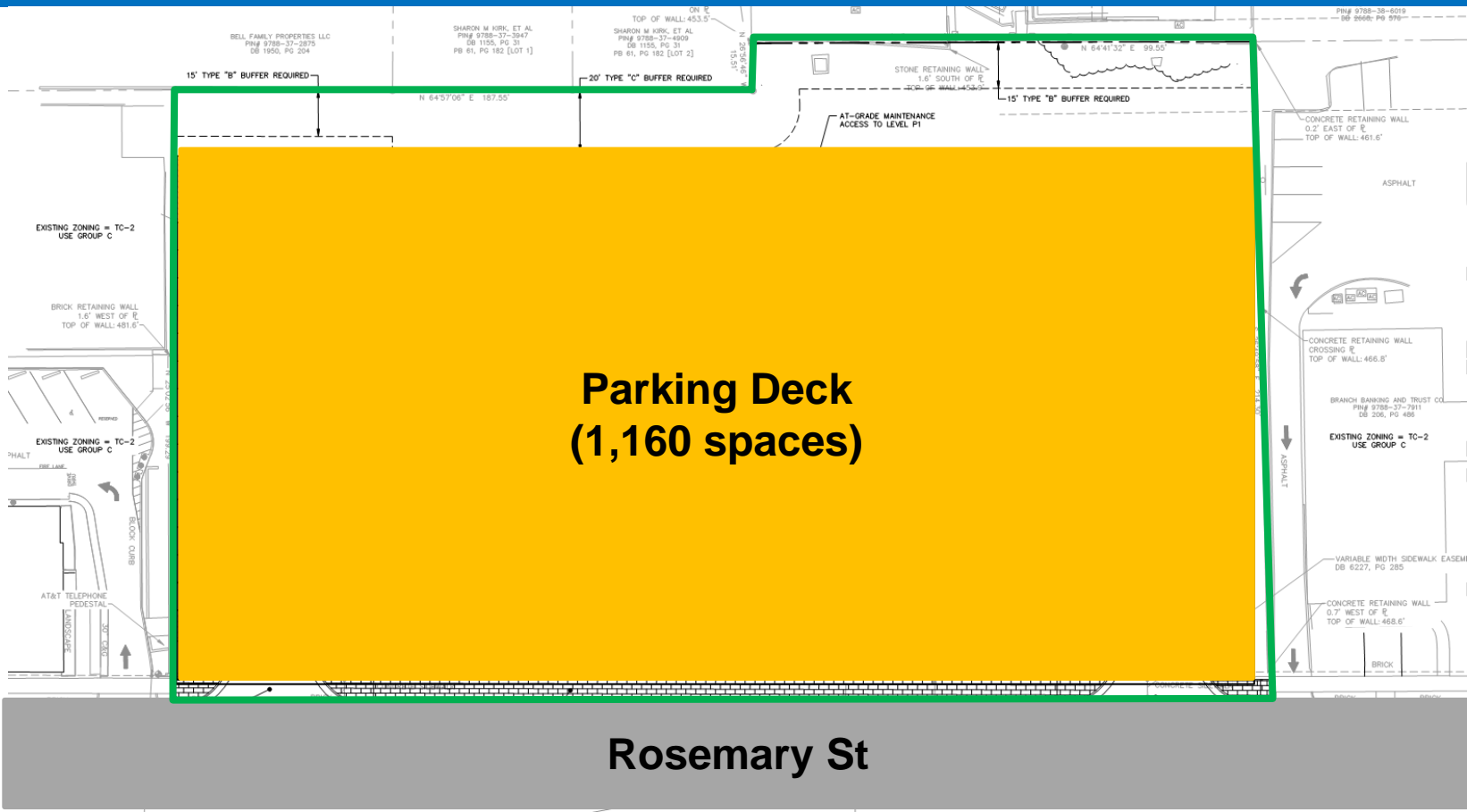


**Parking Deck
(276 spaces)**

Rosemary St

DRAFT

125 E Rosemary St – Concept Plan 60



DRAFT

Rosemary St

- Community Design Commission –
April 2, 2020

DRAFT

- Adopt Resolution, transmitting comments to the Applicant regarding the proposed development.

DRAFT

CONDITIONAL ZONING APPLICATION



TOWN OF CHAPEL HILL
Planning Department
 405 Martin Luther King Jr. Blvd.
 Chapel Hill, NC 27514
 phone (919) 969-5040 fax (919) 969-2014
 www.townofchapelhill.org

Parcel Identifier Number (PIN): 9778-37-4748, 9778-37-6817

Date: 8 Apr 2020

Section A: Project Information

Project Name: Rosemary Street Parking Deck

Property Address: 125 E Rosemary St Zip Code: 27514

Use Groups (A, B, and/or C): C Existing Zoning District: TC-2

Project Description: Demolition of 276 space existing parking deck and construction of a 1,000 to 1,100 space deck

Section B: Applicant, Owner, and/or Contract Purchaser Information

Applicant Information (to whom correspondence will be mailed):

Name: Ballentine Associates, attn: George Retschle

Address: 221 Providence Road

City: Chapel Hill State: NC Zip Code: 27514

Phone: (919) 929-0481 Email: georger@bapa.eng.pro

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 8 Apr 2020

Owner/Contract Purchaser Information:

Owner

Contract Purchaser

Name: Grubb Management, LLC c/o Grubb Properties, LLC

Address: 113 Edinburgh South Drive Suite 120

City: Cary State: NC Zip Code: 27511

Phone: (919) 388-5774 Email: JDye@grubbproperties.com

The undersigned applicant hereby certifies that, to the best of their knowledge and belief, all information supplied with this application and accurate.

Signature:  Date: 8 Apr 2020

Click [here](#) for application submittal instructions.



CONDITIONAL ZONING

TOWN OF CHAPEL HILL
Planning and Development Service

Conditional Rezoning applications are reviewed by staff, Planning Commission, and Town Council. The application is part of an open public process that enables Town Council to discuss and decide on the key issues of a rezoning proposal. If a rezoning is approved, the applicant may then submit a detailed final plan application to staff for compliance review with the technical development standards and with the Council rezoning approval.

The establishment of a Conditional Zoning District shall be consistent with the Land Use Plan in the Comprehensive Plan. A proposed Conditional Zoning District is deemed consistent if the proposed District will be located in conformance with an adopted small area plan and/or in one of the following Land Use Categories:

- Medium Residential
- High Residential
- Commercial
- Mixed Use, Office/Commercial Emphasis
- Mixed Use, Office Emphasis
- Town/Village Center
- Institutional
- Office
- University
- Development Opportunity Area
- Light Industrial Opportunity Area

If the proposed conditional zoning districts is located in a Low Residential or a Rural Residential Land Use Category, the Town Council must approve a Land Use Plan amendment prior to proceeding.

SIGNED CONDITIONS: All conditions shall be in writing, prepared by the owner of the property or an attorney and must be signed by all property owners and contract purchasers, if applicable. The Town Attorney may require additional signatures if necessary and will determine whether or not the conditions statement is legally sufficient. Within thirty (30) days after receipt of the conditions the Planning Division Manager will notify the applicant of any deficiencies in the conditions statement or if any additional information is needed. The applicant may make changes to the written conditions statement provided it is submitted at least thirty (30) prior to Planning Commission meeting or thirty (30) days prior to Town Council public hearing.

RECORDATION OF CONDITIONS: After a rezoning has been approved by the Town Council, the conditions statement shall be recorded with the Register of Deeds Office. After a rezoning has been approved by Town Council and recorded by the Register of Deeds Office, the conditions may not be amended except through a new rezoning application.



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Service

Section A: Project Information

Use Type: (check/list all that apply)

Office/Institutional Residential Mixed-Use Other: _____

Overlay District: (check all that apply)

Historic District Neighborhood Conservation District Airport Hazard Zone

Section B: Land Area

Net Land Area (NLA): Area within zoning lot boundaries		NLA=	73,097	sq. ft.
Choose one, or both, of the following (a or b), not to exceed 10% of NLA	a) Credited Street Area (total adjacent frontage) x ½ width of public right-of-way	CSA=	7,310	sq. ft.
	b) Credited Permanent Open Space (total adjacent frontage) x ½ public or dedicated open space	COS=		sq. ft.
TOTAL: NLA + CSA and/or COS = Gross Land Area (not to exceed NLA + 10%)		GLA=	80,407	sq. ft.

Section C: Special Protection Areas, Land Disturbance, and Impervious Area

Special Protection Areas: (check all those that apply)

Jordan Buffer Resource Conservation District 100 Year Floodplain Watershed Protection District

Land Disturbance	Total (sq. ft.)
Area of Land Disturbance (Includes: Footprint of proposed activity plus work area envelope, staging area for materials, access/equipment paths, and all grading, including off-site clearing)	77,000
Area of Land Disturbance within RCD	0
Area of Land Disturbance within Jordan Buffer	0

Impervious Areas	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Impervious Surface Area (ISA)	66,548	66,548	65,000	65,000
Impervious Surface Ratio: Percent Impervious Surface Area of Gross Land Area (ISA/GLA)%	82.76	82.76	80.84	80.84
If located in Watershed Protection District, % of impervious surface on 7/1/1993				



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Service

Section D: Dimensions

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Number of Buildings	1 +/- 200 sf enclosed	all	1,415 enclosed	1,415
Number of Floors	3	3	6-7	6-7
Recreational Space	n/a	n/a	n/a	n/a

Residential Space

Dimensional Unit (sq. ft.)	Existing (sq. ft.)	Demolition (sq. ft.)	Proposed (sq. ft.)	Total (sq. ft.)
Floor Area (all floors – heated and unheated)				
Total Square Footage of All Units				
Total Square Footage of Affordable Units				
Total Residential Density				
Number of Dwelling Units				
Number of Affordable Dwelling Units				
Number of Single Bedroom Units				
Number of Two Bedroom Units				
Number of Three Bedroom Units				

Non-Residential Space (Gross Floor Area in Square Feet)

Use Type	Existing	Proposed	Uses	Existing	Proposed
Commercial					
Restaurant			# of Seats		
Government					
Institutional					
Medical					
Office		800			
Hotel			# of Rooms		
Industrial					
Place of Worship			# of Seats		
Other	200	615			

Dimensional Requirements		Required by Ordinance	Existing	Proposed
Setbacks (minimum)	Street	0	9.5	8
	Interior (neighboring property lines)	0	0	0
	Solar (northern property line)	0	10	20
Height (maximum)	Primary	44	34	73
	Secondary	90	40	73
Streets	Frontages	12	191/165	356
	Widths	15	191/165	356



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
Planning and Development Services

Section F: Adjoining or Connecting Streets and Sidewalks

Note: For approval of proposed street names, contact the Engineering Department.

Street Name	Right-of-Way Width	Pavement Width	Number of Lanes	Existing Sidewalk*	Existing Curb/Gutter
Rosemary St	60	39	3	<input checked="" type="checkbox"/> Yes	<input checked="" type="checkbox"/> Yes
				<input type="checkbox"/> Yes	<input type="checkbox"/> Yes

List Proposed Points of Access (Ex: Number, Street Name):

*If existing sidewalks do not exist and the applicant is adding sidewalks, please provide the following information:

Sidewalk Information			
Street Names	Dimensions	Surface	Handicapped Ramps
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A
			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> N/A

Section G: Parking Information

Parking Spaces	Minimum	Maximum	Proposed
Regular Spaces			1,153
Handicap Spaces			26
Total Spaces			1,179
Loading Spaces			
Bicycle Spaces			24
Surface Type	conc parking deck		

Section H: Landscape Buffers

Location (North, South, Street, Etc.)	Minimum Width	Proposed Width	Alternate Buffer	Modify Buffer
North 1	15 & 20	6	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> Yes
North 2	15	varies	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> Yes
south, east, west	0	0	<input type="checkbox"/> Yes	<input type="checkbox"/> Yes
			<input type="checkbox"/> Yes	<input type="checkbox"/> Yes



PROJECT FACT SHEET
TOWN OF CHAPEL HILL
 Planning and Development Services

Section I: Land Use Intensity

Existing Zoning District:
 Proposed Zoning Change (if any):

Zoning – Area – Ratio			Impervious Surface Thresholds			Minimum and Maximum Limitations	
Zoning District(s)	Floor Area Ratio (FAR)	Recreation Space Ratio (RSR)	Low Density Residential (0.24)	High Density Residential (0.50)	Non-Residential (0.70)	Maximum Floor Area (MFA) = FAR x GLA	Minimum Recreation Space (MSR) = RSR x GLA
TC-2 CZ	1.97	n/a			n/a	158,402	n/a
TOTAL							
RCD Streamside		0.01					
RCD Managed		0.019					
RCD Upland							

Section J: Utility Service

Check all that apply:

Water	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Well	<input type="checkbox"/> Community Well	<input type="checkbox"/> Other
Sewer	<input checked="" type="checkbox"/> OWASA	<input type="checkbox"/> Individual Septic Tank	<input type="checkbox"/> Community Package Plant	<input type="checkbox"/> Other
Electrical	<input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
Telephone	<input checked="" type="checkbox"/> Underground	<input checked="" type="checkbox"/> Above Ground		
Solid Waste	<input type="checkbox"/> Town	<input type="checkbox"/> Private		



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

The following must accompany your application. Failure to do so will result in your application being considered incomplete. For assistance with this application, please contact the Chapel Hill Planning Department (Planning) at (919) 969-5066 or at planning@townofchapelhill.org.

