



S:\PROJECTS\2021\21071316 BRONCO CAPITAL COO CHAPEL HILL ECONOMIC DEVELOPMENT\20210805\20210805.DWG - 10/17/2021 10:28 AM

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### PROJECT DATA NORTH SIDE:

TOTAL SURVEYED AREA: 283,779 SF / 6.51 AC

LAND USE:  
 EXISTING: SINGLE FAMILY RESIDENTIAL  
 PROPOSED: MULTI-FAMILY RESIDENTIAL

ZONING:  
 PROPOSED: R-1 REZONED TO R-6-CZD  
 EXISTING BUILDINGS: 2,727 SF IN FOUR ONE STORY BUILDINGS TO BE REMOVED

PROPOSED BUILDINGS:  
 MULTI-FAMILY RESIDENTIAL +/- 40,250 SF FOOTPRINT (UP TO 192,000 SF TOTAL)

UNIT SIZES:  
 136-160 UNITS TOTAL  
 20% EFFICIENCIES, 50% 1-BEDROOM, 30% 2-BEDROOM

BUILDING HEIGHT: 4 STORIES OVER LOWER LEVEL PARKING ACCESSED FROM NORTH DRIVEWAY

MAXIMUM BLDG HEIGHT SETBACK: 39'-44"  
 PROPOSED BLDG HEIGHT SETBACK: 0 (NO BUILDING AT THE SETBACK LINE)

MAXIMUM BLDG HEIGHT CORE: 60'  
 PROPOSED BLDG HEIGHT CORE: 55.37'

MAX BLDG HEIGHT AT BUILDING FACADE: 48.5' - 60' HT  
 PROPOSED BLDG HEIGHT AT FACADE: 55.37' (MODIFICATION REQUEST)

PROPOSED USES:  
 29-35 STUDIO APARTMENTS  
 70-80 1-BDRM APARTMENTS  
 29-35 2-BDRM APARTMENTS  
 132-160 UNITS TOTAL

VEHICULAR PARKING:  
 REQUIRED: 1.0-1.25 SPACES PER EFFICIENCY = 29-43 SPACES  
 1.0-1.25 SPACES PER 1-BEDROOM = 70-88 SPACES  
 1.4-1.75 SPACES PER 2-BEDROOM = 41-61 SPACES

MINIMUM PARKING: 140 SPACES  
 MAXIMUM PARKING: 192 SPACES

PROPOSED: 192 SPACES ON SITE INCLUDING:  
 4 SURFACE ADA SPACES  
 154 SURFACE STANDARD SPACES  
 2 UNDERGROUND ADA SPACES  
 38 UNDERGROUND STANDARD SPACES

BICYCLE PARKING:  
 REQUIRED: 34-40 (1 PER 4 DWELLING UNITS = 148 / 4)  
 4 SPACES (10%) SHORT TERM  
 31 SPACES (90%) LONG TERM

PROPOSED: 4 SPACES (2 LOOPS) IN ENTRY PLAZA  
 36 SPACES IN BUILDING

IMPERVIOUS SURFACE:  
 EXISTING: 6,578 SF / 0.15 AC (2.3%)  
 PROPOSED: 127,343 SF / 2.92 AC (45%)

### PROJECT DATA SOUTH SIDE:

TOTAL SURVEYED AREA: 426,215 SF / 9.78 AC

LAND USE:  
 EXISTING: SINGLE FAMILY RESIDENTIAL  
 PROPOSED: MULTI-FAMILY RESIDENTIAL, SINGLE FAMILY RESIDENTIAL, RETAIL

ZONING:  
 PROPOSED: R-1 REZONED TO MU-V-CZD

EXISTING BUILDINGS: 12,973 SF IN THIRTEEN ONE STORY BUILDINGS TO BE REMOVED

PROPOSED BUILDINGS:  
 UP TO 556,000 SF  
 RESIDENTIAL: 286-416 UNITS  
 COMMUNITY SPACE: 5,000 -10,000 SF  
 OFFICE: 4,000 - 5,000 SF  
 FLEX COMMERCIAL/RETAIL/REST: 6,000 - 7,000 SF  
 COMMERCIAL RECREATION: 3,000-4,000 SF

BUILDING HEIGHT: MULTI FAMILY - 7 STORIES (4 RESID OVER 3 PARKING)  
 MULTI FAMILY - 4 STORIES  
 TOWNHOMES - 3- AND 4- STORY  
 SINGLE FAMILY HOMES - 2 STORY

POPE ROAD BUILDING HEIGHT: 74'  
 MAXIMUM BLDG HEIGHT SETBACK (PROPERTY LINE): 70'  
 PROPOSED BLDG HEIGHT SETBACK (PROPERTY LINE): 74' (MODIFICATION REQUEST)

MAXIMUM BLDG HEIGHT CORE: 114'  
 PROPOSED BLDG HEIGHT CORE: 83'

PROPOSED USES:  
 240-325 RENTAL UNITS - MID RISE AND WAREHOUSE STYLE APARTMENTS  
 17-32 FOR-SALE COTTAGES  
 12-36 FOR-SALE ROWHOUSE TOWNHOMES  
 17-23 FOR-SALE TOWNHOMES WITH MAIN FLOOR FLEX SPACE/ADU  
 15,000-26,000 SF NON RESIDENTIAL USES - COMMERCIAL, RETAIL, RECREATION, COMMUNITY

PROPOSED UNIT MIX  
 78 - 104 STUDIO UNITS - RENTAL AND CONDO  
 100 - 137 1-BDRM UNITS - RENTAL AND CONDO  
 74 - 120 2-BDRM UNITS - RENTAL AND TOWNHOME  
 34 - 55 3-BDRM UNITS - RENTAL, TOWNHOME AND COTTAGE  
 286-416 UNITS

VEHICULAR PARKING:  
 REQUIRED: 1.0-1.25 SPACES PER EFFICIENCY = 78 - 130 SPACES  
 1.0-1.25 SPACES PER 1-BEDROOM = 100 - 171 SPACES  
 1.4-1.75 SPACES PER 2-BEDROOM = 104 - 210 SPACES  
 1.75-2.25 SPACES PER 3-BEDROOM = 60 - 124 SPACES  
 RETAIL SPACE: 1 SPACE PER 200-300 SF = 20 - 35 SPACES  
 OFFICE: 1 SPACE PER 250-350 SF = 11 - 20 SPACES  
 RECREATION: 1 SPACE PER 250-375 SF = 9 - 16 SPACES

MINIMUM PARKING: 382 SPACES  
 MAXIMUM PARKING: 706 SPACES

PROPOSED: 695 SPACES ON SITE INCLUDING:  
 UP TO 560 SPACES IN STRUCTURED PARKING  
 45 SPACES IN TOWNHOME TUCK UNDER PARKING  
 21 SPACES AT INDIVIDUAL COTTAGES  
 48 SPACES IN SMALL LOTS ADJACENT TO HOUSING  
 21 SPACES ON MAIN STREET

BICYCLE PARKING:  
 REQUIRED: 72 - 104 (1 PER 4 DWELLING UNITS)  
 8-10 SPACES (10%) SHORT TERM  
 64 - 94 SPACES (90%) LONG TERM

PROPOSED: BICYCLE PARKING WILL EXCEED REQUIREMENTS - BICYCLE PARKING WILL BE LOCATED NEAR BUILDINGS, NEAR GREEN SPACE, WITHIN STRUCTURED PARKING DECK AND IN INDIVIDUAL HOMES AND TOWNHOMES

IMPERVIOUS SURFACE:  
 EXISTING: 52,185 SF / 1.20 AC (12.2%)  
 PROPOSED: 299,170 SF / 6.87 AC (68%)

### RESOURCE CONSERVATION NOTES

STREAM BUFFERS:  
 THERE IS AN INTERMITTENT STREAM ON SITE, SHOWN WITH 50' RCD ON PLANS.

FLOODPLAIN PROTECTION:  
 THE SITE IS NOT IN AN AREA AFFECTED BY A MAPPED FLOODPLAIN ACCORDING TO FIRM MAP 3720070900K EFFECTIVE 10-19-18.

STEEP SLOPE PROTECTION:  
 THERE ARE 2,173 SF OF STEEP SLOPES ON SITE - ALL ARE CONSTRUCTED (NOT NATURAL) SLOPES

WETLANDS:  
 THERE ARE NO MAPPED WETLANDS ONSITE.

### PROJECT NOTES

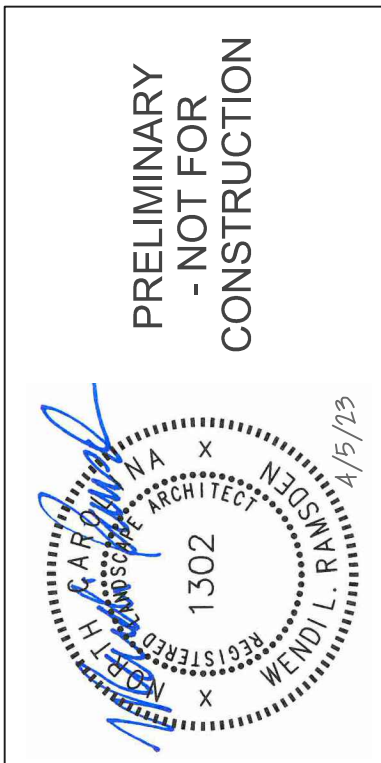
BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY CJT, PA DATED AUGUST 19, 2019 AND OCTOBER 22, 2022

SURROUNDING SITE AND PROPERTY INFORMATION PER CHAPEL HILL GIS AND DURHAM CO GIS

### TOWN OF CHAPEL HILL NOTES

- A FIRE FLOW REPORT SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND APPROVAL PRIOR TO ISSUANCE OF A ZCP.
- P.E. CERTIFICATION: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY FOR ANY PHASE, THE APPLICANT SHALL PROVIDE A CERTIFICATION, SIGNED AND SEALED BY A NORTH CAROLINA-LICENSED PROFESSIONAL ENGINEER, THAT THE STORMWATER MANAGEMENT FACILITY IS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- AS-BUILT PLANS: PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY, THE APPLICANT SHALL PROVIDE CERTIFIED AS-BUILT PLANS FOR BUILDING FOOTPRINTS, PARKING LOTS, STREET IMPROVEMENTS, STORM DRAINAGE SYSTEMS AND STORMWATER MANAGEMENT STRUCTURES, AND ALL OTHER IMPERVIOUS SURFACES, AND A TALLY OF THE CONSTRUCTED IMPERVIOUS AREA. THE AS-BUILT PLANS SHOULD BE IN DXF BINARY FORMAT USING STATE PLANE COORDINATES AND NAVD 88.

LEGEND		
Water Valve	☒	Utility Pole
Yard Inlet	☒	Guy Wire
Curb Inlet/Catch Basin	☒	Light Pole
Mail Box	MB	Sewer Cleanout
Traffic Signal Box	TSB	Flored End Section
Electric Transformer	ET	Gas Valve
Electric Junction Box	EJ	Existing Iron Pipe (3/4" unless noted)
Gas Meter	GM	1/2" Rebar
Sanitary Sewer Manhole	SSM	1/2" Iron Pipe Set
Storm Sewer Manhole	SSM	Existing PK Nail
Telephone Manhole	TM	PK Nail Set
Electric Manhole	EM	Computed Point
Sign	S	Concrete Monument
Telephone Pedestal	TEL	Tree Line
Fire Hydrant	FH	Fence
Fire Department Connection	FDC	Underground Electric
Post Indicator Valve	PV	Underground Telephone
Water Meter	WM	Gas Line
Hot Box	HB	Water Line
		Overhead Utilities
		Storm Sewer
		Sanitary Sewer



NO.	REVISIONS	DATE	BY
1	TOWN COMMENTS	4/5/23	T&H

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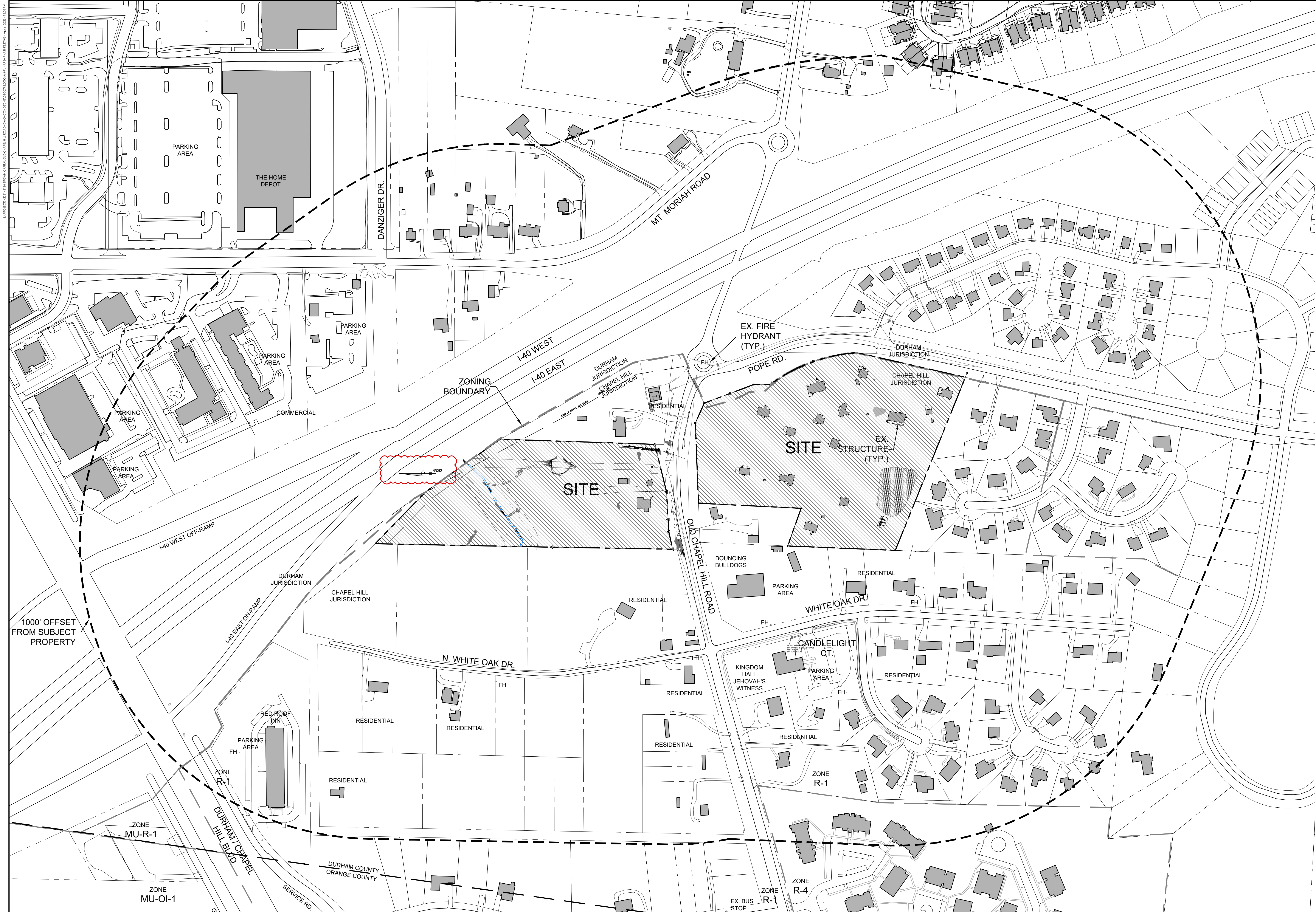
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 CHAPEL HILL, NC

CHAPEL HILL CROSSINGS

SHEET INDEX - GENERAL NOTES

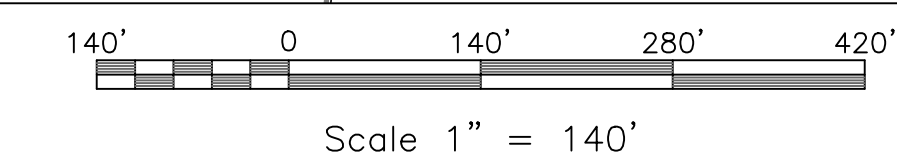
JOB NO:	J-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	

**G0.1**



EB CAPITAL PARTNERS  
 111 WEST MAIN STREET  
 DURHAM, NC 27701  
 TEL: 919.682.0368  
 WWW.THOMASANDHUTTON.COM

**1** AREA MAP  
 C0.1 SCALE: 1" = 140'



PRELIMINARY  
 -NOT FOR  
 CONSTRUCTION

NO.	REVISIONS	DATE
1	TOWN COMMENTS	4/19/23

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**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 AREA MAP

JOB NO.	30792
DATE	2/10/23
DRAWN	WLR, AMO, MTC
DESIGNED	WLR, AMO
APPROVED	WLR, AMO
SCALE	1" = 140'

C0.1

PHASES ARE LABELED FOR REFERENCE AND PHASE LABELS ARE NOT INDICATIVE OF SEQUENCE FOR PERMITTING OR CONSTRUCTION. PHASES WILL APPLY FOR AND RECEIVE BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY IN ANY ORDER.

**PHASE A:** WILL BE PERMITTED SEPARATELY

A SINGLE MULT-FAMILY BUILDING, WITH UNDER-BUILDING PARKING  
 136-160 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 CERTIFICATE OF OCCUPANCY WILL BE DEPENDENT ON :  
 - THE PROVISION OF AT LEAST 11,150 SF OF RECREATION SPACE BEING PROVIDED ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD  
 - INSTALLATION OF STORMWATER MITIGATION FACILITY TO TREAT THE ADDITIONAL IMPERVIOUS SURFACE ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD  
 - WIDENING OF SIDEWALK ON THE FRONTAGE ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD TO A 10' WIDE CONCRETE MULTI-MODAL TRAIL  
 - INSTALLATION OF SITE LANDSCAPING AS REQUIRED BY APPROVED CONDITIONAL ZONING FOR THE PARCELS ON THE NORTH SIDE OF OLD CHAPEL HILL ROAD  
 - INSTALLATION OF PAVED DRIVEWAY TO SATISFY NC FIRE CODE REQUIREMENTS

**PHASE B:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY

SINGLE FAMILY HOMES AND TOWNHOME CLUSTERS  
 20-30 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH STRUCTURE INDEPENDENT OF OTHERS IN THE PHASE  
 ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON :  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE.  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE WEST PROPERTY LINE ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

**PHASE C:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY

SINGLE FAMILY HOMES AND TOWNHOME CLUSTERS  
 20-30 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH STRUCTURE INDEPENDENT OF OTHERS IN THE PHASE  
 ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON :  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE.  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE ADJACENT POPE ROAD FRONTAGE AND ALONG THE SOUTH PROPERTY LINE ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

**PHASE D:** SINGLE MULTI-FAMILY AND MIXED USE BUILDING WITH SINGLE PERMITS

30-40 RESIDENTIAL UNITS, 8,000-10,000 SF NON-RESIDENTIAL SPACE  
 ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IS DEPENDENT ON:  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS  
 - SUFFICIENT PARKING ON SITE TO MEET LUMO MINIMUM REQUIREMENTS

**PHASE E:** SINGLE MULTI-FAMILY AND MIXED USE BUILDING

215-270 RESIDENTIAL UNITS, 7,000-12,000 SF NON-RESIDENTIAL SPACE  
 THE ENTIRE PARKING DECK WILL BE COMPLETED IN THIS PHASE REGARDLESS OF AMOUNT OF PARKING REQUIRED ON THE WHOLE SITE AS OF THE REQUEST FOR CERTIFICATE OF OCCUPANCY. THE PARKING DECK NEEDS TO BE BUILT IN ONE PHASE BUT PROVIDES PARKING FOR MULTIPLE BUILDINGS WITHIN THE PROJECT.  
 ISSUANCE OF THE CERTIFICATE OF OCCUPANCY IS DEPENDENT ON:  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE POPE ROAD AND OLD CHAPEL HILL ROAD FRONTAGES ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

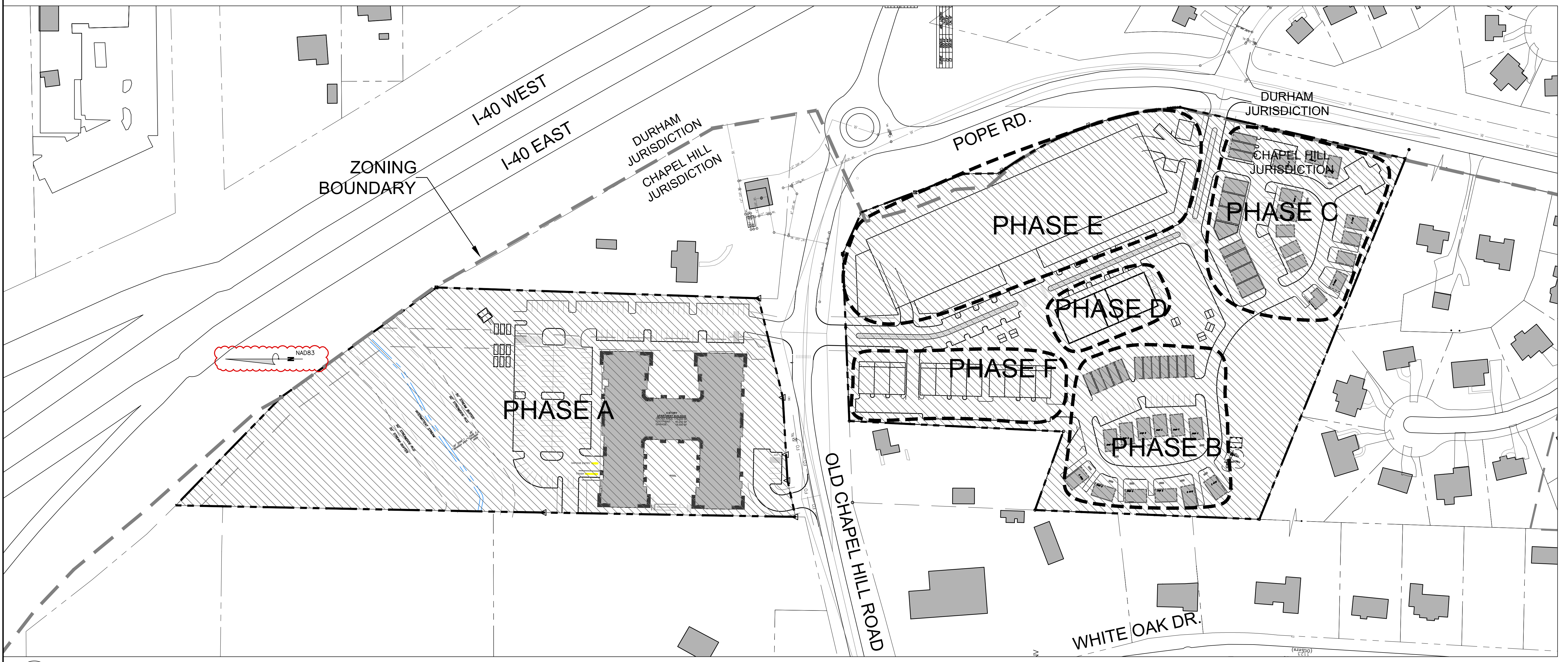
**PHASE F:** EACH STRUCTURE WILL BE PERMITTED SEPARATELY

TOWNHOME CLUSTERS  
 9-13 RESIDENTIAL UNITS  
 PARKING SPACE QUANTITY WILL COMPLY WITH LUMO REGULATIONS  
 BUILDING PERMITS AND CERTIFICATES OF OCCUPANCY WILL BE ISSUED FOR EACH BUILDING INDEPENDENT OF OTHERS IN THE PHASE  
 ISSUANCE OF FIRST CERTIFICATE OF OCCUPANCY IS DEPENDENT ON :  
 - THE INSTALLATION OF A STORM MITIGATION FACILITY SIZED TO TREAT ALL NEW PROPOSED IMPERVIOUS IN THIS PHASE.  
 - INSTALLATION OF LANDSCAPE BUFFER ALONG THE OLD CHAPEL HILL ROAD FRONTAGE ADJACENT TO THIS PHASE  
 - INSTALLATION OF PAVED DRIVEWAY ACCESS TO SATISFY NC FIRE CODE REQUIREMENTS

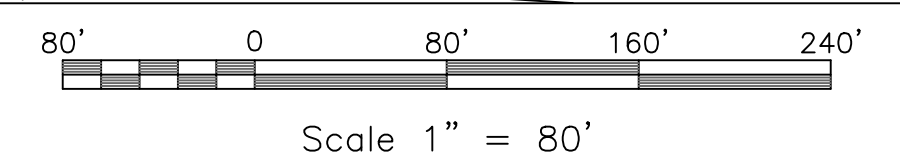
**TRIGGERS FOR COMMUNITY FACILITIES:**

- PRIOR TO CERTIFICATE OF OCCUPANCY FOR MULTI-FAMILY BUILDING NORTH SIDE OLD CHAPEL HILL ROAD:
  - ALL RECREATION FACILITIES LOCATED ON THAT PARCEL AS INDICATED IN THE APPROVED CONDITIONAL ZONING
- PRIOR TO FIRST CERTIFICATE OF OCCUPANCY ON SOUTH SIDE:
  - APPROPRIATE MAIL KIOSK OR MAIL DELIVERY OPTION
  - 1 DUMPSTER FACILITY OR ACCOMMODATION FOR ROLL-OUT CART PICKUP
- PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR 50th UNIT ON SOUTH SIDE (APPROX 15% OF TOTAL UNITS)
  - INSTALLATION OF PLAYGROUND EQUIPMENT
  - INSTALLATION OF COMMUNITY GAZEBO
- PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR 100th UNIT ON SOUTH SIDE (APPROXIMATELY 30% OF TOTAL UNITS)
  - CONSTRUCTION OF ONE THIRD OF THE REQUIRED BIKE STORAGE FACILITIES
  - COMPLETION OF AT LEAST 5,000 SF OF RECREATION SPACE
- PRIOR TO APPLICATION FOR CERTIFICATE OF OCCUPANCY FOR 200th UNIT ON SOUTH SIDE (APPROXIMATELY HALF OF TOTAL UNITS)
  - COMPLETION OF HALF THE COMMUNITY GREENSPACE

2 PHASING DETAIL  
 C0.2



1 PHASING PLAN  
 C0.2 SCALE: 1" = 80'



NO.	TOWN COMMENTS	DATE	BY
1		4/15/23	

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EB CAPITAL PARTNERS  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 PHASING PLAN

JOB NO: 230792  
 DATE: 2/10/23  
 DRAWN: WLR, AMO, MTC  
 DESIGNED: WLR, AMO  
 APPROVED: WLR, AMO  
 SCALE: 1" = 80'

**C0.2**

- ENSURE ALL EROSION CONTROL MEASURES ARE IN PLACE AND IN WORKING ORDER PRIOR TO THE START OF ANY DEMOLITION AND CONSTRUCTION.
- SEE SITE PLAN SHEET C-2.0 FOR LAYOUT DIMENSIONS OF EXTENT OF DEMOLISHED AREAS. PAVED AREAS NOT INDICATED TO BE DEMOLISHED, ARE TO REMAIN. ALL CONCRETE SAW CUTS ARE TO BE CLEAN, STRAIGHT AND NEAT.
- UTILITIES: SEE UTILITY PLAN C-5.0. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES FOR LOCATION, REMOVAL AND RELOCATION OF ANY UTILITIES. CONTRACTOR RESPONSIBLE FOR DETERMINING EXTENT AND LOCATION OF UTILITIES. THIS MAY INCLUDE CONTACTING "NO-CUTS" TO HELP LOCATE SOME UTILITIES.
- CONTRACTOR TO ADJUST ALL MANHOLES, VALVES, JUNCTION BOXES, CATCH BASINS, CLEAN-OUTS, ETC., AS NECESSARY TO ACCOMMODATE NEW LAYOUT AND GRADES.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ANY PERMITS FOR WORK IN THE NCDOT AND TOWN OF CHAPEL HILL RIGHTS OF WAY. ANY DAMAGED INFRASTRUCTURE IN THE RIGHT OF WAY CAUSED BY CONSTRUCTION ACTIVITIES MUST BE REPAIRED TO TOWN OF CHAPEL HILL OR NCDOT STANDARDS. THIS INCLUDES, BUT IS NOT LIMITED TO UTILITIES, SIDEWALKS, CURB AND GUTTER, ASPHALT.
- CONTRACTOR RESPONSIBLE FOR REMOVING EVERYTHING WITHIN THE CLEARING LIMITS AND OFF-SITE WORK ZONE INCLUDING TREES, STUMPS, TRASH, FENCING, OR BUILDING MATERIALS.
- CONTRACTOR TO USE CAUTION WORKING AROUND AND NEAR EXISTING STORM, WATER AND SEWER. CONTRACTOR RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES.
- ABANDONMENT OF WATER SERVICES SHALL INCLUDE EXCAVATING DOWN TO CORPORATION, TURNING IT OFF AND CUTTING SERVICE LINE FREE FROM CORPORATION. THE METER, IF PRESENT, SHALL BE RETURNED TO OWASA.
- ABANDONMENT OF SANITARY SEWER SERVICE LINES SHALL CONSIST OF PLUGGING THE LATERAL AT THE RIGHT-OF-WAY LINE.
- ALL PAVEMENT PATCHING SHALL BE PERFORMED PER NCDOT SPECIFICATIONS AND STANDARDS.
- A DECONSTRUCTION ASSESSMENT MUST BE CONDUCTED BY OCSW STAFF PRIOR TO THE APPROVAL OF THE DEMOLITION PERMIT FOR THE EXISTING STRUCTURES. CONTACT OCSW ENFORCEMENT STAFF AT 919-968-2788 TO REQUEST THE ASSESSMENT. BUILDINGS TO BE DEMOLISHED MUST BE INSPECTED BY A NC ACCREDITED ASBESTOS PROFESSIONAL. SUBMIT REPORT WITH DEMOLITION PERMIT APPLICATION.
- A SEPARATE DEMOLITION PERMIT IS REQUIRED FOR EACH BUILDING.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ("ACM") OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.
- ASBESTOS ABATEMENT REPORT REQUIRED BEFORE DEMOLITION PERMIT MAY BE ISSUED.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY FLAMMABLE / COMBUSTIBLE LIQUIDS FROM UNDERGROUND OR ABOVE-GROUND TANKS OTHER THAN BY THE ON-SITE PUMPS. 2018 NC FIRE CODE SECTION 105.6.17 #5.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO REMOVE ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE / COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17 #7.
- TREE PROTECTION SEMINAR TO BE COMPLETED BY CONTRACTOR PRIOR TO TREE PROTECTION FENCE INSTALLATION. PLEASE CALL ADAM NICHOLSON AT 919-969-5006

