

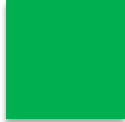




Rewriting Our Rules

A LUMO UPDATE

**Town Council
October 23, 2024**

TONIGHT'S DISCUSSION TOPICS:

-  LUMO Project Check-In
-  Neighborhood-Scale Commercial Development
-  Stormwater Management

Project Check-In

Looking Back

- Council has held **8 LUMO discussions** between Oct '23 and Jun '24
- We have also received valuable input from **Planning Commission members**
- No formal decision-making has occurred yet

Looking Ahead

- A few outstanding topics still need to be discussed with Council, including:
 - Affordable housing
 - Improvements to planning processes
 - Building type regulations
- Staff will synthesize the feedback and check-in with Council before finalizing recommendations for the proposed LUMO.

Looking *Ahead*

- The **formal legislative process** will begin when the proposed LUMO is shared publicly.
- Planning Commission and Council review is required.
- Staff will ensure that adequate **time** and **resources** are provided for meaningful orientation and review.

**Encourage Neighborhood-Scale
Commercial Development**

Encourage Neighborhood-Scale Commercial Development

A Complete Community:

- Promotes infill development
- Includes a variety of public and private amenities
- Prioritizes human-scale development
- Supports small businesses

The proposed LUMO will improve **how** neighborhood-scale commercial is built

The proposed LUMO can also expand **where** neighborhood-scale commercial is built

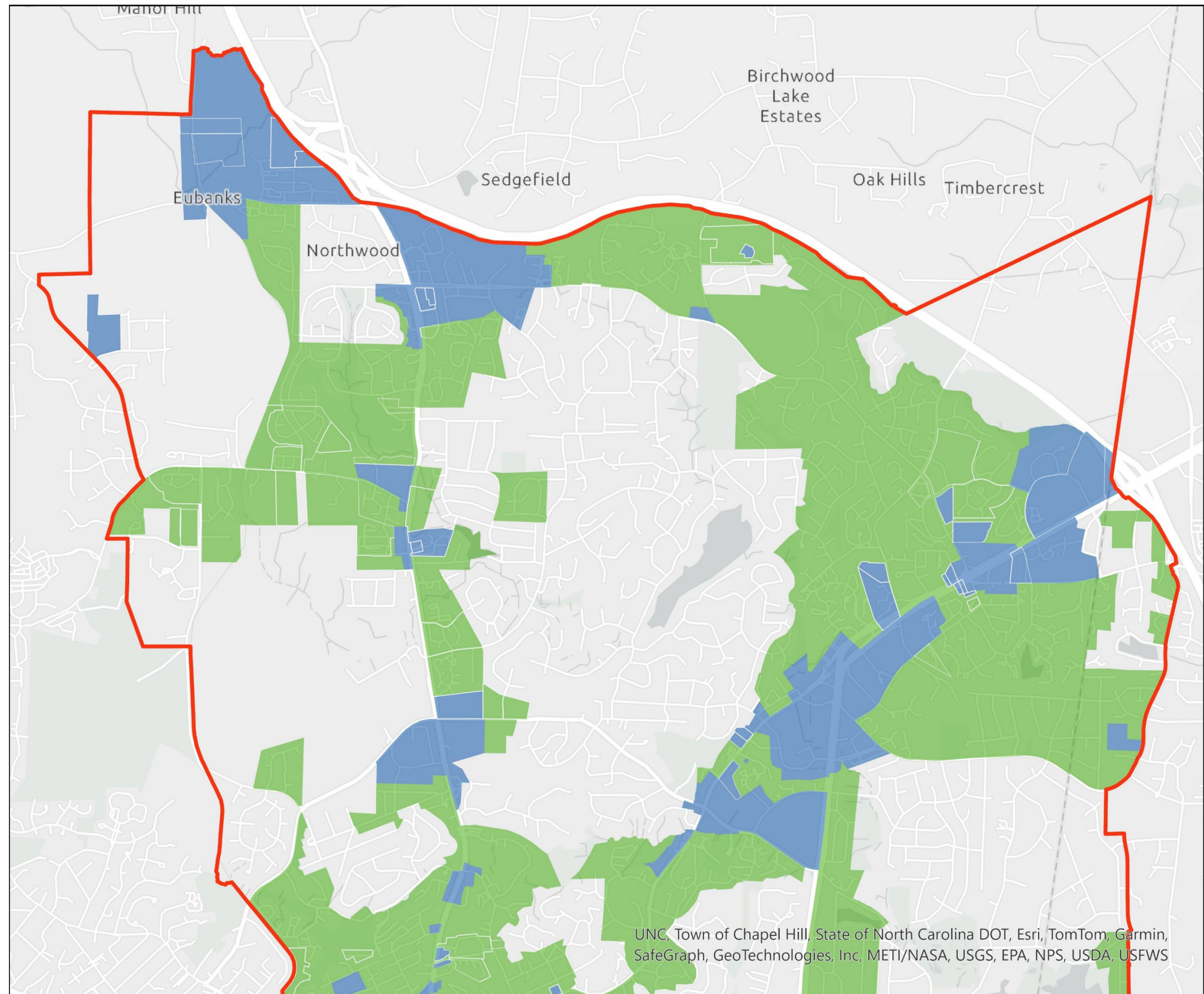
Encourage Neighborhood-Scale Commercial Development