X	Application fee (including Engineering Review fee) (refer to fee schedule)	Amount Paid \$	8,585
X	Pre-application meeting –with appropriate staff		
X	Digital Files – provide digital files of all plans and documents		
X	Recorded Plat or Deed of Property		
X	Project Fact Sheet		
Pend	Traffic Impact Statement – completed by Town’s consultant (or exemption)		
n/a	Description of Public Art Proposal , if applicable		
X	Statement of Justification		
n/a	Response to Community Design Commission and Town Council Concept Plan comments		
n/a	Affordable Housing Proposal , if applicable		
X	Statement of Consistency with Comprehensive Plan or request to amend Comprehensive Plan		
X	Mailing list of owners of property within 1,000 feet perimeter of subject property (see GIS notification tool)		
X	Mailing fee for above mailing list (mailing fee is double due to 2 mailings)	Amount Paid \$	
X	Written Narrative describing the proposal, including proposed land uses		
n/a	Resource Conservation District, Floodplain, & Jordan Buffers Determination – necessary for all submittals		
n/a	Jurisdictional Wetland Determination – if applicable		
n/a	Resource Conservation District Encroachment Exemption or Variance (determined by Planning)		
n/a	Jordan Buffer Authorization Certificate or Mitigation Plan Approval (determined by Planning)		
X	Reduced Site Plan Set (reduced to 8.5” x 11”)		

Stormwater Impact Statement (1 copy to be submitted)

- a) Written narrative describing existing & proposed conditions, anticipated stormwater impacts and management structures and strategies to mitigate impacts
- b) Description of land uses and area (in square footage)
- c) Existing and proposed impervious surface area in square feet for all subareas and project area
- d) Ground cover and uses information
- e) Soil information (classification, infiltration rates, depth to groundwater and bedrock)
- f) Time of concentration calculations and assumptions
- g) Topography (2-foot contours)
- h) Pertinent on-site and off-site drainage conditions
- i) Upstream and/or downstream volumes
- j) Discharges and velocities
- k) Backwater elevations and effects on existing drainage conveyance facilities
- l) Location of jurisdictional wetlands and regulatory FEMA Special Flood Hazard Areas
- m) Water quality volume calculations
- n) Drainage areas and sub-areas delineated
- o) Peak discharge calculations and rates (1, 2, and 25-year storms)
- p) Hydrographs for pre- & post-development without mitigation, post-development with mitigation
- q) Volume calculations and documentation of retention for 2-year storm



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

- r) 85% TSS removal for post-development stormwater runoff
- s) Nutrient loading calculations
- t) BMP sizing calculations
- u) Pipe sizing calculations and schedule (include HGL & EGL calculations and profiles)

Plan Sets (10 copies to be submitted no larger than 24" x 36")

Plans should be legible and clearly drawn. All plan set sheets should include the following:

- Project Name
- Legend
- Labels
- North Arrow (North oriented toward top of page)
- Property boundaries with bearing and distances
- Scale (Engineering), denoted graphically and numerically
- Setbacks
- Streams, RCD Boundary, Jordan Riparian Buffer Boundary, Floodplain, and Wetlands Boundary, where applicable
- Revision dates and professional seals and signatures, as applicable

Cover Sheet

- a) Include Project Name, Project fact information, PIN, and Design Team

Area Map

- a) Project name, applicant, contact information, location, PIN, & legend
- b) Dedicated open space, parks, greenways
- c) Overlay Districts, if applicable
- d) Property lines, zoning district boundaries, land uses, project names of site and surrounding properties, significant buildings, corporate limit lines
- e) Existing roads (public & private), rights-of-way, sidewalks, driveways, vehicular parking areas, bicycle parking, handicapped parking, street names
- f) 1,000' notification boundary

Existing Conditions Plan

- a) Slopes, soils, environmental constraints, existing vegetation, and any existing land features
- b) Location of all existing structures and uses
- c) Existing property line and right-of-way lines
- d) Existing utilities & easements including location & sizes of water, sewer, electrical, & drainage lines
- e) Nearest fire hydrants
- f) Nearest bus shelters and transit facilities
- g) Existing topography at minimum 2-foot intervals and finished grade
- h) Natural drainage features & water bodies, floodways, floodplain, RCD, Jordan Buffers & Watershed boundaries



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Detailed Site Plan

- a) Existing and proposed building locations
- b) Description & analysis of adjacent land uses, roads, topography, soils, drainage patterns, environmental constraints, features, existing vegetation, vistas (on and off-site)
- c) Location, arrangement, & dimension of vehicular parking, width of aisles and bays, angle of parking, number of spaces, handicapped parking, bicycle parking. Typical pavement sections & surface type.
- d) Location of existing and proposed fire hydrants
- e) Location and dimension of all vehicle entrances, exits, and drives
- f) Dimensioned street cross-sections and rights-of-way widths
- g) Pavement and curb & gutter construction details
- h) Dimensioned sidewalk and tree lawn cross sections
- i) Proposed transit improvements including bus pull-off and/or bus shelter
- j) Required landscape buffers (or proposed alternate/modified buffers)
- k) Required recreation area/space (including written statement of recreation plans)
- l) Refuse collection facilities (existing and proposed) or shared dumpster agreement
- m) Construction parking, staging, storage area, and construction trailer location
- n) Sight distance triangles at intersections
- o) Proposed location of street lights and underground utility lines and/or conduit lines to be installed
- p) Easements
- q) Clearing and construction limits
- r) Traffic Calming Plan – detailed construction designs of devices proposed & associated sign & marking plan

Stormwater Management Plan

- a) Topography (2-foot contours)
- b) Existing drainage conditions
- c) RCD and Jordan Riparian Buffer delineation and boundary (perennial & intermittent streams; note ephemeral streams on site)
- d) Proposed drainage and stormwater conditions
- e) Drainage conveyance system (piping)
- f) Roof drains
- g) Easements
- h) BMP plans, dimensions, details, and cross-sections
- i) Planting and stabilization plans and specifications

Landscape Protection Plan

- a) Rare, specimen, and significant tree survey within 50 feet of construction area
- b) Rare and specimen tree critical root zones
- c) Rare and specimen trees proposed to be removed
- d) Certified arborist tree evaluation, if applicable
- e) Significant tree stand survey
- f) Clearing limit line
- g) Proposed tree protection/silt fence location
- h) Pre-construction/demolition conference note
- i) Landscape protection supervisor note
- j) Existing and proposed tree canopy calculations, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Planting Plan

- a) Dimensioned and labeled perimeter buffers
- b) Off-site buffer easement, if applicable
- c) Landscape buffer and parking lot planting plan (including planting strip between parking and building, entryway planting, and 35% shading requirement)

Steep Slope Plan

- a) Classify and quantify slopes 0-10%, 10-15%, 15-25%, and 25% and greater
- b) Show and quantify areas of disturbance in each slope category
- c) Provide/show specialized site design and construction techniques

Grading and Erosion Control Plan

- a) Topography (2-foot contours)
- b) Limits of Disturbance
- c) Pertinent off-site drainage features
- d) Existing and proposed impervious surface tallies

Streetscape Plan, if applicable

- a) Public right-of-way existing conditions plan
- b) Streetscape demolition plan
- c) Streetscape proposed improvement plan
- d) Streetscape proposed utility plan and details
- e) Streetscape proposed pavement/sidewalk details
- f) Streetscape proposed furnishing details
- g) Streetscape proposed lighting detail

Solid Waste Plan

- a) Preliminary Solid Waste Management Plan
- b) Existing and proposed dumpster pads
- c) Proposed dumpster pad layout design
- d) Proposed heavy duty pavement locations and pavement construction detail
- e) Preliminary shared dumpster agreement, if applicable



**CONDITIONAL ZONING APPLICATION
SUBMITTAL REQUIREMENTS
TOWN OF CHAPEL HILL
Planning and Development Services**

Construction Management Plan

- a) Construction trailer location
- b) Location of construction personnel parking and construction equipment parking
- c) Location and size of staging and materials storage area
- d) Description of emergency vehicle access to and around project site during construction
- e) Delivery truck routes shown or noted on plan sheets

Energy Management Plan

- a) Description of how project will be 20% more energy efficient than ASHRAE standards
- b) Description of utilization of sustainable forms of energy (Solar, Wind, Hydroelectric, and Biofuels)
- c) Participation in NC GreenPower program
- d) Description of how project will ensure indoor air quality, adequate access to natural lighting, and allow for proposed utilization of sustainable energy
- e) Description of how project will maintain commitment to energy efficiency and reduced carbon footprint over time
- f) Description of how the project's Transportation Management Plan will support efforts to reduce energy consumption as it affects the community

Exterior Elevations

- a) An outline of each elevation of the building, including the finished grade line along the foundation (height of building measured from mean natural grade)

Rosemary Street Parking Deck – Conditional Zoning

Project Narrative

The Rosemary Street Parking Deck will create much needed parking for visitors, businesses and workers in downtown Chapel Hill and will be an integral component of the revitalization of East Rosemary Street. This redevelopment strategy for East Rosemary Street will create space for hundreds of new technology workers and researchers in the heart of downtown. The new deck will also create an attractive new arrival experience for visitors to downtown and will improve the streetscape on the southern frontage of Rosemary Street.

The new parking deck will be located on the site of the existing 'CVS' parking deck combined with the surface parking lot immediately to the east. Combining these parcels will create a combined parcel of approximately 1.6 acres. Grubb Properties controls these properties and is proposing to exchange these parcels with the Town of Chapel Hill for the land currently occupied by the Wallace Parking deck, a parcel of 1.49 acres which would be developed into a new research facility with labs and office space for business and institutional tenants.

The existing parking deck is a three-level structure and parks 276 cars. It was built over 40 years ago and has reached the end of its service life. The new parking deck will be a seven-level structure and will park approximately 1,100 cars.

In addition to new parking spaces the Rosemary Street frontage will be improved by widening the sidewalks to incorporate a 'retail porch' that will provide space for small business, artisans and food vendors to operate on an economical, short term basis.

Statement of Justification – Conditional Zoning

This is a statement of justification to support the request for Conditional Zoning for 125 East Rosemary Street and the parcel immediately to the east. Both parcels are currently within the TC-2 zoning district. The Conditional Zoning is being requested to facilitate an open dialogue with the public and negotiations between the applicant and the Town of Chapel Hill.

In order to establish and maintain sound, stable, and desirable development within the planning jurisdiction of the Town, it is intended that the Land Use Management Ordinance (as stated in Section 4.4) shall not be amended except:

- 1) To correct a manifest error in the chapter; or
- 2) Because of changed or changing conditions in a particular area or in the jurisdiction generally; or
- 3) To achieve the purposes of the Comprehensive Plan.

Below is the applicant's evaluation of this application based on these three findings.

- 1) **Finding #1:** The proposed zoning amendment is necessary to correct a manifest error.

Response: We do not believe there is error in the Town's Zoning Atlas Amendment related to the project site.

- 2) **Finding #2:** The proposed zoning amendment is necessary because of changed or changing conditions in a particular area or in the jurisdiction generally.

Response: We believe that the conditions have changed in the following respect: In recent years downtown Chapel Hill has undergone a loss of jobs and businesses which has adversely affected the economic vitality of Chapel Hill. One component of this problem is the lack of centralized public parking to support business and visitors, which this project addresses.

3) Finding #3: The proposed zoning amendment is necessary to achieve the purposes of the comprehensive plan.

Response: The proposed rezoning would contribute to the following elements of the Comprehensive Plan:

Theme 2: Community Prosperity and Engagement

- Balance and sustain finances by increasing revenues and decreasing expenses (CPE.1).
- Foster success of local businesses (CPE.2).

Theme 3: Getting Around

- A connected community that links neighborhoods, businesses and schools through the provision of greenways, sidewalks, bike facilities and public transportation (GA.2).

Theme 4: Good Places, New Spaces

- A vibrant, diverse, pedestrian-friendly, and accessible downtown with opportunities for growing office, retail, residential and cultural development and activity (GPNS.2).
- A community that welcomes and supports change and creativity (GPNS.6).

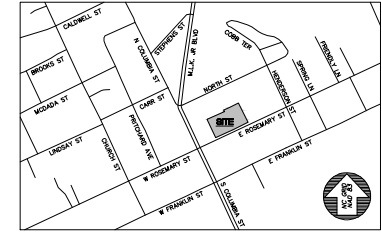
Theme 6: Town and Gown Collaboration

- Take full advantage of ideas and resources to create a thriving economy and incorporate the utilize the intellectual capital that the University and Town create (TGC.1).