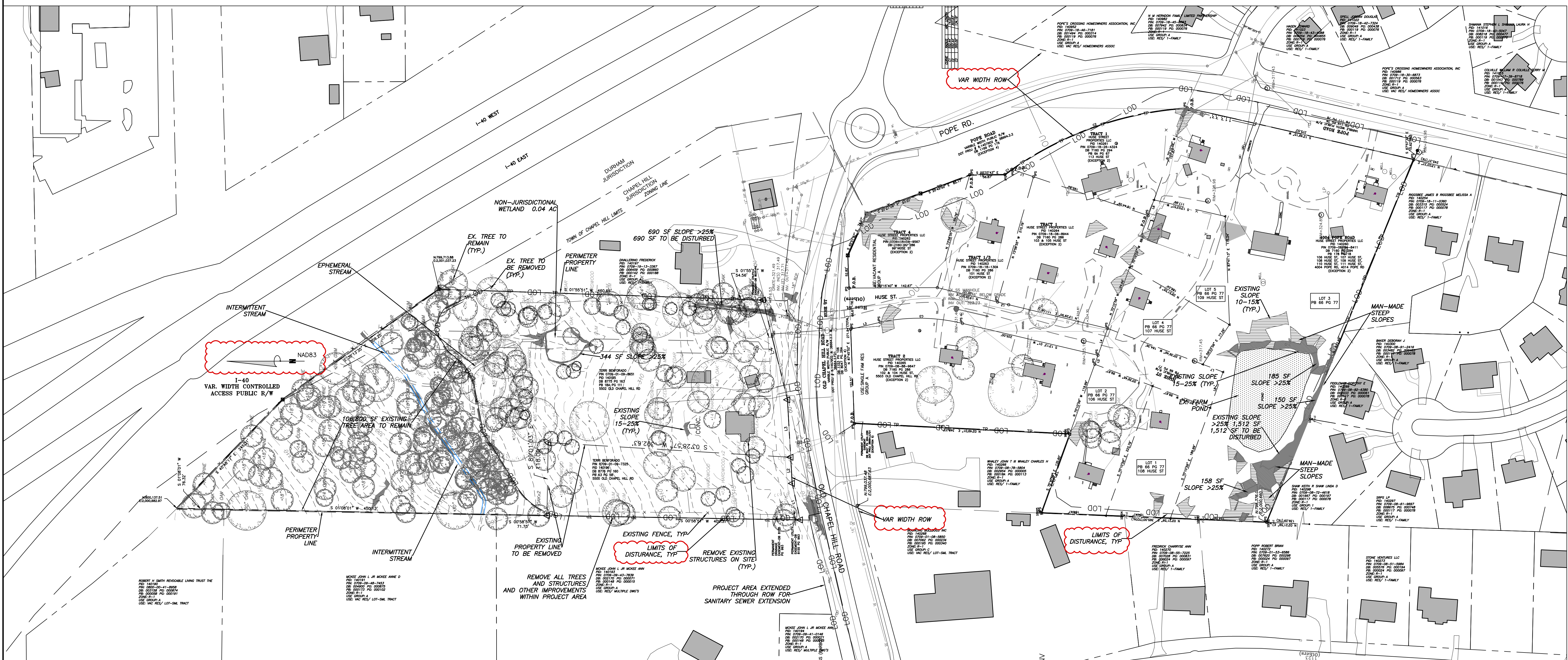
LEGEND

Water Valve	⊗	Utility Pole	⊕
Yard Inlet	⊙	Guy Wire	—x—x—
Curb Inlet/Catch Basin	⊠	Light Pole	⊕
Mail Box	⊞	Sewer Cleanout	⊕
Traffic Signal Box	⊞	Flared End Section	⊕
Electric Transformer	⊞	Gas Valve	⊕
Electric Junction Box	⊞	Existing Iron Pipe (3/4" unless noted)	⊕
Gas Meter	⊞	1/2" Rebar	⊕
Sanitary Sewer Manhole	⊞	1/2" Iron Pipe Set	⊕
Storm Sewer Manhole	⊞	Existing PK Nail	⊕
Telephone Manhole	⊞	PK Nail Set	⊕
Electric Manhole	⊞	Computed Point	⊕
Sign	⊞	Concrete Monument	⊕
Telephone Pedestal	⊞	Tree Line	⊕
Fire Hydrant	⊞	Fence	⊕
Fire Department Connection	⊞	Underground Electric	⊕
Post Indicator Valve	⊞	Underground Telephone	⊕
Water Meter	⊞	Gas Line	⊕
Hot Box	⊞	Water Line	⊕
		Overhead Utilities	⊕
		Storm Sewer	⊕
		Sanitary Sewer	⊕

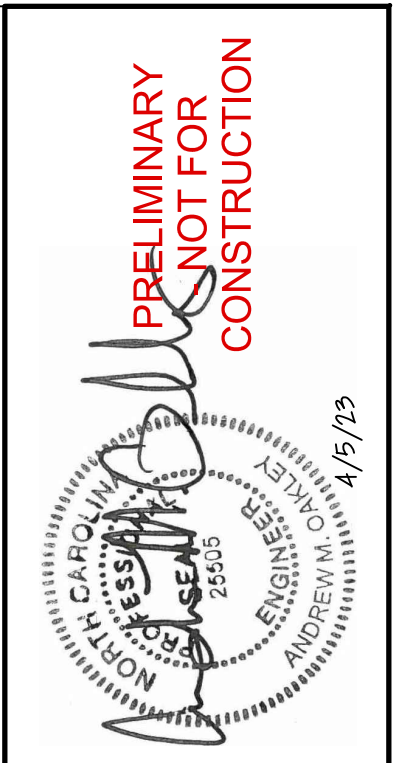
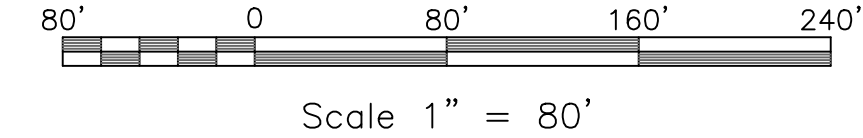
KEY

	SLOPES 10% - 15%
	SLOPES 15% - 25%
	SLOPES > 25%
	EXISTING RARE OR SPECIMEN TREE WITH CRITICAL ROOT SAVE AREA

2 DEMOLITION NOTES  
C-1.0



1 EXISTING CONDITIONS AND DEMOLITION  
D-1.1 SCALE: 1" = 80'



NO.	TOWN COMMENTS	DATE	BY
1		4/5/23	

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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
EXISTING CONDITIONS AND DEMOLITION

JOB NO.:	23-0792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	1" = 80'

**D1.1**

S:\PROJECTS\2021\1302\1302-01\1302-01-01\1302-01-01-01\1302-01-01-01-01.dwg - 11/15/2024 11:28 AM

- ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE NOTED.
- DIMENSIONS TO BUILDING WALL ARE TO FACE OF WALL AT FINISH GRADE. DIMENSIONS TO CURB ARE TO FACE OF CURB.
- LAY OUT IMPROVEMENTS FOR THE CIVIL ENGINEER'S OR LANDSCAPE ARCHITECT'S REVIEW PRIOR TO BEGINNING CONSTRUCTION.
- REFERENCE ARCHITECTURAL DRAWINGS FOR BUILDING LAYOUT INFORMATION.
- ADA PARKING SPACES SHALL BE SIGNED WITH TYPE R7-8 OR R7-8A RESERVED PARKING SIGN AND R7-8D MAXIMUM FINE SIGN PER GS 20-37.6 OF THE NORTH CAROLINA HANDICAP CODE. ADA RAMPS SHALL HAVE RAMP SURFACES COVERED WITH DETECTABLE WARNING PATTERN PER ADA STANDARDS.
- REFERENCE EXISTING CONDITION SHEET C-1.0 FOR EXTENT OF DEMOLITION AND REMOVAL OF CURB AND GUTTER, DRIVEWAYS, PAVEMENT, BOLLARDS, WALKWAYS, UTILITIES, AND VEGETATION.
- PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY ON THE SITE THE APPLICANT WILL HOLD A PRE-DEMOLITION/PRE-CONSTRUCTION CONFERENCE WITH THE COUNTY'S SOLID WASTE STAFF. THIS MAY BE THE SAME MEETING HELD WITH OTHER DEVELOPMENT OFFICIALS.
- THE PRESENCE OF ANY ASBESTOS CONTAINING MATERIAL ('ACM') OR OTHER HAZARDOUS MATERIALS IN CONSTRUCTION AND DEMOLITION WASTE SHALL BE HANDLED IN ACCORDANCE WITH ANY AND ALL LOCAL, STATE, AND FEDERAL REGULATIONS AND GUIDELINES.
- KEY BOXES FOR FIRST RESPONDERS WILL BE REQUIRED NEAR THE FRONT DOOR AND SPRINKLER RISER ROOM AREAS. 2012 NC FIRE CODE, SECTION 506.
- MECHANICAL EQUIPMENT MUST BE PLACED AT OR ABOVE BASE FLOOD ELEVATION + 2 FEET.
- PRIOR TO PERFORMING WORK IN THE NCDOT R/W, THE APPLICANT WILL NEED TO OBTAIN THE FOLLOWING:
  - APPROVED NCDOT DRIVEWAY PERMITS FOR PROPOSED ACCESSES TO NC 1838.
  - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH TOCH FOR PROPOSED / STIPULATED SIDEWALK AND APPURTENANCES.
  - APPROVED NCDOT THREE-PARTY ENCROACHMENT AGREEMENT WITH OWASA FOR PROPOSED WATER AND SEWER CONNECTIONS.
- PRIOR TO ISSUANCE OF THE DRIVEWAY PERMITS AND ENCROACHMENT AGREEMENTS, THE APPLICANT WILL NEED TO PROVIDE COMPLETE AND DETAILED DESIGN PLANS PER NCDOT, TOCH, AND OWASA REQUIREMENTS FOR REVIEW AND APPROVAL.

**2** SITE LAYOUT NOTES  
C1.1

**ADA route notes apply to all sheets**

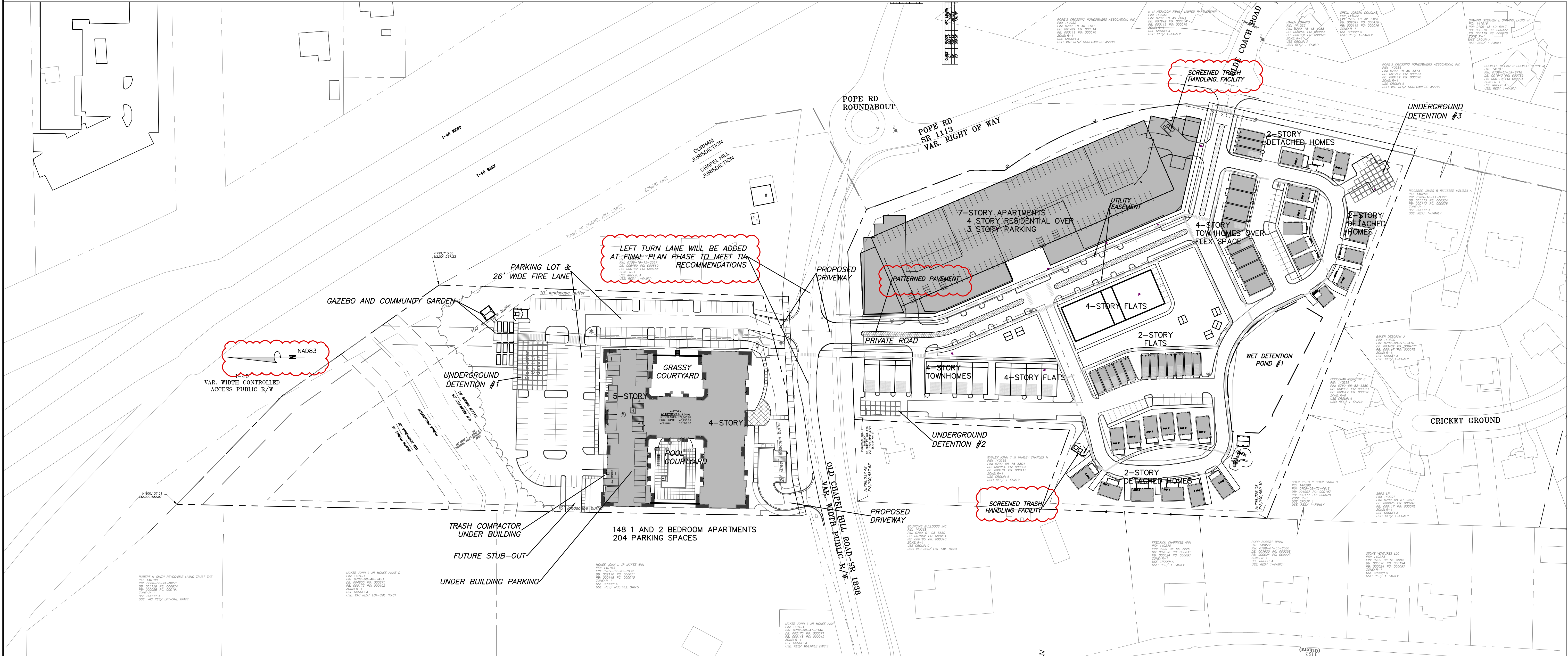
FOR ALL SIDEWALKS THE FOLLOWING APPLIES:

- SIDEWALK SLOPES TO BE A MAXIMUM 4.8%.
- SIDEWALK CROSS SLOPES TO BE A MAXIMUM 1.8%.
- MINIMUM 1' SHOULDER AT MAXIMUM 2% SLOPE ADJACENT TO ADA PAVED ROUTES UNLESS A HANDRAIL IS CALLED OUT.
- ADA PARKING TO BE A MAXIMUM 1.8% SLOPE IN ANY DIRECTION FOR ENTIRE AREA - PARKING SPACES AND AISLES.

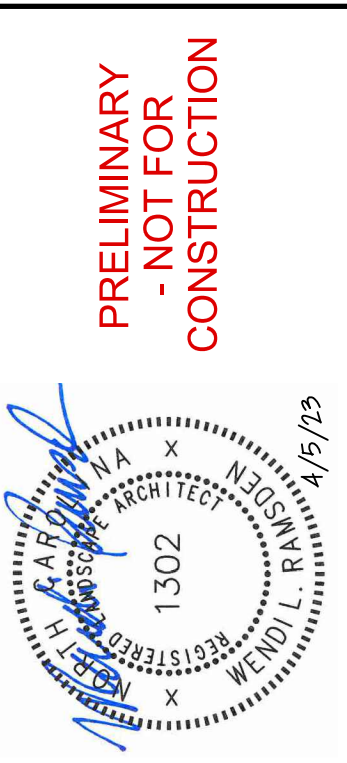
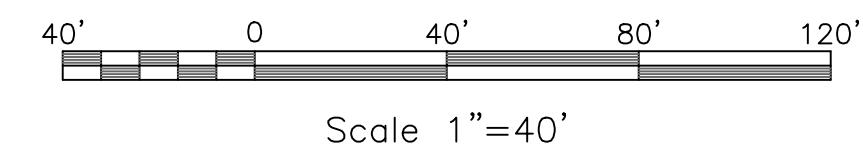
- ALL DOORS EXITING THE BUILDING REQUIRE AN ADA ACCESSIBLE COMPLIANT ROUTE TO A PUBLIC WAY.
- PARKING - NUMBER OF SPACES TO COMPLY WITH NCBC 2012 SECTION 1106.1. 1 PER 6 COMPLIANT SPACES OR PORTION THEREOF MUST BE VAN ACCESSIBLE, NO SLOPE TO EXCEED 2% IN ANY DIRECTION. SIGNAGE PER NC REQUIREMENTS, MUT-CD AND ICC A 117.1.
- CURB CUTS AND ACCESSIBLE ROUTES PER ICC A117.1 2009 ED. CROSS SLOPE LIMITED TO 2%, CALL FOR INSPECTION BEFORE PLACEMENT OF CONCRETE.
- SLOPE GREATER THAN 5% REQUIRES CONSTRUCTION AS A RAMP.

Water Valve	⊗	Utility Pole	⊕
Gas Valve	⊗	Light Pole	⊕
Yard Inlet	⊗	Sewer Cleanout	⊕
Curb Inlet/Catch Basin	⊗	Flared End Section	⊕
Mail Box	⊗	Gas Valve	⊕
Traffic Signal Box	⊗	Existing Iron Pipe (3/4" unless noted)	⊕
Electric Transformer	⊗	1/2" Rebar	⊕
Electric Junction Box	⊗	1/2" Iron Pipe Set	⊕
Gas Meter	⊗	Existing PK Nail	⊕
Sanitary Sewer Manhole	⊗	PK Nail Set	⊕
Storm Sewer Manhole	⊗	Computed Point	⊕
Telephone Manhole	⊗	Concrete Monument	⊕
Electric Manhole	⊗	Tree Line	⊕
Sign	⊗	Fence	⊕
Telephone Pedestal	⊗	Underground Electric	⊕
Fire Hydrant	⊗	Underground Telephone	⊕
Fire Department Connection	⊗	Gas Line	⊕
Post Indicator Valve	⊗	Water Line	⊕
Water Meter	⊗	Overhead Utilities	⊕
Hot Box	⊗	Storm Sewer	⊕
		Sanitary Sewer	⊕

**3** ADA NOTES  
C1.1



**1** SITE PLAN - OVERALL  
C1.1 SCALE: 1"=40'



NO.	TOWN COMMENTS	DATE	BY
1		4/5/23	

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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
SITE PLAN - OVERALL

JOB NO.:	23-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	1"=40'

**C1.1**

GROSS SITE AREA NORTH: 312,157 SF  
 GROSS SITE AREA SOUTH: 468,837 SF  
 TOTAL GROSS SITE AREA: 780,994 SF

MULTIFAMILY RESIDENTIAL RECREATION RATIO = .050  
 TOTAL REQUIRED RECREATION SPACE = 39,050 SF

ACTIVE RECREATION SPACE PROVIDED:  
 POOL AREA NORTH 6,000 SF  
 COMMUNITY GARDEN 2,900 SF  
 FITNESS CENTER NORTH 2,200 SF  
 POOL TERRACE SOUTH 6,000 SF  
 FITNESS CENTER SOUTH 3,750 SF  
 PLAYGROUND/SHELTER 1,750 SF  
 OUTDOOR REC TERRACE N 4,000 SF  
 OUTDOOR REC TERRACE S 4,500 SF  
 PAVED WALKING CIRCUIT 8,200 SF  
 TOTAL: 39,300 SF

**NORTH SIDE CALCULATION:**  
 GROSS SITE AREA NORTH: 312,157 SF  
 MULTIFAMILY RESIDENTIAL RECREATION RATIO = .050  
 TOTAL REQUIRED RECREATION SPACE = 15,608 SF

ACTIVE RECREATION SPACE PROVIDED:  
 POOL AREA NORTH 5,800 SF  
 COMMUNITY GARDEN 3,000 SF  
 GREENWAY TRAIL 4,750 SF  
 FITNESS CENTER NORTH 2,200 SF  
 TOTAL NORTH SIDE: 15,750 SF

**SOUTH SIDE CALCULATION:**  
 GROSS SITE AREA SOUTH: 468,837 SF  
 MULTIFAMILY RESIDENTIAL RECREATION RATIO = .050  
 TOTAL REQUIRED RECREATION SPACE = 23,442 SF

ACTIVE RECREATION SPACE PROVIDED:  
 POOL TERRACE SOUTH 4,000 SF  
 FITNESS CENTER SOUTH 3,750 SF  
 PLAYGROUND/SHELTER 1,750 SF  
 OUTDOOR REC TERRACE N 3,500 SF  
 OUTDOOR REC TERRACE S 3,500 SF  
 PAVED WALKING CIRCUIT 8,000 SF  
 TOTAL SOUTH SIDE: 24,500 SF

**2 RECREATION SPACE CALCULATIONS**  
 C1.2

Water Valve	Utility Pole	○
Yard Inlet	Guy Wire	○
Curb Inlet/Catch Basin	Light Pole	○
Mail Box	Sewer Cleanout	○
Traffic Signal Box	Flared End Section	○
Electric Transformer	Gas Valve	○
Electric Junction Box	Existing Iron Pipe (3/4" unless noted)	○
Gas Meter	1/2" Rebar	○
Sanitary Sewer Manhole	1/2" Iron Pipe Set	○
Storm Sewer Manhole	Existing PK Nail	○
Electric Manhole	PK Nail Set	○
Telephone Manhole	Computed Point	○
Sign	Concrete Monument	○
Telephone Pedestal	Tree Line	○
Fire Hydrant	Fence	○
Fire Department Connection	Underground Electric	○
Post Indicator Valve	Underground Telephone	○
Water Meter	Gas Line	○
Hot Box	Water Line	○
	Overhead Utilities	○
	Storm Sewer	○
	Sanitary Sewer	○



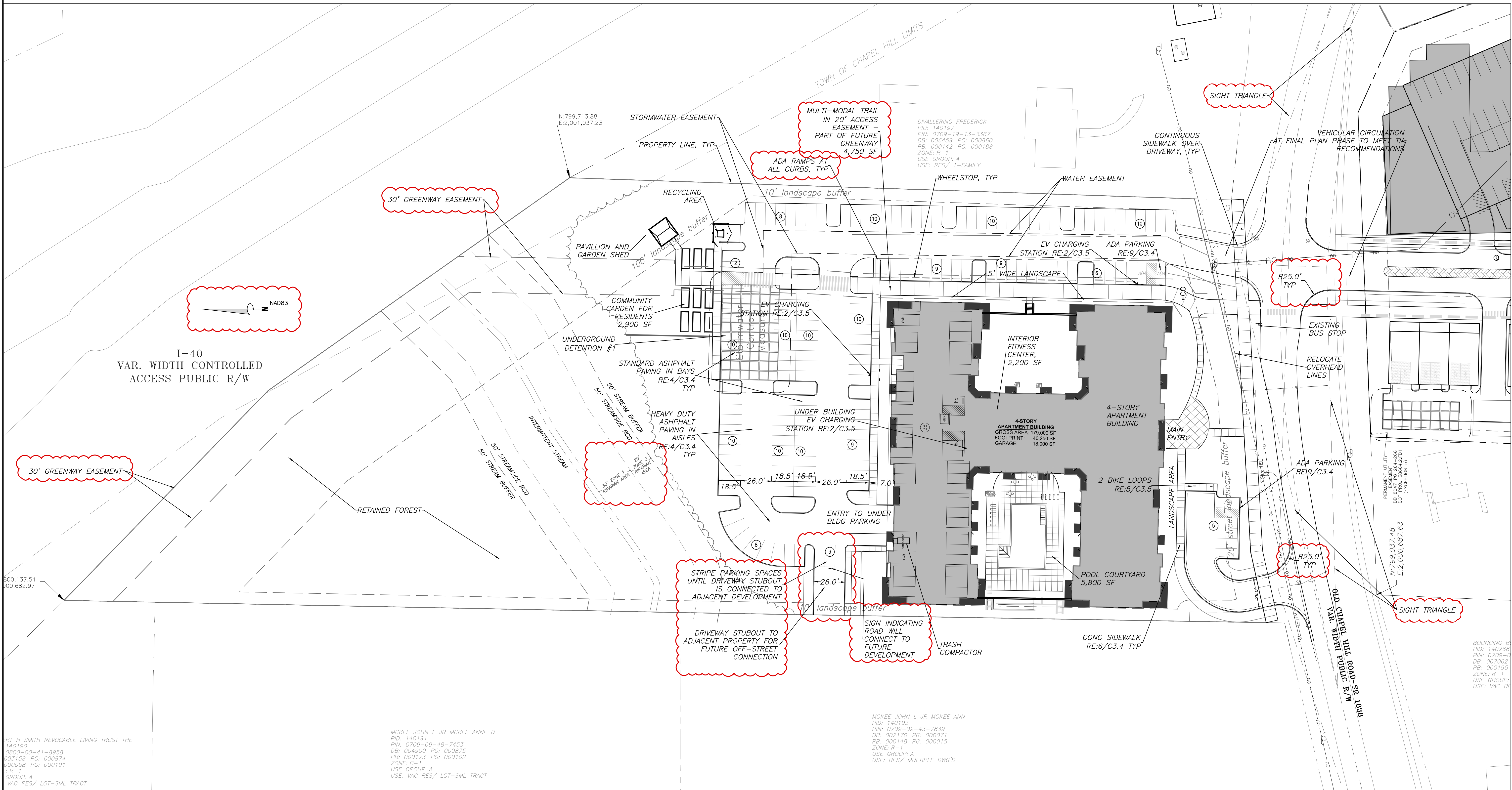
NO.	REVISIONS	DATE
1	TOWN COMMENTS	4/5/23

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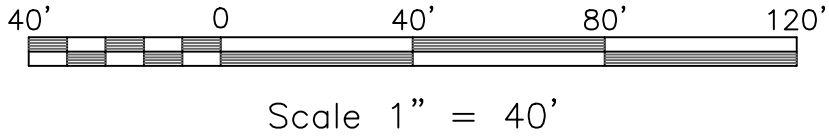
**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 SITE PLAN - NORTH

JOB NO:	23-0792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	1" = 40'

**C1.2**



**1 SITE PLAN - NORTH**  
 C1.2 SCALE: 1" = 40'

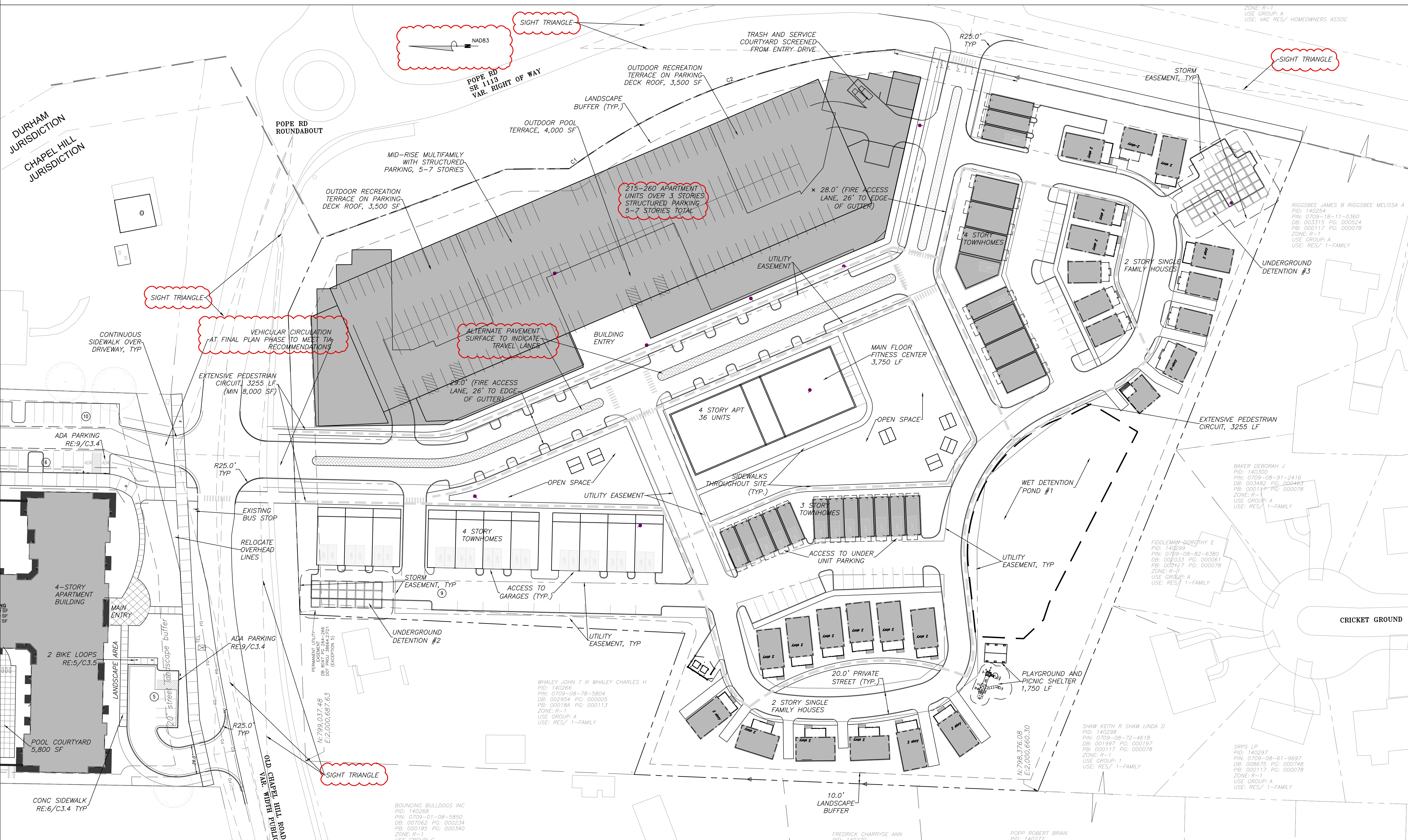


ERT H SMITH REVOCABLE LIVING TRUST THE  
 140190  
 0800-00-41-8958  
 003158 PG: 000874  
 000058 PG: 000191  
 ZONE: R-1  
 USE GROUP: A  
 VAC RES/ LOT-SML TRACT

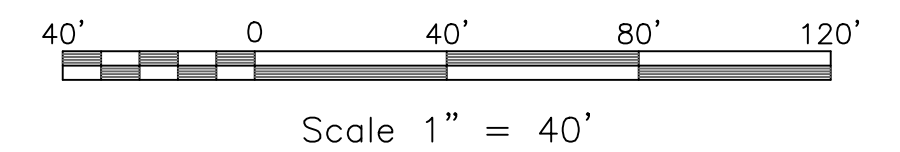
MCKEE JOHN L JR MCKEE ANNE D  
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 PIN: 0709-09-48-7453  
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 PB: 000173 PG: 000102  
 ZONE: R-1  
 USE GROUP: A  
 USE: VAC RES/ LOT-SML TRACT

MCKEE JOHN L JR MCKEE ANN  
 PID: 140193  
 PIN: 0709-09-43-7839  
 DB: 002170 PG: 000071  
 PB: 000148 PG: 000015  
 ZONE: R-1  
 USE GROUP: A  
 USE: RES/ MULTIPLE DWG'S

SYNOPSIS: 2023/12/21 11:00 AM CAPITAL CONSTRUCTION, LLC EXHIBIT 1302 (REVISED) 1302 SITE PLAN - SOUTH



**1** SITE PLAN - SOUTH  
 C1.3 SCALE: 1" = 40'



NO.	TOWN COMMENTS	DATE
1		4/5/23

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**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 SITE PLAN - SOUTH

JOB NO.:	230792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

**C1.3**



- CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICE INDEPENDENT OF "NORTH CAROLINA ONE CALL".
- ALL WATER AND SEWER MAINS WITHIN PUBLIC EASEMENTS AND RIGHT-OF-WAYS TO BE OWNED, OPERATED AND MAINTAINED BY OWASA.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND OWASA STANDARDS AND SPECIFICATIONS.
- ALL EXISTING UNDERGROUND UTILITIES ARE APPROXIMATELY LOCATED. ACTUAL LOCATION AND DEPTH SHALL BE CONFIRMED IN THE FIELD PRIOR TO CONSTRUCTION.
- BEFORE STARTING ANY CONSTRUCTION OF IMPROVEMENTS WITHIN ANY TOWN OR N.C.D.O.T. STREET OR HIGHWAY RIGHT-OF-WAY THE FOLLOWING PROCEDURES SHOULD BE UNDERTAKEN; TOWN RIGHT-OF-WAY: CONTACT LOCAL AUTHORITIES' TRAFFIC ENGINEERING DEPT. FOR INFORMATION ON DETOURS, OPEN CUTTING OF STREETS OR FOR ANY CONSTRUCTION WITHIN RIGHT-OF-WAY. N.C.D.O.T. RIGHT-OF-WAY: CONTACT PROJECT ENGINEERS AND OBTAIN ALL PERMITS AND ENCROACHMENTS (KEEP COPIES ON CONSTRUCTION SITE, ALSO CONTACT N.C.D.O.T. DISTRICT OFFICE 24 HOURS IN ADVANCE BEFORE PLACING CURB AND GUTTER).
- ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST. PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADING CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- POWER, TELEPHONE, AND GAS SERVICES TO BUILDINGS SHALL BE UNDERGROUND. ACCESS AND SERVICE ROUTES TO BE COORDINATED WITH THE PUBLIC UTILITIES, CONTRACTOR AND THE OWNER.
- RESURFACING OF STREET DUE TO UTILITY CUTS SHALL BE REQUIRED AT THE DIRECTION OF ENGINEERING. (MINIMUM 50' TO EITHER SIDE OF UTILITY CUTS).
- PROVIDE 10-FT OF HORIZONTAL SEPARATION BETWEEN PROPOSED NEW WATER AND SEWER MAINS
- WELL AND SEPTIC TO BE ABANDONED OR REMOVED IN ACCORDANCE WITH N.C. ENVIRONMENTAL HEALTH STANDARDS.