We can consider allowing uses like **corner stores, coffee shops, and restaurants** along **major roads** in **Residential-2 and higher** zoning districts.

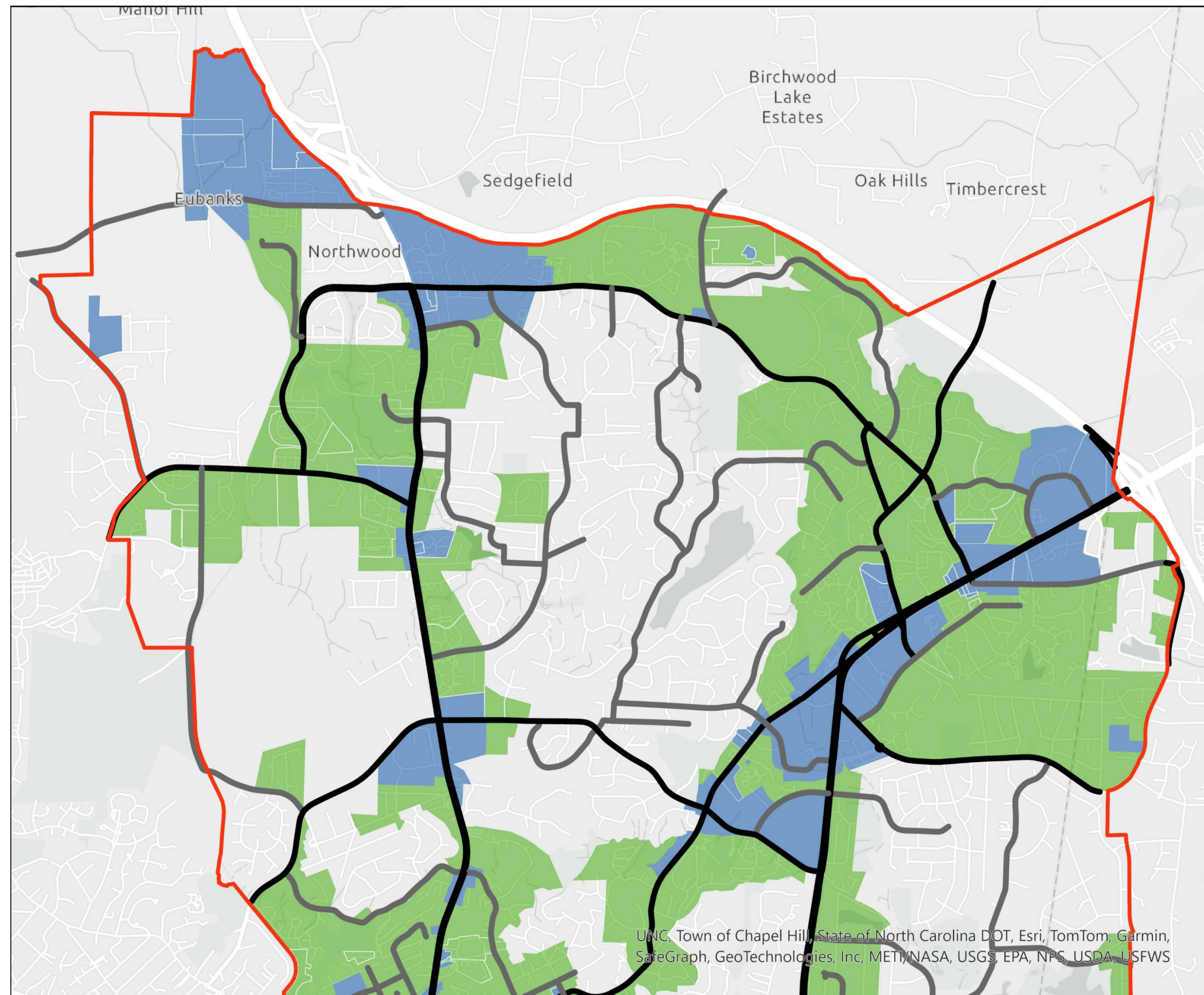
Impacts of development can be mitigated through appropriate standards for **buffering, screening, building form, etc.**