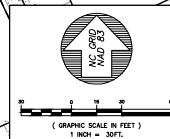
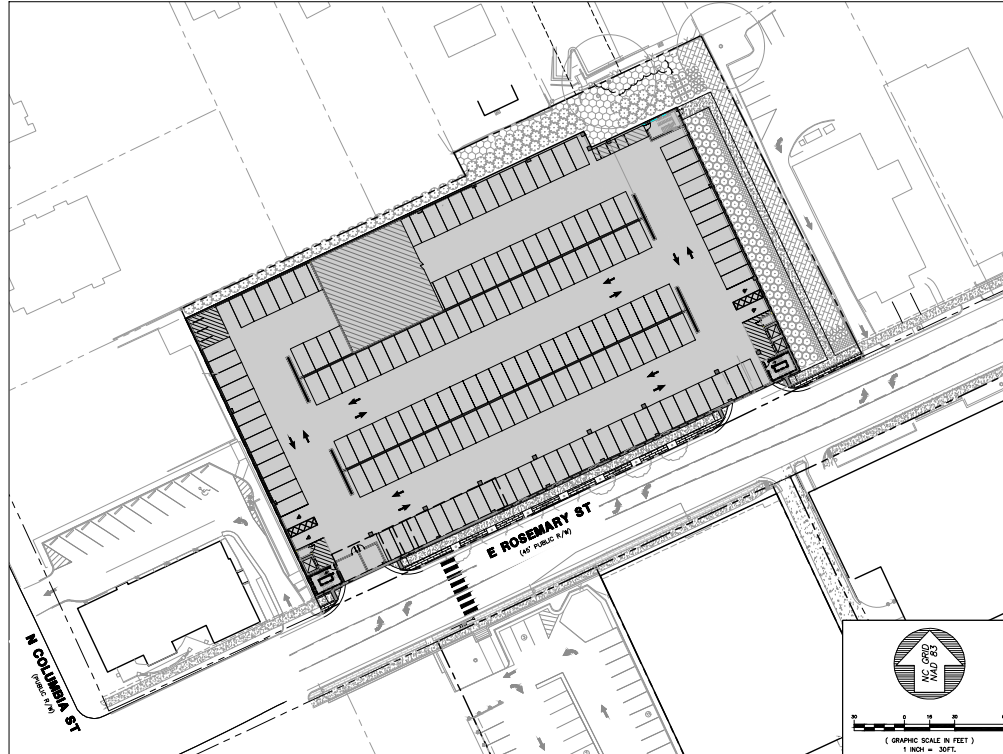
Modifications of Regulations:

Building Height, Setback - LUMO Table 3.8-1 Dimensional Matrix limits the maximum building height at the setback line in the TC-2 zoning district to 44 feet. In order to provide the desired number of parking spaces, the deck will need to be 7 levels and will exceed the 44 feet maximum allowed. The applicant therefore requests that Council approve a modification approving a building height at the setback line of 73 feet.

CONDITIONAL ZONING DRAWINGS FOR ROSEMARY STREET PARKING DECK CHAPEL HILL, ORANGE COUNTY, NORTH CAROLINA



VICINITY MAP
SCALE: 1"=500'



SHEET	DRAWING TITLE	LATEST ISSUE DATE
G0001	COVER	08 APR 20
C0001	AREA MAP	08 APR 20
C0101	EXISTING CONDITIONS, LANDSCAPE PROTECTION & DEMOLITION PLAN	08 APR 20
C1001	SITE PLAN	08 APR 20
C1200	GRADING, UTILITY & EROSION CONTROL PLAN	08 APR 20
L01-01	LANDSCAPE PLANS	08 APR 20
L01-02	LANDSCAPE DETAILS	08 APR 20
A10-01	OVERALL FLOOR PLAN - P1 - P2	08 APR 20
A10-02	OVERALL FLOOR PLAN - P3 - P4	08 APR 20
A10-03	OVERALL FLOOR PLAN - P5 - P6	08 APR 20
A10-04	OVERALL FLOOR PLAN - P7 - ROOF	08 APR 20
A20-01	EXTERIOR ELEVATIONS	08 APR 20

ARCHITECTURE:
Perkins&Will
411 W CHAPEL HILL STREET, SUITE 200
CHapel Hill, NC 27514
(919) 433-5300

DEVELOPER:
GRUBB PROPERTIES
People who care. Places that matter.
113 EDENWISH SOUTH DR, SUITE 120
CHAPEL HILL, NC 27514
(919) 388-5772

SITE PLANNING / CIVIL ENGINEERING:
BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
(919) 929-0481 (919) 498-4769

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, NC 27514
(919) 929-0481 (919) 498-4769



DATE	BY	REVISIONS
08 APR 20	JRM	ISSUE FOR CONSTRUCTION
08 APR 20	JRM	ISSUE FOR PERMIT

OWNER INFORMATION:
GRUBB PROPERTIES, INC.
1520 CANTON WILEY DRIVE, SUITE 500
CHAPEL HILL, NC 27511
OWNER REPRESENTATIVE:
JRM, PE
(919) 388-5772
FAX: (919) 388-5774

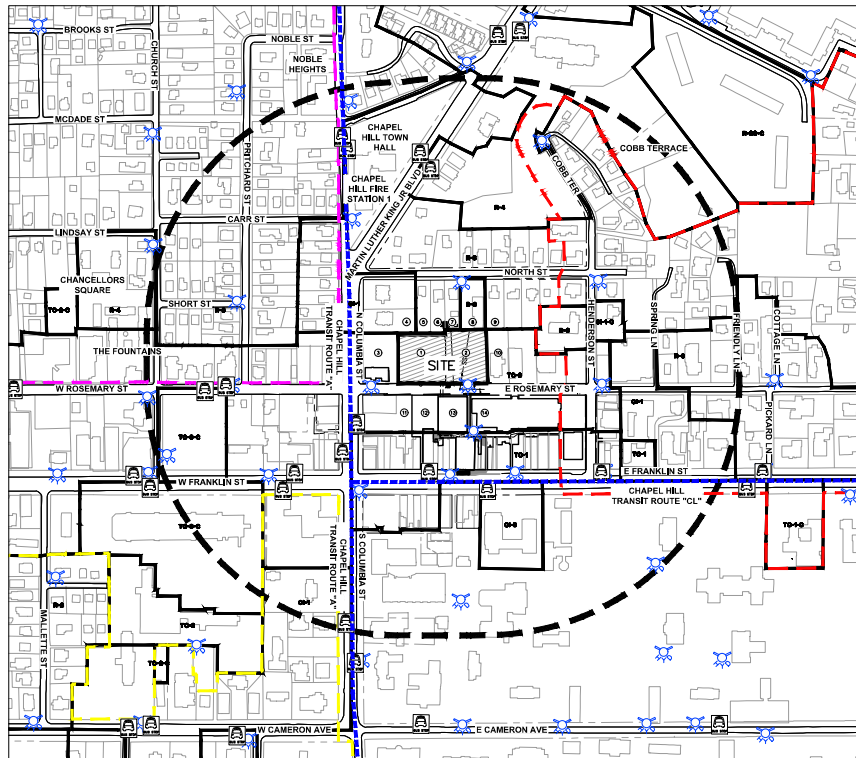
DATE	BY	REVISIONS
08 APR 20	JRM	ISSUE FOR CONSTRUCTION
08 APR 20	JRM	ISSUE FOR PERMIT

ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA
CONDITIONAL ZONING DRAWINGS

JOB #: 119036.01
DATE: 02 MAR 20
SCALE: AS NOTED
DRAWN BY: J.B.M.
REVIEWED BY: C.L.S.

SHEET
G0001

**REVIEW DRAWING
NOT FOR CONSTRUCTION**



SITE PARCEL DATA

LABEL #	OWNER	PN #	ZONING	DB./P.S.	PARCEL AREA	CURRENT LAND USE
1	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-4748	TC-2	6603/282	0.87	PARKING LOT
2	INVESTORS TITLE COMPANY	9788-37-6817	TC-2	776/97	0.81	PARKING LOT

ADJACENT PARCEL DATA

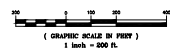
LABEL #	OWNER(S)	PN #	ZONING	CURRENT LAND USE
3	CENTURA BANK	9788-37-2791	TC-2	BANK
4	BELL FAMILY PROPERTIES LLC	9788-37-2875	GI-1	OFFICE
5	SHARON M KIRK & WILLIAM E KIRK	9788-37-3947	R-3	RESIDENTIAL
6	SHARON M KIRK & WILLIAM E KIRK	9788-37-4809	R-3	RESIDENTIAL
7	ODOR S LLC	9788-38-4862	R-3	RESIDENTIAL
8	BETA TAU ALPHA FRATERNITY HOUSING CORPORATION	9788-38-5035	R-6	FRATERNITY DWELLING
9	126 NORTH ST UNIT B & 126 NORTH ST UNIT A	9788-38-8019	R-3	RESIDENTIAL
10	BRANCH BANKING AND TRUST CO	9788-37-7911	TC-2	COLLEGE
11	TOWN OF CHAPEL HILL	9788-37-4469	TC-2	PARKING LOT
12	TOWN OF CHAPEL HILL	9788-37-5557	TC-2	PARKING LOT
13	FRANKLIN OFFICE CHAPEL HILL LLC	9788-37-7517	TC-2	OFFICE
14	MILL PROPERTIES LLC	9788-37-5461	TC-1	PARKING LOT

DRAWING LEGEND

SYMBOL	DESCRIPTION
--- (dashed line)	1000' NOTIFICATION LINE
--- (thick solid line)	ZONING BOUNDARY
--- (thin solid line)	FRANKLIN-ROSEMARY HISTORIC DISTRICT
--- (dotted line)	CAMERON-MICHAELLY HISTORIC DISTRICT
--- (dashed line)	NORTHSIDE NEIGHBORHOOD CONSERVATION DISTRICT
--- (dashed line)	CHAPEL HILL TRANSIT ROUTE
Ⓜ	ZONING CLASSIFICATION
Ⓜ	EXISTING FIRE HYDRANT
Ⓜ	EXISTING BUS STOP
Ⓜ	PROJECT SITE



AREA MAP



REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
221 PROVIDENCE ROAD, CHAPEL HILL, N.C. 27514
(919) 325-1000 - OFFICE



REVISIONS

NO.	DATE	DESCRIPTION
1	02 MAR 20	ISSUED FOR PERMIT

DATE

DATE	BY	DESCRIPTION
02 MAR 20	JEB	ISSUED FOR PERMIT

ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

JOB # 110038.01
DATE: 02 MAR 20
SCALE: AS NOTED
DRAWN BY: JEB
REVIEWED BY: CLS

SHEET C0001

DEMOLITION NOTES

- PRIOR TO DEMOLITION, CONTRACTOR SHALL HAVE NORTH CAROLINA 811 (1-800-450-4848) LOCATE ALL EXISTING UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS.
- PRIOR TO DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF ASBESTOS REMEDIATION IS REQUIRED, AND IF SO, CONTRACTOR SHALL NOTIFY ASBESTOS REMEDIATION IN ACCORDANCE WITH FEDERAL, STATE & LOCAL REGULATIONS.
- OPEN BURNING OF TREES, LIMBS, STUMPS AND CONSTRUCTION DEBRIS IN ASSOCIATION WITH THIS DEVELOPMENT IS PROHIBITED.
- ANY EXISTING WATER AND SEWER SERVICES AND CLEANOUTS TO BE REMOVED, SHALL BE ABANDONED IN ACCORDANCE WITH OASB REQUIREMENTS.
- ANY EXISTING GAS, ELECTRIC, FIBER AND ANY OTHER UTILITIES SERVING THE DEVELOPMENT, SHALL BE FIELD LOCATED AND TERMINATED IN ACCORDANCE WITH STATE & LOCAL REGULATIONS, AND IN ACCORDANCE WITH THE RESPECTIVE PROVIDER'S SPECIFICATIONS & BEST PRACTICES.
- CONTRACTOR SHALL COORDINATE AND HOLD A PRE-DEMOLITION/CONSTRUCTION CONFERENCE WITH:
 - CIVIL ENGINEER AND OWNER'S REPRESENTATIVE
 - TOWN OF CHAPEL HILL URBAN FORESTER: (919) 969-3314
 - ORANGE COUNTY SOLID WASTE STAFF: (919) 868-2788
 - ORANGE COUNTY DESIGN CONTROL OFFICER: (919) 845-2587
- IN ALL AREAS WHERE ASPHALT COVER IS SHOWN TO BE REMOVED AND RESTORED WITH PERVIOUS COVER, THE FOLLOWING SHALL BE TAKEN: REMOVE ALL ASPHALT CONCRETE, BEDDING MATERIALS, GRAVEL, DEBRIS, REMAINING MATERIALS, ETC.
- RE AND ADJUST TO 2" DEPTH OF 8" BARS BELOW ORIGINAL GRADE, UNLESS WITHIN THE CRITICAL ROOT ZONE OF A TREE TO BE PRESERVED. IN THAT CASE, LIMIT REPAIR TO 2" DEPTH OF 4" BARS.
- PLACE 4-6 INCHES OF TOPSOIL (TO FINISHED GRADE) AND INSTALL PLANTINGS AND/OR SEED COVERED AREA ACCORDING TO LANDSCAPE PLAN. DO NOT COMPACT TOPSOIL.
- DURING DEMOLITION AND/OR CONSTRUCTION, ALL ASPECTS OF CHAPTER 14 OF THE NC TREE PROTECTION SHALL BE FOLLOWED. THE OWNER/DEVELOPER SUPERINTENDENT WHO SHALL BE CALLED, THE OWNER/DEVELOPER SHALL SIGNIFY ON BEHALF OF THE TREE PROTECTION PROGRAM AND ENSURE THAT IT IS CARRIED OUT THROUGH COMPLETION OF THE PROJECT.
- DURING CONSTRUCTION, PREPARED VEHICLE ACCESS SHALL BE PROVIDED. TEMPORARY STREETS SHALL BE INSTALLED AT EACH STREET INTERSECTION. CONSTRUCTION MATERIALS SHALL BE STORED IN A DESIGNATED AREA OF AN APPROVED SIZE, WEATHER RESISTANT AND MAINTAINED UNTIL REPLACED BY PERMANENT DRIVE.