**SANITARY SEWER:**

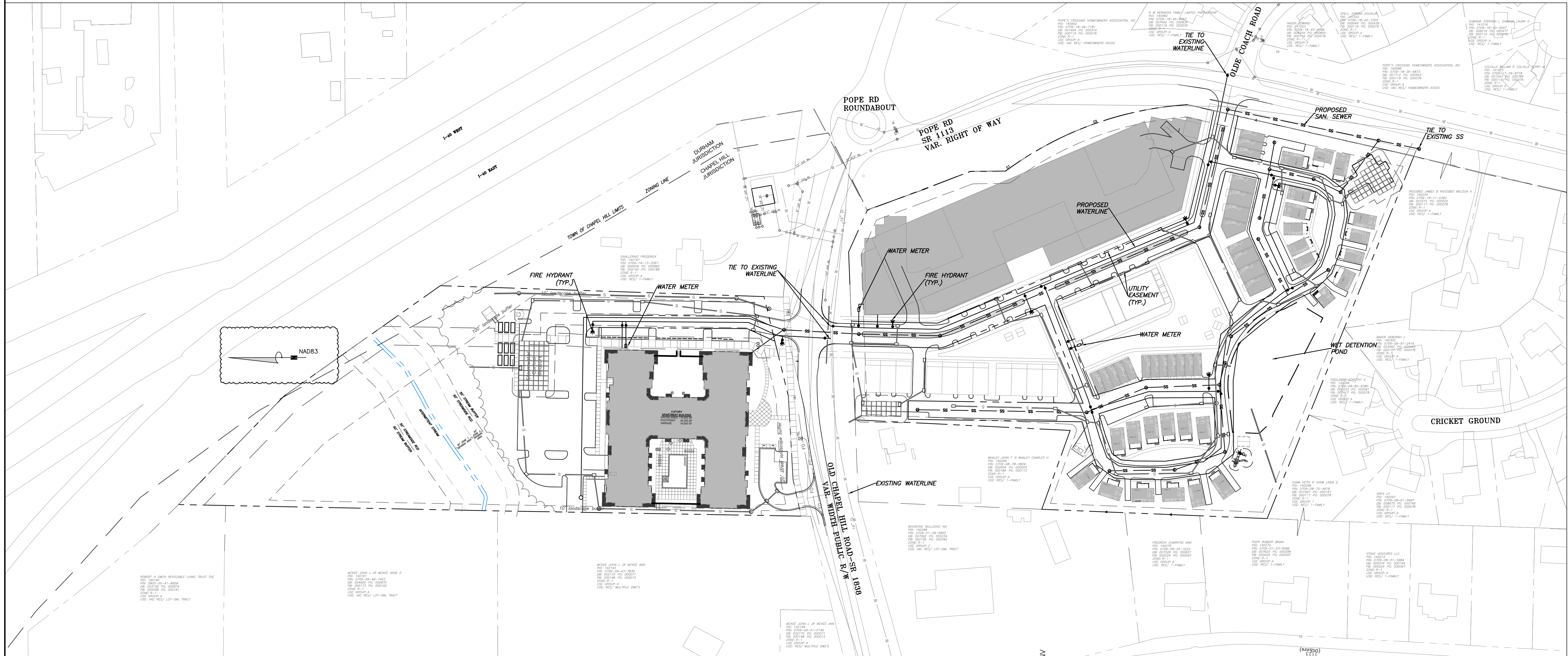
- BACKFLOW PREVENTORS SHALL BE PROVIDED FOR ALL UNITS WITH FINAL FLOOR ELEVATIONS OF BUILDINGS LESS THAN 1'-0" ABOVE UPSTREAM MANHOLE.
- MINIMUM COVER OF 5 FEET IN TRAFFIC AREAS TO BE PROVIDED FOR ALL COLLECTOR LINES 4 INCHES AND LARGER. IF LESS THAN 5 FEET, DUCTILE IRON PIPE SHALL BE REQUIRED.
- MINIMUM SLOPE FOR 4 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 2.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.
- MINIMUM SLOPE FOR 6 INCH SANITARY SEWER COLLECTION LINES SHALL BE NO LESS THAN 1.0% WITH CLEANOUTS EVERY 75 LINEAL FEET.

**WATER:**

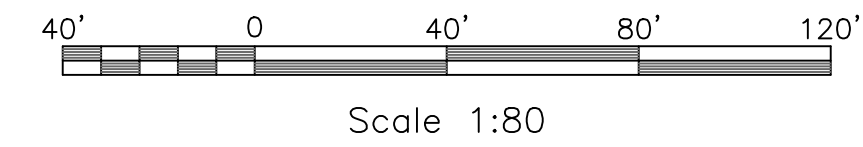
- WATERLINES WILL BE 3' OFF CURB AND GUTTER UNLESS SHOWN OTHERWISE.
- LAY WATER MAINS AT LEAST 10 FEET Laterally FROM EXISTING OR PROPOSED SANITARY SEWERS. IF LOCAL CONDITIONS OR BARRIERS PREVENT A 10 FOOT SEPARATION, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER PIPE EITHER IN A SEPARATE TRENCH OR IN THE SAME TRENCH ON A BENCH OF UNDISTURBED EARTH.
- WHEN A PROPOSED WATER MAIN CROSSES OVER A PROPOSED OR EXISTING SANITARY SEWER, LAY THE WATER MAIN WITH AT LEAST 18" VERTICAL SEPARATION ABOVE THE TOP OF THE SANITARY SEWER. IF LOCAL CONDITIONS PREVENT AN 18" VERTICAL SEPARATION, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER FOR A DISTANCE OF 10 FEET ON EACH SIDE TO THE POINT OF CROSSING WITH FERROUS PIPE HAVING WATER MAIN QUALITY JOINTS.
- WHEN A PROPOSED WATER MAIN CROSSES UNDER A PROPOSED OR EXISTING SANITARY SEWER, CONSTRUCT BOTH THE WATER MAIN AND THE SANITARY SEWER OF FERROUS MATERIALS WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE POINT OF CROSSING. CENTER THE SECTION OF WATER PIPE AT THE POINT OF CROSSING.
- MAINTAIN A MINIMUM COVER OF 36" AND MAXIMUM COVER OF 42" BELOW FINISHED GRADE OVER ALL PIPES UNLESS OTHERWISE DIRECTED OR SHOWN ON THE PLANS. DUE TO THE HEIGHTS OF VALVES, INCREASE THE COVER DEPTHS ADJACENT TO THE VALVES OR VARIED AT POINTS OF TIE-IN TO EXISTING LINES.

- ALL FDC(S) AND HYDRANT(S) SHALL BE SIAMESE CONNECTIONS AND MEET TOWN OF CHAPEL HILL AND OWASA STANDARDS.
- A FIRE SPRINKLER SYSTEM WILL BE REQUIRED FOR THE HOTEL.
- A PERMIT FROM THE CHAPEL HILL FIRE MARSHAL'S OFFICE IS REQUIRED TO INSTALL ANY UNDERGROUND OR ABOVE-GROUND TANKS THAT CONTAINED FLAMMABLE/COMBUSTIBLE LIQUIDS. 2018 NC FIRE CODE SECTION 105.6.17.

**2** WATER AND SEWER PLAN NOTES  
C2.1



**1** WATER AND SEWER PLAN - OVERALL  
C2.1 SCALE: 1:80



NO.	REVISIONS	BY	DATE
1	TOWN COMMENTS	T&H	4/5/23

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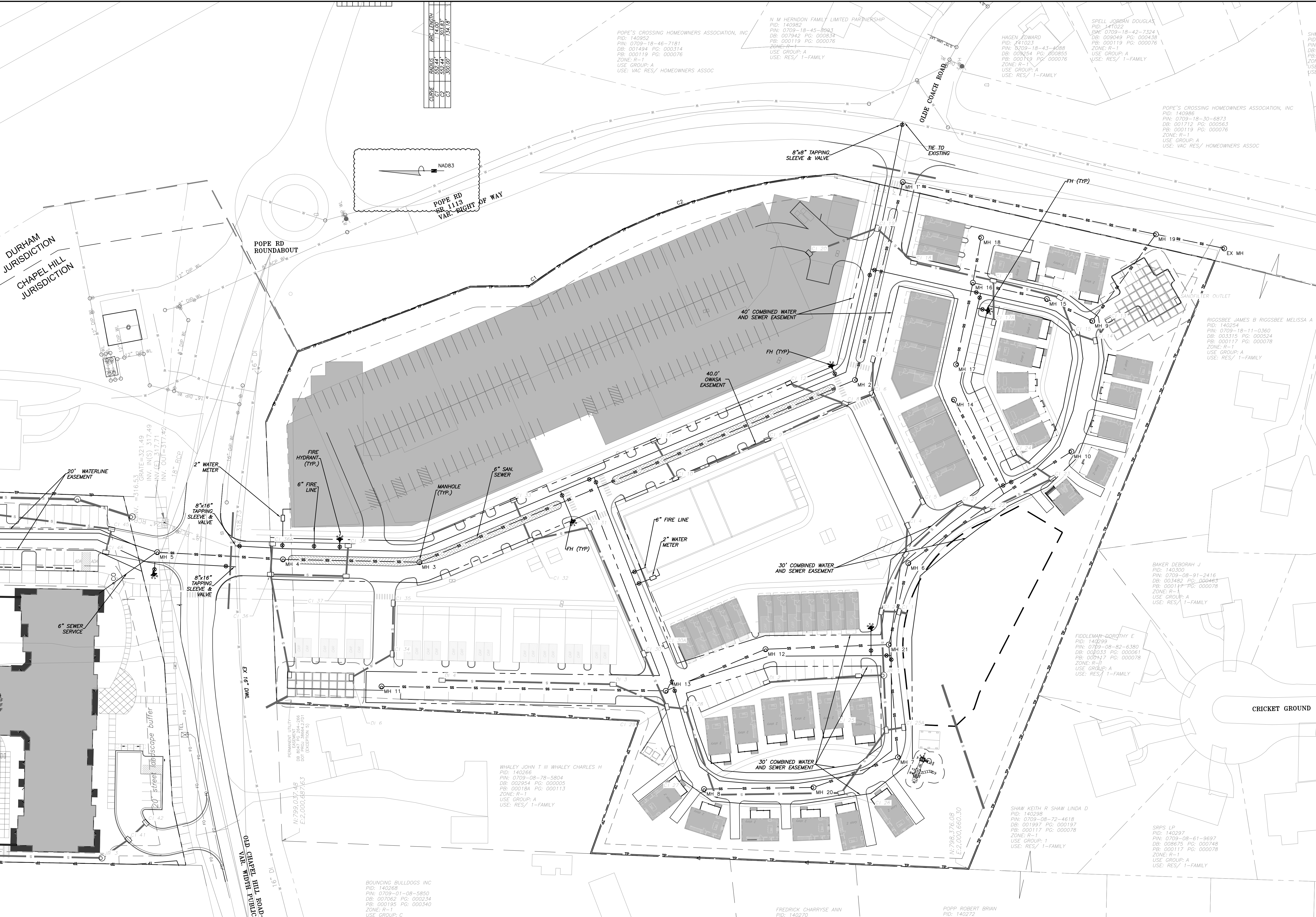
**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
WATER AND SEWER PLAN - OVERALL

JOB NO.:	23-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1:80

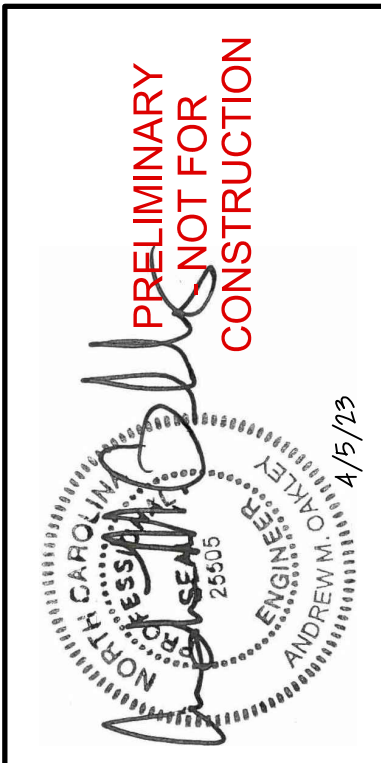
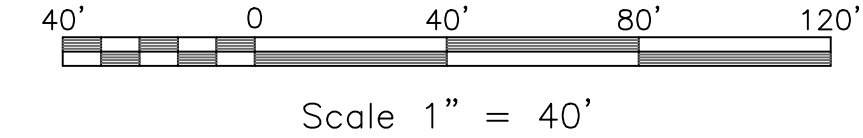
**C2.1**



CURVE	RADIUS	ARC LENGTH	CHORD
C1	255.44'	30.83'	30.83'
C2	200.00'	13.41'	13.41'



1 WATER AND SEWER PLAN - SOUTH  
C2.3 SCALE: 1" = 40'



NO.	REVISIONS	DATE
1	TOWN COMMENTS	4/5/23

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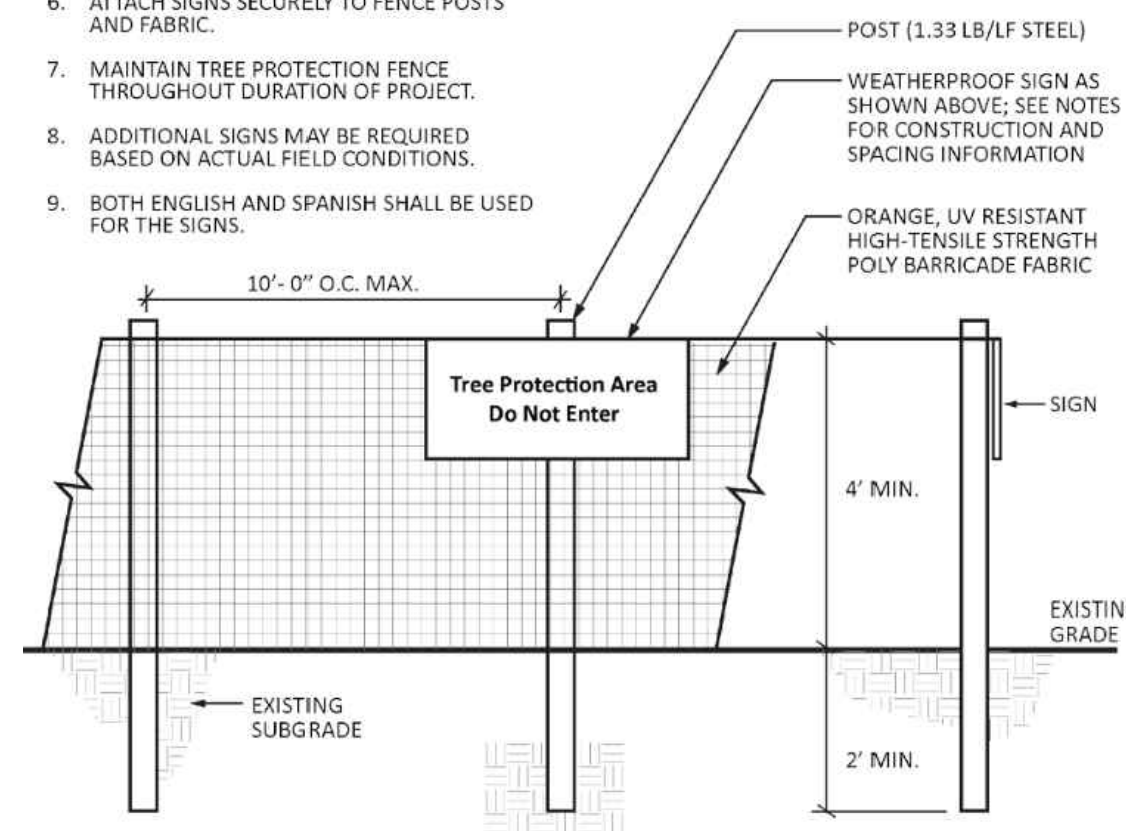
**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
WATER AND SEWER PLAN - SOUTH

JOB NO.:	3-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

**C2.3**



- NOTES:
1. WARNING SIGNS SHALL BE MADE OF DURABLE WEATHERPROOF MATERIAL.
  2. LETTERS SHALL BE 3" HIGH MINIMUM, CLEARLY LEGIBLE, AND SPACED AS SHOWN.
  3. SIGNS ARE TO BE PLACED NO GREATER THAN 100 FT. ON CENTER.
  4. PLACE SIGN AT EACH END OF LINEAR TREE PROTECTION AREAS AND 100 FT. ON-CENTER THEREAFTER.
  5. FOR TREE PROTECTION AREAS LESS THAN 100 FT. IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER AREA.
  6. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
  7. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
  8. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.
  9. BOTH ENGLISH AND SPANISH SHALL BE USED FOR THE SIGNS.



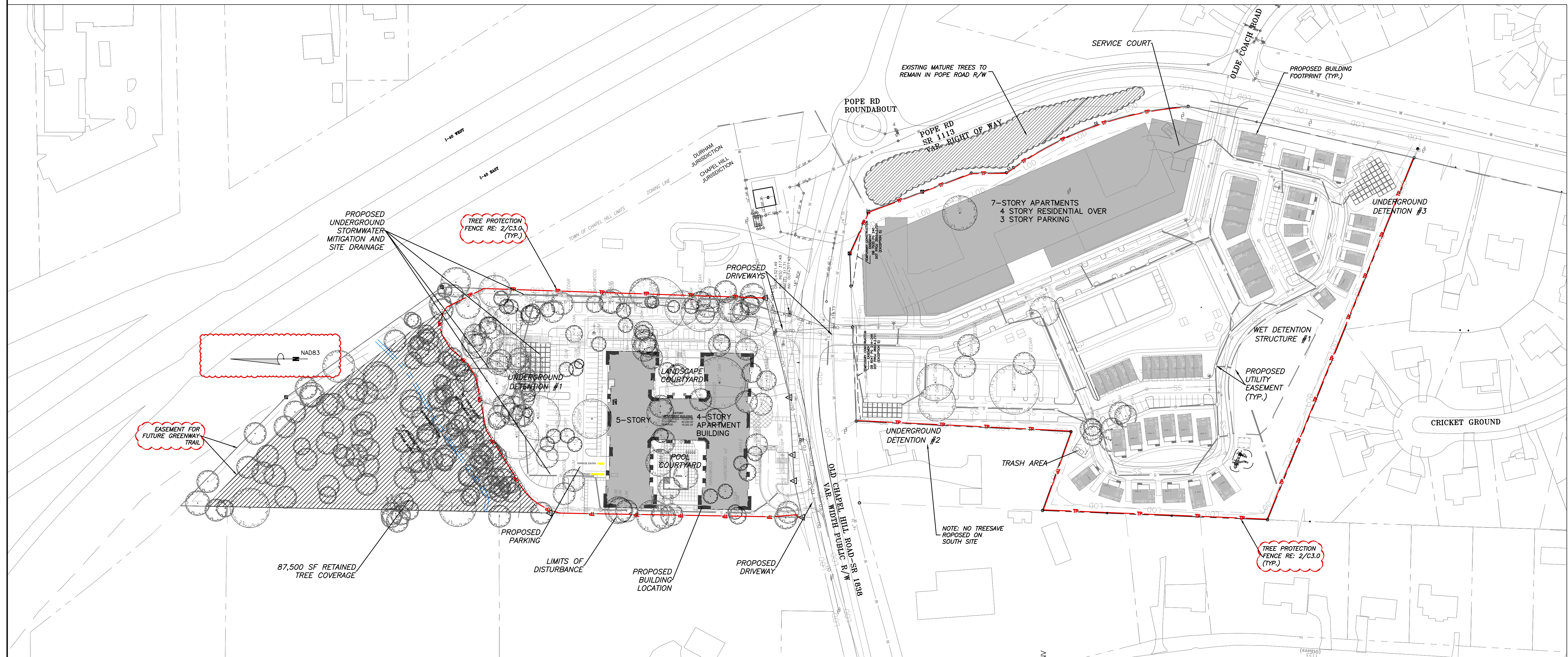
INSTALL TREE PROTECTION FENCE & SIGNAGE PRIOR TO CALLING FOR THE INITIAL ON-SITE INSPECTION

**TREE PROTECTION FENCE**

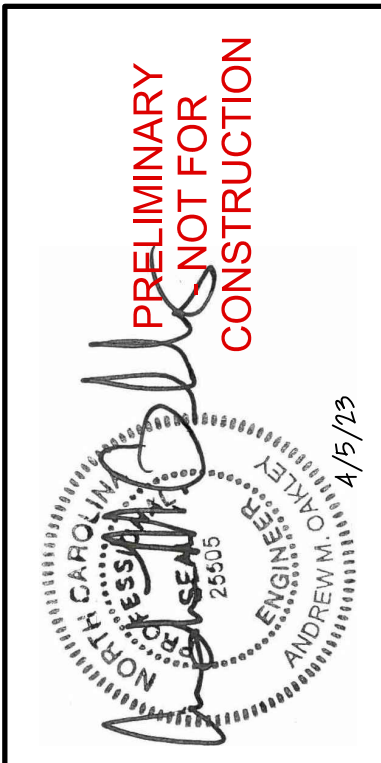
**2 TREE PROTECTION FENCING DETAIL**  
C3.0

1. PRE-CONSTRUCTION CONFERENCE. PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A ZONING COMPLIANCE PERMIT, A PRE-CONSTRUCTION CONFERENCE WITH THE TOWN'S URBAN FORESTER OR LANDSCAPE ARCHITECT SHALL TAKE PLACE TO REVIEW PROCEDURES FOR PROTECTION AND MANAGEMENT OF ALL PROTECTED LANDSCAPE ELEMENTS IDENTIFIED ON THE LANDSCAPE PROTECTION PLAN.
2. THE FOLLOWING ON-SITE SUPERVISION IS REQUIRED:
  - I. THE APPLICANT SHALL DESIGNATE AS LANDSCAPE PROTECTION SUPERVISORS ONE OR MORE PERSONS WHO HAVE COMPLETED INSTRUCTION IN LANDSCAPE PROTECTION PROCEDURES WITH THE TOWN.
  - II. IT SHALL BE THE DUTY OF THE LANDSCAPE PROTECTION SUPERVISOR TO ENSURE THE PROTECTION OF NEW OR EXISTING LANDSCAPE ELEMENTS, AS DEFINED IN THE LANDSCAPE PROTECTION PLAN. THE APPROVED LANDSCAPE PROTECTION SUPERVISOR SHALL SUPERVISE ALL SITE WORK TO ASSURE THAT DEVELOPMENT ACTIVITY CONFORMS TO PROVISIONS OF THE APPROVED LANDSCAPE PROTECTION PLAN. AT LEAST ONE (1) IDENTIFIED LANDSCAPE PROTECTION SUPERVISOR SHALL BE PRESENT ON THE DEVELOPMENT SITE AT ALL TIMES WHEN ACTIVITY THAT COULD DAMAGE OR DISTURB SOIL AND ADJACENT LANDSCAPE ELEMENTS OCCURS SUCH AS:
    - CLEARING AND GRUBBING;
    - ANY EXCAVATION, GRADING, TRENCHING OR MOVING OF SOIL;
    - REMOVAL, INSTALLATION, OR MAINTENANCE OF ALL LANDSCAPE ELEMENTS AND LANDSCAPE PROTECTION DEVICES; OR
    - DELIVERY, TRANSPORTING, AND PLACEMENT OF CONSTRUCTION MATERIALS AND EQUIPMENT ON SITE.
3. LANDSCAPING ACTIVITIES TAKING PLACE AFTER THE REMOVAL OF PROTECTIVE FENCING SHALL BE ACCOMPLISHED WITH LIGHT MACHINERY OR HAND LABOR AND IN ACCORDANCE WITH THE TOWN'S LANDSCAPING STANDARDS AND SPECIFICATIONS.

**3 TREE PROTECTION NOTES**  
C3.0



**1 LANDSCAPE PROTECTION PLAN**  
C3.0 SCALE: 1" = 80'



NO.	REVISIONS	DATE	BY
1	TOWN COMMENTS	4/5/23	T&H

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Durham, NC 27701 • 919.682.0368  
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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
LANDSCAPE PROTECTION PLAN

JOB NO: 230792  
DATE: 2/10/23  
DRAWN: WLR, AMO, MTC  
DESIGNED: WLR, AMO  
REVIEWED: WLR, AMO  
APPROVED:  
SCALE: 1" = 80'

**C3.0**

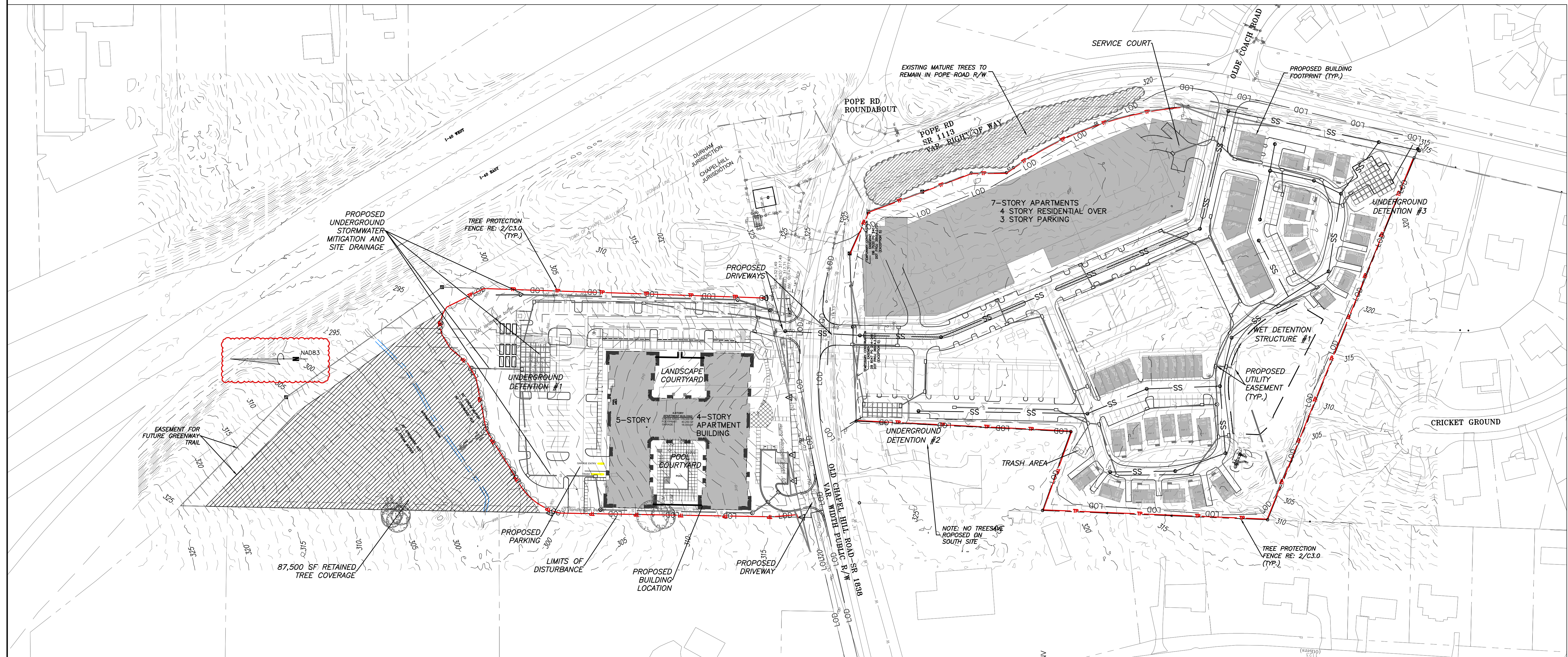
1. ALL DIMENSIONS AND GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR ANY WORK DONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH TOWN OF CHAPEL HILL AND NCDOT STANDARDS AND SPECIFICATIONS.
3. CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR TO CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NORTH CAROLINA ONE CALL".
4. CONSTRUCTION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL DEVICES ARE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
5. EXISTING UTILITIES AND STRUCTURES SHOWN, BOTH UNDERGROUND AND ABOVE GROUND, ARE BASED ON A FIELD SURVEY AND THE BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL VERIFY FIELD CONDITIONS PRIOR TO BEGINNING RELATED CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE IMMEDIATELY.
6. SOIL UNDER BUILDING PAD, PAVED AREAS AND WITHIN SLOPES GREATER THAN 3:1 (H:V) SHALL BE APPROVED, PLACED AND COMPACTED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THESE SOILS SHALL BE COMPACTED AS SPECIFIED UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. ANY UNDERCUT OF SOILS IN THESE AREAS SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER & OWNER. THE UNDERCUT SOILS SHALL ALSO QUANTIFIED BY THE GEOTECHNICAL ENGINEER.

7. ALL GRADING MUST PRODUCE SURFACE DRAINAGE ADEQUATE TO PREVENT STANDING WATER OR WET LAWN AREAS, AND TO ENSURE THAT ALL STORM WATER FLOWS TO INLETS OR OTHER POINTS OF DISCHARGE.
8. ALL SIDEWALKS SHALL BE CONSTRUCTED WITH A MAXIMUM 1.8% CROSS SLOPE IN THE DIRECTION SHOWN ON THE PLAN.
9. CONNECT ALL ROOF LEADERS AND DOWNSPOUTS TO STORM DRAINAGE SYSTEM WITH PVC PIPE. SEE ARCHITECTURAL PLANS FOR LOCATIONS.
10. CURB INLETS: PROVIDE PRE-CAST CURB INLET HOODS AND COVERS STATING, "DUMP NO WASTE! DRAINS TO JORDAN LAKE", IN ACCORDANCE WITH THE SPECIFICATIONS OF THE TOWN STANDARD DETAIL SD-5A, FOR ALL NEW CURB INLETS FOR PRIVATE, TOWN AND STATE RIGHTS-OF-WAY.
11. BW (BOTTOM OF WALL) ELEVATION IS FINISH GRADE, NOT THE FOOTING. REFERENCE RETAINING WALL PLANS/DETAILS FOR DEPTH OF FOOTING.
12. ANY DISTURBANCE WITHIN THE FORESTED "NO LAND DISTURBANCE AREA" WILL REQUIRE AN UPDATE TO THE JORDAN ACCOUNTING TOOL.