Commercial uses
are only allowed in
the blue areas.

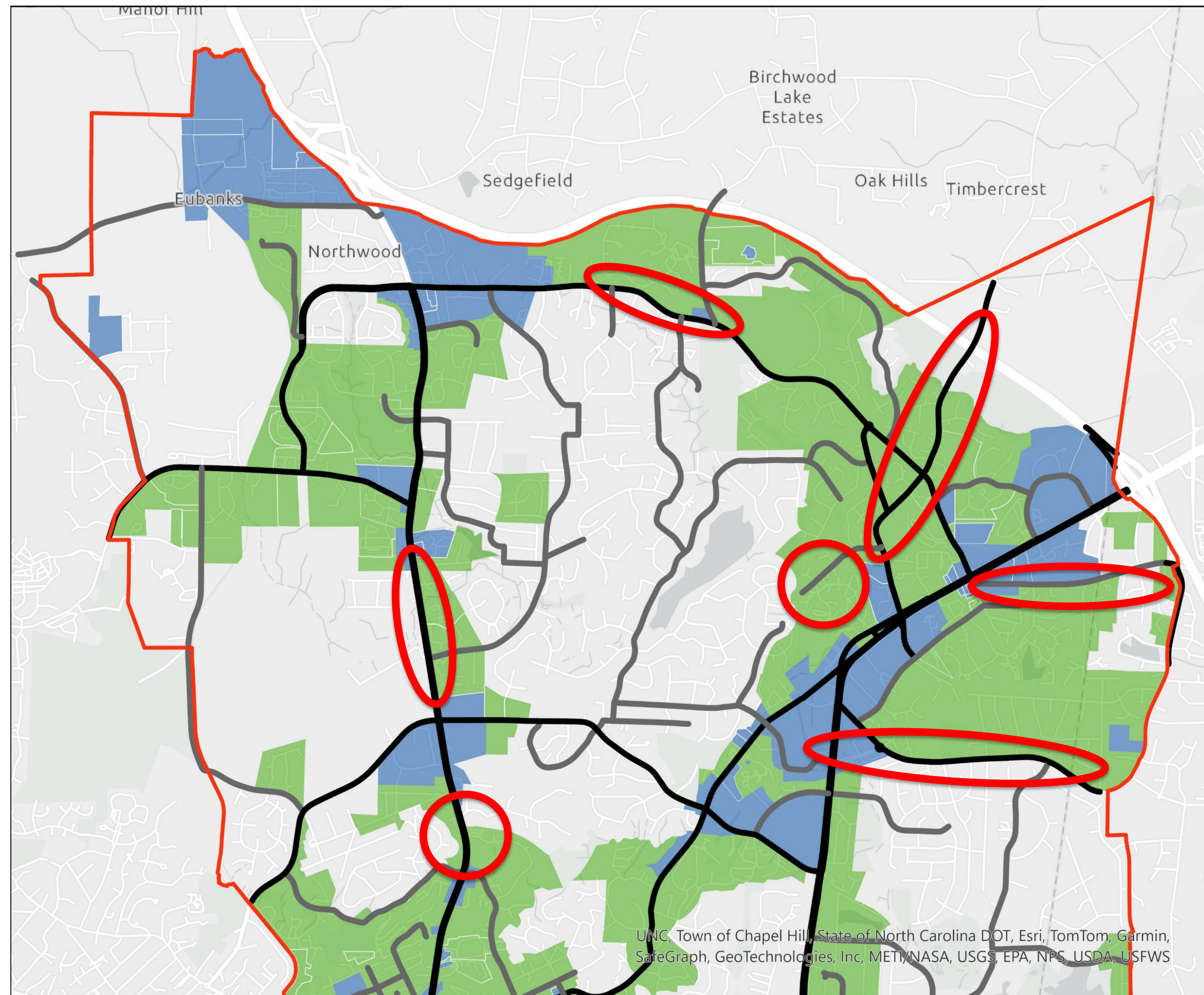
Green areas are
medium- to high-
density residential
districts.