TREE PROTECTION NOTES

- TREE PROTECTION FENCING AS SHOWN ON THIS PLAN SHALL BE INSTALLED AND MAINTAINED BY THE TOWN PRIOR TO ANY DEMOLITION ACTIVITY ON LAND ADJACENT TO THE PROTECTED TREE.
- A PRE-CONSTRUCTION CONFERENCE WILL BE HELD WITH THE TOWN'S URBAN FORESTER PRIOR TO BEGINNING SITE WORK.
- ANY TREE ROOTS EXPOSED BY CONSTRUCTION WILL BE SEVERED CLEANLY WITH AN APPROPRIATE PRUNING TOOL.
- THE SOIL WITHIN THE CRITICAL ROOT ZONES OF EXISTING TREES SHALL NOT BE REVEALED OR OTHERWISE DISTURBED DURING THE INSTALLATION OF LANDSCAPE.
- A LANDSCAPE PROTECTION SUPERVISOR WHO IS REGISTERED WITH THE TOWN OF CHAPEL HILL WILL BE PRESENT ON SITE AT ALL TIMES WHEN THE TOWN OF CHAPEL HILL IS PERFORMING FIELD CHECKS OF TREE PROTECTION FENCING, BRIDING, REMOVING MOUND OF SOIL, INSTALLATION AND REMOVAL OF TREE PROTECTION FENCING AND THE SUBSEQUENT TRANSPORTING AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT.

OCSW CONSTRUCTION WASTE REQUIREMENTS

- ALL EXISTING STRUCTURES 500 SQUARE FEET AND LARGER SHALL BE ASSIGNED PRIOR TO THE ISSUANCE OF A DEMOLITION PERMIT TO ENSURE COMPLIANCE WITH THE COUNTY'S REGULATED MATERIALS COLLECTION AND REMOVAL ORDINANCE (MRO) AND TO ASSESS THE POTENTIAL FOR RECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY ENFORCEMENT OFFICER AT 919-868-2788 TO ARRANGE FOR THE ASSESSMENT.
- PURSUANT TO THE COUNTY'S MRO, CLEAN WOOD WASTE, SCRAP METAL, AND OTHER MATERIALS PRESENT IN CONSTRUCTION OF CONSTRUCTION WASTE MUST BE RECYCLED.
- PURSUANT TO THE COUNTY'S MRO, ALL HAULERS OF MIXED CONSTRUCTION AND DEMOLITION WASTE MUST BE LICENSED BY ORANGE COUNTY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS AND COMPLIANCE WITH THE COUNTY'S REGULATED MATERIALS COLLECTION AND REMOVAL ORDINANCE (MRO) AND TO ASSESS THE POTENTIAL FOR RECONSTRUCTION AND/OR THE REUSE OF SALVAGEABLE MATERIALS. CONTACT THE ORANGE COUNTY ENFORCEMENT OFFICER AT 919-868-2788 TO ARRANGE FOR THE ASSESSMENT.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIALS (PCM) AND/OR OTHER HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.

NOTES

- EXISTING CONDITIONS SHOWN ARE BASED UPON SITE SURVEY CONDUCTED BY BALLENTINE ASSOCIATES, P.A. ASSOCIATES AND ORANGE COUNTY GIS DATA.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-432-4949), LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL VERIFY THE DEPTH AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THIS PLAN IS DIAGNOSTIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICLY INDICATED. THE CONTRACTOR SHALL CORRELATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONTACTS AND MEET MINIMUM SAFE, SAFE, AND CODE REQUIREMENTS.
- ALL STEEP SLOPES AREAS ARE OTHER THAN 40:1 OR 1:1 AND ARE ASSOCIATED WITH ROADWAY, FARMING LOTS OR DRIVEWAYS WHICH ARE EXCLUDED FROM ANY SPECIAL CONSTRUCTION TECHNIQUES.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	DEMO	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJONER PROPERTY LINE
---	---	---	STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	OVERHEAD ELECTRIC LINE
---	---	---	CONCRETE RETAINING WALL
---	---	---	FIBER OPTIC LINE
---	---	---	TREE PROTECTION FENCE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	TREE LINE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	SOL BOUNDARY
---	---	---	APPLN-URBAN LAND COMPLEX
---	---	---	URBAN LAND
---	---	---	EXISTING IRON PIPE
---	---	---	SON
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	WATER VALVE
---	---	---	FIRE HYDRANT
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEANOUT
---	---	---	ELECTRIC POLE
---	---	---	POWER BOX
---	---	---	LIGHT POLE
---	---	---	HVAC UNIT
---	---	---	GAS METER
---	---	---	GAS VALVE
---	---	---	TELEPHONE VAULT
---	---	---	FIBER OPTIC MARKER
---	---	---	DECIDUOUS TREE
---	---	---	CONFEROUS TREE
---	---	---	PAVEMENT/STRUCTURES
---	---	---	CONCRETE SIDEWALK
---	---	---	BRICK SIDEWALK

TREE SUMMARY

EXISTING TREES	RARE	SPECIMEN	TOTAL
3	3	6	
TREES TO BE REMOVED	2	3	5

TREE LEGEND:

- RARE DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN DECIDUOUS TREE SHOWING CRITICAL ROOT ZONE
- RARE CONFEROUS TREE SHOWING CRITICAL ROOT ZONE
- SPECIMEN CONFEROUS TREE SHOWING CRITICAL ROOT ZONE
- RARE/SPERMATOPHYTES CONFEROUS TREE TO BE REMOVED

EXISTING CONDITIONS, LANDSCAPE PROTECTION & DEMOLITION PLAN

(GRAPHIC SCALE IN FEET) 1 inch = 30 ft.

REVIEW DRAWING NOT FOR CONSTRUCTION

BALLENTINE ASSOCIATES, P.A.
 228 PROSPERITY ROAD, CHAPEL HILL, N.C. 27514
 (919) 252-7000 FAX (919) 252-7001

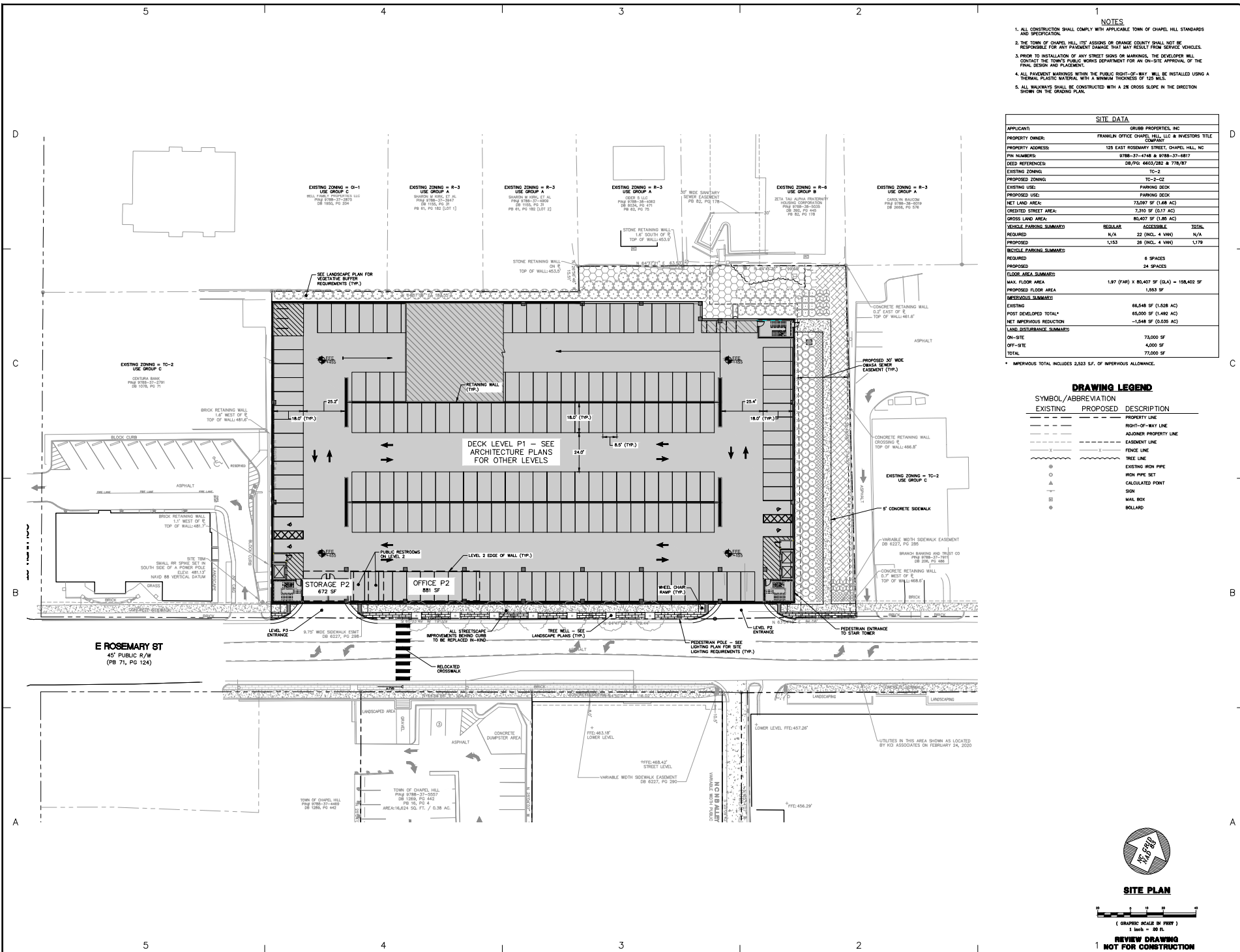
Professional Engineer
 License No. 10000
 State of North Carolina

Professional Engineer
 License No. 10000
 State of North Carolina

Professional Engineer
 License No. 10000
 State of North Carolina

ROSEMARY STREET PARKING DECK
 125 E. ROSEMARY ST
 CHAPEL HILL, NORTH CAROLINA

JOB #: 110036.01
 DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: JLM
 REVIEWED BY: GJR
 SHEET
C0101



- NOTES**
1. ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
 2. THE TOWN OF CHAPEL HILL, ITS AGENTS OR GRANGE COUNTY SHALL NOT BE RESPONSIBLE FOR ANY PAYMENT DAMAGE THAT MAY RESULT FROM SERVICE VEHICLES.
 3. PRIOR TO INSTALLATION OF ANY STREET SIGNS OR MARKINGS, THE DEVELOPER WILL CONTACT THE TOWN'S PUBLIC WORKS DEPARTMENT FOR AN ON-SITE APPROVAL OF THE FINAL DESIGN AND PLACEMENT.
 4. ALL PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE INSTALLED USING A THERMAL PLASTIC MATERIAL WITH A MINIMUM THICKNESS OF 1/2" INCH.
 5. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A 2% CROSS SLOPE IN THE DIRECTION SHOWN ON THE GRADING PLAN.

SITE DATA

APPLICANT:	GRUBB PROPERTIES, INC
PROPERTY OWNER:	FRANKLIN OFFICE CHAPEL HILL, LLC & INVESTORS TITLE COMPANY
PROPERTY ADDRESS:	125 EAST ROSEMARY STREET, CHAPEL HILL, NC
PIN NUMBER:	9788-37-1148 & 9788-37-4877
DEED REFERENCE:	DB/PG 4603/282 & 778/87
EXISTING ZONING:	TC-2
PROPOSED ZONING:	TC-2-C2
EXISTING USE:	PARKING DECK
PROPOSED USE:	PARKING DECK
NET LAND AREA:	73,097 SF (1.68 AC)
CREATED STREET AREA:	7,310 SF (0.17 AC)
GROSS LAND AREA:	80,407 SF (1.85 AC)
VEHICLE PARKING SUMMARY:	REGULAR ACCESSIBLE TOTAL
REQUIRED:	N/A 22 (INCL. 4 VAN) N/A
PROPOSED:	1,153 26 (INCL. 4 VAN) 1,179
BIKE PARKING SUMMARY:	REQUIRED PROPOSED
REQUIRED:	6 SPACES
PROPOSED:	24 SPACES
FLOOR AREA SUMMARY:	
EXISTING USE:	1.97 (PW) X 80,407 SF (24) = 158,402 SF
PROPOSED FLOOR AREA:	1,553 SF
MEANS SUMMARY:	
EXISTING:	88,548 SF (1.528 AC)
POST DEVELOPED TOTAL:	89,000 SF (1.492 AC)
NET IMPROVEMENT REDUCTION:	-1,548 SF (0.034 AC)
LAND ACQUISITION SUMMARY:	
ON-SITE:	73,000 SF
OFF-SITE:	4,000 SF
TOTAL:	77,000 SF

* IMPROVEMENT TOTAL INCLUDES 2.5% OF IMPROVEMENT ALLOWANCE.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJOINER PROPERTY LINE
---	---	---	EASEMENT LINE
---	---	---	FENCE LINE
---	---	---	TREE LINE
---	---	---	EXISTING IRON PIPE
---	---	---	IRON PIPE SET
---	---	---	CALCULATED POINT
---	---	---	SOIL
---	---	---	MAIL BOX
---	---	---	BOLLARD

DATE

DATE OF PREP	DATE OF REVIEW	DATE OF APPROVAL

REVISIONS

NO.	DATE	DESCRIPTION

CONTRACTOR

NAME	ADDRESS	PHONE

OWNER REPRESENTATIVE

NAME	ADDRESS	PHONE

ROSEMARY STREET PARKING DECK
125 E. ROSEMARY ST
 CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

JOB # 110036.01
 DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: J.B.M.
 REVIEWED BY: C.L.R.