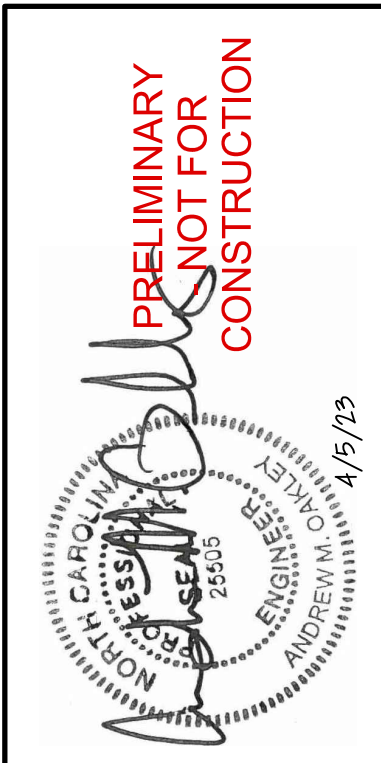
1. ALL STORM DRAINAGE PIPES SHOWN ARE TO BE CLASS III REINFORCED CONCRETE (RCP) UNLESS NOTED OTHERWISE.
2. ALL STORM DRAINAGE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE TOWN OF CHAPEL HILL AND NCDOT STANDARDS.
3. ALL CONCRETE SHALL MEET A MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
4. ALL PIPE IN STORM DRAIN STRUCTURES SHALL BE STRUCK EVEN WITH INSIDE WALL.
5. ALL PIPE JOINTS SHALL BE MADE WITH PREFORMED JOINT SEALER, WHICH CONFORMS TO AASHTO SPECIFICATION M-198 FOR TYPE B FLEXIBLE PLASTIC GASKETS UNLESS OTHERWISE NOTED.
6. THE INTERIOR SURFACES OF ALL STORM DRAINAGE STRUCTURES SHALL BE POINTED AND SMOOTHED TO AN ACCEPTABLE STANDARD USING MORTAR MIXED TO MANUFACTURER'S SPECIFICATIONS.
7. ALL BACKFILL SHALL BE NON-PLASTIC IN NATURE, FREE FROM ROOTS, VEGETATION MATTER, WASTE CONSTRUCTION MATERIAL OR OTHER OBJECTIONABLE MATERIAL. SAID MATERIAL SHALL BE CAPABLE OF BEING COMPACTED BY MECHANICAL MEANS AND SHALL HAVE NO TENDENCY TO FLOW OR BEHAVE IN A PLASTIC MANNER UNDER THE TAMPING BLOWS OR PROOF ROLLING.
8. MATERIALS DEEMED BY THE OWNER'S REPRESENTATIVE AS UNSUITABLE FOR BACKFILL PURPOSES SHALL BE REMOVED AND REPLACED WITH SUITABLE MATERIAL.
9. BACKFILLING OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PIPE IS LAID. THE FILL AROUND THE PIPE SHALL BE THOROUGHLY COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINABLE WITH THE STANDARD PROCTOR TEST. THE TOP EIGHT (8) INCHES SHALL BE COMPACTED TO 100% STANDARD PROCTOR.
10. UNDER NO CIRCUMSTANCES SHALL WATER BE ALLOWED TO RISE IN UNBACKFILLED TRENCHES AFTER PIPE HAS BEEN PLACED.
11. RISER STRUCTURES WITH MULTIPLE BARREL SECTIONS SHALL HAVE GASKETTED JOINTS, AND EACH SECTION SHALL BE BOLTED TO ADJACENT SECTIONS WITH STAINLESS STEEL STRAPS.

2 GRADING NOTES  
C3.1

3 STORMWATER NOTES  
C3.1



1 GRADING AND DRAINAGE PLAN - OVERALL  
C3.1 SCALE: 1" = 80'



NO.	TOWN COMMENTS	DATE
1		4/5/23

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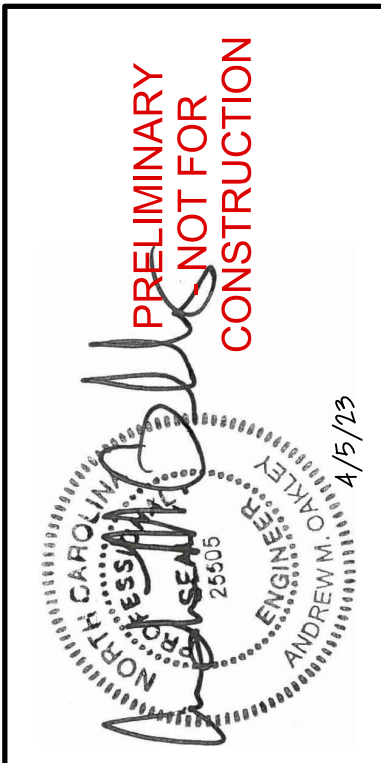
**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
GRADING AND DRAINAGE PLAN - OVERALL

JOB NO: 23-30792  
DATE: 2/10/23  
DRAWN: WLR, AMO, MTC  
DESIGNED: WLR, AMO  
REVIEWED: WLR, AMO  
APPROVED: WLR, AMO  
SCALE: 1" = 80'

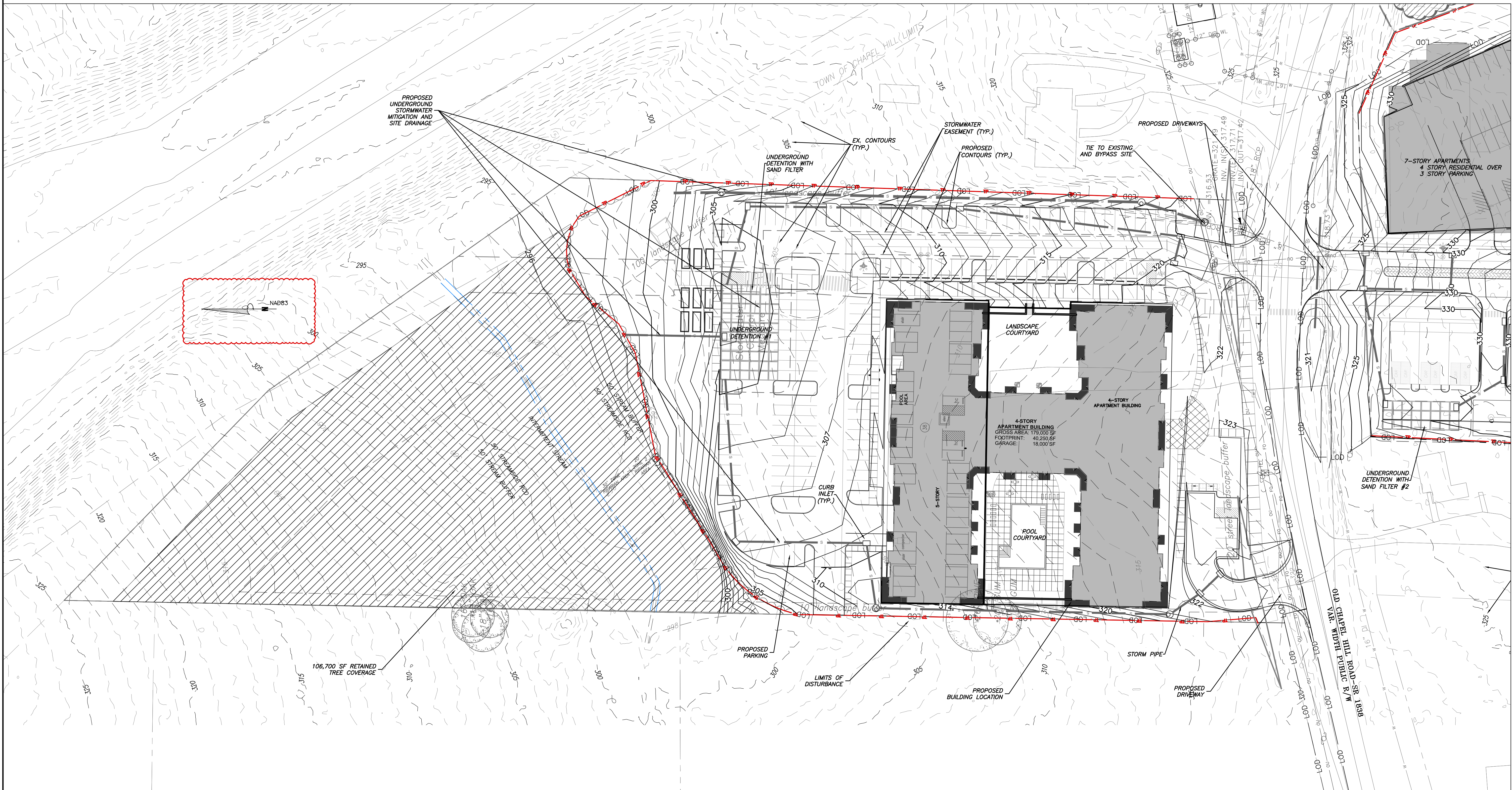
C3.1

S:\PROJECTS\2021\1118 MAINWAY CAPITAL CHAPEL HILL DEVELOPMENT\DWG\03070000\0302 - GRADING AND DRAINAGE.DWG - 11/15/23 11:29 AM

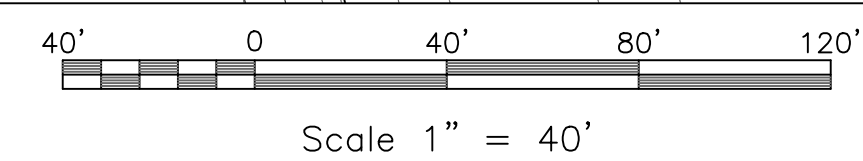
Water Valve		Utility Pole	
Yard Inlet		Guy Wire	
Curb Inlet/Catch Basin		Light Pole	
Mail Box		Sewer Cleanout	
Traffic Signal Box		Flared End Section	
Electric Transformer		Gas Valve	
Electric Junction Box		1/2" Rebar	
Gas Meter		Existing Iron Pipe (3/4" unless noted)	
Sanitary Sewer Manhole		1/2" Iron Pipe Set	
Storm Sewer Manhole		Existing PK Nail	
Telephone Manhole		PK Nail Set	
Electric Manhole		Computed Point	
Sign		Concrete Monument	
Telephone Pedestal		Tree Line	
Fire Hydrant		Fence	
Fire Department Connection		Underground Electric	
Post Indicator Valve		Underground Telephone	
Water Meter		Gas Line	
Hot Box		Water Line	
		Overhead Utilities	
		Storm Sewer	
		Sanitary Sewer	



NO.	TOWN COMMENTS	REVISED BY	DATE
1		T&H	4/5/23



**1** GRADING AND DRAINAGE PLAN - NORTH  
 C3.2 SCALE: 1" = 40'



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 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 GRADING AND DRAINAGE PLAN - NORTH

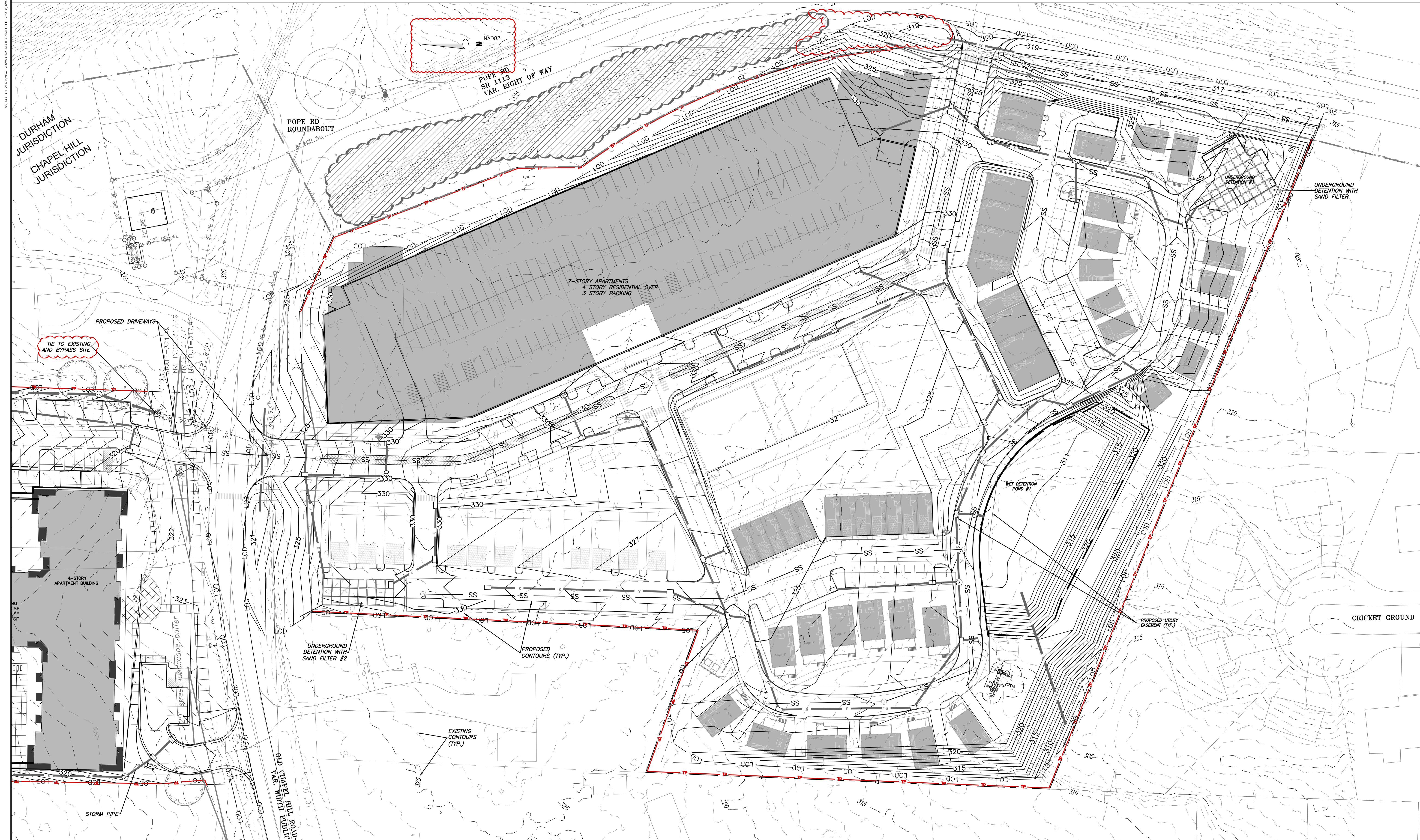
JOB NO.:	3-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

**C3.2**

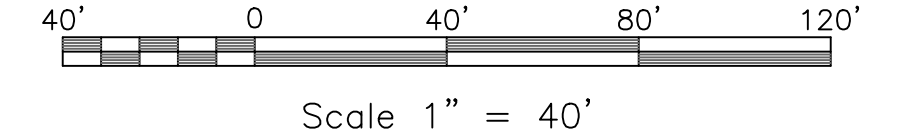
- Water Valve
- Yard Inlet
- Curb Inlet/Catch Basin
- Mall Box
- Traffic Signal Box
- Electric Transformer
- Electric Junction Box
- Gas Meter
- Sanitary Sewer Manhole
- Storm Sewer Manhole
- Telephone Manhole
- Electric Manhole
- Sign
- Telephone Pedestal
- Fire Hydrant
- Fire Department Connection
- Post Indicator Valve
- Water Meter
- Hot Box

- Utility Pole
- Guy Wire
- Light Pole
- Sewer Cleanout
- Flared End Section
- Gas Valve
- Existing Iron Pipe (3/4" unless noted)
- 1/2" Rebar
- 1/2" Iron Pipe Set
- Existing PK Nail
- PK Nail Set
- Computed Point
- Concrete Monument
- Tree Line
- Fence
- Underground Electric
- Underground Telephone
- Gas Line
- Water Line
- Overhead Utilities
- Storm Sewer
- Sanitary Sewer

- UT
- UT
- GAS
- W
- OU
- S
- SS



1 GRADING AND DRAINAGE PLAN - SOUTH  
 C3.3 SCALE: 1" = 40'



NO.	TOWN COMMENTS	REVISED BY	DATE
1			4/5/23

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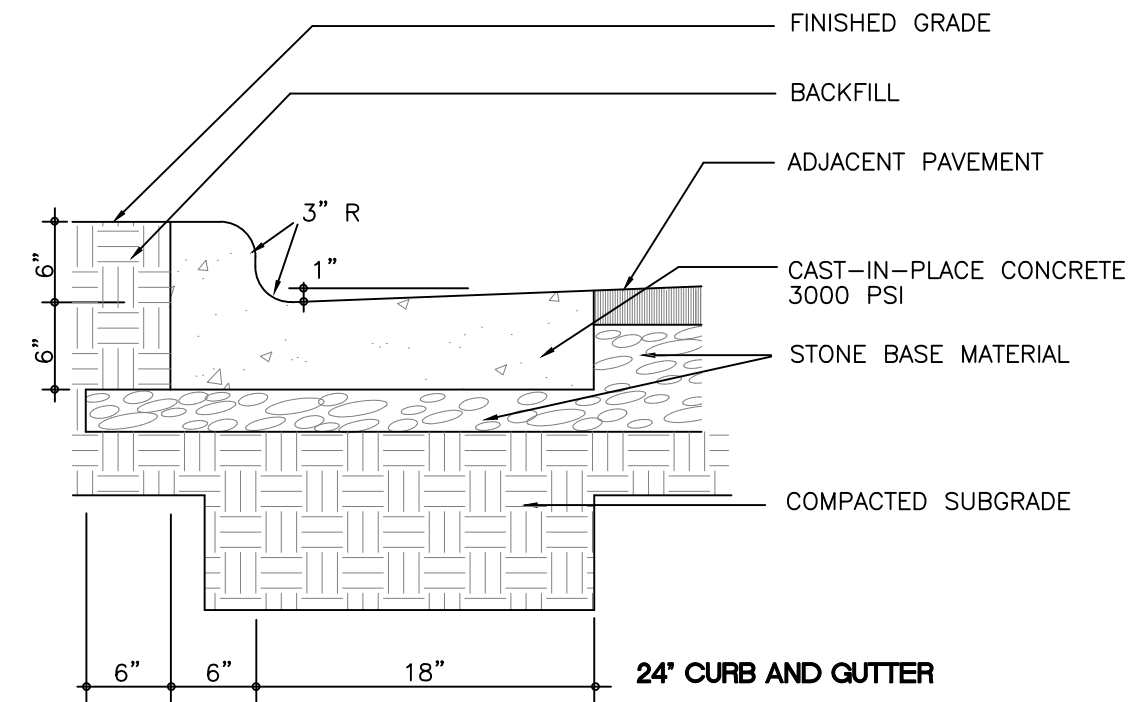
**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 GRADING AND DRAINAGE PLAN - SOUTH

JOB NO.:	30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

**C3.3**



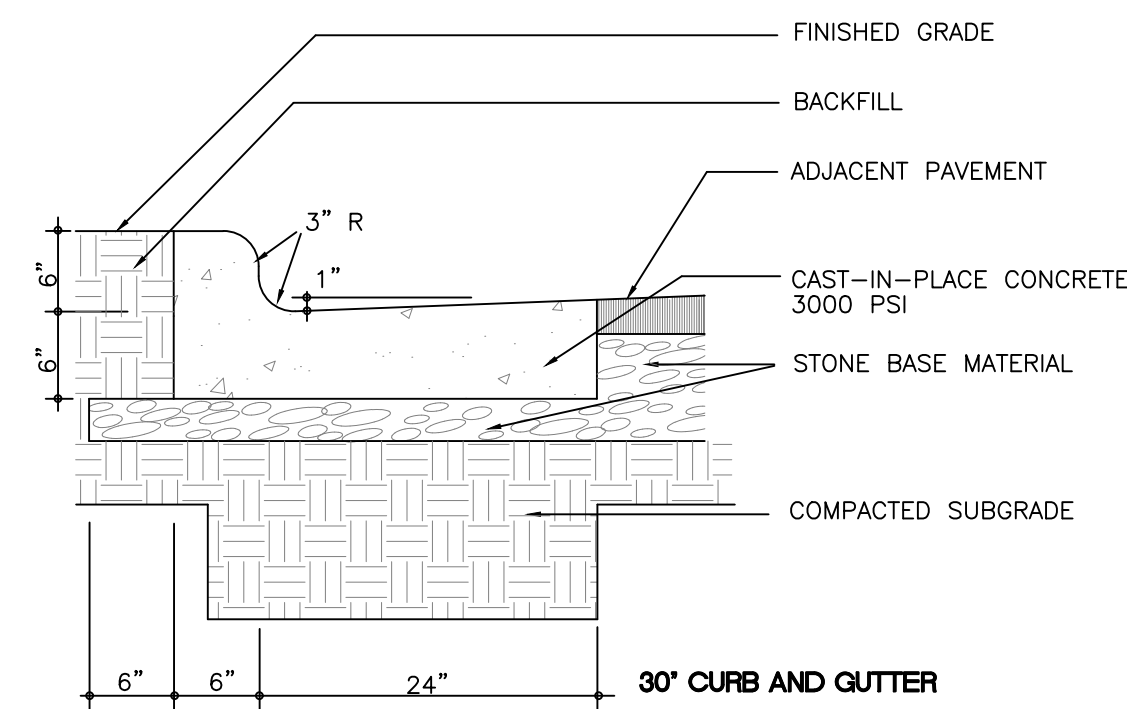
-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.  
 -CONTRACTION JOINTS MAY BE INSTALLED BY THE USE OF TEMPLATES OR FORMED BY OTHER APPROVED METHODS. WHERE SUCH JOINTS ARE NOT FORMED BY TEMPLATES, A MINIMUM DEPTH OF 1 1/2" SHALL BE MAINTAINED.  
 -ALL CONTRACTION JOINTS SHALL BE FILLED WITH JOINT FILLER.  
 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.  
 -EXPANSION JOINTS SHALL BE SPACED AT 90 FOOT INTERVALS AND ADJACENT TO ALL RIGID OBJECTS.



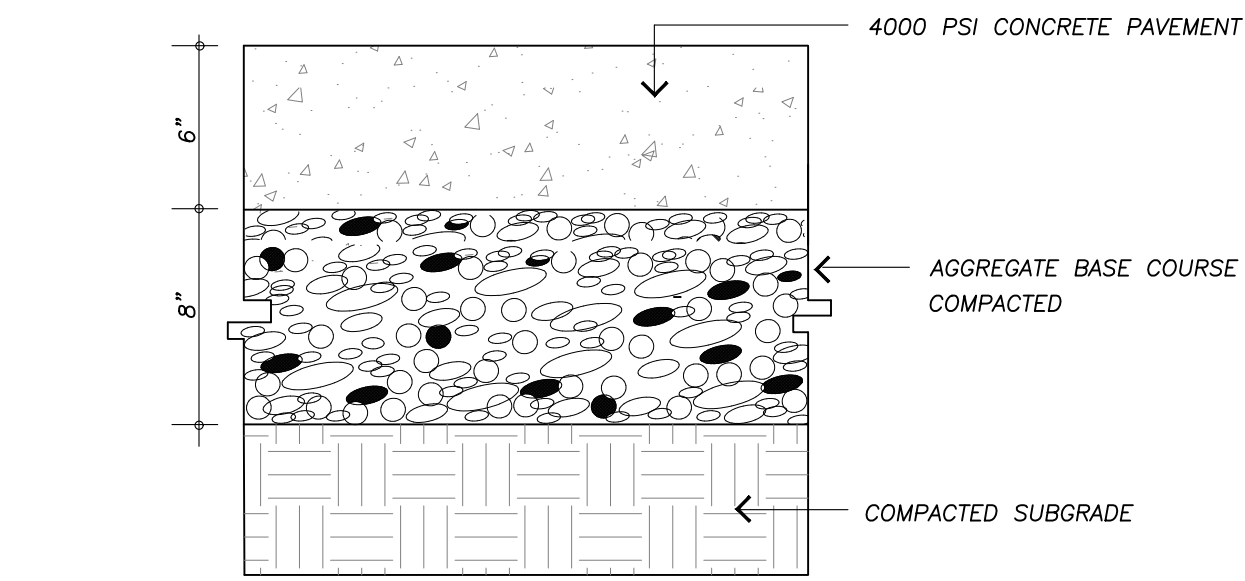
NOTE THAT THIS DETAIL DOES NOT MEET NC DOT REQUIREMENTS. ANY CURB AND GUTTER TO BE CONSTRUCTED IN THE HOMESTEAD ROAD RIGHT OF WAY IS TO FOLLOW NC DOT STANDARDS RE: 2/C800

**1**  
C3.4 ON SITE CURB & GUTTER  
no scale

-CONTRACTION JOINTS SHALL BE SPACED AT 10 FOOT INTERVALS. EXCEPT THAT A 15 FOOT SPACING MAY BE USED WHEN A MACHINE IS USED OR WHEN SATISFACTORY SUPPORT FOR THE FACE FORM CAN BE OBTAINED WITHOUT THE USE OF TEMPLATES AT 10 FOOT INTERVALS. JOINT SPACING MAY BE ALTERED BY THE ENGINEER TO PREVENT UNCONTROLLED CRACKING.  
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 -JOINTS SHALL MATCH LOCATIONS WITH JOINT IN ADJUTING SIDEWALK.  
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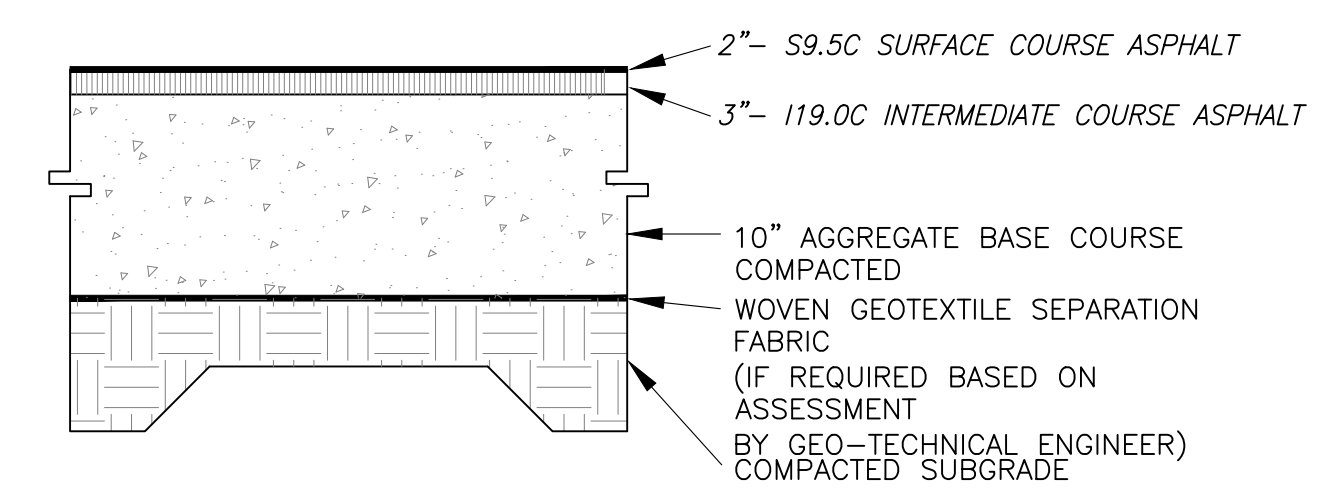


**2**  
C3.4 OFF SITE CURB & GUTTER  
no scale



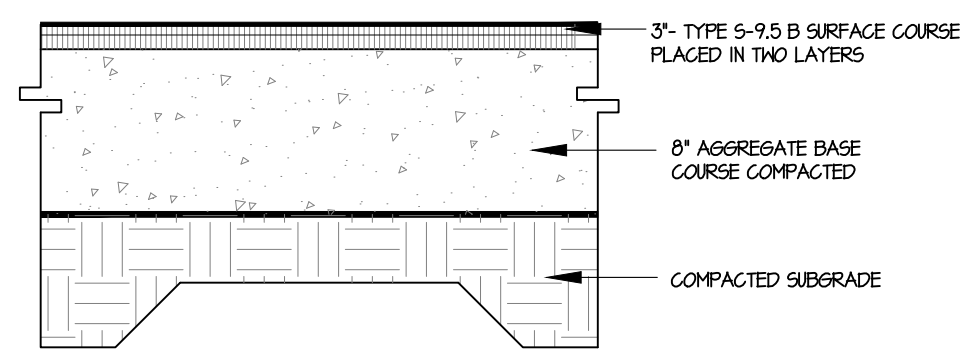
- NOTES:
- ALL CONCRETE TO 4000 PSI, PROPERLY AIR ENTRAINED FOR EXTERIOR GRADE CONCRETE MIXES.
  - CABC BASE AND SOIL SUBGRADE TO BE COMPACTED TO 98% OF THE ASTM D-698 STD. PROCTOR MDD IN ACCORDANCE WITH THE REPORT BY THE GEOTECHNICAL ENGINEER AND PROOFROLLED AND APPROVED BY GEOTECHNICAL PERSONNEL.
  - CONTRACTOR SHALL INSTALL CONTRACTION AND EXPANSION JOINTS AS NECESSARY TO MINIMIZE CRACKING. CONTRACTION JOINTS SHALL BE SPACED AT 10' MAXIMUM EACH WAY WITH ACTUAL PATTERN BASED ON FIELD CONDITIONS. JOINTS SHALL BE TOOLED OR SAW CUT TO A MINIMUM DEPTH OF 2". EXPANSION JOINTS SHALL BE INSTALLED BETWEEN PAVEMENT AND ANY RIGID OBJECTS AND SPACED AS SPECIFIED IN LATEST VERSION OF ACI STANDARDS.
  - ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LATEST VERSION OF ACI STANDARDS AND THE REPORT BY THE GEOTECHNICAL ENGINEER.