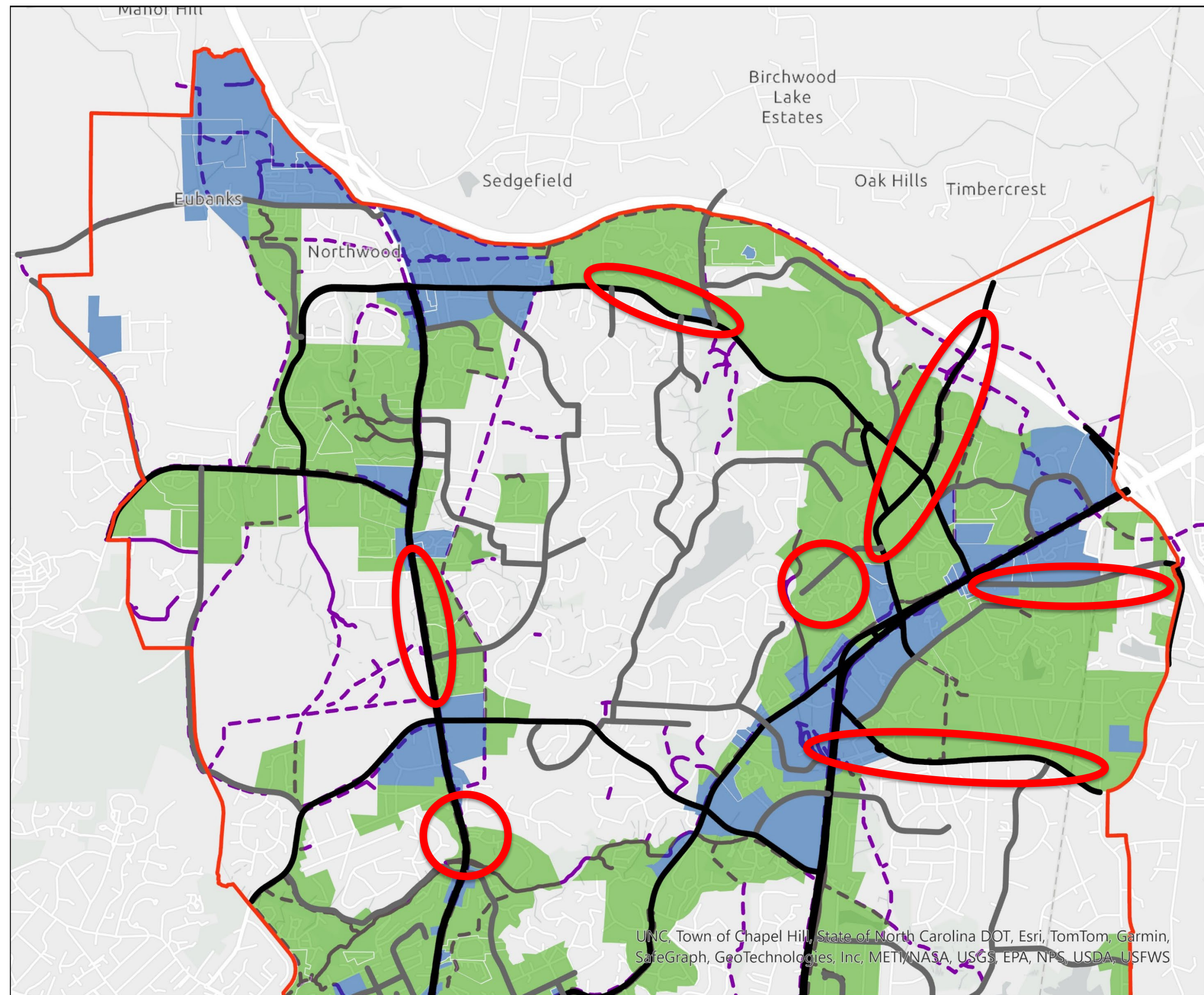
Our higher-capacity roads (e.g., arterials and collectors) pass through many residential areas.