SHEET
C1001

BALLENTINE ASSOCIATES, P.A.
 CHAPEL HILL, N.C. 27014
 226 PROVINCIAL ROAD
 270 252-1000 - FAX 270 252-1020

NO. 102, 103

DATE

DATE OF PREP	DATE OF REVIEW	DATE OF APPROVAL

REVISIONS

NO.	DATE	DESCRIPTION

CONTRACTOR

NAME	ADDRESS	PHONE

OWNER REPRESENTATIVE

NAME	ADDRESS	PHONE

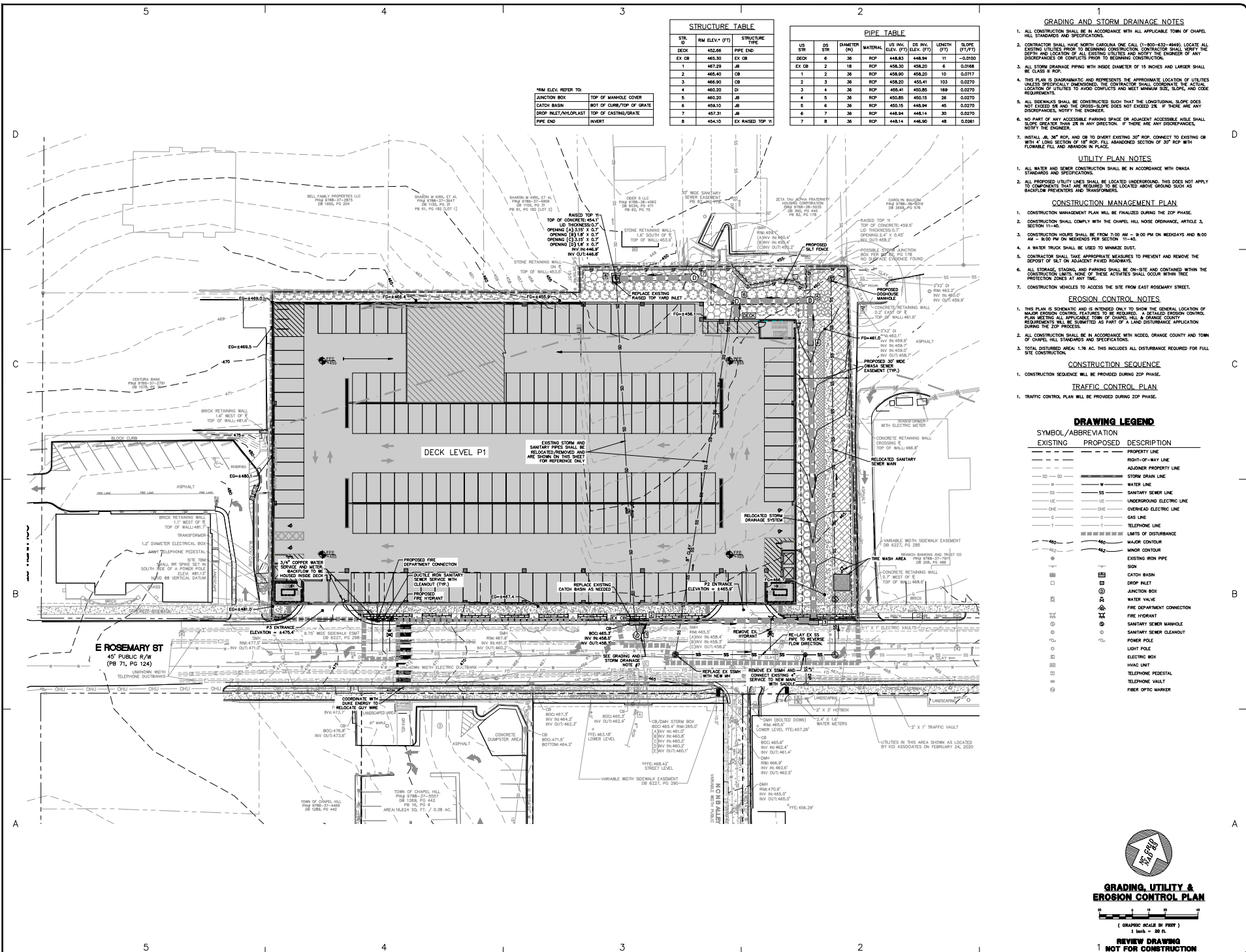
SCALE

1 inch = 20 ft.

GRAPHIC SCALE OF FEET

1

REVIEW DRAWING
NOT FOR CONSTRUCTION



STRUCTURE TABLE

STL	RM ELEV. (FT)	STRUCTURE
DECK	452.66	PIPE END
EX CB	465.30	EX CB
1	467.29	JB
2	465.40	CB
3	466.90	CB
4	460.20	DI
5	460.20	JB
6	459.10	JB
7	463.31	JB
8	454.10	EX RAISED TOP V1

PIPE TABLE

US SW	DS SW	DIAMETER (IN)	MATERIAL	US INV. ELEV. (FT)	DS INV. ELEV. (FT)	LENGTH (FT)	SLOPE (FT/FT)
DECK	6	36	RCP	448.83	448.94	11	-0.010
EX CB	2	18	RCP	458.30	458.20	6	0.0168
1	2	36	RCP	458.90	458.20	10	0.0717
2	3	36	RCP	456.20	455.41	100	0.0270
3	4	36	RCP	456.41	450.85	169	0.0270
4	5	36	RCP	450.85	450.15	26	0.0270
5	6	36	RCP	449.15	448.94	45	0.0270
6	7	36	RCP	448.94	448.14	30	0.0270
7	8	36	RCP	448.14	446.90	48	0.0261

MIN ELEV. REFER TO:

LOCATION	MIN ELEV. REFER TO
JUNCTION BOX	TOP OF MANHOLE COVER
CATCH BASIN	BOF OF CURB/TOP OF GRATE
DROP INLET/ANDRAST	TOP OF CASTING/GRATE
PIPE END	INVERT

GRADING AND STORM DRAINAGE NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL MAKE NORTH CAROLINA ONE CALL (1-800-433-4848) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE DEPT. AND LOCATION OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
3. ALL STORM DRAINAGE PIPING WITH INSIDE DIAMETER OF 18 INCHES AND LARGER SHALL BE CLASS B RCP.
4. THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY INDICATED. THE CONTRACTOR SHALL CORROBORATE THE ACTUAL LOCATION OF UTILITIES TO AVOID CONFLICTS AND MEET MINIMUM SLOPE, SLOPE, AND CODE REQUIREMENTS.
5. ALL SIDEWALKS SHALL BE CONSTRUCTED SUCH THAT THE LONGITUDINAL SLOPE DOES NOT EXCEED 5% AND THE CROSS-SLOPE DOES NOT EXCEED 2%. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
6. NO PART OF ANY ACCESSIBLE PARKING SPACE OR ADJACENT ACCESSIBLE WALKWAY SHALL BE GREATER THAN 2% IN ANY DIRECTION. IF THERE ARE ANY DISCREPANCIES, NOTIFY THE ENGINEER.
7. INSTALL 1/4\"/>

UTILITY PLAN NOTES

1. ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH OHMSA STANDARDS AND SPECIFICATIONS.
2. ALL PROPOSED UTILITY LINES SHALL BE LOCATED UNDERGROUND. THIS DOES NOT APPLY TO COMPONENTS THAT ARE REQUIRED TO BE LOCATED ABOVE GROUND SUCH AS BACKFLOW PREVENTERS AND TRANSFORMERS.

CONSTRUCTION MANAGEMENT PLAN

1. CONSTRUCTION MANAGEMENT PLAN WILL BE FINALIZED DURING THE ZEP PHASE.
2. CONSTRUCTION SHALL COMPLY WITH THE CHAPEL HILL NOISE ORDINANCE, ARTICLE 3, SECTION 11-40.
3. CONSTRUCTION HOURS SHALL BE FROM 7:00 AM - 6:00 PM ON WEEKDAYS AND 8:00 AM - 6:00 PM ON WEEKENDS PER SECTION 11-40.
4. A WATER TRUCK SHALL BE USED TO MINIMIZE DUST.
5. CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PREVENT AND REMOVE THE SPOILT OF SOIL ON ADJACENT PAVED ROADWAYS.
6. ALL STORAGE, STAGING, AND PARKING SHALL BE ON-SITE AND CONTAINED WITHIN THE CONSTRUCTION LIMITS. NONE OF THESE ACTIVITIES SHALL OCCUR WITHIN TREE PROTECTION ZONES AT ANY TIME.
7. CONSTRUCTION VEHICLES TO ACCESS THE SITE FROM EAST ROSEMARY STREET.

EROSION CONTROL NOTES

1. THIS PLAN IS SCHEMATIC AND IS INTENDED ONLY TO SHOW THE GENERAL LOCATION OF MAJOR DISTURBED AREAS. TO BE ADEQUATE TO MEASURE THE EROSION CONTROL PLAN MEETING ALL APPLICABLE TOWN OF CHAPEL HILL AND ORANGE COUNTY REQUIREMENTS SHALL BE SUBMITTED AS PART OF A LAND DISTURBANCE APPLICATION DURING THE ZEP PROCESS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH NCEC, ORANGE COUNTY AND TOWN OF CHAPEL HILL STANDARDS AND SPECIFICATIONS.
3. TOTAL DISTURBED AREA: 1.76 AC. THIS INCLUDES ALL DISTURBANCE REQUIRED FOR FULL SITE CONSTRUCTION.

CONSTRUCTION SEQUENCE

1. CONSTRUCTION SEQUENCE WILL BE PROVIDED DURING ZEP PHASE.

TRAFFIC CONTROL PLAN

1. TRAFFIC CONTROL PLAN WILL BE PROVIDED DURING ZEP PHASE.

DRAWING LEGEND

SYMBOL/ABBREVIATION	EXISTING	PROPOSED	DESCRIPTION
---	---	---	PROPERTY LINE
---	---	---	RIGHT-OF-WAY LINE
---	---	---	ADJACENT PROPERTY LINE
---	---	---	STORM DRAIN LINE
---	---	---	WATER LINE
---	---	---	SANITARY SEWER LINE
---	---	---	UNDERGROUND ELECTRIC LINE
---	---	---	OVERHEAD ELECTRIC LINE
---	---	---	GAS LINE
---	---	---	TELEPHONE LINE
---	---	---	LIMITS OF DISTURBANCE
---	---	---	MAJOR CONTOUR
---	---	---	MINOR CONTOUR
---	---	---	EXISTING IRON PIPE
---	---	---	SIGN
---	---	---	CATCH BASIN
---	---	---	DROP INLET
---	---	---	JUNCTION BOX
---	---	---	WATER VALVE
---	---	---	FIRE DEPARTMENT CONNECTION
---	---	---	FIRE HYDRANT
---	---	---	SANITARY SEWER MANHOLE
---	---	---	SANITARY SEWER CLEAFAST
---	---	---	POWER POLE
---	---	---	LIGHT POLE
---	---	---	ELECTRIC BOX
---	---	---	HVAC UNIT
---	---	---	TELEPHONE PEDESTAL
---	---	---	TELEPHONE VAULT
---	---	---	FIBER OPTIC MARKER

BALLENTINE ASSOCIATES, P.A.
 228 PROVINCIAL ROAD, CHAPEL HILL, N.C. 27514
 (704) 252-1000

ROSEMARY STREET PARKING DECK
 125 E. ROSEMARY ST
 CHAPEL HILL, NORTH CAROLINA

CONDITIONAL ZONING DRAWINGS

REVIEW DRAWING NOT FOR CONSTRUCTION

C1201

DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: J.B.M.
 CHECKED BY: C.L.S.

JOB #: 110036.01
 DATE: 02 MAR 20
 SCALE: AS NOTED
 DRAWN BY: J.B.M.
 CHECKED BY: C.L.S.

Fix

Black Powder Coated
Ebike Docking Station
www.ebikefix.com
©2019
PHOTO: JAMES GIBSON

EMBEDDED INSTALLATION:

1. Insert threaded end of threaded rod into the bike rack leg.
2. For use in concrete, use a masonry bit to drill a hole.
3. Mix and apply 3/8" diameter (minimum) holes 2-1/2" deep.
4. Set into position to make sure that hydraulic roller contact with the surface. Threaded ends should not be resting on the bottom of the drilled hole.
5. Mix and apply clear hole of debris.
6. Fill hole with chemical anchoring adhesive.
7. Set into position.
8. Allow for curing adhesive.

SURFACE MOUNT INSTALLATION:

1. Set into place and mark holes.
2. Make the cut and drill the holes.
3. Install the anchors and bike rack according to the anchor manufacturer's instructions. Be sure that both anchor plates make solid contact with the surface.