**3**  
C3.4 HEAVY DUTY CONCRETE PAVING  
no scale



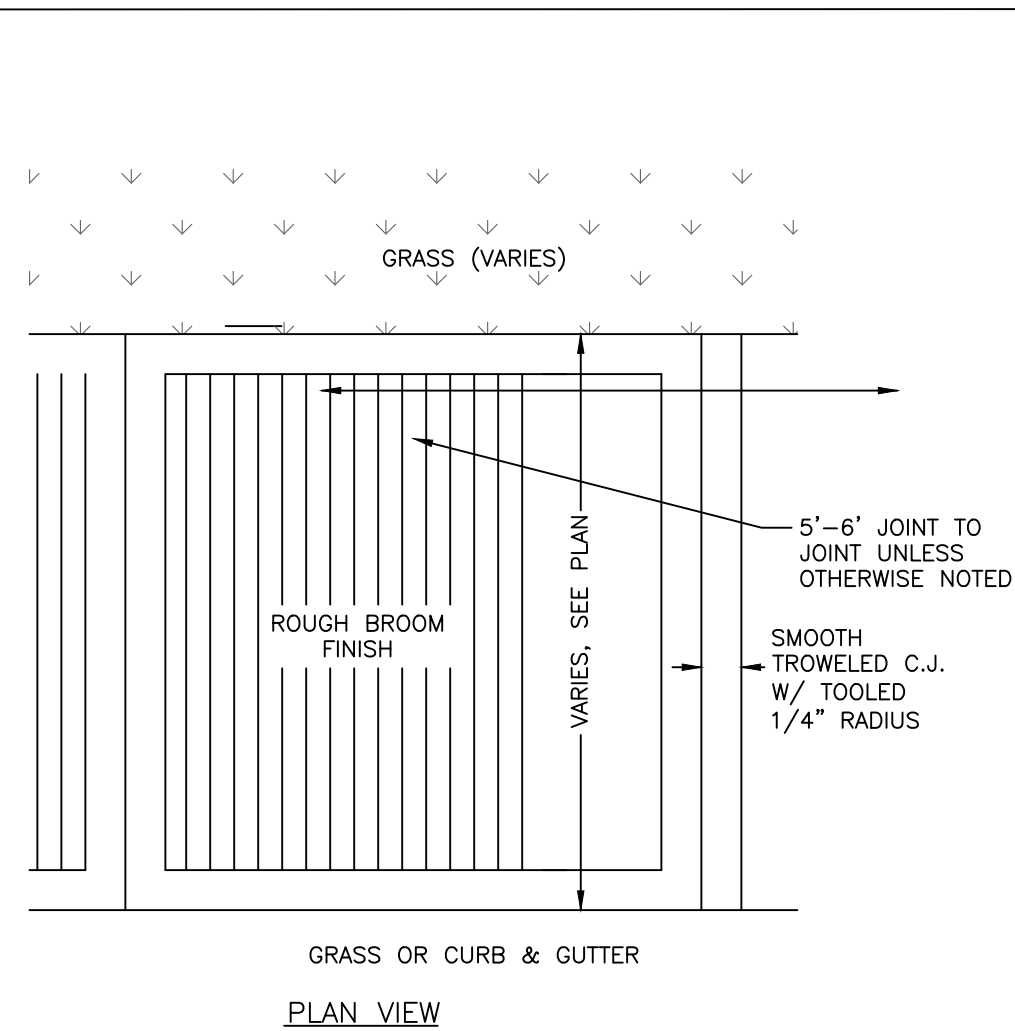
FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

**3**  
C3.4 HEAVY DUTY ASPHALT PAVING  
no scale

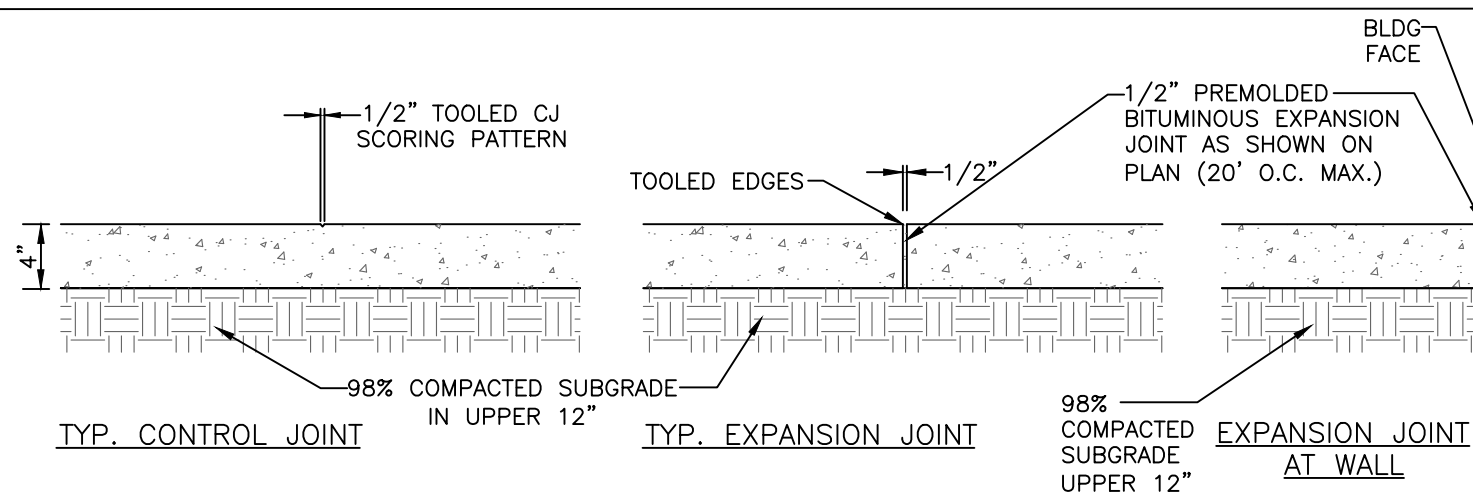


FINAL PAVEMENT SECTION IS PROVIDED BY GEO-TECHNICAL ENGINEER BASED SITE SPECIFIC GEO-TECHNICAL REPORT

**5**  
C3.4 STANDARD ASPHALT PAVING  
no scale

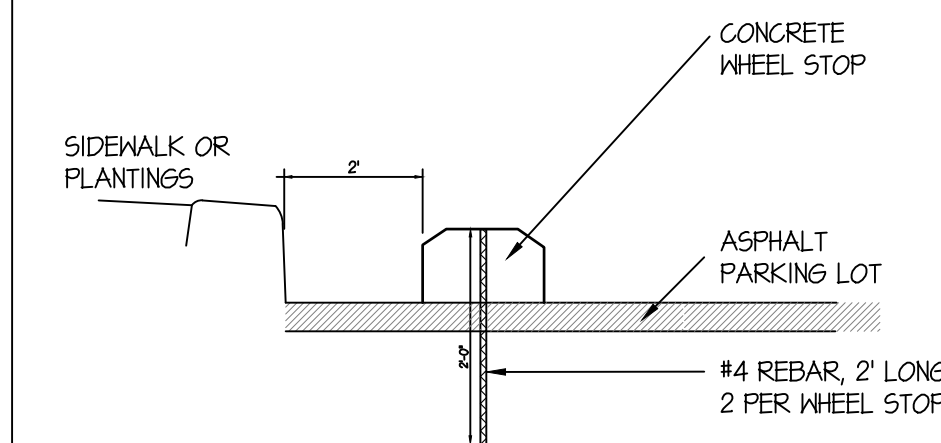


**6**  
C3.4 ON SITE CONCRETE SIDEWALK  
no scale

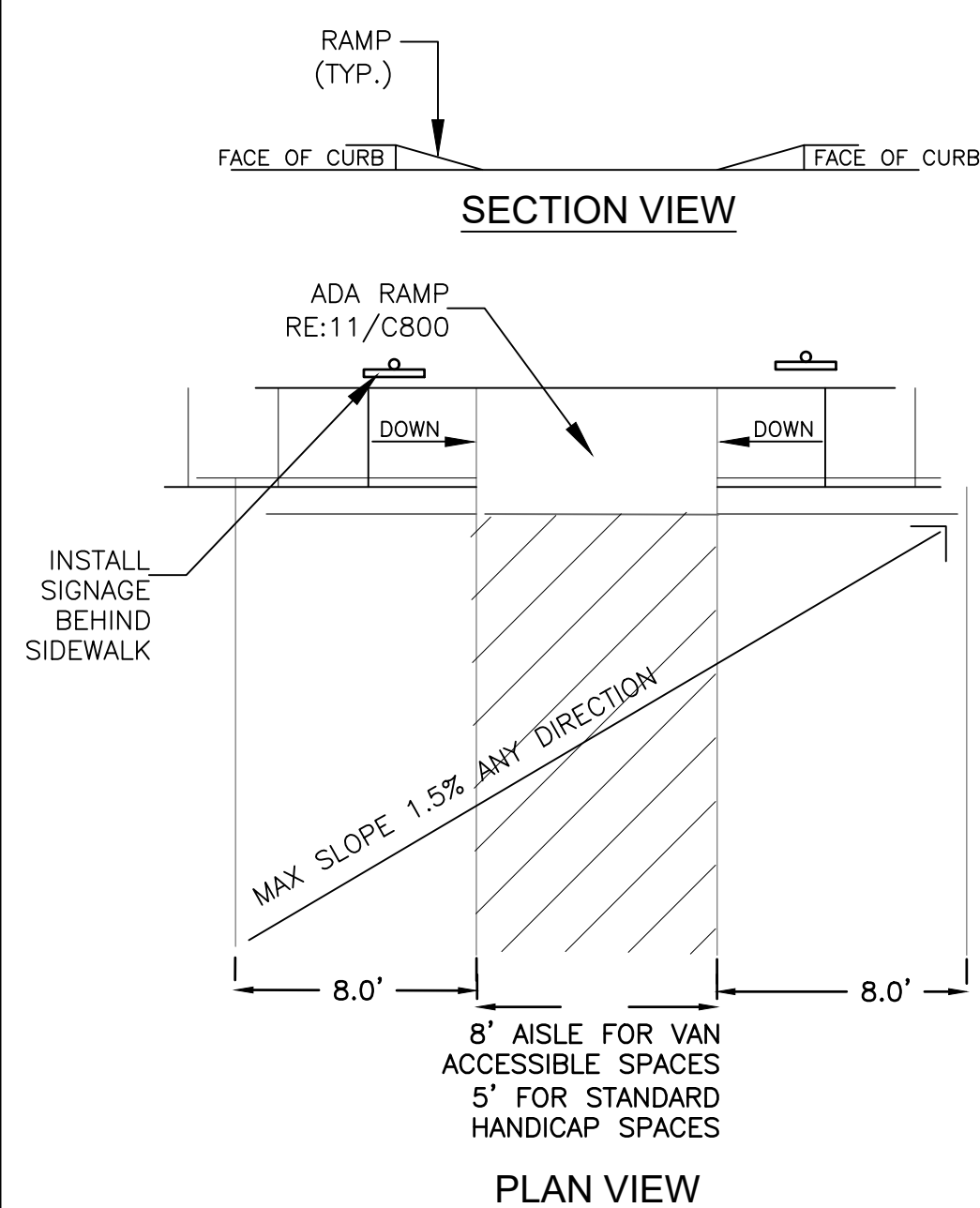


- NOTES:
- 4" THICK CONC., 3000 PSI MIN.
  - ALL SIDEWALK ARE TO HAVE MAXIMUM 1.8% CROSS SLOPE
  - USE 1/2" BITUMINOUS EXPANSION JOINT A MAX. OF 20' O.C. AND WHENEVER CONCRETE WALK MEETS FIXED OBJECTS (I.E. CURBS, BLDG. ETC.), EXPANSION JOINTS THAT ABUT BUILDINGS WALL SHALL BE SEALED WITH A FOAM BACKER ROD AND ELASTOMERIC SEALANT.
  - ALL CONSTRUCTION JOINTS AND EXPANSION JOINTS IN NCDOT RIGHT-OF-WAY SHALL BE SEALED PER NCDOT STANDARDS AND SPECIFICATION.
  - ALL SIDEWALKS SHALL BE CONSTRUCTED WITH TOOLED 1/4" EDGE RADIUS.

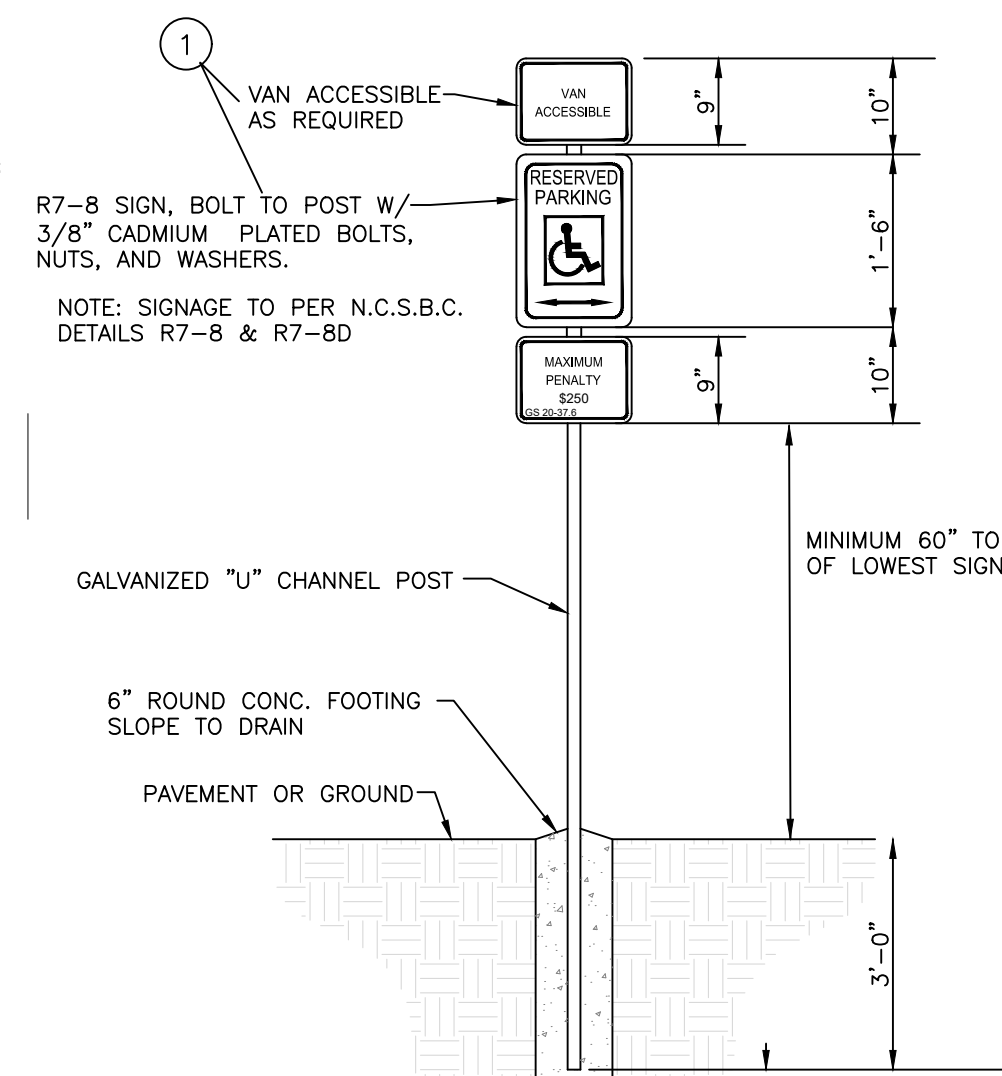
**7**  
C3.4 WHEELSTOP  
no scale



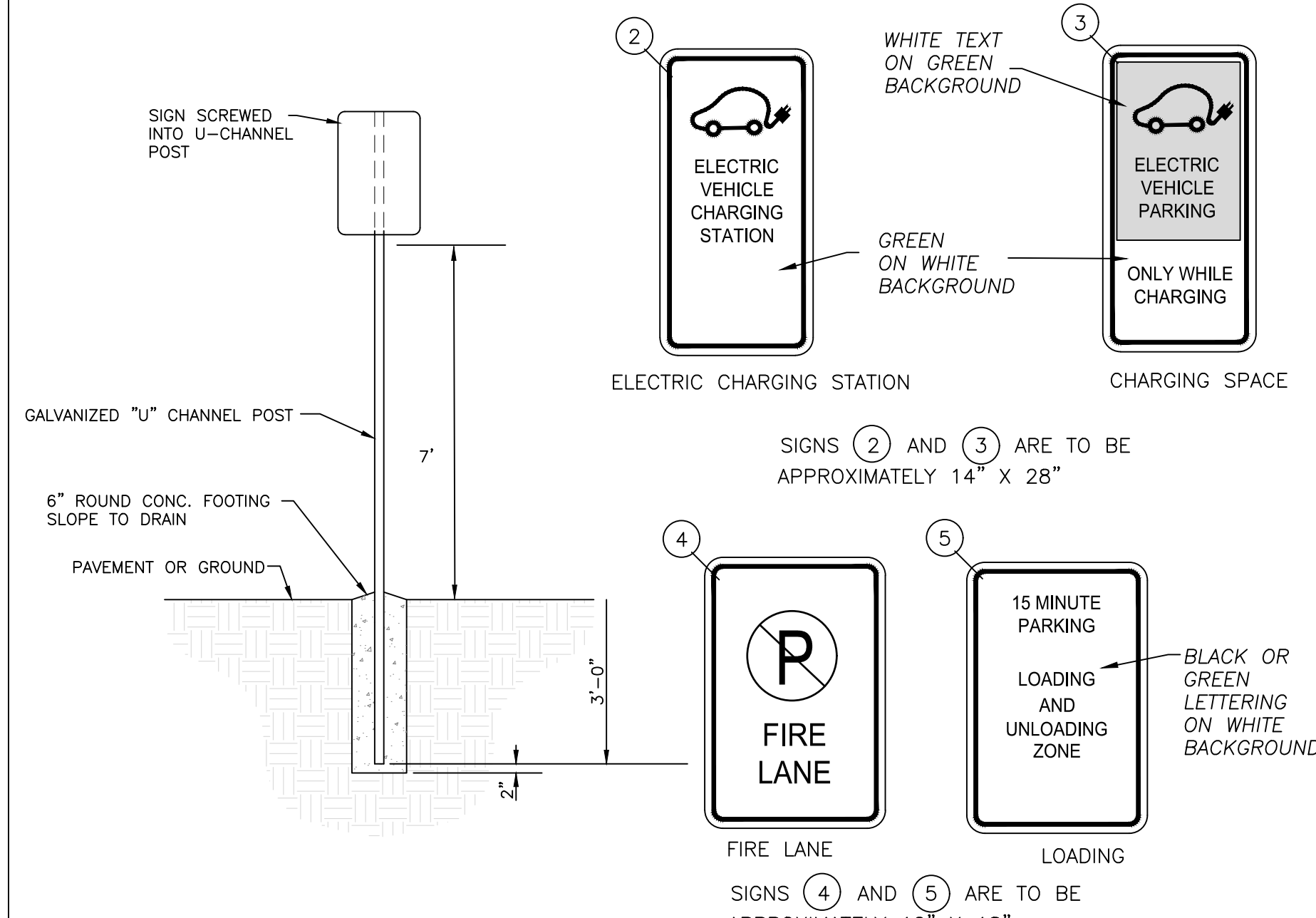
**8**  
C3.4 NOT USED  
no scale



**9**  
C3.4 ADA PARKING  
no scale



- GENERAL NOTES:
- REGARDLESS OF AGE, ALL ACCESSIBLE SPACES SHALL BE IDENTIFIED BY ABOVE-GROUND SIGNS ONLY.
  - NEW SPACES SHALL NOT USE GROUND-PAINTED SYMBOLS.
  - ACCESSIBLE SPACES ARE REQUIRED TO BE STRIPED OFF ONLY; BLUE COLORING IS NOT NECESSARY NOR REQUIRED.
  - STRIPING IS WHITE ON DARK PAVEMENT; BLACK ON LIGHT PAVEMENT. (N.C.D.O.T.)



**10**  
C3.4 PARKING AREA SIGNAGE  
no scale

**11**  
C3.4 NOT USED  
no scale



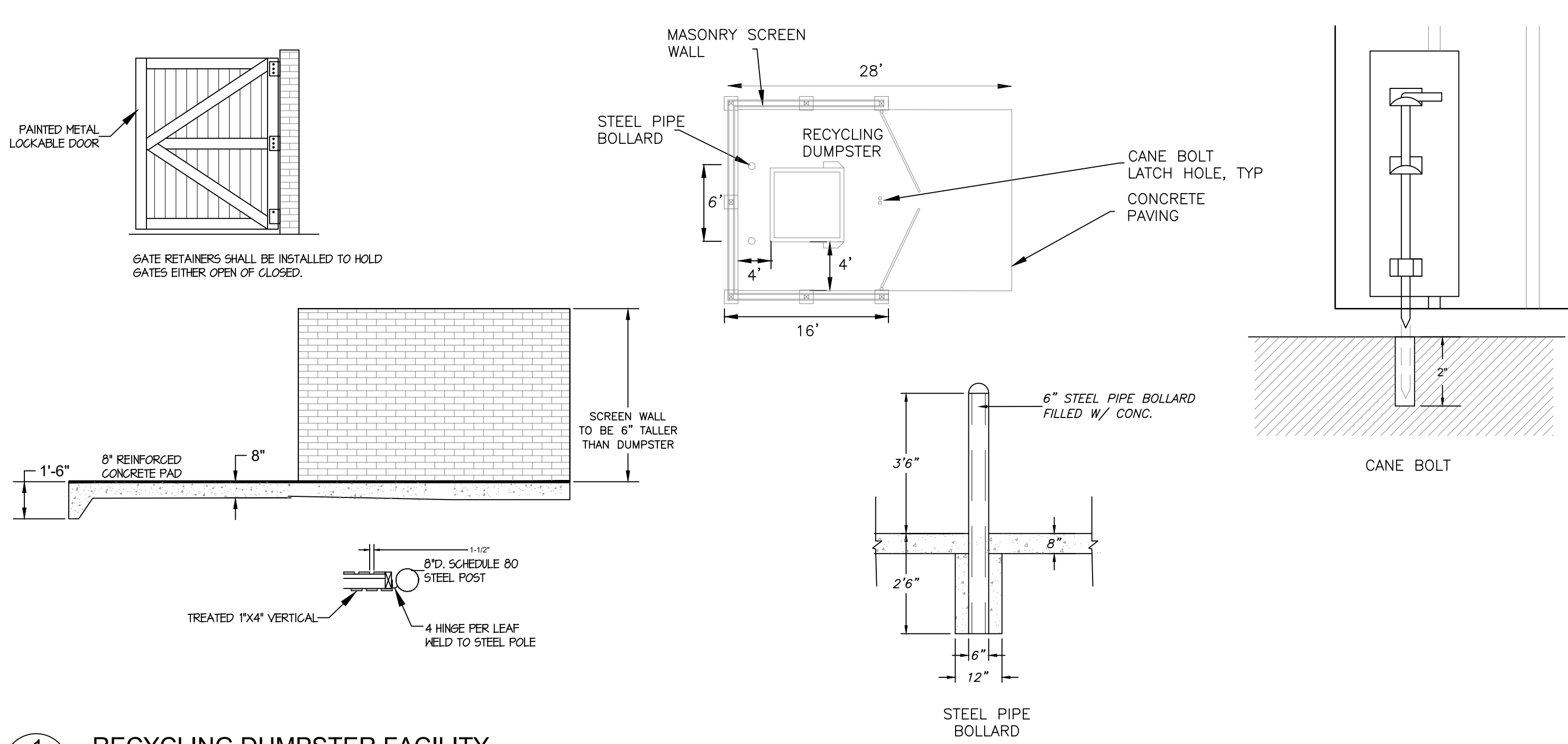
NO.	TOWN COMMENTS	DATE	BY
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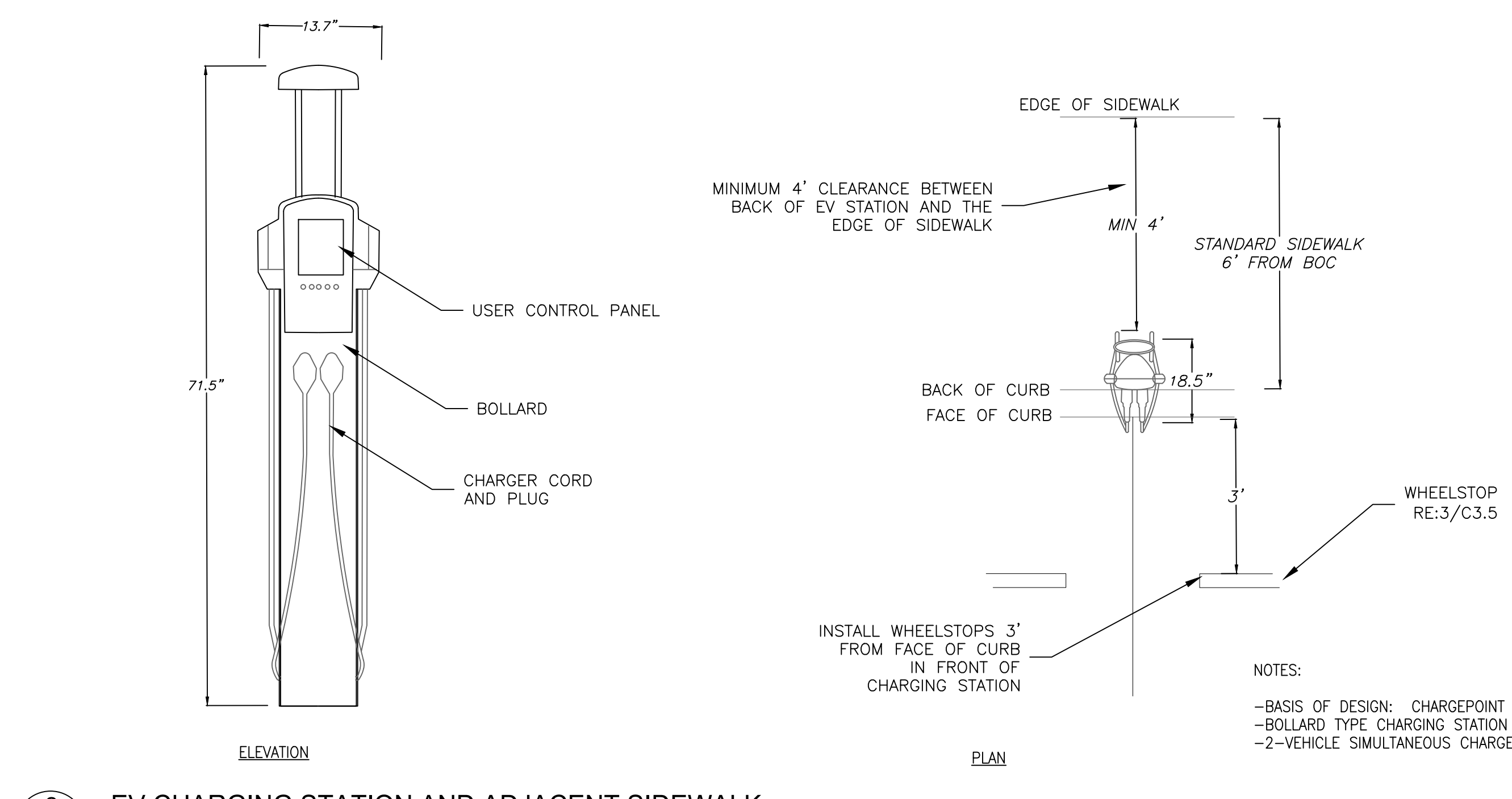
**EB CAPITAL PARTNERS**  
 CHAPEL HILL, NC  
 CHAPEL HILL CROSSING  
 SITE DETAILS

JOB NO.:	3-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	N.T.S.

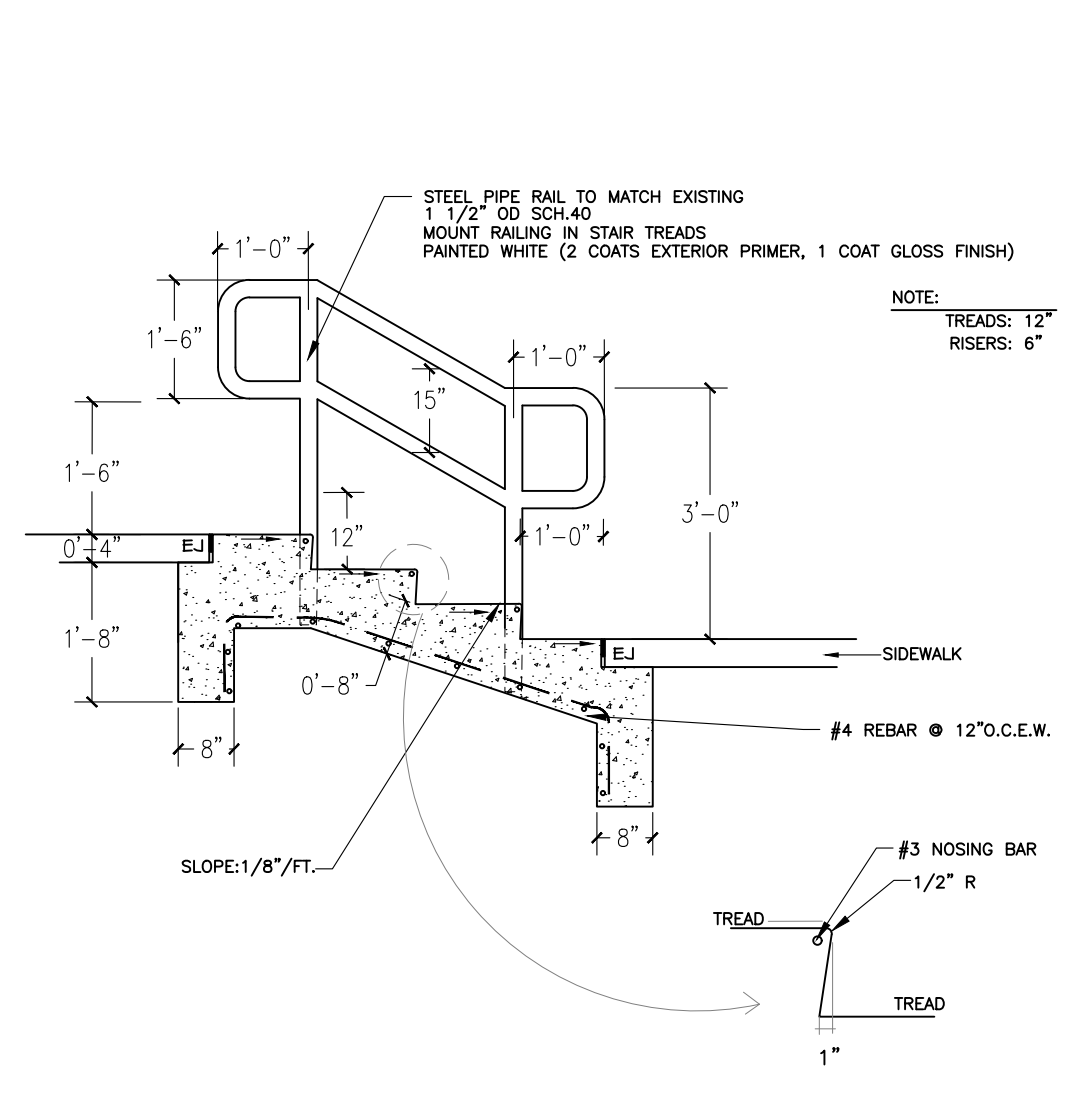
**C3.4**



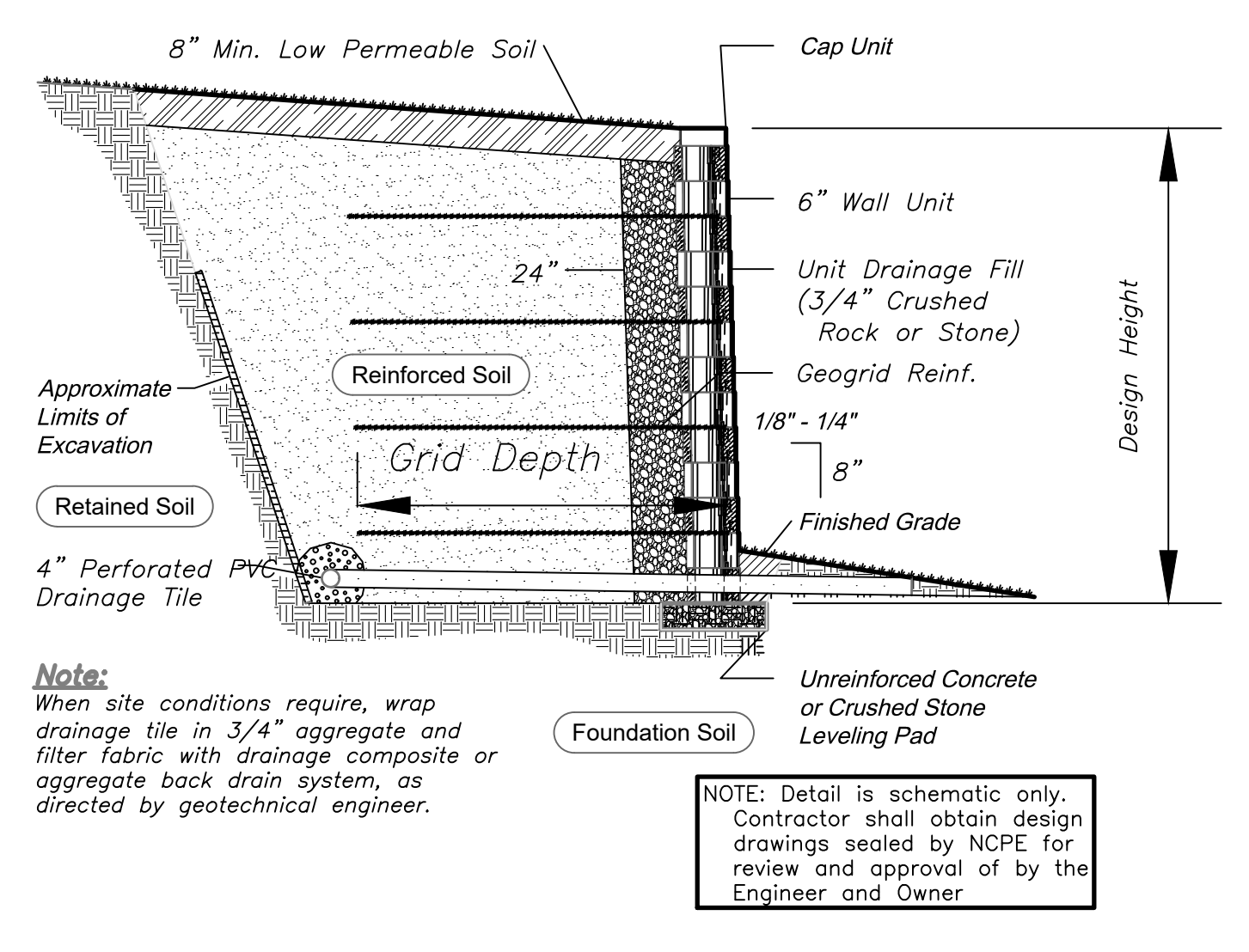
**1** RECYCLING DUMPSTER FACILITY  
C3.5 no scale