Neighborhood-scale commercial could be appropriate where higher-capacity roads and medium- to high-density zoning districts meet.



The E2E Greenway network currently under consideration can complement neighborhood-scale commercial uses.



Stormwater Management

Expand the 100-year storm standard

Chapel Hill's stormwater standards need to evolve:

- Climate change is leading to more severe weather
- High housing costs and low supply continue to be major challenges
- In-fill development continues to be a major opportunity

Expand the 100-year storm standard

Consider adopting the 100-year storm standard for **new development**.

Include **exemptions** for:

- Smaller 3- and 4-family homes
- Small projects on commercial sites


Stormwater:
Recap of
Requirements
for 1- and 2-
family homes

Partially Exempt: 1- and 2-family homes with less than 20,000 square feet of land disturbance

Not Exempt: Residential subdivisions that create 4 or more lots

Partially exempt homes are not subject to water quality, flow rate, or volume regulations.

Must discharge runoff in a **non-erosive and diffuse manner.**



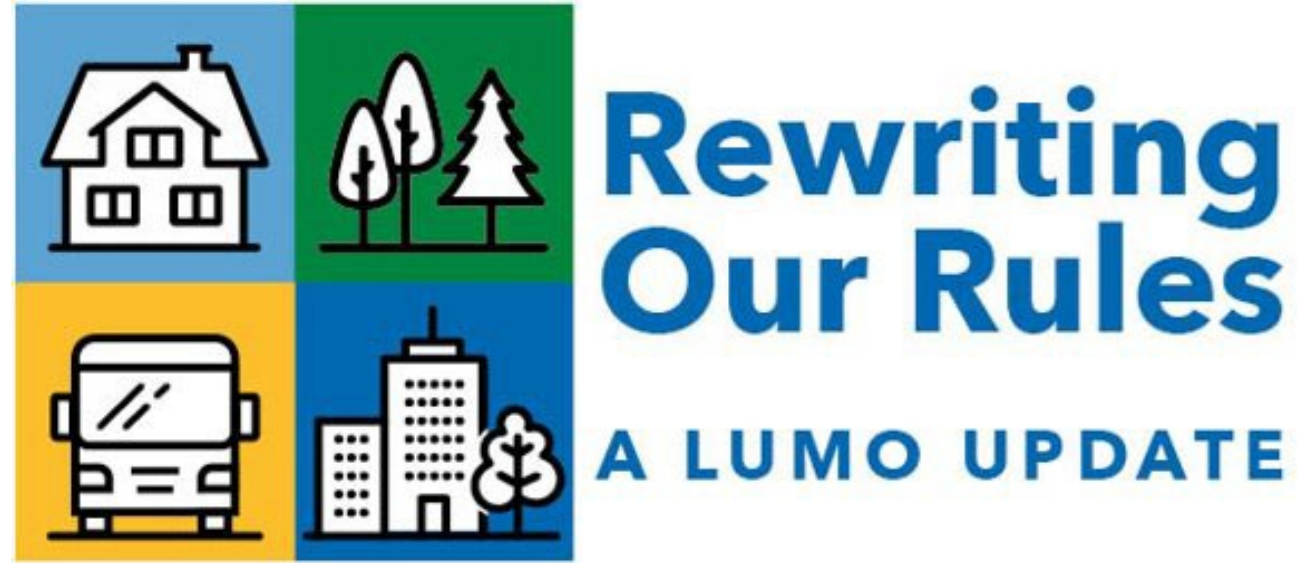
Stormwater: Exemption for 3- and 4- Family Homes

- Expansion of current exemption for 1- and 2- family homes
- No stormwater treatment required for 3- and 4- family buildings with a footprint smaller than 2,500 square feet
- Encourages smaller, more affordable missing middle housing



Stormwater: Exemption for Existing Commercial Development

- Allow up to 500 square feet of new impervious surface before requiring stormwater treatment.
- Once a project exceeds the 500 square foot exception, **all new impervious is subject to stormwater management requirements, including the 100-year standard.**
- Allows existing commercial development to plan for the future.