Recommended spacing, according to Association of Pedestrian and Bicycle Professionals (APBP)

landscapeforms
BIKE RACK



Page 1 of 1

holm

Options: Copper Finish

sQuad **80** SPECIFICATIONS

Output	1 LED	3 LED	6 LED	9 LED	20C
Total Lumens	80	240	480	720	79
Beam Width	30°/20°	30°/20°	30°/20°	30°/20°	30°/20°
Beam Power (mW)	10	30	60	90	30
Beam Angle (°)	30	30	30	30	30
Efficiency (lm/W)	8	8	8	8	8
Color Rendering Index (CRI)	95	95	95	95	95

LED SURFACE MOUNTED FIXTURES

sQuad-80
Wide mounted square geometric down light in 1, 3, 6, or 9 LED. Available in die-cast aluminum. An RGBW version is also available for use with RGBW systems.

Quick Facts:

- Die-cast aluminum
- Color temperature filters
- Easy beam number profile modification and gradient beam control
- Clear integrated LEDs
- Temper resistant features

landscapeforms
LT-2

sQuad-80 PHOTOMETRICS

Quad in 1:1.5 Beamwidth at a Distance

Foot Candles (E _c)	Beam Width	Beam Depth	Beam Area
100	12.0"	12.0"	144"
400	6.0"	6.0"	36"
1600	3.0"	3.0"	9"

Quad in 3:1 Beamwidth at a Distance

Foot Candles (E _c)	Beam Width	Beam Depth	Beam Area
100	4.0"	12.0"	48"
400	2.0"	6.0"	12"
1600	1.0"	3.0"	3"

Quad in 6:1 Beamwidth at a Distance

Foot Candles (E _c)	Beam Width	Beam Depth	Beam Area
100	2.0"	12.0"	24"
400	1.0"	6.0"	6"
1600	0.5"	3.0"	1.5"

Quad in 9:1 Beamwidth at a Distance

Foot Candles (E _c)	Beam Width	Beam Depth	Beam Area
100	1.5"	12.0"	18"
400	0.75"	6.0"	4.5"
1600	0.375"	3.0"	1.125"

Quad in 20C Beamwidth at a Distance

Foot Candles (E _c)	Beam Width	Beam Depth	Beam Area
100	1.0"	12.0"	12"
400	0.5"	6.0"	3"
1600	0.25"	3.0"	0.75"

landscapeforms
LT-3

electrix ILLUMINATION

R-2

2" Architectural Recessed Slot Luminaire

FEATURES:

- 2" x 2" Recessed - custom lengths available
- Custom beam and receiving system for any application
- 0° beam
- Universal cutout provided with 120-240V AC
- Dimmable (dimmer sold separately)
- 5-year warranty

APPLICATIONS: Offices, Corridors, Reception, Loubers

CONSTRUCTION: Enclosed Aluminum Housing, Steel Case Tray, FINISH (any powder coated standard custom color, available)

ORDERING:

DATE	PROJECT	TYPE	QUANTITY

RATINGS & CERTIFICATION:

UL Listed, ETL Listed, Made in the USA

Lighting Certification: 1000001102

UL Listed, ETL Listed, Made in the USA

Lighting Certification: 1000001102

UL Listed, ETL Listed, Made in the USA

Lighting Certification: 1000001102

landscapeforms
LT-1

IMAGE SHOWN FOR REFERENCE ONLY - REPLACE LIGHT FIXTURES ALONG ROSEMARY STREET IN-KIND

landscapeforms
LT-3

PRECAST PARKING DECK STRUCTURE

1 N/S SECTION AT RETAIL PORCH

1" = 1/4"

SCALE 1" = 8'-0"

Perkins & Will

Logan Tower
1111 Chestnut Street, Suite 200
Denver, CO 80202
PH: 303.733.2000
www.perkinswill.com

CONSULTANTS

IN ARCHITECTURE
BALENTINE ASSOCIATES P.A.
221 Providence Road, Charlotte, NC 27514

IN MEP
6750 Tryon Road, Cary, NC 27513

IN CIVIL
6750 Tryon Road, Cary, NC 27513

IN ELECTRICAL
PERKINS & WILL
1111 Chestnut Street, Suite 200, Denver, CO 80202

OWNER
GRUBBS PROPERTIES
401 Park Road, Suite 400, Charlotte, NC 27804

CONTRACTOR
SMIT Corporation
5420 Webb Park Boulevard, Suite 100, Raleigh, NC 27617

PROJECT

PROJECT LOGO AVAILABLE

126 E ROSEMARY ST PARKING DECK

CLIENT LOGO AVAILABLE

KEYPLAN

ISSUE SHEET

DATE: 10/20/20

Job Number: []

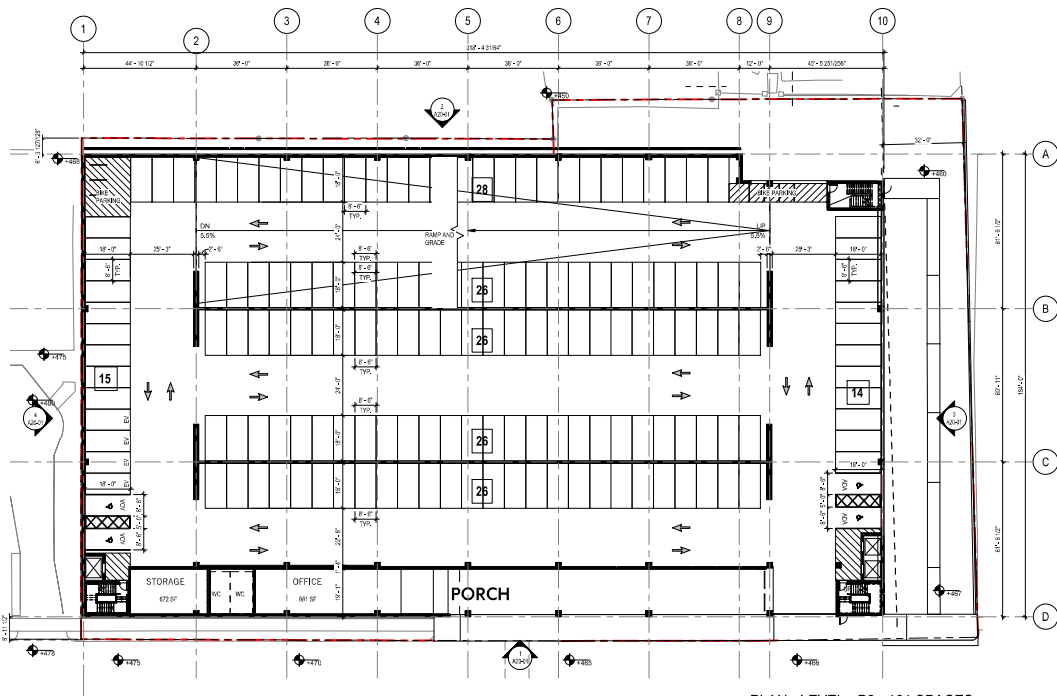
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Approved: []

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SITE DETAILS

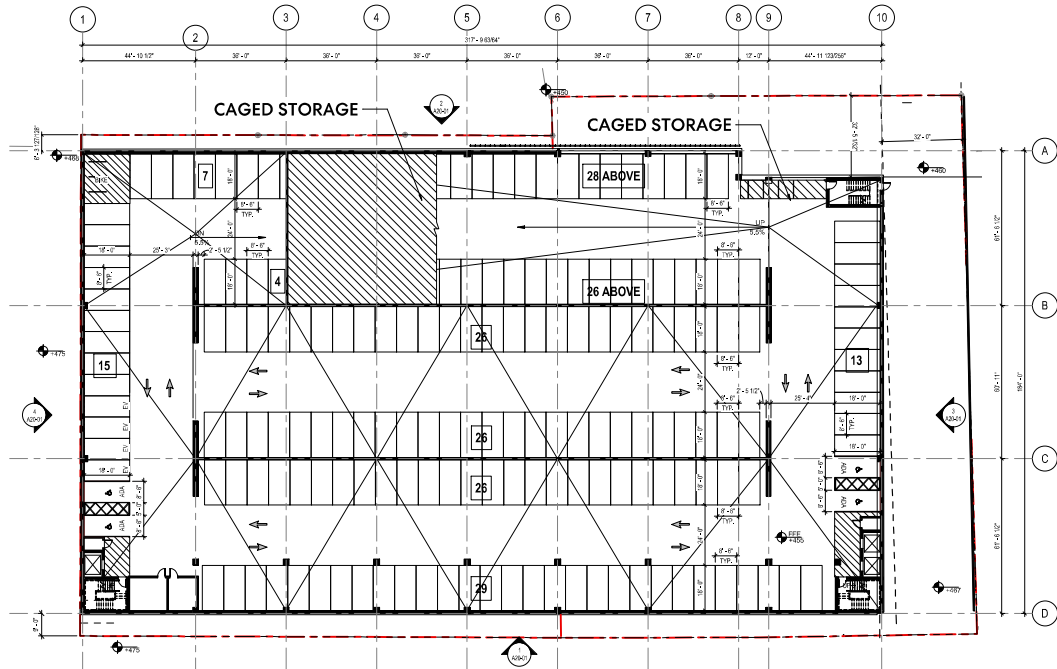
L01-02

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2 PLAN - LEVEL - P2 - 161 SPACES
1" = 20'-0"

P2 PARKING SCHEDULE		
Level	Parking Type	Number
P2	ACCESSIBLE SPACE (STD)	6
P2	ACCESSIBLE SPACE (VMS)	0
P2	ELECTRIC VEHICLE	1
P2	STANDARD SPACE	154
P2	TOTAL	161



1 PLAN - LEVEL - P1 - 146 SPACES
1" = 20'-0"

P1 PARKING SCHEDULE		
Level	Parking Type	Number
P1	ACCESSIBLE SPACE (STD)	6
P1	ACCESSIBLE SPACE (VMS)	0
P1	ELECTRIC VEHICLE	1
P1	STANDARD SPACE	139
P1	TOTAL	146

OVERALL PARKING TOTAL: 147 SPACES

Perkins&Will

Logo: Tower
 411 W. Chapel St. Ste. 200
 Durham, North Carolina 27601
 919.487.2300
 919.487.2304
 919.487.2305

CONSULTANTS

IAAC
 BALLENTINE ASSOCIATES, P.A.
 221 Providence Road, Chapel Hill, NC 27514

STRUCTURAL
 NYS
 6750 Tryon Road, Cary, NC 27513

MEP
 NYS
 6750 Tryon Road, Cary, NC 27513

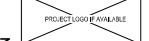
INTERIOR
 PERKINS & WILL
 411 W. Chapel Hill St. Suite 200, Durham, NC
 27601

OWNER
 GRUBB PROPERTIES
 4001 Park Road Suite 400, Charlotte, NC
 28209

CONTRACTOR
 SAUET Corporation
 5322 Webb Park Boulevard Suite 101, Raleigh,
 NC 27617

NOTE: DOCUMENTS ARE
 INCOMPLETE AND MAY NOT BE
 USED FOR PERMITTING OR
 APPROVAL, REPERMITS, OR
 CONSTRUCTION PURPOSES.

PROJECT



126 E ROSEMARY ST
 PARKING DECK



KEYPLAN

ISSUE CHART

DATE	BY	REVISION

Job Number: _____ Author: _____
 Drawn: _____ Checker: _____
 Checked: _____ Approver: _____
 Approved: _____