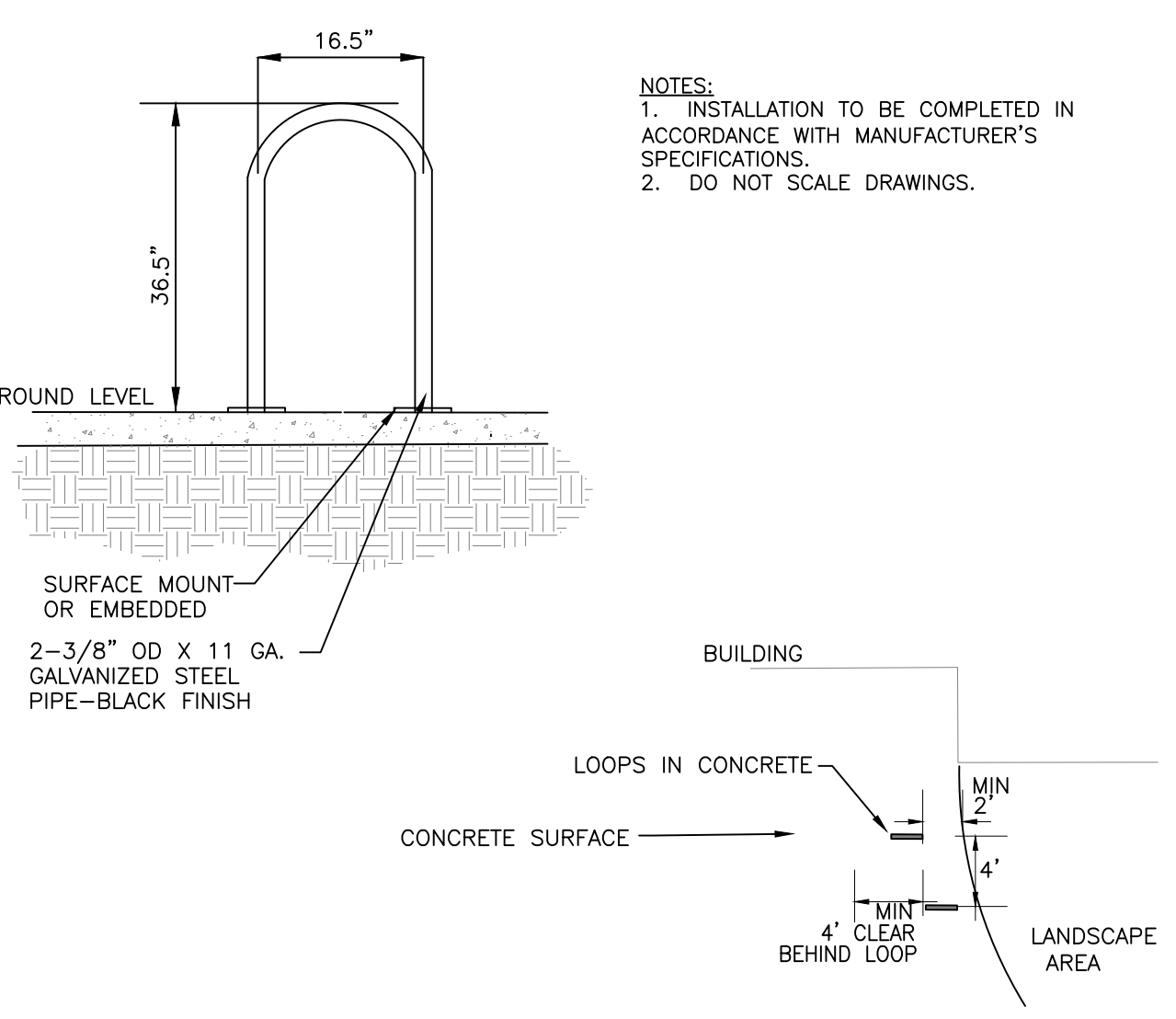
**2** EV CHARGING STATION AND ADJACENT SIDEWALK  
C3.5 no scale



**3** EXTERIOR CONCRETE STEPS  
C3.5 no scale



**4** SEGMENTAL BLOCK WALL CONCEPTUAL DETAIL  
C3.5 no scale



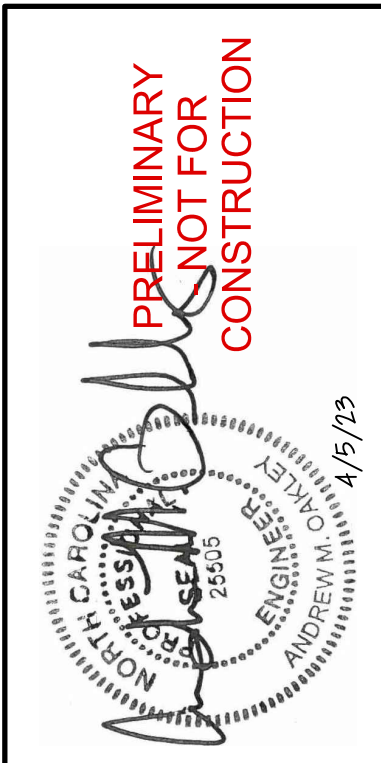
**5** EXTERIOR BIKE RACKS  
C3.5 no scale

**6** NOT USED  
C3.5 no scale

**7** NOT USED  
C3.5 no scale

**8** NOT USED  
C3.5 no scale

**9** NOT USED  
C3.5 no scale



NO.	TOWN COMMENTS	DATE	BY
1		4/5/23	

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EB CAPITAL PARTNERS  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
SITE DETAILS

JOB NO.	3-30792
DATE	2/10/23
DRAWN	WLR, AMO, MTC
DESIGNED	WLR, AMO
APPROVED	WLR, AMO
SCALE	N.T.S.

**C3.5**

- LANDSCAPING MUST BE IN PLACE PRIOR TO REQUEST FOR A CERTIFICATE OF OCCUPANCY OR CERTIFICATE OF COMPLIANCE.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- BED LINES SHALL CONFORM TO CONFIGURATION SHOWN ON THE PLANS. BED LINES SHALL MEET CURBS, WALKS, BUILDINGS, ETC. AT RIGHT ANGLES UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ACTUAL CONDITIONS AND VERIFY EXISTING CONDITIONS IN THE FIELD. CONTRACTOR SHALL REPORT ALL DISCREPANCIES TO LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ACCEPT ACTUAL CONDITIONS AT SITE AND PERFORM THE WORK SPECIFIED INCLUDING FINE GRADING AND INCORPORATION OF TOP SOIL INTO PLANTING AREAS, WITHOUT ADDITIONAL COMPENSATION FOR POSSIBLE VARIATION FROM GRADES AND CONDITIONS SHOWN, WHETHER SURFACE OR SUBSURFACE, EXCEPT AS PROVIDED FOR IN CONTRACT DOCUMENTS.
- IN LAWN AREAS, 2" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 5" OF GROUND PRIOR TO SEEDING. IN LANDSCAPE BEDS, 3" TOPSOIL/COMPOST SHALL BE TILLED INTO THE TOP 6" OF GROUND PRIOR TO PLANT INSTALLATION. ALL COMPACTED SOIL IS TO BE LOOSENEED TO A DEPTH OF 12".
- CONTRACTOR WILL OBTAIN WRITTEN APPROVAL FROM LANDSCAPE ARCHITECT FOR ANY PLANT SUBSTITUTIONS OF SPECIES, SIZE, OR TYPE OF CONTAINER.
- CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THESE UTILITIES DURING INSTALLATION, AND SHALL PROMPTLY REPAIR AND RESTORE SERVICES AT NO ADDITIONAL COST TO THE OWNER IF DAMAGE OCCURS DURING INSTALLATION. CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE FULL SET OF CONSTRUCTION DRAWINGS AND SPECIFICATIONS FOR COORDINATION WITH UTILITIES, ARCHITECTURAL FEATURES, ETC.
- CONTRACTOR WILL LEAVE DISTURBED AREAS LEVEL AND RAKED SMOOTH, REMOVING ALL ROCKS AND DEBRIS.
- MULCH IS TO BE A 3" LAYER OF TRIPLE SHREDDED HARDWOOD MULCH. MULCH IS TO BE KEPT AWAY FROM TREE TRUNKS.
- ANY DAMAGE TO EXISTING CONDITIONS OUTSIDE THE CONTRACT LIMITS, INCLUDING CURBS, SIDEWALKS, TURF AREAS AND PAVING, SHALL BE RESTORED TO ORIGINAL CONDITION BY THE CONTRACTOR WITHOUT EXTRA COST TO THE OWNER.
- IN CASE OF DISCREPANCY BETWEEN THE QUANTITY OF PLANTS ON THE PLANS COMPARED TO THE PLANT LIST, THE CONTRACTOR SHALL SUPPLY QUANTITIES AS SHOWN ON THE PLANS.
- ALL UNPAVED SURFACES ARE TO BE COVERED IN PLANTS, MULCH, OR GRASS.
- LINE OF SIGHT NOTE: NO PROPOSED LANDSCAPING WITHIN THE LINE OF SIGHT EASEMENT SHALL EXCEED 24" AT MATURITY. ANY NEW TREES SHALL BE LIMBED TO 7" ABOVE FINISHED GRADE.
- ANY INVASIVE, EXOTIC PLANT MATERIAL WILL BE REMOVED FROM LANDSCAPE BUFFERS. A SURVEY OF EXISTING THE LANDSCAPE BUFFERS TO REMAIN WILL BE CONDUCTED FOLLOWING INITIAL CLEARING, AND ANY INVASIVE OR EXOTIC SPECIES FOUND WILL BE REMOVED.

	NORTH	SOUTH
SITE AREA	283,779 SF	426,215 SF
LESS STORM EASEMENTS	14,625 SF	50,700 SF
LESS UTILITY EASEMENTS	0	67,600 SF
NET AREA BASE	269,154 SF	307,915 SF
PERCENT COVERAGE	30%	40%
COVERAGE REQUIRED	80,746 SF	123,166 SF
RETAINED TREE AREA:	87,500 SF	0 SF
PROPOSED TREE INSTALLATION:	50 trees x 500 sf	250 trees x 500 sf
TOTAL TREE COVERAGE:	112,500 SF	125,000 SF

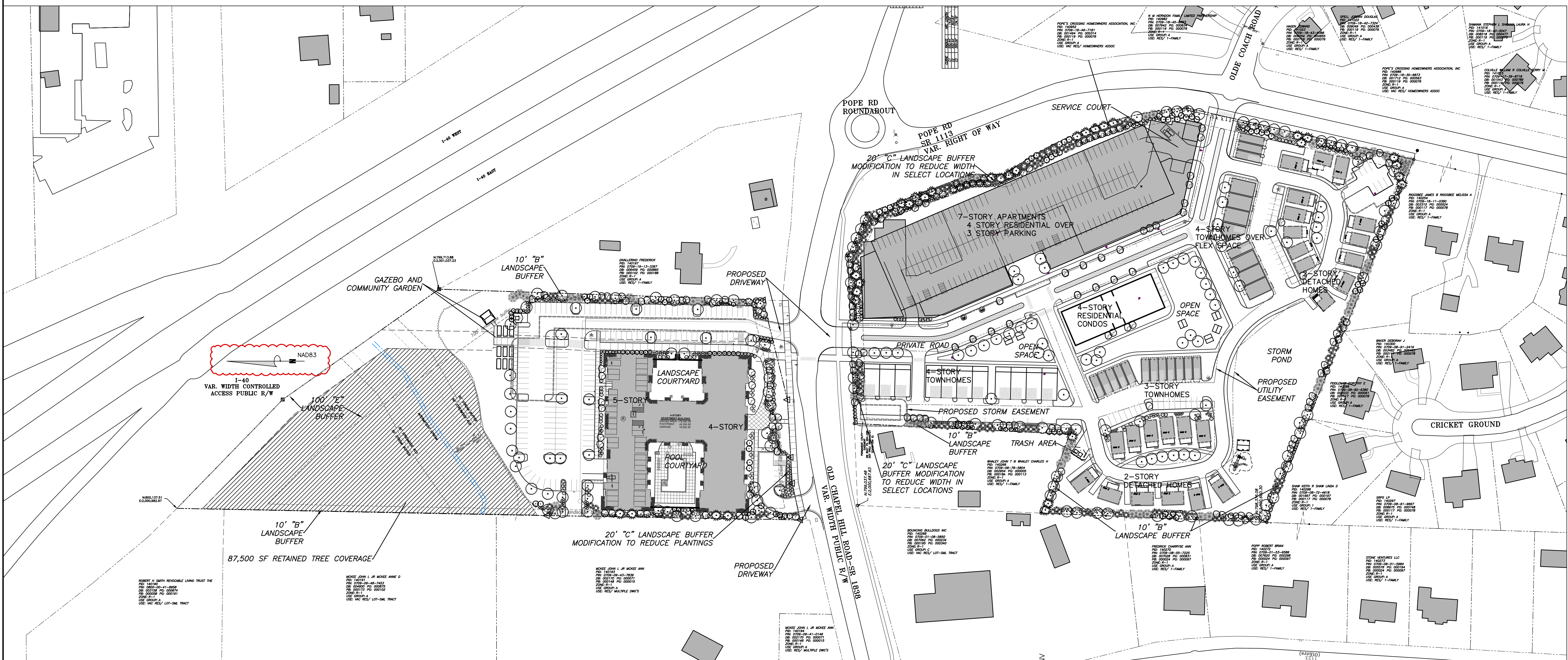
TOTAL TREE COVERAGE REQUIRED: 203,912  
 TREE AREA RETAINED: 87,500 SF  
 PROPOSED TREE INSTALLATION: 150,000 SF CREDIT  
 TOTAL PROPOSED TREE COVERAGE: 237,500 SF

- PROJECT LANDSCAPE PLAN WILL COMPLY WITH TOWN UPDATED LANDSCAPE STANDARDS EXCEPT FOR . DETAILS FOR AMENDED SOILS AND VOLUME REQUIREMENTS WILL BE INCLUDED IN FINAL PLANS.
- FINAL PLANS WILL INCLUDE CARE/MAINTENANCE PRACTICES.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, DEPTHS, QUANTITIES, DISTANCES, ANGLES AND SLOPES PRIOR TO ORDERING MATERIALS OR INSTALLING PROJECT.
- IN AREAS OF GROUND COVER, MAINTAIN A 12" MINIMUM DISTANCE BETWEEN PLANTS AND HARD IMPROVEMENTS.
- 

**2 LANDSCAPING NOTES**  
L1.1

**3 TREE COVERAGE CALCULATIONS**  
L1.1

**4 COMPLIANCE WITH TOWN LANDSCAPE GUIDELINES**  
L1.1



**1 LANDSCAPE PLAN - OVERALL**  
L1.1 SCALE: 1"=80'

**PRELIMINARY - NOT FOR CONSTRUCTION**

ARCHITECT  
1302  
WENDI L. RAY, AIA  
4/19/23

NO.	TOWN COMMENTS	REVISIONS	BY	DATE
1				4/5/23

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111 West Main Street  
Durham, NC 27701 • 919.682.0368  
www.thomasandhutton.com

**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
LANDSCAPE PLAN - OVERALL

JOB NO.:	23-0792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 80'

**L1.1**

NORTH		# Required per 100'	Required Plantings:	Plantings Provided
<b>NorthWest Buffer "B" - Adjacent to vacant residential</b>				
Existing forest to remain. No additional plantings proposed.				
10' Wide	4 Large Tree	= 22.0	22 Large Trees	0 Large Tree
550 LF	7 Small Tree	= 38.5	39 Small Trees	0 Small Tree
(Internal)	12 Shrubs	= 66.0	66 Shrubs	0 Shrub
<b>SouthWest Buffer "B" - Adjacent to vacant residential</b>				
10' Wide	4 Large Tree	= 18.3	19 Large Trees	19 Large Trees
457 LF	7 Small Tree	= 32.0	32 Small Trees	32 Small Trees
(Internal)	12 Shrubs	= 54.9	55 Shrubs	55 Shrubs
<b>North Buffer "E" - I-40</b>				
Existing forest to remain. No additional plantings proposed.				
100' Wide	10 Large Tree	= 57.4	58 Large Trees	0 Large Tree
574 LF	15 Small Tree	= 86.1	87 Small Trees	0 Small Tree
(External)	70 Shrubs	= 401.8	402 Shrubs	0 Shrub
<b>East Buffer "B" - Adjacent to residential</b>				
10' Wide	4 Large Tree	= 20.7	21 Large Trees	21 Large Trees
516 LF	7 Small Tree	= 36.2	37 Small Trees	37 Small Trees
(Internal)	12 Shrubs	= 62.0	62 Shrubs	62 Shrubs
<b>South Buffer "C" - Old Chapel Hill Road</b>				
Modification to reduce plant quantity to 30% required plant material				
10' Wide	5 Large Tree	= 18.1	19 Large Trees	5 Large Trees
362 LF	10 Small Tree	= 36.2	37 Small Trees	11 Small Trees
(External)	36 Shrubs	= 130.4	131 Shrubs	39 Shrubs
<b>Parking Lot Shading</b>				
Lot	Paved Area	# Required per 2000 SF	Plantings Provided	
North	34,643 SF	17.32	18 Large Trees	
West	17,145 SF	8.57	9 Large Trees	
Front	4,346 SF	2.17	3 Large Trees	

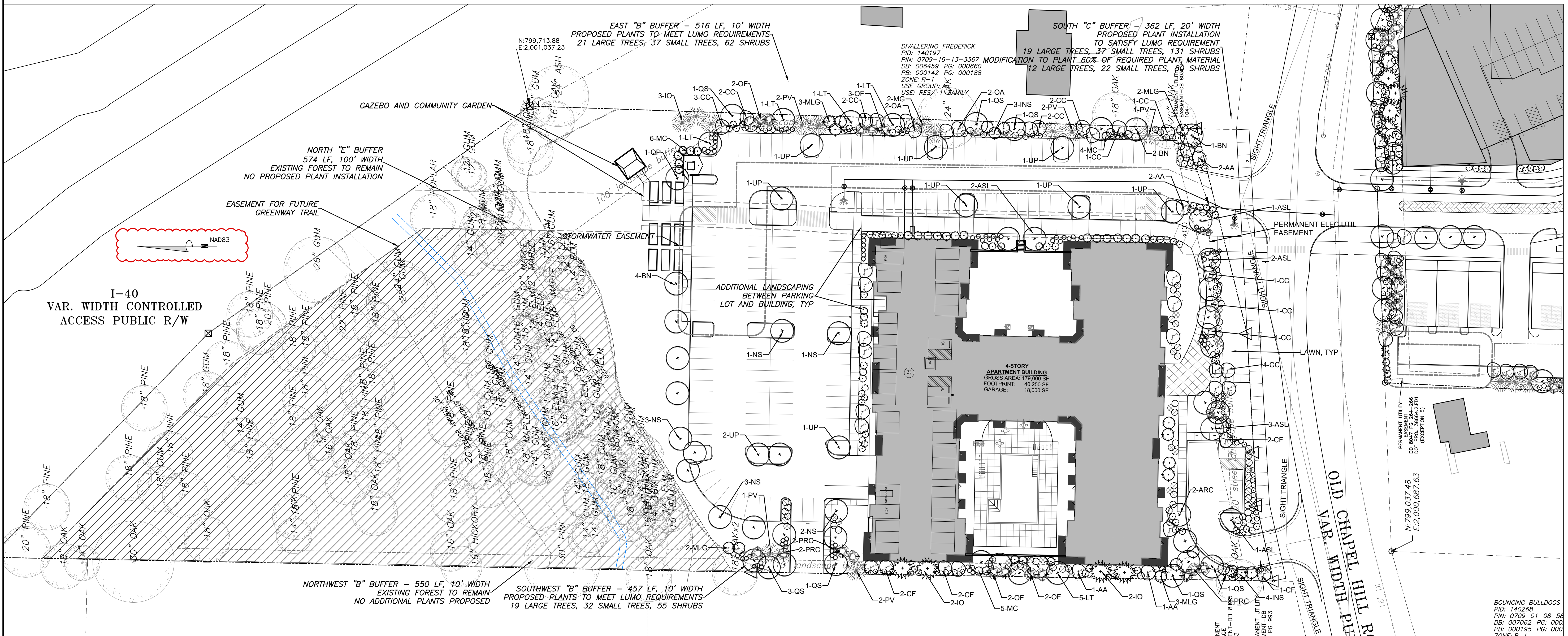
2 PLANT CALCULATIONS NORTH  
L1.2

QTY	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE*	CALIPER	HEIGHT	SPACING	REMARKS
<b>TREES</b>								
8	AA	Amerlanchier arborea	Serviceberry	8'-10'				AS SHOWN FULL AND MATCHING
2	ARC	Acer rubrum 'Columnare'	Columnar Red Maple	3"-3.5"				AS SHOWN FULL AND MATCHING
9	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	3"-3.5"				AS SHOWN FULL AND MATCHING
7	BN	Betula nigra	River Birch	10'				AS SHOWN MULTI-STEM
20	CC	Cercis canadensis	Redbud	8'-10'				AS SHOWN FULL
7	CF	Cornus florida	Flowering Dogwood	8'-10'				AS SHOWN FULL
7	INS	Ilex Nellie Stevens	Nellie Stevens Holly	8'-10'				AS SHOWN FULL
7	IO	Ilex opaca	American Holly	8'-10'				AS SHOWN FULL AND MATCHING
3	IV	Ilex verticillata	Winterberry	6'				AS SHOWN FULL
9	LT	Liriodendron tulipifera	Tulip Poplar	3"-3.5"				AS SHOWN FULL
2	MG	Magnolia grandiflora	Southern Magnolia	3"-3.5"				AS SHOWN FULL
10	MLG	Magnolia 'Little Gem'	Little Gem Magnolia	8'-10'				AS SHOWN FULL AND MATCHING
15	MC	Myrica cerifera	Southern waxmyrtle	5'				AS SHOWN FULL AND MATCHING
10	NS	Nyssa sylvatica	Blackgum	3"-3.5"				AS SHOWN FULL
9	OF	Osmanthus fortunei	Fragrant Osmanthus	6'				AS SHOWN FULL
4	OA	Oxydendron arborea	Sourwood	8'				AS SHOWN FULL
7	PRC	Prunus caroliniana 'Morus'	Bright n Tight Carolina Laurel	8'				AS SHOWN FULL AND MATCHING
8	PV	Pinus virginiana	Virginia Pine	3"-3.5"				AS SHOWN FULL
1	QP	Quercus phellos	Willow Oak	3"-3.5"				AS SHOWN FULL
9	QS	Quercus shumardii	Shymard Oak	3"-3.5"				AS SHOWN FULL
10	UP	Ulmus americana 'Princeton'	Princeton Elm	3"-3.5"				AS SHOWN FULL
<b>164 trees total</b>								
<b>SHRUBS</b>								
		Azalea 'Autumn Twist'	Autumn Twist Encore Azalea	24"				AS SHOWN FULL AND MATCHING
		Calliandra americana	American Beautyberry	24"				AS SHOWN FULL AND MATCHING
		Distylium 'Emerald Heights'	Emerald Heights Distylium	24"				AS SHOWN FULL AND MATCHING
		Cornus alba 'Sibirica'	Red Twig Dogwood	30"				AS SHOWN FULL AND MATCHING
		Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	24"				AS SHOWN FULL AND MATCHING
		Fothergilla 'Mt Airy'	Mt Airy Fothergilla	30"				AS SHOWN FULL AND MATCHING
		Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	30"				AS SHOWN FULL AND MATCHING
		Gardenia jasminoides 'Kleims Hardy'	Kleims Hardy Gardenia	24"				AS SHOWN FULL AND MATCHING
		Hydrangea quercifolia	Oakleaf Hydrangea	36"				AS SHOWN FULL AND MATCHING
		Ilex glabra	Inkberry Holly	30"				AS SHOWN FULL AND MATCHING
		Illicium floridanum	Florida Anise	30"				AS SHOWN FULL AND MATCHING
		Sarcococca nuscifolia	Sweetbox	24"				5' O.C. FULL AND MATCHING
		Viburnum dentatum	Arrowwood Viburnum	36"				6' O.C. FULL AND MATCHING
		Viburnum juddei	Judd Viburnum	26"				5' O.C. FULL AND MATCHING
<b>157 shrubs total</b>								
<b>GROUND COVER/GRASSES</b>								
		Panicum virginiana	Switchgrass	1 GAL				3' O.C. FULL AND MATCHING
		Pennisetum alopecuroides	Pennisetum	1 GAL				3' O.C. FULL AND MATCHING

3 PLANT LIST - NORTH  
L1.2 PLANT LIST MAY BE EXPANDED AT FINAL PLAN PHASE

QTY	KEY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE*	CALIPER	HEIGHT	SPACING	REMARKS
<b>TREES</b>								
23	AA	Amerlanchier arborea	Serviceberry	8'				AS SHOWN FULL AND MATCHING
12	ARC	Acer rubrum 'Columnare'	Columnar Red Maple	3"-3.5"				AS SHOWN FULL AND MATCHING
9	ASL	Acer saccharum 'Legacy'	Legacy Sugar Maple	3"-3.5"				AS SHOWN FULL AND MATCHING
6	BN	Betula nigra	River Birch	3"-3.5"				AS SHOWN MULTI-STEM
20	CC	Cercis canadensis	Redbud	8'				AS SHOWN FULL
23	CF	Cornus florida	Flowering Dogwood	8'-10'				AS SHOWN FULL
20	CV	Chionanthus virginicus	Fringetree	8'-10'				AS SHOWN FULL AND MATCHING
20	INS	Ilex Nellie Stevens	Nellie Stevens Holly	8'-10'				AS SHOWN FULL AND MATCHING
31	IV	Ilex opaca	American Holly	3"-3.5"				10'-12' AS SHOWN FULL AND MATCHING
9	LT	Liriodendron tulipifera	Tulip Poplar	3"-3.5"				AS SHOWN FULL
10	MLG	Magnolia 'Little Gem'	Little Gem Magnolia	3"-3.5"				10'-12' AS SHOWN FULL AND MATCHING
30	MLG	Magnolia 'Little Gem'	Little Gem Magnolia	8'-10'				AS SHOWN FULL AND MATCHING
20	MC	Myrica cerifera	Southern waxmyrtle	5'				AS SHOWN FULL AND MATCHING
7	NS	Nyssa sylvatica	Blackgum	3"-3.5"				AS SHOWN FULL
43	OF	Osmanthus fortunei	Fragrant Osmanthus	6'				AS SHOWN FULL
23	PRC	Prunus caroliniana 'Morus'	Bright n Tight Carolina Laurel	8'				AS SHOWN FULL AND MATCHING
35	PV	Pinus virginiana	Virginia Pine	3"-3.5"				10'-12' AS SHOWN FULL
5	QP	Quercus phellos	Willow Oak	3"-3.5"				AS SHOWN FULL
9	QS	Quercus shumardii	Shymard Oak	3"-3.5"				AS SHOWN FULL
13	UP	Ulmus americana 'Princeton'	Princeton Elm	3"-3.5"				AS SHOWN FULL
<b>357 trees total</b>								
<b>SHRUBS</b>								
		Azalea 'Autumn Twist'	Autumn Twist Encore Azalea	24"				AS SHOWN FULL AND MATCHING
		Calliandra americana	American Beautyberry	24"				AS SHOWN FULL AND MATCHING
		Distylium 'Emerald Heights'	Emerald Heights Distylium	24"				AS SHOWN FULL AND MATCHING
		Cornus alba 'Sibirica'	Red Twig Dogwood	30"				AS SHOWN FULL AND MATCHING
		Euonymus fortunei 'Emerald Gaiety'	Emerald Gaiety Euonymus	24"				AS SHOWN FULL AND MATCHING
		Fothergilla 'Mt Airy'	Mt Airy Fothergilla	30"				AS SHOWN FULL AND MATCHING
		Gardenia jasminoides 'August Beauty'	August Beauty Gardenia	30"				AS SHOWN FULL AND MATCHING
		Gardenia jasminoides 'Kleims Hardy'	Kleims Hardy Gardenia	24"				AS SHOWN FULL AND MATCHING
		Hydrangea quercifolia	Oakleaf Hydrangea	36"				AS SHOWN FULL AND MATCHING
		Ilex glabra	Inkberry Holly	30"				AS SHOWN FULL AND MATCHING
		Illicium floridanum	Florida Anise	30"				AS SHOWN FULL AND MATCHING
		Sarcococca nuscifolia	Sweetbox	24"				5' O.C. FULL AND MATCHING
		Viburnum dentatum	Arrowwood Viburnum	36"				6' O.C. FULL AND MATCHING
		Viburnum juddei	Judd Viburnum	36"				5' O.C. FULL AND MATCHING
<b>640 shrubs total</b>								
<b>GROUND COVER/GRASSES</b>								
		Panicum virginiana	Switchgrass	1 GAL				3' O.C. FULL AND MATCHING
		Pennisetum alopecuroides	Pennisetum	1 GAL				3' O.C. FULL AND MATCHING

3 PLANT LIST - SOUTH (shown on sheet L-1.4)  
L1.2 PLANT LIST MAY BE EXPANDED AT FINAL PLAN PHASE



1 LANDSCAPE PLAN - NORTH  
L1.2 SCALE: 1"=40'

**LEGEND**

- Canopy Tree
- Understory Tree
- Shrub

NOTE: SHRUBS ARE SHOWN ON THE PLAN AND QUANTITIES INDICATED ON THE PLANT LIST.