Q & A

Appendix A

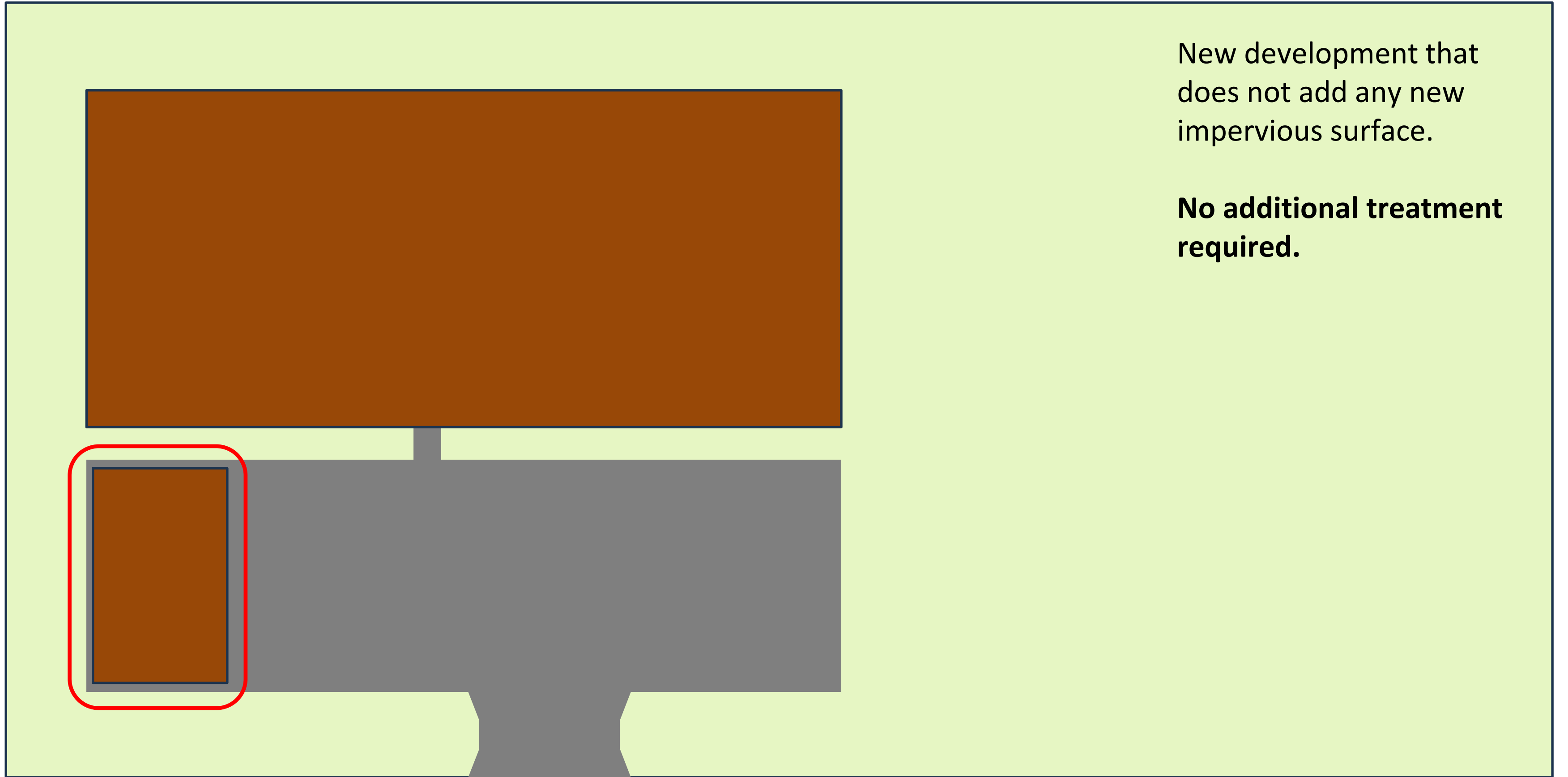
500 SF Stormwater Exemption

Existing commercial
site with a mix of
buildings and
pavement.