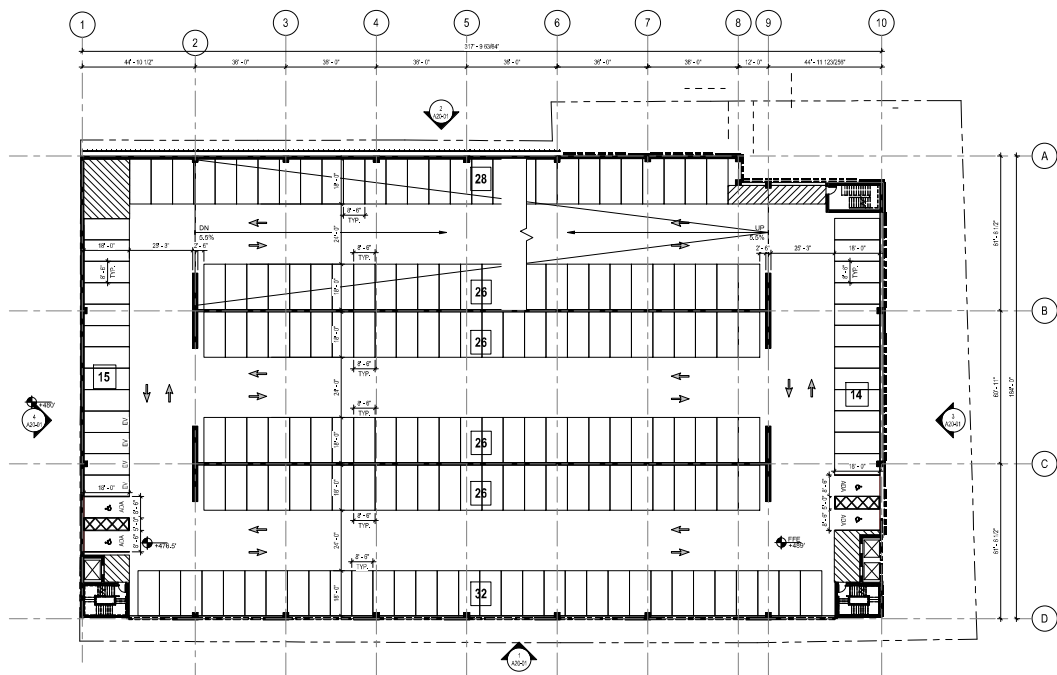
TITLE

OVERALL FLOOR
 PLAN - P1 - P2

SHEET NUMBER

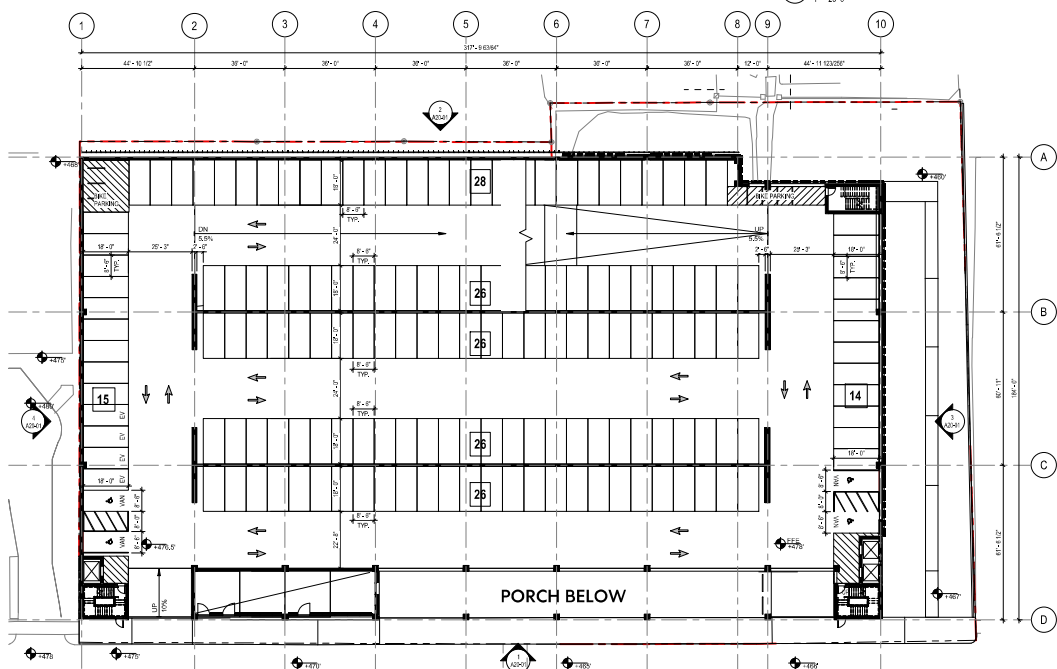
A10-01

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② LEVEL P4 - 193 SPACES
1" = 20'-0"

P4 PARKING SCHEDULE		
Level	Parking Type	Number
P4	ACCESSIBLE SPACE (STD)	4
P4	ACCESSIBLE SPACE (VAN)	0
P4	ELECTRIC VEHICLE	0
P4	STANDARD SPACE	189
	TOTAL	193



① LEVEL P3 - 165 SPACES
1" = 20'-0"

P3 PARKING SCHEDULE		
Level	Parking Type	Number
P3	ACCESSIBLE SPACE (STD)	0
P3	ACCESSIBLE SPACE (VAN)	1
P3	ELECTRIC VEHICLE	4
P3	STANDARD SPACE	157
	TOTAL	162

Perkins&Will

LEGOY Tower
411 W. Chapel Hill Street, Suite 200
Durham, North Carolina 27701
1.919.435.3330
1.919.435.3334
perkinsandwill.com

CONSULTANTS

HAAS
BALLETINNE ASSOCIATES P.A.
221 Providence Road, Chapel Hill, NC 27514

STRUCTURAL
HKS
6750 Tryon Road, Cary, NC 27513

MEP
HKS
6750 Tryon Road, Cary, NC 27513

INTERIOR
PERKINS & WILL
411 W. Chapel Hill Street, Suite 200, Durham, NC 27701

OWNER
GRUBB PROPERTIES
4601 Park Road Suite 400, Charlotte, NC 28209

CONTRACTOR
SAUJET Corporation
5322 Webb Park Boulevard Suite 100, Raleigh, NC 27607

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PROJECT

PROJECT LOGO AVAILABLE

**126 E ROSEMARY ST
PARKING DECK**

CLIENT LOGO AVAILABLE

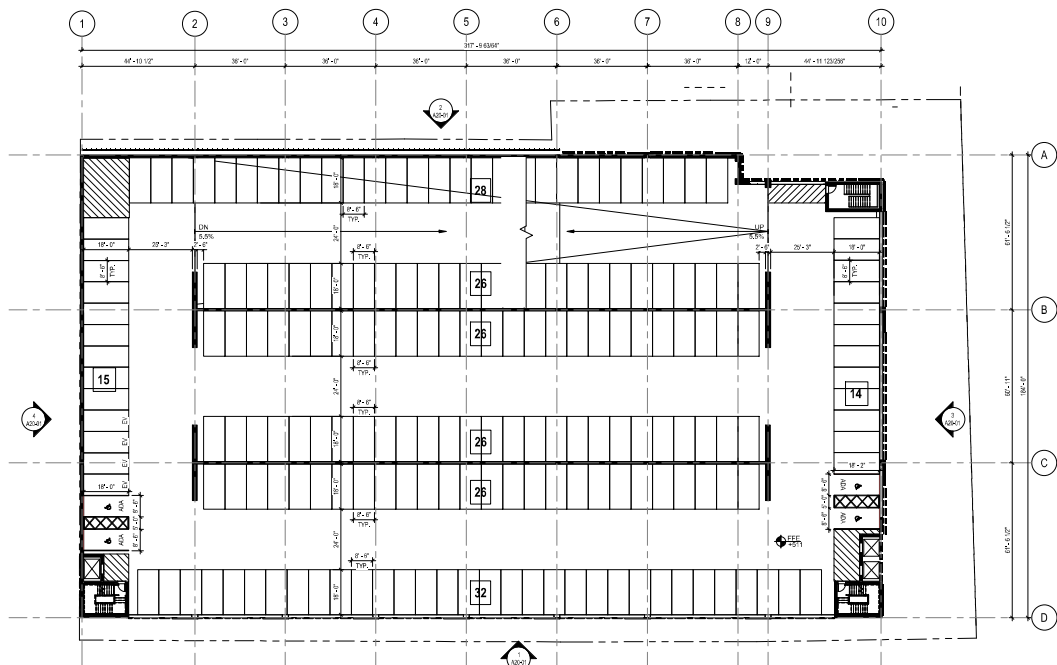
KEYPLAN

ISSUE CHART

DATE	BY	REVISION

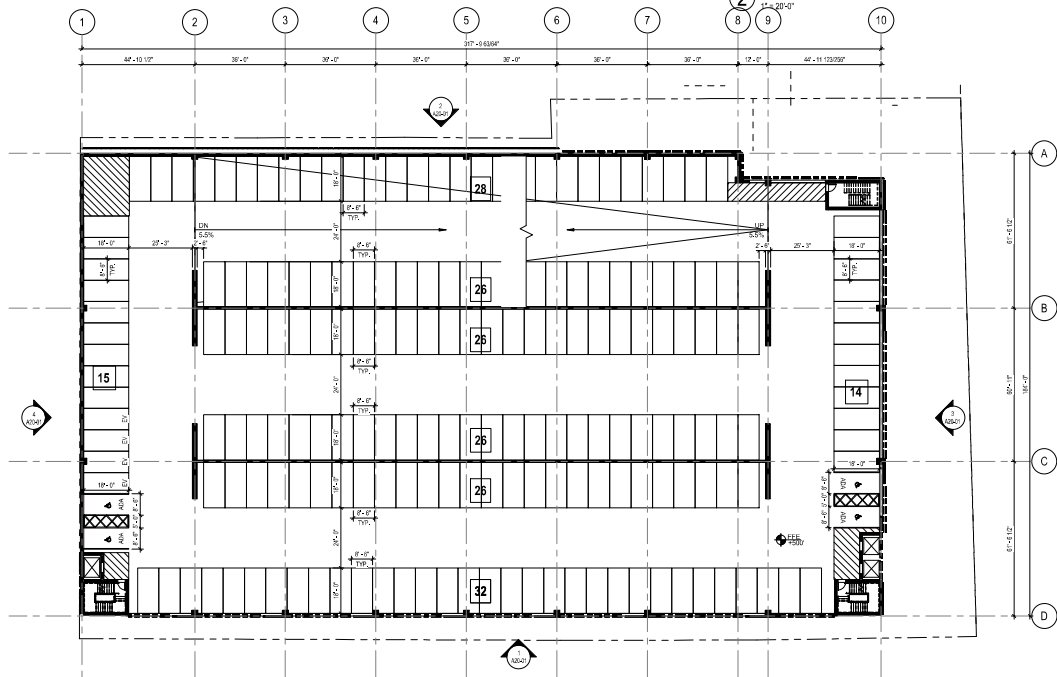
TITLE
OVERALL FLOOR PLAN - P3 - P4

SHEET NUMBER
A10-02



P6 PARKING SCHEDULE		
Level	Parking Type	Number
P6	ACCESSIBLE SPACE (STD)	0
P6	ACCESSIBLE SPACE (VAN)	0
P6	ELECTRIC VEHICLES	0
P6	BICYCLES SPACE	0
P6	TOTAL	0

2 LEVEL P6 - 193 PACES



P5 PARKING SCHEDULE		
Level	Parking Type	Number
P5	ACCESSIBLE SPACE (STD)	0
P5	ACCESSIBLE SPACE (VAN)	0
P5	ELECTRIC VEHICLES	0
P5	BICYCLES SPACE	0
P5	TOTAL	0

1 LEVEL P5 - 193 SPACES

Perkins&Will

Logo Tower
 411 W. Chapel Hill Street, Suite 200
 Durham, North Carolina 27701
 1-919-453-3300
 919-453-3300
 919-453-3300

CONSULTANTS

ARCHITECT
 BALLANTINE ASSOCIATES P.A.
 221 Providence Road, Chapel Hill, NC 27514

STRUCTURAL
 NYS
 6750 Tryon Road, Cary, NC 27513

MEP
 NYS
 6750 Tryon Road, Cary, NC 27513

LANDSCAPE ARCHITECT
 PERKINS+WILL
 411 W. Chapel Hill Street, Suite 200, Durham, NC 27701

OWNER
 GRUBB PROPERTIES
 4001 Park Road Suite 400, Charlotte, NC 28209

CONTRACTOR
 SAUET Corporation
 5327 Webb Park Boulevard Suite 100, Raleigh, NC 27617