PRELIMINARY  
- NOT FOR  
CONSTRUCTION

1302

ARCHITECT

L. R. HUTTON

NO.	REVISIONS	DATE
1	TOWN COMMENTS	4/5/23

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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC

CHAPEL HILL CROSSING

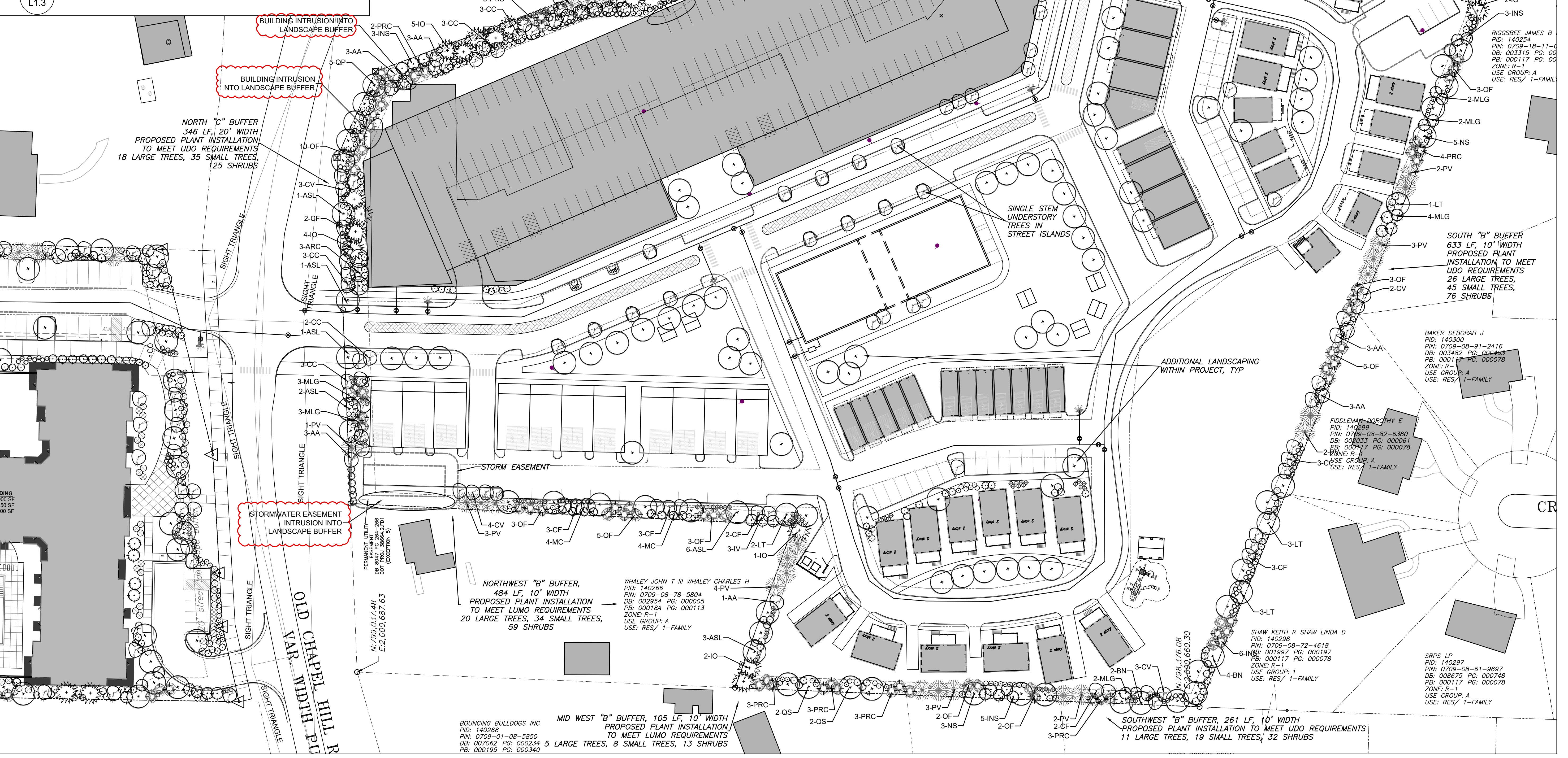
LANDSCAPE PLAN - NORTH

JOB NO.:	23-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
APPROVED:	WLR, AMO
SCALE:	1"=40'

L1.2

# Required per 100'	Required Plantings:	Plantings Provided	
<b>North Buffer "C" - Old Chapel Hill Road</b>			
20' Wide	5 Large Tree = 17.3	18 Large Trees	
346 LF	10 Small Tree = 34.6	35 Small Trees	
(Internal)	36 Shrubs = 124.6	125 Shrubs	
<b>East Buffer "C" - Pope Road</b>			
20' Wide	5 Large Tree = 46.4	47 Large Trees	
928 LF	10 Small Tree = 92.8	93 Small Trees	
(Internal)	36 Shrubs = 334.1	335 Shrubs	
<b>South Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 25.4	26 Large Trees	
633 LF	7 Small Tree = 44.4	45 Small Trees	
(External)	12 Shrubs = 76.0	76 Shrubs	
<b>SouthWest Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 10.5	11 Large Trees	
261 LF	7 Small Tree = 18.3	19 Small Trees	
(Internal)	12 Shrubs = 31.4	32 Shrubs	
<b>MidWest Buffer "B" - Adjacent to recreation business</b>			
10' Wide	4 Large Tree = 4.2	5 Large Trees	
105 LF	7 Small Tree = 7.4	8 Small Trees	
(Internal)	12 Shrubs = 12.6	13 Shrubs	
<b>NorthWest Buffer "B" - Adjacent to residential</b>			
10' Wide	4 Large Tree = 19.4	20 Large Trees	
484 LF	7 Small Tree = 33.9	34 Small Trees	
(External)	12 Shrubs = 58.1	59 Shrubs	
<b>Parking Lot Shading</b>			
Lot	Paved Area	# Required per 2000 Sf	Plantings Provided
Townhome	6,050 SF	3.03	4 Large Trees
Bulldog Lot	7,365 SF	3.68	4 Large Trees
Pope Lot	6,680 SF	3.34	4 Large Trees
Pope Corner	2,765 SF	1.38	2 Large Trees

**2 PLANT CALCULATIONS - SOUTH**



**1 LANDSCAPE PLAN - SOUTH**

SCALE: 1"=40'

PRELIMINARY  
- NOT FOR  
CONSTRUCTION



NO.	REVISIONS	DATE
1	TOWN COMMENTS	4/15/23
2		

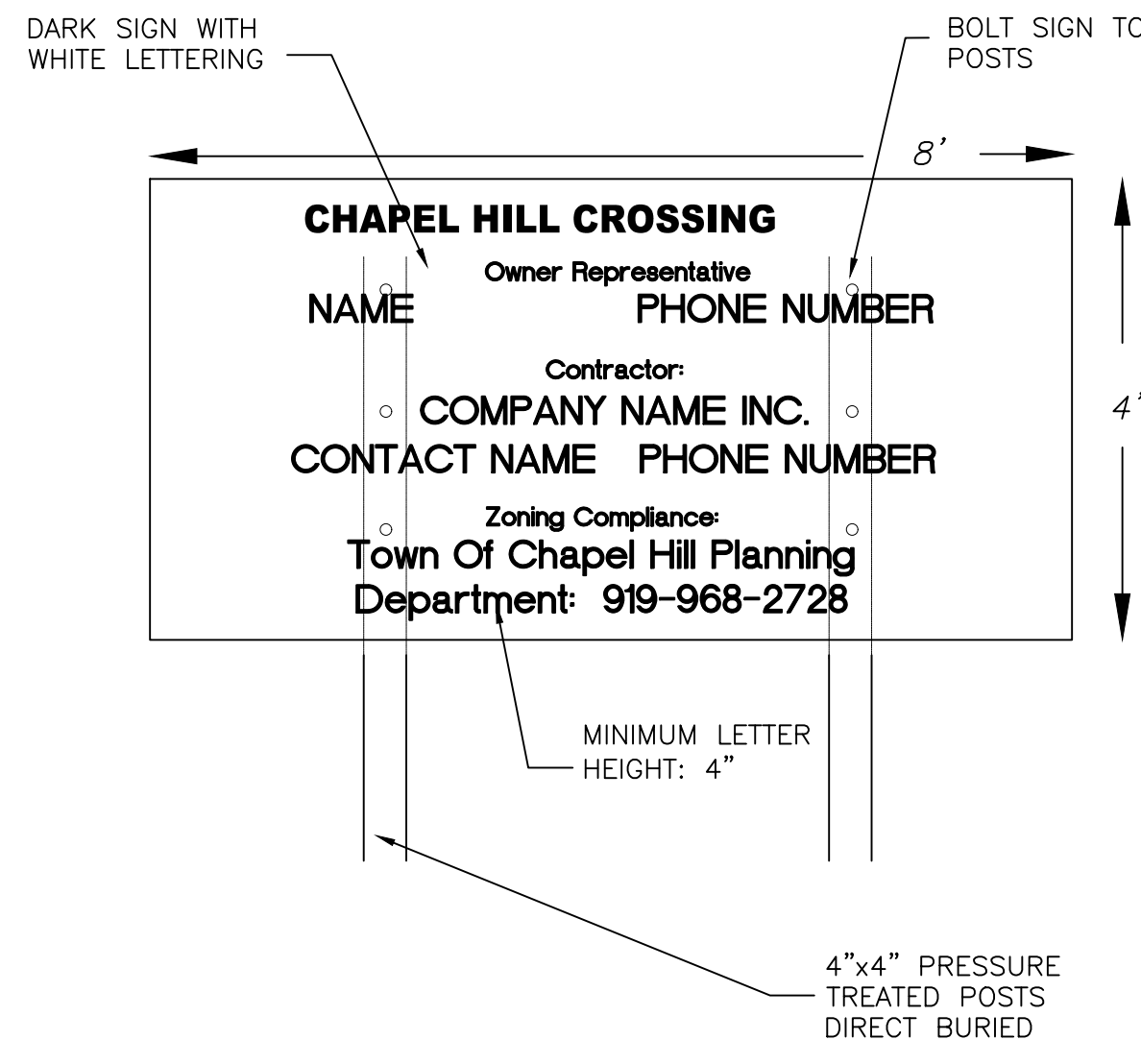
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**EB CAPITAL PARTNERS**  
CHAPEL HILL, NC

CHAPEL HILL CROSSING  
LANDSCAPE PLAN - SOUTH

JOB NO:	J-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MIC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 40'

**L1.3**



- NOTES:
1. AT A MINIMUM, THE SIGN IS TO INCLUDE THE FOLLOWING INFORMATION: PROJECT NAME, OWNER CONTACT, CONTRACTOR CONTACT, ZONING COMPLIANCE CONTACT.
  2. SIGN IS TO BE A MAXIMUM OF 4' X 8'
  3. SIGN IS TO BE REMOVED AT PROJECT COMPLETION
  4. THE SIGN WILL NEED A SEPARATE PERMIT THROUGH TOWN OF CHAPEL HILL PLANNING DEPARTMENT

1. ALL CONSTRUCTION TRAFFIC AND PARKING IS CONFINED TO THE PROJECT SITE.
2. NO CONSTRUCTION PARKING WILL BE ALLOWED ON ADJACENT RESIDENTIAL STREETS.
3. HOURS OF CONSTRUCTION ARE MONDAY TO FRIDAY 7 AM TO 6 PM, AND SATURDAY AS NEEDED BETWEEN 8 AM AND 6 PM. THERE WILL BE NO CONSTRUCTION ON SUNDAYS. THE TOWN OF CHAPEL HILL NOISE ORDINANCE MUST BE COMPLIED WITH. THE TOWN ORDINANCE SPECIFICS CONSTRUCTION OPERATIONS ARE LIMITED TO 7 AM TO 9 PM WEEKDAYS, AND 8 AM TO 9 PM WEEKENDS. ANY ROCK REMOVAL WORK NEEDS TO BE COORDINATED WITH TOWN ADMINISTRATION, AND NEIGHBORS NOTIFIED IN ADVANCE.
4. PROVIDE PAVED ON-SITE PARKING FOR INSPECTORS AT EACH UNDER-CONSTRUCTION BUILDING FOR THE DURATION OF THE CONSTRUCTION PROJECT.
5. ALL MATERIAL STORAGE AND CONSTRUCTION PARKING IS TO OCCUR IN THE FOOTPRINTS OF PROPOSED PARKING AND BUILDING AREAS AND IS NOT TO EXTEND BEYOND SHOWN AND APPROVED LIMITS OF DISTURBANCE OR INTO ANY RIGHT OF WAY.

1. CONTRACTOR SHALL MAINTAIN A FIRE WATCH DURING THE CONSTRUCTION OR DEMOLITION OF "HOT WORK" THAT MAY SUBJECT MATERIALS TO SPONTANEOUS COMBUSTION. THE FIRE WATCH SHALL CONSIST OF AT LEAST ONE PERSON WITH A MEANS OF COMMUNICATING AN ALARM TO 911, SHALL HAVE A WRITTEN ADDRESS POSTED IN A CONSPICUOUS LOCATION, AND SHALL MAINTAIN CONSTANT PATROLS.
2. ALL CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH THE CURRENT EDITION OF CHAPTER 14 OF THE NC FPC (FIRE CODE).
3. ANY TEMPORARY FENCING OF CONSTRUCTION AREAS MUST INCLUDE GATES SIZED FOR FIRE / EMERGENCY ACCESS. ANY PERMANENT OR TEMPORARY GATES ACROSS FIRE ACCESS DRIVES SHALL BE A MINIMUM WIDTH OF 20', EITHER SWINGING OR SLIDING TYPE, HAVE AN EMERGENCY MEANS OF OPERATION, AND SHALL BE OPERABLE BY EITHER FORCIBLE ENTRY OR KEYS, CAPABLE OF BEING OPERATED BY ONE PERSON, AND SHALL BE INSTALLED AND MAINTAINED ACCORDING TO UL 325 AND ASTM F 2200 NC FPC 2012.

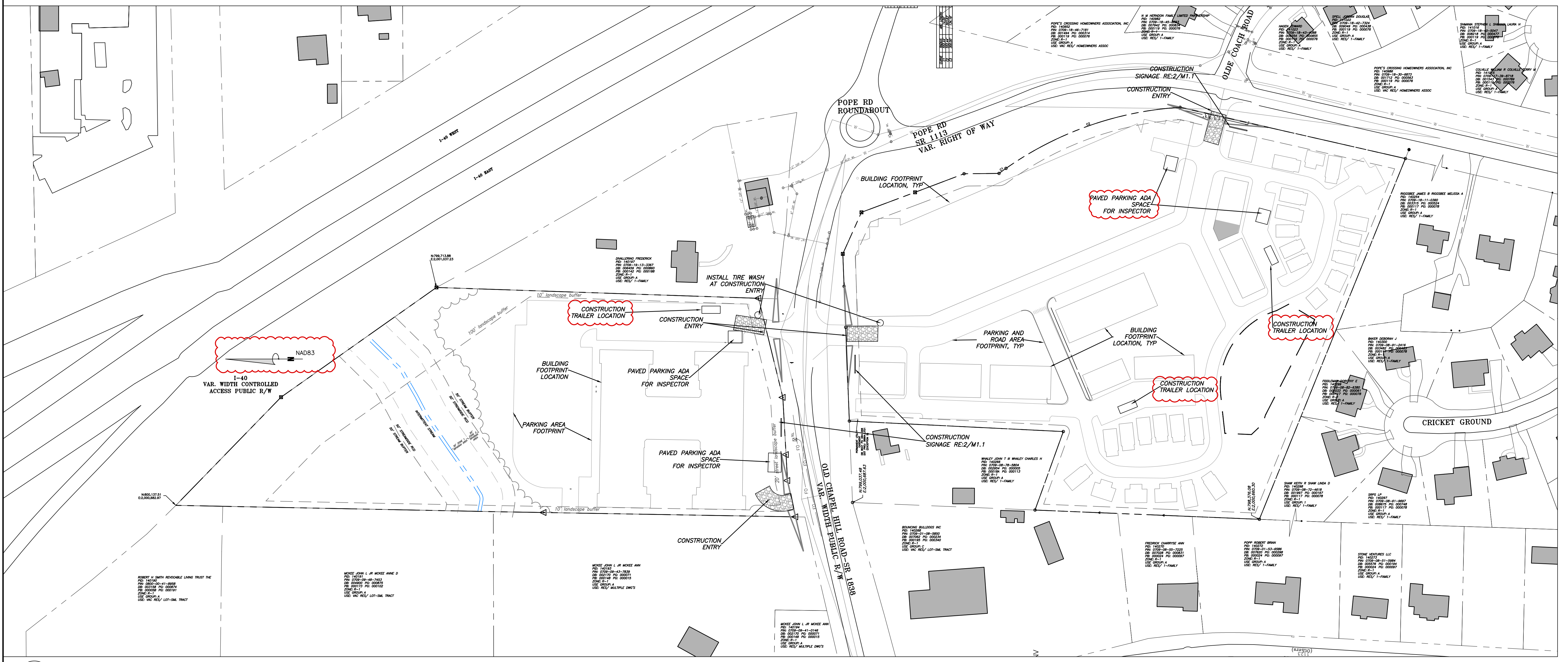
1. SIGNS SHOWN ON THIS PLAN ARE REQUIRED DURING THE CONSTRUCTION OF THIS PROJECT.
2. CONSTRUCTION REQUIRING TEMPORARY LANE CLOSURES ON PUBLIC STREETS NEEDS TOWN APPROVAL. TEMPORARY LANE CLOSURES ARE ONLY ALLOWED DURING DAYLIGHT HOURS.
3. CONTRACTOR MUST CONTACT CHAPEL HILL TRANSIT AT LEAST 5 BUSINESS DAYS PRIOR TO ANY CONSTRUCTION REQUIRING LANE CLOSURES WHICH MIGHT AFFECT BUS ROUTES.
4. ALL WORK ZONE SIGNAGE SHALL COMPLY WITH APPLICABLE M.U.T.C.D. STANDARDS AND DETAILS.
5. PRIOR TO ANY TRAFFIC LANE CLOSURES, IT WILL BE NECESSARY TO CONTACT TOWN OF CHAPEL HILL ENGINEERING DIVISION AT 919-968-2833, AT LEAST 5 WORKING DAYS BEFORE THE PROPOSED WORK TO APPLY FOR A LANE CLOSURE PERMIT.
6. SIGNS AND TEMPORARY BARRICADES AS NEEDED WILL BE PLACED TO DIRECT PEDESTRIANS WHEN SIDEWALKS ARE IN THE CONSTRUCTION AREAS.

2 CONSTRUCTION SIGNAGE DETAIL  
M1.1

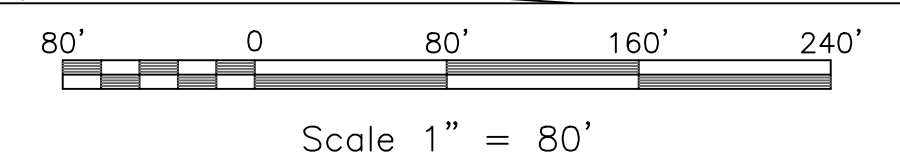
3 CONSTRUCTION STAGING NOTES  
M1.1

4 FIRE PROTECTION NOTES  
M1.1

5 TRAFFIC / PEDESTRIAN CONTROL NOTES  
M1.1



1 CONSTRUCTION MANAGEMENT PLAN  
M1.1 SCALE: 1" = 80'



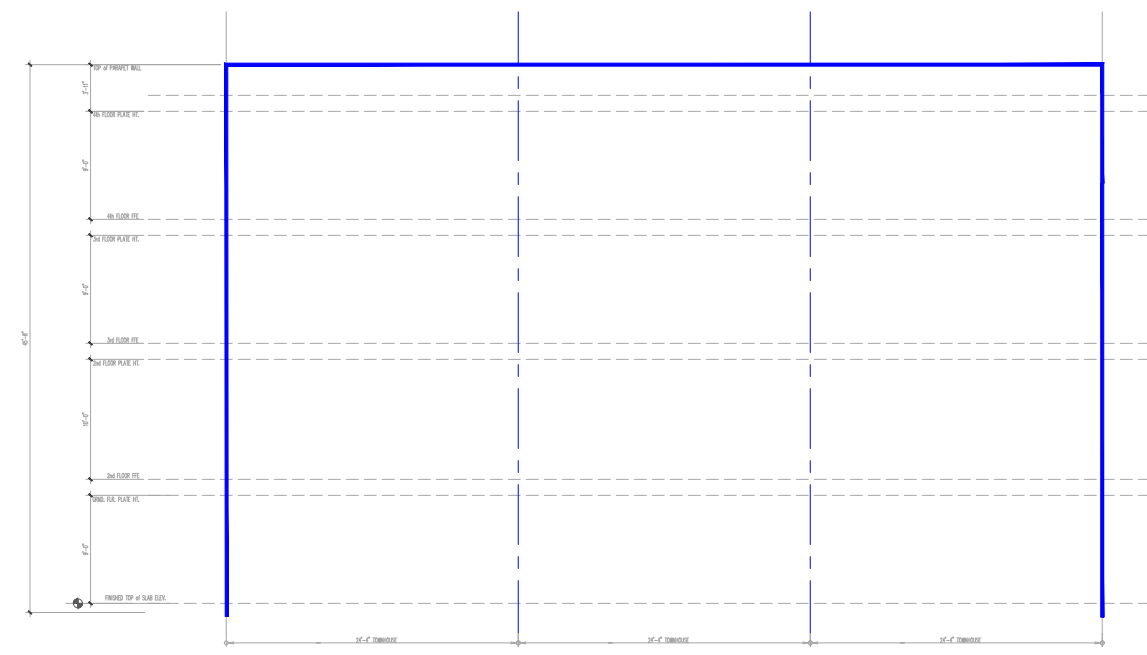
NO.	TOWN COMMENTS	DATE	BY
1		4/5/23	

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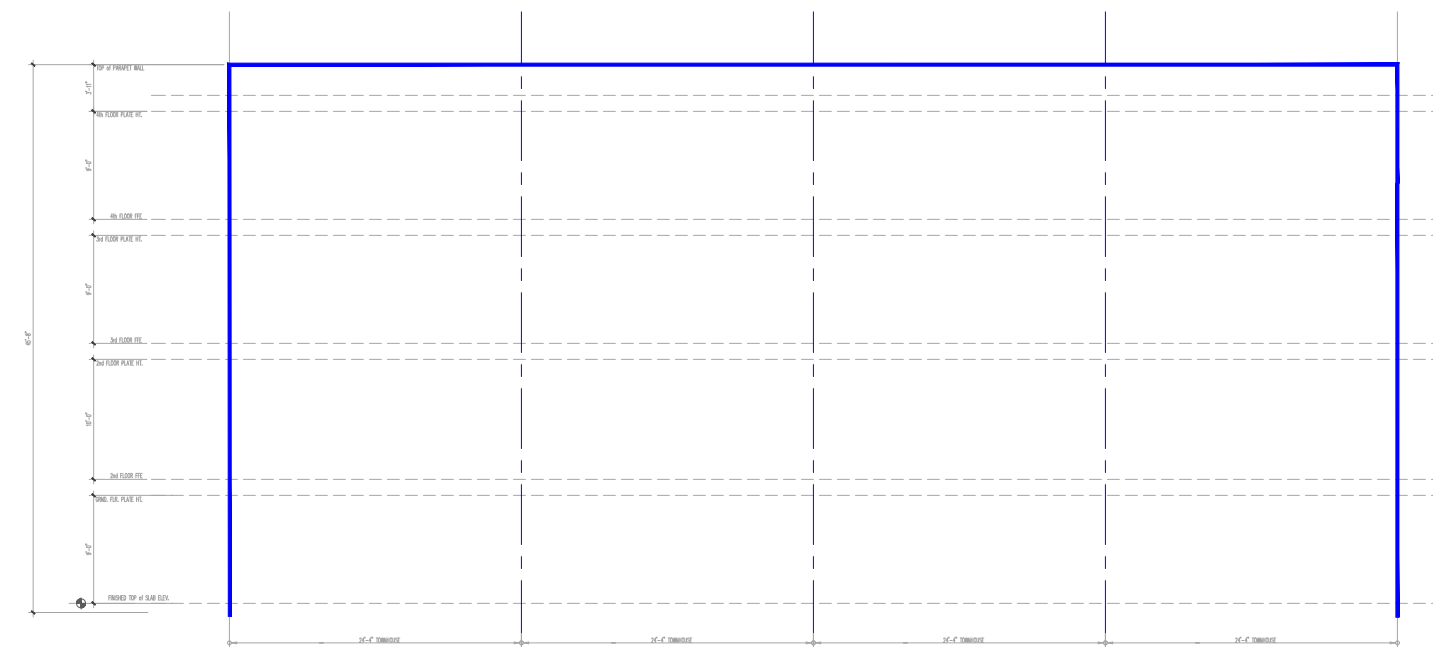
EB CAPITAL PARTNERS  
CHAPEL HILL, NC  
CHAPEL HILL CROSSING  
CONSTRUCTION MANAGEMENT PLAN

JOB NO.:	23-30792
DATE:	2/10/23
DRAWN:	WLR, AMO, MTC
DESIGNED:	WLR, AMO
REVIEWED:	WLR, AMO
APPROVED:	
SCALE:	1" = 80'

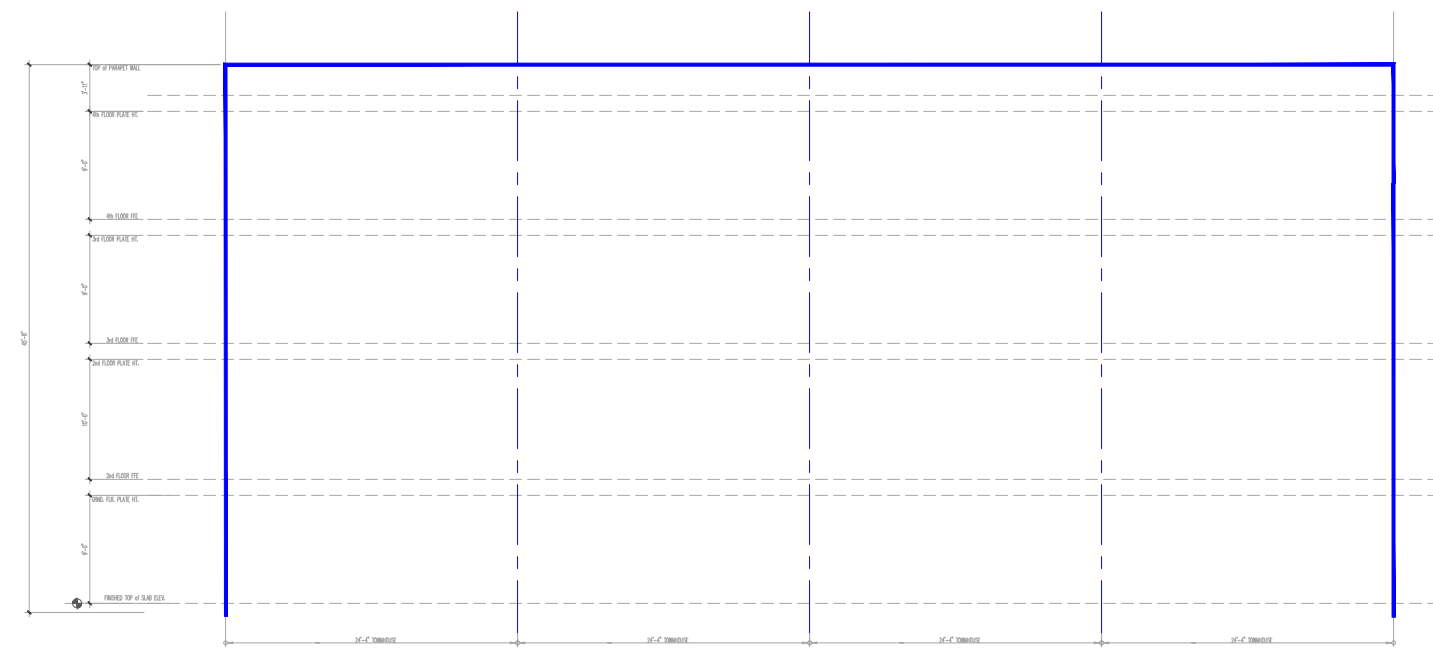
**M1.1**



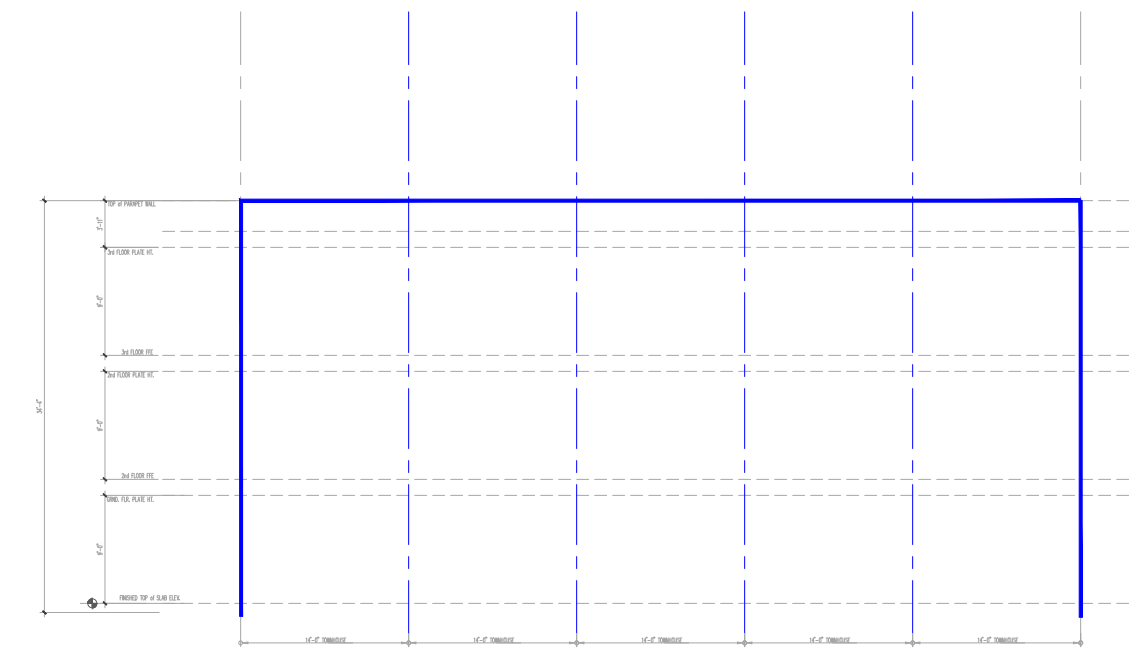
BUILDING A - FRONT ELEVATION OUTLINE (WEST)



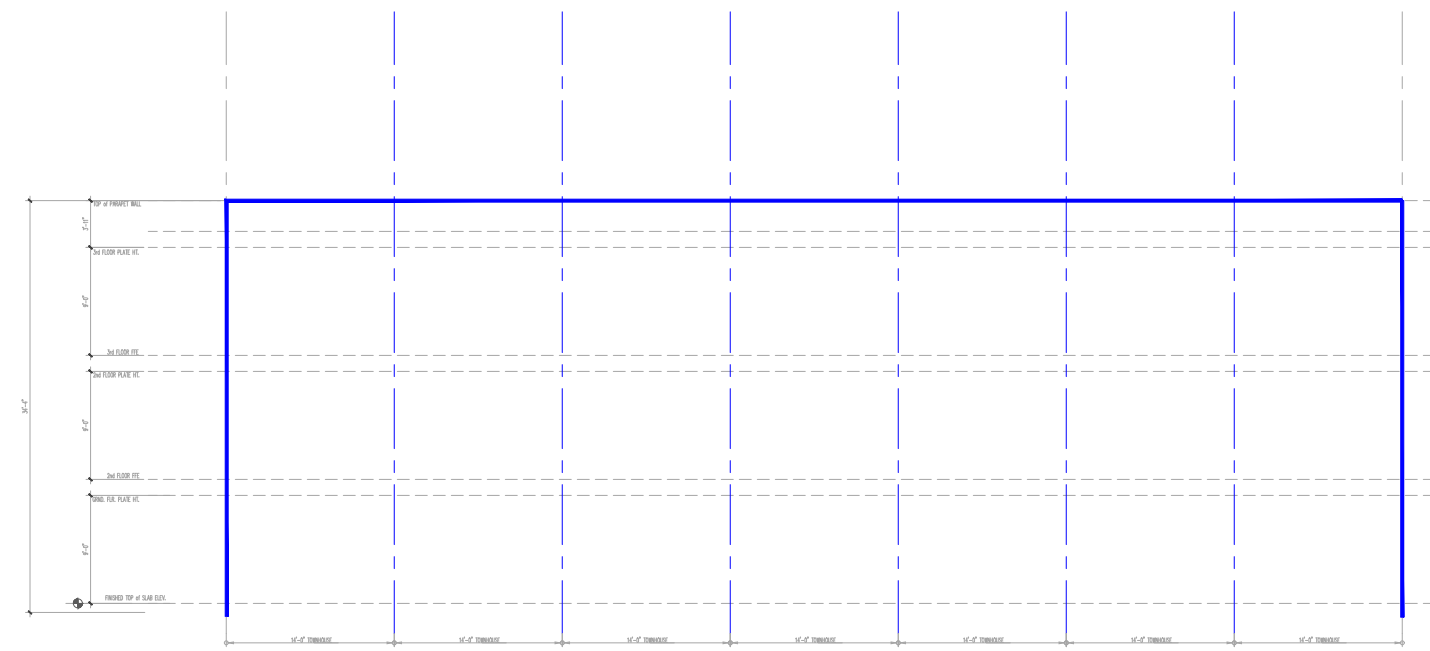
BUILDING B - FRONT ELEVATION OUTLINE (WEST)