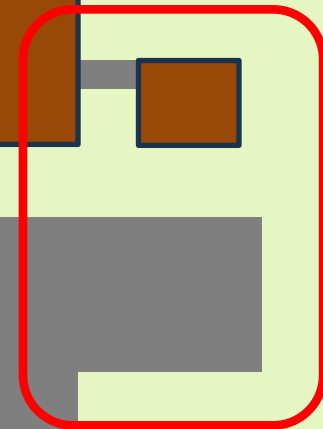
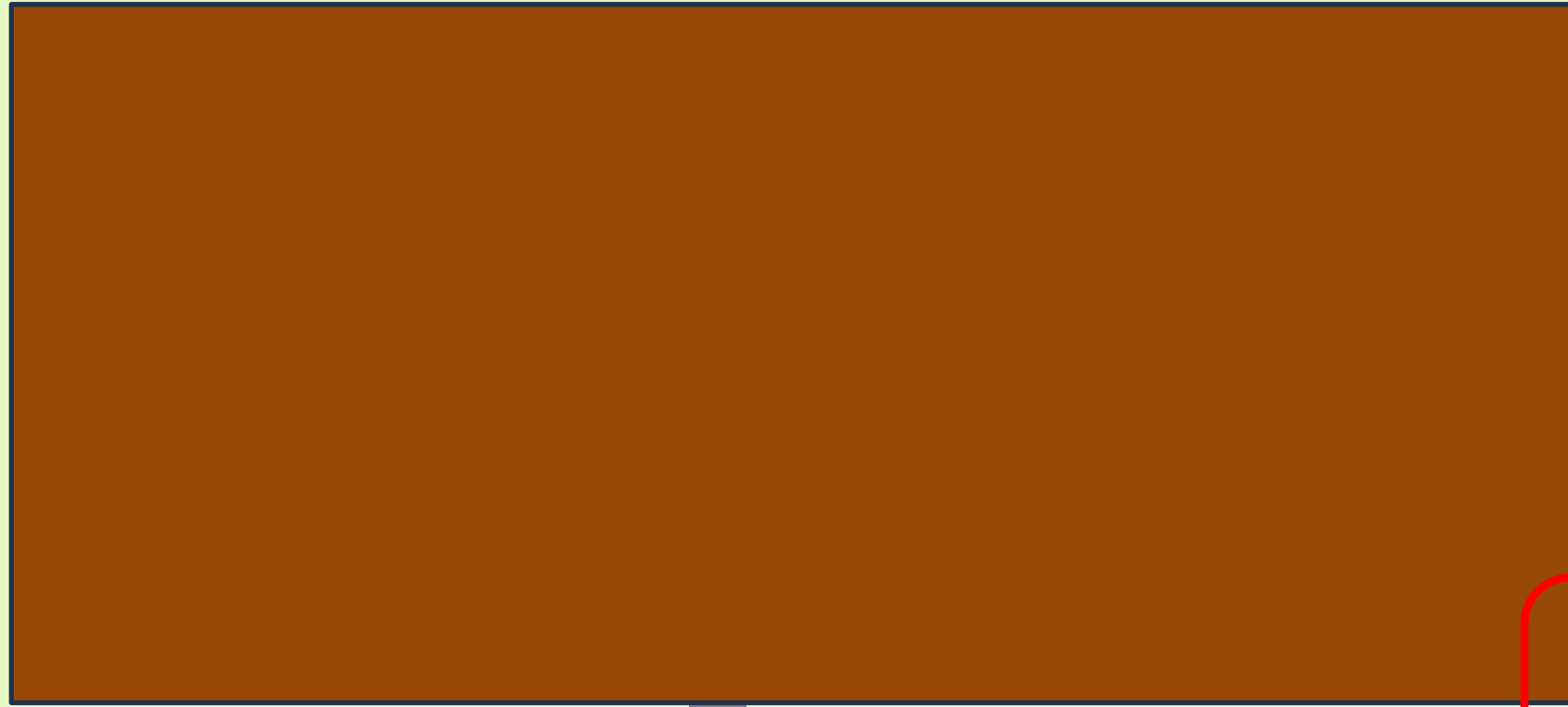
New development that
does not add any new
impervious surface.

**No additional treatment
required.**



New impervious surface
totaling less than 500 sq.
ft.

**No additional treatment
required.**



Further additions
exceeding 500 sq. ft. of
impervious surface.

**All new impervious,
including the previously
exempt area, must be
treated.**