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PROJECT

PROJECT LOGO AVAILABLE

126 E ROSEMARY ST
 PARKING DECK

CLIENT LOGO AVAILABLE

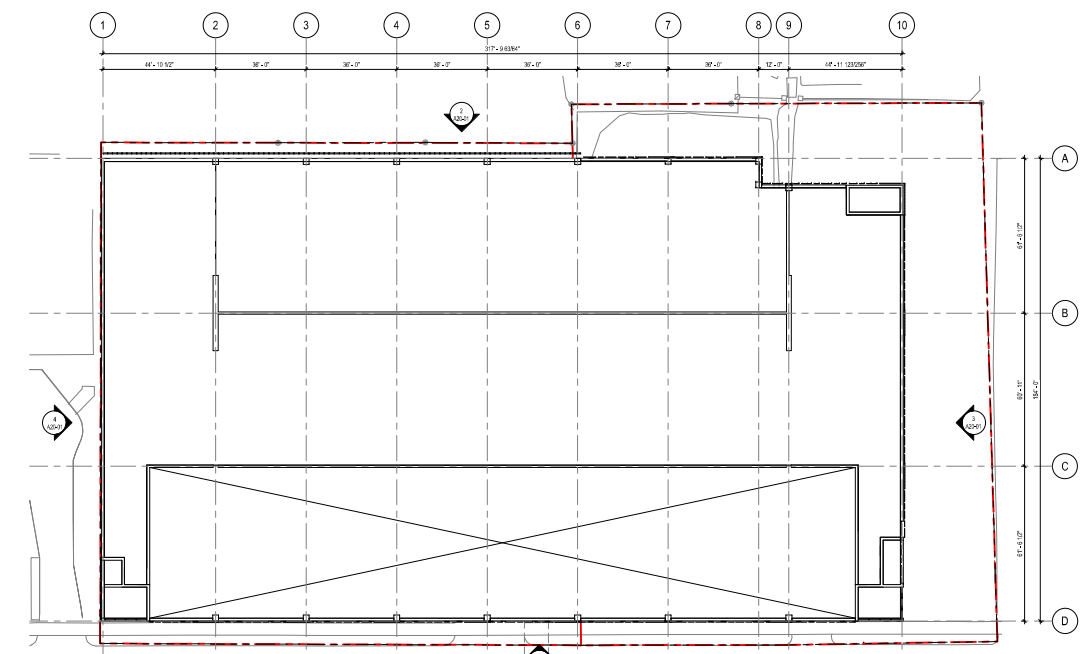
KEYPLAN

ISSUE CHART

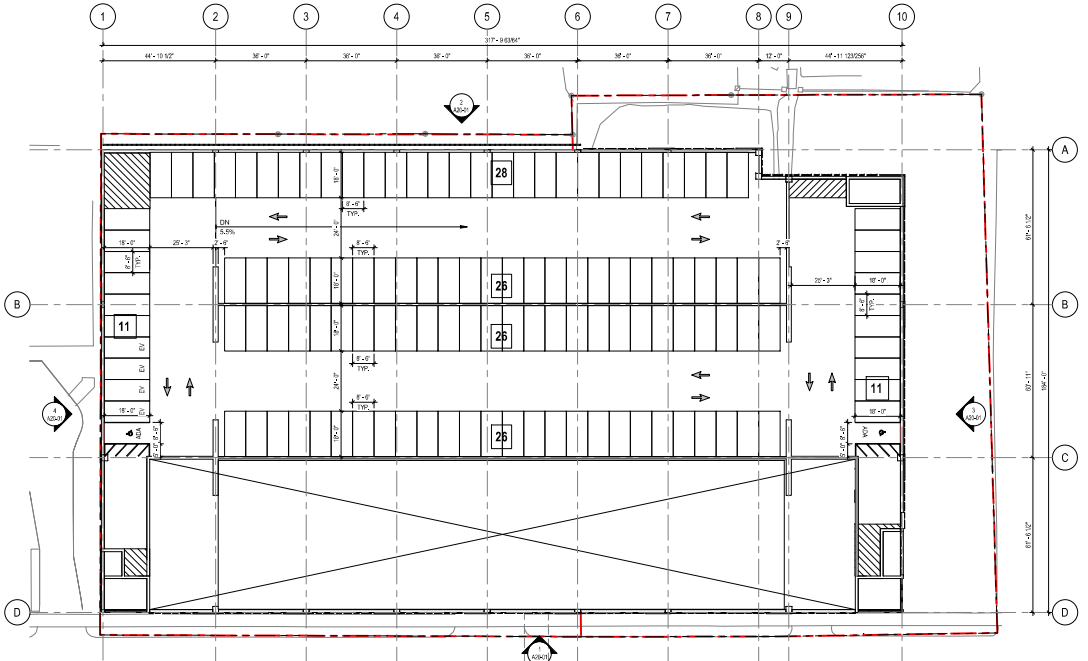
DATE	BY	REVISION

TITLE
 OVERALL FLOOR PLAN - P5 - P6

SHEET NUMBER
 A10-03



2 LEVEL - ROOF
1" = 20'-0"



1 LEVEL - P7 - 128 SPACES
1" = 20'-0"

P7 PARKING SCHEDULE		
Level	Parking Type	Number
P1	ACCESSIBLE SPACE (STD)	4
P1	ACCESSIBLE SPACE (VAN)	5
P1	ELECTRIC CHARGE	4
P1	STANDARD SPACE	30
	TOTAL	43

Perkins&Will

Logo: Tower
411 W. Chapel Hill Street, Suite 200
Durham, North Carolina 27701
1.919.453.3333
P.919.453.3334
F.919.453.3335

CONSULTANTS

ARCHITECT
BALLANTINE ASSOCIATES, P.A.
221 Providence Road, Chapel Hill, NC 27514

STRUCTURAL
NYS
6750 Tryon Road, Cary, NC 27513

MEP
NYS
6750 Tryon Road, Cary, NC 27513

INTERIOR
PERKINS & WILL
411 W. Chapel Hill Street, Suite 200, Durham, NC 27701

OWNER

GRUBB PROPERTIES
4901 Park Road Suite 400, Charlotte, NC 28209

CONTRACTOR

SAUET Corporation
5322 Webb Park Boulevard Suite 100, Raleigh, NC 27617

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PROJECT

PROJECT LOGO AVAILABLE

126 E ROSEMARY ST
PARKING DECK

CLIENT LOGO AVAILABLE

KEYPLAN

ISSUE CHART

DATE	BY	REVISION

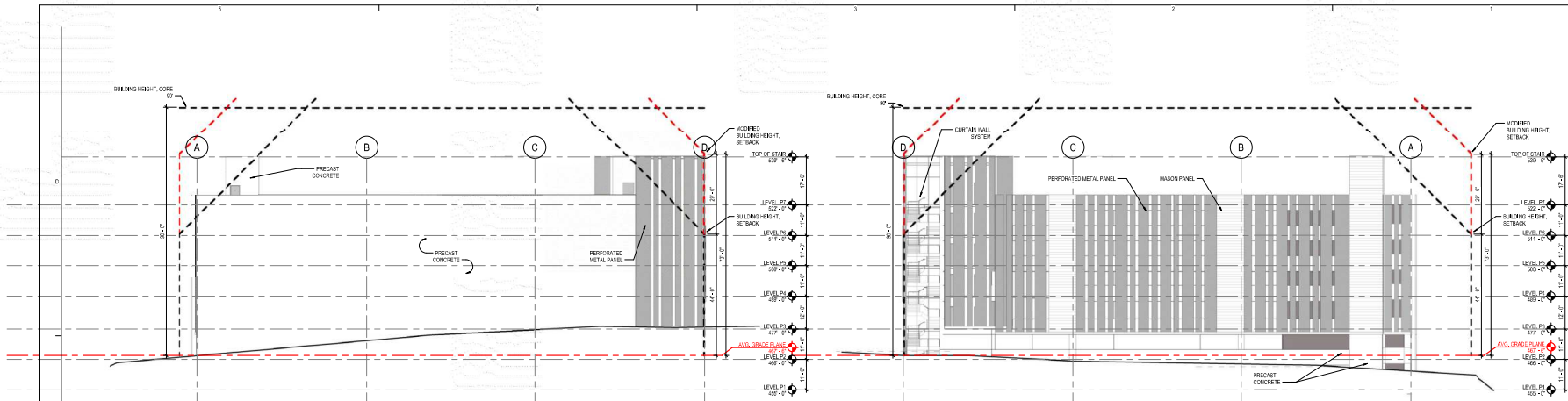
Job Number: _____ Author: _____
 Drawn: _____ Checker: _____
 Checked: _____ Approver: _____

TITLE

OVERALL FLOOR PLAN - P7 - ROOF

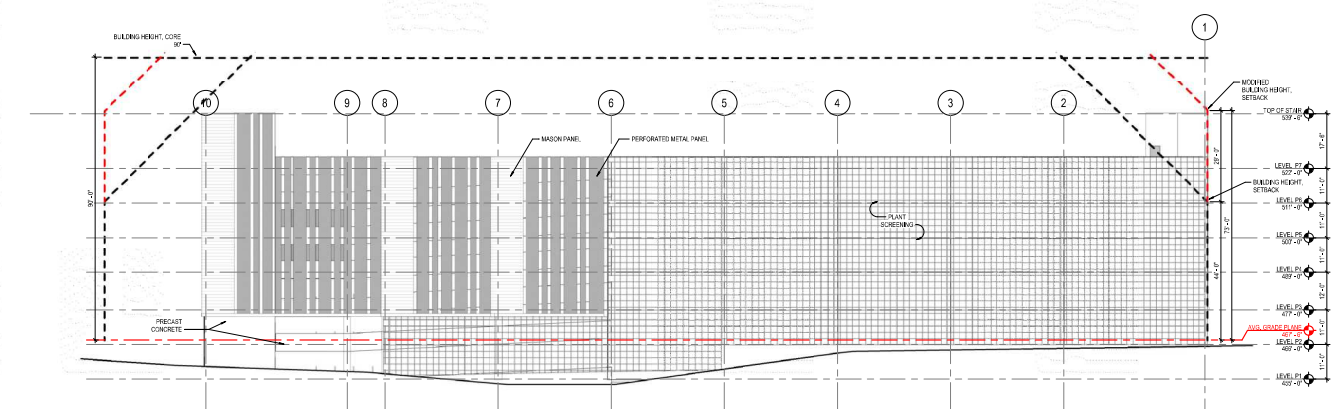
SHEET NUMBER

A10-04



④ ELEVATION - WEST
1/16" = 1'-0"

③ ELEVATION - EAST
1/16" = 1'-0"



② ELEVATION - NORTH
1/16" = 1'-0"



① ELEVATION - SOUTH
1/16" = 1'-0"

Perkins&Will

Logo Tower
411 W. Chapel Hill Street, Suite 200
Durham, North Carolina 27701
1.919.653.3300
PERKINS&WILL.COM

CONSULTANTS

IAAI
BALLENTINE ASSOCIATES P.A.
221 Providence Road, Chapel Hill, NC 27514

STRUCTURAL
HKS
6750 Tryon Road, Cary, NC 27513

M/S
6760 Tryon Road, Cary, NC 27513

MECHANICAL
PERKINS & WILL
411 W. Chapel Hill Street, Suite 200, Durham, NC 27701

OWNER

GRUBBS PROPERTIES
4601 Park Road, Suite 400, Charlotte, NC 28209

CONTRACTOR

SAUET Corporation
5327 Webb Park Boulevard, Suite 100, Raleigh, NC 27617

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PROJECT

PROJECT LOGO IS AVAILABLE

**126 E ROSEMARY ST
PARKING DECK**

CLIENT LOGO IS AVAILABLE

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ISSUE CHART

DATE	BY	REVISION

TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A20-01

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SUMMARY OF A CONCEPT PLAN REVIEW
125 East Rosemary-Parking Structure
COMMUNITY DESIGN COMMISSION

April 2nd, 2020

The Community Design Commission conducted a concept plan review for 125 East Rosemary Parking Structure at a virtual meeting on April 2nd, 2020. The project proposes a new parking structure replace the current parking deck and gravel lots. Key points made by members of the Commission about the concept plan are listed below.

- Multiple commissioners expressed the desire for the applicant to provide more information on the surrounding site context and how the project relates to it.
- Multiple commissioners were concerned that the Commission was asked to review only a portion of the overall project in piecemeal fashion. One member stated a concern that the design of the lab/office building is informing the design of the parking deck.
- Multiple commissioners encouraged the applicant to provide maps of the local and National Register historic districts and to review the historic district standards and how those could shape the design of the proposed structure. The impact of the project on the local and National Register districts is a concern.
- Multiple commissioners were concerned about the building height, massing, and footprint, and its effect on the adjoining residential neighborhoods of North Street and Cobb Terrace. A solid north-facing wall was a concern. In addition, the sheer size of the 320-foot façade along Rosemary Street will have a very substantial impact and does not provide a human scale environment. More information needs to be provided about the height of the building as seen from adjoining residential areas.
- Multiple commissioners expressed the desire to see more underground parking to reduce the footprint and height of the building
- Multiple commissioners wanted to see additional building articulation, asymmetry, and detailing in the façade, both vertical and in the elevation plans, to create interest and break up the mass of the long facade. Multiple commissioners supported the applicant reviewing the skin of the structure to add some play to the façade.
- Multiple commissioners expressed a desire to see public art included in the project. Members wondered how the existing murals might be protected. A member asked if there a way to make sure there would be a mural on the west wall facing Columbia Street.

SUMMARY OF A CONCEPT PLAN REVIEW
125 East Rosemary-Parking Structure
COMMUNITY DESIGN COMMISSION

- Multiple commissioners were intrigued about the idea of a pop-up retail porch but were concerned the potential for it being 'dead' space. Commissioners suggested a need for active programming of the space.
- Commissioners also noted the design of the pop-up space needed more attention, particularly the view of the car ramp on the inside wall, and the need to mitigate heat from the south-facing orientation. The space needed to be welcoming, inviting, and broken up into smaller spaces.
- Multiple commissioners wanted to see more greenery on and around the structure. They supported the idea of green trellises on both the front and rear of the deck. A commissioner mentioned reviewing and keeping trees of value on site.
- Multiple commissioners felt the project would not create a pedestrian-oriented environment along Rosemary Street.
- Multiple commissioners supported addressing the need for additional parking downtown.
- Two commissioners referenced the Green Square parking structure in Raleigh as a good example of interesting architecture that could be used here to break up the facade.
- One commissioner was concerned that the 90-foot high corner pedestrian ingress/egress towers at the edges of the project negatively impact the North Street neighborhood and would direct foot traffic away from the retail porch. A pedestrian access should be placed in the middle of the site.
- A commissioner suggested using a step back provision like that in the Northside Conservation District on West Rosemary Street as a guide to designing the how the deck interfaces with the adjacent residential neighborhood on North Street.
- One commissioner expressed a desire to keep a pedestrian bridge over Rosemary Street; another commissioner expressed a desire to remove the current pedestrian bridge that exist over Rosemary Street so that there would be more foot traffic at the street level.
- One commissioner recommended that there be adequate opportunities for additional public comment on this project to engage the community.

SUMMARY OF A CONCEPT PLAN REVIEW
125 East Rosemary-Parking Structure
COMMUNITY DESIGN COMMISSION

- One commissioner supported the placement of PV solar arrays on the roof and the reduction in impervious surface.
- One commissioner supported replacing the current structure with a like use.
- One commissioner suggested a taller façade on Rosemary, with a lower façade on the north side facing the residential neighborhood.
- One commissioner felt the deck design was being influenced by the current 136 Rosemary building, and questioned that direction.
- One member requested a breakdown of the components of the 1100 parking spaces, and wanted to learn how that number was determined.
- One commissioner expressed the belief that the Wallace Deck did a great job of engaging the pedestrian, and its scale and articulation would be useful to study for this project.
- One commissioner suggested the sketch provided of the future view from the Porthole Alley as the grand entrance to downtown for visitors is an important piece of the overall context.