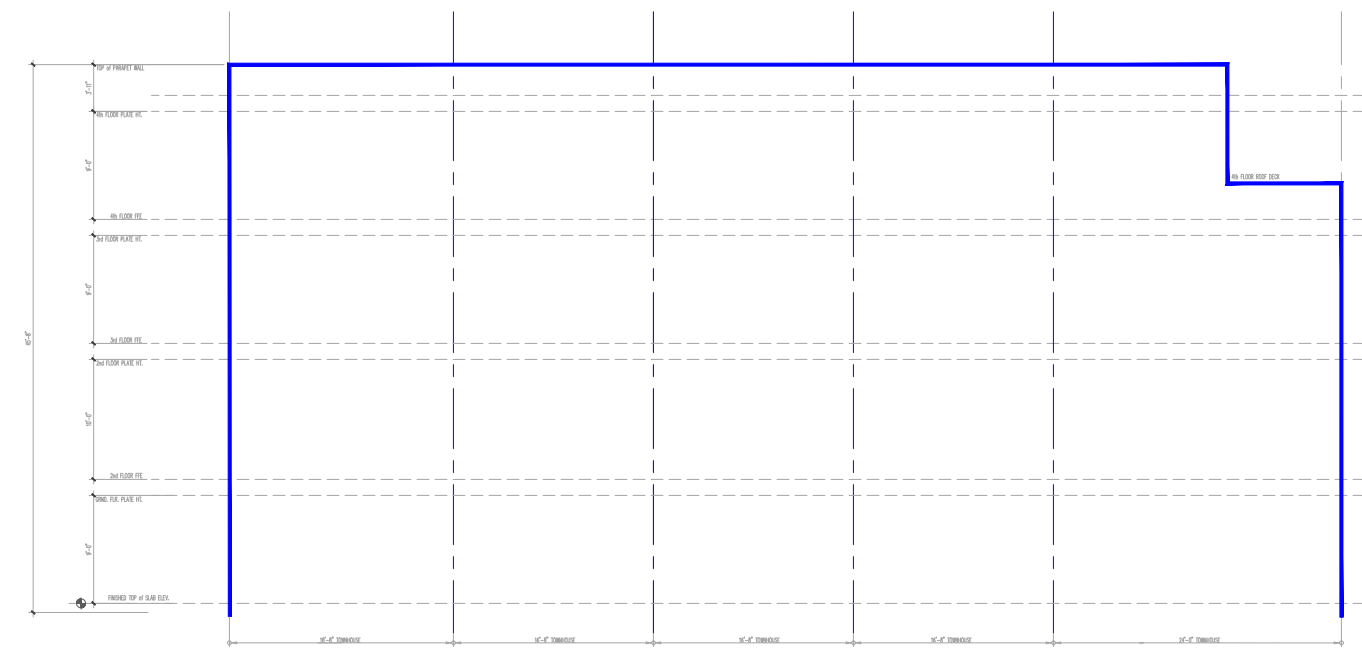
BUILDING C - FRONT ELEVATION OUTLINE (WEST)



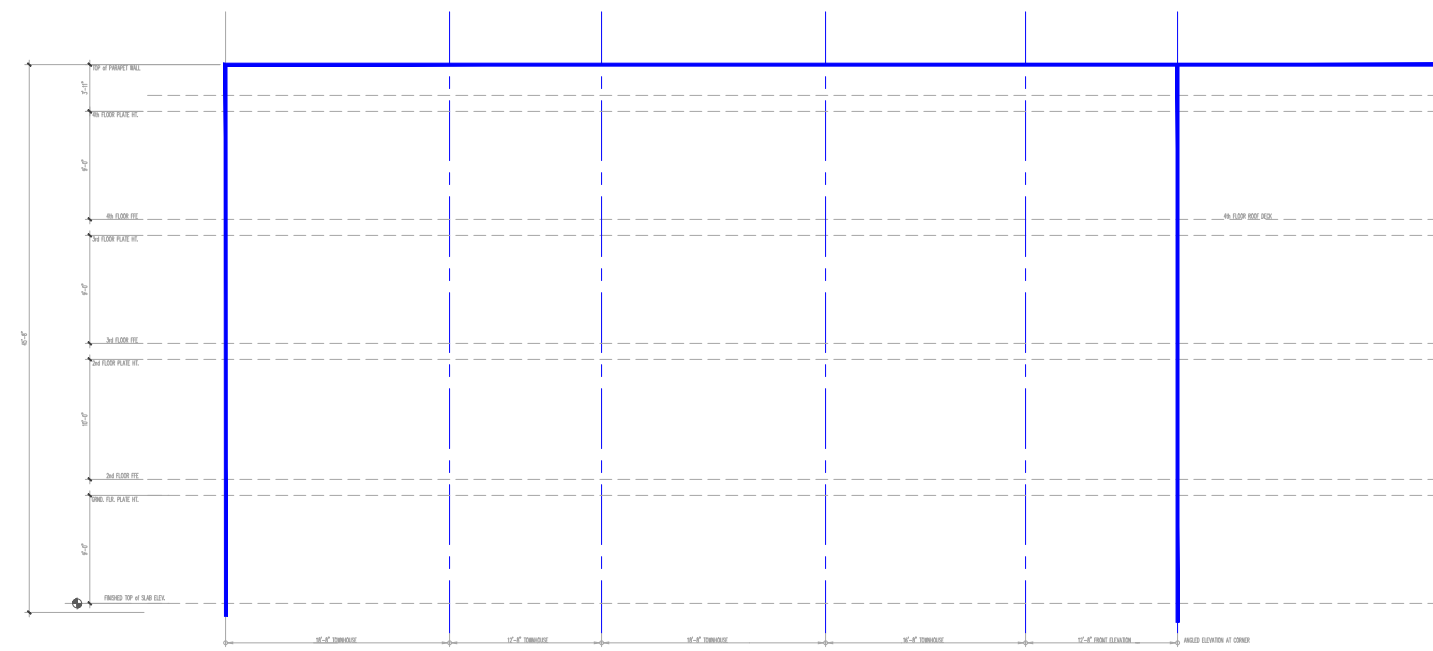
BUILDING D - FRONT ELEVATION OUTLINE (NORTHEAST)



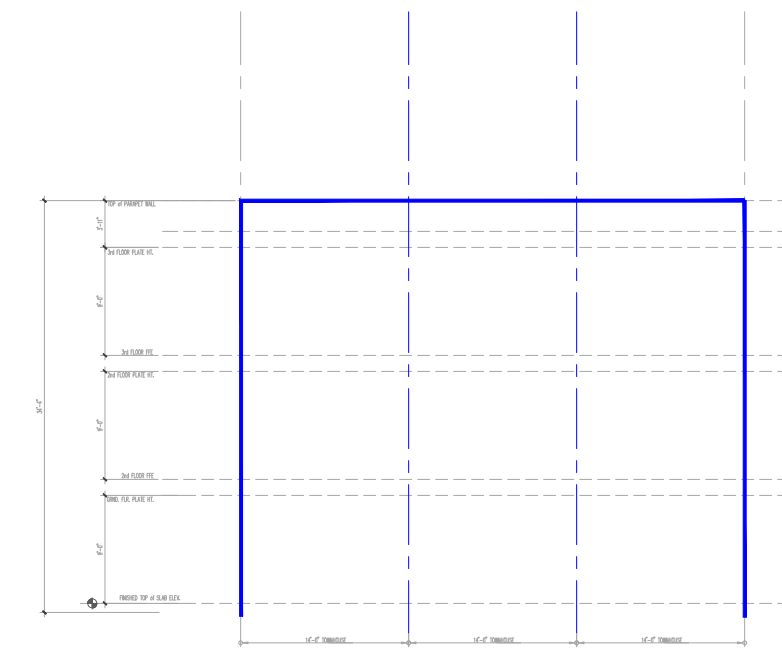
BUILDING E - FRONT ELEVATION OUTLINE (EAST)



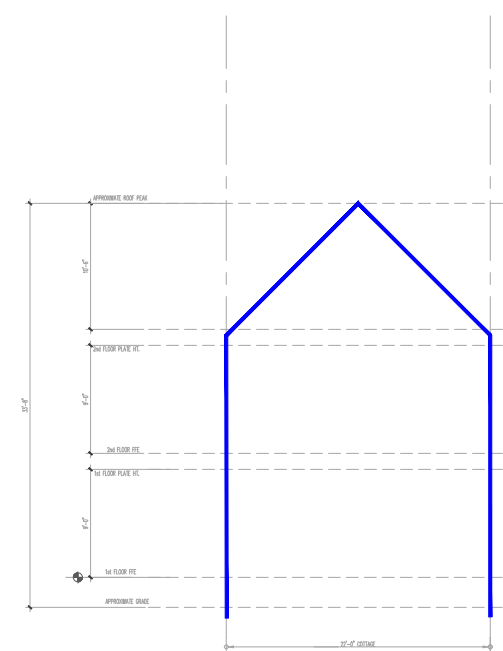
BUILDING F - FRONT ELEVATION OUTLINE (NORTHWEST)



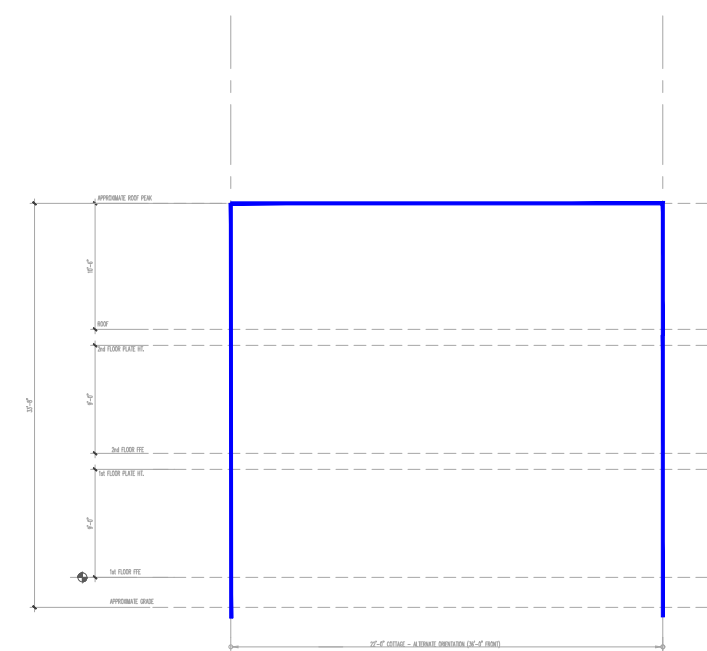
BUILDING G - FRONT ELEVATION OUTLINE (NORTH)



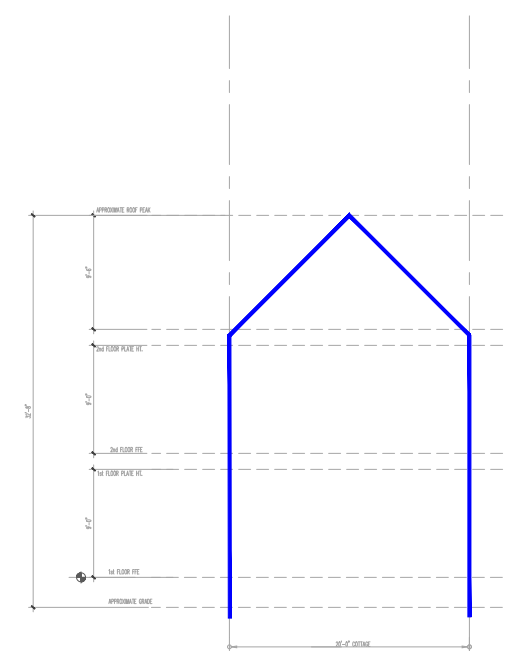
BUILDING H - FRONT ELEVATION OUTLINE (NORTH)



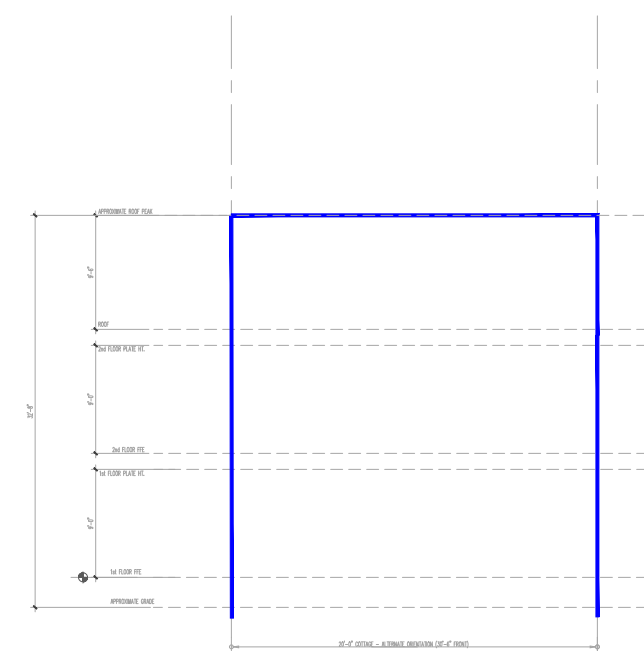
BUILDING TYPE I - FRONT ELEVATION OUTLINE



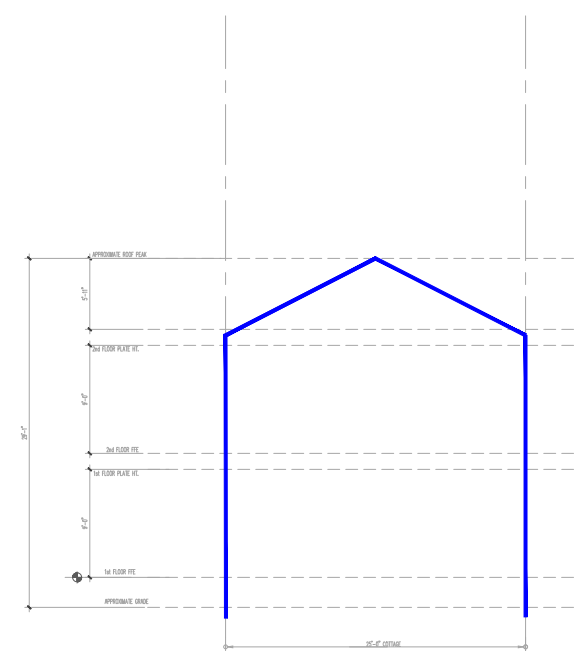
BUILDING TYPE I - FRONT ELEVATION OUTLINE, ALTERNATE ORIENTATION



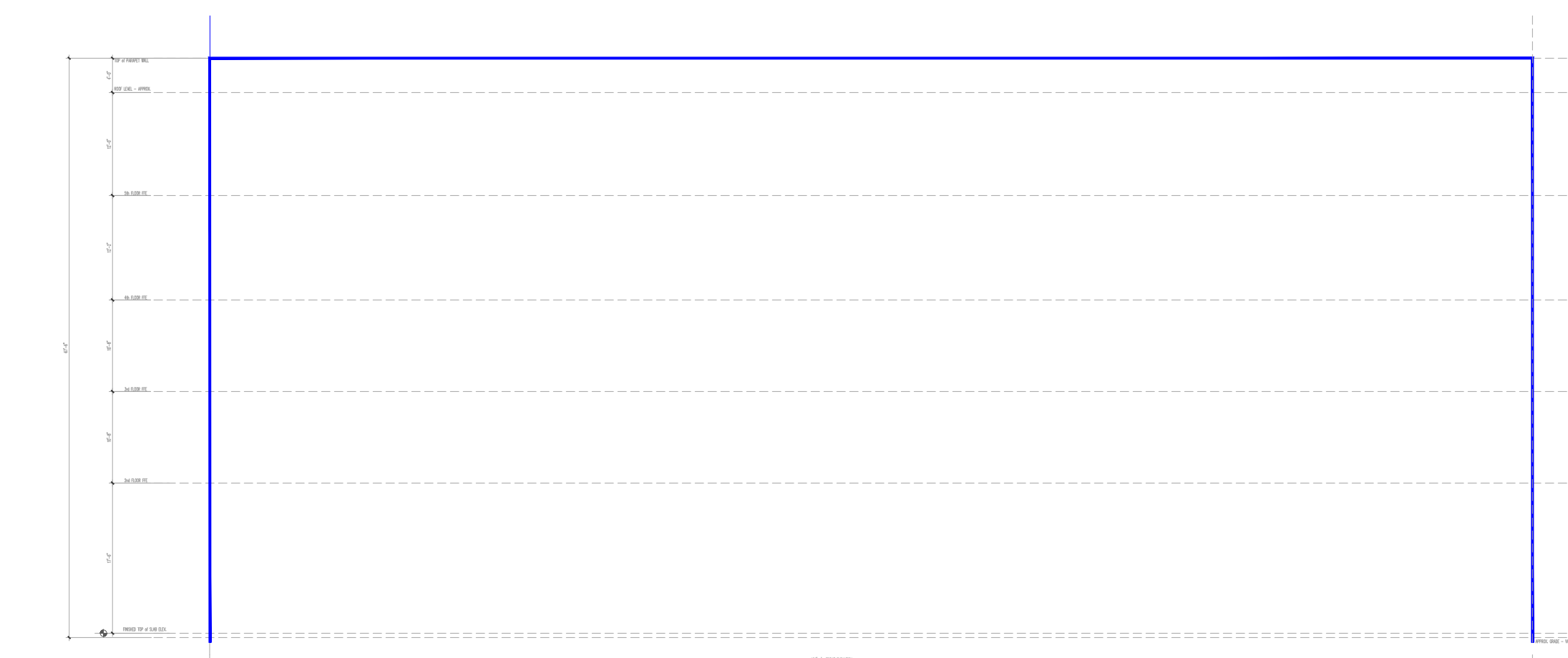
BUILDING TYPE J - FRONT ELEVATION OUTLINE



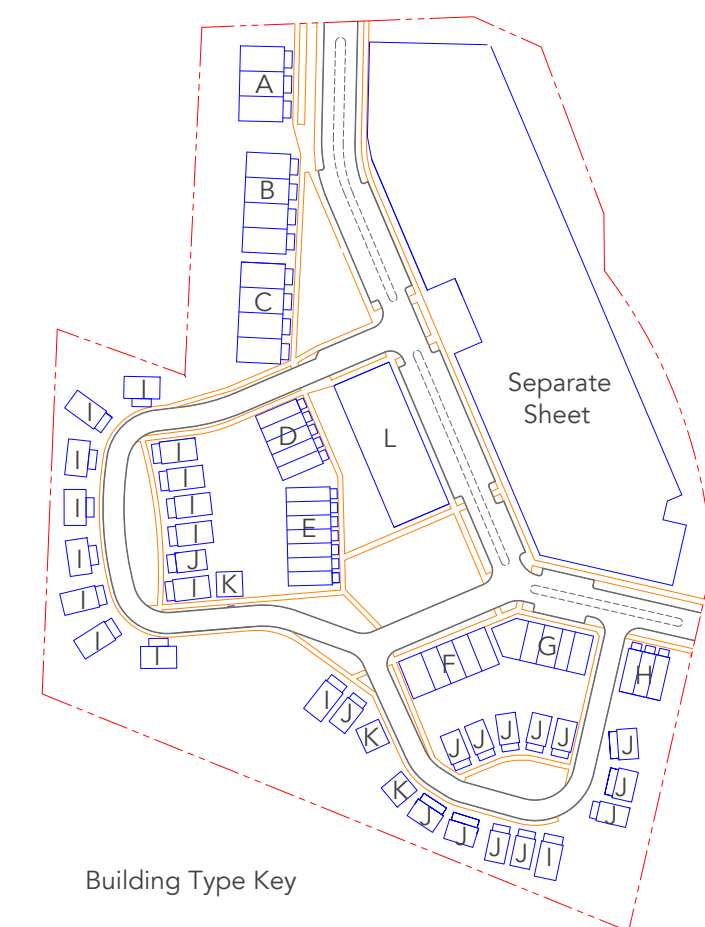
BUILDING TYPE J - FRONT ELEVATION OUTLINE, ALTERNATE ORIENTATION



BUILDING TYPE K - FRONT ELEVATION OUTLINE



BUILDING L - FRONT ELEVATION OUTLINE (NORTHEAST)



Building Type Key

## Building Elevation Outlines The Crossings Chapel Hill, North Carolina

Developer: E.B. Capital Partners, INC.  
Chapel Hill, North Carolina  
[www.ebcapitalpartners.com](http://www.ebcapitalpartners.com)  
Prepared by: Civitech, Inc.  
Durham, North Carolina  
[www.civitech.com](http://www.civitech.com)  
Date Prepared: February 13, 2023

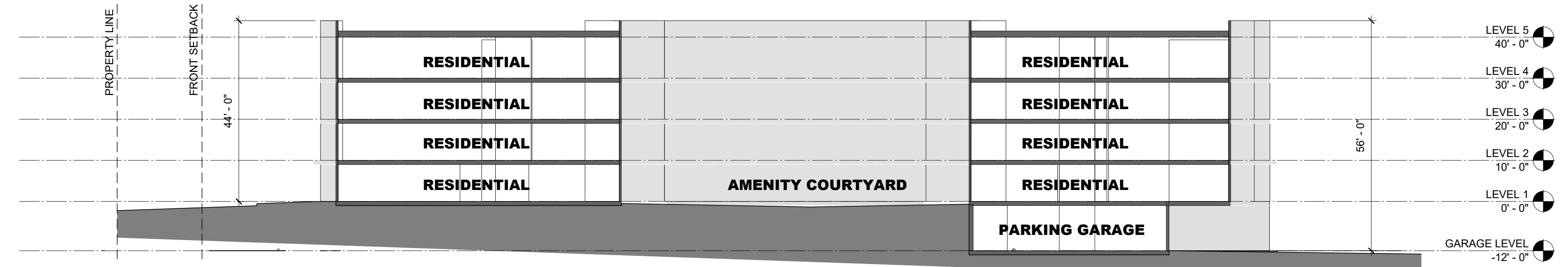
PRELIMINARY - NOT FOR CONSTRUCTION.  
THIS DOCUMENT IS A CONCEPTUAL PLANNING DOCUMENT ONLY.  
IT IS NOT INTENDED FOR AND SHALL NOT BE USED FOR BUILDING  
PERMITTING OR CONSTRUCTION PURPOSES. INFORMATION REPRESENTED HEREIN SHALL  
BE USED SOLELY FOR PLANNING PURPOSES.



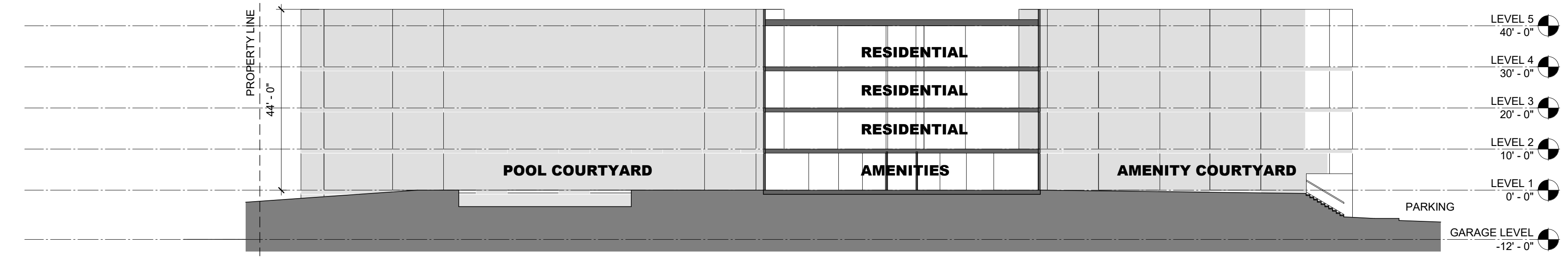




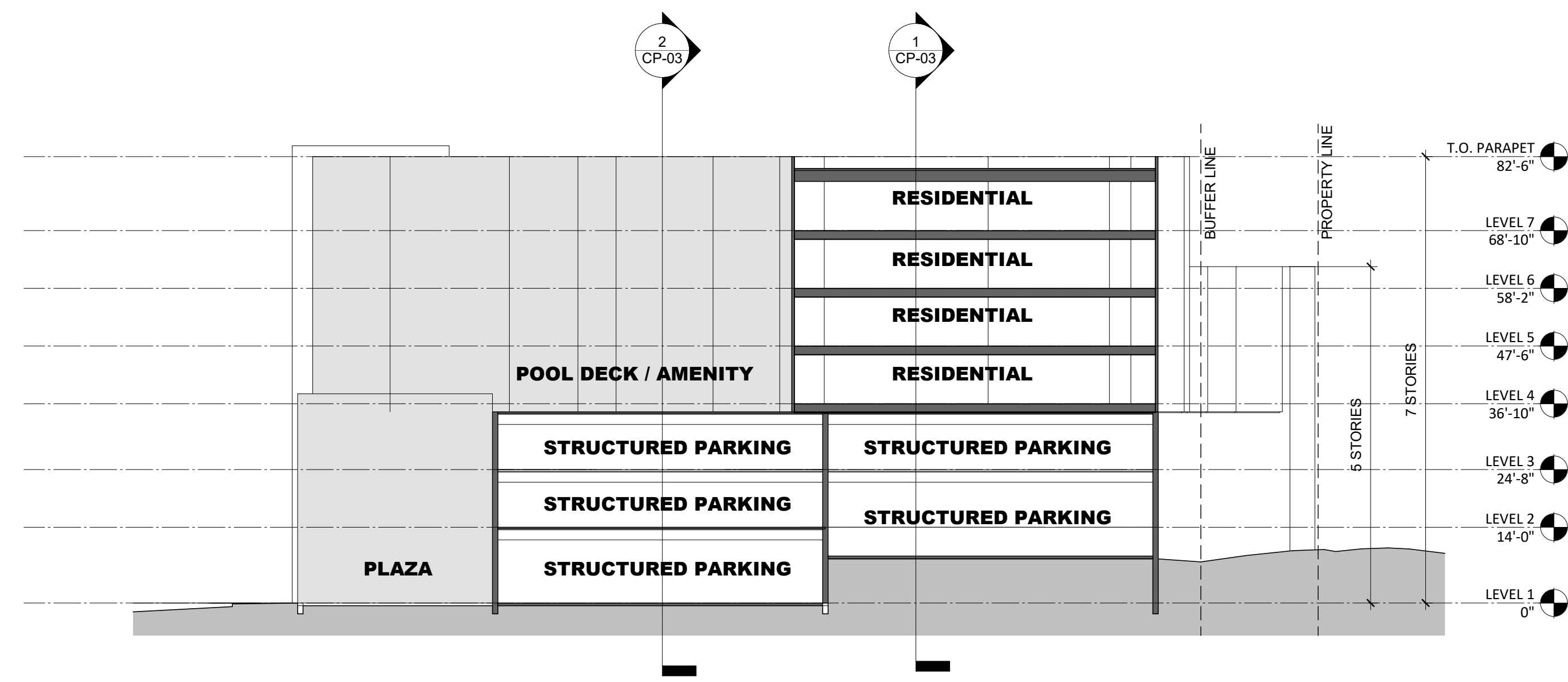




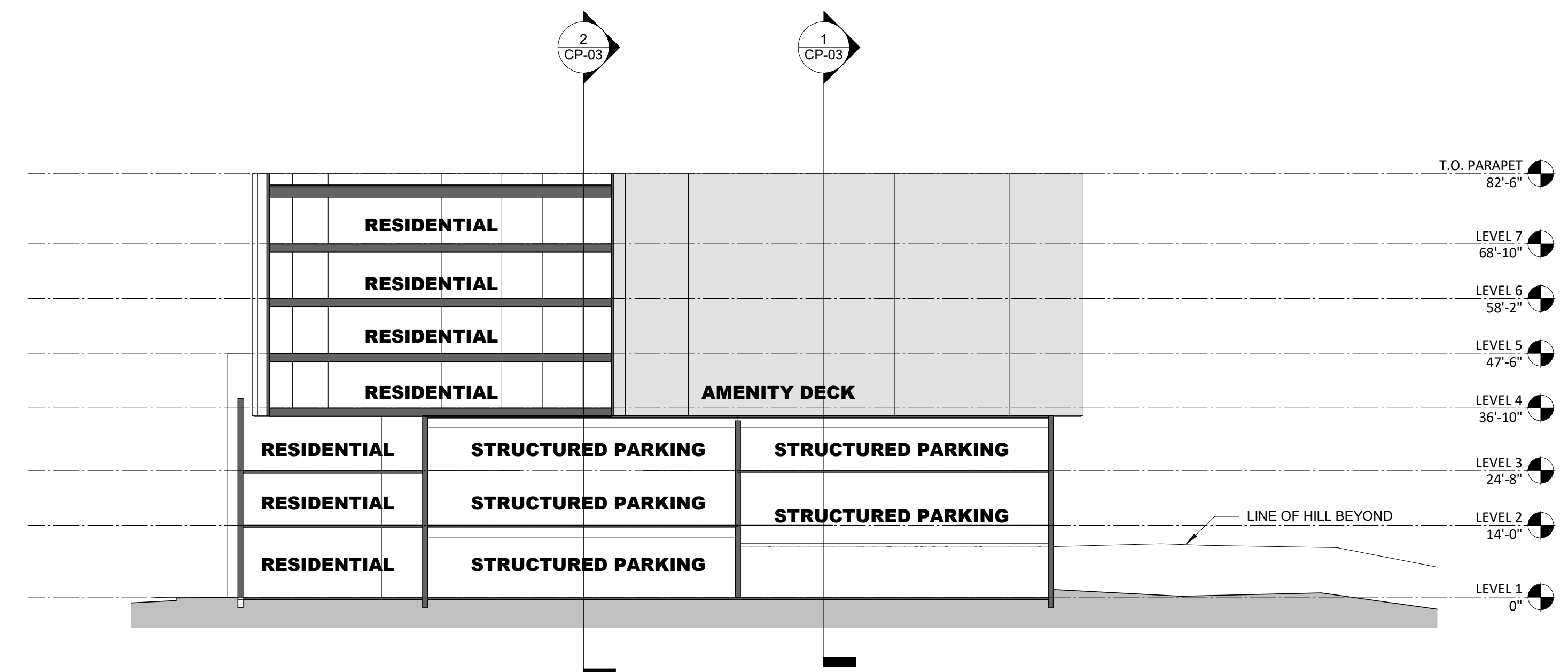
**4** 5500 BUILDING MASSING  
SCALE: 1" = 20'-0"



**3** 5500 BUILDING MASSING  
SCALE: 1" = 20'-0"



**2** HUSE STREET BUILDING MASSING  
SCALE: 1" = 20'-0"



**1** HUSE STREET BUILDING MASSING  
SCALE: 1" = 20'-0"